



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

### Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Housing Department

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: June 27, 2018	<b>REQUESTS:</b>  The applicant is submitting a request for a Development Plan and Master Plan Minor Amendment for Hidden Hollow Development located at 301 Hidden Hollow Drive, legally know as PT. NW1/4SW1/4 SEC. 27, TWP. 41, RNG. 116 (MOS T-20F)  For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Item #: P18-205, 206	
Planner: Brendan Conboy  Phone: 733-0440 ext. 1302  Fax: 734-3563  Email: bconboy@jacksonwy.gov	
<b>Owner/Applicant:</b> Jorgensen Associates Brendan Schulte PO Box 9550 Jackson, WY 83002	
<b>Please respond by: July 11, 2018 (Sufficiency) July 18, 2018 (with Comments)</b>	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to: [tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)

45802

DATE	INVOICE NO.	COMMENT	AMOUNT	NET AMOUNT
06/06/2018	160161014	Development Plan Application Fee for Phase 2		2,500.00
DATE 06/06/18			VENDOR Town of Jackson	TOTAL 2,500.00



JORGENSEN

PO BOX 9550 • JACKSON, WY 83002  
(307) 733-5150

WELLS FARGO, N.A.  
WYOMING 99-109  
1023

45802

Two Thousand Five Hundred and no/100

PAY  
TO THE  
ORDER  
OF

TOWN OF JACKSON  
P.O. BOX 1687  
JACKSON WY 83001

DATE	AMOUNT
06/06/18	45802
	\$2,500.00



⑈045802⑈ ⑆102301092⑆ 0000271002⑈





# JORGENSEN

It's About People, Trust and Know How

PO Box 9550 · 1315 HWY 89 S., Suite 201  
Jackson, WY 83002  
PH: 307.733.5150  
[www.jorgeng.com](http://www.jorgeng.com)

June 26<sup>th</sup>, 2018

Mr. Tyler Sinclair  
Town of Jackson Planning Dept.  
P.O. Box 1687  
150 E. Pearl Avenue.  
Jackson, WY 83001

-Hand Delivered-

**RE: Hidden Hollow PUD - Development Plan Phase 2**

Dear Tyler,

Enclosed you will find the necessary materials for a Development Plan (DEV) we are submitting on behalf of Hansen & Hansen, LLP. The property is located at 301 Hidden Hollow Drive, Jackson, WY, and described as the 10 acre parcel formerly owned by the United States Forest Service, now owned by the applicant Hansen & Hansen LLP. Included with this submittal you will find the following:

- Development Plan Binder
- One check for \$2,500 (Development Plan)
- One check for \$500 (Minor Amendment)

Sincerely,

JORGENSEN ASSOCIATES, P.C.

Brendan Schulte  
Senior Planner





















## Executive Summary – How to Read the Binder

This binder supplies all of the technical information for a large and complicated development. For a more abbreviated review – use the following index:

- Section 1 and 2 – Project Narrative and Engineers Report
- Section 3 – Response to Previous Conditions of Approval and Physical Development Requirements
- Section 4 – Phasing and Architecture
- Section 5 – Civil, Landscaping, and Lighting
- Section 6 – Supporting Information
- Section 7 – Application Materials



# **Phase 2 Development Plan For Hidden Hollow**



## **Applicant:**

Hansen & Hansen, LLP  
P.O.BOX 50106  
Idaho Falls, ID 83405

## **Town of Jackson**

**Submittal Date: June 26, 2018**

Project No. 16016.10

## **Prepared by:**



Jorgensen Associates, P.C.  
Engineers, Land Surveyors, & Planners  
1315 Highway 89 South, Suites 201 & 203 83001  
P.O. Box 9550 - Jackson, WY 83002  
307.733.5150

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## **SECTION 1 – PROJECT BACKGROUND AND OVERVIEW**

### **A. PROJECT BACKGROUND**

Hidden Hollow Planned Unit Development (Hidden Hollow PUD) is 10 acre a workforce housing project located at 310 Hidden Hollow Drive, in the heart of the Town of Jackson, Wyoming (ToJ). The project is currently under construction by Hansen and Hansen, LLP (Applicant), owned by brothers Kirk and Jim Hansen. The Applicant also owns Conrad & Bischoff, Inc., a local and regional fuel supplier with offices in Jackson, WY, Idaho Falls, ID and Nampa, ID. The Applicant has a track record of creating successful commercial and residential development projects across Idaho and now, Jackson, Wyoming. The Sketch plan (SP) P16-079, and Planned Unit Development (PUD) P16-080 were approved for this project on December 5, 2016 and the various challenges that have arisen at this site have been met by the collaborative effort of the Design Team, ToJ Staff and Town Council. Subsequent to the Sketch Plan approval, Hidden Hollow proceeded to obtain the following approvals:

- Phase 1A Development Plan (P17-036) – Approved on May 15, 2017
- Grading and Erosion Control Permit 1A (B17-0378) - Approved on August 7, 2017
- Phase 1B Development Plan (P17-093) - Approved on July 17, 2017
- Phase 1B Grading and Erosion Control Permit (B17-0378) - Approved on August 7, 2017
- Phase 1B Building Permit – (B17-0622) Approved on May 9, 2018
- Grading and Erosion Control Permit (B18-0218) – In progress
- Hidden Hollow First Addition to the Town of Jackson (P18-072) - Approved on June 18, 2018.

This Development Plan application outlines Phase 2 of the Hidden Hollow PUD, which details the construction of 12 townhomes and 2 multifamily buildings containing 83 total units, and all remaining grading, landscaping, and lighting.

### **B. OWNER & PROJECT TEAM INFORMATION**

#### **PROPERTY OWNERS & APPLICANTS:**

Hansen and Hansen, LLP  
P.O.BOX 50106  
Idaho Falls, ID 83405

#### **OWNER'S REPRESENTATIVE**

Zane Powell  
zane@cbfuels.com  
208-419-5886

**ARCHITECTURE**

CTA ARCHITECTS ENGINEERS

1110 Maple Way  
Jackson, WY 83001  
307-733-9955

Robertson Associates  
P.O. Box 678  
Rigby, Idaho 83442  
208-589-9967

**ENGINEERING & LAND PLANNING**

Jorgensen Associates, P.C.  
1315 Highway 89 South, Suites 201 & 203; 83001  
P.O. Box 9550 Jackson, Wyoming 83002  
307-733-5150

**LAND PLANNING & LANDSCAPE ARCHITECT:**

Herschberger Design  
560 S. Glenwood St.  
P.O. Box 1648  
Jackson, Wyoming 83001  
307-739-1001

**ELECTRICAL ENGINEERING**

Bradley Engineering, Chartered  
645 West 25th Street  
Idaho Falls, Idaho 83402-4569  
208-523-2862

**C. DEVELOPMENT PROPOSAL**

After the approval of previous Development Plans 1A and 1B, the applicant proposes that this Development Plan be approved for Phase 2 of the Hidden Hollow PUD. Phase 2 proposes to be the final phase of development that includes the construction of workforce and affordable housing included in Hidden Hollow. This includes the final the remainder of the Multi-family buildings and all the remaining 12 Townhomes as proposed in the Sketch Plan approved on December 5<sup>th</sup>, 2016.



During construction of Phase 1A, the project team has been preparing the site. This preparation has included all constructing road ways, utilities, site grading, etc., and prepping for vertical construction. Phase 1B has been approved for a Development Plan(P17-093) and Building Permit (#17-0622). This allowed the applicant to proceed with the 1<sup>st</sup> floor (garage structure) on all multifamily buildings in order to facilitate the complicated grading and utility installation between all multifamily buildings. Building all of garage structures at this phase will help to contain the large amount of structural fill required to construct the area central to all of the Multi-family buildings. Work on the garage structure is nearing completion for Building 4/5 and has begun for Building 2/3. The garage structure for Building 1 will proceed this fall. Ingress and Egress from the Multi-Family area can then be constructed along with the parking lot central to the area. Both are essential to facilitate construction and will be needed to access the buildings during construction.

### **Multi-family Buildings**

As the architectural design for the previously approved building 4/5 progressed from Development Plan 1B to Building Permit #17-0622, the original two building concept on one parking structure morphed into one single building on one parking structure. Thus, the designation of building 4/5 (formerly buildings 4 & 5). For this Phase 2 development plan we will be discussing Building 2/3 and Building 1.

The first level of Building 2/3 remains as the garage structure. The second and third levels are connected throughout the entire floor. Central gathering spaces and lobbies are designed between the two buildings to encourage spontaneous interactions and provide areas for neighbors to congregate. Because of the design evolution there was room to incorporate three additional units into Building 2/3 to match the density in Building 4/5 while the floor area will still comply with the total Floor Area allowed (283,140 sf) by the PUD Master Plan. The fourth level is not connected between the two original buildings and provides two separate unattached roof structures and the appearance of two towers or buildings. Building 2/3 contains 55 units and has a total floor area is 52,045 sf. This includes twelve (12) 3-Bedroom units at 1,166 sf each, thirty-one (31) 2-Bedroom units at 979 sf each, and twelve (12) 1-Bedroom units at 642 sf each. Building 2 & 3 will also have fifty-nine (59) below grade parking spaces. The garage provides ingress and egress on the south side of the structure. 59 below grade parking spaces and the remainder of which is provided on the surface parking lot.

Building 1 remains as one smaller building built on a single parking structure, as originally proposed in the Sketch Plan with 28 units and has a total floor area of 25,838 sf. This includes six (6) 3-Bedroom units at 1,166 sf each, fourteen (14) 2-Bedroom apartments at 979 sf each, and eight (8) 1-Bedroom apartments at 642 sf each. Building 1 will also have 30 below grade parking spaces. The garage provides ingress and egress on the east side of the structure. It provides 30 parking spaces underneath the building and the remainder of the required parking will be provided on the surface parking lot.

In all buildings, storage is provided in each unit, and also within the garage at each unit's assigned parking space where 27 sf of storage space is allocated in front of each parking space. Additional storage areas are built into the common and corridor areas within the buildings and will be assigned and administered by the HOA and/or leasing company.

Heating and cooling will be aided by a neighborhood wide Geothermal Heat Loop, which will reduce the carbon footprint of the development. Each individual owner of the units within the buildings will have a separate heat exchanger that is metered and allows the owners to control their own thermal comfort. All common mechanical equipment will be located in the garage, or mechanical rooms designed into the common area.

### **Townhomes**

12 Townhome units (4-15) will be built in this phase and have a total floor area of 9,707 sf. They consist of two-bedroom and three-bedroom units labeled A (1,795 sf), B (2,254), C (2,394 sf), and D (1,524 sf). All townhomes are market units and have access to the neighborhood wide Geothermal Heat Loop.

Materials of all buildings and townhomes will be made from earth toned hues and colors to fit the character of the region. Steel, wood and stone comprise the suite of textures planned for the structures that consider durability and lower long-term maintenance.

Phase 2 of Hidden Hollow is expected to begin shortly after building permit approval for Building 2/ 3. The architectural design for Multifamily Buildings and Townhomes are attached in **Section 4**. Civil Engineering, landscape and lighting plans are included in **Section 5**.

### **Minor Amendments to the Master Plan and Housing Mitigation**

In addition to the final submittal of the Development Plan for Phase 2, the applicant proposes two minor amendments to the Hidden Hollow Planned Unit Development (HHPUD) Master Plan. They consist of amending the Phasing Plan to include organizational changes and more specific affordable housing mitigation requirements per unit type and amending the Occupancy Status from ownership to rental while keeping the flexibility to go back to ownership should market conditions dictate. This generates a need to update the housing mitigation plan to provide flexibility for either option (rental or ownership).

The applicant proposes to amend the Phasing Plan for Hidden Hollow by combining all the remaining original Phases 1c, 2, and 3 into a final Phase 2. The applicant is now 2 years into this project and has become more integrated and aware of the community's needs. Thus, the intention of accelerating development is to simply get more units on the ground faster. What was thought to be built over the course of 5-7 years, will now be shortened for 5 years or less.

The applicant also proposes to alter the Occupancy Status of multi-family residential units from ownership to rental. This is another response to the community's needs. The rental pool in ToJ has a low inventory and is often leased up with countless families being left out. The applicant will use the **Section 7.4.2.D.13 Apartment Building of the Town of Jackson land Development Regulations (LDRs)** that allows for a rental product to be exempt from housing mitigation if the units are small and numerous enough, and if the applicant provides an annual report to the Housing Department documenting average rents charged per unit type, average number of tenants by unit type and percentage of tenants employed by Teton County. This regulation was designed to generate more units and to target and accommodate the local workforce with reasonable market rents. The applicant prefers to provide this solution over the original proposal as it will have more impact to provide workforce housing in ToJ. While the originally approved plan had more ownership income restricted units, it also had 66 units that would have been sold to the highest bidder and would not be restricted from 2<sup>nd</sup> homeowner customers. This change to rental keeps all 138 Multifamily units available for rent by the local force. Nine (9) rental apartment units will be income restricted and managed by the Housing Department to provide mitigation for the Townhomes and Single-family lots.

These two minor amendments generate the need for some general clean up to the Master Plan to ensure flexibility into the future should an additional change be realized. A copy of the redlines Master Plan is included in **Section 6**.

## **D. FINDINGS FOR APPROVAL**

### **1. Division 8.3.2.C Development Plan Findings for Approval**

*a. Is consistent with the desired future character for the site in the Jackson/Teton County Comprehensive Plan. Complies.*

The Hidden Hollow project is within the Comprehensive Plan District 3 – Town Residential Core, Subarea 3.2 – Core Residential which is envisioned to contain a variety of residential densities, residential types, and building sizes in order to maintain and meet our Community's Growth Management and Workforce Housing goals.

The Hidden Hollow project contains a total of 171 residential units, comprised of 13 single family homes, 20 townhomes, and 138 multi-family condominium or rental units.

This mix represents a variety of residential types and building sizes on a single ten-acre property and is consistent with the Community's Growth Management goals. As a previously developed property, it is not located in habitat, scenery and open space (Principle 3.1). The project location, close proximity to services, including school,

commercial and recreational amenities, is a suitable location for a Complete Neighborhood and is outside of naturally hazardous areas (Principle 3.2, 3.4 and 4.3). As a property that's long been considered for residential density, the project represents predictable and cooperative growth (Principle 3.3). The project also includes walkable connections within the project and to the overall area in which the project is located (Principle 4.2).

Redevelopment, revitalization, and reinvestment within Subarea 3.2 are highly desirable, and the future character of the Subarea will include increased density and larger buildings than in East Jackson. The Subarea vision includes locating multifamily structures on larger residential lots and along mixed-use corridors, allowing the density and intensity to be greater than what is found in other areas, with the understanding that parking of these multifamily structures should be minimized and screened as much as possible. The Hidden Hollow project meets all of these criteria as it provides 171 residential units of varying types on a ten-acre site that was previously underdeveloped by the Forest Service. The design provides for parking predominantly located in subsurface garages. There are few, if any, sites within Subarea 3.2 that achieve this vision more effectively.

***b. Achieves the standards and objectives of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable. Not Applicable.***

The Hidden Hollow property is not located within the Natural Resource overlay or the Scenic Resource Overlay, and this finding is therefore not applicable.

***c. Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police fire, and EMS facilities. Complies.***

The Hidden Hollow project will provide the required school and park exactions for any subdivided units that are designed to ensure new developments contribute to impacts they have on these services. Public utilities and project utility connections will be designed to ensure the project does not overburden these services. The project is within town limits and is currently served by police, fire and EMT services. The development will not result in increased impacts on availability of these services. Development exactions will be collected during final plat of any units created as part of the Hidden Hollow PUD.

Multi-modal transportation options are abundant and include several pedestrian and bicycle connections in close proximity to local town commercial services, and within walking distance are the Teton County Recreation Center (Rec Center), Elementary School, and the opportunity for pathway connections. Finally, the Town Shuttle operated by START flows in both East and West bound directions. It has four stops with 30-minute intervals all within a one block walking distance to the Mercill and North Cache Intersection.

***d. Complies with all relevant standards of these LDRs and other County Resolutions. Complies.***

According to the current Town of Jackson Land Use Regulations (LDRs), the purpose of a development plan is to review a physical development or development option that is large and complex enough to benefit from a public review at a sufficient level of detail to determine compliance with these LDRs prior to preparation of final construction or plat documents.

The ten-acre site provides flexibility in meeting the standards of the Master Plan and is well above the minimum LSR requirement, and well below the maximum Lot Coverage limitation. While there are some areas within the development that meet the minimum setback limitations, the vast majority of the perimeter of the project is set back well beyond this requirement and all individual buildings within the development are setback from one another within the requirements of the LDRs. The Master Plan provides flexibility to other standards and will be addressed herein.

The site plan was adjusted and revised during the Sketch Plan process to address the snow storage needs, the parking concerns, the trail connections, the security of elementary school property, the location of various housing types and the circulation within the development.

***e. Is in substantial conformance with all standards or conditions of any prior or applicable permits or approvals. Not Applicable.***

All components of this development application comply fully with the Sketch Plan and the Planned Unit Development approval.

**2. Pursuant to Section 1.5.B of the HHPUD Master Plan, minor amendments shall be approved upon finding the application:**

- a. It is consistent with the purposes and organization of the HHPUD. Complies.*** The approval of the two minor amendments is consistent with the purpose and organization of the HHPUD under the following rationale: Revising the Phasing re-organizes the timing and sequencing of the project to allow the applicant to expedite construction and occupancy of all remaining units to the benefit of the community; and revising the Occupancy status (change of use to rental) requires an amendment to the housing mitigation plan and maintains the vision and intent of the HHPUD regarding the development of workforce and affordable housing options in close

proximity to the Town commercial services and public amenities. These changes were anticipated as a possible scenario in the Master Plan and approval of these minor amendments will considerably increase the availability of rental units of various types for workforce housing in the Downtown Core. The minor amendments also help maintain the flexibility of the Master Plan to convert occupancy to ownership or rental should market conditions dictate.

- b. It improves the consistency of the HHPUD Master Plan with other provisions of the HHPUD or subsequent development approvals within the HHPUD. Complies.*** The approval of the Phasing Plan amendment is consistent with the approved development plans for Phases 1a and 1b and will conclude the remainder of the development at Hidden Hollow into one final phase (Phase 2). Additionally, the housing mitigation listed in the phasing and the change of Occupancy status are now very clearly defined per unit type to allow for flexibility in the future should any of the Multifamily buildings go back to being a condominium use as directed market conditions.
- c. It provides flexibility for landowners within standards defined within Master Plan Section 1.2.C. Vision and Intent of the HHPUD Master Plan. Complies.*** The approval of the two minor amendments is consistent with the Vision and Intent of the HHPUD Master Plan. The clarity provided in the updated Phasing plan re-organizes the timing and sequencing of the project to allow the applicant to expedite construction and occupancy of all remaining units to the benefit of the community. The Occupancy status being updated to current demands of the community for more rental housing stock, “provides a variety of residential unit types that achieves housing opportunities for a variety of residents while respecting neighboring land uses.
- d. It is necessary to address changing conditions (e.g. market, sales or constructability), public necessity, and/or state or federal legislation. Complies.*** The approval of the Phasing Plan amendment is allowed by the Master Plan and is necessary for the applicant to address the changing economic conditions of development and maintain constructability of the subdivision and all the affordable housing opportunities within. The approval of the Occupancy status change is necessary for the applicant to address the changing market conditions in the ToJ which has seen several proposed rental projects be stalled (Sagebrush) or eliminated from the potential rental housing stock entirely (CARE Wyoming). The change from ownership to rental will benefit the community by considerably increasing the supply of workforce rentals available in the Downtown Core of the ToJ. Changing to all rental will make 66 additional units available to the local workforce instead of selling them to 2<sup>nd</sup> homeowners under the ownership model.



- e. It improves implementation of the Comprehensive Plan. Complies.** These minor amendments expedite the construction of a dense variety of residential unit types that conforms to the future character Core Residential Zone of the Jackson/Teton County Comprehensive Plan and considerably increase the availability of rental units of various types for workforce housing in the Downtown Core which further helps to achieve specific community goals that enhance the community's implementation of the Jackson/Teton County Comprehensive Plan.
- f. It is consistent with other adopted Town Ordinances. Complies.** The approval of these amendments is consistent with all Town Ordinances including the recently approved Subsection 7.4.2.D.13 Apartment Building.

## E. PROPOSED DEVELOPMENT PROGRAM

### 1. Development Summary/ Dimensional Limitations –HH PUD Master Plan dated 6/22/18

#### 2.1.A. Structure Location and Mass

	Landscape Surface/LSR (min)	Lot Coverage Area/Ratio (max)	Street Setback (Min)**	Side Setback (Min)**	Rear Setback (min)**	Height (max)	Floor Area/FAR (max)
<b>Overall PUD</b>	123,623 s.f.	164,831 s.f.					283,140 s.f.***
<b>Area A *</b> Each individual lot	.30	.40	25'	8'	5'	28'	.82/lot
<b>Area B *</b>	15,000 s.f.	28,000 s.f.	12' from perimeter property line or Area boundary			35'	54,000 s.f.
<b>Area C *</b>	11,000 s.f.	60,000 s.f.	12' from perimeter property line or Area boundary			48'	160,000s.f.
<b>Area D *</b>	100,000 s.f.	50,000 s.f.	5' from perimeter property line or Area boundary			28'	15,140 s.f.

**Exceptions:** street/side/rear yard projections, including cornices, canopies, eaves, decks, porches, bay windows, chimneys, patios, and similar architectural features may encroach into any setback not more than 5'.

\* Notwithstanding the specific physical development standards identified within each area, the limitations within each Area is permitted to shift to another Area of the HHPUD as long as the limitations within the overall PUD are not exceeded

\*\*Setbacks within Areas B, C and D shall be the horizontal distance, as measured from a physical development to an HHPUD perimeter property line for side and rear setbacks and the horizontal distance, as measured from a physical development to either a HHPUD perimeter property line or a road right-of-way, roadway or vehicular access easement.

\*\*\* The overall PUD Floor Area total is based on a total parcel area of 10 Acres at the time of PUD approval by Town Council. The total Floor Area represents .65 FAR using 10 acres of site area.

## 2. Floor Area Calculations

<b>Proposed Floor Area Calculations - Full Buildout</b>	
Area	Floor Area (sf)
A. Single Family (13 lots)	53,965
B. Townhomes (20 units)	48,450
C. Multi family (138 Units)	166,641
D. Common Lot (0 units)	0
<b>Total HHPUD*</b>	<b>269,056</b>

\*Maximum Allowed by Master Plan = 283,105

## F. PHASING PLAN – See attached Phasing Plan Map (L.3) in Section 5

### Phase 1:

- Subdivision and sale or development of 13 single-family units in Area A
  - o Including provision for affordable housing ownership or rental units for at least 7.80 persons to be constructed within building 4/5
- Development of 8 townhome units in Area B
  - o Including provision for affordable housing ownership or rental units for at least 4.05 persons to be constructed within building 4/5
- Development of 55 multi-family units in Building 4/5 within Area C
  - o If the 55 multifamily units in building 4/5 are developed as for sale, condominium units, provision for affordable housing ownership units for at least 16.95 persons will be constructed
  - o If the 55 multifamily units in building 4/5 are developed as for rent, apartment units, compliance with Section 7.4.2.D.13 of the Town of Jackson Land Development regulations shall apply to exempt the rental apartment units from the affordable housing mitigation standards
- Provision of at least 18 workforce housing units within building 4/5 in Area C developed under Phase 1
- Completion of all Mercill Avenue extension improvements
- Completion of all road ways and parking areas necessary to serve the development in Phase 1
- Completion of all wetland mitigation
- Completion of all landscape requirements for all Phase 1 development in Area B and C

### Phase 2:

- Development of 12 townhome units in Area B
  - o Including provision for affordable housing ownership or rental units for at least 6.60 persons to be constructed within building 4/5
- Development of 55 multi-family units in Building 4/5 and or 28 multifamily units within Area C
  - o If the 55 multifamily units in Building 2/3 and the 28 multifamily units in building 1 are developed as for sale, condominium units, provision for affordable housing ownership units for a total of at least 25.6 persons will be constructed within building 4/5 and Building 2/3
    - Building 2/3 = 17.05 persons mitigated
    - Building 1 = 8.55 persons mitigated
  - o If the 55 multifamily units in building 2/3 and/or the 28 multifamily units in building 1 are developed as for rent, apartment units, compliance with Section 7.4.2.D.13 of the Town of Jackson Land Development regulations shall apply to exempt the rental apartment units within building 4/5 from the affordable housing mitigation standards
- Provision of at least 18 workforce housing units within Building 2/3 and 9 workforce housing units within Building 1
- Completion of all landscape requirements for all Phase 2 development
- Completion of all remaining landscape requirements in Area D

**G. LANDSCAPING** - A Landscape Plan is attached in **Section 5**.

**H. ENVIRONMENTAL STANDARDS**

**1. Natural Resource Buffers (Wetlands and Water bodies)**

Wetlands – An Aquatic Resources Inventory was conducted by Y2 Consultants in September of 2014. On March 17, 2015 a request for verification of delineated wetlands was presented to the Army Core of Engineers, Conditions and Restrictions for the development.

Wetland Setback = 30' for naturally occurring and mitigated wetlands. This buffer can only be encroached for wetlands that are classified as degraded and will be enhanced.

**2. Wildlife friendly fencing**

- a. Elk Fence – The fence on the eastern boundary of the parcel is designed to keep Elk from crossing into the property and is 8' in height. This fence is an existing non-conformity and is owned by the United States Government and will remain in place.

- b. Northern Fence – As part of the development the applicant will work with the Elk Refuge to maintain the northern boundary of this parcel so the ownership is clearly delineated to visitors of the Elk Refuge Grounds.

### **3. Water Quality**

See subsequent Engineer's report in **Section 2** of this application for discussion on these items.

There are no existing streams or water bodies on site. Nonetheless, care will be taken during construction by using Best Management Practices for erosion control and ensure that stormwater runoff does not impact the remaining wetlands or runoff onto adjacent properties. A grading and erosion control permit will be submitted concurrently with a building permit, which will require approval prior to construction. A Stormwater Pollution Prevention Plan (SWPPP) will be required by the Wyoming Department Environmental Quality (DEQ).

#### **I. NATURAL HAZARDS TO AVOID**

Floodplains – A portion of this 10-acre parcel is included within FEMA Flood Zone A where Base Flood Elevations (BFE) needed determination. Harmony Design and Engineering has completed a study on the area to determine the 100-year Base Flood Elevation. Upon analysis of all of the factors using a system of cross sections as well as LiDar data, they determined that the BFE for the site is 6217.48 feet and recommended that all structures be located a minimum of one foot above that for all construction. As a result, the Applicant will construct all structures at least 1.5 feet above this elevation. A Letter of Map Revision (LOMR) has been completed and is Attached in **Section 6**.

#### **J. SIGNS**

Hidden Hollow anticipates completion of signage design in the near future and will submit the Signage Design Plan during future building permit submittal.

#### **K. GRADING, EROSION CONTROL, STORMWATER**

See subsequent Engineer's report in **Section 2** of this application for discussion on these items.

#### **L. ALLOWED USES & USE REQUIREMENTS**

1. **Allowed Uses** – The proposed uses within the Hidden Hollow development include Single-family detached residential, Townhome, Condominium and Apartment rental uses. As allowed by the PUD master Plan.

2. **Parking** – See subsequent Engineer’s report in **Section 2** of this application for discussion on these items.

#### **M. ALLOWED SUBDIVISION AND DEVELOPMENT OPTIONS**

1. **Standards applicable to all Subdivisions** - Hidden Hollow will adhere to all standards provided in Section 7.2.2 of the LDRs which include Applicant responsibilities, required permits, installation, working with a professional engineer, over sizing and off-site improvements, and acceptance by the ToJ.
2. **Land Division Standards** – Will comply with Section 7.2.4 below
3. **Condominium and Townhouse Subdivision** – While this development plan contemplates rental housing, should any portion ever be reverted back to condominium, Hidden Hollow will adhere to all standards provided in Section 7.2.4 of the LDRs which include recordation of a Final Plat, adhering to Building and Fire Code, Tenant Notification, Site Compliance, and Townhouse Subdivision which includes common lots, maximum lot sizes and building official review.

#### **N. RESIDENTIAL SUBDIVISION REQUIREMENTS**

1. **Affordable Housing** – Affordable Housing Mitigation for Hidden Hollow is detailed on the mitigation plan attached in **Section 6**.
2. **School and Parks Exactions** – Total schools and park exactions for the 20 townhomes as fee-in lieu, is \$87,925.00 to be collected at the time of recordation of the townhouse plat. Calculations are provided in **Section 6**. The exactions for the single family lots totaling \$61,100.00 will be collected with the recordation of the recently approved Hidden Hollow 1<sup>st</sup> addition to the Town of Jackson Plat.

#### **O. INFRASTRUCTURE**

1. **Transportation Facilities** – see plan sheets provided in **Section 5**.
2. **Required Utilities** – see plan sheets provided in **Section 5**.

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## **SECTION 2 – ENGINEER’S REPORT**

### **A. INTRODUCTION**

This Development Plan Engineer’s Report is intended to provide the engineering basis for design and to discuss engineering related issues for the development of the Hidden Hollow PUD.

### **B. SETTING**

The site is located two blocks north of Town Square. Historically the site was hay meadow, rangeland, and natural wetlands adjacent to the Elk Refuge and Cache Creek. As Town developed Cache Creek was routed in a pipeline and the natural channel and hydrology was disrupted. Over time and under the ownership of the US Forest Service the parcel was developed for seasonal housing that was fairly spread out across the site. The site is bordered on the north and east by a U.S. Fish and Wildlife Service National Elk Refuge. The Refuge is approximately 6 miles wide and 10 miles long. There is an 8’ high elk fence on the eastern boundary. Also, to the north is Flat Creek as it exits the Refuge and enters the Town of Jackson. On the south is the Teton County Recreation Center and Jackson Elementary School, and the west is the mostly commercial district of north Jackson. There are several existing utilities on site left over from the Forest Service housing that will be removed.

### **C. SOILS AND SITE CONDITIONS**

The upper soils of the site are semi-permeable flood plain deposits consisting of sands and clay ranging from just a few feet to more than ten feet. Foundation designs will consider the soil types and their structural stability carefully. Subsoils are alluvial gravels and provide good structural stability for foundation. A geotechnical investigation by Y2 Consultants was published on April 27, 2016 and included with the approved Sketch Plan application which is on file with the TOJ Planning Department. This report provides a more detailed description of the soil conditions of the site. Specific recommendations for construction are made within the report.

### **D. GROUNDWATER, STREAMS, & RIVERS**

High groundwater exists on this parcel. Historic information indicates high groundwater elevations of between 2 feet below ground surface on the northwest corner of the lot to about 7 feet below ground surface on the southeast corner of the parcel. Groundwater levels fluctuate 3 to 5 feet during the year. Groundwater is highest in the west and north of the property and drops towards the east and south in the direction of the Elk Refuge boundary. Building foundations will need to take into account the elevation of groundwater and utility installation should be timed to avoid the high cost of dewatering during high groundwater periods.

#### **E. GRADING, EROSION CONTROL, DRAINAGE, & STORMWATER**

Development on the site accommodates stormwater by routing it through the available green spaces on site, the use of stormwater treatment units, and detention areas placed strategically around the site. These areas are sufficient to accommodate storm water runoff. The parcel is relatively flat and underlain by semi-permeable surface soils and very permeable subsoils. The units are spaced to provide landscape areas around the buildings that will help infiltrate stormwater and spring snow melt water. The expected runoff from the two large buildings will be channeled through roof drains and a piping network and connected to the stormwater utility onsite. Details of the stormwater system have been submitted in Phase 1a FDP, approved February 6, 2017.

A Grading and Erosion Control Permit will be submitted to the Town for approval prior to beginning of Phase 2. This GEC permit application will include drawings that will have incorporated any revisions and comments made during the Final Development Plan process and as a result of incorporating final design elements and coordination with the Town and other utility companies.

#### **F. ROADS AND ACCESS**

Access to the site is gained via the extension of Mercill Avenue on a 40' wide strip of land that is part of the Hidden Hollow parcel and will be the main access to this parcel for the future. A 10' wide Special Use Permit (#JAC103304) was obtained from the United States Forest Service(USFS) to accommodate a 10' pathway on the North side of the Mercill Avenue. A 10' wide pedestrian access easement was obtained from Kudar Enterprises, Inc. property to the south to accommodate a 6' wide sidewalk. This makes the entire corridor 60' wide. The access into the property on Mercill Avenue has been approved by WyDOT and is currently undergoing improvements. The final design includes a two lane, 60-foot-wide road with a 6' sidewalk on the south and a 10' multi-use pathway on the north. The pathway and sidewalk will each have a buffer strip of about 5 feet between them and the roadway for safety, comfort of the users, and snow storage.

#### **G. TRAFFIC**

A revised Traffic Impact Study (TIS) was submitted in the Phase 1a FDP, approved February 6, 2017. This version of the TIS addresses the minor comments provided by WyDOT after they approved the first TIS during the sketch plan process in a letter attached in **Section 8**. The study finds that the Hidden Hollow development will have an increased trip generation impact on the North Cache – Mercill intersection. However, this increased impact is mitigated by the fact that this intersection is currently signalized. The increased traffic coming to and from the eastern Mercill extension will flow in a manner that is consistent with the current signalization and will therefore have a reduced impact on the traffic inbound and outbound along North Cache than it would if it were not currently signalized.

The new east leg of Mercill Avenue coming from the property to Cache will be a two-lane roadway, one in and one out. The Applicant has worked with the Town Staff and WyDOT to arrive at this configuration. This intersection configuration is easier for pedestrians and bicycles to navigate because of the width and will line up well with the west leg of Mercill.

Multi-modal transportation options are abundant in the vicinity of Hidden Hollow. They include several pedestrian and bicycle connections in close proximity to local town commercial services and are within walking distance of the Recreational Center and the School. Finally, the Town Shuttle operated by START flows in both East and west bound directions nearby to the site. The Town Shuttle has 4 stops with 30-minute intervals all within a one block walking distance to the Mercill and North Cache Intersection. Proximity to multi-modal options will be an incentive for residents to choose alternative modes of transportation for their short and medium distance trips.

#### **H. PARKING**

The lowest floor of these buildings, which is situated partially underground, will provide a minimum of 89 spaces for the 3 buildings. These parking structures will be screened and out of site from the pedestrian view as directed by the Comprehensive Plan. Surface parking for the multi-family buildings will be elevated approximately 5' from existing grade as shown in the attached Site Plan in **Section 5**. That grade difference will allow users of the surface parking to enter the second floor without the use of an elevator or stairs.

The townhomes will have 2 spots per unit (one inside and one outside). The townhomes will also have some guest parking in addition to on street parking where available. There are several on street parking spaces provided along the interior road that will provide for guest parking and have a traffic calming effect reducing vehicle speeds through the neighborhood.

#### **I. PATHWAYS**

A 10' wide multi-use pathway is planned parallel to, and on the north side of the new east leg of Mercill Avenue. This will provide pedestrian and bicycle connectivity from North Cache to the site. At the east end of the "flag pole" strip, this path will turn north and run parallel with the common boundary of the remaining USFS parcel beside Multi-family buildings 4/5 & 1 as proposed in the Sketch Plan. This strip between the property boundary and the back wall of the building will serve as a utility line easement and a pathway route providing connectivity to the north and a future path through the Wyoming Game and Fish property. The project team will make efforts to mitigate this area through grading features, landscaping and aesthetic building and window treatments. These efforts will help provide a more human scale to this area. A connection with King Street to the south will be essential to link pedestrian and bicycle trips traveling to East Jackson or northerly from the Rec Center and the School and will serve an emergency access for ambulances and fire trucks. Internal pathways and sidewalks will provide safe pedestrian travel throughout the site.

## **J. WATER**

The water system work for all of Hidden Hollow was shown in the Phase 1a plans. This Phase includes Line B as shown in the Phase 1a and 1b documents. The overall system includes extending the ToJ water mains to serve this new development with a connection through the USFS parcel under Rosencrans Drive and a second connection at the intersection of Mercill Avenue and North Cache. This allows for looping the line to provide adequate pressure and flows for fire suppression supply. Currently all of this work is complete and the water line is pressurized and tested. A future connection from King Street through the Rec Center parcel is planned when that area is updated. All connections to the single-family homes and townhomes are completed to the curb stops. Any revisions resulting from Town or DEQ comments will be included in the Grading and Erosion Control permit required prior to construction. Water demand estimates for this phase are shown below. The development of this Phase represents approximately 38% of the total flows expected from the overall project.

	Ave. Day	Max. Day	Peak Hour
Buildout Demand	57,928 gal	157,590 gal	328.5 gpm

## **K. WASTEWATER**

Wastewater will be treated via connection to the Town sewage collection and treatment system. All main sewer lines shown in Phase 1a plans are completed. Sewer lines for GEC1B are currently under construction and we anticipate completion of this portion of the utilities by the end of summer 2018. Service lines to the single-family lots and townhome buildings are complete. Wastewater projections for this phase are shown below.

	Ave. Day	Max. Day	Peak Hour
Buildout Demand	32,690 gal	54,450 gal	113.4 gpm

## **L. CABLE UTILITIES AND GAS**

Power and Communications lines will be accessible to all units on the project. Lower Valley Energy Electrical Power and Natural Gas, Silverstar Fiber-Optic Communications, Charter Cable Television and Communication, and Century Link communications services are all available to this location. Opportunities to connect to all of these service providers will be afforded all units pending negotiations. Spare conduit may be provided should other utilities not currently contemplated be needed.

## **M. SNOW STORAGE**

Hidden Hollow PUD has 3.42 acres of impervious surfaces requiring .08 acres of snow storage. The Applicant will provide greater than four times the requirement with 0.35 acres of snow storage located throughout the site. Snow storage will be coordinated with the landscaping to limit damage that can occur during snow clearing. Additionally, the open space central to the site can provide additional storage in large snowfall years.

## **SECTION 3 – RESPONSE TO PREVIOUS CONDITIONS OF APPROVAL AND PHYSICAL DEVELOPMENT REQUIREMENTS**

- **3.1 Response to Previous Conditions of Approval**
  - **3.2 Housing Mitigation Plan**
  - **3.3 Park and School Exaction Calculations**

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## Sketch Plan Conditions for Approval — P16-079

1. *The applicant shall prepare a Final Mitigation Plan providing comprehensive mitigation methodology for the on-site mitigation of wetland impacts, with an estimate for the cost of wetland mitigation implementation for review, approval and inclusion in the required Development Agreement prior to any development on the site.*

**SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

*The applicant shall be required to address all staff comments related to the final Mercill Avenue extension design as part of the first Development Plan for any portion of the site.*

**SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

2. *The applicant shall revise the proposed site plan to include an emergency vehicle only access point to south of the area of the future King Street connector prior to 1st reading of the PUD ordinance.* **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

3. *The applicant shall revise the proposed internal streets to including 2 or 3 curb extensions to delineate parking areas, provide no striping on any of the streets, adjust the proposed curb radius to 10' or less and provide internal pedestrian crossings with raised crossings (tabletops 3-4" above street grade) and/or using different coloring and/or texture to delineate these areas prior to 1st reading of the PUD ordinance.*

**SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

4. *The applicant shall enter into a Development Agreement with the Town prior to any development permits being issued for the site that identifies the ownership (public or private) of all on and off site infrastructure, who would be responsible for completing infrastructure improvements (Town or applicant), the timeline for all improvements, who would be responsible for paying for improvements (Town, applicant or cost share), and a timeline and associated bonding for all required improvements)* **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

• *Onsite Improvements: The Town would take over ownership of the on-site sewer and water infrastructure upon inspection by the Town. All roadways, sidewalks, pathways, storm water, wetlands, and other utilities will remain the responsibility of the applicant and ultimately the Home Owners Association (HOA). All utilities will be installed 100% at the applicant's expense, with no contribution from the Town. The Town shall determine whether an onsite sewer lift station is necessary and acceptable to the Town prior to execution of the Agreement.*

- *Mercill Avenue Extension: The Town would take over ownership of all infrastructures (water, sewer, storm sewer, curb gutter and roadway surface, pathway, etc.) upon inspection by the Town. In addition, the Town agrees to cost sharing/reimbursement for all infrastructures above and beyond that required by the Hidden Hollow Development and improvements above and beyond the 40' of future right of way. Reimbursement could be by the Town upon completion of the work or from future property owners as they request connection and use of the shared Town infrastructure.*

- *Off-site Water: The Town would take over ownership of a new water main within Rosencrans upon inspection by the Town. The applicant is not requesting the Town cost share/reimbursement for this water main. The Town would be responsible for securing a special use permit or other instrument from the Forest Service for installation, and maintenance of the water main.*

- *Off-site Sewer: The Town would be responsible for any off-site sewer improvements deemed necessary.*

- *Phasing Plan: As described in the PUD-Master Plan, with the exception that no work shall commence on the site until final approval of all planning applications is granted by the Town.*

5. *The applicant shall provide as part of all Development Plan applications for Areas B and C a detailed landscape plan describing the proposed improvements and function of all identified outdoor/recreation areas to address the outdoor amenity needs of residents of the site. INCLUDED IN SECTION 5.*
6. *The applicant shall provide public access for pedestrians and cyclists through the site as part of the first Final Plat or sooner if deemed necessary by the Planning Director. INCLUDED WITH HIDDEN HOLLOW FIRST ADDITION PLAT APPLICATION.*
7. *The applicant shall provide a breakout of the workforce housing mix of rental to ownership units at the time of Development Plan for review and approval by Town Council. SEE SECTION 3.2 PHYSICAL DEVELOPMENT.*
8. *The applicant shall provide a detail storm and water plan of the first Development plan for review and approval of staff and town Council against all town and State requirements. SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017*



9. *The applicant shall provide a detail pedestrian lighting plan as part of the first Development Plan for review and approval by the town council. **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017***

**Planned Unit Development (PUD) Conditions for approval – P16- 080**

1. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to make all clarifying edits recommended by staff and any edits needed to implement conditions of approval of the Sketch Plan and PUD. – **COMPLETED***
2. *Prior to 1st reading of the PUD ordinance the applicant shall amend Section 1.4.A of the Master Plan to clarify the intent of the Master Plan regarding “previewed” standards from an LDR Section. – **COMPLETED***
3. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to specify the documents that must be provided in order for the Master Plan to be considered amended. - **COMPLETED***
4. *Prior to 1st reading of the PUD ordinance the applicant shall delete the definition of dwelling unit from the Master Plan. - **COMPLETED***
5. *Prior to 1st reading of the PUD ordinance the applicant shall complete Section 2.1.A of the Master Plan by allocating dimensional limitation allowances and requirements to Areas B, C, and D consistent with the Sketch Plan and Overall PUD approval. - **COMPLETED***
6. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to require all Area B development to complete a Development Plan. - **COMPLETED***
7. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to include a maximum scale of use for Local Convenience Commercial of 2,000 sf, excluding basement. - **COMPLETED***
8. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to clarify the applicable amendment process for adjusting the maximum sales price of an affordable housing unit. - **COMPLETED***
9. *Prior to 1st reading of the PUD ordinance all attachments shall be included with the Master Plan upon review and approval by staff. - **COMPLETED***

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**SECTION 4 – PHASING AND ARCHITECTURE**  
**11" X 17' FORMAT**

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**SECTION 5 – CIVIL, LANDSCAPE, LIGHTING  
DRAWINGS 11" X 17' FORMAT**

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## **SECTION 6 – SUPPORTING INFORMATION**

- 6.1 Master Plan (Redline)
- 6.2 Site and Pedestrian Plan from Sketch Plan
  - 6.3 Base Flood Elevation Study
  - 6.4 FEMA Letter of Map Revision
    - 6.5 Water Demands
  - 6.6 Sewer Flow Projections
  - 6.7 Parking Management Plan

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## **SECTION 7 – APPLICATION MATERIALS**

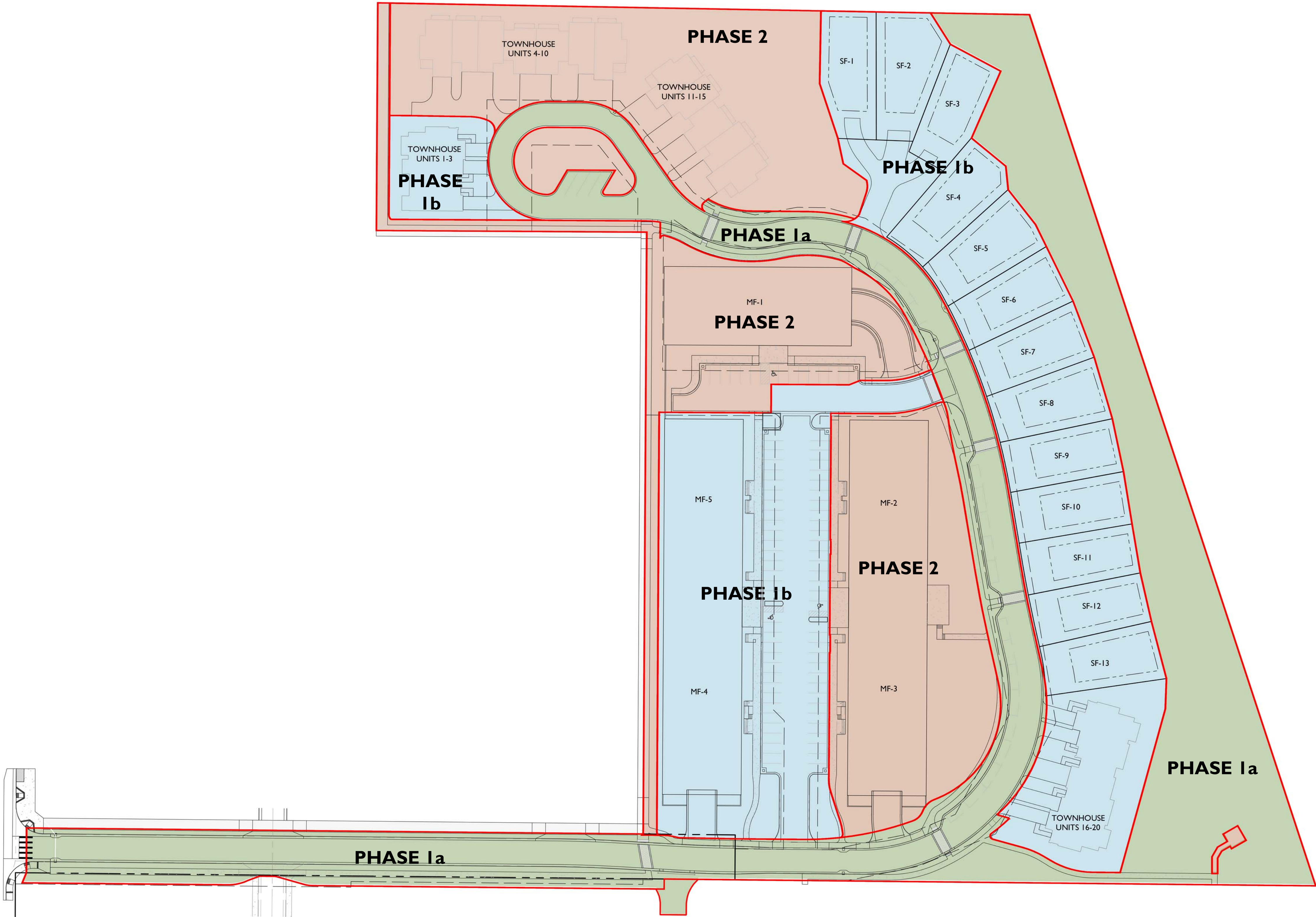
- 7.1 Application
- 7.1.2 Pre-Application Conference Summary
  - 7.2.1 Quitclaim Deed
  - 7.2.2 Letter of Authorization
    - 7.3 Title Report

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LEGEND

- PHASE 1a
- PHASE 1b
- PHASE 2



HERSHBERGER DESIGN

Landscape Architecture · Environmental Planning · Urban Design

560 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.739.1001 F:307.734.8322

Issue Date:

· 02.06.2017

PHASE 1a FDP

· 03.14.2018

GEC SUBMISSION

· 06.15.2018

Hidden Hollow Update / Final Phasing Plan

·

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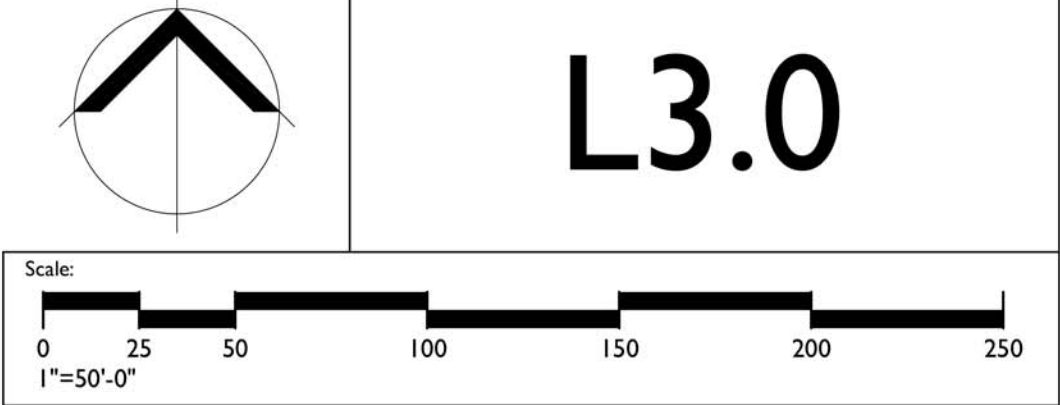
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Drawing Title:

PHASING PLAN

Drawing Number:

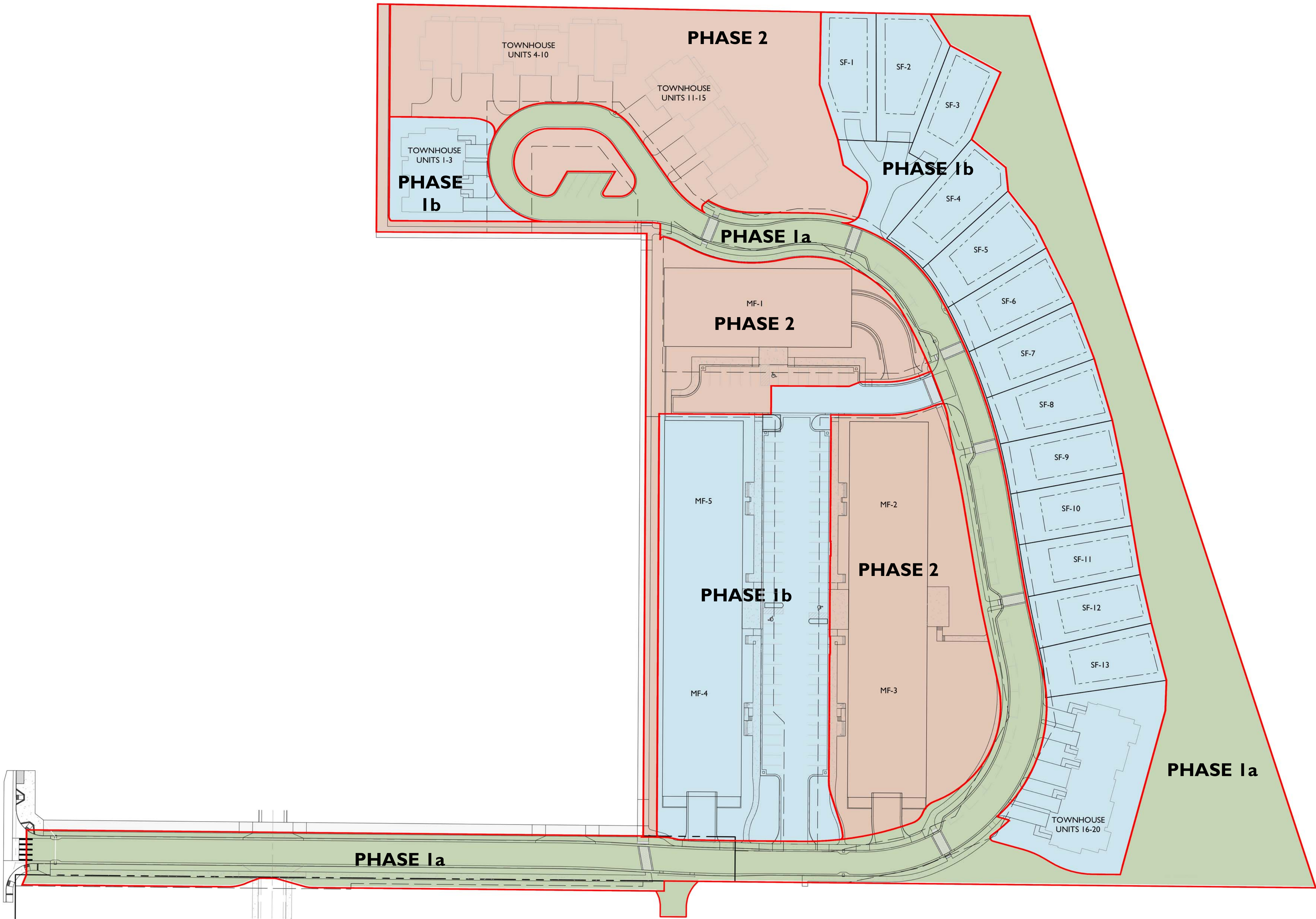
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LEGEND

- PHASE 1a
- PHASE 1b
- PHASE 2



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Issue Date:	
· 02.06.2017	PHASE 1a FDP
· 03.14.2018	GEC SUBMISSION
· 06.25.2018	Hidden Hollow Update / Final Phasing Plan
·	
·	
·	
Drawing Title:	
PHASING PLAN	
Drawing Number:	
L3.0	

Scale:

0 25 50 100 150 200 250

1"=50'-0"

North Arrow



# HIDDEN HOLLOW

## PHASE 2 FDP

JACKSON, WY



JACKSON, WY  
p 307.733.9955  
f 307.733.9954



VICINITY MAP  
SITE LOCATION



SHEET INDEX:	
G101	COVER
A101	FLOOR PLANS- ALL APARTMENTS
A102	FLOOR PLANS- BUILDING 2/3
A103	FLOOR PLANS- BUILDING 2/3
A104	FLOOR PLANS- BUILDING 1
A105	FLOOR PLANS- BUILDING 1
A106	UNIT LAYOUTS
A200a	PERSPECTIVE IMAGES
A200b	PERSPECTIVE IMAGES
A200c	PERSPECTIVE IMAGES
A201	BUILDING 2/3 ELEVATIONS
A202	BUILDING 1 ELEVATIONS
A301	BUILDING 2/3 SECTIONS
A302	BUILDING 1 SECTIONS
A901	MATERIALS

JACKSON, WY  
HIDDEN HOLLOW

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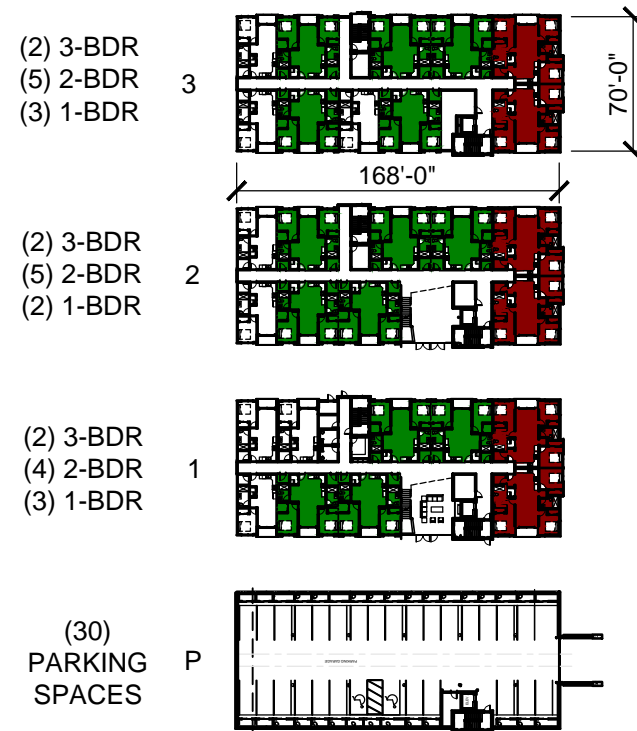
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ZEREN

DATE  
6.15.2018

REVISION

REF SHEET

SHEET NAME  
G101

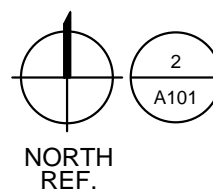


11,517sf/ PLATE (GROSS)  
32,993sf/ BUILDING (NET)  
8,641sf CIRCULATION/PUBLIC (26%)

TOTALS  
(6) 3-BDR = 6,996sf  
(14) 2-BDR = 13,706sf  
(8) 1-BDR = 5,136sf  
(28) UNITS = 25,838sf

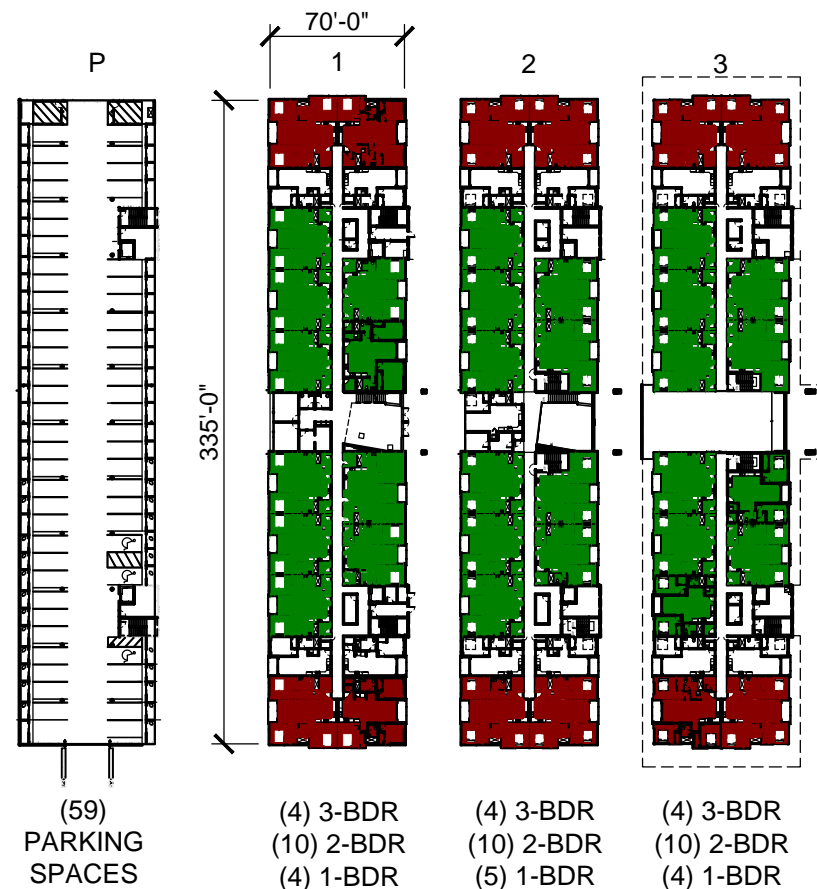
3-BDR 1,166 sf  
2-BDR 979 sf  
1-BDR 642 sf

TOTALS- ALL BUILDINGS  
(30) 3-BDR  
(75) 2-BDR  
(33) 1-BDR  
(138) UNITS  
129,591sf TOTAL FAR  
W/O CIRCULATION



Building 1 Floor Plan

1:100



22,828sf/ PLATE (GROSS)  
65,343sf/ BUILDING (NET)  
14,338sf CIRC./PUBLIC (22%)

TOTALS  
(12) 3-BDR = 13,992sf  
(30) 2-BDR = 29,370sf  
(13) 1-BDR = 8,346sf  
(55) UNITS = 51,708sf

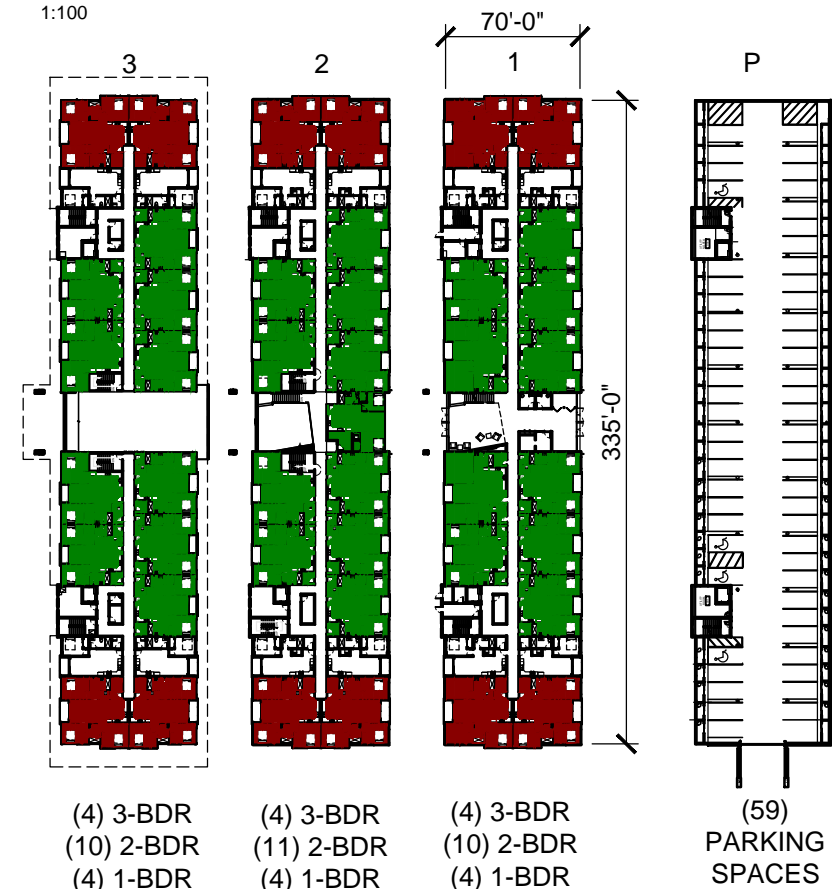
22,828sf/ PLATE (GROSS)  
65,343sf/ BUILDING (NET)  
14,071sf CIRC./PUBLIC (21.5%)

TOTALS  
(12) 3-BDR = 13,992sf  
(31) 2-BDR = 30,349sf  
(12) 1-BDR = 7,704sf  
(55) UNITS = 52,045sf



Building 4/5 Floor Plan

1:100



Building 2/3 Floor Plan

1:100

JACKSON, WY  
HIDDEN HOLLOW

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CHECKED BY  
ZEREN

DATE  
6.15.2018

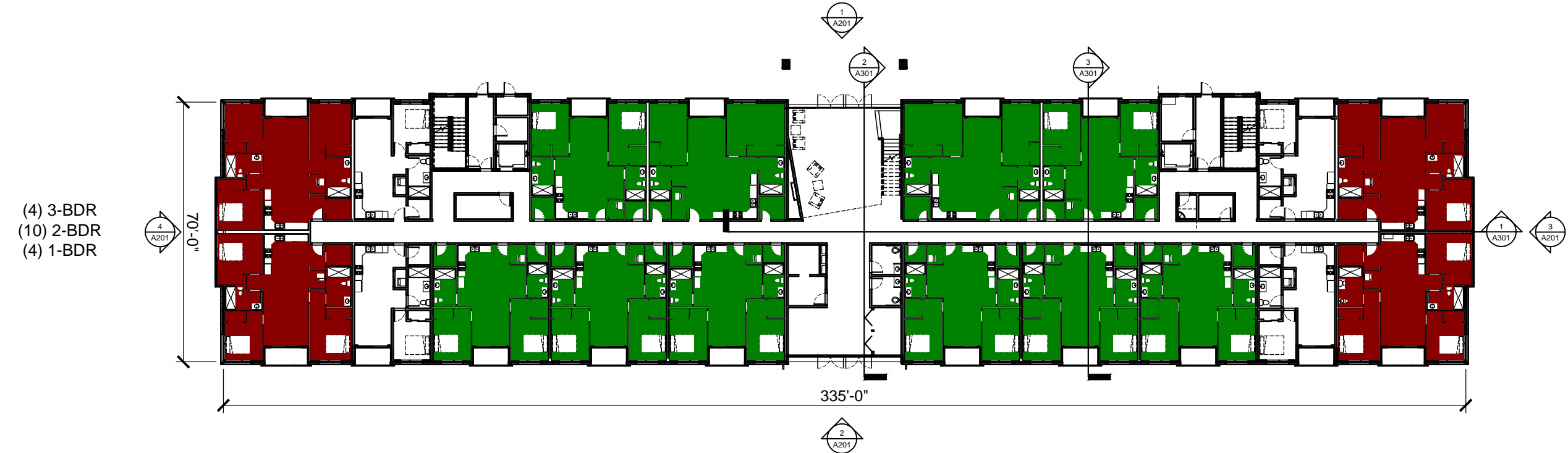
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A101

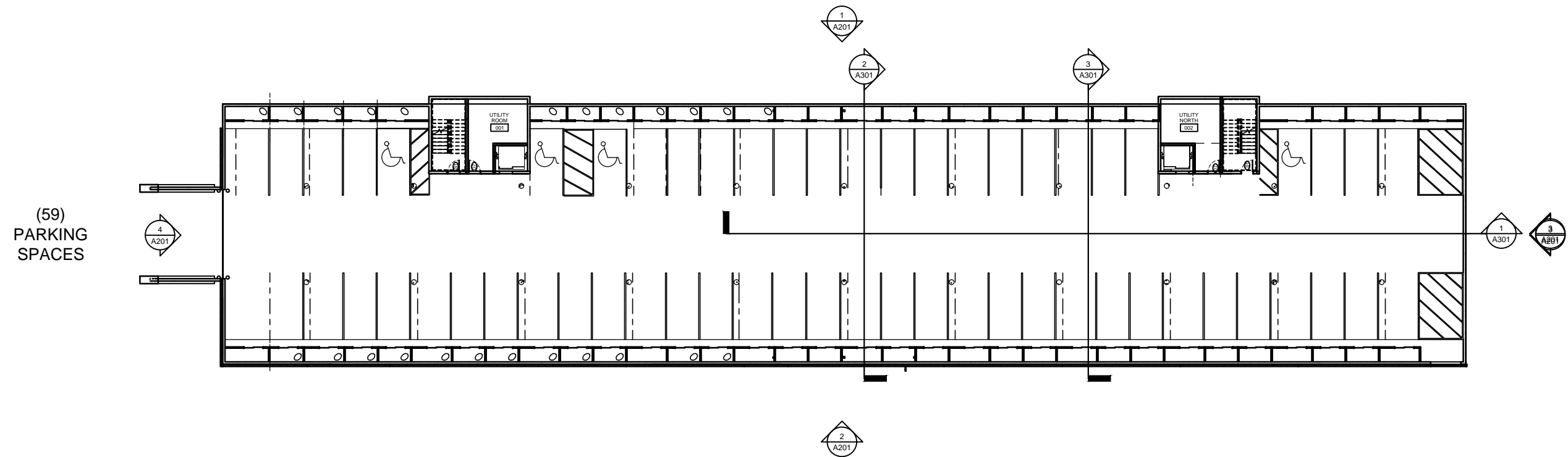


JACKSON, WY  
p 307.733.9955  
f 307.733.9954



- 3-BDR 1,166 sf
- 2-BDR 979 sf
- 1-BDR 642 sf

1 A102 Main Floor Plan - Building 2/3  
1/32"=1'-0"



(59)  
PARKING  
SPACES

2 A102 Parking Level Plan - Building 2/3  
1/32"=1'-0"

JACKSON, WY  
HIDDEN HOLLOW

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ZEREN  
DATE  
6.15.2018

REVISION

REF SHEET

SHEET NAME  
A102





JACKSON, WY  
p 307.733.9955  
f 307.733.9954

(4) 3-BDR  
(10) 2-BDR  
(4) 1-BDR

3-BDR 1,166 sf  
2-BDR 979 sf  
1-BDR 642 sf



1  
A103

Third Floor Plan - Building 2/3

1/32"=1'-0"

(4) 3-BDR  
(11) 2-BDR  
(4) 1-BDR



2  
A103

Second Floor Plan - Building 2/3

1/32"=1'-0"

JACKSON, WY  
HIDDEN HOLLOW

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ZEREN

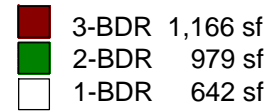
DATE  
6.15.2018

REVISION

REF SHEET

SHEET NAME  
A103







JACKSON, WY  
p 307.733.9955  
f 307.733.9954

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HIDDEN HOLLOW

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DATE  
6.15.2018

REVISION

REF SHEET

SHEET NAME  
A105



3-BDR	1,166 sf
2-BDR	979 sf
1-BDR	642 sf





JACKSON, WY  
p 307.733.9955  
f 307.733.9954

JACKSON, WY  
HIDDEN HOLLOW

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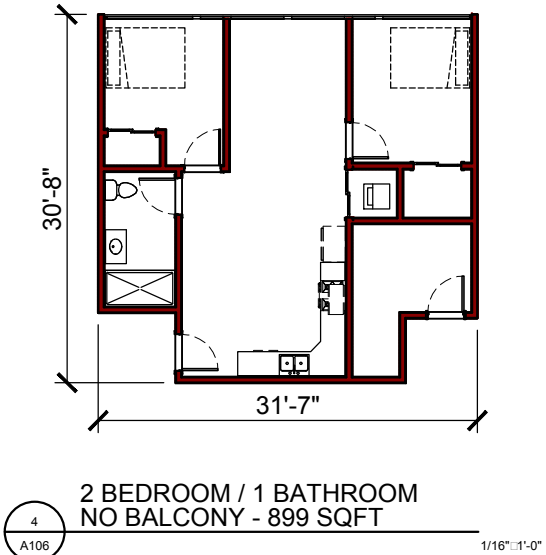
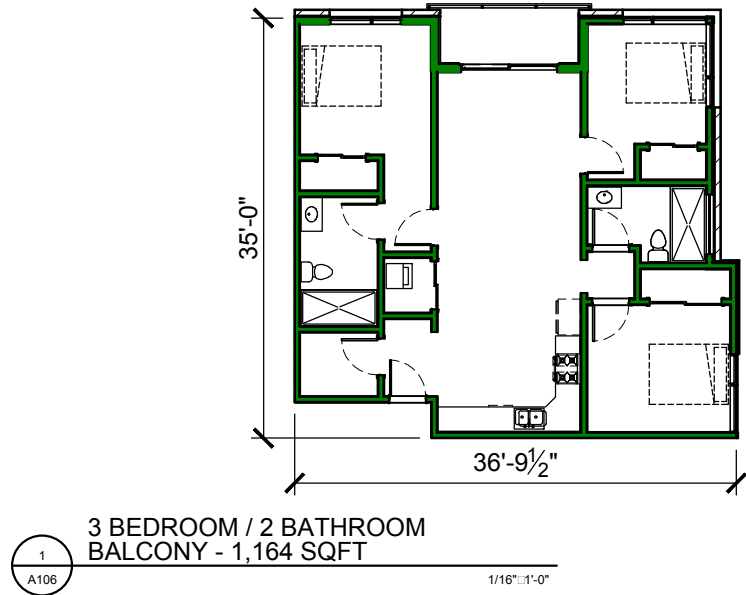
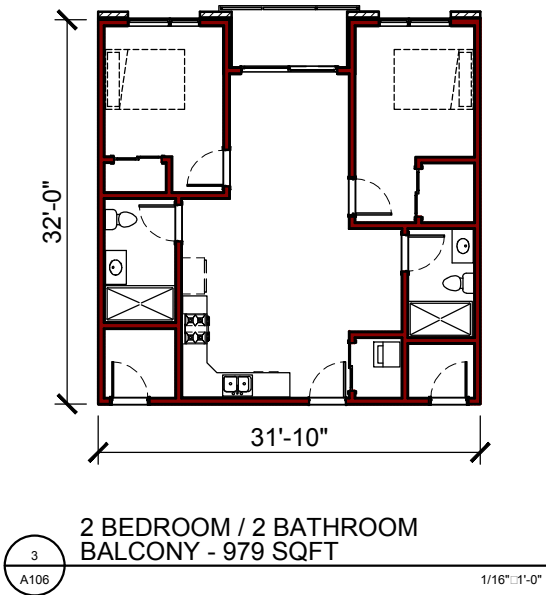
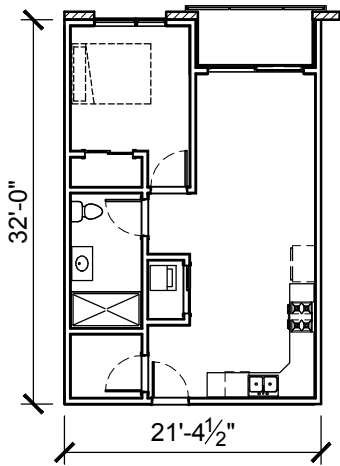
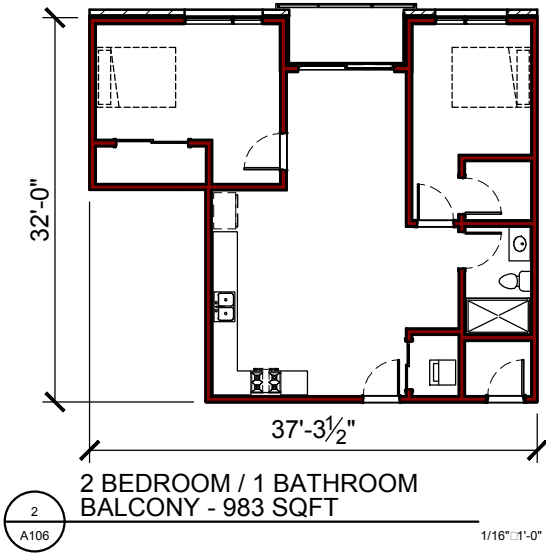
CHECKED BY  
ZEREN

DATE  
6.15.2018

REVISION

REF SHEET

SHEET NAME  
A106







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DATE  
6.15.2018

REVISION

PERSPECTIVE LOOKING NORTHEAST

REF SHEET

SHEET NAME  
**A200a**





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**HIDDEN HOLLOW**

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ZEREN

DATE  
6.15.2018

REVISION

PERSPECTIVE LOOKING NORTHWEST

REF SHEET

SHEET NAME  
**A200b**





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**HIDDEN HOLLOW**

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ZEREN

DATE  
6.15.2018

REVISION

PERSPECTIVE LOOKING SOUTHWEST

REF SHEET

SHEET NAME  
**A200c**





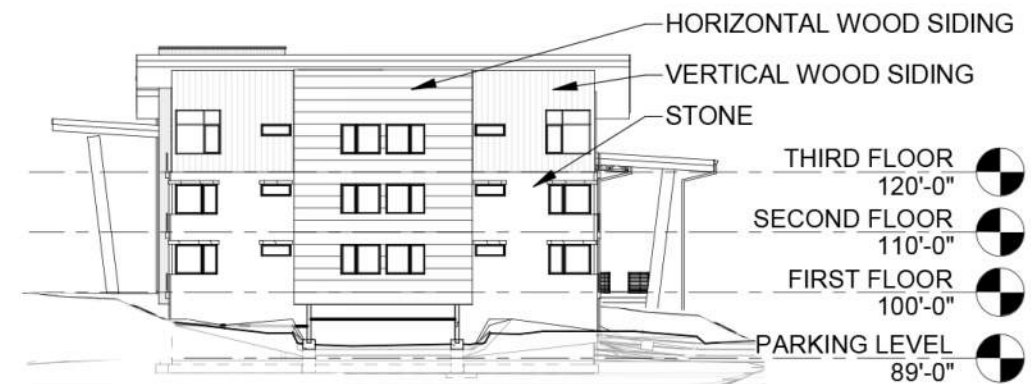
1 OVERALL WEST ELEVATION  
A.201 1/32" = 1'-0"



2 OVERALL EAST ELEVATION  
A.201 1/32" = 1'-0"



3 OVERALL NORTH ELEVATION  
A.201 1/32" = 1'-0"



4 OVERALL SOUTH ELEVATION  
A.201 1/32" = 1'-0"

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HIDDEN HOLLOW

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ZEREN

DATE  
6.15.2018

REVISION

REF SHEET

SHEET NAME  
A201



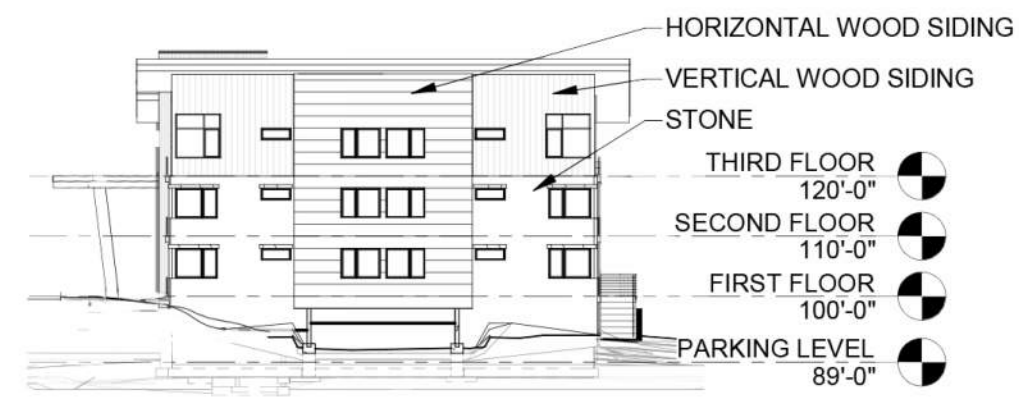
BUILDING 1  
OVERALL SOUTH ELEVATION



BUILDING 1  
OVERALL NORTH ELEVATION



BUILDING 1  
OVERALL WEST ELEVATION



BUILDING 1  
OVERALL EAST ELEVATION

JACKSON, WY  
HIDDEN HOLLOW

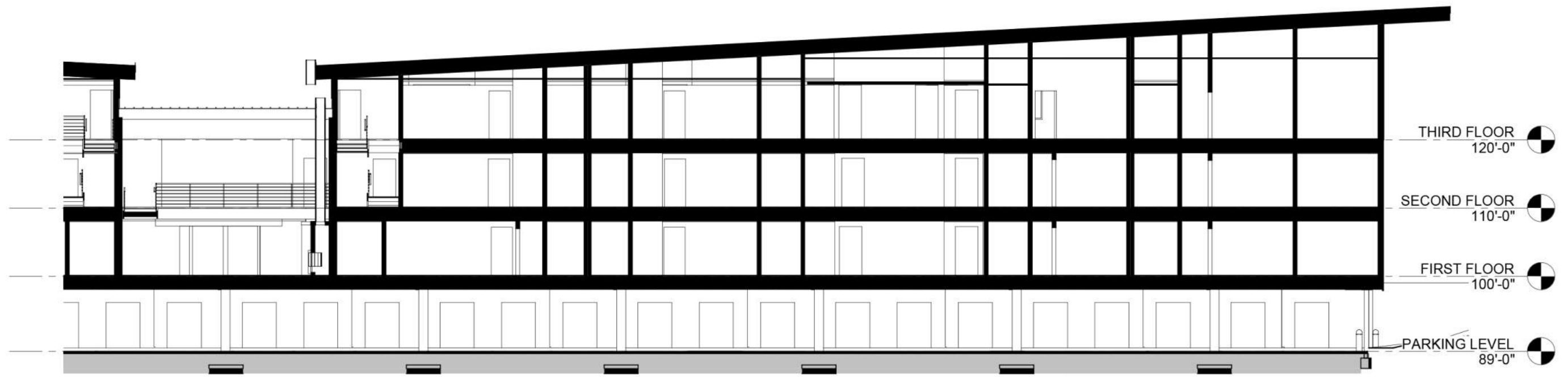
© 2018 | ALL RIGHTS RESERVED

CHECKED BY  
ZEREN  
DATE  
6.15.2018  
REVISION

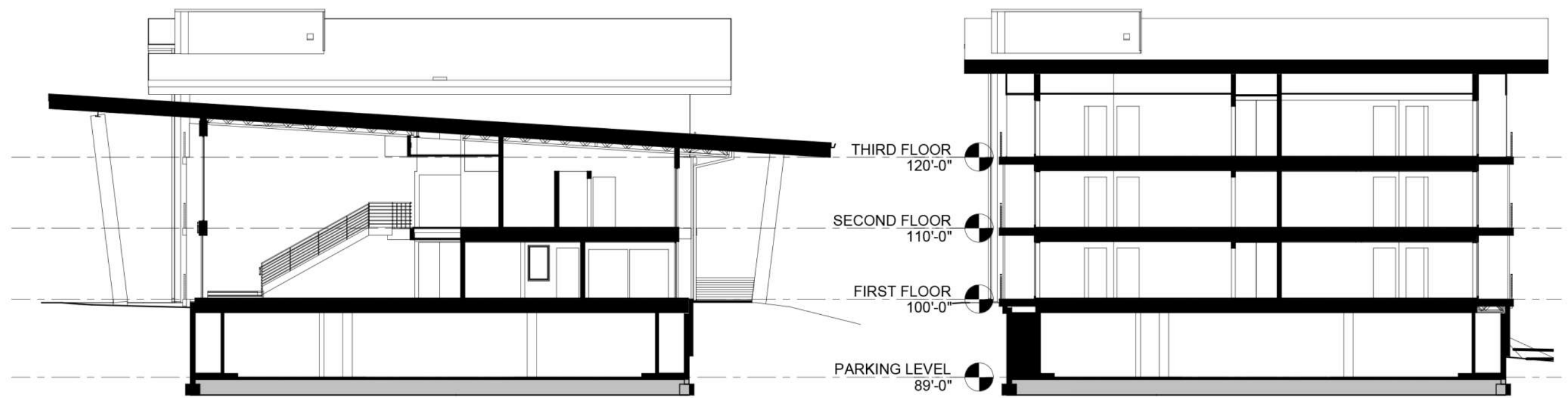
REF SHEET

SHEET NAME  
A202





1 BUILDING SECTION SOUTH  
A.301 1/16" = 1'-0"



2 LOBBY BUILDING SECTION  
A.301 1/16" = 1'-0"

3 BUILDING CROSS SECTION  
A.301 1/16" = 1'-0"

JACKSON, WY  
HIDDEN HOLLOW

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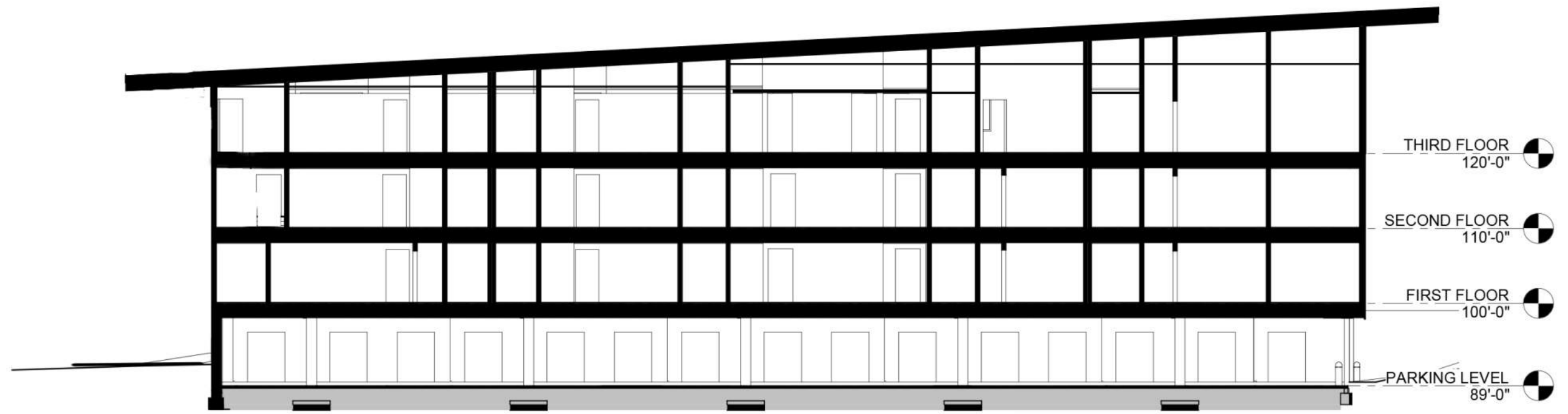
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ZEREN

DATE  
6.15.2018

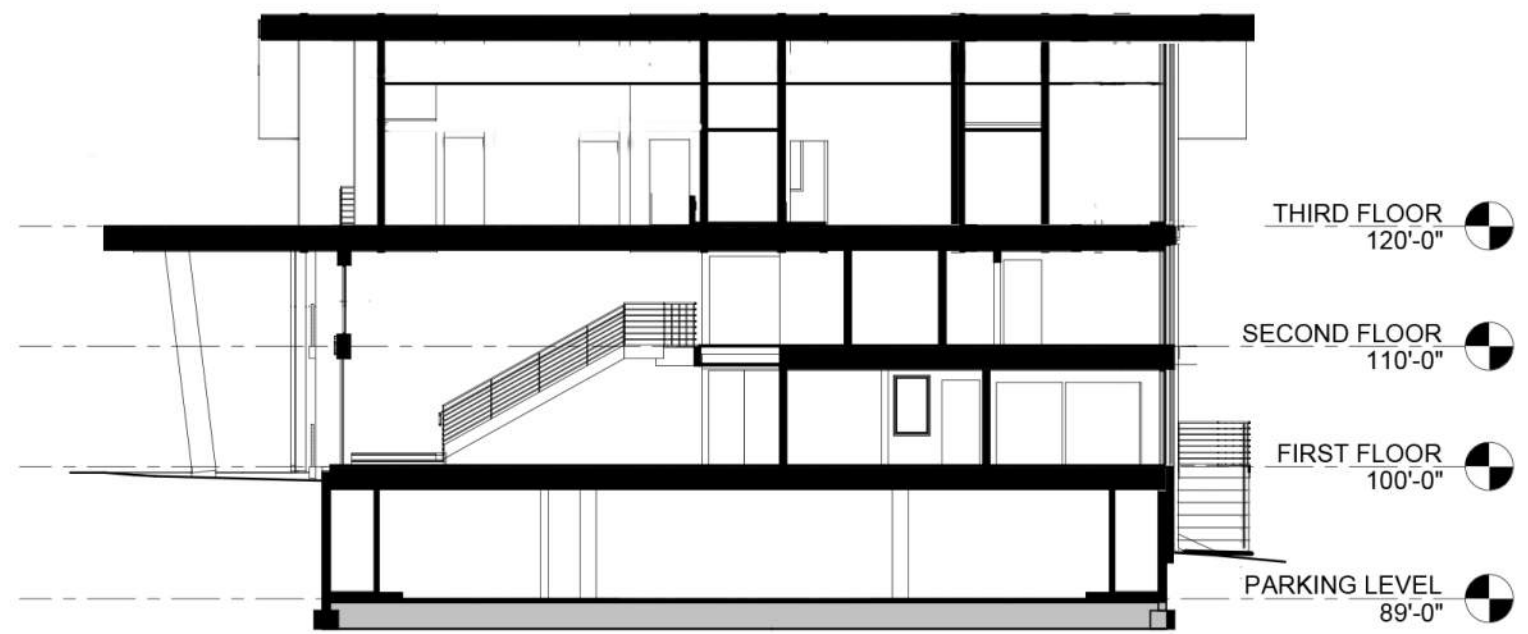
REVISION

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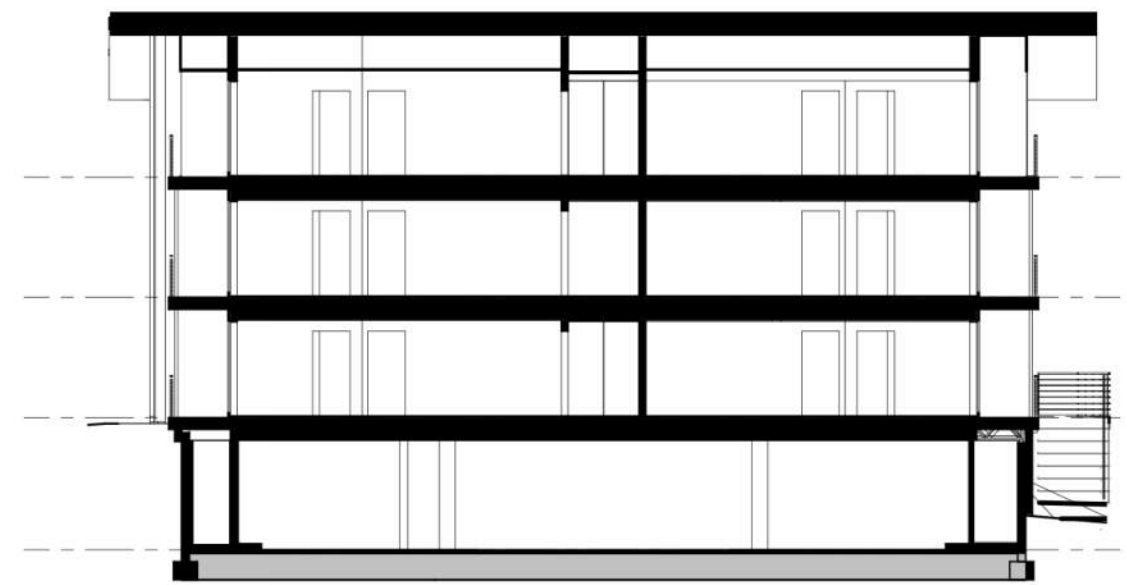
SHEET NAME  
A301



1 BUILDING 1 - NORTH SECTION  
A.302 1/16" = 1'-0"



2 LOBBY BUILDING 1-SECTION  
A.302 1/16" = 1'-0"



3 BUILDING CROSS SECTION  
A.302 1/16" = 1'-0"

JACKSON, WY  
HIDDEN HOLLOW

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CHECKED BY  
ZEREN

DATE  
6.15.2018

REVISION

REF SHEET

SHEET NAME  
A302



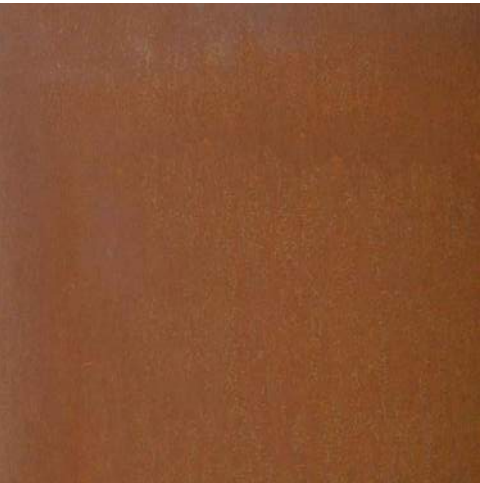
JACKSON, WY  
p 307.733.9955  
f 307.733.9954



VERTICAL WOOD SIDING



HORIZONTAL WOOD SIDING



CORTEN STEEL



STONE



WINDOWS & FLASHING

JACKSON, WY  
HIDDEN HOLLOW

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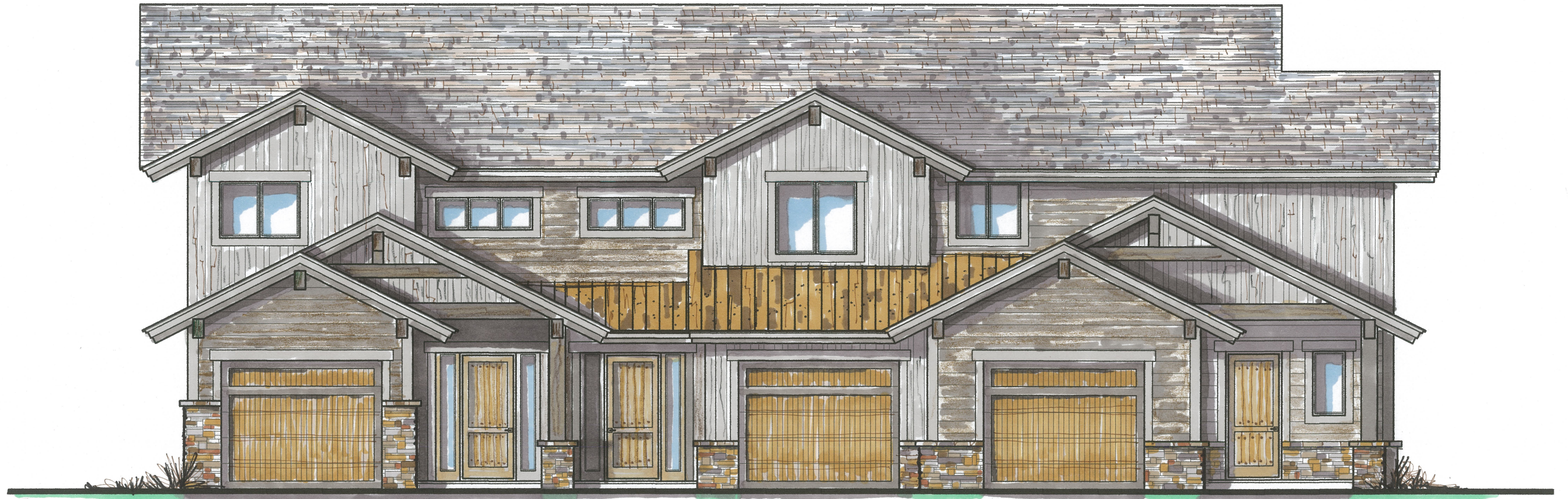
DATE  
6.15.2018

REVISION

REF SHEET

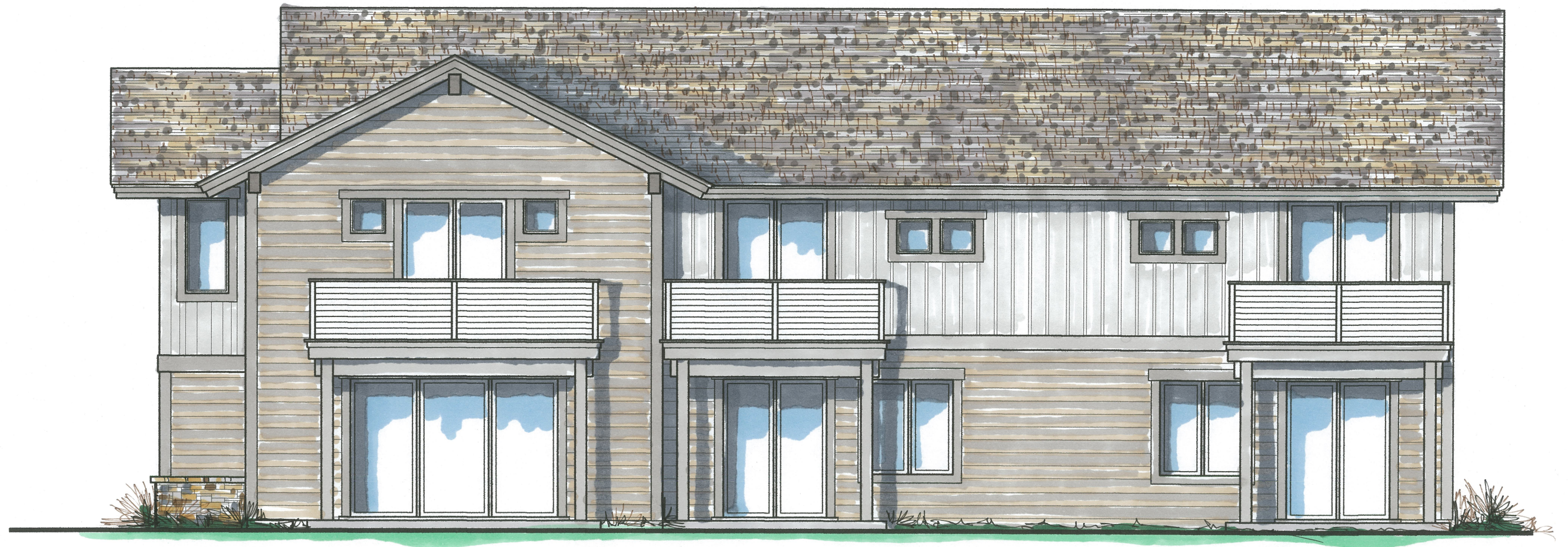
SHEET NAME  
A901





**FRONT EXTERIOR ELEVATION**



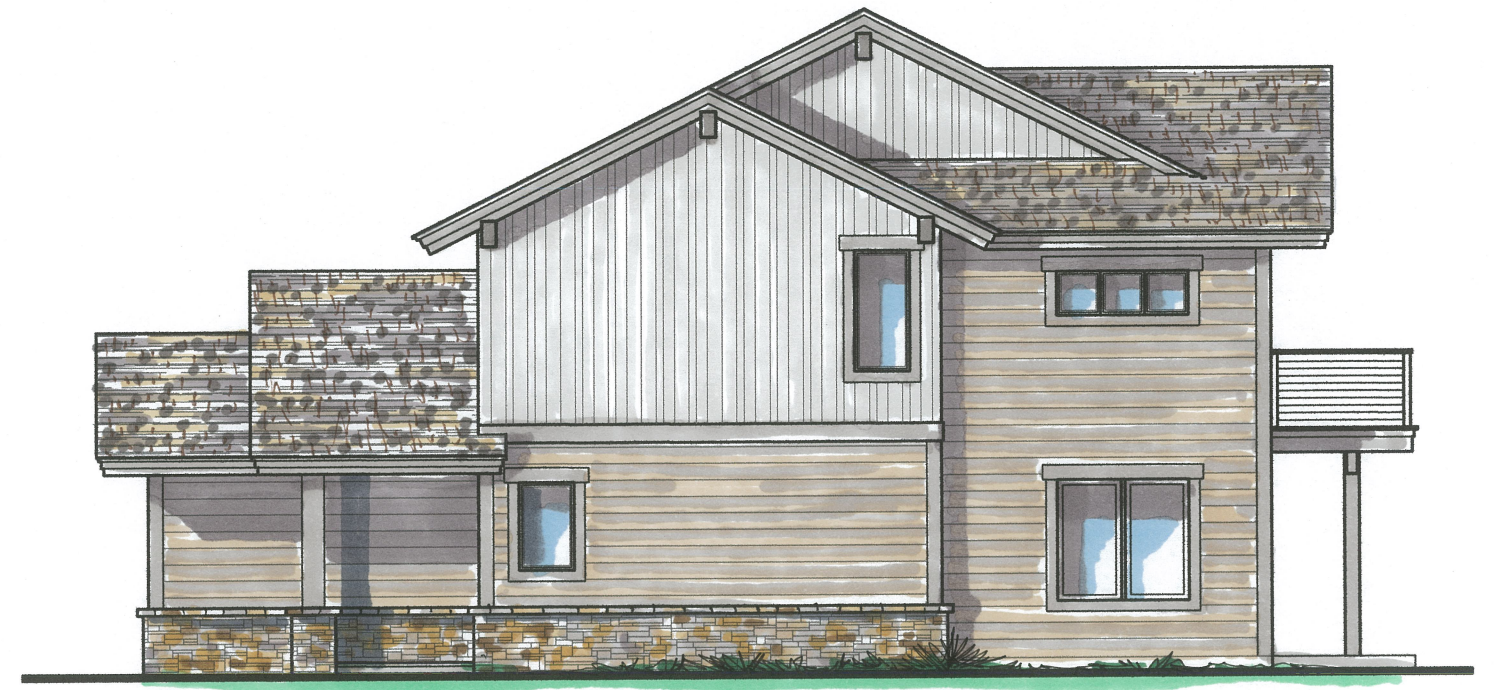


**REAR EXTERIOR ELEVATION**





**LEFT EXTERIOR ELEVATION**



**RIGHT EXTERIOR ELEVATION**





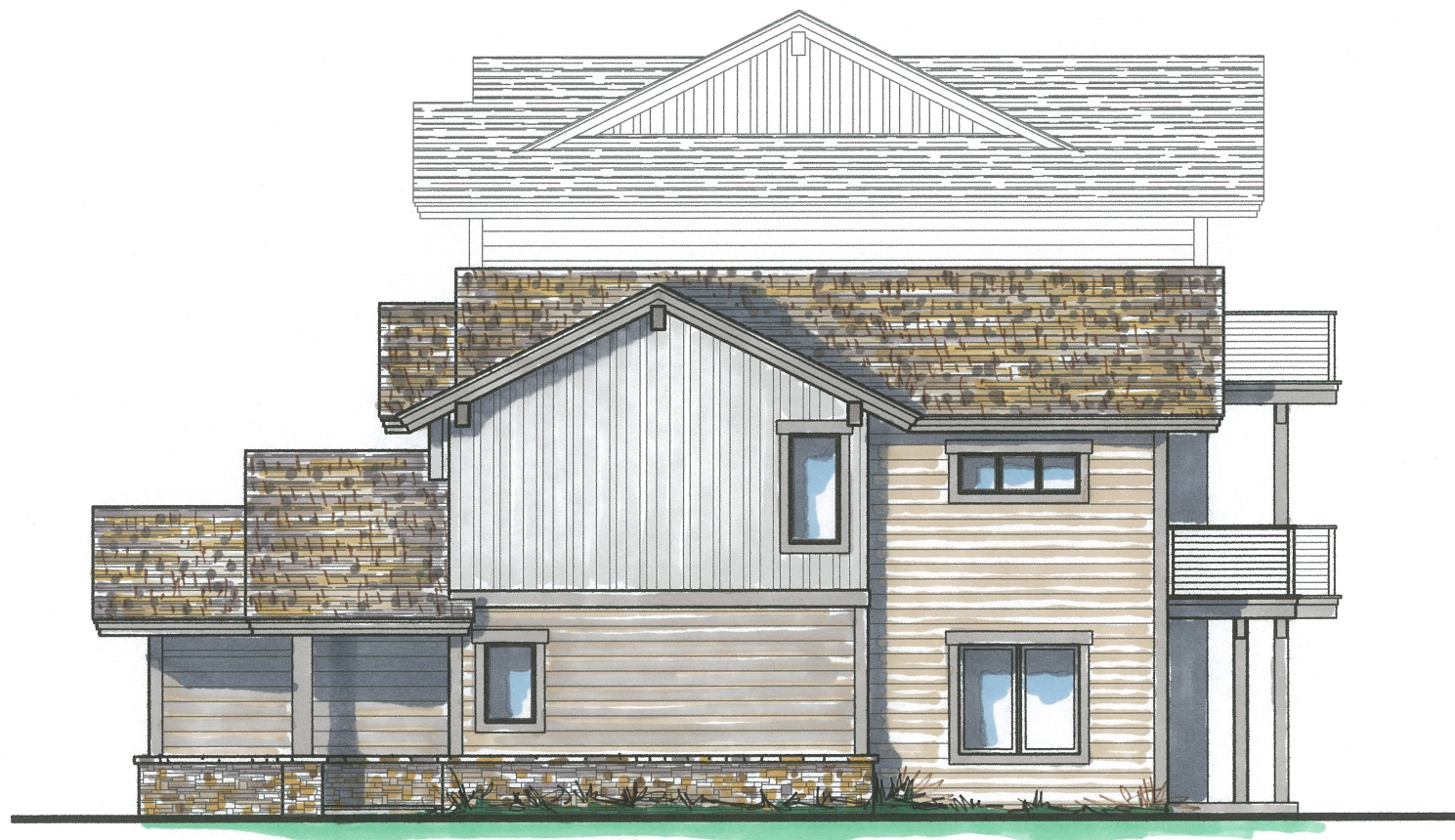
**FRONT EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"





**REAR EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

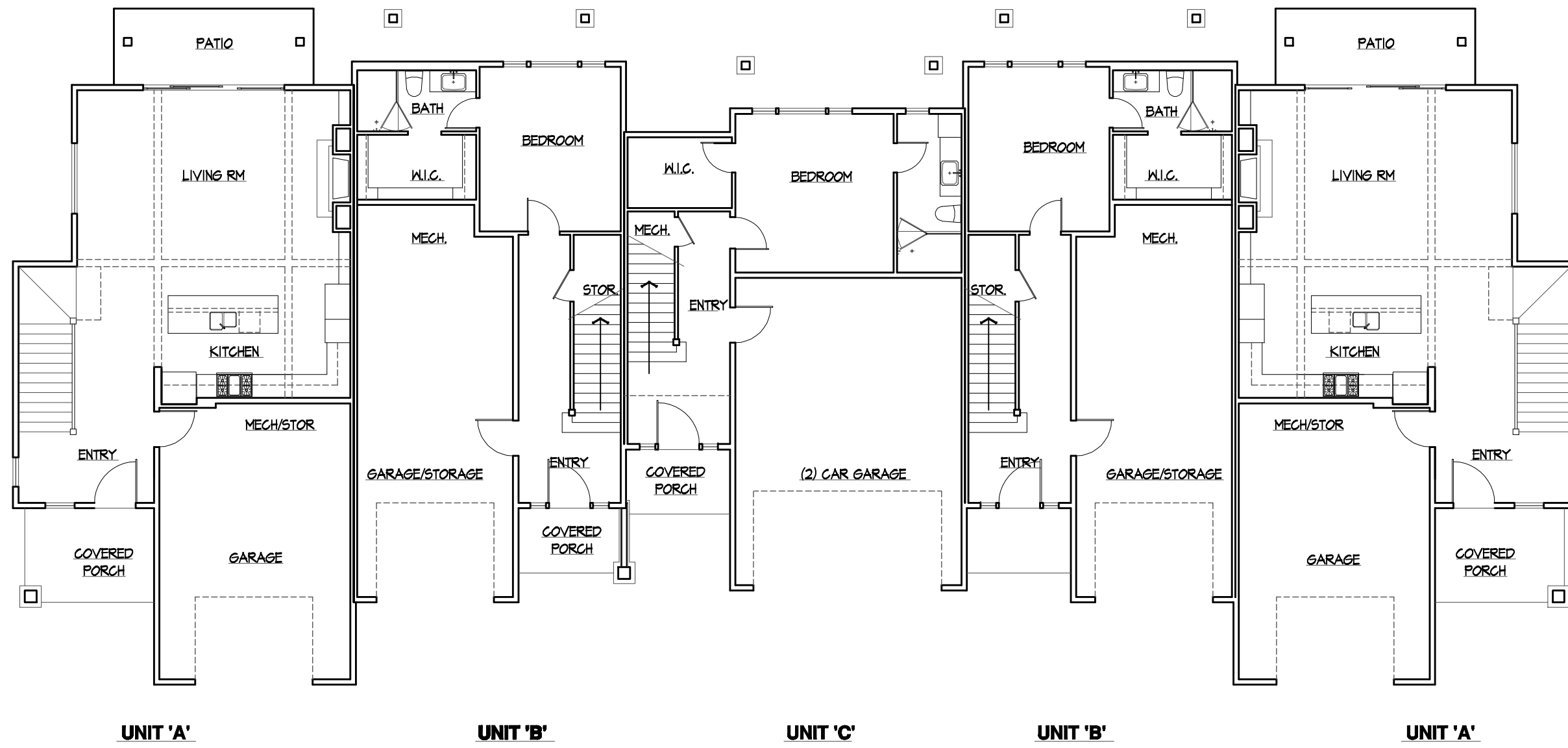




**RIGHT EXTERIOR ELEVATION**



**LEFT EXTERIOR ELEVATION**



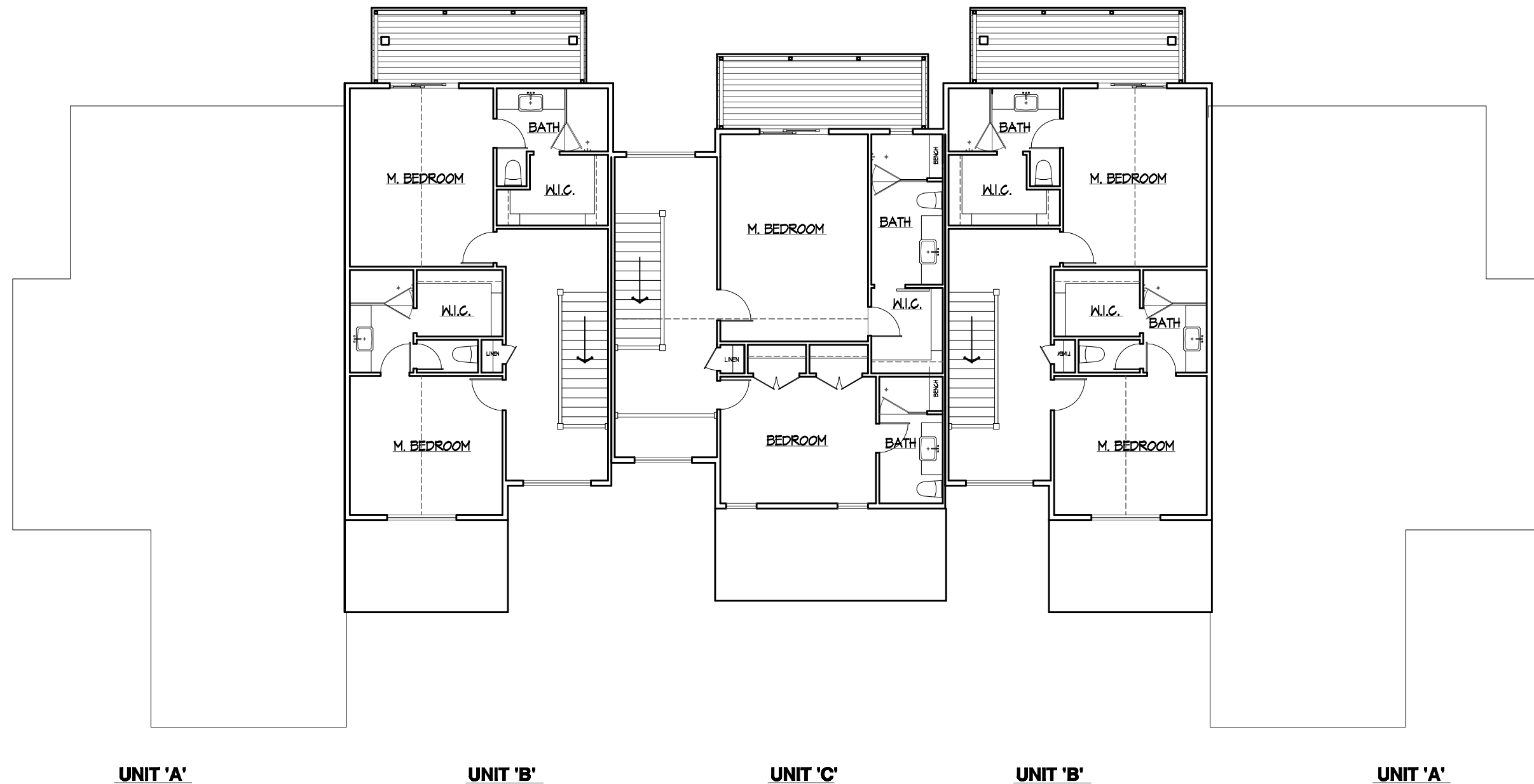
SQUARE FOOTAGE TABLE	
<b>UNIT 'A'</b>	
SQUARE FOOTAGE:	
MAIN FLOOR:	821 SQ FT
2ND FLOOR:	148 SQ FT
TOTAL:	1,769 SQ FT
GARAGE:	400 SQ FT
DECKS:	148 SQ FT
FRONT PORCH:	88 SQ FT
<b>UNIT 'B'</b>	
SQUARE FOOTAGE:	
MAIN FLOOR:	935 SQ FT
2ND FLOOR:	874 SQ FT
2ND FLOOR:	841 SQ FT
TOTAL:	2,544 SQ FT
GARAGE:	461 SQ FT
DECKS:	242 SQ FT
FRONT PORCH:	54 SQ FT
<b>UNIT 'C'</b>	
SQUARE FOOTAGE:	
MAIN FLOOR:	588 SQ FT
2ND FLOOR:	403 SQ FT
2ND FLOOR:	403 SQ FT
TOTAL:	2,594 SQ FT
GARAGE:	531 SQ FT
DECKS:	238 SQ FT
FRONT PORCH:	50 SQ FT

# Hidden Hollow Townhomes 5 UNIT MAIN FLOOR PLAN

BUILDING SQUARE FOOTAGE:  
MAIN FLOOR: 5,308 SQ FT  
2ND FLOOR: 4,501 SQ FT  
3RD FLOOR: 2,511 SQ FT  
TOTAL: 10,442 SQ FT

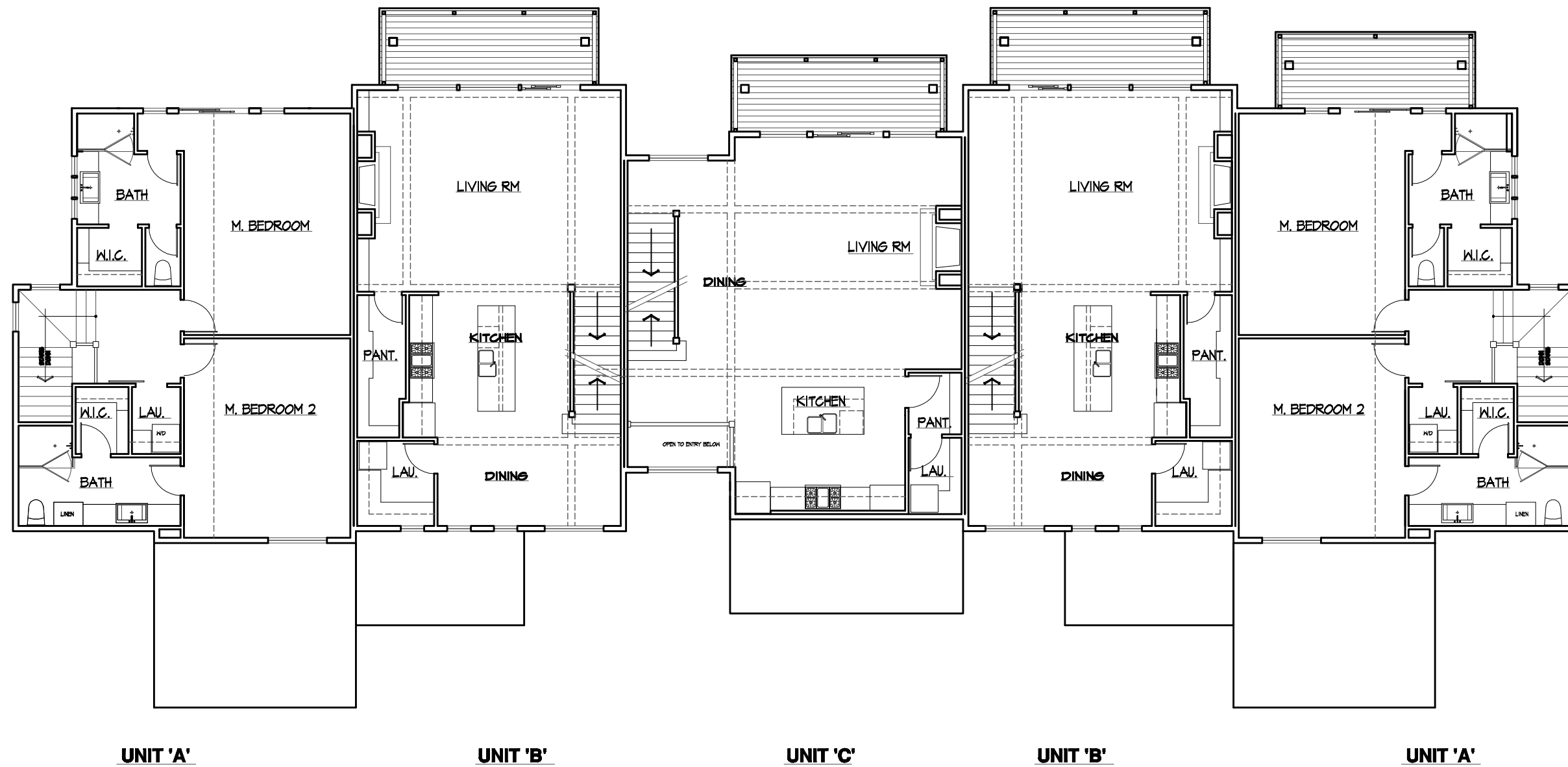
GARAGE: 2,255 SQ FT  
DECKS: 1,118 SQ FT  
FRONT PORCH: 354 SQ FT

SCALE: 1/8" = 1'-0"



## Hidden Hollow Townhomes 5 UNIT 3RD FLOOR PLAN

SCALE: 1/8" = 1'-0"



# Hidden Hollow Townhomes 5 UNIT 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"





**5 UNIT RIGHT EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"



**5 UNIT LEFT EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"

**Hidden Hollow Townhomes**

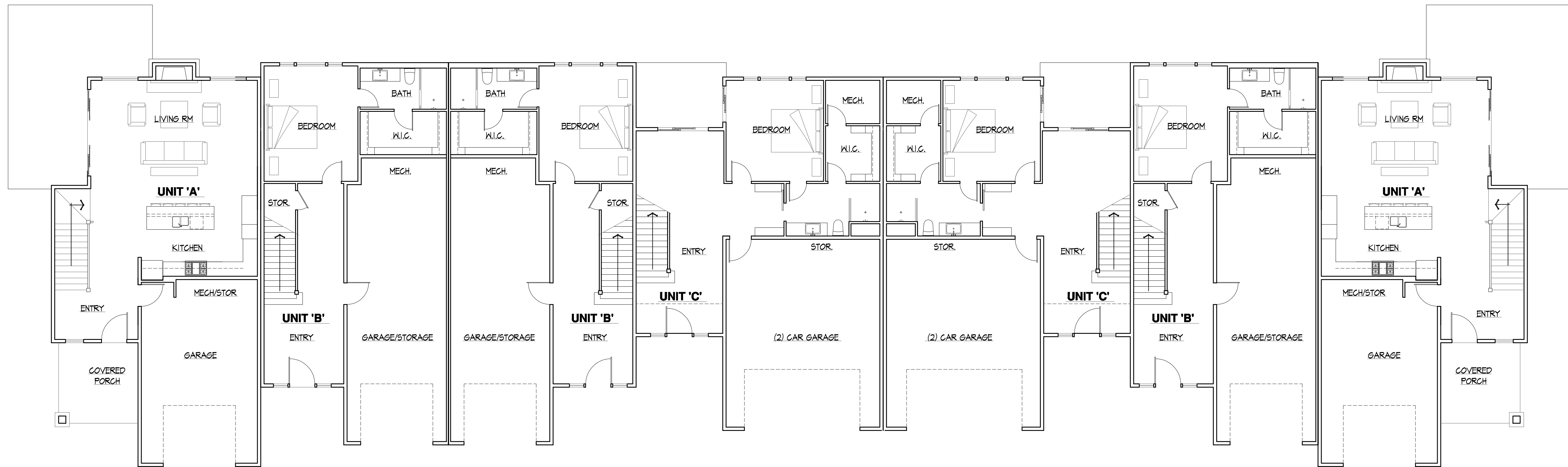


**Hidden Hollow Townhomes**  
**5 UNIT REAR EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**Hidden Hollow Townhomes**  
**5 UNIT FRONT EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"





SQUARE FOOTAGES:	
UNIT 'A'	
MAIN FLOOR:	850 SQ FT
UPPER FLOOR:	415 SQ FT
UNIT 'B'	
MAIN FLOOR:	730 SQ FT
2ND FLOOR:	1,092 SQ FT
3RD FLOOR:	1,090 SQ FT
UNIT 'C'	
MAIN FLOOR:	854 SQ FT
UPPER FLOOR:	1,106 SQ FT
UPPER FLOOR:	1,106 SQ FT

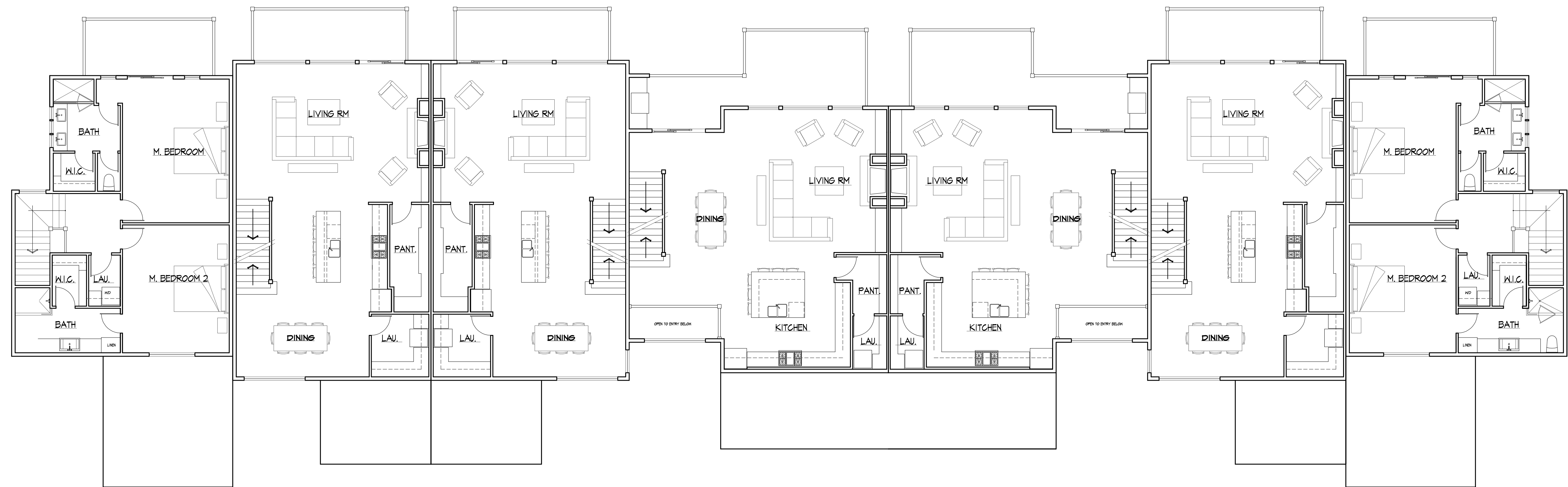
## MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

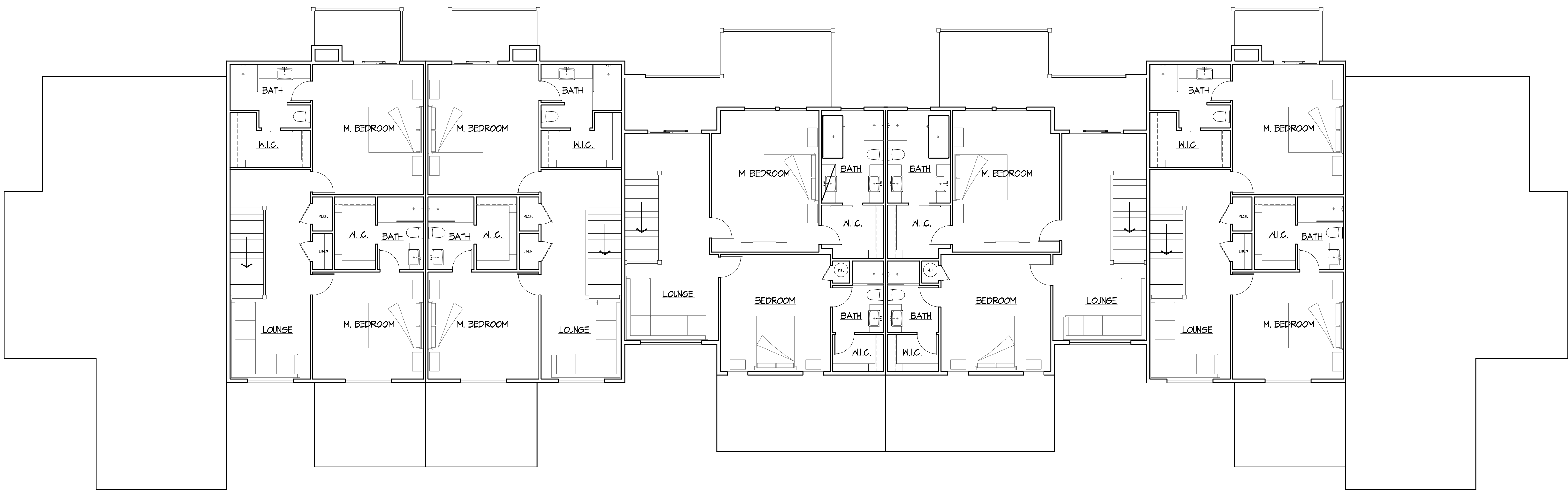
**Robertson Associates**

P.O. Box 678  
Rigby, Idaho  
83442

Phone: (208) 589-9967  
Fax: (208) 523-7640



**2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**3RD FLOOR PLAN**

SCALE: 1/8" = 1'-0"





# HIDDEN HOLLOW

## HANSEN AND HANSEN, LLP

### PHASE 2 - DEVELOPMENT PLAN

#### JACKSON, WYOMING

LOCATED WITHIN THE NW¼ SW¼  
SECTION 27,  
T41N, R116W, 6TH P.M.  
TETON COUNTY, WYOMING



**OWNER**  
Hansen and Hansen, LLP  
Lane Powell  
P.O. Box 50106  
Idaho Falls, ID 83405  
(208) 419-5886



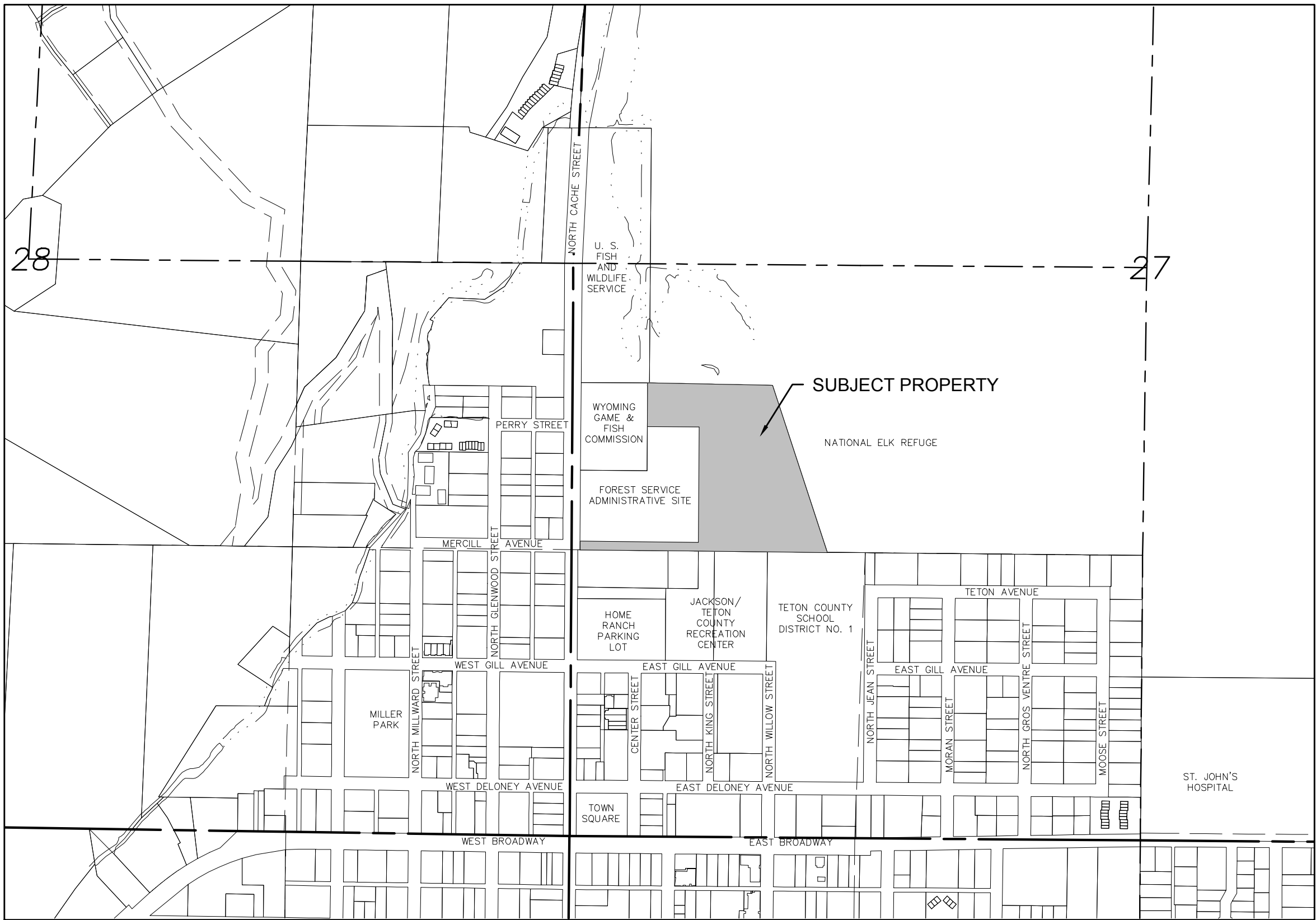
**ENGINEER, SURVEYOR,  
AND LAND USE PLANNER**  
Jorgensen Associates, P.C.  
1315 S. Highway 89, Box 201  
P.O. Box 9550  
Jackson, WY 83002-9550  
(307) 733-5150



**LANDSCAPE ARCHITECT**  
Hershberger Design  
560 South Glenwood Street  
Jackson, WY 83001  
(307) 739-1001



**ARCHITECT**  
CTA Architects  
1110 Maple Way, Ste. F  
Jackson, WY 83001  
(307) 733-9955



**VICINITY MAP**  
1" = 500' for 22.34 Prints  
1" = 1,000' for 11.17 Prints

#### INDEX OF SHEETS

- C1.1 TITLE, VICINITY MAP, INDEX
- C1.2 GENERAL NOTES AND LEGEND
- C1.3 EXISTING CONDITIONS
- C2.1 CIVIL OVERVIEW
- C3.1 ROAD TYPICAL SECTIONS
- C3.2 APARTMENT ACCESS SOUTH ROAD
- C3.3 APARTMENT ACCESS NORTH ROAD
- C3.4 APARTMENT GARAGE ACCESS
- C3.5 HIDDEN HOLLOW ROAD
- C3.6 SITE GRADING PLAN
- C3.7 TOWNHOUSE GRADING & UTILITY PLAN
- C3.8 SITE RETAINING WALL
- C4.1 WATER MAIN B
- C5.1 SANITARY SEWER MAIN C
- C6.1 STORMWATER MAIN A & B
- C7.1 GEOTHERMAL SUPPLY MAIN A
- C7.2 GEOTHERMAL DISCHARGE MAIN A
- C8.1 ROAD AND SITE DETAILS
- C8.2 GRADING AND SITE DETAILS
- C8.3 WATER SYSTEM DETAILS
- C8.4 SANITARY SEWER DETAILS
- C8.5 STORMWATER SYSTEM DETAILS



**JORGENSEN**  
JACKSON, WYOMING  
307.733.5150  
www.jorgensenassociates.com

PROJECT TITLE:  
HIDDEN HOLLOW  
HANSEN & HANSEN, LLP  
PHASE 2 DEVELOPMENT PLAN  
TOWN OF JACKSON, WYOMING

SHEET TITLE:  
TITLE, VICINITY MAP, INDEX

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	16016.10
SHEET	C1.1



LINE LEGEND









































EXISTING	PROPOSED



LEGEND (2016-09-1 ADDITIONAL)

- ## STORM DRAIN MANHOLE DETAILS

## LEGEND

- |   |   |   |   |
|---|---|---|---|
|    | Certified Land Corner of Record, monument below surface in water valve box  |   |   |
|    | 3-1/4" diameter aluminum cap inscribed "US DEPT OF AGRICULTURE FOREST SERVICE 2012 PLS 7049" with other appropriate markings, found this survey |   |   |
|    | 3-1/4" diameter aluminum cap inscribed "US DEPT OF AGRICULTURE FOREST SERVICE 1985 RLS 164" with other appropriate markings, found this survey  |   |   |
|    | 3" diameter brass cap inscribed "PE&LS 578" with other appropriate markings, found this survey; NOTE: "WC" indicates witness corner--see detail |   |   |
|    | 3-1/4" diameter brass cap inscribed "1967 RLS 164" with other appropriate markings, found this survey   |   |   |
|    | boundary, SUBJECT PROPERTY  |    | sanitary sewer line                                     |
|    | boundary, EASEMENT, as noted  |    | storm drain inlet                                       |
|    | boundary, ADJOINING/ADJACENT PROPERTY   |    | storm drain manhole                                     |
|    | measured bearing & distance or curve geometry   |    | storm drain line  |
|    | record bearing & distance or curve geometry   |    | storm culvert, 18" dia. CMP, abandoned                  |
|    | telephone pedestal  |    | hydrant, fire protection                                |
|    | fiber optic vault   |    | curbstop  |
|   | broadband vault   |   | water service connection with curbstops and checkvalves |
|  | natural gas valve   |  | spigot  |
|  | gas service (abandoned)   |  | water valve   |
|  | electric junction box   |  | traffic signal control vault                            |
|  | electric meter/service  |  | monitoring well   |
|  | electric power transformer  |  | test pit  |
|  | electric utility vault  |  | edge of concrete  |
|  | utility pole  |  | edge of pavement  |
|  | guy anchor  |  | top of bank   |
|  | sanitary sewer cleanout   |  | fence, wood post & rail                                 |
|  | sanitary sewer manhole  |   |   |

NOTE:

SITE CHANGES HAVE OCCURRED SINCE THE  
COMPLETION OF THIS MAP OF SURVEY.

## NOTES

This survey was conducted during April through July 2016 and prepared under the direction of Kenneth G. Magrath, Wyoming PLS 8469 and does not include an engineering review.

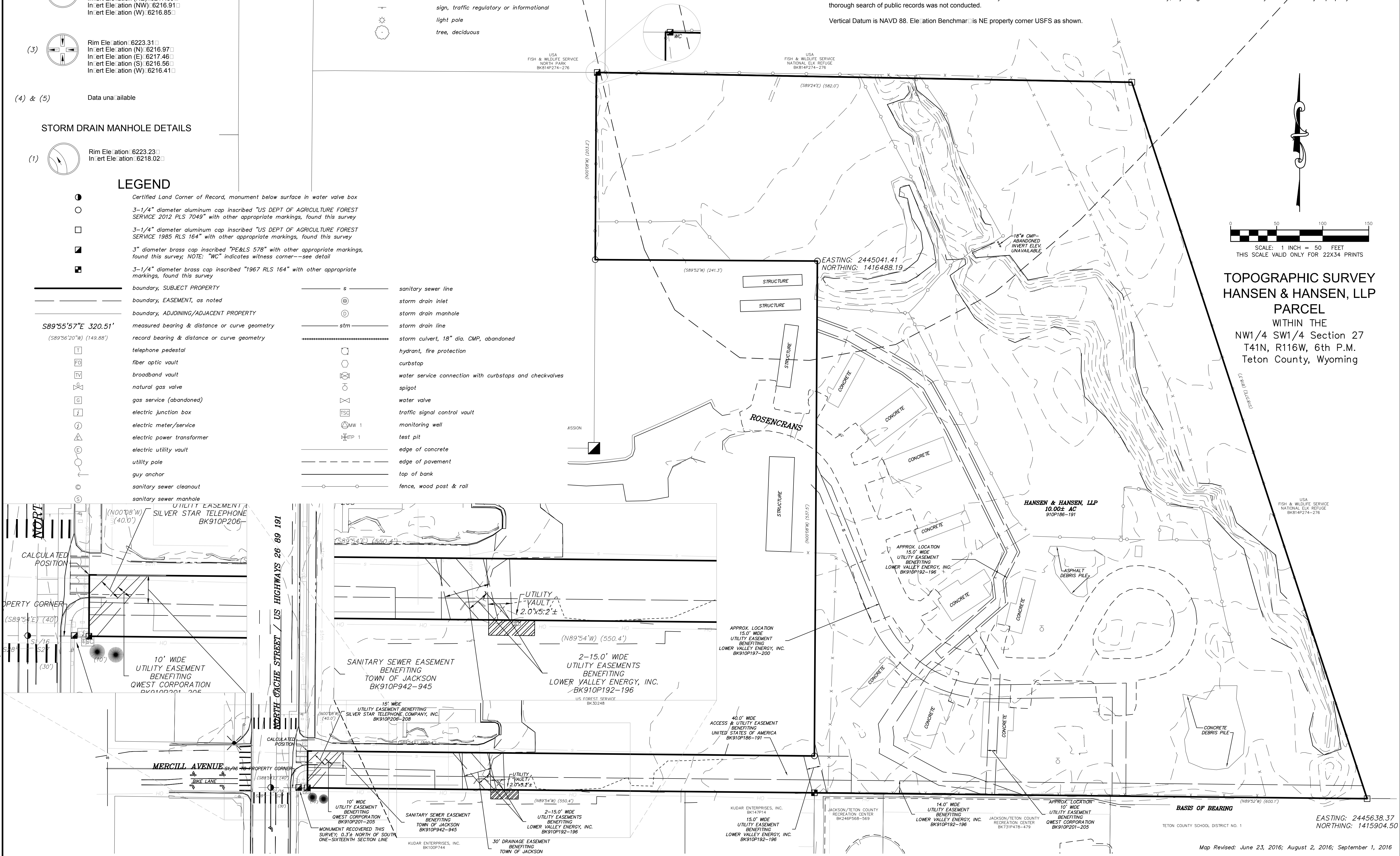
The BASIS OF BEARING for this survey is N89°23'53"W on the south boundary of the subject property between found monuments as depicted hereon.

Locations of structures depicted hereon derived from aerial photography

Locations of utilities depicted hereon are limited to visible structures; underground location must be verified prior to any construction activity.

Easements shown and/or noted hereon are based on readily available records in the Office of the Clerk of Teton County, Wyoming. Other easements may exist on the subject property. A thorough search of public records was not conducted.

Vertical Datum is NAVD 88. Elevation Benchmark is NE property corner USFS as shown.



PROJECT TITLE:  
HIDDEN HOLLOW  
HANSEN & HANSEN, LLP  
PHASE 2 DEVELOPMENT PLAN  
TOWN OF JACKSON, WYOMING

SHEET TITLE:  
**EXISTING CONDITIONS**

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	16016.10
SHEET	C1.3



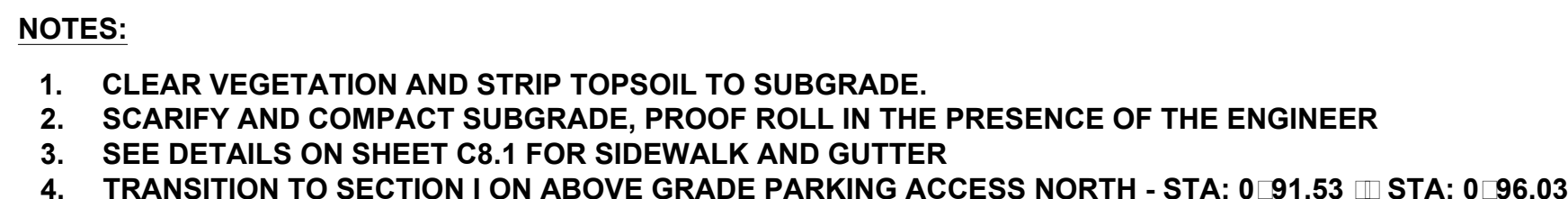


PROJECT TITLE:  
HIDDEN HOLLOW  
HANSEN & HANSEN, LLP  
PHASE 2 DEVELOPMENT PLAN  
TOWN OF JACKSON, WYOMING

SHEET TITLE:  
CIVIL OVERVIEW

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DAT
FDP 1B	07/01/20
GEC 1B	10/13/20
GEC 1B-R1	11/15/20
GEC 1B-R2	12/14/20
GEC 1B-R3	01/31/20
DEV P2	06/20/20
PROJECT NUMBER	
1601610	
SHEET	
C2.1	





10' PATHWAY  
AT 2.0%

2.0%

TOPSOIL

3:1 MAX

2" PLANT MIX  
BITUMINOUS PAVEMENT

4" OF 3/4" MINUS CRUSHED  
GRAVEL BASE COURSE GRADING H

9" PIT RUN SUBBASE

MIRAF RS380 GEOTEXTILE  
WHERE APPLICABLE

TOPSOIL

3:1 MAX

- NOTES:**
1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
  2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER

The diagram illustrates a cross-section of a proposed parking area. Key dimensions and components include:

- Dimensions:**
  - 7' SIDEWALK AT 2:1 SLOPE TO STREET
  - 18" VERTICAL CURB AND GUTTER
  - 12' TRAVEL WAY
  - 12' TRAVEL WAY
  - 18' PARKING AREA
  - 18" VERTICAL CURB AND GUTTER
  - 7' SIDEWALK AT 2:1 SLOPE TO STREET
- Layers and Materials:**
  - TOPSOIL (3:1 MAX)
  - 6" CONCRETE
  - 3" PLANT MIX BITUMINOUS PAVEMENT
  - 6" OF 3/4" MINUS CRUSHED GRAVEL BASE COURSE GRADING H
  - 12" PIT RUN SUBBASE
  - MIRAFI RS580 GEOTEXTILE TOP OF SUBGRADE
  - 8" OF 3/4" MINUS CRUSHED GRAVEL BASE COURSE GRADING H
  - 6" CONCRETE

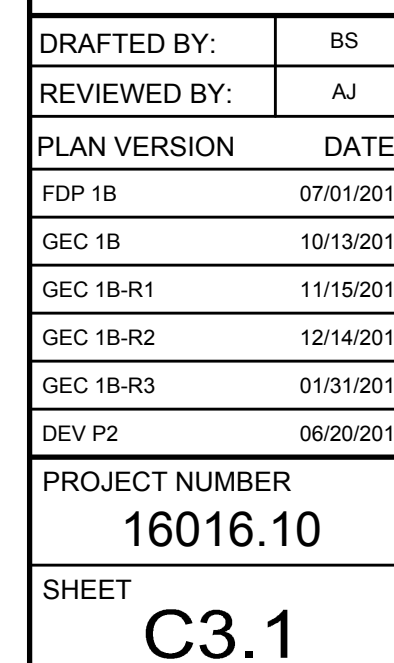
**NOTES:**

1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER
3. SEE DETAILS ON SHEET C8.1 FOR SIDEWALK AND GUTTER

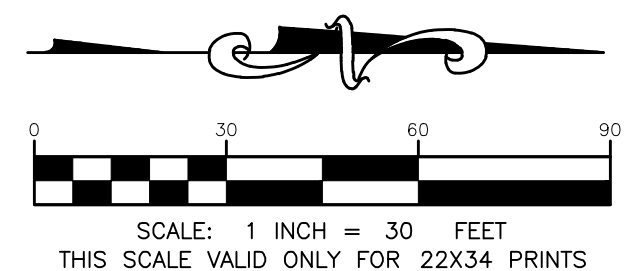
- NOTES:**
1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
  2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER.
  3. SEE DETAILS ON SHEET C8.1 FOR SIDEWALK AND GUTTER

- NOTES:**
1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
  2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER
  3. SEE DETAILS ON SHEET C8.1 FOR SIDEWALK AND GUTTER

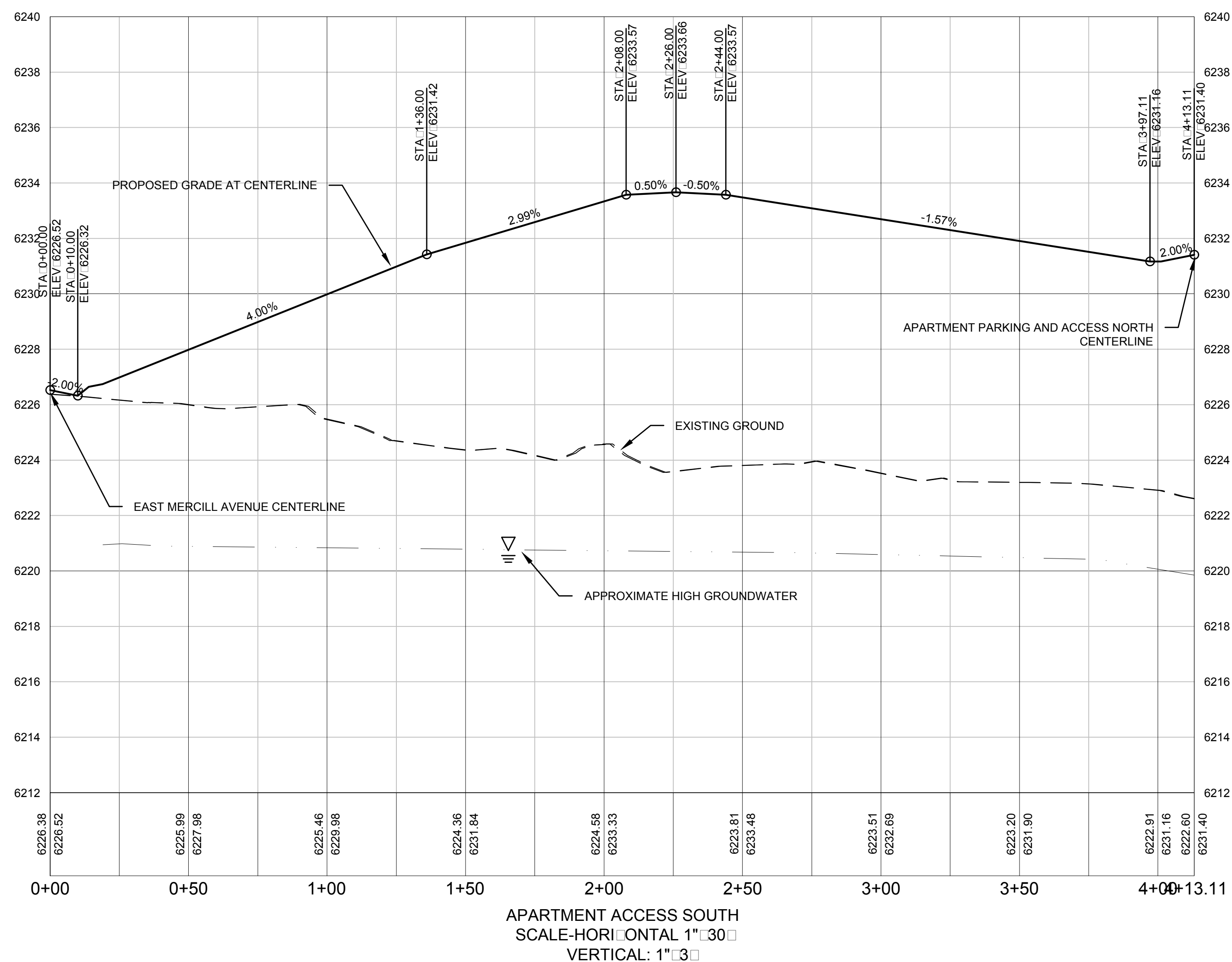
GEOTEXTILE IS SHOWN ON TYPICAL SECTIONS FOR REFERENCE.  
PLACEMENT OF GEOTEXTILE IN AREAS OF UNSTABLE SUBGRADE  
SHOULD BE VERIFIED ON SITE BY ENGINEER.



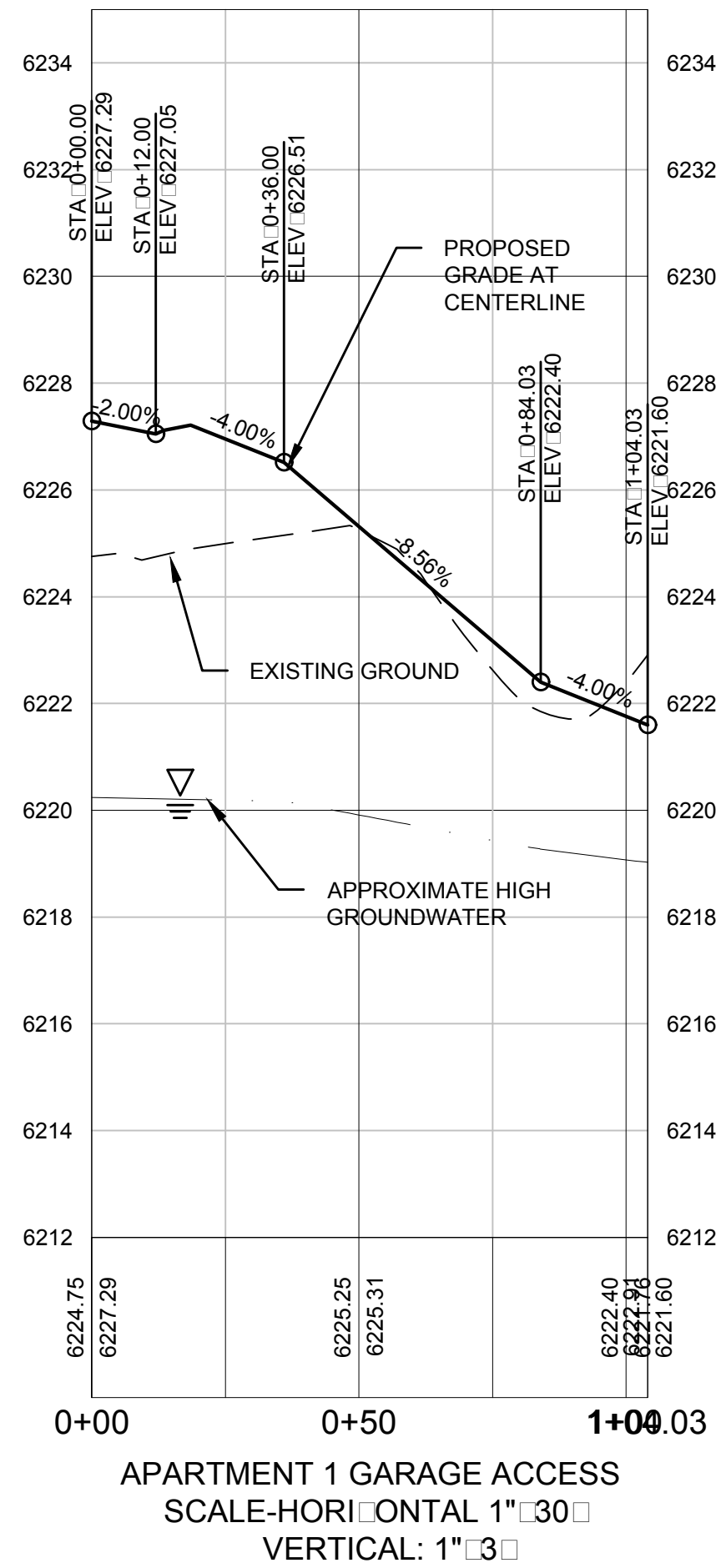
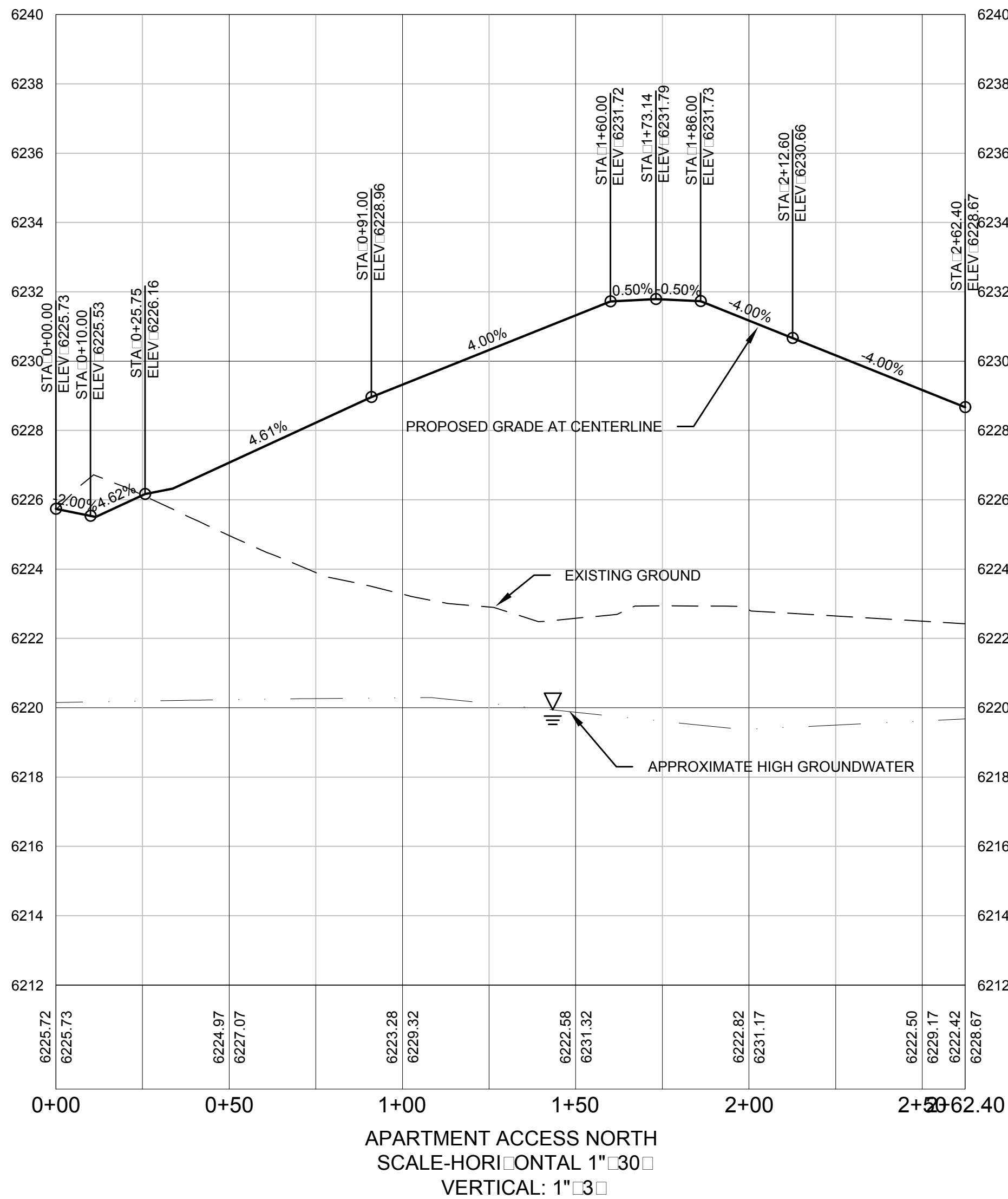
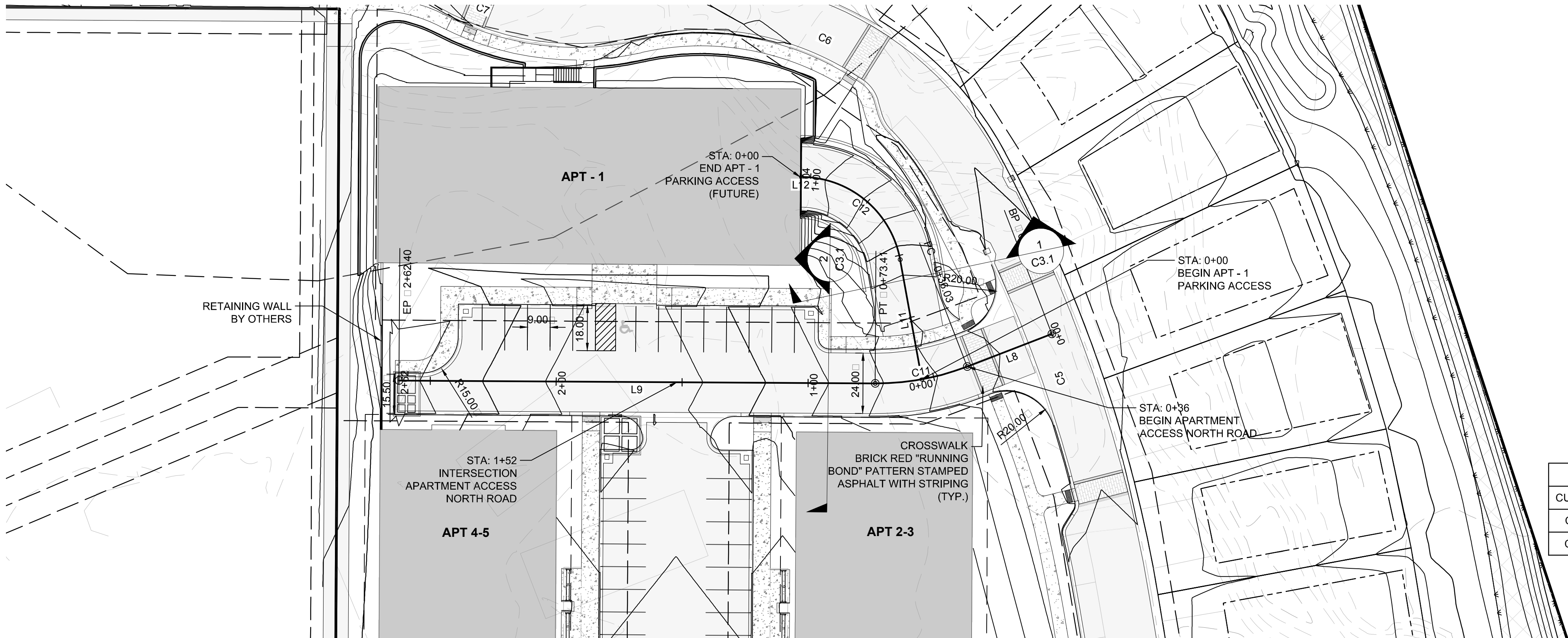




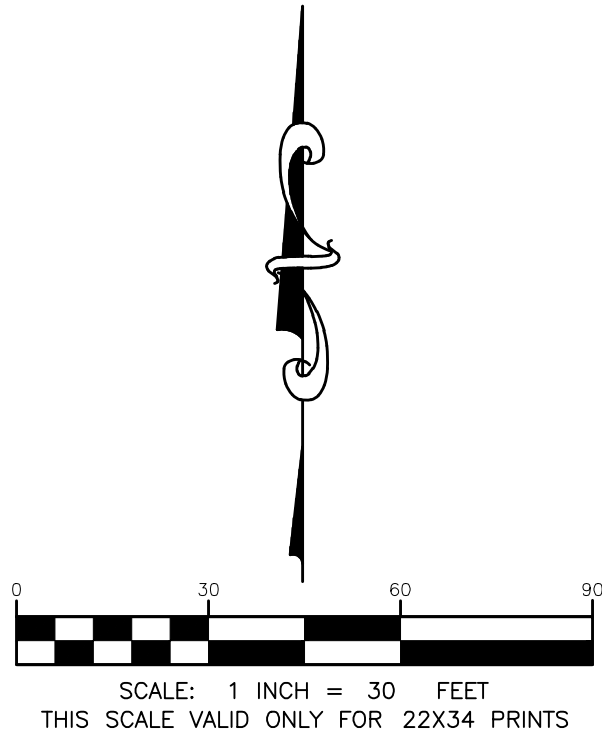
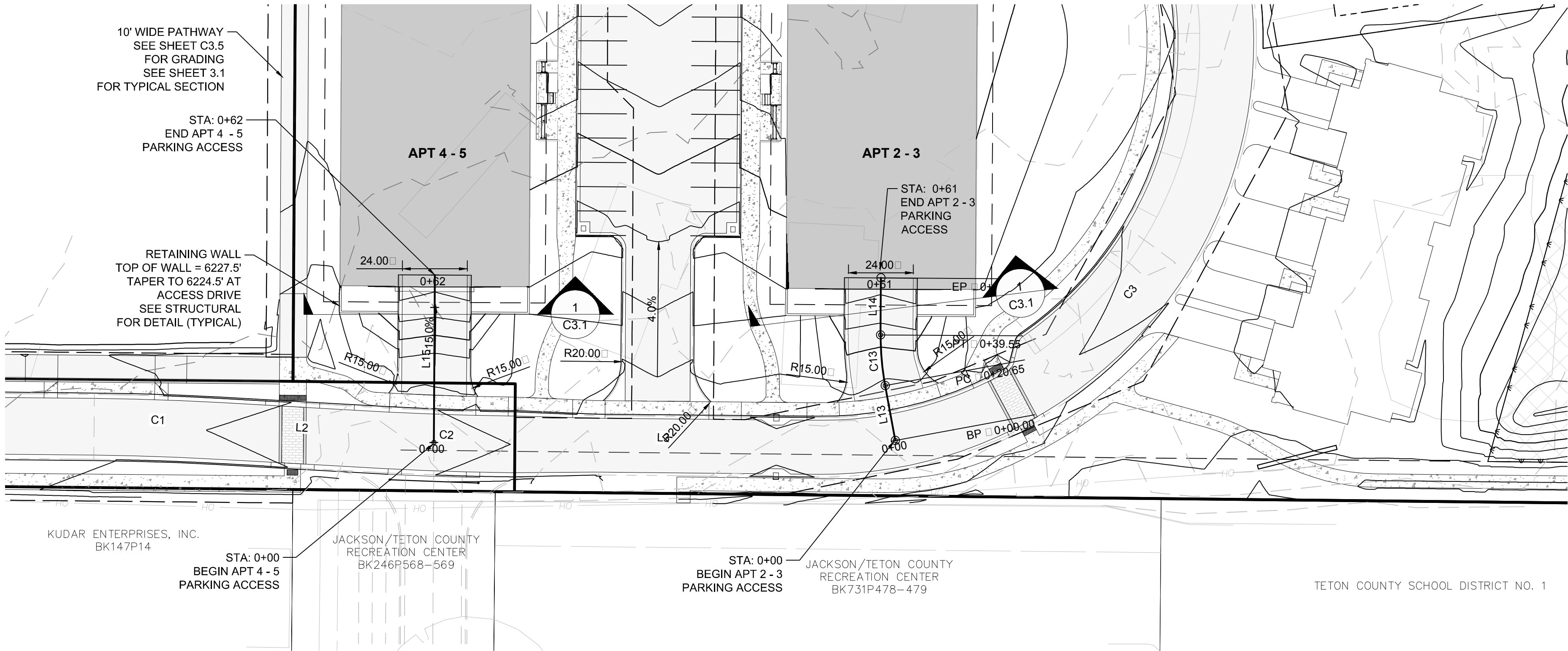
LINE TABLE		
LINE	LENGTH	BEARING
L10	413.11	N00° 20' 24"E





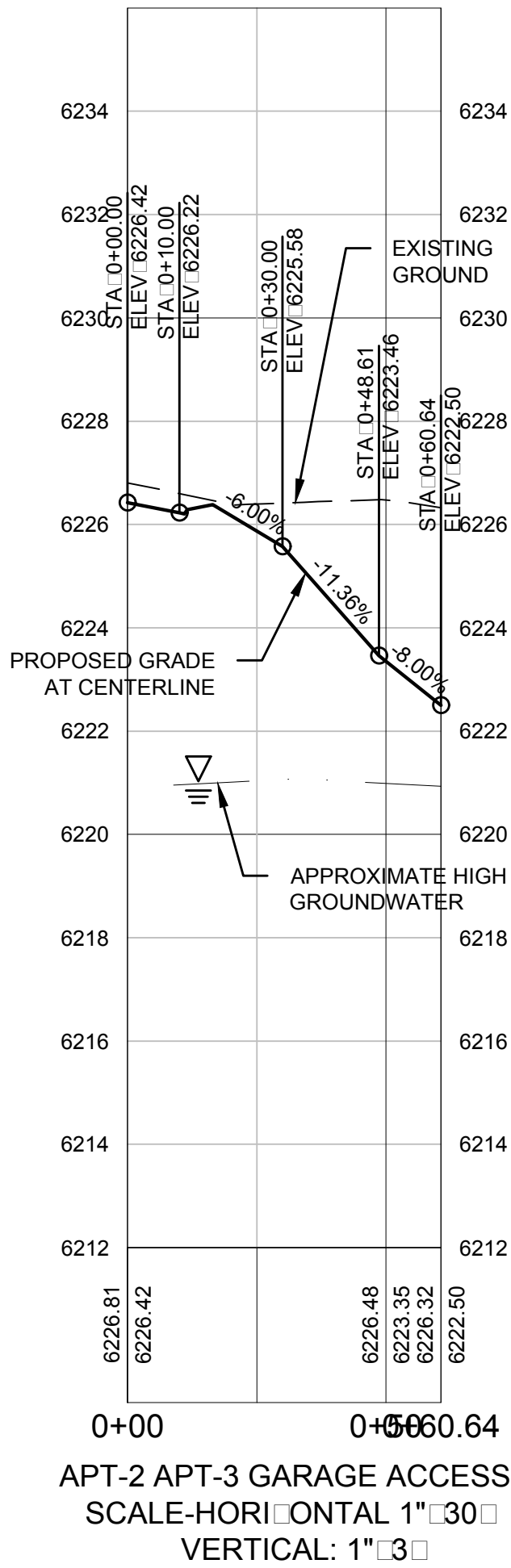
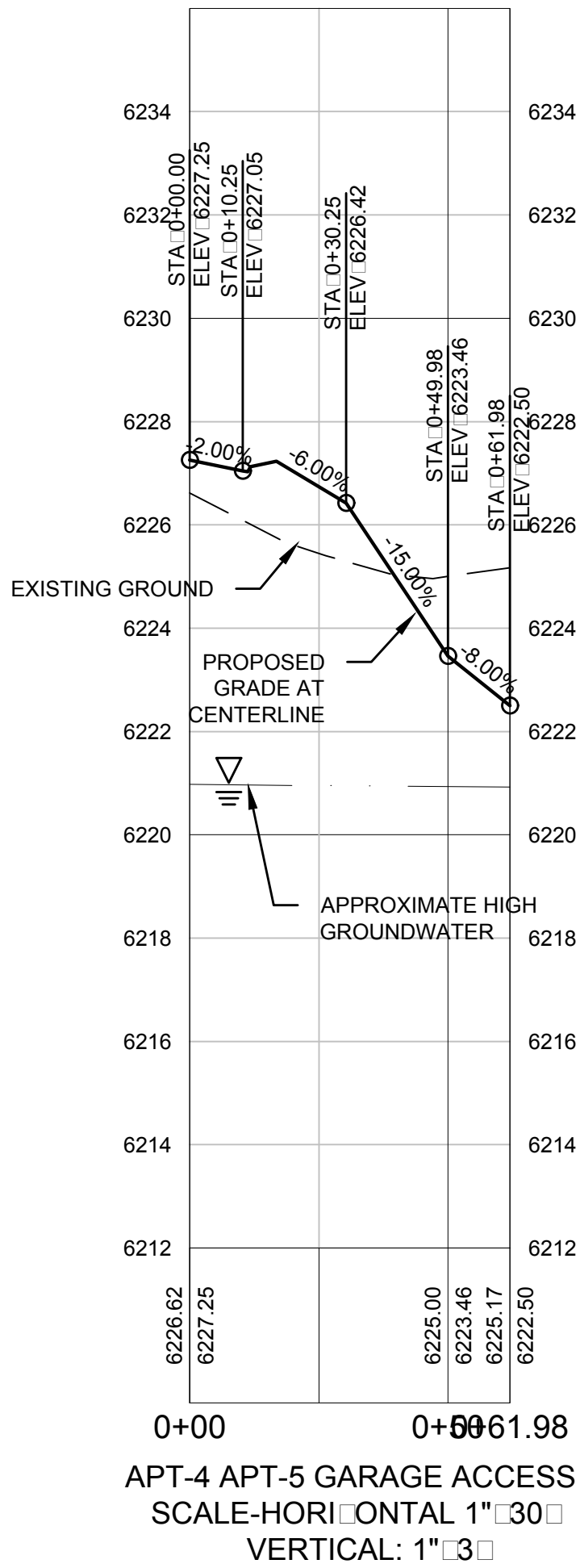




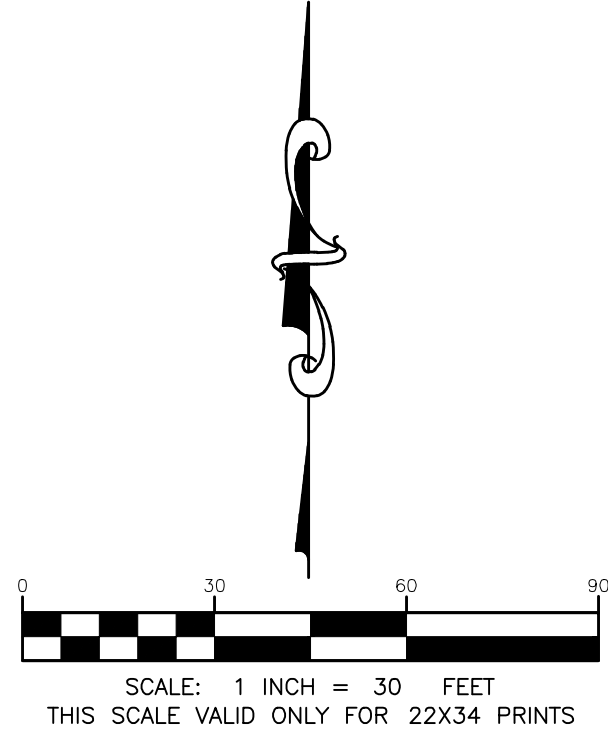
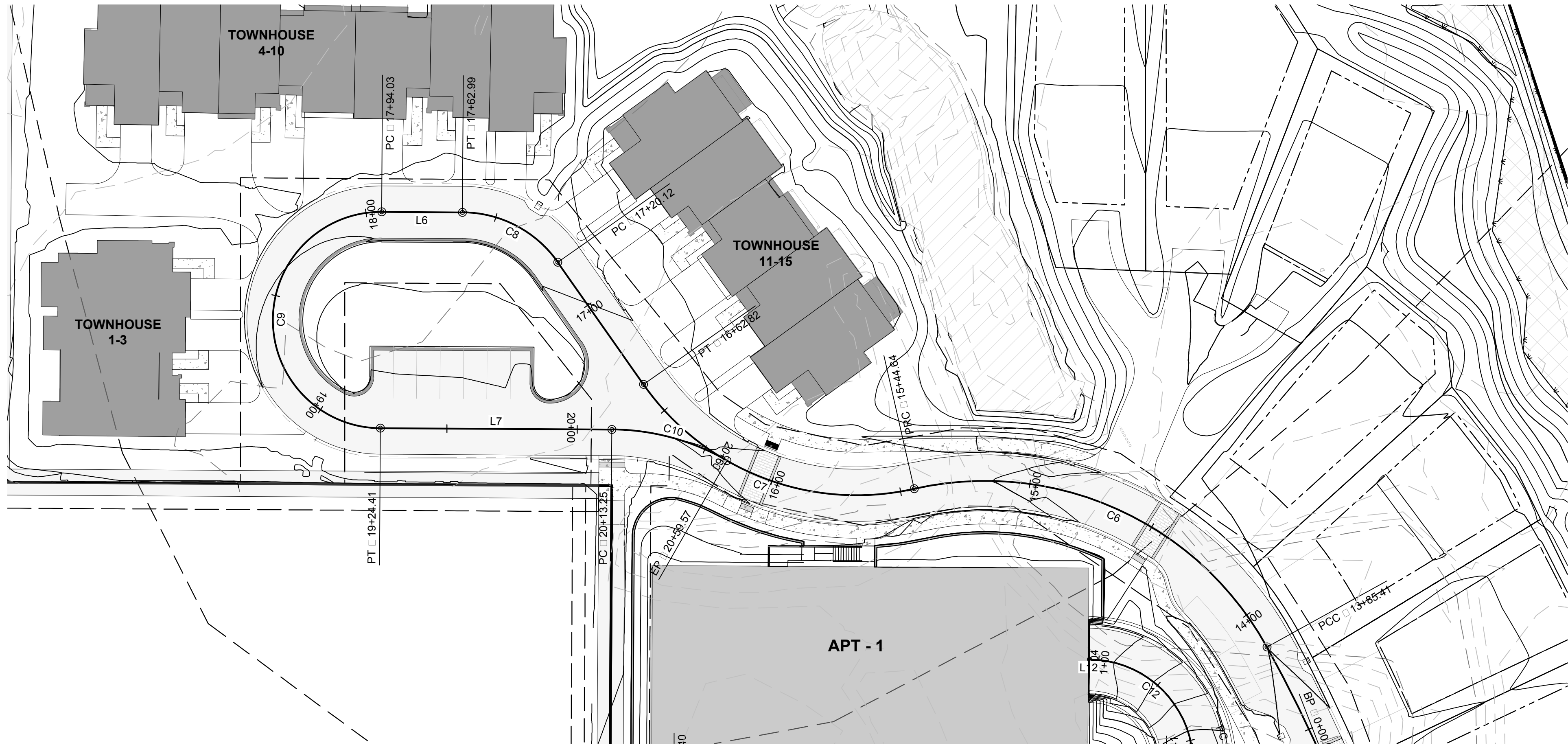


LINE TABLE		
LINE	LENGTH	BEARING
L13	20.65	N10° 29' 29"W
L14	21.08	N00° 20' 24"E
L15	61.98	N00° 20' 24"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C13	18.90	100.00	010.83	N05° 04' 32"W	18.88

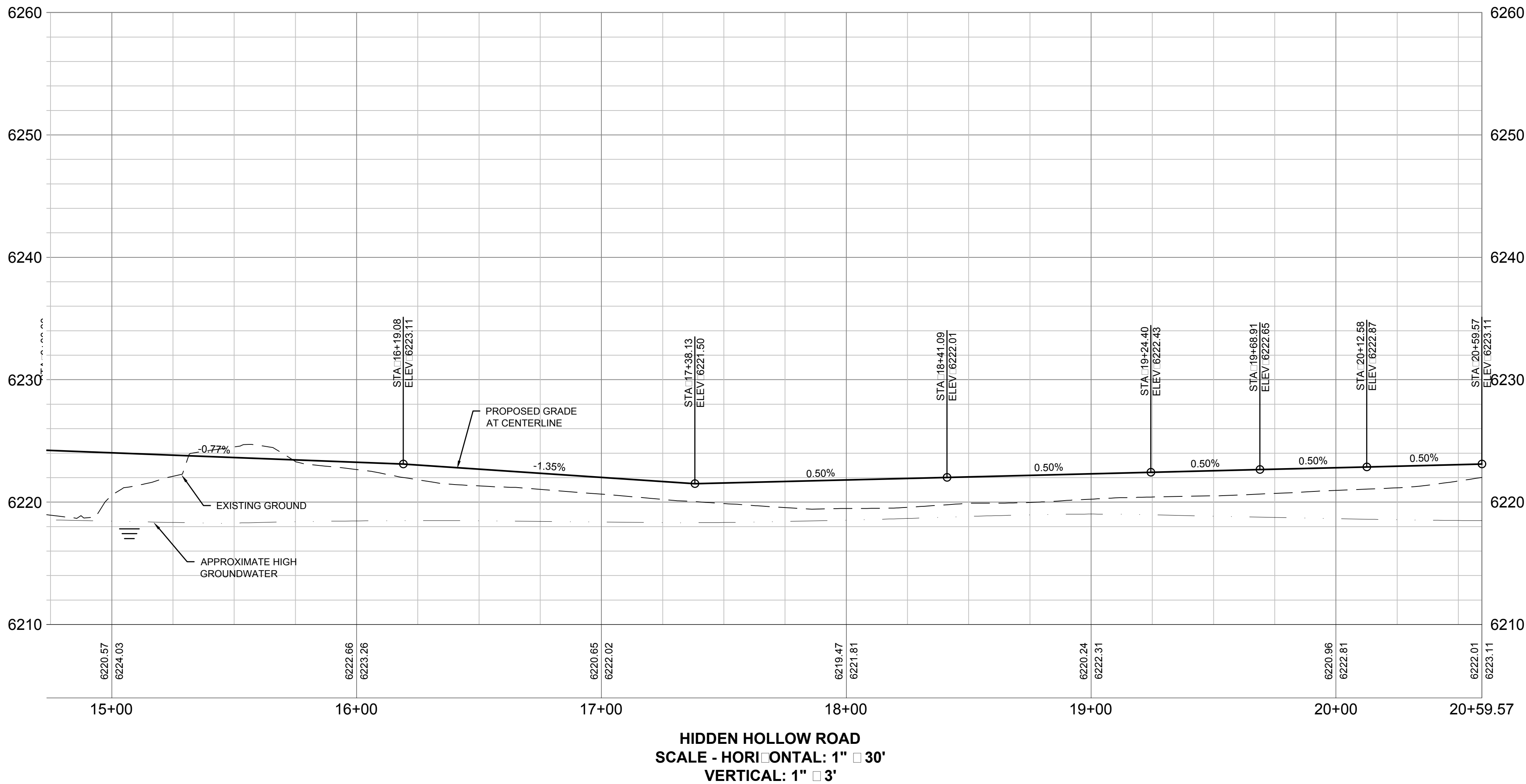






LINE TABLE		
LINE	LENGTH	BEARING
L13	20.65'	N10° 29' 29"W
L14	21.08'	N00° 20' 24"E
L15	61.98'	N00° 20' 24"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C13	18.90'	100.00'	010.83	N05° 04' 32"W	18.88'

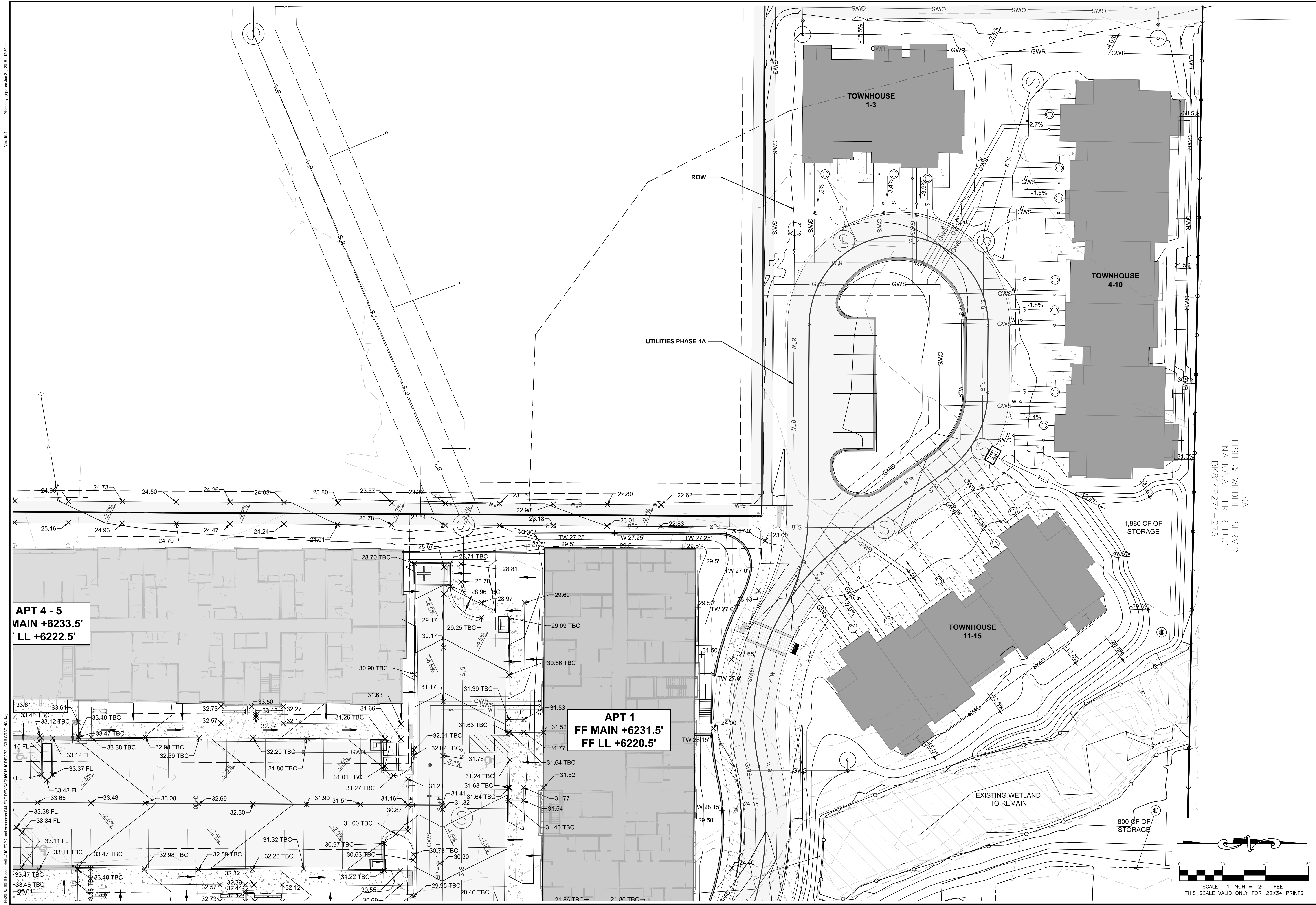



HIDDEN HOLLOW ROAD  
SCALE - HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 3'











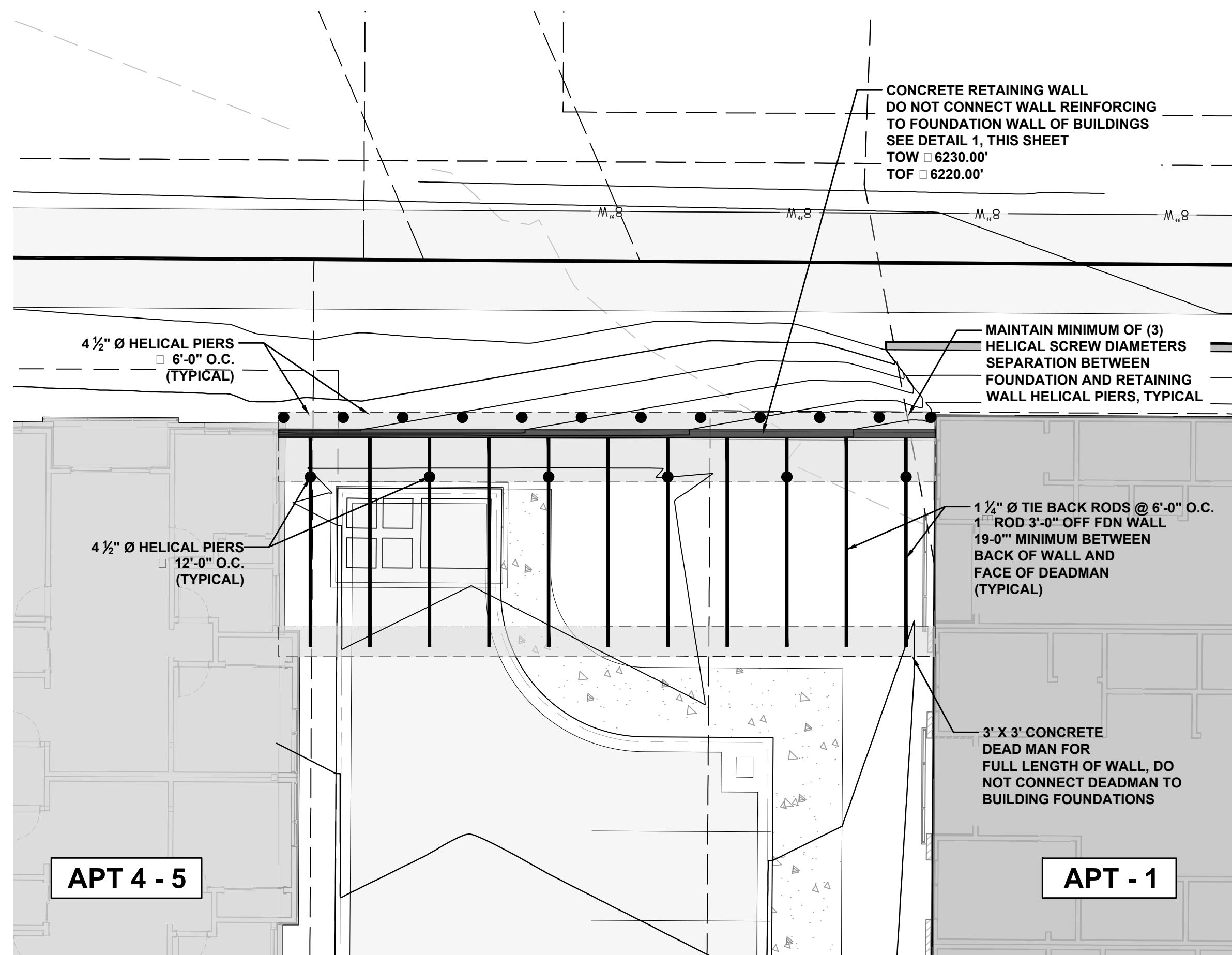
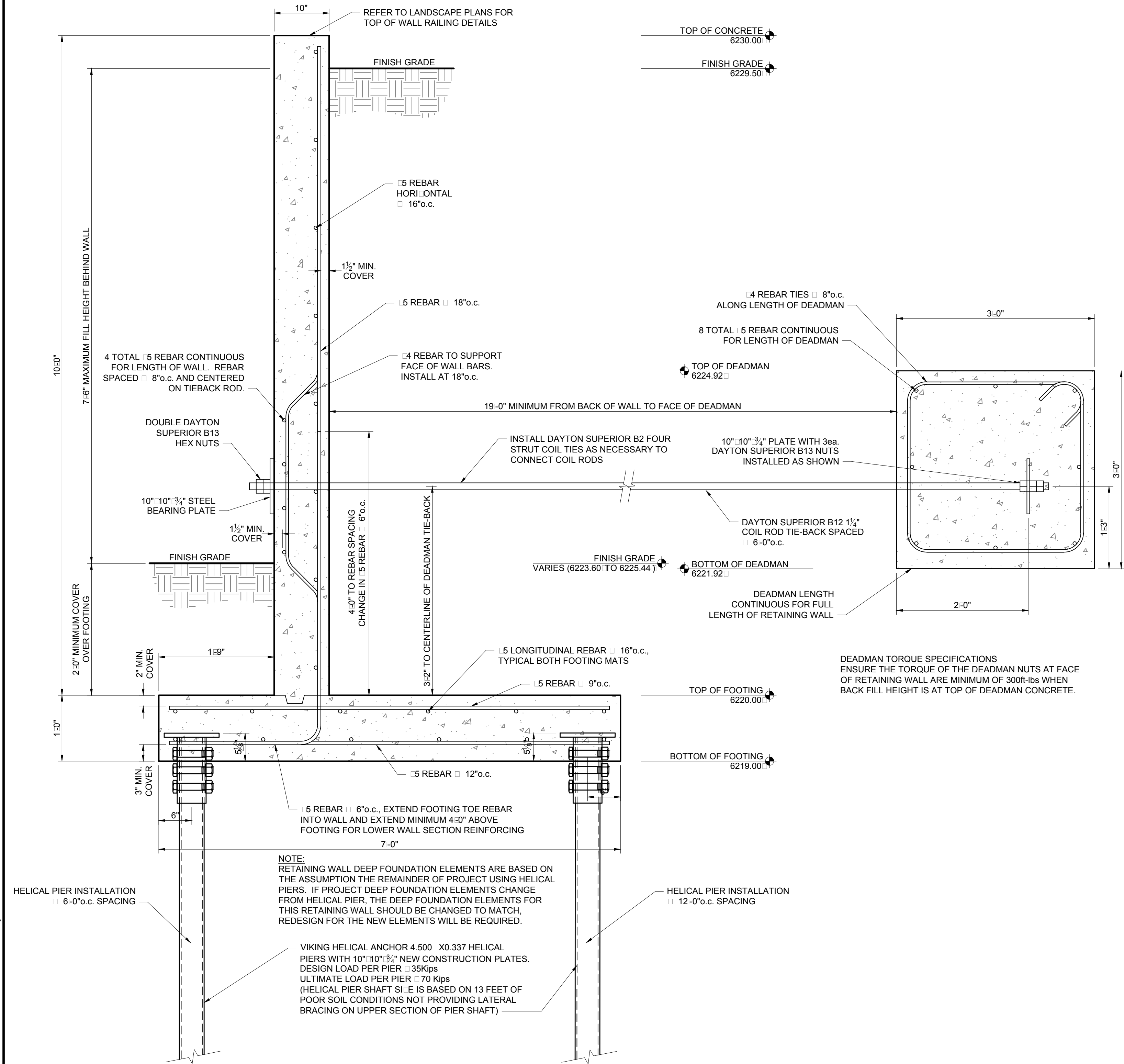
**JORGENSEN**  
JACKSON, WYOMING  
307.733.5160  
www.jorgensenassociates.com

PROJECT TITLE:  
**HIDDEN HOLLOW  
HANSEN & HANSEN, LLP  
PHASE 2 DEVELOPMENT PLAN  
TOWN OF JACKSON, WYOMING**

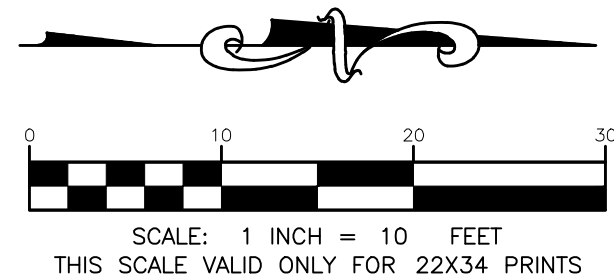
SHEET TITLE:  
**TOWNHOUSE GRADING & UTILITY PLAN**

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	16016.10
SHEET	C3.7

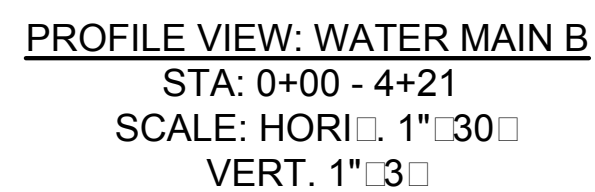
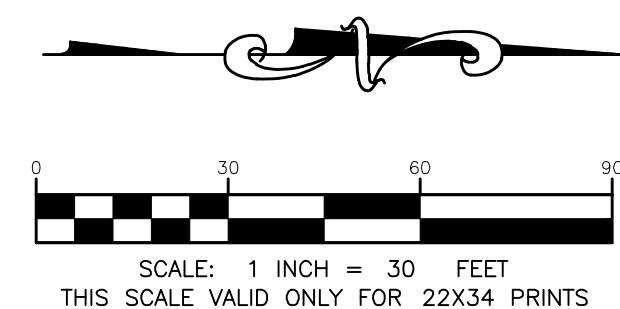




## RETAINING WALL PLAN VIEW

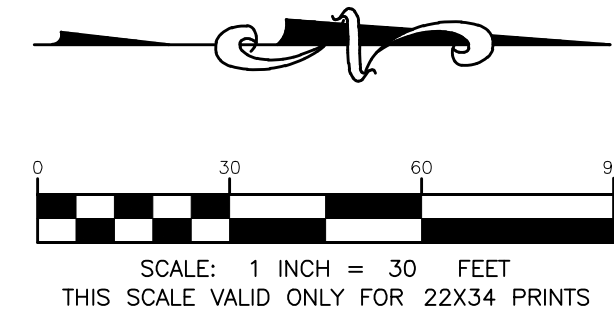






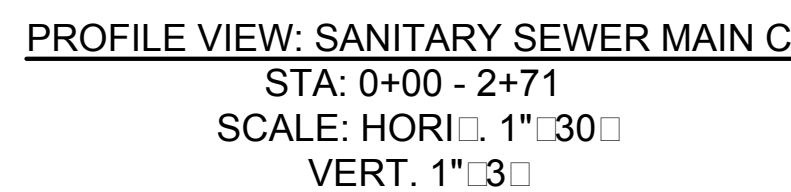
1. PHASE 1B WATER INSTALLATION IS LIMITED TO THE CONSTRUCTION OF WATER MAIN B, ONLY DESIGN FOR THIS LINE IS PROVIDED IN THIS PLAN SET. ADJACENT WATER MAINS ARE SHOWN FOR REFERENCE PURPOSES ONLY. ADJACENT WATER MAINS WILL BE CONSTRUCTED AS PART OF PHASE 1A WORK. REFER TO PLAN 1A PLANS FOR DETAIL.
2. ALL WATER MAINS SHALL BE DR18 C900 PVC PIPE CONFORMING TO THE PROVISIONS OF AWWA RECOMMENDED SPECIFICATIONS C900, CURRENT REVISIONS, AND ALL INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE MANUFACTURER S DIRECTIONS. PIPE AND FITTINGS SHALL CONFORM TO THE THE TOWN OF JACKSON CONSTRUCTION STANDARDS.
3. ALL WATER MAINS SHALL BE INSTALLED UTILI:ING ELEVATION CONTROL, SUCH THAT RECORD DRAWINGS CAN BE ACCURATELY DRAWN AND CONFORMANCE WITH THE CONSTRUCTION PLANS DOCUMENTED.
4. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL SEPARATION BETWEEN WATER LINES AND SEWER PIPE/MANHOLES, MEASURED EDGE TO EDGE. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINE CROSSINGS. WHERE THESE DISTANCES CANNOT BE MET, SEE TYPICAL DETAILS FOR SPECIAL WATER/SEWER CROSSINGS.
5. MAINTAIN 5' MINIMUM HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER SERVICES UNLESS OTHERWISE NOTED ON PLANS.
6. ALL FITTINGS SHALL BE MECHANICAL JOINTS WITH JOINT RESTRAINT AND THRUST BLOCKS INSTALLED PER DETAILS AND SPECIFICATIONS.
7. ALL FITTINGS SHOULD HAVE STAINLESS STEEL OR CORROSIVE RESISTANT BOLTS AND BE "POLY WRAPPED".
8. PIPE JOINT DEFLECTION ALLOWED TO MAINTAIN ALIGNMENT. STAB PIPE IN LINE THEN DEFLECT PIPE, ONLY AT JOINT. MAX DEFLECTION 2.5 DEGREES. 2.5 DEGREES IS 12" FOR A 20 LINEAR FOOT LENGTH OF PIPE.
9. ALL WATER MAINS AND SERVICES SHALL BE INSTALLED WITH TRACE WIRE FOR LOCATING PURPOSES. TRACE WIRE TO BE INSTALLED PER SPECIFICATIONS.
10. ALL WATER MAINS AND SERVICES SHALL BE TESTED PER TOWN OF JACKSON CONSTRUCTION STANDARDS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED TOWN OF JACKSON STAFF AND THE ENGINEER. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.





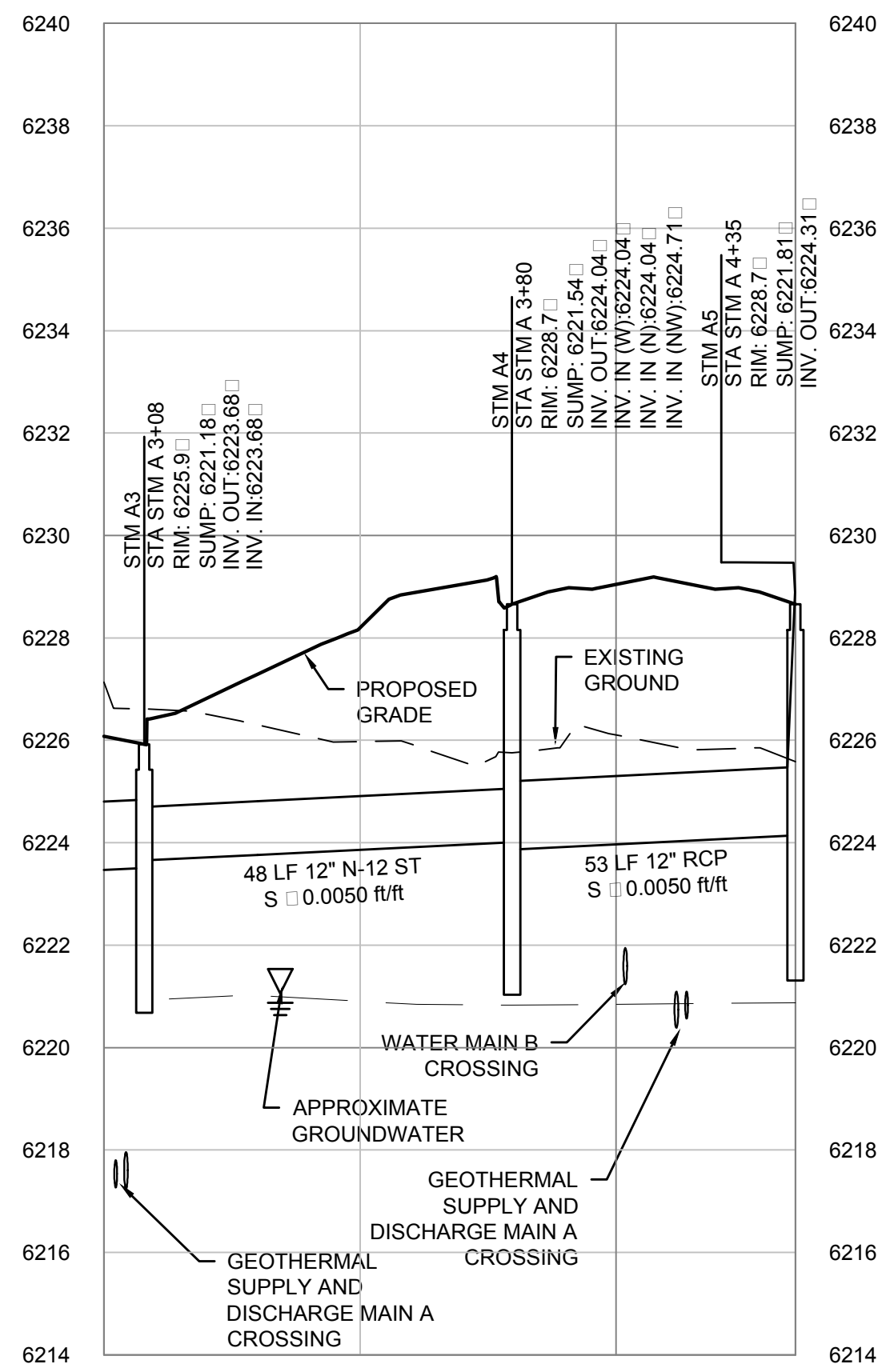
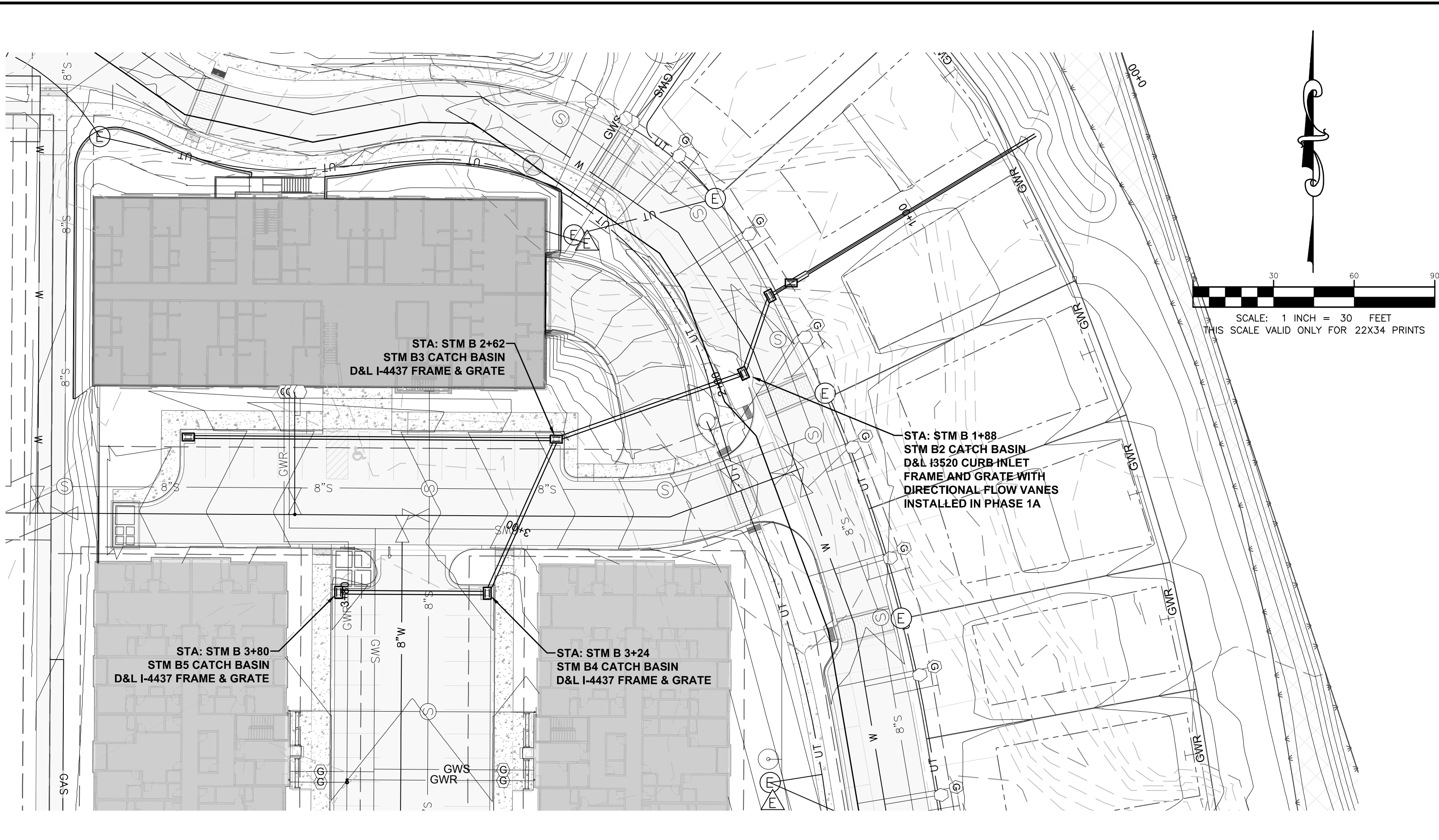
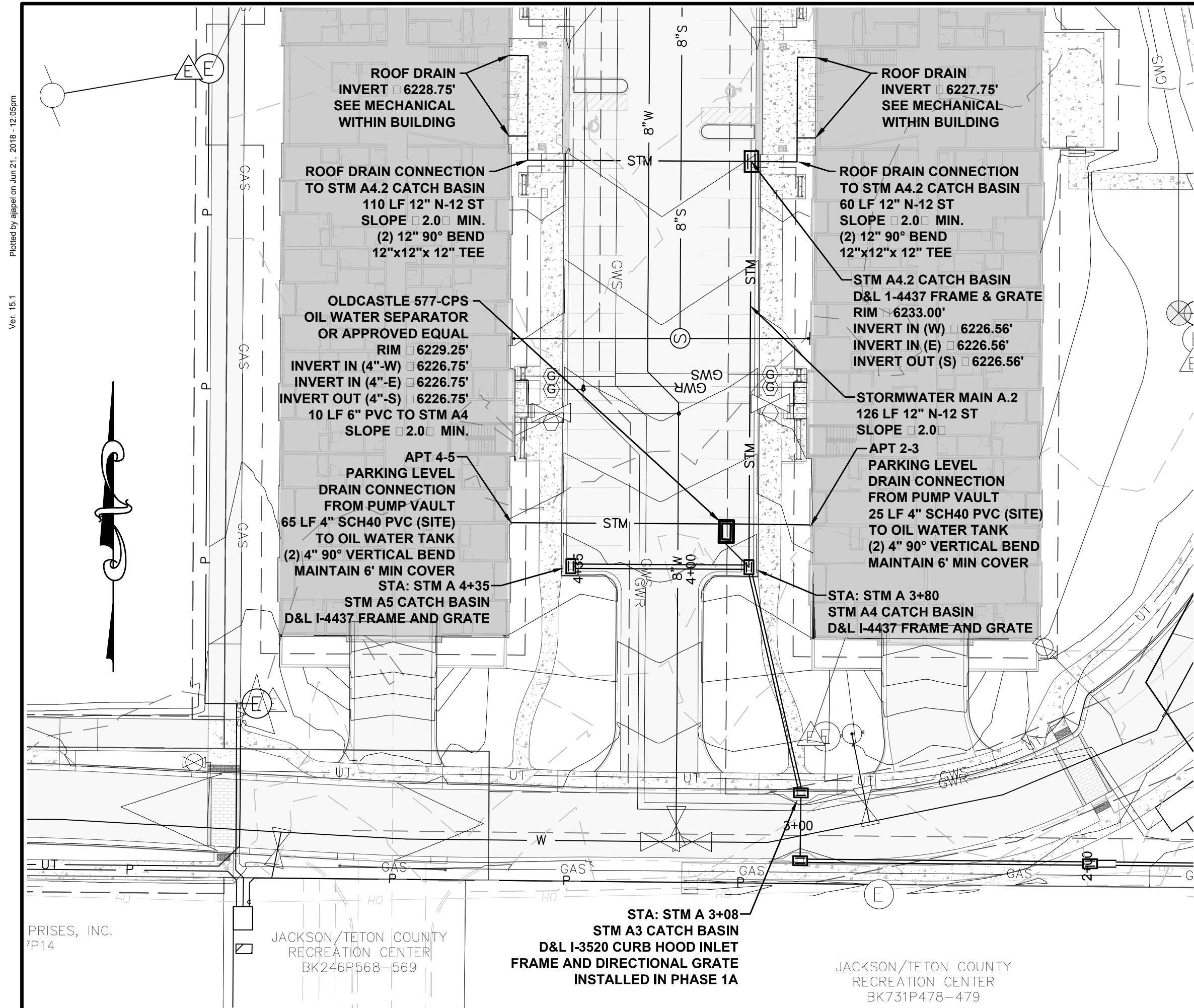
SANITARY SEWER MANHOLE TABLE				
MANHOLE NAME	RIM ELEV.	INV. IN	INV IN ANGLE	INV. OUT
SSMH B1	6230.99	8' 6217.09: S 6' 6217.09: N 8' 6217.09: E		8' 6216.89
SSMH C1	6231.96	8' 6224.97: S 6' 6224.97: E 6' 6224.97: W		8' 6224.77
SSMH C2	6231.75	6' 6226.12: E 6' 6226.12: W		8' 6225.92

ANGLES MEASURED WITH 0° AT INV. OUT.  
INV. IN MEASURED CLOCKWISE FROM INV. OUT

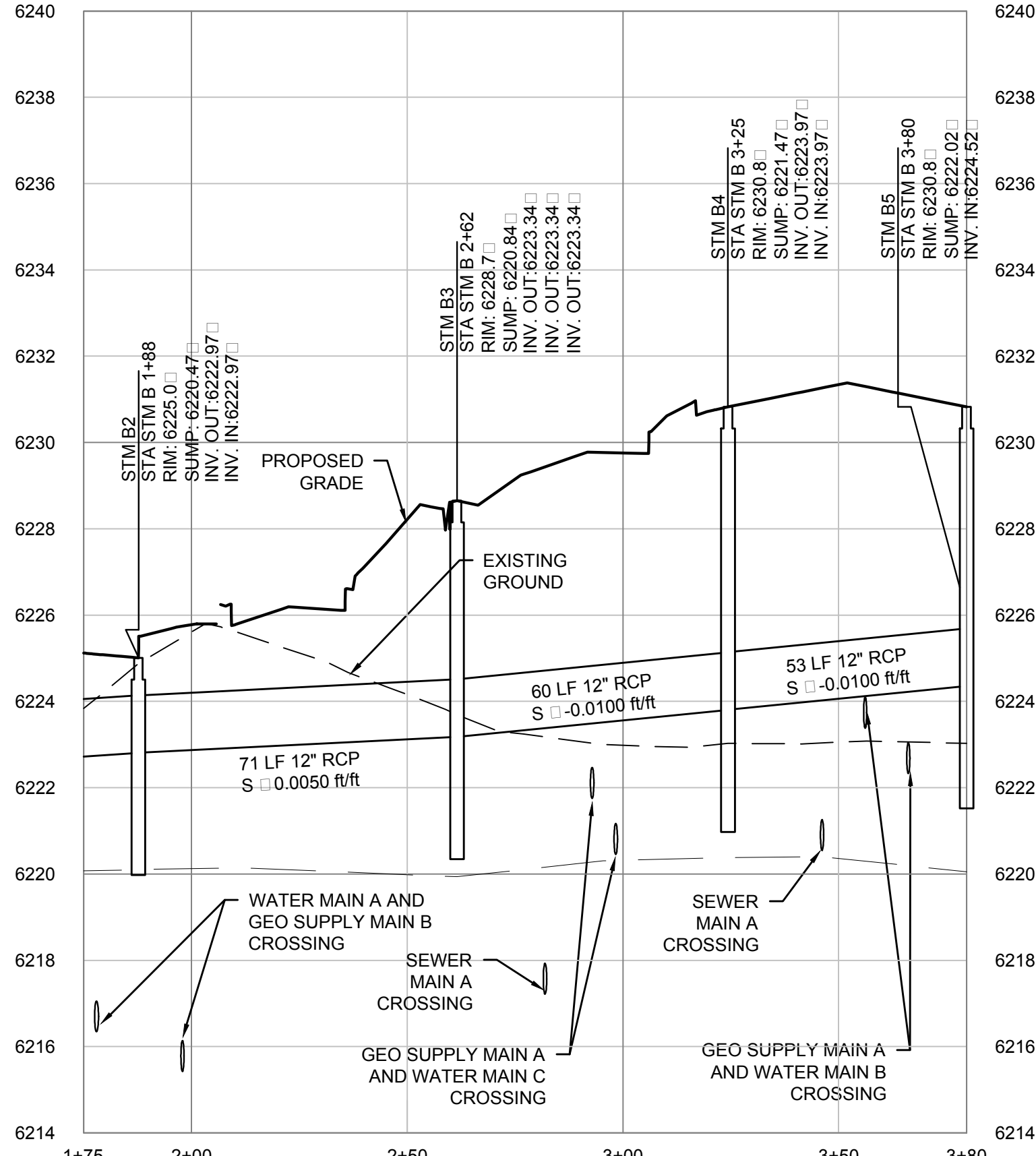


1. PHASE 1B SEWER INSTALLATION IS LIMITED TO THE CONSTRUCTION OF SEWER MAIN C. ONLY. DESIGN FOR THIS LINE IS PROVIDED IN THIS PLAN SET. ADJACENT SEWER MAINS ARE SHOWN FOR REFERENCE PURPOSES ONLY. ADJACENT SEWER MAINS WILL BE CONSTRUCTED AS PART OF PHASE 1A WORK. REFER TO PHASE 1A PLANS FOR DETAIL.
2. ALL SEWER MAIN PIPE SHALL BE 8" PVC SDR-35 (ASTM D3034) OR APPROVED EQUAL.
3. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL BETWEEN WATER LINES AND SEWER PIPE/MANHOLES, MEASURED EDGE TO EDGE. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINE CROSSINGS, WHERE THESE DISTANCES CANNOT BE MET, SEE TYPICAL DETAILS FOR SPECIAL WATER/SEWER CROSSINGS.
4. SEWER SERVICES ARE TO BE CONSTRUCTED OF 4" PVC SDR-35 PIPE UNLESS OTHERWISE NOTED IN THE PLANTS. ALL SERVICES SHALL BE INSTALLED AT A MINIMUM GRADE OF  $\frac{1}{4}"$  PER FOOT.
5. ALL SEWER MANHOLES ARE TO BE CONSTRUCTED WITH AN ECCENTRIC CONE TOP UNLESS OTHERWISE NOTED ON THE PLANS. SEE STANDARD DETAILS FOR MANHOLE INSTALLATION AND STANDARDS.
6. ALL MANHOLES IN PAVED AREAS SHALL BE ADJUSTED FOR HEIGHT ACCORDING TO TOWN OF JACKSON STANDARD SS-109.
7. NO CONNECTIONS OF GROUNDWATER HEAT PUMP OR GROUNDWATER HEATING OR COOLING SYSTEMS, ROOF DOWNSPOUTS, EXTERIOR FOUNDATION DRAINS, AREAWAY DRAINS, OR OTHER SOURCES OF SURFACE RUNOFF OR GROUNDWATER TO A BUILDING SEWER OR BUILDING DRAIN, WHICH IN TURN IS CONNECTED DIRECTLY OR INDIRECTLY TO A PUBLIC SANITARY SEWER. SEE WYDEQ 13.08.017
8. ALL SEWER MAINS SHALL BE JETTED PRIOR TO VIDEO INSPECTIONS. IF VIDEO INSPECTION REVEALS CONDITIONS INDICATING POSSIBLE PIPE DEFLECTION OR DEFORMATION. SUCH IDENTIFIED PIPE SEGMENTS SHALL REQUIRE DEFLECTION TESTING, TO BE PERFORMED BY CONTRACTOR AND WITNESSED BY THE TOWN.
9. ALL SEWER MAINS AND SERVICES SHALL BE TESTED PER TOWN OF JACKSON CONSTRUCTION STANDARDS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED TOWN OF JACKSON STAFF AND THE ENGINEER. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.
10. SANITARY SEWER MAINS ARE TO BE GRADED AT A MINIMUM OF 0.40% FOR 8" LINE. FLAT GRADE SEWER (BELOW THIS THRESHOLD) SHALL BE SUBJECT TO WYDEQ FLAT GRADE SEWERS VARIANCE. SEE POLICY 13.9.13.
  - 10.1. THE MINIMUM SLOPE PERMITTED FOR 8" AND LARGER PIPE WILL BE 0.002 FT/FT OR THE MINIMUMS LISTED IN THE CHAPTER XI, PART B, SECTION 9, REGULATIONS.
  - 10.2. THE GRAVITY SEWER MAIN MUST BE CONSTRUCTED USING EITHER ASTM D3034 SDR 35 PVC PIPE OR ASTM D 3035 POLYETHYLENE PIPE.
  - 10.3. THE PIPE MUST BE INSTALLED USING A SEWER LASER TO ENSURE AN ACCURATE AND UNIFORM GRADE.
  - 10.4. THE PIPE SHALL BE BEDDED WITH TYPE 1 BEDDING MATERIAL USING TYPE A TRENCH BACKFILL METHODS OR CEMENT TREATED FILL IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS, SECTION 0225.
  - 10.5. ALL FLAT GRADE SEWERS SHALL BE INSTALLED UNDER THE SUPERVISION OF A FULL TIME INSPECTOR.
11. ALL MANHOLES SHALL HAVE EPOXY COATED INVERTS WITH 2 COATS OF SIKAGUARD 62 (RED, GREY) OR APPROVED EQUAL.





PROFILE VIEW: STORMWATER MAIN A  
 STA: 3+00 - 4+35  
 SCALE: HORIZ. 1"=30'  
 VERT. 1"=3'

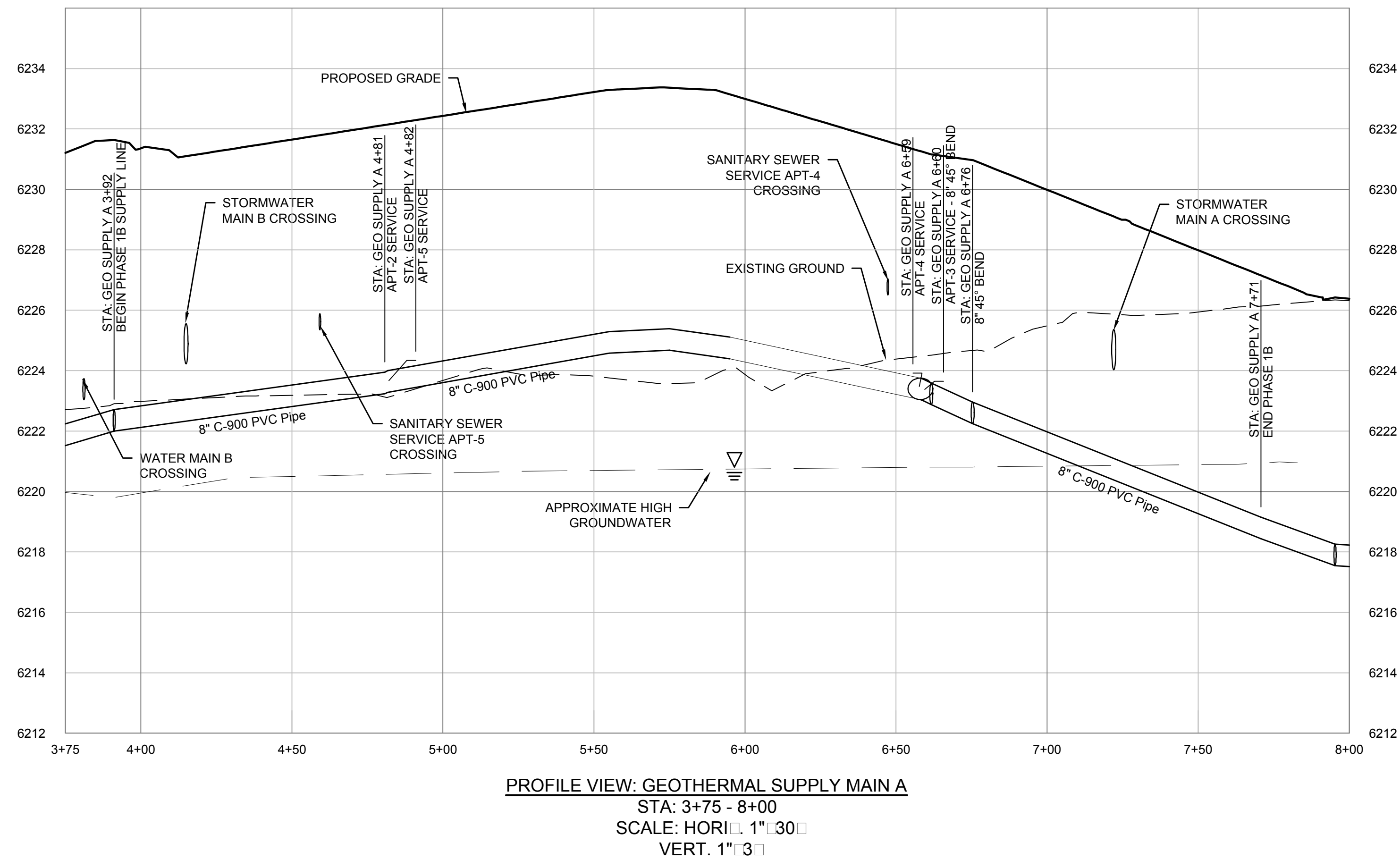
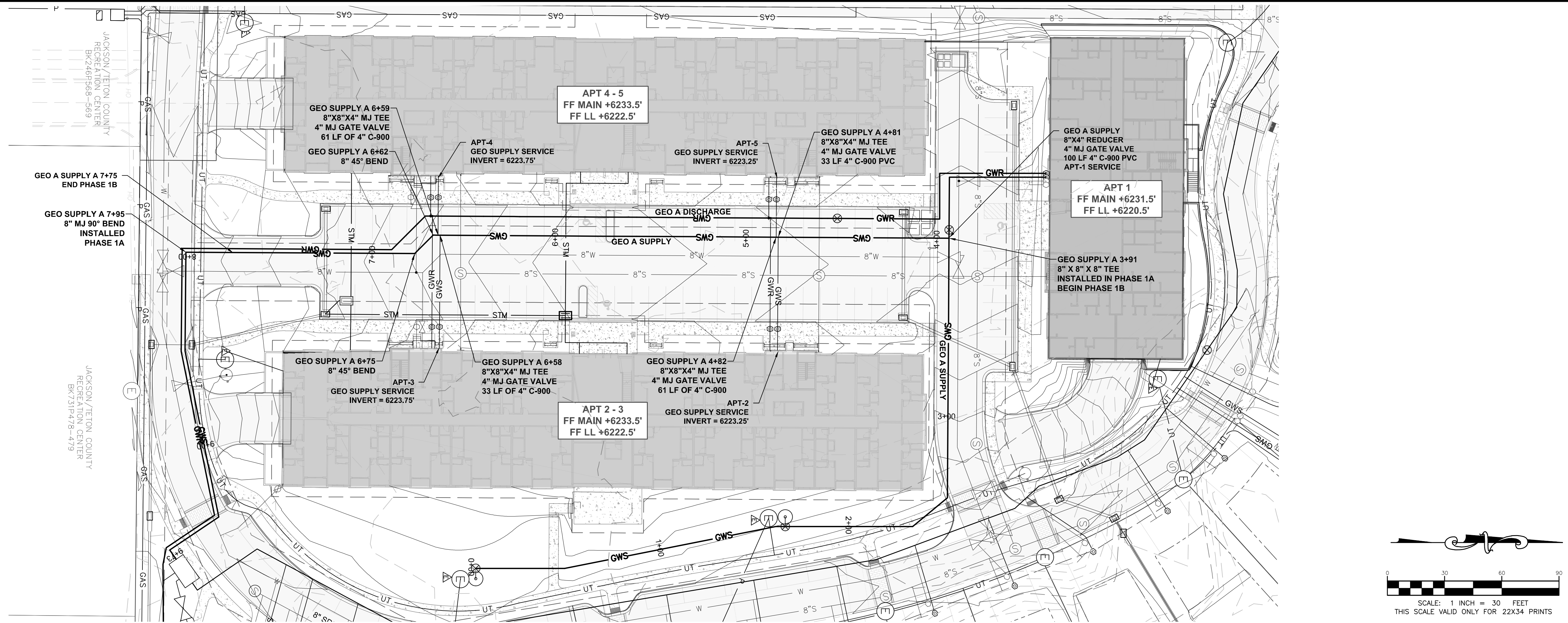


PROFILE VIEW: STORMWATER MAIN B  
 STA: 1+75 - 3+80  
 SCALE: HORIZ. 1"=30'  
 VERT. 1"=3'

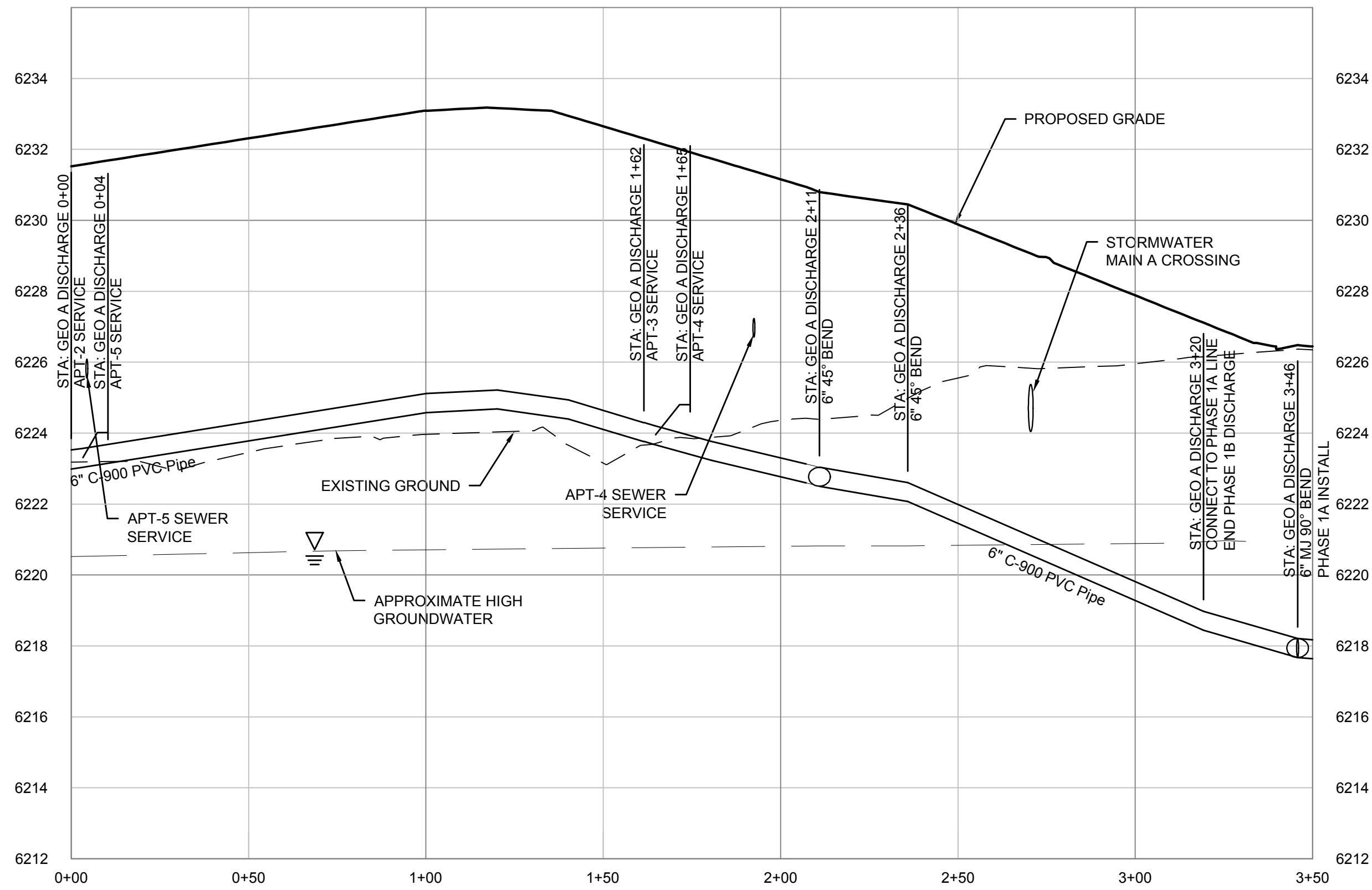
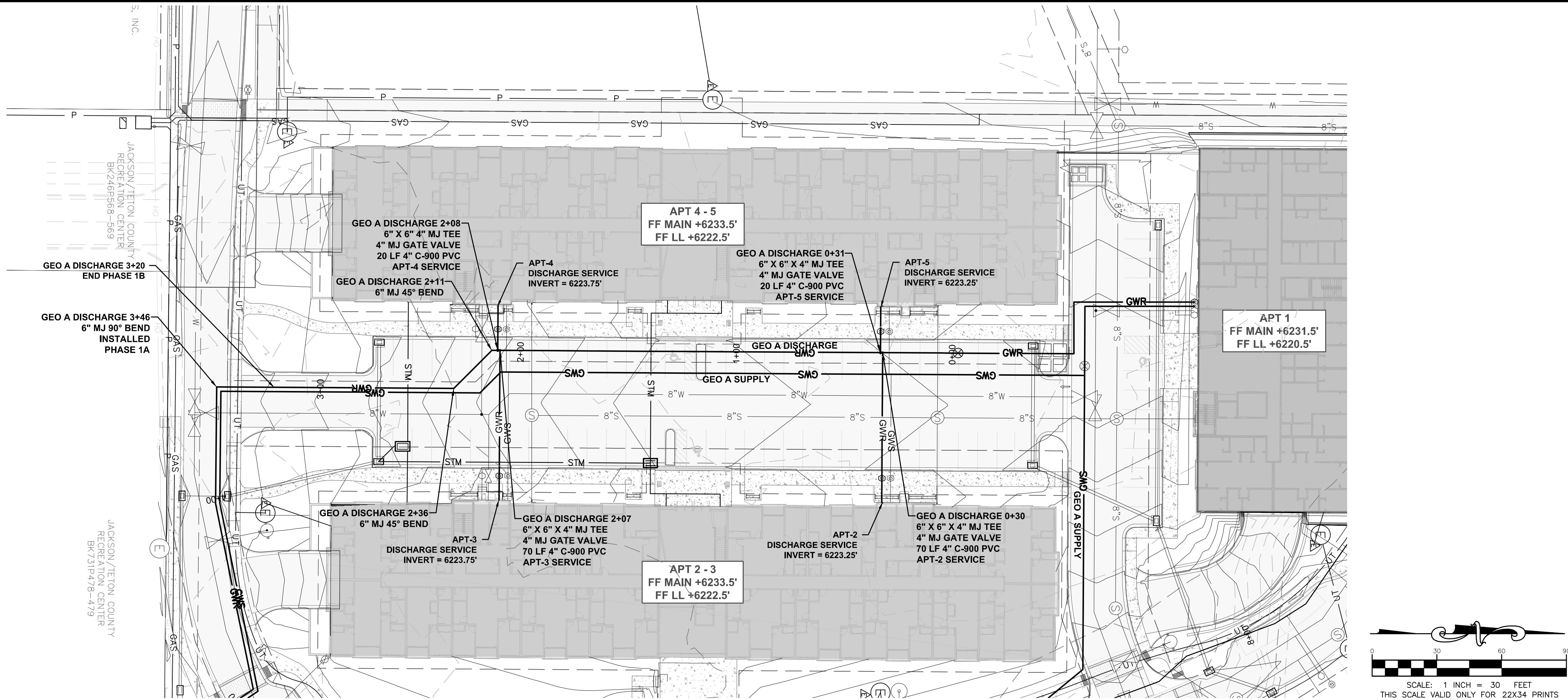
#### STORM WATER INSTALLATION NOTES:

- PHASE 1B STORMWATER INSTALLATION IS LIMITED TO THE PORTIONS OF STORMWATER MAINS A AND B AS SHOWN ON THIS PLAN. ADJACENT STORMWATER MAINS ARE SHOWN FOR REFERENCE PURPOSES ONLY. ADJACENT STORMWATER MAINS AND ASSOCIATED CONTINUATIONS OF MAINS A AND B WILL BE CONSTRUCTED AS PART OF PHASE 1A WORK. REFER TO PHASE 1A PLANS FOR DETAIL.
- STORM WATER LINES INSTALLED IN LANDSCAPED AREAS SHALL BE CONSTRUCTED OF ADS N-12 WT 18 PIPE (PER ASTM F2648) SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. INSTALL PER SPECIFICATIONS.
- STORM WATER LINES INSTALLED UNDER TRAVEL WAYS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PIPE.
- ALL STORM LINES SHALL BE INSTALLED UTILIZING ELEVATION CONTROL, SUCH THAT RECORD DRAWINGS CAN BE ACCURATELY DRAWN AND CONFORMANCE WITH THE CONSTRUCTION PLANS DOCUMENTED.
- WATER, SEWER, AND GEOTHERMAL CROSSINGS OF THE STORM WATER LINES SHALL BE INSULATED WITH RIGID INSULATION IF WITHIN FOUR LINEAR FEET (IN ALL DIRECTIONS) OF THE STORM WATER MAIN. INSULATION SHALL BE COMPLETED PER TOWN STANDARD.
- STORM WATER MAN HOLES SHALL BE CONSTRUCTED/INSTALLED TO THE SAME STANDARDS OF SANITARY SEWER MANHOLES WITH THE FOLLOW EXCEPTIONS.
  - THE SUMP DEPTH AS INDICATED ON PLANS (FLAT BOTTOMS)
  - THE MANHOLE FRAME AND COVER SHALL BE MODEL NO. A-1055, AS MANUFACTURED BY D&L SUPPLY OF LONDON, UTAH, MODIFIED PER TOJ STANDARDS, OR APPROVED EQUAL. COVER SHALL BE MARKED "STORM DRAIN".
- ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A FILTER FABRIC, OR EQUIVALENT BARRIER.







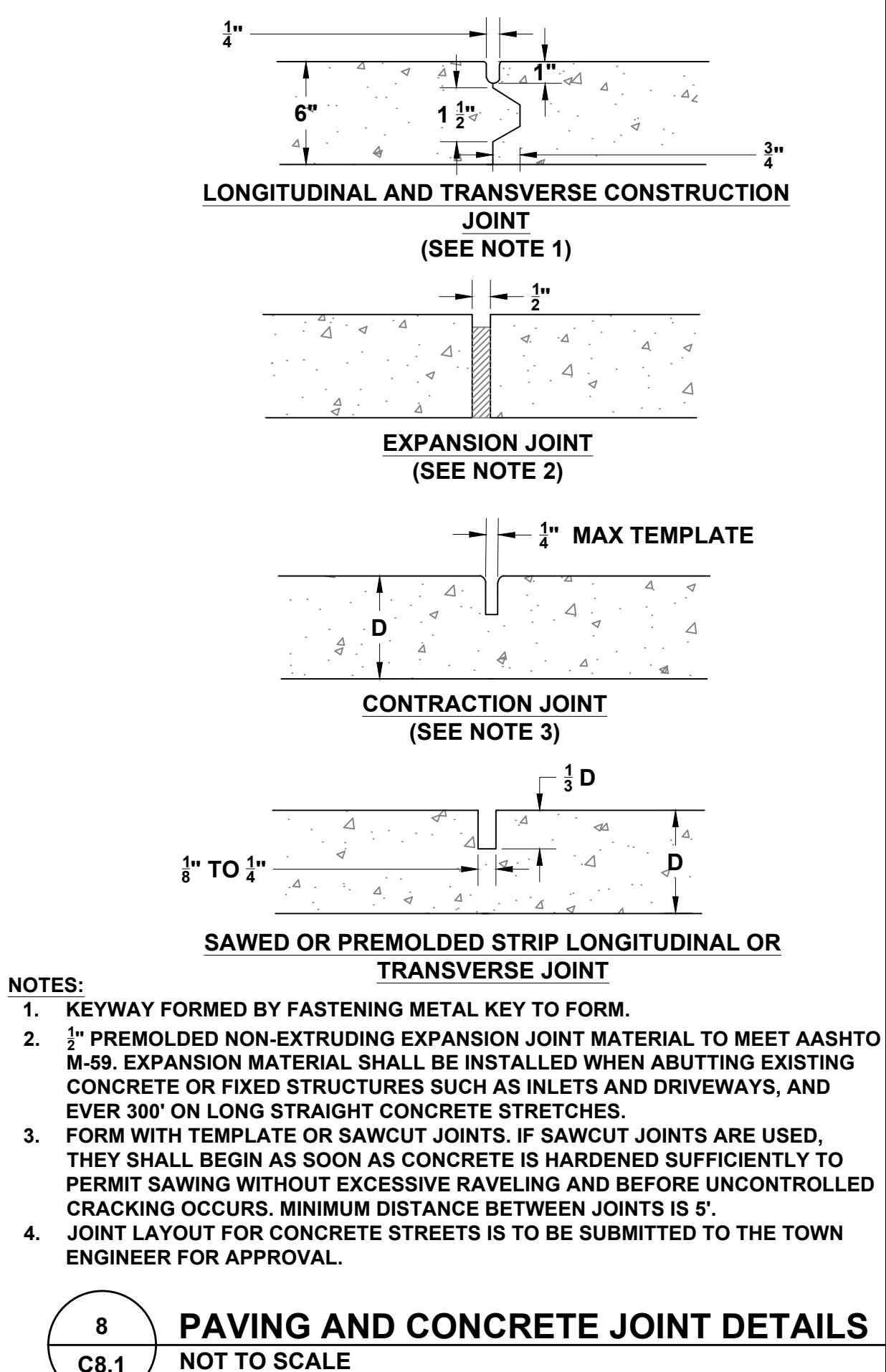
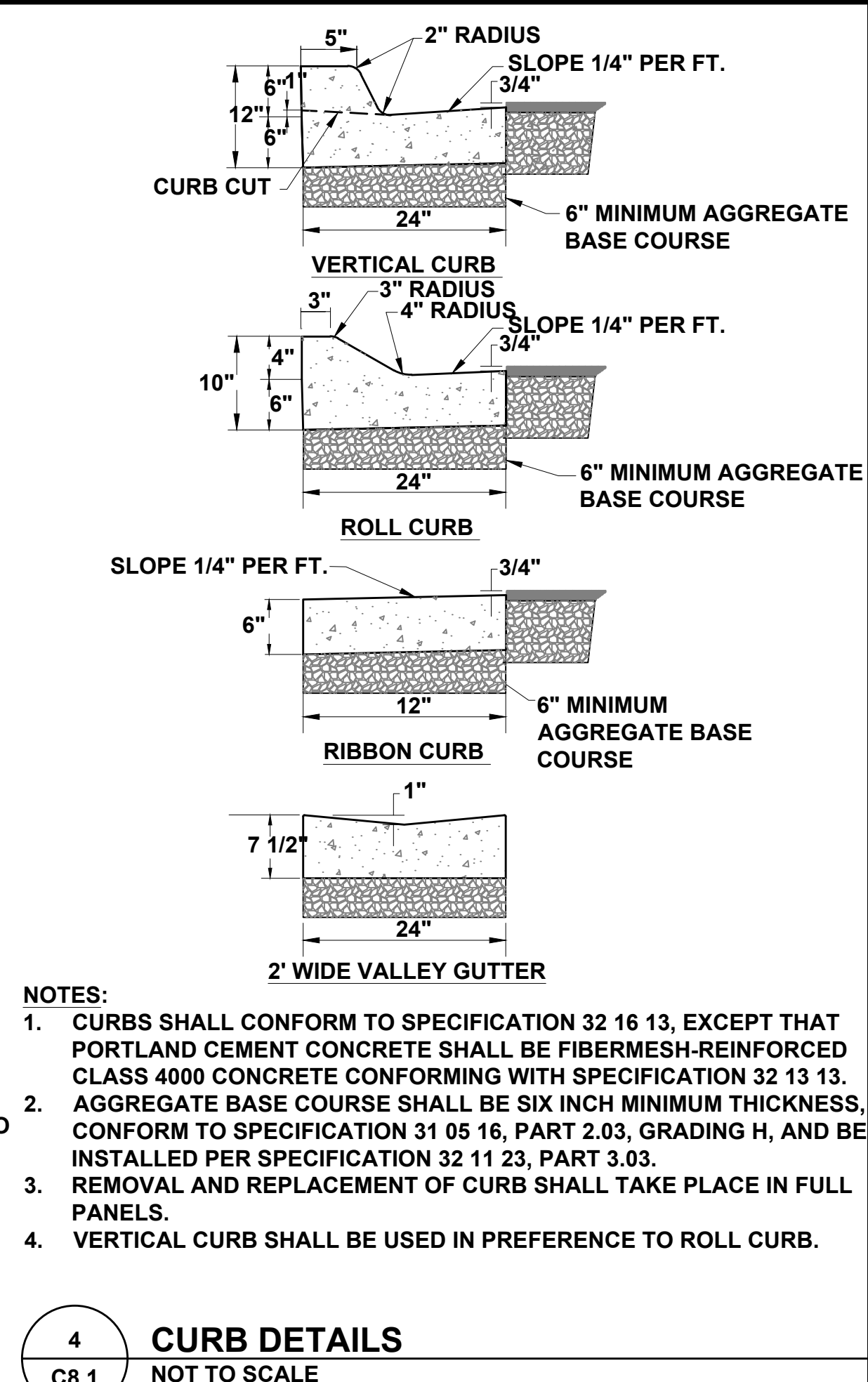
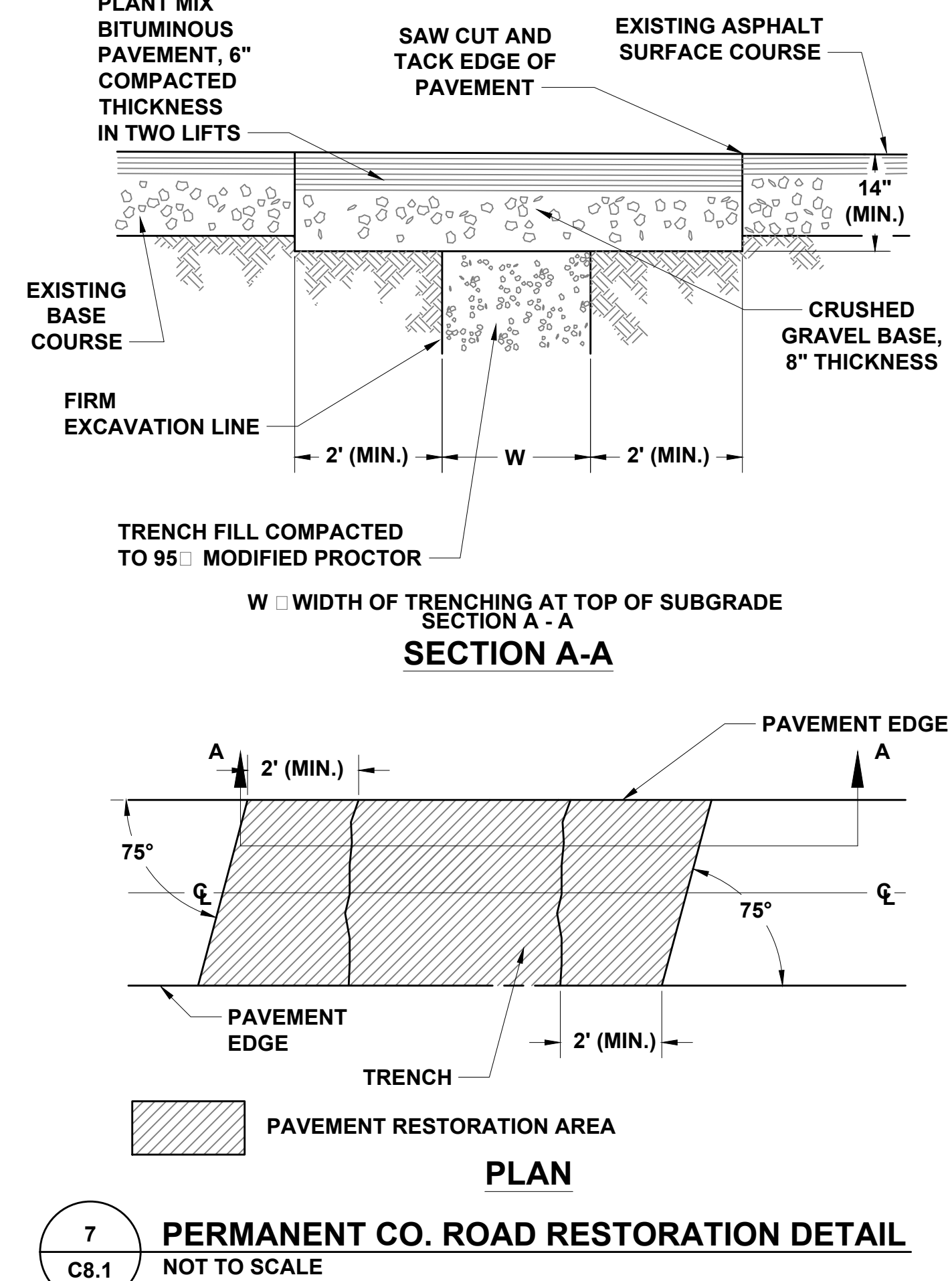
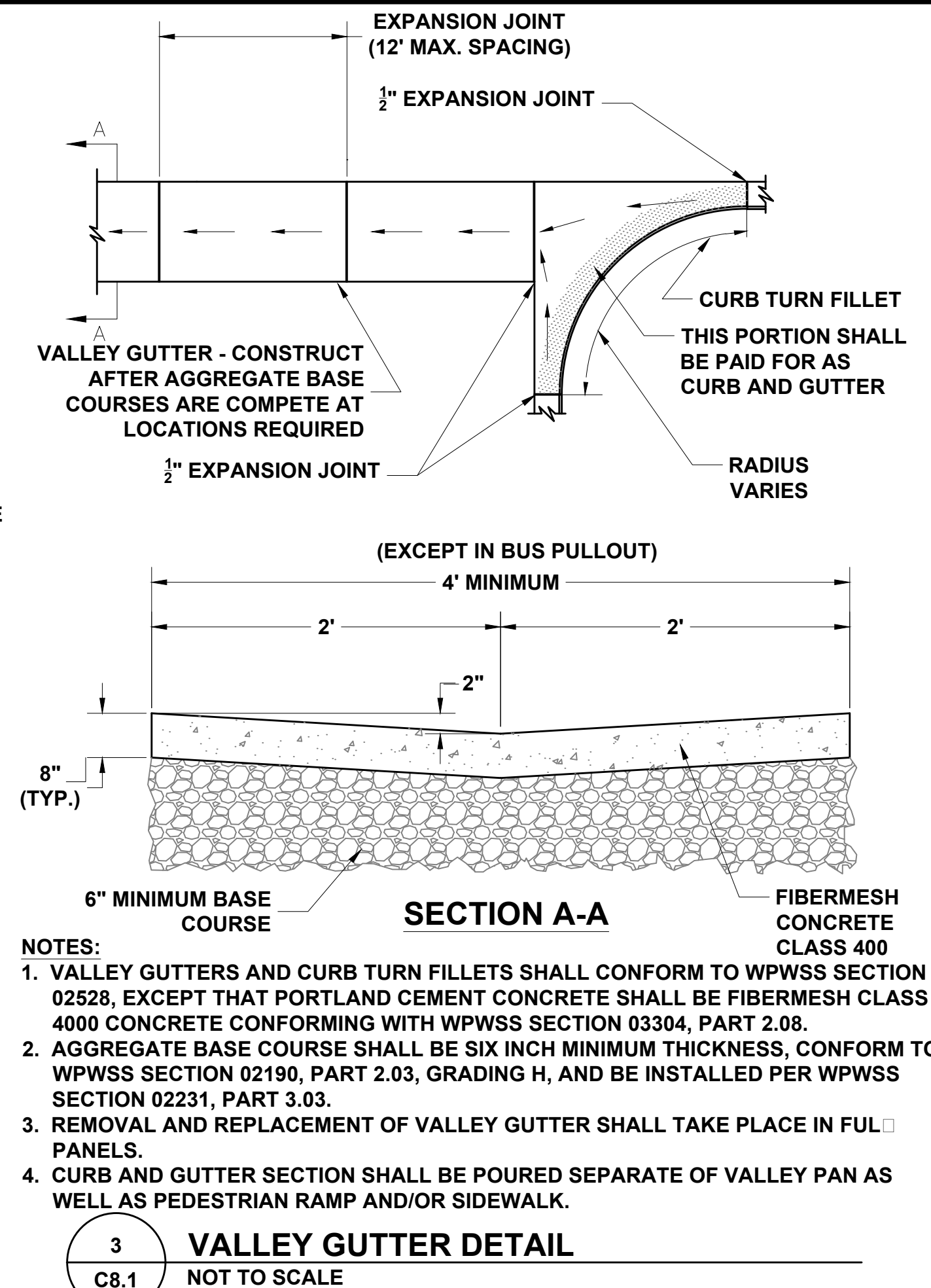
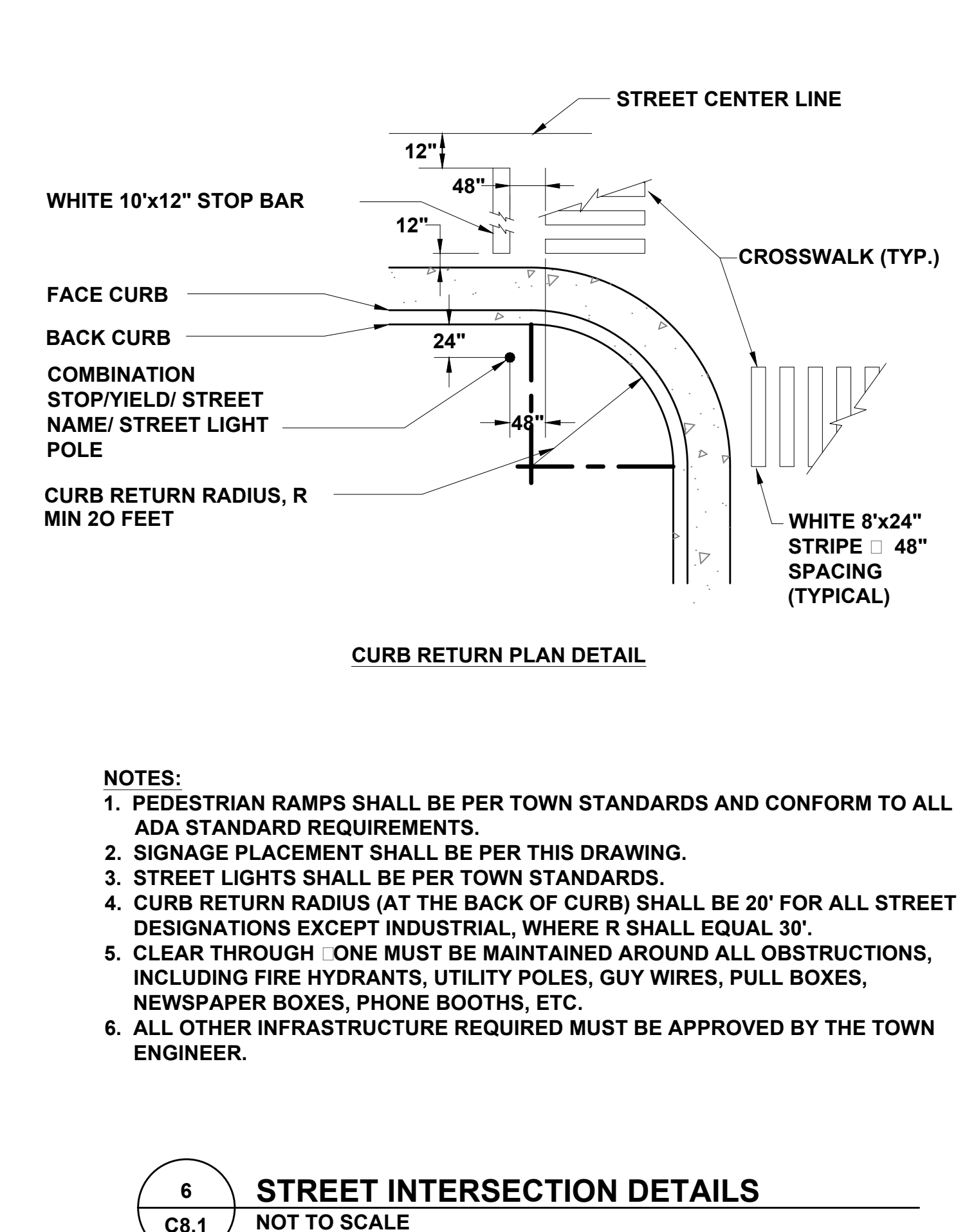
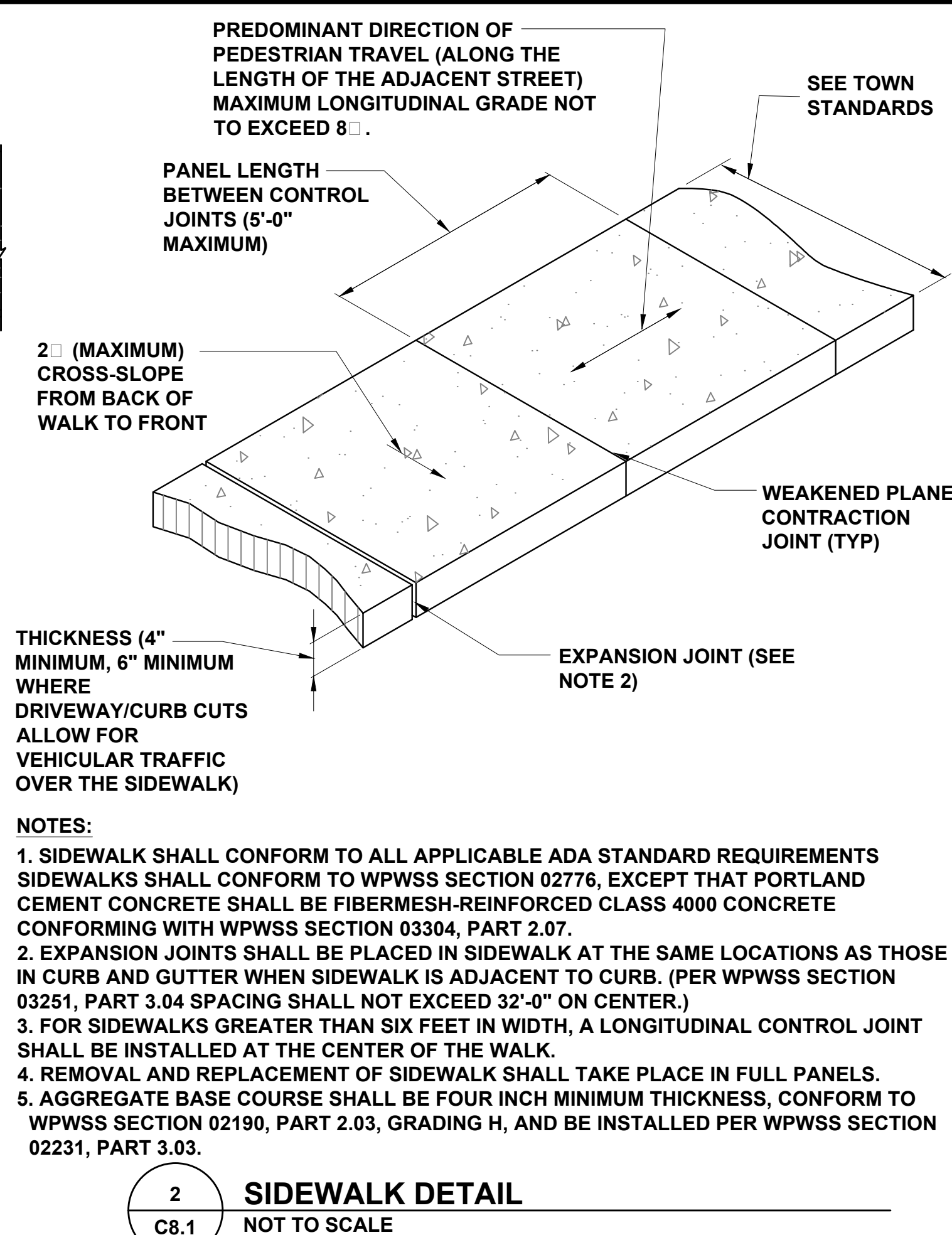
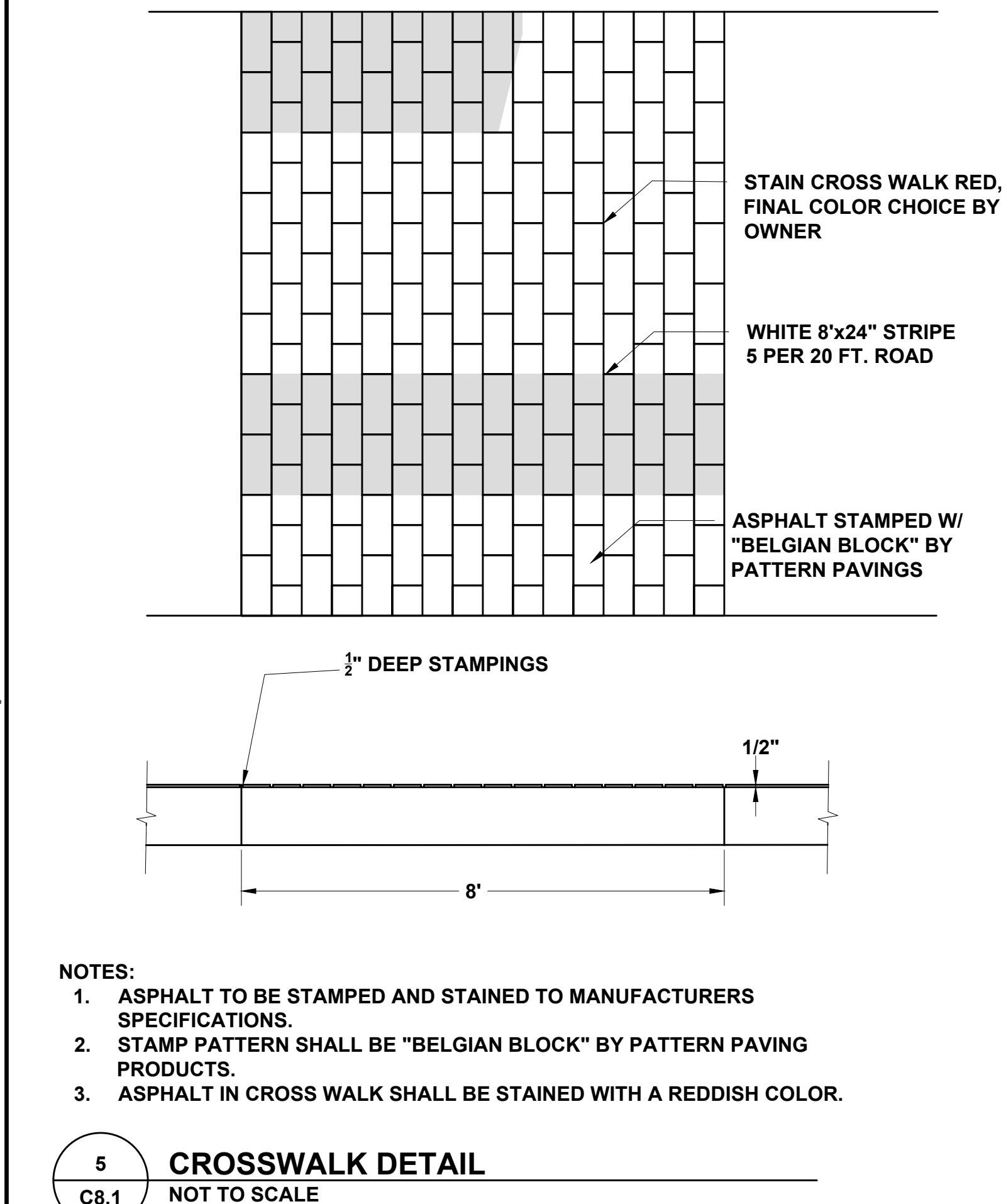
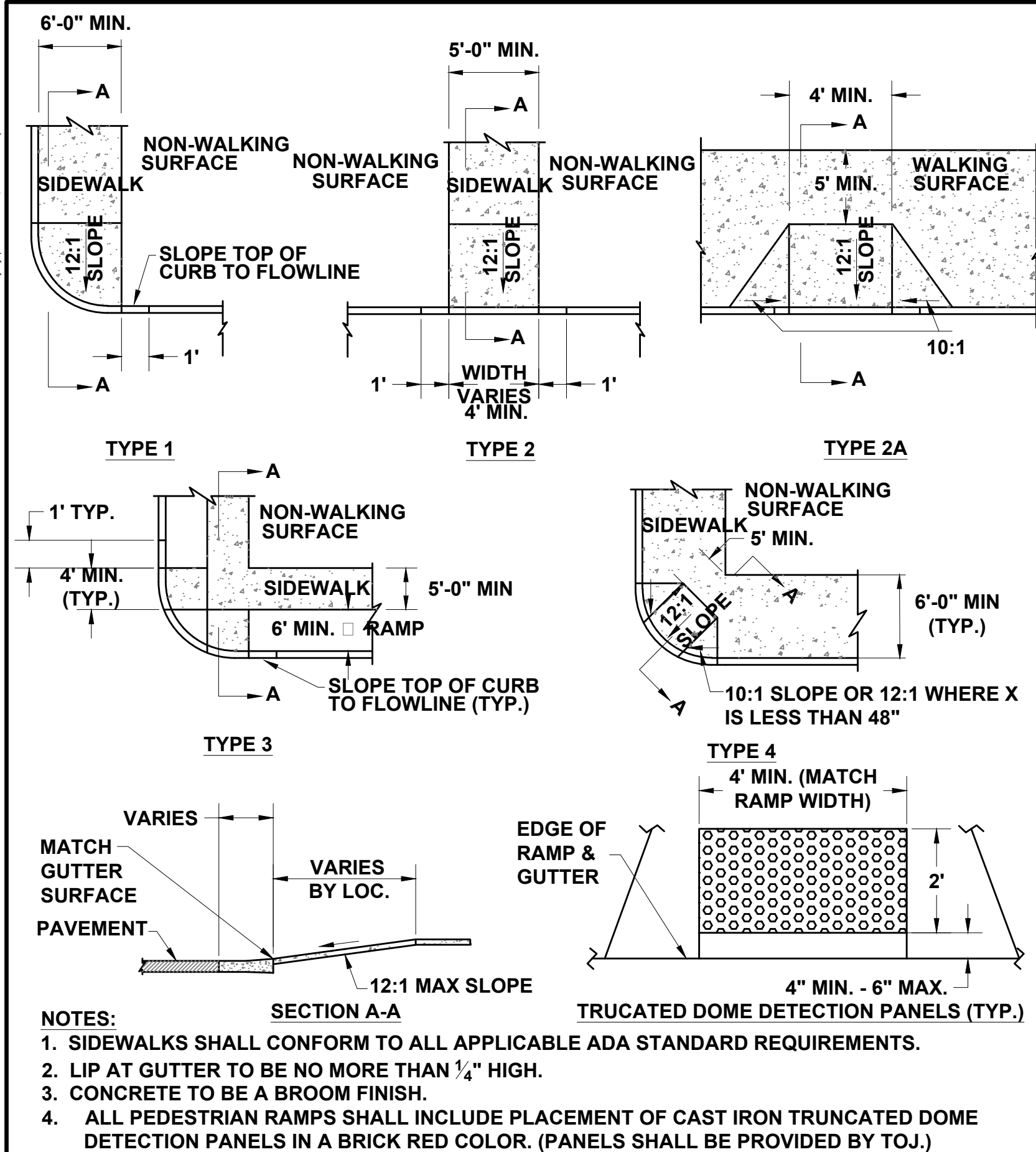


PROFILE VIEW: GEOTHERMAL A DISCHARGE  
STA: 0+00 - 3+50  
SCALE: HORI 1"=30'  
VERT. 1"=3'

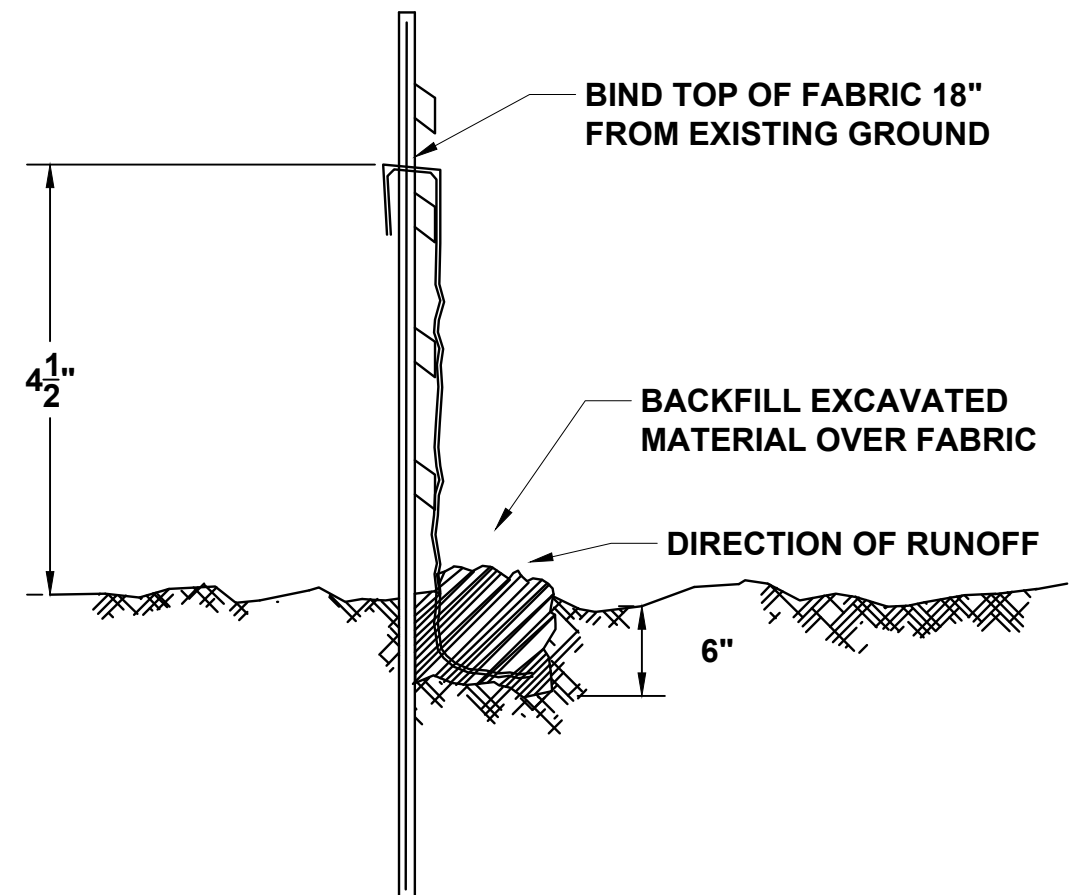
**GEOTHERMAL INSTALLATION NOTES:**

1. PHASE 1B GEOTHERMAL SUPPLY AND DISCHARGE INSTALLATION IS LIMITED TO THE PORTIONS OF GEOTHERMAL SUPPLY AND DISCHARGE MAIN A AS SHOWN ON THIS PLAN. ADJACENT GEOTHERMAL MAINS ARE SHOWN FOR REFERENCE PURPOSES ONLY. ADJACENT GEOTHERMAL MAINS AND ASSOCIATED CONTINUATIONS OF GEOTHERMAL MAIN A WILL BE CONSTRUCTED AS PART OF PHASE 1A WORK. REFER TO PHASE 1A PLANS FOR DETAIL.
2. ALL GEOTHERMAL MAINS SHALL BE DR18 C900 PVC PIPE CONFORMING TO THE PROVISIONS OF AWWA RECOMMENDED SPECIFICATIONS C900, CURRENT REVISIONS, AND ALL INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE MANUFACTURER'S DIRECTIONS.
3. SERVICE LINES ARE TO BE POLYETHYLENE, SIZED PER PLANS. LARGER SERVICES 12", SHALL BE DR-18 C900 PIPE.
4. GEOTHERMAL LINES (SUPPLY AND DISCHARGE) SHALL BE INSTALLED WITH TRACE WIRE FOR LOCATING PURPOSES. TRACE WIRE TO BE INSTALLED PER SPECIFICATIONS.
5. GEOTHERMAL LINES ARE TO BE CONSTRUCTED IN THE SAME MANNER AS WATER LINES WITH THE EXCEPTION OF THE FOLLOWING:
  - 5.1. GEOTHERMAL VALVES AND CURB STOP COVERS SHALL NOT BE MARKED WATER. ALL TRACE WIRE AND ABOVE GROUND ACCESS BOXES SHALL BE INSTALLED PER THE APWA UNIFORM COLOR CODE (GEOTHERMAL = PURPLE).
6. ALL FITTINGS SHALL BE MECHANICAL JOINTS WITH JOINT RESTRAINT AND THRUST BLOCKS INSTALLED PER DETAILS AND SPECIFICATIONS.
7. ALL FITTINGS SHALL HAVE STAINLESS STEEL OR CORROSIVE RESISTANT BOLTS AND BE "POLY WRAPPED".
8. PIPE JOINT DEFLECTION ALLOWED TO MAINTAIN ALIGNMENT. STAB PIPE IN LINE THEN DEFLECT PIPE, ONLY AT JOINT. MAX DEFLECTION 2.5 DEGREES. 2.5 DEGREES IS 12" FOR A 20 LINEAR FOOT LENGTH OF PIPE.
9. HOA WILL LOCATE GEOTHERMAL OR ALLOW TOWN TO LOCATE GEOTHERMAL LINES AS NEEDED.



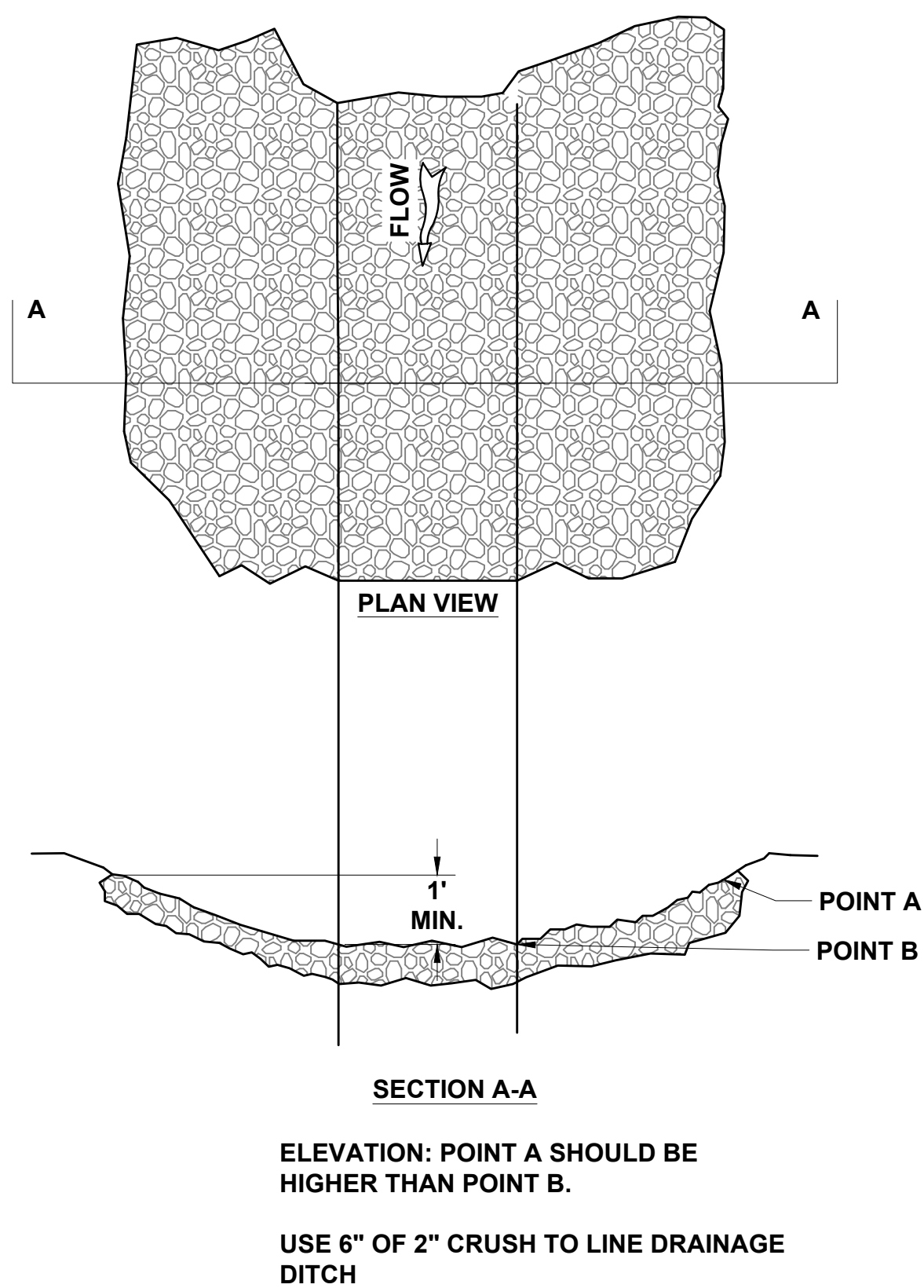






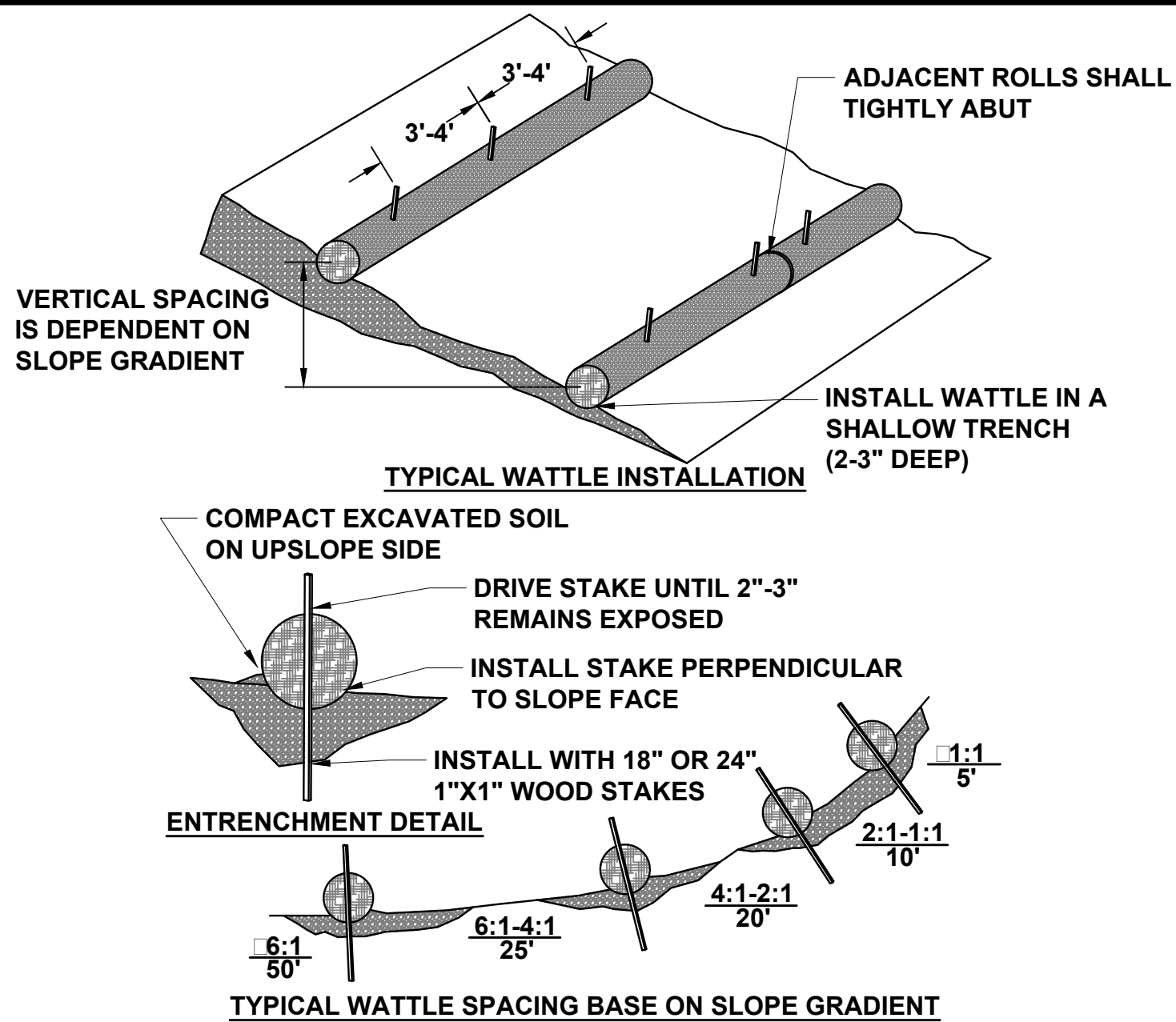
- NOTE:**
1. USE MIRAFI 100X FILTER FABRIC WITH STEEL FENCE POSTS AT 10'0" O.C. MAX., OR APPROVED EQUAL.
  2. PLACE SILT FENCE BARRIER DOWN GRADIENT OF CONSTRUCTION OPERATIONS AS SHOWN ON THE PLANS TO CONTROL SILT FROM LEAVING THE SITE.

# 1 **SILT FENCE BARRIER ILLUSTRATIVE DETAIL** C8.1 **NOT TO SCALE**



## 4 DRAINAGE DITCH DETAIL

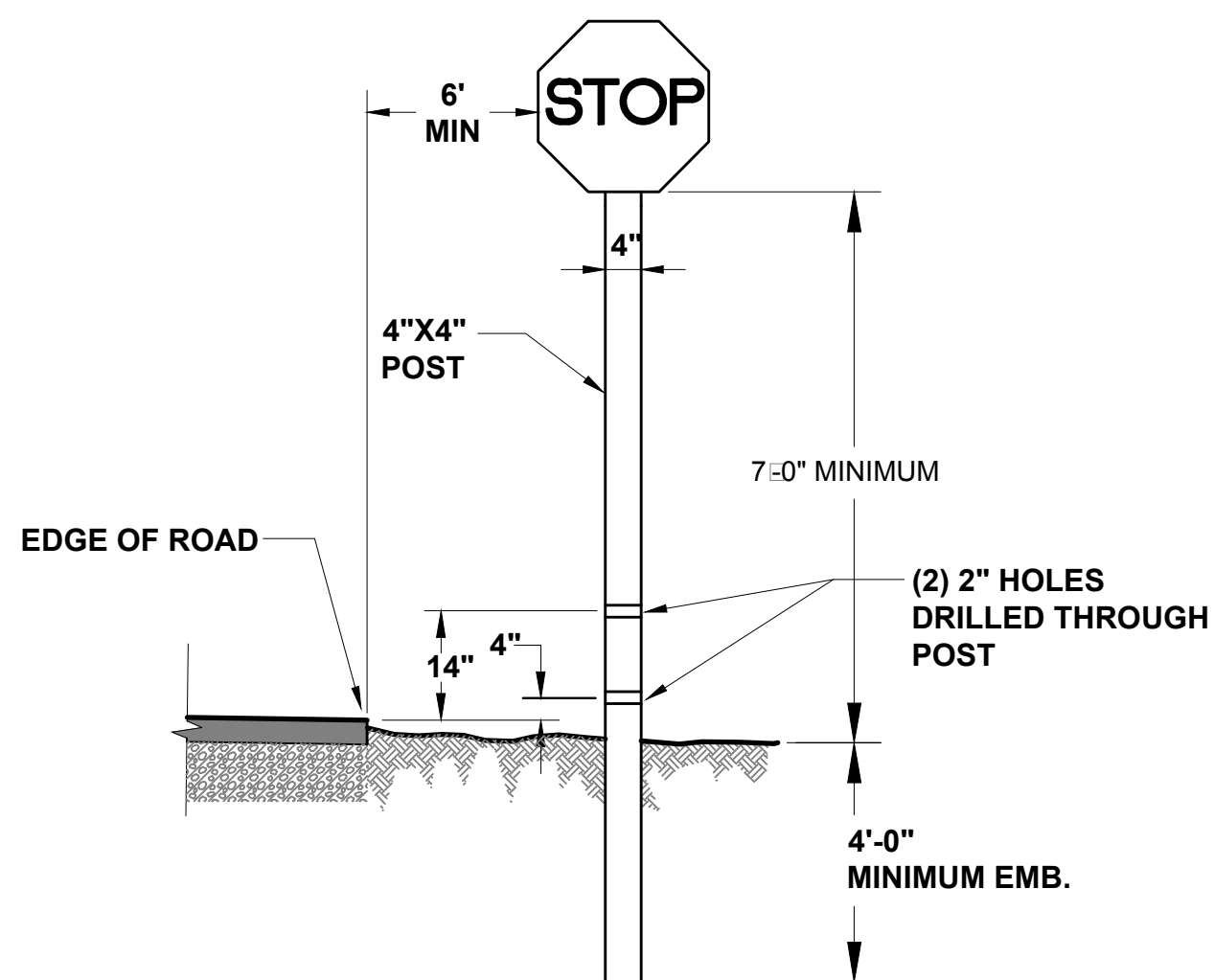
### C8.2 NOT TO SCALE



- NOTE:**
1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
  2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
  3. SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4" AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
  4. EROSION CONTROL PLAN AND LOCATION OF STRAW WATTLES SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

## 2 TYPICAL STRAW WATTLE DETAIL

### C8.2 NOT TO SCALE



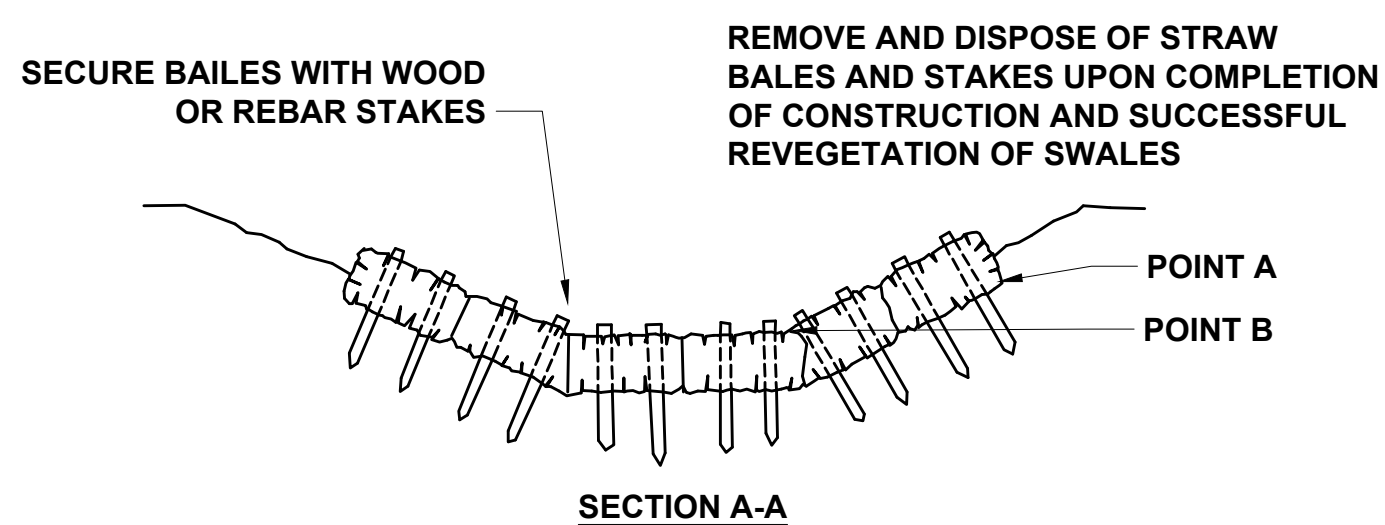
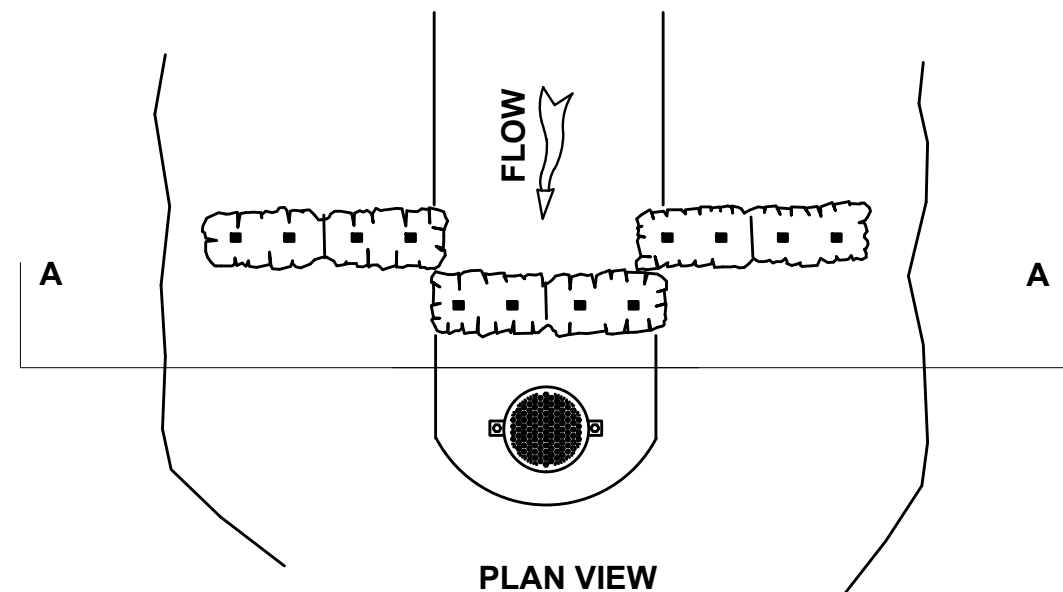
- NOTES:**
- 1. HARDWARE TO BE GALVANNEED STEEL OR ALUMINUM ALLOY BOLTS, NUTS AND WASHERS**
  - 2. SEE LANDSCAPE PLAN, SHEET L1.01 OF THIS DRAWING SET, FOR DETAILS ON STREET NAME SIGNS.**

## SIGN TABLE

<u>SIGN</u>	<u>MUTCD CODE</u>	<u>SI E, INCHES</u>
STOP	R1-1	30X30
NO PARKING ON PAVEMENT	R8-1	24x30
SPEED LIMIT	R2-1	24x30
ROAD NAME SIGN	D3-1	VARIES

☐ OR APPROVED EQUAL,

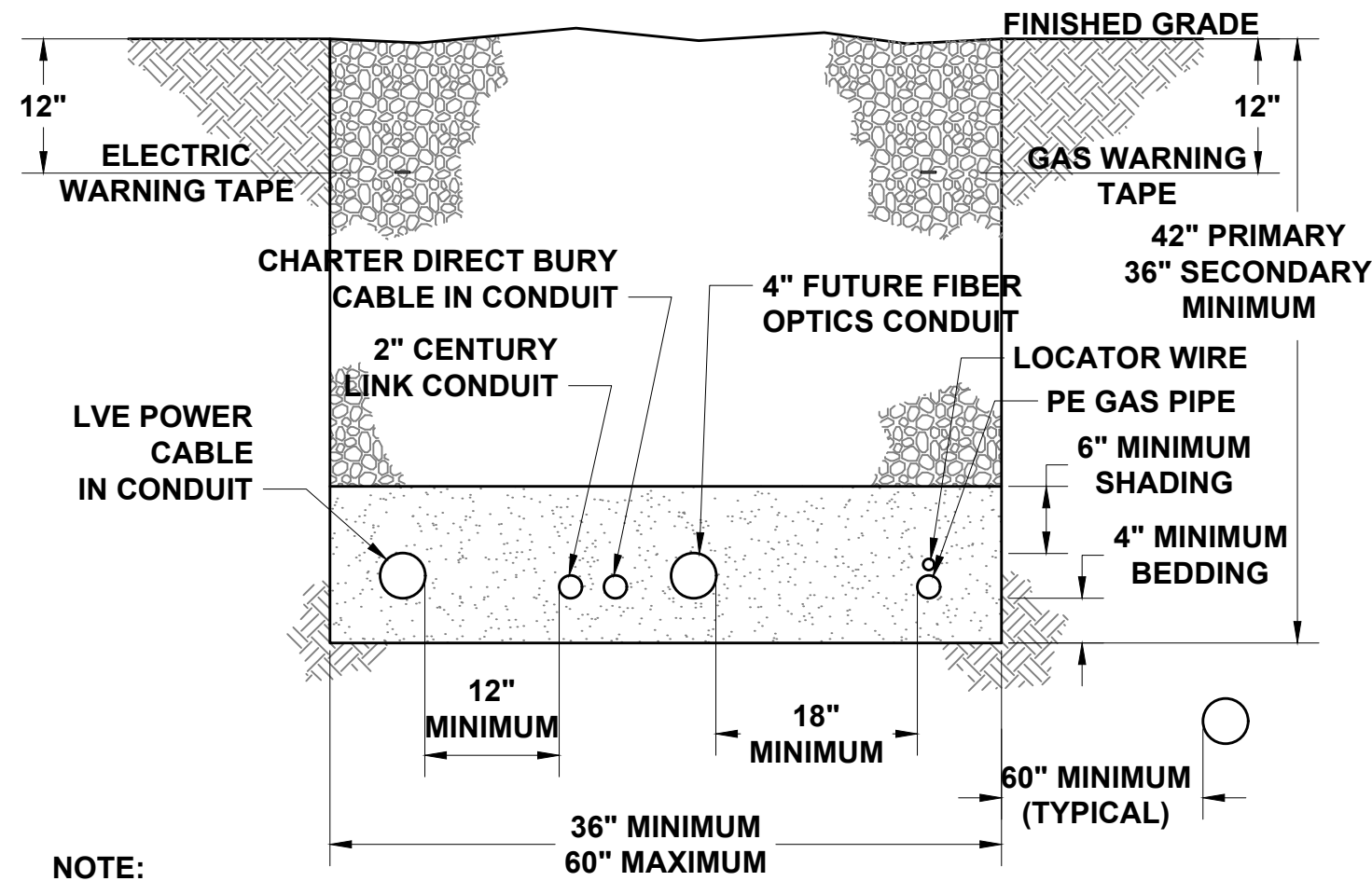
**SIGN DETAIL**  
 NOT TO SCALE



**ELEVATION: POINT A SHOULD BE HIGHER THAN POINT B.**

**FOR SMALL DITCHES USE ONLY 3  
STRAW BALES.**

## 3 **TEMPORARY STRAW BALE BARRIER DETAIL** C8.2 NOT TO SCALE

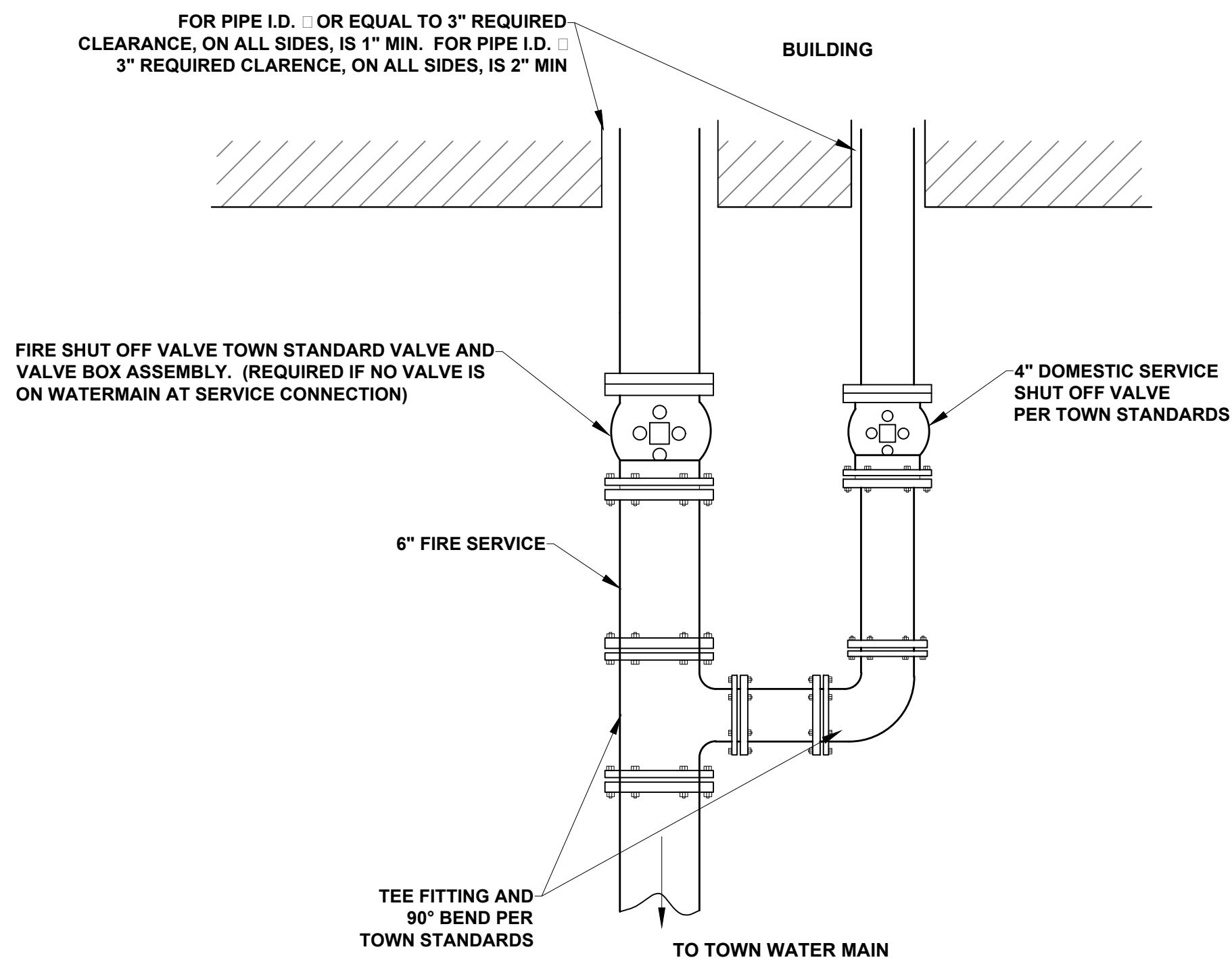


- NOTE: 60" MAXIMUM
1. CONTRACTOR SHALL VERIFY EXISTING UTILITIES TYPE, SIZE, AND DEPTH PRIOR TO ORDERING MATERIALS.
  2. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER, SEWER, AND/OR GAS PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" LENGTH OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NOT LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
  3. CUSTOMER INSTALLED CONDUIT MUST BE INSPECTED BY LVE, OR OTHER UTILITY COMPANIES, PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
  4. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
  5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A  $\frac{3}{4}$ " SCREEN (SAND IS RECOMMENDED).
  6. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR INSTALLATION.
  - 6.1 SOME CONDUIT AND INSTALLATION ARE PROVIDED BY THE UTILITY COMPANY - VERIFY WITH UTILITY AGREEMENTS.
  7. SEE ELECTRICAL PLANS AND RISER DIAGRAMS FOR DETAILS ON QUANTITY AND SIZE OF CONDUITS.
  8. 4" SPARE CONDUIT SHALL BE PLACED ONLY UNDER ALL ROADWAY CROSSINGS. END CAPS AND 4 REBAR FROM END OF CONDUIT TO 4" BELOW FINISHED GRADE.
  9. ADDITIONAL 4" SPARE CONDUIT MAY BE INSTALLED FROM R.O.W. VAULTS TO BUILDING FOR FUTURE CONNECTION OF UNDERGROUND WIRING.

**6**  
**C8.2** **TYPICAL UTILITY TRENCH**  
**NOT TO SCALE**

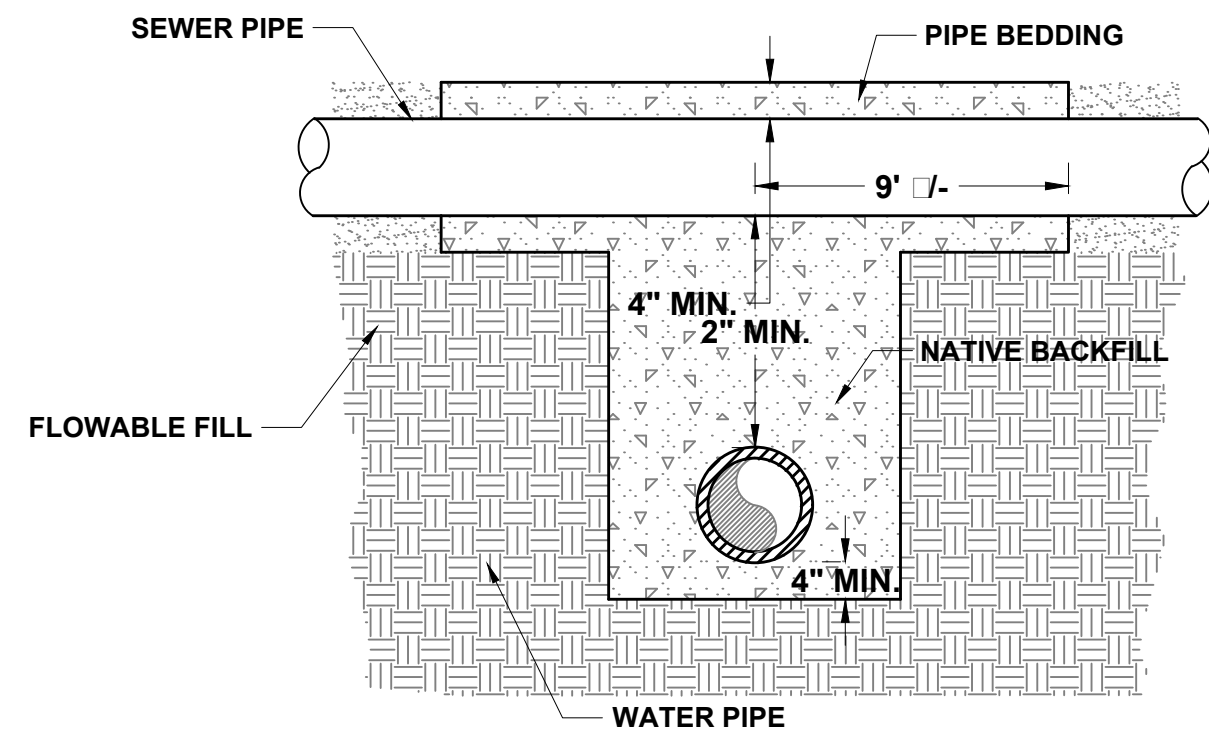
DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	16016.10
SHEET	C8.2





- NOTES:**
1. FIRE SERVICE LINE ENTRY INTO BUILDING OR STRUCTURE SHALL BE SUBJECT TO REGULATIONS OF AND REVIEW BY THE TOWN OF JACKSON BUILDING DEPARTMENT AND FIRE MARSHALL.
  2. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

1	<b>FIRE SERVICE WITH WATER SERVICE</b>
C8.3	NOT TO SCALE



WATER/SEWER CROSSING NOTES:

NORMAL CONDITIONS - WATER MAINS CROSSING SANITARY SEWER MAINS, OR STORMS SEWERS SHALL BE LAID ABOVE TO PROVIDE A VERTICAL SEPARATION OF AT LEAST EIGHTEEN (18) INCHES WHENEVER POSSIBLE. THEY DISTANCE SHALL BE MEASURED FROM THE TIP OF THE SEWER PIPE TO THE BOTTOM OF THE WATER PIPE.

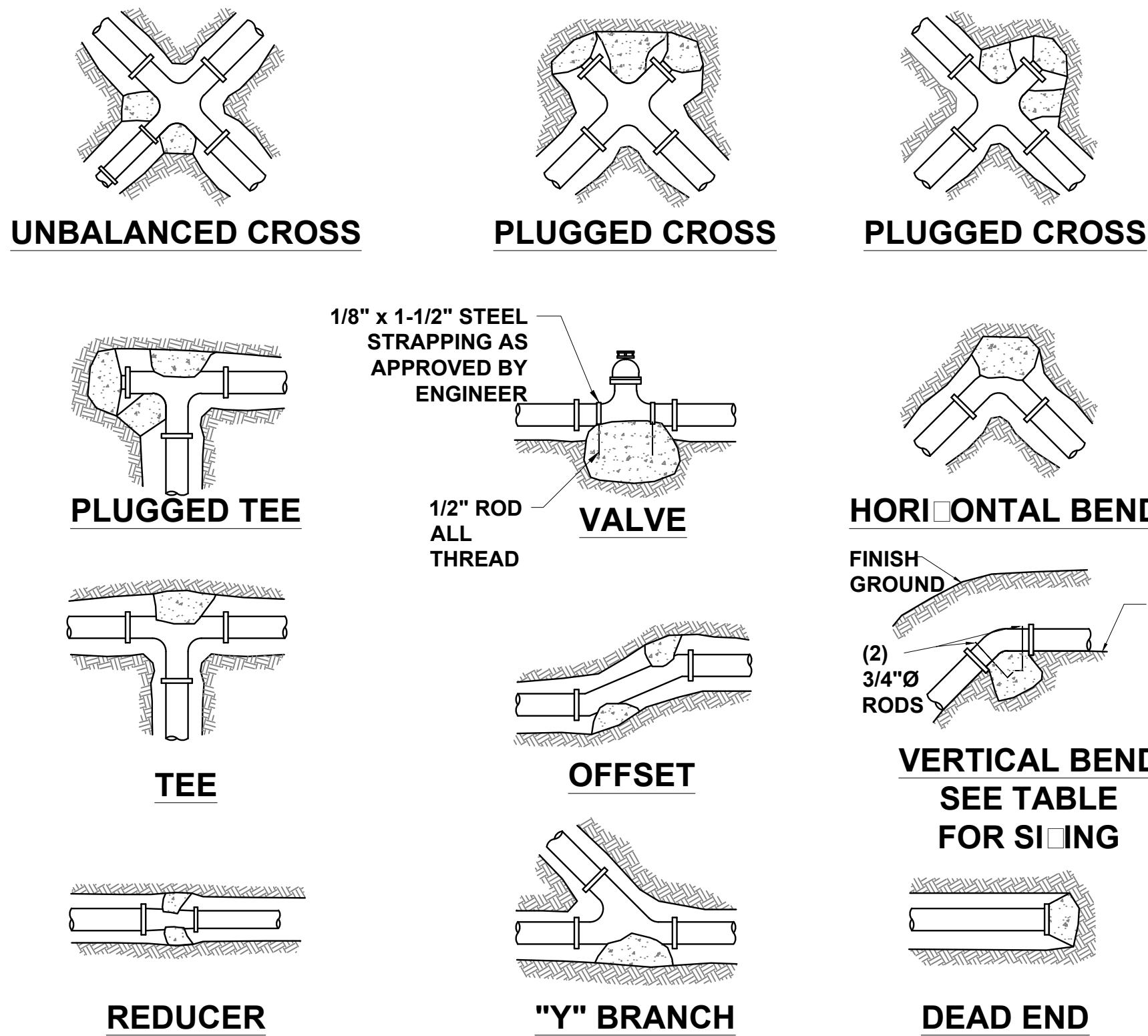
UNUSUAL CONDITIONS- WHEN LOCAL CONDITIONS PREVENT A VERTICAL SEPARATION OF AT LEAST (18) INCHES AS NOTED ABOVE, THE FOLLOWING CONSTRUCTION SHALL BE USED:

- 1) THE SANITARY SEWER OR STORM SEWER JOINTS SHALL BE CONSTRUCTED OF MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION (SDR 26 OR C-900) AND SHALL BE TESTED FOR WATER TIGHTNESS BE SEWER LINE METHODS OR
- 2) THE SANITARY SEWER, STORM SEWER OR WATER MAIN SHALL BE PLACED IN A SEPARATE CASING PIPE EXTENDING A MINIMUM OF NINE (9) FEET EACH SIDE OF THE CROSSING OR
- 3) THE SANITARY SEWER SHALL BE ENCASED IN FLOWABLE FILL A MINIMUM OF NINE (9) FEET EACH SIDE OF CROSSING.
- 4) WATER MAINS PASSING UNDER SEWER LINES SHALL IN ADDITION TO THE ABOVE REQUIREMENTS, BE PROTECTED BY PROVIDING FLOWABLE FILL BETWEEN WATER AND SEWER LINES FOR ADDITIONAL SUPPORT.
- 5) FLOWABLE FILL SHALL BEAR ON UNDISTURBED SOIL AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 30 PSI TO 60 PSI.

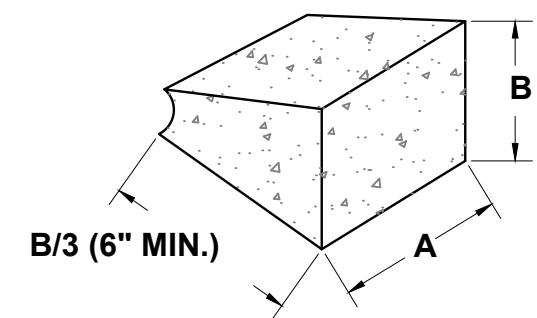
REFERENCE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02510.

(REF. WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS)

3	<b>WATER / SEWER CROSSING</b>
C8.3	NOT TO SCALE



MINIMUM DIMENSIONS FOR THRUST BLOCKING										
FITTING SI E	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"



**NOTES:**

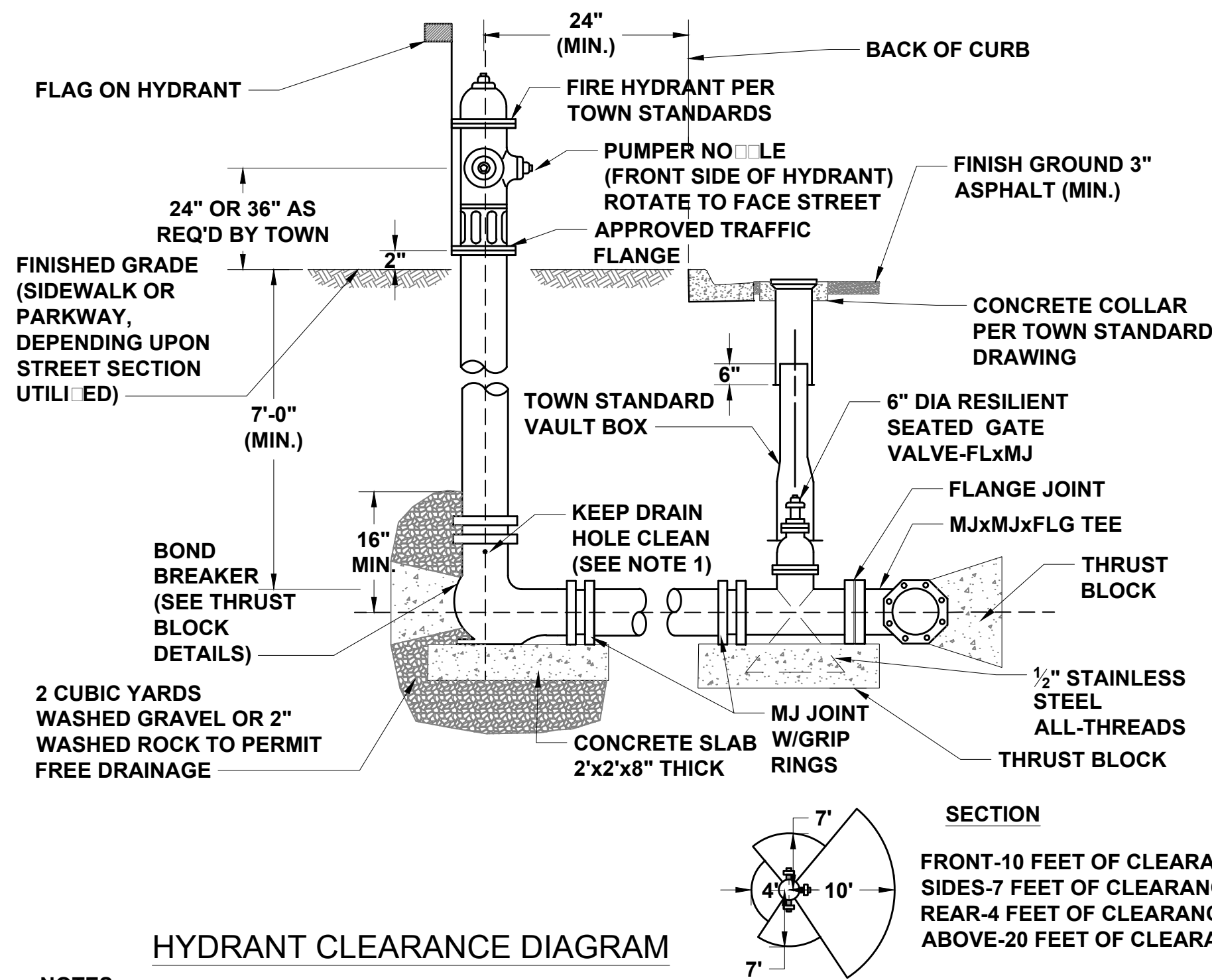
1. FITTINGS TO BE SEPARATED FROM BLOCKS WITH AN APPROVED BOND BREAKER, SUCH AS POLY WRAP.
2. ALL BLOCKS TO BEAR AGAINST UNDISTURBED SOIL MATERIAL
3. DESIGN IS BASED UPON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
4. SIZE OF BLOCK SHALL BE A MINIMUM OF 6" THICK.
5. COAT ALL EXPOSED RODS WITH BITUMINOUS COMPOUND "KOPPERS" BITUMINASTIC NO. 50 OR APPROVED EQUAL.

**VERTICAL ANCHOR BLOCK SIZING TABLE**  
**CONCRETE VOLUME REQUIRED (CU. FT.)(150 PSI)**

BENDS			
SI E	45°	22-1/2°	11-1/4°
3"	8.3	4.4	2.1
4"	14.7	7.5	3.9
6"	33.0	17.0	8.4
8"	58.5	29.7	14.9
10"	91.2	46.5	23.3
12"	131.7	67.5	33.3

## 2 THRUST BLOCK DETAILS

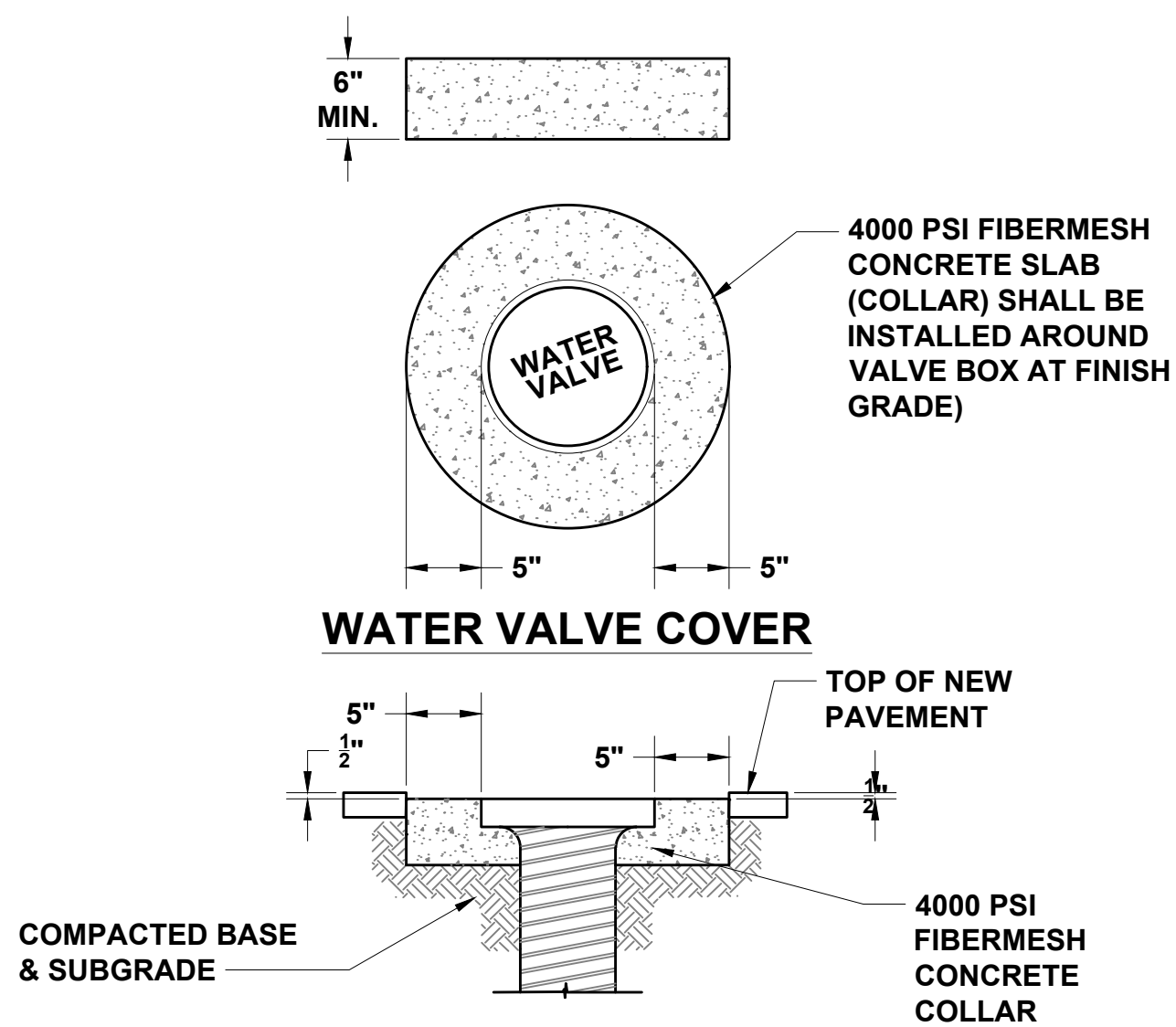
### C8.3 NOT TO SCALE



## HYDRANT CLEARANCE DIAGRAM

- NOTES:**
- 1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.**
  - 2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.**
  - 3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.**
  - 4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.**

## 4 FIRE HYDRANT DETAIL



## WATER VALVE ADJUSTMENT

- NOTES:
1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
  2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER

## 5 WATER VALVE ADJUSTMENT DETAIL



**JORGENSEN**  
JACKSON, WYOMING  
307.733.5150  
[www.jorgensenassociates.com](http://www.jorgensenassociates.com)

PROJECT TITLE:  
HIDDEN HOLLOW  
HANSEN & HANSEN, LLP  
PHASE 2 DEVELOPMENT PLAN  
TOWN OF JACKSON, WYOMING

SHEET TITLE:  
WATER SYSTEM DETAILS

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	
16016.10	
SHEET	


### C8.3









- 

**JORGENSEN**  
 JACKSON, WYOMING  
 307.733.6150  
[www.jorgensenassociates.com](http://www.jorgensenassociates.com)

PROJECT TITLE:

HIDDEN HOLLOW  
 HANSEN & HANSEN, LLP  
 PHASE 2 DEVELOPMENT PLAN  
 TOWN OF JACKSON, WYOMING

SHEET TITLE:

STORMWATER SYSTEM DETAILS

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
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GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	
16016.10	
SHEET	
C8.5	



LEGEND

- A** SNOW STORAGE / DETENTION AREA
- B** EXISTING WETLANDS, PRESERVED
- C** PROPOSED WETLAND MITIGATION AREA
- D** SIDEWALK
- E** TRASH RECEPTACLES
- F** 15' OVERHEAD POWER LINE EASEMENT
- G** 50' ACCESS & UTILITY EASEMENT
- H** PAVILION
- I** POTENTIAL KING STREET CONNECTION
- J** POTENTIAL PATHWAY CONNECTION - REQUIRES CURB-CUT & REMOVAL OF 2 PARKING
- K** 10' MULTI-USE PATH
- L** PROPOSED CONNECTION POINT TO FUTURE PATHWAY SYSTEM
- M** PET WALKING AREA W/ MUTT-MITT STATION
- N** PEDESTRIAN CONNECTION - REQUIRES CURB-CUT, REMOVAL OF 2 PARKING, & CROSSWALK STRIPING
- SF** SINGLE FAMILY UNIT
- TH** TOWNHOUSE
- MF** MULTI-FAMILY/CONDO



**HIDDEN HOLLOW**  
PROPOSED SITE PLAN  
25 JUNE 2018

HERSHBERGER DESIGN  
ARCHITECTS & PLANNERS

TETON COUNTY RECREATION CENTER

DAVEY JACKSON  
ELEMENTARY SCHOOL



LEGEND

- A SNOW STORAGE / DETENTION AREA
- B EXISTING WETLANDS, PRESERVED
- C PROPOSED WETLAND MITIGATION AREA
- D PEDESTRIAN SIDEWALK
- E TRASH RECEPTACLES
- F 15' OVERHEAD POWER LINE EASEMENT
- G 50' ACCESS & UTILITY EASEMENT
- H PAVILION
- I POTENTIAL KING STREET CONNECTION
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- SF SINGLE FAMILY UNIT
- TH TOWNHOUSE
- MF MULTI-FAMILY/CONDO
- PEDESTRIAN PATH
- 10' MULTI-USE PATH



**HIDDEN HOLLOW**  
PEDESTRIAN CIRCULATION DIAGRAM  
25 JUNE 2018

HERSHBERGER DESIGN  
LANDSCAPE ARCHITECTURE, PLANNING, & URBAN DESIGN

TETON COUNTY RECREATION CENTER

DAVEY JACKSON  
ELEMENTARY SCHOOL



PLANTING & IRRIGATION NOTES

- Refer to Civil Engineer's utility and grading plans. If site conditions vary from what is shown, contact the Landscape Architect and Civil Engineer for direction before proceeding.
- Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site conditions, contact the Landscape Architect for direction before proceeding.
- Excavation near underground utilities shall be done carefully and, if necessary, by hand. The Contractor is fully responsible for this work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the Owner.
- Obtain approval of finish grading from Landscape Architect prior to installing any plant material. The finish grades of planting areas and lawns shall be 1½ inches below adjacent edging or paving. Confirm mulch depth and whether lawns are to be seed or sod.
- Confirm all plant counts and square footages. Quantities shown are provided as Owner information only. If quantities indicated in the plant list differ from symbols shown on the plans, then the plans shall govern the plant count.
- Contractor to verify suitability of native or imported topsoil. Suitable topsoil shall be free of roots, plants, sod, stones greater than ½" in any dimension, clay lumps, and other extraneous materials detrimental to plant growth.
- For areas to receive sod or seed and/or to produce planting soil for areas indicated on details, amend suitable topsoil with organic compost to a ratio of 1 part compost to 4 parts topsoil by volume.
- Compost shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5 to 8.0; moisture content 35 to 55 percent by weight, with organic matter content 50 to 60 percent of dry weight with 16-16-8 nutrient composition. If compost is not 16-16-8 composition, add commercial fertilizer in necessary quantities to meet 16-16-8 nutrient composition. Source: Glacier Gold Compost or approved equal.
- Contact to supplement existing native surface topsoil as necessary. Obtain supplemental topsoil displaced from naturally well-drained construction or mining sites where topsoil occurs at least 4 inches deep. Do not obtain from agricultural lands, bogs, or marshes.
- Compost mulch shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5-8.0; moisture content 35 to 55 percent by weight; 100 percent passing through 1-inch sieve; soluble salt content of 2 to 5 decisiemens/m; not to exceed 0.5 percent inert contaminants and free of substances toxic to planting, organic matter content 50 to 60 percent of dry weight. Source: Glacier Gold Compost or approved equal.
- The Landscape Architect shall review all plant materials at the source or nursery or by photographs provided by Contractor prior to shipment. The Landscape Architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site.
- Carefully align and space plant materials as indicated in these notes, drawings, and details. The final location of plant materials is to be approved by the Landscape Architect on site prior to installation. The Contractor is responsible for staking or marking the location of all plant materials on site for review by the Landscape Architect. The Landscape Architect reserves the right to adjust the exact locations of plants on site.
- All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
- All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller. All trees, shrubs, and perennials shall be drip irrigated and all turf areas shall be irrigated with a spray or rotor system. Irrigation system shall be design-build by Contractor. Contractor shall provide an irrigation shop-drawing for review by Landscape Architect before proceeding. Contractor shall demonstrate full system coverage prior to acceptance and before plant material installation. Contractor shall provide a reproducible as-built drawing of installed irrigation system at conclusion of project.
- The irrigation system shall be operational prior to plant installation or temporary irrigation measures shall be provided in the interim. The method of temporary irrigation shall be approved by the Landscape Architect prior to plant material installation.
- No pruning of existing or newly planted trees or shrubs shall be allowed without the direction and approval of the Landscape Architect.
- For ball & burlap trees, remove burlap from top ⅓ of rootball and entire wire basket as tree pits are backfilled.
- All installed trees shall be staked. The Landscape Architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
- During construction and prior to final acceptance, Contractor shall observe the project site for the growth of noxious weeds. Contractor shall report the growth of noxious weeds to the Teton County Weed and Pest District Office. Contractor and Owner shall implement a weed control program to control noxious weeds.
- All disturbed areas not receiving other planting treatment shall be seeded with native seed mix as specified on these plans. Mix as Follows:

Species	Rate (LBS/acre)	Percent
<i>Deschampsia caespitosa</i> / Tufted Hairgrass	7.2	36
<i>Phleum virginicum</i> / Alpine Timothy	7.2	36
<i>Chamerion angustifolium</i> / Fireweed	1.0	5
<i>Balsamorhiza macrophylla</i> / Cutleaf Balsamroot	1.0	5
<i>Iris missouriensis</i> / Rocky Mountain Iris	1.4	7
<i>Linum lewisii</i> var. <i>lewisii</i> / Lewis Flax	1.0	5
<i>Solidago canadensis</i> / Canada Goldenrod	0.6	3
<i>Mimulus floribundus</i> / Manyflowered Monkeyflower	0.6	3
TOTAL	20.0	100

- Apply 16-16-8 fertilizer at the rate of 15 lbs per 1,000 SF and till into top 4" of areas to receive sod or seed.
- Planting period for seed and sod shall be immediately after finish grading and irrigation installation are accepted but no later than September 30 for sod. Seed shall be installed after September 30 or no later than June 1.

PLANT UNIT SUMMARY

HIDDEN HOLLOW PLANT UNIT SUMMARY, FULL BUILDOUT - ALL PHASES

Plant Unit Requirements:  
1 Plant Unit per Dwelling Unit (171 Dwelling Units Proposed) = 171 Plant Units  
1 Plant Unit per 12 Parking Spaces (81 Surface Parking Spaces Proposed) = 7 Plant Units  
**TOTAL PLANT UNIT REQUIREMENT = 178 PLANT UNITS**

Plant Unit Breakdown of Submissions:  
Previously Submitted and Approved:  
Total Plant Units previously proposed in Phase 1a FDP / CEC2 = 6 Plant Units  
Total Plant Units previously proposed Phase 1b FDP (TH Units 1-3 & 16-20) = 8 Plant Units  
Total Plant Units previously proposed Multi-Family Buildings 4&5 Building Permit = 36 Plant Units  
This Submission:  
Total Plant Units currently proposed in FDP2 (see detail breakdown to right) = 108 Plant Units  
Future Submissions:  
Total Future Plant Units proposed in Single Family Lots (at B.P. submission) = 20 Plant Units

**TOTAL PLANT UNITS PROPOSED, ALL PHASES = 178 Plant Units**

HIDDEN HOLLOW PLANT UNIT SUMMARY, FDP2

95 Dwelling Units Proposed:  
55 Units in Multi-Family Buildings 2&3, 28 units in Multi-Family Building 1 and 12 Townhouse Units)  
15 Surface Parking Spaces Proposed

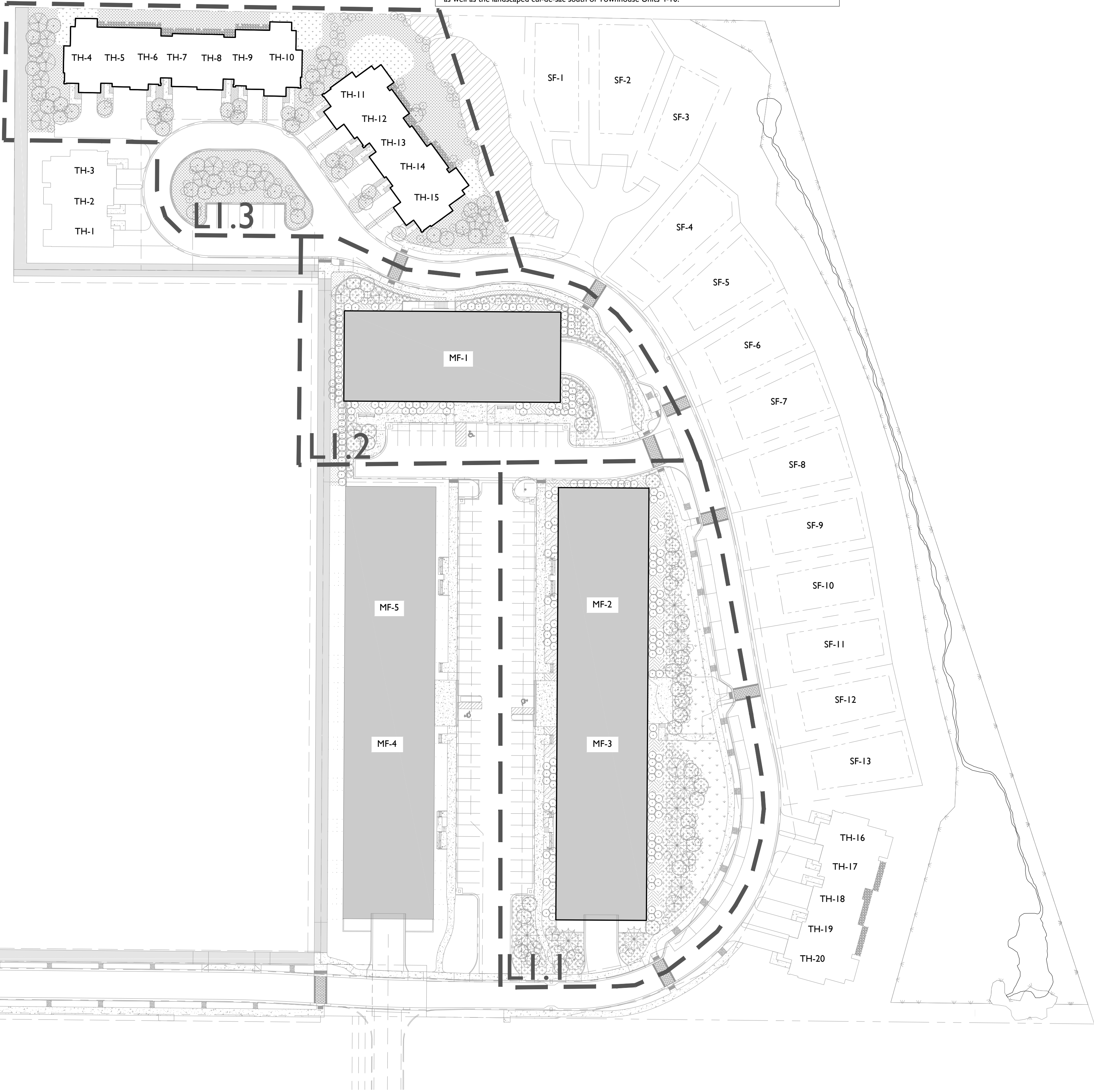
1 Plant Unit Required per Dwelling Unit = 95 Plant Units  
1 Plant Unit Required per 12 Parking Spaces = 2 Plant Units

**FDP2 Plant Unit Requirement = 97 Plant Units**

Total Plant Units proposed Multi-Family Buildings 2&3 = 61 Plant Units  
Total Plant Units proposed Multi-Family Building 1 = 23 Plant Units  
Total Plant Units proposed Townhouse Units 4-15 = 24 Plant Units

**FDP2 Plant Units Proposed = 108 Plant Units\***

\*The additional plant units proposed within this Final Development Plan is to meet the plant unit requirement of the overall project. The additional plant units are located in the common area east of Multi-Family Buildings 2&3 as well as the landscaped cul-de-sac south of Townhouse Units 4-10.



HIDDEN HOLLOW  
MERCILL AVENUE AT HIDDEN HOLLOW  
FDP2

60 ROSENCRANS  
JACKSON, WYOMING

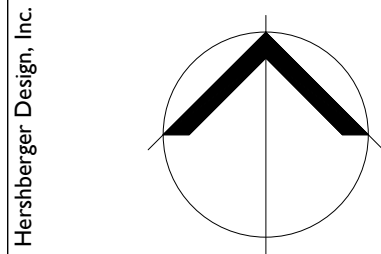
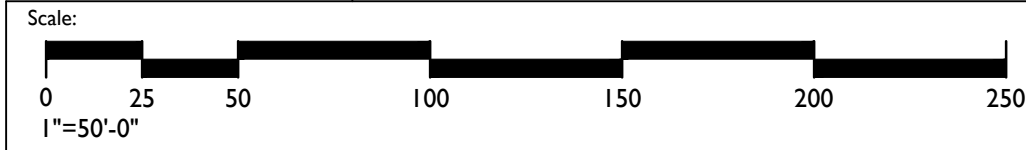
LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- SINGLE FAMILY BUILDING ENVELOPE
- TOP OF CURB
- SIDEWALK
- BUILDING FOOTPRINT (THIS APPLICATION, FDP2)

HERSHBERGER DESIGN

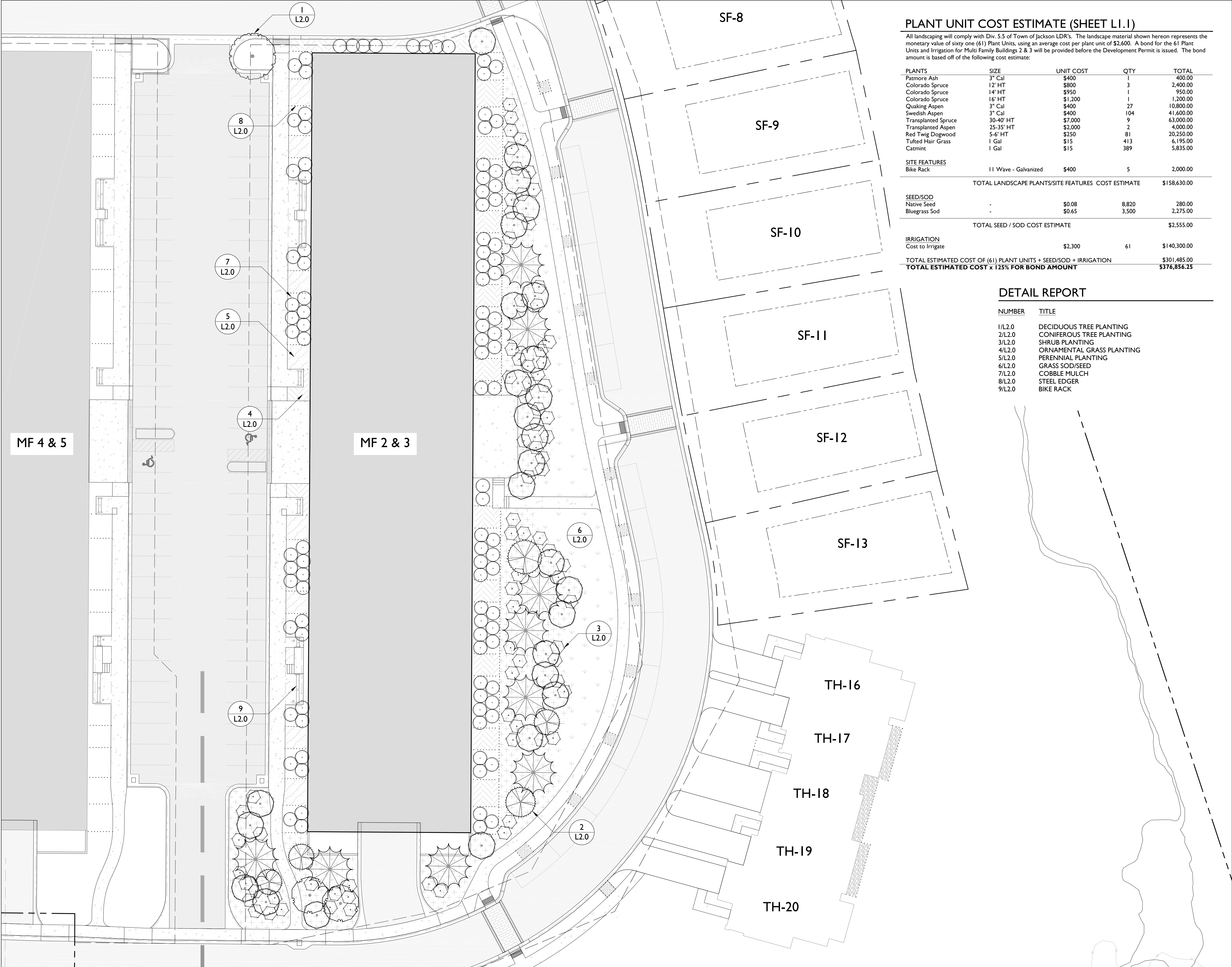
Landscape Architecture · Environmental Planning · Urban Design  
560 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.739.1001 F:307.734.8322

Issue Date:	06.25.2018	FDP2 SUBMISSION
Drawing Title:	MATERIALS & PLANTING KEY PLAN	
Drawing Number:	LI.0	



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PLANT UNIT COST ESTIMATE (SHEET LI.1)

All landscaping will comply with Div. 5.5 of Town of Jackson LDR's. The landscape material shown hereon represents the monetary value of sixty one (61) Plant Units, using an average cost per plant unit of \$2,600. A bond for the 61 Plant Units and Irrigation for Multi Family Buildings 2 & 3 will be provided before the Development Permit is issued. The bond amount is based off of the following cost estimate:

PLANTS	SIZE	UNIT COST	QTY	TOTAL
Patmore Ash	3" Cal	\$400	1	400.00
Colorado Spruce	12' HT	\$800	3	2,400.00
Colorado Spruce	14' HT	\$950	1	950.00
Colorado Spruce	16' HT	\$1,200	1	1,200.00
Quaking Aspen	3" Cal	\$400	27	10,800.00
Swedish Aspen	3" Cal	\$400	104	41,600.00
Transplanted Spruce	30-40' HT	\$7,000	9	63,000.00
Transplanted Aspen	25-35' HT	\$2,000	2	4,000.00
Red Twig Dogwood	5-6' HT	\$250	81	20,250.00
Tufted Hair Grass	1 Gal	\$15	413	6,195.00
Catmint	1 Gal	\$15	389	5,835.00
SITE FEATURES				
Bike Rack	11 Wave - Galvanized	\$400	5	2,000.00
TOTAL LANDSCAPE PLANTS/SITE FEATURES COST ESTIMATE				\$158,630.00
SEED/SOD				
Native Seed	-	\$0.08	8,820	280.00
Bluegrass Sod	-	\$0.65	3,500	2,275.00
TOTAL SEED / SOD COST ESTIMATE				\$2,555.00
IRRIGATION				
Cost to Irrigate		\$2,300	61	\$140,300.00
TOTAL ESTIMATED COST OF (61) PLANT UNITS + SEED/SOD + IRRIGATION				\$301,485.00
TOTAL ESTIMATED COST x 125% FOR BOND AMOUNT				\$376,856.25

DETAIL REPORT

NUMBER	TITLE
1/L2.0	DECIDUOUS TREE PLANTING
2/L2.0	CONIFEROUS TREE PLANTING
3/L2.0	SHRUB PLANTING
4/L2.0	ORNAMENTAL GRASS PLANTING
5/L2.0	PERENNIAL PLANTING
6/L2.0	GRASS SOD/SEED
7/L2.0	COBBLE MULCH
8/L2.0	STEEL EDGER
9/L2.0	BIKE RACK

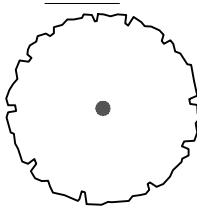

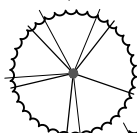
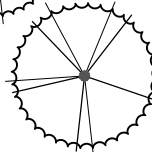


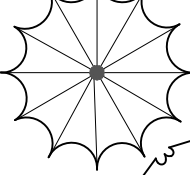
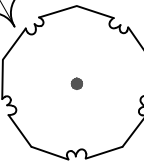


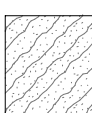
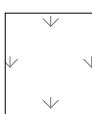
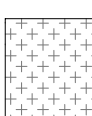
HIDDEN HOLLOW  
MERCILL AVENUE AT HIDDEN HOLLOW  
FDP2

60 ROSENCRANS  
JACKSON, WYOMING

LEGEND

- PROPERTY BOUNDARY / LOT LINES
- SINGLE FAMILY LOT BOUNDARY
- SINGLE FAMILY BUILDING ENVELOPE
- TOP OF CURB
- SIDEWALK / PATHWAY
- STEEL EDGER

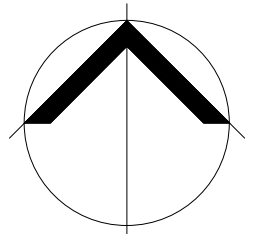
PLANT SCHEDULE (SHEET LI.1)

TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Ash	B & B	3"	1
	Picea pungens / Spruce	B & B	12'	3
	Picea pungens / Spruce	B & B	14'	1
	Picea pungens / Spruce	B & B	16'	1
	Populus tremuloides / Quaking Aspen	B & B	3"	27
	Populus tremuloides erecta / Swedish Aspen	B & B	3"	104
	Colorado Spruce (Transplanted from on-site)	Spade	30-40'	9
	Quaking Aspen (Transplanted from on-site)	Spade	25-35'	2
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Cornus stolonifera / Red Twig Dogwood		5-6' HT	81
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Deschampsia cespitosa / Tufted Hair Grass	1 gal.	24" o.c.	413
	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	1 gal.	18" o.c.	389
	Bluegrass Sod			3,500 sf
	Native Seed			8,820 sf
<div>Deschampsia caespitosa / Tufted Hairgrass</div> <div>Phleum alpinum / Alpine Timothy</div> <div>Chamerion angustifolium / Fireweed</div> <div>Balsamorhiza microphylla / Cutleaf Balmroot</div> <div>Iris missouriensis / Rocky Mountain Iris</div> <div>Linum lewisii var. lewisii / Lewis Flax</div> <div>Solidago canadensis / Canada Goldenrod</div> <div>Mimulus floribundus / Manyflowered Monkeyflower</div>		<div>Rate (LB/sacre)</div> <div>7.2</div> <div>7.2</div> <div>1.0</div> <div>1.0</div> <div>1.4</div> <div>1.0</div> <div>0.6</div> <div>0.6</div>	<div>Percent</div> <div>36</div> <div>36</div> <div>5</div> <div>5</div> <div>7</div> <div>5</div> <div>3</div> <div>3</div>	

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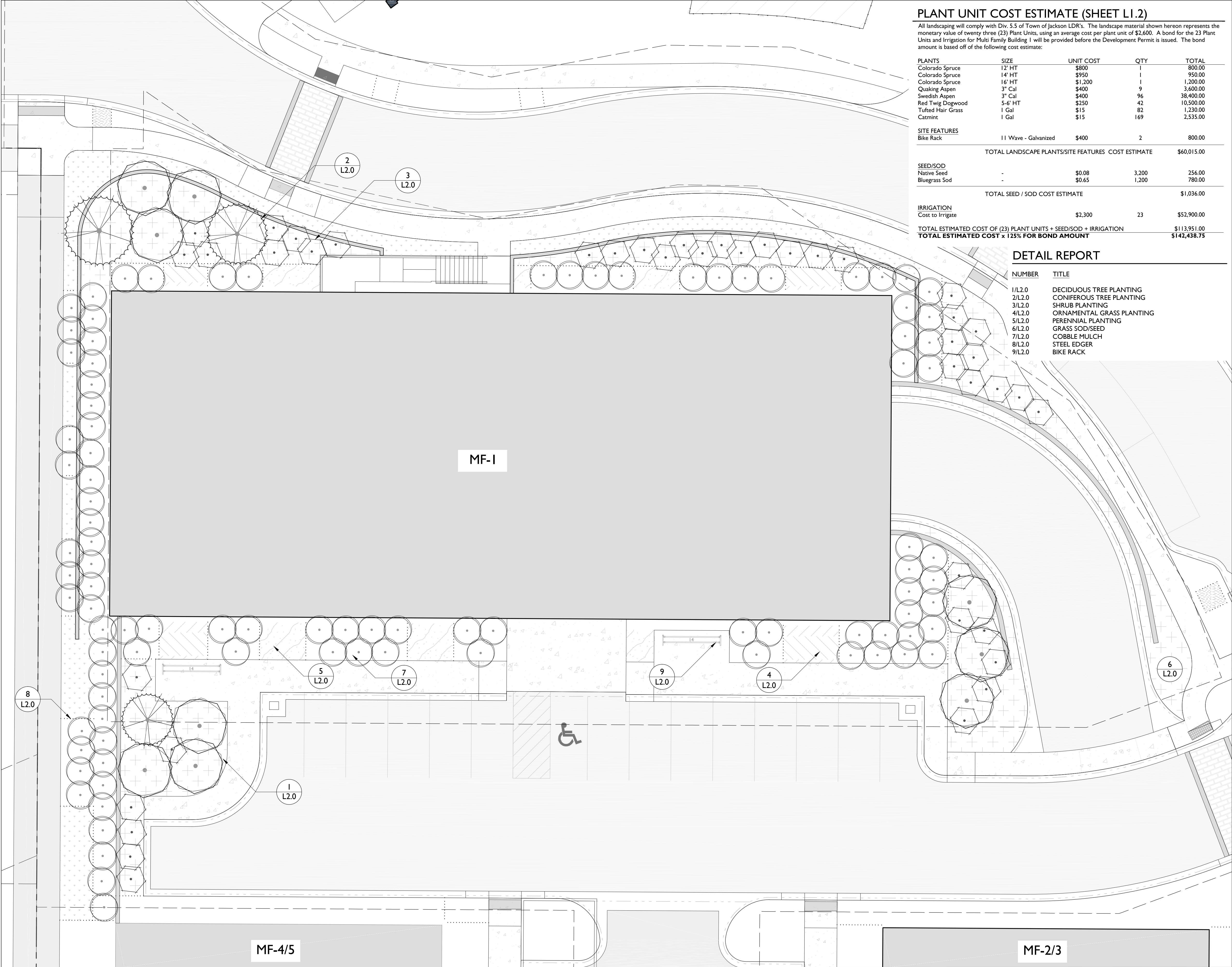
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Issue Date:	06.25.2018	FDP2 SUBMISSION
Drawing Title:		
MULTI-FAMILY BUILDINGS 2&3 PLANTING PLAN		
Drawing Number:		
LI.1		



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PLANT UNIT COST ESTIMATE (SHEET LI.2)

All landscaping will comply with Div. 5.5 of Town of Jackson LDR's. The landscape material shown hereon represents the monetary value of twenty three (23) Plant Units, using an average cost per plant unit of \$2,600. A bond for the 23 Plant Units and Irrigation for Multi Family Building 1 will be provided before the Development Permit is issued. The bond amount is based off of the following cost estimate:

PLANTS	SIZE	UNIT COST	QTY	TOTAL
Colorado Spruce	12' HT	\$800	1	800.00
Colorado Spruce	14' HT	\$950	1	950.00
Colorado Spruce	16' HT	\$1,200	1	1,200.00
Quaking Aspen	3" Cal	\$400	9	3,600.00
Swedish Aspen	3" Cal	\$400	96	38,400.00
Red Twig Dogwood	5-6' HT	\$250	42	10,500.00
Tufted Hair Grass	1 Gal	\$15	82	1,230.00
Catmint	1 Gal	\$15	169	2,535.00
SITE FEATURES				
Bike Rack	11 Wave - Galvanized	\$400	2	800.00
TOTAL LANDSCAPE PLANTS/SITE FEATURES COST ESTIMATE				\$60,015.00
SEED/SOD				
Native Seed	-	\$0.08	3,200	256.00
Bluegrass Sod	-	\$0.65	1,200	780.00
TOTAL SEED / SOD COST ESTIMATE				\$1,036.00
IRRIGATION				
Cost to Irrigate		\$2,300	23	\$52,900.00
TOTAL ESTIMATED COST OF (23) PLANT UNITS + SEED/SOD + IRRIGATION				\$113,951.00
TOTAL ESTIMATED COST x 125% FOR BOND AMOUNT				\$142,438.75

DETAIL REPORT

NUMBER	TITLE
1/L2.0	DECIDUOUS TREE PLANTING
2/L2.0	CONIFEROUS TREE PLANTING
3/L2.0	SHRUB PLANTING
4/L2.0	ORNAMENTAL GRASS PLANTING
5/L2.0	PERENNIAL PLANTING
6/L2.0	GRASS SOD/SEED
7/L2.0	COBBLE MULCH
8/L2.0	STEEL EDGER
9/L2.0	BIKE RACK

HIDDEN HOLLOW  
MERCILL AVENUE AT HIDDEN HOLLOW  
FDP2

60 ROSENCRANS  
JACKSON, WYOMING

LEGEND

---	PROPERTY BOUNDARY
---	SINGLE FAMILY LOT BOUNDARY
---	SINGLE FAMILY BUILDING ENVELOPE
---	TOP OF CURB
---	SIDEWALK / PATHWAY
---	STEEL EDGER

PLANT SCHEDULE (SHEET LI.2)

TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Picea pungens / Spruce	B & B	12'	1
	Picea pungens / Spruce	B & B	14'	1
	Picea pungens / Spruce	B & B	16'	1
	Populus tremuloides / Quaking Aspen	B & B	3"	9
	Populus tremuloides erecta / Swedish Aspen	B & B	3"	96

SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Cornus stolonifera / Red Twig Dogwood	5-6' HT	42

GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Deschampsia cespitosa / Tufted Hair Grass	1 gal.	24" o.c.	82
	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	1 gal.	18" o.c.	169
	Bluegrass Sod			1,200 sf
	Native Seed			3,200 sf

	Rate (LBS/sqre)	Percent
Deschampsia cespitosa / Tufted Hairgrass	7.2	36
Phleum alpinum / Alpine Timothy	7.2	36
Chamerion angustifolium / Fireweed	1.0	5
Balsamorhiza macrophylla / Cutleaf Balsamroot	1.0	5
Iris missouriensis / Rocky Mountain Iris	1.4	7
Linum lewisii var. lewisii / Lewis Flax	1.0	5
Solidago canadensis / Canada Goldenrod	0.6	3
Mimulus floribundus / Manyflowered Monkeyflower	0.6	3
TOTAL	20.0	100

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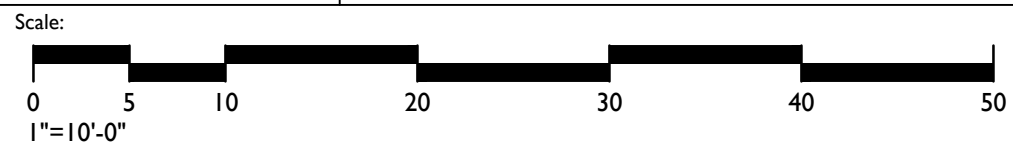
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Issue Date:	
· 06.25.2018	FDP2 SUBMISSION
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Drawing Title:  
**MULTI-FAMILY  
BUILDING I  
PLANTING PLAN**

Drawing Number:

L1.2



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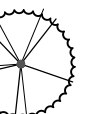

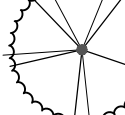
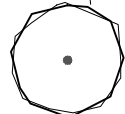
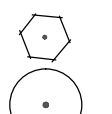

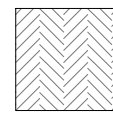
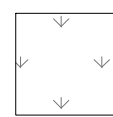
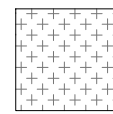


HIDDEN HOLLOW  
MERCILL AVENUE AT HIDDEN HOLLOW  
FDP2  
60 ROSENCRANS  
JACKSON, WYOMING

LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EASEMENT
- TOP OF CURB / DRIVEWAY
- SIDEWALK / PATHWAY
- STEEL EDGER
- SITE WALL

PLANT SCHEDULE (SHEET LI.3)

TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY																											
	Picea pungens / Spruce	B & B	12'	2																											
	Picea pungens / Spruce	B & B	14'	6																											
	Picea pungens / Spruce	B & B	16'	5																											
	Populus tremuloides / Quaking Aspen	B & B	3"	51																											
SHRUBS	BOTANICAL NAME / COMMON NAME		SIZE	QTY																											
	Cornus stolonifera / Red Twig Dogwood		5-6' HT	71																											
	Salix xpecies / Native Willow		5-6' HT	31																											
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY																											
	Deschampsia cespitosa / Tufted Hair Grass	1 gal.	24" o.c.	214																											
	Bluegrass Sod			2,900 sf																											
	Native Seed			18,700 sf																											
<table><tr><td>Deschampsia caespitosa / Tufted Hairgrass</td><td>Rate (LBs/acre)</td><td>Percent</td></tr><tr><td>Phleum alpinum / Alpine Timothy</td><td>7.2</td><td>36</td></tr><tr><td>Chamerion angustifolium / Fireweed</td><td>1.0</td><td>5</td></tr><tr><td>Balsamorhiza macrophylla / Cutleaf Balsamroot</td><td>1.0</td><td>5</td></tr><tr><td>Iris missouriensis / Rocky Mountain Iris</td><td>1.4</td><td>7</td></tr><tr><td>Linum lewisii var. lewisii / Lewis Flax</td><td>1.0</td><td>5</td></tr><tr><td>Solidago canadensis / Canada Goldenrod</td><td>0.6</td><td>3</td></tr><tr><td>Mimulus floribundus / Manyflowered Monkeyflower</td><td>0.6</td><td>3</td></tr><tr><td>TOTAL</td><td>20.0</td><td>100</td></tr></table>					Deschampsia caespitosa / Tufted Hairgrass	Rate (LBs/acre)	Percent	Phleum alpinum / Alpine Timothy	7.2	36	Chamerion angustifolium / Fireweed	1.0	5	Balsamorhiza macrophylla / Cutleaf Balsamroot	1.0	5	Iris missouriensis / Rocky Mountain Iris	1.4	7	Linum lewisii var. lewisii / Lewis Flax	1.0	5	Solidago canadensis / Canada Goldenrod	0.6	3	Mimulus floribundus / Manyflowered Monkeyflower	0.6	3	TOTAL	20.0	100
Deschampsia caespitosa / Tufted Hairgrass	Rate (LBs/acre)	Percent																													
Phleum alpinum / Alpine Timothy	7.2	36																													
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Solidago canadensis / Canada Goldenrod	0.6	3																													
Mimulus floribundus / Manyflowered Monkeyflower	0.6	3																													
TOTAL	20.0	100																													

PLANT UNIT COST ESTIMATE (SHEET LI.3)

All landscaping will comply with Div. 5.5 of Town of Jackson LDR's. The landscape material shown hereon represents the monetary value of twenty four (24) Plant Units, using an average cost per plant unit of \$3,600. A bond for the 24 Plant Units and Irrigation for Townhouse Units 4-15 will be provided before the Development Permit is issued. The bond amount is based off of the following cost estimate:

PLANTS	SIZE	UNIT COST	QTY	TOTAL
Colorado Spruce	12' HT	\$800	2	1,600.00
Colorado Spruce	14' HT	\$950	6	5,700.00
Colorado Spruce	16' HT	\$1,200	5	6,000.00
Quaking Aspen	3" Cal	\$400	51	20,400.00
Red Twig Dogwood	5-6' HT	\$250	71	17,750.00
Native Willow	5-6' HT	\$250	31	7,750.00
Tufted Hair Grass	1 Gal	\$15	214	3,210.00

TOTAL LANDSCAPE PLANT COST ESTIMATE \$62,410.00

SEED/SOD				
Native Seed	-	\$0.08	18,700	1,496.00
Bluegrass Sod	-	\$0.65	2,900	1,885.00

TOTAL SEED / SOD COST ESTIMATE \$3,381.00

IRRIGATION				
Cost to Irrigate	\$2,300	24		\$55,200.00

TOTAL ESTIMATED COST OF (24) PLANT UNITS + SEED/SOD + IRRIGATION \$120,991.00  
TOTAL ESTIMATED COST x 125% FOR BOND AMOUNT \$151,238.75

DETAIL REPORT

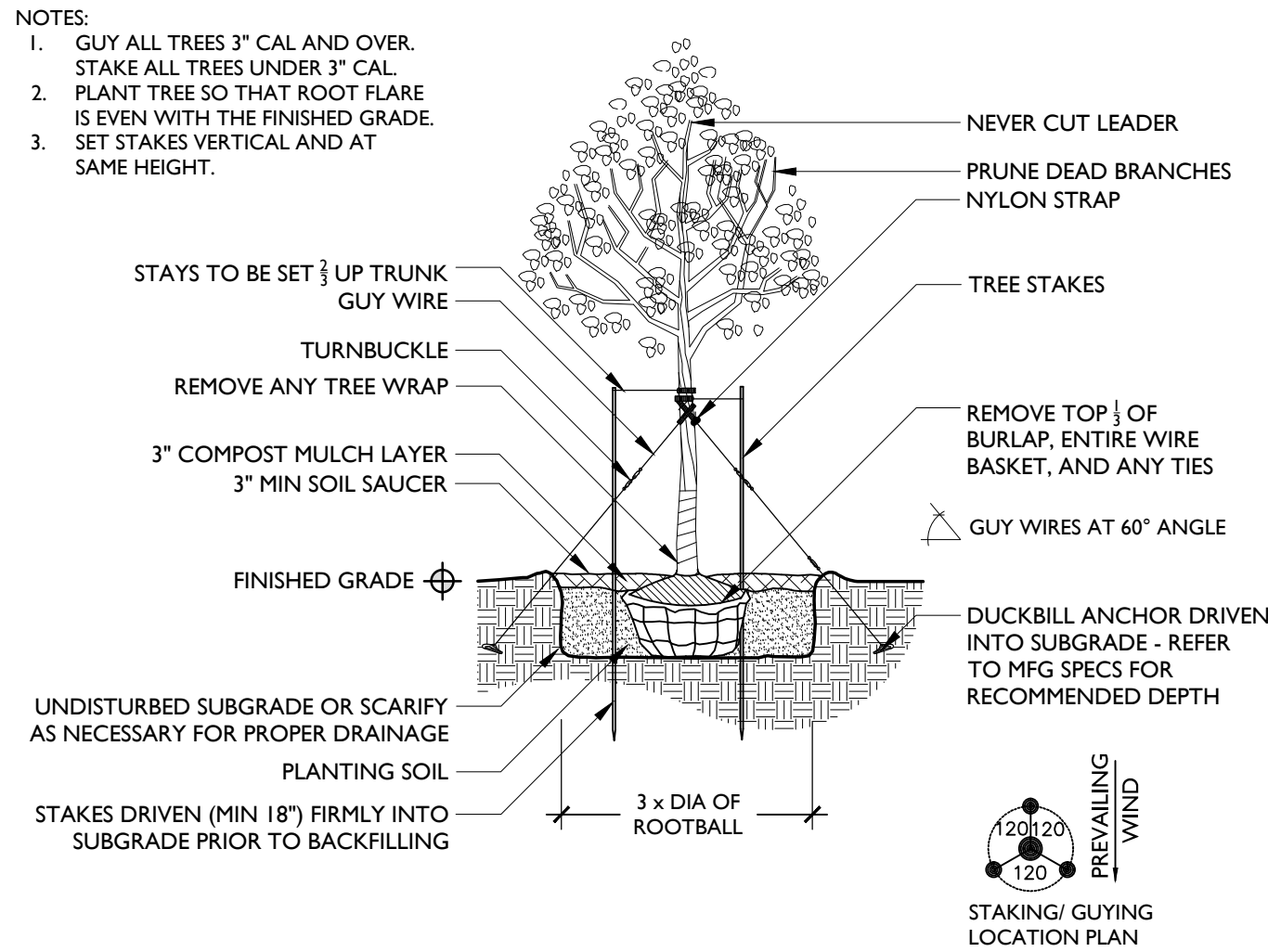
NUMBER	TITLE
1/L2.0	DECIDUOUS TREE PLANTING
2/L2.0	CONIFEROUS TREE PLANTING
3/L2.0	SHRUB PLANTING
4/L2.0	ORNAMENTAL GRASS PLANTING
5/L2.0	PERENNIAL PLANTING
6/L2.0	GRASS SOD/SEED
7/L2.0	COBBLE MULCH
8/L2.0	STEEL EDGER
9/L2.0	BIKE RACK

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Issue Date:	06.25.2018	FDP2 SUBMISSION
Drawing Title:	TOWNHOUSE UNITS 4-15 PLANTING PLAN	
Drawing Number:	LI.3	

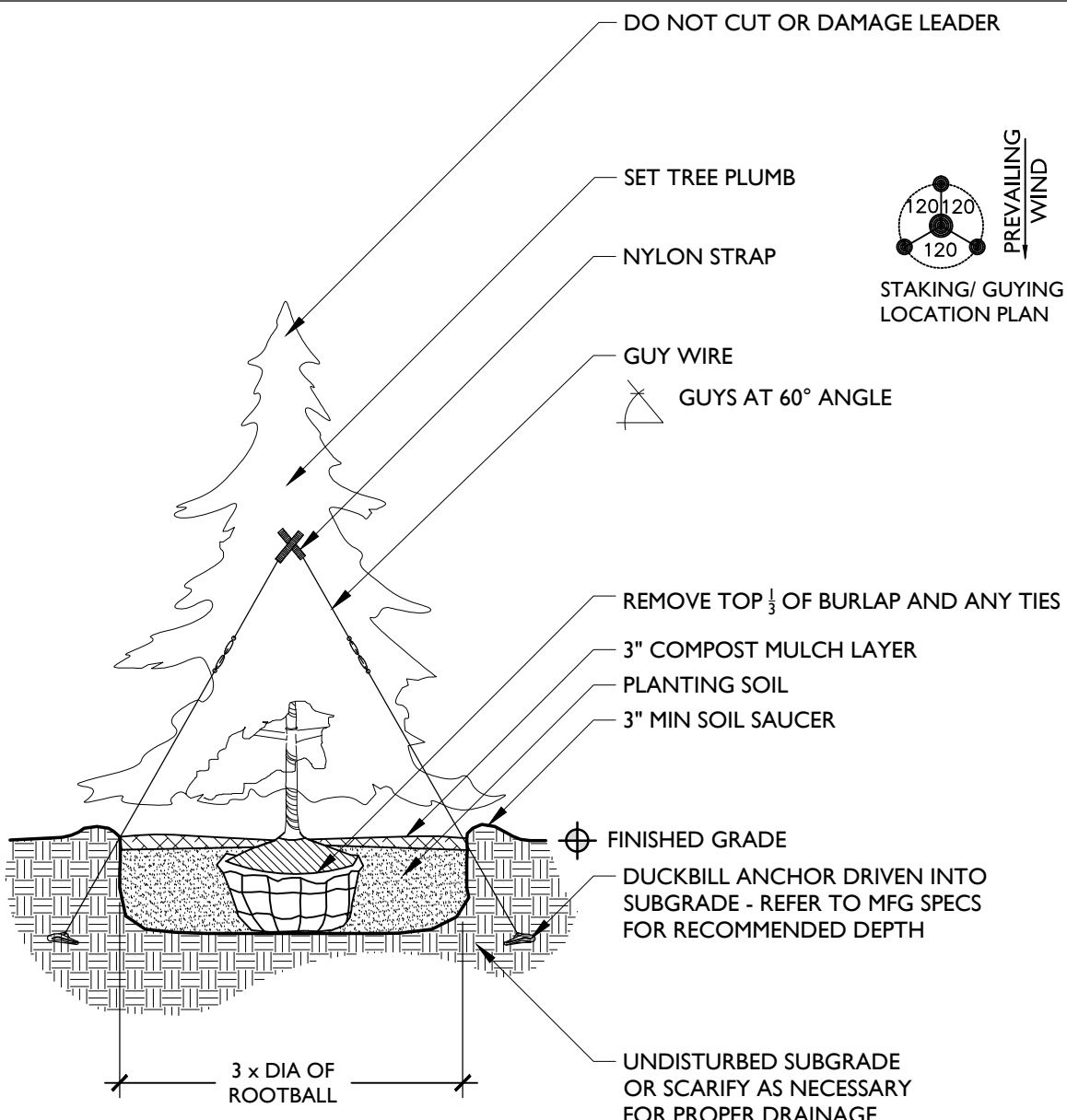
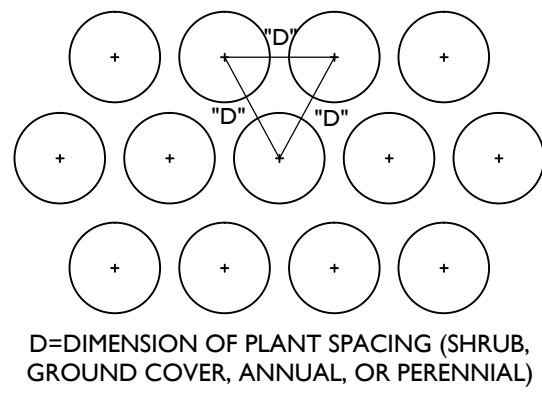






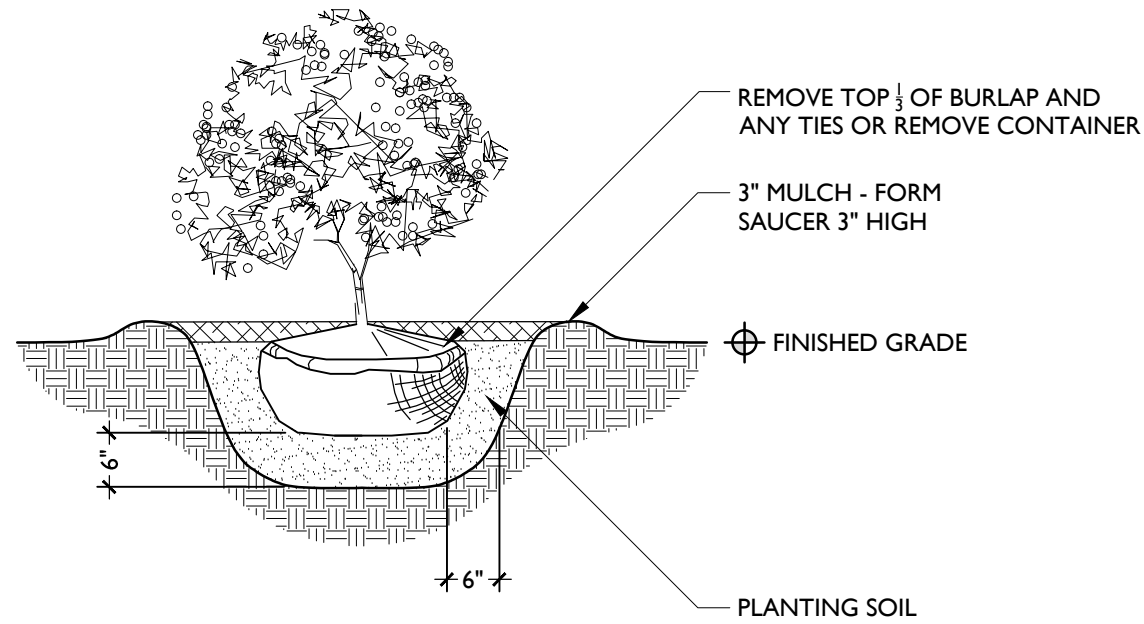
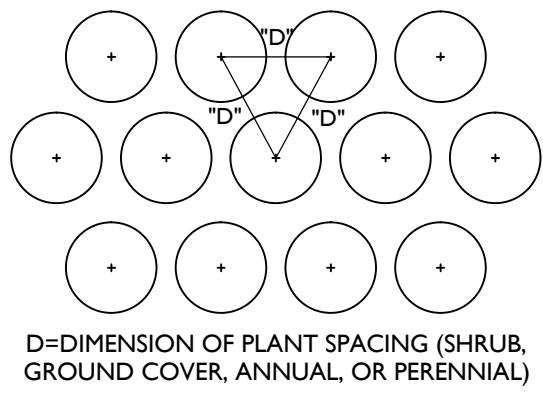
1 DECIDUOUS TREE PLANTING

1/4" = 1'-0"



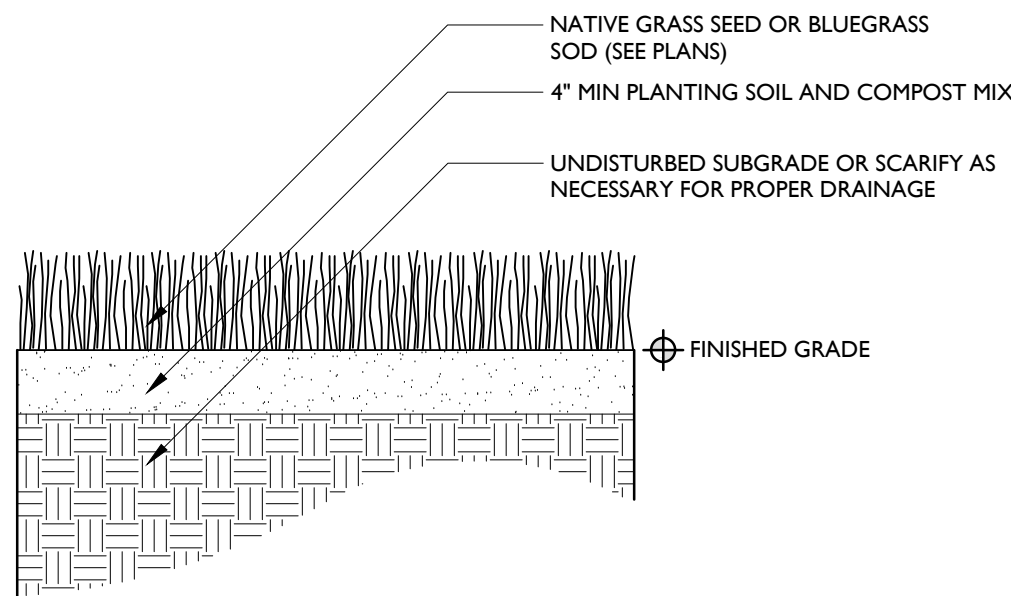
2 CONIFEROUS TREE PLANTING

1/4" = 1'-0"



3 SHRUB PLANTING

1/2" = 1'-0"

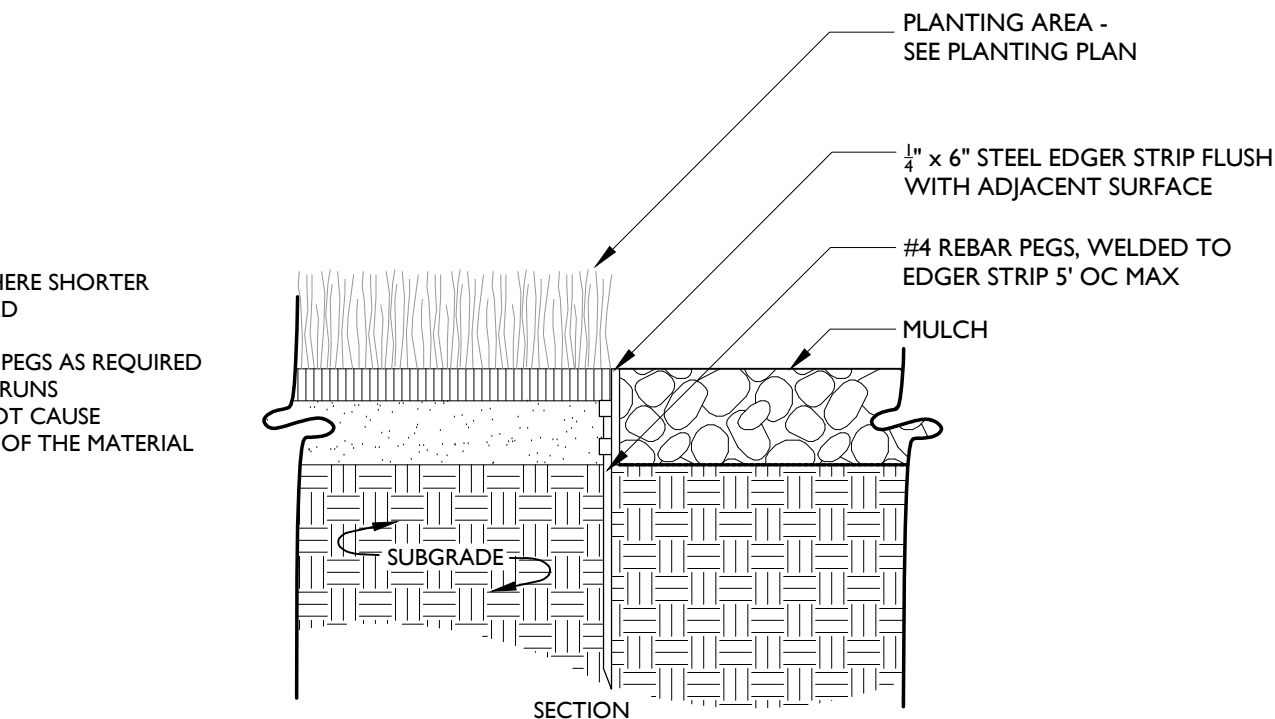


4 ORNAMENTAL GRASS PLANTING

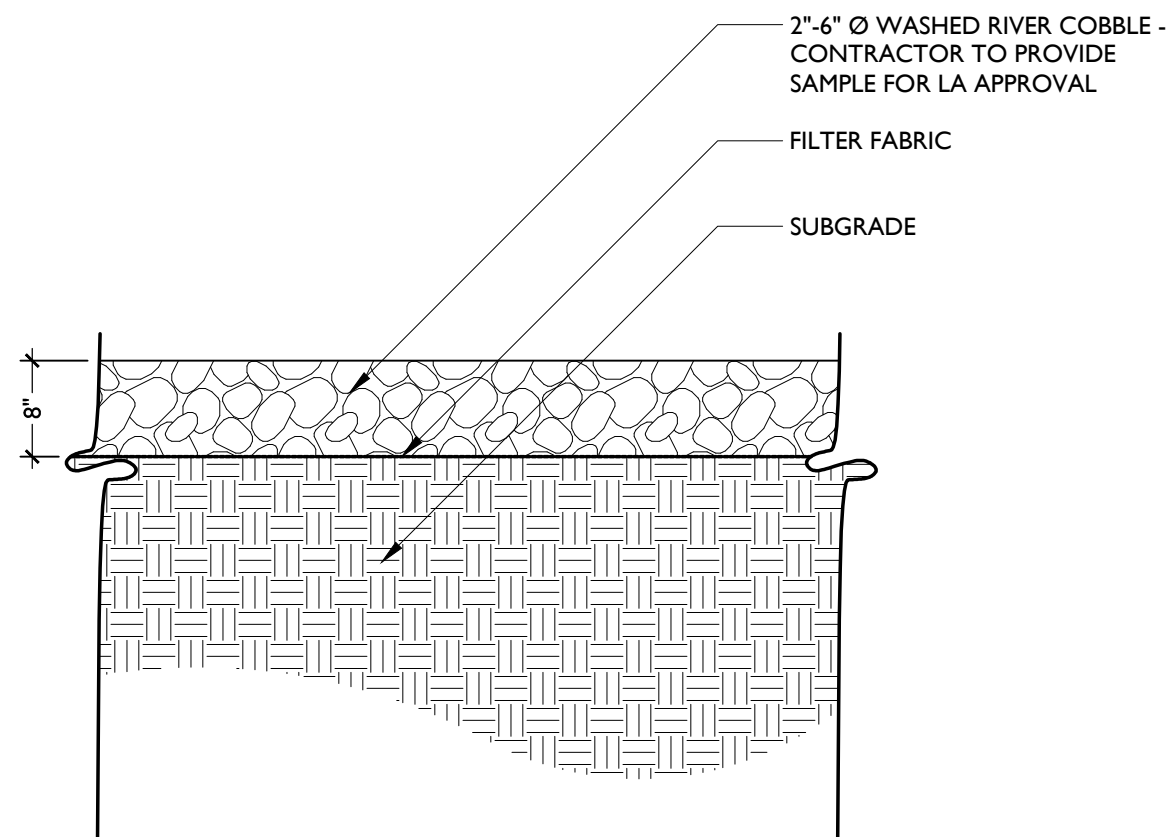
1" = 1'-0"

5 PERENNIAL PLANTING

1" = 1'-0"



- NOTES:
1. CUT EDGER TO FIT WHERE SHORTER LENGTHS ARE REQUIRED
  2. SPOT WELD CORNERS
  3. PROVIDE ADDITIONAL PEGS AS REQUIRED TO ENSURE STRAIGHT RUNS
  4. FIELD WELDS SHALL NOT CAUSE BOWING/DEFLECTION OF THE MATERIAL

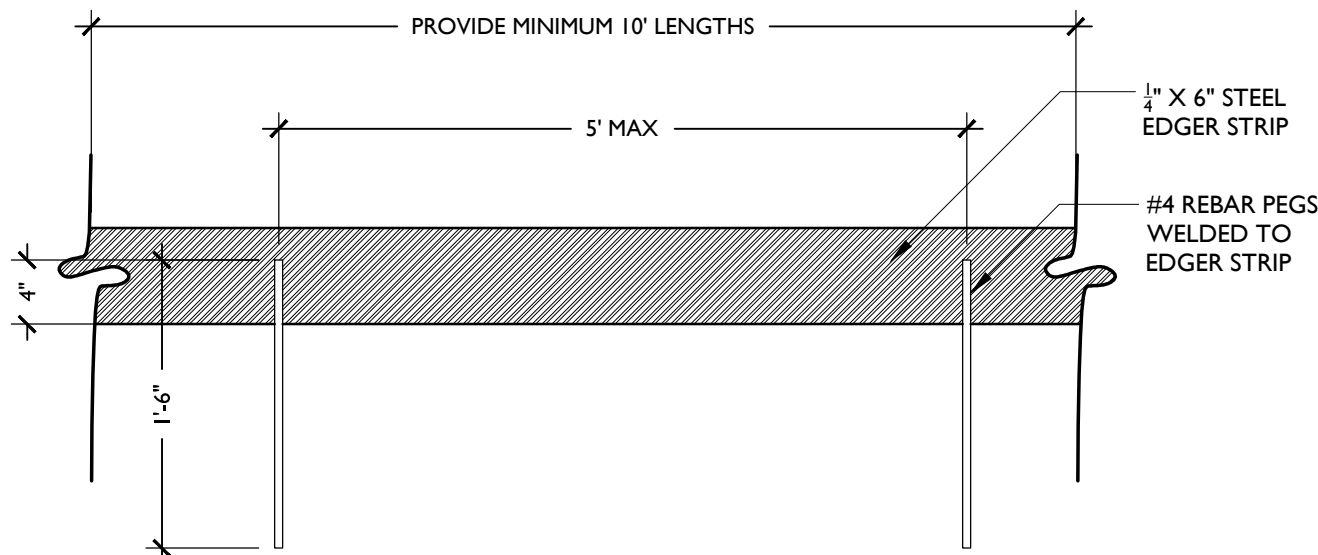


7 COBBLE MULCH

1" = 1'-0"

8 STEEL EDGER

1" = 1'-0"



ADDITIONAL SITE SPECIFIC NOTES:

1. BIKE RACK SHOWN AT RIGHT IS ANOVA MODEL #BRP300 (7 BIKE CAPACITY).
2. BIKE RACKS ADJACENT TO MULTI-FAMILY BUILDINGS 2 AND 3 INCLUDE RACKS THAT FIT 14, 11, 7 AND 4 BIKES (SEE PLANS FOR SPECIFIC LOCATIONS OF EACH SIZE RACK). THE 14 CAPACITY BIKE RACK SHALL BE ANOVA MODEL #BRP300E. THE 7 CAPACITY BIKE RACK SHALL BE ANOVA MODEL #BRP300. THE 11 AND 4 CAPACITY BIKE RACKS SHALL BE CUSTOM MADE TO MATCH THE STYLE AND COLOR OF THE 14 AND 7 CAPACITY RACKS. AT MULTI-FAMILY BUILDING #1, TWO 14 CAPACITY BIKE RACKS SHALL BE UTILIZED (ANOVA MODEL #BRP300E).
3. THE LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE SHOP DRAWINGS OF THE 4 AND 11 CAPACITY CUSTOM BIKE RACKS PRIOR TO FABRICATION TO ENSURE PROPER FIT WITHIN THE CONSTRAINTS OF THE SITE.

FINISH: FUSION GAURD®  
MATERIAL: 2.38" OD STEEL TUBE SUPPORT SECTIONS AND 0.5" OD STEEL RODS WELDED AT 3.5" INTERVALS  
UNIT WEIGHT: 120 lbs  
MOUNTING: SURFACE MOUNT  
SOME ASSEMBLY REQUIRED  
CLEAN CITY™ PRODUCTS ARE COVERED BY A FIVE-YEAR WARRANTY FROM THE DATE OF PURCHASE

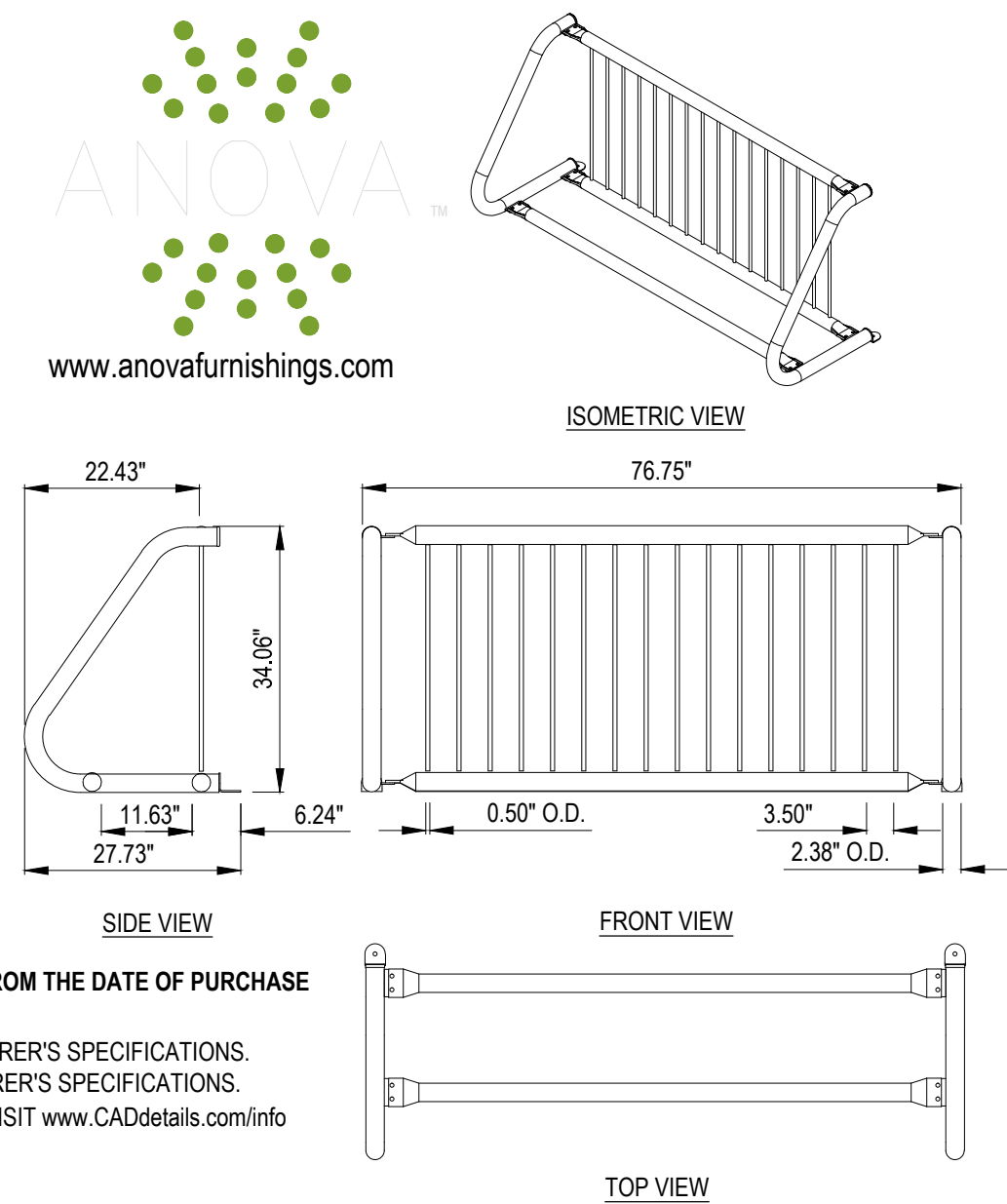
NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info)

REFERENCE NUMBER 928-110.

9 BIKE RACK

1/2" = 1'-0"

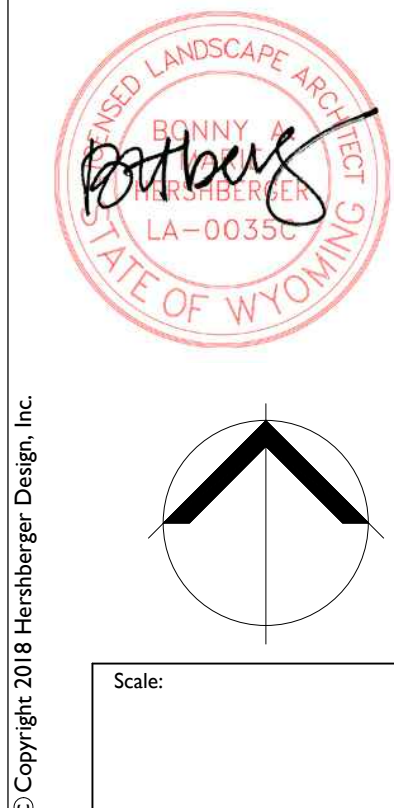


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Issue Date:  
· 06.25.2018 FDP2 SUBMISSION

Drawing Title:  
**LANDSCAPE DETAILS**

Drawing Number:  
**L2.0**





## CIRCUITING LEGEND

CONDUCTORS LARGER THAN #12 CU

SIZE OF CIRCUIT CONDUCTOR

QUANTITY OF CIRCUIT CONDUCTORS

TRADE SIZE OF CONDUIT

TYPE AS ALLOWED BY

SPECIFICATIONS

QUANTITY OF GROUNDING

CONDUCTORS

SIZE OF GROUNDING CONDUCTOR

LIGHT FIXTURE OR

POWER DEVICE

TICK MARKS INDICATE THE NUMBER OF

#12 CU CONDUCTOR FOR CIRCUIT.

GROUND NOT SHOWN, BUT IS REQUIRED.

AT LEAST 1 GROUNDED CONDUCTOR SHALL

BE INSTALLED PER 3 CIRCUIT HOME RUN

NEUTRAL CONDUCTOR:

EACH CIRCUIT REQUIRES A

SEPARATE NEUTRAL CONDUCTOR

3/4"C 4#10 CU  
AND 1#10 CU GND

NO TICK MARKS INDICATE  
1#12 CU (LINE), 1#12 CU (NEUTRAL)  
AND 1#12 CU (GROUND)

PANEL NAME

CIRCUIT NUMBER REFERENCE  
TO PANEL SCHEDULE

NUMBER OF ARROWS INDICATE THE  
NUMBER OF CIRCUITS IN HOME RUN

3/4"C MINIMUM CONDUIT AND CONDUCTOR  
TO BE INSTALLED UNLESS NOTED OTHERWISE

LINE CONDUCTOR:

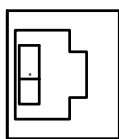
EACH CIRCUIT REQUIRES A

SEPARATE LINE CONDUCTOR

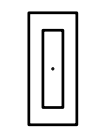
## SITE ELECTRICAL LEGEND



SINGLE PHASE UTILITY TRANSFORMER GROUND SLEEVE



THREE PHASE UTILITY TRANSFORMER AND MOUNTING PAD



UTILITY PRIMARY POWER GROUND SLEEVE



CITY OF IDAHO FALLS FIBER OPTIC VAULT



CENTURY LINK PEDESTAL



CABLE ONE PEDESTAL



MYERS POWER PEDESTAL



PARKING LOT LIGHT POLE

NOTE: ALL SYMBOLS MAY NOT BE USED ON THIS PROJECT

## POWER LEGEND



MANUAL MOTOR STARTER SWITCH



TIMECLOCK



CONTACTOR



IRRIGATION CONTROL PANEL



DISCONNECT SWITCH  
POLES, AMPS, AND NEMA ENCLOSURE TYPE AS NOTED



FUSED DISCONNECT SWITCH  
POLES, AMPS, NEMA ENCLOSURE TYPE, AND  
FUSE SIZE AS NOTED



THERMOSTAT, AT +48"



MOTOR  
F INDICATES FAN (FRACTIONAL HORSEPOWER)  
# INDICATES MOTOR SIZE (IN HORSEPOWER)



JUNCTION BOX



RECESSED AUDIO SPEAKER



ELECTRICAL PANEL



SURFACE RACEWAY



DUPLEX RECEPTACLE AT +18"  
UNLESS NOTED OTHERWISE



GFI GROUND FAULT INTERRUPTER



C MOUNTED ON CEILING



S SURGE SUPPRESSION



WP IN-USE WEATHERPROOF RATED COVER WITH  
WEATHER RESISTANT GFI RECEPTACLE



DOUBLE DUPLEX RECEPTACLE AT +18"  
UNLESS NOTED OTHERWISE



GFI GROUND FAULT INTERRUPTER



C MOUNTED ON CEILING



S SURGE SUPPRESSION



WP IN-USE WEATHERPROOF RATED COVER WITH  
WEATHER RESISTANT GFI RECEPTACLE



DATA/COMM/POWER FLOOR BOX



RECESSED ENTERTAINMENT BOX



TELEVISION DUPLEX RECEPTACLE AND CABLE  
JUNCTION BOX LOCATION



30A, 250V SPECIAL PURPOSE RECEPTACLE  
VERIFY NEMA PLUG TYPE REQUIRED  
PRIOR TO INSTALLATION



50A, 250V SPECIAL PURPOSE RECEPTACLE  
VERIFY NEMA PLUG TYPE REQUIRED  
PRIOR TO INSTALLATION



ELECTRICAL METER



CURRENT TRANSFORMER CABINET  
SIZE AS INDICATED ON DRAWINGS



UNIT HEATER  
SIZE AS INDICATED ON DRAWINGS



FAN FORCED WALL HEATER  
SIZE AS INDICATED ON DRAWINGS



WATER HEATER  
SIZE AND TYPE AS INDICATED ON DRAWINGS



ELECTRIC BASEBOARD HEATER  
SIZE AND TYPE AS INDICATED ON DRAWINGS



MECHANICAL EQUIPMENT CALLOUT

NOTE: ALL SYMBOLS MAY NOT BE USED ON THIS PROJECT

## ABBREVIATIONS

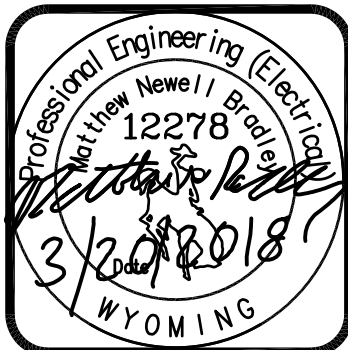
AL	ALUMINUM
AWG	AMERICAN WIRE GAUGE
A	AMPERE(S)
CKT	CIRCUIT
CB	CIRCUIT BREAKER
C	CONDUIT
CU	COPPER
CT	CURRENT TRANSFORMER
DISC	DISCONNECT
DWG	DRAWING
EMT	ELECTRICAL METALLIC TUBING
HZ	FREQUENCY IN CYCLES PER SECOND
F	FUSE
FS	FUSIBLE SWITCH
GEN	GENERATOR
GND	GROUND
GFI	GROUND FAULT INTERRUPTER
HP	HORSEPOWER
HPS	HIGH PRESSURE SODIUM
IMC	INTERMEDIATE METALLIC CONDUIT
INC	INCANDESCENT
KVA	KILOWATT VOLT AMPS
KW	KILOWATT(S)
MCC	MOTOR CONTROL CENTER
KCMIL	THOUSAND CIRCULAR MIL(S)
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NTS	NOT TO SCALE
NIC	NOT IN CONTRACT
PNL	PANEL
PVC	POLYVINYL CHLORIDE
GRS	GALVANIZED RIGID STEEL
SWBD	SWITCHBOARD
XMFR	TRANSFORMER
TYP	TYPICAL
UG	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
UPS	UNINTERRUPTED POWER SYSTEM
V	VOLT(S)
VA	VOLTAMP(S)
W	WATT(S)
WP	WEATHER PROOF

## ELECTRICAL DRAWING LIST

PE1.1	ELECTRICAL TITLE DRAWING
PE2.1	PHOTOMETRIC PLAN
PE2.2	LIGHTING PLAN
PE3.1	POLE DETAILS AND FIXTURE SCHEDULE

HIDDEN HOLLOW SITE - PHASE 1b

ELECTRICAL TITLE DRAWING



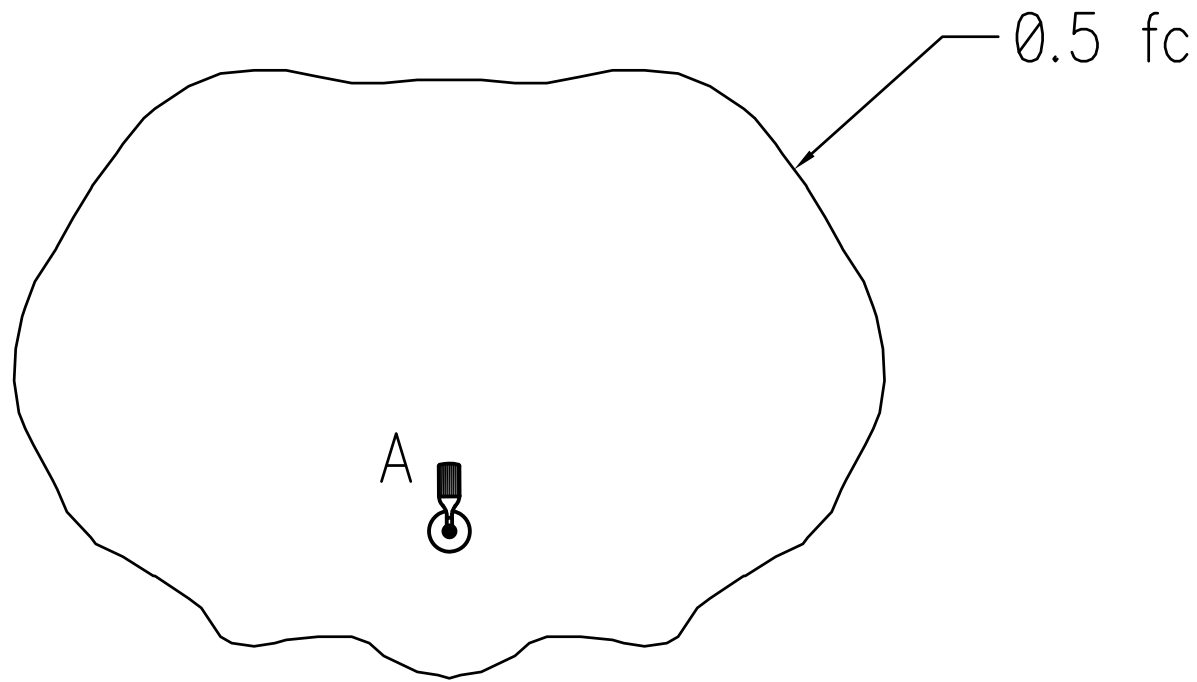
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CHECKED BY	MNB
DESIGNED BY	MNB
JOB NO.	1707-1b
DATE	3-20-18

DRAWING NO.

PE1.1



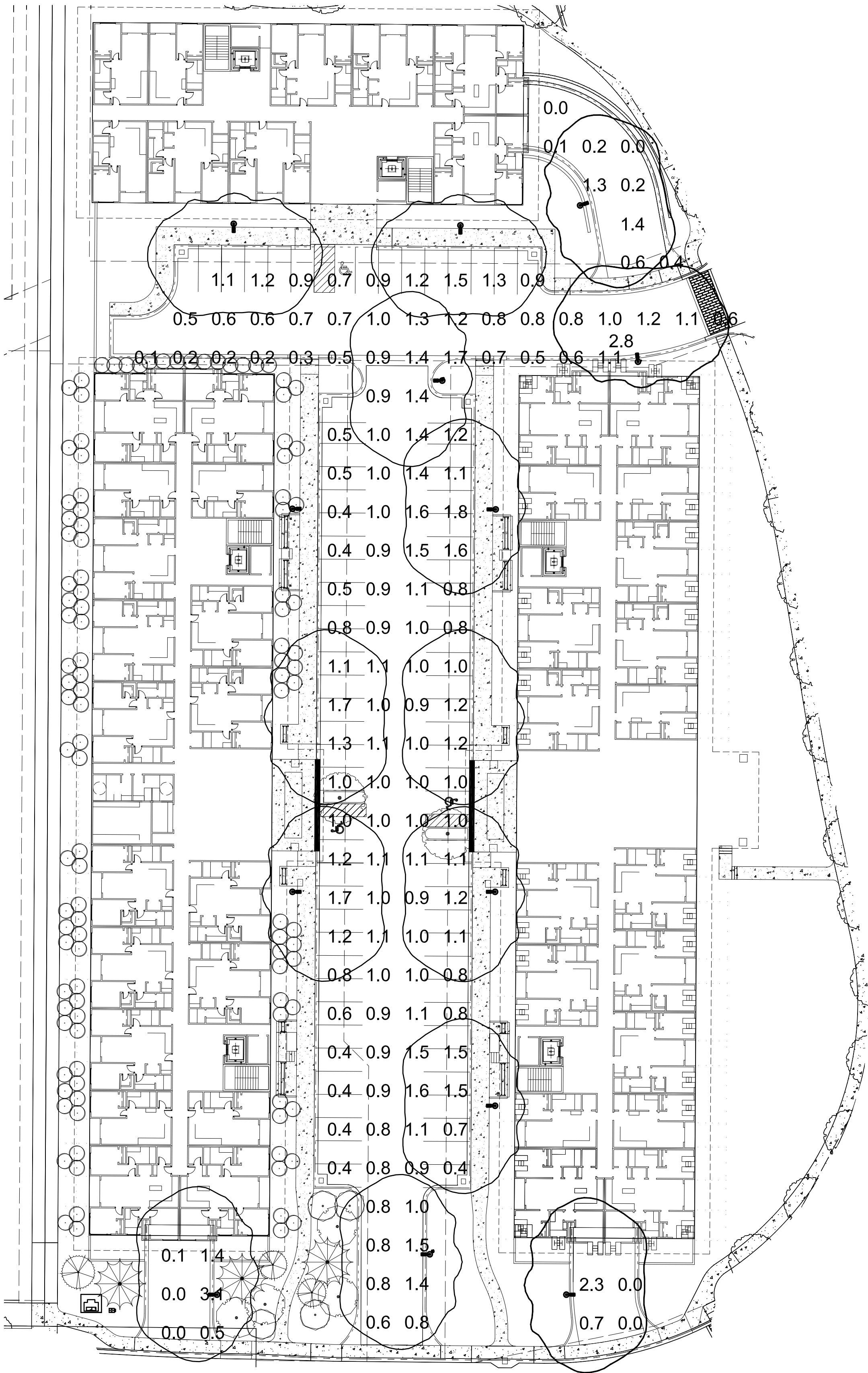
HIDDEN HOLLOW SITE LIGHTING STATISTICS					
LOCATION	AVERAGE fc	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
PARKING AREA	1.00 fc	2.8	0.10	28.0/1	10.0/1
EAST BUILDING APRON	0.70 fc	2.3	0.10	23.0/1	7.0/1
WEST BUILDING APRON	0.80 fc	3.1	0.10	31.0/1	8.0/1
NORTH BUILDING APRON	0.50 fc	1.4	0.10	14.0/1	5.0/1



PHOTOMETRIC TEMPLATE LEGEND  
SCALE: NTS

DRAWING NOTE:

1. THE ILLUMINATION LIMITS AS STATED PER TOWN OF JACKSON BUILDING PERMIT FOR ZONE R-1, R-22 AND R-3 IS ALLOWED 1.5 LUMENS/SQFT. TOTAL PARKING LOT SQUARE FOOTAGE IS 48,380 SQUARE FEET. 48,380 X 1.5 = 72,570 ALLOWED LUMENS. PROPOSED LUMENS FOR PARKING LOT LIGHTING IS 63,465 LUMENS



PHOTOMETRIC PLAN (PHASE 1b)  
SCALE: 1" = 30'

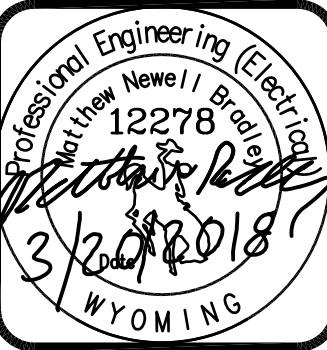
ADDRESS:  
645 W 25th St  
IDAHO FALLS, ID 83402  
TELEPHONE:  
(208) 325-3862  
FAX:  
(208) 323-3864  
E-MAIL:  
info@bradleyengineering.com

**BRADLEY**  
Bradley Engineering/Chd.  
Electrical Consulting & Design

REV	DESCRIPTION	DATE

HIDDEN HOLLOW SITE - PHASE 1b

PHOTOMETRIC PLAN



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DESIGNED BY	MNB
JOB NO.	1707-1b
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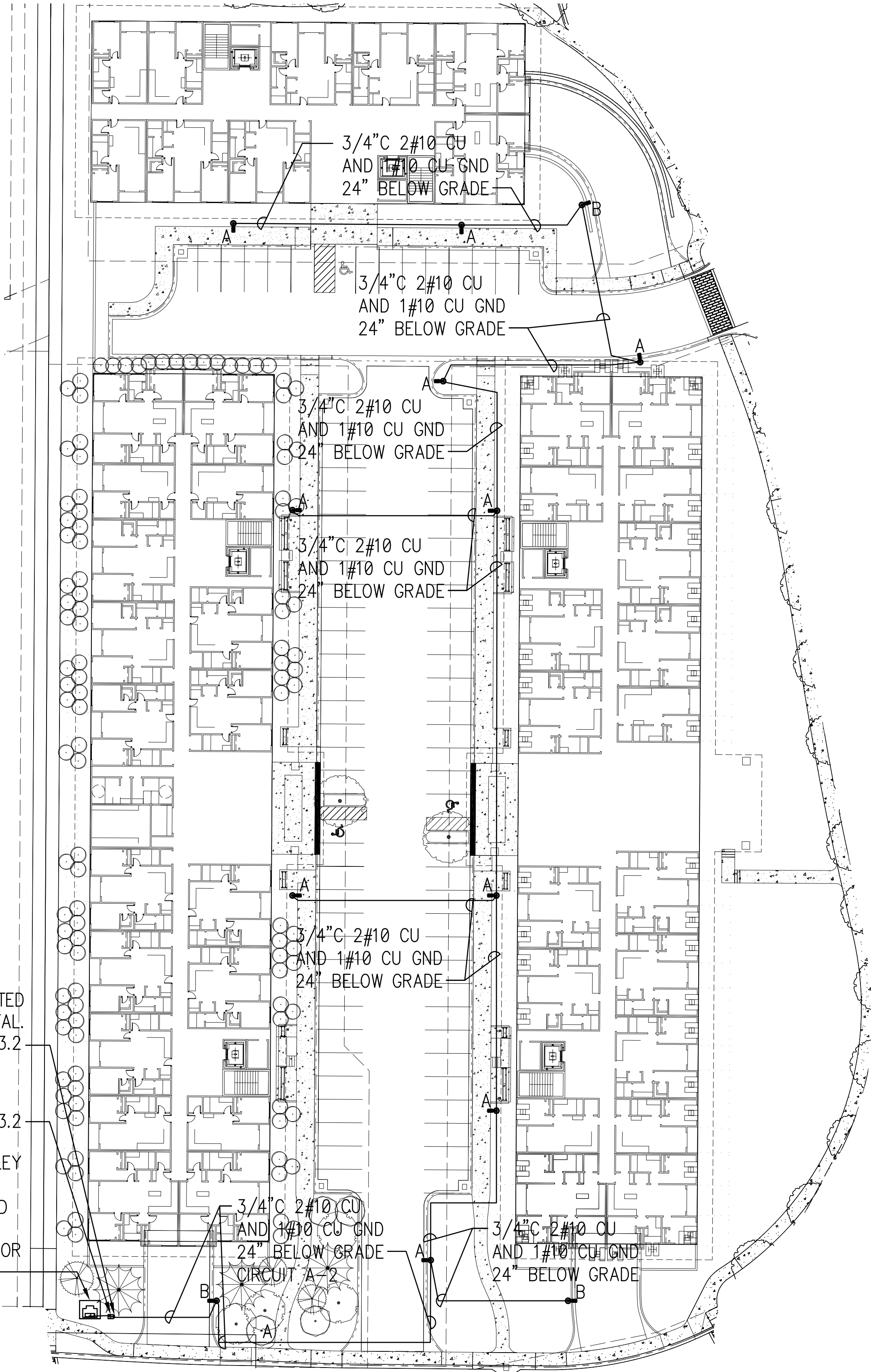
DRAWING NO.  
**PE2.1**



PROPOSED LOCATION OF  
IRRIGATION CABINET. MOUNTED  
TO SIDE OF POWER PEDESTAL.  
SEE DETAIL ON DRAWING E3.2

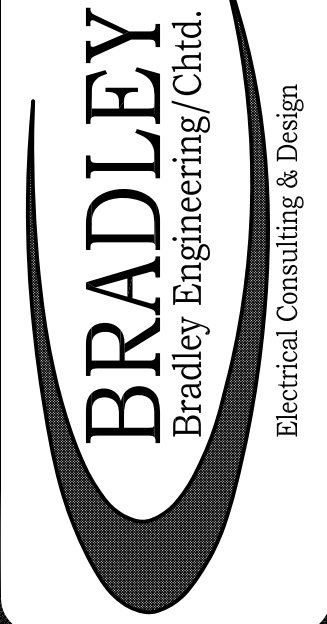
PROPOSED LOCATION OF  
POWER PEDESTAL A.  
SEE DETAIL ON DRAWING E3.2

208/120 VOLT LOWER VALLEY  
ENERGY TRANSFORMER FOR  
CONDO COMPLEX. INSTALLED  
UNDER ROADWAY PROJECT.  
FIELD VERIFY LOCATION PRIOR  
TO INSTALLATION.



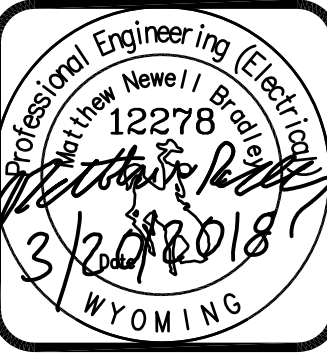
LIGHTING PLAN  
SCALE: 1" = 30'

ADDRESS:  
645 W 24th St  
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(208) 325-2862  
FAX:  
(208) 325-2864  
E-MAIL:  
brad@bradleyengineering.com



REV	DESCRIPTION	DATE
△		
△		
△		
△		

HIDDEN HOLLOW SITE - PHASE 1b	LIGHTING PLAN
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DESIGNED BY	MNB
JOB NO. DATE	1707-1b 3-20-18

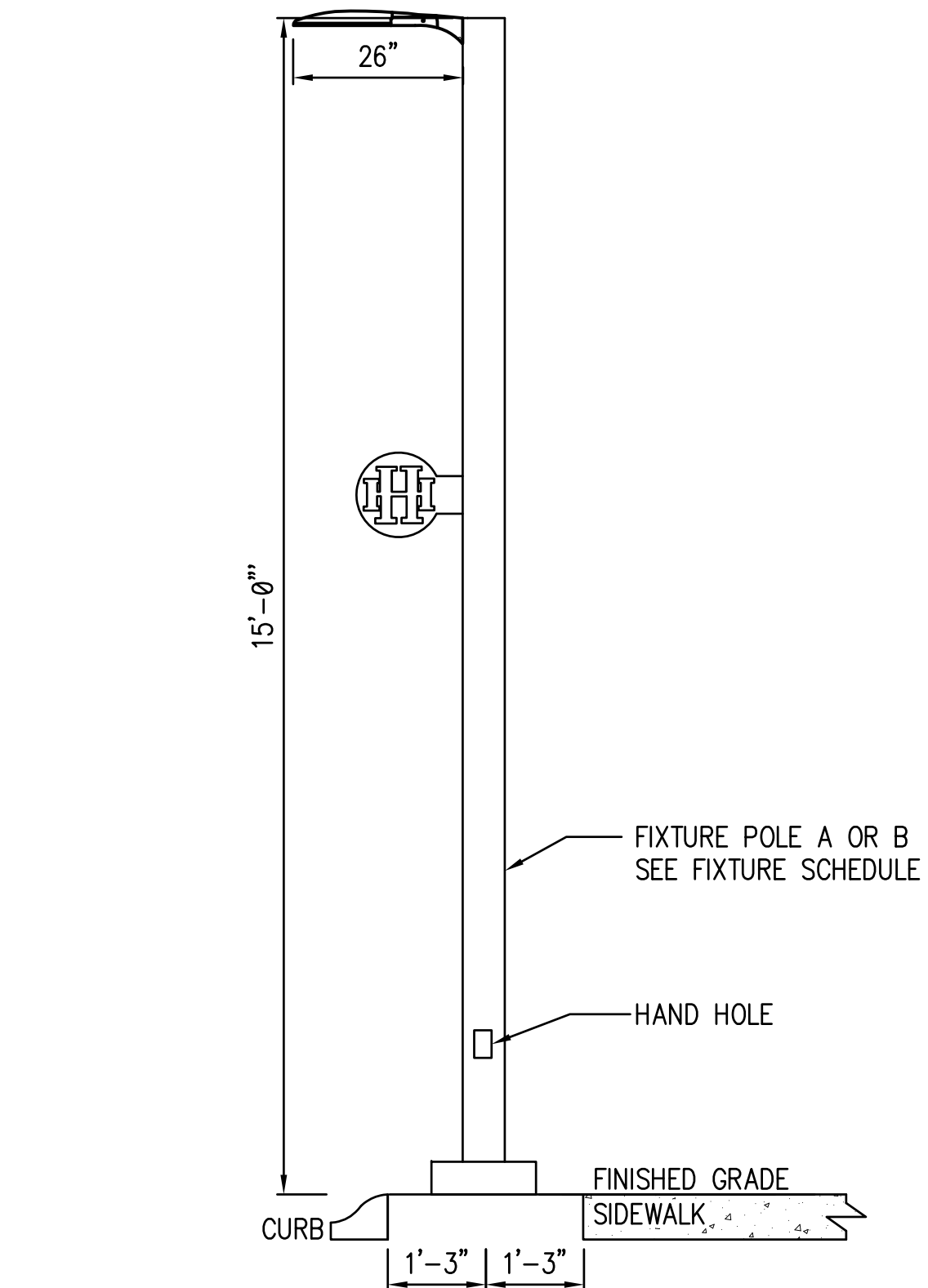
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**PE2.2**



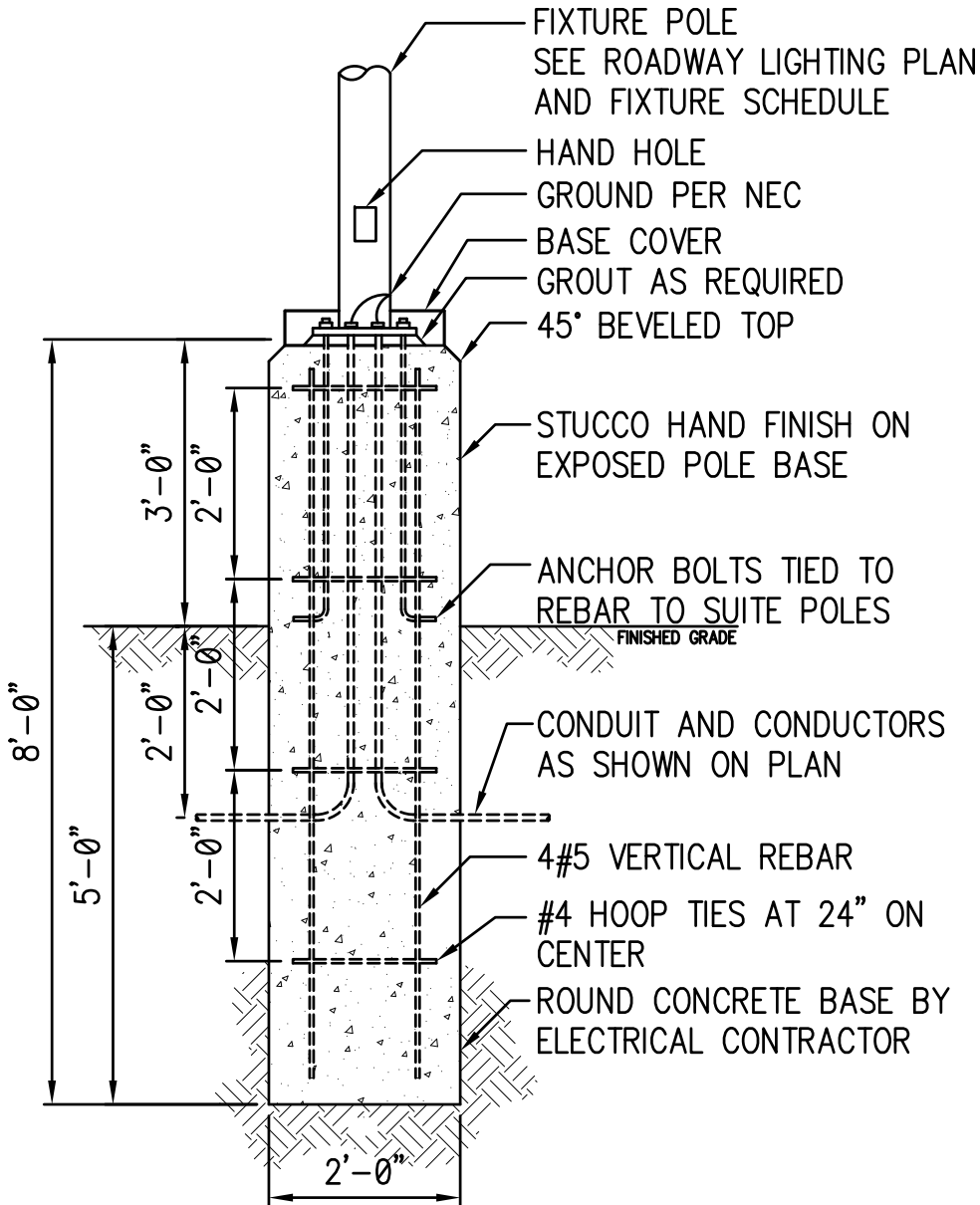
FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER		FIXT WATTS	LAMP TYPE	MOUNTING	REMARKS
	NAME	CAT. NO.				
A	LITHONIA	DSXO-LED-P1-30K-T4M-MVOLT-SPA-PER-FAO-HS-DBLXD	38	INTEGRAL	POLE AT	LED AREA LIGHTER, BLACK FINISH, WITH HOUSE SIDE SHIELD
				LED	15 FEET	4,281 LUMEN OUTPUT, TYPE 4 FORWARD THROW MEDIUM
						SQUARE POLE MOUNTING
A POLE	LITHONIA	SSS-15-4C-DM19AS-DBL			TO	15 FOOT SQUARE STRAIGH STEEL POLE
					POLE BASE	BLACK FINSIH
B	LITHONIA	DSXO-LED-P2-30K-T4M-MVOLT-SPA-PER-FAO-HS-DBLXD	49	INTEGRAL	POLE AT	LED AREA LIGHTER, BLACK FINISH, WITH HOUSE SIDE SHIELD
				LED	15 FEET	5,458 LUMEN OUTPUT, TYPE 4 FORWARD THROW MEDIUM
						SQUARE POLE MOUNTING
B POLE	LITHONIA	SSS-15-4C-DM19AS-DBL			TO	15 FOOT SQUARE STRAIGH STEEL POLE
					POLE BASE	BLACK FINSIH



LIGHT FIXTURE TYPE A AND B  
SCALE: NTS



FIXTURE A AND B POLE LIGHT DETAIL  
1/2" = 1'-0"



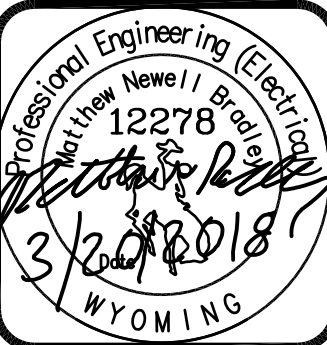
FIXTURE A AND B POLE BASE DETAIL  
1/2" = 1'-0"

ADDRESS:  
645 W 24th St  
IDAHO FALLS, ID 83402  
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(208) 325-2862  
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info@bradleyengineering.com



REV	DESCRIPTION	DATE

HIDDEN HOLLOW SITE - PHASE 1b  
POLE DETAILS AND FIXTURE SCHEDULE



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CHECKED BY	MNB
DESIGNED BY	MNB
JOB NO.	1707-1b
DATE	3-20-18

DRAWING NO.  
**PE3.1**