



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: June 27, 2018	REQUESTS:
Item #: P18-205, 206	
Planner: Brendan Conboy	The applicant is submitting a request for a Development Plan and Master Plan Minor Amendment for Hidden Hollow Development located at 301 Hidden Hollow Drive, legally known as PT. NW1/4SW1/4 SEC. 27, TWP. 41, RNG. 116 (MOS T-20F)
Phone: 733-0440 ext. 1302	
Fax: 734-3563	For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Email: bconboy@jacksonwy.gov	
Owner/Applicant: Jorgensen Associates Brendan Schulte PO Box 9550 Jackson, WY 83002	
Please respond by: July 11, 2018 (Sufficiency) July 18, 2018 (with Comments)	

Owner/Applicant:

Jorgensen Associates
Brendan Schulte
PO Box 9550
Jackson, WY 83002

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov

DATE	INVOICE NO.	COMMENT	AMOUNT	NET AMOUNT
06/06/2018	160161014	Development Plan Application Fee for Phase 2		2,500.00

45802



JORGENSEN

DATE	VENDOR	TOTAL
06/06/18	Town of Jackson	2,500.00

JORGENSEN
 WELLS FARGO, N.A. ⁹⁹⁻¹⁰⁹
 WYOMING ¹⁰²³

45802

PO BOX 9550 • JACKSON, WY 83002
 (307) 733-5150

Two Thousand Five Hundred and no/100

DATE
 06/06/18

AMOUNT
 \$2,500.00

TOWN OF JACKSON
 P.O. BOX 1687
 JACKSON WY 83001

PAY
 TO THE
 ORDER
 OF




1045802 1023010921 0000271002



June 26th, 2018

Mr. Tyler Sinclair
Town of Jackson Planning Dept.
P.O. Box 1687
150 E. Pearl Avenue.
Jackson, WY 83001

-Hand Delivered-

RE: Hidden Hollow PUD - Development Plan Phase 2

Dear Tyler,

Enclosed you will find the necessary materials for a Development Plan (DEV) we are submitting on behalf of Hansen & Hansen, LLP. The property is located at 301 Hidden Hollow Drive, Jackson, WY, and described as the 10 acre parcel formerly owned by the United States Forest Service, now owned by the applicant Hansen & Hansen LLP. Included with this submittal you will find the following:

- Development Plan Binder
- One check for \$2,500 (Development Plan)
- One check for \$500 (Minor Amendment)

Sincerely,

JORGENSEN ASSOCIATES, P.C.

Brendan Schulte
Senior Planner



KEN HARVEY 17









Executive Summary – How to Read the Binder

This binder supplies all of the technical information for a large and complicated development. For a more abbreviated review – use the following index:

- Section 1 and 2 – Project Narrative and Engineers Report
- Section 3 – Response to Previous Conditions of Approval and Physical Development Requirements
- Section 4 – Phasing and Architecture
- Section 5 – Civil, Landscaping, and Lighting
- Section 6 – Supporting Information
- Section 7 – Application Materials

Phase 2 Development Plan For Hidden Hollow



Applicant:

Hansen & Hansen, LLP
P.O.BOX 50106
Idaho Falls, ID 83405

Town of Jackson
Submittal Date: June 26, 2018
Project No. 16016.10

Prepared by:



Jorgensen Associates, P.C.
Engineers, Land Surveyors, & Planners
1315 Highway 89 South, Suites 201 & 203 83001
P.O. Box 9550 - Jackson, WY 83002
307.733.5150

THIS PAGE IS INTENTIONALLY LEFT BLANK

Contents

SECTION 1 – PROJECT BACKGROUND AND OVERVIEW	1
A. PROJECT BACKGROUND	1
B. OWNER & PROJECT TEAM INFORMATION	1
C. DEVELOPMENT PROPOSAL.....	2
D. FINDINGS FOR APPROVAL.....	5
1. Division 8.3.2.C Development Plan Findings for Approval	5
2. Pursuant to Section 1.5.B of the HHPUD Master Plan, minor amendments shall be approved upon finding the application:	7
E. PROPOSED DEVELOPMENT PROGRAM	9
1. Development Summary/ Dimensional Limitations –HH PUD Master Plan dated 6/22/18	9
2. Floor Area Calculations	10
F. PHASING PLAN – See attached Phasing Plan Map (L.3) in Section 5	10
Phase 1:.....	10
Phase 2:.....	10
G. LANDSCAPING - A Landscape Plan is attached in Section 5.....	11
H. ENVIRONMENTAL STANDARDS	11
1. Natural Resource Buffers (Wetlands and Water bodies)	11
2. Wildlife friendly fencing.....	11
3. Water Quality.....	12
I. NATURAL HAZARDS TO AVOID	12
J. SIGNS	12
K. GRADING, EROSION CONTROL, STORMWATER	12
L. ALLOWED USES & USE REQUIREMENTS	12
M. ALLOWED SUBDIVISION AND DEVELOPMENT OPTIONS	13
N. RESIDENTIAL SUBDIVISION REQUIREMENTS	13
O. INFRASTRUCTURE	13
SECTION 2 – ENGINEER’S REPORT.....	15
A. INTRODUCTION	15
B. SETTING	15
C. SOILS AND SITE CONDITIONS.....	15
D. GROUNDWATER, STREAMS, & RIVERS	15
E. GRADING, EROSION CONTROL, DRAINAGE, & STORMWATER	16
F. ROADS AND ACCESS.....	16
G. TRAFFIC.....	16

H. PARKING	17
I. PATHWAYS.....	17
J. WATER	18
K. WASTEWATER	18
L. CABLE UTILITIES AND GAS	18
M. SNOW STORAGE	18
SECTION 3 – RESPONSE TO PREVIOUS CONDITIONS OF APPROVAL AND PHYSICAL DEVELOPMENT REQUIREMENTS.....	19
• 3.1 Response to Previous Conditions of Approval	19
• 3.2 Housing Mitigation Plan	19
• 3.3 Park and School Exaction Calculations	19
SECTION 4 – PHASING AND ARCHITECTURE	25
SECTION 5 – CIVIL, LANDSCAPE, LIGHTING	27
SECTION 6 – SUPPORTING INFORMATION	29
• 6.1 Master Plan (Redline).....	29
• 6.2 Site and Pedestrian Plan from Sketch Plan	29
• 6.3 Base Flood Elevation Study.....	29
• 6.4 FEMA Letter of Map Revision	29
• 6.5 Water Demands	29
• 6.6 Sewer Flow Projections	29
• 6.7 Parking Management Plan	29
SECTION 7 – APPLICATION MATERIALS.....	31
• 7.1 Application	31
• 7.1.2 Pre-Application Conference Summary.....	31
• 7.2.1 Quitclaim Deed	31
• 7.2.2 Letter of Authorization	31
• 7.3 Title Report.....	31

SECTION 1 – PROJECT BACKGROUND AND OVERVIEW

A. PROJECT BACKGROUND

Hidden Hollow Planned Unit Development (Hidden Hollow PUD) is a 10 acre workforce housing project located at 310 Hidden Hollow Drive, in the heart of the Town of Jackson, Wyoming (ToJ). The project is currently under construction by Hansen and Hansen, LLP (Applicant), owned by brothers Kirk and Jim Hansen. The Applicant also owns Conrad & Bischoff, Inc., a local and regional fuel supplier with offices in Jackson, WY, Idaho Falls, ID and Nampa, ID. The Applicant has a track record of creating successful commercial and residential development projects across Idaho and now, Jackson, Wyoming. The Sketch plan (SP) P16-079, and Planned Unit Development (PUD) P16-080 were approved for this project on December 5, 2016 and the various challenges that have arisen at this site have been met by the collaborative effort of the Design Team, ToJ Staff and Town Council. Subsequent to the Sketch Plan approval, Hidden Hollow proceeded to obtain the following approvals:

- Phase 1A Development Plan (P17-036) – Approved on May 15, 2017
- Grading and Erosion Control Permit 1A (B17-0378) - Approved on August 7, 2017
- Phase 1B Development Plan (P17-093) - Approved on July 17, 2017
- Phase 1B Grading and Erosion Control Permit (B17-0378) - Approved on August 7, 2017
- Phase 1B Building Permit – (B17-0622) Approved on May 9, 2018
- Grading and Erosion Control Permit (B18-0218) – In progress
- Hidden Hollow First Addition to the Town of Jackson (P18-072) - Approved on June 18, 2018.

This Development Plan application outlines Phase 2 of the Hidden Hollow PUD, which details the construction of 12 townhomes and 2 multifamily buildings containing 83 total units, and all remaining grading, landscaping, and lighting.

B. OWNER & PROJECT TEAM INFORMATION

PROPERTY OWNERS & APPLICANTS:

Hansen and Hansen, LLP
P.O.BOX 50106
Idaho Falls, ID 83405

OWNER'S REPRESENTATIVE

Zane Powell
zane@cbfuels.com
208-419-5886

ARCHITECTURE

CTA ARCHITECTS ENGINEERS
1110 Maple Way
Jackson, WY 83001
307-733-9955

Robertson Associates
P.O. Box 678
Rigby, Idaho 83442
208-589-9967

ENGINEERING & LAND PLANNING

Jorgensen Associates, P.C.
1315 Highway 89 South, Suites 201 & 203; 83001
P.O. Box 9550 Jackson, Wyoming 83002
307-733-5150

LAND PLANNING & LANDSCAPE ARCHITECT:

Herschberger Design
560 S. Glenwood St.
P.O. Box 1648
Jackson, Wyoming 83001
307-739-1001

ELECTRICAL ENGINEERING

Bradley Engineering, Chartered
645 West 25th Street
Idaho Falls, Idaho 83402-4569
208-523-2862

C. DEVELOPMENT PROPOSAL

After the approval of previous Development Plans 1A and 1B, the applicant proposes that this Development Plan be approved for Phase 2 of the Hidden Hollow PUD. Phase 2 proposes to be the final phase of development that includes the construction of workforce and affordable housing included in Hidden Hollow. This includes the final the remainder of the Multi-family buildings and all the remaining 12 Townhomes as proposed in the Sketch Plan approved on December 5th, 2016.

During construction of Phase 1A, the project team has been preparing the site. This preparation has included all constructing road ways, utilities, site grading, etc., and prepping for vertical construction. Phase 1B has been approved for a Development Plan(P17-093) and Building Permit (#17-0622). This allowed the applicant to proceed with the 1st floor (garage structure) on all multifamily buildings in order to facilitate the complicated grading and utility installation between all multifamily buildings. Building all of garage structures at this phase will help to contain the large amount of structural fill required to construct the area central to all of the Multi-family buildings. Work on the garage structure is nearing completion for Building 4/5 and has begun for Building 2/3. The garage structure for Building 1 will proceed this fall. Ingress and Egress from the Multi-Family area can then be constructed along with the parking lot central to the area. Both are essential to facilitate construction and will be needed to access the buildings during construction.

Multi-family Buildings

As the architectural design for the previously approved building 4/5 progressed from Development Plan 1B to Building Permit #17-0622, the original two building concept on one parking structure morphed into one single building on one parking structure. Thus, the designation of building 4/5 (formerly buildings 4 & 5). For this Phase 2 development plan we will be discussing Building 2/3 and Building 1.

The first level of Building 2/3 remains as the garage structure. The second and third levels are connected throughout the entire floor. Central gathering spaces and lobbies are designed between the two buildings to encourage spontaneous interactions and provide areas for neighbors to congregate. Because of the design evolution there was room to incorporate three additional units into Building 2/3 to match the density in Building 4/5 while the floor area will still comply with the total Floor Area allowed (283,140 sf) by the PUD Master Plan. The fourth level is not connected between the two original buildings and provides two separate unattached roof structures and the appearance of two towers or buildings. Building 2/3 contains 55 units and has a total floor area is 52,045 sf. This includes twelve (12) 3-Bedroom units at 1,166 sf each, thirty-one (31) 2-Bedroom units at 979 sf each, and twelve (12) 1-Bedroom units at 642 sf each. Building 2 & 3 will also have fifty-nine (59) below grade parking spaces. The garage provides ingress and egress on the south side of the structure. 59 below grade parking spaces and the remainder of which is provided on the surface parking lot.

Building 1 remains as one smaller building built on a single parking structure, as originally proposed in the Sketch Plan with 28 units and has a total floor area of 25,838 sf. This includes six (6) 3-Bedroom units at 1,166 sf each, fourteen (14) 2-Bedroom apartments at 979 sf each, and eight (8) 1-Bedroom apartments at 642 sf each. Building 1 will also have 30 below grade parking spaces. The garage provides ingress and egress on the east side of the structure. It provides 30 parking spaces underneath the building and the remainder of the required parking will be provided on the surface parking lot.

In all buildings, storage is provided in each unit, and also within the garage at each unit's assigned parking space where 27 sf of storage space is allocated in front of each parking space. Additional storage areas are built into the common and corridor areas within the buildings and will be assigned and administered by the HOA and/or leasing company.

Heating and cooling will be aided by a neighborhood wide Geothermal Heat Loop, which will reduce the carbon footprint of the development. Each individual owner of the units within the buildings will have a separate heat exchanger that is metered and allows the owners to control their own thermal comfort. All common mechanical equipment will be located in the garage, or mechanical rooms designed into the common area.

Townhomes

12 Townhome units (4-15) will be built in this phase and have a total floor area of 9,707 sf. They consist of two-bedroom and three-bedroom units labeled A (1,795 sf), B (2,254), C (2,394 sf), and D (1,524 sf). All townhomes are market units and have access to the neighborhood wide Geothermal Heat Loop.

Materials of all buildings and townhomes will be made from earth toned hues and colors to fit the character of the region. Steel, wood and stone comprise the suite of textures planned for the structures that consider durability and lower long-term maintenance.

Phase 2 of Hidden Hollow is expected to begin shortly after building permit approval for Building 2/ 3. The architectural design for Multifamily Buildings and Townhomes are attached in **Section 4**. Civil Engineering, landscape and lighting plans are included in **Section 5**.

Minor Amendments to the Master Plan and Housing Mitigation

In addition to the final submittal of the Development Plan for Phase 2, the applicant proposes two minor amendments to the Hidden Hollow Planned Unit Development (HHPUD) Master Plan. They consist of amending the Phasing Plan to include organizational changes and more specific affordable housing mitigation requirements per unit type and amending the Occupancy Status from ownership to rental while keeping the flexibility to go back to ownership should market conditions dictate. This generates a need to update the housing mitigation plan to provide flexibility for either option (rental or ownership).

The applicant proposes to amend the Phasing Plan for Hidden Hollow by combining all the remaining original Phases 1c, 2, and 3 into a final Phase 2. The applicant is now 2 years into this project and has become more integrated and aware of the community's needs. Thus, the intention of accelerating development is to simply get more units on the ground faster. What was thought to be built over the course of 5-7 years, will now be shortened for 5 years or less.

The applicant also proposes to alter the Occupancy Status of multi-family residential units from ownership to rental. This is another response to the community's needs. The rental pool in ToJ has a low inventory and is often leased up with countless families being left out. The applicant will use the **Section 7.4.2.D.13 Apartment Building of the Town of Jackson Land Development Regulations (LDRs)** that allows for a rental product to be exempt from housing mitigation if the units are small and numerous enough, and if the applicant provides an annual report to the Housing Department documenting average rents charged per unit type, average number of tenants by unit type and percentage of tenants employed by Teton County. This regulation was designed to generate more units and to target and accommodate the local workforce with reasonable market rents. The applicant prefers to provide this solution over the original proposal as it will have more impact to provide workforce housing in ToJ. While the originally approved plan had more ownership income restricted units, it also had 66 units that would have been sold to the highest bidder and would not be restricted from 2nd homeowner customers. This change to rental keeps all 138 Multifamily units available for rent by the local force. Nine (9) rental apartment units will be income restricted and managed by the Housing Department to provide mitigation for the Townhomes and Single-family lots.

These two minor amendments generate the need for some general clean up to the Master Plan to ensure flexibility into the future should an additional change be realized. A copy of the redlines Master Plan is included in **Section 6**.

D. FINDINGS FOR APPROVAL

1. Division 8.3.2.C Development Plan Findings for Approval

a. Is consistent with the desired future character for the site in the Jackson/Teton County Comprehensive Plan. Complies.

The Hidden Hollow project is within the Comprehensive Plan District 3 – Town Residential Core, Subarea 3.2 – Core Residential which is envisioned to contain a variety of residential densities, residential types, and building sizes in order to maintain and meet our Community's Growth Management and Workforce Housing goals.

The Hidden Hollow project contains a total of 171 residential units, comprised of 13 single family homes, 20 townhomes, and 138 multi-family condominium or rental units.

This mix represents a variety of residential types and building sizes on a single ten-acre property and is consistent with the Community's Growth Management goals. As a previously developed property, it is not located in habitat, scenery and open space (Principle 3.1). The project location, close proximity to services, including school,

commercial and recreational amenities, is a suitable location for a Complete Neighborhood and is outside of naturally hazardous areas (Principle 3.2, 3.4 and 4.3). As a property that's long been considered for residential density, the project represents predictable and cooperative growth (Principle 3.3). The project also includes walkable connections within the project and to the overall area in which the project is located (Principle 4.2).

Redevelopment, revitalization, and reinvestment within Subarea 3.2 are highly desirable, and the future character of the Subarea will include increased density and larger buildings than in East Jackson. The Subarea vision includes locating multifamily structures on larger residential lots and along mixed-use corridors, allowing the density and intensity to be greater than what is found in other areas, with the understanding that parking of these multifamily structures should be minimized and screened as much as possible. The Hidden Hollow project meets all of these criteria as it provides 171 residential units of varying types on a ten-acre site that was previously underdeveloped by the Forest Service. The design provides for parking predominantly located in subsurface garages. There are few, if any, sites within Subarea 3.2 that achieve this vision more effectively.

b. Achieves the standards and objectives of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable. Not Applicable.

The Hidden Hollow property is not located within the Natural Resource overlay or the Scenic Resource Overlay, and this finding is therefore not applicable.

c. Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police fire, and EMS facilities. Complies.

The Hidden Hollow project will provide the required school and park exactions for any subdivided units that are designed to ensure new developments contribute to impacts they have on these services. Public utilities and project utility connections will be designed to ensure the project does not overburden these services. The project is within town limits and is currently served by police, fire and EMT services. The development will not result in increased impacts on availability of these services. Development exactions will be collected during final plat of any units created as part of the Hidden Hollow PUD.

Multi-modal transportation options are abundant and include several pedestrian and bicycle connections in close proximity to local town commercial services, and within walking distance are the Teton County Recreation Center (Rec Center), Elementary School, and the opportunity for pathway connections. Finally, the Town Shuttle operated by START flows in both East and West bound directions. It has four stops with 30-minute intervals all within a one block walking distance to the Mercill and North Cache Intersection.

d. Complies with all relevant standards of these LDRs and other County Resolutions. Complies.

According to the current Town of Jackson Land Use Regulations (LDRs), the purpose of a development plan is to review a physical development or development option that is large and complex enough to benefit from a public review at a sufficient level of detail to determine compliance with these LDRs prior to preparation of final construction or plat documents.

The ten-acre site provides flexibility in meeting the standards of the Master Plan and is well above the minimum LSR requirement, and well below the maximum Lot Coverage limitation. While there are some areas within the development that meet the minimum setback limitations, the vast majority of the perimeter of the project is set back well beyond this requirement and all individual buildings within the development are setback from one another within the requirements of the LDRs. The Master Plan provides flexibility to other standards and will be addressed herein.

The site plan was adjusted and revised during the Sketch Plan process to address the snow storage needs, the parking concerns, the trail connections, the security of elementary school property, the location of various housing types and the circulation within the development.

e. Is in substantial conformance with all standards or conditions of any prior or applicable permits or approvals. Not Applicable.

All components of this development application comply fully with the Sketch Plan and the Planned Unit Development approval.

2. Pursuant to Section 1.5.B of the HHPUD Master Plan, minor amendments shall be approved upon finding the application:

a. It is consistent with the purposes and organization of the HHPUD. Complies. The approval of the two minor amendments is consistent with the purpose and organization of the HHPUD under the following rationale: Revising the Phasing re-organizes the timing and sequencing of the project to allow the applicant to expedite construction and occupancy of all remaining units to the benefit of the community; and revising the Occupancy status (change of use to rental) requires an amendment to the housing mitigation plan and maintains the vision and intent of the HHPUD regarding the development of workforce and affordable housing options in close

proximity to the Town commercial services and public amenities. These changes were anticipated as a possible scenario in the Master Plan and approval of these minor amendments will considerably increase the availability of rental units of various types for workforce housing in the Downtown Core. The minor amendments also help maintain the flexibility of the Master Plan to convert occupancy to ownership or rental should market conditions dictate.

- b. It improves the consistency of the HHPUD Master Plan with other provisions of the HHPUD or subsequent development approvals within the HHPUD. Complies.** The approval of the Phasing Plan amendment is consistent the approved development plans for Phases 1a and 1b and will conclude the remainder of the development at Hidden Hollow into one final phase (Phase 2). Additionally, the housing mitigation listed in the phasing and the change of Occupancy status are now very clearly defined per unit type to allow for flexibility in the future should any of the Multifamily buildings go back to being a condominium use as directed market conditions.
 - c. It provides flexibility for landowners within standards defined within Master Plan Section 1.2.C. Vision and Intent of the HHPUD Master Plan. Complies.** The approval of the two minor amendments is consistent with the Vision and Intent of the HHPUD Master Plan. The clarity provided in the updated Phasing plan re-organizes the timing and sequencing of the project to allow the applicant to expedite construction and occupancy of all remaining units to the benefit of the community. The Occupancy status being updated to current demands of the community for more rental housing stock, *“provides a variety of residential unit types that achieves housing opportunities for a variety of residents while respecting neighboring land uses.*
 - d. It is necessary to address changing conditions (e.g. market, sales or constructability), public necessity, and/or state or federal legislation. Complies.** The approval of the Phasing Plan amendment is allowed by the Master Plan and is necessary for the applicant to address the changing economic conditions of development and maintain constructability of the subdivision and all the affordable housing opportunities within. The approval of the Occupancy status change is necessary for the applicant to address the changing market conditions in the ToJ which has seen several proposed rental projects be stalled (Sagebrush) or eliminated from the potential rental housing stock entirely (CARE Wyoming). The change from ownership to rental will benefit the community by considerably increasing the supply of workforce rentals available in the Downtown Core of the ToJ. Changing to all rental will make 66 additional units available to the local workforce instead of selling them to 2nd homeowners under the ownership model.

- e. ***It improves implementation of the Comprehensive Plan. Complies.*** These minor amendments expedite the construction of a dense variety of residential unit types that conforms to the future character Core Residential Zone of the Jackson/Teton County Comprehensive Plan and considerably increase the availability of rental units of various types for workforce housing in the Downtown Core which further helps to achieve specific community goals that enhance the community's implementation of the Jackson/Teton County Comprehensive Plan.
- f. ***It is consistent with other adopted Town Ordinances. Complies.*** The approval of these amendments is consistent with all Town Ordinances including the recently approved Subsection 7.4.2.D.13 Apartment Building.

E. PROPOSED DEVELOPMENT PROGRAM

1. Development Summary/ Dimensional Limitations —HH PUD Master Plan dated 6/22/18

2.1.A. Structure Location and Mass

	Landscape Surface/LSR (min)	Lot Coverage Area/Ratio (max)	Street Setback (Min)**	Side Setback (Min)**	Rear Setback (min)**	Height (max)	Floor Area/FAR (max)
Overall PUD	123,623 s.f.	164,831 s.f.					283,140 s.f.***
Area A * Each individual lot	.30	.40	25'	8'	5'	28'	.82/lot
Area B *	15,000 s.f.	28,000 s.f.	12' from perimeter property line or Area boundary			35'	54,000 s.f.
Area C *	11,000 s.f.	60,000 s.f.	12' from perimeter property line or Area boundary			48'	160,000s.f.
Area D *	100,000 s.f.	50,000 s.f.	5' from perimeter property line or Area boundary			28'	15,140 s.f.

Exceptions: street/side/rear yard projections, including cornices, canopies, eaves, decks, porches, bay windows, chimneys, patios, and similar architectural features may encroach into any setback not more than 5'.

* Notwithstanding the specific physical development standards identified within each area, the limitations within each Area is permitted to shift to another Area of the HHPUD as long as the limitations within the overall PUD are not exceeded

**Setbacks within Areas B, C and D shall be the horizontal distance, as measured from a physical development to an HHPUD perimeter property line for side and rear setbacks and the horizontal distance, as measured from a physical development to either a HHPUD perimeter property line or a road right-of-way, roadway or vehicular access easement.

*** The overall PUD Floor Area total is based on a total parcel area of 10 Acres at the time of PUD approval by Town Council. The total Floor Area represents .65 FAR using 10 acres of site area.

2. Floor Area Calculations

Proposed Floor Area Calculations - Full Buildout	
Area	Floor Area (sf)
A. Single Family (13 lots)	53,965
B. Townhomes (20 units)	48,450
C. Multi family (138 Units)	166,641
D. Common Lot (0 units)	0
Total HHPUD*	269,056

*Maximum Allowed by Master Plan = 283,105

F. PHASING PLAN – See attached Phasing Plan Map (L.3) in Section 5

Phase 1:

- Subdivision and sale or development of 13 single-family units in Area A
 - o Including provision for affordable housing ownership or rental units for at least 7.80 persons to be constructed within building 4/5
- Development of 8 townhome units in Area B
 - o Including provision for affordable housing ownership or rental units for at least 4.05 persons to be constructed within building 4/5
- Development of 55 multi-family units in Building 4/5 within Area C
 - o If the 55 multifamily units in building 4/5 are developed as for sale, condominium units, provision for affordable housing ownership units for at least 16.95 persons will be constructed
 - o If the 55 multifamily units in building 4/5 are developed as for rent, apartment units, compliance with Section 7.4.2.D.13 of the Town of Jackson Land Development regulations shall apply to exempt the rental apartment units from the affordable housing mitigation standards
- Provision of at least 18 workforce housing units within building 4/5 in Area C developed under Phase 1
- Completion of all Mercill Avenue extension improvements
- Completion of all road ways and parking areas necessary to serve the development in Phase 1
- Completion of all wetland mitigation
- Completion of all landscape requirements for all Phase 1 development in Area B and C

Phase 2:

- Development of 12 townhome units in Area B
 - o Including provision for affordable housing ownership or rental units for at least 6.60 persons to be constructed within building 4/5
- Development of 55 multi-family units in Building 4/5 and or 28 multifamily units within Area C
 - o If the 55 multifamily units in Building 2/3 and the 28 multifamily units in building 1 are developed as for sale, condominium units, provision for affordable housing ownership units for a total of at least 25.6 persons will be constructed within building 4/5 and Building 2/3
 - Building 2/3 = 17.05 persons mitigated
 - Building 1 = 8.55 persons mitigated
 - o If the 55 multifamily units in building 2/3 and/or the 28 multifamily units in building 1 are developed as for rent, apartment units, compliance with Section 7.4.2.D.13 of the Town of Jackson Land Development regulations shall apply to exempt the rental apartment units within building 4/5 from the affordable housing mitigation standards
- Provision of at least 18 workforce housing units within Building 2/3 and 9 workforce housing units within Building 1
- Completion of all landscape requirements for all Phase 2 development
- Completion of all remaining landscape requirements in Area D

G. LANDSCAPING - A Landscape Plan is attached in [Section 5](#).

H. ENVIRONMENTAL STANDARDS

1. Natural Resource Buffers (Wetlands and Water bodies)

Wetlands – An Aquatic Resources Inventory was conducted by Y2 Consultants in September of 2014. On March 17, 2015 a request for verification of delineated wetlands was presented to the Army Core of Engineers, Conditions and Restrictions for the development.

Wetland Setback = 30' for naturally occurring and mitigated wetlands. This buffer can only be encroached for wetlands that are classified as degraded and will be enhanced.

2. Wildlife friendly fencing

- a. Elk Fence – The fence on the eastern boundary of the parcel is designed to keep Elk from crossing into the property and is 8' in height. This fence is an existing non-conformity and is owned by the United States Government and will remain in place.

- b. Northern Fence – As part of the development the applicant will work with the Elk Refuge to maintain the northern boundary of this parcel so the ownership is clearly delineated to visitors of the Elk Refuge Grounds.

3. Water Quality

See subsequent Engineer's report in **Section 2** of this application for discussion on these items.

There are no existing streams or water bodies on site. Nonetheless, care will be taken during construction by using Best Management Practices for erosion control and ensure that stormwater runoff does not impact the remaining wetlands or runoff onto adjacent properties. A grading and erosion control permit will be submitted concurrently with a building permit, which will require approval prior to construction. A Stormwater Pollution Prevention Plan (SWPPP) will be required by the Wyoming Department Environmental Quality (DEQ).

I. NATURAL HAZARDS TO AVOID

Floodplains – A portion of this 10-acre parcel is included within FEMA Flood Zone A where Base Flood Elevations (BFE) needed determination. Harmony Design and Engineering has completed a study on the area to determine the 100-year Base Flood Elevation. Upon analysis of all of the factors using a system of cross sections as well as LiDar data, they determined that the BFE for the site is 6217.48 feet and recommended that all structures be located a minimum of one foot above that for all construction. As a result, the Applicant will construct all structures at least 1.5 feet above this elevation. A Letter of Map Revision (LOMR) has been completed and is Attached in **Section 6**.

J. SIGNS

Hidden Hollow anticipates completion of signage design in the near future and will submit the Signage Design Plan during future building permit submittal.

K. GRADING, EROSION CONTROL, STORMWATER

See subsequent Engineer's report in **Section 2** of this application for discussion on these items.

L. ALLOWED USES & USE REQUIREMENTS

- 1. Allowed Uses** – The proposed uses within the Hidden Hollow development include Single-family detached residential, Townhome, Condominium and Apartment rental uses. As allowed by the PUD master Plan.

2. **Parking** – See subsequent Engineer’s report in **Section 2** of this application for discussion on these items.

M. ALLOWED SUBDIVISION AND DEVELOPMENT OPTIONS

1. **Standards applicable to all Subdivisions** - Hidden Hollow will adhere to all standards provided in Section 7.2.2 of the LDRs which include Applicant responsibilities, required permits, installation, working with a professional engineer, over sizing and off-site improvements, and acceptance by the ToJ.
2. **Land Division Standards** – Will comply with Section 7.2.4 below
3. **Condominium and Townhouse Subdivision** – While this development plan contemplates rental housing, should any portion ever be reverted back to condominium, Hidden Hollow will adhere to all standards provided in Section 7.2.4 of the LDRs which include recordation of a Final Plat, adhering to Building and Fire Code, Tenant Notification, Site Compliance, and Townhouse Subdivision which includes common lots, maximum lot sizes and building official review.

N. RESIDENTIAL SUBDIVISION REQUIREMENTS

1. **Affordable Housing** – Affordable Housing Mitigation for Hidden Hollow is detailed on the mitigation plan attached in **Section 6**.
2. **School and Parks Exactions** – Total schools and park exactions for the 20 townhomes as fee-in lieu, is \$87,925.00 to be collected at the time of recordation of the townhouse plat. Calculations are provided in **Section 6**. The exactions for the single family lots totaling \$61,100.00 will be collected with the recordation of the recently approved Hidden Hollow 1st addition to the Town of Jackson Plat.

O. INFRASTRUCTURE

1. **Transportation Facilities** – see plan sheets provided in **Section 5**.
2. **Required Utilities** – see plan sheets provided in **Section 5**.

THIS PAGE IS INTENTIONALLY LEFT BLANK

SECTION 2 – ENGINEER’S REPORT

A. INTRODUCTION

This Development Plan Engineer’s Report is intended to provide the engineering basis for design and to discuss engineering related issues for the development of the Hidden Hollow PUD.

B. SETTING

The site is located two blocks north of Town Square. Historically the site was hay meadow, rangeland, and natural wetlands adjacent to the Elk Refuge and Cache Creek. As Town developed Cache Creek was routed in a pipeline and the natural channel and hydrology was disrupted. Over time and under the ownership of the US Forest Service the parcel was developed for seasonal housing that was fairly spread out across the site. The site is bordered on the north and east by a U.S. Fish and Wildlife Service National Elk Refuge. The Refuge is approximately 6 miles wide and 10 miles long. There is an 8’ high elk fence on the eastern boundary. Also, to the north is Flat Creek as it exits the Refuge and enters the Town of Jackson. On the south is the Teton County Recreation Center and Jackson Elementary School, and the west is the mostly commercial district of north Jackson. There are several existing utilities on site left over from the Forest Service housing that will be removed.

C. SOILS AND SITE CONDITIONS

The upper soils of the site are semi-permeable flood plain deposits consisting of sands and clay ranging from just a few feet to more than ten feet. Foundation designs will consider the soil types and their structural stability carefully. Subsoils are alluvial gravels and provide good structural stability for foundation. A geotechnical investigation by Y2 Consultants was published on April 27, 2016 and included with the approved Sketch Plan application which is on file with the TOJ Planning Department. This report provides a more detailed description of the soil conditions of the site. Specific recommendations for construction are made within the report.

D. GROUNDWATER, STREAMS, & RIVERS

High groundwater exists on this parcel. Historic information indicates high groundwater elevations of between 2 feet below ground surface on the northwest corner of the lot to about 7 feet below ground surface on the southeast corner of the parcel. Groundwater levels fluctuate 3 to 5 feet during the year. Groundwater is highest in the west and north of the property and drops towards the east and south in the direction of the Elk Refuge boundary. Building foundations will need to take into account the elevation of groundwater and utility installation should be timed to avoid the high cost of dewatering during high groundwater periods.

E. GRADING, EROSION CONTROL, DRAINAGE, & STORMWATER

Development on the site accommodates stormwater by routing it through the available green spaces on site, the use of stormwater treatment units, and detention areas placed strategically around the site. These areas are sufficient to accommodate storm water runoff. The parcel is relatively flat and underlain by semi-permeable surface soils and very permeable subsoils. The units are spaced to provide landscape areas around the buildings that will help infiltrate stormwater and spring snow melt water. The expected runoff from the two large buildings will be channeled through roof drains and a piping network and connected to the stormwater utility onsite. Details of the stormwater system have been submitted in Phase 1a FDP, approved February 6, 2017.

A Grading and Erosion Control Permit will be submitted to the Town for approval prior to beginning of Phase 2. This GEC permit application will include drawings that will have incorporated any revisions and comments made during the Final Development Plan process and as a result of incorporating final design elements and coordination with the Town and other utility companies.

F. ROADS AND ACCESS

Access to the site is gained via the extension of Mercill Avenue on a 40' wide strip of land that is part of the Hidden Hollow parcel and will be the main access to this parcel for the future. A 10' wide Special Use Permit (#JAC103304) was obtained from the United States Forest Service(USFS) to accommodate a 10' pathway on the North side of the Mercill Avenue. A 10' wide pedestrian access easement was obtained from Kudar Enterprises, Inc. property to the south to accommodate a 6' wide sidewalk. This makes the entire corridor 60' wide. The access into the property on Mercill Avenue has been approved by WyDOT and is currently undergoing improvements. The final design includes a two lane, 60-foot-wide road with a 6' sidewalk on the south and a 10' multi-use pathway on the north. The pathway and sidewalk will each have a buffer strip of about 5 feet between them and the roadway for safety, comfort of the users, and snow storage.

G. TRAFFIC

A revised Traffic Impact Study (TIS) was submitted in the Phase 1a FDP, approved February 6, 2017. This version of the TIS addresses the minor comments provided by WyDOT after they approved the first TIS during the sketch plan process in a letter attached in **Section 8**. The study finds that the Hidden Hollow development will have an increased trip generation impact on the North Cache – Mercill intersection. However, this increased impact is mitigated by the fact that this intersection is currently signalized. The increased traffic coming to and from the eastern Mercill extension will flow in a manner that is consistent with the current signalization and will therefore have a reduced impact on the traffic inbound and outbound along North Cache than it would if it were not currently signalized.

The new east leg of Mercill Avenue coming from the property to Cache will be a two-lane roadway, one in and one out. The Applicant has worked with the Town Staff and WyDOT to arrive at this configuration. This intersection configuration is easier for pedestrians and bicycles to navigate because of the width and will line up well with the west leg of Mercill.

Multi-modal transportation options are abundant in the vicinity of Hidden Hollow. They include several pedestrian and bicycle connections in close proximity to local town commercial services and are within walking distance of the Recreational Center and the School. Finally, the Town Shuttle operated by START flows in both East and west bound directions nearby to the site. The Town Shuttle has 4 stops with 30-minute intervals all within a one block walking distance to the Mercill and North Cache Intersection. Proximity to multi-modal options will be an incentive for residents to choose alternative modes of transportation for their short and medium distance trips.

H. PARKING

The lowest floor of these buildings, which is situated partially underground, will provide a minimum of 89 spaces for the 3 buildings. These parking structures will be screened and out of site from the pedestrian view as directed by the Comprehensive Plan. Surface parking for the multi-family buildings will be elevated approximately 5' from existing grade as shown in the attached Site Plan in **Section 5**. That grade difference will allow users of the surface parking to enter the second floor without the use of an elevator or stairs.

The townhomes will have 2 spots per unit (one inside and one outside). The townhomes will also have some guest parking in addition to on street parking where available. There are several on street parking spaces provided along the interior road that will provide for guest parking and have a traffic calming effect reducing vehicle speeds through the neighborhood.

I. PATHWAYS

A 10' wide multi-use pathway is planned parallel to, and on the north side of the new east leg of Mercill Avenue. This will provide pedestrian and bicycle connectivity from North Cache to the site. At the east end of the "flag pole" strip, this path will turn north and run parallel with the common boundary of the remaining USFS parcel beside Multi-family buildings 4/5 & 1 as proposed in the Sketch Plan. This strip between the property boundary and the back wall of the building will serve as a utility line easement and a pathway route providing connectivity to the north and a future path through the Wyoming Game and Fish property. The project team will make efforts to mitigate this area through grading features, landscaping and aesthetic building and window treatments. These efforts will help provide a more human scale to this area. A connection with King Street to the south will be essential to link pedestrian and bicycle trips traveling to East Jackson or northerly from the Rec Center and the School and will serve an emergency access for ambulances and fire trucks. Internal pathways and sidewalks will provide safe pedestrian travel throughout the site.

J. WATER

The water system work for all of Hidden Hollow was shown in the Phase 1a plans. This Phase includes Line B as shown in the Phase 1a and 1b documents. The overall system includes extending the ToJ water mains to serve this new development with a connection through the USFS parcel under Rosencrans Drive and a second connection at the intersection of Mercill Avenue and North Cache. This allows for looping the line to provide adequate pressure and flows for fire suppression supply. Currently all of this work is complete and the water line is pressurized and tested. A future connection from King Street through the Rec Center parcel is planned when that area is updated. All connections to the single-family homes and townhomes are completed to the curb stops. Any revisions resulting from Town or DEQ comments will be included in the Grading and Erosion Control permit required prior to construction. Water demand estimates for this phase are shown below. The development of this Phase represents approximately 38% of the total flows expected from the overall project.

	Ave. Day	Max. Day	Peak Hour
Buildout Demand	57,928 gal	157,590 gal	328.5 gpm

K. WASTEWATER

Wastewater will be treated via connection to the Town sewage collection and treatment system. All main sewer lines shown in Phase 1a plans are completed. Sewer lines for GEC1B are currently under construction and we anticipate completion of this portion of the utilities by the end of summer 2018. Service lines to the single-family lots and townhome buildings are complete. Wastewater projections for this phase are shown below.

	Ave. Day	Max. Day	Peak Hour
Buildout Demand	32,690 gal	54,450 gal	113.4 gpm

L. CABLE UTILITIES AND GAS

Power and Communications lines will be accessible to all units on the project. Lower Valley Energy Electrical Power and Natural Gas, Silverstar Fiber-Optic Communications, Charter Cable Television and Communication, and Century Link communications services are all available to this location. Opportunities to connect to all of these service providers will be afforded all units pending negotiations. Spare conduit may be provided should other utilities not currently contemplated be needed.

M. SNOW STORAGE

Hidden Hollow PUD has 3.42 acres of impervious surfaces requiring .08 acres of snow storage. The Applicant will provide greater than four times the requirement with 0.35 acres of snow storage located throughout the site. Snow storage will be coordinated with the landscaping to limit damage that can occur during snow clearing. Additionally, the open space central to the site can provide additional storage in large snowfall years.

SECTION 3 – RESPONSE TO PREVIOUS CONDITIONS OF APPROVAL AND PHYSICAL DEVELOPMENT REQUIREMENTS

- **3.1 Response to Previous Conditions of Approval**
 - **3.2 Housing Mitigation Plan**
 - **3.3 Park and School Exaction Calculations**

THIS PAGE IS INTENTIONALLY LEFT BLANK

Sketch Plan Conditions for Approval — P16-079

1. *The applicant shall prepare a Final Mitigation Plan providing comprehensive mitigation methodology for the on-site mitigation of wetland impacts, with an estimate for the cost of wetland mitigation implementation for review, approval and inclusion in the required Development Agreement prior to any development on the site.*

SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017

The applicant shall be required to address all staff comments related to the final Mercill Avenue extension design as part of the first Development Plan for any portion of the site.

SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017

2. *The applicant shall revise the proposed site plan to include an emergency vehicle only access point to south of the area of the future King Street connector prior to 1st reading of the PUD ordinance.* **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

3. *The applicant shall revise the proposed internal streets to including 2 or 3 curb extensions to delineate parking areas, provide no striping on any of the streets, adjust the proposed curb radius to 10' or less and provide internal pedestrian crossings with raised crossings (tabletops 3-4" above street grade) and/or using different coloring and/or texture to delineate these areas prior to 1st reading of the PUD ordinance.* **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

4. *The applicant shall enter into a Development Agreement with the Town prior to any development permits being issued for the site that identifies the ownership (public or private) of all on and off site infrastructure, who would be responsible for completing infrastructure improvements (Town or applicant), the timeline for all improvements, who would be responsible for paying for improvements (Town, applicant or cost share), and a timeline and associated bonding for all required improvements)* **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

- *Onsite Improvements: The Town would take over ownership of the on-site sewer and water infrastructure upon inspection by the Town. All roadways, sidewalks, pathways, storm water, wetlands, and other utilities will remain the responsibility of the applicant and ultimately the Home Owners Association (HOA). All utilities will be installed 100% at the applicant's expense, with no contribution from the Town. The Town shall determine whether an onsite sewer lift station is necessary and acceptable to the Town prior to execution of the Agreement.*

- *Mercill Avenue Extension: The Town would take over ownership of all infrastructures (water, sewer, storm sewer, curb gutter and roadway surface, pathway, etc.) upon inspection by the Town. In addition, the Town agrees to cost sharing/reimbursement for all infrastructures above and beyond that required by the Hidden Hollow Development and improvements above and beyond the 40' of future right of way. Reimbursement could be by the Town upon completion of the work or from future property owners as they request connection and use of the shared Town infrastructure.*
 - *Off-site Water: The Town would take over ownership of a new water main within Rosencrans upon inspection by the Town. The applicant is not requesting the Town cost share/reimbursement for this water main. The Town would be responsible for securing a special use permit or other instrument from the Forest Service for installation, and maintenance of the water main.*
 - *Off-site Sewer: The Town would be responsible for any off-site sewer improvements deemed necessary.*
 - *Phasing Plan: As described in the PUD-Master Plan, with the exception that no work shall commence on the site until final approval of all planning applications is granted by the Town.*
5. *The applicant shall provide as part of all Development Plan applications for Areas B and C a detailed landscape plan describing the proposed improvements and function of all identified outdoor/recreation areas to address the outdoor amenity needs of residents of the site. **INCLUDED IN SECTION 5.***
 6. *The applicant shall provide public access for pedestrians and cyclists through the site as part of the first Final Plat or sooner if deemed necessary by the Planning Director. **INCLUDED WITH HIDDEN HOLLOW FIRST ADDITION PLAT APPLICATION.***
 7. *The applicant shall provide a breakout of the workforce housing mix of rental to ownership units at the time of Development Plan for review and approval by Town Council. **SEE SECTION 3.2 PHYSICAL DEVELOPMENT.***
 8. *The applicant shall provide a detail storm and water plan of the first Development plan for review and approval of staff and town Council against all town and State requirements. **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017***

9. *The applicant shall provide a detail pedestrian lighting plan as part of the first Development Plan for review and approval by the town council.* **SUBMITTED AS PART OF PHASE 1A FDP APPROVED FEBRUARY 6, 2017**

Planned Unit Development (PUD) Conditions for approval – P16- 080

1. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to make all clarifying edits recommended by staff and any edits needed to implement conditions of approval of the Sketch Plan and PUD.* – **COMPLETED**
2. *Prior to 1st reading of the PUD ordinance the applicant shall amend Section 1.4.A of the Master Plan to clarify the intent of the Master Plan regarding “previewed” standards from an LDR Section.* – **COMPLETED**
3. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to specify the documents that must be provided in order for the Master Plan to be considered amended.* - **COMPLETED**
4. *Prior to 1st reading of the PUD ordinance the applicant shall delete the definition of dwelling unit from the Master Plan.* - **COMPLETED**
5. *Prior to 1st reading of the PUD ordinance the applicant shall complete Section 2.1.A of the Master Plan by allocating dimensional limitation allowances and requirements to Areas B, C, and D consistent with the Sketch Plan and Overall PUD approval.* - **COMPLETED**
6. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to require all Area B development to complete a Development Plan.* - **COMPLETED**
7. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to include a maximum scale of use for Local Convenience Commercial of 2,000 sf, excluding basement.* - **COMPLETED**
8. *Prior to 1st reading of the PUD ordinance the applicant shall revise the Master Plan to clarify the applicable amendment process for adjusting the maximum sales price of an affordable housing unit.* - **COMPLETED**
9. *Prior to 1st reading of the PUD ordinance all attachments shall be included with the Master Plan upon review and approval by staff.* - **COMPLETED**

THIS PAGE IS INTENTIONALLY LEFT BLANK

**SECTION 4 – PHASING AND ARCHITECTURE
11" X 17" FORMAT**

THIS PAGE IS INTENTIONALLY LEFT BLANK

**SECTION 5 – CIVIL, LANDSCAPE, LIGHTING
DRAWINGS 11" X 17' FORMAT**

THIS PAGE IS INTENTIONALLY LEFT BLANK

SECTION 6 – SUPPORTING INFORMATION

- **6.1 Master Plan (Redline)**
- **6.2 Site and Pedestrian Plan from Sketch Plan**
 - **6.3 Base Flood Elevation Study**
 - **6.4 FEMA Letter of Map Revision**
 - **6.5 Water Demands**
 - **6.6 Sewer Flow Projections**
 - **6.7 Parking Management Plan**

THIS PAGE IS INTENTIONALLY LEFT BLANK

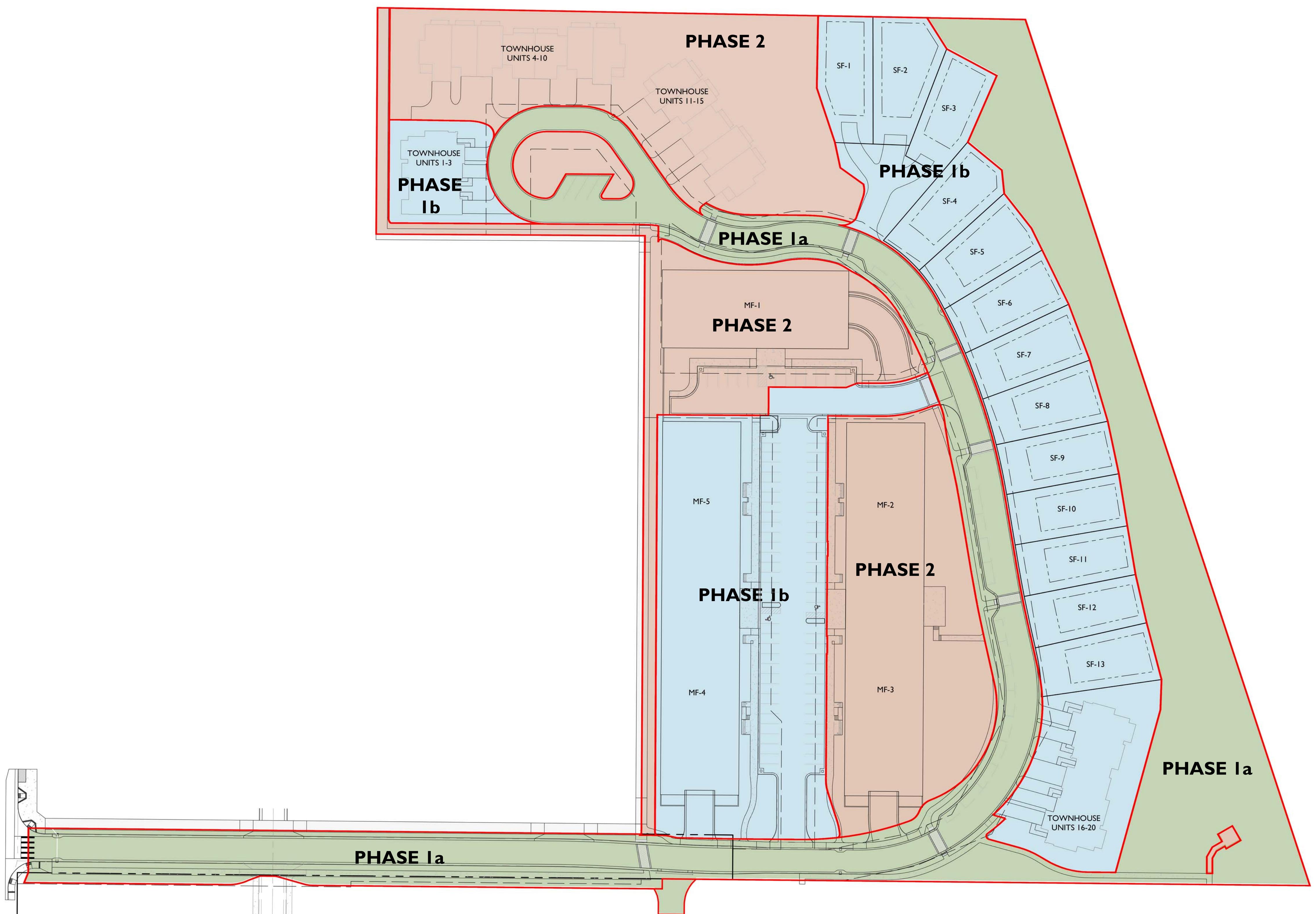
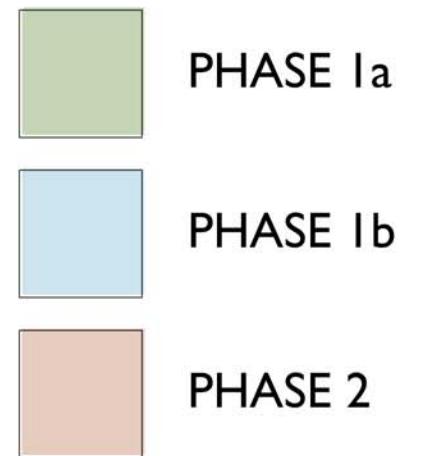
SECTION 7 – APPLICATION MATERIALS

- **7.1 Application**
- **7.1.2 Pre-Application Conference Summary**
 - **7.2.1 Quitclaim Deed**
 - **7.2.2 Letter of Authorization**
 - **7.3 Title Report**

THIS PAGE IS INTENTIONALLY LEFT BLANK

HIDDEN HOLLOW
 MERCILL AVENUE AT HIDDEN HOLLOW
 Hidden Hollow Update / Final Phasing Plan
 60 ROSENCRANS
 JACKSON, WYOMING

LEGEND



HERSHBERGER DESIGN

Landscape Architecture Environmental Planning Urban Design
 540 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.739.1001 F:307.734.8322

Issue Date:

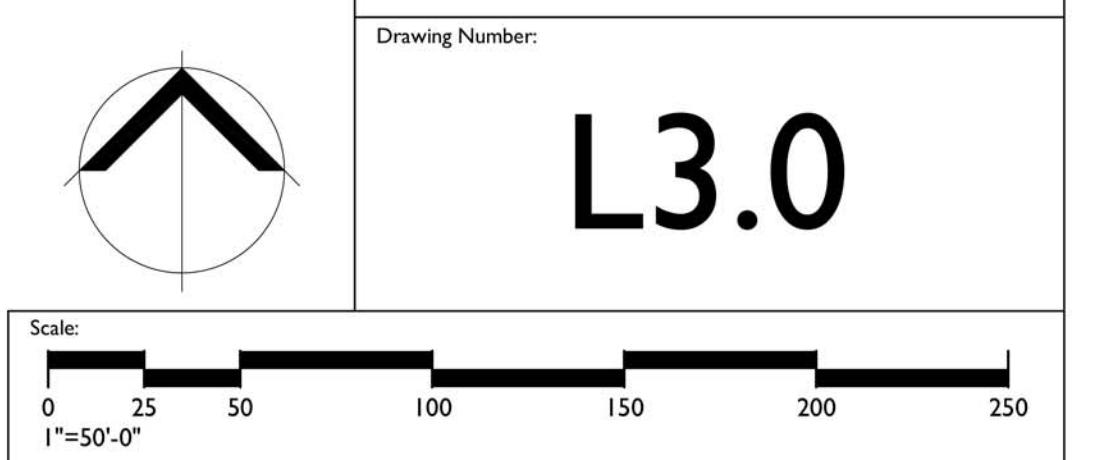
- 02.06.2017 PHASE 1a FDP
- 03.14.2018 GEC SUBMISSION
- 06.15.2018 Hidden Hollow Update / Final Phasing Plan
-
-
-

Drawing Title:

PHASING PLAN

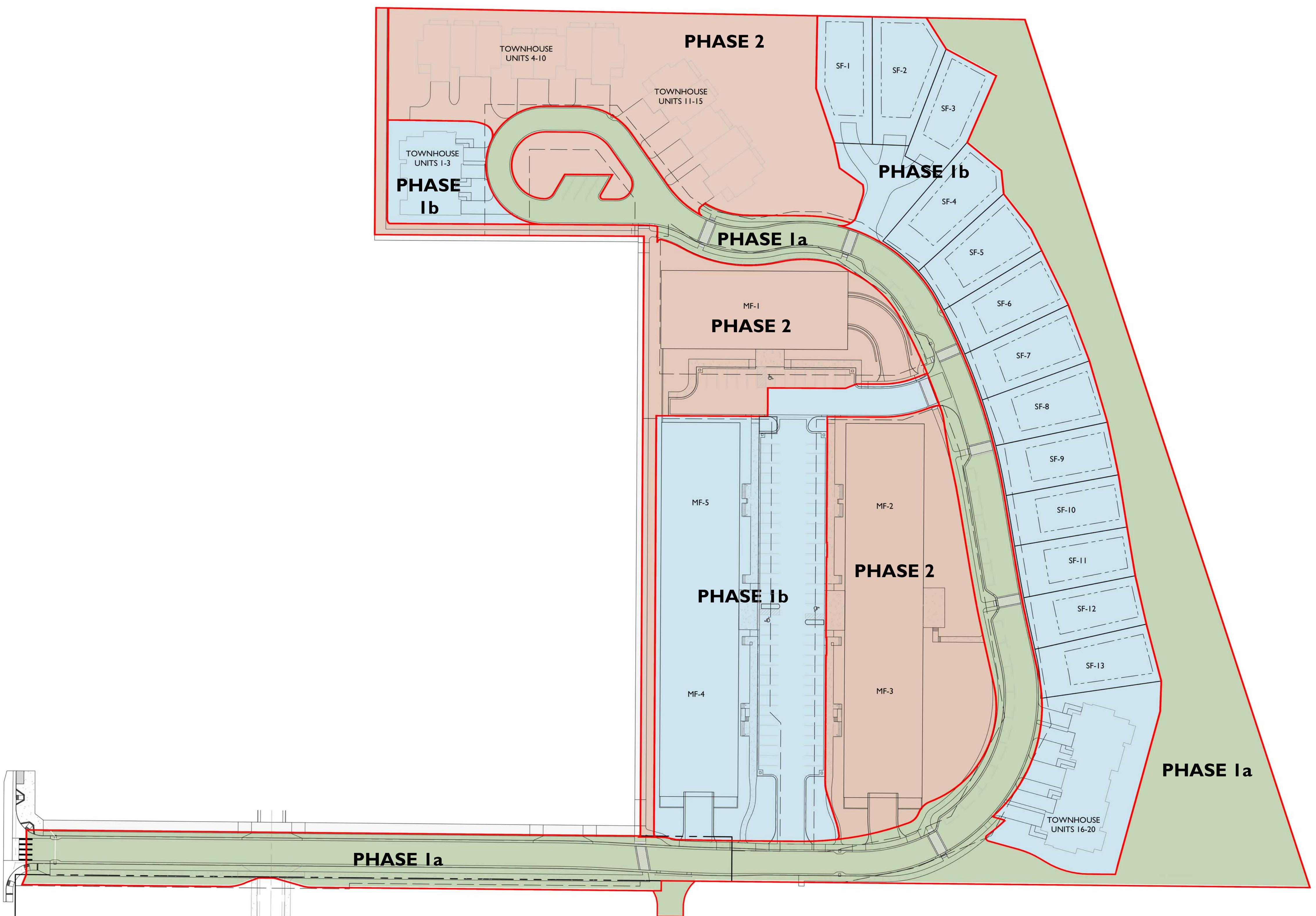
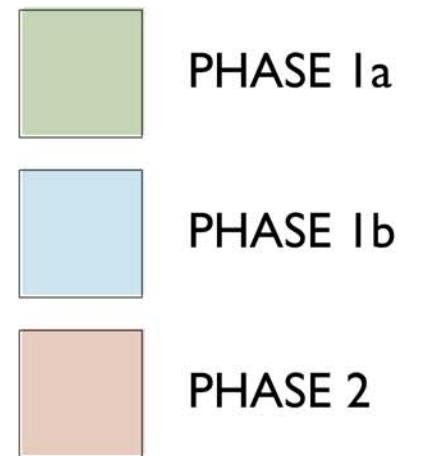
Drawing Number:

L3.0



HIDDEN HOLLOW
 MERCILL AVENUE AT HIDDEN HOLLOW
 Hidden Hollow Update / Final Phasing Plan
 60 ROSENCRANS
 JACKSON, WYOMING

LEGEND



HERSHBERGER DESIGN

Landscape Architecture Environmental Planning Urban Design
 540 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.739.1001 F:307.734.8322

Issue Date:

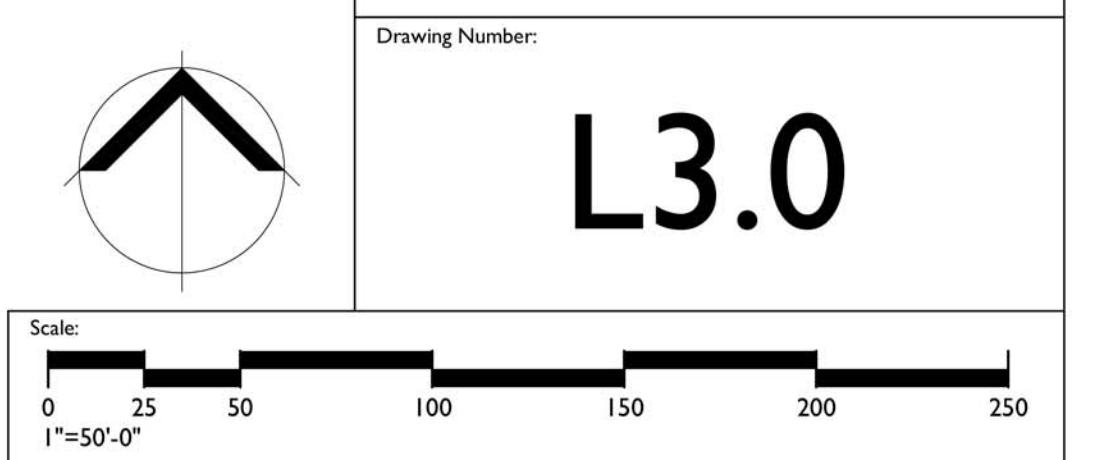
- 02.06.2017 PHASE 1a FDP
- 03.14.2018 GEC SUBMISSION
- 06.25.2018 Hidden Hollow Update / Final Phasing Plan
-
-
-

Drawing Title:

PHASING PLAN

Drawing Number:

L3.0



HIDDEN HOLLOW

PHASE 2 FDP

JACKSON, WY

CTA

JACKSON, WY
p 307.733.9955
f 307.733.9954



JACKSON, WY
HIDDEN HOLLOW

© 2019. ALL RIGHTS RESERVED.

VICINITY MAP
SITE LOCATION 



SHEET INDEX

- | | |
|-------|-----------------------------|
| G101 | COVER |
| A101 | FLOOR PLANS- ALL APARTMENTS |
| A102 | FLOOR PLANS- BUILDING 2/3 |
| A103 | FLOOR PLANS- BUILDING 2/3 |
| A104 | FLOOR PLANS- BUILDING 1 |
| A105 | FLOOR PLANS- BUILDING 1 |
| A106 | UNIT LAYOUTS |
| A200a | PERSPECTIVE IMAGES |
| A200b | PERSPECTIVE IMAGES |
| A200c | PERSPECTIVE IMAGES |
| A201 | BUILDING 2/3 ELEVATIONS |
| A202 | BUILDING 1 ELEVATIONS |
| A301 | BUILDING 2/3 SECTIONS |
| A302 | BUILDING 1 SECTIONS |
| A901 | MATERIALS |

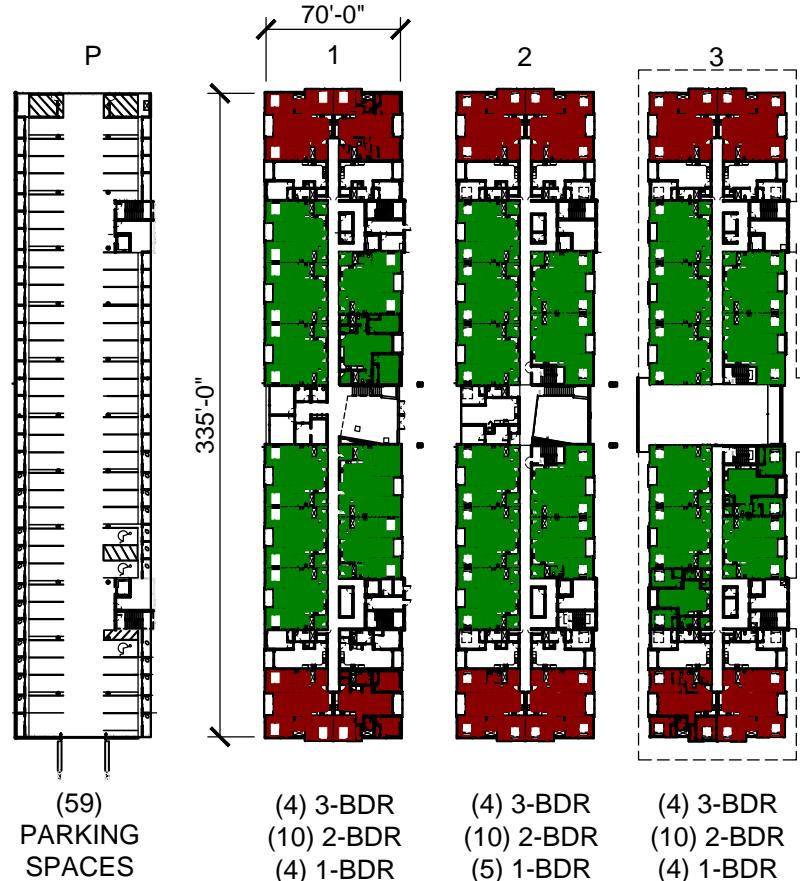
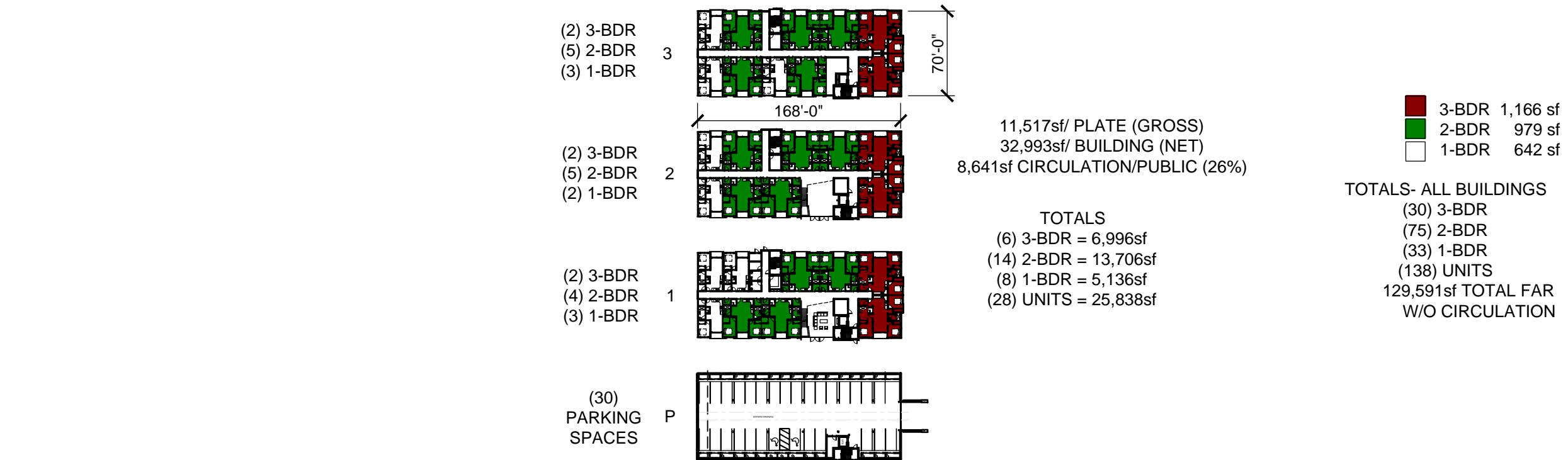
CHECKED BY
ZEREN

DATE
6.15.2018

REVISION

REF SHEET

SHEET NAME
G101



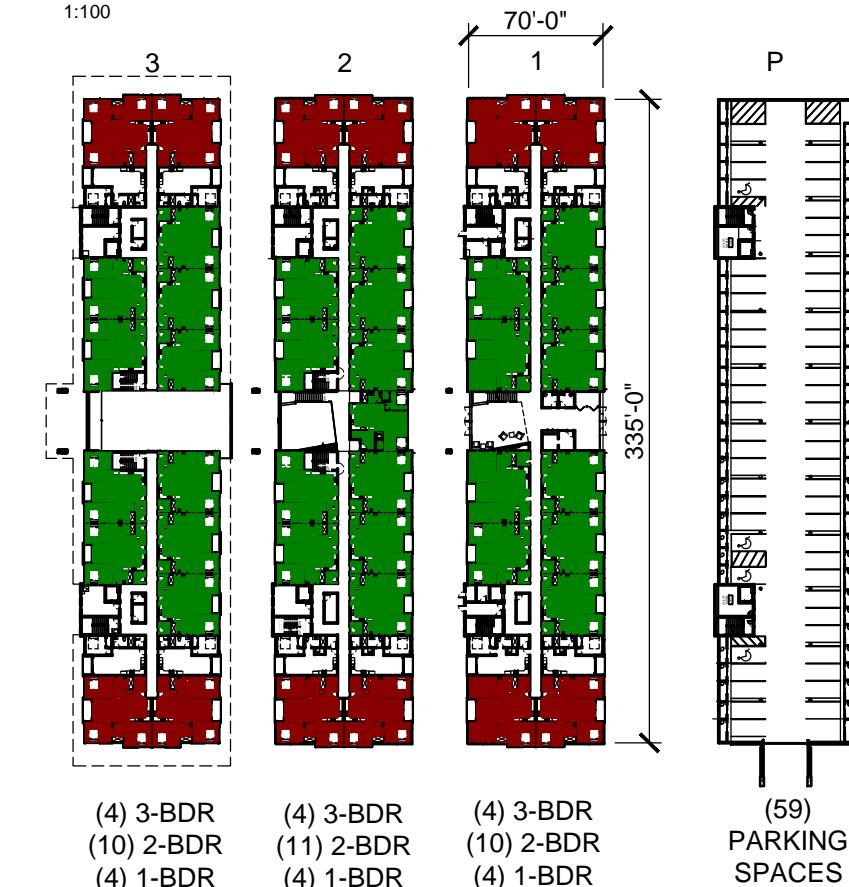
Building 1 Floor Plan

1:100

NORTH REF.

22,828sf/ PLATE (GROSS)
 65,343sf/ BUILDING (NET)
 14,071sf CIRC./PUBLIC (21.5%)

TOTALS:
 (12) 3-BDR = 13,992sf
 (31) 2-BDR = 30,349sf
 (12) 1-BDR = 7,704sf
 (55) UNITS = 52,045sf



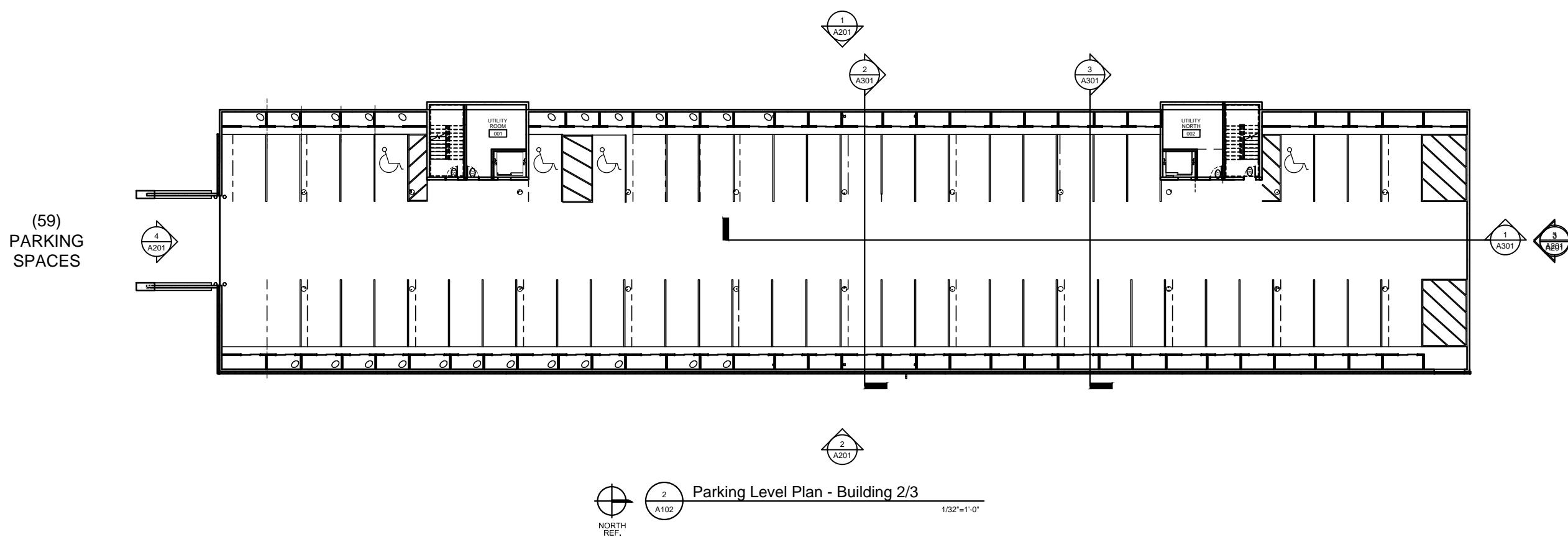
NORTH REF.

JACKSON, WY
HIDDEN HOLLOW

© 2018 | ALL RIGHTS RESERVED
 CHECKED BY
 ZEREN
 DATE
 6.15.2018
 REVISION
 REF SHEET
 SHEET NAME
A101

JACKSON, WY
HIDDEN HOLLOW

©2018 | ALL RIGHTS RESERVED



**JACKSON, WY
HIDDEN HOLLOW**

©2018 | ALL RIGHTS RESERVED

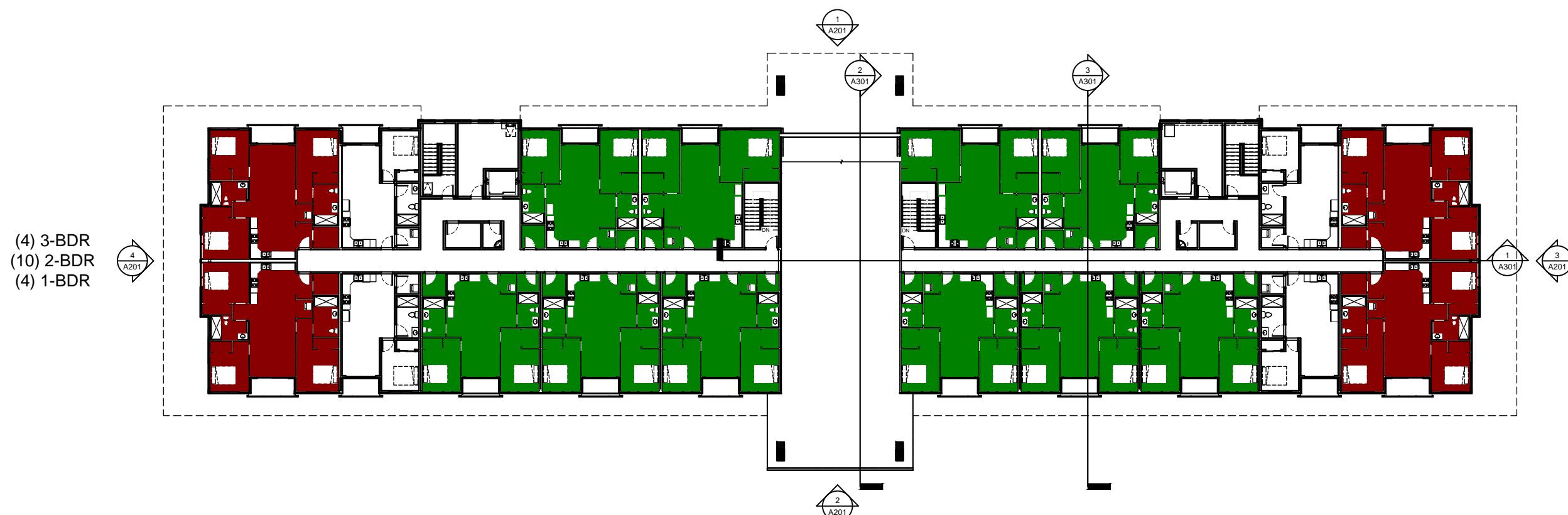
CHECKED BY
ZEREN

DATE
6.15.2018

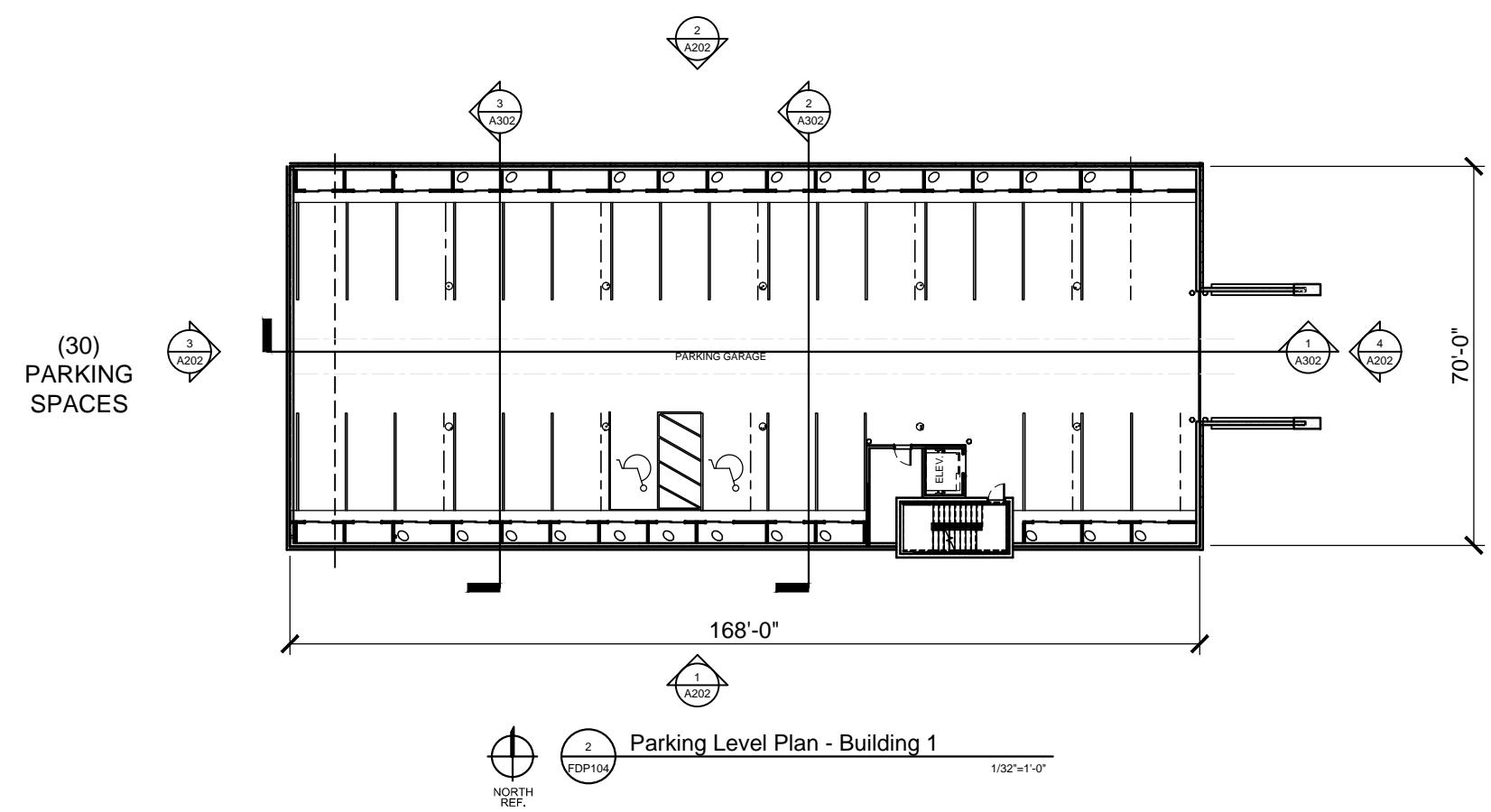
REVISION

REF SHEET

SHEET NAME
A103



K:\HIDHOLLOW FDP2\Arch\A103.dwg



(2) 3-BDR
(5) 2-BDR
(3) 1-BDR



(2) 3-BDR
(5) 2-BDR
(2) 1-BDR



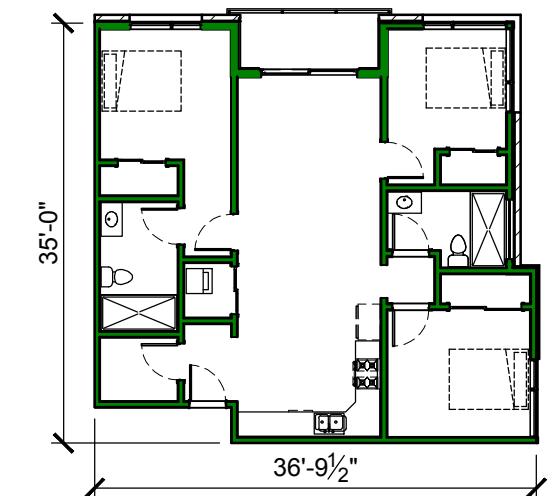
© 2018 | ALL RIGHTS RESERVED

CHECKED BY
ZERENDATE
6.15.2018

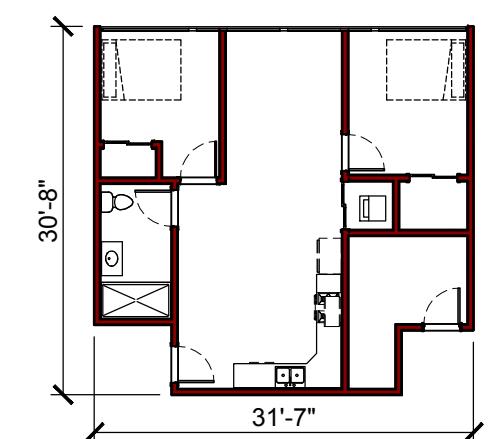
REVISION

REF SHEET

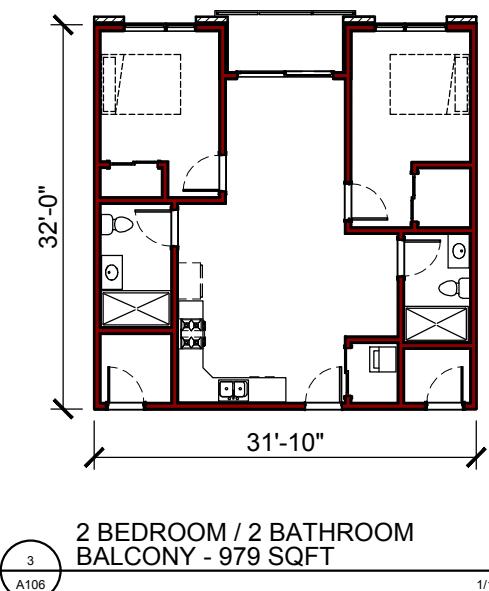
SHEET NAME
A105



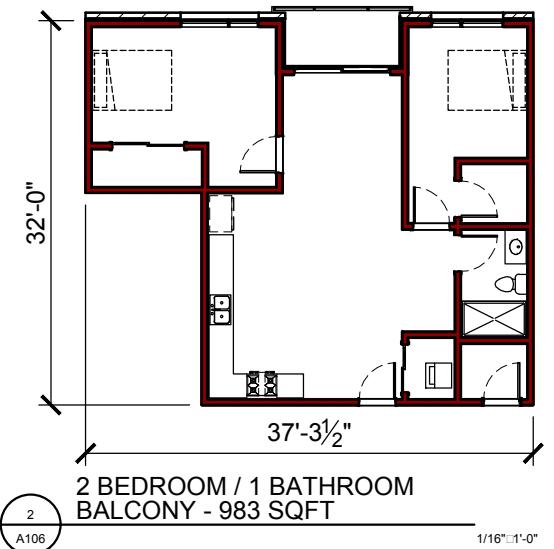
1 A106



4 A106



3 A106



2 A106

CHECKED BY
ZERENDATE
6.15.2018

REVISION

REF SHEET

SHEET NAME
A106



© 2018 | ALL RIGHTS RESERVED

CHECKED BY
ZERENDATE
6.15.2018

REVISION

REF SHEET

SHEET NAME
A200a

PERSPECTIVE LOOKING NORTHEAST



© 2018 | ALL RIGHTS RESERVED

CHECKED BY
ZERENDATE
6.15.2018

REVISION

REF SHEET

SHEET NAME
A200b

PERSPECTIVE LOOKING NORTHWEST

JACKSON, WY
HIDDEN HOLLOW

PERSPECTIVE LOOKING SOUTHWEST

CHECKED BY
ZERENDATE
6.15.2018

REVISION

REF SHEET

SHEET NAME
A200c

© 2018 | ALL RIGHTS RESERVED



1 OVERALL WEST ELEVATION

A.201

1/32" = 1'-0"



2 OVERALL EAST ELEVATION

A.201

1/32" = 1'-0"



3 OVERALL NORTH ELEVATION

A.201

1/32" = 1'-0"



4 OVERALL SOUTH ELEVATION

A.201

1/32" = 1'-0"

JACKSON, WY
HIDDEN HOLLOW

©2018 | ALL RIGHTS RESERVED

CHECKED BY
ZERENDATE
6.15.2018

REVISION

REF SHEET

SHEET NAME
A201



BUILDING 1
OVERALL SOUTH ELEVATION

A.202

1/32" = 1'-0"



BUILDING 1
OVERALL NORTH ELEVATION

A.202

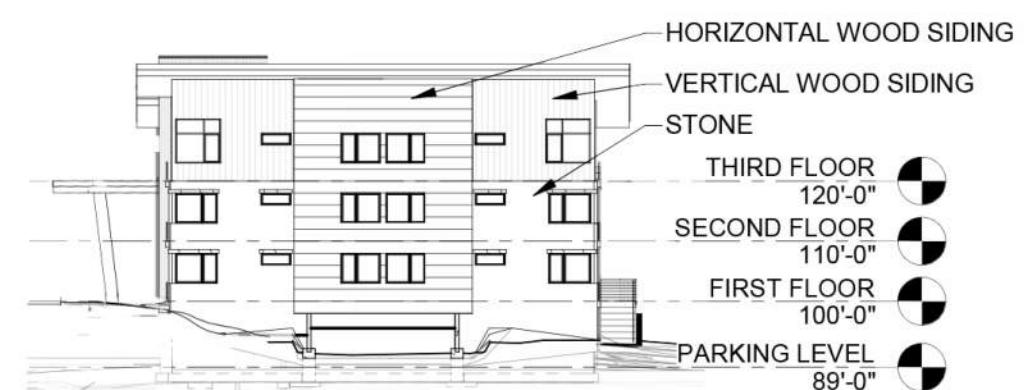
1/32" = 1'-0"



BUILDING 1
OVERALL WEST ELEVATION

A.202

1/32" = 1'-0"



BUILDING 1
OVERALL EAST ELEVATION

A.202

1/32" = 1'-0"

JACKSON, WY
HIDDEN HOLLOW

©2018 | ALL RIGHTS RESERVED

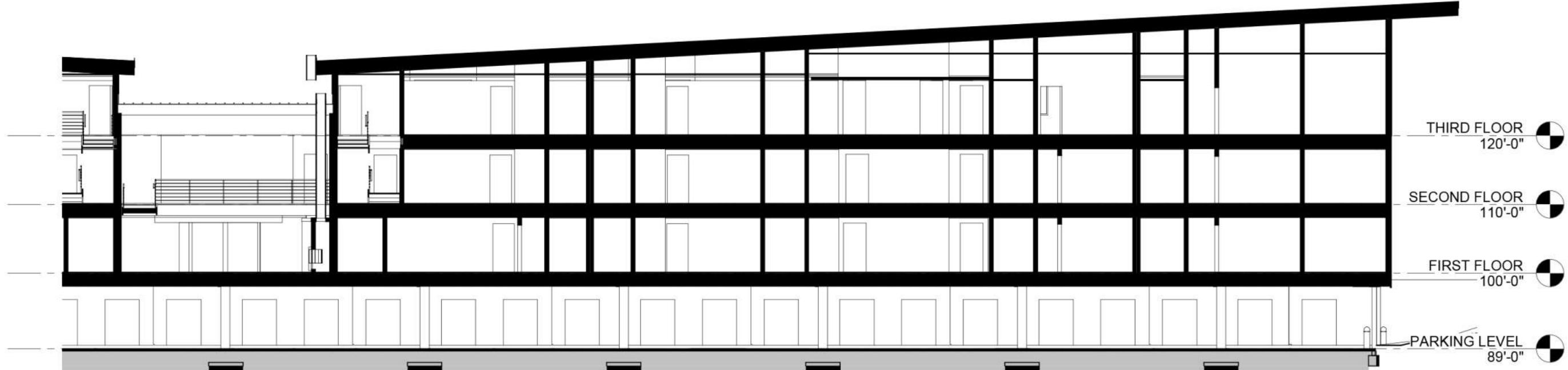
CHECKED BY
ZEREN

DATE
6.15.2018

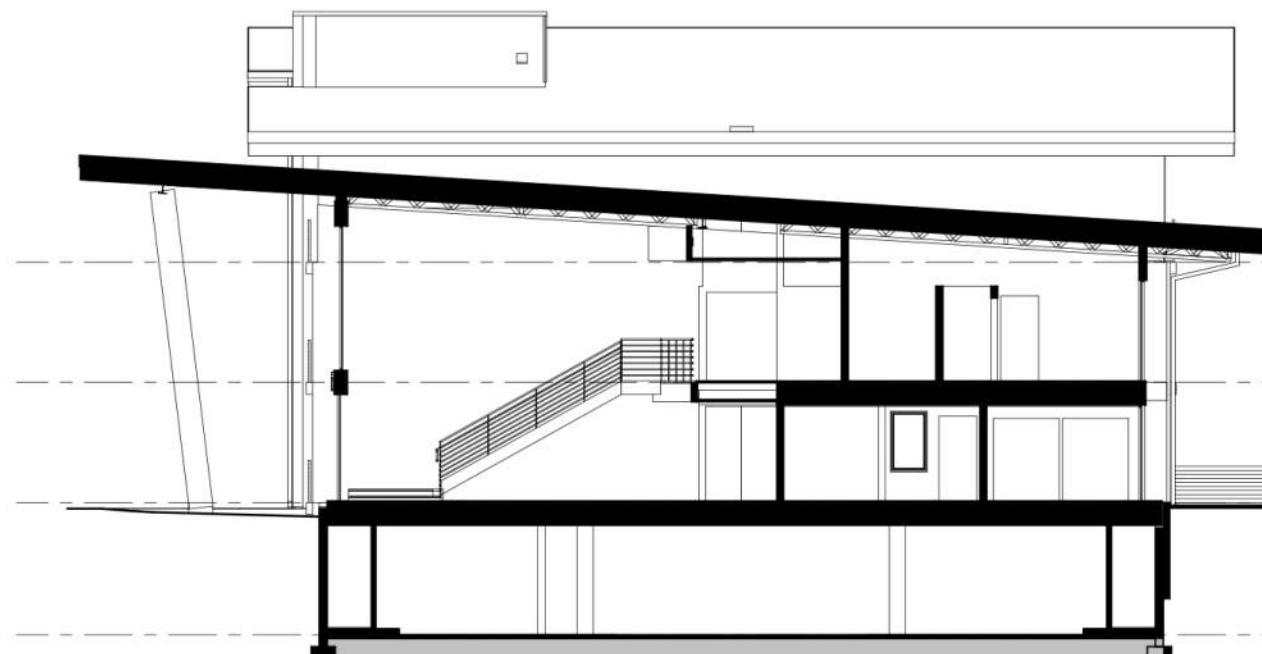
REVISION

REF SHEET

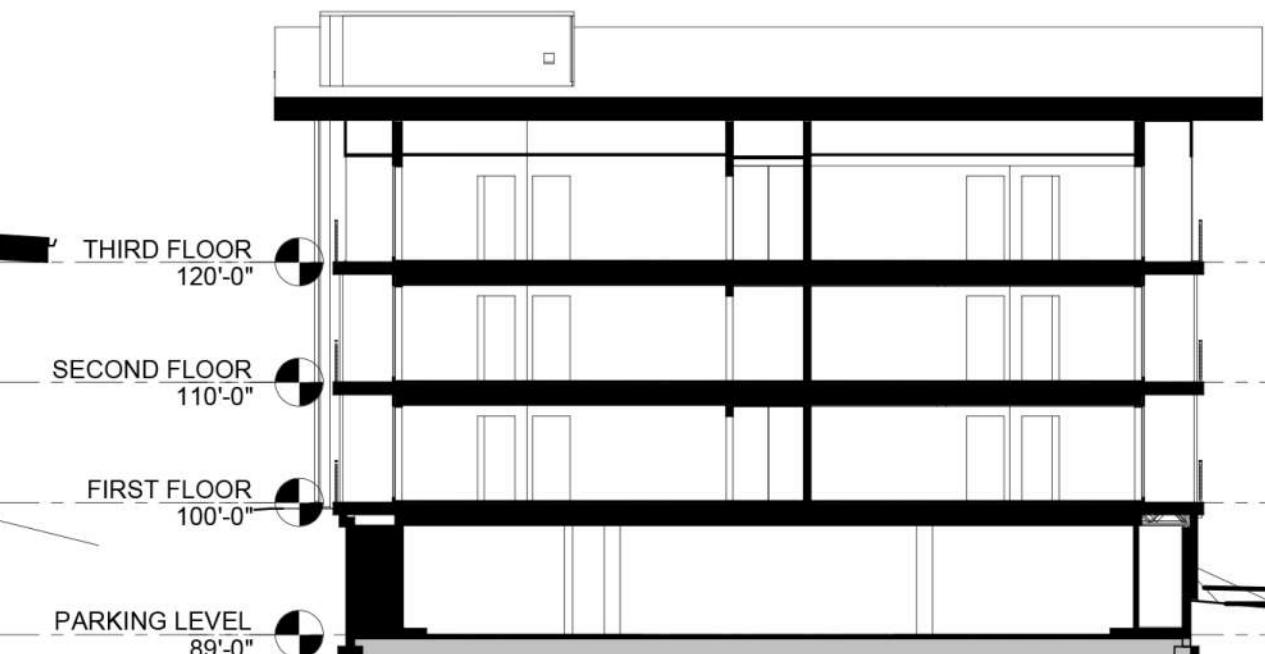
SHEET NAME
A202



1 BUILDING SECTION SOUTH
A.301 1/16" = 1'-0"



2 LOBBY BUILDING SECTION
A.301 1/16" = 1'-0"

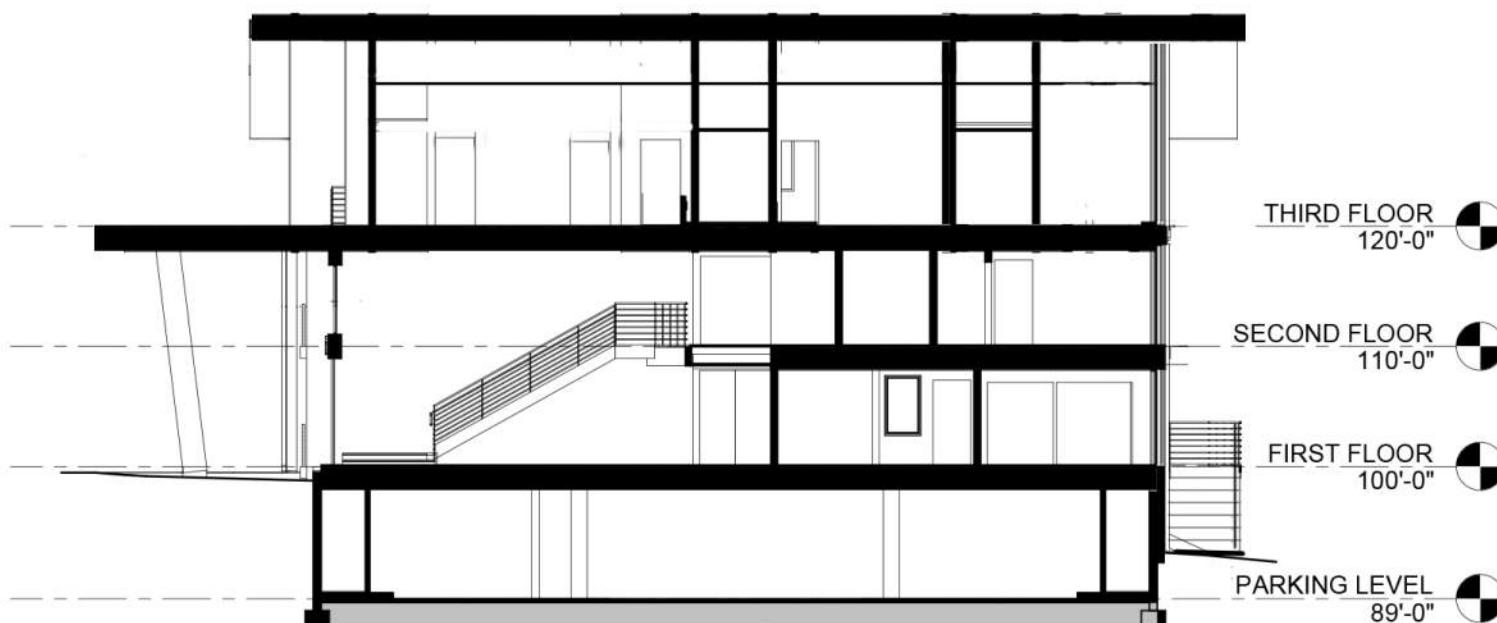


3 BUILDING CROSS SECTION
A.301 1/16" = 1'-0"

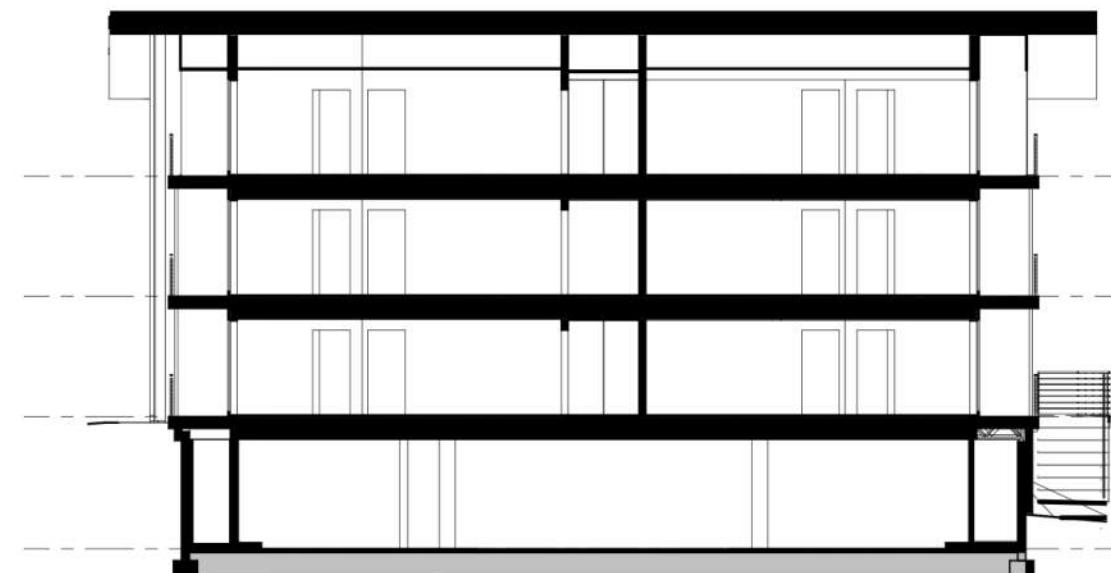


1
BUILDING 1 - NORTH SECTION
A.302 1/16" = 1'-0"

JACKSON, WY
HIDDEN HOLLOW



2
LOBBY BUILDING 1-SECTION
A.302 1/16" = 1'-0"



3
BUILDING CROSS SECTION
A.302 1/16" = 1'-0"

©2018 | ALL RIGHTS RESERVED

CHECKED BY
ZEREN
DATE
6.15.2018

REVISION

REF SHEET

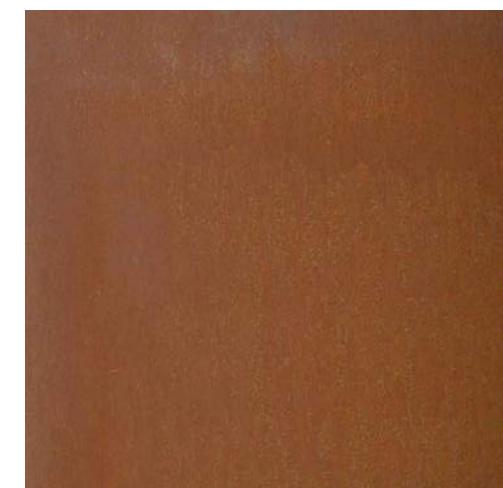
SHEET NAME
A302



VERTICAL WOOD SIDING



HORIZONTAL WOOD SIDING



CORTEN STEEL



STONE



WINDOWS & FLASHING

JACKSON, WY
HIDDEN HOLLOW

2018 ALL RIGHTS RESERVED

CHECKED BY
 ERENDATE
6.15.2018

REVISION

REF SHEET

SHEET NAME
A901



FRONT EXTERIOR ELEVATION



REAR EXTERIOR ELEVATION



LEFT EXTERIOR ELEVATION



RIGHT EXTERIOR ELEVATION



FRONT EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



REAR EXTERIOR ELEVATION

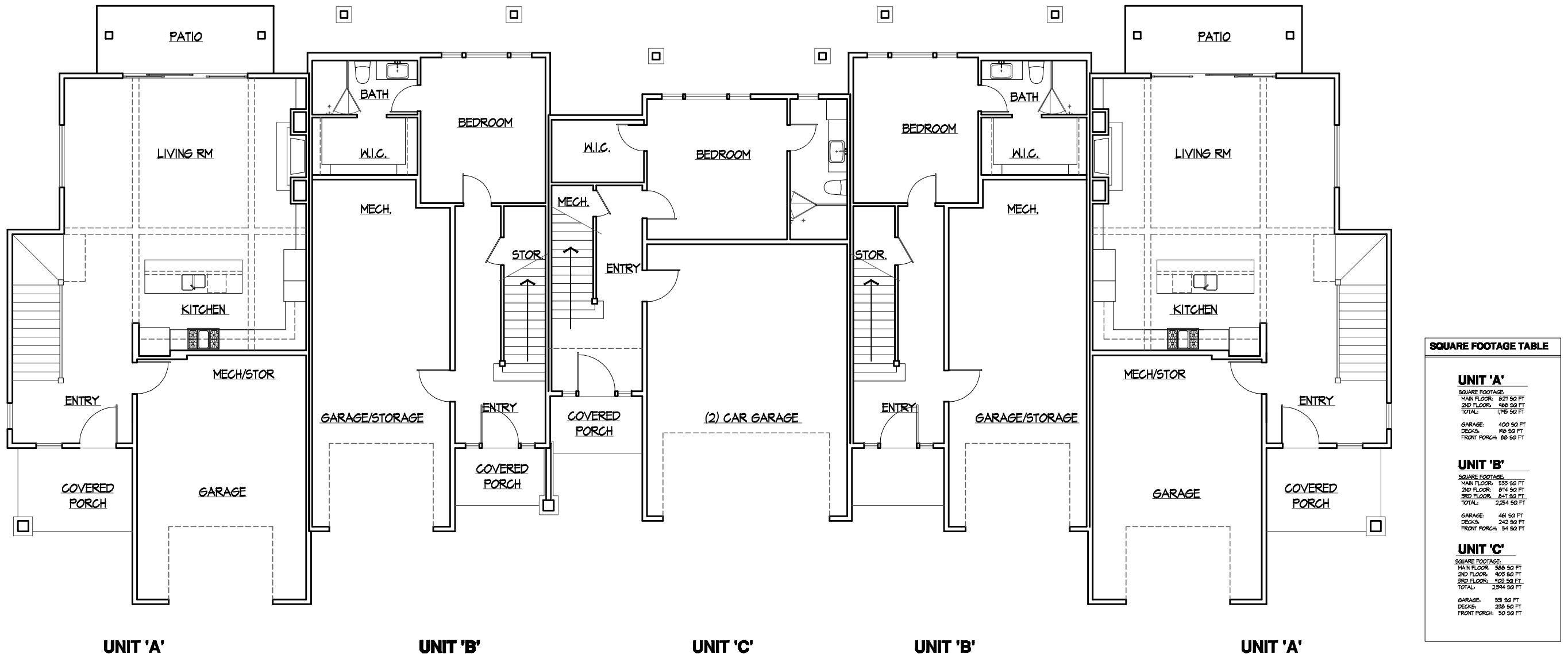
SCALE: 1/8" = 1'-0"



RIGHT EXTERIOR ELEVATION



LEFT EXTERIOR ELEVATION



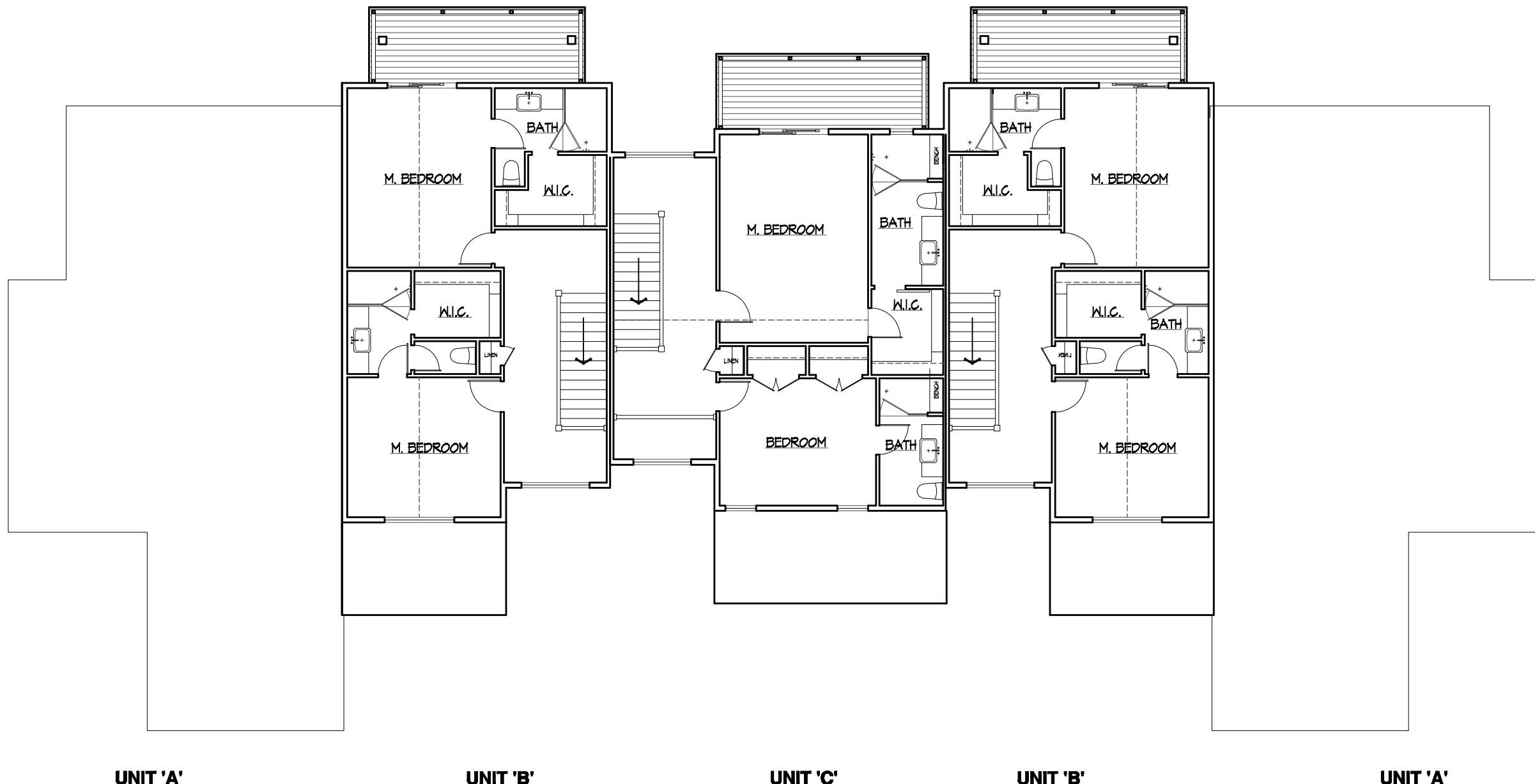
Hidden Hollow Townhomes 5 UNIT MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

BUILDING SQUARE FOOTAGE:
 MAIN FLOOR: 3,320.50 FT
 2ND FLOOR: 4,587.50 FT
 3RD FLOOR: 2,871.50 FT
 TOTAL: 10,780.00 FT

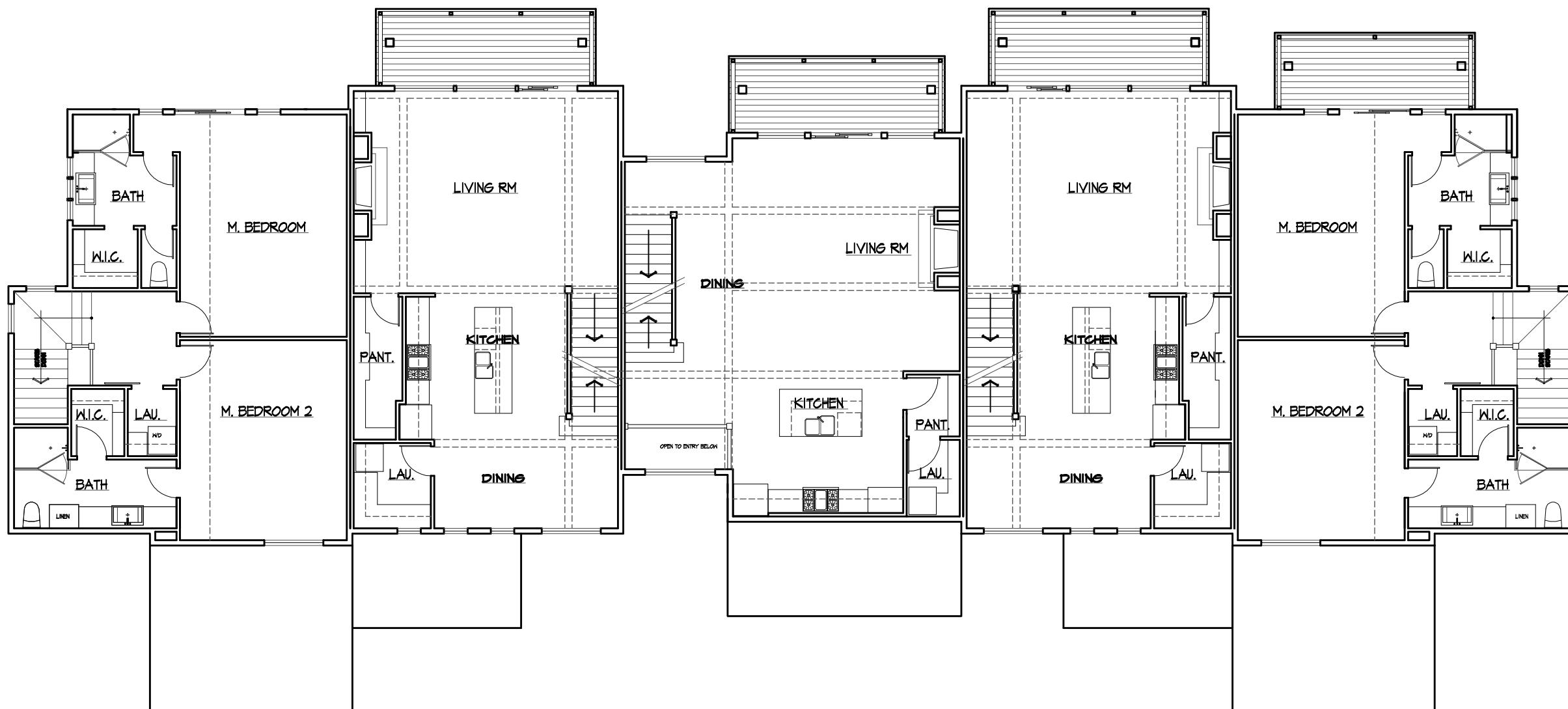
GARAGE: 2,255.50 FT
 DECKS: 1,118.50 FT
 FRONT PORCH: 554.50 FT





**Hidden Hollow Townhomes
5 UNIT 3RD FLOOR PLAN**

SCALE: 1/8" = 1'-0"



UNIT 'A'

UNIT 'B'

UNIT 'C'

UNIT 'B'

UNIT 'A'

Hidden Hollow Townhomes 5 UNIT 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



Hidden Hollow Townhomes
5 UNIT RIGHT EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



5 UNIT LEFT EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



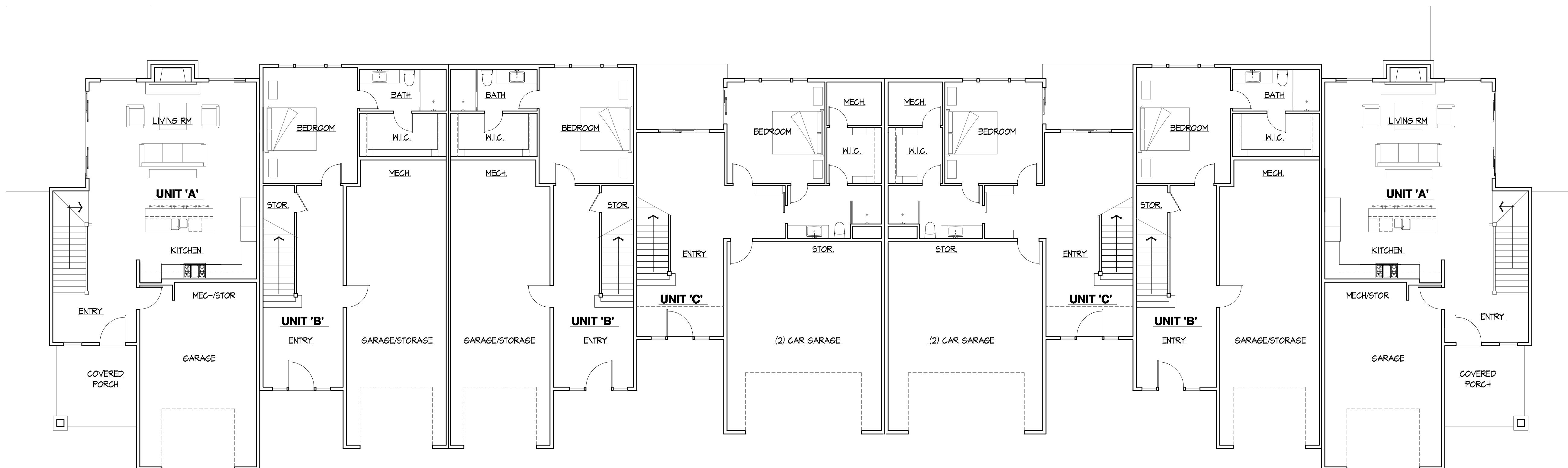
**Hidden Hollow Townhomes
5 UNIT REAR EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"



**Hidden Hollow Townhomes
5 UNIT FRONT EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"



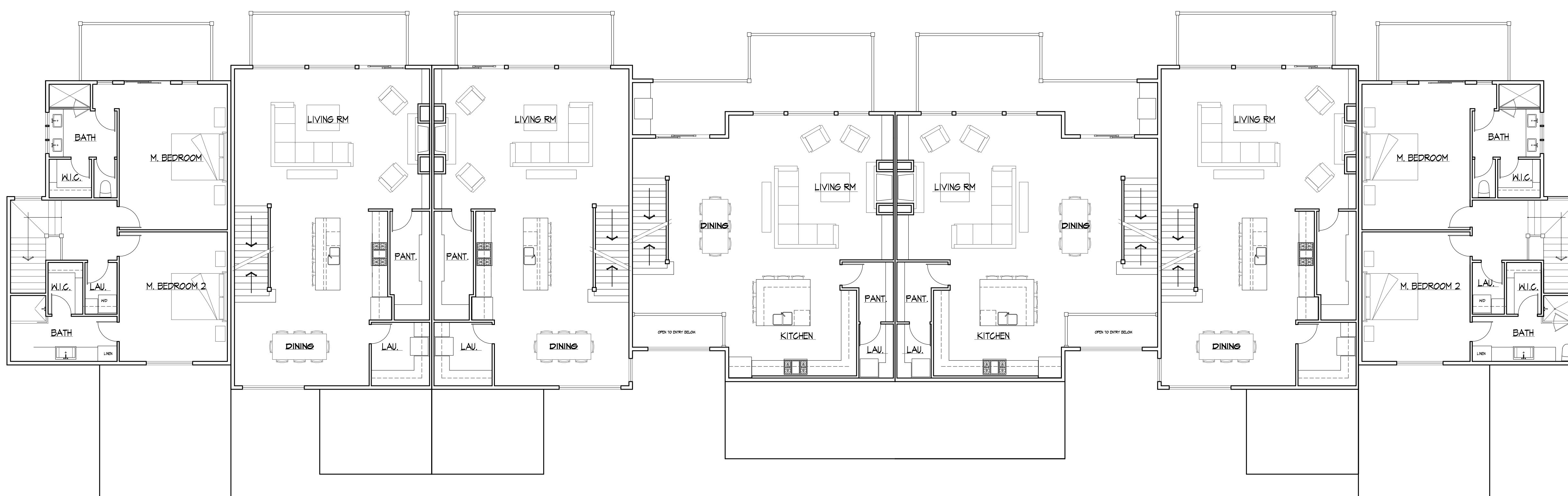
SQUARE FOOTAGES:	
UNIT 'A'	
MAIN FLOOR:	850 SQ FT
UPPER FLOOR:	493 SQ FT
UNIT 'B'	
MAIN FLOOR:	730 SQ FT
2ND FLOOR:	1,092 SQ FT
3RD FLOOR:	1,092 SQ FT
UNIT 'C'	
MAIN FLOOR:	854 SQ FT
UPPER FLOOR:	1,106 SQ FT
UPPER FLOOR:	1,106 SQ FT

MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

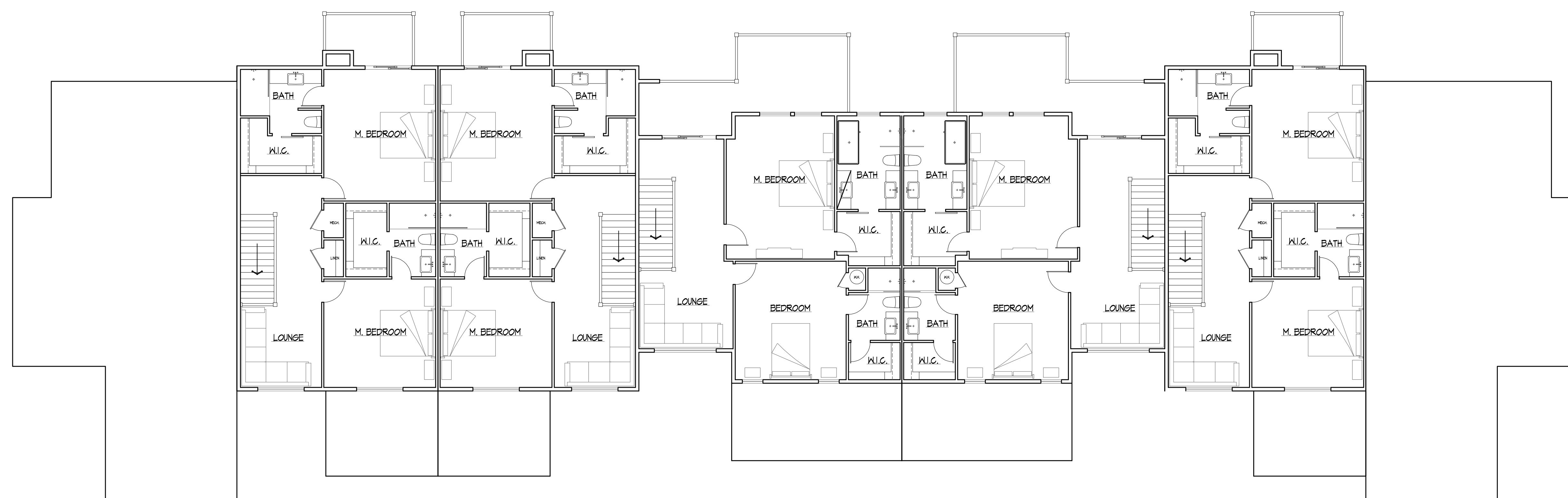
Robertson Associates

P.O. Box 678
Rigby, Idaho
83442
Phone: (208) 589-9967
Fax: (208) 523-7640



2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



3RD FLOOR PLAN

SCALE: 1/8" = 1'-0"



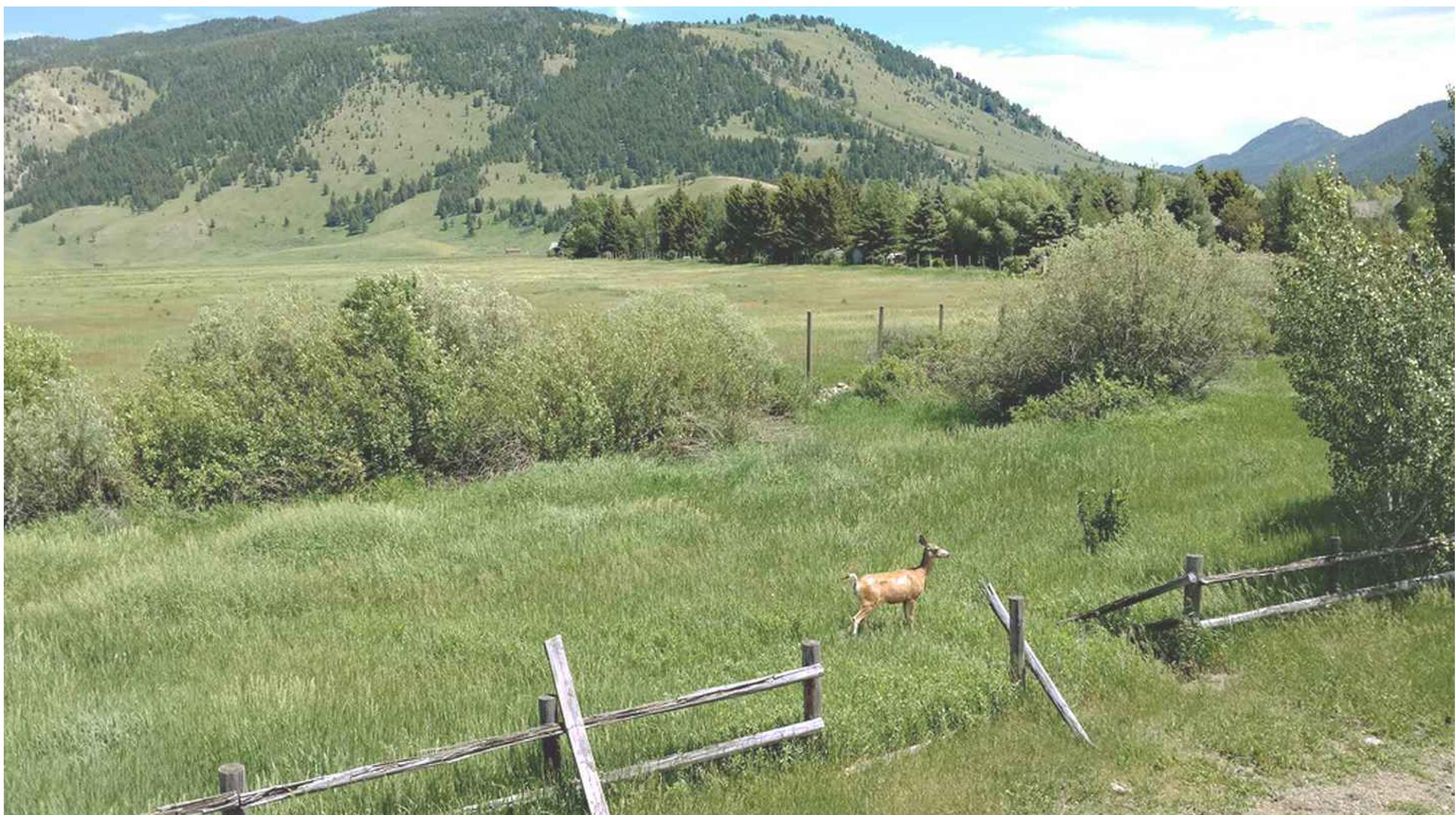
HIDDEN HOLLOW

HANSEN AND HANSEN, LLP

PHASE 2 - DEVELOPMENT PLAN

JACKSON, WYOMING

LOCATED WITHIN THE NW $\frac{1}{4}$ SW $\frac{1}{4}$
SECTION 27,
T41N, R116W, 6TH P.M.
TETON COUNTY, WYOMING



OWNER
Hansen and Hansen, LLP
Jane Powell
P.O. Box 50106
Idaho Falls, ID 83405
(208) 419-5886



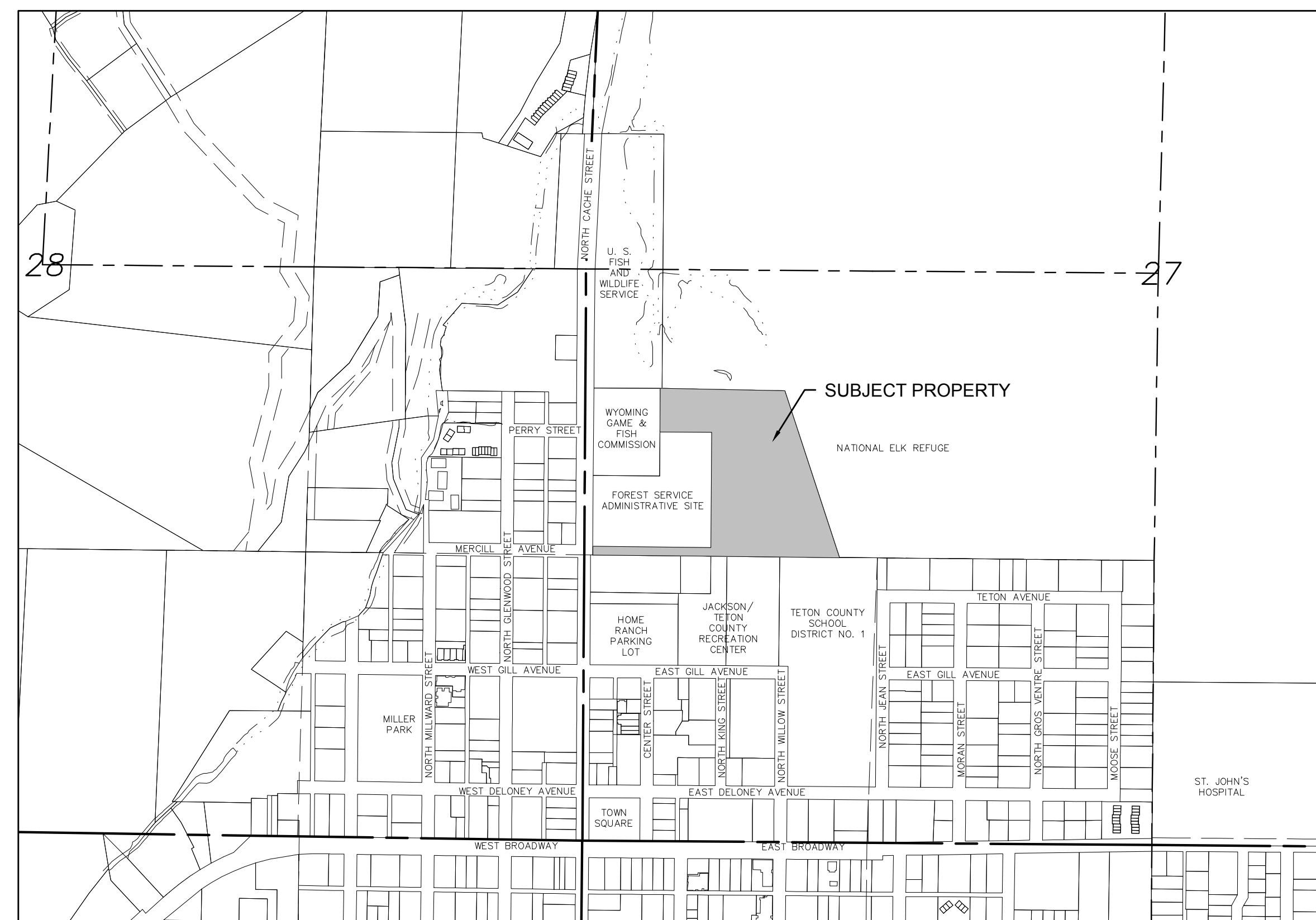
ENGINEER, SURVEYOR,
AND LAND USE PLANNER
Jorgensen Associates, P.C.
1315 S. Highway 89, Box 201
P.O. Box 9550
Jackson, WY 83002-9550
(307) 733-5150



LANDSCAPE ARCHITECT
Hershberger Design
560 South Glenwood Street
Jackson, WY 83001
(307) 739-1001

HERSHBERGER DESIGN
LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN

ARCHITECT
CTA Architects
1110 Maple Way, Ste. F
Jackson, WY 83001
(307) 733-9955



VICINITY MAP

1" □ 500 for 22:34 Prints
1" □ 1,000 for 11:17 Prints

INDEX OF SHEETS

- C1.1 TITLE, VICINITY MAP, INDEX
- C1.2 GENERAL NOTES AND LEGEND
- C1.3 EXISTING CONDITIONS
- C2.1 CIVIL OVERVIEW
- C3.1 ROAD TYPICAL SECTIONS
- C3.2 APARTMENT ACCESS SOUTH ROAD
- C3.3 APARTMENT ACCESS NORTH ROAD
- C3.4 APARTMENT GARAGE ACCESS
- C3.5 HIDDEN HOLLOW ROAD
- C3.6 SITE GRADING PLAN
- C3.7 TOWNHOUSE GRADING & UTILITY PLAN
- C3.8 SITE RETAINING WALL
- C4.1 WATER MAIN B
- C5.1 SANITARY SEWER MAIN C
- C6.1 STORMWATER MAIN A & B
- C7.1 GEOTHERMAL SUPPLY MAIN A
- C7.2 GEOTHERMAL DISCHARGE MAIN A
- C8.1 ROAD AND SITE DETAILS
- C8.2 GRADING AND SITE DETAILS
- C8.3 WATER SYSTEM DETAILS
- C8.4 SANITARY SEWER DETAILS
- C8.5 STORMWATER SYSTEM DETAILS

SHEET TITLE: TITLE, VICINITY MAP, INDEX

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	16016.10
SHEET	C1.1

LINE LEGEND

EXISTING	PROPOSED
boundary, SUBJECT PROPERTY	boundary, SUBJECT PROPERTY
boundary, EASEMENT, as noted	boundary, EASEMENT, as noted
boundary, ADJACENT PROPERTY	boundary, ADJACENT PROPERTY
edge of road	edge of road
gutterline	gutterline
edge of curb	edge of curb
edge of sidewalk / bike path	edge of sidewalk / bike path
edge of grade	edge of grade
parking demarcation	parking demarcation
edge of retaining wall	edge of retaining wall
edge of building envelope	edge of building envelope
waterline	waterline
waterline 8"	waterline 8"
waterline 12"	waterline 12"
W	water service line
GWS	geothermal supply line
GWR	geothermal return line
8"S	sanitary sewer line (size in line type)
	sanitary sewer connection line
UT	storm sewer line
UT	electric line
	utility line
	gas service (abandoned)
	edge of wetlands
	edge of F.E.M.A. FLOOD ZONE A
	top of bank
	fence, wood post & rail
	fence, metal post with welded wire fabric
	edge of material stockpile area
	index contour (5' interval)
	intermediate contour (1' interval)
	Jorgenson proposed easement
	Hershberger Design proposed lot lines
	lane line/fog line, approximate

SYMBOL LEGEND

EXISTING	PROPOSED
S89°55'57"E 320.51'	measured bearing & distance or curve geometry
(S89°56'20"W) (149.88')	record bearing & distance or curve geometry
	telephone pedestal
	fiber optic vault
	broadband vault
	natural gas valve
	gas service (abandoned)
	electric junction box
	electric meter/service box
	electric power transformer
	electric utility vault
	utility pole
	guy anchor
	sanitary sewer cleanout
	sanitary sewer manhole
	sanitary sewer connection
	storm drain inlet
	storm drain manhole
	hydrant, fire protection
	water curbstop
	geothermal curbstop
	water service w/ curbstop and backflow
	spigot
	water valve
	geothermal valve
	geothermal discharge connection
	geothermal discharge well
	geothermal supply well
	traffic signal control vault
	monitoring well
	test pit
	traffic signal pole and mast-arm
	sign, traffic regulatory or informational
	light pole
	tree, deciduous
	Certified Land Corner of Record, monument below surface in water valve box
	3-1/4" diameter aluminum cap inscribed "US DEPT OF AGRICULTURE FOREST SERVICE 2012 PLS 7049" with other appropriate markings, found this survey
	3-1/4" diameter aluminum cap inscribed "US DEPT OF AGRICULTURE FOREST SERVICE 1985 RLS 164" with other appropriate markings, found this survey
	3" diameter brass cap inscribed "PE&LS 578" with other appropriate markings, found this survey; NOTE: "WC" indicates witness corner--see detail
	3-1/4" diameter brass cap inscribed "1967 RLS 164" with other appropriate markings, found this survey

ABBREVIATIONS

□	ADJ	AT	FH	FIRE HYDRANT	
ALT	ADJACENT	FL	FLOW LINE	POE	POINT OF ENDING
APPROX	ALTERNATE	FLG	FLANGE	PSI	POUNDS PER SQUARE INCH
AVE	APPROXIMATE	FT	FOOT OR FEET	PT	POINT OF TANGENCY
BLDG	BUILDING	FTG	FOOTING	PVC	POINT OF VERTICAL CURVATURE
BF	BOTTOM OF FOOTING	GRND	GROUND	PVI	POINT OF VERTICAL INTERSECTION
BM	BENCH MARK	GRD	GRADE	PVMT	PAVEMENT
BOW	BOTTOM OF WALL	H	HEIGHT	R	RADIUS, RIGHT, RISER
BVC	BEGINNING VERTICAL CURVE	HORI	HORIZONTAL	RCP	REINFORCED CONCRETE PIPE
CFS	CUBIC FEET PER SECOND	ID	INSIDE DIAMETER	REF	REFER OR REFERENCE
C&G	CURB AND GUTTER	IN	INCH	ROW	RIGHT-OF-WAY
€	CENTERLINE	INV	INVERT	RT	RIGHT
CMP	CORRUGATED METAL PIPE	K	RATE OF VERTICAL CURVATURE	S	SOUTH
CMU	CONCRETE MASONRY UNIT	LB	POUNDS	SF	SQUARE FOOT
CO	CLEANOUT	LF	LINEAR FEET	SPEC	SPECIFICATIONS
CONC	CONCRETE	LT	LEFT	SS	SANITARY SEWER
COORD	COORDINATE	MAX	MAXIMUM	STA	STATION
CP	CONTROL POINT	MECH	MECHANICAL	STD	STANDARD
CF	CUBIC FOOT	MFR	MANUFACTURER	STM	STORM SEWER
CY	CUBIC YARD	MGD	MILLION GALLONS PER DAY	SW	SIDEWALK
	CENTRAL ANGLE	MH	MANHOLE	TBC	TOP BACK OF CURB
DESC	DESCRIPTION	MI	MILE, MILES	TEL	TELEPHONE
DET	DETAIL	MIN	MINIMUM	TEMP	TEMPORARY
DI	DROP INLET	MISC	MISCELLANEOUS	TOC	TOP OF CONCRETE
DIA	DIAMETER	MJ	MECHANICAL JOINT	TOW	TOP OF WALL
DIP	DUCTILE IRON PIPE	MON	MONUMENT	TYP	TYPICAL
DWG	DRAWING	N	NORTH	UG	UNDER GROUND
E	EAST	NIC	NOT IN CONTRACT	VERT	VERTICAL
EA	EACH	NO.	NUMBER	W	WEST
EJ	EXPANSION JOINT	NOM	NOMINAL	YD	YARD
ELEV	ELEVATION	NTS	NOT TO SCALE	YR	YEAR
ENG	ENGINEER	OC	ON CENTER		
EVC	ENDING VERTICAL CURVE	OD	OUTSIDE DIAMETER, OVERFLOW		
EW	EACH WAY	PC	POINT OF CURVATURE		
EX	EXISTING	PCF	POUNDS PER CUBIC FOOT		
EXT	EXTERIOR	PI	POINT OF INTERSECTION		
FDN	FOUNDATION	PK NAIL	SURVEY REFERENCE POINT		
FF	FINISHED FLOOR	PL	PROPERTY LINE		
FG	FINISH GRADE	POB	POINT OF BEGINNING		
		POC	POINT ON CURVE		

GENERAL PROJECT NOTES:

- PROJECT SCOPE: PROVIDE ACCESS, UTILITY INFRASTRUCTURE, GRADING, AND NECESSARY SITE DEVELOPMENT AND MITIGATION FOR PROPOSED MIXED HOUSING DEVELOPMENT.
- PROJECT SCHEDULE: UTILITY INSTALLATION WILL BEGIN IN FALL OF 2017 AND END IN SUMMER OF 2018.
- PROPERTY IS LOCATED IN THE TOWN OF JACKSON.
- PROPERTY AREA: 10 ACRES
- THE PROPERTY IS NOT WITHIN THE WILD LAND URBAN INTERFACE, THE NATIONAL WILD AND SCENIC RIVER CORRIDOR, NATURAL RESOURCES OVERLAY, OR THE SCENIC RESOURCES OVERLAY.
- Y2 CONSULTANTS, LLC PERFORMED A GEOTECHNICAL INVESTIGATION OF THE PROPERTY ON 3/27/2016 CONSISTING OF 6 BOREHOLES AND 2 TEST PITS. THE PROPERTY CONSISTS OF 2.5 TO 16.5 FEET OF FINE-GRAINED FLOOD PLAIN AND SWAMP DEPOSITS, WITH THE THICKEST DEPOSITS OCCURRING AT THE NORTHWEST CORNER AND THINNING TO THE SOUTHEAST. THESE FINE-GRAINED SOILS CONSIST OF PRIMARILY SILT AND CLAY WITH SAND. THE SWAMP AND FLOOD PLAIN DEPOSITS OVERLIE MEDIUM DENSE TO DENSE SANDY COBBLE AND GRAVEL ALLUVIUM TO DEPTHS IN EXCESS OF 40 FEET.
- JORGENSEN ASSOCIATES, P.C. PERFORMED THE TOPOGRAPHIC SURVEYS FOR THIS PROPERTY IN APRIL AND MAY OF 2016 ON NAVD 88 VERTICAL DATUM. SPECIFIC COORDINATE DATA IS AVAILABLE UPON REQUEST.
- VEGETATION CONSISTS PRIMARILY OF DISTURBED PASTURE, MIXED BLUE SPRUCE-ASPEN-COTTONWOOD, WILLOW SHRUBLAND, MIXED GRASSLAND, FLOODED MEADOW, AND LAWNS AND LANDSCAPING.
- PART OF THE NORTHERN END OF THE PROPERTY CURRENTLY LIES WITHIN THE FEMA SPECIAL FLOOD HAZARD. ONE AREA IS SUBJECT TO INUNDATION BY THE 1% CHANCE ANNUAL FLOOD WITH NO BASE ELEVATION FLOOD ELEVATIONS DETERMINED. HARMONY DESIGN AND ENGINEERING PERFORMED A HYDRAULIC STUDY IN THE FALL OF 2016 AND THE BFE WAS FOUND TO BE 6217.48' ON VERTICAL DATUM NAVD 88.
- VERBAL NOTICE OF ANY CHANGES OR MODIFICATIONS THAT ARE NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE BUILDING PERMIT SHALL BE GIVEN TO THE TOWN ENGINEERING DEPARTMENT AT 307 733-3079. THE TOWN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL WRITTEN NOTICE OR INFORMATION BE SUBMITTED THROUGH THE TOWN'S BUILDING DEPARTMENT AND ADDITIONAL REVIEW FEES MAY APPLY.
- PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE APPLICANT SHALL CONTACT THE TOWN OF JACKSON ENGINEERING DEPARTMENT AND SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO MEET WITH THE ENGINEERING DEPARTMENT PRIOR TO START OF CONSTRUCTION ACTIVITIES WILL RESULT IN STOPPAGE OF WORK ON SITE. THE TOWN ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- THE DESIGN ENGINEER OF RECORD FOR ALL INFRASTRUCTURE AND GRADING SHALL INSPECT AND PROVIDE WRITTEN APPROVAL OF CONSTRUCTION PRIOR TO CERTIFICATE OF OCCUPANCY. THE TOWN ENGINEERING DEPARTMENT SHALL BE NOTIFIED TO ALLOW FOR WITNESSING OF ANY TESTING. FIELD REPORTS REGARDING THE INSTALLATIONS SHALL BE KEPT AND MAY BE REQUIRED BY THE TOWN ENGINEERING DEPARTMENT. RECORD DRAWINGS OF THE INSTALLATION SHALL BE PROVIDED ALONG WITH A WYDEQ CERTIFICATE OF COMPLETION.
- ALL PROPOSED ROADS, SIDEWALKS, WATER, SEWER, CABLE UTILITIES, STORM AND DRAINAGE INFRASTRUCTURE LOCATED ON SITE SHALL BE PRIVATELY OWNED, OPERATED AND MAINTAINED. THE CONSTRUCTION OF THE ON SITE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE PROVIDED FOR IN A SUBDIVISION IMPROVEMENTS AGREEMENT TO BE APPROVED WITH EACH SUBDIVISION PLAT.
- RECORD DESIGN PLANS SHALL BE SUBMITTED ELECTRONICALLY TO THE TOWN OF JACKSON IN PORTABLE DOCUMENT FORMAT (PDF) WITH A CORRESPONDING AUTOCAD COMPATIBLE (DWG) AND A GIS SHAPE FILE.
- RECORD DESIGN PLANS SHALL BE SUBMITTED ELECTRONICALLY TO THE TOWN OF JACKSON IN PORTABLE DOCUMENT FORMAT (PDF) WITH A CORRESPONDING AUTOCAD COMPATIBLE (DWG) AND A GIS SHAPE FILE.

GENERAL CONSTRUCTION NOTES & SPECIFICATIONS:

- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS. ANY CONSTRUCTION RELATED ACTIVITIES NOT IN CONFORMANCE WITH APPROVED AND PERMITTED PLANS AND/OR SEQUENCING MAY RESULT IN TERMINATION OF WORK.
- THE APPROVED EROSION CONTROL PLAN SHALL BE LOCATED ON SITE. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAIN AND AT LEAST ONCE EACH WEEK. EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGEWAYS AS A RESULT OF LAND DEVELOPING OR DISTURBING ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.
- THE TOWN ENGINEER SHALL BE ALLOWED TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
- COPIES OF ALL AGREEMENTS AND/OR EASEMENTS SHALL BE PROVIDED TO THE TOWN OF JACKSON PRIOR TO GRADING ON ADJACENT PROPERTIES FOR TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITIES.
- CONSTRUCTION WORK HOURS SHALL BE CONSISTENT WITH CURRENT TOWN OF JACKSON POLICIES.
- ALL PUBLIC STREETS SHALL BE MAINTAINED CLEAR OF DEBRIS DURING CONSTRUCTION. SHOULD DEBRIS BE TRACKED ONTO PUBLIC STREETS FROM THE CONSTRUCTION SITE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE AFFECTED STREETS.
- CONSTRUCTION SITE DELINEATION FENCING SHALL BE PROVIDED AS NEEDED TO PROTECT THE PUBLIC FROM HAZARDS DURING CONSTRUCTION. THE FENCE SHALL REMAIN IN PLACE AND INTACT FOR AS LONG AS NECESSARY TO PROTECT THE PUBLIC.
- APPROVED SEDIMENTATION CONTROLS AND SILT RETENTION SHALL BE PLACED AND PROVIDED DURING CONSTRUCTION AS NEEDED TO PREVENT OFFSITE STORM FLOW AS IDENTIFIED IN THE APPROVED GRADING AND EROSION CONTROL PLAN. THE TOWN ENGINEER SHALL BE NOTIFIED UPON COMPLETION OF EROSION CONTROL MEASURES WITHIN 2 CALENDAR DAYS AFTER INSTALLATION.
- IF NECESSARY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY WYDDES STORMWATER PERMIT AND / OR CONSTRUCTION DEWATERING PERMIT PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA. CONTACT ENGINEER TO LOCATE EXISTING WATER LINES, SEWER LINES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
- ALL EXCAVATION ACTIVITIES SHALL COMPLY WITH PERMIT REQUIREMENTS ISSUED FOR THE PROJECT. CONTRACTOR SHALL REVIEW AND BE RESPONSIBLE FOR PERMIT COMPLIANCE.

- CONTRACTOR TO CONFIRM STOCKPILE AND STAGING LOCATIONS WITH THE OWNER.
- CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- FILL MATERIAL SHALL BE SUITABLE ON-SITE OR IMPORTED MATERIAL WITH ROCK NO LARGER THAN 6 INCHES IN DIAMETER. LARGER MATERIAL MAY BE PLACED ONLY WHEN AUTHORIZED BY THE ENGINEER.
- SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (AASHTO T-99 - STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS.
- CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING H OR GRADING W.
- CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-180 - MODIFIED PROCTOR DENSITY).
- DESTRUCTION AND DAMAGE TO TREES AND OTHER NATURAL VEGETATION SHALL BE MINIMIZED AND ALL DISTURBED SURFACES SHALL BE RESEED AS SOON AS PRACTICABLE IN ACCORDANCE TO THE REVEGETATION SPECIFICATIONS.
- EXISTING WETLANDS THAT WILL REMAIN SHALL HAVE SILT FENCE BORDERING THEM. THERE SHALL BE NO DISTURBANCE OF THEM IN ANY MANNER.
- STRIP AND SALVAGE TOPSOIL FROM ALL EXCAVATED AREAS. STRIP EXISTING WETLANDS AND STOCKPILE SEPARATELY FROM THE REST OF THE SITE TOPSOIL. REFER TO PROPOSED WETLAND DESIGN PLANS FOR MORE DETAIL.
- WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS. FOLLOW INVASIVE SPECIES MANAGEMENT PLAN SUBMITTED WITH GRADING PERMIT. REDUCE THE SPREAD OF NOXIOUS WEEDS AND INTRODUCTION OF OTHER INVASIVE SPECIES PRIOR TO CONSTRUCTION, DURING CONSTRUCTION, DURING REVEGETATION, AND AFTER CONSTRUCTION.
- FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.
- ANY MUD TRACKED ONTO CACHE STREET SHALL BE SWEEP UP ON A DAILY BASIS OR OTHERWISE REQUESTED BY THE TOWN OF JACKSON.
- CONSTRUCTION SITE SHALL REMAIN CLEAN AND ALL TRASH AND CONSTRUCTION DEBRIS SHALL NOT ENTER INTO ADJACENT PROPERTIES OR THE NATIONAL ELK REFUGE.
- ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.
- TOPS OF CUT AND FILL SLOPES SHALL BE ROUNDED TO AVOID Raveling AND Erosion.
- A FOUR INCH MINIMUM LAYER OF TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING.
- CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 WITHOUT SPECIAL STABILIZATION AND APPROVAL FROM ENGINEER.
- NO WETLANDS SHALL BE DISTURBED WITHOUT FIRST OBTAINING NECESSARY PERMITS FROM THE U. S. ARMY CORPS OF ENGINEERS.
- REFER TO UTILITY INFRASTRUCTURE PLAN SHEETS FOR UTILITY NOTES AND SPECIFICATIONS.



PROJECT TITLE: **HIDDEN HOLLOW HANSEN & HANSEN, LLP PHASE 2 DEVELOPMENT PLAN TOWN OF JACKSON, WYOMING**

SHEET TITLE: **GENERAL NOTES AND LEGEND**

DRAFTED BY: **BS**

REVIEWED BY: **AJ**

PLAN VERSION: **DATE**

FDP 1B 07/01/2017

GEC 1B 10/13/2017

GEC 1B-R1 11/05/2017

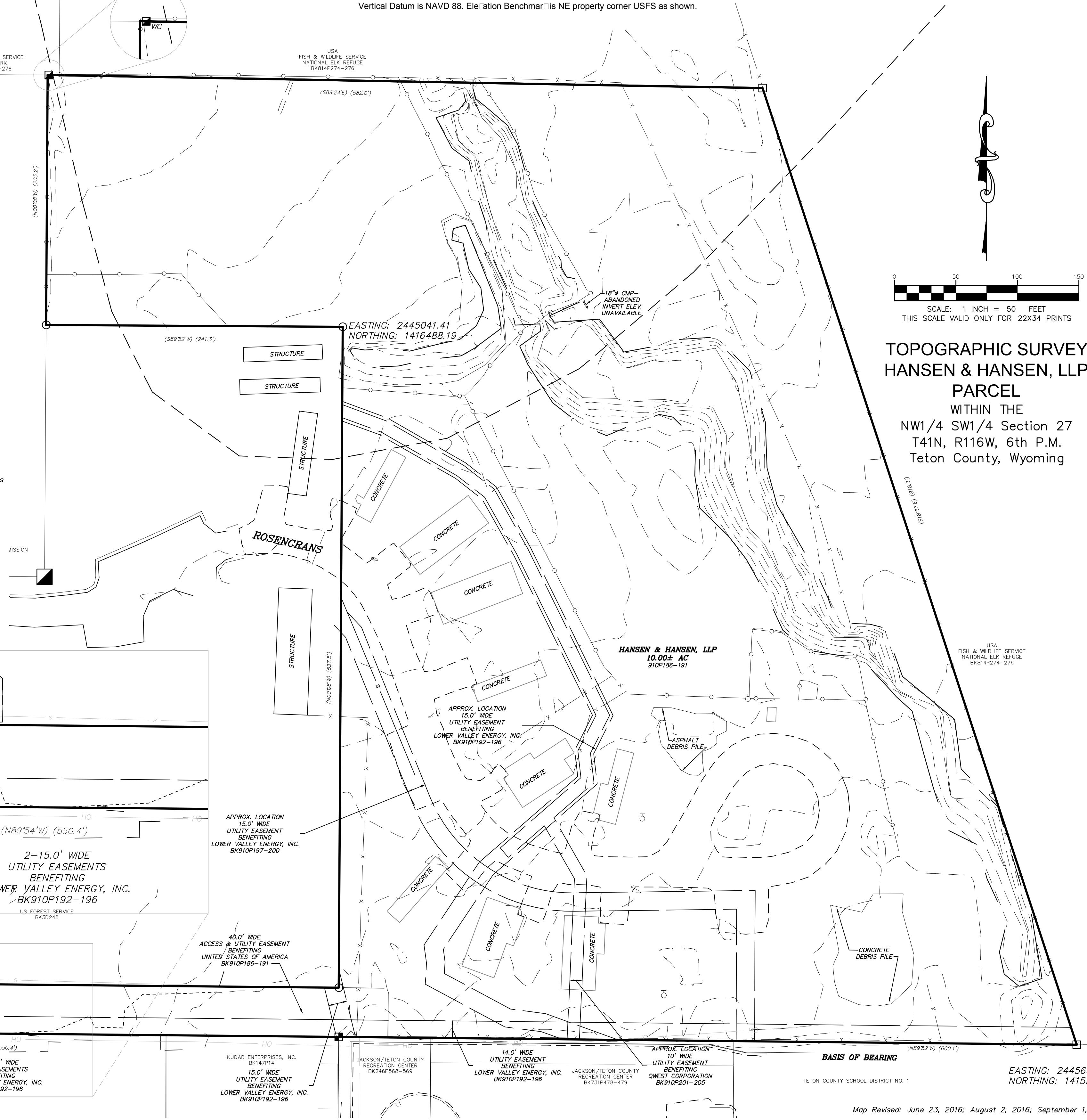
GEC 1B-R2 12/14/2017

GEC 1B-R3 01/31/2018

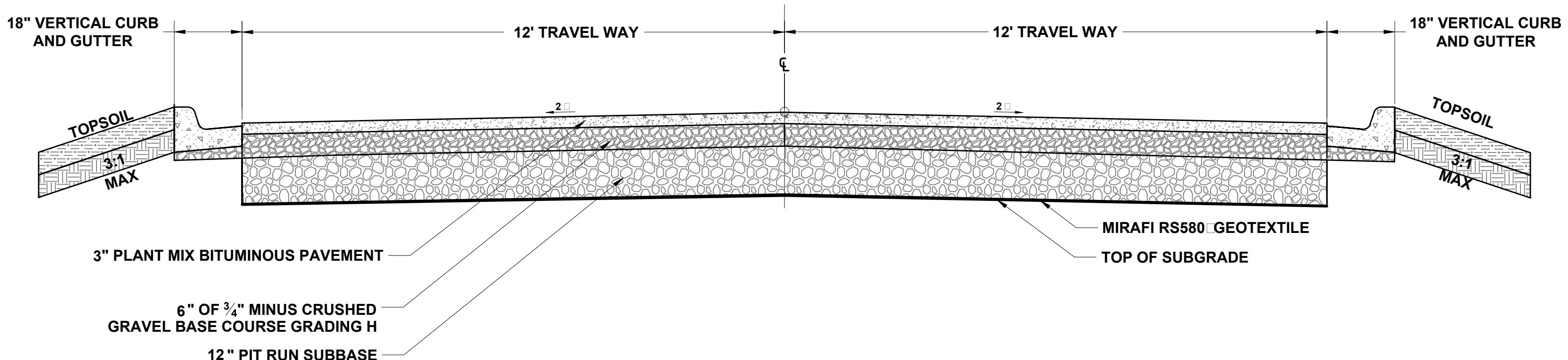
DEV P2 06/20/2018

PROJECT NUMBER: **16016.10**

SHEET: **C1.2**



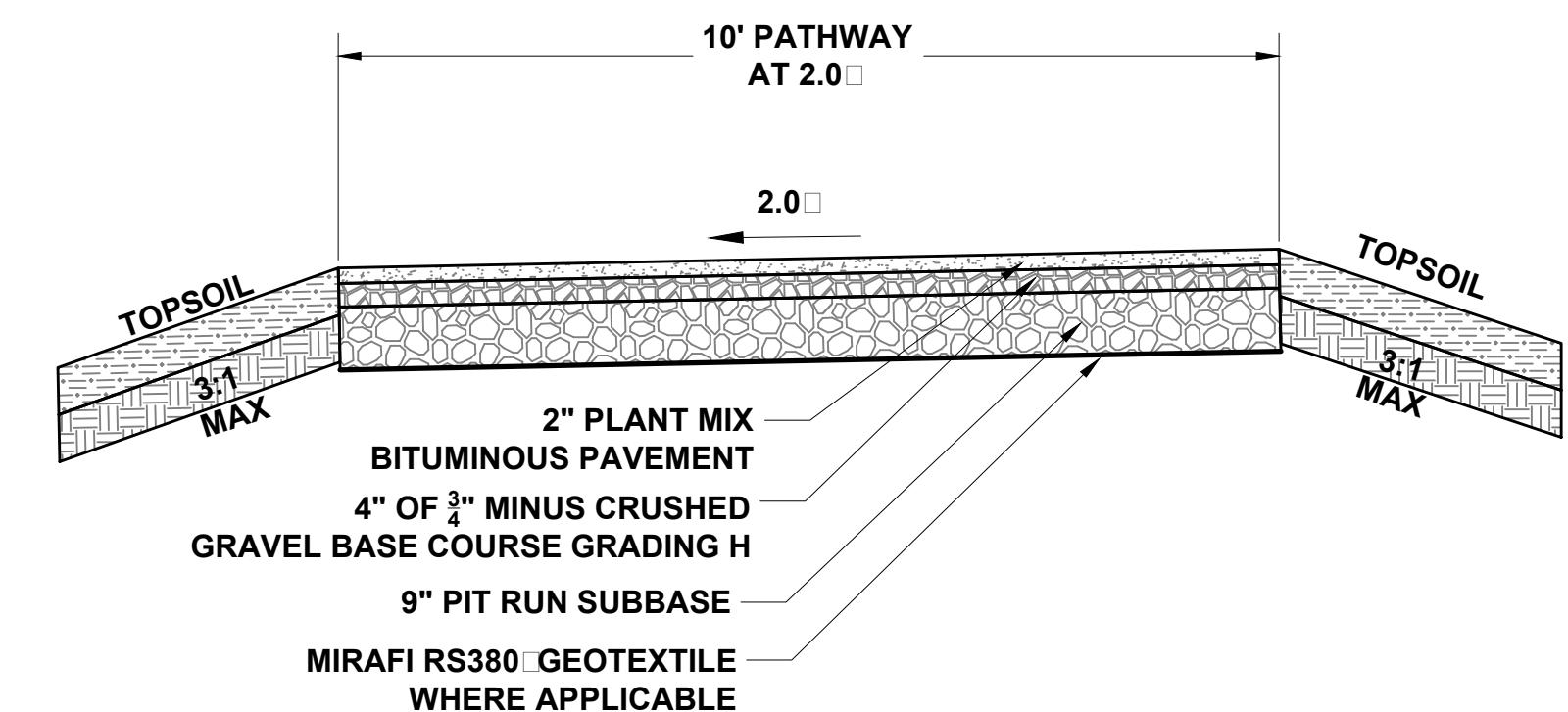
DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	16016.10
SHEET	C3.1



NOTES:

1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER
3. SEE DETAILS ON SHEET C8.1 FOR SIDEWALK AND GUTTER
4. TRANSITION TO SECTION I ON ABOVE GRADE PARKING ACCESS NORTH - STA: 0 91.53 □ STA: 0 96.03

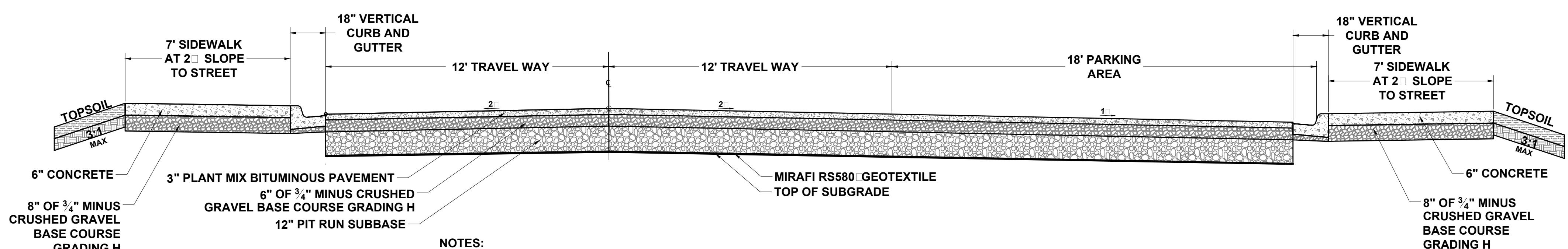
1 C3.1 NOT TO SCALE APARTMENT ACCESS AND UNDERGROUND



NOTES:

1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER

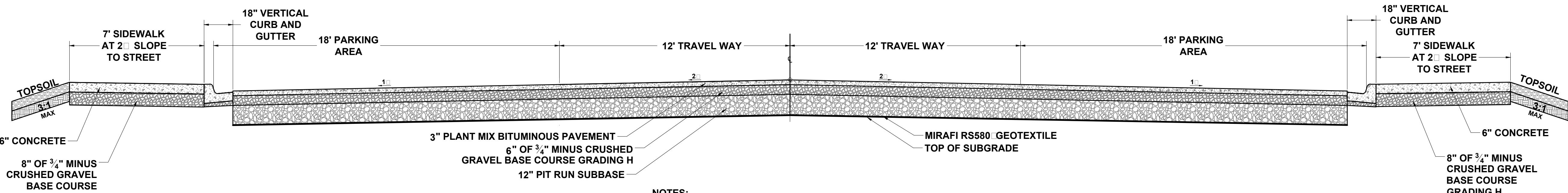
4 C3.1 NOT TO SCALE 10' ASPHALT PATHWAY



NOTES:

1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER
3. SEE DETAILS ON SHEET C8.1 FOR SIDEWALK AND GUTTER

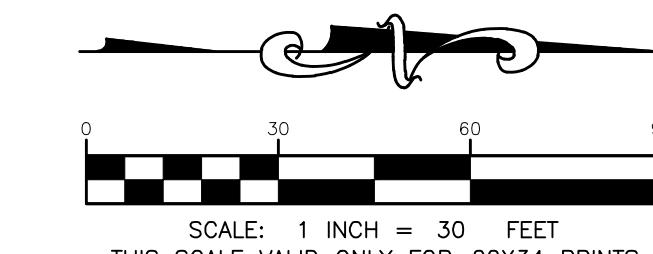
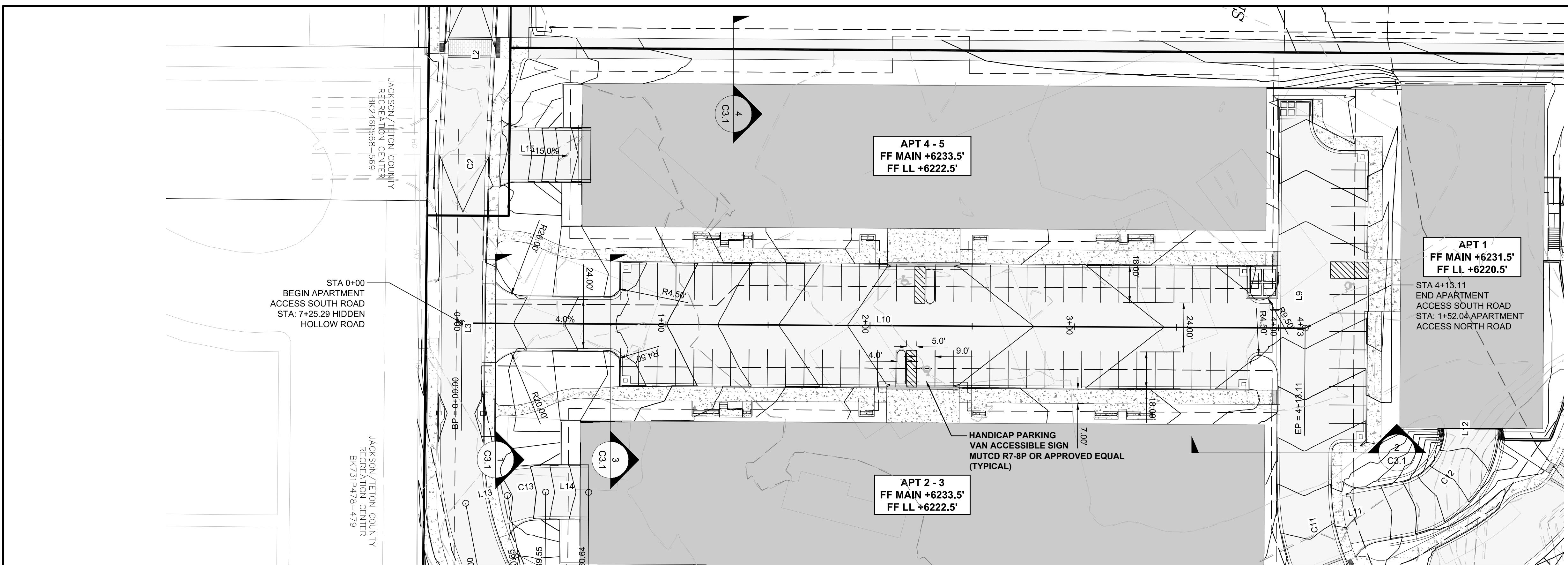
2 C3.1 NOT TO SCALE APARTMENT ACCESS NORTH ROAD



NOTES:

1. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE.
2. SCARIFY AND COMPACT SUBGRADE, PROOF ROLL IN THE PRESENCE OF THE ENGINEER
3. SEE DETAILS ON SHEET C8.1 FOR SIDEWALK AND GUTTER

3 C3.1 NOT TO SCALE APARTMENT ACCESS SOUTH ROAD



SCALE: 1 INCH = 30 FEET
THIS SCALE VALID ONLY FOR 22X34 PRINTS

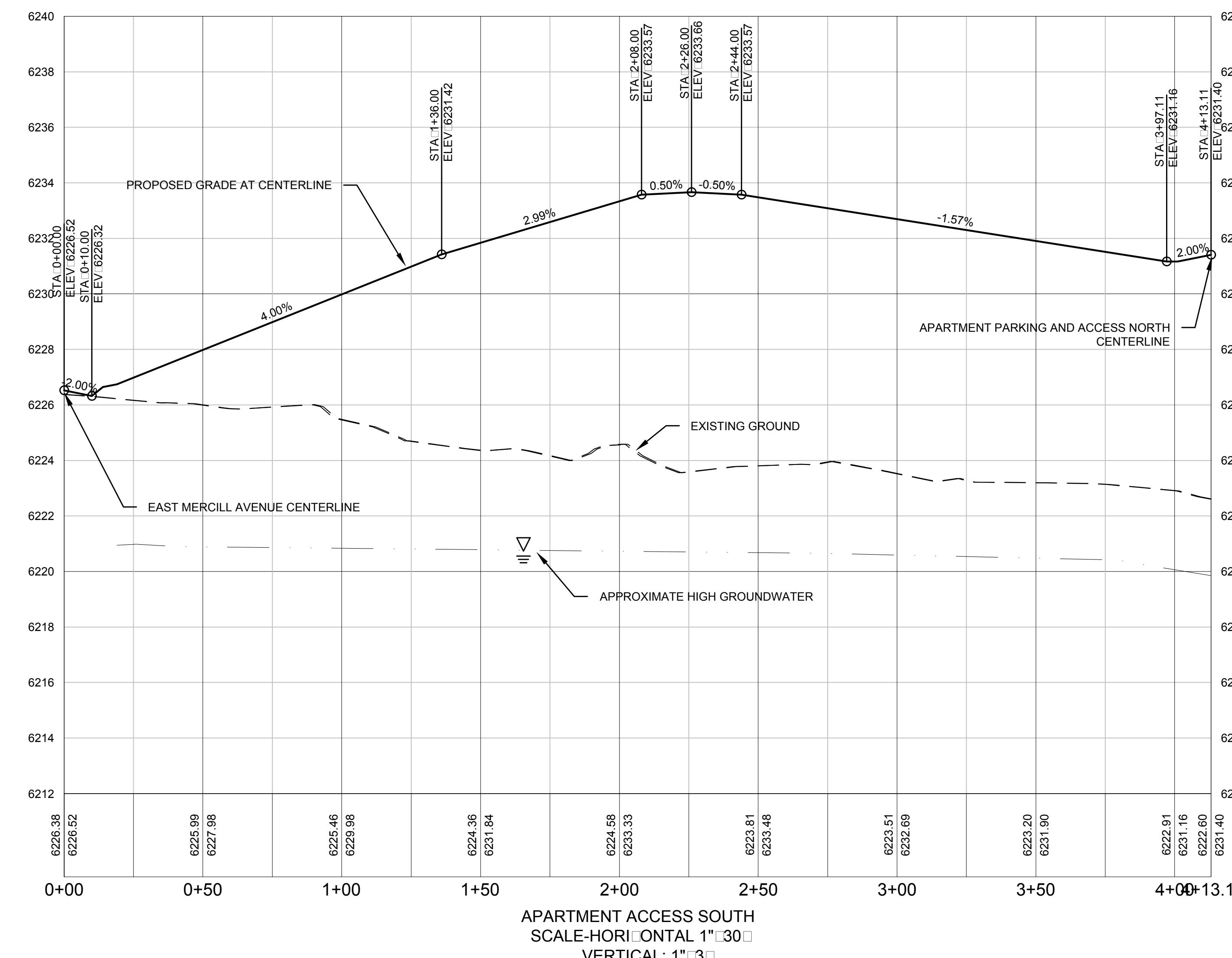
LINE TABLE		
LINE	LENGTH	BEARING
L10	413.11	N00° 20' 24"E

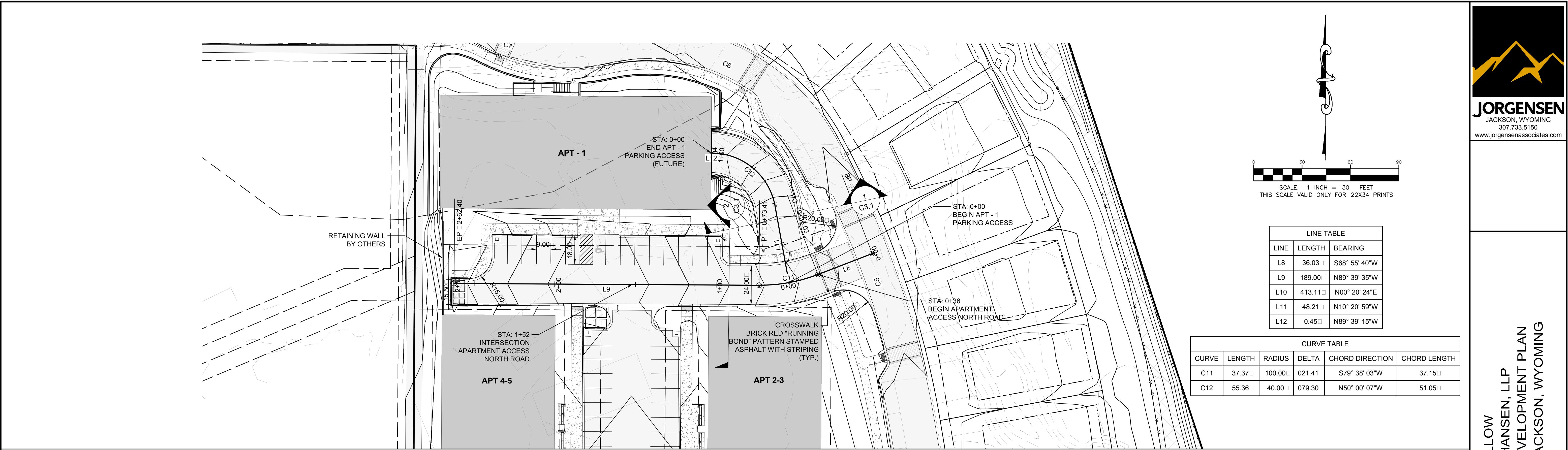
PROJECT TITLE:
**HIDDEN
HANSEN
PHASE 2
TOWN O**

SHEET TITLE: **APARTMENT ACCESS SOUTH ROAD**
STA: 0+00 to STA: 4+13
PLAN AND PROFILE

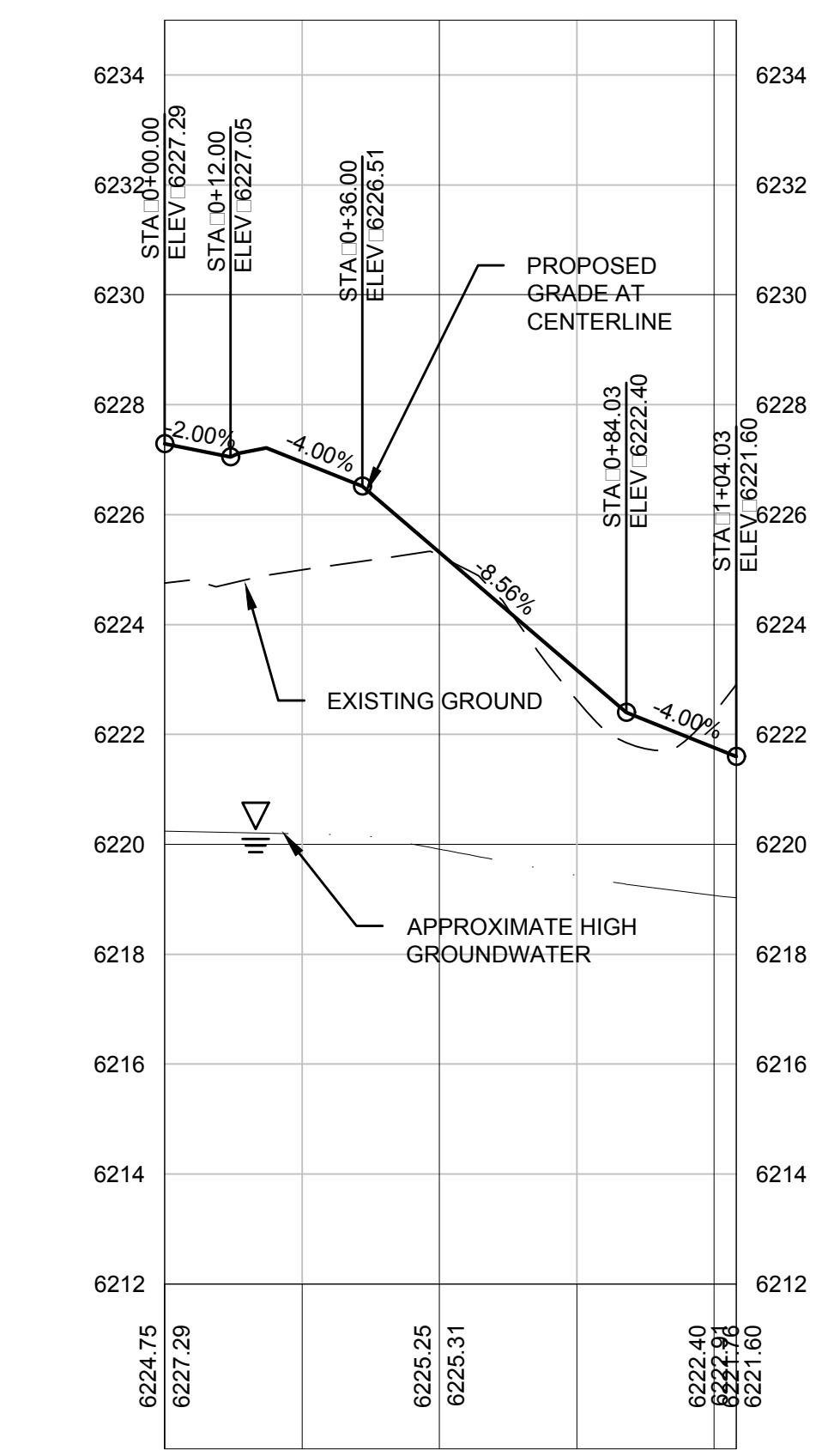
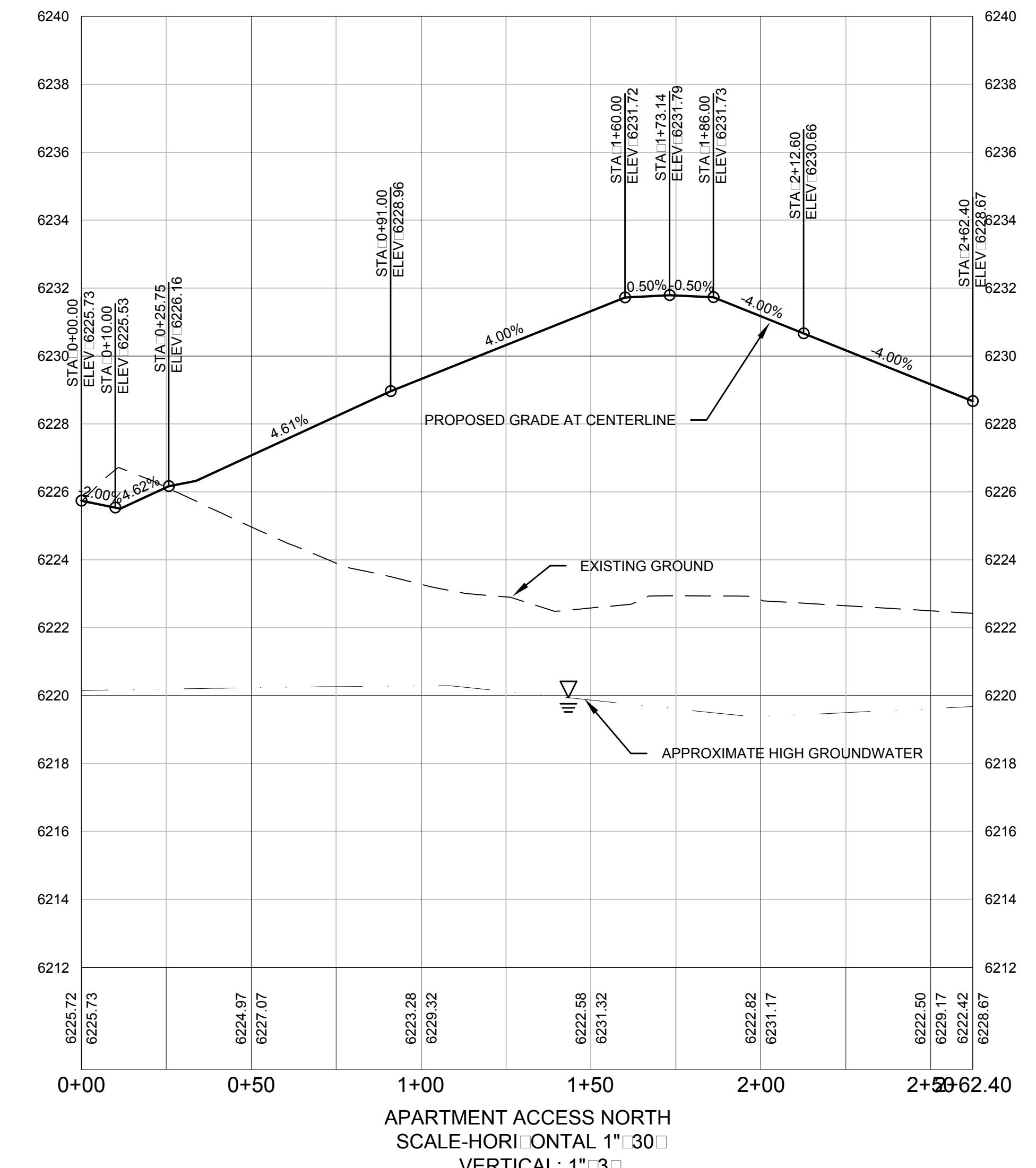
DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018

SHEET
C3 2





PROJECT TITLE: HIDDEN HOLLOW
 HANSEN & HANSEN, LLP
 PHASE 2 DEVELOPMENT PLAN
 TOWN OF JACKSON, WYOMING

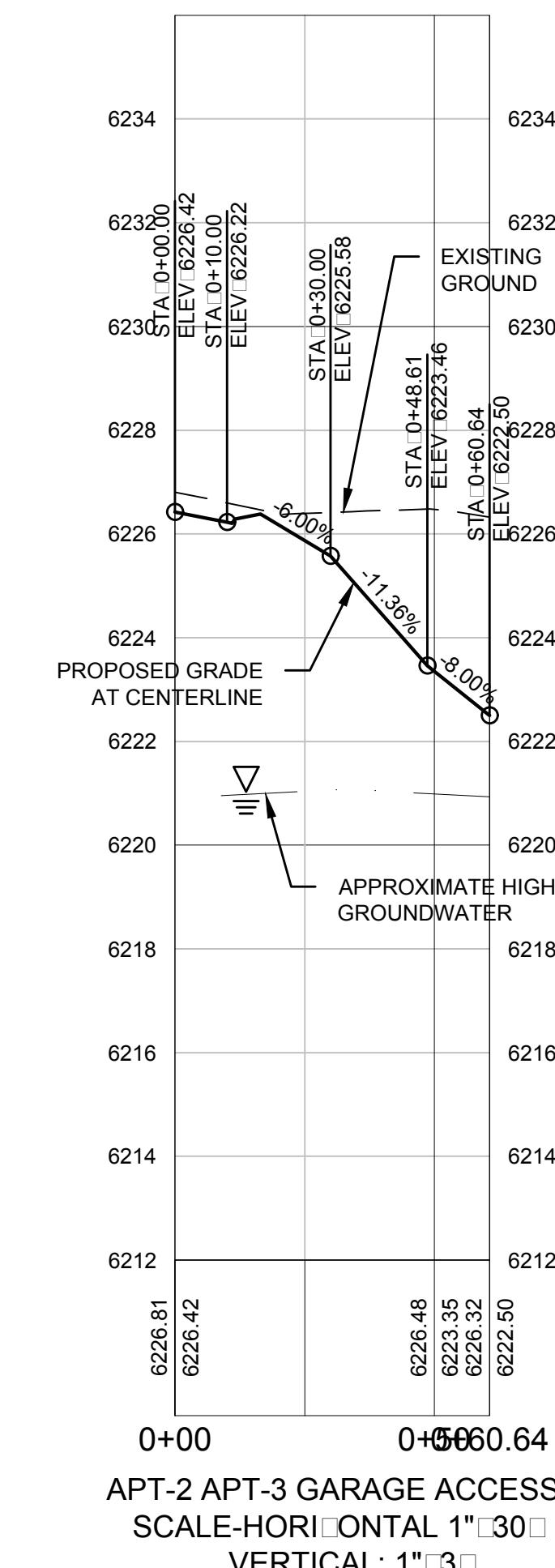
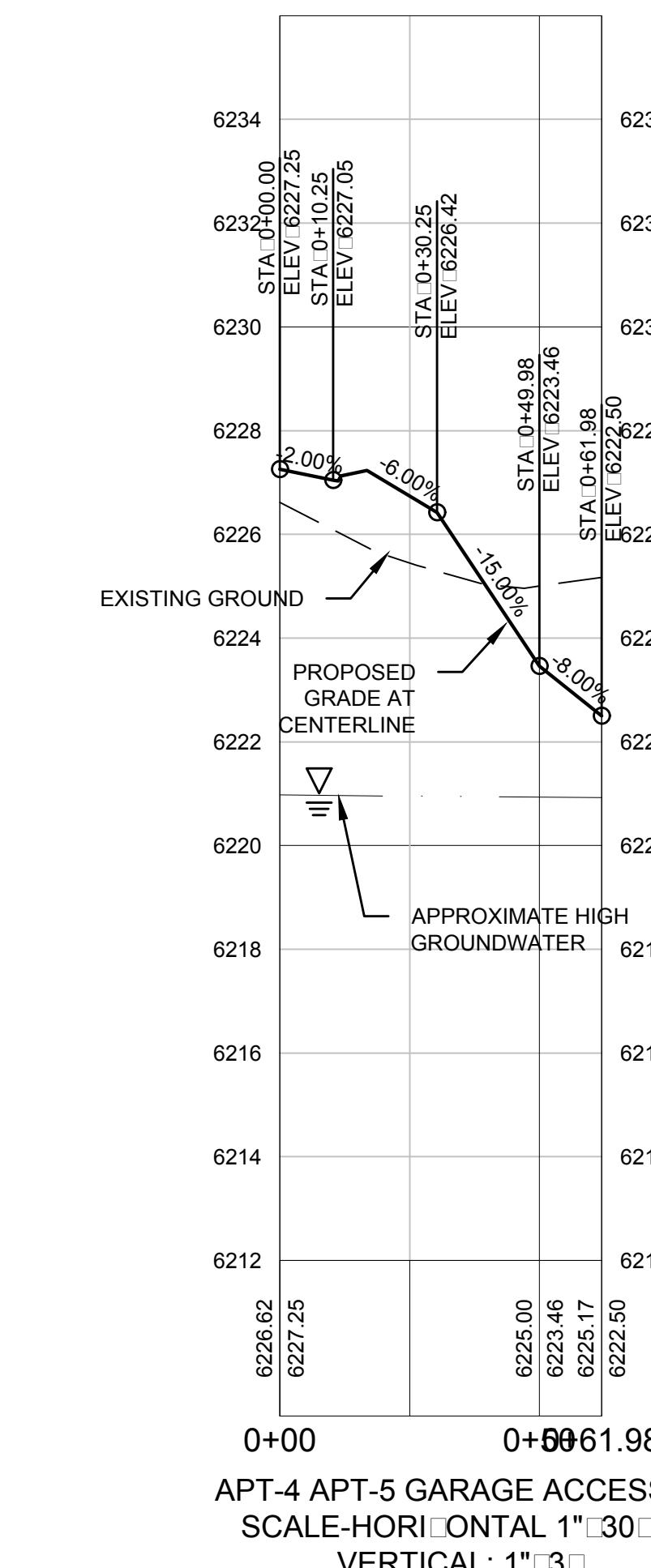
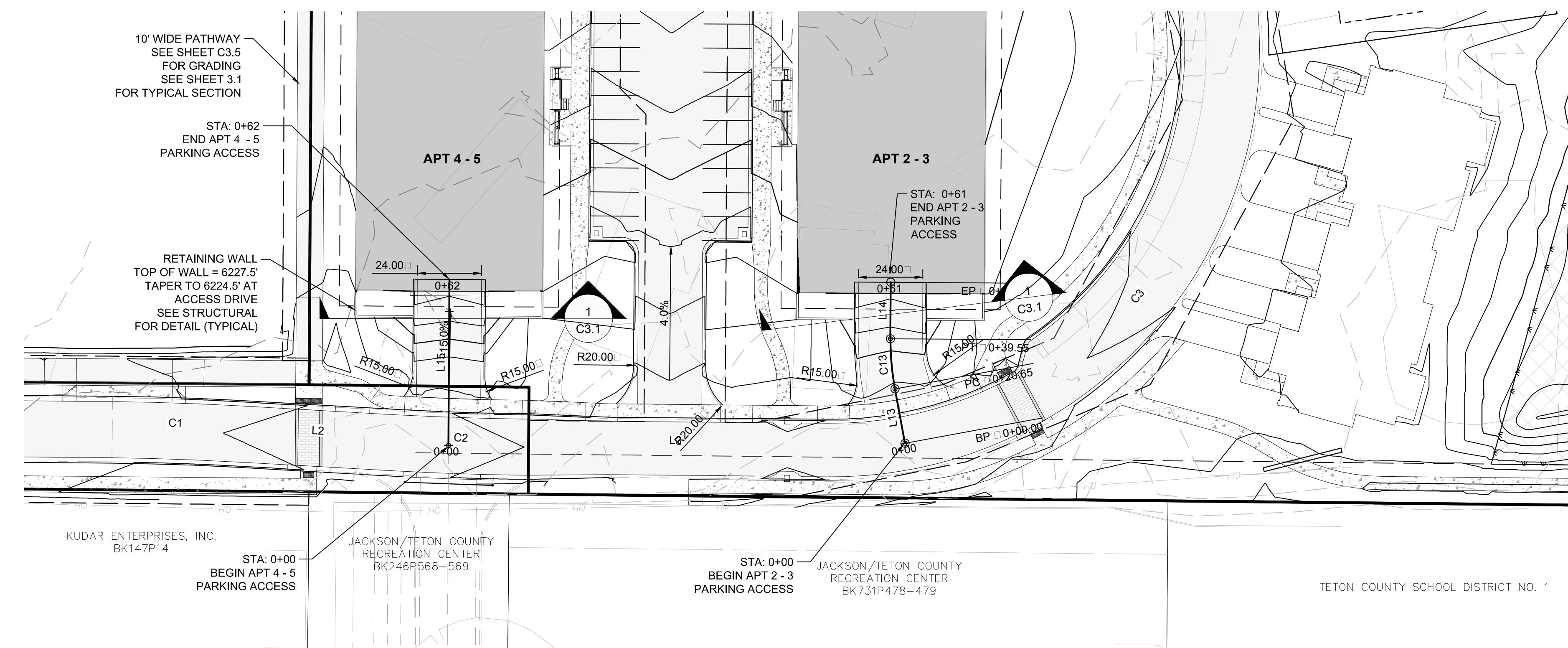


SHEET TITLE: APARTMENT ACCESS NORTH ROAD
 STA: 0+00 to STA 2+62.40
 APARTMENT 1 GARAGE ACCESS
 STA: 0+00 to STA 1+04.03

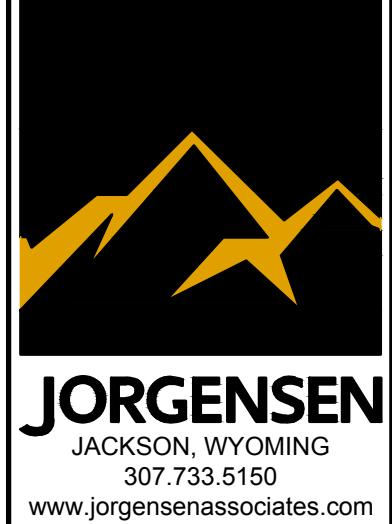
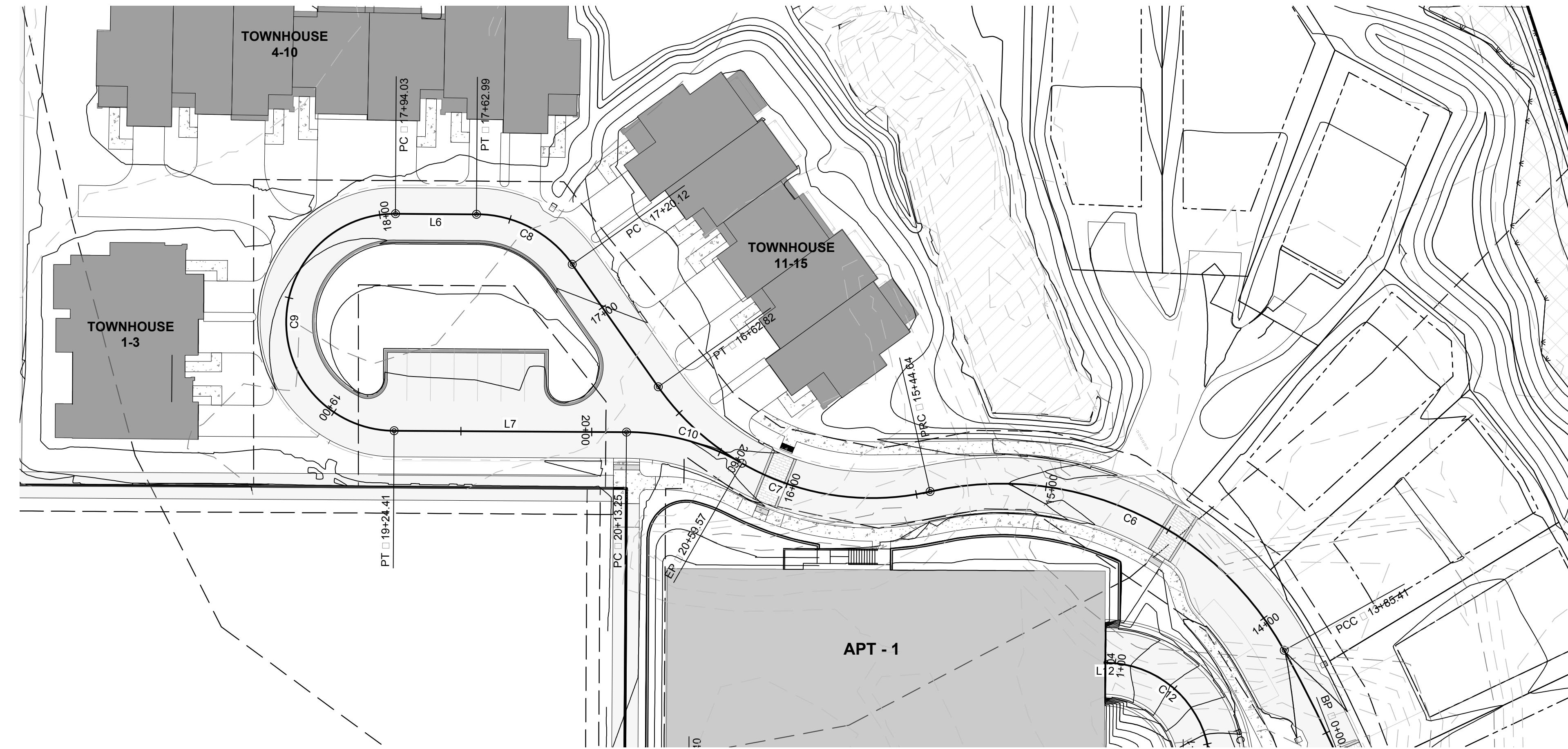
DRAFTED BY: BS
REVIEWED BY: AJ
PLAN VERSION DATE:
 FDP 1B 07/01/2017
 GEC 1B 10/13/2017
 GEC 1B-R1 11/15/2017
 GEC 1B-R2 12/14/2017
 GEC 1B-R3 01/31/2018
 DEV P2 06/20/2018

PROJECT NUMBER 16016.10
SHEET C3.3

H:\2016\16016 Hidden Hollow\10-FDP 2 and Amendment\44 ENG DEVICAD\16016.10 DEV P2 - C3.2 ROAD.dwg



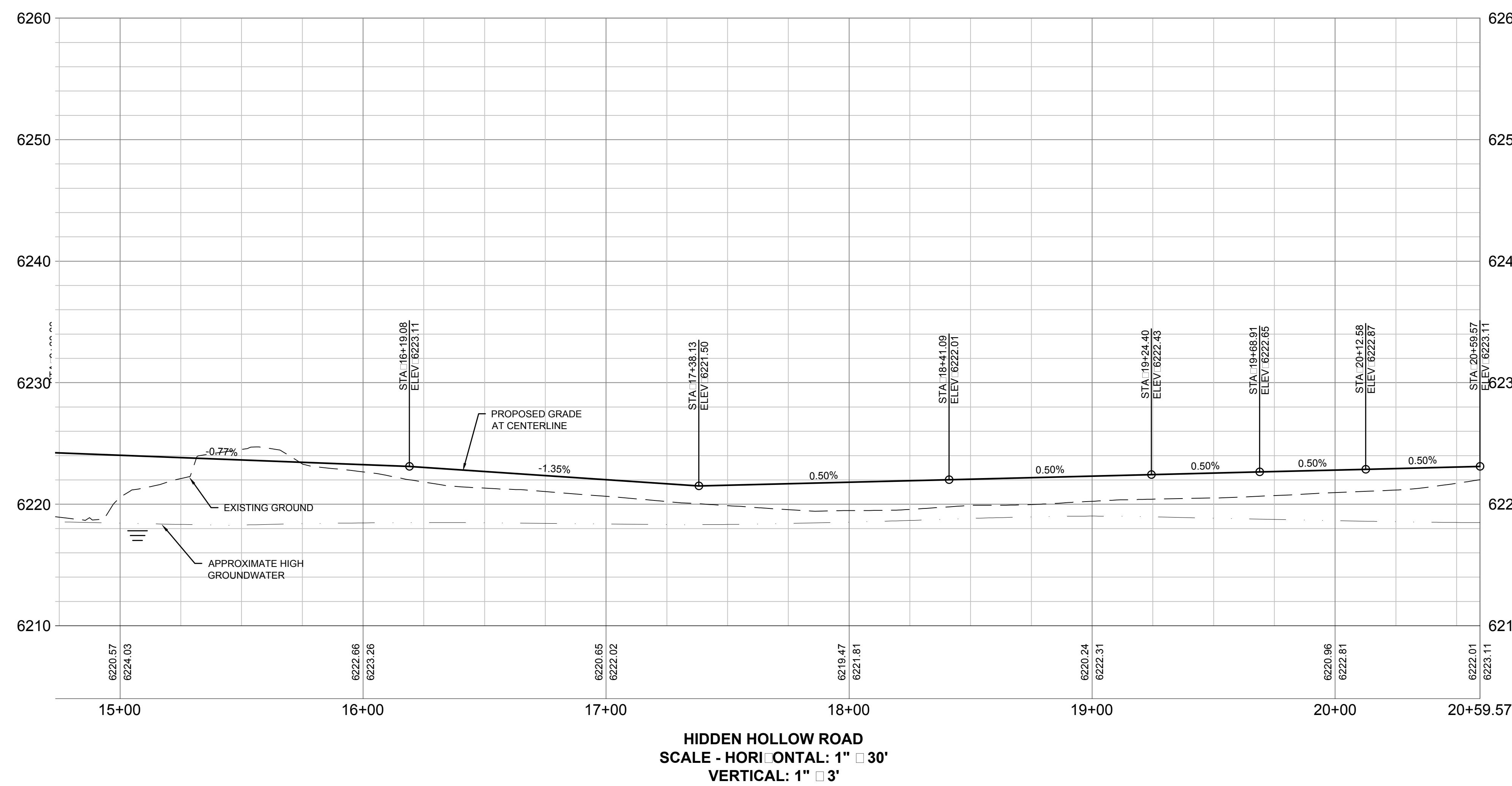
PROJECT TITLE:	HIDDEN HANSEN PHASE 2 TOWN O
SHEET TITLE:	APTMENT GARAGE ACCESS
APT 2 - 3 STA:	0+00 to STA: 0+61
APT 4 - 5 STA:	0+00 to STA: 0+62
DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	
	16016.10
SHEET	
	C3.4



PROJECT TITLE:
**HIDDEN HOLLOW
HANSEN & HANSEN, LLP
PHASE 2 DEVELOPMENT PLAN
TOWN OF JACKSON, WYOMING**

LINE TABLE		
LINE	LENGTH	BEARING
L13	20.65□	N10° 29' 29"W
L14	21.08□	N00° 20' 24"E
L15	61.98□	N00° 20' 24"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C13	18.90□	100.00□	010.83	N05° 04' 32"W	18.88□



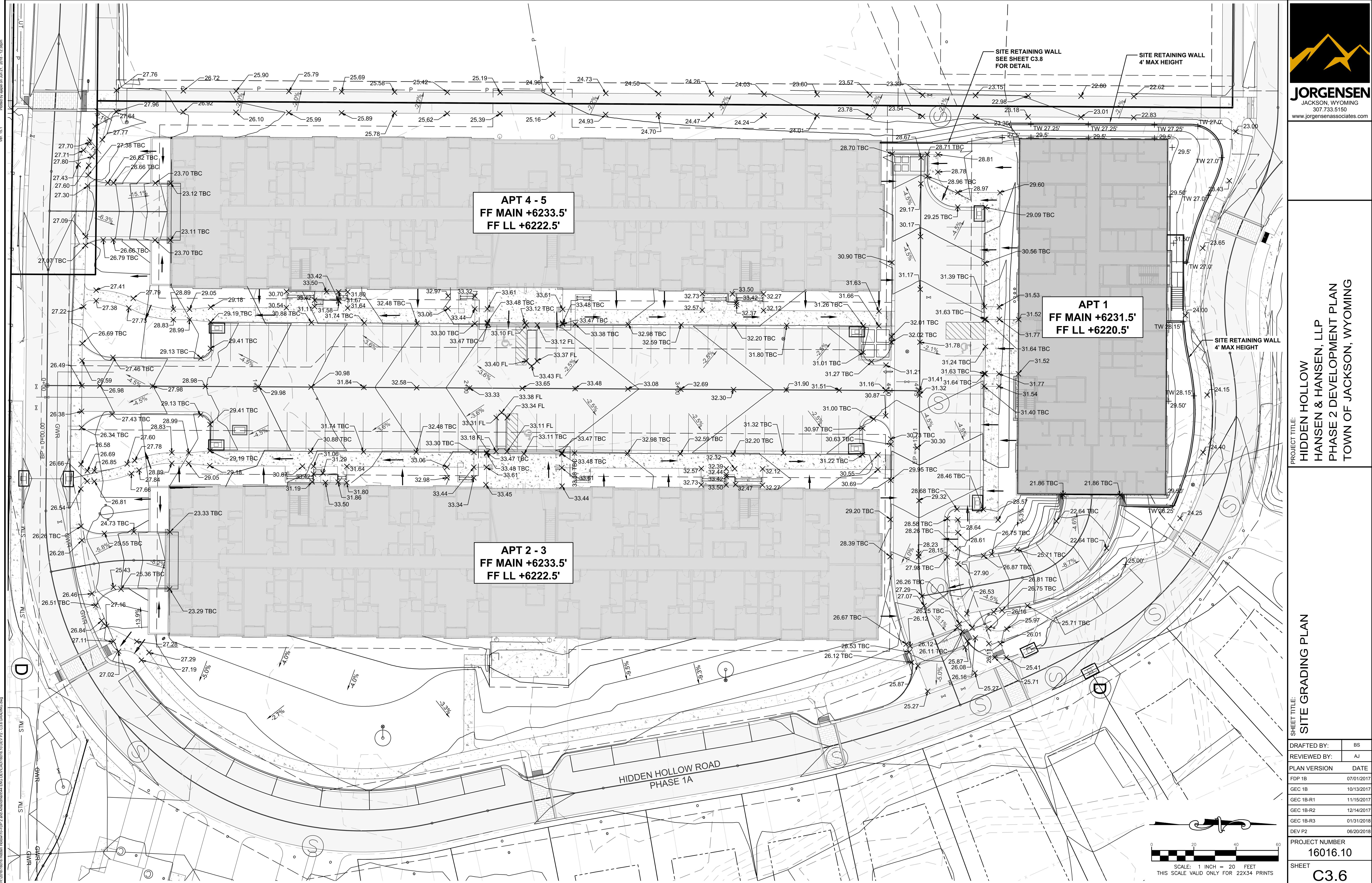
SHEET TITLE:
HIDDEN
STA: 15

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	
16016.10	
SHEET	
C3.5	

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018

PROJECT NUMBER
16016.10

SHEET
C3.6



USA
FISH & WILDLIFE SERVICE
NATIONAL ELK REFUGE
BK814P274-276

APT 4 - 5
MAIN +6233.5'
LL +6222.5'
APT 1
FF MAIN +6231.5'
FF LL +6220.5'

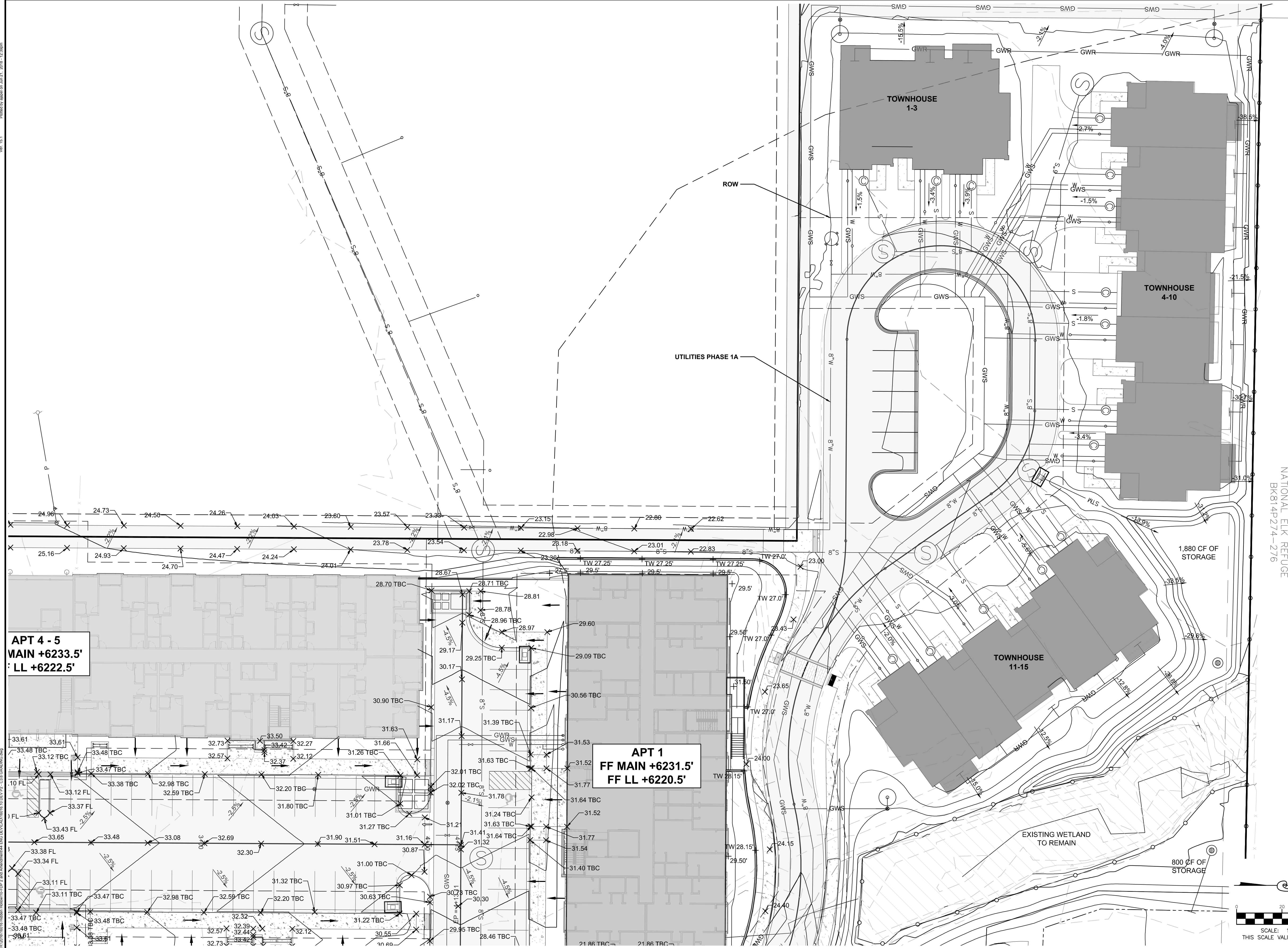
SHEET TITLE: TOWNHOUSE GRADING & UTILITY PLAN

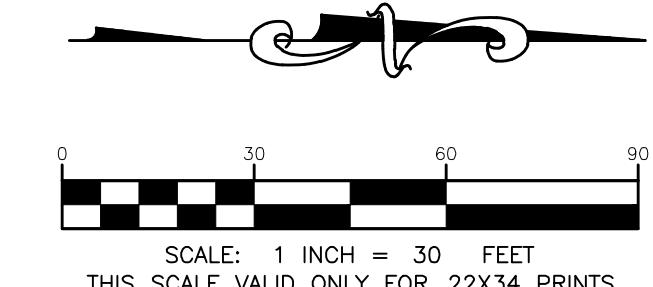
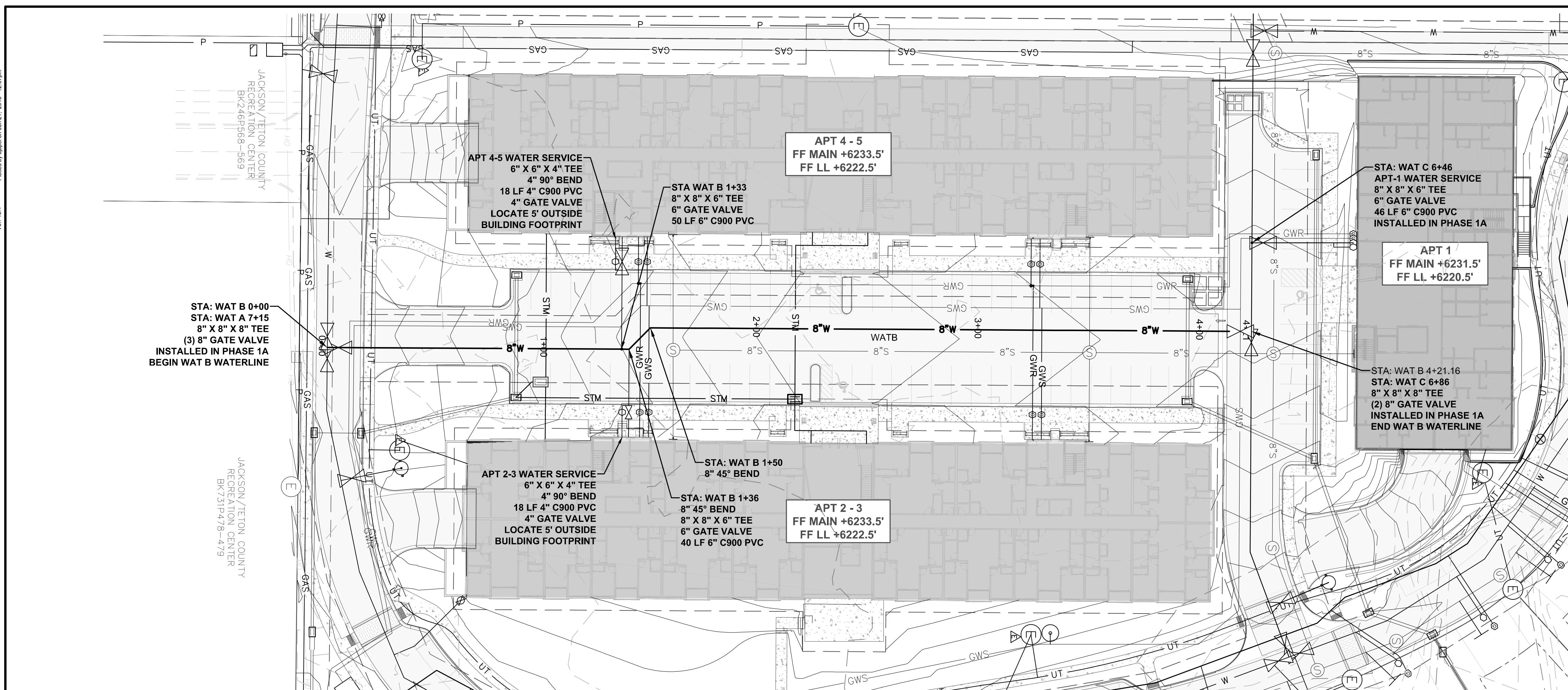
DRAFTED BY: BS
REVIEWED BY: AJ
PLAN VERSION DATE
FDP 1B 07/01/2017
GEC 1B 10/13/2017
GEC 1B-R1 11/15/2017
GEC 1B-R2 12/14/2017
GEC 1B-R3 01/31/2018
DEV P2 06/20/2018

PROJECT NUMBER
16016.10

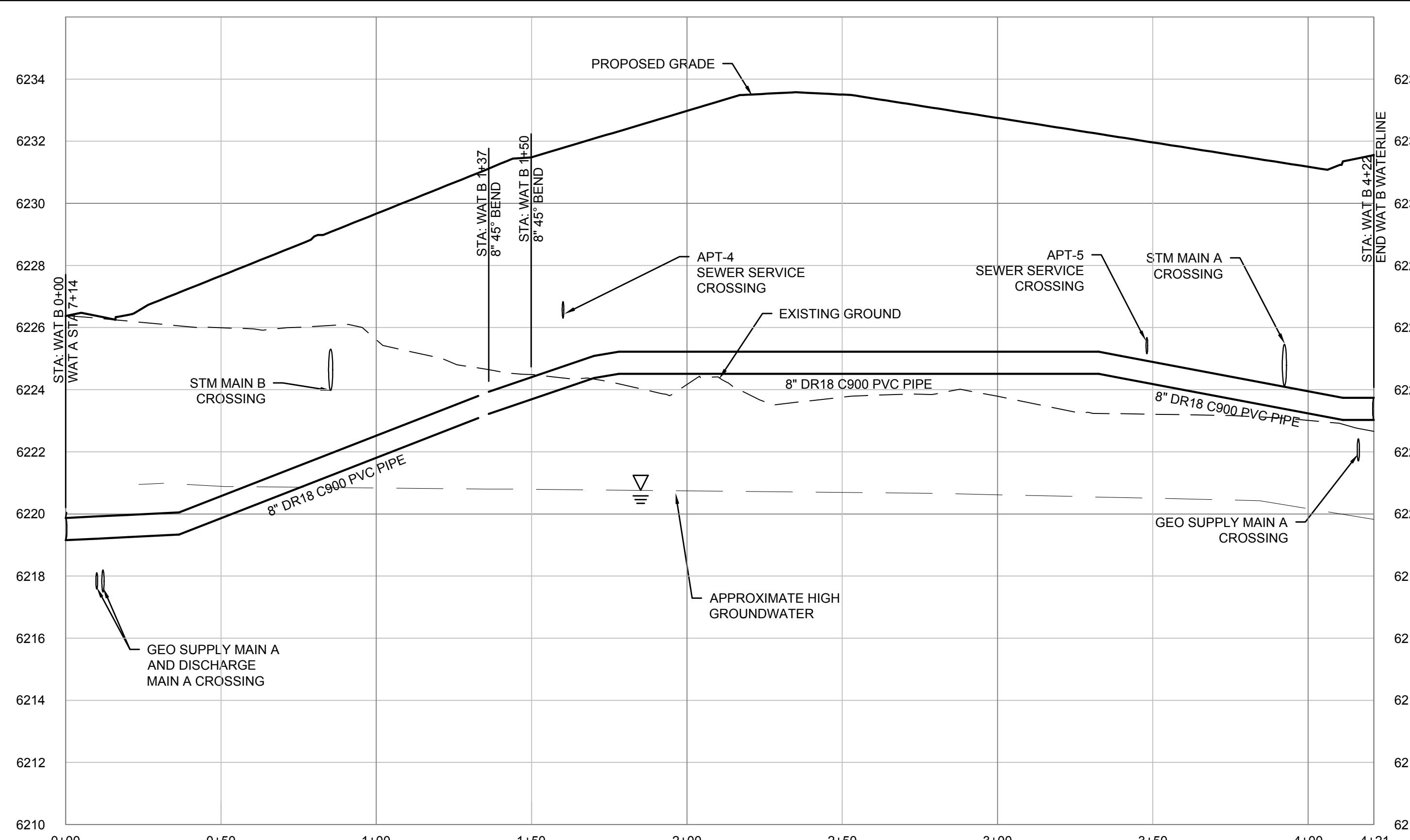
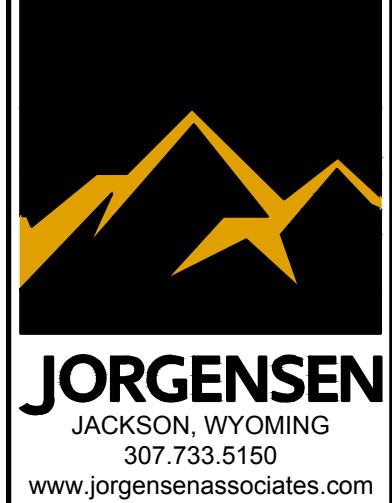
SCALE: 1 INCH = 20 FEET
THIS SCALE VALID ONLY FOR 22X34 PRINTS

SHEET
C3.7





PROJECT TITLE:
**HIDDEN HOLLOW
HANSEN & HANSEN, LLP
PHASE 2 DEVELOPMENT PLAN
TOWN OF JACKSON, WYOMING**

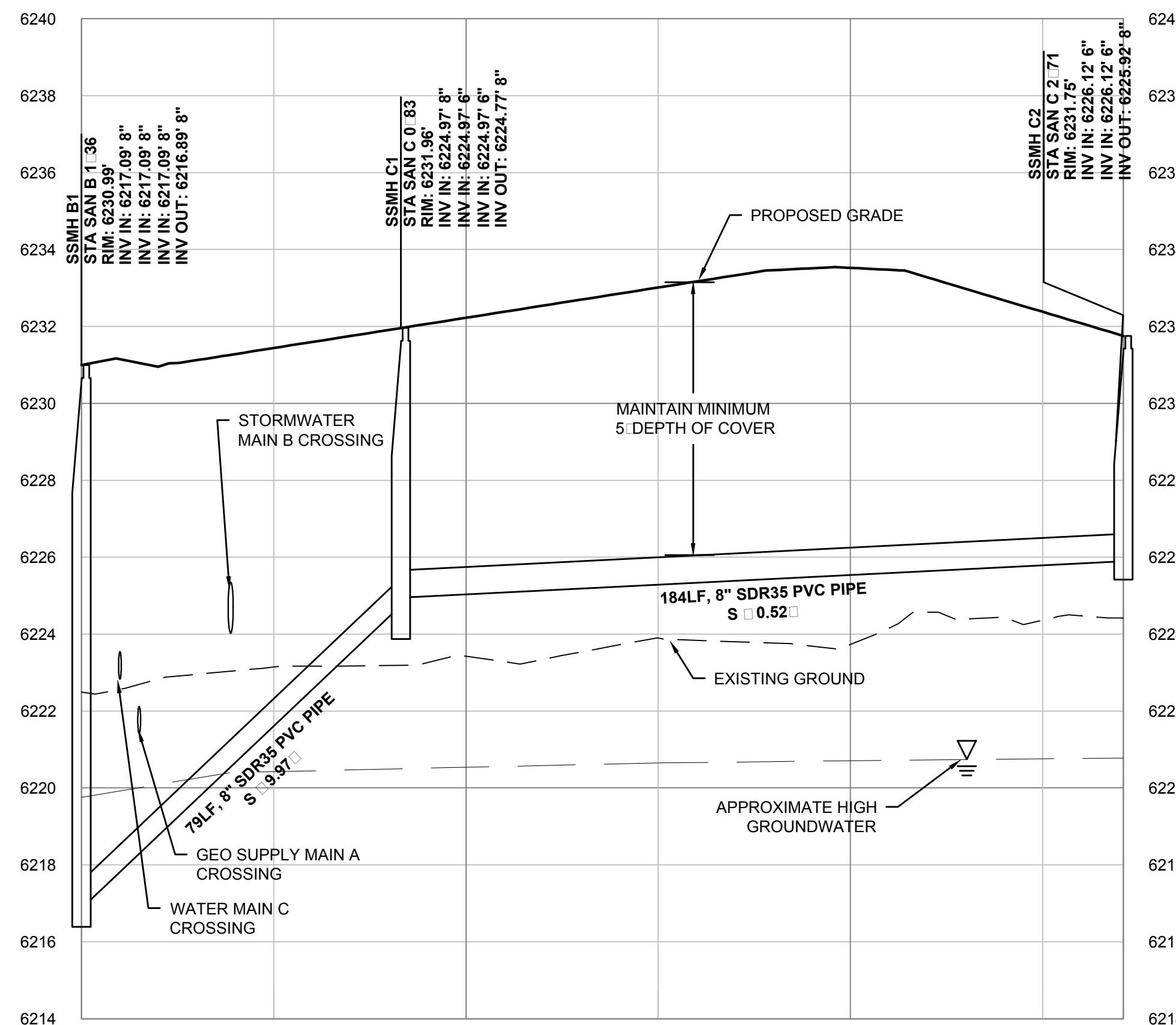
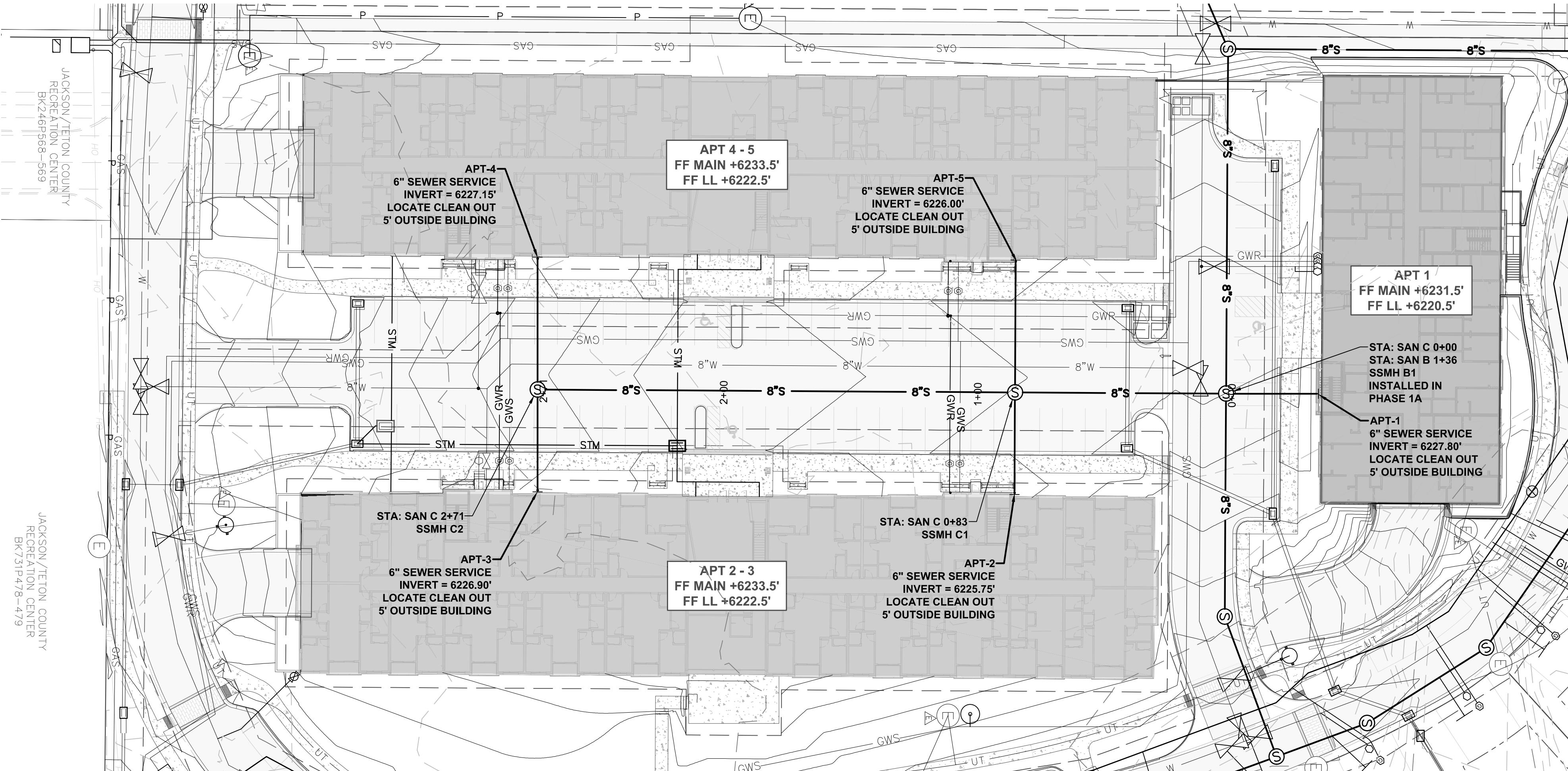


PROFILE VIEW: WATER MAIN B
STA: 0+00 - 4+21
SCALE: HORIZ. 1"□30□
VERT. 1"□3□

WATER INSTALLATION NOTES:

1. PHASE 1B WATER INSTALLATION IS LIMITED TO THE CONSTRUCTION OF WATER MAIN B. ONLY DESIGN FOR THIS LINE IS PROVIDED IN THIS PLAN SET. ADJACENT WATER MAINS ARE SHOWN FOR REFERENCE PURPOSES ONLY. ADJACENT WATER MAINS WILL BE CONSTRUCTED AS PART OF PHASE 1A WORK. REFER TO PHASE 1A PLANS FOR DETAIL.
 2. ALL WATER MAINS SHALL BE DR18 C900 PVC PIPE CONFORMING TO THE PROVISIONS OF AWWA RECOMMENDED SPECIFICATIONS C900, CURRENT REVISIONS, AND ALL INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE MANUFACTURER'S DIRECTIONS. PIPE AND FITTINGS SHALL CONFORM TO THE THE TOWN OF JACKSON CONSTRUCTION STANDARDS.
 3. ALL WATER MAINS SHALL BE INSTALLED UTILIZING ELEVATION CONTROL, SUCH THAT RECORD DRAWINGS CAN BE ACCURATELY DRAWN AND CONFORMANCE WITH THE CONSTRUCTION PLANS DOCUMENTED.
 4. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL SEPARATION BETWEEN WATER LINES AND SEWER PIPE/MANHOLES, MEASURED EDGE TO EDGE. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINE CROSSINGS. WHERE THESE DISTANCES CANNOT BE MET, SEE TYPICAL DETAILS FOR SPECIAL WATER/SEWER CROSSINGS.
 5. MAINTAIN 5" MINIMUM HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER SERVICES UNLESS OTHERWISE NOTED ON PLANS.
 6. ALL FITTINGS SHALL BE MECHANICAL JOINTS WITH JOINT RESTRAINT AND THRUST BLOCKS INSTALLED PER DETAILS AND SPECIFICATIONS.
 7. ALL FITTINGS SHALL HAVE STAINLESS STEEL OR CORROSIVE RESISTANT BOLTS AND BE "POLY WRAPPED".
 8. PIPE JOINT DEFLECTION ALLOWED TO MAINTAIN ALIGNMENT. STAB PIPE IN LINE THEN DEFLECT PIPE, ONLY AT JOINT. MAX DEFLECTION 2.5 DEGREES. 2.5 DEGREES IS 12" FOR A 20 LINEAR FOOT LENGTH OF PIPE.
 9. ALL WATER MAINS AND SERVICES SHALL BE INSTALLED WITH TRACE WIRE FOR LOCATING PURPOSES. TRACE WIRE TO BE INSTALLED PER SPECIFICATIONS.
 10. ALL WATER MAINS AND SERVICES SHALL BE TESTED PER TOWN OF JACKSON CONSTRUCTION STANDARDS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED TOWN OF JACKSON STAFF AND THE ENGINEER. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.

SHEET TITLE:	WATER
STA: 0+	PLAN A
DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	
16016.10	
SHEET	
C4.1	



PROFILE VIEW: SANITARY SEWER MAIN C
STA: 0+00 - 2+71
SCALE: HORIZ. 1" □ 30 □
VERT. 1" □ 3 □

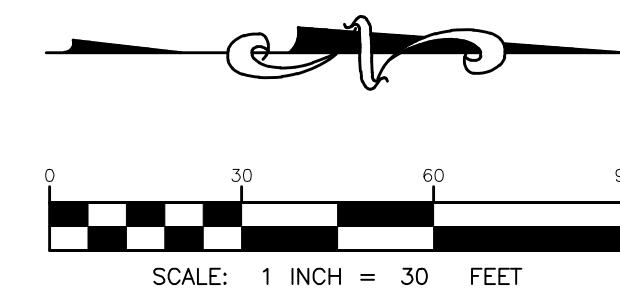
SANITARY SEWER INSTALLATION NOTES:

1. PHASE 1B SEWER INSTALLATION IS LIMITED TO THE CONSTRUCTION OF SEWER MAIN C. ONLY DESIGN FOR THIS LINE IS PROVIDED IN THIS PLAN SET. ADJACENT SEWER MAINS ARE SHOWN FOR REFERENCE PURPOSES ONLY. ADJACENT SEWER MAINS WILL BE CONSTRUCTED AS PART OF PHASE 1A WORK. REFER TO PHASE 1A PLANS FOR DETAIL.
 2. ALL SEWER MAIN PIPE SHALL BE 8" PVC SDR-35 (ASTM D3034) OR APPROVED EQUAL.
 3. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL BETWEEN WATER LINES AND SEWER PIPE/MANHOLES, MEASURED EDGE TO EDGE. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINE CROSSINGS. WHERE THESE DISTANCES CANNOT BE MET, SEE TYPICAL DETAILS FOR SPECIAL WATER/SEWER CROSSINGS.
 4. SEWER SERVICES ARE TO BE CONSTRUCTED OF 4" PVC SDR-35 PIPE UNLESS OTHERWISE NOTED IN THE PLANS. ALL SERVICES SHALL BE INSTALLED AT A MINIMUM GRADE OF $\frac{1}{4}$ " PER FOOT.
 5. ALL SEWER MANHOLES ARE TO BE CONSTRUCTED WITH AN ECCENTRIC CONE TOP UNLESS OTHERWISE NOTED ON THE PLANS. SEE STANDARD DETAILS FOR MANHOLE INSTALLATION AND STANDARDS.
 6. ALL MANHOLES IN PAVED AREAS SHALL BE ADJUSTED FOR HEIGHT ACCORDING TO TOWN OF JACKSON STANDARD SS-109.
 7. NO CONNECTIONS OF GROUNDWATER HEAT PUMP OR GROUNDWATER HEATING OR COOLING SYSTEMS, ROOF DOWNSPOUTS, EXTERIOR FOUNDATION DRAINS, AREAWAY DRAINS, OR OTHER SOURCES OF SURFACE RUNOFF OR GROUNDWATER TO A BUILDING SEWER OR BUILDING DRAIN, WHICH IN TURN IS CONNECTED DIRECTLY OR INDIRECTLY TO A PUBLIC SANITARY SEWER. SEE WYDEQ 13.08.017
 8. ALL SEWER MAINS SHALL BE JETTED PRIOR TO VIDEO INSPECTIONS. IF VIDEO INSPECTION REVEALS CONDITIONS INDICATING POSSIBLE PIPE DEFLECTION OR DEFORMATION. SUCH IDENTIFIED PIPE SEGMENTS SHALL REQUIRE DEFLECTION TESTING, TO BE PERFORMED BY CONTRACTOR AND WITNESSED BY THE TOWN.
 9. ALL SEWER MAINS AND SERVICES SHALL BE TESTED PER TOWN OF JACKSON CONSTRUCTION STANDARDS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED TOWN OF JACKSON STAFF AND THE ENGINEER. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.
 10. SANITARY SEWER MAINS ARE TO BE GRADED AT A MINIMUM OF 0.40% FOR 8" LINE. FLAT GRADE SEWER (BELOW THIS THRESHOLD) SHALL BE SUBJECT TO WYDEQ FLAT GRADE SEWERS VARIANCE. SEE POLICY 13.9.13.
 - 10.1. THE MINIMUM SLOPE PERMITTED FOR 8" AND LARGER PIPE WILL BE 0.002 FT/FT OR THE MINIMUMS LISTED IN THE CHAPTER XI, PART B, SECTION 9, REGULATIONS.
 - 10.2. THE GRAVITY SEWER MAIN MUST BE CONSTRUCTED USING EITHER ASTM D3034 SDR 35 PVC PIPE OR ASTM D 3035 POLYETHYLENE PIPE.
 - 10.3. THE PIPE MUST BE INSTALLED USING A SEWER LASER TO ENSURE AN ACCURATE AND UNIFORM GRADE.
 - 10.4. THE PIPE SHALL BE BEDDED WITH TYPE 1 BEDDING MATERIAL USING TYPE A TRENCH BACKFILL METHODS OR CEMENT TREATED FILL IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS, SECTION 02225.
 - 10.5. ALL FLAT GRADE SEWERS SHALL BE INSTALLED UNDER THE SUPERVISION OF A FULL TIME INSPECTOR.
 11. ALL MANHOLES SHALL HAVE EPOXY COATED INVERTS WITH 2 COATS OF SIKAGUARD 62 (RED/GREY) OR APPROVED EQUIVALENT.

11. ALL MANHOLES SHALL HAVE EPOXY COATED INVERTS WITH 2 COATS OF SIKAGUARD 62 (RED, GREY) OR APPROVED EQUAL.

SANITARY SEWER MANHOLE TABLE				
MANHOLE NAME	RIM ELEV.	INV. IN	INV IN ANGLE	INV. OUT
SSMH B1	6230.99□	8" 6217.09□S 6" 6217.09□N 8" 6217.09□E		8" 6216.89□
SSMH C1	6231.96□	8" 6224.97□S 6" 6224.97□E 6" 6224.97□W		8" 6224.77□
SSMH C2	6231.75□	6" 6226.12□E 6" 6226.12□W		8" 6225.92□

ANGLES MEASURED WITH 0° AT INV. OUT.
INV. IN MEASURED CLOCKWISE FROM INV. OUT

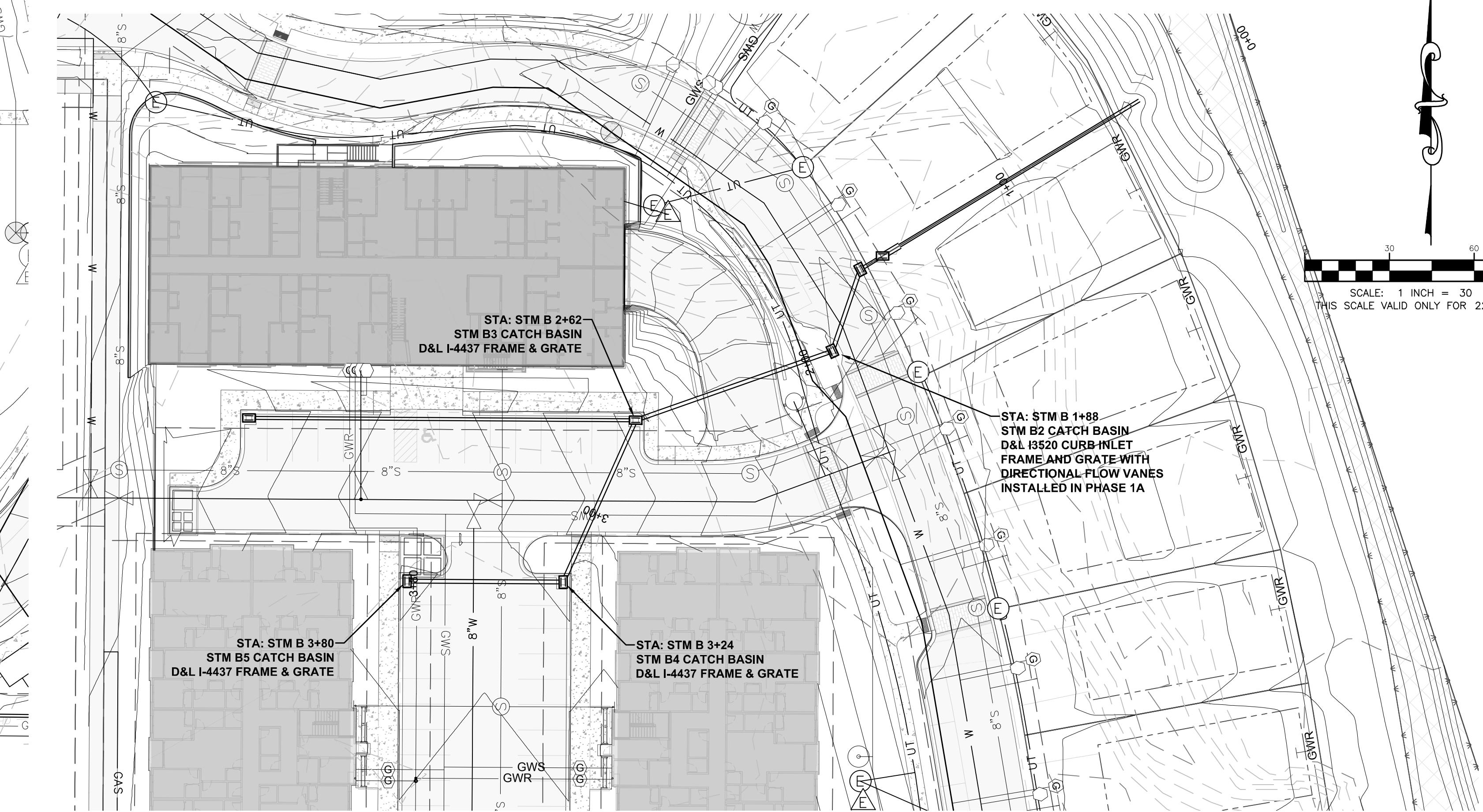
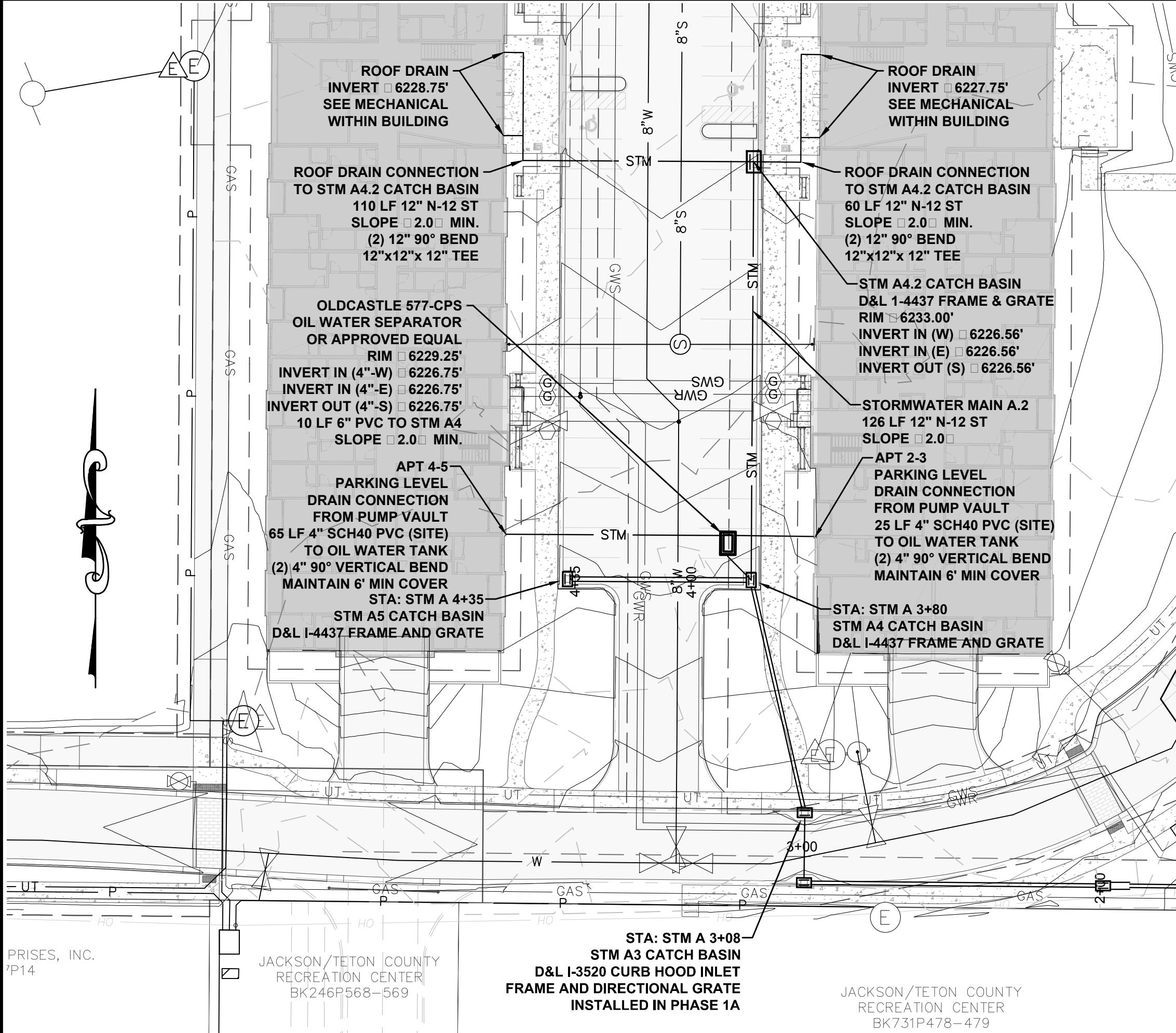


**HEET TITLE: SANITARY SEWER MAIN C
STA: 0+00 to STA: 2+71
PLAN AND PROFILE**

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018

DEV P2	06/2
PROJECT NUMBER	
16016.10	

SHEET C5 1



PROJECT TITLE:

HIDDEN HOLLOW
HANSEN & HANSEN, LLP
PHASE 2 DEVELOPMENT PLAN
TOWN OF JACKSON, WYOMING

SHEET TITLE:

STORMWATER MAIN A & B
STM A STA: 3+00 to STA 4+35
STM B STA: 1+75 to STA: 3+80
PLAN AND PROFILE

DRAFTED BY:

BS

REVIEWED BY:

AJ

PLAN VERSION

DATE

FDP 1B

07/01/2017

GEC 1B

10/13/2017

GEC 1B-R1

11/15/2017

GEC 1B-R2

12/14/2017

GEC 1B-R3

01/31/2018

DEV P2

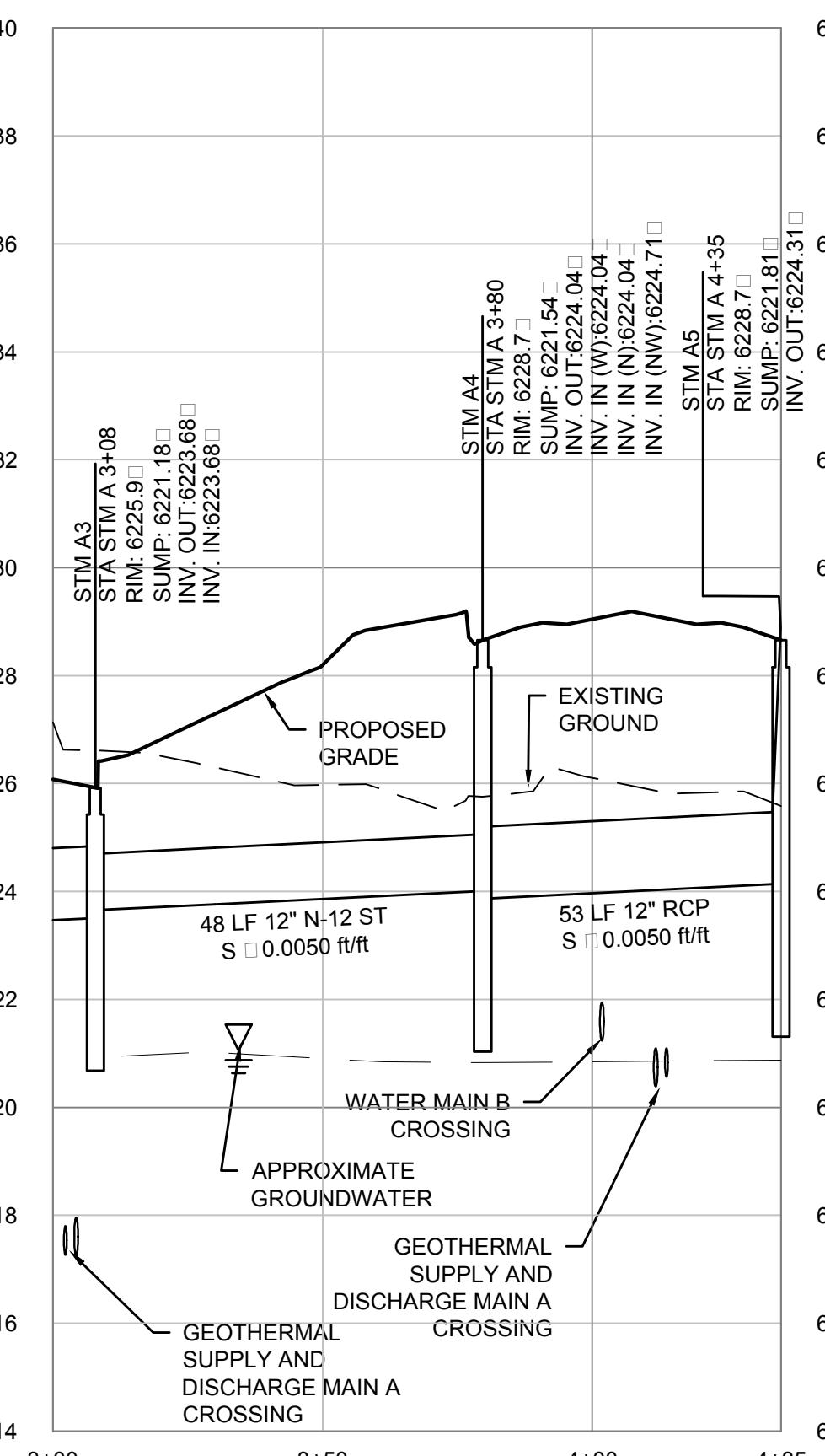
06/20/2018

PROJECT NUMBER

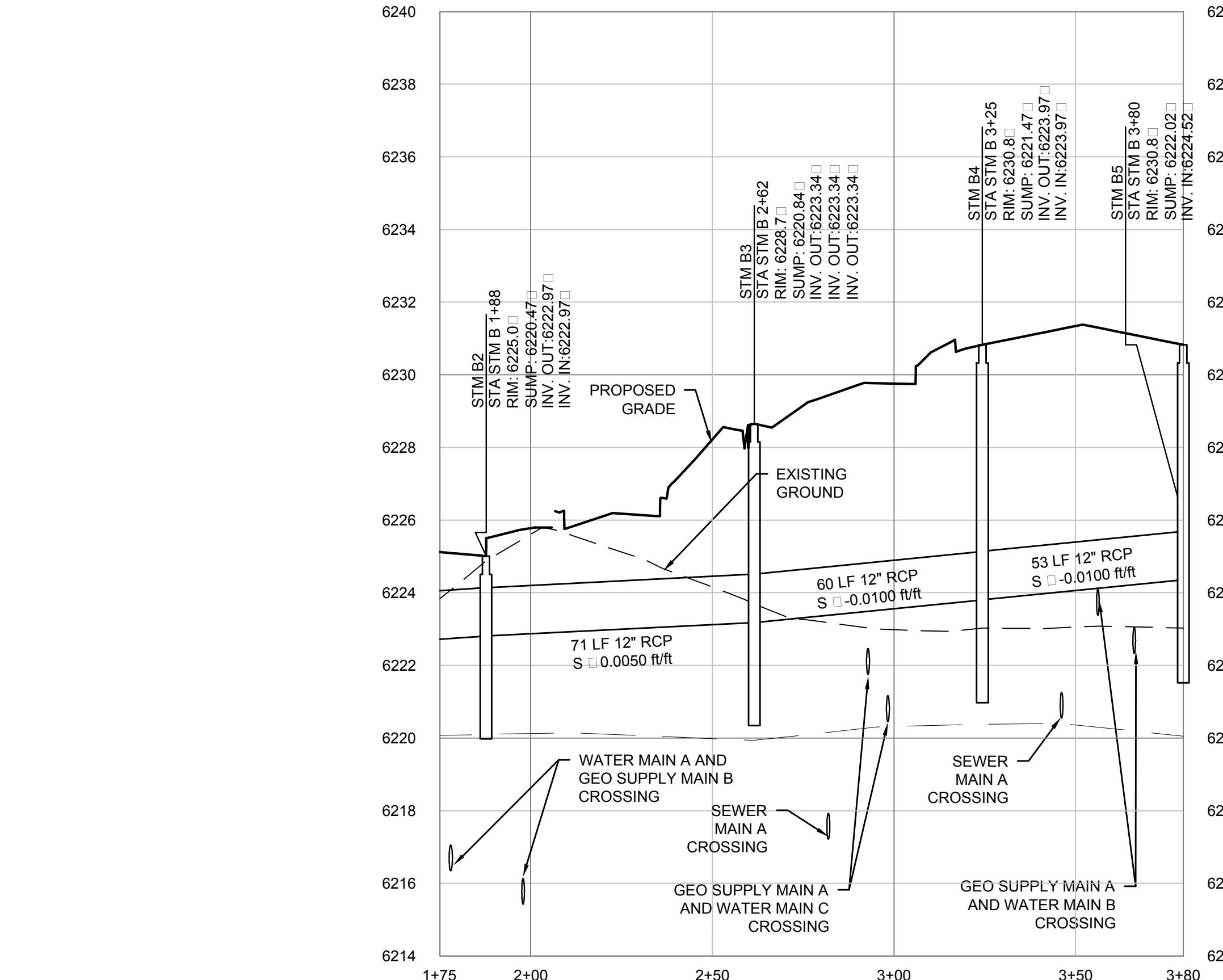
16016.10

SHEET

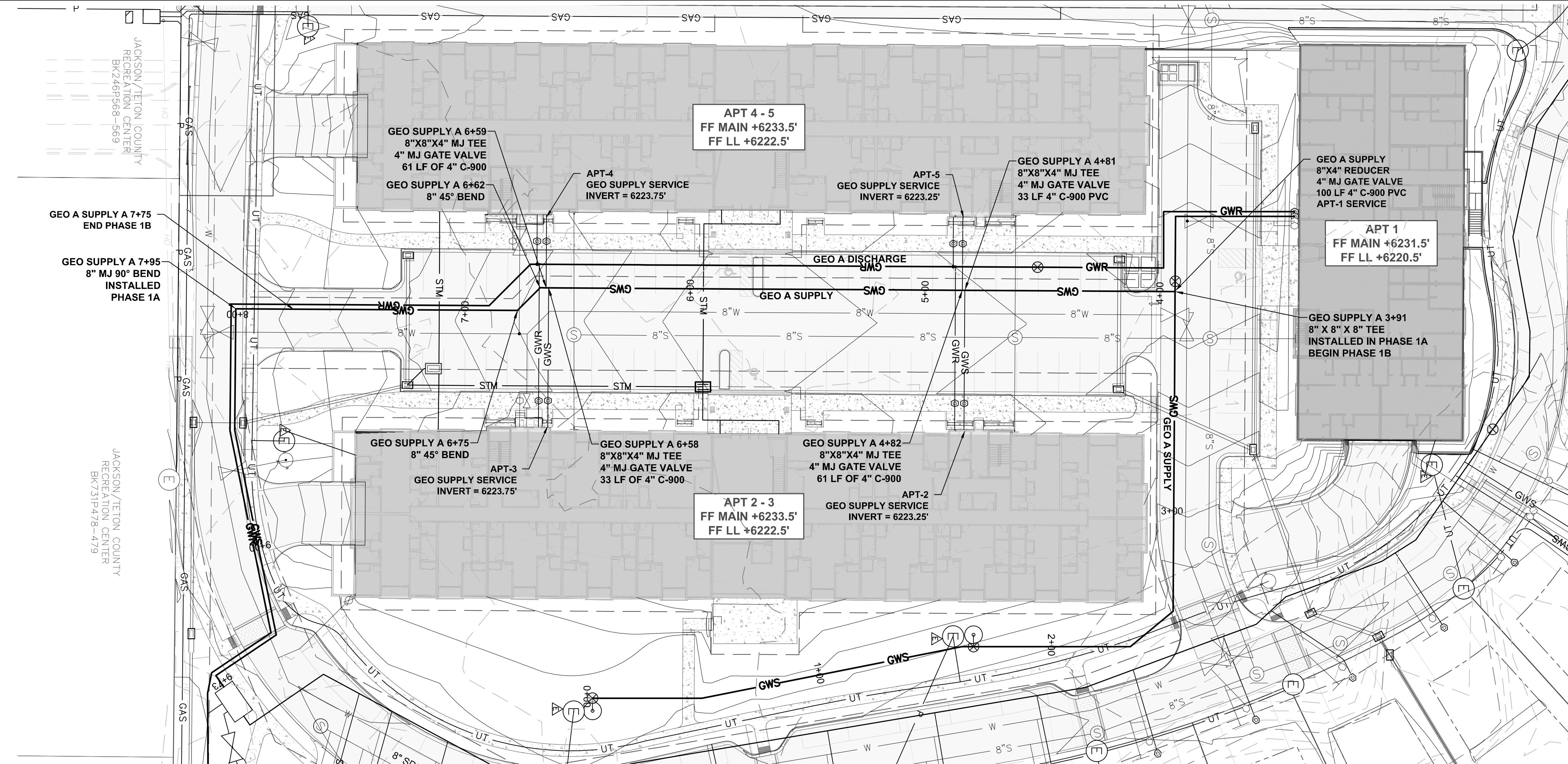
C6.1



PROFILE VIEW: STORMWATER MAIN A
STA: 3+00 - 4+35
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'



PROFILE VIEW: STORMWATER MAIN B
STA: 1+75 - 3+80
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'

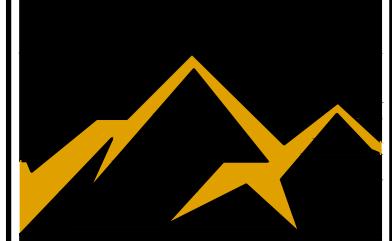


0 30 60 90

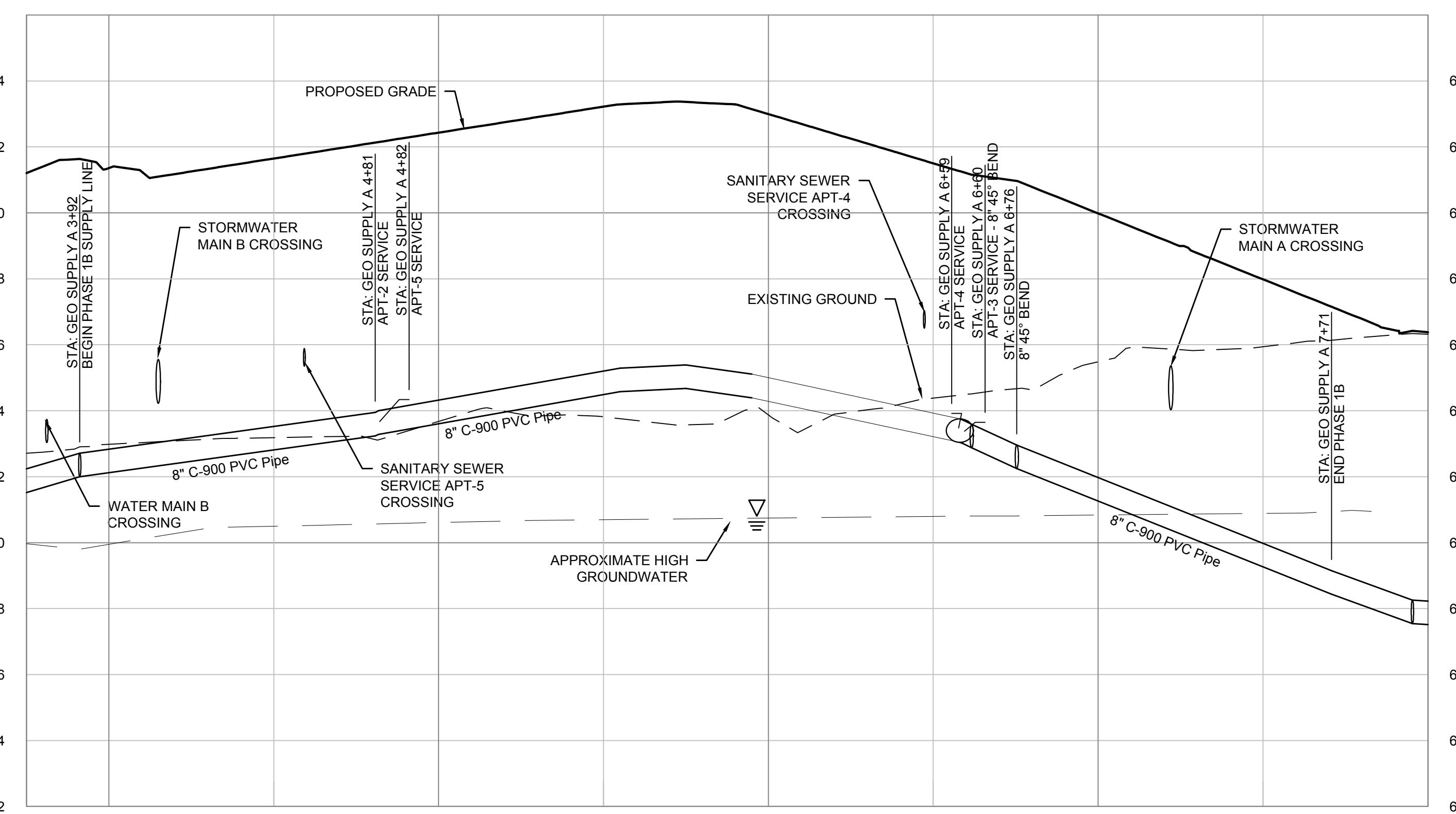
SCALE: 1 INCH = 30 FEET

THIS SCALE VALID ONLY FOR 22X34 PRINTS

PROJECT TITLE:
**HIDDEN HOLLOW
HANSEN & HANSEN, LLP
PHASE 2 DEVELOPMENT PLAN
TOWN OF JACKSON, WYOMING**



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com

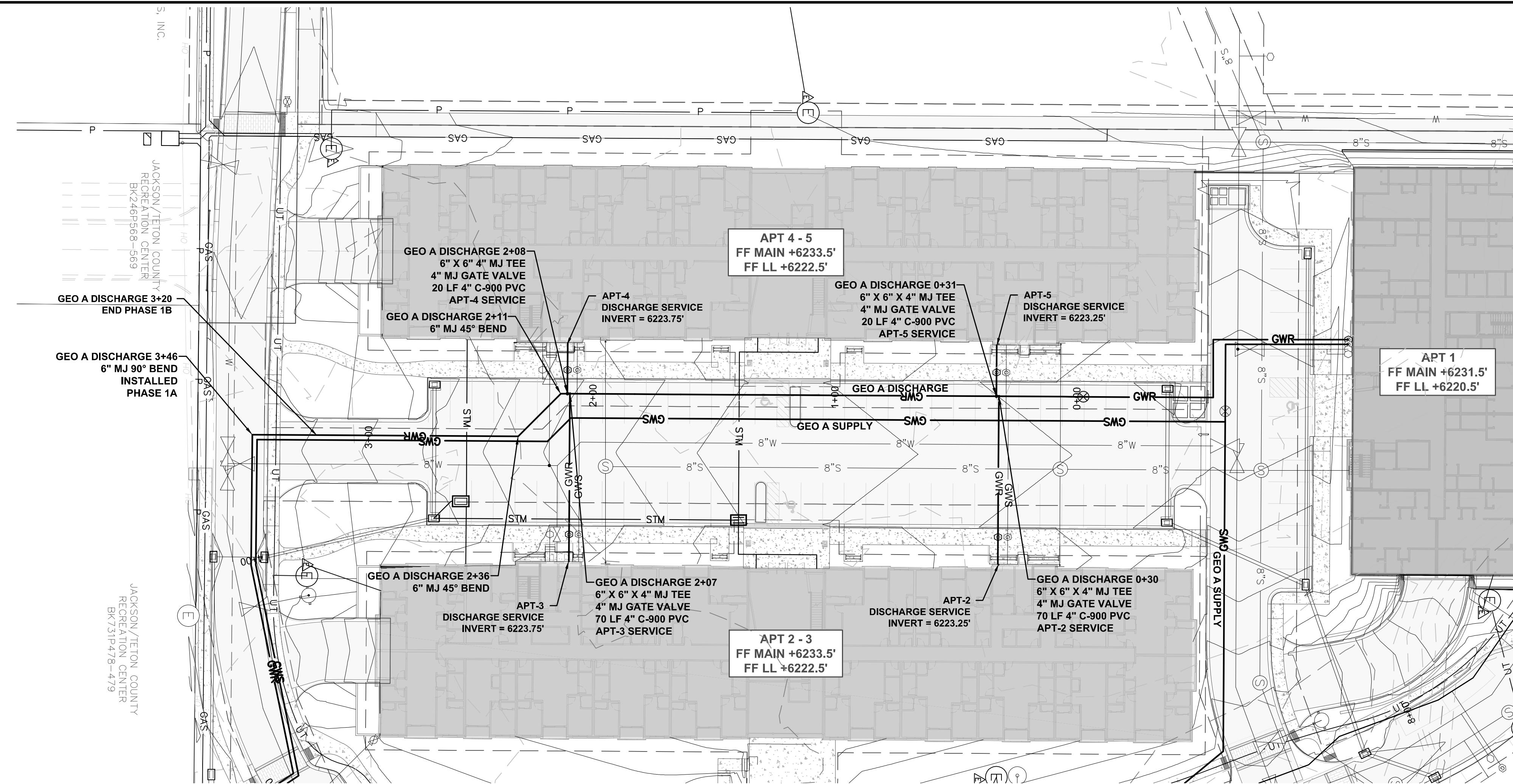


PROFILE VIEW: GEOTHERMAL SUPPLY MAIN
STA: 3+75 - 8+00
SCALE: Hori□. 1"□30□
Vert. 1"□3□

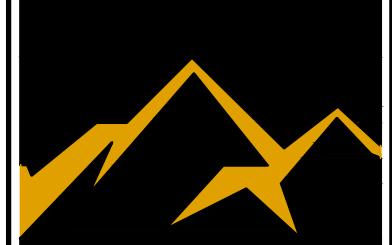
HEET TITLE:
GEO THERMAL SUPPLY MAIN A
STA: 3+75 to STA: 8+00
PLAN AND PROFILE

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018
DEV P2	06/20/2018
PROJECT NUMBER	
16016.10	
SHEET	
C7.1	

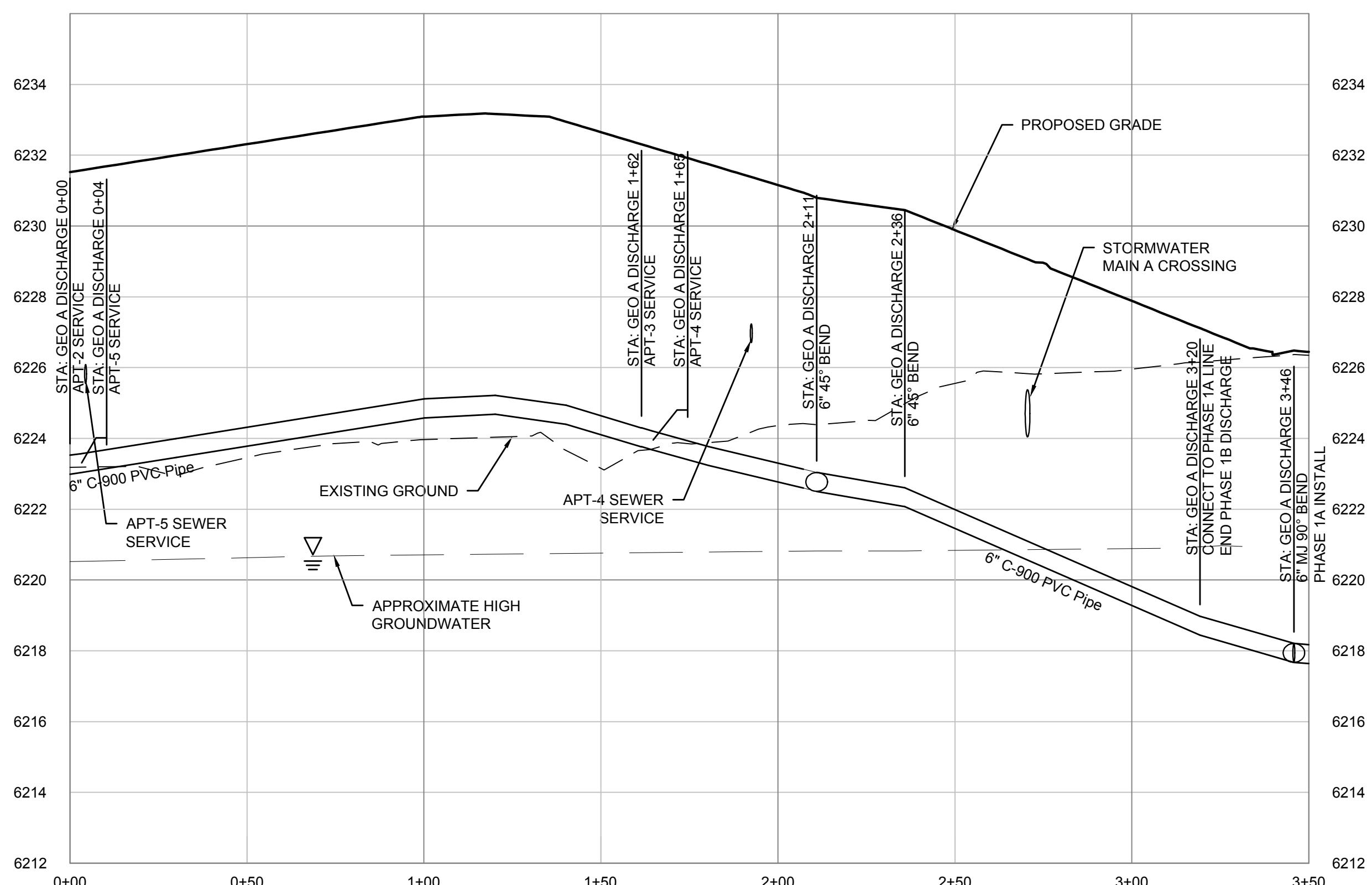
EET
C7.1



PROJECT TITLE:
**HIDDEN HOLLOW
HANSEN & HANSEN, LLP
PHASE 2 DEVELOPMENT PLAN
TOWN OF JACKSON, WYOMING**



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROFILE VIEW: GEOTHERMAL A DISCHARGE

TOP-OF-PIECE VIEW: GEOTHERMAL AREA STA: 0+00 - 3+50

SCALE: HORIZONTAL 1"

SHEET TITLE: **GEO THERMAL DISCHARGE MAIN A**
STA: 0+00 to STA: 5+24
PLAN AND PROFILE

DRAFTED BY:	BS
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP 1B	07/01/2017
GEC 1B	10/13/2017
GEC 1B-R1	11/15/2017
GEC 1B-R2	12/14/2017
GEC 1B-R3	01/31/2018

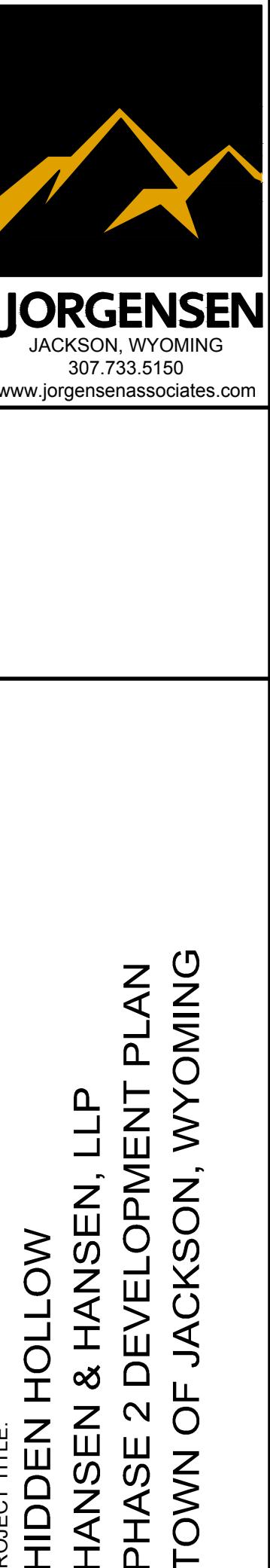
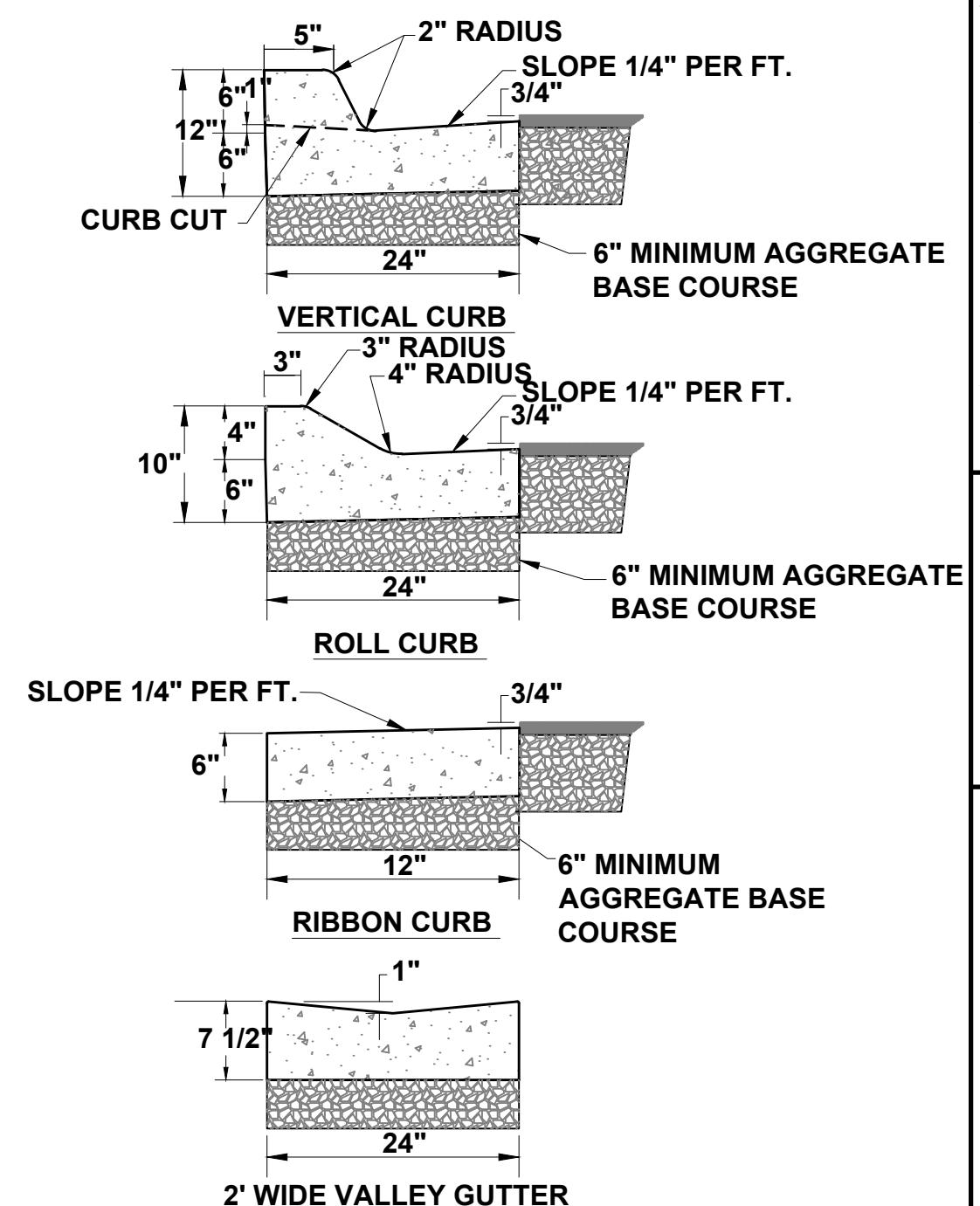
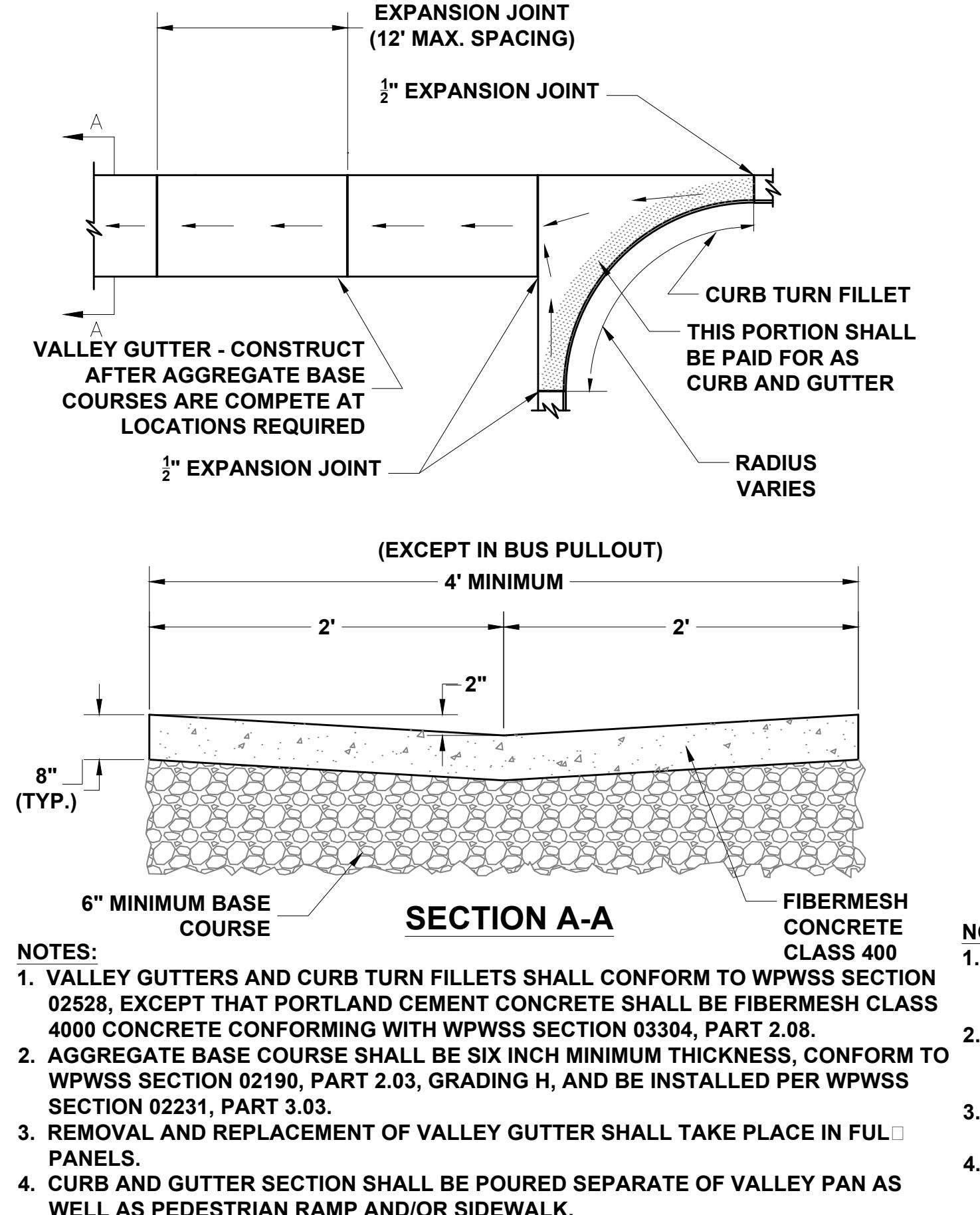
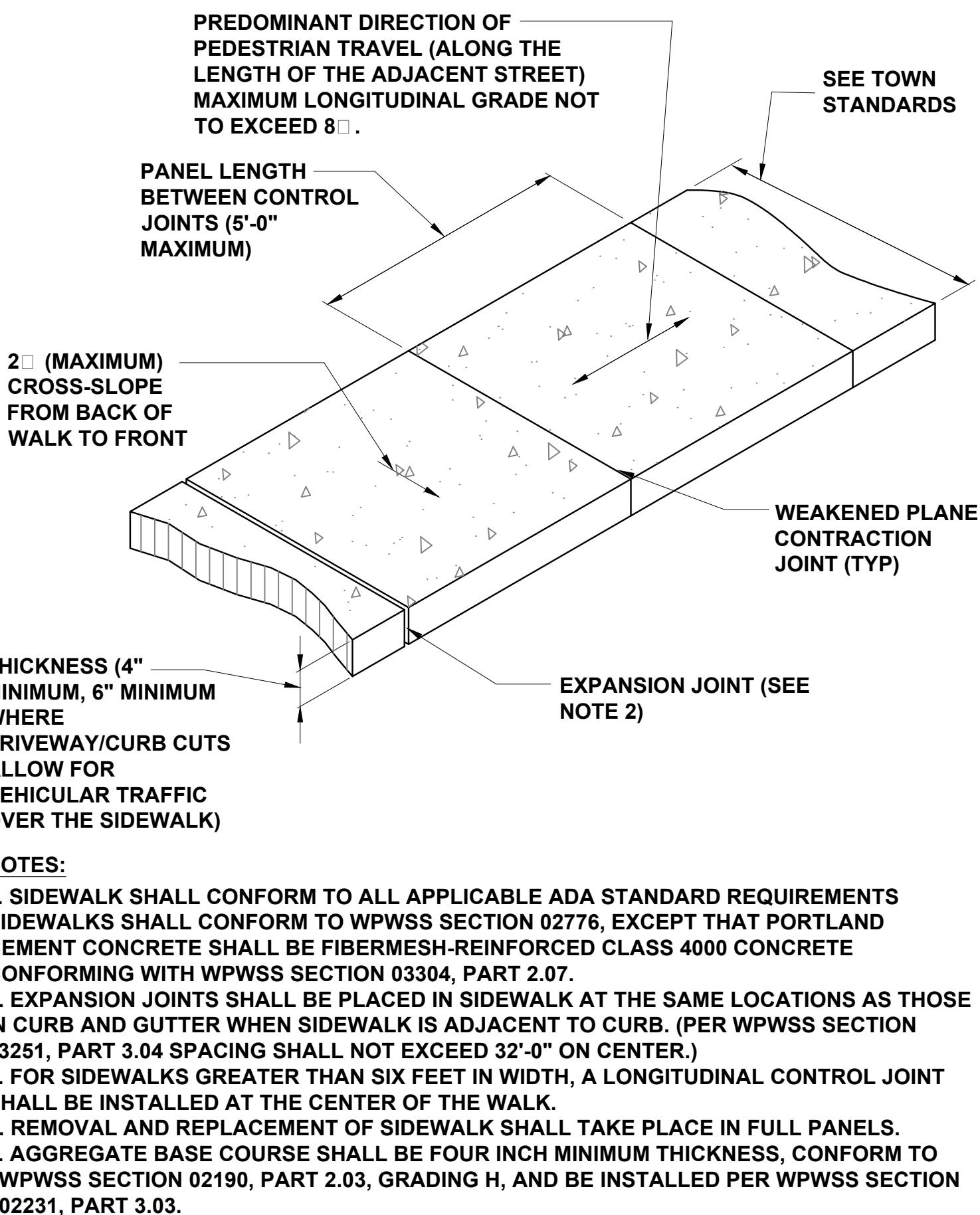
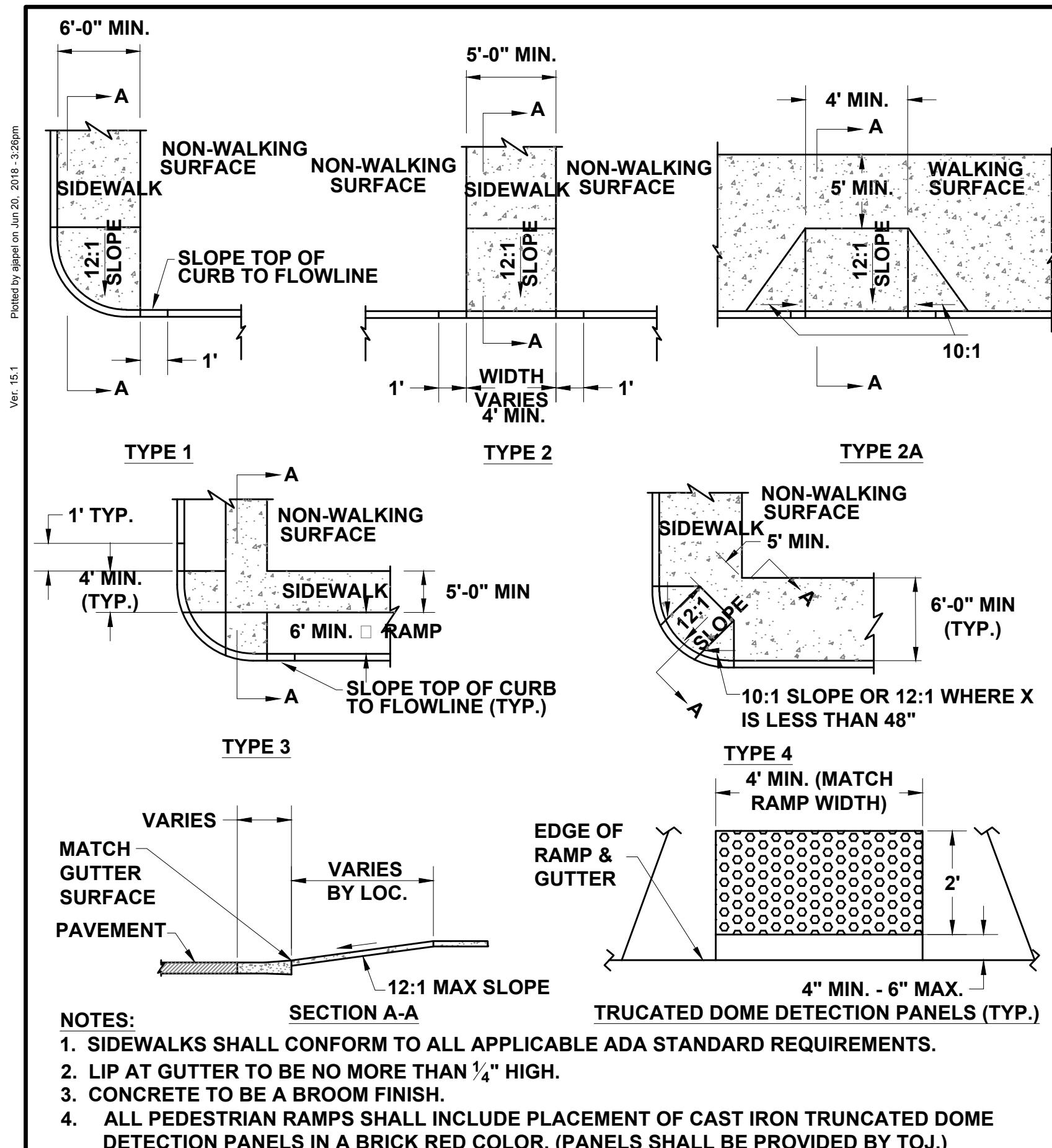
DEV P2 06/20

PROJECT NUMBER

16016.10

SHEET

SHEET



PROJECT TITLE: HIDDEN HOLLOW HANSEN & HANSEN, LLP PHASE 2 DEVELOPMENT PLAN TOWN OF JACKSON, WYOMING

Sheet Title: ROAD AND SITE DETAILS

Drafted By: BS

Reviewed By: AJ

Plan Version: FDP 1B

Date: 07/01/2017

GEC 1B

10/13/2017

GEC 1B-R1

11/05/2017

GEC 1B-R2

12/14/2017

GEC 1B-R3

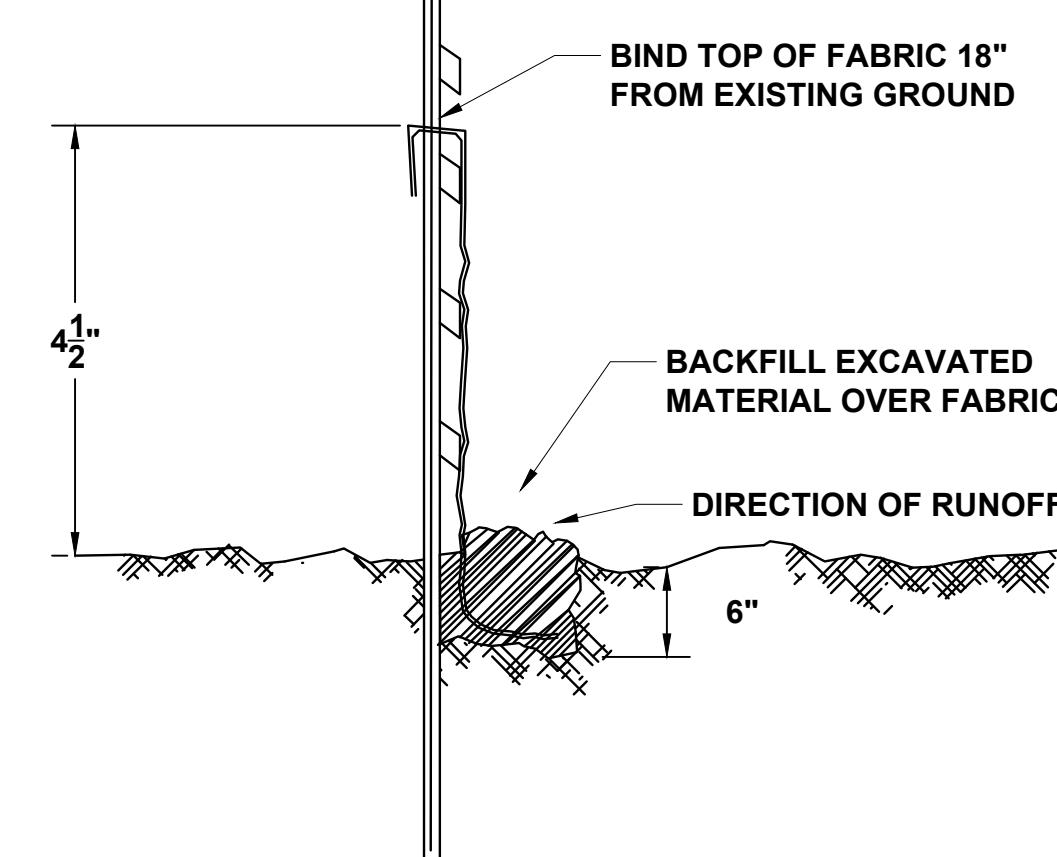
01/31/2018

DEV P2

06/20/2018

Project Number: 16016.10

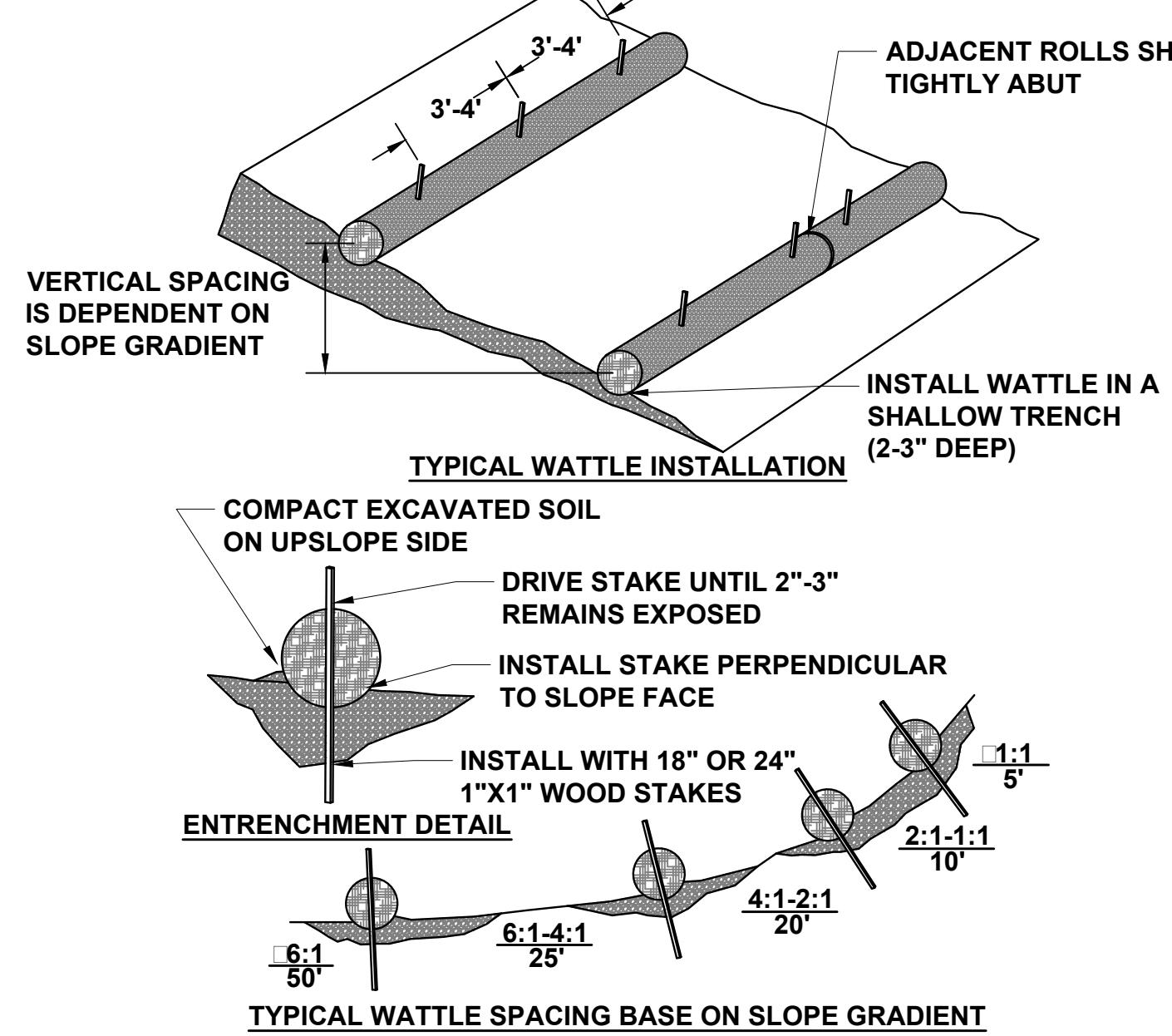
Sheet: C8.1



NOTE:

1. USE MIRAFI 100X FILTER FABRIC WITH STEEL FENCE POSTS AT 10'0" O.C. MAX., OR APPROVED EQUAL.
2. PLACE SILT FENCE BARRIER DOWN GRADIENT OF CONSTRUCTION OPERATIONS AS SHOWN ON THE PLANS TO CONTROL SILT FROM LEAVING THE SITE.

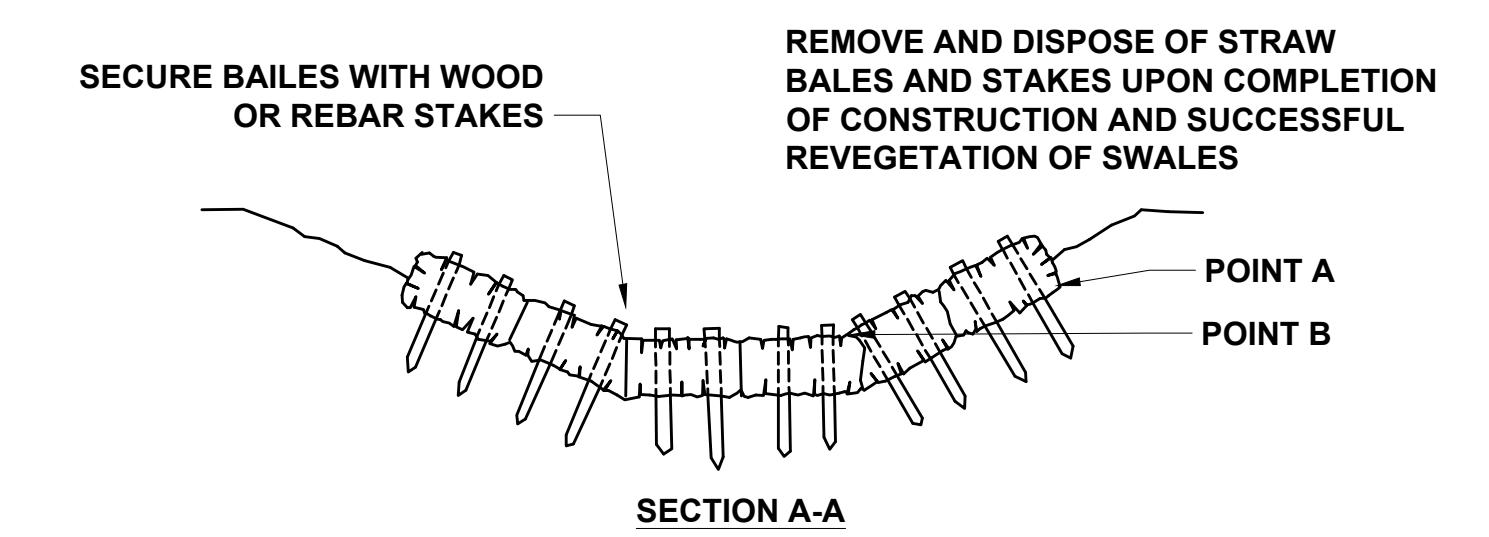
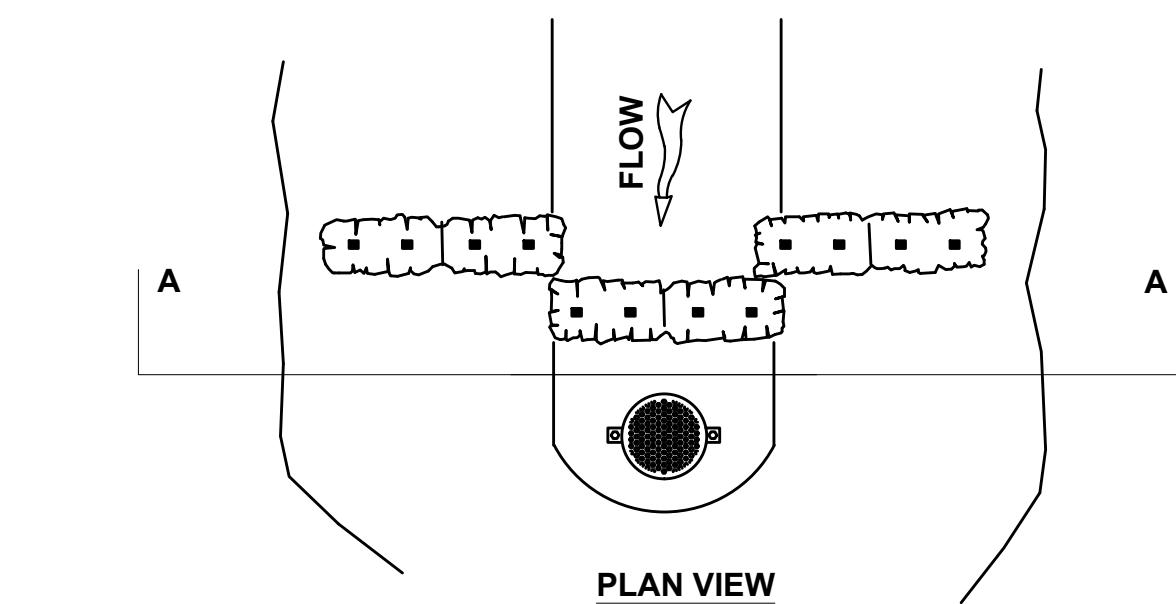
1 C8.1
NOT TO SCALE
SILT FENCE BARRIER ILLUSTRATIVE DETAIL



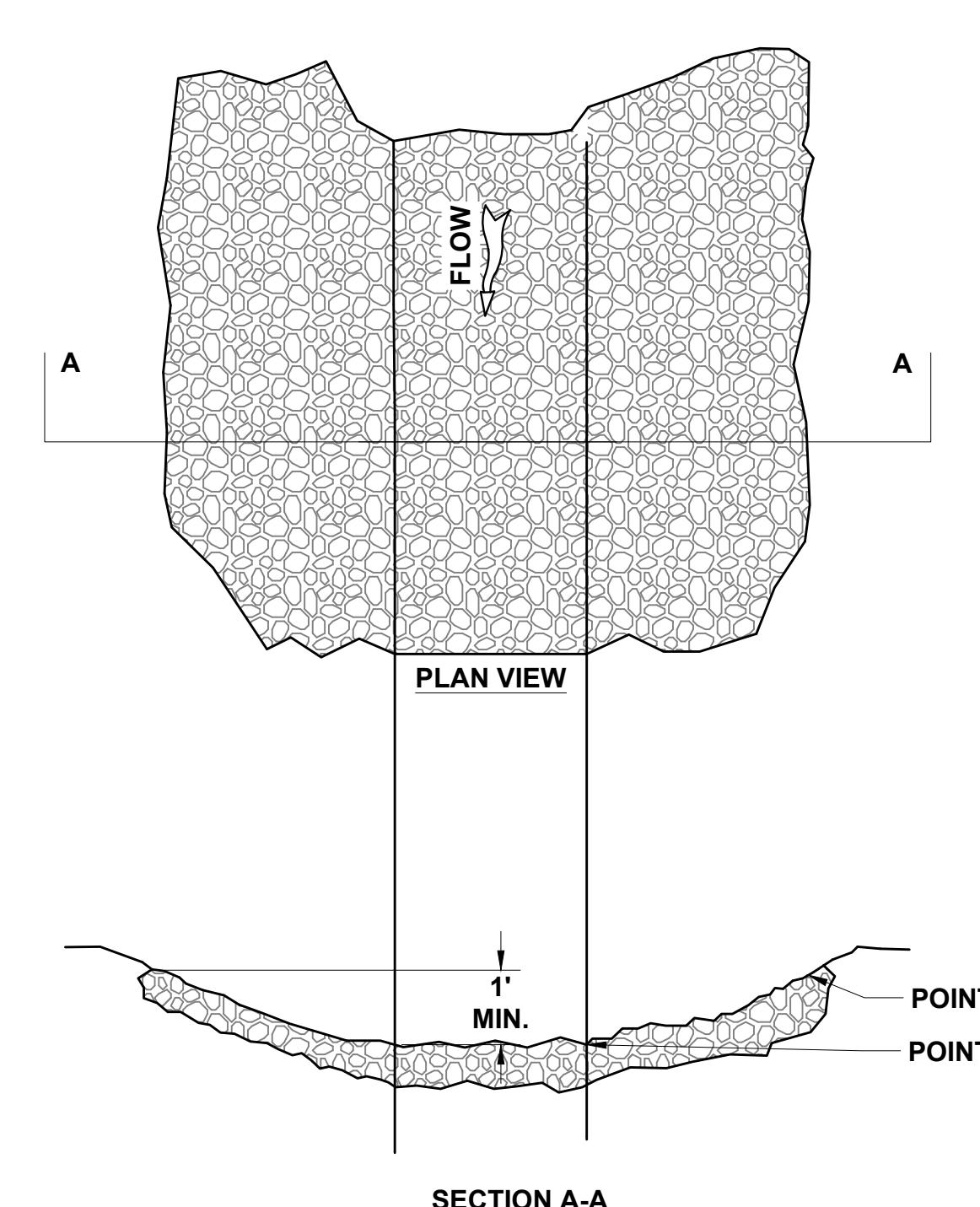
NOTE:

1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTELS SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4" AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
4. EROSION CONTROL PLAN AND LOCATION OF STRAW WATTELS SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

2 C8.2
NOT TO SCALE
TYPICAL STRAW WATTLE DETAIL



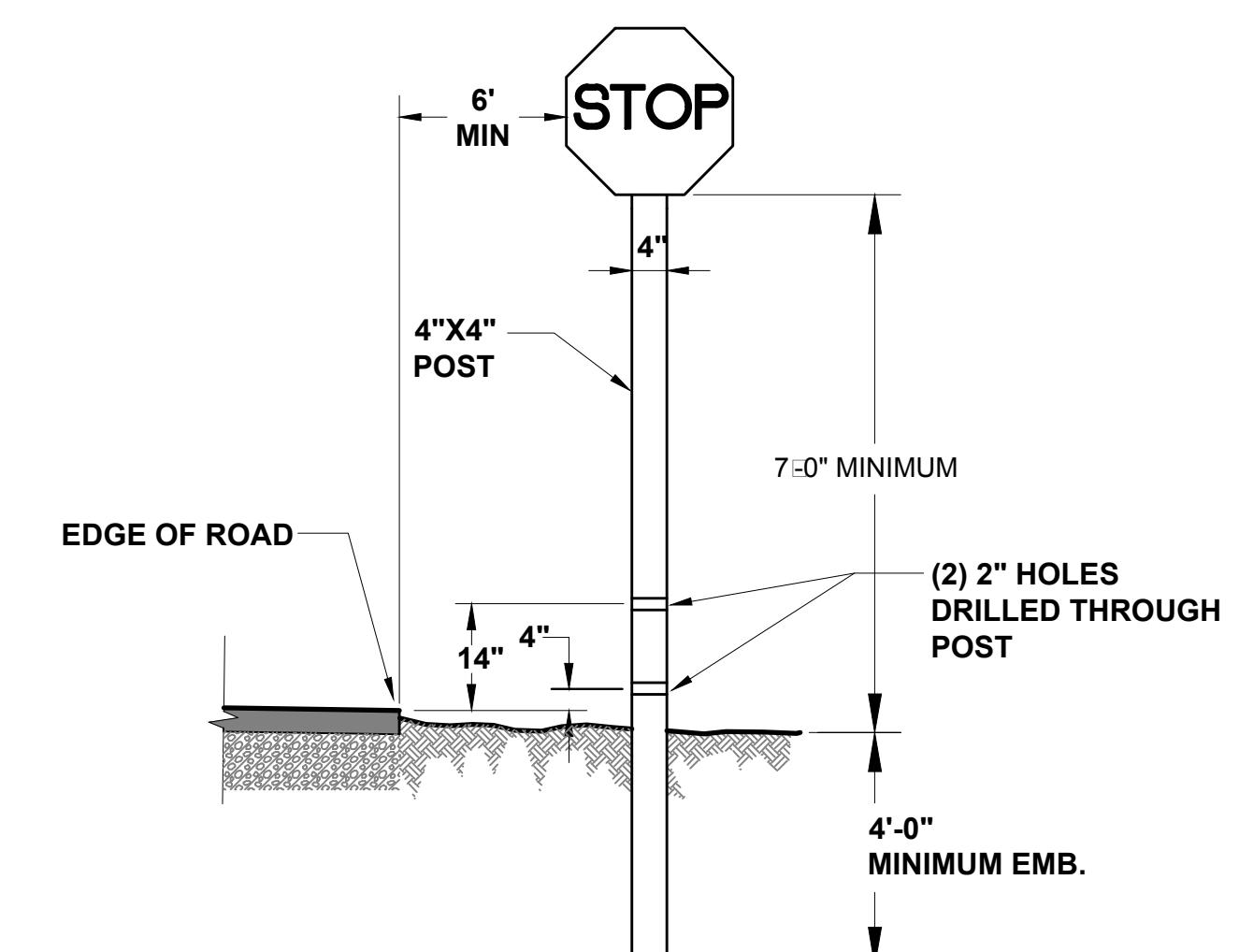
ELEVATION: POINT A SHOULD BE HIGHER THAN POINT B.
FOR SMALL DITCHES USE ONLY 3 STRAW BALES.



ELEVATION: POINT A SHOULD BE HIGHER THAN POINT B.

USE 6" OF 2" CRUSH TO LINE DRAINAGE DITCH

4 C8.2
NOT TO SCALE
DRAINAGE DITCH DETAIL



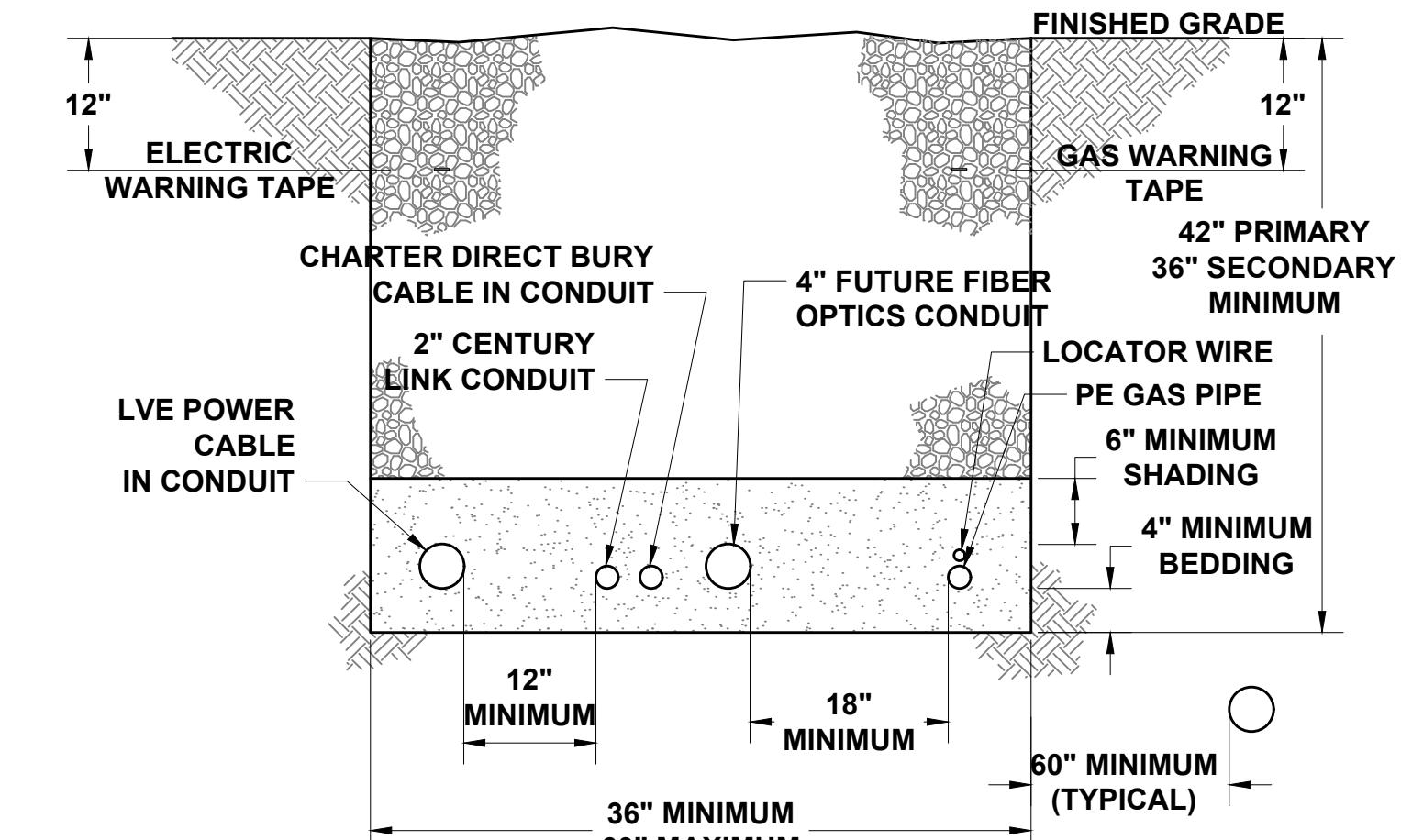
NOTES:

1. HARDWARE TO BE GALVANIZED STEEL OR ALUMINUM ALLOY BOLTS, NUTS AND WASHERS
2. SEE LANDSCAPE PLAN, SHEET L1.01 OF THIS DRAWING SET, FOR DETAILS ON STREET NAME SIGNS.

SIGN TABLE

SIGN	MUTCD CODE	SI. E. INCHES
STOP	R1-1	30X30
NO PARKING ON PAVEMENT	R8-1	24x30
SPEED LIMIT	R2-1	24x30
ROAD NAME SIGN	D3-1	VARIES
OR APPROVED EQUAL,		

5 C8.2
NOT TO SCALE
SIGN DETAIL



NOTE:

1. CONTRACTOR SHALL VERIFY EXISTING UTILITIES TYPE, SIZE, AND DEPTH PRIOR TO ORDERING MATERIALS.
2. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER, SEWER, AND/OR GAS PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" LENGTH OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LEES THAN 24" ON EITHER SIDE OF THE CROSSING.
3. CUSTOMER INSTALLED CONDUIT MUST BE INSPECTED BY LVE, OR OTHER UTILITY COMPANIES, PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
4. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 4" SCREEN (SAND IS RECOMMENDED).
6. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR INSTALLATION.
- 6.1 SOME CONDUIT AND INSTALLATION ARE PROVIDED BY THE UTILITY COMPANY - VERIFY WITH UTILITY AGREEMENTS.
7. SEE ELECTRICAL PLANS AND RISER DIAGRAMS FOR DETAILS ON QUANTITY AND SIZE OF CONDUITS.
8. 4" SPARE CONDUIT SHALL BE PLACED ONLY UNDER ALL ROADWAY CROSSINGS. END CAPS AND 4 REBAR FROM END OF CONDUIT TO 4" BELOW FINISHED GRADE.
9. ADDITIONAL 4" SPARE CONDUIT MAY BE INSTALLED FROM R.O.W. VAULTS TO BUILDING FOR FUTURE CONNECTION OF UNDERGROUND WIRING

6 C8.2
NOT TO SCALE
TYPICAL UTILITY TRENCH

1 FIRE SERVICE WITH WATER SERVICE (C8.3) NOT TO SCALE

2 THRUST BLOCK DETAILS (C8.3) NOT TO SCALE

3 WATER / SEWER CROSSING (C8.3) NOT TO SCALE

4 FIRE HYDRANT DETAIL (C8.3) NOT TO SCALE

5 WATER VALVE ADJUSTMENT DETAIL (C8.3) NOT TO SCALE

6 WATER SYSTEM DETAILS (C8.3) NOT TO SCALE

7 HYDRANT CLEARANCE DIAGRAM (C8.3) NOT TO SCALE

8 MINIMUM DIMENSIONS FOR THRUST BLOCKING

FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
SI E	TEES	PLUGGED	90°	90°	45°	45°	22 1/2°	22 1/2°	11 1/4°	11 1/4°
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	2'-5"	2'-0"	1'-6"	1'-0"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"	3'-3"

NOTES:

1. FIRE SERVICE LINE ENTRY INTO BUILDING OR STRUCTURE SHALL BE SUBJECT TO REGULATIONS OF AND REVIEW BY THE TOWN OF JACKSON BUILDING DEPARTMENT AND FIRE MARSHALL.
2. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

3 WATER / SEWER CROSSING (C8.3) NOT TO SCALE

4 FIRE HYDRANT DETAIL (C8.3) NOT TO SCALE

5 WATER VALVE ADJUSTMENT DETAIL (C8.3) NOT TO SCALE

6 WATER SYSTEM DETAILS (C8.3) NOT TO SCALE

7 HYDRANT CLEARANCE DIAGRAM (C8.3) NOT TO SCALE

8 MINIMUM DIMENSIONS FOR THRUST BLOCKING

FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
SI E	TEES	PLUGGED	90°	90°	45°	45°	22 1/2°	22 1/2°	11 1/4°	11 1/4°
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	2'-5"	2'-0"	1'-6"	1'-0"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"	3'-3"

NOTES:

1. FITTINGS TO BE SEPARATED FROM BLOCKS WITH AN APPROVED BOND BREAKER, SUCH AS POLY WRAP.
2. ALL BLOCKS TO BEAR AGAINST UNDISTURBED SOIL MATERIAL.
3. DESIGN IS BASED UPON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
4. SIZE OF BLOCK SHALL BE A MINIMUM OF 6" THICK.
5. COAT ALL EXPOSED RODS WITH BITUMINOUS COMPOUND "KOPPERS" BITUMINASTIC NO. 50 OR APPROVED EQUAL.

VERTICAL ANCHOR BLOCK SIZING TABLE
CONCRETE VOLUME REQUIRED (CU. FT.)(150 PSI)

SI E	BENDS		
	45°	22 1/2°	11 1/4°
3"	8.3	4.4	2.1
4"	14.7	7.5	3.9
6"	33.0	17.0	8.4
8"	58.5	29.7	14.9
10"	91.2	46.5	23.3
12"	131.7	67.5	33.3

NOTES:

1. THE SANITARY SEWER OR STORM SEWER JOINTS SHALL BE CONSTRUCTED OF MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION (SDR 26 OR C-900) AND SHALL BE TESTED FOR WATER TIGHTNESS BE SEWER LINE METHODS OR.
2. THE SANITARY SEWER, STORM SEWER OR WATER MAIN SHALL BE PLACED IN A SEPARATE CASING PIPE EXTENDING A MINIMUM OF NINE (9) FEET EACH SIDE OF THE CROSSING OR.
3. THE SANITARY SEWER SHALL BE ENCASED IN FLOWABLE FILL A MINIMUM OF NINE (9) FEET EACH SIDE OF CROSSING.
4. WATER MAINS PASSING UNDER SEWER LINES SHALL IN ADDITION TO THE ABOVE REQUIREMENTS, BE PROTECTED BY PROVIDING FLOWABLE FILL BETWEEN WATER AND SEWER LINES FOR ADDITIONAL SUPPORT.
5. FLOWABLE FILL SHALL BEAR ON UNDISTURBED SOIL AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 30 PSI TO 60 PSI. REFERENCE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02510. (REF. WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS)

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

NOTES:

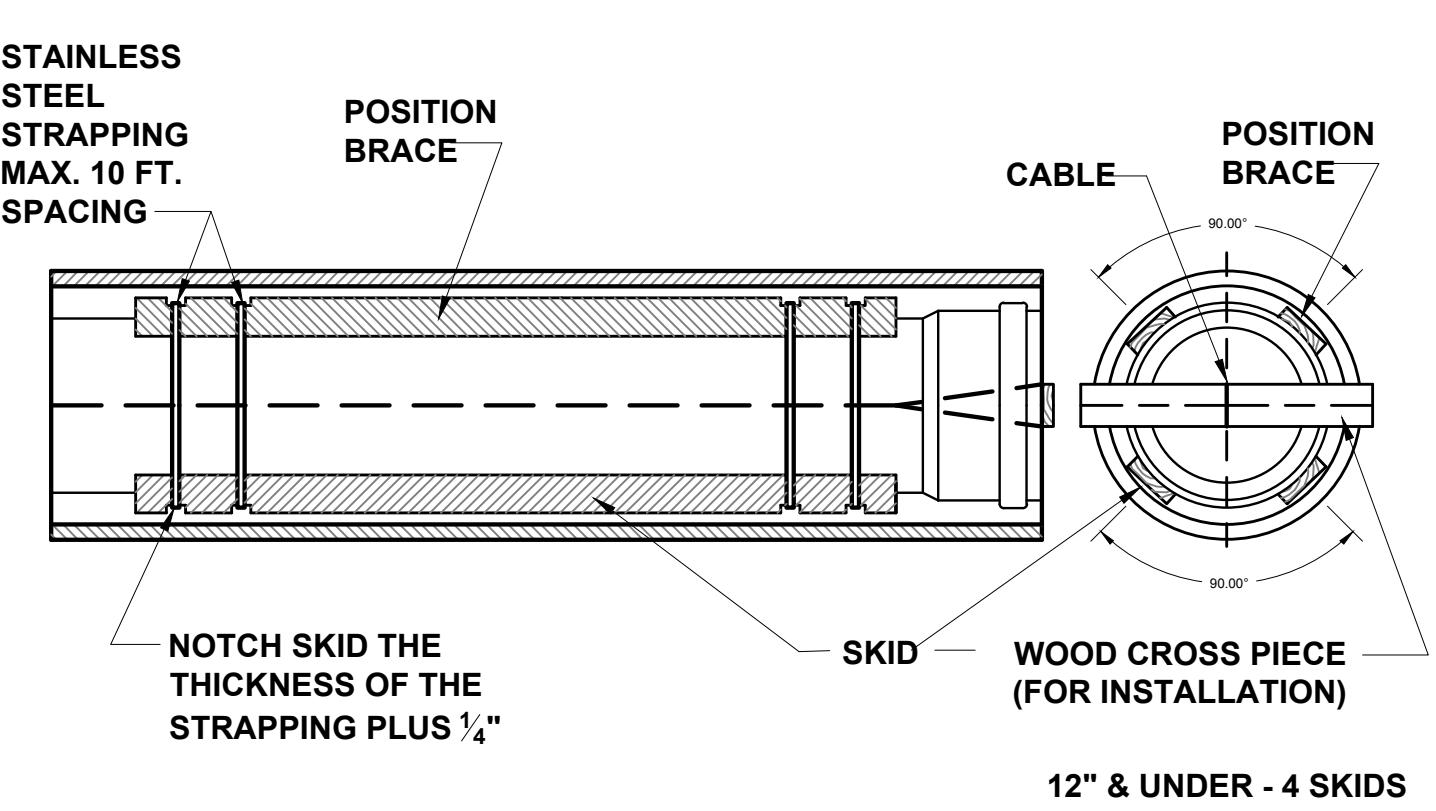
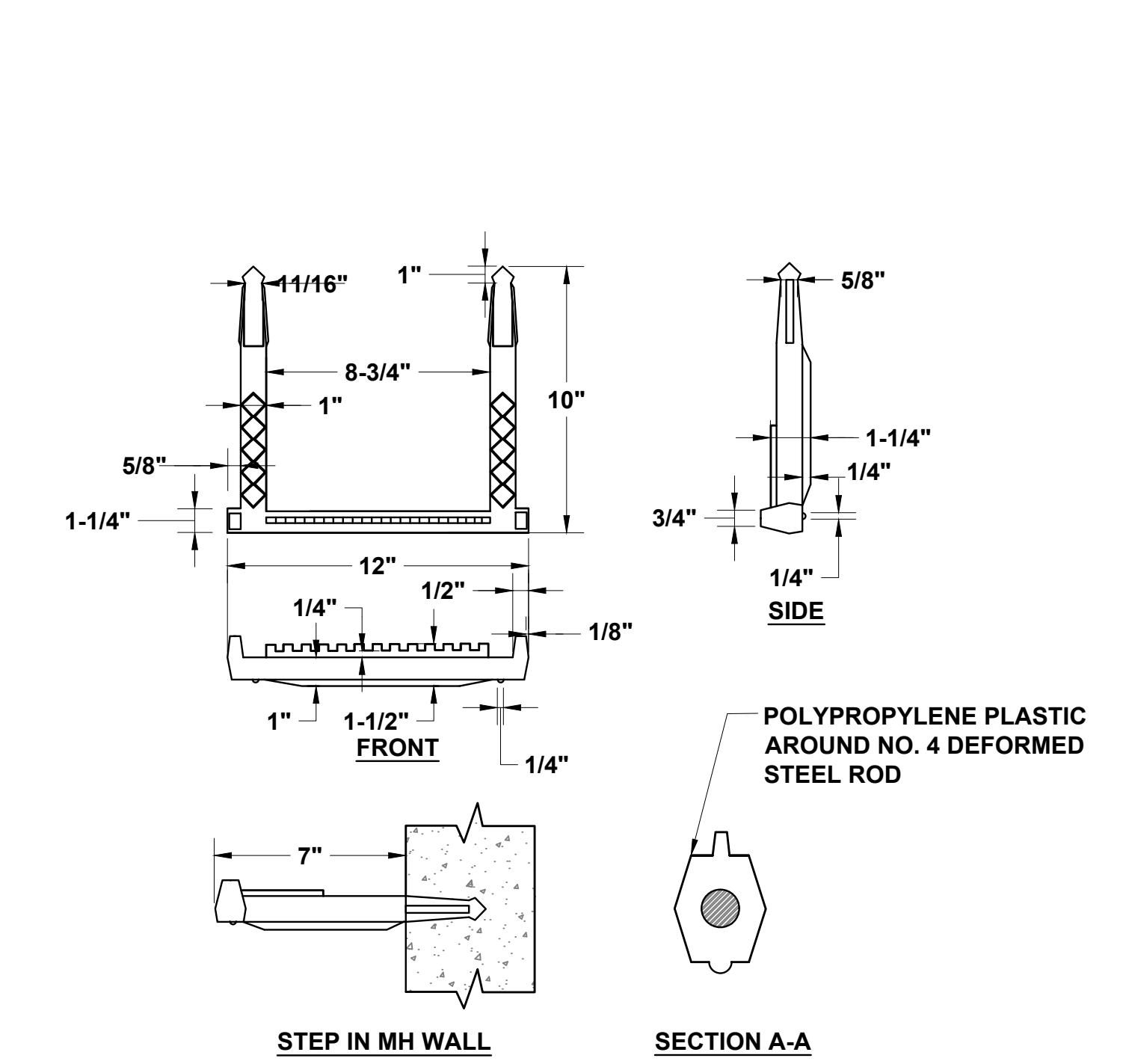
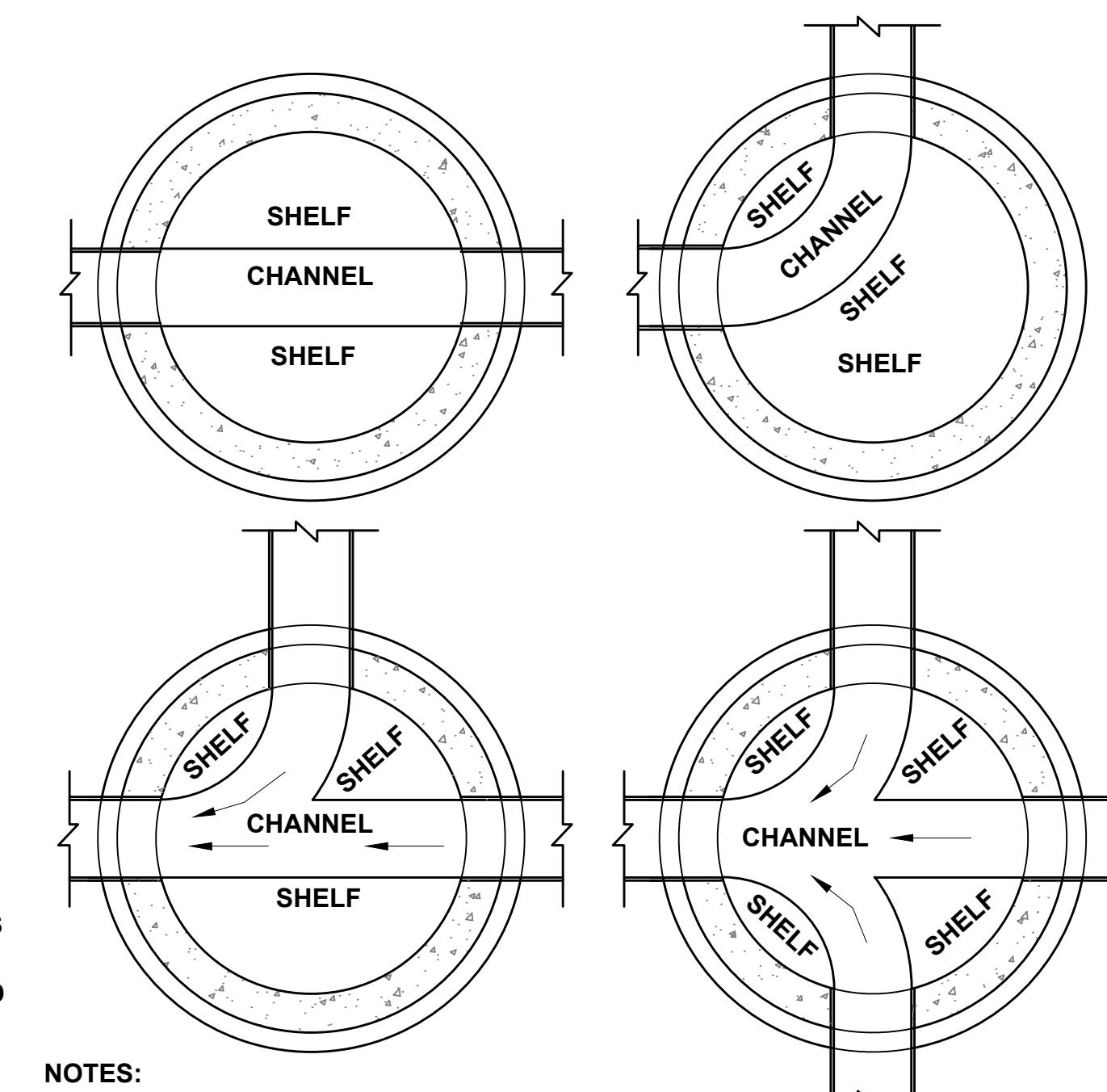
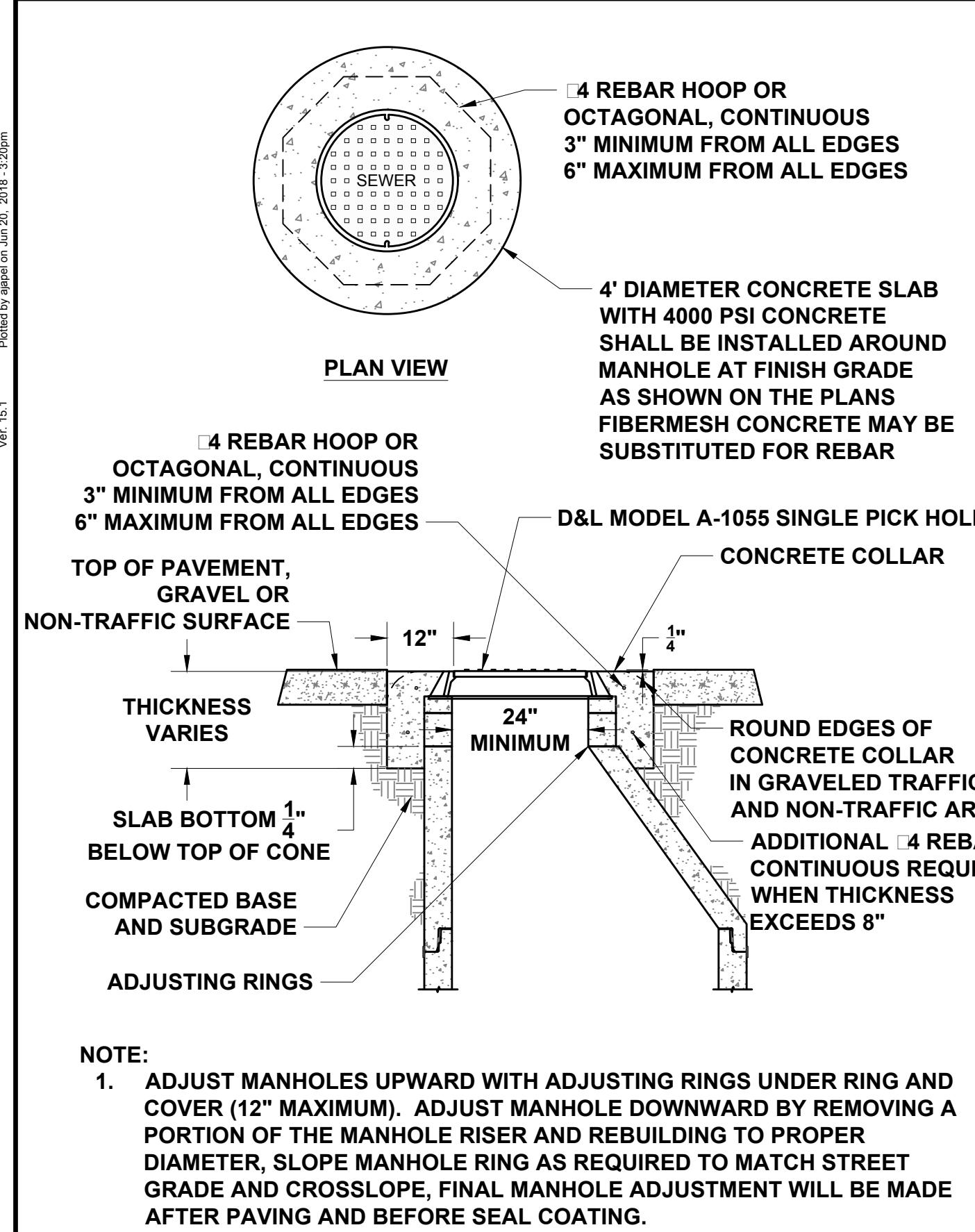
1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

NOTES:

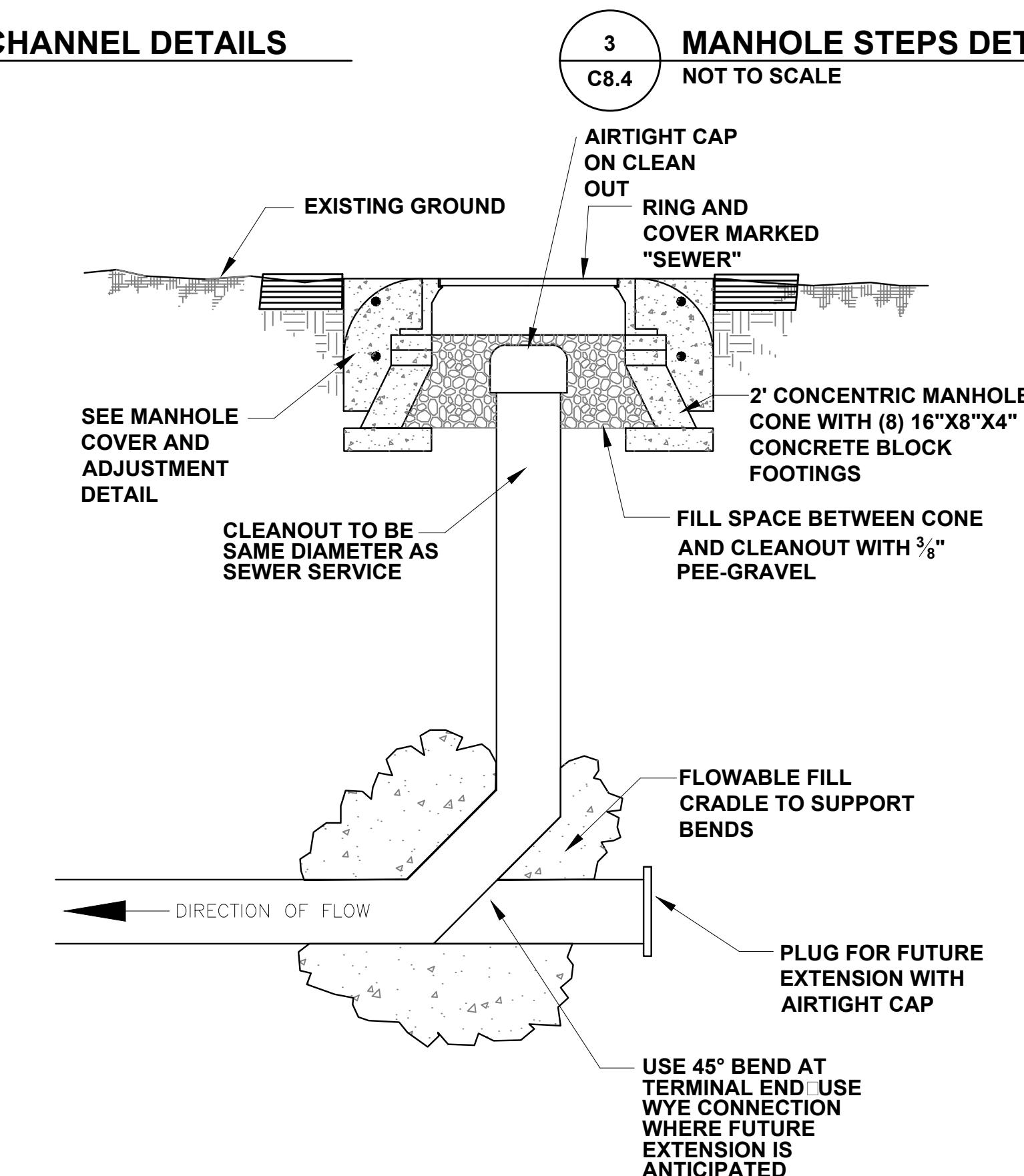
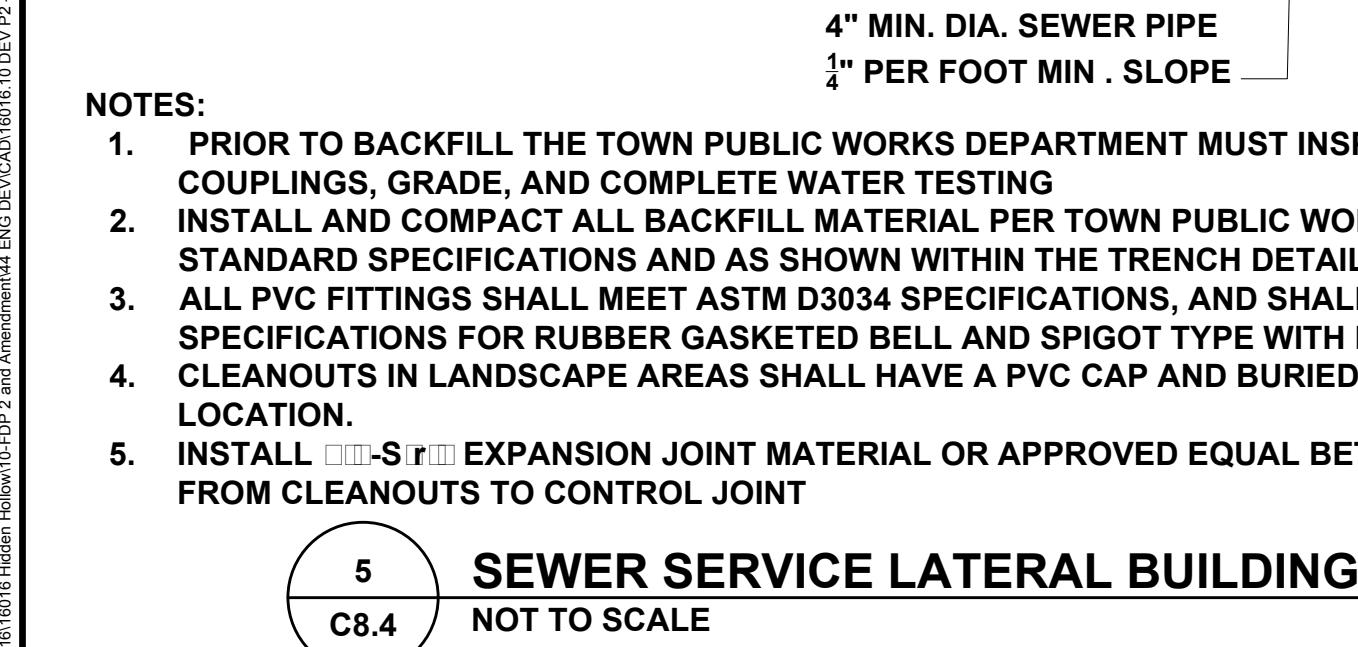
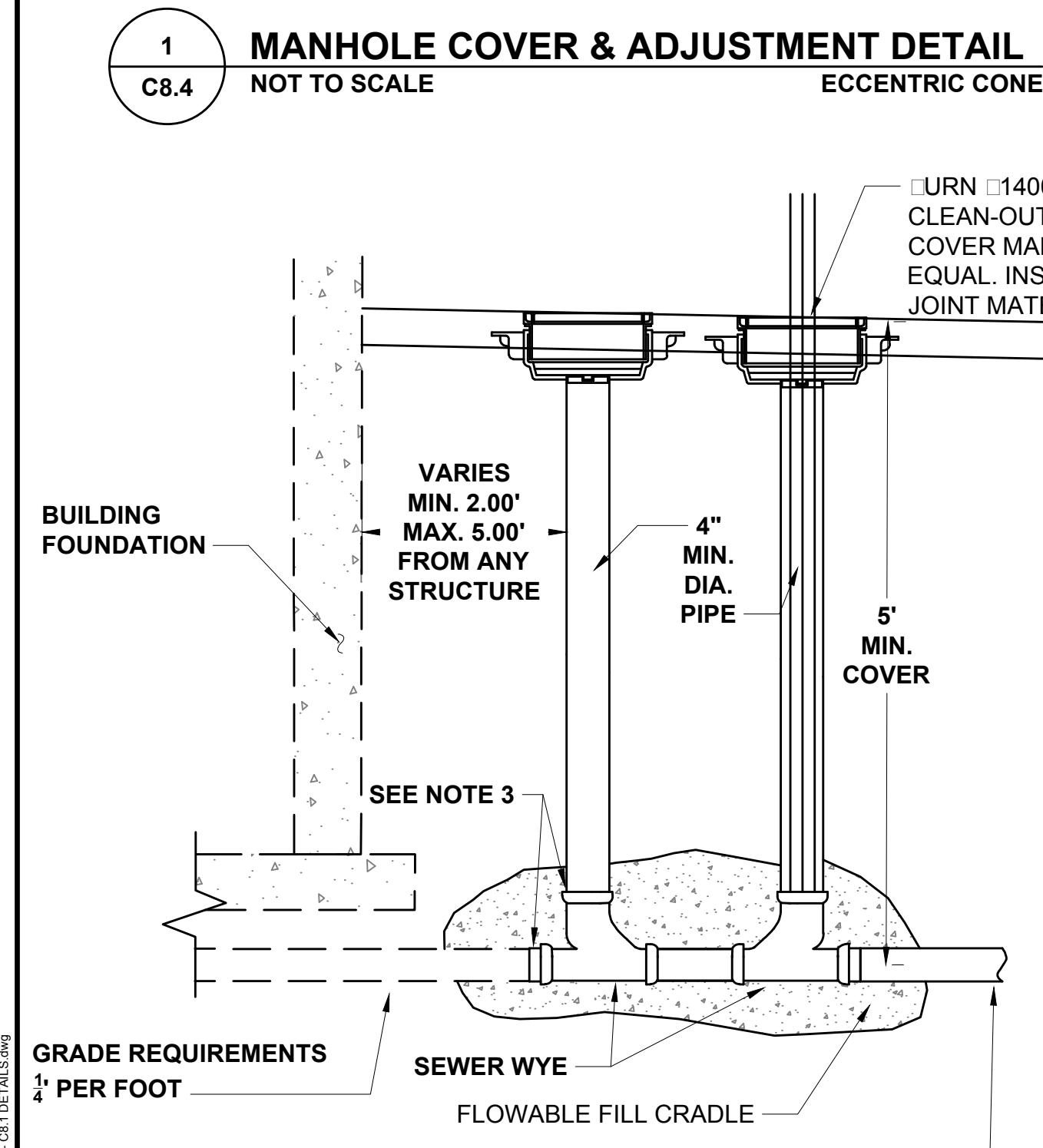
1. HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
2. HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
3. THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
4. ALL BURIED FITTINGS SHALL HAVE STAINLESS OR CORROSIVE RESISTANT BOLTS AND BE POLY WRAPPED.

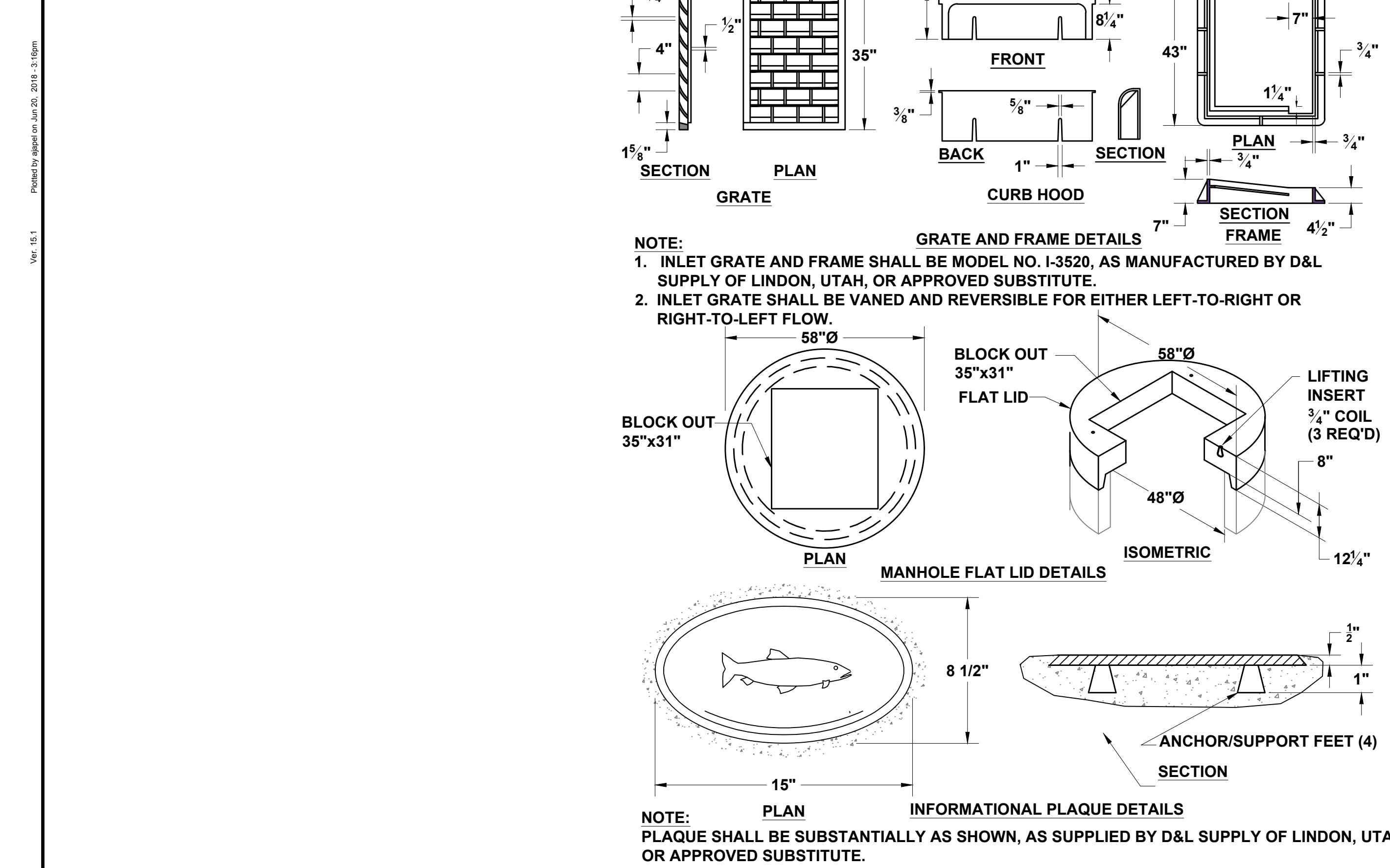
NOTES:

1. ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVES TO FINAL GRADE.
2. WHEN CONCRETE COLLAR IS POURED ABUTTING CONCRETE PAVEMENT, DEPTH SHOULD EQUAL THAT OF PAVEMENT SECTION OR 6" WHICH EVER IS GREATER.

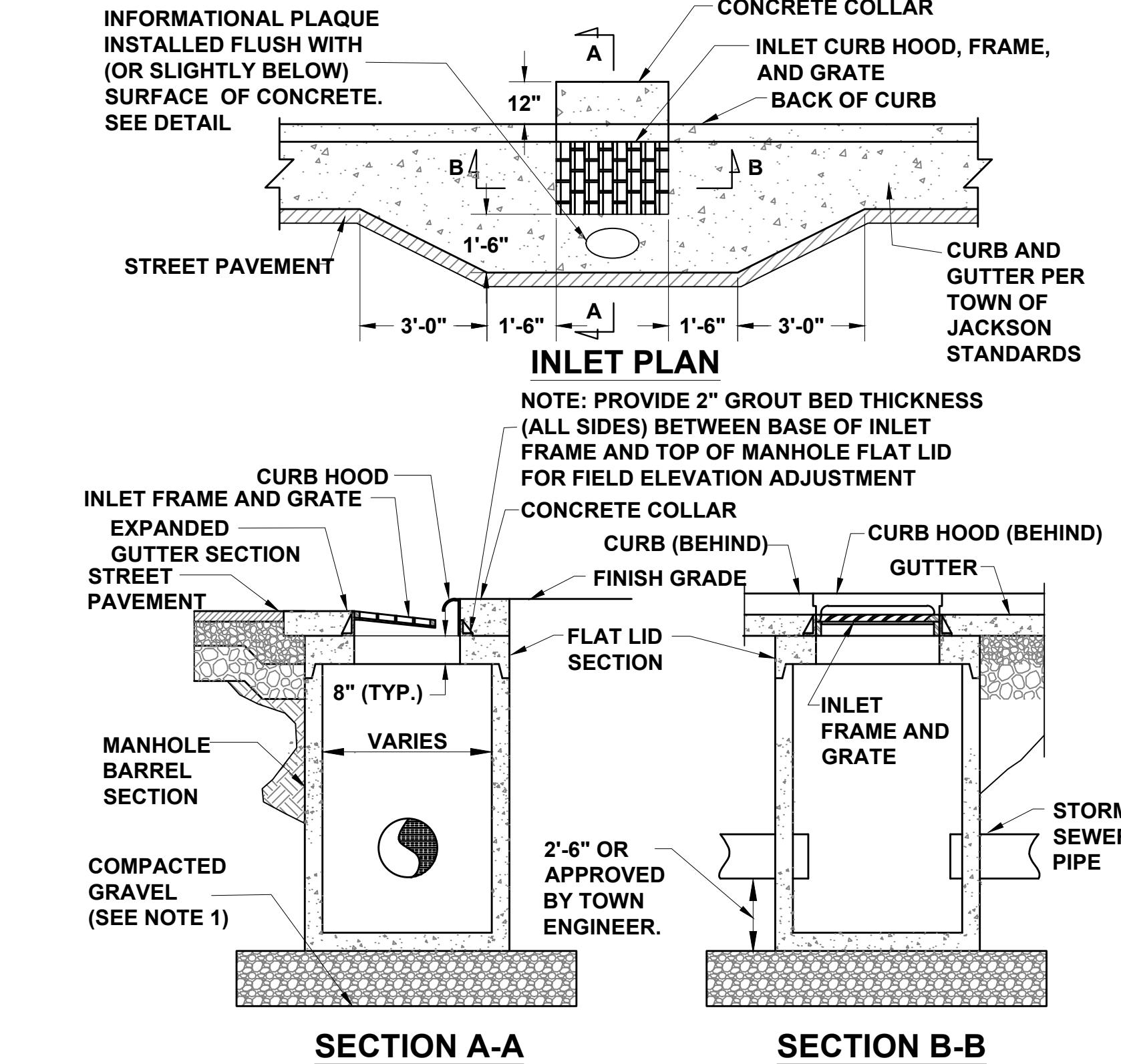


NOMINAL PIPE SIZE (DIA. IN INCHES)	CASING SIZE (INSIDE DIA. IN INCHES)
4	8-10
6	10-12
8	14-16
10	16-18
12	18-20
15	22-24

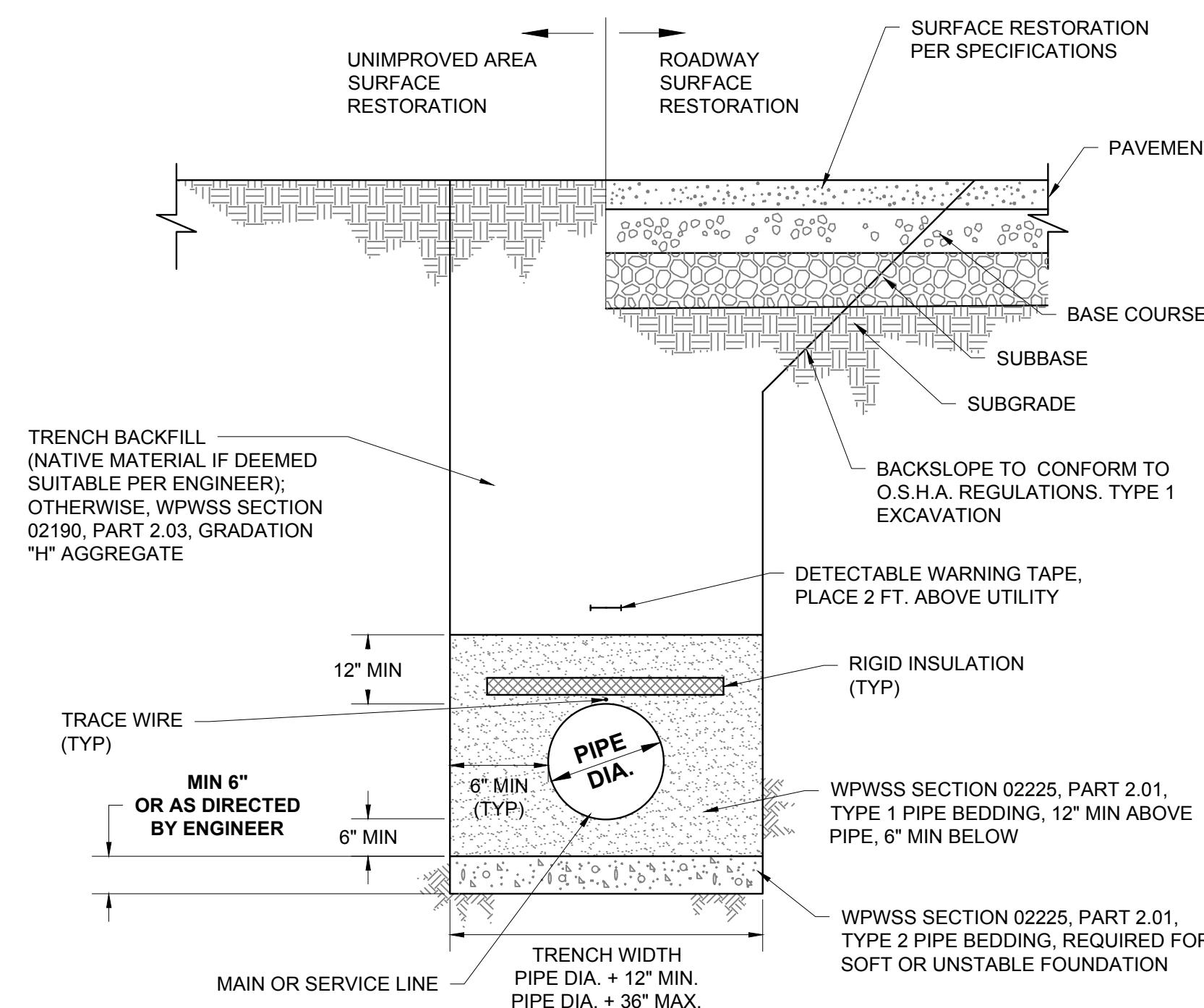




1 STORMWATER GRATE
C8.5 NOT TO SCALE



2 STORMWATER INLET DETAILS
C8.5 NOT TO SCALE



3 TYPICAL SEWER/WATER/STORM/GEOTHERMAL TRENCH DETAIL
C8.5 NOT TO SCALE



LEGEND

- A** SNOW STORAGE / DETENTION AREA
- B** EXISTING WETLANDS, PRESERVED
- C** PROPOSED WETLAND MITIGATION AREA
- D** PEDESTRIAN SIDEWALK
- E** TRASH RECEPTACLES
- F** 15' OVERHEAD POWER LINE EASEMENT
- G** 50' ACCESS & UTILITY EASEMENT
- H** PAVILION
- I** POTENTIAL KING STREET CONNECTION
- J** POTENTIAL PATHWAY CONNECTION - REQUIRES CURB-CUT & REMOVAL OF 2 PARKING SPACES
- K** 10' MULTI-USE PATH
- L** PROPOSED CONNECTION POINT TO FUTURE PATHWAY SYSTEM
- M** PET WALKING AREA w/ MUTT-MITT STATION
- N** PEDESTRIAN CONNECTION - REQUIRES CURB-CUT, REMOVAL OF 2 PARKING SPACES, & CROSSWALK STRIPING
- SF** SINGLE FAMILY UNIT
- TH** TOWNSHOUSE
- MF** MULTI-FAMILY/CONDO
- PF** PEDESTRIAN PATH
- 10' MULTI-USE PATH**



PLANTING & IRRIGATION NOTES

- Refer to Civil Engineer's utility and grading plans. If site conditions vary from what is shown, contact the Landscape Architect and Civil Engineer for direction before proceeding.
- Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site conditions, contact the Landscape Architect for direction before proceeding.
- Excavation near underground utilities shall be done carefully and, if necessary, by hand. The Contractor is fully responsible for this work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the Owner.
- Obtain approval of finish grading from Landscape Architect prior to installing any plant material. The finish grades of planting areas and lawns shall be $\frac{1}{2}$ inches below adjacent edging or paving. Confirm mulch depth and whether lawns are to be seed or sod.
- Confirm all plant counts and square footages. Quantities shown are provided as Owner information only. If quantities indicated in the plant list differ from symbols shown on the plans, then the plans shall govern the plant count.
- Contractor to verify suitability of native or imported topsoil. Suitable topsoil shall be free of roots, plants, sod, stones greater than $\frac{1}{2}$ in any dimension, clay lumps, and other extraneous materials detrimental to plant growth.
- For areas to receive sod or seed and/or to produce planting soil for areas indicated on details, amend suitable topsoil with organic compost to a ratio of 1 part compost to 4 parts topsoil by volume.
- Compost shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5 to 8.0; moisture content 35 to 55 percent by weight, with organic matter content 50 to 60 percent of dry weight with 16-16-8 nutrient composition. If compost is not 16-16-8 composition, add commercial fertilizer in necessary quantities to meet 16-16-8 nutrient composition. Source: Glacier Gold Compost or approved equal.
- Contractor to supplement existing native surface topsoil as necessary. Obtain supplemental topsoil displaced from naturally well-drained construction or mining sites where topsoil occurs at least 4 inches deep. Do not obtain from agricultural lands, bogs, or marshes.
- Compost mulch shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5-8.0; moisture content 35 to 55 percent by weight; 100 percent passing through 1-inch sieve; soluble salt content of 2 to 5 decisiemens/m³ not to exceed 0.5 percent inert contaminants and free of substances toxic to planting, organic matter content 50 to 60 percent of dry weight. Source: Glacier Gold Compost or approved equal.
- The Landscape Architect shall review all plant materials at the source or nursery or by photographs provided by Contractor prior to shipment. The Landscape Architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site.
- Carefully align and space plant materials as indicated in these notes, drawings, and details. The final location of plant materials is to be approved by the Landscape Architect on site prior to installation. The Contractor is responsible for staking or marking the location of all plant materials on site for review by the Landscape Architect. The Landscape Architect reserves the right to adjust the exact locations of plants on site.
- All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
- All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller. All trees, shrubs, and perennials shall be drip irrigated and all turf areas shall be irrigated with a spray or rotor system. Irrigation system shall be design-build by Contractor. Contractor shall provide an irrigation shop-drawing for review by Landscape Architect before proceeding. Contractor shall demonstrate full system coverage prior to acceptance and before plant material installation. Contractor shall provide a reproducible as-built drawing of installed irrigation system at conclusion of project.
- The irrigation system shall be operational prior to plant installation or temporary irrigation measures shall be provided in the interim. The method of temporary irrigation shall be approved by the Landscape Architect prior to plant material installation.
- No pruning of existing or newly planted trees or shrubs shall be allowed without the direction and approval of the Landscape Architect.
- For ball & burlap trees, remove burlap from top $\frac{1}{2}$ of rootball and entire wire basket as tree pits are backfilled.
- All installed trees shall be staked. The Landscape Architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
- During construction and prior to final acceptance, Contractor shall observe the project site for the growth of noxious weeds. Contractor shall report the growth of noxious weeds to the Teton County Weed and Pest District Office. Contractor and Owner shall implement a weed control program to control noxious weeds.
- All disturbed areas not receiving other planting treatment shall be seeded with native seed mix as specified on these plans. Mix as follows:

Species	Rate (LBS/Acre)	Percent
<i>Deschampsia cespitosa</i> / Tufted Hairgrass	7.2	36
<i>Phleum pratense</i> / Alpine Timothy	7.2	36
<i>Calystegia sepium</i> / Bindweed	1.0	5
<i>Balsamorhiza macrophylla</i> / Cutleaf Balsamroot	1.0	5
<i>Iris missouriensis</i> / Rocky Mountain Iris	1.4	7
<i>Linum lewisii</i> var. <i>lewisii</i> / Lewis Flax	1.0	5
<i>Solidago canadensis</i> / Canada Goldenrod	0.6	3
<i>Mimulus luteus</i> / Manyflowered Monkeyflower	0.6	3
TOTAL	20.0	100

- Apply 16-16-8 fertilizer at the rate of 15 lbs per 1,000 SF and till into top 4" of areas to receive sod or seed.
- Planting period for seed and sod shall be immediately after finish grading and irrigation installation are accepted but no later than September 30 for sod. Seed shall be installed after September 30 or no later than June 1.

PLANT UNIT SUMMARY

HIDDEN HOLLOW PLANT UNIT SUMMARY, FULL BUILDOUT - ALL PHASES

Plant Unit Requirements:	
1 Plant Unit per Dwelling Unit (171 Dwelling Units Proposed)	= 171 Plant Units
1 Plant Unit per 12 Parking Spaces (81 Surface Parking Spaces Proposed)	= 7 Plant Units
TOTAL PLANT UNIT REQUIREMENT	
= 178 PLANT UNITS	

Plant Unit Breakdown of Submissions:

Previously Submitted and Approved:	
Total Plant Units previously proposed in Phase 1a FDP / GEC2	= 6 Plant Units
Total Plant Units previously proposed Phase 1b FDP (TH Units 1-3 & 16-20)	= 8 Plant Units
Total Plant Units previously proposed Multi-Family Buildings 4&5 Building Permit = 36 Plant Units	
This Submission:	
Total Plant Units currently proposed in FDP2 (see detail breakdown to right)	= 108 Plant Units
FUTURE SUBMISSIONS:	
Total Future Plant Units proposed in Single Family Lots (at B.P. submission)	= 20 Plant Units
TOTAL PLANT UNITS PROPOSED, ALL PHASES	
= 178 Plant Units	

HIDDEN HOLLOW PLANT UNIT SUMMARY, FDP2

95 Dwelling Units Proposed:	
(55 Units in Multi-Family Buildings 2&3, 28 units in Multi-Family Building 1 and 12 Townhouse Units)	
15 Surface Parking Spaces Proposed	
TOTAL PLANT UNIT REQUIREMENT	
= 178 PLANT UNITS	

FDP2 Plant Unit Requirements:

I Plant Unit Required per Dwelling Unit = 95 Plant Units	
I Plant Unit Required per 12 Parking Spaces = 2 Plant Units	

FDP2 Plant Unit Requirements:

Total Plant Units proposed Multi-Family Buildings 2&3 = 61 Plant Units	
Total Plant Units proposed Multi-Family Building 1 = 23 Plant Units	
Total Plant Units proposed Townhouse Units 4-15 = 24 Plant Units	

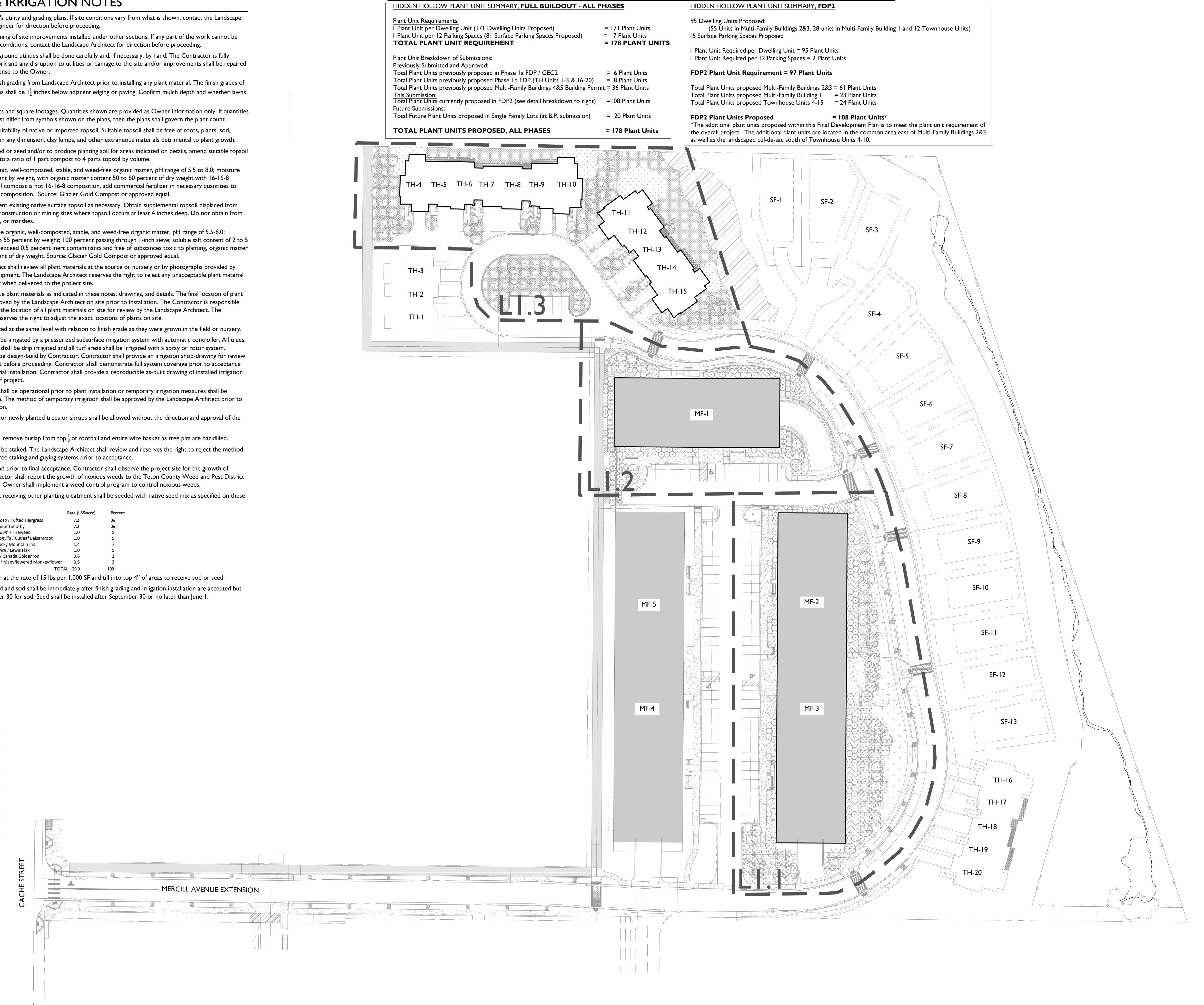
FDP2 Plant Unit Requirements:

Total Future Plant Units Proposed = 108 Plant Units*	
*The additional plant units proposed within this Final Development Plan is to meet the plant unit requirement of the overall project. The additional plant units are located in the common area east of Multi-Family Buildings 2&3 as well as the landscaped cul-de-sac south of Townhouse Units 4-10.	

HIDDEN HOLLOW
MERCILL AVENUE AT HIDDEN HOLLOW
FDP2
60 ROSENCRANS
JACKSON, WYOMING

LEGEND

PROPERTY BOUNDARY	
ADJACENT PROPERTY BOUNDARY	
SINGLE FAMILY BUILDING ENVELOPE	
TOP OF CURB	
SIDEWALK	
BUILDING FOOTPRINT (THIS APPLICATION, FDP2)	



HERSHBERGER DESIGN

Landscape Architecture · Environmental Planning · Urban Design

560 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.739.1001 F:307.734.8322

Issue Date:

06.25.2018 FDP2 SUBMISSION

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

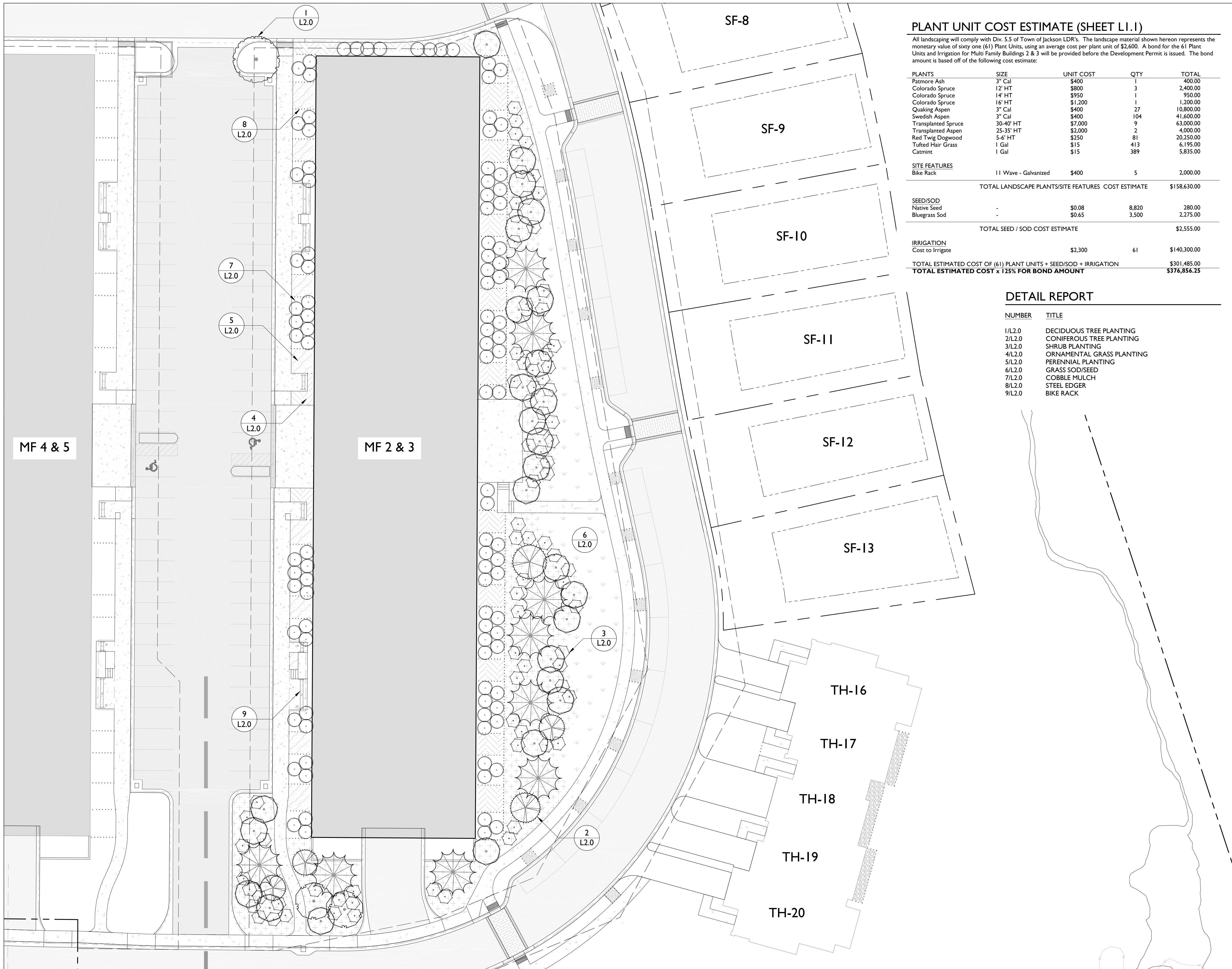
.

.

.

.

.



HIDDEN HOLLOW

MERCILL AVENUE AT HIDDEN HOLLOW

FDP2

60 ROSECRANS

JACKSON, WYOMING

LEGEND

-----	PROPERTY BOUNDARY / LOT LINES
-----	SINGLE FAMILY LOT BOUNDARY
-----	SINGLE FAMILY BUILDING ENVELOPE
-----	TOP OF CURB
-----	SIDEWALK / PATHWAY
.....	STEEL EDDER

PLANT SCHEDULE (SHEET LI.1)

TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Ash	B & B	3"	1
	Picea pungens / Spruce	B & B	12'	3
	Picea pungens / Spruce	B & B	14'	1
	Populus tremuloides / Quaking Aspen	B & B	3"	27
	Populus tremuloides erecta / Swedish Aspen	B & B	3"	104
	Colorado Spruce (Transplanted from on-site)	Spade	30-40'	9
	Quaking Aspen (Transplanted from on-site)	Spade	25-35'	2
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Cornus stolonifera / Red Twig Dogwood	5'-6' HT	81	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Deschampsia cespitosa / Tufted Hair Grass	1 gal.	24" o.c.	413
	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	1 gal.	18" o.c.	389
	Bluegrass Sod			3,500 sf
Native Seed		Rate (LBS/acre)	Percent	
Deschampsia cespitosa / Tufted Hairgrass	7.2	36		
Phleum pratense / Alpine Timothy	7.2	36		
Chamomilla angustifolium / Fireweed	1.0	5		
Balsamorhiza macrophylla / Cutleaf Balsamroot	1.0	5		
Iris pseudacorus / Yellow Iris	1.4	7		
Urtica dioica var. gracilis / Lewis Plant	1.0	5		
Solidago canadensis / Canada Goldenrod	0.6	3		
Mimulus floridulus / Manflowered Monkeyflower	0.6	3		
		TOTAL 200	100	

HERSHBERGER DESIGN

Landscape Architecture • Environmental Planning • Urban Design

560 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.739.1001 F:307.734.8322

Issue Date:

- 06.25.2018 FDP2 SUBMISSION

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

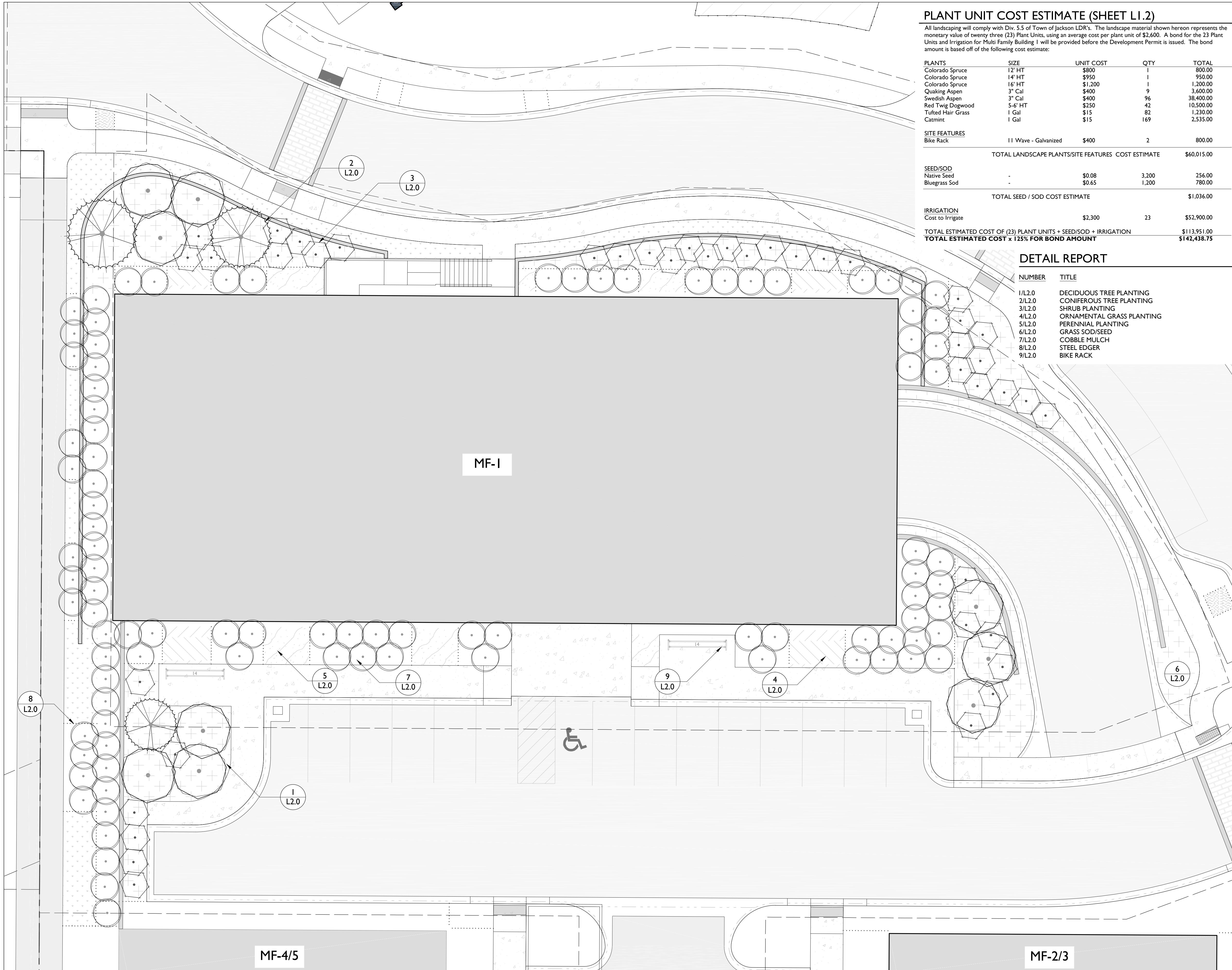
.

.

.

.

.



HIDDEN HOLLOW

MERCILL AVENUE AT HIDDEN HOLLOW

FDP2

60 ROSENCRANS
JACKSON, WYOMING

LEGEND

-----	PROPERTY BOUNDARY
-----	SINGLE FAMILY LOT BOUNDARY
-----	SINGLE FAMILY BUILDING ENVELOPE
-----	TOP OF CURB
-----	SIDEWALK / PATHWAY
.....	STEEL EDGER

PLANT SCHEDULE (SHEET L1.2)

TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Picea pungens / Spruce	B & B	12'	1
	Picea pungens / Spruce	B & B	14'	1
	Picea pungens / Spruce	B & B	16'	1
	Populus tremuloides / Quaking Aspen	B & B	3"	9
	Populus tremuloides erecta / Swedish Aspen	B & B	3"	96
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Cornus stolonifera / Red Twig Dogwood	5'-6' HT	42	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Deschampsia cespitosa / Tufted Hair Grass	1 gal.	24" o.c.	82
	Nepta x faassenii 'Walkers Low' / Walkers Low Catmint	1 gal.	18" o.c.	169
	Bluegrass Sod	Percent		1,200 sf
Native Seed		Rate (LBS/acre)	Percent	
	Deschampsia cespitosa / Tufted Hair Grass	7.2	36	
	Phleum pratense / Alpine Timothy	7.2	36	
	Chamerion angustifolium / Fireweed	1.0	5	
	Balsamorhiza macrophylla / Cutleaf Balsamroot	1.0	5	
	Iris missouriensis / Rocky Mountain Iris	1.4	7	
	Linum lewisii var. lewisi / Lewis Flax	1.0	5	
	Solidago canadensis / Canada Goldenrod	0.6	3	
	Mimulus floridulus / Manyflowered Monkeyflower	0.6	3	
		TOTAL: 20.0		100

HERSHBERGER DESIGN

Landscape Architecture · Environmental Planning · Urban Design

560 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.734.8322

Issue Date:

06.25.2018 FDP2 SUBMISSION

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

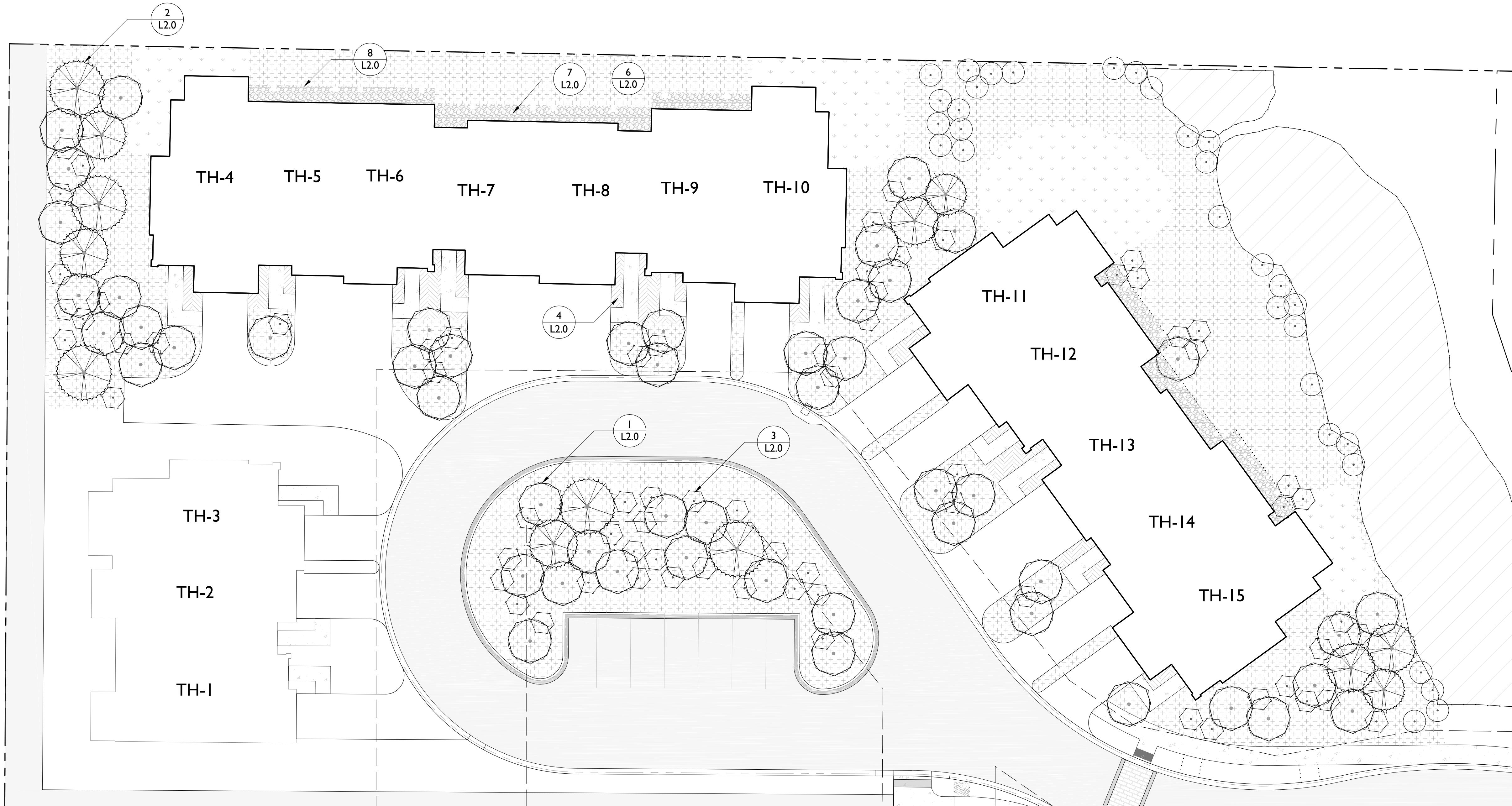
HIDDEN HOLLOW
MERCILL AVENUE AT HIDDEN HOLLOW
FDP2
60 ROSECRANS
JACKSON, WYOMING

LEGEND

—	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY BOUNDARY
—	EASEMENT
—	TOP OF CURB / DRIVEWAY
—	SIDEWALK / PATHWAY
—	STEEL EDGER
—	SITE WALL

PLANT SCHEDULE (SHEET LI.3)

TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	Picea pungens / Spruce	B & B	12'	2
	Picea pungens / Spruce	B & B	14'	6
	Picea pungens / Spruce	B & B	16'	5
	Populus tremuloides / Quaking Aspen	B & B	3"	51
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Cornus stolonifera / Red Twig Dogwood	5'-6' HT	71	
	Salix xspecies / Native Willow	5'-6' HT	31	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Deschampsia cespitosa / Tufted Hair Grass	1 gal.	24" o.c.	214
	Bluegrass Sod			2,900 sf
Native Seed		Rate (LBS/acre)	Percent	
	<i>Deschampsia cespitosa</i> / Tufted Hairgrass	7.2	36	
	<i>Phleum pratense</i> / Alpine Timothy	7.2	36	
	<i>Chamerion angustifolium</i> / Fireweed	1.0	5	
	<i>Balsamorhiza macrophylla</i> / Cutleaf Balsamroot	1.0	5	
	<i>Iris missouriensis</i> / Rocky Mountain Iris	1.4	7	
	<i>Lium lewisi</i> var. <i>lewisi</i> / Lewis Flax	1.0	5	
	<i>Solidago canadensis</i> / Canada Goldenrod	0.0	3	
	<i>Mimulus floribundus</i> / Manyflowered Monkeyflower	0.6	3	
		TOTAL	20.0	100



PLANT UNIT COST ESTIMATE (SHEET LI.3)

All landscaping will comply with Div. 55 of Town of Jackson LDR's. The landscape material shown hereon represents the monetary value of twenty four (24) Plant Units, using an average cost per plant unit of \$2,600. A bond for the 24 Plant Units and Irrigation for Townhouse Units 4-15 will be provided before the Development Permit is issued. The bond amount is based off of the following cost estimate:

PLANTS	SIZE	UNIT COST	QTY	TOTAL
Colorado Spruce	12' HT	\$800	2	\$1,600.00
Colorado Spruce	14' HT	\$950	6	\$5,700.00
Colorado Spruce	16' HT	\$1,200	5	\$6,000.00
Quaking Aspen	3" Cal	\$400	51	\$20,400.00
Red Twig Dogwood	5'-6' HT	\$250	71	\$17,750.00
Native Willow	5'-6' HT	\$250	31	\$7,750.00
Tufted Hair Grass	1 Gal	\$15	214	\$3,210.00

TOTAL LANDSCAPE PLANT COST ESTIMATE \$62,410.00

SEED/SOD				
Native Seed	-	\$0.08	18,700	1,496.00

TOTAL SEED / SOD COST ESTIMATE \$3,381.00

IRRIGATION				
Cost to Irrigate	\$2,300	24	\$55,200.00	

TOTAL ESTIMATED COST OF (24) PLANT UNITS + SEED/SOD + IRRIGATION \$120,991.00

TOTAL ESTIMATED COST x 125% FOR BOND AMOUNT \$151,238.75

DETAIL REPORT

NUMBER	TITLE
1/L2.0	DECIDUOUS TREE PLANTING
2/L2.0	CONIFEROUS TREE PLANTING
3/L2.0	SHRUB PLANTING
4/L2.0	ORNAMENTAL GRASS PLANTING
5/L2.0	PERENNIAL PLANTING
6/L2.0	GRASS SOD/SEED
7/L2.0	COBBLE MULCH
8/L2.0	STEEL EDGER
9/L2.0	BIKE RACK



HERSHBERGER DESIGN

Landscape Architecture · Environmental Planning · Urban Design
360 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.734.8322

Issue Date:

06.25.2018 FDP2 SUBMISSION

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

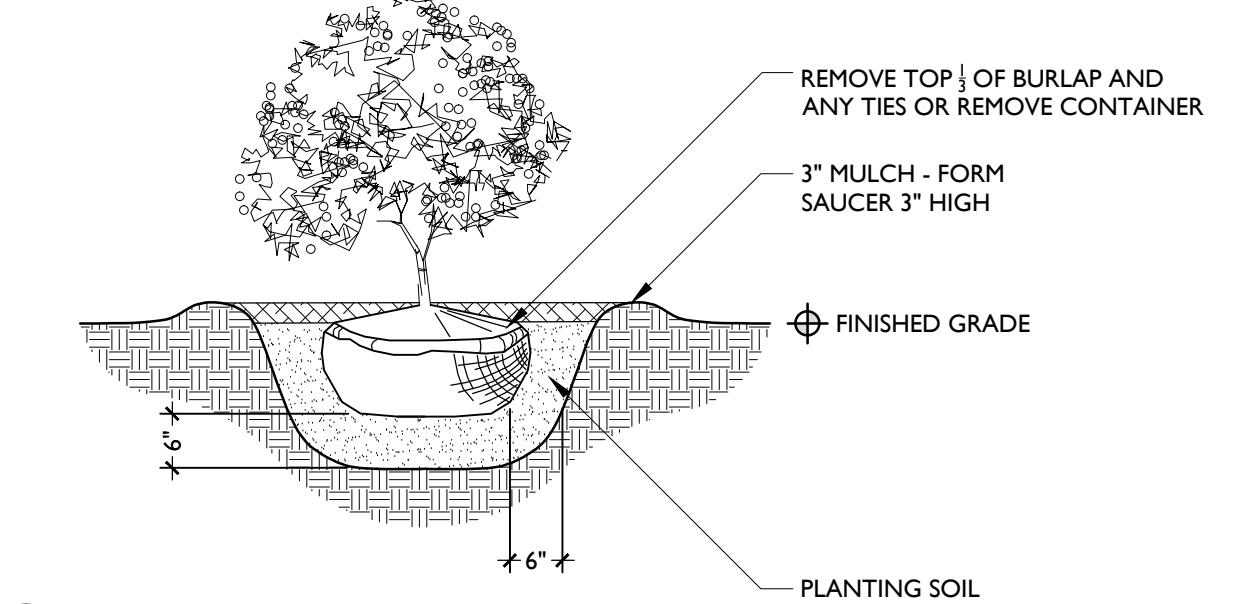
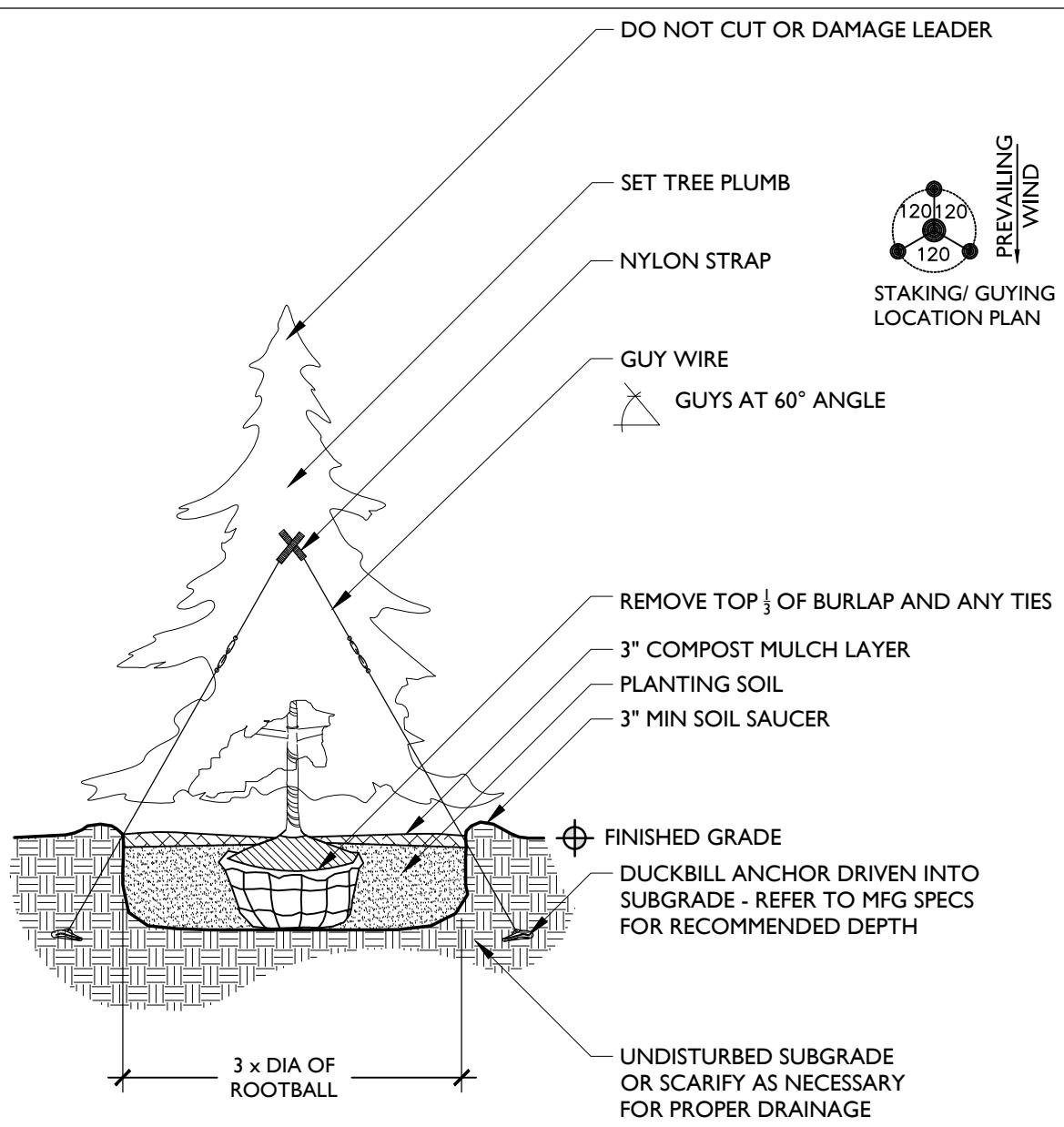
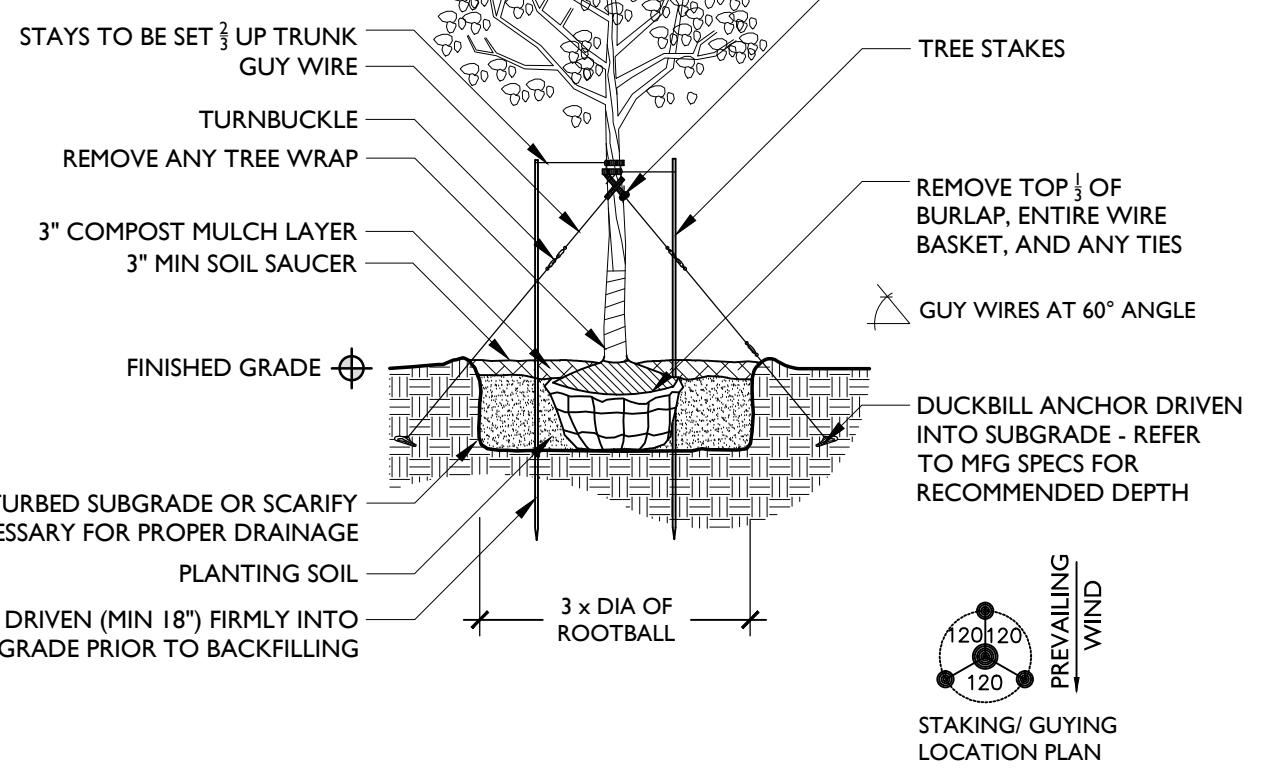
.

.

.

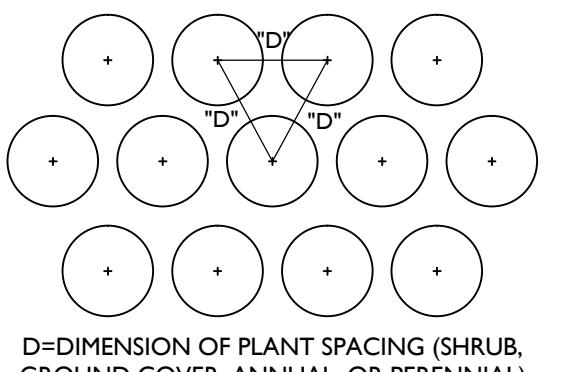
NOTES:

1. GUY ALL TREES 3" CAL AND OVER.
STAKE ALL TREES UNDER 3" CAL.
2. PLANT TREE SO THAT ROOT FLARE
IS EVEN WITH THE FINISHED GRADE.
3. SET STAKES VERTICAL AND AT
SAME HEIGHT.



1 DECIDUOUS TREE PLANTING

1/4" = 1'-0"



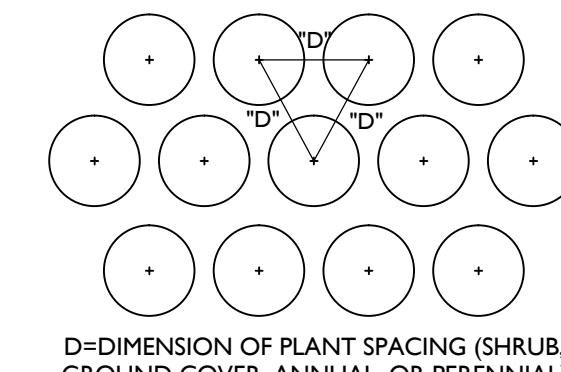
D=DIMENSION OF PLANT SPACING (SHRUB, GROUND COVER, ANNUAL, OR PERENNIAL)

4 ORNAMENTAL GRASS PLANTING

1" = 1'-0"

2 CONIFEROUS TREE PLANTING

1/4" = 1'-0"



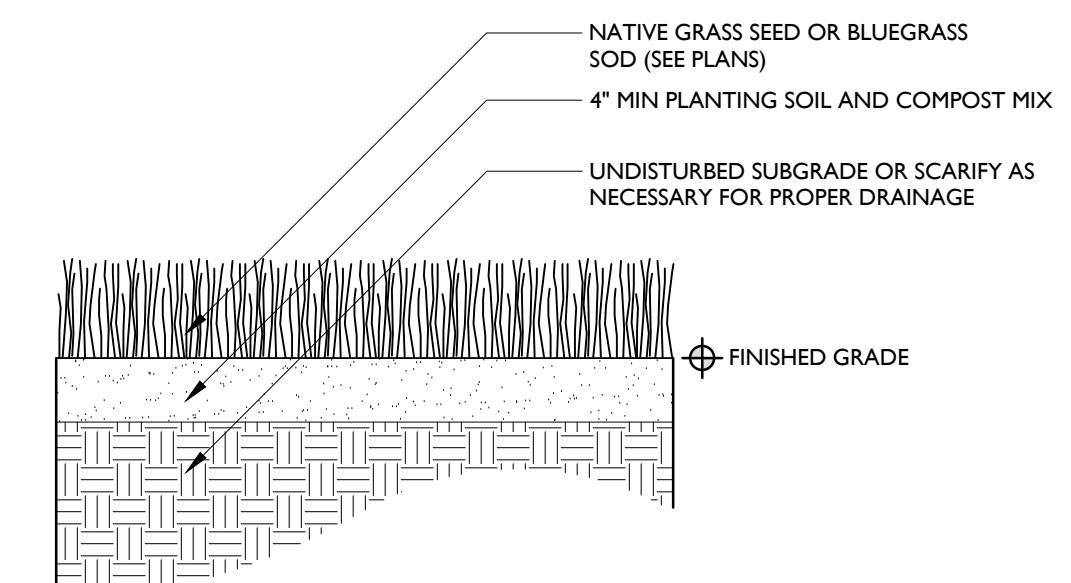
D=DIMENSION OF PLANT SPACING (SHRUB, GROUND COVER, ANNUAL, OR PERENNIAL)

5 PERENNIAL PLANTING

1" = 1'-0"

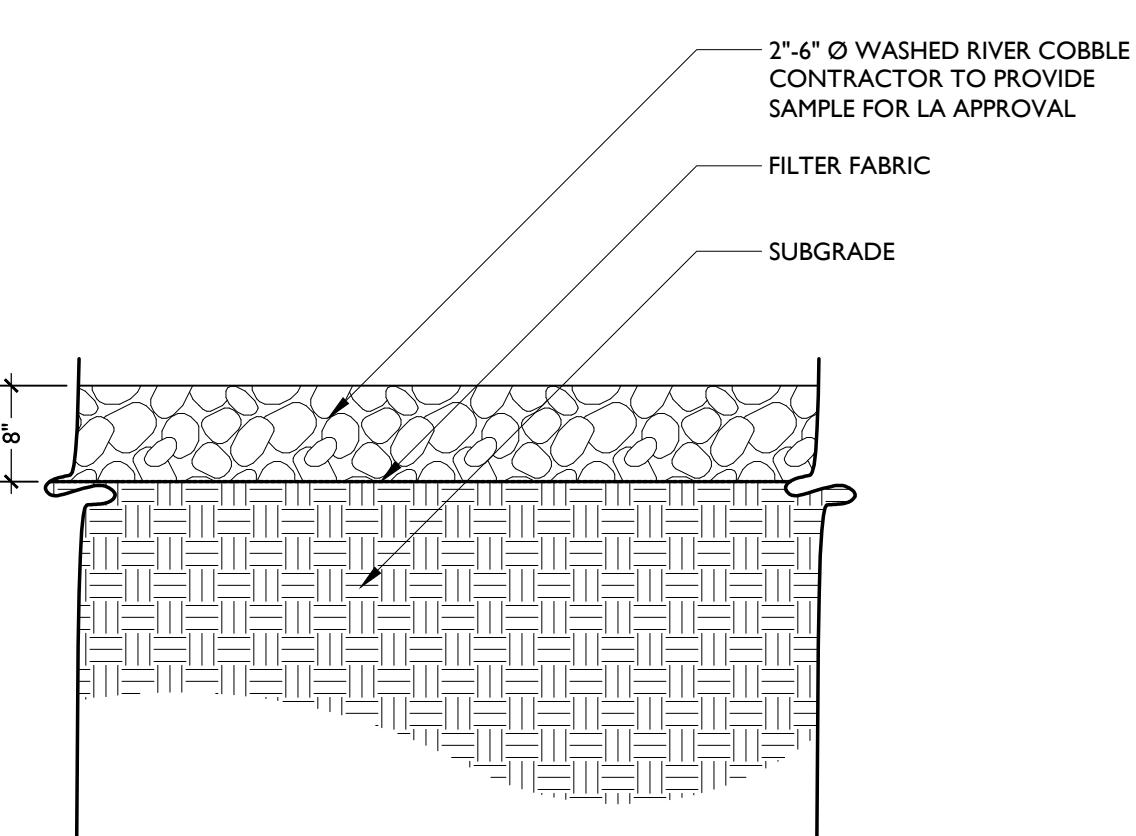
3 SHRUB PLANTING

1/2" = 1'-0"



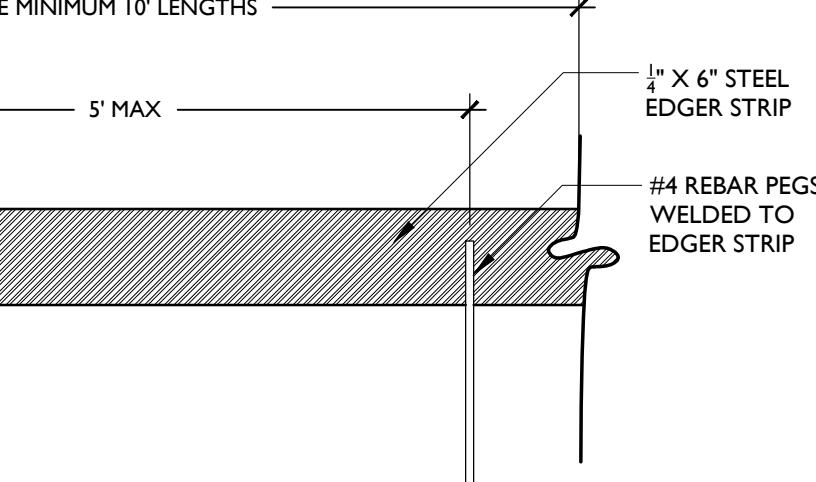
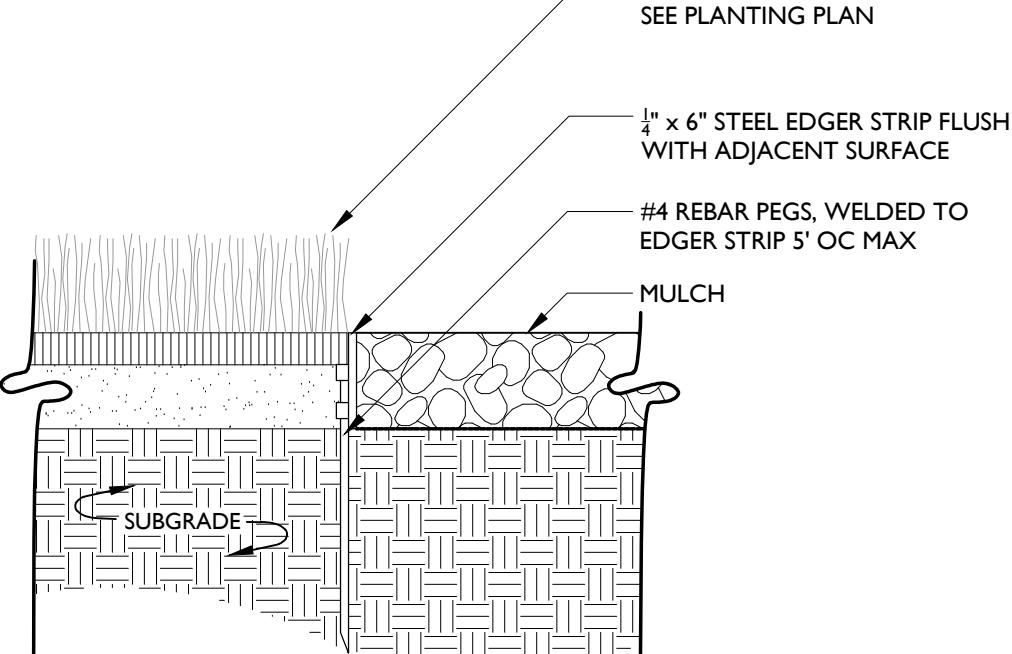
6 GRASS SOD/SEED

1" = 1'-0"



NOTES:

1. CUT EDGER TO FIT WHERE SHORTER LENGTHS ARE REQUIRED
2. SPOT WELD CORNERS
3. PROVIDE ADDITIONAL PEGS AS REQUIRED TO ENSURE STRAIGHT RUNS
4. FIELD WELDS SHALL NOT CAUSE BOWING/DEFLECTION OF THE MATERIAL



7 COBBLE MULCH

1" = 1'-0"

8 STEEL EDGER

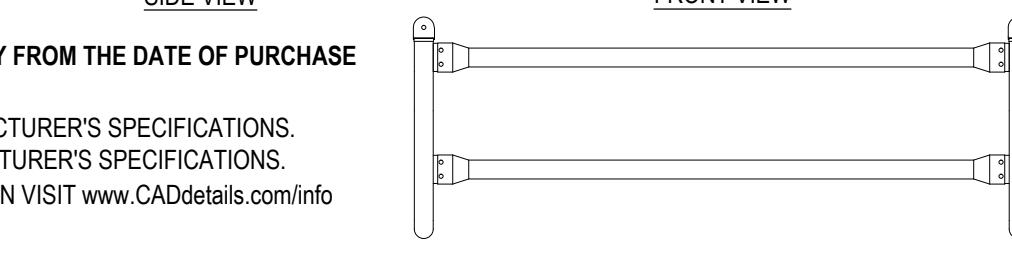
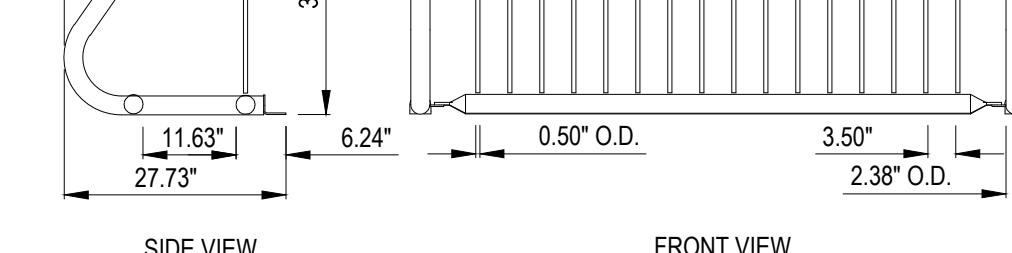
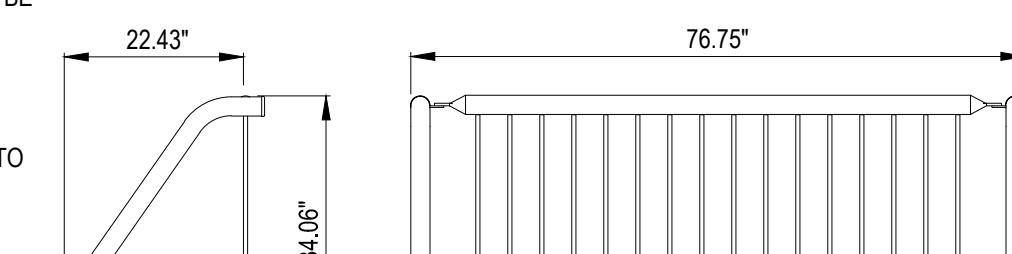
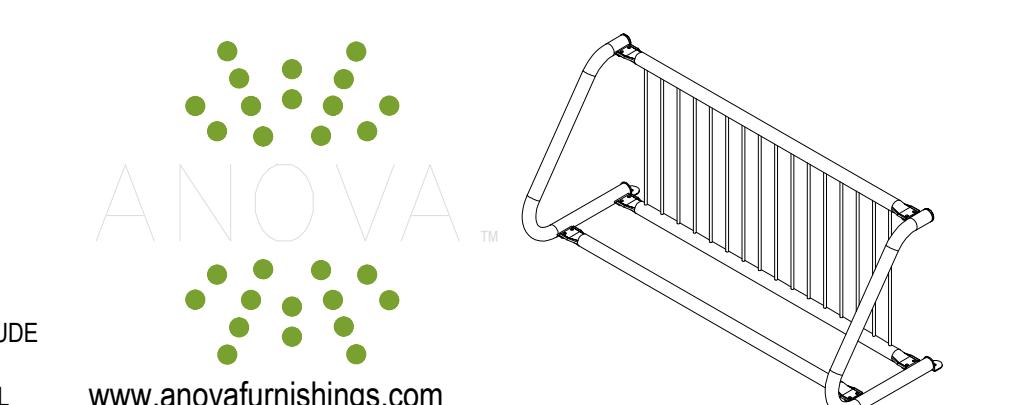
1" = 1'-0"

9 BIKE RACK

1/2" = 1'-0"

ADDITIONAL SITE SPECIFIC NOTES:
1. BIKE RACK SHOWN AT RIGHT IS ANOVA MODEL #BRP300 (7 BIKE CAPACITY).
2. BIKE RACKS ADJACENT TO MULTI-FAMILY BUILDINGS 2 AND 3 INCLUDE RACKS THAT FIT 14, 11, 7 AND 4 BIKES (SEE PLANS FOR SPECIFIC LOCATIONS OF EACH SIZE RACK). THE 14 CAPACITY BIKE RACK SHALL BE ANOVA MODEL #BRP300. THE 11 AND 4 CAPACITY BIKE RACKS SHALL BE CUSTOM MADE TO MATCH THE STYLE AND COLOR OF THE 14 AND 7 CAPACITY RACKS. AT MULTI-FAMILY BUILDING #1, TWO 14 CAPACITY BIKE RACKS SHALL BE UTILIZED (ANOVA MODEL #BRP300).
3. THE LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE SHOP DRAWINGS OF THE 4 AND 11 CAPACITY CUSTOM BIKE RACKS PRIOR TO FABRICATION TO ENSURE PROPER FIT WITHIN THE CONSTRAINTS OF THE SITE.

FINISH: FUSION GARDEN®
MATERIAL: 2.38" OD STEEL TUBE SUPPORT SECTIONS AND 0.5" OD STEEL RODS WELDED AT 3.5" INTERVALS
UNIT WEIGHT: 120 lbs
MOUNTING: SURFACE MOUNT
SOME ASSEMBLY REQUIRED
CLEAN CITY® PRODUCTS ARE COVERED BY A FIVE-YEAR WARRANTY FROM THE DATE OF PURCHASE
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 928-110.



HERSHBERGER DESIGN

Landscape Architecture · Environmental Planning · Urban Design

560 South Glenwood P.O. Box 1648 Jackson, Wyoming 83001 T:307.734.8322

Issue Date:

06.25.2018 FDP2 SUBMISSION

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

.

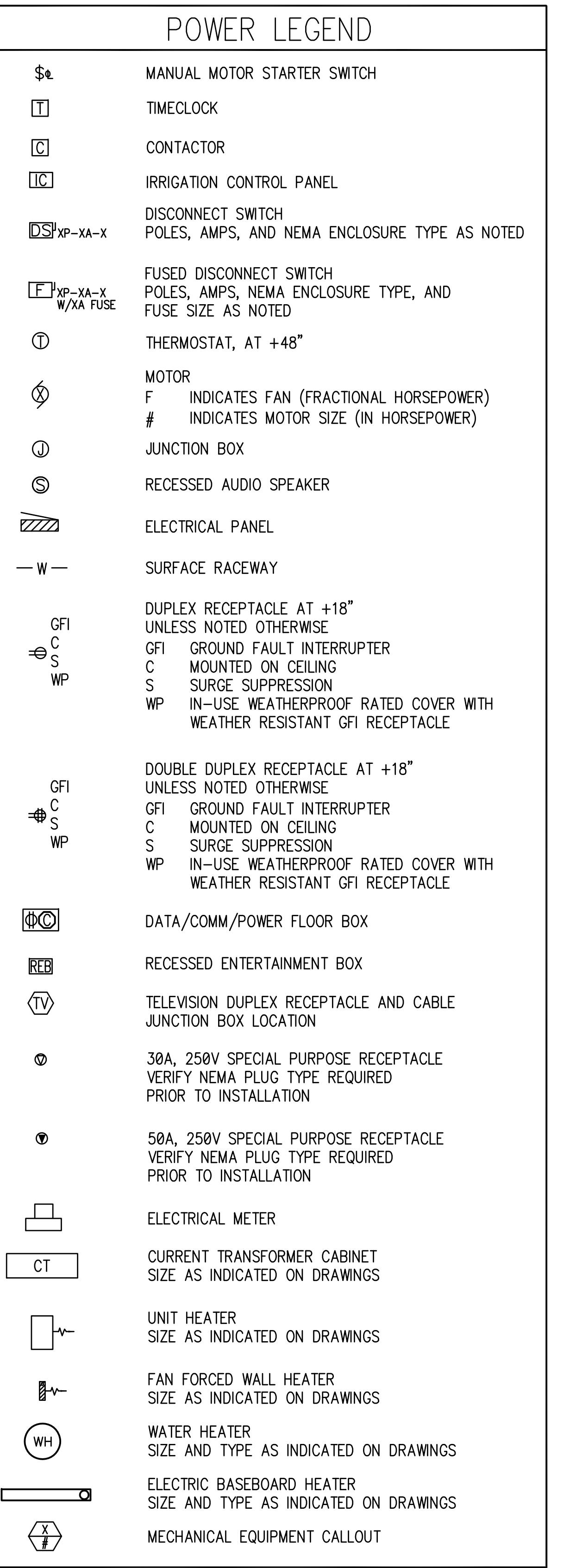
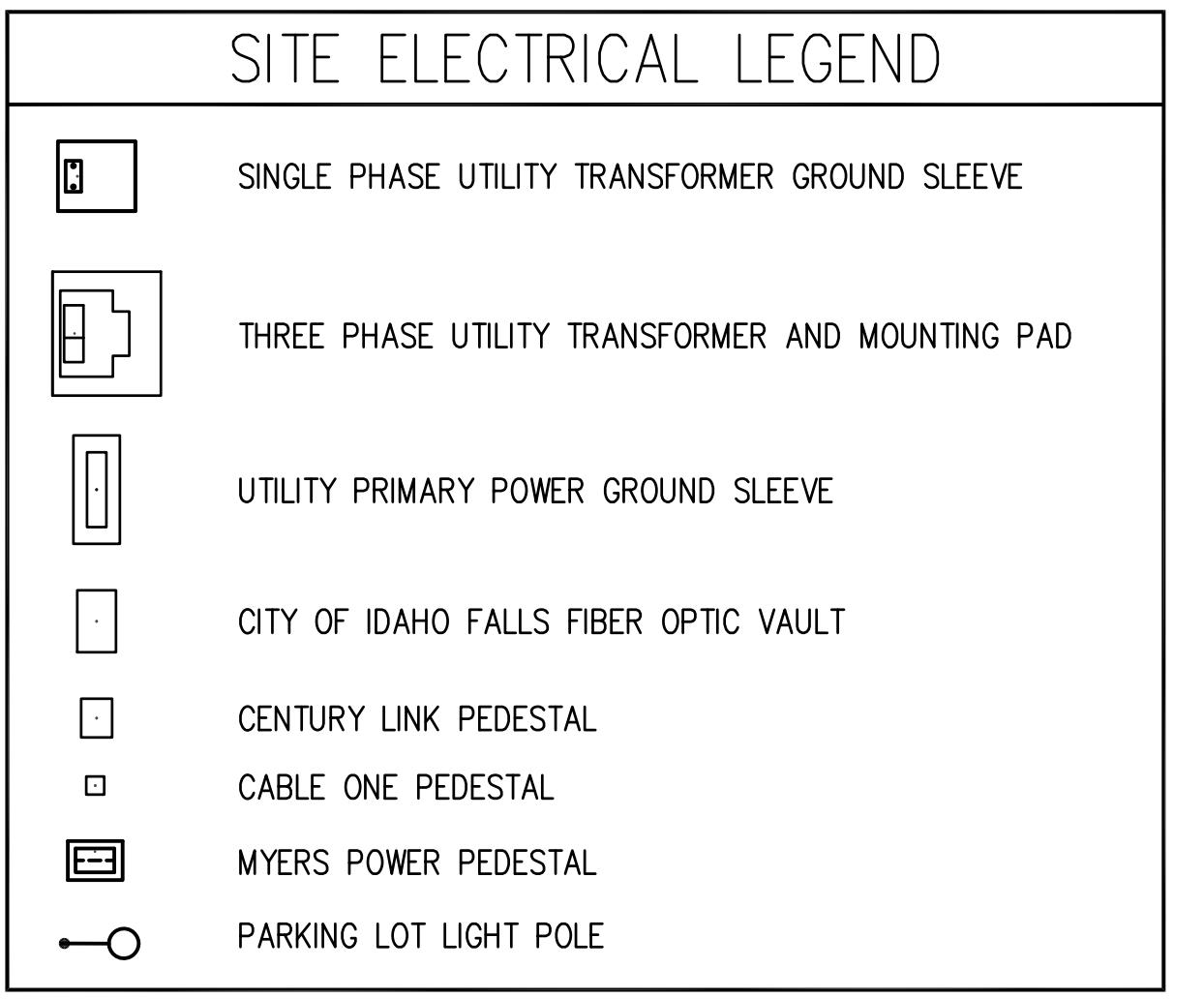
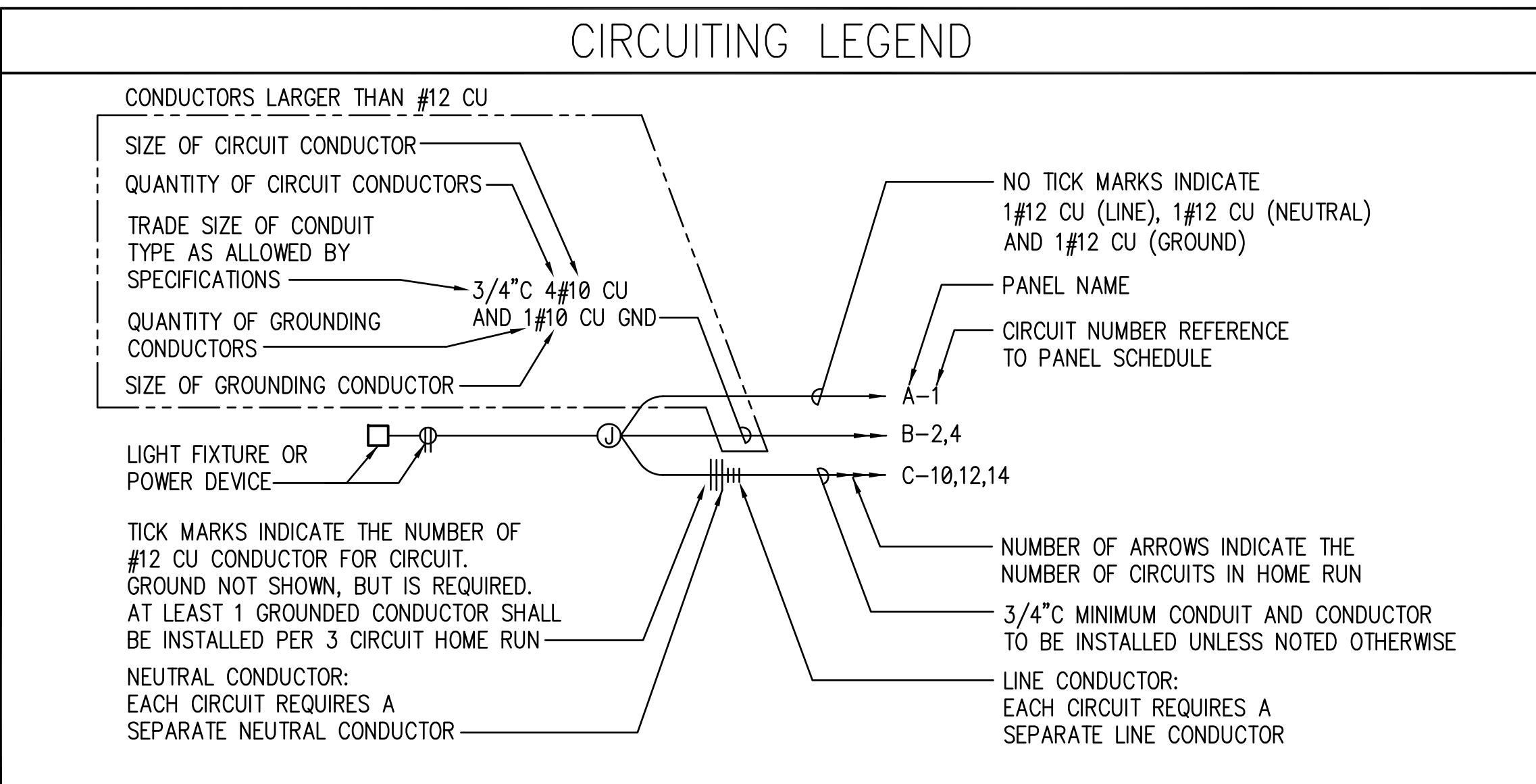
.

.

.

.

.

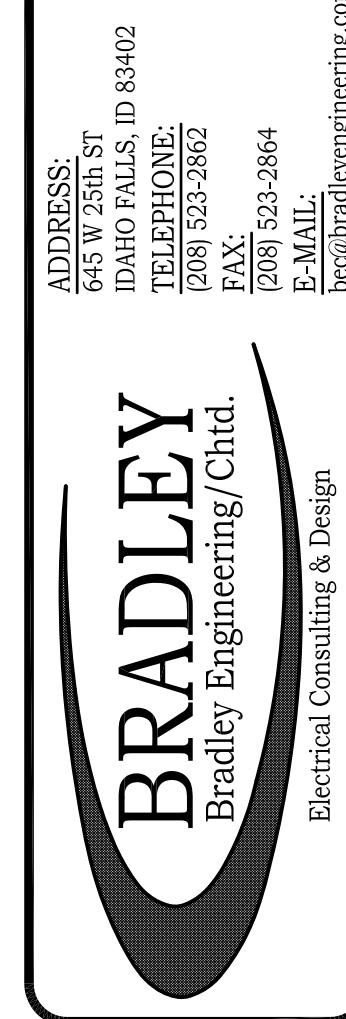


ABBREVIATIONS

AL	ALUMINUM
AWG	AMERICAN WIRE GAUGE
A	AMPERE(S)
CKT	CIRCUIT
CB	CIRCUIT BREAKER
C	CONDUT
CU	COPPER
CT	CURRENT TRANSFORMER
DISC	DISCONNECT
DWG	DRAWING
EMT	ELECTRICAL METALLIC TUBING
HZ	FREQUENCY IN CYCLES PER SECOND
F	FUSE
FS	FUSIBLE SWITCH
GEN	GENERATOR
GND	GROUND
GFI	GROUND FAULT INTERRUPTER
HP	HORSEPOWER
HPS	HIGH PRESSURE SODIUM
IMC	INTERMEDIATE METALLIC CONDUIT
INC	INCANDESCENT
KVA	KILOWATT VOLT AMPS
KW	KILOWATT(S)
MCC	MOTOR CONTROL CENTER
KCMIL	THOUSAND CIRCULAR MIL(S)
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NTS	NOT TO SCALE
NIC	NOT IN CONTRACT
PNL	PANEL
PVC	POLYVINYL CHLORIDE
GRS	GALVANIZED RIGID STEEL
SWBD	SWITCHBOARD
XMFR	TRANSFORMER
TYP	TYPICAL
UG	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
UPS	UNINTERRUPTED POWER SYSTEM
V	VOLT(S)
VA	VOLTAMP(S)
W	WATT(S)
WP	WEATHER PROOF

ELECTRICAL DRAWING LIST

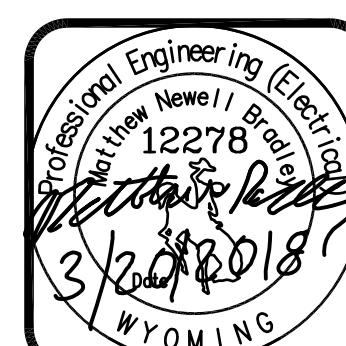
PE1.1	ELECTRICAL TITLE DRAWING
PE2.1	PHOTOMETRIC PLAN
PE2.2	LIGHTING PLAN
PE3.1	POLE DETAILS AND FIXTURE SCHEDULE



REV	DESCRIPTION	DATE
△	△	△
△	△	△

HIDDEN HOLLOW SITE - PHASE 1b

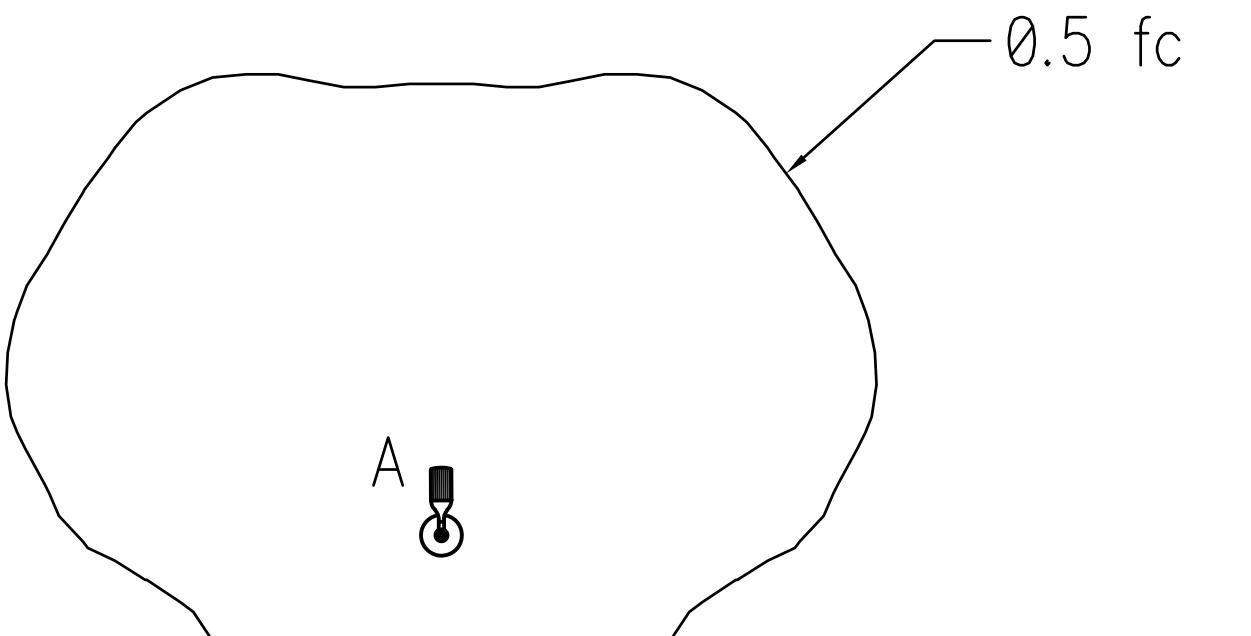
ELECTRICAL TITLE DRAWING



DRAWN BY SBA
CHECKED BY MNB
DESIGNED BY MNB
JOB NO. 1707-1b DATE 3-20-18

DRAWING NO. PE1.1

HIDDEN HOLLOW SITE LIGHTING STATISTICS					
LOCATION	AVERAGE fc	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
PARKING AREA	1.00 fc	2.8	0.10	28.0/1	10.0/1
EAST BUILDING APRON	0.70 fc	2.3	0.10	23.0/1	7.0/1
WEST BUILDING APRON	0.80 fc	3.1	0.10	31.0/1	8.0/1
NORTH BUILDING APRON	0.50 fc	1.4	0.10	14.0/1	5.0/1

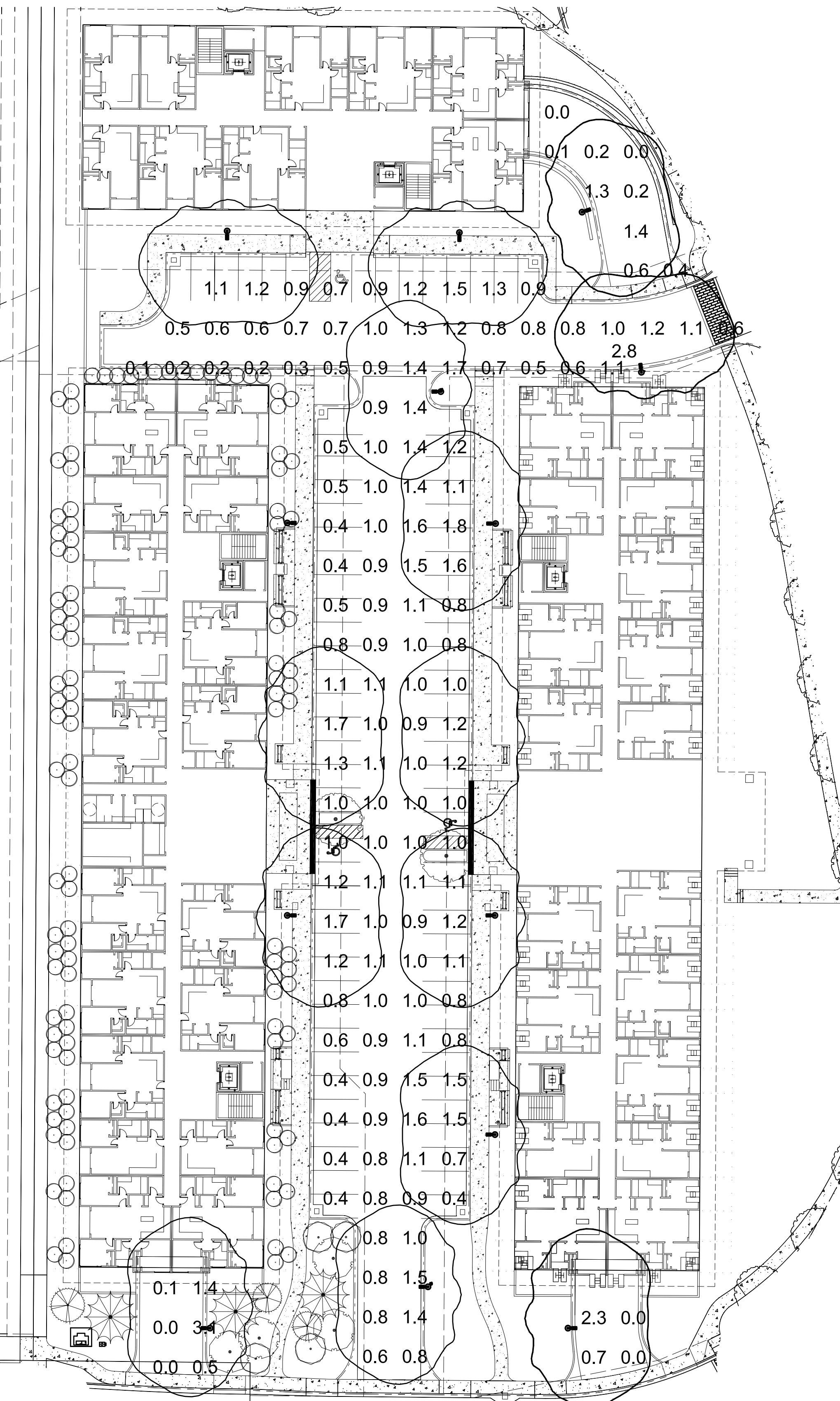


PHOTOMETRIC TEMPLATE LEGEND

SCALE: NTS

DRAWING NOTE:

1. THE ILLUMINATION LIMITS AS STATED PER TOWN OF JACKSON BUILDING PERMIT FOR ZONE R-1, R-22 AND R-3 IS ALLOWED 1.5 LUMENS/SQFT. TOTAL PARKING LOT SQUARE FOOTAGE IS 48,380 SQUARE FEET. $48,380 \times 1.5 = 72,570$ ALLOWED LUMENS. PROPOSED LUMENS FOR PARKING LOT LIGHTING IS 63,465 LUMENS



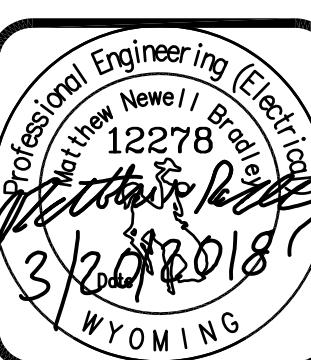
PHOTOMETRIC PLAN (PHASE 1b)

SCALE: 1" = 30'

ADDRESS:
645 W 25th ST
IDAHO FALLS, ID 83402
TELEPHONE:
(208) 523-2862
FAX:
(208) 523-2864
E-MAIL:
bce@bradleyengineering.com

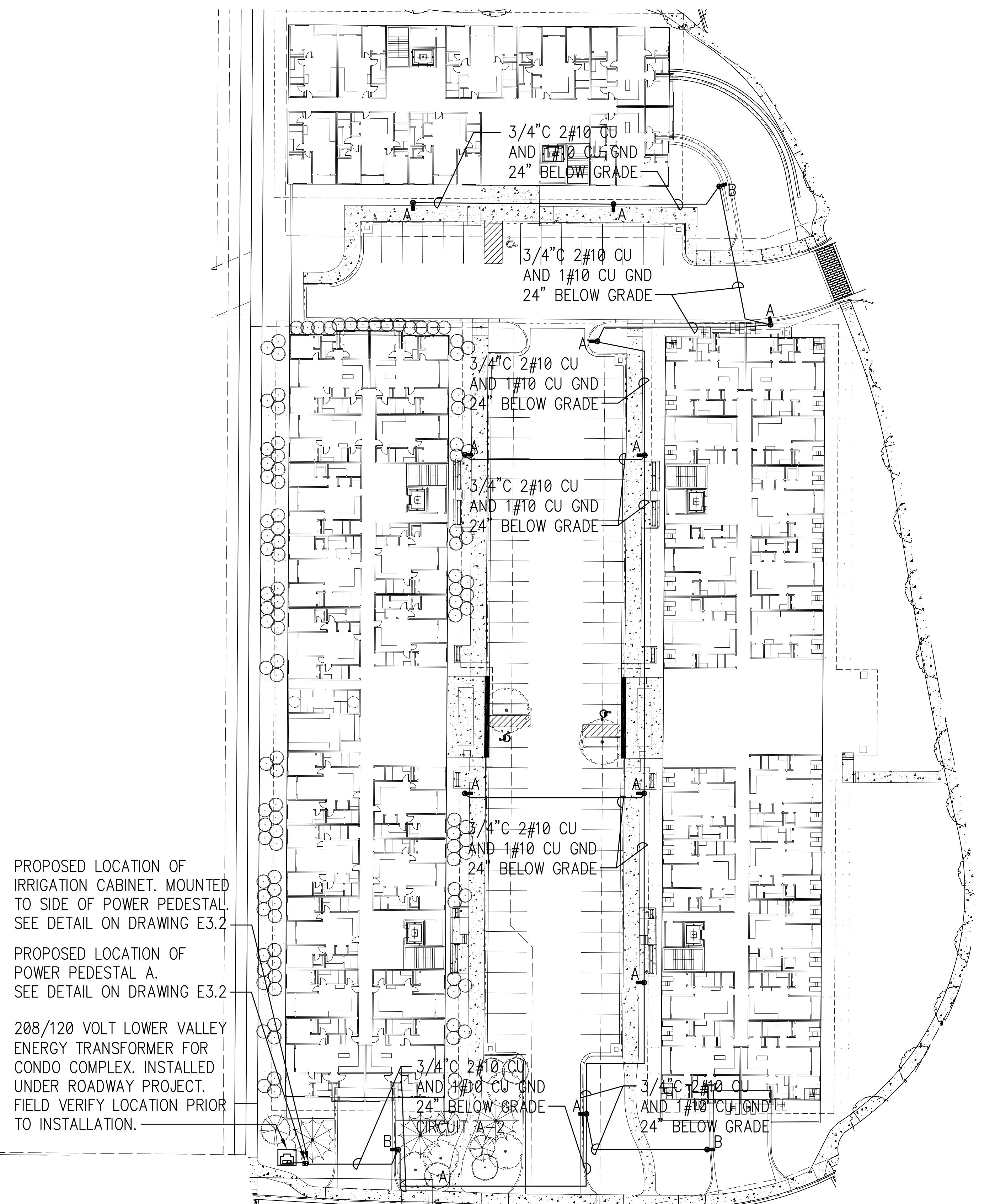
REV	DESCRIPTION	DATE
△		
△		
△		
△		

HIDDEN HOLLOW SITE - PHASE 1b	
PHOTOMETRIC PLAN	



DRAWN BY	SBA
CHECKED BY	MNB
DESIGNED BY	MNB
JOB NO.	DATE
1707-1b	3-20-18

DRAWING NO.
PE2.1



LIGHTING PLAN
SCALE: 1" = 30'

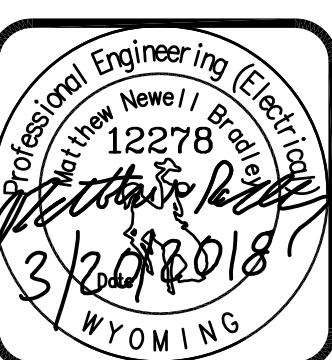
DRAWN BY SBA
CHECKED BY MNB
DESIGNED BY MNB
JOB NO. 1707-1b DATE 3-20-18

DRAWING NO. PE2.2

ADDRESS: 645 W 25th ST
IDAHO FALLS, ID 83402
TELEPHONE: (208) 523-2862
FAX: (208) 523-2864
E-MAIL: bccbradleyengineering.com

REV	DESCRIPTION	DATE
△		
△		
△		
△		

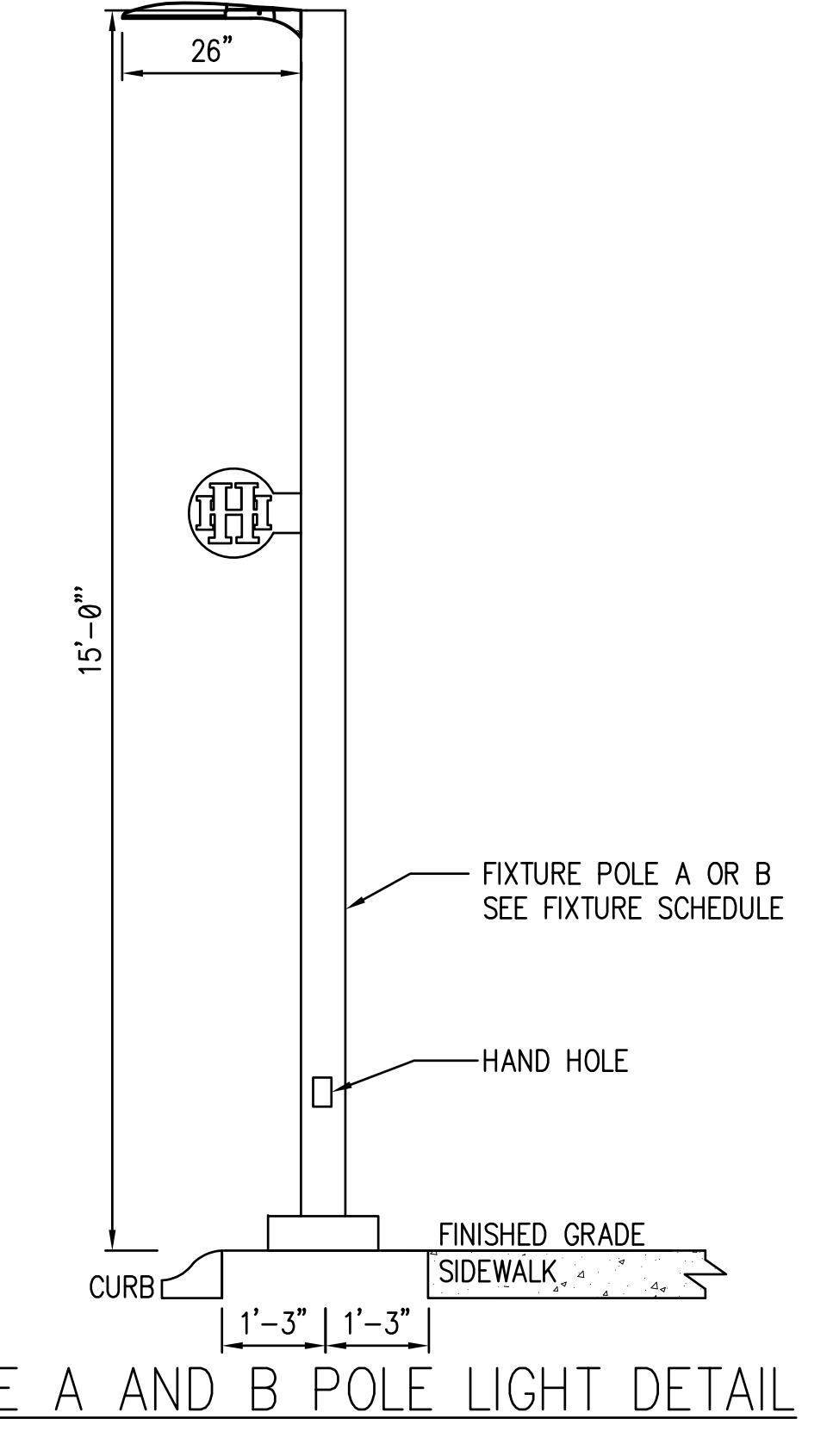
HIDDEN HOLLOW SITE - PHASE 1b	
REV	LIGHTING PLAN



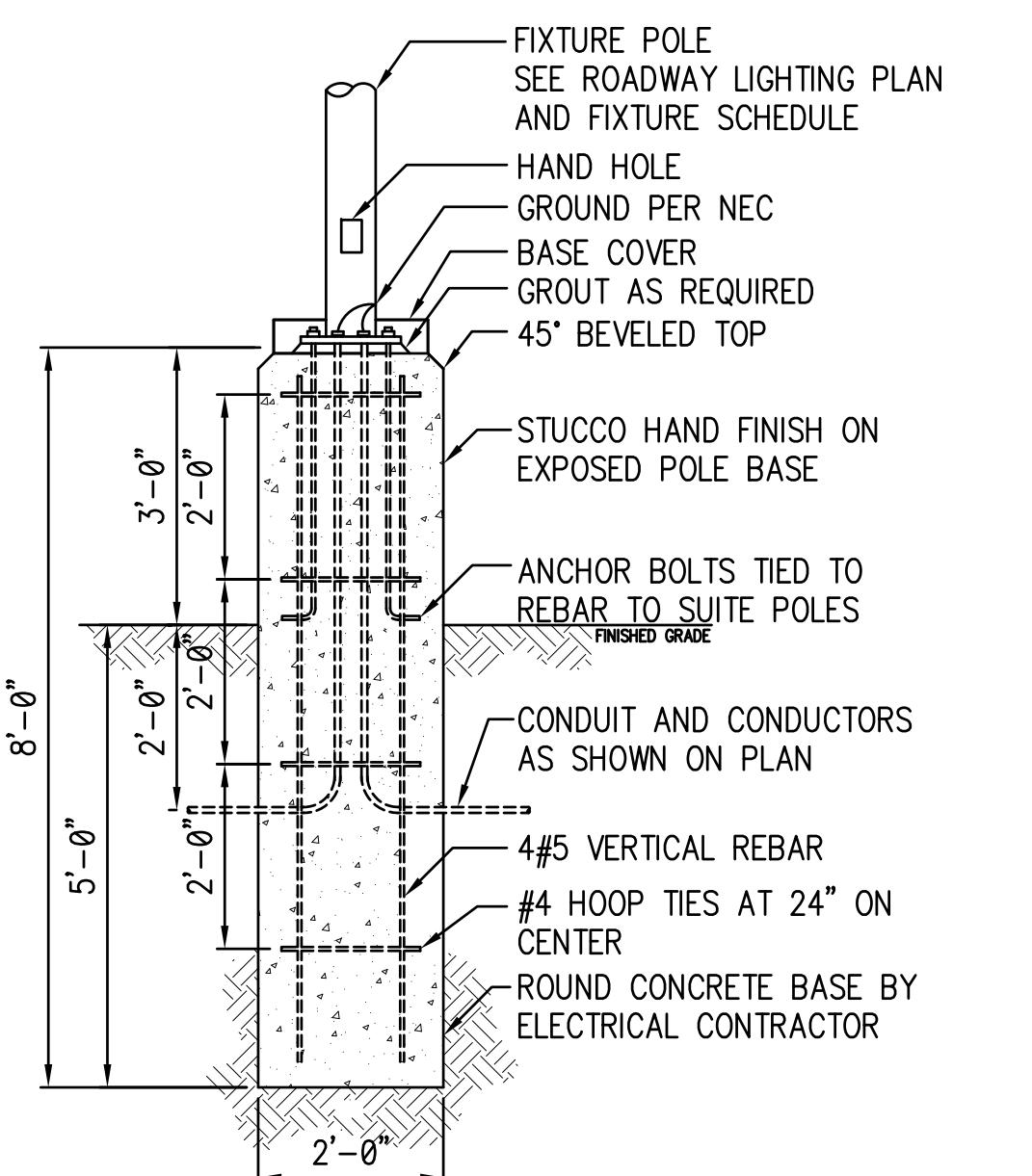


LIGHT FIXTURE TYPE A AND B
SCALE: NTS

FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER NAME	CAT. NO.	FIXT WATTS	LAMP TYPE	MOUNTING	REMARKS
A	LITHONIA	DSXO-LED-P1-30K-T4M-MVOLT-SPA-PER-FAO-HS-DBLXD	38	INTEGRAL	POLE AT	LED AREA LIGHTER, BLACK FINISH, WITH HOUSE SIDE SHIELD
				LED	15 FEET	4,281 LUMEN OUTPUT, TYPE 4 FORWARD THROW MEDIUM SQUARE POLE MOUNTING
A POLE	LITHONIA	SSS-15-4C-DM19AS-DBL			TO	15 FOOT SQUARE STRAIGH STEEL POLE
					POLE BASE	BLACK FINISH
B	LITHONIA	DSXO-LED-P2-30K-T4M-MVOLT-SPA-PER-FAO-HS-DBLXD	49	INTEGRAL	POLE AT	LED AREA LIGHTER, BLACK FINISH, WITH HOUSE SIDE SHIELD
				LED	15 FEET	5,458 LUMEN OUTPUT, TYPE 4 FORWARD THROW MEDIUM SQUARE POLE MOUNTING
B POLE	LITHONIA	SSS-15-4C-DM19AS-DBL			TO	15 FOOT SQUARE STRAIGH STEEL POLE
					POLE BASE	BLACK FINISH



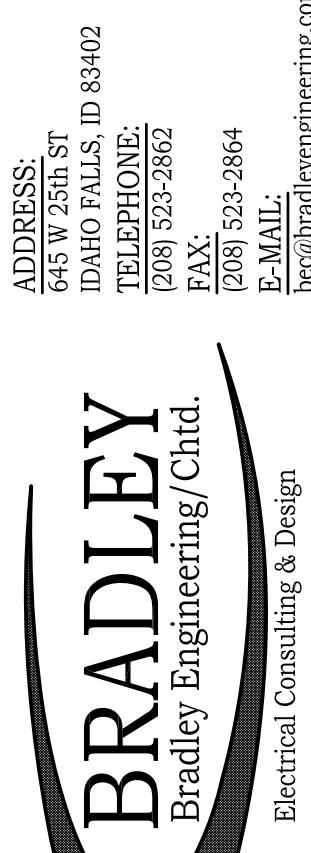
Fixture A and B Pole Light Detail
1/2" = 1'-0"



Fixture A and B Pole Base Detail
1/2" = 1'-0"

HIDDEN HOLLOW SITE - PHASE 1b

REV	DESCRIPTION	DATE
△		
△		
△		
△		



DRAWN BY SBA
CHECKED BY MNB
DESIGNED BY MNB
JOB NO. 1707-1b DATE 3-20-18

DRAWING NO. PE3.1

Professional Engineering (Electrical)
Kurtis Newell, PE
3/20/2018
WYOMING