



# TOWN OF JACKSON

## PLANNING & BUILDING DEPARTMENT

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- Regional Transportation

Date: March 11, 2025  Item: P25-041	<p style="text-align: center;"><b>REQUEST:</b></p> The applicant is submitting a request for a Development Pan for the property located at 460 E Broadway Avenue, legally known as Parcel B, Map T-74A.
Planner: Andrew Bowen Phone: 733.0440 ext. 1306 Email: <a href="mailto:abowen@jacksonwy.gov">abowen@jacksonwy.gov</a>	
<b>Owners:</b> Teton County Hospital District 460 E Broadway Ave Jackson, WY 8300	<b>PIDN:</b> 22-41-16-34-2-00-001
<b>Applicant:</b> HH Land Strategies, LLC Hal Hutchinson PO Box 1902 Wilson, WY 83014	For questions, please call Andrew Bowen at 733-0440, x 1306, or email to the address shown below. Thank you.
<p><b>Please respond by: March 31, 2025</b></p> <p>For Departments not using SmartGov, please send responses via email to <a href="mailto:planning@jacksonwy.gov">planning@jacksonwy.gov</a></p>	



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

**For Office Use Only**

Fees Paid \_\_\_\_\_ Date & Time Received \_\_\_\_\_  
Application #s \_\_\_\_\_

**Please note:** Applications received after 3 PM will be processed the next business day.

**PROJECT.**

Name/Description: \_\_\_\_\_  
Physical Address: \_\_\_\_\_  
Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

**PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner \_\_\_\_\_ Applicant/Agent

**TYPE OF APPLICATION.** Please check all that apply; review the type of application at [www.townofjackson/200/Planning](http://www.townofjackson/200/Planning)

**Use Permit**

\_\_\_\_\_ Basic Use  
\_\_\_\_\_ Conditional Use  
\_\_\_\_\_ Special Use

**Relief from the LDRs**

\_\_\_\_\_ Administrative Adjustment  
\_\_\_\_\_ Variance  
\_\_\_\_\_ Beneficial Use Determination  
\_\_\_\_\_ Appeal of an Admin. Decision

**Physical Development**

\_\_\_\_\_ Sketch Plan  
\_\_\_\_\_ Development Plan  
\_\_\_\_\_ Design Review

**Subdivision/Development Option**

\_\_\_\_\_ Subdivision Plat  
\_\_\_\_\_ Boundary Adjustment (replat)  
\_\_\_\_\_ Boundary Adjustment (no plat)  
\_\_\_\_\_ Development Option Plan

**Interpretations**

\_\_\_\_\_ Formal Interpretation  
\_\_\_\_\_ Zoning Compliance Verification

**Amendments to the LDRs**

\_\_\_\_\_ LDR Text Amendment  
\_\_\_\_\_ Map Amendment

**Miscellaneous**

\_\_\_\_\_ **Other:** \_\_\_\_\_  
\_\_\_\_\_ Environmental Analysis

**PRE-SUBMITTAL STEPS.** To see if pre-submittal steps apply to you, go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: \_\_\_\_\_ Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for submittal requirements.

Have you attached the following?

\_\_\_\_\_ **Application Fee.** Fees are cumulative. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for the fees.

\_\_\_\_\_ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

\_\_\_\_\_ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) under the relevant application type.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Hal Hutchinson  
\_\_\_\_\_  
Signature of Property Owner or Authorized Applicant/Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name Printed

\_\_\_\_\_  
Title

# Hitching Post Apartments

## Application for

### Development Plan and Basic Use Permit

Submitted on Feb 25, 2025

<b>Owner:</b> Teton County Hospital District PO Box 428 Jackson, WY 83001 Attn: Sean Ryan, Director of Facilities 307-739-7410	<b>Applicant/ Land Planning:</b> HH Land Strategies, LLC Hal Hutchinson PO Box 1902 Wilson, WY 83014 307-699-0265	<b>Architecture:</b> Shopworks Architecture Kyle Mead 301- W 45 <sup>th</sup> Avenue Denver, CO 80216 303-433-4094 x105 520-780-8747 (mobile)
<b>Civil Engineering:</b> Jorgensen Associates Brian Barney PO Box 9550 Jackson, WY 83002 (307) 733-5150	<b>Landscape Architecture:</b> Flow Design Collaborative Christopher Hoy 303 W 45 <sup>th</sup> Avenue Denver, CO 80216	<b>Development Consultant:</b> Blueline Development, Inc. Jake Leininger 1004 South Ave W Missoula MT 59801 406-926-1401
	<b>General Contractor:</b> Shaw Construction Dale Staten 460 S Cache Jackson, WY 83001 307-342-4276	

## Table of Contents

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1. Background, Property Description, Project Goals and Applications
2. Development Plan – Response to Submittal Checklist
3. Findings for Approval

**Exhibit A:** Hitching Post Apartments Plan Set

**Exhibit B:** Design Review Committee Conceptual Review Follow Up Letter.

**Exhibit C:** Shared Parking and Access Agreement

**Exhibit D:** Hospital Campus Parking Plan

**Exhibit E:** Construction Management Plan

# **1. Background, Property Description, Project Goals and Applications:**

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## **1.1 Introduction:**

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The Teton County Hospital District, referred to throughout this application as “St. John’s Health”, is the owner of the property located at 460 E Broadway, also known as Parcel B, Map T74A (the “Subject Property”). The Subject Property is commonly known at the “Hitching Post Lodge”.

St. John’s Health seeks approval from the Town of Jackson of a Development Plan application and a Basic Use Permit application to develop the Subject Property for employee housing that serves St. John’s Health employee recruitment and retention needs so St. John’s Health can continue to provide high quality health care to the Town of Jackson and Teton County community residents and visitors.

## **1.2. Background:**

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St John’s Health purchased the Hitching Post Lodge property in 2001 and since that time has continued the pre-existing use of the property for short-term lodging use, providing patient and patient families with lodging opportunities near the hospital. The property has also been used to house St. John’s Health employees.

In March 2022, St. John’s Health submitted at the Town of Jackson an application for a Zoning Map Amendment (ZMA P22-053) to change the zoning of the Subject Property from Neighborhood Medium Density 2 (NM-2) to Public/ Semi Public (P/SP). The purpose of seeking P/SP zoning for the property was to provide St. John’s Health with the flexibility to develop employee housing on the in an effective and efficient manner. The most restrictive component of NM-2 zoning, in relation to the goal of economically developing quality housing for St. John’s Health employees, is that NM-2 zoning limits the maximum number of units within an individual building to eight, which, based on St. John’s project goals discussed below, would necessitate construction of numerous individual buildings, adding significant cost and reducing project efficiency and density .

P/SP zoning has no such limitation in the number of units that can be located in an individual building, thereby allowing greater flexibility in designing and providing high quality housing for St. John’s Health employees.

The Zoning Map Amendment P22-053 was approved by Town Council on June 20, 2022. This ZMA approval included a number of conditions, subjecting any subsequent Development Plan application to specific dimensional limitations requirements based on the previous NM-2 zoning. The “conditional P/SP zoning” approval of ZMA P22-053 are as follows:

1. *The 1.65-acre subject property located at 460 East Broadway shall be subject to the following dimensional standard requirements of the NM-2 District, as modified in this recommendation, and as the NM-2 Zone may be amended from time to time:*
  - a. *Structure setbacks;*
  - b. *Building height of up to 39’ but with consideration for the dimensional standards of neighboring zones;*

- c. *3 story limit;*
  - d. *Site development setbacks;*
  - e. *Parking setbacks;*
  - f. *LSR of 21% but not 70% in first 1/3 of property;*
  - g. *Parking; and*
  - h. *Design review.*
2. *The future redevelopment of the site shall be subject to a Development Plan process as provided in the LDRs*

In addition to the conditions of approval of the ZMA application that seek to carry over limited dimensional limitations associated with NM-2 zoning, it is important to note that, while the proposed development on the Subject Property meets the threshold for a Sketch Plan application requirement, the ZMA approval limits the application requirement to a Development Plan only.

Since approval of the Zoning Map Amendment, St. John’s Health has considered their housing needs, and how the Subject Property can accommodate their needs under the limitations of the conditional P/SP zoning while ensuring the provision of high-quality housing. This Development Plan application is a result of careful consideration and extensive planning and design efforts.

St. John’s Health, and their representatives held a Pre-application Conference with the Town of Jackson Planning Department staff on January 14, 2025 (P24-188). This Development Plan and Basic Use Permit application addresses all items requested by the Pre-application Conference summary and Land Development Regulations submittal requirements for Development Plan and Basic Use Permit applications.

### **1.3. Property Description:**

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The Hitching Post Lodge property is generally flat and rectangular in shape, with approximately 196 feet of street frontage on East Broadway. It extends approximately 365 feet south from this Broadway Avenue frontage. The property is approximately 1.65 acres.

The Subject Property is bordered on the east by five individual lots. The northernmost lot bordering the property to the east is zoned Office Residential (OR). The four lots to the south of the OR Zoned lot are zoned Neighborhood Low Density 5 (NL-5). Land south of the property is zoned NM-2 and contains residential uses. A lot owned by Teton County that contains Teton County Health borders the property for approximately 30 feet along the western portion of the property’s southern boundary. The property bordering the Subject Property to the west is zoned NM-2, is owned by the Church of Jesus Christ of Latter Day Saints, and is used as a parking lot for the Church. Please see **Exhibit A: Hitching Post Apartments Plan Set, Sheet DEV-03 Vicinity Map.**

The Hitching Post Lodge is currently developed and contains seventeen (17) buildings. The uses on the subject property include residential uses and short-term rental uses that support St. John's Health operations. The seventeen (17) individual buildings contain a total of thirty-four (34) individual units.

The uses within the existing buildings on the Hitching Post Lodge property includes fifteen (15) Employee Housing Units (residential use) that include thirty (30) individual bedrooms. There are nineteen (19) Patient/Patient Family Lodging Rooms and On Call rooms (short term use) that include a total of 22 bedrooms. Limited office space is also located on the Subject Property.

### **1.3. Project Goals:**

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The lack of workforce housing in Teton County is possibly the single biggest challenge facing our community. It is well documented that the cost of homeownership and residential rental rates in Teton County is well above what typical employees in Teton County can afford. While this is an issue for all types of employers and employees in Teton County, it is a particularly acute issue for St. John's Health. St. John's Health provides high quality and critical health care services to the entire community. The single biggest challenge of continuing to provide these critical health care services that St. John's Health faces is the recruitment and retention of health care professionals due to the high housing costs in the community. While it is not the primary mission of St. John's Health to provide housing for their employees, the local housing crisis necessitates that St. John's Health seek housing solutions for their employees in order to achieve their purpose *"To provide our unique community and visitors with exceptional and ever-advancing individualized care."*

Recognizing the housing challenge facing the community generally, and St. John's Health specifically, St. John's acquired the Hitching Post Property in 2001. Since acquisition, the property has provided both employee housing and short-term rentals that help them serve the community's health care needs. However, as housing costs have risen, employee recruitment and retention challenges have become more acute. As such, the existing thirty-four units on the Hitching Post have become inadequate to serve the growing employee housing and patient care needs of St. John's Health.

The Hitching Post Lodge is uniquely located in immediate proximity of the hospital. It is also a relatively large (1.65 acres) property. These property characteristics make the Subject Property ideal for redevelopment for employee housing. The property is large enough to provide a meaningful amount of housing units efficiently and effectively. The Hitching Post Lodge's proximity to the hospital allows for quick staff response at all times. This proximity also reduces St. John's Health employee transportation needs.

St. John's recognizes its vital role in the community, and that the Hitching Post property is in an existing neighborhood. Based on St. John's stated vision to *"...be a trusted partner with the community, enabling people to live their best possible lives"* it is important to St. John's Health

leadership that redevelopment of the Hitching Post property for employee housing acknowledges and is compatible with community and neighborhood goals.

Based on the need to recruit and retain employees, the costs of providing housing, the unique characteristics of the Hitching Post property, and the vision of being a trusted community partner, it is necessary to optimize the effectiveness and efficiency for redeveloping the property that the existing conditional Public/Semi Public zoning provides.

Considering these factors, St. Johns goals for the Hitching Post Lodge property are:

- Provide housing in close proximity to the hospital to ensure quick medical response on a 24/7/365 basis;
- Optimize the use of limited resources to address critical needs;
- Reduce St. John’s Health’s employee transportation and parking needs;
- Promote connection to the community by housing staff in Teton County and;
- Design a project that is friendly to the neighborhood and community interests by respecting, to the greatest extent practical, the existing dimensional limitations of NM-2 zoning as required by the conditional P/SP zoning designation of the property while benefiting from the flexibility that P/SP zoning provides.

**1.4 Applications:**

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Based on Town of Jackson Land Development Regulations and the requirements of the conditional P/SP zoning, the Hitching Post employee housing project is subject to a number of application requirements. These include, but are not limited to the review and approval of the following applications:

1. Final Design Review approval by the Town Design Review Committee
2. Development Plan approval
3. Basic Use Permit approval.
4. Shared Parking Agreement approval

Prior to submittal of these Development Plan and Basic Use Permit applications, St. John’s Health submitted architectural plans to the Town Design Review Committee for Conceptual review of the project (P24-180). The Design Review Committee undertook conceptual review of the project plans on December 11, 2024. During this public design review hearing, the applicant and their agents understood that the Design Review Committee had a generally favorable response to the conceptual plans for the project. While the review was generally positive, the Design Review Committee did have some recommendations during their conceptual review, which were documented by the Town Planning Staff are discussed in the “P24-180 Follow Up Letter” included in this application as **Exhibit B: Design Review Committee Conceptual Review Follow Up Letter.**

As a result of this conceptual design review feedback, the architectural plans were revised to respond to these recommendations. Prior to submittal of this Development Plan and Basic Use Permit application, St. Johns agents submitted an application for Final Design Review that includes the architectural revisions made in response to the Design Review Committee's recommendations. We anticipate that Final Design Review of these revised plans will be held on March 12, 2025. The architectural plans within this Development Plan application are the same plans submitted for Final Design Review but this Development Plan application includes significant additional information, including detailed engineering plans.

As part of the plans for the Hitching Post project, St. John's Health intends to provide a portion of the required parking off-site on land owned by St. John's Health. Providing of a portion of the required parking off-site necessitates the review and approval of a "Shared Parking Agreement" that will be reviewed and approved concurrently with the Development Plan application. The location and amount of proposed off-site parking and details of the parking plan are more specifically discussed under **Section 2.2. Narrative Description of Proposed Development**, **Section 2.3. Proposed Development Program**, **Section 2.15. Parking** of this report, and in attached **Exhibit C - Shared Parking and Access Agreement** and site plans within **Exhibit A: Hitching Post Apartments Plan Set**

In addition to the above reference applications, St John's Health has submitted a Demolition Permit application to the Town. St. Johns recognizes that some of the existing buildings on the property may be considered historic and the Demolition Permit application identifies the buildings that are considered eligible for historic designation. In addition, St. John's Health has had discussions with interested individuals with the hope that some or all of the buildings considered eligible for historic designation can be moved/relocated. A general depiction of the demolition plan is included in **Exhibit A: Hitching Post Apartments Plan Set**, Sheet 2.10 – **Demolition Plan** and discussed in **Exhibit E: Construction Management Plan**

## 2. Development Plan – Response to Submittal Checklist

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### 2.1. General Information:

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The general information required by the submittal checklist includes administrative requirements such as providing a planning permit application and providing a letter of authorization. These administrative requirements have been provided within the application.

### 2.2. Narrative Description of Proposed Development:

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**Property Description:** Located at 460 East Broadway, the Subject Property is subject to conditional P/SP zoning based on a zoning map amendment approved on June 20, 2022 (ZMA P22-053). The approved zoning map amendment provided St. John’s Health with some level of flexibility to plan and design an employee housing project that contributes to the housing needs of St. John’s Health in an efficient and effective manner.

The proposed development includes 72 residential units within a single building. Of these 72 units, 22 are one-bedroom units, 48 are two-bedroom units and 2 are three-bedroom units, for a total of 124 bedrooms within the overall development. Amenities for the residential units include gathering spaces on the first floor of the building, extensive and well-designed outdoor gathering and relaxation spaces, and basement storage spaces to accommodate the needs of each residential unit’s occupants.

Located across E Broadway from the main St. John’s hospital campus, the Subject Property is ideally located to accommodate St. John’s Health employees within easy walking distance (mere feet) to their primary place of employment and near the services and amenities at the center of the Town of Jackson. Not only is this location convenient to St. John’s Health employee’s workplace and Town of Jackson amenities, but it provides for convenient walking and/or biking to their workplace, and amenities, effectively limiting the daily need to drive. Of particular importance to St. John’s Health operations, their employees housed at the Hitching Post Apartments are also next door to the hospital, making employee access to hospital operations convenient and timely as hospital operations frequently require.

At approximately 1.65 acres, the Subject Property is large enough to accommodate a relatively dense residential development. Parking is primarily provided on site, with a portion of the required parking provided near the Subject property, less than 700’ from the residential project.

The proposed development is sited primarily along the western portion of the project, adjacent to property dedicated for parking by the neighboring Jesus Christ of Latter-Day Saints church. Surface parking and a landscape buffer runs along the eastern property boundary, providing relief from the neighboring residential and office uses to the east. The development is also setback from the south property line, which is boarded partially by residential uses and primarily by Teton County Health.

### 2.3. Proposed Development Program

The project's compliance with conditional P/SP zoning for the Subject Property is summarized below. Also included is a comparison of the project's consistency with certain NM-2 Zoning dimensional standards that were not included in the conditional P/SP zoning.

Development Standard	Permitted Under Conditional P/SP	Proposed	Permitted Under Prior NM-2 √=Compliance
<b>Primary Building Setbacks</b>			
Primary street setback (min)	20'	20'	20' √
Secondary street setback (min)	10'	10'	10'
Side interior (min)	10'	10'	10' √
Rear (min)	10'	20'	20' √
<b>Site Development Setbacks</b>			
Primary/Secondary Street (min)	20'	>20'	20' √
Side/Interior (min)	5'	10'	5' √
<b>Landscape Surface Ratio</b>			
Apartments	.21 excl. 70% in first 1/3 of lot	.28.8%	.21 & 70% in first 1/3 of lot
<b>Vehicular Access Standards</b>			
Curb Cut Width (max)	None	24'	20'
Driveway Width	None	24'	20'
<b>Parking Setbacks</b>			
Primary Street (min)	0'	>20'	>20' √
Secondary Street (min)	0'	n/a	0'
Side interior (min)	1'	10'	1' √
Rear (min)	5'	20'	5' √
<b>Height</b>			
Height @ > 6/12 (max)	39' but with consideration to neighbors to east.	39'	39' √
Stories	3	3	3 √
<b>FAR</b>			
	none	1.0 (approx.)	.40 with exemption per 7.8.3.

## **2.4 Architectural plans including site plans, floor plans, elevations and renderings**

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The existing conditions of the Subject Property are shown in attached **Exhibit A: Hitching Post Apartments Plan Set**, Sheet C3.00 – Site Plan and architectural plans Sheet DEV-04 – Site Plans.

Architectural site plans, floor plans, area plans, unit plans, elevations and renderings are included in the attached **Exhibit A: Hitching Post Apartments Plan Set** Sheets DEV-04 through DEV16 dated 2.18.2025.

## **2.5. Structure Location and Mass**

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The proposed structure location and mass, including setbacks, height, floor area and other dimensional limitations are summarized in the above **Section 2.3. Proposed Development Plan** of this report. The project’s proposed structure location and mass meets all dimensional limitations required by the conditional P/SP zoning. The proposed structure location and mass is shown throughout the attached **Exhibit A: Hitching Post Apartments Plan Set**

## **2.6. Pedestrian Frontage:**

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Neither the conditional P/SP zoning, nor the previous NM-2 zoning have pedestrian frontage standards, and while not specifically included in the Pre-application Conference checklist, pedestrian frontage was a discussion point during the pre-application conference. Therefore, “pedestrian frontage is included here for the purpose of showing compliance with the intent of the Community Streets Plan.

In the vicinity of the Subject Property the Community Streets Plan envisions a 5’ detached sidewalk and a 6’ landscape buffer. The Subject property line is approximately 8’ from the existing south curb of the fronting E Broadway travel way. The Hitching Post project proposes a 7.5’ landscape strip on the Subject Property, combined with the 8’ distance between property line and curb for a total 15.5’ landscape buffer. The plans then call for a 6’ sidewalk south of the landscape buffer. The sidewalk terminates at the main entrance to the Hitching Post Apartments.

The project also proposes a crosswalk across E Broadway from the project entrance directly north, and includes a new curb cut and ADA ramp at both the north and south terminations of the crosswalk.

## **2.7. Maximum Scale of Development**

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The conditional P/SP zoning has no limitation on maximum scale of development. A breakdown of the overall floor area in the project, including habitable, versus nonhabitable, a breakdown

of floor area by building floor, and overall floor area by dwelling versus circulation is included in the attached **Exhibit A: Hitching Post Apartments Plan Set** on Sheet DEV-02 Program Matrix/Index. Plan Set Sheet DEV-06 Area Plans includes a color-coded break down of habitable and nonhabitable floor area as well.

**2.8. Design Review**

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The Design Review Committee undertook a “conceptual review” of the project on December 11, 2024. A summary of the Design Review Committee comments on the conceptual plans is included as **Exhibit B: Design Review Committee Conceptual Review Follow Up Letter** of this application.

Architectural plans were revised in response to Design Review Committee comments and were submitted for final review by the Design Review Committee on February 17, 2025, and final review is expected to occur during the March 12, 2025 Design Review Committee meeting.

**2.9. Site Development**

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The conditional P/SP zoning for the Subject Property includes a requirement that the Landscape Surface Ratio meet the minimum LSR requirement for Apartment use in NM-2 zoning of .21 with the exception that the Subject Property is not subject to the additional standard of a minimum 70% LSR in the front 1/3 of the lot.

As presented, the project proposes an LSR of 20,681 s.f. of landscape area or approximately 28.8 % of the lot area. This information is included on the **Exhibit A: Hitching Post Apartments Plan Set**, sheet titled Landscape Plan.

The conditional P/SP zoning on the property does not include any limitations on driveway and access limits. Previous NM-2 zoning includes a curb cut width maximum of 20’ per 100’ of lot frontage. The Subject Property has 196.5 feet of lot frontage. While this limitation is not applicable under the conditional P/SP zoning, the project as proposed has a curb cut width of 24’, which is consistent with the purpose of curb cut with limitations in the NM-2 zone district.

**2.10. Fencing**

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The conditional P/SP zoning does not prescribe fencing standards. The proposed development will include fencing along the east, south and west property lines. The fencing is proposed to be cedar fencing, 6 feet in height along these property lines. Regardless of the fact that no fencing standards are prescribed by the conditional P/SP zoning, the fencing proposed meets the standards of the NM-2 zoning, which limits fencing to 6’ in height along the side or rear lot lines. Please refer to **Exhibit A: Hitching Post Apartments Plan Set** Sheet DEV-04 Site Plans

## **2.11. Scenic Standards**

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Exterior lighting standards apply. Please refer to architectural plans, specifically Sheet DEV – 16 Exterior Light Fixture Cutsheets of the attached **Exhibit A: Hitching Post Apartments Plan Set**.

## **2.12. Natural Hazards to Avoid**

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No steep slopes are present on site. The property is not within the Flat Creek floodplain. Soil and groundwater studies have been completed revealing no hazards. Please refer to the attached engineering plan for any additional information on soil stability and excavation, erosion control and shoring.

The project is subject to Town of Jackson Wildland Urban Interface standards. The applicant will consult the Town Fire Department to ensure compliance with the WUI Standards during the course of Development Plan review.

## **2.13. Grading and Erosion Control, Stormwater, etc.**

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Preliminary grading, erosion control, shoring approach, and stormwater management plans has been provided within the engineering plans included in the attached plan set. These plans provide information on compliance with relevant LDR standards and proposed utility locations.

## **2.14. Allowed Uses/ Affordable Workforce Housing**

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The Hitching Post Apartment project proposes a total of 72 apartment uses, including 22 one-bedroom units, 48 two-bedroom units and 2 three-bedroom units. The project also includes amenity space on the first floor and basement, and 75 storage units in the project's basement for the benefit of residents.

The conditional P/SP zoning allows for Accessory Residential Units as a Basic Use. During the Zoning Map Amendment application (ZMA P22-053) it was determined that the Subject Property and any proposed ARU use on the Subject Property is considered accessory to St. John's Health's overall hospital use on adjacent property owned by the Teton County Hospital District.

The ARU use is subject to ARU occupancy requirement as described in LDR Section 6.1.11.B, which limits occupancy of ARUs, in part, requiring that *"The occupants shall be employed within Teton County, in accordance with the Jackson/Teton County Housing Rules and Regulations"*.

The Jackson/Teton County Housing Rules and Regulations generally state that ARUs:

*"...will be part of the "Workforce Rental" program and are required to have a Special Restriction for Workforce Rental Housing recorded on them. To qualify to rent these units, the Household*

*must meet the Employment Requirement. A minimum of 75% of the Household's income must be earned from a Local Business(es). The tenants must physically occupy the unit a minimum of 80% of their lease term. Tenants will be required to requalify annually or upon lease renewal. The units are not allowed to remain vacant in excess of 60 days. Rents are set by the owner."*

It is the overarching purpose of the Hitching Post Apartment project to provide housing to their employees. The project will not only significantly benefit St. John's Health, to achieve their purpose *"To provide our unique community and visitors with exceptional and ever-advancing individualized care"*, by helping them retain employees who may not otherwise be able to afford housing in the community but also will serve as an attractive inducement to recruit needed health care professionals.

As an entity that provides immeasurable benefits to the community, and one that is undertaking a significant development project as a way to continue its commitment to providing high quality health care to the Town of Jackson and Teton County community residents and visitors, St. John's Health is committed to meeting the general purpose of ensuring that the ARU units on the Hitching Post Lodge property provide workforce housing, as intended.

However, due to the unique circumstances specific to the St. John's Health organization, the challenges associated with recruiting and retaining health care employees, and the significant cost and burden of developing the Hitching Post Lodge property, St. John's Health will require some limited modifications to the detailed Jackson/Teton County Housing Rules/Regulations specific to ARUs. These include the following:

1. Limit the requirement that a minimum of 75% of the *household's* income must be earned from a local business to apply the 75% minimum to only the St. John's Health employee, rather than the overall household.
2. Allow units to remain vacant for a period of time greater than the 60 days as dictated by the Jackson/Teton County Rules and Regulations.

The purpose of needing these modifications to the Rules and Regulations are due to the unique employee retention and recruiting circumstances of St. John's Health.

Regarding item #1 above, in experience and practice, St. John's Health employs health care professionals that have specific skills, but who may have a household partner that may earn their living outside of Teton County. If not for housing, that employee would not continue employment or move to Jackson Hole for employment at St. John's and will not subject their partner to a requirement that they are necessarily employed by a Teton County business. As such, the retention and/or recruitment of such an employee will not be successful. While a St. John's employee's partner may earn income from outside the community, it is necessarily the case that any St. John's employee in the Hitching Post Apartments will earn a minimum of 75% of their income from St. John's Health, and therefore within Teton County.

Relating to item #2 above, while it is not in the interest of St. John's Health to allow units to remain vacant for any period of time, much less 60 days, it is the experience and practice of St. John's Health that, in order to recruit skilled and trained employees there is often a lag time between securing employment of an individual from outside the community and the time it takes for the individual to be released from their current employment, and move to the Jackson Hole community. This lag time is commonly greater than 60 days for those individuals with specific skills and experience that are rare or difficult to recruit. Most importantly, these difficult to fill positions are typically an acute need to continuing the ongoing operations of St. John's Health.

For these reasons, St. John's Health seeks the modifications to the ARU occupancy Rules and Regulations and we look forward to discussing how to best make these modifications to any deed restriction that may be required for the ARUs proposed in the Hitching Post Apartment project.

## **2.15. Parking**

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While P/SP zoning has a parking requirement of 1.25 spaces/Accessory Residential Unit, it has been the interpretation of the Town of Jackson planning staff that the use of the Subject Property is less consistent with ARU use and that, for the purpose of parking requirements, "Apartment" use is more appropriate. Apartment use requires 1.5 spaces per unit. Accepting this interpretation by the planning staff, the Hitching Post Apartment project is providing a total of 108 parking spaces for the project. (72 units x 1.5 = 108).

Of the 108 required parking spaces, 76 spaces are being provided on site. Of the parking spaces provided on site, 38 are standards parking spaces, 5 are handicap spaces (2 handicap spaces are van accessible and 3 are standard handicap spaces) and 33 spaces are EVSE capable (with 6 of these being EVSE installed).

The remaining parking space requirement of 32 spaces (108-76=32) are proposed to be provided off-site on land currently owned by St. John's Health. The location of these parking spaces is near the southeast corner of E Broadway and Redmond Street and is shown on the attached plan **Exhibit A: Hitching Post Apartments Plan Set** on Sheet DEV-03 and labeled as #8 Shared Parking Location. The location of the shared parking is approximately 665 feet from the Subject Property.

Off-site parking requires a shared parking agreement between the Subject Property and the property where the off-site parking is being provided. A draft shared parking agreement, including the number of spaces being shared at the off-site location is provided in **Exhibit C: Shared Parking and Access Easement Agreement** to this report.

By providing off-site parking on lands currently owned/used by the hospital, St. John's Health will displace some of the parking currently provided for hospital campus use. However, St. John's Health has completed a parking study for the overall campus, including the Hitching Post

Lodge property/project and the off-site parking proposed as part of the Hitching Post project. This parking study takes into consideration the parking provided on-site and off-site for the Hitching Post Apartment and establishes that there is a surplus of parking for the overall campus when accounting for the parking proposed by the Hitching Post Apartment project. This parking Study is included with this report as **Exhibit D: Hospital Campus Parking Plan**

The amount, type and location of the vehicle parking spaces proposed for the Hitching Post project, including the % of handicap spaces, the % of EVSE capable and installed spaces, and the proximity of off-site spaces to the Subject Property are all consistent with the parking standards of Section 6.2 of the Town LDRs.

Newly adopted standards for bike parking also apply to this Development Plan application. The standard of providing 93 bike parking spaces (.75 bike parking spaces per bedroom (124 bedrooms x .75 = 93) is being met by providing long term bile parking within each of the basement storage units for each of the apartment units and providing short term bike parking on site for 24 bikes. This is indicated in **Exhibit A - Hitching Post Apartments Plan Set** on Sheet DEV-04 and on the sheet titled Landscape Plan.

## **2.16. Operational Standards**

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Refuse and recycling enclosure are provided and located along the East boundary of the property as shown on all site plan sheets within the attached **Exhibit A - Hitching Post Apartments Plan Set**.

## **2.17. Transportation Facility Standards**

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Access to roads and streets standards are discussed elsewhere in this report, including in Section 2.9 - Site Development and illustrated within various site plans included in **Exhibit A - Hitching Post Apartments Plan Set**

## **2.18. Required Utilities:**

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Utility plans, including water supply and sanitary sewer plans and engineering details are included in **Exhibit A: Hitching Post Apartments Plan Set**, Sheets C3.10 Utility Plan, C4.10 Water Details, and C4.20 Sewer Details. Also included in the engineering plans are storm sewer details on Sheet C4.30 and C4.31.

## **2.19. Construction Management Plan:**

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While not specifically required by the Pre-application Conference checklist, the applicant has provided a construction management plan for the project for consideration by the Town of Jackson. This is included with this report as **Exhibit E: Construction Management Plan**

### 3.0. Finding for Approval

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#### 3.1. Findings for Approval – Development Plan

---

A development plan shall be approved upon finding the application:

- 1. Is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan;**

**Complies:** The purpose of the LDRs is to implement the Jackson/Teton County Comprehensive Plan and promote the health, safety and general welfare of the present and future inhabitants of the community. The Subject Property is located partially in Comprehensive Plan Subarea 2.6 – Mixed Use Office and Residential and partially in Subarea 3.2 – Residential Core. Subarea 2.6 recognizes St. John’s Hospital as an existing institutional use and envisions that the “Bulk, scale and intensity of St’ John’s campus has always been and will continue to be of higher intensity than the surrounding mixed use and residential neighborhoods.” Subarea 3.2 envisions that “multifamily residential uses will be encouraged in order to replace existing commercial uses...” and that “Multifamily structures will be predominately found on larger residential lots and along mixed-use corridors. The size and scale of multi family structures will be predominately two stories with three stories considered in specific cases with proper design.”

The proposed Hitching Post Apartments project meets the desired future character of Subarea 2.6 and 3.2 by integrating into the greater St. John’s Hospital campus, replacing the existing commercial use on the Subject Property with residential use, and a multifamily structure on a larger lot, located along E Broadway, a mixed use corridor, and properly designing the project to minimize impacts to neighboring residential areas.

- 2. Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable;**

**Not applicable.**

- 3. Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMS facilities;**

**Complies:** The proposed Hitching Post Apartments project will serve to provide residential opportunities for St. John’s Health employees in close proximity to their place of employment, effectively reducing traffic and will allow the continued support for fire, EMS and police services that that St’ John’s Health provides. The project also replaces an existing development that is served by water and wastewater facilities.

**4. Complies with the Town of Jackson Design Guidelines, if applicable;**

**Complies:** The applicant has made every effort to comply with the Town of Jackson Design Guidelines and has presented plans for conceptual review by the Design Review Committee, which was favorably reviewed. Application for final design review has been submitted to the Town prior to the submittal of this Development Plan application.

**5. Complies with all relevant standards of these LDRs and other Town Ordinances;**

**Complies:** The proposed project meets the requirements of the existing conditional P/SP zoning, all relevant standards of the LDRs, and meets all other applicable town ordinances as discussed throughout this application.

**6. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.**

**Not Applicable.**

### **3.2. Findings for Approval – Basic Use Permit**

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A basic use permit shall be approved upon finding the application:

**1. Complies with the use specific standards of Division 6.1. Allowed Uses and the zone;**

**Complies:** The proposed use of the property as a multifamily Accessory Residential use is a Basic Use in the P/SP zone District.

**2. Complies with all other relevant standards of these LDRs and all other Town Ordinances; and**

**Complies:** The proposed project meets the requirements of the existing conditional P/SP zoning, all relevant standards of the LDRs, and meets all other applicable town ordinances as discussed throughout this application.

**3. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.**

**Not applicable**

**Exhibit A:**

**Hitching Post Apartments Plan Set**



# HITCHING POST APARTMENTS

460 EAST BROADWAY  
JACKSON, WY 83001

DEVELOPMENT PLAN  
02.18.2025



DRAWN: SW  
REVIEWED: KM  
DATE: 02.18.2025  
PROJECT #: 24008  
FILE:  
SHEET TITLE:  
COVER SHEET

SCALE:

NO. DEV-01

ARCHITECTURE  
DESIGN  
collaborative  
flow

SHAW  
CONSTRUCTION  
JORGENSEN

BLUELINE  
PROPERTY MANAGEMENT

StJohn's  
HEALTH

# PROGRAM MATRIX

HITCHING POST APARTMENTS																						
Unit Description				Unit Calculations								First Floor			Second Floor			Third Floor				
Unit type	Description	Unit Count	Kitchen Type	Bath Type	Av. Unit NRA	Av. Unit NLA	Av. Balcony	# of Balc.	Total Balc.	Unit GLA w/balc.	NLA	GLA	Unit Count	NLA/Floor	GLA/Floor	Unit Count	NLA/Floor	GLA/Floor	Unit Count	NLA/Floor	GLA/Floor	
<b>One Bedroom Units</b>																						
1.1	1 Bedroom, 1 Bath	15	TBD	TBD	622		0	0	0	622	9,330	9,330	3	1,866	1,866	6	3,732	3,732	6	3,732	3,732	15
1.2	1 Bedroom, 1 Bath (Bridge)	2	TBD	TBD	654		0	0	0	654	1,308	1,308	0	0	0	1	654	654	1	654	654	2
1.3	1 Bedroom, 1 Bath (End)	2	TBD	TBD	664		0	0	0	664	1,328	1,328	0	0	0	1	664	664	1	664	664	2
1.4A	1 Bedroom, 1 Bath (Type A)	3	TBD	TBD	628		0	0	0	628	1,884	1,884	1	628	628	1	628	628	1	628	628	3
2.1	2 Bedroom, 1.5 Bath	38	TBD	TBD	835		0	0	0	835	31,730	31,730	8	6,680	6,680	15	12,525	12,525	15	12,525	12,525	38
2.2	2 Bedroom, 1.5 Bath (Corner)	3	TBD	TBD	899		0	0	0	899	2,697	2,697	1	899	899	1	899	899	1	899	899	3
2.3	2 Bedroom, 1.5 Bath (Corner)	3	TBD	TBD	853		0	0	0	853	2,559	2,559	1	853	853	1	853	853	1	853	853	3
2.4A	2 Bedroom, 1 Bath (Type A)	2	TBD	TBD	846		0	0	0	846	1,692	1,692	0	0	0	1	846	846	1	846	846	2
2.5	2 Bedroom, 1 Bath	2	TBD	TBD	846		0	0	0	846	1,692	1,692	0	0	0	1	846	846	1	846	846	2
3.1	3 Bedroom, 2 Bath	2	TBD	TBD	1,493		0	0	214	1,707	2,986	3,414	0	0	0	1	1,493	1,707	1	1,493	1,707	2
Sub-total One Bedroom units		22	31%						0	214	57,206	57,634	14	10,926	10,926	29	23,140	23,354	29	23,140	23,354	72
Sub-total Two Bedroom units		48	67%	Type A Units	5	7%																
Sub-total Three Bedroom units		2	3%	Type B Units	67	93%																
Total Units		72	100%																			

RESIDENTIAL SUMMARY						
TOTAL UNITS	First Floor	Second Floor	Third Floor	0	TOTAL	
TOTAL UNITS	14	29	29	0	23,354	23,426
TOTAL BEDROOMS						
SQUARE FOOTAGE SUMMARY						
	First Floor	Second Floor	Third Floor	0		
Average Unit GLA						
Average Unit NLA						
NLA	57,206	10,926	23,140		23,140	
GLA	57,634	10,926	23,354		23,354	
Amenity Area	1,701	1,701				
Office Area	1,643	1,643				
Circulation and Support	12,879	2,851	5,014	5,014		
<b>SUBTOTAL GLA + ACCESORY</b>	<b>73,857</b>	<b>17,121</b>	<b>28,368</b>	<b>28,368</b>		
<b>BUILDING EFFICIENCY</b>		<b>64%</b>	<b>82%</b>	<b>82%</b>		
BASEMENT STORAGE AREA		11,523				
COVERED PARKING / BRIDGE		11,906				
<b>GBA</b>		<b>97,286</b>				
PARKING SUMMARY						
<b>TOTAL PARKING PROVIDED</b>		76				

**DEFINITIONS**  
 NET RENTABLE- The area of a living unit is measured from the inside faces of the corridor and exterior walls and from the inside faces of the partitions separating  
 NET LEASABLE= Outside face of exterior/ Centerline of Units/ Corridor side of Units.

Blue = Formula - Do not Edit

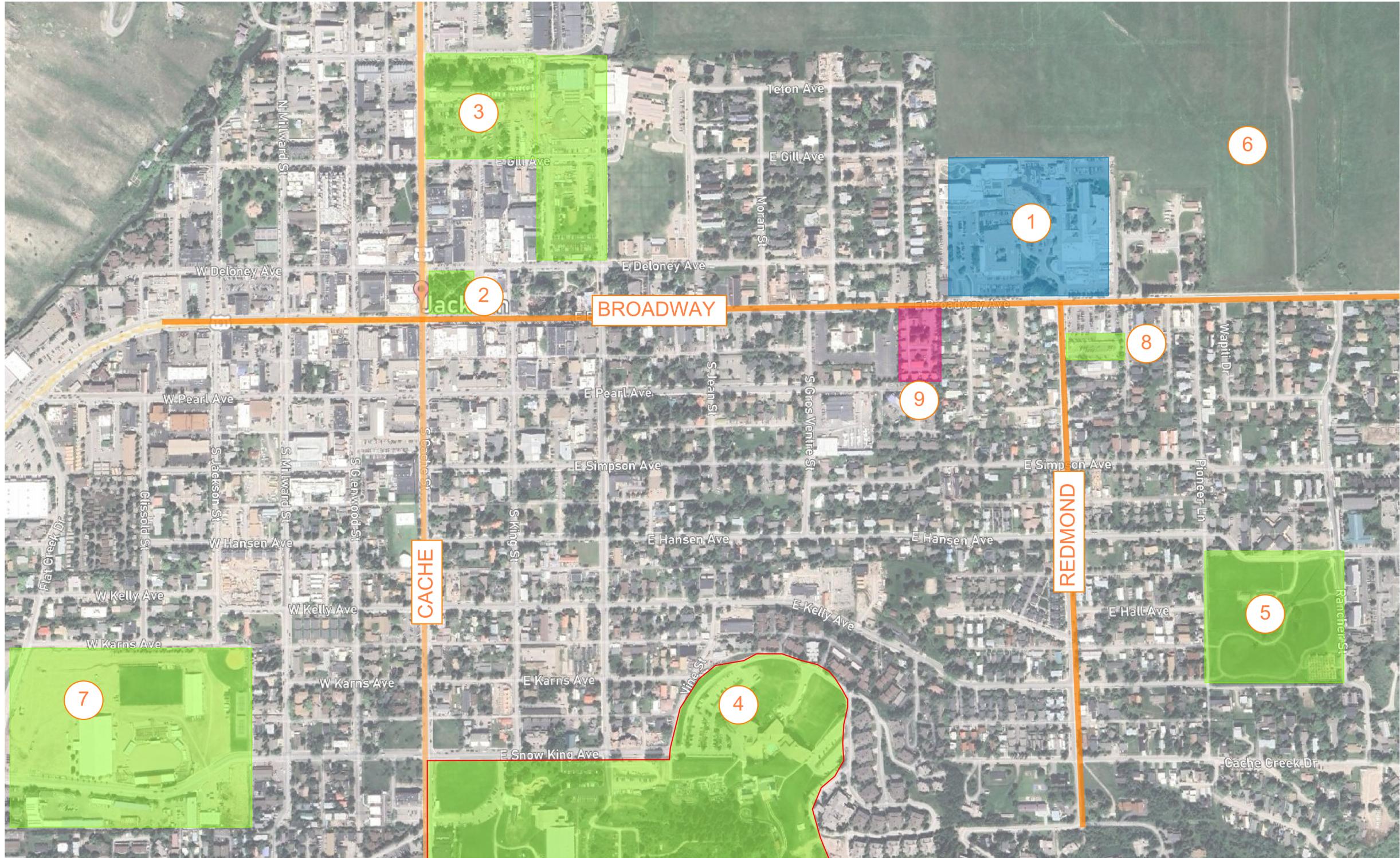
S H O P W O R K S

DRC SHEET INDEX		
Sheet Number	Sheet Name	DEVELOPMENT PLAN 02.18.2025
<b>ARCHITECTURE</b>		
DEV-01	COVER SHEET	X
DEV-02	PROGRAM MATRIX / INDEX	X
DEV-03	VICINITY MAP	X
DEV-04	SITE PLANS	X
DEV-05	FLOOR PLANS	X
DEV-06	AREA PLANS	X
DEV-08	UNIT PLANS	X
DEV-09	ELEVATIONS	X
DEV-10	ELEVATIONS	X
DEV-11	RENDERED ELEVATIONS	X
DEV-12	RENDERING NORTHWEST	X
DEV-13	RENDERING NORTHWEST	X
DEV-14	RENDERING ENTRY	X
DEV-15	MATERIAL BOARD	X
DEV-16	EXTERIOR LIGHT FIXTURE CUTSHEETS	X
<b>CIVIL</b>		
C1.00	CIVIL COVER SHEET	X
C2.00	EXISTING CONDITIONS	X
C2.10	DEMOLITION PLAN	X
C3.00	SITE PLAN	X
C3.10	UTILITY PLAN	X
C3.20	GRADING PLAN	X
C4.00	EROSION AND UTILITY DETAILS	X
C4.10	WATER DETAILS	X
C4.20	SEWER DETAILS	X
C4.30	STORM SEWER DETAILS	X
C4.31	STORM SEWER DETAILS	X
C4.40	STREET DETAILS	X
C4.41	STREET DETAILS	X
<b>LANDSCAPE</b>		
LS-001	LANDSCAPE EXHIBIT	X
LS-101	LANDSCAPE PLAN	X



DRAWN: SW  
 REVIEWED: KM  
 DATE: 02.18.2025  
 PROJECT #: 24008  
 FILE:  
 SHEET TITLE:  
**PROGRAM MATRIX / INDEX**  
 SCALE:  
 NO. **DEV-02**





INDEX

- 1 ST. JOHN'S HEALTH
- 2 JACKSON TOWN SQUARE
- 3 TETON COUNTY PARKS AND RECREATION
- 4 SNOW KING MOUNTAIN
- 5 MAY PARK
- 6 NATIONAL ELK REFUGE
- 7 JACKSON HOLE RODEO
- 8 SHARED PARKING LOCATION
- 9 HITCHING POST APARTMENTS

DRAWN: SW  
 REVIEWED: KM  
 DATE: 02.18.2025  
 PROJECT #: 24008  
 SHEET TITLE: VICINITY MAP

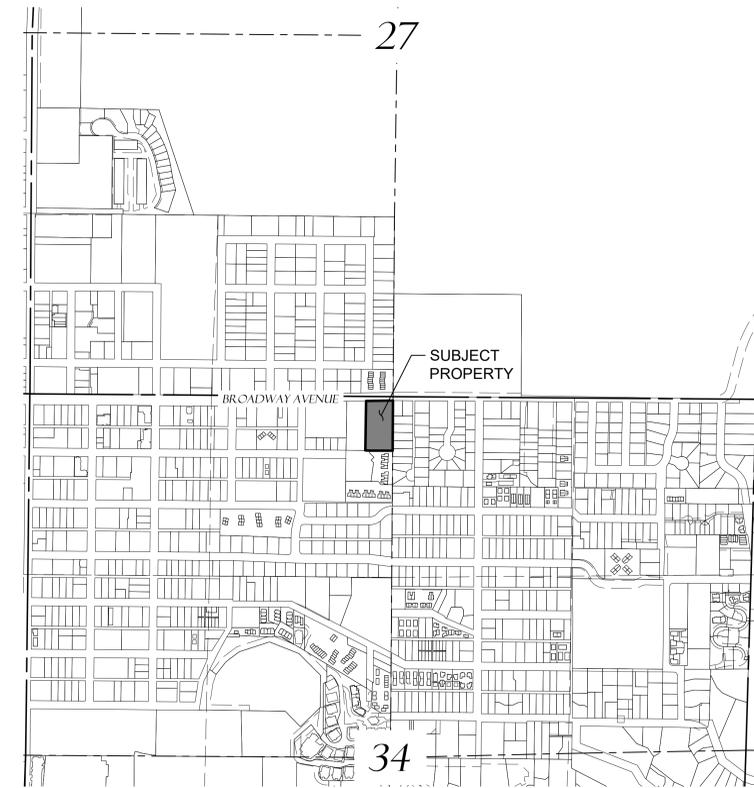
SCALE: \_\_\_\_\_  
 NO. DEV-03

SHAW CONSTRUCTION  
 JORGENSEN  
 BLUELINE PROPERTY MANAGEMENT  
 StJohn's HEALTH  
 flow design collaborative

**HITCHING POST APARTMENTS**

# HITCHING POST WORKFORCE HOUSING DEVELOPMENT PLAN

LOCATED WITHIN  
NE1/4NW1/4 SECTION 34, T41N, R116W, 6TH P.M.  
JACKSON, WYOMING



VICINITY MAP  
1" = 500'  
FOR 24x36 PRINTS



## SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C1.00	CIVIL COVER SHEET
C1.10	PROJECT NOTES AND LEGEND
C2.00	EXISTING CONDITIONS
C2.10	DEMOLITION PLAN
C3.00	SITE PLAN
C3.10	UTILITY PLAN
C3.20	GRADING PLAN
C4.00	EROSION AND UTILITY DETAILS
C4.10	WATER DETAILS
C4.20	SEWER DETAILS
C4.30	STORM SEWER DETAILS
C4.31	STORM SEWER DETAILS
C4.40	STREET DETAILS
C4.41	STREET DETAILS

### OWNER:

Teton County Hospital District  
P.O. Box 428  
Jackson, Wyoming 83001  
307.733.3636

### CIVIL ENGINEER:

Jorgensen Associates, Inc.  
P.O. Box 9550 / 1315 HWY 89 S., Suite 201  
Jackson, Wyoming 83002  
307.733.5150

### ARCHITECT:

Shopworks Architecture  
301 W. 45th Avenue  
Denver, Colorado 80216  
303.433.4094x105



HITCHING POST  
460 E. BROADWAY  
JACKSON, WY

REV: 1 02.12.2025 SKETCH PLAN

DRAWN: UC  
REVIEWED: BB  
DATE: 02.12.2025  
PROJECT #: 24127  
FILE: SKETCH PLAN  
SHEET TITLE:  
CIVIL COVER SHEET

SCALE: 1" = 20'-0"

NO. C1.00

**GENERAL PROJECT NOTES:**

- PROJECT SCOPE: CONSTRUCTION WILL INCLUDE A 72 UNIT APARTMENT COMPLEX AND ITS ASSOCIATED UTILITIES.
- PROJECT LOCATION: 460 E. BROADWAY AVENUE, JACKSON, WYOMING, PID: 22-41-16-34-2--00-001
- PROPERTY ZONING, OVERLAYS, AND FLOODWAYS:  
 ZONE: P1SP NOT WITHIN  
 SCENIC OVERLAY: NOT WITHIN  
 NATURAL RESOURCES OVERLAY: NOT WITHIN  
 WILDLAND-URBAN INTERFACE: NOT WITHIN  
 FLOOD ZONE: ZONE X
- PROJECT SCHEDULE: CONSTRUCTION TO BEGIN SUMMER/FALL 2025 AND TO BE COMPLETED FALL 2027.
- PROPERTY AREA = ±1.67 ACRES (±72,573 SF)  
 TOTAL AREA OF DISTURBANCE = 1.76 ACRES (±76,677 SF)  
 IMPERVIOUS SURFACE: (~73% OF LOT)
- BASE MAPPING PREPARED FROM GROUND SURVEY PERFORMED BY JORGENSEN ASSOCIATES, INC IN JULY 2021 USING GPS RTK METHODS AND REFERENCE NGVD29. THE BASIS OF BEARINGS FOR THIS SURVEY IS REFERENCED TO THE EAST PROPERTY BOUNDARY WITH A BEARING OF S 00°09'43" E.
- ALL PROPOSED FENCING SHALL MEET THE WILDLIFE FRIENDLY FENCING STANDARDS AS DEFINED IN SECTION 5.1.2 OF THE TETON COUNTY LAND DEVELOPMENT REGULATIONS. NO PERMANENT FENCING IS CURRENTLY PROPOSED FOR THIS PROJECT.
- ALL PROPOSED REFUSE/RECYCLING CONTAINERS SHALL BE BEAR-RESISTANT ACCORDING TO SECTION 5.2.2 OF THE TETON COUNTY LAND DEVELOPMENT REGULATIONS.

**GENERAL CONSTRUCTION NOTES & SPECIFICATIONS:**

- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS, ARTICLE 5 OF TETON COUNTY LAND DEVELOPMENT REGULATIONS, AND THE REQUIREMENTS OF THE ASPEN WATER AND SEWER DISTRICT.
- CONTRACTOR SHALL CONSTRUCT EROSION CONTROL STRUCTURES PRIOR TO ANY EARTHWORK OR CONSTRUCTION. EROSION CONTROL STRUCTURES SHALL BE CONSTRUCTED AND MAINTAINED BY CONTRACTOR UNTIL VEGETATION IS RE-ESTABLISHED IN DISTURBED AREAS. REFER TO TYPICAL DETAILS FOR APPROVED EROSION CONTROL STRUCTURES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
- ALL EXCAVATION ACTIVITIES SHALL COMPLY WITH PERMIT REQUIREMENTS ISSUED FOR THE PROJECT. CONTRACTOR SHALL REVIEW AND BE RESPONSIBLE FOR PERMIT COMPLIANCE.
- CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- FILL MATERIAL SHALL BE SUITABLE ON-SITE OR IMPORTED MATERIAL WITH ROCK NO LARGER THAN 6 INCHES IN DIAMETER. LARGER MATERIAL MAY BE PLACED ONLY WHEN AUTHORIZED BY THE ENGINEER.
- SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (AASHTO T-99 - STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 12 INCHES IN LOOSE THICKNESS.
- CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING W. CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-180 - MODIFIED PROCTOR DENSITY). IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS.
- WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS PRIOR TO REVEGETATION AND AFTER REVEGETATION IS COMPLETE.
- FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.
- ALL EXCAVATED MATERIALS INCLUDING STRIPPED AND SALVAGED TOPSOIL SHALL BE STOCKPILED AND PROCESSED ON-SITE. CONFIRM STOCKPILE AND STAGING LOCATIONS WITH THE OWNER.
- TOPS OF CUT AND FILL SLOPES SHALL BE ROUNDED TO AVOID RAVELING AND EROSION.
- TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING, PRIOR TO REVEGETATION.

**REVEGETATION SPECIFICATIONS:**

- SEED MIXTURE (OR APPROVED EQUAL). USE THIS REVEGETATION SPECIFICATION IN THE ABSENCE OF OTHER REVEGETATION SPECIFICATIONS OR DIRECTION FROM LANDSCAPE ARCHITECT.
 

COMMON NAME	LBS./ACRE
MOUNTAIN BROME	10 LBS./ACRE
THICKSPIKE WHEATGRASS	12 LBS./ACRE
IDAHO FESCUE	6 LBS./ACRE
WESTERN WHEATGRASS	12 LBS./ACRE
ALPINE TIMOTHY	12 LBS./ACRE
TOTAL PURE LIVE SEED APPLICATION RATE	52 LBS./ACRE
- SEED MIXES CONTAINING NATIVE FLOWERING PLANTS SUCH AS LUPINE, YARROW AND PAINTBRUSH ARE ACCEPTABLE.
- ALL SEED SHALL COMPLY WITH WYOMING SEED LAW. SEED SHALL BE PURCHASED FROM A DEALER LICENSED WITH THE WYOMING DEPARTMENT OF AGRICULTURE. CERTIFICATIONS FOR THE SEED MIX SHALL BE PROVIDED TO THE ENGINEER PRIOR TO SEEDING.
- TOPSOIL SHALL BE UNIFORMLY SPREAD ON PREPARED SURFACES PRIOR TO SEEDING. REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS FROM THE PREPARED SOIL PRIOR TO SEEDING.
- HARD PACKED OR CAKED TOPSOIL SURFACES SHALL BE SCARIFIED OR DISKED PRIOR TO SEEDING.
- SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE SURFACE BY APPROVED MECHANICAL BROADCASTING DEVICES AND THE GROUND SHALL BE IMMEDIATELY RAKED OR DRAGGED TO COVER THE SEED.
- SEEDING SHALL BE PERFORMED BETWEEN THE TIME THE FROST LEAVES THE GROUND IN THE SPRING AND BEFORE THE FROST ENTERS THE GROUND IN THE FALL.

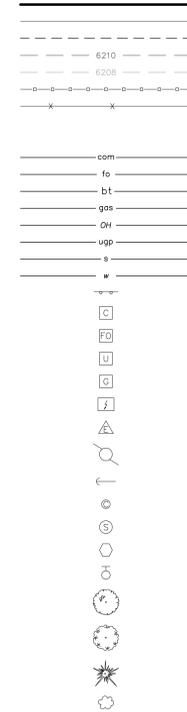
**CONSTRUCTION NOTES & SPECIFICATIONS:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PERMITS AND AGREEMENTS INCLUDING: WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY, AND WYOMING STATE ENGINEERS OFFICE PERMIT. CONTACT ENGINEER FOR COPIES OF PERMITS AND PERMIT REQUIREMENTS. CONTRACTOR SHALL REVIEW AND BE RESPONSIBLE FOR PERMIT COMPLIANCE.
- IF NECESSARY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY NPDES STORMWATER PERMIT PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA.
- CONTRACTOR TO CONFIRM STOCKPILE AND STAGING LOCATIONS WITH THE OWNER.
- FILL MATERIAL SHALL BE SUITABLE ON-SITE OR IMPORTED MATERIAL WITH ROCK NO LARGER THAN 6 INCHES IN DIAMETER. LARGER MATERIAL MAY BE PLACED ONLY WHEN AUTHORIZED BY THE ENGINEER.
- SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (AASHTO T-99 - STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 12 INCHES IN LOOSE THICKNESS.
- CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING W. CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-180 - MODIFIED PROCTOR DENSITY).
- DESTRUCTION AND DAMAGE TO TREES AND OTHER NATURAL VEGETATION SHALL BE MINIMIZED AND ALL DISTURBED SURFACES SHALL BE RESEDED AS SOON AS PRACTICABLE IN ACCORDANCE TO THE REVEGETATION SPECIFICATIONS.
- WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS PRIOR TO REVEGETATION AND AFTER REVEGETATION IS COMPLETE.
- REVEGETATION SHALL OCCUR AFTER CONSTRUCTION IS COMPLETE AND WILL BE COMPLETED IN THE FALL OF 2025 OR SPRING OF 2026.
- FUGITIVE DUST WILL BE CONTROLLED BY WATERING OR OTHER METHODS DURING DRY PERIODS OR AS REQUIRED BY OWNER.
- ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.
- TOPS OF CUT AND FILL SLOPES SHALL BE ROUNDED TO AVOID RAVELING AND EROSION. CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 WITHOUT SPECIAL STABILIZATION AND APPROVAL FROM ENGINEER.
- A LAYER OF TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING.
- NO WETLANDS SHALL BE DISTURBED WITHOUT FIRST OBTAINING NECESSARY PERMITS FROM THE U. S. ARMY CORPS OF ENGINEERS.
- AREAS WITH UNSUITABLE SUBGRADE UNDER ROADWAYS OR BUILDING SHALL BE SUB-EXCAVATED AND REPLACED WITH APPROVED STRUCTURAL FILL. COORDINATE WITH ENGINEER FOR REMOVAL DEPTHS AND STRUCTURAL FILL SELECTION.
- ENGINEER SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE CONSTRUCTION OBSERVATION.
- ALL FENCING MUST COMPLY WITH SECTION 49220, WILDLIFE FRIENDLY FENCING, OF THE TETON COUNTY LAND DEVELOPMENT REGULATIONS. THIS SECTION INCLUDES A PROVISION FOR SPECIAL PURPOSE FENCING. ALL SPECIAL PURPOSE FENCING MUST BE APPROVED BY THE WYOMING GAME AND FISH DEPARTMENT.
- BEFORE START OF CONSTRUCTION INSTALL CONSTRUCTION FENCE/SILT FENCE TO DEFINE LIMITS OF LAND DISTURBING ACTIVITIES. FENCE FILTER FABRIC SHALL BE SPUN BOND GEOTEXTILE FABRIC.
- CONTRACTOR IS RESPONSIBLE FOR PERIODIC INSPECTIONS, MAINTENANCE AND REPAIR OF EROSION CONTROL STRUCTURES TO INSURE PROPER SEDIMENT CONTAINMENT AND EROSION CONTROL.
- STORMWATER RUNOFF SHALL BE MANAGED IN ACCORDANCE WITH TETON COUNTY LAND DEVELOPMENT REGULATIONS. RUNOFF FROM THE SITE SHALL NOT EXCEED THE PRE-CONSTRUCTION VALUES, AND VOLUME OF STORAGE SHALL NOT BE REDUCED.
- DURING CONSTRUCTION CONTRACTOR SHALL MONITOR THE PROJECT SITE FOR THE GROWTH OF NOXIOUS WEEDS. THE GROWN OF NOXIOUS WEED SHALL BE REPORTED TO THE TETON COUNTY WEED AND PEST DISTRICT OFFICE. CONTRACTOR AND OWNER SHALL IMPLEMENT A WEED CONTROL PROGRAM TO CONTROL NOXIOUS WEEDS.
- GRADES SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OF THE BUILDING FOUNDATION.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL SLOPE MIN. 2% AWAY FROM THE BUILDING.
- ALL SITE AND UTILITY WORK TO BE PERFORMED IN ACCORDANCE TO THE GEOTECHNICAL RECOMMENDATIONS PREPARED FOR THIS PROJECT, WHICH ARE INCLUDED IN THE PROJECT SPECIFICATIONS.

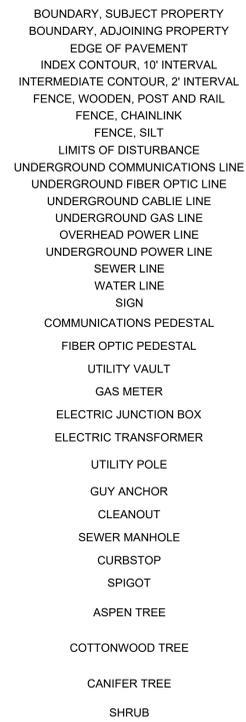
**WATER AND SEWER UTILITY NOTES**

- WATER AND SEWER INSTALLATIONS SHALL BE IN ACCORDANCE WITH CURRENT WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY, WATER QUALITY DIVISION RULES AND REGULATIONS. AND CONFORM TO TETON COUNTY WATER AND SEWER REGULATIONS
- TYPE A TRENCH BACKFILL SHALL APPLY TO ALL PAVED SURFACES AND AROUND ALL APPURTENANCES INCLUDING VALVES, FIRE HYDRANTS AND MANHOLES. TYPE B TRENCH BACKFILL SHALL APPLY ONLY TO NON-TRAVELED AREAS. SEE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS. IF BACKFILL TYPE IS NOT SHOWN TYPE A SHALL BE USED.
- CONTINUOUS RIGID TYPE A PIPELINE INSULATION SHALL BE PROVIDED AS SHOWN ON THE TYPICAL TRENCH DETAIL, AT ALL LOCATIONS WHERE DEPTH OF COVER IS LESS THAN 6 FEET FOR SEWER MAINS AND SERVICES; LESS THAN 7 FEET FOR WATER MAINS, SEWER FORCE MAINS, AND WATER SERVICES OR AS SHOWN ON THE PLANS. ALL SERVICES UNDER ROADWAYS, DRIVEWAYS, AND SIDEWALKS SHALL BE INSTALLED WITH 2" TYPE A INSULATION.
- MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL SEPARATION BETWEEN WATER PIPES AND SEWER PIPES/MANHOLES. MEASURED EDGE TO EDGE. MAINTAIN A MINIMUM OF 18 INCHES VERTICAL SEPARATION AT WATER-SEWER PIPE CROSSINGS. WHERE SEWER PIPE CROSSES ABOVE WATER PIPE, SPECIAL CONSTRUCTION IS REQUIRED. SEE TYPICAL DETAILS.
- WATER SERVICE LINES 3" OR LESS IN DIAMETER SHALL BE POLYETHYLENE (PE) CONFORMING TO THE REQUIREMENTS OF AWWA C 901. PE PIPE SHALL BE PRESSURE TUBING CONFORMING TO TABLE 7 OF SAID SPECIFICATION. TUBING SHALL BE CLASS 200.
- SANITARY SEWER GRAVITY LINES AND FITTINGS SHALL BE SDR 35 PVC AND CONFORM TO ASTM D-3034. PRESSURE SEWER SERVICE LINES SHALL BE POLYETHYLENE, SDR11 IPS PE.
- SEWER TESTING: MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION, INCLUDING MANHOLES, SHALL NOT EXCEED 50 GALLONS PER DAY PER MILE OF SEWER PER INCH OF PIPE DIAMETER.
- AIR TEST ALTERNATE FOR SEWER PIPELINES: MAINTAIN 4.0 PSI FOR 4 MINUTES WITH NO APPRECIABLE LOSS. GAGE SHALL HAVE MAXIMUM 1 PSI GRADATIONS.
- LOCATIONS OF EXISTING FACILITIES ARE FROM DRAWINGS PROVIDED TO JORGENSEN ASSOCIATES. CONTRACTOR SHALL POT HOLE IN THE PRESENCE OF THE ENGINEER TO DETERMINE CONNECTION LOCATIONS, DEPTH, SIZE AND TYPE OF PIPE, AND OTHER PERTINENT INFORMATION REQUIRED FOR THE PROJECT. ANY ADJUSTMENTS NEEDED SHALL BE REFLECTED ON AS-CONSTRUCTED DRAWINGS.
- GROUNDWATER IS PRESENT AT THE SITE AND CONSTRUCTION DEWATERING WILL MOST LIKELY BE REQUIRED TO INSTALL THE WATER AND SEWER MAINS. CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING THE CONSTRUCTION DEWATERING PLAN AND SYSTEM AND OBTAINING ANY NECESSARY PERMITS FOR THE DEWATERING ACTIVITIES.

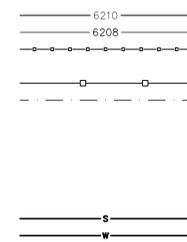
**EXISTING**



**LEGEND**



**PROPOSED**



SHAW CONSTRUCTION  
 JORGENSEN  
 BLUELINE PROPERTY MANAGEMENT  
 StJohn's HEALTH

HITCHING POST  
 460 E. BROADWAY  
 JACKSON, WY

REV: 1 02.12.2025 SKETCH PLAN

DRAWN: UC  
 REVIEWED: BB  
 DATE: 02.12.2025  
 PROJECT #: 24127  
 SHEET TITLE: PROJECT NOTES AND LEGEND  
 SCALE: 1" = 20'-0"

NO. C1.10



SHAW  
 CONSTRUCTION  
 JORGENSEN

SHAW  
 CONSTRUCTION  
 JORGENSEN

BLUELINE  
 PROPERTY MANAGEMENT

StJohn's  
 HEALTH

StJohn's  
 HEALTH

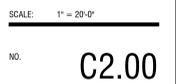
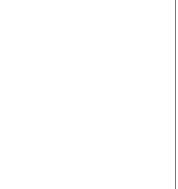
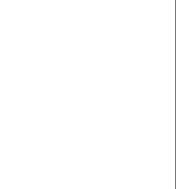
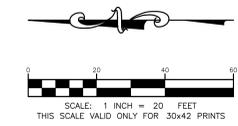
StJohn's  
 HEALTH

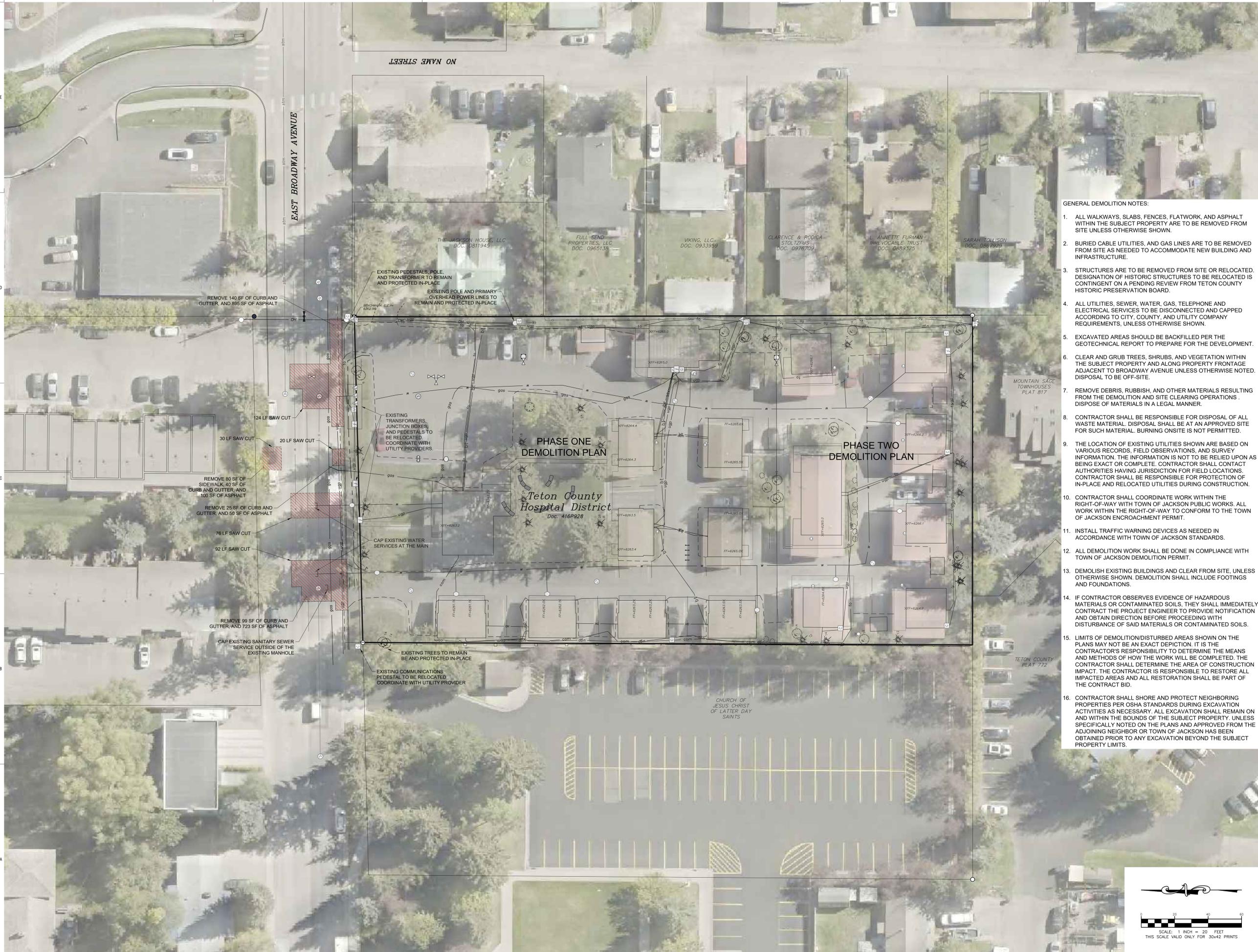
HITCHING POST  
 460 E. BROADWAY  
 JACKSON, WY

REV: 1 02.12.2025 SKETCH PLAN

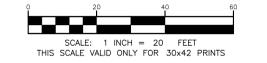
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 DATE: 02.12.2025  
 PROJECT #: 24127  
 SHEET TITLE:  
 EXISTING  
 CONDITIONS

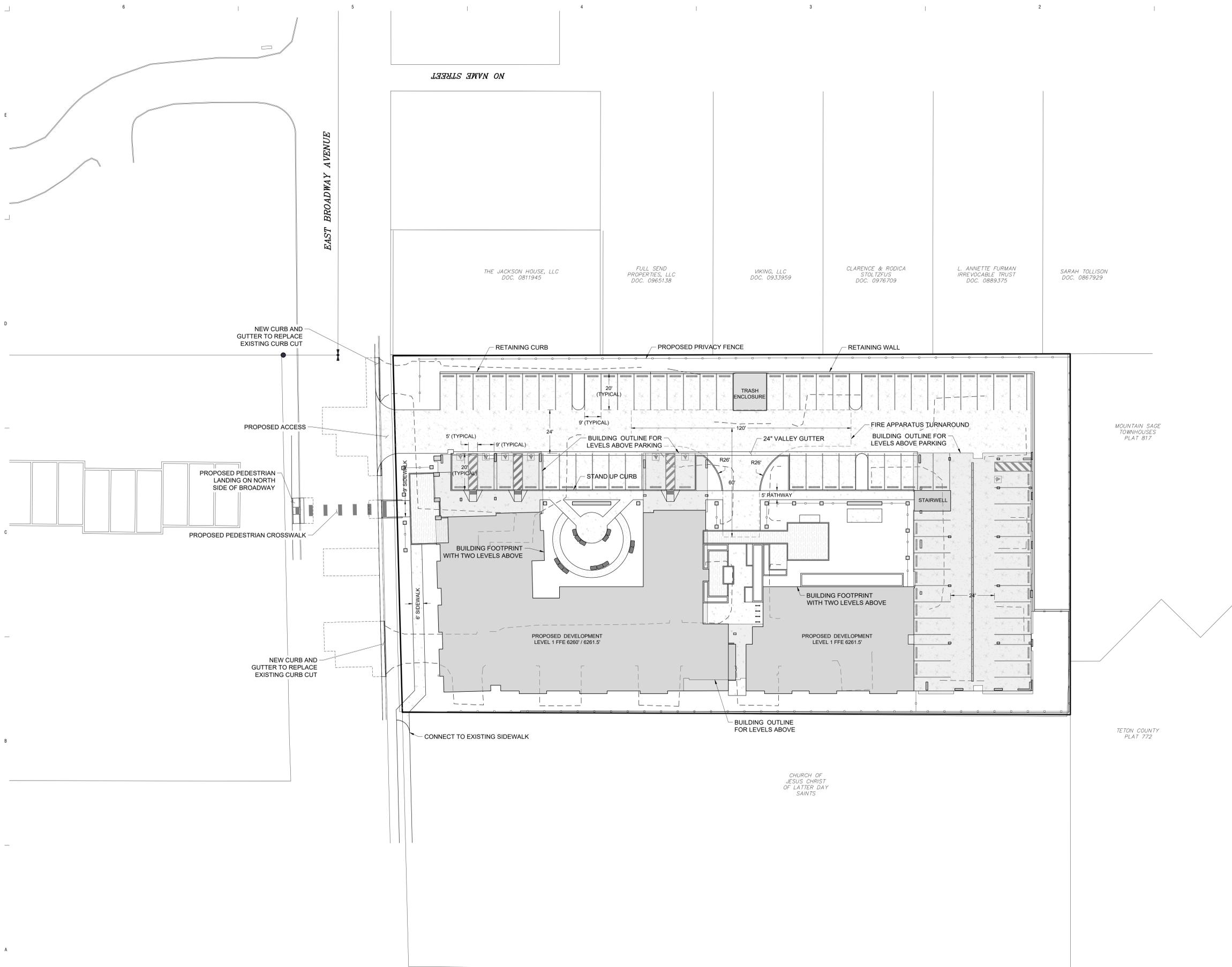
SCALE: 1" = 20'-0"  
 NO. C2.00

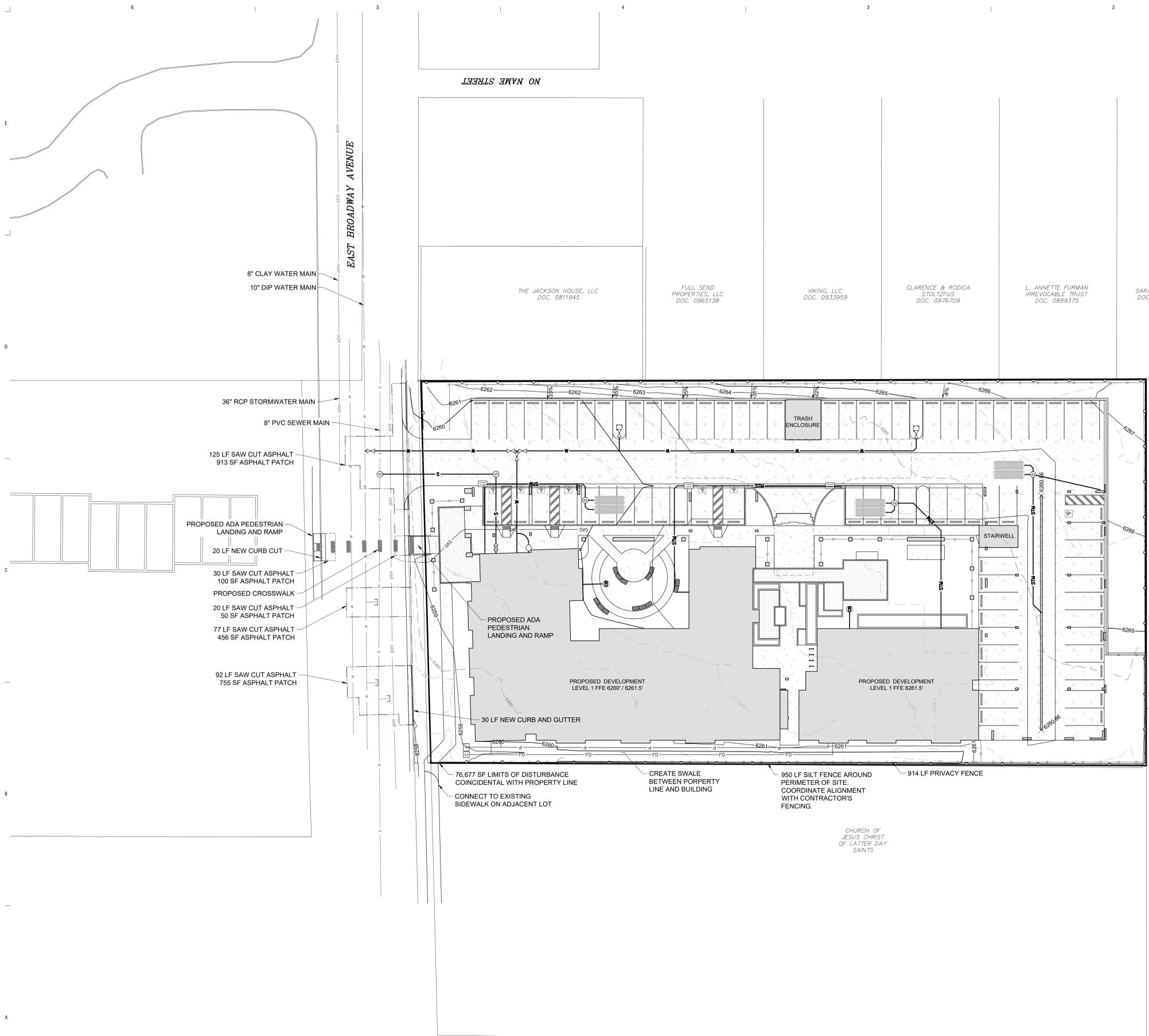




- GENERAL DEMOLITION NOTES:
1. ALL WALKWAYS, SLABS, FENCES, FLATWORK, AND ASPHALT WITHIN THE SUBJECT PROPERTY ARE TO BE REMOVED FROM SITE UNLESS OTHERWISE SHOWN.
  2. BURIED CABLE UTILITIES, AND GAS LINES ARE TO BE REMOVED FROM SITE AS NEEDED TO ACCOMMODATE NEW BUILDING AND INFRASTRUCTURE.
  3. STRUCTURES ARE TO BE REMOVED FROM SITE OR RELOCATED. DESIGNATION OF HISTORIC STRUCTURES TO BE RELOCATED IS CONTINGENT ON A PENDING REVIEW FROM TETON COUNTY HISTORIC PRESERVATION BOARD.
  4. ALL UTILITIES, SEWER, WATER, GAS, TELEPHONE AND ELECTRICAL SERVICES TO BE DISCONNECTED AND CAPPED ACCORDING TO CITY, COUNTY, AND UTILITY COMPANY REQUIREMENTS, UNLESS OTHERWISE SHOWN.
  5. EXCAVATED AREAS SHOULD BE BACKFILLED PER THE GEOTECHNICAL REPORT TO PREPARE FOR THE DEVELOPMENT.
  6. CLEAR AND GRUB TREES, SHRUBS, AND VEGETATION WITHIN THE SUBJECT PROPERTY AND SITE CLEARING OPERATIONS ADJACENT TO BROADWAY AVENUE UNLESS OTHERWISE NOTED. DISPOSAL TO BE OFF-SITE.
  7. REMOVE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM THE DEMOLITION AND SITE CLEARING OPERATIONS. DISPOSE OF MATERIALS IN A LEGAL MANNER.
  8. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIAL. DISPOSAL SHALL BE AT AN APPROVED SITE FOR SUCH MATERIAL. BURNING ON-SITE IS NOT PERMITTED.
  9. THE LOCATION OF EXISTING UTILITIES SHOWN ARE BASED ON VARIOUS RECORDS, FIELD OBSERVATIONS, AND SURVEY INFORMATION. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL CONTACT AUTHORITIES HAVING JURISDICTION FOR FIELD LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF IN-PLACE AND RELOCATED UTILITIES DURING CONSTRUCTION.
  10. CONTRACTOR SHALL COORDINATE WORK WITHIN THE RIGHT-OF-WAY WITH TOWN OF JACKSON PUBLIC WORKS. ALL WORK WITHIN THE RIGHT-OF-WAY TO CONFORM TO THE TOWN OF JACKSON ENCROACHMENT PERMIT.
  11. INSTALL TRAFFIC WARNING DEVICES AS NEEDED IN ACCORDANCE WITH TOWN OF JACKSON STANDARDS.
  12. ALL DEMOLITION WORK SHALL BE DONE IN COMPLIANCE WITH TOWN OF JACKSON DEMOLITION PERMIT.
  13. DEMOLISH EXISTING BUILDINGS AND CLEAR FROM SITE, UNLESS OTHERWISE SHOWN. DEMOLITION SHALL INCLUDE FOOTINGS AND FOUNDATIONS.
  14. IF CONTRACTOR OBSERVES EVIDENCE OF HAZARDOUS MATERIALS OR CONTAMINATED SOILS, THEY SHALL IMMEDIATELY CONTRACT THE PROJECT ENGINEER TO PROVIDE NOTIFICATION AND OBTAIN DIRECTION BEFORE PROCEEDING WITH DISTURBANCE OF SAID MATERIALS OR CONTAMINATED SOILS.
  15. LIMITS OF DEMOLITION/DISTURBED AREAS SHOWN ON THE PLANS MAY NOT BE AN EXACT DEPICTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS OF HOW THE WORK WILL BE COMPLETED. THE CONTRACTOR SHALL DETERMINE THE AREA OF CONSTRUCTION IMPACT. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL IMPACTED AREAS AND ALL RESTORATION SHALL BE PART OF THE CONTRACT BID.
  16. CONTRACTOR SHALL SHORE AND PROTECT NEIGHBORING PROPERTIES PER OSHA STANDARDS DURING EXCAVATION ACTIVITIES AS NECESSARY. ALL EXCAVATION SHALL REMAIN ON AND WITHIN THE BOUNDS OF THE SUBJECT PROPERTY. UNLESS SPECIFICALLY NOTED ON THE PLANS AND APPROVED FROM THE ADJOINING NEIGHBOR OR TOWN OF JACKSON HAS BEEN OBTAINED PRIOR TO ANY EXCAVATION BEYOND THE SUBJECT PROPERTY LIMITS.







8" CLAY WATER MAIN  
10" DIP WATER MAIN

36" RCP STORMWATER MAIN  
8" PVC SEWER MAIN

125 LF SAW CUT ASPHALT  
913 SF ASPHALT PATCH

PROPOSED ADA PEDESTRIAN  
LANDING AND RAMP  
20 LF NEW CURB CUT

30 LF SAW CUT ASPHALT  
100 SF ASPHALT PATCH

PROPOSED CROSSWALK

20 LF SAW CUT ASPHALT  
50 SF ASPHALT PATCH

77 LF SAW CUT ASPHALT  
456 SF ASPHALT PATCH

92 LF SAW CUT ASPHALT  
755 SF ASPHALT PATCH

NO NAME STREET

THE JACKSON HOUSE, LLC  
DOC. 0811945

FULL SEND  
PROPERTIES, LLC  
DOC. 0965138

VIKING, LLC  
DOC. 0933959

CLARENCE & RODICA  
STOLTZFUS  
DOC. 0976709

L. ANNETTE FURMAN  
IRREVOCABLE TRUST  
DOC. 0889375

SARAH TOLLISON  
DOC. 0867929

TRASH ENCLOSURE

STAIRWELL

PROPOSED ADA  
PEDESTRIAN  
LANDING AND RAMP

PROPOSED DEVELOPMENT  
LEVEL 1 FFE 6260' / 6261.5'

PROPOSED DEVELOPMENT  
LEVEL 1 FFE 6261.5'

30 LF NEW CURB AND GUTTER

76,677 SF LIMITS OF DISTURBANCE  
COINCIDENTAL WITH PROPERTY LINE  
CONNECT TO EXISTING  
SIDEWALK ON ADJACENT LOT

CREATE SWALE  
BETWEEN PROPERTY  
LINE AND BUILDING

950 LF SILT FENCE AROUND  
PERIMETER OF SITE.  
COORDINATE ALIGNMENT  
WITH CONTRACTOR'S  
FENCING.

914 LF PRIVACY FENCE

MOUNTAIN SAGE  
TOWNHOUSES  
PLAT B17

TETON COUNTY  
PLAT 772

CHURCH OF  
JESUS CHRIST  
OF LATTER DAY  
SAINTS



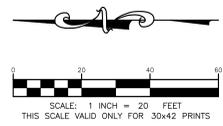
**HITCHING POST**  
460 E. BROADWAY  
JACKSON, WY

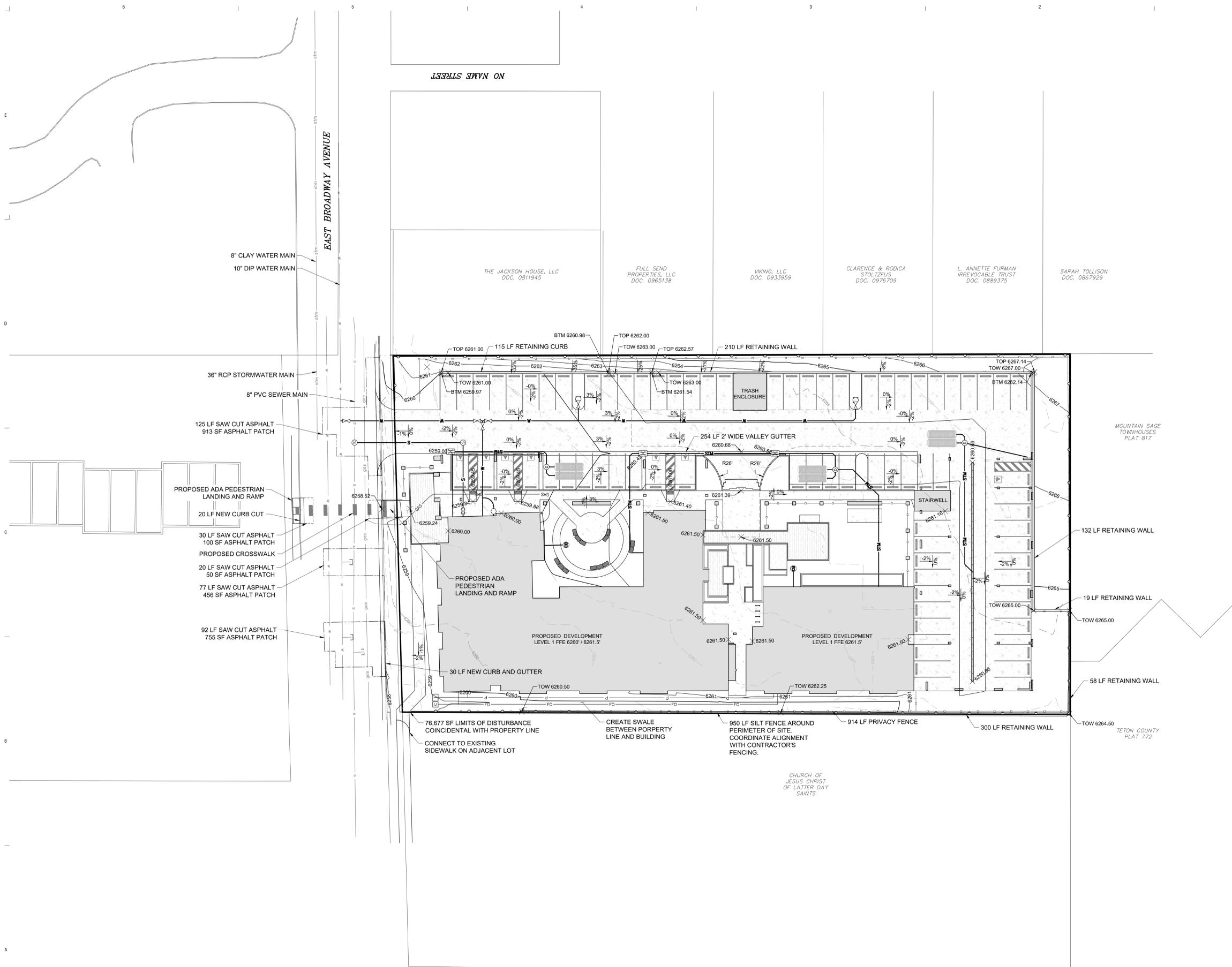
REV: 1 02.12.2025 SKETCH PLAN

DRAWN: UC  
REVIEWED: BB  
DATE: 02.12.2025  
PROJECT #: 24127  
FILE:  
SHEET TITLE:  
**UTILITY PLAN**

SCALE: 1" = 20'-0"

NO. **C3.10**





8" CLAY WATER MAIN  
10" DIP WATER MAIN

36" RCP STORMWATER MAIN  
8" PVC SEWER MAIN

125 LF SAW CUT ASPHALT  
913 SF ASPHALT PATCH

PROPOSED ADA PEDESTRIAN  
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755 SF ASPHALT PATCH

NO NAME STREET

THE JACKSON HOUSE, LLC  
DOC. 0811945

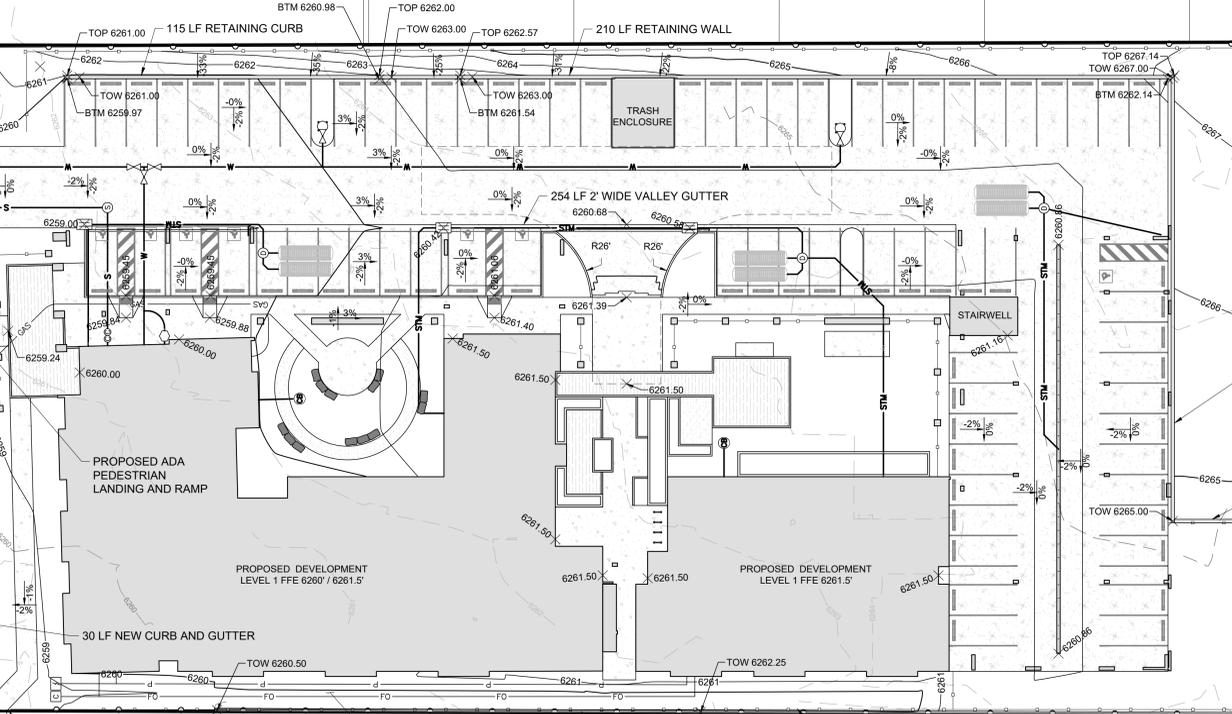
FULL SEND  
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MOUNTAIN SAGE  
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CHURCH OF  
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76,677 SF LIMITS OF DISTURBANCE  
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**HITCHING POST**  
460 E. BROADWAY  
JACKSON, WY

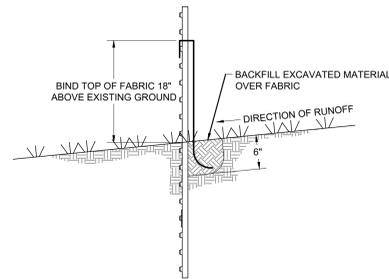
REV: 1 02.12.2025 SKETCH PLAN

DRAWN: UC  
REVIEWED: BB  
DATE: 02.12.2025  
PROJECT #: 24127  
FILE: SKETCH PLAN  
SHEET TITLE:  
GRADING PLAN



SCALE: 1" = 20'-0"

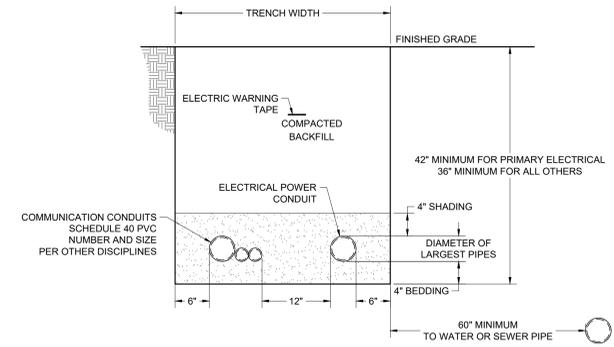
NO. **C3.20**



**NOTE**

1. USE MIRAFI 100X FILTER FABRIC WITH STEEL FENCE POSTS AT 10' ON CENTER OR APPROVED EQUAL.
2. PLACE SILT FENCE DOWN GRADIENT OF CONSTRUCTION OPERATIONS AS SHOWN ON THE PLANS TO CONTROL SILT FROM LEAVING SITE.

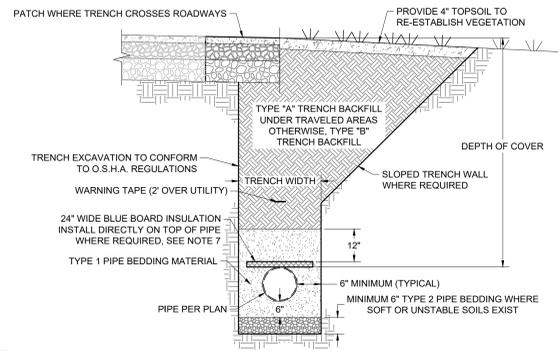
**SILT FENCE DETAIL**  
NOT TO SCALE



**NOTE**

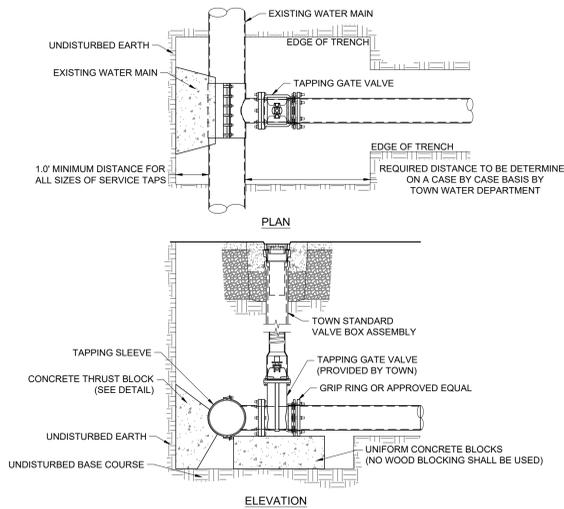
1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CUSTOMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN HDPE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AS SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/2" SCREEN (SAND RECOMMENDED).

**CABLE UTILITY TRENCH DETAIL**  
NOT TO SCALE



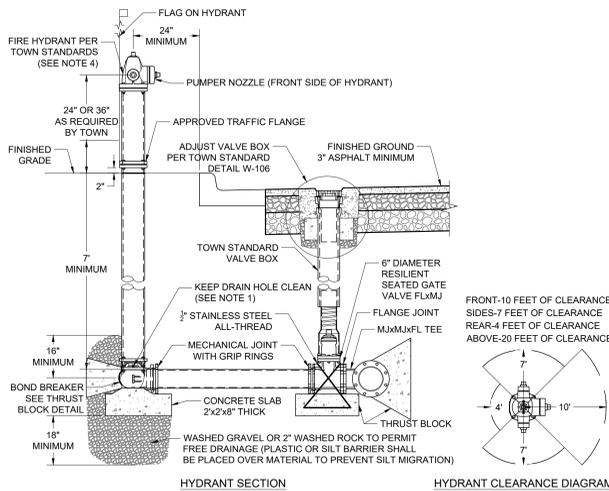
- NOTE**
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
    - TYPE A: 95% MODIFIED PROCTOR DENSITY.
    - TYPE B: DENSITY APPROXIMATELY EQUAL TO SURROUNDING SOILS.
  - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS.
  - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
  - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.
  - PIPE ELEVATION SHALL BE PER PLANS. IF THE DEPTH SPECIFIED ON THE PLAN CANNOT BE ACHIEVED, NOTIFY THE ENGINEER.
  - PROVIDE INSULATION ACCORDING TO THE FOLLOWING CRITERIA:
    - WHERE COVER OVER WATER OR PRESSURE SEWERS IS LESS THAN 7 FEET, PROVIDE 1 LAYER OF 2" THICK INSULATION.
    - WHERE COVER OVER WATER OR PRESSURE SEWERS IS LESS THAN 6 FEET, PROVIDE 2 LAYERS OF 2" THICK INSULATION.
    - WHERE SANITARY SEWER OR STORM LINES ARE LESS THAN 5 FEET, PROVIDE 1 LAYER OF 2" THICK INSULATION.
    - WHERE SANITARY SEWER OR STORM LINES ARE LESS THAN 4 FEET, PROVIDE 2 LAYERS OF 2" THICK INSULATION.
    - DEPTH OF COVER SHALL NOT BE LESS THAN 5 FEET FOR WATER OR PRESSURE SEWER LINES, OR LESS THAN 3 FEET FOR SANITARY SEWER OR STORM LINES WITHOUT APPROVAL FROM THE ENGINEER.

**TYPICAL PIPE TRENCH DETAIL**  
NOT TO SCALE



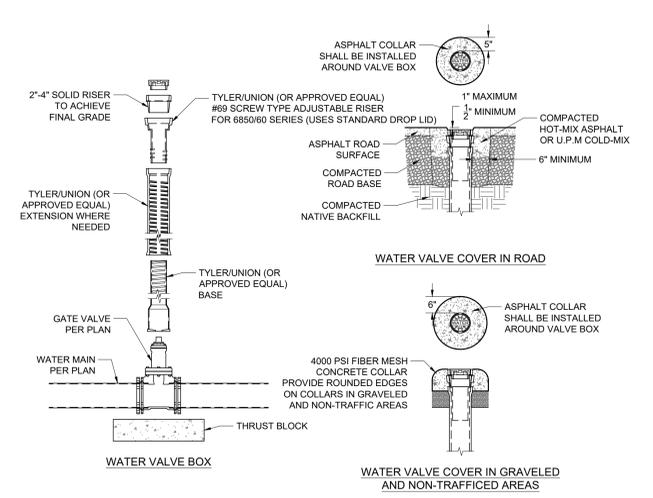
- NOTE**
- THE TOWN SHALL COMPLETE THE TAPPING OF THE MAIN. NO OTHER PERSONS SHALL COMPLETE TAP WITHOUT CONSENT OF TOWN. ALL OTHER WATER MAIN WORK SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - TRENCH WILL BE EXCAVATED TO MEET ALL WYOSHA STANDARDS PRIOR TO TAPPING.
  - EXCAVATION OF TAPPING LOCATION SHALL BE APPROVED BY TOJ WATER DEPARTMENT PRIOR TO TAPPING.

**WATER MAIN TAPPING DETAIL**  
NOT TO SCALE TOJ W-118



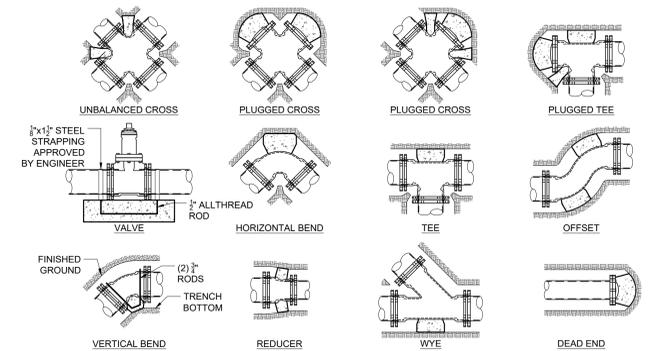
- NOTE**
- HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE
  - HYDRANT LOCATION TO BE APPROVED BY THE TOWN PRIOR TO INSTALLATION
  - THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
  - FIRE HYDRANTS SHALL BE WATEROUS PACER OR CLOW MOUNTAIN MEDALLION.

**FIRE HYDRANT ASSEMBLY DETAIL**  
NOT TO SCALE TOJ W-101



- NOTE**
- ADJUST WATER VALVE BOX UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING
  - THE TOWN SHALL INSPECT THE VERTICAL ALIGNMENT BEFORE AND AFTER BACKFILLING.
  - MUD PLUGS ARE REQUIRED TO BE PLACED IN ALL VALVE BOXES

**WATER GATE VALVE DETAIL**  
NOT TO SCALE TOJ W-106

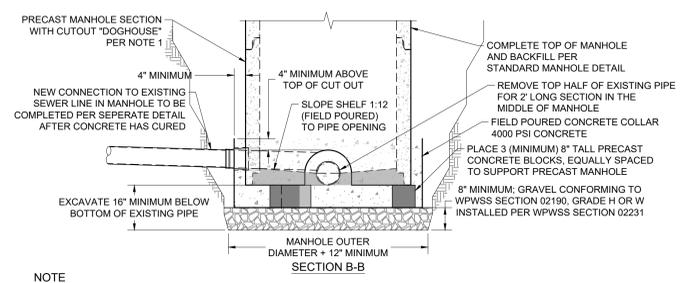
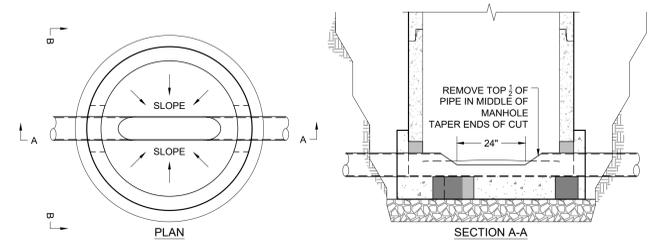


**MINIMUM DIMENSIONS FOR THRUST BLOCKING NOTES**

FITTING SIZE	TEES AND PLUGS		90° BENDS		45° BENDS AND WYES		REDUCERS AND 22 1/2° BENDS		11 1/2° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-7"	1'-2"	1'-9"	1'-6"	1'-8"	0'-10"	1'-7"	0'-6"	0'-6"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-0"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"

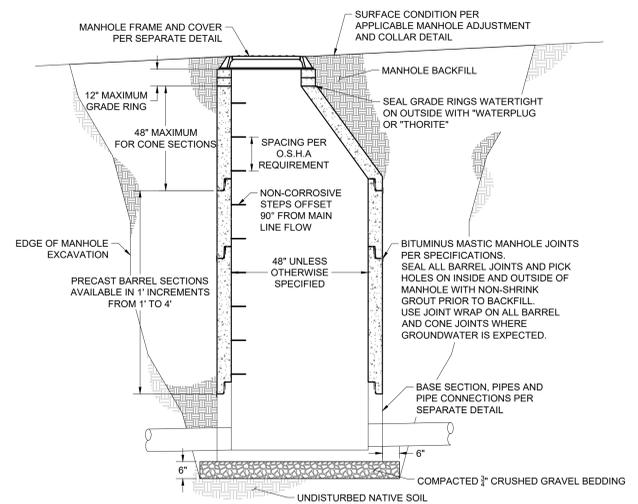
- NOTE**
- SIZE BLOCKS SHALL BE A MINIMUM OF 6" THICK
  - ALL BLOCKING SHALL BEAR AGAINST UNDISTRIBUTED MATERIAL
  - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
  - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE PROVIDED BETWEEN THRUST BLOCK AND WATER PIPE

**THRUST BLOCK DETAIL**  
NOT TO SCALE TOJ W-111



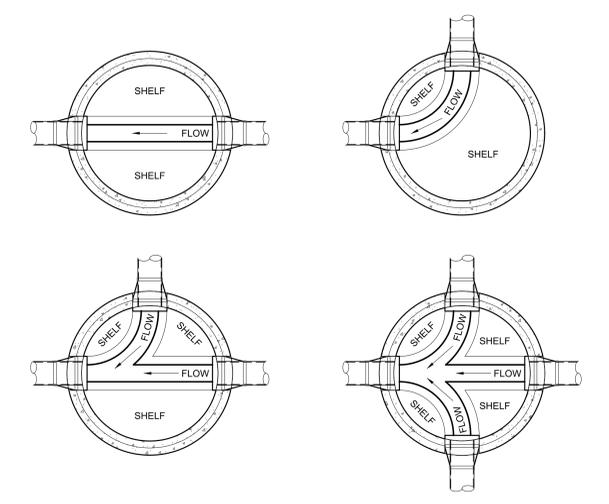
- NOTE
1. INSTALLATION SHOULD BE INSPECTED AND APPROVED BY THE UTILITY OWNER AT THE TIME OF INSTALLATION AND PRIOR TO BACKFILLING

NEW MANHOLE ON EXISTING LINE DETAIL  
NOT TO SCALE "DOGHOUSE" MANHOLE



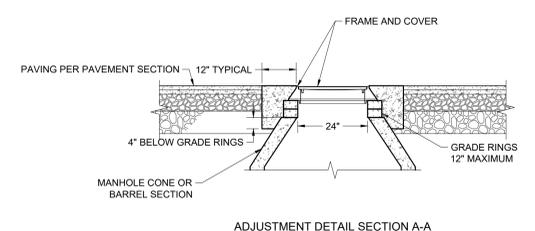
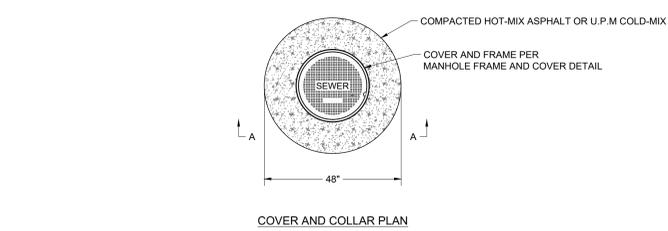
- NOTE
1. REINFORCEMENT FOR PRECAST SECTIONS SHALL BE AS PER ASTM C-478.
  2. C.I. RING AND COVER HS-20-44 ONE VENT HOLE OR AS SHOWN ON PLAN SHEET.
  3. MOUND CRUSHED GRAVEL BASE AROUND TOP OF MANHOLE AT ROAD SURFACING LOCATIONS.
  4. ALL SEWER MANHOLE BASES, BARRELS, AND CONES SHALL BE VACUUM TESTED.

STANDARD MANHOLE CONSTRUCTION DETAIL  
NOT TO SCALE



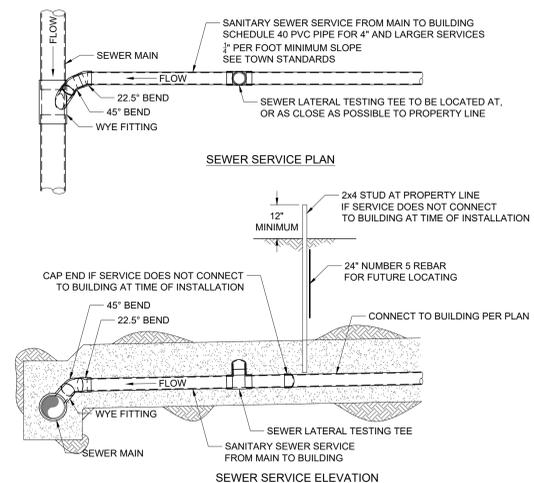
- NOTE
1. SLOPE ALL SHELVES TO CHANNEL AT 1" PER FOOT.
  2. SLOPE OF CHANNEL SHALL BE 0.1' ACROSS MANHOLE FOR ALL MAIN RUNS. SEE PROFILE SHEETS.
  3. MANHOLE INVERTS SHALL MATCH INFLOW AND OUTFLOW PIPE INVERTS
  4. 4" SERVICE PIPES ENTERING MANHOLES SHALL HAVE CROWN OF 4" PIPE MATCH CROWN OF MAIN WHERE INVERTS INDICATE.

TYPICAL MANHOLE CHANNEL DETAILS  
NOT TO SCALE



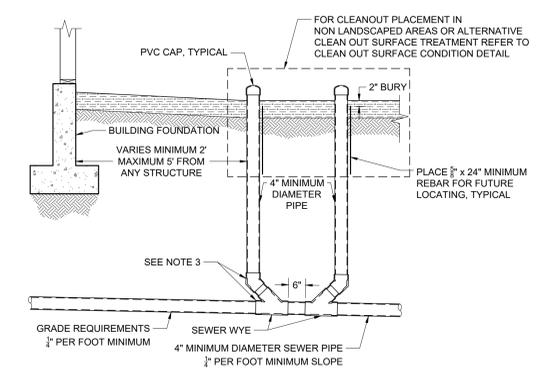
- NOTE
1. ADJUST MANHOLE UPWARD WITH ADJUSTING RINGS UNDER FRAME. ADJUST MANHOLE DOWNWARD BY REMOVING A PORTION OF THE MANHOLE RISER AND REBUILDING TO PROPER HEIGHT. SLOPE MANHOLE RING AS REQUIRED TO MATCH STREET GRADE AND CROSS SLOPE. MAKE FINAL MANHOLE ADJUSTMENT AFTER PAVING AND BEFORE SEAL COATING. IF REQUIRED ADJUSTMENT EXCEEDS GRADE RINGS, REMOVE MANHOLE CONE AND ADD OR SUBTRACT BARREL SECTIONS.

MANHOLE ADJUSTMENT & COLLAR IN ASPHALT  
NOT TO SCALE



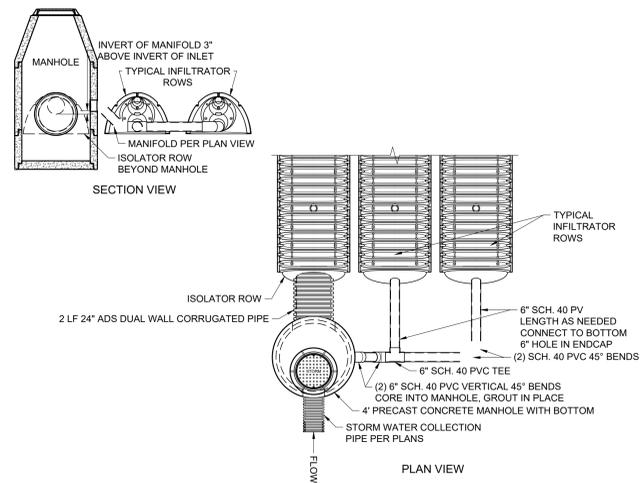
- NOTE
1. NEW SERVICE CONNECTIONS TO EXISTING SANITARY SEWER MAINS SHALL BE COORDINATED WITH TOWN OF JACKSON PUBLIC WORKS.
  2. BACKFILL OPERATIONS AT NEW SERVICES CONNECTED TO EXISTING SANITARY SEWER MAINS SHALL BE COMPACTED PER TOWN STANDARDS
  3. CLEANOUTS TO BE PROVIDED ADJACENT TO BUILDING, EVERY 100' ALONG THE SERVICE LINE AND AT ALL BENDS.
  4. PRIVATE PARTY BEING SERVED BY CONNECTION RESPONSIBLE FOR FEE TAP AND APPROVAL BY UTILITY OWNER.

SANITARY SEWER SERVICE DETAIL  
NOT TO SCALE TOJ SS-111



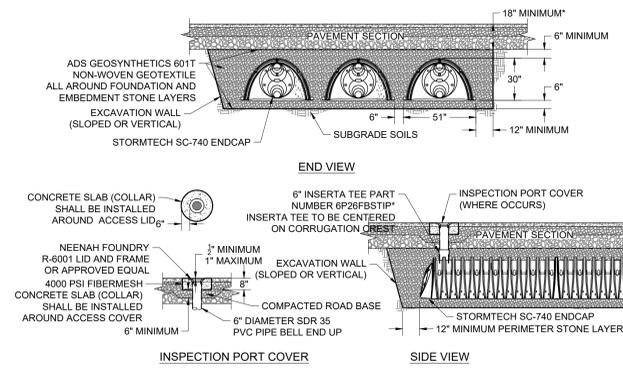
- NOTE
1. PRIOR TO BACKFILLING THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS, GRADE AND COMPLETE LEAK TESTING.
  2. INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
  3. ALL PVC FITTINGS SHALL MEET ASTM D3034 SPECIFICATIONS, AND SHALL ALSO MEET ASTM D312 SPECIFICATIONS FOR RUBBER GASKETED BELL AND SPIGOT TYPE WITH INTEGRAL BELL.

BUILDING CLEANOUT DETAIL  
NOT TO SCALE REV TOJ SS-114



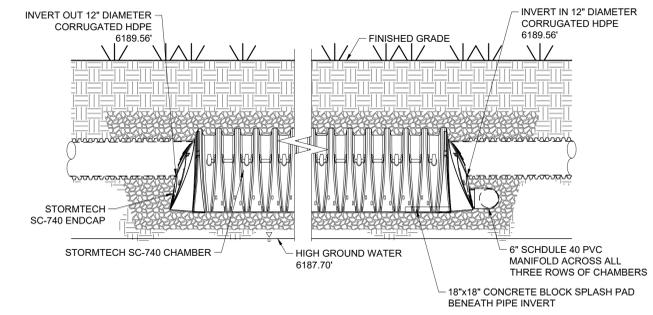
- NOTE**
- ISOLATOR ROW SHALL HAVE TWO LAYERS OF 5" MINIMUM WIDTH CONTINUOUS STRIPS OF ADS GEOSYNTHETIC 315WTK, MIRAFI 600X OR APPROVED EQUAL WOVEN GEOTEXTILE BETWEEN FOUNDATION STONE AND CHAMBERS.
  - COVER ENTIRE ISOLATOR ROW WITH 8" WIDE STRIP OF ADS GEOSYNTHETIC 601T OR MIRAFI 160N OR APPROVED EQUAL NON-WOVEN GEOTEXTILE.

**INFILTRATION SYSTEM DETAIL**  
NOT TO SCALE

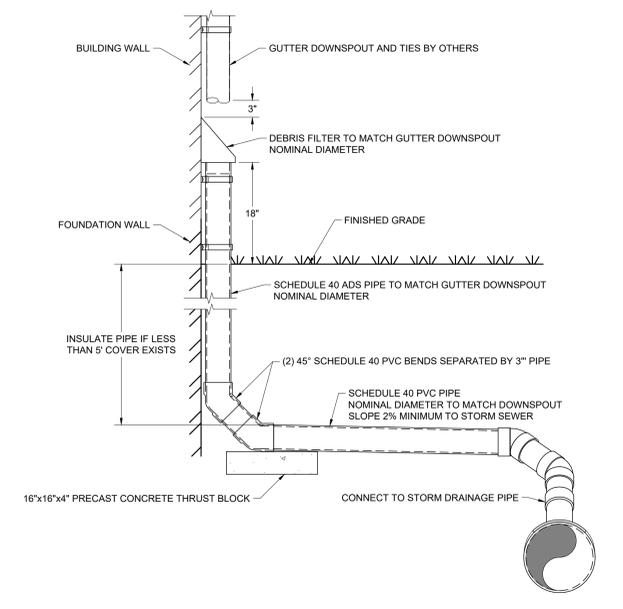


- NOTE**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
  - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
  - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
  - FOUNDATION, EMBEDMENT AND PERIMETER STONE TO BE 3"-1 1/2" CLEAN, ANGULAR GRAVEL.
  - FOUNDATION STONE TO BE RAKED OR DRAGGED TO ACHIEVE A FLAT SURFACE.

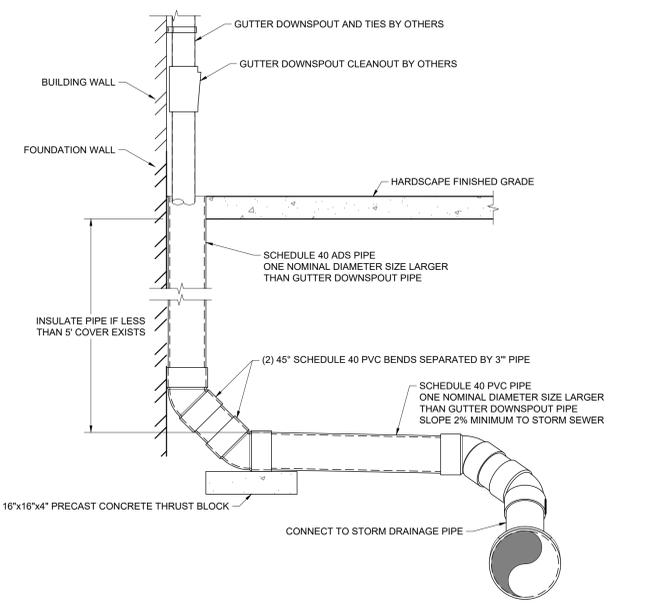
**STORMTECH SC-740 CHAMBER SYSTEM DETAIL**  
NOT TO SCALE  
PAVED SURFACE



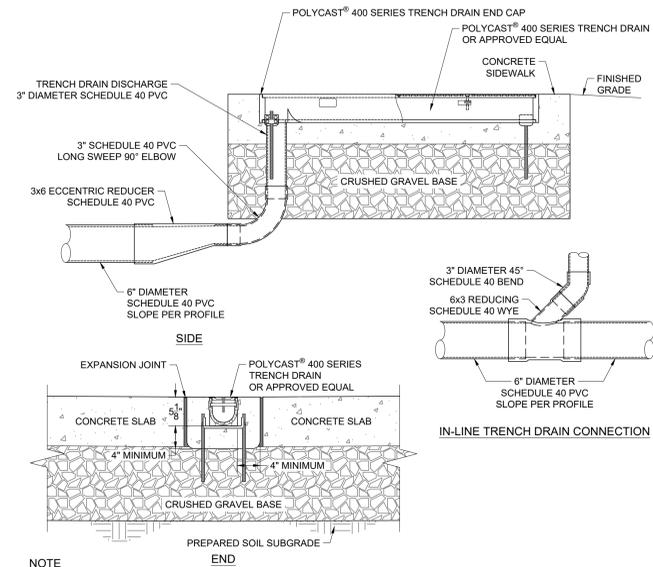
**INFILTRATION SYSTEM DETAIL**  
NOT TO SCALE



**DOWNSPOUT TO STORM WATER DETAIL**  
NOT TO SCALE  
LANDSCAPED AREA

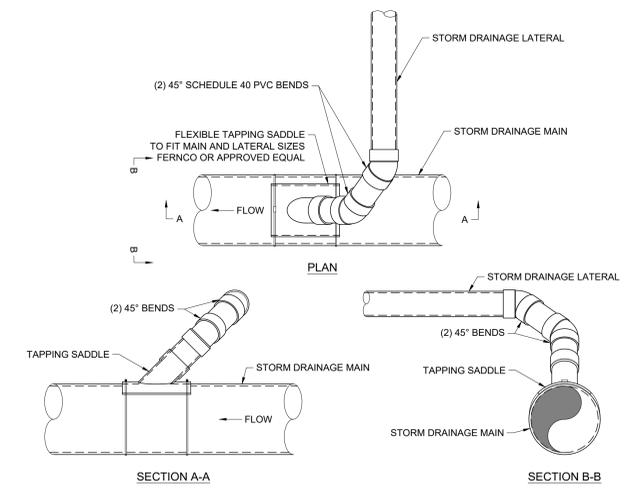


**STORM WATER LATERAL CONNECTION DETAIL**  
NOT TO SCALE  
HARDSCAPE AREA

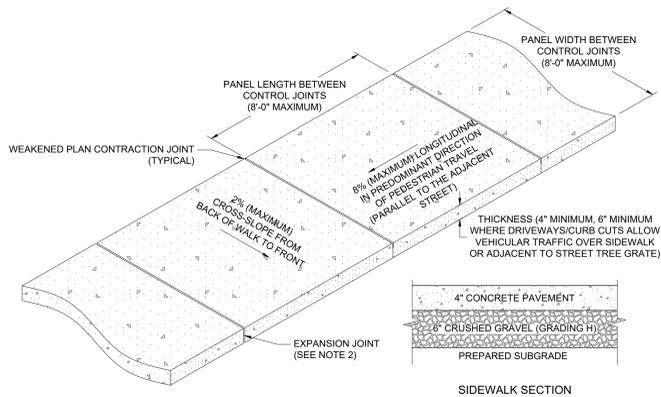


- NOTE
1. ADJACENT CONCRETE AND EXPANSION JOINTS ACCORDING TO TYPICAL CONCRETE SIDEWALK DETAIL.
  2. REFER TO POLYCAST® INSTALLATION GUIDE FOR COMPLETE DETAILS.
  3. EXPANSION JOINT SHOULD BE USED TO PROTECT THE CHANNEL AND CONCRETE ENCASMENT

TRENCH DRAIN DETAIL  
NOT TO SCALE

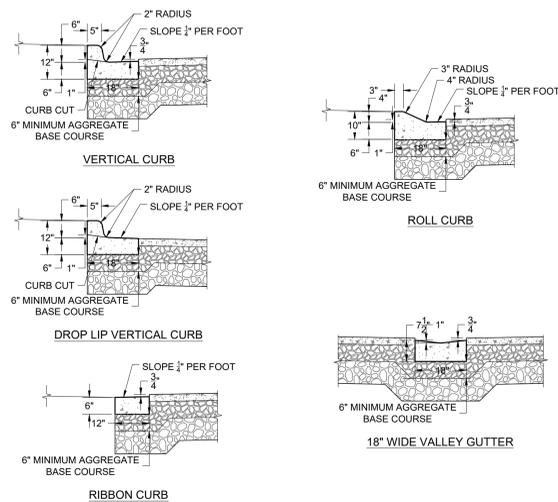


STORM WATER LATERAL CONNECTION DETAIL  
NOT TO SCALE



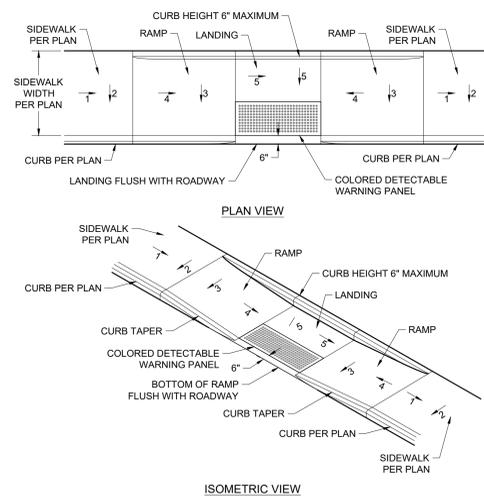
- NOTE**
- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPVSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPVSS SECTION 03304, PART 2.07.
  - EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPVSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0\"/>

**TYPICAL CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE TOJ ST-127



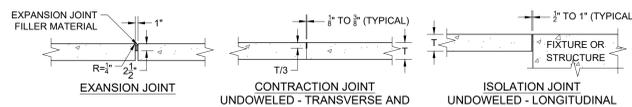
- NOTE**
- CURBS SHALL CONFORM TO SPECIFICATION 32 16 13, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH SPECIFICATION 32 13 13.
  - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO SPECIFICATION 31 05 16, PART 2.03, GRADING H, AND BE INSTALLED PER SPECIFICATION 32 11 23, PART 3.03.
  - REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
  - VERTICAL CURBS SHALL BE USED IN PREFERENCE TO ROLL CURB.

**CURB SECTION DETAIL**  
NOT TO SCALE



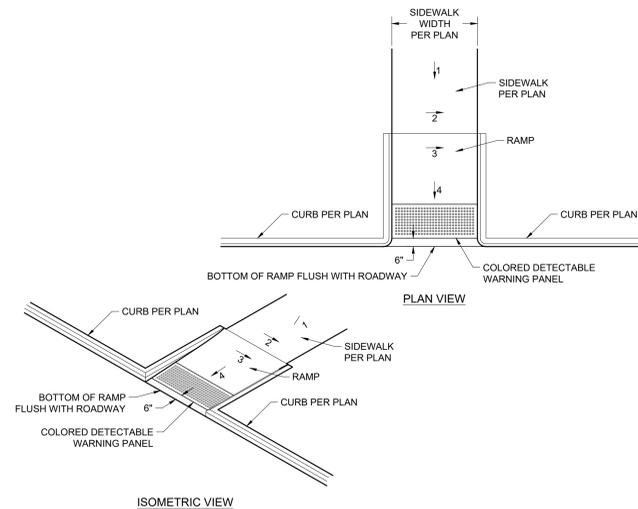
- NOTE**
- SIDEWALK SLOPE PER PLAN: DO NOT EXCEED 5.0% LONGITUDINAL SLOPE
  - SIDEWALK CROSS SLOPE PER PLAN: DO NOT EXCEED 2.0% CROSS SLOPE
  - RAMP CROSS SLOPE: DO NOT EXCEED 2.0% CROSS SLOPE
  - RAMP SLOPE: DO NOT EXCEED 8.3% LONGITUDINAL SLOPE
  - LANDING SLOPE: DO NOT EXCEED 2.0% SLOPE IN EITHER DIRECTION

**TWO WAY ACCESSIBLE SIDEWALK RAMP DETAIL**  
NOT TO SCALE RAMP PARALLEL TO ROAD - CURB BEHIND



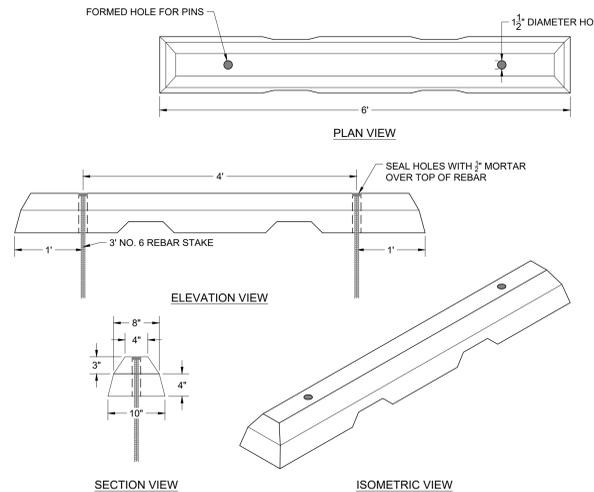
- NOTE**
- INSTALL ISOLATION JOINTS WHEN ABUTTING A FIXED STRUCTURE. USE EXPANSION JOINT MATERIAL EXTENDING THE FULL DEPTH AND LENGTH OF THE CONCRETE SURFACE.
  - TRANSVERSE AND LONGITUDINAL CONSTRUCTION JOINTS ARE NOT INCLUDED IN THE JOINT LAYOUT PLAN. USE TRANSVERSE AND LONGITUDINAL CONSTRUCTION JOINTS SPARINGLY. SUBMIT PLANNED CONSTRUCTION JOINT LOCATIONS TO THE CO FOR APPROVAL.
  - MAINTAIN JOINT SEALANT SHAPE FACTOR 1:1 EXCEPT WHEN SILICONE SEALANT IS USED, THE WIDTH TO DEPTH SHAPE FACTOR IS 2:1 OR AS RECOMMENDED BY SEALANT MANUFACTURER.

**CONCRETE SIDEWALK JOINT DETAIL**  
NOT TO SCALE



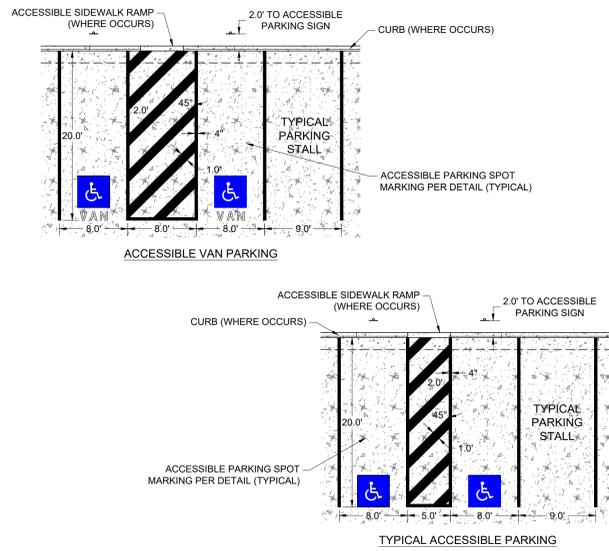
- NOTE**
- SIDEWALK SLOPE PER PLAN: DO NOT EXCEED 5.0% LONGITUDINAL SLOPE
  - SIDEWALK CROSS SLOPE PER PLAN: DO NOT EXCEED 2.0% CROSS SLOPE
  - RAMP CROSS SLOPE: DO NOT EXCEED 2.0% CROSS SLOPE
  - RAMP SLOPE: DO NOT EXCEED 8.3% LONGITUDINAL SLOPE

**ACCESSIBLE SIDEWALK RAMP DETAIL**  
NOT TO SCALE RAMP PERPENDICULAR TO ROADWAY



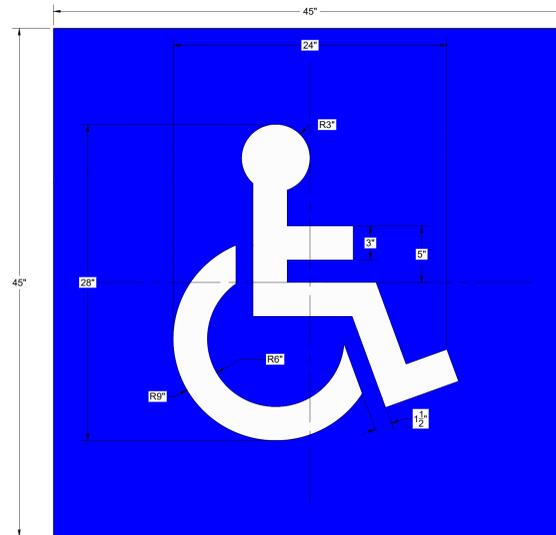
- NOTE**
- CENTER WHEEL STOPS BETWEEN AND PERPENDICULAR TO PARKING STALL.
  - VARIATIONS IN WHEEL STOPS WILL BE ALLOWED WITH THE APPROVAL OF THE CO TO MATCH MANUFACTURER'S STANDARDS.

**CONCRETE WHEEL STOP DETAIL**  
NOT TO SCALE

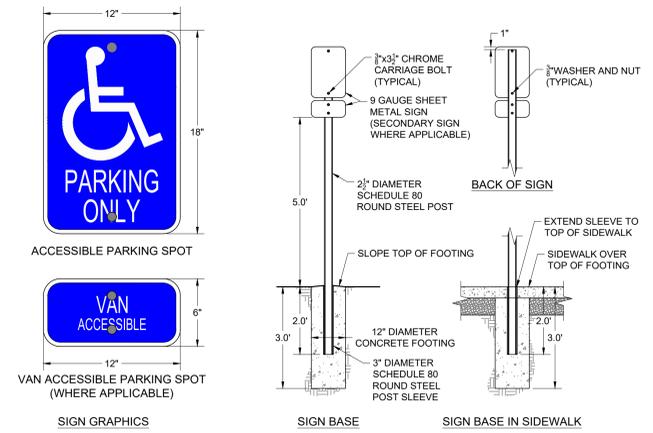


NOTE  
1. PAVEMENT MARKINGS TO BE TYPE B, SOLID WHITE UNLESS OTHERWISE SPECIFIED

ACCESSIBLE PARKING STALL DETAIL  
NOT TO SCALE



ACCESSIBLE PARKING SPACE MARKING DETAIL  
NOT TO SCALE



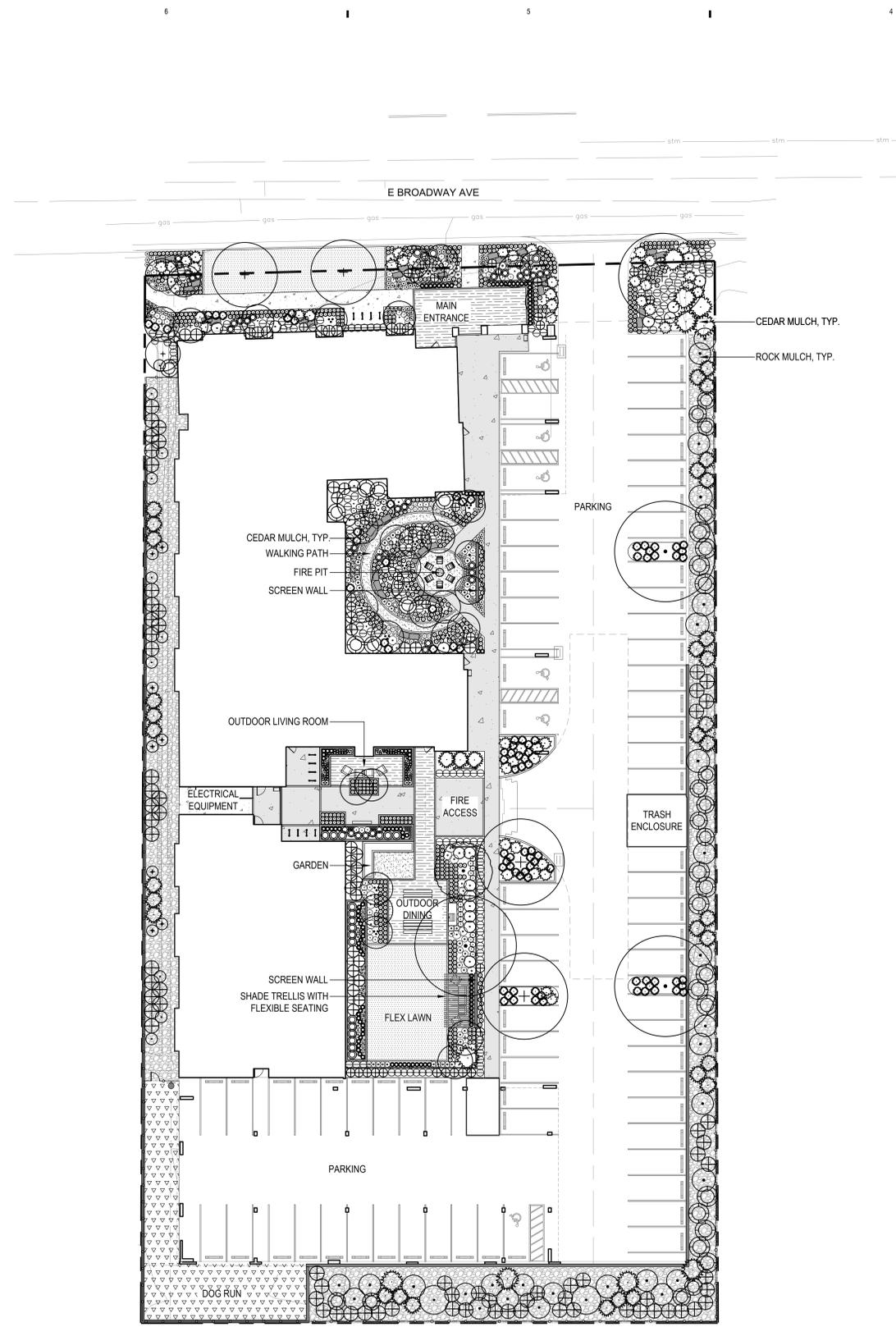
ACCESSIBLE PARKING SIGN DETAIL  
NOT TO SCALE

SHAW CONSTRUCTION  
JORGENSEN  
BLUELINE PROPERTY MANAGEMENT  
StJohn's HEALTH  
flow design collaborative

HITCHING POST  
460 E. BROADWAY  
JACKSON, WY

REV: 1 02.12.2025 SKETCH PLAN  
DRAWN: UC  
REVIEWED: BB  
DATE: 02.12.2025 SKETCH PLAN  
PROJECT #: 24127  
FILE:  
SHEET TITLE:  
STREET DETAILS

SCALE: 1" = 20'-0"  
NO. C4.41



**A** LANDSCAPE PLAN  
SCALE: 1"=20'-0"

**PLANTING NOTES**

1. PLANT MATERIAL WILL CONSIST PRIMARILY OF NATIVE AND REGIONALLY ADAPTED SPECIES TO ENHANCE SITE RESILIENCE, REDUCE WATER DEMAND, AND SUPPORT LOCAL WILDLIFE.
2. ALL PLANTS WILL BE SELECTED FOR THEIR ABILITY TO THRIVE IN JACKSON, WY'S HIGH-ALTITUDE CLIMATE, SEASONAL TEMPERATURE EXTREMES, AND WELL-DRAINED SOILS, MINIMIZING THE NEED FOR EXCESSIVE MAINTENANCE AND IRRIGATION.
3. TREES, SHRUBS, AND PERENNIALS WILL BE PLACED IN GROUPINGS THAT MIMIC NATIVE PLANT COMMUNITIES, PROMOTING ECOLOGICAL FUNCTION AND VISUAL COHESION WITH THE SURROUNDING LANDSCAPE.
4. PLANT MATERIAL SHALL BE LOCALLY SOURCED WHEN POSSIBLE TO ENSURE REGIONAL ADAPTABILITY AND SUPPORT LOCAL NURSERY STOCK.
5. LANDSCAPE DESIGN WILL INCORPORATE WILD-LAND-URBAN INTERFACE (WUI) BEST PRACTICES, INCLUDING FUEL REDUCTION ZONES, FIRE-RESISTANT PLANT SELECTION, AND ADEQUATE DEFENSIBLE SPACE AROUND STRUCTURES TO MINIMIZE FIRE RISK.

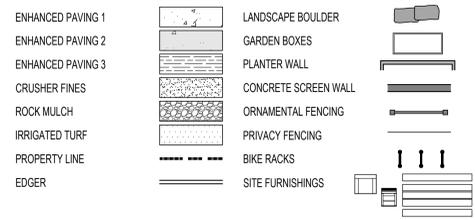
**IRRIGATION NOTES**

1. PLANT MATERIAL WILL BE GROUPED INTO LATERAL ZONES BASED ON SIMILAR WATER REQUIREMENTS TO REDUCE OVERALL WATER CONSUMPTION WHILE ALLOWING PLANTS TO SUSTAIN HEALTHY, VIGOROUS GROWTH. LAWN AREAS WILL BE IRRIGATED WITH ROTARY POP-UPS AND ALL PLANTING BED WILL BE IRRIGATED WITH DRIP IRRIGATION.

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>DECIDUOUS TREES</b>					
+	GLA	5	<i>Acer glabrum</i>	Rocky Mountain Maple	3" Cal.
+	MSS	2	<i>Acer miyabei</i> 'Morton'	State Street™ Miyabe Maple	3" Cal.
+	ABM	3	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze® Freeman Maple	3" Cal.
•	WCB	1	<i>Betula pendula</i> 'Laciniata'	Weeping Cutleaf Birch	3" Cal.
•	CEL	3	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Hackberry	3" Cal.
•	JUG	13	<i>Juglans nigra</i>	Black Walnut	3" Cal.
•	ANG	18	<i>Populus tremuloides</i>	Quaking Aspen	3" Cal.
•	ANC	16	<i>Populus tremuloides</i> 'Clump Form'	Clump Form Quaking Aspen	3" Cal.
<b>DECIDUOUS SHRUBS</b>					
•	SSK	8	<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	5 gal.
•	SER	4	<i>Amelanchier canadensis</i>	Shadblow Serviceberry Multi-trunk	5 gal.
•	ABS	20	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5 gal.
•	MMC	20	<i>Cercocarpus ledifolius</i>	Curly-leaf Mountain Mahogany	5 gal.
•	RAB	28	<i>Chrysothamnus nauseosus</i>	Rubber Rabbitbrush	5 gal.
•	RDW	38	<i>Chrysothamnus nauseosus</i> 'nauseosus'	Dwarf Blue Rabbitbrush	5 gal.
•	AFD	35	<i>Cornus sericea</i> 'Farrow'	Arctic Fire® Red Twig Dogwood	5 gal.
•	COR	73	<i>Cornus sericea</i> 'sericea'	Red Twig Dogwood	5 gal.
•	SHC	24	<i>Dasiphora fruticosa</i> 'floribunda'	Shrubby Cinquefoil	5 gal.
+	NMO	11	<i>Physocarpus monogynus</i>	Mountain Ninebark	5 gal.
•	CEN	16	<i>Physocarpus opulifolius</i> 'Center Glow'	Center Glow Ninebark	5 gal.
•	MSR	38	<i>Spiraea splendens</i>	Meadowsweet Rose	5 gal.
<b>EVERGREEN SHRUBS</b>					
•	ARC	46	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	5 gal.
•	TWS	9	<i>Artemisia tridentata</i>	Big Sagebrush	5 gal.
•	CSN	36	<i>Ceanothus velutinus</i> var. 'velutinus'	Ceanothus Snowbrush	5 gal.
•	PAX	72	<i>Paxistima myrsinites</i>	Mountain Lover	5 gal.
•	PHJ	14	<i>Picea engelmannii</i> 'Hexenbesen Jasper'	Jasper Engelmann Spruce	5 gal.

**LEGEND:**



**GRASSES**

•	BGS	19	<i>Bouteloua curtipendula</i>	Side Oats Grama	1 gal.
•	BGG	663	<i>Bouteloua gracilis</i>	Blue Grama Grass	1 gal.
•	THG	51	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	1 gal.
•	SLG	58	<i>Eragrostis trichodes</i>	Sand Lovegrass	1 gal.
•	FES	29	<i>Festuca idahoensis</i>	Idaho Fescue	1 gal.
•	NTG	10	<i>Hesperostipa comata</i>	Needle and Thread Bunchgrass	1 gal.
•	PDG	140	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.

**PERENNIALS**

•	YCO	23	<i>Achillea millefolium</i>	Western Yarrow (Native)	1 gal.
•	NGH	4	<i>Agastache urticifolia</i>	Nettleleaf Giant Hyssop	1 gal.
•	ANT	46	<i>Antennaria parvifolia</i>	Small-leaf Pussytoes	1 gal.
•	COR	15	<i>Aquilegia caerulea</i>	Rocky Mountain Blue Columbine	1 gal.
•	AQY	3	<i>Aquilegia flavescens</i>	Yellow Columbine	1 gal.
•	ARF	43	<i>Artemisia frigida</i>	Fringed Sagebrush	1 gal.
•	ARL	35	<i>Artemisia ludoviciana</i>	White Sagebrush	1 gal.
•	ASC	18	<i>Asclepias speciosa</i>	Showy Milkweed	1 gal.
•	NWP	26	<i>Castilleja angustifolia</i>	Northwestern Paintbrush	1 gal.
•	CHA	18	<i>Chamerion angustifolium</i>	Fireweed	1 gal.
•	HUM	36	<i>Epilobium canum</i>	Hummingbird Trumpet	1 gal.
•	SFB	25	<i>Eriogonum umbellatum</i>	Sulfurflower Buckwheat	1 gal.
•	ENG	13	<i>Eucephalus engelmannii</i>	Engelmann's Aster	1 gal.
•	GER	24	<i>Geranium richardsonii</i>	Richardson's Geranium	1 gal.
•	PSM	12	<i>Geum triflorum</i>	Prairie Smoke	1 gal.
•	PWA	22	<i>Penstemon cyananthus</i>	Wasatch Penstemon	1 gal.
•	SPH	16	<i>Phacelia sericea</i>	Silky Phacelia	1 gal.
•	PRI	53	<i>Primula parryi</i>	Rocky Mountain Primrose	1 gal.
•	TNG	6	<i>Solidago velutina</i>	Threeneve Goldenrod	1 gal.

**PLANT UNITS**

LANDSCAPE AREA SITE REQUIREMENT	20,681 SF / 1,000	21 UNITS
PARKING LOT REQUIREMENT	74 PARKING SPACES / 8	10 UNITS
<b>TOTAL REQUIRED UNITS</b>		<b>31 UNITS</b>

**PLANT QUANTITY (ALTERNATE 'A')**

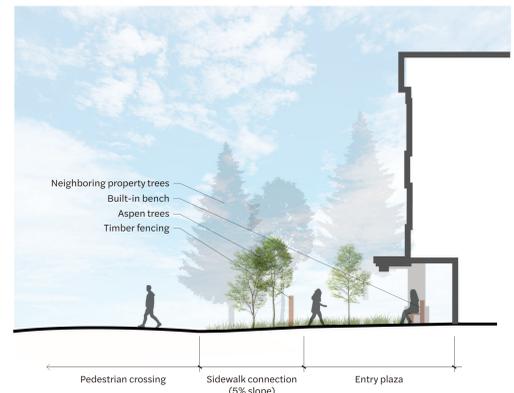
	PLANT UNIT	REQUIRED	PROPOSED
3" CAL TREES	31 UNIT x 1 =	31	49
6"-8" LARGE SHRUBS / MULTI-STEM TREES	31 UNIT x 6 =	186	186
#5 CONTAINER SHRUBS	31 UNIT x 4 =	124	306

**BIKE PARKING**

	PLANT UNIT	REQUIRED	TOTAL
ON-SITE BIKE PARKING	0.75 x 124 UNITS	93 BIKES	
SHORT TERM BIKE PARKING	0.25 x 93	24 BIKES	24 BIKES
<b>SHORT TERM BIKE RACKS (2 BIKES/RACK) =</b>			<b>12 BIKE RACKS</b>

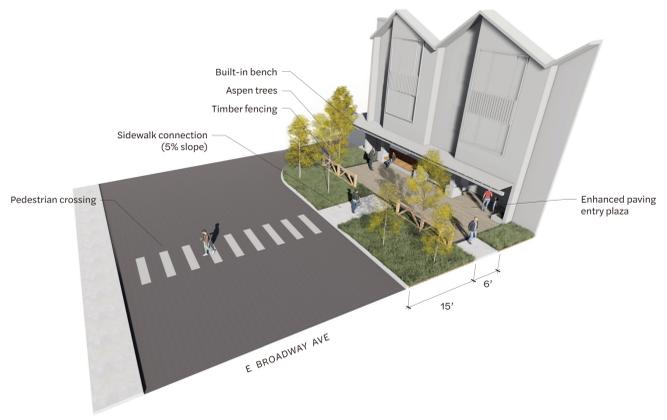


**A** LANDSCAPE PLAN  
SCALE: 1"=20'-0"

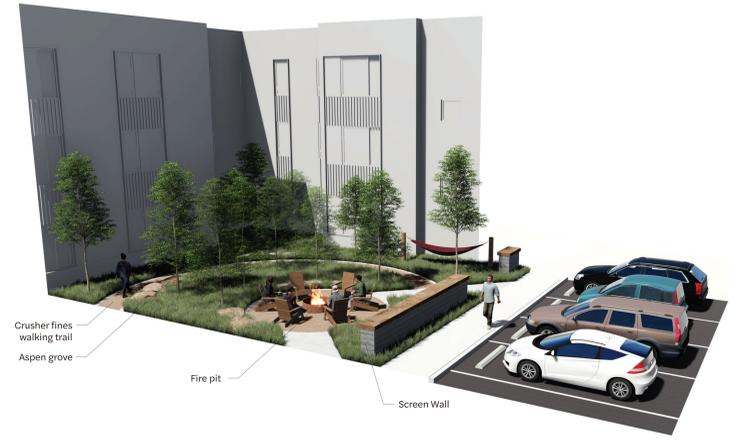


**B** MAIN ENTRANCE  
SCALE: 1"=10'-0"

0' 5' 10' 20' NORTH



**1** MAIN ENTRANCE  
SCALE: N.T.S.



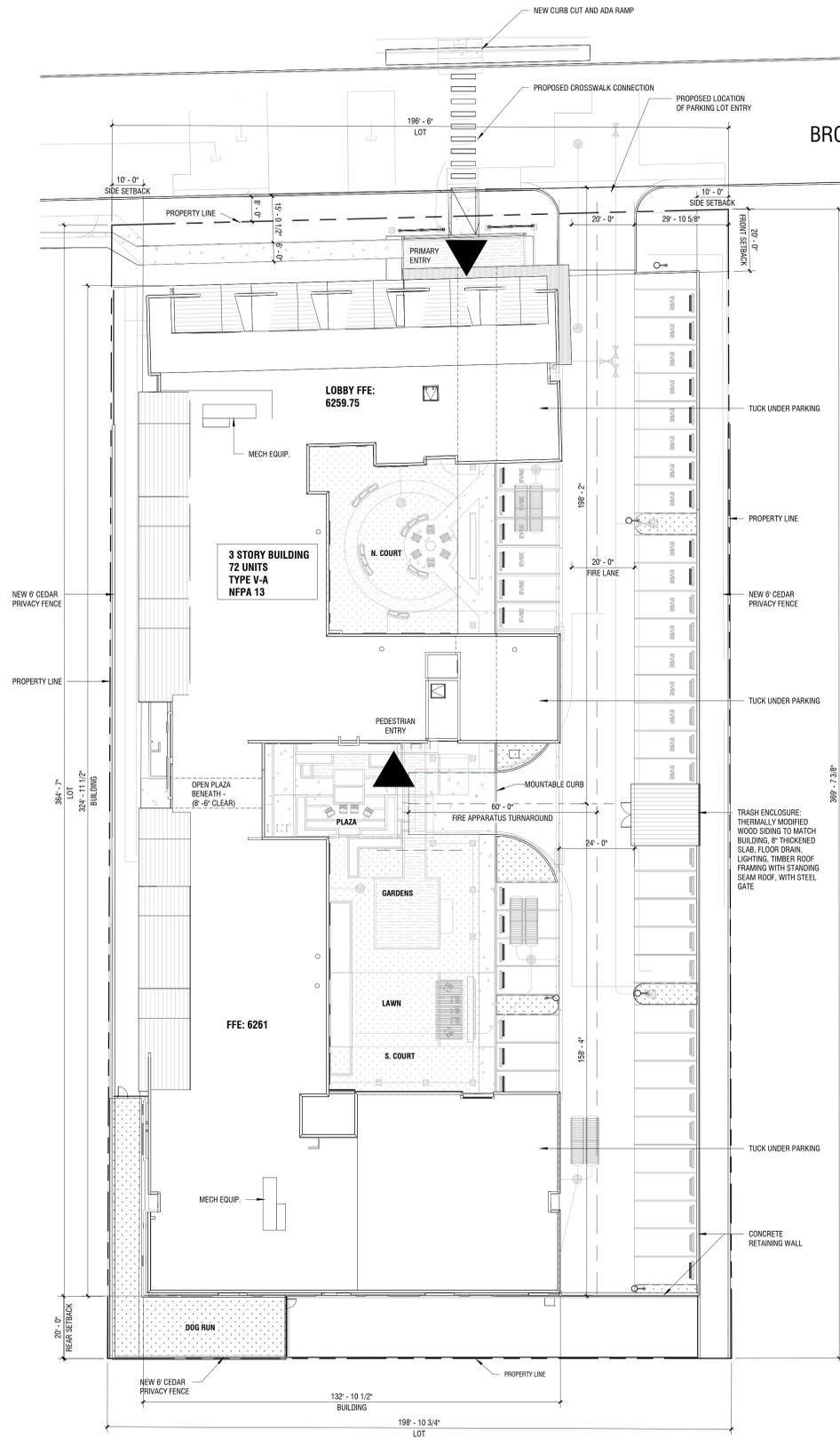
**2** ASPEN GROVE TRAIL + FIREPIT  
SCALE: N.T.S.



**3** OUTDOOR LIVING ROOM  
SCALE: N.T.S.



**4** FLEX LAWN + SHADE TRELLIS  
SCALE: N.T.S.



2 ARCHITECTURAL SITE PLAN  
1" = 20'-0"

**PROVIDED PARKING ON-SITE**

STANDARD	STANDARD PARKING SPACE
38	
HC VAN	
2	
HC STANDARD	
3	
EVSE	5% INSTALLED, 30% EV CAPABLE
33	
Grand total: 76	

**PARKING NOTES**

**PARKING REQUIREMENTS (PER SECTION 6.2 OF JACKSON LDR)**

REQUIRED SPACES: 108 TOTAL SPACES (72 \* 1.5)

EV CAPABLE: 33 SPACES (108 \* .3)

EV INSTALLED: 6 SPACES (108 \* .05)

ACCESSIBLE SPACES: 5 REQUIRED

STANDARD SPACES: 64 REQUIRED

SHARED PARKING: 28 SPACES

REQUIRED BICYCLE PARKING

75 PER BEDROOM: 93 (124 \* .75)

25% SHORT TERM: 23

75% LONG TERM: 70

LONG TERM BICYCLE PARKING IN BASEMENT STORAGE UNITS

SHORT TERM PARKING PROVIDED ON SITE

SHARED PARKING AVAILABLE NEAR REDMOND AND BROADWAY (ADJACENT TO JACKSON HOLE BAPTIST CHURCH)

RE: DEV 03 ITEM #6

46 SPACES AVAILABLE.



1 ARCHITECTURAL DEMOLITION SITE PLAN  
1" = 20'-0"

- SITE DEMOLITION NOTES**
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS PROPOSAL TO BECOME FAMILIAR WITH ALL EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
  - DEMOLITION CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION MEASURES TO SAFEGUARD THE PUBLIC DURING CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES TO SAFEGUARD AGAINST THE INTERRUPTION OF SERVICES TO THE PUBLIC.
  - REMOVE EXISTING ON-SITE TREES THAT ARE IN CONFLICT WITH NEW CONSTRUCTION.
  - REMOVE ALL EXISTING UNDERGROUND UTILITIES IN CONFLICT WITH NEW CONSTRUCTION OR ABANDONED.

**SITE LEGEND**

	CABINS TO BE DEMOLISHED IN PHASE 1
	CABINS TO BE DEMOLISHED IN PHASE 2

DRAWN: SW  
REVIEWED: KM  
DATE: 02.18.2025  
PROJECT #: 24008  
FILE: DEVELOPMENT PLAN  
SHEET TITLE: SITE PLANS

SCALE: As Indicated

NO. DEV-04

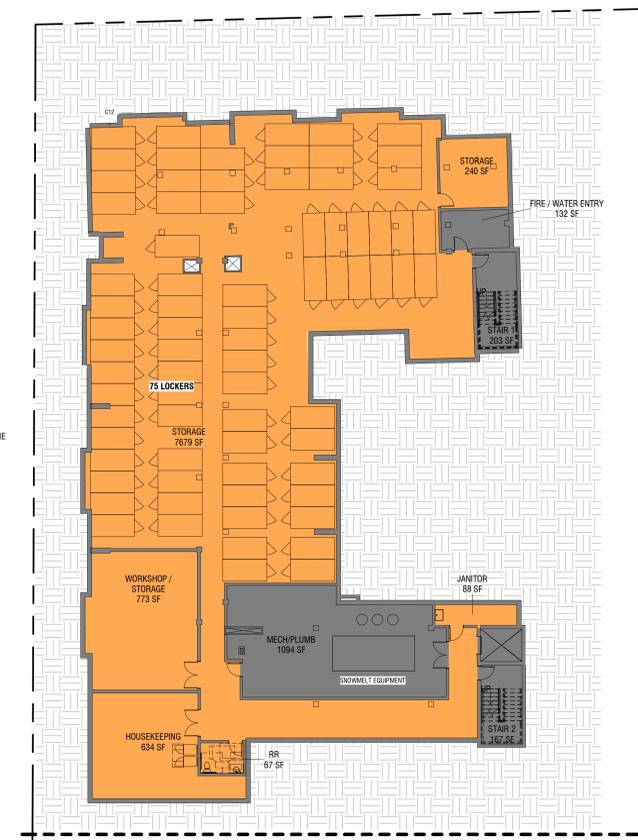




1 LEVEL 2-3 TYPICAL PLAN  
1/16" = 1'-0"



2 LEVEL 1 FLOOR PLAN  
1/16" = 1'-0"



3 BASEMENT PLAN  
1/16" = 1'-0"

HABITABLE AREAS		
BASEMENT	HABITABLE	9,682 SF
	NON-HABITABLE	1,561 SF
LEVEL 1	HABITABLE	16,066 SF
	NON-HABITABLE	620 SF
LEVEL 2	HABITABLE	27,796 SF
	NON-HABITABLE	620 SF
LEVEL 3	HABITABLE	27,796 SF
	NON-HABITABLE	620 SF

HABITABLE  
 NON-HABITABLE



UNIT 3.1 PLAN  
(2 UNITS)



UNIT 2.3 PLAN  
(3 UNITS)



UNIT 2.2 PLAN  
(3 UNITS)



UNIT 2.1 (2.4A & 2.5 SIM)  
(42 UNITS)



UNIT 1.3 PLAN  
(2 UNITS)



UNIT 1.2 PLAN  
(2 UNITS)



UNIT 1.1 (1.4A SIM)  
(18 UNITS)

UNIT SCHEDULE	
UNIT 1.1	15
UNIT 1.2	2
UNIT 1.3	2
UNIT 1.4A	3
UNIT 2.1	38
UNIT 2.2	3
UNIT 2.3	3
UNIT 2.4A	2
UNIT 2.5	2
UNIT 3.1	2
Grand total:	72



DRAWN: SW  
REVIEWED: KM  
DATE: 02.18.2025  
PROJECT #: 24008  
FILE: DEVELOPMENT PLAN  
SHEET TITLE: UNIT PLANS

SCALE:  
NO. DEV-08

SHAW CONSTRUCTION  
JORGENSEN  
BLUELINE PROPERTY MANAGEMENT  
StJohn's HEALTH  
flow design collaborative  
ARCHITECTURE  
S H O P  
P O R T S



1 EAST ELEVATION  
3/32" = 1'-0"



2 NORTH ELEVATION  
3/32" = 1'-0"



3 SOUTH ELEVATION  
3/32" = 1'-0"



4 WEST ELEVATION  
3/32" = 1'-0"





1 ELEVATION AT COURTYARD NORTH  
1/8" = 1'-0"



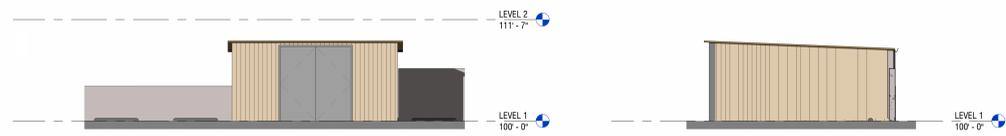
2 ELEVATION AT COURTYARD SOUTH  
1/8" = 1'-0"



3 ELEVATION AT PLAZA NORTH  
1/8" = 1'-0"



4 ELEVATION AT PLAZA SOUTH  
1/8" = 1'-0"



5 EAST ELEVATION AT ENCLOSURE  
1/8" = 1'-0"

6 SOUTH ELEVATION AT ENCLOSURE  
1/8" = 1'-0"



THERMALLY MODIFIED WOOD SIDING - LIGHT FINISH



CORTEN STEEL ACCENT PANELS AND FRAMES



THERMALLY MODIFIED WOOD SIDING - BLACK FINISH



ACCENT WOOD TEXTURE



RENDERED NORTH ELEVATION



RENDERED SOUTH ELEVATION



RENDERED WEST ELEVATION



RENDERED EAST ELEVATION

ARCHITECTURE  
 INTERIORS  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 DESIGN COLLABORATIVE  
**flow**  
 design collaborative

**SHAW**  
 CONSTRUCTION

**JORGENSEN**

**BLUELINE**  
 PROPERTY MANAGEMENT

**StJohn's**  
 HEALTH

**HITCHING POST APARTMENTS**

DRAWN: SW  
 REVIEWED: KM  
 DATE: 02.18.2025  
 PROJECT #: 24008  
 SHEET TITLE:  
**RENDERED ELEVATIONS**

SCALE: \_\_\_\_\_

NO. **DEV-11**



RENDERED NORTHEAST VIEW



DRAWN: SW  
 REVIEWED: KM  
 DATE: 02.18.2025  
 PROJECT #: 24008  
 SHEET TITLE:  
 RENDERING  
 NORTHEAST

SCALE: \_\_\_\_\_

NO. DEV-12

SHAW ARCHITECTURE  
 CONSTRUCTION  
 JORGENSEN  
 flow design collaborative





RENDERED NORTHWEST VIEW



DRAWN: SW  
 REVIEWED: KM  
 DATE: 02.18.2025  
 PROJECT #: 24008  
 SHEET TITLE:  
 RENDERING  
 NORTHWEST

SCALE: \_\_\_\_\_

NO. DEV-13

SHOPS  
 WOODS  
 ARCHITECTURE  
 INC. IN VANCOUVER • SEATTLE • PORTLAND • DENVER

SHAW  
 CONSTRUCTION

BLUELINE  
 PROPERTY MANAGEMENT

StJohn's  
 HEALTH

JORGENSEN

flow  
 design collaborative



RENDERED ENTRY VIEW



THERMALLY MODIFIED WOOD SIDING - LIGHT FINISH



THERMALLY MODIFIED WOOD SIDING - BLACK FINISH



CORTEN STEEL ACCENT PANELS AND FRAMES



ACCENT WOOD TEXTURE



DRAWN: SW  
REVIEWED: KM  
DATE: 02.18.2025  
PROJECT #: 24008  
FILE:  
SHEET TITLE:  
MATERIAL BOARD

SCALE: \_\_\_\_\_

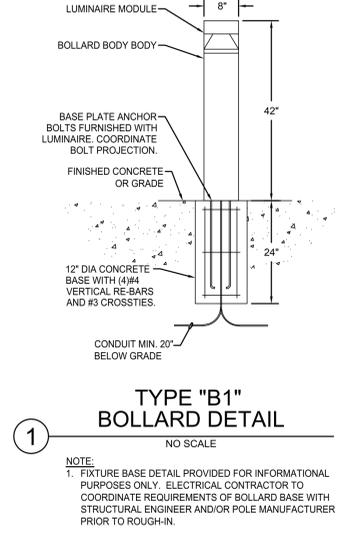
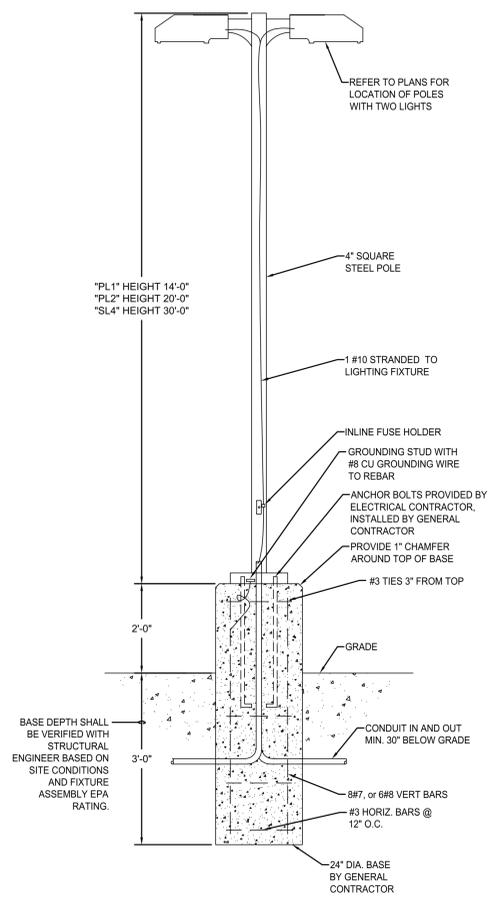
NO. DEV-15

SHAW  
CONSTRUCTION  
JORGENSEN

BLUELINE  
PROPERTY MANAGEMENT

StJohn's  
HEALTH

flow  
design collaborative



**1** TYPE "B1" BOLLARD DETAIL  
NO SCALE  
NOTE:  
1. FIXTURE BASE DETAIL PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ELECTRICAL CONTRACTOR TO COORDINATE REQUIREMENTS OF BOLLARD BASE WITH STRUCTURAL ENGINEER AND/OR POLE MANUFACTURER PRIOR TO ROUGH-IN.

**2** FIXTURE TYPE "PL1" DETAIL  
NO SCALE  
NOTE:  
1. FIXTURE BASE DETAIL PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ELECTRICAL CONTRACTOR TO COORDINATE REQUIREMENTS OF POLE BASE WITH STRUCTURAL ENGINEER AND/OR POLE MANUFACTURER PRIOR TO ROUGH-IN.

**3** FIXTURE TYPE "SL4"  
N.T.S.

**4** FIXTURE TYPE "ST"  
N.T.S.

**5** FIXTURE TYPE "PL4"  
N.T.S.

**6** FIXTURE TYPE "B1"  
N.T.S.

**7** FIXTURE TYPE "PL1"/"PL2"  
N.T.S.

**8** FIXTURE TYPE "W1"  
N.T.S.

**9** FIXTURE TYPE "W2"  
N.T.S.

**10** FIXTURE TYPE "TL"  
N.T.S.

**11** FIXTURE TYPE "C1"  
N.T.S.

**12** FIXTURE TYPE "SL"  
N.T.S.

**13** FIXTURE TYPE "UP"  
N.T.S.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	B1	27	LITHONIA	KBC8-LED-16C-350-40K-SYM-MVOLT-DBLXD	8" DIAMETER X 42" HIGH BOLLARD, BLACK FINISH	LED 4000K	1	1116	1	20
□	PL1	43	LITHONIA	DSX0-LED-40K-TFTM-MVOLT-SPA	13" WIDE X 26" LENGTH POLE LIGHT, BLACK FINISH	LED 4000K	1	6926	1	70
□	PL2	1	LITHONIA	DSX0-LED-40K-TFTM-MVOLT-SPA	13" WIDE X 26" LENGTH POLE LIGHT, BLACK FINISH	LED 4000K	1	6926	1	70
□	SL4	4	SIGNIFY/ LUMEC/ ROADFOCUS	RFL-85W120LED-3K-G2-R3M	13" WIDE X 37.6" LENGTH POLE LIGHT, GREY FINISH	LED 3000K	1	12,800	1	85
□	PL4	8	LUMINIS BELLEVUE	BVA21	6" WIDE X 20" LENGTH POLE LIGHT WITH 168" TALL 6" X 6" SQUARE POLE, BLACK FINISH	LED 3000K	1	TBD	1	64
□	PL1 POLE	43	LITHONIA	SSSDB-14-4C	4" SQUARE, 14' HIGH POLE FOR "PL1" LIGHT, BLACK FINISH	-	-	-	-	-
□	PL2 POLE	1	LITHONIA	SSSDB-20-4C	4" SQUARE, 20' HIGH POLE FOR "PL2" LIGHT, BLACK FINISH	-	-	-	-	-
□	PL3 POLE	4	VALMONT	DS32-750A286-8S-GV-HH-NC	4" SQUARE, 30' HIGH POLE FOR "SL4" LIGHT, GREY FINISH	-	-	-	-	-
—	SL	5	LITHONIA	FEM-L48-3000LM-LPPFL-MD-MVOLT-GZ10-40K-80CRI	48" LONG LINEAR LIGHT WET LOCATION, WHITE FINISH	LED 4000K	1	3000	1	18
—	SP	33	BEGA	B33018-K24-BLK	10" LONG RECESSED LED STEP LIGHT, BLACK FINISH	LED 4000K	1	44	1	5
—	TL	180	WAC LIGHTING	T24-OD1-40	OUTDOOR LED TAPE LIGHT	LED 4000K	1	100/LF	1	1.2/LF
○	UP	21	HYDREL	ALDER-A-P1-40K-120V-30DEG-FLC-350R	2.5" SQUARE LED UPLIGHT, 30 DEGREE BEAM, FLAT CLEAR LENS, BLACK FINISH	LED 4000K	1	10558	1	92
⊙	W1	17	GOTHAM	EVO2WC-40-02-AR-LD-MWD-MVOLT-UGZ-WL-DBL	2" DIAMETER WALL MOUNTED DOWN LIGHT, BLACK FINISH	LED 4000K	1	10558	1	92
⊙	W2	3	MODERN FORMS	WS-W520	20" HIGH WALL MOUNTED EXTERIOR LIGHT, BLACK FINISH	LED 3000K	1	551	1	17

**Exhibit B:**

**Design Review Committee Conceptual Review Follow Up Letter.**



## PLANNING & BUILDING DEPARTMENT

December 12, 2024

HH Land Strategies  
Hal Hutchinson  
PO Box 1902  
Wilson, WY 83014

RE: P24-180 Conceptual Design Review  
460 E Broadway Ave. (Hitching Post)

*SENT VIA EMAIL*

Dear applicant,

This letter is to confirm that on December 11, 2024, the Design Review Committee (DRC) reviewed the proposed conceptual design for the Hitching Post ARU structure at 460 E Broadway Ave and gave the following feedback for design team consideration prior to final DRC review:

- Consider design alternatives to create better cohesion between gabled and flat roof elements. The asymmetry of roof angles may require additional study.
- The committee felt the eastern façade versus remaining facades read as different projects.
- Consider design alternatives at northwest corner of the structure, such as incorporating a third story setback, to help reduce real or perceived massing from the pedestrian level and street façade.
- Continue study of the northeast “porch” feature, particularly the interaction between gabled roof of porch and flat element of upper story.

In general, DRC was supportive of the existing design in terms of overall site design, landscaping, courtyards, engaging entrances, and general livability of floor plans. The committee specifically appreciated the overall choice and quality of materials and expressed hope that material quality does not diminish as the project progresses.

Should you have any questions or need additional information, please contact me at 307-734-3493 or by email at [kpage@jacksonwy.gov](mailto:kpage@jacksonwy.gov).

Sincerely,

A handwritten signature in black ink that reads "Katelyn S. Page". The signature is fluid and cursive, with a long horizontal stroke at the end.

Katelyn S. Page, AICP  
Associate Planner

**Exhibit C:**

**Shared Parking and Access Agreement**

## **SHARED PARKING AND ACCESS EASEMENT AGREEMENT**

**THIS SHARED PARKING AND ACCESS EASEMENT AGREEMENT** (this “Agreement”) is made as of this \_\_\_\_ day of January, 2025 (“Effective Date”), by and between **Teton County Hospital District d/b/a St. John’s Health**, acting in its capacity as owner of Burdened Parcel (defined below) (“Grantor”), and **Teton County Hospital District d/b/a St. John’s Health**, acting in its capacity as owner of Benefitted Parcel (defined below) (“Grantee”). Grantor and Grantee, each as and when acting in such capacity, are herein individually referred to as a “Party” and are collectively referred to as the “Parties.”

### **RECITALS**

WHEREAS, Grantor owns the parcel of land and parking improvements commonly identified as 30 Redmond Street in the Town of Jackson, Teton County, Wyoming, as legally described on Exhibit A attached hereto (the “Burdened Parcel”);

WHEREAS, Grantee owns the parcel of land and employee housing improvements commonly identified as the Hitching Post, located at 460 East Broadway Avenue in the Town of Jackson, Teton County, Wyoming, as legally described on Exhibit B attached hereto (the “Benefitted Parcel”);

WHEREAS, Grantor wishes to grant, and Grantee wishes to receive and accept, easements for shared parking and vehicular and pedestrian ingress and egress over, upon and across certain portions of the Burdened Parcel for the benefit of the Benefitted Parcel, all as more fully set forth below; and

WHEREAS, the Parties wish to enter into certain agreements regarding such easements.

NOW, THEREFORE, for and in consideration of the covenants and agreements contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. **Access and Parking Easements over Burdened Parcel.**

(a) Grantor hereby grants unto Grantee, as easements appurtenant to the Benefitted Parcel, non-exclusive, irrevocable and perpetual easements for (i) vehicular and pedestrian access by the Grantee Related Parties (as defined below) upon, over and across the surface of that portion of the Burdened Parcel that is designated from time to time by Grantor for use as driveways, walkways and similar accessways (such areas, the “Access Easement Area”); and (ii) the parking of motor vehicles by Grantee, Grantee’s tenants and their respective agents, employees, contractors, invitees and guests (collectively, the “Grantee Related Parties”) upon, over and across the surface of that portion of the Burdened Parcel that is designated by Grantor for parking purposes and identified by shading on Exhibit C attached hereto (such area, the “Parking Easement Area;” the Access Easement Area and the Parking Easement Area are herein collectively referred to as the “Easement Areas”). Grantee specifically acknowledges and agrees with respect to the Easement Areas as follows: (W) its rights with respect to the Parking

Easement Area are limited to the nonexclusive use of the thirty-one (31) parking spaces within the Parking Easement Area depicted by shading on Exhibit C; (X) Grantor reserves the right to continue to utilize all easements of record encumbering the Easement Areas, Grantee hereby acknowledging that Grantor has not elected to cause such easement rights of record enjoyed by Grantor to merge into Grantor's title to the Burdened Parcel; (Y) Grantee shall not obstruct Grantor's access to or interfere with Grantor's use of the Easement Areas; and (Z) at no time shall Grantee or Grantor place any signs on any part of the Easement Areas indicating that any specific parking spaces are for the exclusive use and benefit of Grantee or the Grantee Related Parties or Grantor, its tenants, agents, employees, invitees and guests (any such signage shall provide that the Easement Areas are for the use of Grantor and Grantee, jointly). *[In addition to the foregoing, Grantee covenants and agrees that, without the prior written consent of Grantor, which consent shall not be unreasonably withheld, conditioned or delayed, Grantee shall not change the use of the Benefitted Parcel to any use that is not permitted under the Land Development Regulations (the "LDRs") of the Town of Jackson (the "Town"), in effect from time to time, or increase or change the nature or the intensity of the use of the Benefitted Parcel in any manner that increases the number of off-street parking spaces that are required to be provided under the LDRs to serve the Benefitted Parcel beyond the sum of the parking spaces located on the Benefitted Parcel and the thirty-one (31) parking spaces provided for in the Parking Easement Area.]*

(b) Grantor shall repair, maintain and replace the surface of the Easement Areas as and when Grantor deems necessary, the reasonable costs of which shall be referred to herein as the "Maintenance Costs." The Easement Areas shall in all events be operated and maintained by Grantor in compliance with all applicable governmental laws, rules, regulations, orders and ordinances. The aforesaid maintenance and repair obligation shall include, but not be limited to, the following: (i) maintaining all paved surfaces and curbs in a smooth and evenly covered condition, (ii) periodically removing all papers, debris, refuse, ice and snow, to the extent necessary to keep the Easement Areas in a clean, safe and orderly condition, (iii) restriping the parking lot and drive areas of the Easement Areas as necessary, and (iv) maintaining, cleaning and replacing Easement Areas lighting facilities. Grantee shall be responsible for **sixty-nine percent (69%)** of the Maintenance Costs (based upon the proportion of Grantee's 31 parking spaces and a total of **forty-five** parking spaces), and Grantor shall be responsible **thirty-one percent (31%)** of the Maintenance Costs. After incurring Maintenance Costs, Grantor shall provide Grantee with a detailed statement that sets forth: (Y) the amount due and owing from Grantee; and (Z) reasonable evidence substantiating the amount of Maintenance Costs incurred. Grantee, within 30 days of receiving such statement, shall reimburse Grantor for the amount set forth therein. If Grantee fails to make such reimbursement within the 30-day period, the amount due and owing from Grantee shall bear interest until paid at a per annum rate of interest equal to the "prime rate" of interest announced from time to time by the Bank of Jackson Hole at its principal place of business in the Town of Jackson, Wyoming (or its successors or assigns), plus two percent (2%) per annum (not to exceed the maximum rate of interest allowed by law) (such interest rate, the "Default Rate").

(c) Grantor agrees that thirty-one (31) of the parking spaces located on and within the Parking Easement Area may be used to satisfy the requirements of all applicable zoning laws, codes and ordinances for the Benefitted Parcel, and Grantor agrees to execute and deliver such

further documents and instruments confirming and implementing the foregoing agreement as Grantee may from time to time reasonably request as long as such further document or instrument is consistent with provisions of this Agreement. The easements granted by this Agreement are meant to help satisfy Town parking requirements for Benefitted Parcel and are granted for that purpose despite the unity of ownership that currently exists between Grantor and the Benefitted Parcel.

2. **Remedies and Enforcement.**

(a) **Self-Help.** In addition to all other remedies available at law or in equity, upon the failure of a Party (such Party, a “Defaulting Party”) to cure a breach of this Agreement within 30 days following written notice thereof by the other Party (such Party, the “Non-Defaulting Party”), the Non-Defaulting Party shall have the right to perform such obligation contained in this Agreement on behalf of such Defaulting Party and to be reimbursed by such Defaulting Party upon demand for the reasonable costs thereof together, or the appropriate portion thereof, with interest until paid calculated at a per annum rate equal to the Default Rate, *provided, however,* that with respect to any breach the nature of which cannot reasonably be cured within such 30-day period, the Non-Defaulting Party shall not be entitled to the foregoing remedy if the Defaulting Party commences cure within such 30-day period and thereafter diligently prosecutes such cure to completion. Without limitation of the foregoing, in the case of any breach of this Agreement or threat thereof involving an emergency situation that, if not corrected, would or might reasonably be likely to result in damage to property or would or might reasonably be likely to materially impair the conduct of business in a reasonable manner on the Non-Defaulting Party’s property, any Non-Defaulting Party shall not be obligated to wait for the expiration of the above-referenced cure period before acting under this subsection (a) and may, but shall not be obligated to, act immediately under this subsection (a).

(b) **Remedies Cumulative.** The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity.

(c) **Prevailing Party.** In the event of any litigation between the Parties hereto on account of any default under, or dispute relating to, this Agreement, the prevailing Party in any such litigation shall be entitled to recover from the non-prevailing Party the reasonable amount of all attorneys’ fees and expenses incurred by the prevailing Party in connection with such litigation or dispute.

3. **Prohibition on Encumbrances/Further Grants.** Grantee shall not create, effect, contract for, commit or consent to, suffer or permit any lien, mortgage, security interest or other encumbrance of the Easement Areas or any part thereof, *provided however,* that in connection with the granting of a mortgage of Grantee’s fee interest in the Benefitted Parcel, Grantee may grant a mortgage on its limited easement rights granted herein (but in no event upon fee title to the Burdened Parcel). Grantee shall not grant or extend to any third party, or contract or commit to grant or extend to any third party, the right to use the Easement Areas or any part thereof except for the Grantee Related Parties.

4. **[Town’s Rights of Enforcement.**

(a) **Enforcement.** Grantor and Grantee recognize and agree that the Town has a valid interest in ensuring that the restrictions, covenants, easements, and agreements set forth in this Agreement are properly performed and, therefore, the Parties grant the Town the right to enforce such restrictions, covenants, easements and agreements by a proceeding at law or in equity against any person or persons violating or attempting to violate any restriction, covenant, or agreement contained in this Agreement, either to restrain a violation, to compel affirmative action, to recover damages, and as to the land described in this Agreement, to enforce any lien created by the provisions of this Agreement.

(b) **Exercise of Town Rights; Waiver.** The Town is not required to exercise the rights granted in this Agreement, except as it shall determine to be in its best interest. Failure by the Town to exercise any right herein granted shall not be construed as a waiver of that right or any other right. Nothing in this Agreement shall be deemed or construed to constitute a dedication of any property to the Town.]

5. **Covenants Running with the Land.** All provisions of this Agreement, including the benefits and burdens set forth herein, shall run with title to the Benefitted Parcel and the Burdened Parcel, respectively, and are binding upon and shall inure to the benefit of the Parties and their respective successors and assigns, as owners of the Benefitted Parcel and the Burdened Parcel.

6. **Interpretation.** The rule of strict construction does not apply to the grants herein. The grants herein shall be given a reasonable construction to carry out the intention of the Parties to confer a commercially usable right of enjoyment in favor of Grantee and the Grantee Related Parties.

7. **Notices.** All notices and other communications given pursuant to this Agreement shall be in writing and shall be deemed properly served if delivered in person to the Party to whom it is addressed or two days after deposit in the U.S. mail if sent postage prepaid by U.S. registered or certified mail, return receipt requested, addressed as follows:

(a) If to Grantor: Teton County Hospital District  
P.O. Box 428  
Jackson, WY 83001  
Attention: Sean Ryan  
Telephone: 307-739-7410  
Fax: 307-739-7238

(b) If to Grantee: Teton County Hospital District  
P.O. Box 428  
Jackson, WY 83001  
Attention: Sean Ryan  
Telephone: 307-739-7410  
Fax: 307-739-7238

Either Party may change the name of the person or address to which notices and other communications are to be given by so notifying the other Party. Notices or demands from either Party may be given by that Party or any of their agents.

8. **Exhibits**. All exhibits are incorporated herein by reference as if the same were fully set forth herein.

**[SIGNATURE PAGE FOLLOWS]**

**IN WITNESS WHEREOF**, the Parties have executed this Agreement as of the day and year first above written.

**GRANTOR:**

**Teton County Hospital District d/b/a St. John's Health,**  
acting in its capacity as owner of Burdened Parcel

By: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

**GRANTEE:**

**Teton County Hospital District d/b/a St. John's Health,**  
acting in its capacity as owner of Benefitted Parcel

By: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

STATE OF WYOMING )  
 )  
COUNTY OF TETON ) SS.

I, \_\_\_\_\_, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such \_\_\_\_\_, appeared before me this day in person and acknowledged that he/she signed and delivered said instrument as his/her own free and voluntary act, and as the free and voluntary act of said Hospital District for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_

STATE OF WYOMING )  
 )  
COUNTY OF TETON ) SS.

I, \_\_\_\_\_, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such \_\_\_\_\_, appeared before me this day in person and acknowledged that he/she signed and delivered said instrument as his/her own free and voluntary act, and as the free and voluntary act of said Hospital District for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_

EXHIBIT A

**Legal Description of Burdened Parcel**

Lots 6 and 7 of the 2nd Redmond Plat, Teton County, Wyoming, according to that plat recorded in the Office of Teton County Clerk on July 15, 1937 as Plat No. 122.

## EXHIBIT B

### Legal Description of Benefitted Parcel

A parcel of land in the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 34, Township 41 North, Range 116 West, 6th Principal Meridian, Teton County, Wyoming, being a portion of that parcel of record in the Office of the Teton County Clerk in Book 6 of Deeds, Page 404, and being more particularly described as follows:

Beginning at a point on the southerly right-of-way of Broadway in the Town of Jackson which point lies  $S0^{\circ}21'26''E$ , 30.02 feet from the 1/4 corner common to Sections 27 and 34 of said Township and Range and is the northeast corner of said parcel in Book 6 of Deeds; thence along the easterly boundary of said record parcel in Book 6 of Deeds,  $S0^{\circ}14'17''$ , 369.61 feet to a point; thence  $S89^{\circ}51'28''W$ , 199.22 feet to a point on the easterly boundary of that record parcel in Book 3 of Deeds, Page 450; thence along said easterly boundary  $N0^{\circ}8'20''E$ , 364.73 feet to a point on the southerly right-of-way of Broadway; thence along said right-of-way  $N88^{\circ}26'6''E$ , 196.87 feet to the point of beginning.

PIN Number: 22-41-16-34-2-00-001

EXHIBIT C

Depiction of Easement Areas

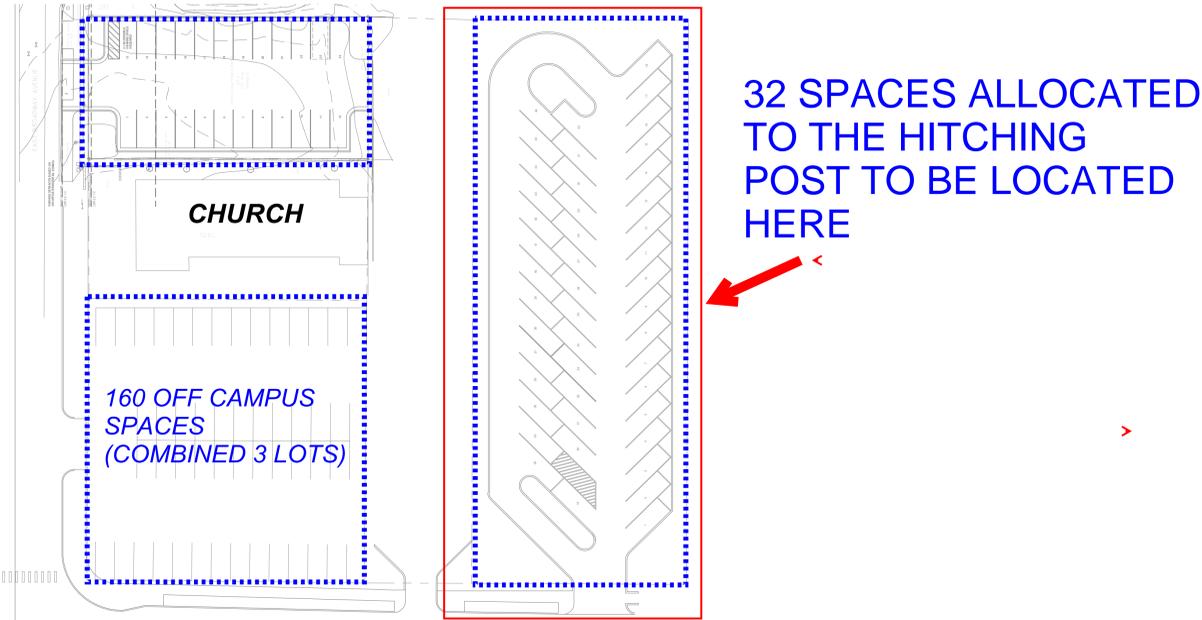
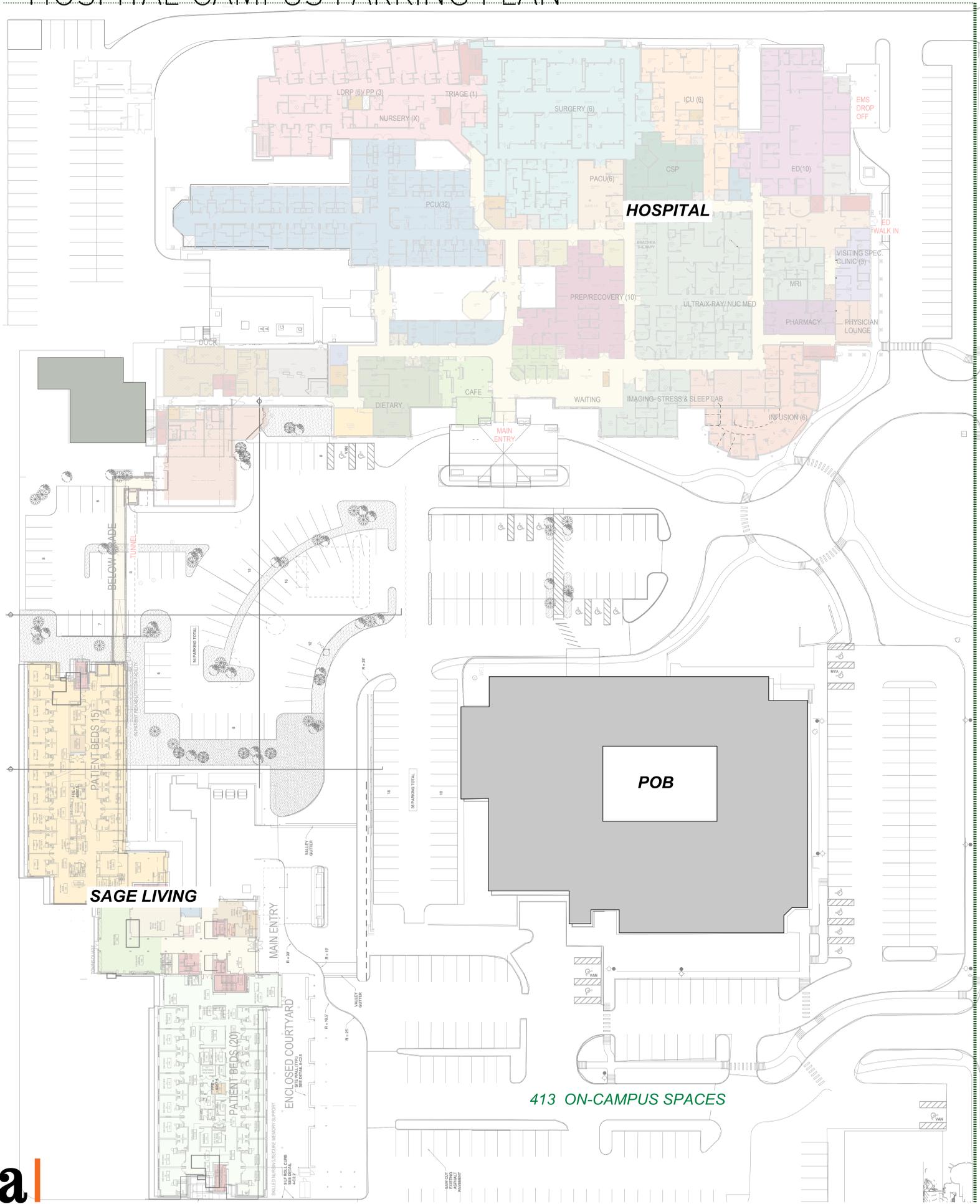


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**Exhibit D:**

**Hospital Campus Parking Plan**

# HOSPITAL CAMPUS PARKING PLAN



## CAMPUS PARKING SUMMARY (EXISTING & PROPOSED PROJECTS)

PHASE	MASTERPLAN- PROPOSED PROJECTS (EACH PROJECT IS CUMILATIVE)	Existing Parking Count (Hospital)	Existing Parking Count (Sage)	Displaced Parking	Added Parking	Actual Parking Count	Change in Code Required Spaces	Code Required Parking (3.3/1000 gsf POB, 4 per bed +/- 60 for Sage)	Code Required Surplus (Deficit)
EXIST.	Existing Condition	477	96	0	0	573	0	463	110
PRE 1A	Hitching Post (70 units)- Off Campus	477	96	0	0	573	32	495	78
1A	Oncology Expansion, Cardiopulmonary relocation, Med-Staff lounge relocation, Chapel relocation, GI/Endo Expansion (7,500 new #ft)	477	96	0	0	573	25	520	53

48 PRIMARY CARE/ ACUTE  
 16 INPAT REHAB  
 16 MEMORY CARE  
 40 SKILLED NURSING  
 54,000 DGSF POB

413 PARKING SPACES ON CAMPUS + 160 OFF CAMPUS ( CHURCH LOTS)= 573 SPACES

**Exhibit E:**  
**Construction Management Plan**

February 14, 2025

## Construction Management Plan: The Hitching Post

### Project Scope:

The Hitching Post will be a type 5 structure multi-family project consisting of 72 units. The total gross square footage for this project will be 96,089 sf. The building will include common areas for circulation, a shared amenity area, management lobby/office and storage at subterranean basement. The design includes repeating unit floor plans with three levels of living area(s) and common stairs and elevators. The structure will include tuck-under parking and snowmelt for the entirety of the paved parking lot. 72 parking spaces will be provided with 4 of those accommodating ADA access. Public utilities will include domestic water tie in, sanitary sewer tie in, and storm sewer tie-in. Electricity will be brought to the site and coordinated with Lower Valley Energy and the Town of Jackson as necessary. The estimated start of construction activities is July 1<sup>st</sup>, 2025, upon approved building permit. The total approximate project duration is 24 months, finishing up in approximately June 2027.

### **Phase 1- Demolition:**

The existing site has a total of 17 cabins of varying sizes and dates of installation at the site that are slated for demolition and removal. We will be following best practices for material sorting and recycling. We propose chipping of organics and approximate 165,000 lbs of local offsite composting. We also propose grinding other materials to reduce truck trips and accommodate higher waste to recycling diversion, approximating 95,000 lbs of metals recovery that would otherwise go directly to landfill. The site will have two entrances that will allow a uni-directional flow of traffic and keep all trucks and equipment working together efficiently.

### **Phase 2- Construction:**

### Public Impact:

Shaw will coordinate with the Town of Jackson (TOJ) to identify the properties and businesses most impacted by the construction to create an email contact list, to provide information as the project schedule and work. This list is attached at the end of this submission and includes the TOJ Engineering Division. Shaw will work to minimize any effect on adjacent properties by maintaining proactive communication including giving a minimum 48-hour notice of any closures and after-hours work. The owner and Shaw acknowledge that the right-of-way (R.O.W.) is a shared public use area and will coordinate with TOJ and neighbors for special event planning and construction activities that will encroach on the R.O.W. of the surrounding streets. Activities that affect the Town of Jackson include domestic water tie in and the storm system connection, but impact on the neighbors should be minimal if any. During said activities, the best practice traffic control practices will be implanted including a well-defined drive aisle, signage, clearly fenced/screened property boundaries, well-marked and gated

entrance, and personnel for the direction and control of traffic flow. No sidewalk exists on the property front. Pedestrian traffic will be re-routed to the opposite side of the street until a new sidewalk is installed as part of the completed project.

All necessary permits will be obtained prior to any closures including a traffic control plan.

If any intermittent adjacent sidewalk closures are required, they will be coordinated with neighboring property owners. Please note that public safety will be best served by temporarily rerouting all pedestrians to the sidewalk on the North side of E. Broadway Ave. The reasons for this are as follows:

- 1) There is no pedestrian sidewalk existing or available along the site currently
- 2) The North sidewalk of E. Broadway Av. is not impacted by construction.
- 3) Public Safety is paramount therefore not allowing any pedestrian crossing in front of construction entrance/exit would be the safer choice. The Town has the authority to require modifications to the Construction Management Plan.

#### Construction Parking:

The contractor shall implement a clear and self-enforcing construction parking plan that does not use or encumber downtown on street and/or public parking lot parking spaces. This plan specifies that employee or contractor parking within time restricted parking zones, the Home Ranch, East Delony, Miller Park and/or the Parking Garage lots are not allowed. The Contractor will encourage carpooling and bus riding, and when possible, provide shuttles to/from the project. The site plan as designed will allow for all construction parking, deliveries and staging to the site alone. The size of the site gives ample room for any parking required for all onsite construction personnel.

#### Site Logistics, General Staging Plan:

A site logistics and general staging plan are attached to this document. Throughout the entirety of the project staging and parking will be strictly maintained within the project boundary, no offsite yard needs are foreseen for this project, with the site providing ample space for parking along with construction staging. The construction lot will contain the job office trailer, dumpsters, concrete washout, recycling, temporary toilets, and an area designated for snow storage / haul off based on the master site plan.

The project site will have a perimeter site construction fence with a silt fence along the inner downhill margin as part of the erosion control BMP's. Worker and vehicle access is minimized to one access point along E Broadway Ave to minimize disturbance for the businesses and residences. The vehicle entrance gates will include vehicle tracking control pads as needed and a skid steer will remain on site to maintain clean roads utilizing bucket and sweeper attachments. Throughout all stages, trucks arriving or leaving the site will have access to utilize the town truck route. A map to the site, delivery and parking

**Shaw Wyoming**  
460 South Cache  
Jackson, WY 83001  
TEL: 303-733-8401



instructions will be provided to subcontractors and vendors at the beginning of the project and additionally as needed.

Construction work hours, unless by special exception, will be Monday-Friday 7AM-7PM and 8AM-5PM during weekends and holidays.

During construction, up to two small mobile cranes will be utilized so that both sections of the building can be built concurrently. The cranes will not encroach on any PROW and will be installed interior to the site itself. Cranes will include hardwired electric lighting at their highest point.

Parking, Street, and Alley Encroachments:

It is not anticipated that site logistics will require long term portions of the adjacent street travel lanes to be occupied by construction equipment or staging at different times during the project. The attached Staging Plan shows no areas to be occupied on a continuous basis. Areas to access in street utilities are anticipated on an intermittent basis. Those areas shall incorporate trench boxes where possible and appropriate barriers and directional devices to maintain two directional flows of traffic. The closure of parking to the north side of Broadway may be necessary to achieve two directional traffic through these utility tie ins. Public data shows much of the private gas, power, and communication utilities on the projects side of the ROW.

Shaw will coordinate with Town officials and adjacent property owners to minimize the impact of these encroachment activities and to assure all Town rules and permitting procedures are properly followed. The intermittent encroachments for Utility improvements along the surrounding streets will be necessary during construction activities. All necessary permits will be obtained prior to any closures, including a traffic control plan. Site barriers shall not interfere with Town snow removal. Contractor shall be responsible for all snow removal from along the barrier after each time the town plows. Fence shall be held at back of curb to allow and segregate material and man lifts from public. Public safety will be held paramount during overhead crane and concrete pumping activities.

Performance Bonds and Guarantees:

All required bonds, guarantees, and warranty to be provided by Owner at prior to permit release. Town to notify Owner of required amounts.

**Shaw Wyoming**  
460 South Cache  
Jackson, WY 83001  
**TEL:** 303-733-8401



Stormwater Management:

All erosion control measures and BMPs will be implemented per plan as developed by the civil engineer, including inlet protection and perimeter controls. All stormwaters of the site will be managed in accordance with TOJ standards & will not affect TOJ stormwater systems. During any rain event, storm water monitoring and reporting will be recorded. A stabilized entrance with tracking control mats will be installed and maintained at the vehicle access point. Concrete washout location clearly defined and accessible. Temporary toilets will be properly bedded and staked. Gas, diesel, and oils will be stored in proper containment vessels. Spoils piles will be covered and staked. Final measures will be reviewed with the building or grading permit.

Snow Removal:

Snow removal within the property will be collected and relocated to appropriate offsite locations. Any snow that accumulates along property margins will be removed after city plows have been through and the snow has accumulated enough to restrict access. Shaw will have the snow removed each time the Town plows. Site barriers shall not interfere with Town snow removal.

Cranes:

Crane location(s) are included with the attached site plans documents. Cranes will not be permitted to perform any picks adjacent to areas open to the public, unless they are within a fenced construction zone. Cranes will be operated by a certified operator and will follow all industry and OSHA standards.

**Shaw Wyoming**  
 460 South Cache  
 Jackson, WY 83001  
**TEL:** 303-733-8401



Neighborhood Contact List

<u>Business / Owner Name</u>	<u>Address</u>	<u>Phone</u>	<u>Email</u>
Town of Jackson			townengineering@jacksonwy.gov
CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS	420 East Broadway Ave		
Jackson House LLC	520 E Broadway Ave		
Full Send Properties LLC	523 No Name Alley St		
Viking LLC	524 No Name Alley St		
STOLTZFUS, CLARENCE & RODICA	525 No Name Alley St		
FURMAN, L. ANNETTE IRREVOCABLE TRUST	526 No Name Alley St		
TOLLISON, SARAH	527 No Name Alley St		
BARRY, MICHAEL G. & MAUREEN C	518 E PEARL AVENUE		
LIVEZEY, REBECCA N	516 E PEARL AVENUE		
BIGHORN RIVER CO., LLC	514 E PEARL AVENUE		
KIM-MILLER, MATTHEW W. & MINDY J.	512 E PEARL AVENUE,		
MARLOW, BRUCE	510 E PEARL AVENUE		



Town of Jackson  
 150 E Pearl Avenue  
 PO Box 1687, Jackson, WY 83001  
 P: (307)733-3932 F: (307)739-0919  
 www.jacksonwy.gov

Date: September 20, 2024

**LETTER OF AUTHORIZATION**  
**NAMING APPLICANT AS OWNER'S AGENT**

**PRINT** full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual  
 Jeff Sollis, CEO, St Johns Health

Being duly sworn, deposes and says that Teton Cty. Hospital Dist. is the owner in fee of the premises located at:  
Name of property owner as listed on deed

Address of Premises: 460 E Broadway Ave, Town of Jackson, WY 83001

Legal Description: Parcel B, Map T-74A

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Hal Hutchinson, HH Land Strategies, LLC

Mailing address of Applicant/agent: PO Box 1902, Wilson, WY 83014

Email address of Applicant/agent: hal@hhlandstrategies.com

Phone Number of Applicant/agent: 307-699-0265

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

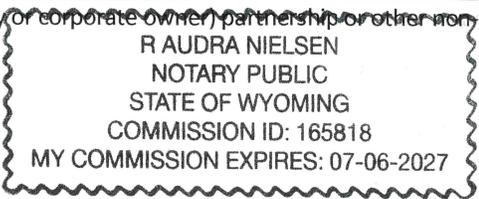
- Development/Subdivision Plat Permit Application       Building Permit Application
- Public Right of Way Permit     Grading and Erosion Control Permit     Business License Application
- Demolition Permit                       Other (describe) \_\_\_\_\_

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

[Signature]  
 Property Owner Signature  
 Chief Executive Officer

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Wyoming )  
 ) SS.  
 COUNTY OF Teton )



The foregoing instrument was acknowledged before me by Jett Sollis this 20<sup>th</sup> day of September. WITNESS my hand and official seal.

[Signature]  
 Notary Public

My commission expires: