



TOWN OF JACKSON

PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: December 19, 2024	REQUESTS:
Item #: P24-196	The applicant is submitting a request for a Conditional Use Permit for an assembly use at the property located at 410 S Cache Street, legally known as NO. 1/2 LOTS 7,8, BLK. 1, BRUNDAGE.
Planner: Katelyn Page	PIDN: 22-41-16-34-2-30-006
Phone: 307-734-3493	For questions, please call Katelyn Page at 307-734-3493 or email to the address shown below. Thank you.
Email: kpage@jacksonwy.gov	
Owner Saddle Rides, LLC PO Box 891 Wilson, WY 83014	
Applicant Jackson Hole Jewish Community PO Box 1667 Jackson, WY 83002	
Please respond by: January 9, 2024 (with Comments)	

Owner

Saddle Rides, LLC
PO Box 891
Wilson, WY 83014

Applicant

Jackson Hole Jewish Community
PO Box 1667
Jackson, WY 83002

RESPONSE: For Departments not using SmartGov, please send responses via email to planning@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: **Jackson Hole Jewish Community CUP**

Physical Address: **410 S. Cache**

Lot, Subdivision: **NO. 1/2 Lots 7,8, Block 1, Brundage**

PIDN: **22-41-16-34-2-30-006**

PROPERTY OWNER.

Name: **Saddle Rides, LLC**

Phone: _____

Mailing Address: **PO Box 891, Wilson**

ZIP: **83014**

E-mail: _____

APPLICANT/AGENT.

Name: **Jackson Hole Jewish Community**

Phone: **307-690-4932**

Mailing Address: **Box 10667, Jackson, WY 83002**

ZIP: _____

E-mail: **info@jhjewishcommunity.org**

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit

Basic Use

Physical Development

Interpretations

Formal Interpretation

Conditional Use

Sketch Plan

Zoning Compliance Verification

Special Use

Development Plan

Amendments to the LDRs

Relief from the LDRs

Subdivision/Development Option

LDR Text Amendment

Administrative Adjustment

Subdivision Plat

Map Amendment

Variance

Boundary Adjustment (replat)

Miscellaneous

Beneficial Use Determination

Boundary Adjustment (no plat)

Other: _____

Appeal of an Admin. Decision

Development Option Plan

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #:	P24-151	Environmental Analysis #:	N/A
Original Permit #:	N/A	Date of Neighborhood Meeting:	

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

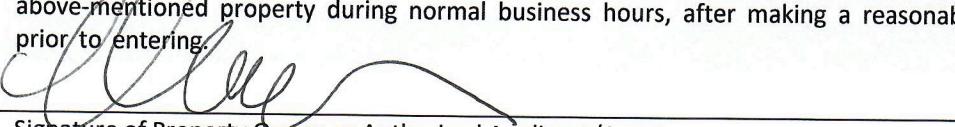
Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

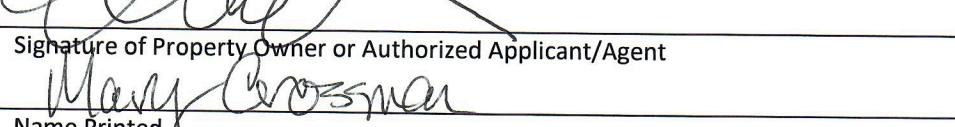
Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Property Owner or Authorized Applicant/Agent


Name Printed

12/13/24
Date
Exe. Dir
Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual: Saddle Rides, LLC / Mike Cook Title: President

Being duly sworn, deposes and says that Saddle Rides, LLC is the owner in fee of the premises located at:

Name of legal property owner as listed on deed

Address of Premises: 410 South Cache St.

Legal Description: North 1/2 of Lots 7 and 8 of Blk 1 Brundage Addition
Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Jackson Hole Jewish Community

Mailing address of Applicant/agent: PO Box 10647, Jackson, WY 83002

Email address of Applicant/agent: info@jhjewishcommunity.org

Phone Number of Applicant/agent: 307-690-4932

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

Demolition Permit Home Occupation Other (describe) Conditional Use permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

President

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF WYOMING

)

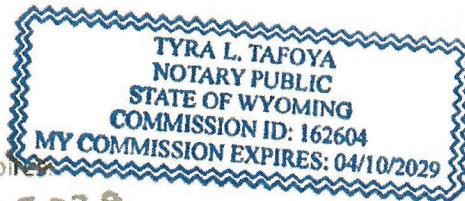
) SS.

)

COUNTY OF TETON

TYRA L. TAFOYA

The foregoing instrument was acknowledged before me by TYRA L. TAFOYA this 25 day of September 2024. WITNESS my hand and official seal.



Notary Public

My commission expires

4-10-2029

WARRANTY DEED

Michael J. Cook, a single man, GRANTOR, for and in consideration of TEN DOLLARS AND NO CENTS (\$10.00) and other good and valuable consideration, in hand paid, the receipt of which is hereby acknowledged, CONVEYS AND WARRANTS to Saddle Rides, LLC, a Wyoming limited liability company, GRANTEE, with a mailing address of P.O. Box 891, Wilson, Wyoming 83014, the following-described real property, situated in the County of Teton, State of Wyoming, hereby waiving and releasing all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

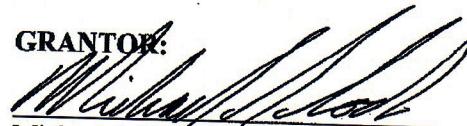
The north half of Lots 7 and 8 of Block 1 of the Wallace M. Brundage Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded December 15, 1936, as Plat No. 117A in the Teton County Clerk's Office,

PIDN: 22-41-16-34-2-30-006

Together and including all improvements thereon, and all appurtenances and hereditaments thereunto belonging. Subject to general taxes for the year of closing, local improvement districts, guaranteed revenues to utility companies, building and zoning regulations, city, county and state subdivision and zoning laws, easements, restrictive covenants, and reservations of record.

WITNESS the hand of the Grantor on the date set forth below.

GRANTOR:

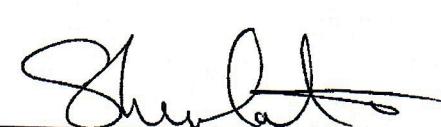

Michael J. Cook

STATE OF WYOMING)
COUNTY OF TETON) ss.
)

The foregoing Warranty Deed was acknowledged before me by Michael J. Cook this 27th day of December, 2022.

Witness my hand and official seal.




Notary Public

My commission expires: 02-10-2024

GRANTOR: COOK, MICHAEL J

GRANTEE: SADDLE RIDES LLC

Doc 1051879 Filed At 13:30 ON 12/28/22

Maureen Murphy Teton County Clerk fees: 12.00

By Corrina Dorman Deputy Clerk

CONDITIONAL USE PERMIT APPLICATION

Property: 410 S. Cache Street, Jackson, WY (PIDN: 22-41-16-34-2-30-006)

Submitted to: Town of Jackson Planning Department

Applicant: The Jackson Hole Jewish Community, a Wyoming non-profit corporation, PO Box 10667, Jackson, WY 83002

Statement of Request/Project Narrative

The Town of Jackson Land Development Regulations (LDRs) require a Conditional Use Permit (CUP) for an “Assembly” use in the Office-Residential (OR) zoning district. Applicant, the Jackson Hole Jewish Community, a Wyoming non-profit corporation (JHJC), is a Jewish religious organization seeking approval of a conditional use permit to authorize JHJC to use the property as a synagogue/Jewish community center that will serve as a welcoming space that fosters community engagement, cultural enrichment, and spiritual growth to its congregation.

The Jewish community in Teton County is a small but vibrant community that needs a dedicated venue that can accommodate religious services, educational programs, small community gatherings, and administrative offices. The proposed assembly use will serve as a space for cultural activities, minor holiday celebrations, and social events, providing a vital resource for our community. JHJC will continue to use larger venues, such as St. John’s Episcopal Church and the Old Wilson Schoolhouse for its larger events (e.g., events that draw attendance in excess of the building’s capacity as determined by the Building Department), like major holidays (e.g., Rosh Hashanah, Yom Kippur, and Passover), bar and bat mitzvahs, and large cultural events. JHJC is grateful for the longstanding and continuing support of St. John’s and Rev. Jimmy Bartz. See Exhibit A.

Applicant proposes to use the property for (1) religious gatherings such as Shabbat services, Torah study groups, minor holiday observance, and lifecycle events (e.g., baby naming ceremonies), (2) educational programs such as classes on Jewish traditions, history, and language aimed at all ages, (3) cultural events such as guest speakers and workshops that promote understanding and appreciation of Jewish culture, and (4) social services. Specifically, the Applicant seeks to use the property as a Jewish Synagogue and community space.

Applicant is proposing to make limited interior renovations to make the space suitable for its proposed use. See Exhibit B pages SD3 and SD4.

Background

Applicant had a pre-application conference with Town of Jackson Planning on October 28, 2024 (PAP# P24-151). The Applicant now seeks a Conditional Use Permit to use the property for Assembly use.

Site Description/Existing Use

The property is a .17-acre lot located on the corner of Kelly and Cache in the Town of Jackson. The property is located a block south of the Center for the Arts and Center for the Arts Park, three blocks north of Phil Baux Park at the base of Snow King, and three blocks east of the Teton County Fairgrounds.

The site is improved with a 3,140 sf building constructed in 1981, which is currently comprised of 2,448 sf of above-ground office space and 692 sf of non-habitable

unfinished basement space. The existing building and off-street parking are nonconforming. The structure has a zero-lot line setback on the south end of the property. The on-site parking backs onto both Cache and Kelly with curb cuts that are greater than 20' in width. There are no proposed changes to the building size, the proposed use is a cumulative reduction from the prior use, and the existing nonconformities are proposed to remain.

Since April 2023 the property has been used as office space by Vertical Harvest, who employed between 12 and 15 people who worked in the building on the property 5 days a week on a year-round basis.

The immediate surrounding development includes the following: First Baptist Church of Jackson, Wyoming, located across S Cache Street to the west of the property; Nelson Engineering to the south, which shares an exterior wall with the subject property; and single-family residential dwellings, which are located to the east of the property and across Kelly Avenue to the North.

Zoning

The property is zoned Office-Residential (OR) and is not within any overlay districts. The OR zone recognizes that “institutional uses serve as anchors to the local economy that provide jobs and services to the community.” The two institutional uses permitted in the OR zone are (1) assembly, and (2) day care/education.

Physical Development Standards

	LDR Standard	Existing	Proposed	Total
FAR/Max Scale of Use	0.46 / 3,406 sf	0.33 / 2,448 sf	No change	0.33 / 2,448 sf
Building Setbacks				
Primary Street (Cache)	5' – 15'	18"	No change	18'
Secondary Street (Kelly)	5' – 15'	8.6'	No change	8.6'
Side/Rear	5' / 10'	0' / 34'	No change	0' / 34'
Landscape Surface Ratio	0.20 / 1,481 sf	0.40 / 2,975 sf	No change	0.40 / 2,975 sf

Parking Setbacks				
Measured to sidewalk				
Primary Street	30'	6.6'	No change	6.6'
Secondary Street	10'	2.5'	No change	2.5'
Curb Cut Width	20'	>20'	No change	>20'
Height	30' / 2 stories	<30' / 1 story	No change	<30' / 1 story

Landscaping and Fencing

Required landscaping is calculated at 1 plant unit per 1,000 sf of landscaped area, plus 1 plant unit per 12 parking spaces. Because there are no changes proposed to the existing site development and parking, no changes are proposed to the existing landscaping. No fencing is proposed as part of this application.

Allowed Uses

Assembly is allowed as a Conditional Use in the OR Zoning district. Religious gatherings are proposed to take place in the 665 sf of assembly area. Offices, incidental to the Assembly use, will comprise 317 sf of the building. Food prep/classroom and library space, which are also incidental to the Assembly use, will comprise approximately 182 sf of the building. The remainder of the square footage is dedicated to the lobby, restrooms, and circulation. The basement will continue to function as storage. Major religious services will continue to be held in the St. John's Episcopal Church, as described in the Project Narrative.

Parking

Assembly uses require an independent calculation to determine the parking requirement.

Metrics and Assumptions

During a typical workweek, Monday through Friday, there will be two (2) part-time staff members at the location who alternate work days. On Thursdays during October - May, two additional staff members will be on-site from 3:00 to 6:30 to help lead Hebrew school ("Bet Sefer") with approximately 6-8 school-aged participants. The Teton Co. Afterschool Activity Bus drops off nearby, within walking distance. Friday evenings will see the highest regular usage, with 15 to 25 people, including attendees and staff. Other occasional events on Saturdays may occur with similar or lesser attendance as Friday Shabbat services.

Parking practices at the JHJC's existing rented location at the Centennial Building show a typical Friday evening parking demand of 3 to 6 vehicles in the summer, with about 50% biking or walking and the remaining couples and families driving together. In the winter months, there may be 5 to 7 vehicles. (Jewish tradition discourages the use of cars during the Sabbath.)

The new downtown location significantly improves the walking/biking distance for many attendees and is also close to the Town Shuttle (3 blocks from Pearl and Glenwood bus stop) and within the service area for START On Demand. All of these factors will decrease the demand for parking.

Independent Calculation

Assuming 30 people (including staff) attend Friday evening services, and 50% of attendees continue to utilize alternative transportation, and of the remaining 10 attendees, there is an average of 2.5 people per vehicle, this creates a parking demand for four (4) vehicles.

Parking Provided

Existing off-street parking on the site includes 6 total parking spaces, one of which is for disability parking, which satisfies the parking requirement as calculated above. Any occasional additional parking needs above and beyond typical usage can be accommodated on the street. In addition, JHJC is working to formalize an agreement with First Baptist Church to accommodate JHJC's permissive use of the First B parking lot across the street as an added convenience to JHJC members and guests.

Affordable Workforce Housing

Per the recently approved LDR Amendment to LDR 6.3.2.C.7, changes of use between all nonresidential uses that occur two or more years after the existing building received initial Certificate of Occupancy are exempt from the standards of Division 6.3. Therefore, this proposed change of use is not required to provide affordable workforce housing, as the building has been in existence for over 40 years with nonresidential uses.

Refuse and Recycling

Regular trash pick-up and recycling will continue to occur as currently provided on the property.

Responses to Conditional Use Permit Standards:

This application meets all conditional use permit standards set by LDR 8.4.3.C.

1. The application is compatible with the desired future character of the area:

The property is located within District 2: Town Commercial Core of the Jackson/Teton County Comprehensive Plan and more specifically Subarea 2.2: Snow King and South Cache Corridors. This transitional subarea is envisioned as a pedestrian-oriented mixed-use corridor that provides an attractive pedestrian link between Snow King Resort and Downtown. The subarea is anchored by the Center for the Arts and other public spaces, including the Center for the Arts Park, Phil Baux Park, and the Snow King base area.

The proposed use is consistent with the following common values for growth management and quality of life described in the Policy Objectives for District 2:

- *4.1.b: Emphasize a variety of housing types, including deed-restricted housing.* Not applicable, as this proposal is a nonresidential change of use.
- *4.1.d: Maintain Jackson as the economic center of the region.* The proposal will not itself generate economic development, but will create a community gathering place in Jackson, adding vitality and street life.
- *4.2.c: Create vibrant walkable mixed use Subareas.* By providing a cultural facility that includes gathering space serving the Jewish community, this proposal promotes vibrancy and diversity.
- *4.2.e: Maintain lodging as a key component in the downtown.* Not applicable, as the proposal does not include a lodging component.
- *4.4.b: Enhance Jackson gateways.* Not applicable, as the proposal is not in a gateway location.
- *4.4.d: Enhance natural features in the built environment.* Not applicable, as the property does not contain natural features; however, all existing landscaping is proposed to remain.
- *5.2.a: Provide a variety of housing options.* Not applicable, as this is an existing building that will provide an assembly use.

- *6.2.b: Support businesses located in the community because of our lifestyle.* The proposed Conditional Use is by a non-profit, and as stated in Policy 6.2.b, “non-profits that are supported by our socioeconomic character encourage reinvestment in our community and should also be supported. These sectors benefit our community’s character by providing stable employment opportunities.”
- *6.2.c: Encourage local entrepreneurial opportunities.* While the proposal itself is a non-profit cultural and religious assembly use, providing a stable, nurturing environment for the community enhances the ability for and supports entrepreneurial opportunities.
- *6.3.a: Ensure year-round economic viability.* Economic viability is supported by providing a semi-public amenity that serves the local Jewish community with religious and cultural events on a year-round basis.
- *7.1.a: Increase the capacity for walking, biking, carpooling and riding transit.* By locating in an area well-served by sidewalks, bike lanes and START bus service, this will increase alternative transportation use to and from this facility.

2. The application complies with the use-specific standards of Division 6.1:

Per the LDRs Use Standards, Division 6.1, assembly uses in the OR district require a conditional use permit.

3. The application minimizes adverse visual impacts:

The Applicant will either leave the exterior of the property in its current condition or improve its exterior condition by enhancing it with additional attractively designed landscaping and possibly adding new and more aesthetically pleasing siding to the building that is currently made of concrete.

4. The application minimizes adverse environmental impacts:

There are no protected resources on the property. By locating in the heart of town, more people will be able to walk, bike and take transit to this cultural facility.

5. The application minimizes adverse impacts from nuisances:

The Applicant is proposing a low-intensity indoor use, which will limit negative impacts on neighbors. Specifically, the Applicant generally holds small events one day a week on Friday evenings (Shabbat Services). These events are typically attended by 20 to 30 community members. The services run from 5 p.m. to 9 p.m.

Daily use of the building is very low intensity with generally 2 employees most days. The prior Vertical Harvest use had between 12 and 15 employees using the building daily.

The Applicant may add additional exterior lighting as part of its overall security plan but will adhere to all exterior lighting standards as required by LDR Section 2.2.10.B.5.

The Applicant will adhere to all LDR standards regarding trash storage and disposal.

6. The application minimizes adverse impacts on public facilities:

The proposed use will have minimal or adverse impact on public facilities. The building is currently connected to the town sewer system and the proposed use will likely be reduced from the existing use.

The applicant will continue to hire private security for its events to minimize the impact on emergency services like the Police Department.

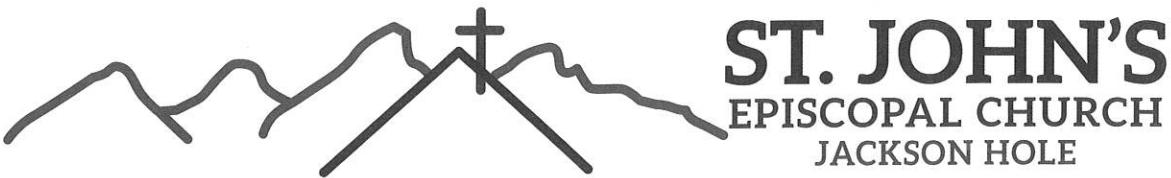
The applicant will generally not need to utilize public parking (on-street or public parking garages) as it has 6 on-site parking spaces which will be adequate for the majority of its events. On-street parking may be utilized if necessary, which would generally occur evenings and Saturdays, when most surrounding businesses are not open. Though not necessary to service its anticipated parking, JHJC is also pursuing a third-party agreement with First Baptist Church to maximize use of the existing parking lot across the street as will otherwise serve the interests of neighboring and mutually supportive religious institutions.

7. The application complies with all other relevant standards of the LDRs and all other Town Ordinances:

The property is located in the OR zoning district. As mentioned above, the OR zone recognizes that institutional uses like assembly “serve as anchors to the local economy that provide jobs and services to the community.” As demonstrated in the application materials, the application complies with all relevant standards of the LDRs and all other Town Ordinances.

8. The application is in substantial conformance with all standards or conditions of any prior applicable permits or approvals:

Not applicable. There are no prior permits or approvals relevant to this application.



November 30, 2024

Town of Jackson

Planning and Building Department

Dear Members of The Planning and Building Department,

I am writing in strong support of the Jackson Hole Jewish Community's efforts to purchase the property located at 410 South Cache Street. St. John's Episcopal Church holds dear our decades long relationship with the Jackson Hole Jewish Community and all the positive contributions their vibrant congregation brings to our Jackson Hole community. The purchase of this property and its use would allow the Jackson Hole Jewish Community to expand and deepen their work not only benefitting those who are a part of their congregation but also extending their cultural vibrancy to all who live and love our community here in Jackson. Their cultural heritage, strong congregation, and demonstrated commitment to serving the Jackson Hole community at nearly every turn makes our community a stronger, more loving place.

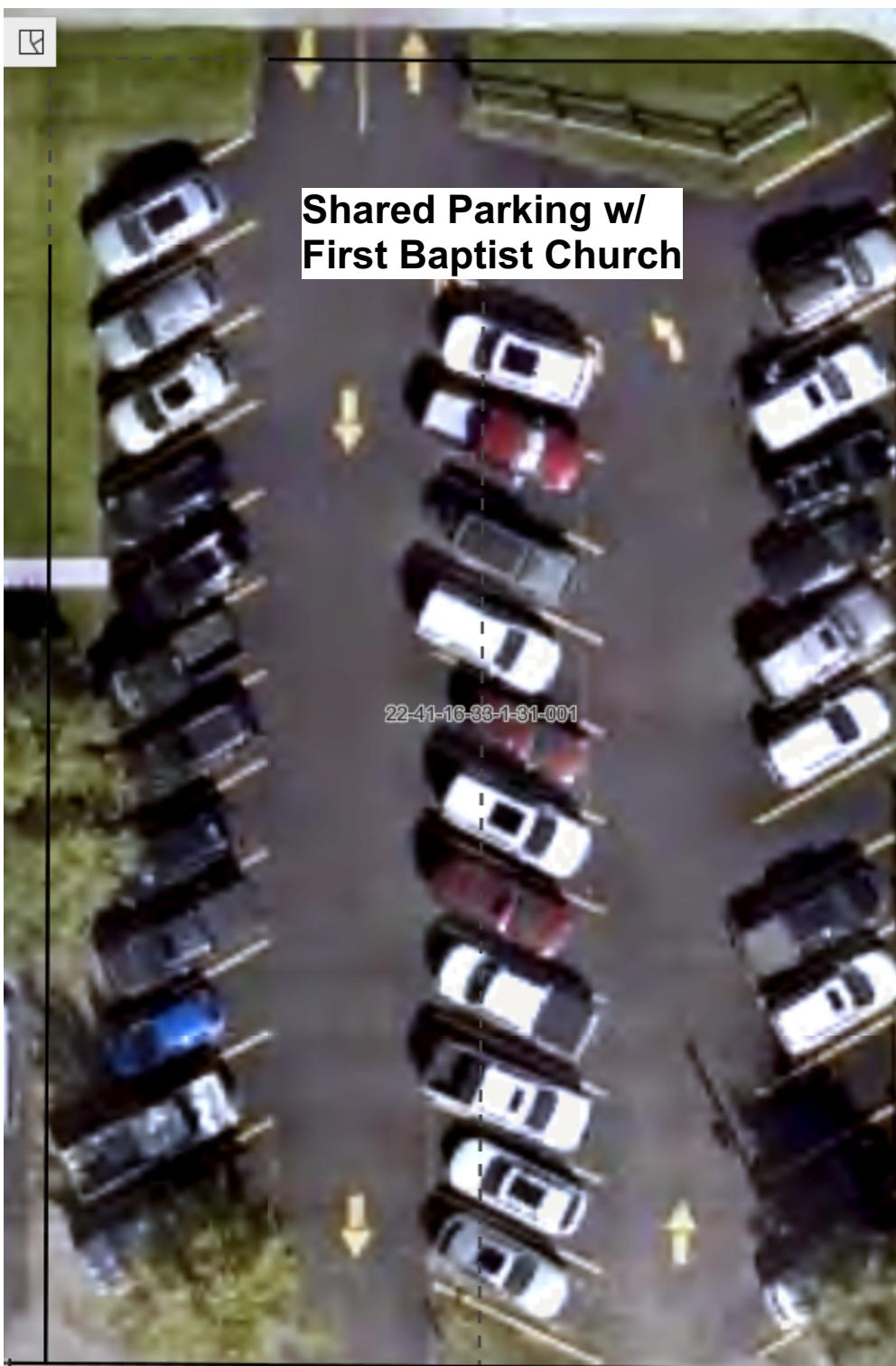
As I am aware the purchase of the property by the JHJC and its subsequent use would require a change to the existing CUP, I want to ensure town leadership that St. John's Episcopal Church is committed to maintaining and deepening our relationship with the JHJC. The Jackson Hole Jewish Community will always be welcomed to our campus for their larger celebrations like High Holy Days, Bar and Bat Mitzvah celebrations, large attendance speaking events, and Passover Seders using their new building for meetings and programs attended by smaller crowds. This is a relationship that was established decades ago and is cherished by both of our faith communities—so much so that many describe our two communities as sister congregations.

For over 50 years, the JHJC has demonstrated a deep commitment to being good neighbors and contributing to the greater good of our town. Their acquisition of the building and its change in use will strengthen our community by promoting inclusivity, interfaith dialogue, and mutual understanding. I encourage the town planning department to approve this change in use.

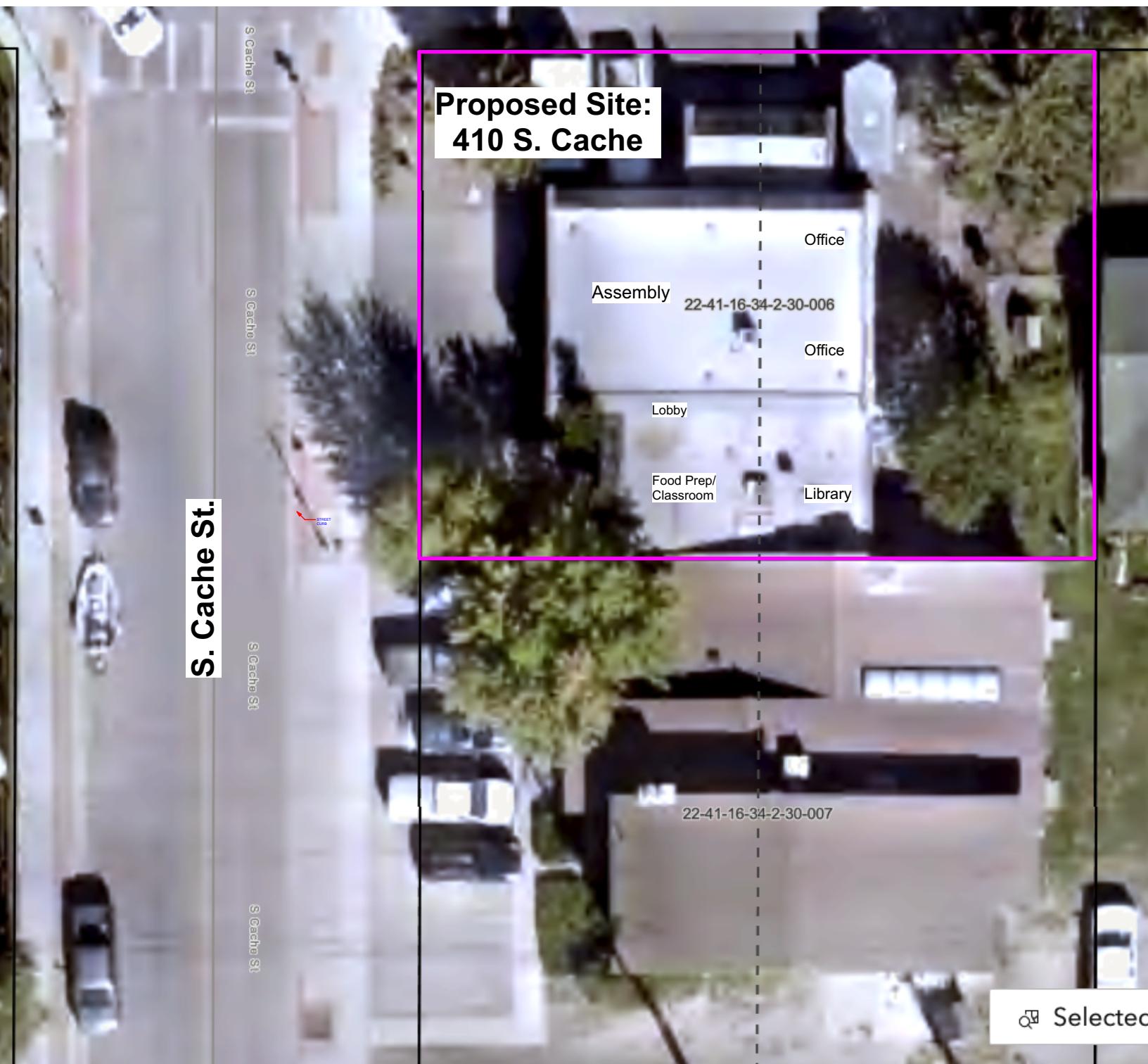
Sincerely,

The Reverend Jimmy Bartz, Rector

Kelly St.



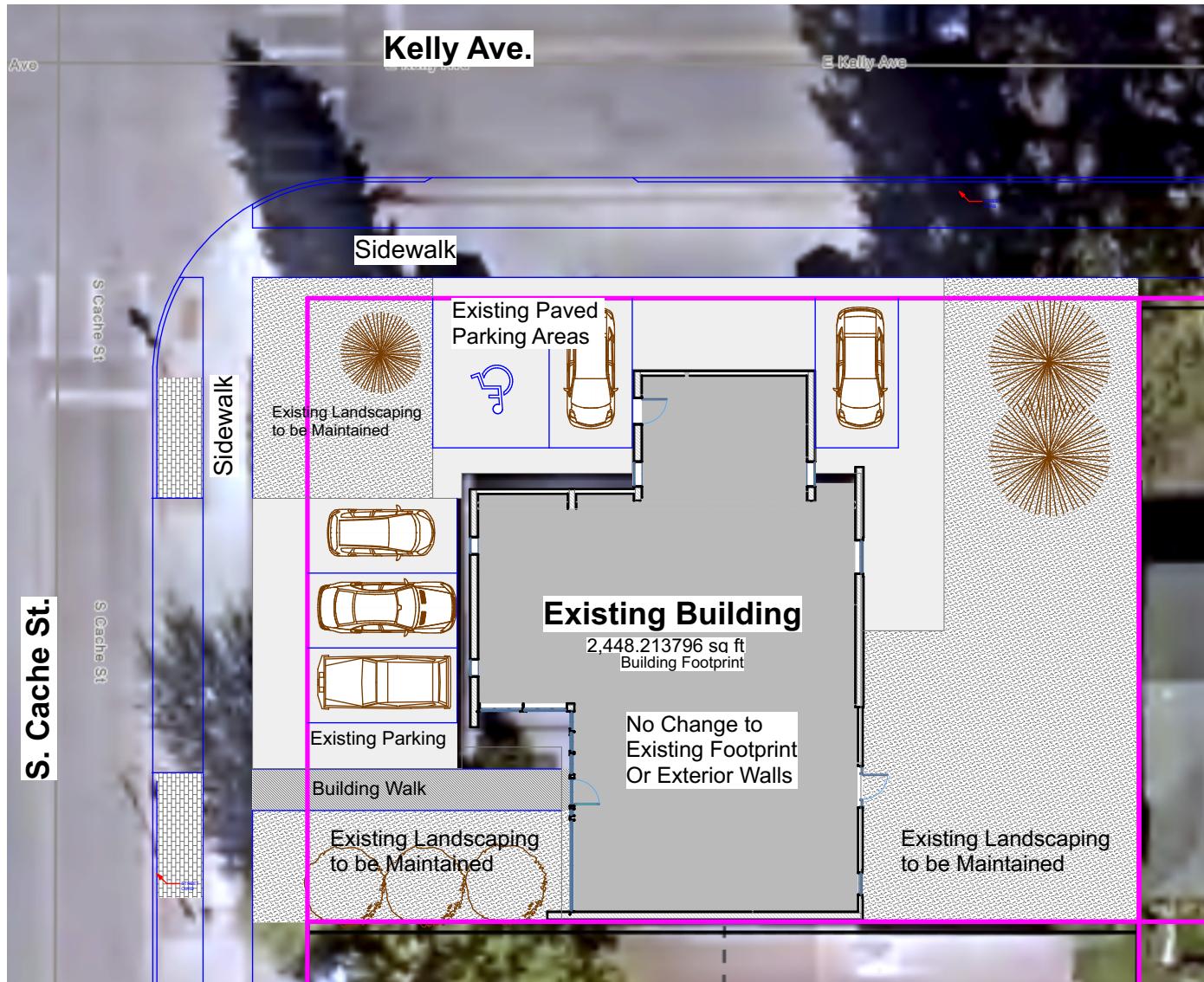
Kelly St.



PARKING PLAN

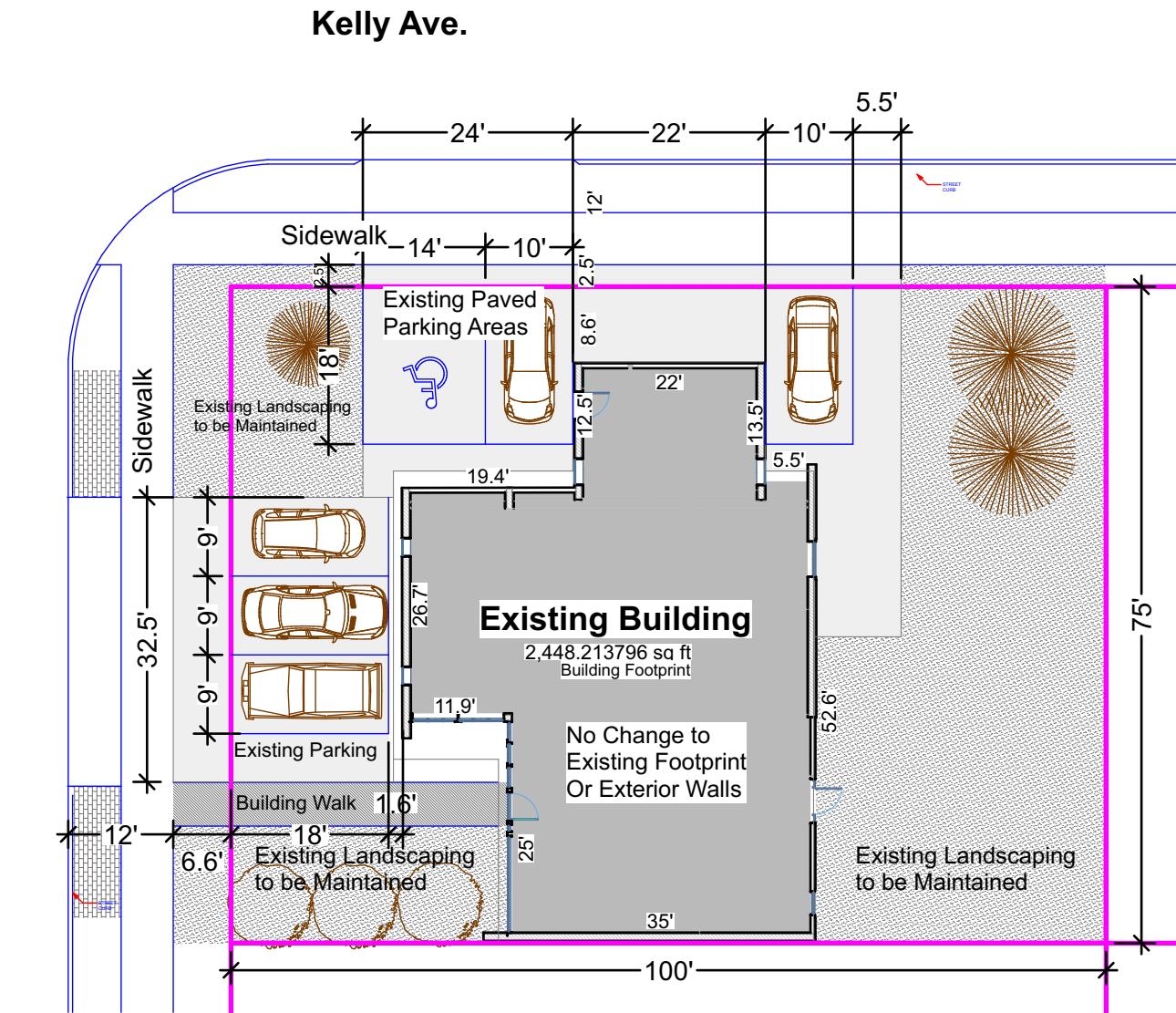
SCALE: 1" = 20'



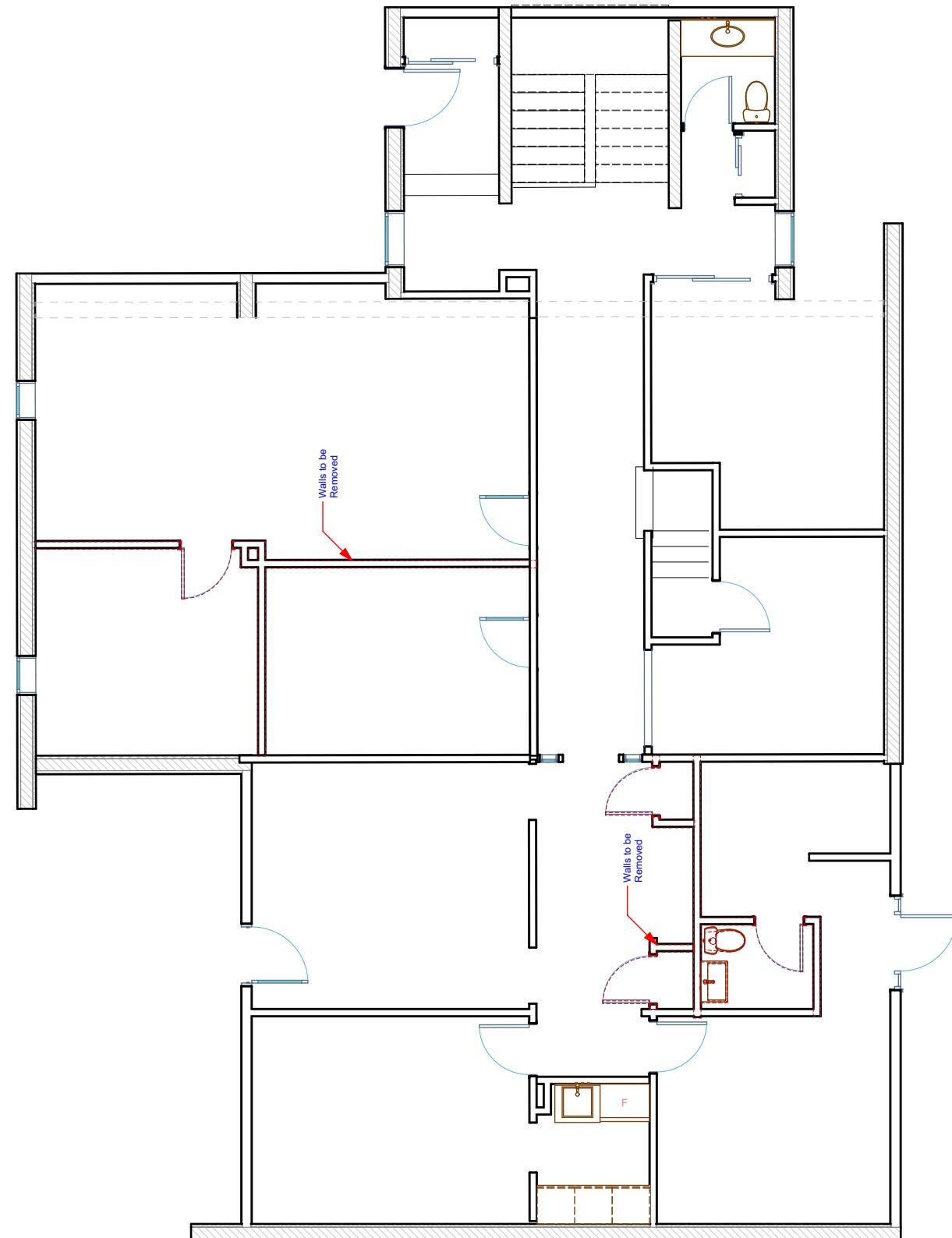


SITE PLAN WITH AERIAL

SCALE: 1" = 20'

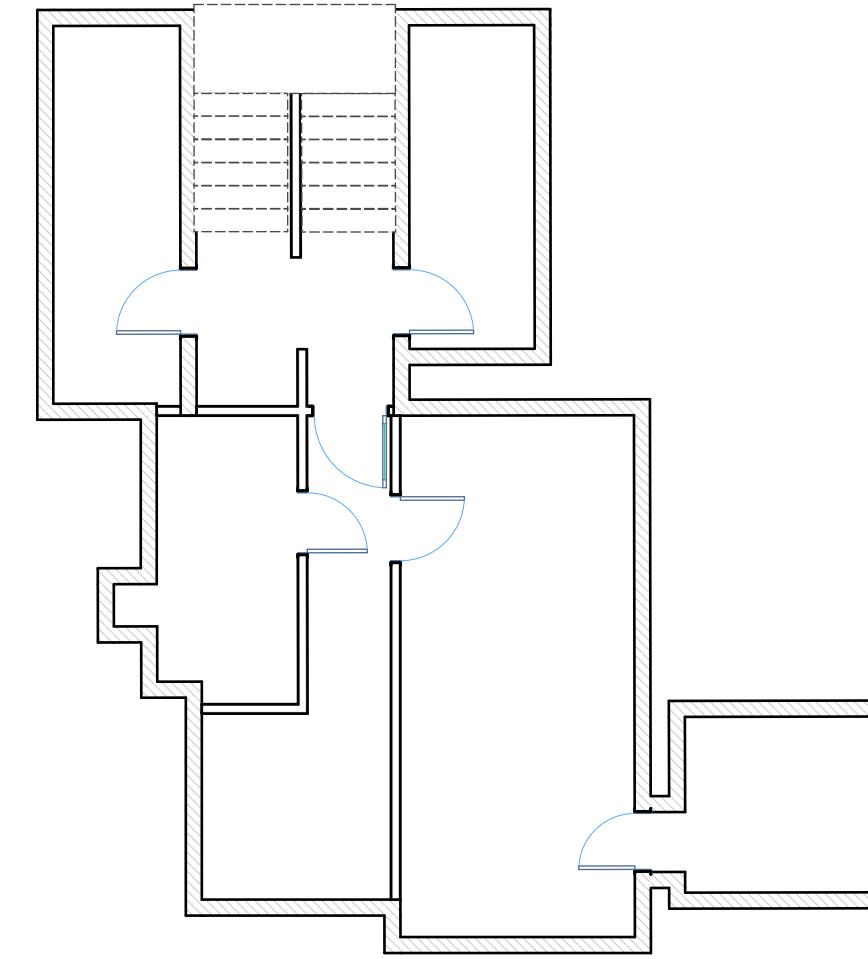


SITE PLAN
SCALE: 1" = 20'



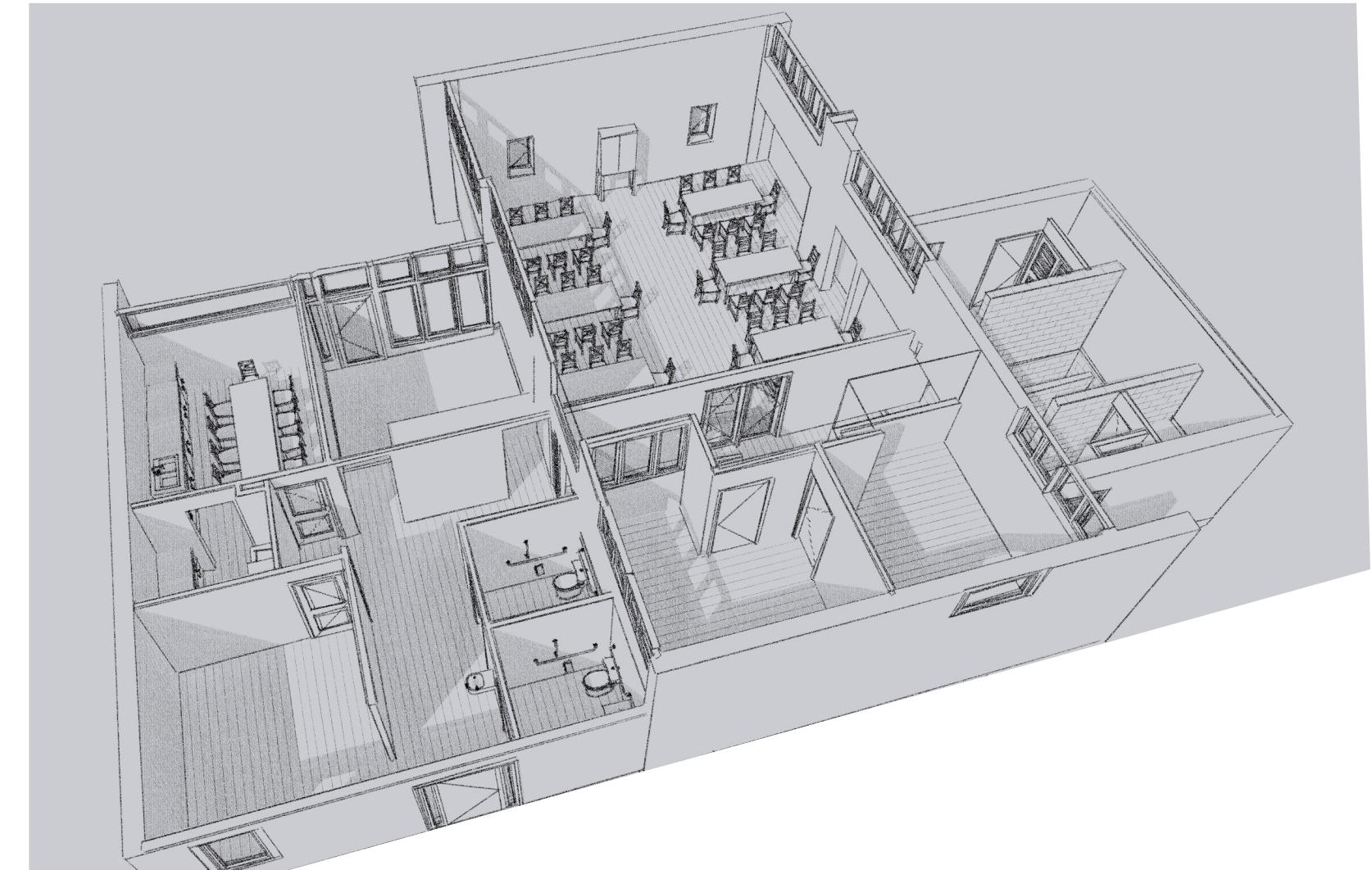
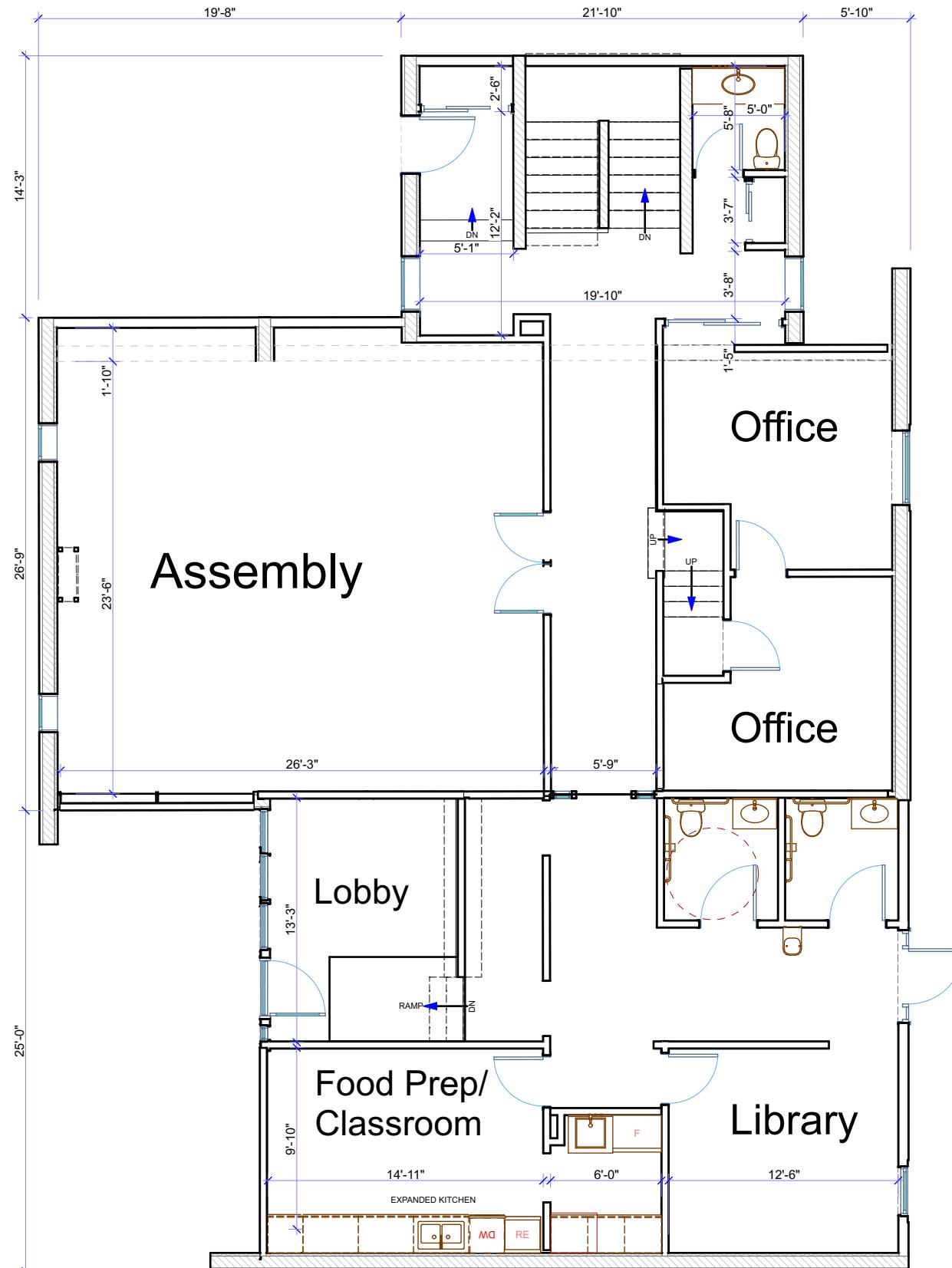
EXISTING FIRST FLOOR & DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



INTERIOR SKETCH

N

PROPOSED FIRST FLOOR PLAN W/ DIMS

SCALE: 1/8" = 1'-0"