



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☒ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: November 27, 2024</p> <p>Item #: P24-187</p> <p>Planner: Tyler Valentine</p> <p>Phone: 733-0440 ext. 1305</p> <p>Email: Tvalentine@jacksonwy.gov</p> <p>Owners: Teton County PO Box 1727 JACKSON, WY 83001</p> <p>Applicant: Jackson/Teton County Housing Dept. PO Box 714 Jackson, WY 83001</p>	<p>REQUESTS:</p> <p>The applicant is submitting a request for a Pre-Application Conference to discuss the remodel and future use of the Benson Cabin at 495 E Kelly Avenue.</p> <p>PIDN: 22-41-16-34-2-91-019</p> <p>For questions, please call Tyler Valentine at 307-733-0440 x1305, or email the address shown to the left. Thank you.</p>
<p>Please respond by: December 18, 2024 (with Comments)</p>	

RESPONSE: For Departments not using SmartGov, please send responses via email to:
planning@jacksonwy.gov



Jackson/Teton County Affordable Housing Department

Kristi Malone

Housing Supply Specialist

kristi.malone@tetoncountywy.gov

P: 307.732.8571

November 21, 2024

RE: Optional Pre-Application Conference Request for the Historic Benson Cabin at 495 E Kelly Avenue

Dear Planning Staff,

Please accept this request for an optional Pre-Application conference to discuss future use and remodeling of the historic Benson home adjacent to the Parkside Affordable Housing development and Mike Yokel Park. We are interested in exploring regulatorily compliant options for future use of this historic landmark that both celebrates its preservation and serves as a useful community resource. We look forward to meeting with you soon, would love to meet on site if possible, and would appreciate if representative staff from the Building, Engineering, and Fire/Electrical Departments also attend.

Attachments to this letter include:

1. Application Form
2. Conceptual Site Plan: As this is an optional pre-application meeting, we do not yet have a proposed site plan that includes site-wide improvements. The attached site plan overlays a plan from the 2022 Building Permit for cabin relocation (black lines) with the 2024 plat (blue lines) for purposes of orienting discussion.
3. Narrative Project Description
4. Letter of Authorization
5. Other Pertinent information:
 - a. 2022 Building Permit plan set
 - b. Historic Documentation

Thank you,

Kristi Malone

Kristi Malone



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

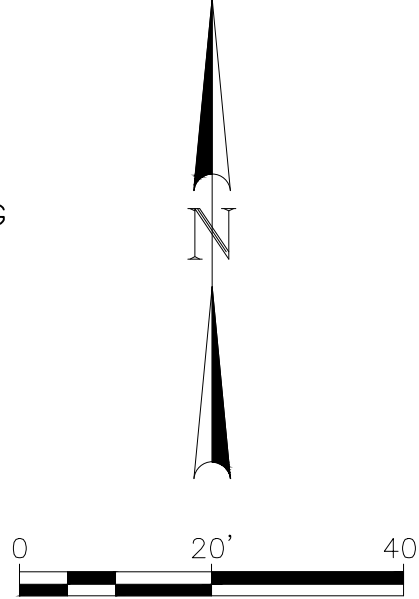
Kristi Malone

Signature of Owner or Authorized Applicant/Agent







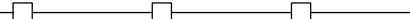









Date

Name Printed

Title



1. ENSURE VAULT AND TRANSFORMER HAVE CAPACITY FOR SECOND PHASE OF PROJECT WHICH INCLUDES SIX THREE-UNIT TOWNHOMES. TRANSFORMER WILL LIKELY SERVE THREE TOWNHOMES.
2. NO WATER OR SEWER SERVICE IS BEING PROVIDED TO THE RELOCATED CABIN.

<h1>LEGEND</h1>	
(E) - EXISTING	(P) - PROPOSED
	PROPERTY BOUNDARY
	EASEMENT
	(P) STRUCTURE
	(E) EDGE OF ASPHALT
	(E) EDGE OF GRAVEL
	(E) FENCE
	(P) SILT FENCE
	(E) CURB FLOW LINE
	(E) EDGE OF CONCRETE
	(E) WATER MAIN
	(E) SEWER MAIN
	(E) STORM DRAIN
	(E) OVERHEAD ELECTRICAL LINE
	(P) UNDERGROUND ELECTRICAL LINE
	(E) CONCRETE
	(E) ASPHALT



Narrative Project Description

Existing property conditions (buildings, uses, natural resources, etc):

The historic cabin was constructed in 1920 and served as the hydropower production site of Jackson's first commercially available electricity. When the site was purchased by Teton County for Affordable housing development in partnership with Habitat for Humanity, the community invested in relocating the cabin to a more visually prominent location on the site, removing additions made to the home in the 1960s and 1970s, and making some structural repairs. The building currently resides on a designated area of Lot 100 distinguished from the surrounding common area for the new Parkside townhomes. Current use of the cabin is limited to storage/shed and is not permitted for occupancy. No electricity, water or sewer infrastructure serves the cabin currently but interior floor plan components from prior residential use remain. Permits for previous work include:

- Administrative Adjustment to Setbacks (P21-327): reduced street setback from 20' to 15' and east side setback from 10' to 5' since the cabin is a registered historic resource
- Demo Permit (B21-0905) to remove cabin from location
- Building Permit (B22-0081) for relocation on-site to new foundation and basic structural improvements

Character and magnitude of proposed physical development or use:

The physical location of the cabin is not proposed to change. Site improvements for consideration include the addition of landscaping, parking as required, and electrical, water and sewer connections. The extent of remodeling to the interior of the cabin is dependent on defining a future use. As a registered historic resource, the cabin may use applicable incentives for historic preservation listed in LDR Sec. 5.9.6. Per this section, "residential unit(s) that is a Registered Historic Resource structure, or that is contained within such a structure, shall not count as a dwelling unit for the purpose of maximum density limitations." Uses allowed in the NL-5 zone under consideration are detached dwelling unit or assembly. Acknowledging that Daycare is not currently an allowed primary use in the NL-5 zone, we still would like to better understand any significant differences in Building Code that would be required for a Daycare compared to other typical non-residential uses.



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: March 15, 2022

LETTER OF AUTHORIZATION **NAMING APPLICANT AS OWNER'S AGENT**

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual : Teton County, a duly organized county of the State of Wyoming

Being duly sworn, deposes and says that Teton County is the owner in fee of the premises located at:
Name of property owner as listed on deed

Address of Premises: 445 E Kelly Avenue

Legal Description: PT SE1/4NW1/4, SEC. 34, TWP. 41, RNG. 116.

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Jackson/Teton County Affordable Housing Department

Mailing address of Applicant/agent: PO Box 714 Jackson, WY 83001

Email address of Applicant/agent: kristi.malone@tetoncountywy.gov, ahnorton@tetoncountywy.gov

Phone Number of Applicant/agent: 307-732-0867

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☒ Development/Subdivision Plat Permit Application ☒ Building Permit Application
☒ Public Right of Way Permit ☒ Grading and Erosion Control Permit ☐ Business License Application
☒ Demolition Permit ☒ Other (describe) Pre-application meetings, Admin Adjustments, Zoning Compliance Verification

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Natalia D Macker

Property Owner Signature

Natalia D. Macker, Chair, Teton County Board of Commissioners

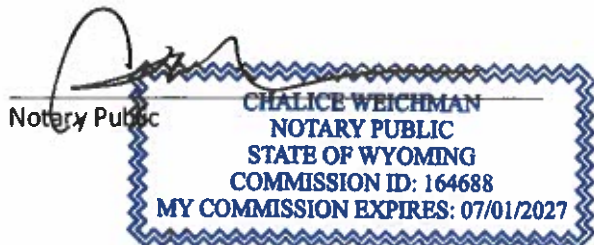
Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner), partnership or other non-individual Owner

ATTEST: Manner Muplex

STATE OF WYOMING)
) SS.
COUNTY OF TETON)



The foregoing instrument was acknowledged before me by NATALIA D. MACKER this 15th day of MARCH, 2022. WITNESS my hand and official seal.



My commission expires: 7-1-2027

GENERAL NOTES

1. THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED BUILDING PERMITS AND AGENCY APPROVALS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EXECUTING WORK IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODES AND ALL OTHER AGENCY REGULATIONS.
3. THE CONTRACTOR MUST INSPECT THE SITE BEFORE BEGINNING WORK AND IDENTIFY CONFLICTS OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
4. THE GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE DIMENSIONS AND CONDITIONS.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, MATERIALS SCHEDULES, ETC. WITHIN THE SCOPE OF THE PROJECT, AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
6. THE GENERAL CONTRACTOR MUST NOTIFY THE DESIGNER IMMEDIATELY OF CONDITIONS, WHICH REQUIRE DEVIATION FROM CONSTRUCTING THE WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
7. DO NOT SCALE DRAWINGS IN ORDER TO DETERMINE DIMENSIONS. WRITTEN DIMENSIONS GOVERN, AND LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DRAWINGS. WALLS AND PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE MEASURED FROM FACE OF STUD AS INDICATED. ALL COLUMNS ARE MEASURED FROM CENTERLINE. CONTRACTOR TO BE AWARE OF ALL N.T.S. (NOT TO SCALE) DIMENSIONS.
9. THE PRESENCE OF THE DESIGNER ON THE JOB SITE DOES NOT IMPLY APPROVAL OF THE WORK. THE GENERAL CONTRACTOR MUST CALL SPECIFIC ITEMS TO THE DESIGNER IF HE WISHES TO OBTAIN DESIGNER'S APPROVAL.
10. THE GENERAL CONTRACTOR MUST SUBMIT ALL PROPOSED SUBSTITUTIONS IN WRITING TO THE DESIGNER FOR APPROVAL WITH SUFFICIENT INFORMATION, SAMPLES, AND DIFFERENCE IN COST FOR EVALUATION. IF A REVISION OR SUBSTITUTION IS MADE TO IN ANY WAY ALTER THE WORK SO THAT IT DOES NOT CONFORM WITH THE CONTRACT DOCUMENTS WITHOUT THE DESIGNER'S WRITTEN APPROVAL, SUCH ACTION WILL RELIEVE THE DESIGNER OF ANY LIABILITY FOR THE RESULTING AESTHETIC EFFECT, SUBSEQUENT FAILURE, PROPERTY DAMAGE OR PERSONAL INJURY.
11. THE GENERAL CONTRACTOR MUST PERFORM HIGH QUALITY PROFESSIONAL WORK. THE WORK OF EACH TRADE MUST MEET OR EXCEED ALL QUALITY STANDARDS PUBLISHED BY THAT TRADE.
12. THE GENERAL CONTRACTOR MUST ARRANGE TO ACCOMMODATE "NOTE IN CONTRACT" WORK AND MUST REQUEST INSTRUCTIONS FROM THE DESIGNER BEFORE PROCEEDING.
13. THE GENERAL CONTRACTOR MUST TAKE CARE TO PROTECT NEWLY INSTALLED MATERIALS, FINISHES AND ASSEMBLIES.
14. THE GENERAL CONTRACTOR MUST HALT THE WORK AFFECTED WHEN NOTIFIED OF A PROPOSED CHANGE AND PROCEED ONLY AFTER RECEIVING INSTRUCTIONS FROM THE DESIGNER.
15. THE GENERAL CONTRACTOR MUST SUBMIT A DETAILED PROJECT SCHEDULE AT THE BEGINNING OF THE PROJECT. ANY SIGNIFICANT CHANGES WHICH WOULD ALTER THAT INITIAL SCHEDULE MUST BE DOCUMENTED IN A REVISED SCHEDULE.
16. THE GENERAL CONTRACTOR MUST PROVIDE ADEQUATE AND PROPER DRY STORAGE AND HANDLING OF ALL BUILDING MATERIALS, SUPPLIES, AND FINISHES IN ACCORDANCE WITH PRODUCT MANUFACTURERS RECOMMENDATIONS.
17. THE GENERAL CONTRACTOR MUST DETERMINE THAT ALL EQUIPMENT SPECIFIED WILL FIT THROUGH EXISTING DOORWAYS AND CORRIDORS BEFORE EQUIPMENT IS PURCHASED OR SCHEDULE THE INSTALLATION SEQUENCE TO AVOID CONFLICTS.
18. THE GENERAL CONTRACTOR MUST COMPLY WITH THE RULES OF THE SUBDIVISION AND THE COUNTY AND THE DIRECTIONS OF THE OWNERS FOR CONSTRUCTION FACILITIES, USE OF PREMISES, ACCESS TO THE PROJECT SITE, AND TRASH REMOVAL.
19. ALL MECHANICAL, ELECTRICAL, AND CIVIL ENGINEERING SERVICES AND SYSTEMS WILL BE SPECIFIED AND INSTALLED BY THE RESPECTIVE TRADES. ALL SYSTEMS SHALL BE DESIGNED WITH THE RESPECTIVE CODES.
20. EACH TRADE IS RESPONSIBLE FOR INSPECTION OF SERVICES AND TO ADVISE THE GENERAL CONTRACTOR, DESIGNER, AND OWNER AS TO CURRENT CONDITION, POSSIBLE PROBLEMS AND POTENTIAL SOLUTIONS WITH RESPECT TO THEIR TRADES.
21. THE CONTRACTOR SHALL VERIFY WITH THE DESIGNER THE SELECTION, FABRICATION, FINISH, AND INSTALLATION OF ALL INTERIOR FINISH ITEMS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
- ALL INTERIOR TRIMMING AND STAIR TRIM
- ALL INTERIOR CABINETS AND MILLWORK, INCLUDING COUNTERTOPS
- ALL PLUMBING FIXTURES AND FITTINGS
- ALL LIGHTING FIXTURES

TOWN OF JACKSON
APPROVED FOR BUILDING CONSTRUCTION. ANY DEVIATIONS FROM
APPROVED PLANS
ARE SUBJECT TO PRIOR APPROVAL. APPROVAL OF THESE PLANS DOES NOT
RELIEVE
THE DESIGN PROFESSIONAL, GENERAL CONTRACTOR, OR
SUBCONTRACTORS OF
RESPONSIBILITY FOR COMPLIANCE WITH STATE AND LOCAL
CONSTRUCTION LAWS.
AN APPROVED SET OF THESE PLANS IS TO BE AVAILABLE ON THE JOB SITE
FOR USE
BY INSPECTORS. IF SUCH PLANS ARE NOT AVAILABLE ON SITE, ANY
INSPECTION MAY
BE CANCELLED AND A REINSPECTION CHARGE LEVIED PRIOR TO THE
INSPECTION
BEING PERFORMED.
PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS

VICINITY MAP



1 SITE PLAN
SCALE: NTS

RADON MITIGATION PER TOWN OF JACKSON

GENERAL:
ALL BUILDINGS USED FOR THE HOUSING OF PERSONS SHALL BE PROVIDED WITH BASIC RADON MITIGATORS. THESE MITIGATORS ARE BASIC IN NATURE AND MAY REQUIRE SUPPLEMENTAL EQUIPMENT SHOULD HIGH LEVELS OF RADON BE FOUND IN THE STRUCTURE.

CRAWL SPACE MITIGATORS:
IN RESIDENTIAL STRUCTURES BUILT ABOVE A CRAWL SPACE, THE FOLLOWING MEASURES ARE REQUIRED:

1. SEALING OF CRAWL SPACE WALLS, ALL PORTIONS OF CRAWL SPACE WALLS BELOW GRADE SHALL BE SEALED WITH DAMPPROOFING OR WATERPROOFING.

2. ALL PENETRATIONS TO BE SEALED. ALL SEWER, WATER, POWER, OR OTHER BELOW GRADE PENETRATIONS OF THE CRAWL SPACE SHALL BE THOROUGHLY CALKED. ADDITIONALLY, ALL PENETRATIONS BETWEEN THE CRAWL SPACE AND THE LIVING SPACE SHALL BE CALKED. ACCESS INTO THE CRAWL SPACE SHALL BE FITTED WITH A WEATHER-STOP THAT WILL PROVIDE A POSITIVE SEAL.

3. VENTILATION OF CRAWL SPACE. IN ADDITION TO THE VENTILATION REQUIRED BY OTHER SECTIONS OF THIS CODE, ONE FOUR (4) INCH DIAMETER SCHEDULE 20 PVC PIPE SHALL BE INSTALLED FROM THE CRAWL SPACE THROUGH THE ROOF. THIS PIPE SHALL NOT SERVE ANY OTHER USE AND SHALL BE CONTINUOUS FOR ITS ENTIRE LENGTH. OFFSETS FROM THE VERTICAL SHALL BE MINIMIZED. THE PIPE SHALL BE LABELED WHERE NOT CONCEALED WITHIN CONSTRUCTION WITH THE WORDS "RADON VENT." THE PIPE SHALL BE PLACED SO THAT THE PART OF THE PIPE IMMEDIATELY BENEATH THE ROOF AND OUTSIDE THE LIVING AREA IS ACCESSIBLE IN SUFFICIENT QUANTITY THAT A FAN MAY BE INSTALLED. THE FAN SHOULD BE RATED AT 90 TO 150 CFM TO NO STATIC PRESSURE. THE FAN POWER SHALL BE PLACED IN THE IMMEDIATE VICINITY OF THE PIPE. A RAIN CAP SHALL BE PROVIDED AT THE UPPER TERMINATION OF THE PIPE TO PREVENT THE ENTRY FOR WATER INTO THE SYSTEM.

BASEMENT MITIGATORS:
IN RESIDENTIAL STRUCTURES BUILT ABOVE BASEMENTS, EITHER HABITABLE OR NON-HABITABLE, THE FOLLOWING MEASURES ARE REQUIRED:

1. SEALING OF BASEMENT WALLS. ALL PORTIONS OF BASEMENT WALLS TO A POINT ABOVE SHALL BE THOROUGHLY SEALED WITH AN APPROVED WATERPROOFING.

2. ALL PENETRATIONS TO BE SEALED. ALL PENETRATIONS IN WALLS ARE TO BE THOROUGHLY CALKED. IN ADDITION, ALL CRACKS IN FLOOR SLABS, JOINTS WHERE THE FLOOR MEETS THE FOUNDATION WALLS AND PENETRATION THROUGH THE BASEMENT FLOOR ARE TO BE SIMILARLY SEALED.

3. UNDER SLAB VENTILATION. A RADON COLLECTION SYSTEM CONSISTING OF FOUR (4) INCH PERFORATED PIPE SHALL BE PLACED WITH HOLES DOWN AND BEDDING IN FOUR (4) INCHES OF WASHED GRAVEL OF PEA SIZE OR LARGER WITHOUT FINES. THE PIPING SHALL BE CONNECTED TO A SOLID VERTICAL PIPE THAT WILL PASS THROUGH THE ROOF AS DESCRIBED IN CRAWL SPACE MITIGATORS #3. A BARRIER OF POLYETHYLENE SHEETING SHALL BE PLACED OVER THE SYSTEM AND GRAVEL. ALL LAPS OF SHEATHING SHALL BE AT LEAST ONE FOOT. THE SHEETING SHALL BE SEALED AROUND PENETRATIONS AND TO FOUNDATION WALLS. A COVER OF FOUR (4) INCHES OF SAND OR CRUSHED GRAVEL SHALL THEN BE PLACED OVER THE SHEETING TO RECEIVE THE SLAB.

4. ALTERNATIVE DESIGN FOR UNDER SLAB VENTILATION. THE SYSTEM REQUIRED ABOVE MAY BE REDUCED TO THE PLASTIC SHEETING AND SAND WHEN A VENTILATION SYSTEM DESIGNED TO PROVIDE POSITIVE PRESSURE IN THE BASEMENT AREA IS PROVIDED AND APPROVED BY THE BUILDING OFFICIAL. (IF A WOOD STOVE IS PLACED IN THE BASEMENT, THIS ALTERNATIVE DESIGN MAY NOT BE USED.)

ZONING
INFORMATION

ZONING: NL-S (ZONING TEXT AMENDMENT P21-025)
STREET SETBACKS 25' 15' per admin adj P21-327
REAR SETBACK 10'
LEFT SIDE SETBACK 10'
RIGHT SIDE SETBACK 5' (HISTORICAL DESIGNATION ALLOWS FOR REDUCED DISTANCE)
HEIGHT OF STRUCTURE: EXISTING BUILDING FROM FINISH FLOOR TO TOP OF ROOF 15'-2 1/4" + NEW GRADE TO FINISH FLOOR 1'-7 1/2" = 16'-9 3/4"
TYPE: V-B
OCCUPANCY CLASSIFICATION: ~~BUSINESS CLUBHOUSE OCCUPANCY TO BE DETERMINED AS A LATER DATE~~ UTILITY - shed
SPRINKLERED: NO
STORIES ABOVE GROUND PLANE: 1
2018 ~~11~~ (see attached 1/17/22 letter from G&S Structural Engineers on adherence to 2021 IBC)
GROUND SNOW LOAD: 110 POUNDS PER SQUARE FOOT

IMPERVIOUS SURFACES
INFORMATION

SQUARE FOOTAGE OF EXISTING ROOFED AREA: 852 SQ. FT. (EXISTING BUILDING TO BE MOVED TO NEW LOCATION)
SQUARE FOOTAGE OF PROPOSED ROOFED AREAS, INCLUDING COVERED PORCHES: 852 SQ. FT. (EXISTING BUILDING TO BE MOVED TO NEW LOCATION - SAME AS EXISTING ROOFED AREA - ONLY COUNTED ONCE)
PAVED, CONCRETE, OR UNPAVED DRIVEWAYS AND PARKING AREAS: 5,180 SQ. FT.
OTHER IMPERVIOUS SURFACES SUCH AS SOLID TERRACES AND PAVED SIDEWALKS: 0 SQ. FT.
TOTAL: 4,032 SQ. FT.

GROSS SITE AREA: 47,044.8 SQ. FT.

NET SITE AREA: 47,044.8 SQ. FT.

LANDSCAPING PROVIDED ON SITE IS 0 SQ. FT. FOR THIS PHASE OF THE PROJECT

HISTORIC DESIGNATION

PER ITEM P21-289, THE BENSON HOME AND ASSOCIATED TURBINE EQUIPMENT, LOCATED AT 445 E. KELLY AVENUE HAS BEEN DESIGNATED TO THE JACKSON HISTORIC REGISTER PER SEC. 8.5.7 IN THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS (LDRE'S). THIS APPROVAL IS BASED ON THE HISTORICAL SURVEY AND OTHER INFORMATION PROVIDED IN THE APPLICANT'S SUBMITTAL (ON FILE), AS WELL AS THE RECOMMENDATION OF APPROVAL FROM THE TETON COUNTY HISTORIC PRESERVATION BOARD, PROVIDED AT ITS BOARD MEETING ON 14 DECEMBER 2021, WITH THE FOLLOWING CONDITIONS:

1. THE DESIGNATION INCLUDES BOTH THE ORIGINAL LOG BUILDING AND THE TURBINES.

2. BOTH THE ORIGINAL LOG BUILDING AND THE TURBINES OF THE BENSON RESIDENCE SHALL BE REHABILITATED IN THEIR NEW LOCATION ON-SITE IN ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION.

THE REFERENCED PROPERTY IS NOW ELIGIBLE FOR AND SUBJECT TO THE PROVISION IN THE TOWN'S HISTORIC PRESERVATION PROGRAM, INCLUDING: DIV 5.9 (PRESERVATION OF HISTORIC PROPERTIES); SEC. 5.8.1.9 (HISTORIC PRESERVATION DESIGN GUIDELINES); SEC. 8.5.8 (CERTIFICATE OF APPROPRIATENESS - EXTERIOR ALTERATIONS); AND SEC. 8.5.9 (CERTIFICATE OF APPROPRIATENESS - REPOSITIONING AND RELOCATION); IN LDRE'S.

SQUARE FOOTAGE INFORMATION

FLOOR AREA FOR BUILDINGS	HABITABLE	HABITABLE BASEMENT	UNHABITABLE	UNHABITABLE BASEMENT	TOTAL
(E) MAIN HOUSE	1,457 SQ. FT.	767 SQ. FT.			2,227 SQ. FT.
PROPOSED CHANGES	- 608 SQ. FT.	- 767 SQ. FT.			-1,375 SQ. FT.
(N) MAIN HOUSE	849 SQ. FT.				849 SQ. FT.

DRAWING INDEX

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C2.1	DEMOLITION PLAN
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C4.1	GRADING & UTILITY PLAN
C5.1	CACHE CREEK PLAN & PROFILE
C5.2	CACHE CREEK PLAN & PROFILE
C6.1	CACHE CREEK CROSS SECTIONS
C6.2	CACHE CREEK CROSS SECTIONS
C7.1	DETAILS
C7.2	DETAILS
A1.1	EXISTING PLAN
A1.2	DEMOLITION PLAN
S1.1	STRUCTURAL NOTES
S1.2	FOUNDATION PLAN
S1.3	ROOF REINFORCEMENT
A2.1	PROPOSED PLAN

KINSEY, LLC.

P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS

DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

PROJECT NUMBER: BROWN RESIDENCE
445 EAST KELLY AVENUE
JACKSON, WY

OWNER: Teton County
PO Box 1727
Jackson, WY 83001

REVISIONS

MOVE/BUILDING PERMIT

SHEET NAME

COVER PAGE

SCALE

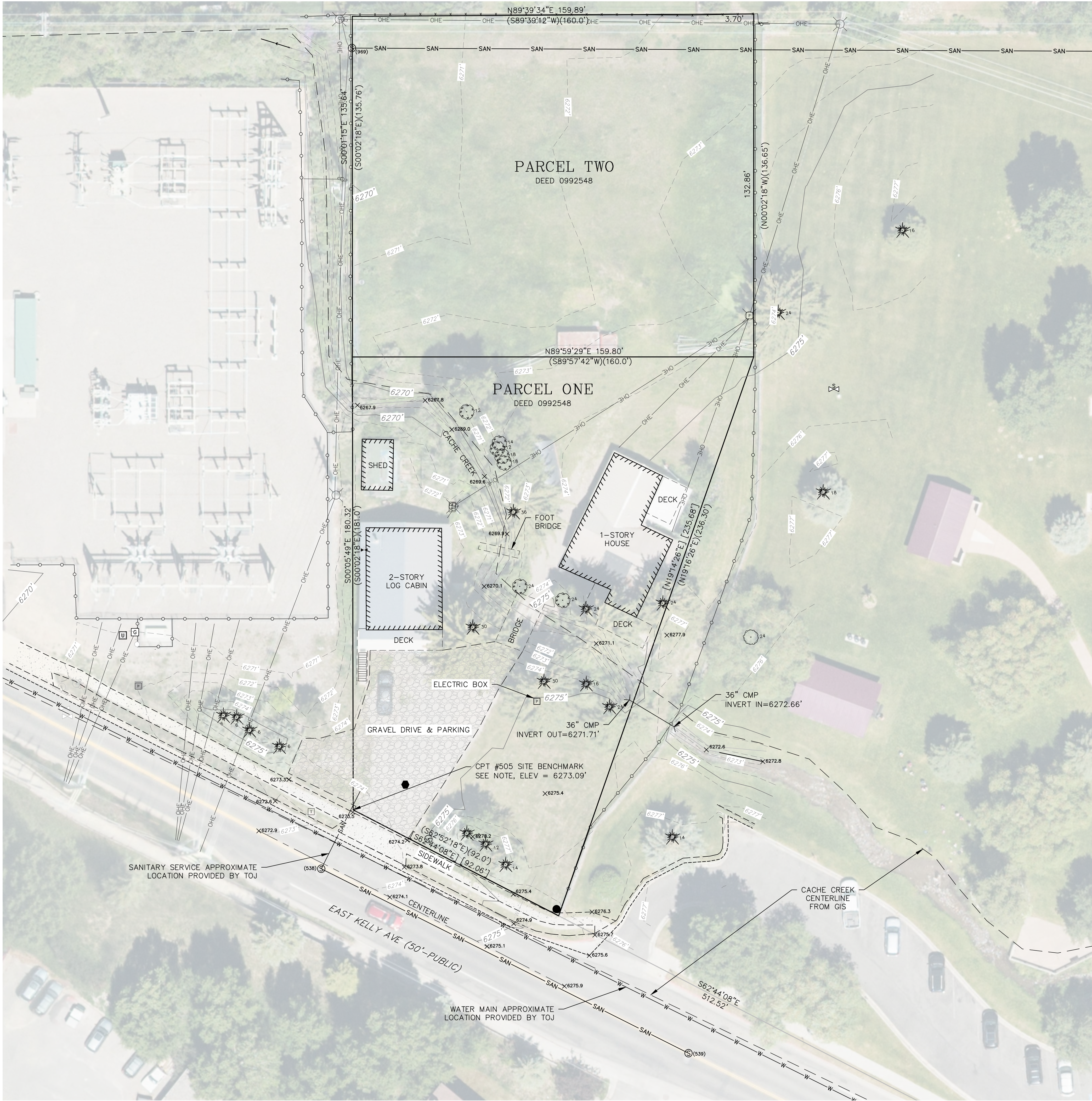
VARIES

DATE

28 DECEMBER 2021

SHEET

A0.1



LEGEND	
(E) - EXISTING	(P) - PROPOSED
	(E) MAJOR CONTOUR
	(E) MINOR CONTOUR
	PROPERTY BOUNDARY
	(E) BUILDING
	(E) CHAINLINK FENCE
	(E) WOOD FENCE
	(E) DITCH FLOWLINE
	(E) EDGE OF CONCRETE
	(E) EDGE OF GRAVEL
	(E) EDGE OF PAVEMENT
	(E) TOP BACK CURB
	(E) ROAD CENTERLINE
	(E) SANITARY MAIN
	(E) WATER MAIN LOCATION FROM TOJ
	(E) OVERHEAD ELECTRIC

SURVEY NOTES

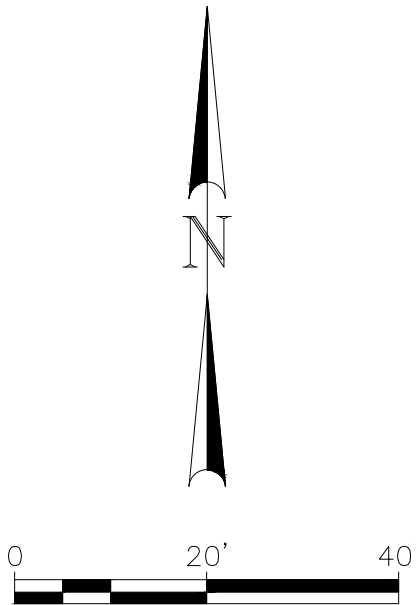
TOPO SURVEY BY:
JORGENSEN
1315 HWY 89 S SUITE #201
JACKSON, WY 83002
(307) 733-5150

JORGENSEN NOTES:

1. THIS SURVEY WAS CONDUCTED IN OCTOBER 2020 AND PREPARED UNDER THE DIRECTION OF MATTHEW GOTHAM, WYOMING PLS 13002, AND DOES NOT INCLUDE AN ENGINEERING REVIEW.
2. LOCATIONS OF UTILITIES DEPICTED HEREON ARE LIMITED TO VISIBLE STRUCTURES; UNDERGROUND LOCATIONS WERE NOT MARKED DURING THIS SURVEY AND MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. ONLY MONUMENTS PERTINENT TO SUBJECT PROPERTIES (PARCELS ONE AND TWO, DEED 0992548) ARE DEPICTED.
4. ELEVATIONS WERE DERIVED USING GPS OBSERVATION METHODS AND REFERENCE NAVD29. SITE BENCHMARK ELEVATION IS 6273.09' AT THE SOUTHWEST PROPERTY CORNER.
5. RECORD DIMENSIONS SHOWN ARE FROM SAID DEED 0992548.
6. BASIS OF BEARING FOR THIS SURVEY IS A LOCALIZED GRID SYSTEM BASED ON JORGENSEN ASSOCIATES GPS NETWORK.

SANITARY SEWER MANHOLE
DETAILS FROM SURVEY

(538)		Rim Elevation=6273.46' Invert In Elevation=6262.66' Invert Out Elevation=6262.56' 8" PVC
(539)		Rim Elevation=6276.87' Invert (E) In Elevation=6269.87' Invert (S) In Elevation=6269.97' Invert Out Elevation=6269.77' 8" PVC
(968)		Rim Elevation=6277.22' Invert (E) In Elevation=6260.52' Invert Out Elevation=6260.47' 8" PVC
(969)		Rim Elevation=6270.10' Invert In Elevation=6258.10' Invert Out Elevation=6258.00' 8" PVC



BROWN PROPERTY AFFORDABLE HOUSING DEV

TETON COUNTY
445 EAST KELLY AVENUE
JACKSON, WYOMING 83001

EXISTING
CONDITIONS

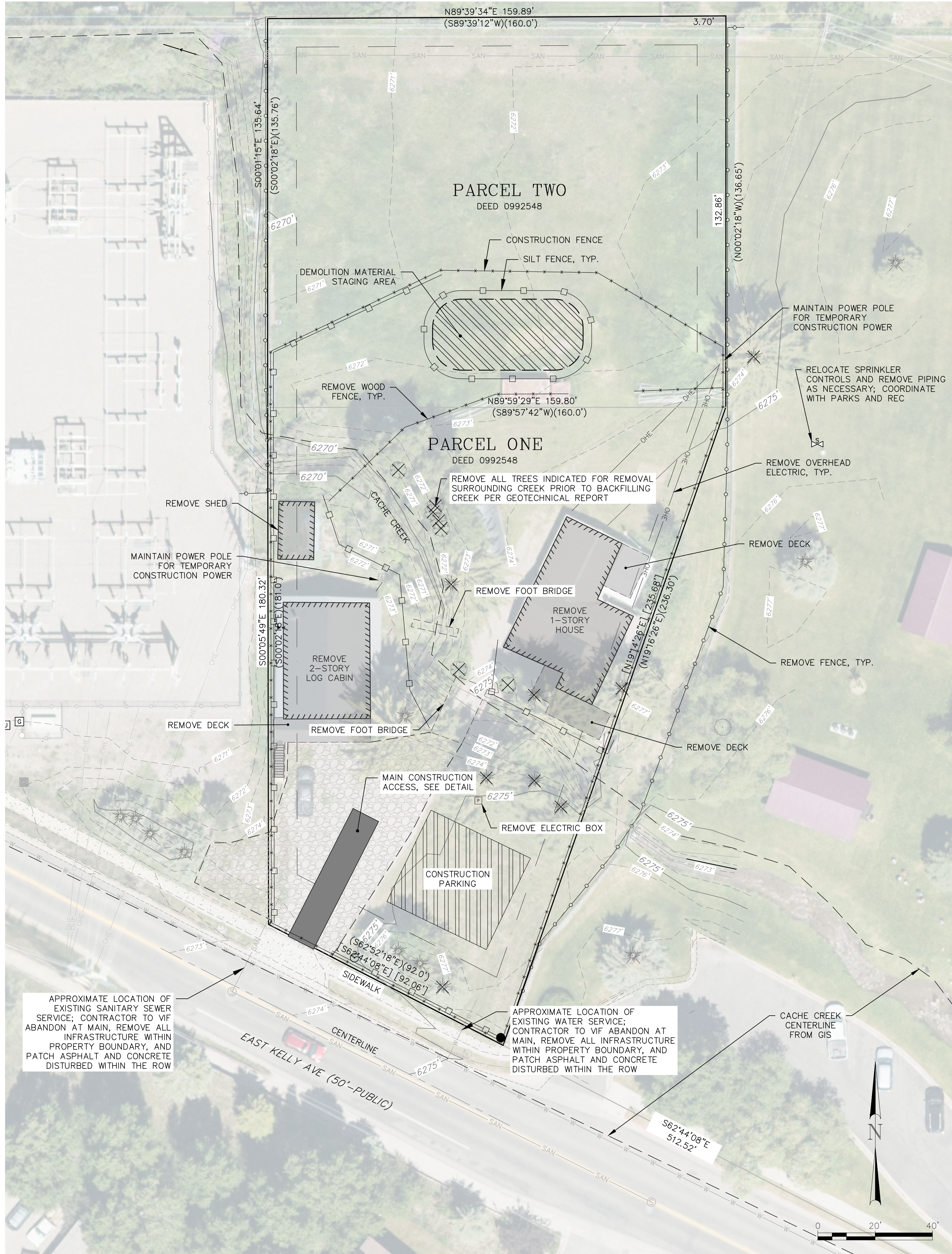
C1.1

DRAWING SET TITLE	GEC PERMIT
DATE	12/28/21
DRAWN BY: TK	
CHECKED BY: KC	
JOB #:	20263

CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES



LAST SAVED: 12/28/2021 10:42 AM BY: TYLERK PLOT BY: KATIE CREASEY
F:\2020\20263_445-East-Kelly\DWG\CAD\20263_DEMO.P.dwg



NOTES:

- FOUNDATIONS SHALL BE REMOVED AND BACKFILLED. GRADES SHALL BE FLUSH WITH EXISTING GRADE WITHOUT SLOPES STEEPER THAN 2:1.
- BACKFILL MATERIAL SHOULD BE APPROVED BY GEOTECH ENGINEER; FUTURE BUILDINGS AND DRIVING SURFACES WILL BE BUILT WITHIN BACKFILL AREA.

REQUIREMENTS FOR DEMOLITION PERMIT

- A DISCONNECT LETTER FROM LOWER VALLEY ENERGY AND/OR OTHER UTILITY SUPPLIERS STATING REMOVAL OF GAS METER(S), AND DISCONNECT OF ELECTRIC SERVICE, PHONE SERVICE AND CABLE SERVICE AS REQUIRED.
- FOR COMMERCIAL PROJECTS OR RESIDENTIAL PROJECTS IN HIGH DENSITY DEVELOPMENTS, A PLAN FOR SECURING THE SITE AND PEDESTRIAN PROTECTION MAY BE REQUIRED. NOTIFICATION OF ADJACENT LANDOWNERS AND/OR RESIDENTS BY THE PARTY DEMOLISHING THE BUILDING MAY BE REQUIRED.
- A LETTER FROM AN INDIVIDUAL QUALIFIED TO ASSESS THE PRESENCE OF POTENTIALLY TOXIC MATERIALS IN THE STRUCTURE BEING DEMOLISHED (I.E. LEAD BASED PAINTS, INSECTICIDES, OIL BASED PAINTS, ETC.), THEIR REMOVAL AND SITE OF DISPOSAL MAY BE REQUIRED.
- TEMPORARY SANITARY FACILITIES SHALL BE PROVIDED FOR WORKMAN ON SITE.
- AN APPROVED FIRE EXTINGUISHER SHALL BE AVAILABLE AT TIMES DURING DEMOLITION. PRIOR TO SHIPMENT TO A FINAL DISPOSAL AREA, ALL DEBRIS SHALL BE SORTED. FAILURE TO SORT DEBRIS WILL RESULT IN HIGHER DISPOSAL COST TO THE CONTRACTOR AND OWNER. NO ON-SITE BURNING OR BURYING OF DEBRIS IS PERMITTED.
- RECYCLABLE ITEMS AND CERTAIN HAZARDOUS WASTE PRODUCTS MAY BE DISPOSED OF AT THE JACKSON COMMUNITY RECYCLING CENTER. CONTACT THE RECYCLING CENTER TO DETERMINE WHAT HAZARDOUS PRODUCTS ARE ACCEPTED AND WHEN.
- FINISHED MATERIALS IN GOOD REPAIR, SUCH AS TOILETS, SHOWER AND TUB VALVES, KITCHEN SINKS, HARDWARE AND DOORS MAY BE DONATED TO THE HABITAT FOR HUMANITY RESALE OUTLET, RESTORE. CONTACT THE STORE ABOUT OTHER ITEMS THEY MAY NEED.
- OTHER MATERIALS, SUCH AS DRYWALL, INSULATION, TREATED LUMBER, PLUMBING WASTE AND VENT MATERIALS, ETC., SHOULD GO TO THE COUNTY LANDFILL TO BE TRANSFERRED TO A DISPOSAL FACILITY.
- PRIOR TO TRANSPORTING DEMOLITION WASTE TO THE TRASH TRANSFER STATION, CALL THE TETON COUNTY INTEGRATED SOLID WASTE AND RECYCLING (ISWR) 48 HOURS IN ADVANCE TO REQUEST A DROP-OFF. ISWR MAY REQUIRE A RECEIPT OF ASBESTOS ABATEMENT PAPERWORK FROM CONTRACTORS DELIVERING LARGE VOLUMES OF DEMOLITION WASTE. PLEASE CALL THE SCALE HOUSE, 733-7172, 48 HOURS IN ADVANCE TO SCHEDULE A DROP-OFF FOR ALL LOADS.

LEGEND

(E) - EXISTING (P) - PROPOSED

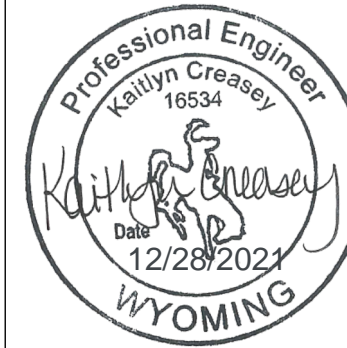
- | | |
|--|-------------------------------|
| | (E) MAJOR CONTOUR |
| | (E) MINOR CONTOUR |
| | PROPERTY BOUNDARY |
| | (E) BUILDING |
| | (E) CHAINLINK FENCE |
| | (E) CONSTRUCTION FENCE |
| | (E) DITCH FLOWLINE |
| | (E) EDGE OF CONCRETE |
| | (E) EDGE OF GRAVEL |
| | (E) EDGE OF PAVEMENT |
| | (E) TOP BACK CURB |
| | (E) ROAD CENTERLINE |
| | (E) SANITARY MAIN |
| | (E) OVERHEAD ELECTRIC |
| | AREA OF DEMOLITION |
| | (P) SILT FENCING |
| | (P) CONSTRUCTION STAGING AREA |
| | TREE TO BE REMOVED |
| | TREE TO REMAIN |

BROWN PROPERTY AFFORDABLE HOUSING DEV

TETON COUNTY
445 EAST KELLY AVENUE
JACKSON, WYOMING 83001

DEMOLITION PLAN

C2.1

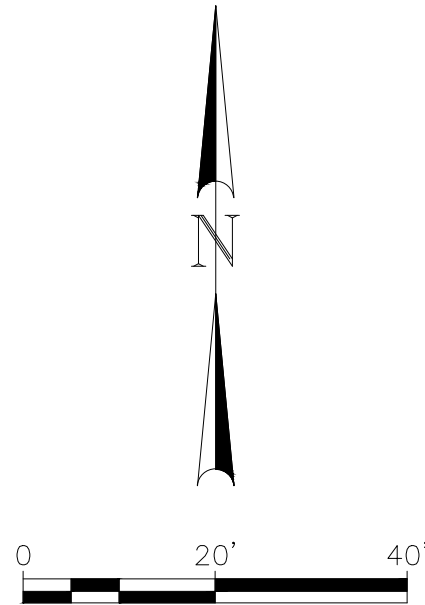
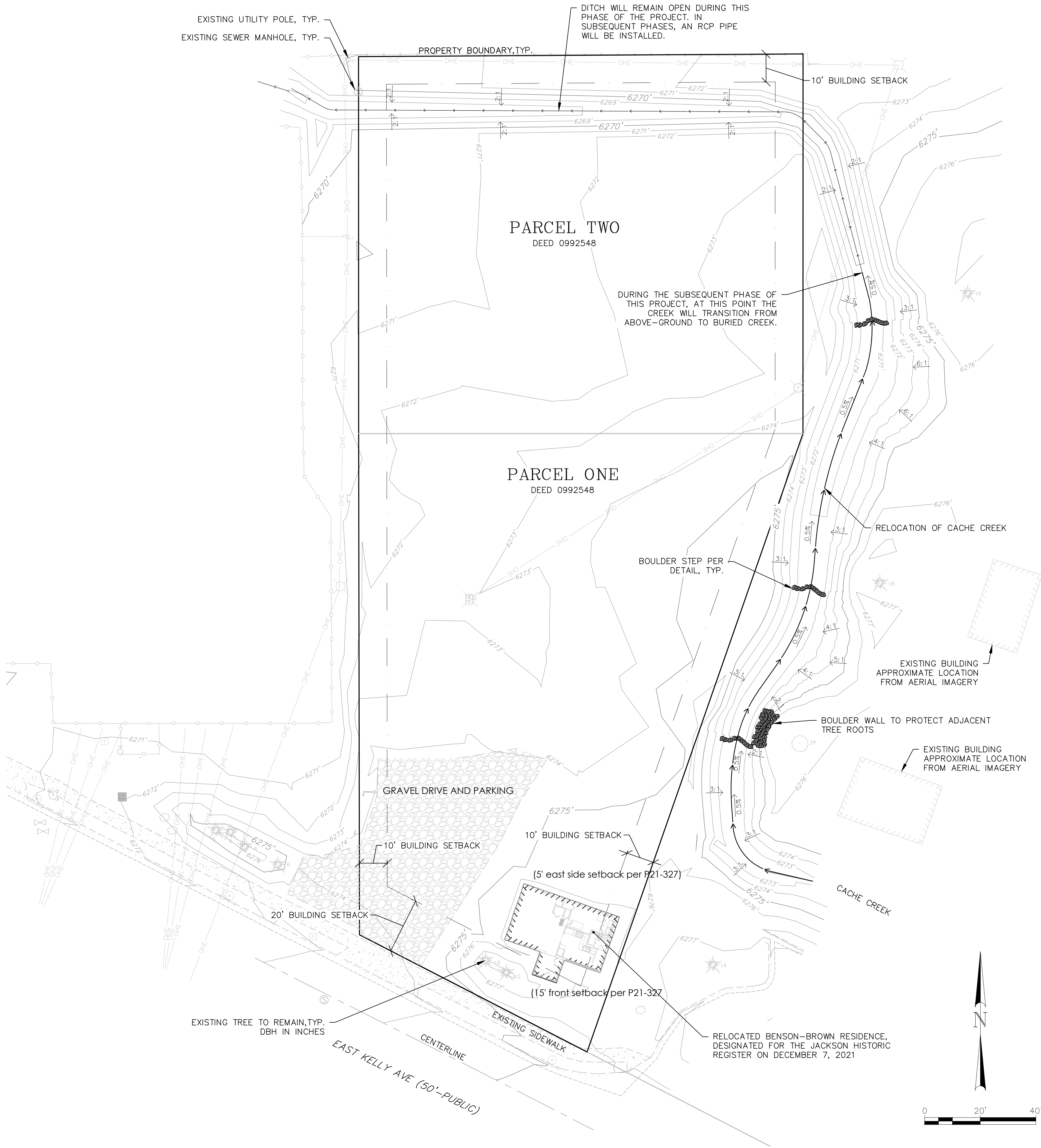


CONSULTANTS

ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES

Y2consultants.com
307.733.2989

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DATE	12/28/21
DRAWN BY	TK
CHECKED BY	KC
JOB #	20263



LEGEND	
(E) - EXISTING	(P) - PROPOSED
	(P) MAJOR CONTOUR
	(P) MINOR CONTOUR
	PROPERTY BOUNDARY
	SETBACK
	(P) CREEK ALIGNMENT
	RELOCATED STRUCTURE
	(E) EDGE OF ASPHALT
	(E) FENCE
	(E) CURB FLOW LINE
	(E) EDGE OF CONCRETE
	(E) CONCRETE
	(E) ASPHALT

BROWN PROPERTY AFFORDABLE HOUSING DEV

TETON COUNTY
445 EAST KELLY AVENUE
JACKSON, WYOMING 83001

FINISHED
CONDITIONS

C3.1



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NATURAL RESOURCE SERVICES

DRAWING SET TITLE
GEC PERMIT

DATE
12/28/21

DRAWN BY: TK
CHECKED BY: KC
JOB #: 20263


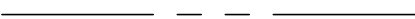
















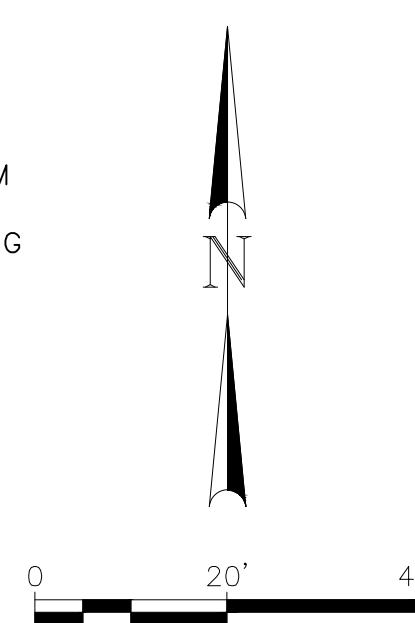
OTHER NOTES

1. ENSURE VAULT AND TRANSFORMER HAVE CAPACITY FOR SECOND PHASE OF PROJECT WHICH INCLUDES SIX THREE-UNIT TOWNHOMES. TRANSFORMER WILL LIKELY SERVE THREE TOWNHOMES.
2. NO WATER OR SEWER SERVICE IS BEING PROVIDED TO THE RELOCATED CABIN.

- OTHER NOTES**
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(E) - EXISTING (P) - PROPOSED

	PROPERTY BOUNDARY
	EASEMENT
	(P) STRUCTURE
	(E) EDGE OF ASPHALT
	(E) EDGE OF GRAVEL
	(E) FENCE
	(P) SILT FENCE
	(E) CURB FLOW LINE
	(E) EDGE OF CONCRETE
	(E) WATER MAIN
	(E) SEWER MAIN
	(E) STORM DRAIN
	(E) OVERHEAD ELECTRICAL LINE
	(P) UNDERGROUND ELECTRICAL LINE
	(E) CONCRETE
	(E) ASPHALT



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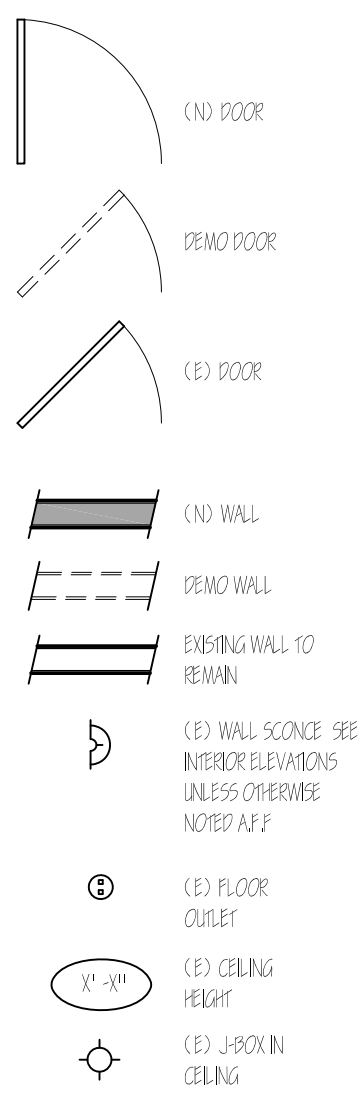
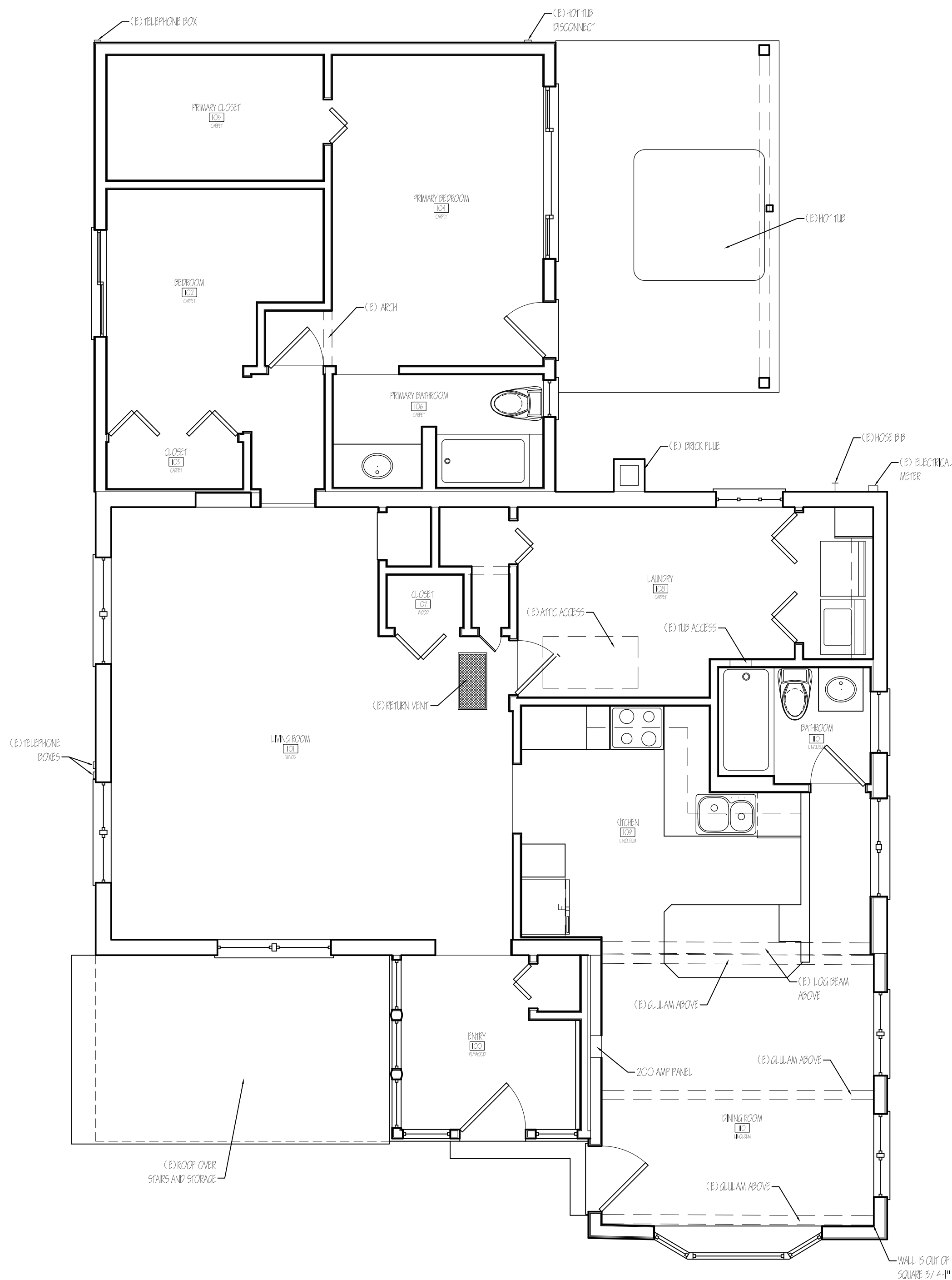
CONSULTANTS

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LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES

GRADING & UTILITY
PLAN

C4.1

C4.1



TOWN OF JACKSON
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ARE SUBJECT TO PRIOR APPROVAL. APPROVAL OF THESE PLANS DOES NOT RELIEVE
THE DESIGN PROFESSIONAL, GENERAL CONTRACTOR, OR SUBCONTRACTORS OF
RESPONSIBILITY FOR COMPLIANCE WITH STATE AND LOCAL CONSTRUCTION LAWS.
AN APPROVED SET OF THESE PLANS IS TO BE AVAILABLE ON THE JOB SITE FOR USE
BY INSPECTORS. IF SUCH PLANS ARE NOT AVAILABLE ON SITE, ANY INSPECTION MAY
BE CANCELLED AND A REINSPECTION CHARGE LEVIED PRIOR TO THE INSPECTION
BEING PERFORMED.
PERMIT NO. B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS

PLAN NOTES

1. ALL MEASUREMENTS OFF OF LOG WALLS ARE TAKEN AS AN AVERAGE. LOGS VARY FROM 7" TO 9" IN DIAMETER. THE LOGS ARE HAND-HEWN THEREFORE THE SURFACE IS NOT CONSISTENT.
2. LOG BEAM VARY FROM 8" TO 9" IN DIAMETER AND HAVE A NATURAL TAPER FROM ONE END TO THE OTHER END.
3. THE ASSUMPTION OF 5/8" DRYWALL ON THE WALLS
4. NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.
5. PLANS ARE ONLY REPRESENTATIVE OF THE EXISTING BUILDING NOT TO BE USED FOR MEASUREMENTS - ALL DIMENSIONS NEED TO BE FIELD VERIFIED

ALL DIMENSIONS MUST BE FIELD VERIFIED

1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



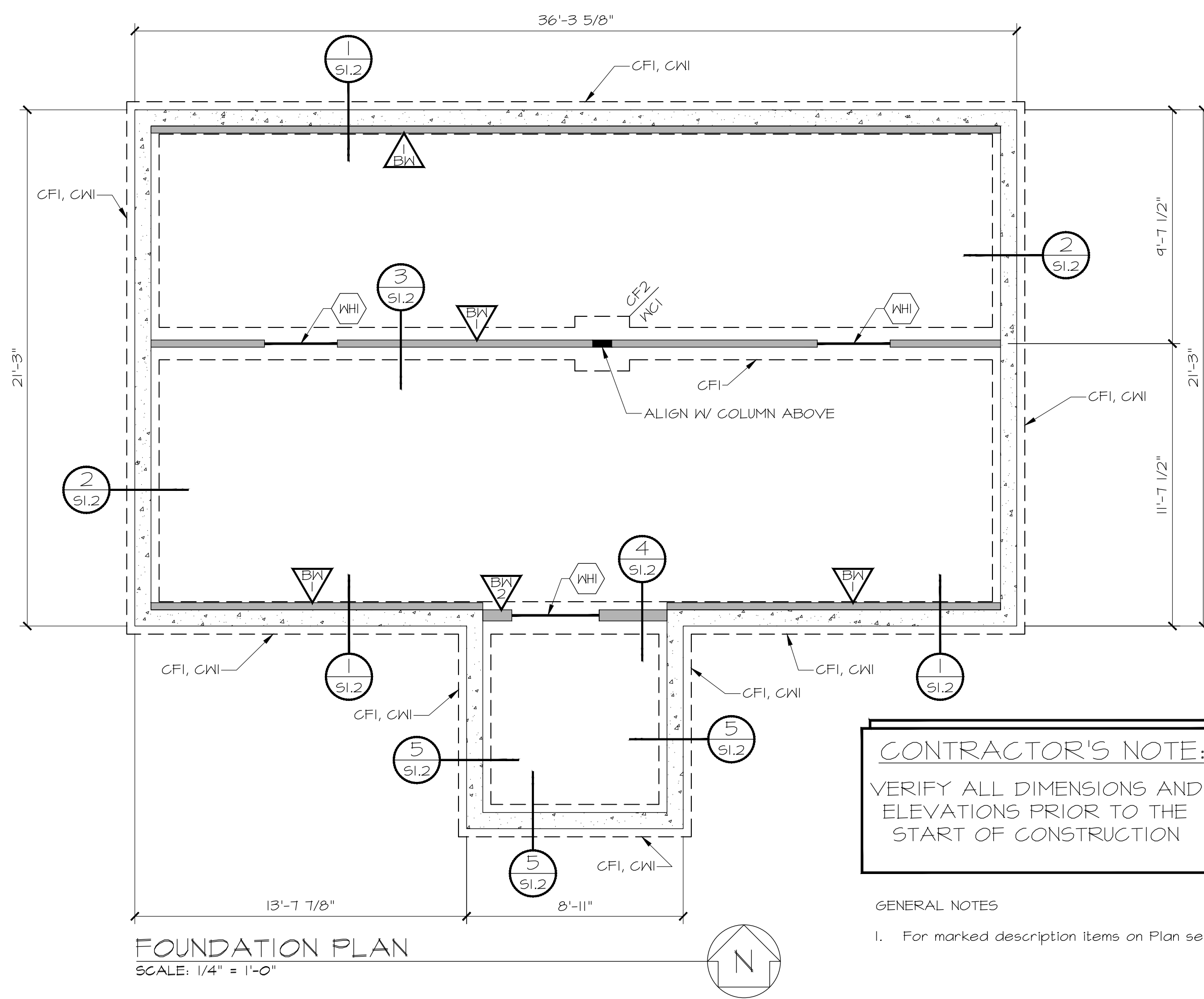
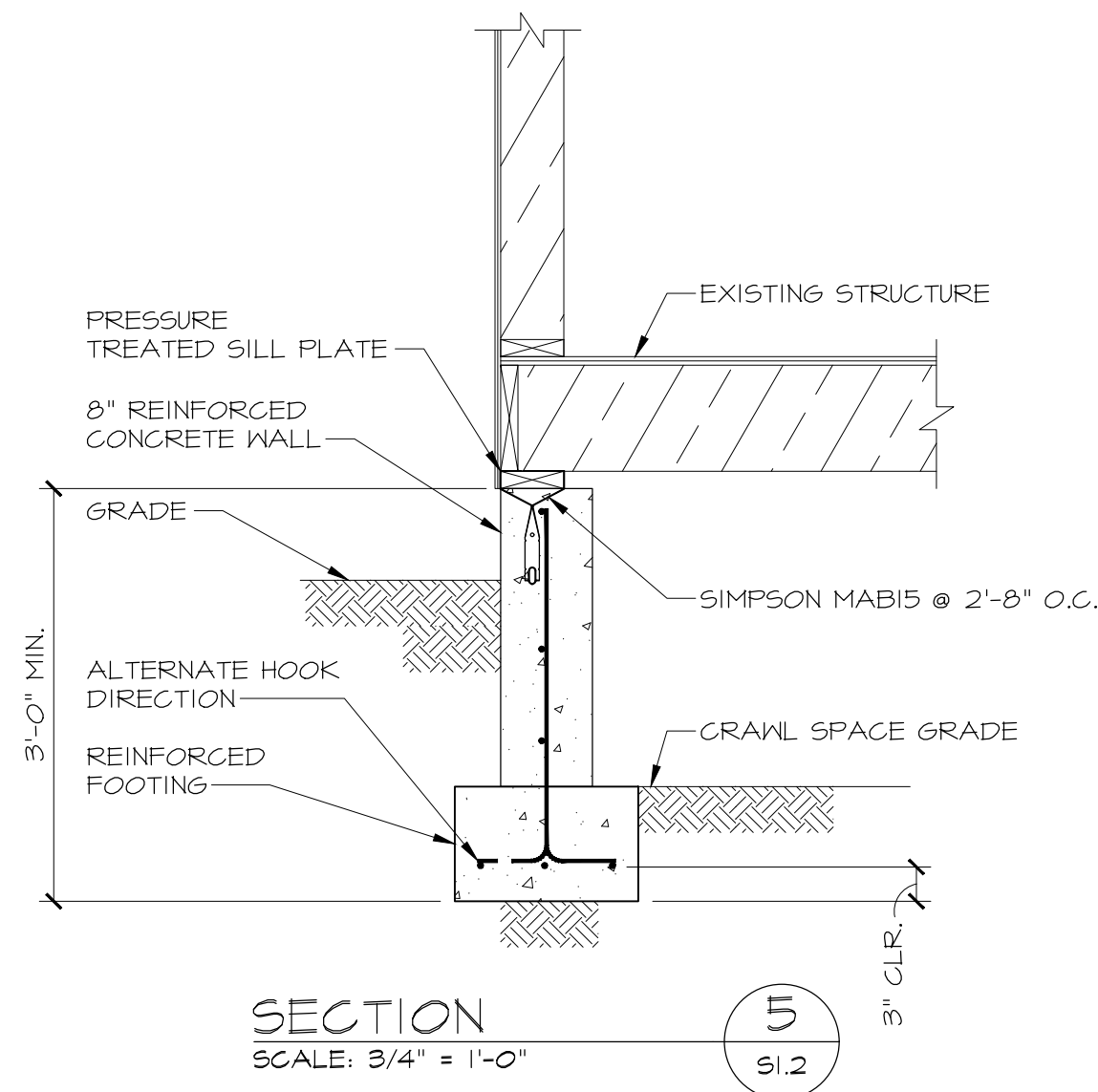
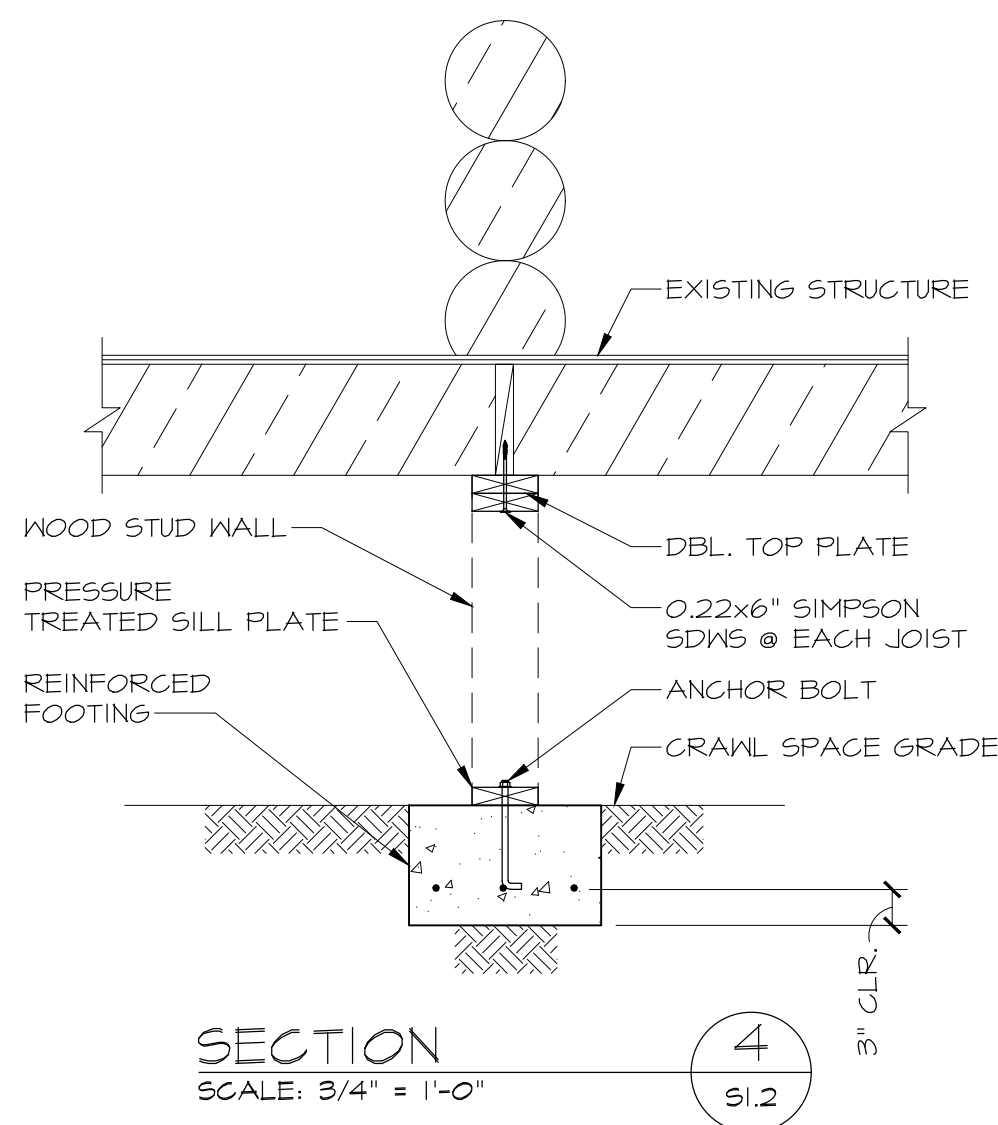
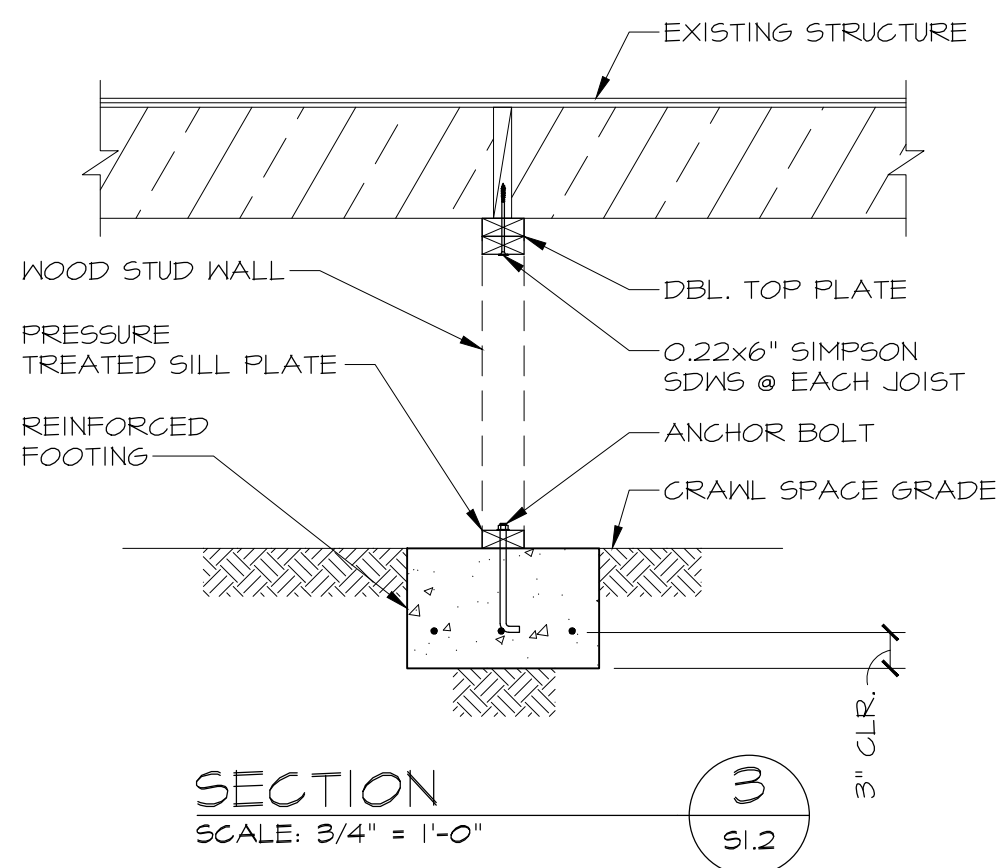
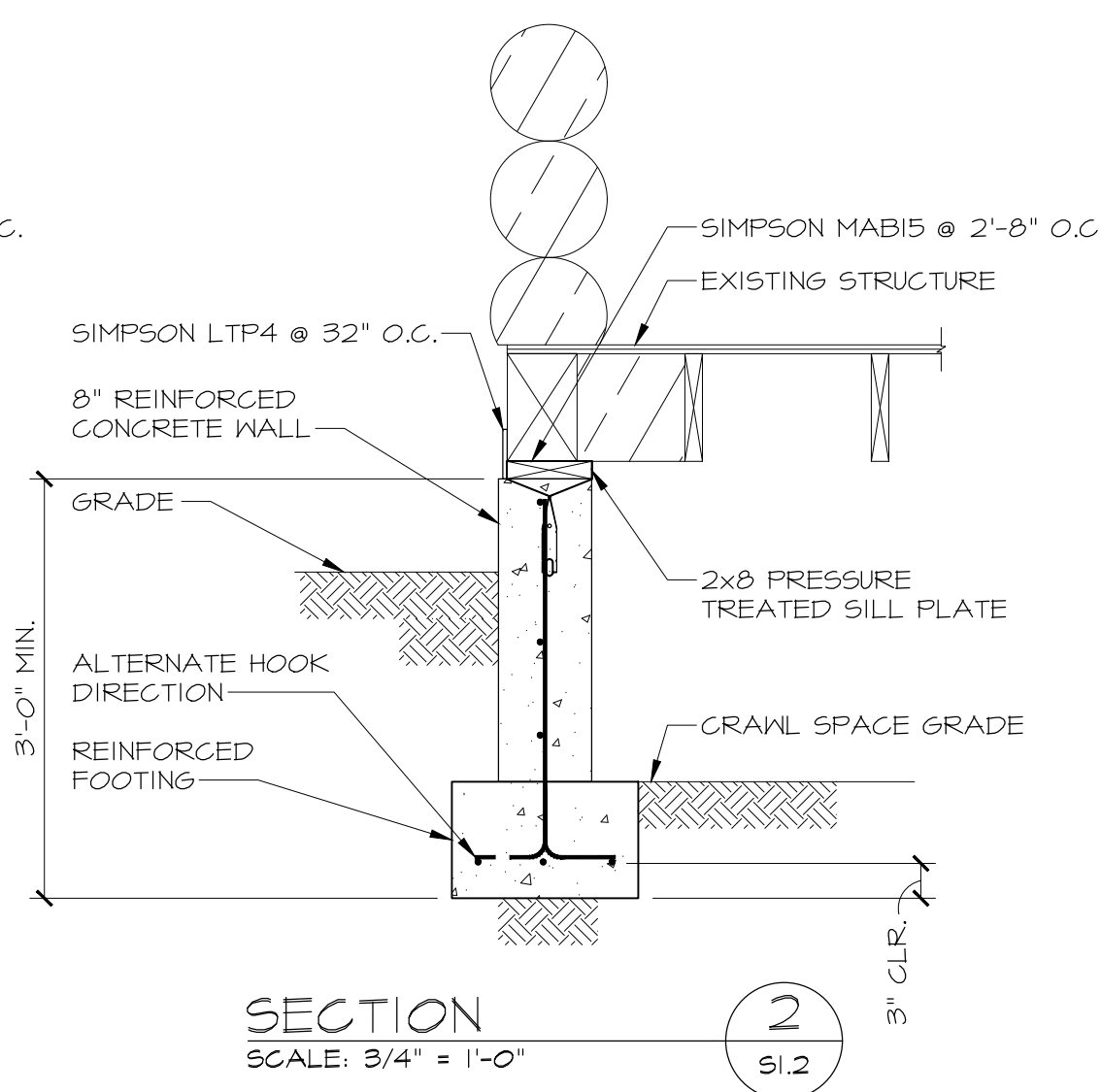
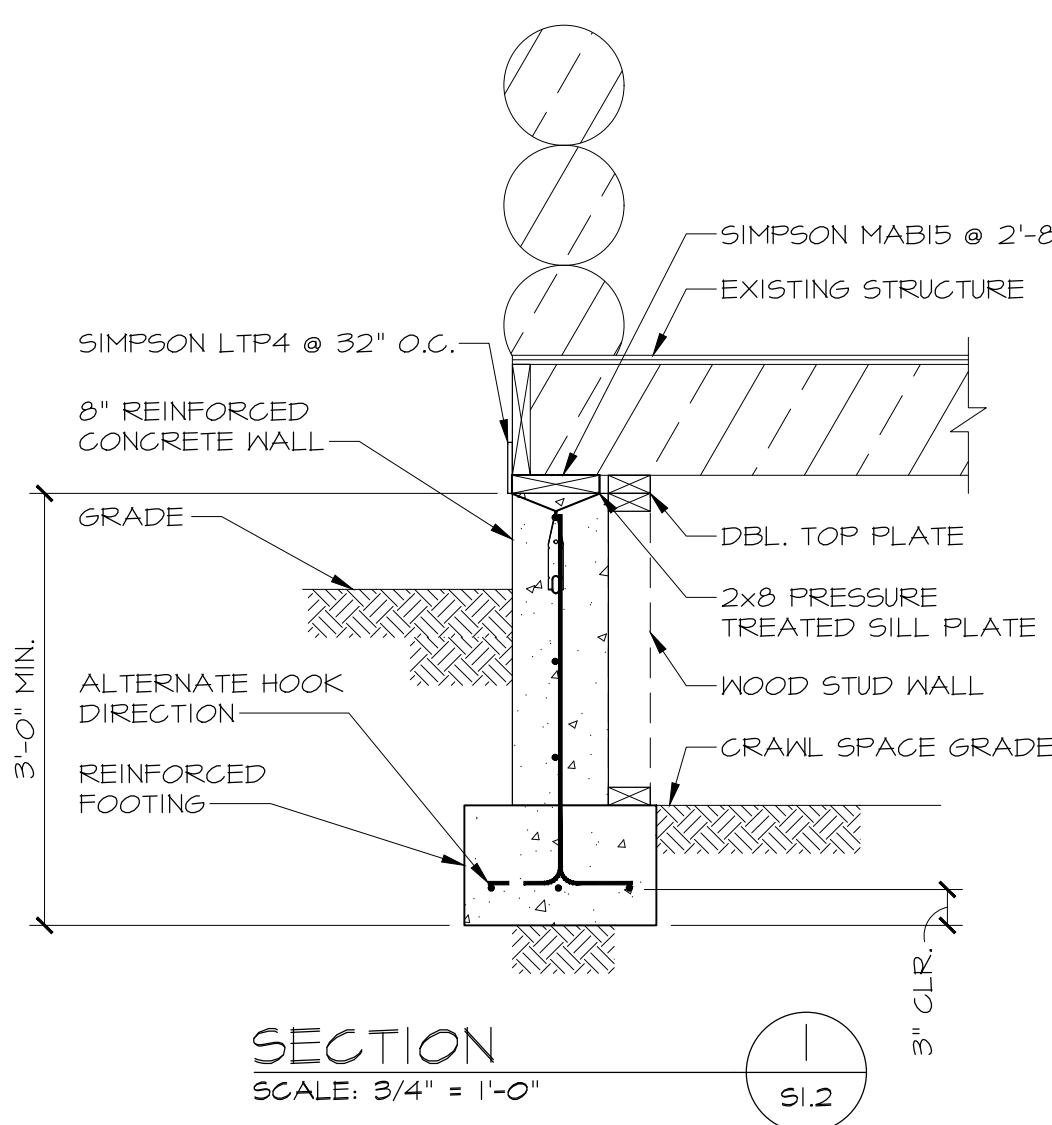
KINSEY, LLC. P.O. BOX 12258 • 1070 ELK RUN UNIT 60 JACKSON, WY 83002 PH # 307.413.2485	
OWNERSHIP & USE OF DOCUMENTS DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.	
PROJECT NUMBER BROWN RESIDENCE 445 EAST KELLY AVENUE JACKSON, WY	
REVISIONS	
MOVE/BUILDING PERMIT	
SHEET NAME EXISTING FIRST FLOOR PLAN	SHEET
SCALE 1/4"=1'-0"	
DATE 28 DECEMBER 2021	

A1.1

BROWN FOUNDATION

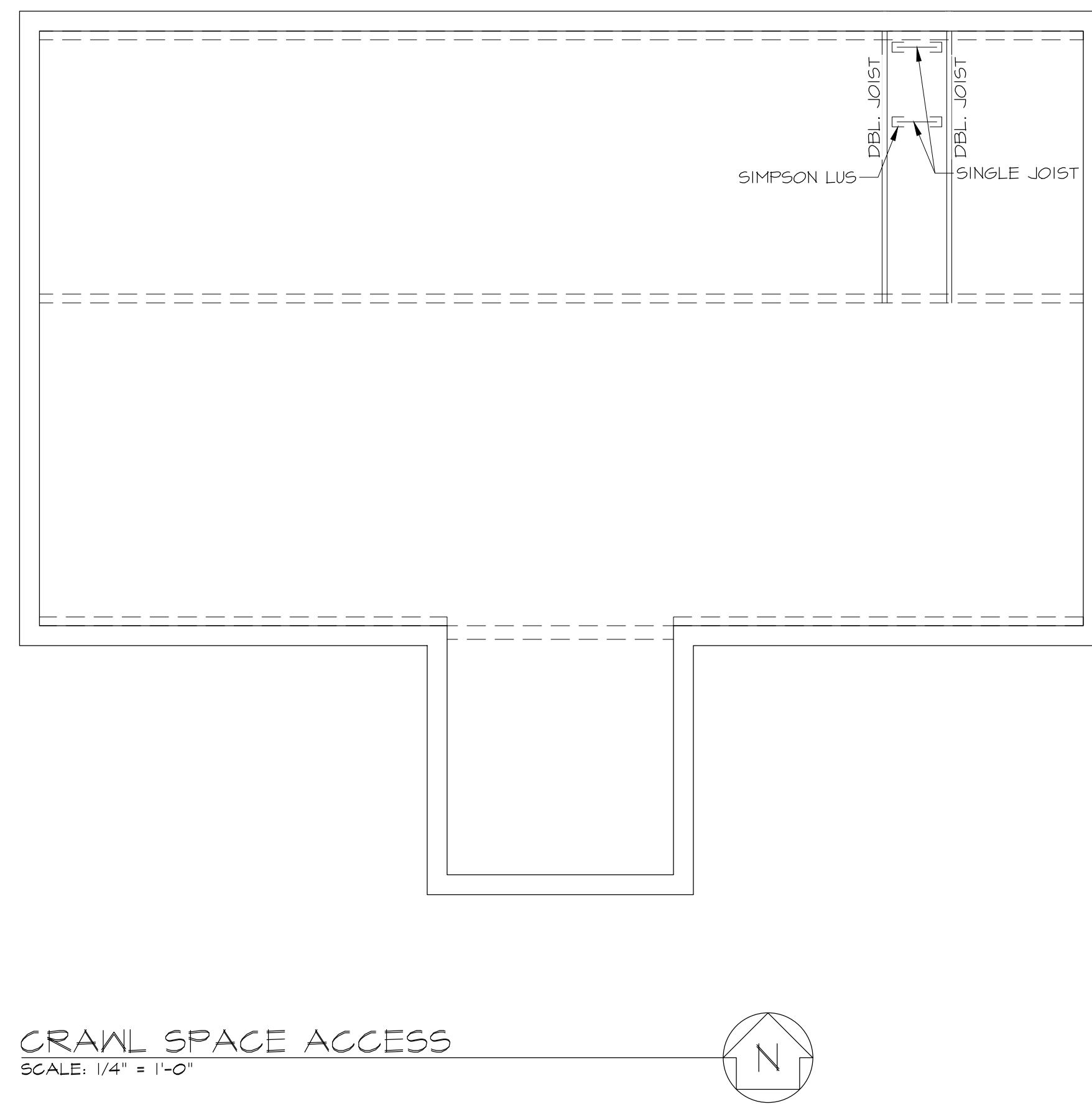
4-10d box (0.128"x3") toenail at each stud

DRAFTER: IP DESIGNER: DT CHECKER: ELW



CONTRACTOR'S NOTE:
VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION

- GENERAL NOTES
- For marked description items on Plan see legend on sheet S1.1.



TOWN OF JACKSON
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PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS

KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

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PROJECT NUMBER
BROWN RESIDENCE
445 EAST KELLY AVENUE
JACKSON, WY

REVISIONS

PERMIT SET	12/13/2021
CONSTRUCTION SET	12/22/2021

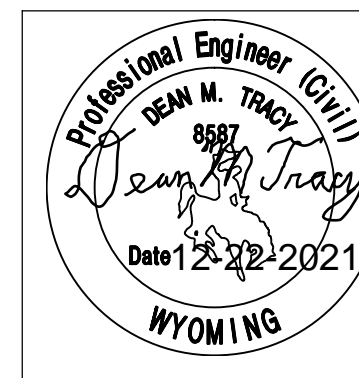
SHEET NAME

SCALE

DATE
09 DECEMBER 2021

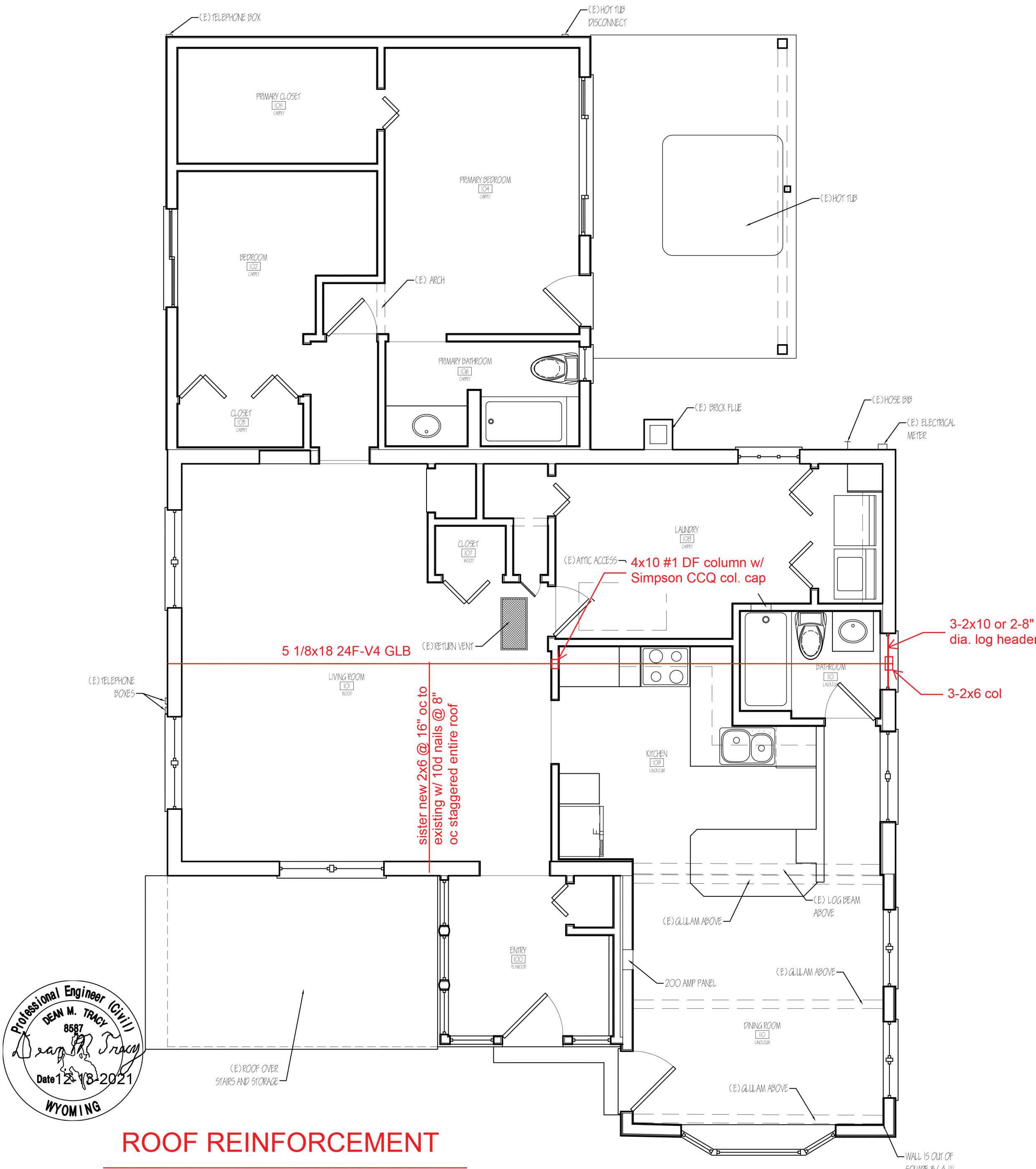
SHEET

S1.2



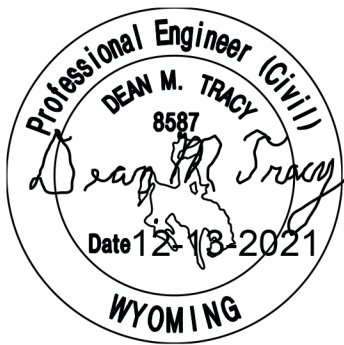
G&S STRUCTURAL ENGINEERS
505 LINDSAY BOULEVARD
IDAHO FALLS, IDAHO 83402
PHONE: (208) 523-6918 / FAX: (208) 523-6922
E-MAIL: g@gsengineers.net COPYRIGHT 2021
PROJECT NUMBER: 21222
DRAFTER: JP DESIGNER: DT CHECKER: FLW

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PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS



PLAN NOTES	
1. ALL MEASUREMENTS OFF OF LOG WALLS ARE TAKEN AS AN AVERAGE. LOGS VARY FROM 7" TO 9" IN DIAMETER. THE LOGS ARE HAND HEWN THEREFORE THE SURFACE IS NOT CONSISTENT.	
2. LOG BEAM VARY FROM 8" TO 9" IN DIAMETER AND HAVE A NATURAL TAPER FROM ONE END TO THE OTHER END.	
3. THE ASSUMPTION OF 5/8" DRYWALL ON THE WALLS	
4. NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.	
5. PLANS ARE ONLY REPRESENTATIVE OF THE EXISTING BUILDING NOT TO BE USED FOR MEASUREMENTS - ALL DIMENSIONS NEED TO BE FIELD VERIFIED	

ALL DIMENSIONS MUST BE FIELD VERIFIED

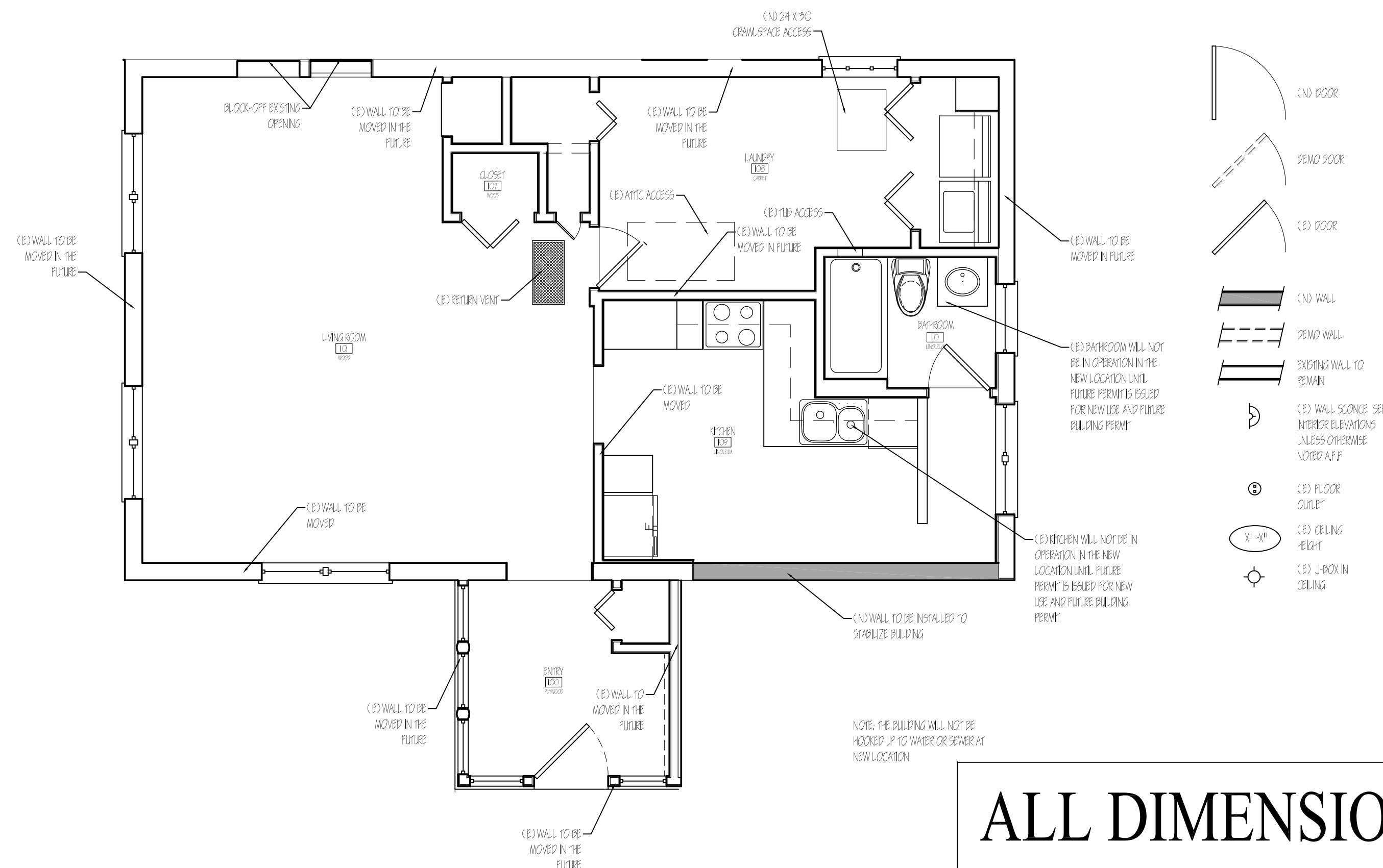


ROOF REINFORCEMENT

1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

KINSEY, LLC. P.O. BOX 12258 • 1070 ELK RUN UNIT 60 JACKSON, WY 83002 PH # 307.413.2485	
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PROJECT NUMBER BROWN RESIDENCE 445 EAST KELLY AVENUE JACKSON, WY	
REVISIONS	
MOVE/BUILDING PERMIT	
SHEET NAME FIRST FLOOR PLAN	SHEET S1.3
SCALE 1/4"=1'-0"	
DATE 15 DECEMBER 2021	

TOWN OF JACKSON
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PERMIT NO. B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS



PLAN NOTES

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2. LOG DECK VARY FROM 6" TO 9" IN DIAMETER AND HAVE A NATURAL PAPER FROM ONE END TO THE OTHER END.
3. THE ASSUMPTION OF 5/8" DRYWALL ON THE WALLS
4. NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.
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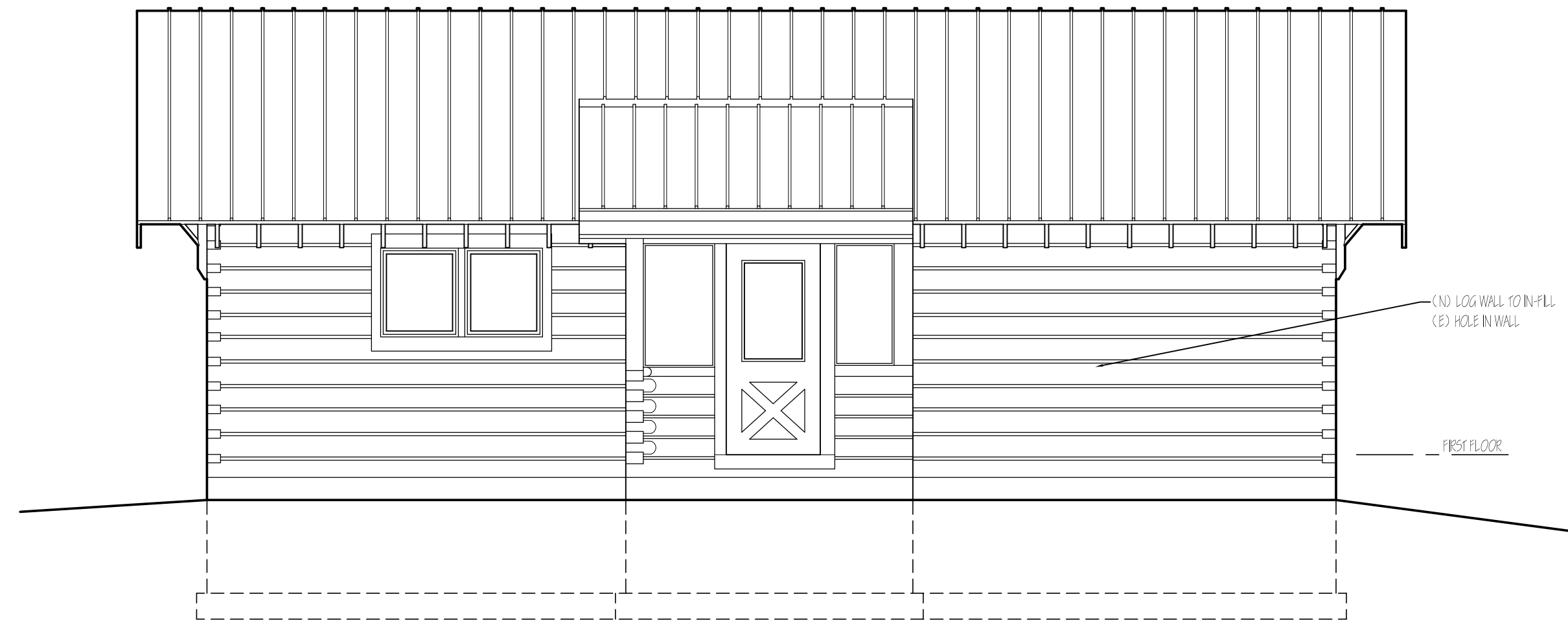
1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



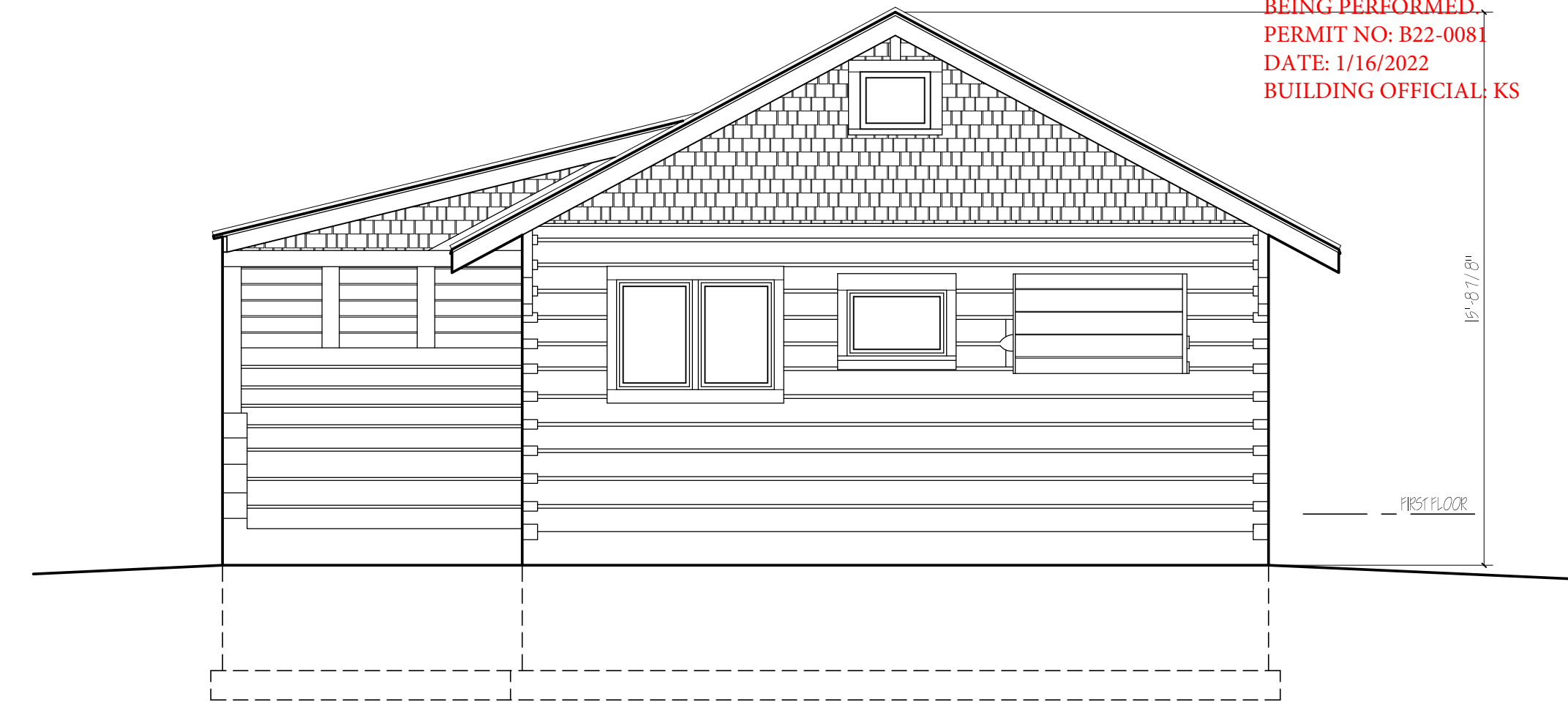
KINSEY, LLC. P.O. BOX 12258 • 1070 ELK RUN UNIT 60 JACKSON, WY 83002 PH # 307.413.2485	
OWNERSHIP & USE OF DOCUMENTS DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.	
PROJECT NUMBER BROWN RESIDENCE 445 EAST KELLY AVENUE JACKSON, WY	
REVISIONS	
MOVE/BUILDING PERMIT	
SHEET NAME FIRST FLOOR PLAN	SHEET
SCALE 1/4"=1'-0"	A2.1
DATE 28 DECEMBER 2021	

TOWN OF JACKSON
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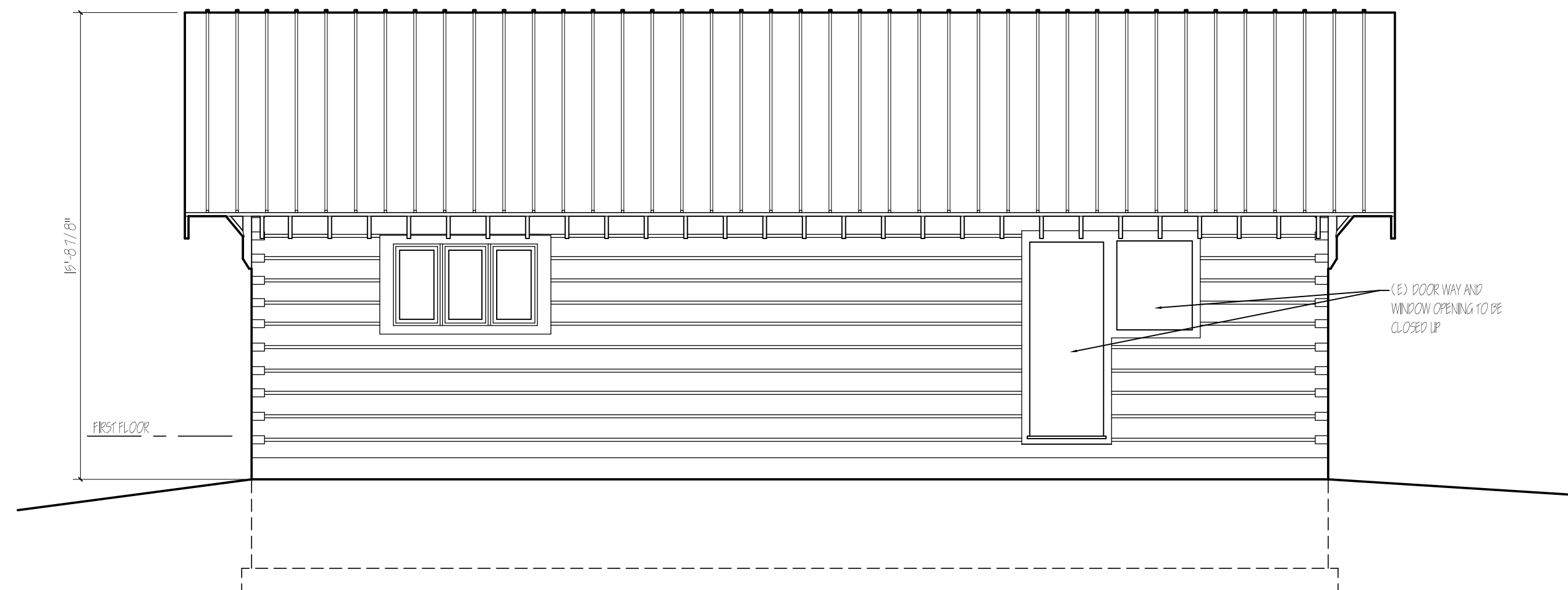
PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL KS



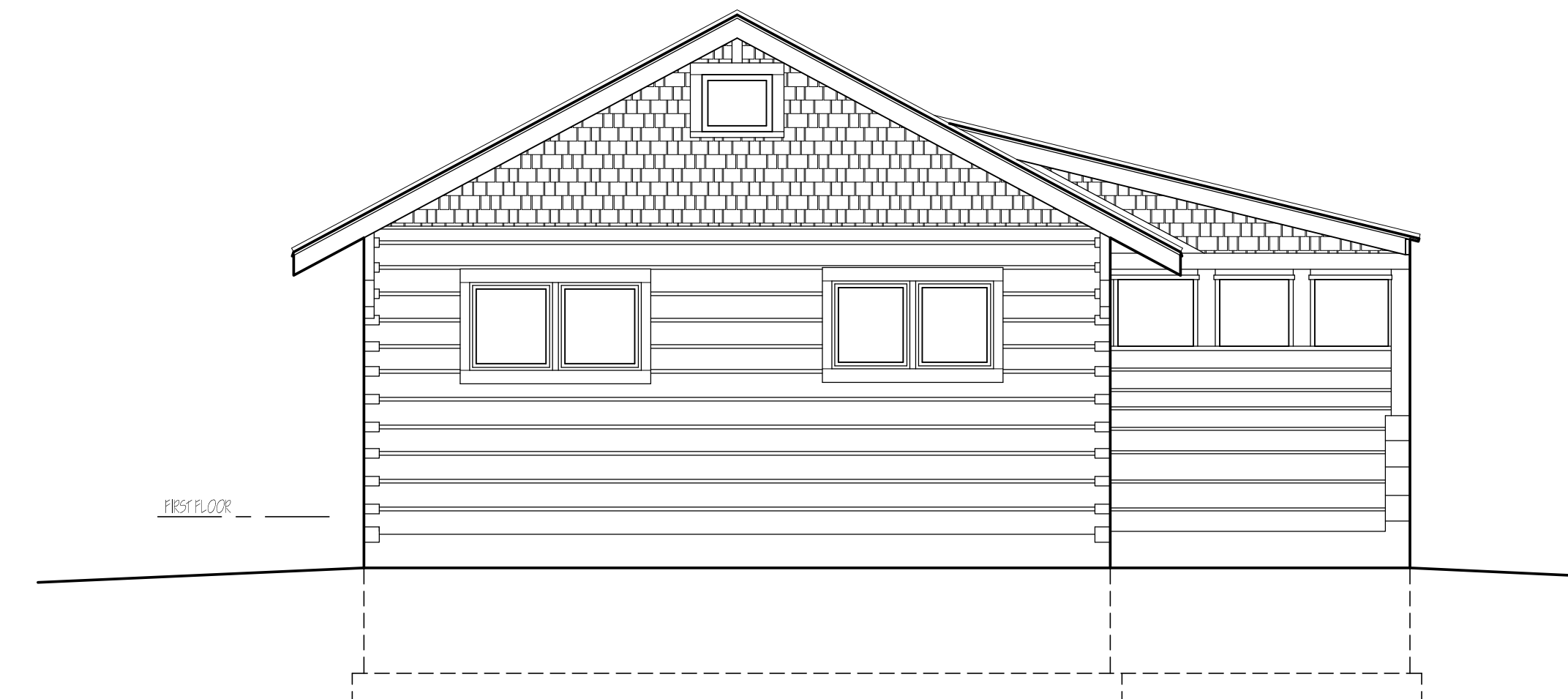
1 SOUTH ELEVATION
SCALE: 1/4" = 1' -0"



2 EAST ELEVATION
SCALE: 1/4" = 1' -0"



3 NORTH ELEVATION
SCALE: 1/4" = 1' -0"



4 WEST ELEVATION
SCALE: 1/4" = 1' -0"



KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS

DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

PROJECT NUMBER
BROWN RESIDENCE
445 EAST KELLY AVENUE
JACKSON, WY

REVISIONS

MOVE/BUILDING PERMIT

SHEET NAME ELEVATIONS	SHEET
SCALE 1/4"=1'-0"	A5.1
DATE 17 JANUARY 2022	

A5.1

Benson-Brown Residence - 1st Floor Plan (from GIS)

c.1967 "Benson Addition" (was one large room with the Brown's moved in around the early 1970s. Interior walls were then added by the Brown family to create two (2) bedrooms + (1) bathroom. *This addition may date to the period of significance.*

Residence is a 1-story log structure with basement and sub-basement. Poured concrete foundation with square notched log walls, and metal roof.

Area in green= (what remains of) the original structure built during the period of significance. The period of significance identified for the property corresponds to the year in which the cabin was constructed (1920) and the year when E.C. Benson sold the property and no longer resided there, 1947.

NOTES:

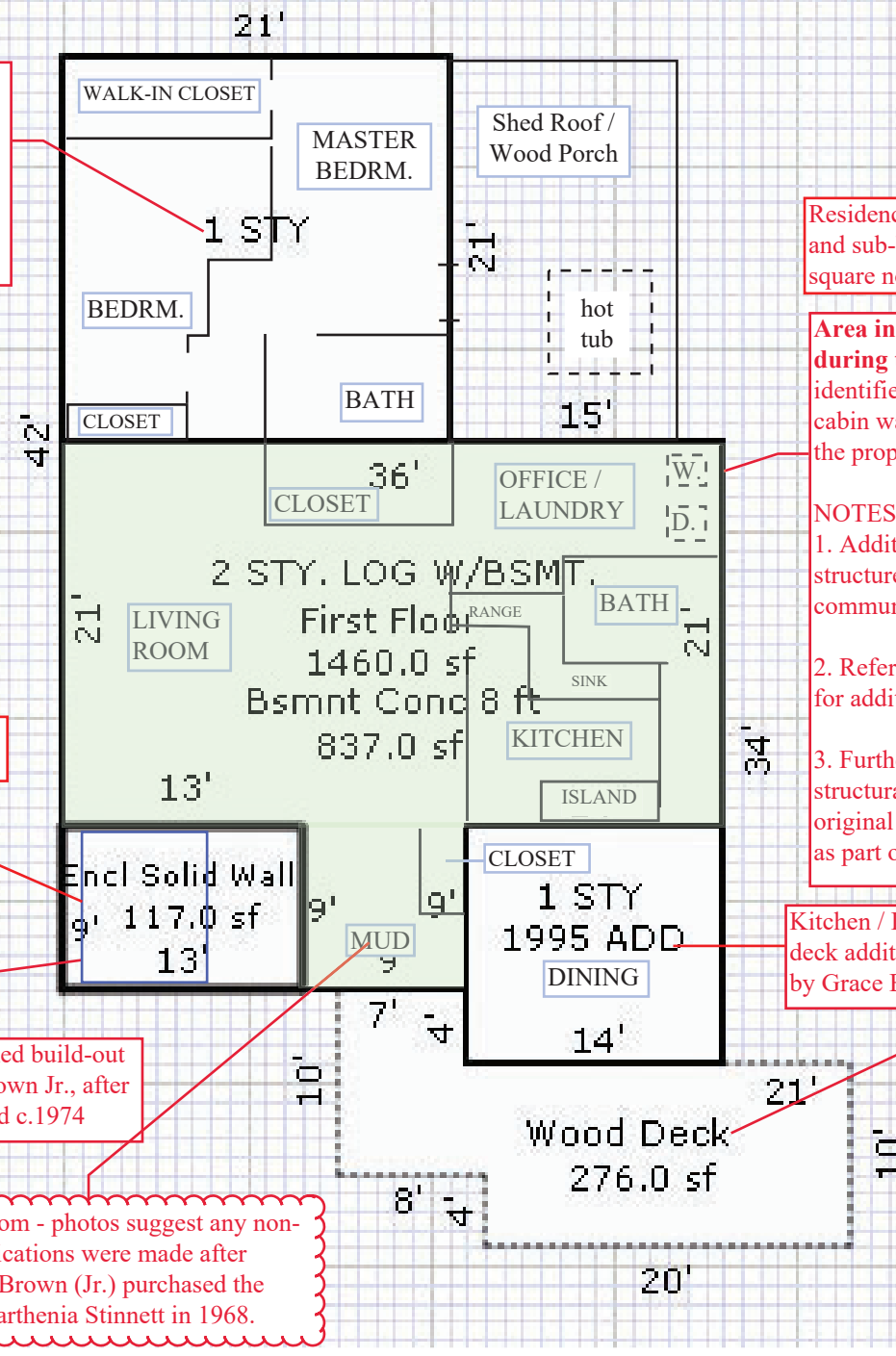
1. Additions essentially encase the entirety of the original 1920 structure, preventing the significance of the structure to be communicated.
2. Refer to attached survey (Wyoming Cultural Properties Form) for additional information.
3. Further investigation as to the existing conditions (architectural, structural, MEP, etc.) will be needed in order to establish how the original / existing building could be adaptively reused and restored as part of the proposed new housing and site development.

approx. area of original cellar access (in blue)

(Exterior, non-habitable) cellar access / shed build-out was constructed by the Grace + Norris Brown Jr., after the original basement steps were unearthed c.1974

Original mud room - photos suggest any non-historical modifications were made after Grace & Norris Brown (Jr.) purchased the property from Parthenia Stinnett in 1968.

Kitchen / Dining and wood deck additions where made by Grace Brown in 1977.





TOWN OF JACKSON HISTORIC REGISTER NOMINATION FORM

DATE _____

DATE RECEIVED _____

This form is required to nominate properties to the Jackson Historic Register per Sec. 8.5.7 in the Town of Jackson Land Development Regulations. Type all entries and complete all applicable sections. Contact Town of Jackson Planning with any questions at (307) 733-0440.

PART 1: PROPERTY INFORMATION

Property Name			
Historic		Common	
Location			
Street Address		Zip	
PIDN(s): _____ _____		Legal Description and Plat or Addition:	
Nominated Elements			
Please indicate below significant elements of the property that are included in the nomination by checking the appropriate box(es) below. Describe these elements specifically in the narrative section of this form.			
<input type="checkbox"/> Principal Structure		<input type="checkbox"/> Site	
<input type="checkbox"/> Historic Additions		<input type="checkbox"/> Historic Landscaping, Fencing, Walkways, etc.	
<input type="checkbox"/> Ancillary Buildings/Outbuildings			
Owner of Property			
Name			
Address		City	State Zip
Is the owner the sponsor of this nomination?		Yes	No
Form Preparer			
Name/Title		Company/Organization	
Address		City	State Zip
Email		Phone	
Nomination Checklist — Attachments			
<input type="checkbox"/> Site Map (REQUIRED)		<input type="checkbox"/> Historic Survey	
<input type="checkbox"/> Photographs (REQUIRED):		<input type="checkbox"/> Other (please indicate):	
<input type="checkbox"/> Development Permit Application (REQUIRED):			
		<div>FOR OFFICE USE Date Received _____</div>	

Nominations to the Jackson Historic Register are processed according to the procedures and standards described in Sec.8.5.7 of the Town of Jackson Land Development Regulations. Submittal of a nomination form does not obligate the Town to place a property on the Register or to extend financial incentives to a property owner. Documents submitted become public record. Additional requirements may be imposed by other Town, state or federal regulations.

PART 2: PHYSICAL DESCRIPTION, FUNCTIONS, USES and MATERIALS

Summarize the changes to plan, original cladding, windows, interior, and other significant elements by selecting the choices below. These changes should be described specifically in the narrative section of this form.

	Original Materials Intact?			Original Materials Intact?	
Plan (i.e.: no additions to footprint, relocation of walls or roof plan)	Yes	No	Interior (woodwork, finishes, flooring, fixtures)	Yes	No
Original cladding	Yes	No	Other elements	Yes	No
Windows (no replacement windows or replacement sashes)	Yes	No			

Physical Description/Integrity Narrative

Describe in detail the present and original (if known) integrity of the structure, including exterior appearance, setting, and architectural characteristics (use continuation sheets if necessary).

PART 3: HISTORICAL OR CULTURAL SIGNIFICANCE

Criteria for Designation

Jackson Land Development Regulations recognize five criteria of historical significance in Sec. 5.9.4. Please select any that apply to this property for which there is **documentary evidence** included in this nomination form.

- A Association with events that have made a significant contribution to history;
- B Connection with persons significant in history;
- C Distinctive characteristics of a type, period, method of construction, or artisan;
- D Geographic Importance; and/or
- E Possibility to yield important information related to prehistory of history

Historical Data (if known)

Date(s) of Construction	Other Date(s) of Significance	
Architect (s)	Builder	Engineer

Statement of Significance

Describe in detail the chronological history of the property and how it meets the criteria for the Jackson Historic Register. Please provide a summary in the first paragraph (use continuation sheets if necessary). Please provide a bibliography for books and other materials accessed.

Narrative Continuation

This page may be edited or copied as
needed. Continued from page 2

Date _____ **Smithsonian #** _____

RECORD TYPE: ☒ First-recording, ☐ Full Re-record, ☐ Update, ☐ Condition Report, ☐ Site Lead

PROPERTY CATEGORY: ☐ Prehistoric Site, ☐ Historic Site, ☐ Building, ☐ Structure, ☐ Object, ☒ District, ☐ Landscape, ☐ Lithic Landscape, ☐ TCP

1. IDENTIFICATION/OWNERSHIP

Consultant Project Number _____ Agency Project Number(s) _____

Associated Project Name _____

Site Name The Benson Home Temporary Field Number _____

Other Common names: Brown Home Agency Site Number _____

Other Site Number _____

Landowner (at time of this reporting, specify agency/district, if private give name and address): _____ check here if site information is confidential

Grace P. Brown
PO Box 189
Jackson, WY
83001

2. LOCATION (repeat as needed on continuation sheets; _____ check here if additional locational information is on continuation sheet)

Street address 445 East Kelly Ave Town Jackson

Lot-Block: _____ Parcel _____ County Teton

USGS 7.5' Map Name, Date Jackson, 1996

Township 41 .N Range 116 .W Section 34 ¼'s pt of the Southeast quarter of the Northwest quarter Template: _____

Township _____ . Range _____ . Section _____ ¼'s _____ Template: _____

Township _____ . Range _____ . Section _____ ¼'s _____ Template: _____

Elevation (ft.): 6300 UTM Coordinates (center point is required; bounding UTM(s) required for sites > 200m in any dimension)

UTM: Zone 12 E 519907 m N 4813638 m Datum used to calculate: NAD 27 ☒ NAD 83

Bounding UTM: (1) E _____ N _____ (2) E _____ N _____

(3) E _____ N _____ (4) E _____ N _____

UTM source: ☒ corrected GPS/rectified survey (<5m error), ☐ uncorrected GPS, ☐ map template, ☐ other: _____

GPS Model/Software: _____

Notes pertaining to access: _____

3. NATIONAL REGISTER STATUS (check all that apply in each category)

ENROLLED STATUS ☐ Landmark/Monument, ☐ Enrolled on NRHP

FACTORS AFFECTING INTEGRITY (check all that apply; indicate specific areas of disturbance and vandalism on a copy of the site map)

Disturbance/Vandalism : ☐ none, ☐ erosion, ☐ vandalism, ☐ collection, ☐ structural damage, ☐ manual excavation, ☐ mechanical excavation,
☐ vehicle traffic, ☐ structural decay, ☐ grazing, ☐ construction/development, ☐ defacement, ☐ imminent destruction, ☐ unknown

Percent of property badly disturbed as of this recording date, to nearest 10%): _____

NATIONAL REGISTER OF HISTORIC PLACES SIGNIFICANCE

Period(s) of significance: 1920-1947 Theme(s) Community Planning and Development

NATIONAL REGISTER OF HISTORIC PLACES ELIGIBILITY RECOMMENDATIONS (check all applicable):

Recorder NRHP Evaluation: ☐ Eligible under criteria ☐ a, ☐ b, ☐ c, ☐ d ; ☒ Not Eligible, ☐ Unevaluated

Contributing Components: ☐ Prehistoric, ☐ Historic Associated person for criterion b property _____

Justification: (Include in justification a statement of significance; discussion of contributing components (indicate spatial extents on maps); and integrity (location, design, setting, materials, workmanship, feeling, association); discuss how significant periods and themes were determined)*:

Date _____ Smithsonian # _____

Statement of Significance

The Benson Home was evaluated for significance under Criterion A within the area of significance of commerce and community planning and development. The property demonstrates strong significance not only as the generation site for the town's first electrical service, but also as the home of the individual who made that electrification possible. Though electrical power was not available on ranches until after World War II, the electrification of the town of Jackson in 1921 symbolized the transformation the rural ranching town was undergoing at the conclusion of the second decade of the twentieth century. The period of significance identified for the property corresponds to the year in which the cabin was constructed (1920) and the year when Benson sold the property and no longer resided there, 1947.

Statement of Integrity

Several additions have been made to the Benson Home, most notably a kitchen and deck that were added in 1977 to the south elevation. The entire north wing appears to be added following initial construction, however it is not known when (potentially within the period of significance). All windows have been enlarged or otherwise changed. Additions essentially encase the entirety of the original 1920 structure, preventing the significance of the structure to be communicated. The turbines still exist in the sub-basement and the creek still runs through the property. The Benson Garage is in an advanced state of decay, without doors to enclose the front of the building or protect the interior from environmental threats. The Benson generator building has also lost significant integrity due to its adaptive reuse as a housing unit. It is the opinion of the principal investigator that the property no longer possesses integrity of design, workmanship, association, and feeling and thus is not eligible for inclusion in the National Register of Historic Places.

Agency Determination: ___ Eligible under criteria ___ a, ___ b, ___ c, ___ d ; ___ Not Eligible, ___ Unevaluated Date/initials: _____

Justification:

SHPO Concurrence: ___ Eligible under criteria ___ a, ___ b, ___ c, ___ d ; ___ Not Eligible, ___ Unevaluated Date/initials: _____

Justification:

4. INVESTIGATIVE HISTORY (Check all that apply, use property narrative for additional information as appropriate)

Recorded by: Katherine Longfield Organization: Amenity Preservation

Field Dates: 7/09

DISCOVERY METHOD (describe in site narrative description)

___ Exposed on surface, ___ Exposed subsurface, ___ Construction discovery, ___ Documentary sources, ___ Informant

WORK PERFORMED (as part of this recording ONLY; describe numbers and dimensions of sampling/excavation units in narrative section)

___ Surface recorded	___ Tested with probe device	___ Materials sourcing	___ Lab analyses
___ Shovel tested	___ Controlled Trench/Blade	___ Remote sensing	___ Material sample program
___ Formal test unit(s)	___ Geomorphology study	___ Photos/Sketches/Video	___ C-14 dating
___ Block excavation	___ Paleo-environmental study	___ Collections research	___ Other (describe in narrative)

MATERIALS COLLECTED AS PART OF THIS RECORDING? ___ yes, ___ no, ___ unknown

Repository: ___ U. W. Archaeological Repository (UWAR), ___ Western Wyoming College, ___ Other: _____

5. PROPERTY DESCRIPTION

PHYSICAL DIMENSIONS

Length 53.3 m, Width 51.2 m, Area: 2266 sq. m, (x estimated ___ measurement method: _____)

Boundary estimates based on:

___ feature/artifact distribution, ___ modern features or disturbance, x property boundaries, ___ topography, ___ other, ___ unknown.

Property datum? ___ yes, ___ no (describe if yes): _____

RECORDS INVENTORY (check all appropriate attachments associated with this recording)

Required attachments*:	rural buildings, structures, objects, or historic districts)	<u>x</u> location map (USGS 1:24,000 base)
___ (6) Prehistoric/Historic Archaeological Site Setting, Topography, Depositional Environment (*not required for urban and	___ (7) Site Narrative Description	___ photographs/images
	___ (8) Prehistoric/Historic Site Matrix	
	___ site map w/scale,orientation,.key	

Date _____ Smithsonian # _____

Additional Attachments:

(One or more of the next 8 are required)

___ (8A) artifacts associated with
prehistoric component___ (8B) features associated with
prehistoric component___ (8C) artifacts associated with historic
component___ (8D) features associated with historic
component___ (8E) historic and/or prehistoric rock
art/inscription component

___ (8F) historic architecture description

___ (8G) linear feature description

___ (8H) lithic landscape sample
description

___ (8I) historic structure/object description

Optional Attachments:

___ (8J) TCP description

___ artifact illustrations

___ stratigraphic profile

___ field notes

___ artifact catalog

___ electronic data

___ other (describe):

Date _____ Smithsonian # _____

6. PREHISTORIC/HISTORIC ARCHAEOLOGICAL SITE SETTING, TOPOGRAPHY, DEPOSITIONAL ENVIRONMENT*

Section 6 is not required for urban and rural buildings, structures, objects, or historic districts)

GENERAL TOPOGRAPHIC SETTING

___ Basin/Interior, ___ Foothill/Basin Margin, ___ Major River Terraces, ___ Mountain/Major Uplift, ___ Unknown

Geographic Division (cf. "Wyoming Geologic Highway Map" published by Western Geographics with the cooperation of the Geological Survey of Wyoming Revised Edition 1991, R.D. Christiansen, Geologist Map compiled and adapted from Geologic Map of Wyoming. Divisions prepared by Richard W. Jones, 2002. See map in "Users Guide.")

___ Absaroka Range	___ Great Divide Basin	___ Madison Range	___ Shirley Mtns.
___ Bates Hole	___ Green River Basin	___ Medicine Bow Mtns.	___ Snake River Range
___ Beartooth Mtns.	___ Green Mtn.	___ N Laramie Basin Structures	___ Sublette Range
___ Bighorn Basin	___ Goshen Hole	___ Overthrust Belt	___ Star Valley
___ Bridger Basin	___ Gros Ventre Range	___ Owl Creek Mtns.	___ Teton Range
___ Bighorn Mtns.	___ Hanna-Carbon Basin	___ Powder River Basin	___ Tunp Range
___ Black Hills Uplift	___ Hartville Uplift	___ Rawlins Uplift	___ Washakie Basin
___ Casper Arch	___ Hoback Range	___ Rock Springs Uplift	___ Washakie Range
___ Denver Basin	___ Jackson Hole	___ Salt River Range	___ Wind River Basin
___ Ferris Mtns.	___ Kindt Basin	___ Sierra Madre Mtns.	___ Wind River Range
___ Fossil Basin	___ Laramie Basin	___ Seminoe Mtns.	___ Yellowstone Volcanic Plateau
___ Granite Mtns.	___ Laramie Mtns.	___ Shirley Basin	___ Unknown

UNIQUE SITE SETTING (check as appropriate, describe site setting in general narrative):

___ playa	___ arroyo cutbank	___ rockshelter	___ spring
___ saddle/pass	___ cliff	___ cave	

GENERAL TOPOGRAPHIC SETTING (few words): _____**VEGETATION ASSOCIATION** (cf. Knight 1994:8, Mountains and Plains: The Ecology of Wyoming Landscapes; Yale Univ. Press)

___ Alpine	___ Ponderosa Pine	___ Desert Shrub	___ Riparian
___ Spruce/Fir	___ Aspen/Conifer	___ Grassland	___ Cultivated
___ Douglas-Fir	___ Oak	___ Sagebrush	___ Unknown
___ Lodgepole Pine	___ Juniper	___ Sand Dunes	___ not applicable

OVERALL PERCENT BARE GROUND (discuss variation in ground visibility in general site narrative)

___ 0%, ___ 1-25%, ___ 26-50%, ___ 51-75%, ___ 76-99%, ___ 100%, ___ unknown, ___ not applicable

GENERAL DEPOSITIONAL ENVIRONMENT (check all applicable, describe in general site narrative):

___ unknown, ___ aeolian, ___ alluvial, ___ colluvial, ___ bare rock, ___ regolith, ___ not applicable, ___ other

AEOLIAN SETTINGS (Late Pleistocene and Holocene aeolian deposits)

Is site in/partly in an aeolian deposit?: ___ yes, ___ no, ___ unknown, ___ not applicable

If "yes", which type(s)? ___ dune, ___ sand shadow, ___ sand sheet, ___ deflation area, ___ don't know

SUBSURFACE POTENTIAL

Archaeological subsurface deposits: ___ yes, ___ no, ___ unknown/undetermined

Maximum depth below surface of cultural deposits: ___ meters, ___ unknown, ___ not applicable (enter zero if no subsurface deposits are present)

Estimate based on: ___ rough guess, ___ shovel test(s), ___ core/auger tests, ___ excavation(s), ___ road/arroyo cuts, ___ animal burrows,

___ other information (describe in narrative)

Date _____ Smithsonian # _____

7. SITE NARRATIVE DESCRIPTION

In addition to general description, the site narrative should address explicitly the kinds and amount of work done at a site, the site environment (setting, geomorphology, soils and sediments, vegetation), site condition and threats to the site. All other matters that demand more discussion than the other sections of the form allow should be discussed in a well-organized fashion here. Tables and other materials can be part of the site narrative, as appropriate. Dating and laboratory results should be cited here, with clear references to laboratory numbers and results.

Site Description

The two-thirds-acre lot is located on Kelly Avenue in a transitional space between Mike Yokel Park and a Lower Valley Power and Light transfer station. The lot contains three structures: the Benson home, the Benson garage, and the generator station. The Benson home is accessed from a shared driveway with the generator station (now a second residence). The Benson Home is approximately 125 feet from the street and is secluded and private despite its relative proximity to Kelly Avenue. A creek runs east-west in front of the home, which is crossed via a plank footbridge. Trees cover much of the southern elevation of the home, blocking both the site and sounds of the street. The remainder of the lot is grass covered with an informal driveway leading from the street to the back of the property. A fence runs along the eastern elevation where the lot meets the adjoining Mike Yokel Park. The garage is located behind the generator station and was likely accessed from the shared driveway that runs between the residence and the station.

The Benson Home

The residence is a one-story log structure with basement and sub-basement. The foundation is poured concrete and walls are log construction with square notching. Logs are painted a dark brown and the roof is metal. The gable ends are clad with shingles that are painted brown to match the logs. The footprint of the building, including all of its additions, is generally rectilinear. The original portion of the house was a rectangle that ran east-west on the property. A north-south addition was added to the western end of the house, making the house an el-shape. Later, porch additions were added to the east side of the north-south addition and to the south of the south elevation as well as a kitchen addition to the south elevation, filling in the el-shape to form a rectangle.

The south elevation consists of a porch addition, kitchen addition, and cellar access build-out. The only part of the original structure that can be seen on the southern elevation is on the west side where rafter tails and original square notching are visible. The west elevation contains the most amount of original log work that is still visible. Two horizontal sliders are installed in the raised basement, suggesting that the 1920 structure was raised and windows added at some point. However, because the basement played such an important role in the building as the site of electrical generation, it is possible that the basement was always raised as it appears today. An addition extends north from the original 1920s portion of the house on the west elevation. As stated earlier, the addition may date to the period of significance. The south elevation is mostly also made up of the addition as well as a shed roof porch that covers an outdoor hot tub. The east elevation also consists of the hot tub porch addition and the gable end of the original 1920 structure.

The Benson Garage

The Benson garage is in a severely deteriorated condition. It is a square, hip-roofed building that is located behind and to the west of the Benson home. The structure appears to be clapboard (but it is possible that an original siding may have deteriorated). It now has a rolled asphalt roof, but it likely had shingle roof. Based on the proportions, scale, and size, the garage likely dates to the period of significance. The street facing elevation contains a large garage door opening, though the doors themselves are no longer present.

The Generator Station

The third building is perhaps the most historically significant. The generator station has now been converted to living quarters and a second-story porch has been added to the south elevation. In addition, a sliding glass door and a first-story window have been added to the structure. The original utilitarian garage doors likely used to move equipment in or out still remain on the first floor directly behind the added exterior stairway.

Site Narrative

Edward C. Benson was born to Francis and Rebecca Benson in Colorado in 1883. Despite his birth in Colorado, Benson's siblings and extended family were all born in New Jersey or Pennsylvania, and Benson spent his childhood and young adult years in the northeast. By the age of 20, E.C. Benson was working as a bank clerk in Jersey City, New Jersey, living with his parents (his father was the bank's assistant treasurer). By his late twenties in 1910, Benson was working with automobiles and still living in New Jersey. E.C. Benson married a woman named Sylvia Miller from the Philadelphia area sometime between 1910 and 1917 and the couple lived with Sylvia's widowed mother and sister's family until 1920. While living in the Philadelphia area, Benson worked as an automobile salesman.

From a *Jackson's Hole Courier* article, it would seem that despite living in Philadelphia, the Bensons had frequented Wyoming before moving there in 1920. The most likely reason for the Bensons to frequent Jackson on a temporary basis would have been to stay at a dude ranch. Seeing

Date _____ Smithsonian # _____

as only three dude ranch's existed in the valley at that early time, the Bar BC, the JY, and the White Grass Dude Ranches, it is likely that the Bensons either stayed at the Bar BC or White Grass, as both ranches had a strong tie to Philadelphia. In 1917, the *Courier* reported that "Mrs. Benson, her two daughters, Elizabeth and Sylvia and Miss Mears made a trip to Jackson's Lake last week..."¹

Whatever the Benson's draw to Jackson, E.C. and Sylvia Benson moved to Jackson in 1920. Sylvia Benson arrived a few months following Edward, and he crossed Teton Pass to meet her in Victor, Idaho on Saturday May 29, 1920. The couple signed the paperwork for the purchase of the property on Kelly Avenue from George Kelly on Monday June 1, 1920. Presumably, Benson constructed the house shortly thereafter. At some point in 1920 as well, Benson diverted nearby Cache Creek to his property and under his home. Benson used the water to power two water turbine generators that he had constructed in his basement. Though this practice was fairly common (the Chambers Ranch on Mormon Row, the Murie Ranch, and the Snake River Ranch all had similar generators), Benson was distinguished in his decision to sell the power he generated to others rather than using it exclusively. Interestingly, prior to Benson's electrical plant, Spicer & Curtis, a garage and car dealership, were reported to have "installed a Western Electric lighting plant in their Jackson garage."² By December of 1920, the *Courier* reported that "Freighters arrived the latter part of last week with the engine for the electric light plant which C.E. [sic] Benson is installing. Mr. Benson is engaged at present setting poles and stringing wires. He expects to be ready to turn on the juice soon."³ Clearly, Benson wasted no time. In January of 1921, the paper reported that after two months of installing poles and stringing wires that the system is nearly ready. Apparently storms and severe cold weather did not even prevent their progress: "Mr. Benson is not one to sit down and wait for things to come his way. As a result of this disposition he now has the polls about all set and the wires practically all strung. Just as soon as he wires a few more buildings, the 'juice' will be turned on. Mr. Benson plans to have meters installed, so each person can use all the juice he wants and pay accordingly."⁴ By 1921, the town council had granted Benson rights as the exclusive franchise to provide Jackson with electricity. By the end of that year Jackson considered itself "a modern 'burg' ...since E.C. Benson has erected seven street lights on some of the principal street corners. They burn until 11:00 o'clock every night."⁵ Starting in 1920, Benson began advertising in the *Jackson's Hole Courier* as "a seller of electrical supplies." In February of 1921, Sylvia Benson was reported to have taken a trip back to Philadelphia for several months.

In 1923 Benson purchased the corner property on Center and Deloney streets for the company's headquarters. His home on Kelly Avenue served as the sole power generation source for Benson's operation until the late 1920s when Benson built a dam and power plant on Flat Creek. At some point before 1930 Benson also constructed the generator station to house diesel generators on the property on Kelly. In 1931, Benson incorporated the Jackson Hole Light and Power Company. Rural development loans that gave preferential funding to power cooperatives over private companies made it difficult for Jackson Hole Light and Power Company to remain competitive with cooperatives like Lower Valley Power and Light. Lower Valley eventually acquired Jackson Hole Light and Power in 1952.

Benson's first wife, Sylvia M. Benson, died and Benson subsequently married Parthenia Hansen (Cliff Hansen's elder sister). Parthenia's daughter, Edith Stinnett, lived in the house on Kelly until 1968 when she sold the property to Grace Brown. Grace Brown added a porch and kitchen on to the south side of the structure in 1977. The generators still remain in the sub-basement. The land surrounding the Brown's one acre was sold to the town in 1988 and converted to the public Miller Park.

Major Bibliographical References

Personal interview with Grace Brown, June 2009

Census of the United States, 1910, Gloucester County, NJ, Wenonah Precinct

Census of the United States, 1920, Montgomery County, PA, Lower Gwynedd Precinct

Census of the United States, 1930, Teton County, WY, Jackson Town

Jackson's Hole Courier, June 26, 1921

"Electric Lights Soon," *Jackson's Hole Courier*, December 9, 1920

Jackson's Hole Courier, August 8, 1917

Daugherty, John, *A Place Called Jackson Hole*, Moose, WY: Grand Teton Association, 1999

¹ *Jackson's Hole Courier*, August 8, 1917

² Ibid. June 3, 1920

³ Ibid. December 9, 1920

⁴ Ibid. January 30, 1921

⁵ Ibid. April 7, 1921

Date _____ **Smithsonian #** _____

8. Prehistoric/Historic Site Matrix (attach (8A) "Artifacts Associated with Prehistoric Component", (8B) "Features Associated with Prehistoric Component", (8C) "Artifacts Associated with Historic Component", (8D) "Features Associated with Historic Component" as appropriate).
Check boxes for "yes" as appropriate.

<u>COMPONENT</u>	<u>OCCURRENCE</u>		<u>CONTENTS</u>				
	Surface	Subsurface	Artifacts	Features	Rock Art	Building(s)/ Structure(s)	
PREHISTORIC							
Unknown Prehistoric	___	___	___	___	___		
Paleoindian	___	___	___	___	___		
Early Archaic	___	___	___	___	___		
Middle Archaic	___	___	___	___	___		
Late Archaic	___	___	___	___	___		
Archaic (general)	___	___	___	___	___		
Late Prehistoric	___	___	___	___	___		
PREHISTORIC PHASES (optional)							
Great Divide	___	___	___	___	___		
Green River/Opal	___	___	___	___	___		
Pine Spring	___	___	___	___	___		
Deadman Wash	___	___	___	___	___		
Uinta	___	___	___	___	___		
Firehole	___	___	___	___	___		
PROTOHISTORIC							
	___	___	___	___	___		
HISTORIC							
Unknown Historic	___	___	___	___	___	___	
Early Historic	___	___	___	___	___	___	
Pre-territorial	___	___	___	___	___	___	
Territorial	___	___	___	___	___	___	
Expansion	___	___	___	___	___	___	<u>X</u>
Depression	___	___	___	___	___	___	
WWII Era	___	___	___	___	___	___	
Post WWII	___	___	___	___	___	___	
Modern	___	___	___	___	___	___	

Periods of Significance – Protohistoric (1720-1800) Early Historic (1801-1842) Pre-territorial (1843-1867) Territorial (1868-1889);
Expansion (1890-1919) Depression (1920-1939) ; WWII-era (1940-1946); Post-WWII (1947-1955); Modern (1956-present)

Date _____ Smithsonian # _____



Benson/Brown Home, South Elevation Detail, Longfield 2009



Benson/Brown Home, South Elevation Detail, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

data entry, this page ____

Date _____ Smithsonian # _____



Benson/Brown Home, South Elevation, Longfield 2009



Benson/Brown Home, West and North Elevations, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

data entry, this page ____

Date _____ Smithsonian # _____



Benson/Brown Home, North Elevation Detail, Longfield 2009



Benson/Brown Home, East Elevation, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

data entry, this page ____

Date _____

Smithsonian # _____



Benson/Brown Generator Station, South Elevation, Longfield 2009



Benson/Brown Garage, South and West Elevations, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

data entry, this page ____



Caption

Ed Benson with pets, a dog and a cat. The first power station building is in the background.
false

Negative No
Public Access false
Original Object Format
Software Used to Acquire
Grayscale or Color (RGB)
Longitude 0 E

Restricted

Original Object Size

Equipment Used to Acquire

Settings And Resolution

Latitude 0 N

Azimuth 0

Details

Copyrights

Entered by Unknown
Entered 09/23/2008 1:00 PM

Last modified by Nora Haskell
Last modified 02/12/2021 11:36 AM

**Caption**

Work crew building pond,
on Benson's power plant,
view NW, ca. 1920

Negative No**Public Access**

false

Restricted**Original Object Size****Original Object
Format****Equipment Used to
Acquire****Software Used to
Acquire****Settings And
Resolution****Grayscale or Color
(RGB)****Latitude**

0 N

Longitude

0 E

Azimuth

0

Details**Copyrights****Entered by**

Unknown

Last modified by

Nora Haskell

Entered

02/26/2010 12:00 PM

Last modified

02/12/2021 11:49 AM



Caption

Ed Benson and dog and
cat on steps of cabin. In
doorway of town's first
power station. ca, 1920
false

Negative No

Public Access

false

**Original Object
Format**

**Software Used to
Acquire**

**Grayscale or Color
(RGB)**

Longitude

0 E

Restricted

Original Object Size

**Equipment Used to
Acquire**

**Settings And
Resolution**

Photographer



Date ca 1920

Description

Benson power plant on Flat Creek. became the home of Norris Brown at 445 E. Kelly Street .

Notes





Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: March 15, 2022

LETTER OF AUTHORIZATION NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual : Teton County, a duly organized county of the State of Wyoming

Being duly sworn, deposes and says that Teton County is the owner in fee of the premises located at:
Name of property owner as listed on deed

Address of Premises: 445 E Kelly Avenue

Legal Description: PT SE1/4NW1/4, SEC. 34, TWP. 41, RNG. 116.

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Jackson/Teton County Affordable Housing Department

Mailing address of Applicant/agent: PO Box 714 Jackson, WY 83001

Email address of Applicant/agent: kristi.malone@tetoncountywy.gov, ahnorton@tetoncountywy.gov

Phone Number of Applicant/agent: 307-732-0867

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

☒ Development/Subdivision Plat Permit Application ☒ Building Permit Application

☒ Public Right of Way Permit ☒ Grading and Erosion Control Permit ☐ Business License Application

☒ Demolition Permit ☒ Other (describe) Pre-application meetings, Admin Adjustments, Zoning Compliance Verification

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Natalia D Macker

Property Owner Signature

Natalia D. Macker, Chair, Teton County Board of Commissioners

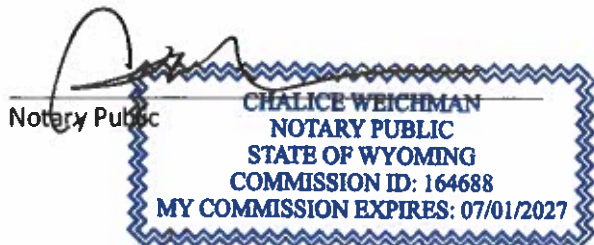
Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner), partnership or other non-individual Owner

ATTEST: Manner Mupley

STATE OF WYOMING)
) SS.
COUNTY OF TETON)



The foregoing instrument was acknowledged before me by NATALIA D. MACKER this 15th day of MARCH, 2022. WITNESS my hand and official seal.



My commission expires: 7-1-2027