



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers
- Utility Providers**
- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: November 27, 2024	REQUESTS:
Item #: P24-187	The applicant is submitting a request for a Pre-Application Conference to discuss the remodel and future use of the Benson Cabin at 495 E Kelly Avenue.
Planner: Tyler Valentine	PIDN: 22-41-16-34-2-91-019
Phone: 733-0440 ext. 1305	For questions, please call Tyler Valentine at 307-733-0440 x1305, or email the address shown to the left. Thank you.
Email: Tvalentine@jacksonwy.gov	
Owners: Teton County PO Box 1727 JACKSON, WY 83001	
Applicant: Jackson/Teton County Housing Dept. PO Box 714 Jackson, WY 83001	
Please respond by: December 18, 2024 (with Comments)	

Owners:

Teton County
PO Box 1727
JACKSON, WY 83001

Applicant:

Jackson/Teton County Housing Dept.
PO Box 714
Jackson, WY 83001

RESPONSE: For Departments not using SmartGov, please send responses via email to:
planning@jacksonwy.gov



Jackson/Teton County Affordable Housing Department

Kristi Malone

Housing Supply Specialist

kristi.malone@tetoncountywy.gov

P: 307.732.8571

November 21, 2024

RE: Optional Pre-Application Conference Request for the Historic Benson Cabin at 495 E Kelly Avenue

Dear Planning Staff,

Please accept this request for an optional Pre-Application conference to discuss future use and remodeling of the historic Benson home adjacent to the Parkside Affordable Housing development and Mike Yokel Park. We are interested in exploring regulatorily compliant options for future use of this historic landmark that both celebrates its preservation and serves as a useful community resource. We look forward to meeting with you soon, would love to meet on site if possible, and would appreciate if representative staff from the Building, Engineering, and Fire/Electrical Departments also attend.

Attachments to this letter include:

1. Application Form
2. Conceptual Site Plan: As this is an optional pre-application meeting, we do not yet have a proposed site plan that includes site-wide improvements. The attached site plan overlays a plan from the 2022 Building Permit for cabin relocation (black lines) with the 2024 plat (blue lines) for purposes of orienting discussion.
3. Narrative Project Description
4. Letter of Authorization
5. Other Pertinent information:
 - a. 2022 Building Permit plan set
 - b. Historic Documentation

Thank you,

Kristi Malone

Kristi Malone



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

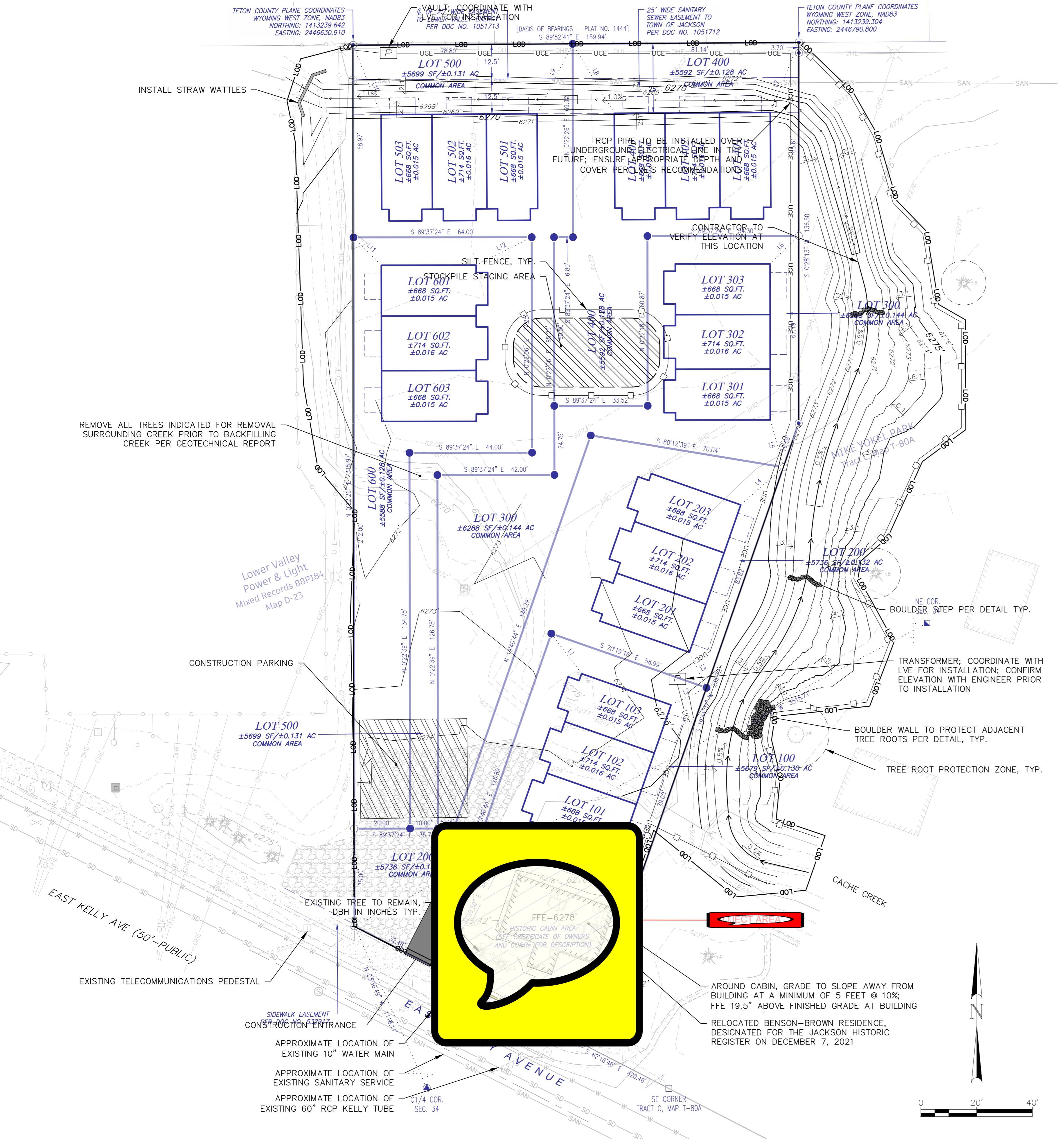
Kristi Malone

Signature of Owner or Authorized Applicant/Agent

Name Printed

Date

Title



UTILITIES NOTES

- 1. ENSURE VAULT AND TRANSFORMER HAVE CAPACITY FOR SECOND PHASE OF PROJECT WHICH INCLUDES SIX THREE-UNIT TOWNHOMES. TRANSFORMER WILL LIKELY SERVE THREE TOWNHOMES.
- 2. NO WATER OR SEWER SERVICE IS BEING PROVIDED TO THE RELOCATED CABIN.

CONSULTANTS Y2 CONSULTANTS ENGINEERING, SURVEYING & PLANNING LANDSCAPE ARCHITECTURE: SIS NATURAL RESOURCE SERVICES		DATE 12/28/21 1/14/2022	DRAWING SET TITLE GEC PERMIT REVISION
		JOB #: 20283	
		Professional Engineer Kaitlyn Gressley 16534 WYOMING 1/14/2022	
		445 EAST KELLY AVENUE JACKSON, WYOMING 83001	
		GRADING & UTILITY PLAN	
		C4.1	



Narrative Project Description

Existing property conditions (buildings, uses, natural resources, etc):

The historic cabin was constructed in 1920 and served as the hydropower production site of Jackson's first commercially available electricity. When the site was purchased by Teton County for Affordable housing development in partnership with Habitat for Humanity, the community invested in relocating the cabin to a more visually prominent location on the site, removing additions made to the home in the 1960s and 1970s, and making some structural repairs. The building currently resides on a designated area of Lot 100 distinguished from the surrounding common area for the new Parkside townhomes. Current use of the cabin is limited to storage/shed and is not permitted for occupancy. No electricity, water or sewer infrastructure serves the cabin currently but interior floor plan components from prior residential use remain. Permits for previous work include:

- Administrative Adjustment to Setbacks (P21-327): reduced street setback from 20' to 15' and east side setback from 10' to 5' since the cabin is a registered historic resource
- Demo Permit (B21-0905) to remove cabin from location
- Building Permit (B22-0081) for relocation on-site to new foundation and basic structural improvements

Character and magnitude of proposed physical development or use:

The physical location of the cabin is not proposed to change. Site improvements for consideration include the addition of landscaping, parking as required, and electrical, water and sewer connections. The extent of remodeling to the interior of the cabin is dependent on defining a future use. As a registered historic resource, the cabin may use applicable incentives for historic preservation listed in LDR Sec. 5.9.6. Per this section, "residential unit(s) that is a Registered Historic Resource structure, or that is contained within such a structure, shall not count as a dwelling unit for the purpose of maximum density limitations." Uses allowed in the NL-5 zone under consideration are detached dwelling unit or assembly. Acknowledging that Daycare is not currently an allowed primary use in the NL-5 zone, we still would like to better understand any significant differences in Building Code that would be required for a Daycare compared to other typical non-residential uses.



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: March 15, 2022

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual : Teton County, a duly organized county of the State of Wyoming

Being duly sworn, deposes and says that Teton County is the owner in fee of the premises located at:
Name of property owner as listed on deed

Address of Premises: 445 E Kelly Avenue

Legal Description: PT SE1/4NW1/4, SEC. 34, TWP. 41, RNG. 116.

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Jackson/Teton County Affordable Housing Department

Mailing address of Applicant/agent: PO Box 714 Jackson, WY 83001

Email address of Applicant/agent: kristi.malone@tetoncountywy.gov, ahnorton@tetoncountywy.gov

Phone Number of Applicant/agent: 307-732-0867

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

Demolition Permit Other (describe) Pre-application meetings, Admin Adjustments, Zoning Compliance Verification

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Natalia D. Macker, Chair, Teton County Board of Commissioners

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

ATTEST: Natalia D. Macker

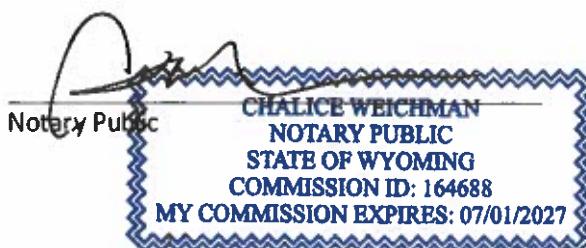
STATE OF WYOMING)

) SS.

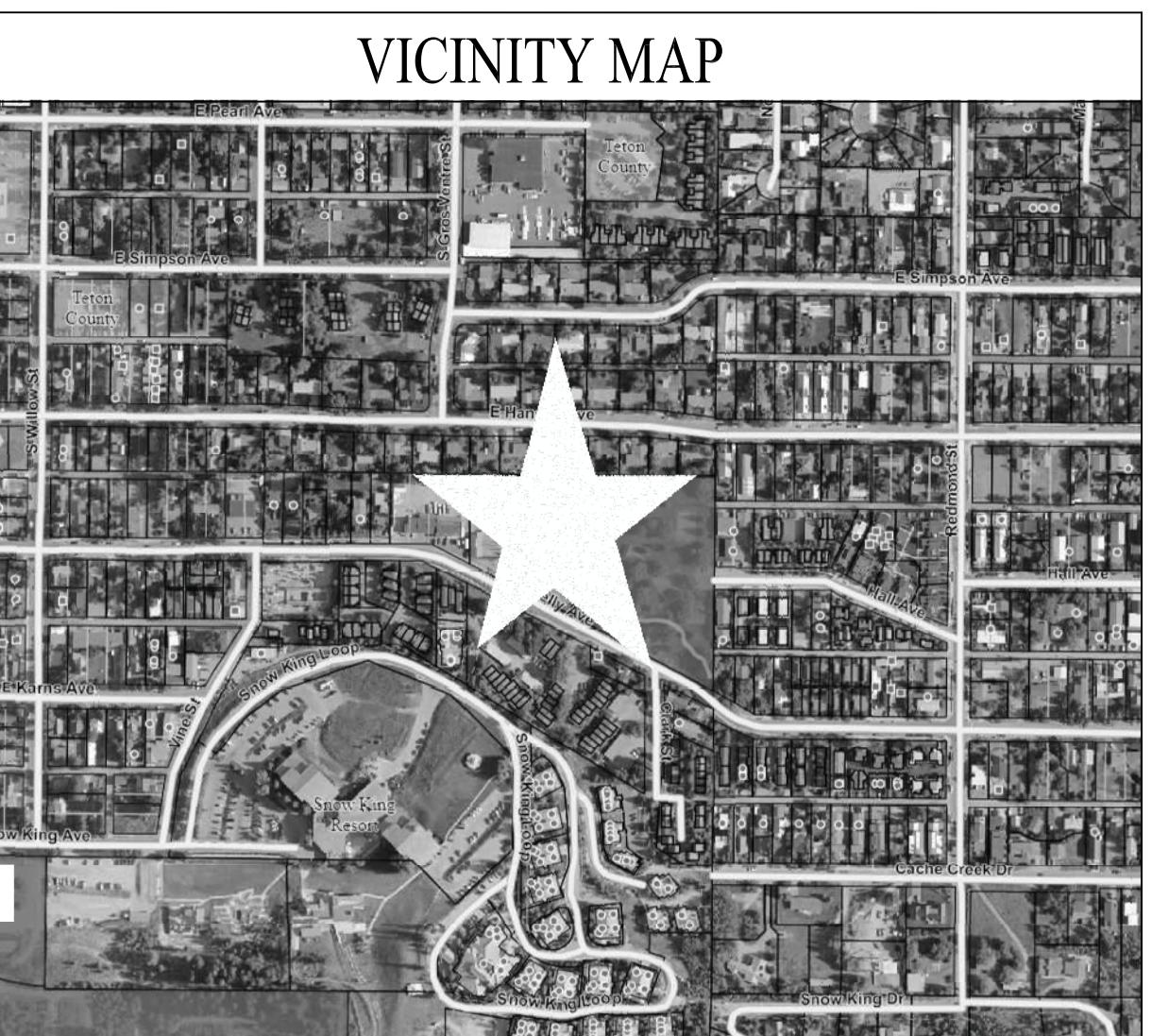
COUNTY OF TETON)



The foregoing instrument was acknowledged before me by NATALIA D. MACKER this 15th day of MARCH, 2022. WITNESS my hand and official seal.



My commission expires: 7-1-2027



SITE PLAN

ADON MITIGATION PER TOWN OF JACKSON

ABBREVIATIONS

AB	ANCHOR BOLTS	FLR.	FLOOR	P.S.F.	POUNDS PER SQ. FOOT
A.F.F.	ABOVE FINISHED FLOOR	FLUR.	FLUORESCENT	P.S.I.	POUNDS PER SQ. INCH
AC.	ACOUSTICAL	FTG.	FOOTING	P.T.	PRESSURE TREATED
ADJ.	ADJACENT	F.B.O.	FURNISHED BY OTHERS	R.	RADIUS
A/C	AIR CONDITIONING	GA.	GAUGE	REF.	REFERENCE
ALT.	ALTERNATE	G.C.	GENERAL CONTRACTOR	REQ'D	REQUIRED
ALUM.	ALUMINUM	GYP. BD.	GYPSUM BOARD	REINF.	REINFORCE (ING) (MENT)
APPD.	APPROVED	G.F.I.	GROUND FAULT INTERRUPTED	R.O.	ROUGH OPENING
B.O.	BOTTOM OF	HVAC	HEATING/ VENT/ AIR COND.	R.D.	ROOF DRAIN
BSMT.	BASEMENT	H.C.	HOLLOW CORE	RS	ROUGH SAWN
BRG.	BEARING	H.M.	HOLLOW METAL	SIM.	SIMILAR
BLK	BLOCK	HR.	OUR	S.C.	SOLID CORE
BLKG.	BLOCKING	INCL.	INCLUDE (D) (ING)	SPEC.	SPECIFICATION (S)
BD.	BOARD	INSUL.	INSULATE (D) (ION)	SPKR.	SPEAKER
BLDG.	BUILDING	INT.	INTERIOR	SQ.	SQUARE
C.J.	CONTROL JOINT	JT.	JOINT	SYS.	SYSTEM
CLG.	CEILING	MPR.	MANUFACTURER	THK	THICK (NESS)
CLR.	CLEAR (ANCE)	MTL.	METAL	T&G	TONGUE & GROOVE
COL.	COLUMN	M.O.	MASONRY OPENING	T.O.S.	TOP OF STEEL
CONC.	CONCRETE	MAX.	MAXIMUM	T.O.W.	TOP OF WALL
CMU	CONCRETE MASONRY UNIT	MECH.	MECHANICAL	TPL	TRIPLE
CONST.	CONSTRUCTION	MED.	MEDIUM	TYP.	TYPICAL
DTL.	DETAIL	MM	MILLIMETER (S)	U.B.C.	UNIFORM BUILDING CODE
DWG.	DRAWING	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
(E)	EXISTING	NOM.	NOMINAL	V.C.T.	VINYL COMPOSITION TILE
EA.	EACH	(N)	NEW	V.L.T.	VAULTED CEILING
E.F.	EACH FACE	NO.	NUMBER	V.T.R.	VENT THROUGH ROOF
E.J.	EXPANSION JOINT	N.I.C.	NOT IN CONTRACT	V.B.	VAPOR BARRIER
ELEC.	ELECTRIC (AL)	N.T.S.	NOT TO SCALE	W.C.	WATER CLOSET
EQ.	EQUAL	O.C.	ON CENTER	W.P.	WATER PROOF (ING)
EXIST.	EXISTING	O.D.	OUTSIDE DIAMETER	W.W.F.	WELDED WIRE FABRIC
E.W.	EACH WAY	PVMT.	PAVEMENT	W.	WIDTH, WIDE
F.D.	FLOOR DRAIN	PL.	PLATE	W/	WITH
FIN.	FINISH	PLYWD.	PLYWOOD	W/ O	WITHOUT
		PVC	POLY VINYL CHLORIDE		

GENERAL NOTES

1. THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED BUILDING PERMITS AND AGENCY APPROVALS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EXECUTING WORK IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODES AND ALL OTHER AGENCY REGULATORS.
3. THE CONTRACTOR MUST INSPECT THE SITE BEFORE BEGINNING WORK AND IDENTIFY CONFLICTS OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
4. THE GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE DIMENSIONS AND CONDITIONS.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, MATERIALS SCHEDULES, ETC. WITHIN THE SCOPE OF THE PROJECT, AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
6. THE GENERAL CONTRACTOR MUST NOTIFY THE DESIGNER IMMEDIATELY OF CONDITIONS, WHICH REQUIRE DEVIATION FROM CONSTRUCTING THE WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
7. DO NOT SCALE DRAWINGS IN ORDER TO DETERMINE DIMENSIONS. WRITTEN DIMENSIONS GOVERN, AND LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DRAWINGS. WALLS AND PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE MEASURED FROM FACE OF STUD AS INDICATED. ALL COLUMNS ARE MEASURED FROM CENTERLINE. CONTRACTOR TO BE AWARE OF ALL N.T.S. (NOT TO SCALE) DIMENSIONS.
9. THE PRESENCE OF THE DESIGNER ON THE JOB SITE DOES NOT IMPLY APPROVAL OF THE WORK. THE GENERAL CONTRACTOR MUST CALL SPECIFIC ITEMS TO THE DESIGNER IF HE WISHES TO OBTAIN DESIGNER'S APPROVAL.
10. THE GENERAL CONTRACTOR MUST SUBMIT ALL PROPOSED SUBSTITUTIONS IN WRITING TO THE DESIGNER FOR APPROVAL WITH SUFFICIENT INFORMATION, SAMPLES, AND DIFFERENCE IN COST FOR EVALUATION. IF A REVISION OR SUBSTITUTION IS MADE TO IN ANY WAY ALTER THE WORK SO THAT IT DOES NOT CONFORM WITH THE CONTRACT DOCUMENTS WITHOUT THE DESIGNER'S WRITTEN APPROVAL, SUCH ACTION WILL RELIEVE THE DESIGNER OF ANY LIABILITY FOR THE RESULTING AESTHETIC EFFECT, SUBSEQUENT FAILURE, PROPERTY DAMAGE OR PERSONAL INJURY.
11. THE GENERAL CONTRACTOR MUST PERFORM HIGH QUALITY PROFESSIONAL WORK. THE WORK OF EACH TRADE MUST MEET OR EXCEED ALL QUALITY STANDARDS PUBLISHED BY THAT TRADE.
12. THE GENERAL CONTRACTOR MUST ARRANGE TO ACCOMMODATE "NOTE IN CONTRACT" WORK AND MUST REQUEST INSTRUCTIONS FROM THE DESIGNER BEFORE PROCEEDING.
13. THE GENERAL CONTRACTOR MUST TAKE CARE TO PROTECT NEWLY INSTALLED MATERIALS, FINISHES AND ASSEMBLIES.
14. THE GENERAL CONTRACTOR MUST HALT THE WORK AFFECTED WHEN NOTIFIED OF A PROPOSED CHANGE AND PROCEED ONLY AFTER RECEIVING INSTRUCTIONS FROM THE DESIGNER.
15. THE GENERAL CONTRACTOR MUST SUBMIT A DETAILED PROJECT SCHEDULE AT THE BEGINNING OF THE PROJECT. ANY SIGNIFICANT CHANGES WHICH WOULD ALTER THAT INITIAL SCHEDULE MUST BE DOCUMENTED IN A REVISED SCHEDULE.
16. THE GENERAL CONTRACTOR MUST PROVIDE ADEQUATE AND PROPER DRY STORAGE AND HANDLING OF ALL BUILDING MATERIALS, SUPPLIES, AND FINISHES IN ACCORDANCE WITH PRODUCT MANUFACTURERS RECOMMENDATIONS.
17. THE GENERAL CONTRACTOR MUST DETERMINE THAT ALL EQUIPMENT SPECIFIED WILL FIT THROUGH EXISTING DOORWAYS AND CORRIDORS BEFORE EQUIPMENT IS PURCHASED OR SCHEDULE THE INSTALLATION SEQUENCE TO AVOID CONFLICTS.
18. THE GENERAL CONTRACTOR MUST COMPLY WITH THE RULES OF THE SUBDIVISION AND THE COUNTY AND THE DIRECTIONS OF THE OWNERS FOR CONSTRUCTION FACILITIES, USE OF PREMISES, ACCESS TO THE PROJECT SITE, AND TRASH REMOVAL.
19. ALL MECHANICAL, ELECTRICAL, AND CIVIL ENGINEERING SERVICES AND SYSTEMS WILL BE SPECIFIED AND INSTALLED BY THE RESPECTIVE TRADES. ALL SYSTEMS SHALL BE DESIGNED WITH THE RESPECTIVE CODES.
20. EACH TRADE IS RESPONSIBLE FOR INSPECTION OF SERVICES AND TO ADVISE THE GENERAL CONTRACTOR, DESIGNER, AND OWNER AS TO CURRENT CONDITION, POSSIBLE PROBLEMS AND POTENTIAL SOLUTIONS WITH RESPECT TO THEIR TRADES.
21. THE CONTRACTOR SHALL VERIFY WITH THE DESIGNER THE SELECTION, FABRICATION, FINISH, AND INSTALLATION OF ALL INTERIOR FINISH ITEMS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:



ZONING INFORMATION

ING: NL-5 (ZONING TEXT AMENDMENT P21-093)
EET SETBACKS 20' 15' per admin adj P21-327
R SETBACK 10'
T SIDE SETBACK 10'
T SIDE SETBACK 5' (HISTORICAL DESIGNATION ALLOWS FOR
UCED DISTANCE)
HT OF STRUCTURE: EXISTING BUILDING FROM FINISH FLOOR TO TOP
ROOF 15'-2 1/4" + NEW GRADE TO FINISH FLOOR 1'-7 1/2" =
9 3/4"
E: V-B
CUPANCY CLASSIFICATION: BUSINESS (FUTURE OCCUPANCY TO BE
TERMINED AT A LATER DATE) **UTILITY - shed**
NKLERED: NO
RIES ABOVE GROUND PLANE: I
8IRC(see attached 1/17/22 letter from G&S Structural Eng
UND SNOW LOAD: 110 POUNDS PER SQUARE FOOT

IMPERVIOUS SURFACES INFORMATION

SQUARE FOOTAGE OF EXISTING ROOFED AREA: 852 SQ. FT. (EXISTING BUILDING TO BE MOVED TO NEW LOCATION)

SQUARE FOOTAGE OF PROPOSED ROOFED AREAS, INCLUDING COVERED PORCHES: 852 SQ. FT. (EXISTING BUILDING TO BE MOVED TO NEW LOCATION - SAME AS EXISTING ROOFED AREA - ONLY COUNTED ONCE)

PAVED, CONCRETE, OR UNPAVED DRIVEWAYS AND PARKING AREAS: 3,180 SQ. FT.

OTHER IMPERVIOUS SURFACES SUCH AS SOLID TERRACES AND PAVED SIDEWALKS: 0 SQ. FT.

TOTAL 4,032 SQ. FT.

GROSS SITE AREA: 47,044.8 SQ. FT.

NET SITE AREA: 47,044.8 SQ. FT.

LANDSCAPING PROVIDED ON SITE IS 0 SQ. FT. FOR THIS PHASE OF THE PROJECT

Reference to 2021 IBC)

HISTORIC DESIGNATION

ITEM P21-289, THE BENSON HOME AND ASSOCIATED TURBINE EQUIPMENT, LOCATED AT 445 E. KELLY AVENUE HAS BEEN DESIGNATED TO THE JACKSON HISTORIC REGISTER PER SEC. 8.5.7 IN THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS (LDR'S). THIS APPROVAL IS BASED ON THE HISTORICAL SURVEY AND OTHER INFORMATION PROVIDED IN THE APPLICANT'S SUBMITTAL (ON FILE), AS WELL AS THE RECOMMENDATION OF APPROVAL FROM THE TETON COUNTY HISTORIC PRESERVATION BOARD, PROVIDED AT ITS BOARD MEETING ON 14 DECEMBER 2021, WITH THE FOLLOWING CONDITIONS:

1. THE DESIGNATION INCLUDES BOTH THE ORIGINAL LOG BUILDING AND THE TURBINES.
2. BOTH THE ORIGINAL LOG BUILDING AND THE TURBINES OF THE BENSON RESIDENCE SHALL BE REHABILITATED IN THEIR NEW LOCATION ON-SITE IN ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR

REHABILITATION.

REFERENCED PROPERTY IS NOW ELIGIBLE FOR AND SUBJECT TO THE PROVISION IN THE TOWN'S HISTORIC
SOCIETY PROGRAM, INCLUDING: DIV.5.9 (PRESERVATION OF HISTORIC PROPERTIES); SEC. 5.8.1.B (HISTORIC
SOCIETY DESIGN GUIDELINES); SEC. 8.5.8 (CERTIFICATE OF APPROPRIATENESS - EXTERIOR ALTERATIONS); AND
8.5.9 (CERTIFICATE OF APPROPRIATENESS - REPOSITIONING AND RELOCATION) IN LDR'S.

SQUARE FOOTAGE INFORMATION

DOOR AREA FOR BUILDINGS	HABITABLE	HABITABLE BASEMENT	UNHABITABLE	UNHABITABLE BASEMENT	TOTAL
MAIN HOUSE	1,457 SQ. FT.	767 SQ. FT.			2,227 SQ. FT.
PROPOSED CHANGES	- 608 SQ. FT.	- 767 SQ. FT.			- 1,375 SQ. FT.
MAIN HOUSE	849 SQ. FT.				849 SQ. FT.

TOWN OF JACKSON
APPROVED FOR BUILDING CONSTRUCTION. ANY DEVIATIONS FROM
APPROVED PLANS
ARE SUBJECT TO PRIOR APPROVAL. APPROVAL OF THESE PLANS DOES NOT
RELIEVE
THE DESIGN PROFESSIONAL, GENERAL CONTRACTOR, OR
SUBCONTRACTORS OF
RESPONSIBILITY FOR COMPLIANCE WITH STATE AND LOCAL
CONSTRUCTION LAWS.
AN APPROVED SET OF THESE PLANS IS TO BE AVAILABLE ON THE JOB SITE
FOR USE
BY INSPECTORS. IF SUCH PLANS ARE NOT AVAILABLE ON SITE, ANY
INSPECTION MAY
BE CANCELLED AND A REINSPECTION CHARGE LEVIED PRIOR TO THE
INSPECTION
BEING PERFORMED.
PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS

DRAWING INDEX

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CO.2	NOTES
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C3.1	FINISH CONDITIONS
C4.1	GRADING & UTILITY PLAN
C5.1	CACHE CREEK PLAN & PROFILE
C5.2	CACHE CREEK PLAN & PROFILE
C6.1	CACHE CREEK CROSS SECTIONS
C6.2	CACHE CREEK CROSS SECTIONS
C7.1	DETAILS
C7.2	DETAILS
A1.1	EXISTING PLAN
A1.2	DEMOLITION PLAN
SI.1	STRUCTURAL NOTES
SI.2	FOUNDATION PLAN
SI.3	ROOF REINFORCEMENT
A2.1	PROPOSED PLAN

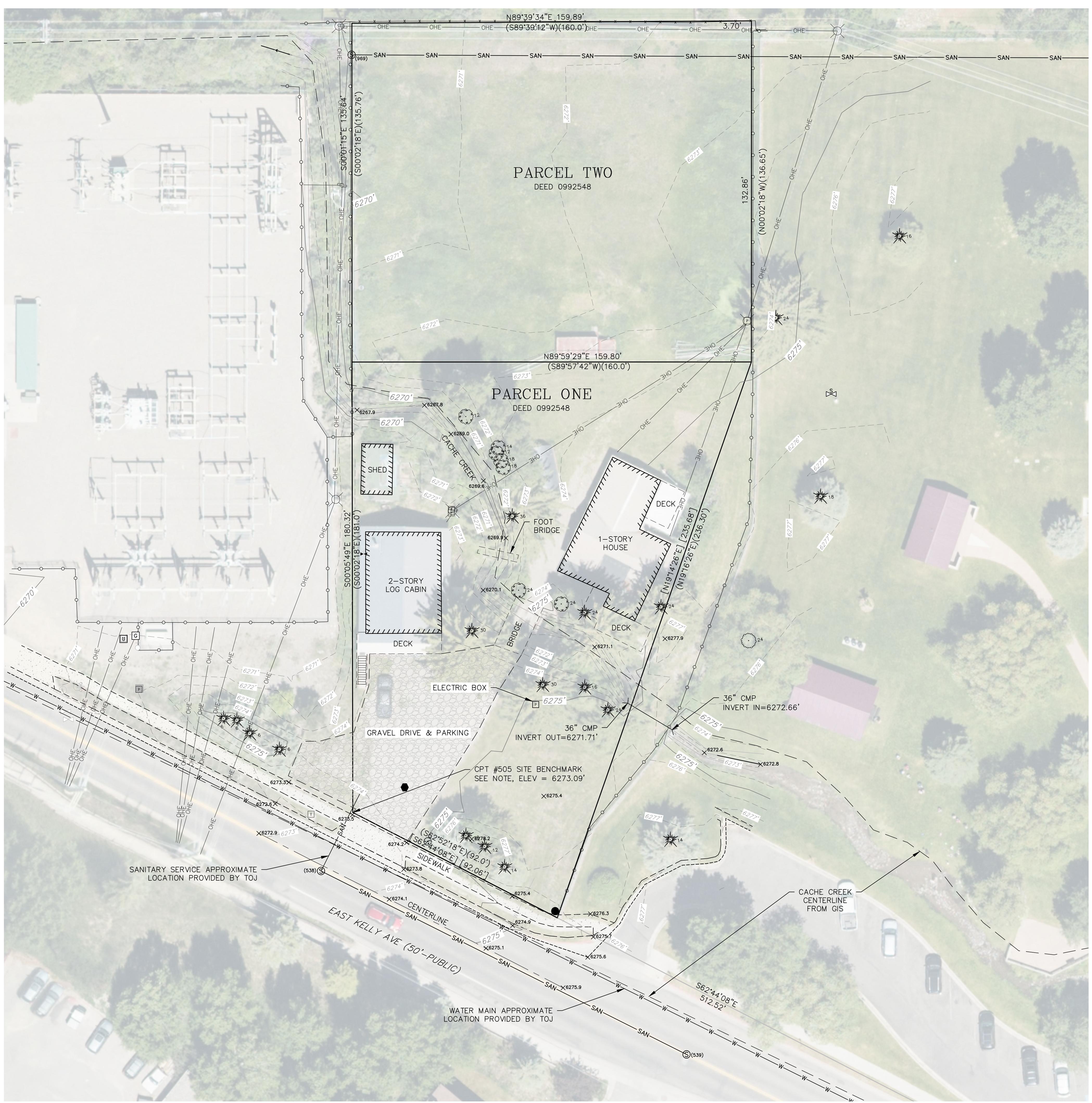
KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS
DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL
SERVICE ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT.
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR
ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR
SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

REVISIONS

50 of 50 pages | Page 1 of 1 | Last modified: 2024-01-18 10:45:00 | Page 1 of 1 | Last modified: 2024-01-18 10:45:00

A0.1



LEGEND

LEGEND

EXISTING (P) - PROPOSED

—————	(E) MAJOR CONTOUR
-----	(E) MINOR CONTOUR
—————	PROPERTY BOUNDARY
	(E) BUILDING
○————○————○————	(E) CHAINLINK FENCE
————————*————*	(E) WOOD FENCE
————→————→————	(E) DITCH FLOWLINE
-----	(E) EDGE OF CONCRETE
—————	(E) EDGE OF GRAVEL
-----	(E) EDGE OF PAVEMENT
-----	(E) TOP BACK CURB
————— ——————	(E) ROAD CENTERLINE
———— SAN———— SAN————	(E) SANITARY MAIN
———— W———— W———— W————	(E) WATER MAIN LOCATION FROM TOJ
———— OHE———— OHE————	(E) OVERHEAD ELECTRIC

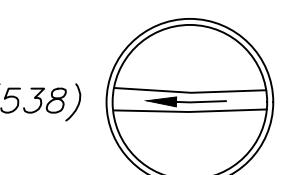
SURVEY NOTES

TOPO SURVEY BY:
JORGENSEN
1315 HWY 89 S SUITE #201
JACKSON, WY 83002
(307) 733-5150

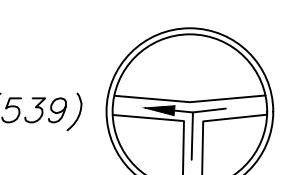
JORGENSEN NOTES:

1. THIS SURVEY WAS CONDUCTED IN OCTOBER 2020 AND PREPARED UNDER THE DIRECTION OF MATTHEW GOTHAM, WYOMING PLS 13002, AND DOES NOT INCLUDE AN ENGINEERING REVIEW.
2. LOCATIONS OF UTILITIES DEPICTED HEREON ARE LIMITED TO VISIBLE STRUCTURES; UNDERGROUND LOCATIONS WERE NOT MARKED DURING THIS SURVEY AND MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. ONLY MONUMENTS PERTINENT TO SUBJECT PROPERTIES (PARCELS ONE AND TWO, DEED 0992548) ARE DEPICTED.
4. ELEVATIONS WERE DERIVED USING GPS OBSERVATION METHODS AND REFERENCE NAVD29. SITE BENCHMARK ELEVATION IS 6273.09' AT THE SOUTHWEST PROPERTY CORNER.
5. RECORD DIMENSIONS SHOWN ARE FROM SAID DEED 0992548.
6. BASIS OF BEARING FOR THIS SURVEY IS A LOCALIZED GRID SYSTEM BASED ON JORGENSEN ASSOCIATES GPS NETWORK.

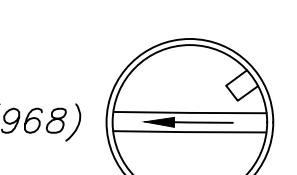
SANITARY SEWER MANHOLE DETAILS FROM SURVEY



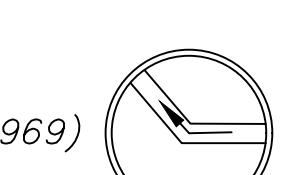
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Invert In Elevation=6262.66'
Invert Out Elevation=6262.56'
8" PVC



Rim Elevation=6276.87'
Invert (E) In Elevation=6269.87'
Invert (S) In Elevation=6269.97'
Invert Out Elevation=6269.77'
8" PVC



Rim Elevation=6277.22'
Invert (E) In Elevation=6260.52'
Invert Out Elevation=6260.47'



Rim Elevation=6270.10'
Invert In Elevation=6258.10'
Invert Out Elevation=6258.00'

LAST SAVED: 12/28/2021 10:47 AM BY: TYLERK PLOT BY: KATIE CREASEY
F:\2020\20263_445-East-Kelly\Civil\ACAD\20263_BASE-CIVIL-P.dwg

BROWN PROPER TETON COUNTY

BROWN PROPERTY AFFORDABLE HOUSING DEV

TETON COUNTY

445 EAST KELLY AVENUE

Y2 CONSULTANTS

DATE
12/28/21

ENGINEERING, SURVEYING & PLANNING

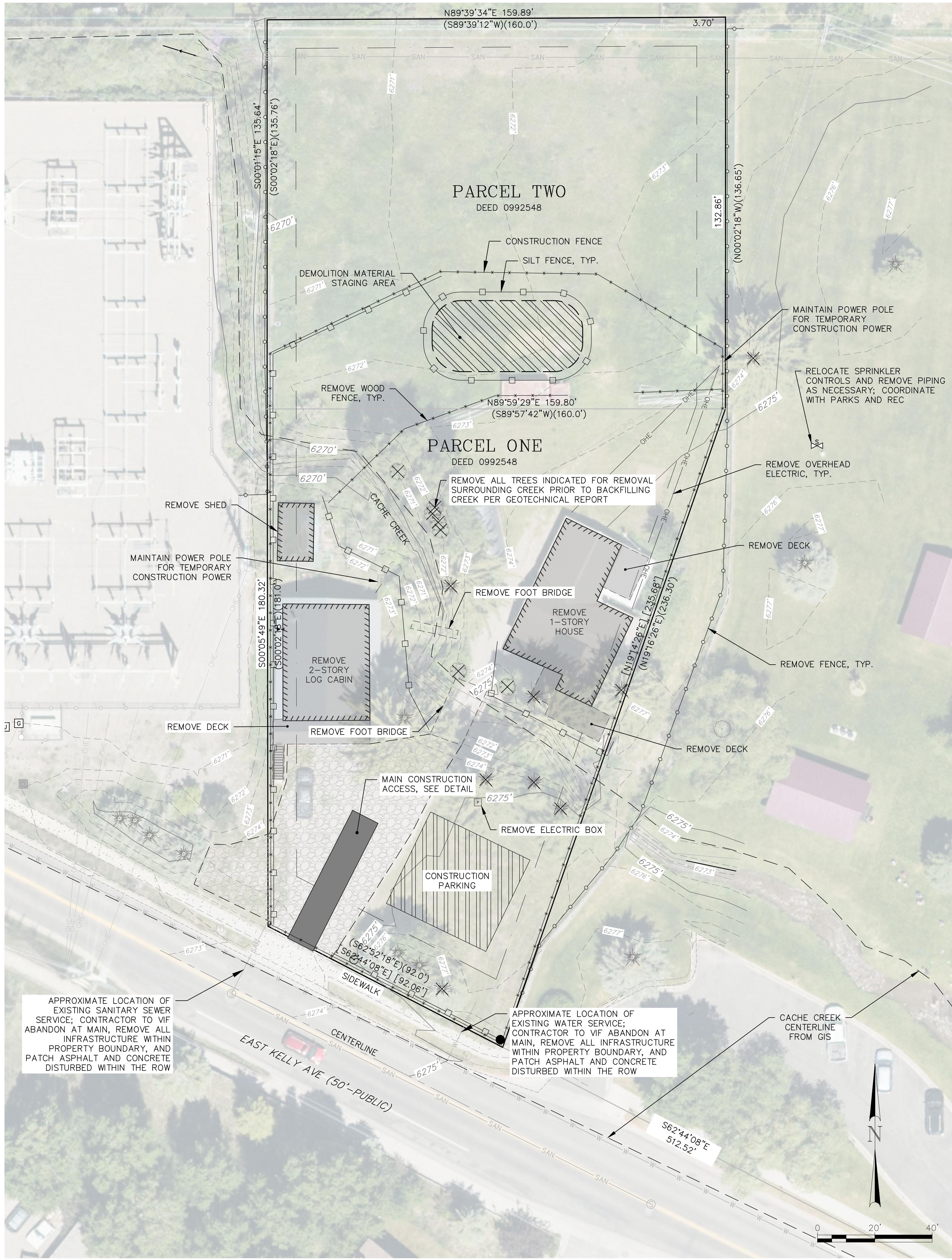
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES

307 733 2999
2consultants.com

A circular professional engineer stamp. The outer ring contains the text "Professional Engineer" at the top and "WYOMING" at the bottom. The center features a silhouette of a person standing next to a plumb line. The name "Kaitlyn Creassey" is written across the center, with "16534" written vertically to the right of the name. Below the silhouette, the word "Date" is written above the date "12/28/2021".

EXISTING CONDITIONS

C1.1



NOTES

1. FOUNDATIONS SHALL BE REMOVED AND BACKFILLED. GRADES SHALL BE FLUSH WITH EXISTING GRADE WITHOUT SLOPES STEEPER THAN 2:1.
2. BACKFILL MATERIAL SHOULD BE APPROVED BY GEOTECH ENGINEER; FUTURE BUILDINGS AND DRIVING SURFACES WILL BE BUILT WITHIN BACKFILL AREA.

REQUIREMENTS FOR DEMOLITION PERMIT

1. A DISCONNECT LETTER FROM LOWER VALLEY ENERGY AND/OR OTHER UTILITY SUPPLIERS STATING REMOVAL OF GAS METER(S), AND DISCONNECT OF ELECTRIC SERVICE, PHONE SERVICE AND CABLE SERVICE AS REQUIRED.
2. FOR COMMERCIAL PROJECTS OR RESIDENTIAL PROJECTS IN HIGH DENSITY DEVELOPMENTS, A PLAN FOR SECURING THE SITE AND PEDESTRIAN PROTECTION MAY BE REQUIRED. NOTIFICATION OF ADJACENT LANDOWNERS AND/OR RESIDENTS BY THE PARTY DEMOLISHING THE BUILDING MAY BE REQUIRED.
3. A LETTER FROM AN INDIVIDUAL QUALIFIED TO ASSESS THE PRESENCE OF POTENTIALLY TOXIC MATERIALS IN THE STRUCTURE BEING DEMOLISHED (I.E. LEAD BASED PAINTS, INSECTICIDES, OIL BASED PAINTS, ETC.), THEIR REMOVAL AND SITE OF DISPOSAL MAY BE REQUIRED.
4. TEMPORARY SANITARY FACILITIES SHALL BE PROVIDED FOR WORKMAN ON SITE.
5. AN APPROVED FIRE EXTINGUISHER SHALL BE AVAILABLE AT TIMES DURING DEMOLITION. PRIOR TO SHIPMENT TO A FINAL DISPOSAL AREA, ALL DEBRIS SHALL BE SORTED. FAILURE TO SORT DEBRIS WILL RESULT IN HIGHER DISPOSAL COST TO THE CONTRACTOR AND OWNER. NO ON-SITE BURNING OR BURYING OF DEBRIS IS PERMITTED.
6. RECYCLABLE ITEMS AND CERTAIN HAZARDOUS WASTE PRODUCTS MAY BE DISPOSED OF AT THE JACKSON COMMUNITY RECYCLING CENTER. CONTACT THE RECYCLING CENTER TO DETERMINE WHAT HAZARDOUS PRODUCTS ARE ACCEPTED AND WHEN.
7. FINISHED MATERIALS IN GOOD REPAIR, SUCH AS TOILETS, SHOWER AND TUB VALVES, KITCHEN SINKS, HARDWARE AND DOORS MAY BE DONATED TO THE HABITAT FOR HUMANITY RESALE OUTLET, RESTORE. CONTACT THE STORE ABOUT OTHER ITEMS THEY MAY NEED.
8. OTHER MATERIALS, SUCH AS DRYWALL, INSULATION, TREATED LUMBER, PLUMBING WASTE AND VENT MATERIALS, ETC., SHOULD GO TO THE COUNTY LANDFILL TO BE TRANSFERRED TO A DISPOSAL FACILITY.
9. PRIOR TO TRANSPORTING DEMOLITION WASTE TO THE TRASH TRANSFER STATION, CALL THE TETON COUNTY INTEGRATED SOLID WASTE AND RECYCLING (ISWR) 48 HOURS IN ADVANCE TO REQUEST A DROP-OFF. ISWR MAY REQUIRE A RECEIPT OF ASBESTOS ABATEMENT PAPERWORK FROM CONTRACTORS DELIVERING LARGE VOLUMES OF DEMOLITION WASTE. PLEASE CALL THE SCALE HOUSE, 733-7172, 48 HOURS IN ADVANCE TO SCHEDULE A DROP-OFF FOR ALL LOADS.

LEGEND

(E) - EXISTING	(P) - PROPOSED
—	(E) MAJOR CONTOUR
— — — —	(E) MINOR CONTOUR
—	PROPERTY BOUNDARY
\\\\\\\\\\\\\\\\	(E) BUILDING
○ —	(E) CHAINLINK FENCE
— * — *	(E) CONSTRUCTION FENCE
→ —	(E) DITCH FLOWLINE
— — — —	(E) EDGE OF CONCRETE
— — —	(E) EDGE OF GRAVEL
— — — — —	(E) EDGE OF PAVEMENT
— — — —	(E) TOP BACK CURB
— — — — —	(E) ROAD CENTERLINE
SAN —	(E) SANITARY MAIN
OHE —	(E) OVERHEAD ELECTRIC
—	AREA OF DEMOLITION
□ —	(P) SILT FENCING
\\\\\\\\\\\\\\\\	(P) CONSTRUCTION STAGING AREA
—	TREE TO BE REMOVED
—	TREE TO REMAIN

LAST SAVED: 12/28/2021 10:42 AM BY: TYLERK PLOT BY: KATIE CREESEY
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BROWN PROPERTY AFFORDABLE HOUSING DEV

TETON COUNTY

C2.1

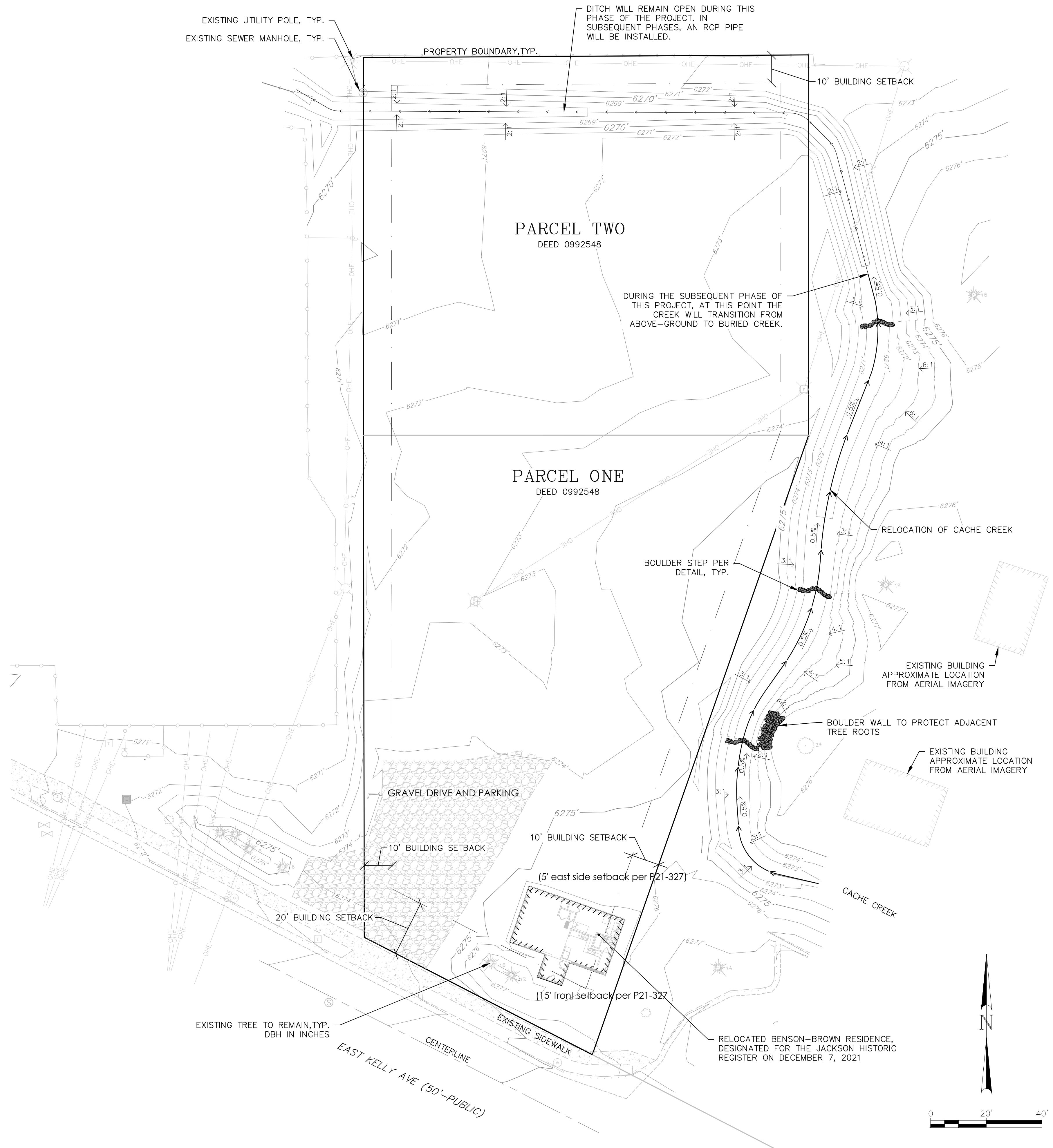
26

A circular professional engineer stamp. The outer ring contains the text "Professional Engineer" at the top and "WYOMING" at the bottom. The center of the stamp features a silhouette of a person standing on a map of Wyoming. The name "Kaitlyn Creasey" is written across the top of the map, and the number "16534" is written below it. The date "12/28/2021" is stamped at the bottom of the map silhouette. The word "Date" is printed above the date.

CONSULTANTS

ENGINEERING, SURVEYING & PLANNING

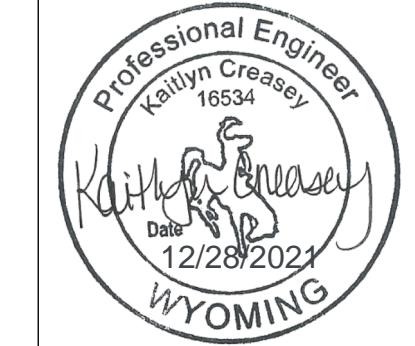
12/20/21
SEC FENMI



BROWN PROPERTY AFFORDABLE HOUSING DEV
TETON COUNTY
445 EAST KELLY AVENUE
JACKSON, WYOMING 83001

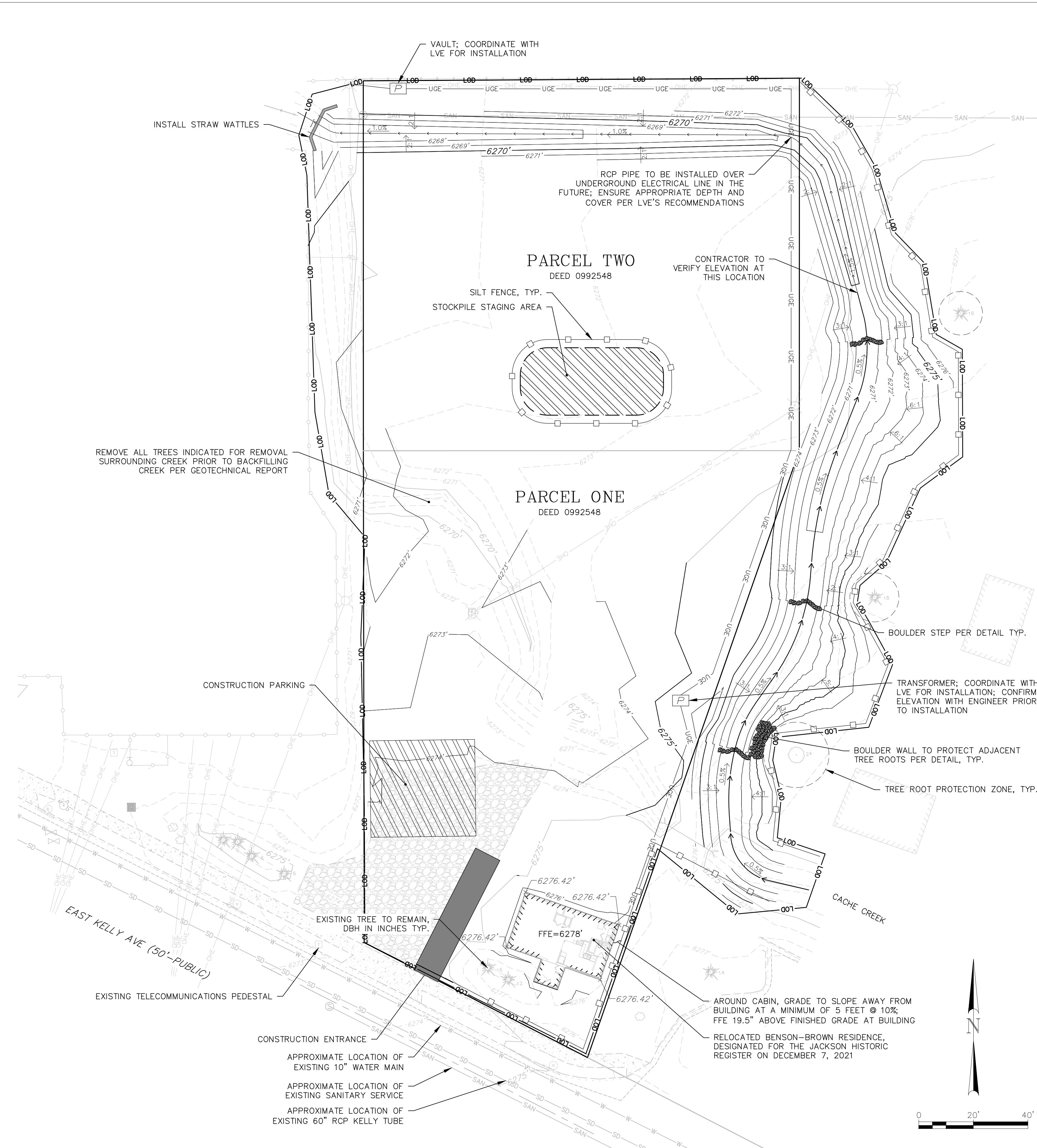
Y2 CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES

Y2
Y2consultants.com
307.733.2989



DRAWING SET TITLE
12/28/21
GEC PERMIT
DRAWN BY: TK
CHECKED BY: KC
JOB #: 20263

C3.1



UTILITIES NOTES

1. ENSURE VAULT AND TRANSFORMER HAVE CAPACITY FOR SECOND PHASE OF PROJECT WHICH INCLUDES SIX THREE-UNIT TOWNHOMES. TRANSFORMER WILL LIKELY SERVE THREE TOWNHOMES.
2. NO WATER OR SEWER SERVICE IS BEING PROVIDED TO THE RELOCATED CABIN.

Y2 CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES

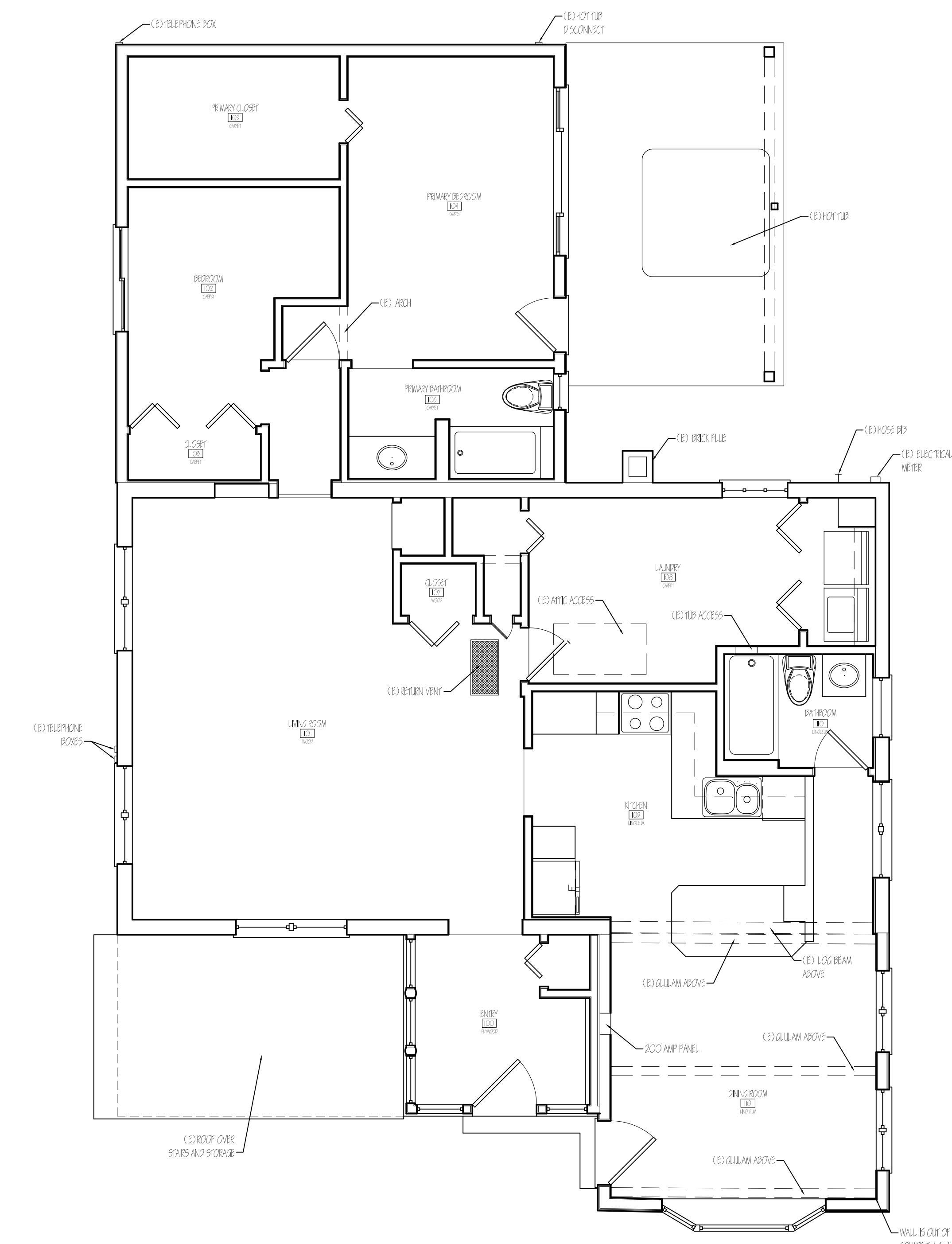


Professional Engineer
Katelyn Creasey
16534
Katelyn Creasey
DPS
1/14/2022
WYOMING

BROWN PROPERTY AFFORDABLE HOUSING DEV
TETON COUNTY
445 EAST KELLY AVENUE
JACKSON, WYOMING 83001

GRADING & UTILITY PLAN
C4.1

DRAWING SET TITLE
GEC PERMIT
REVISION
DATE
12/28/21
1/14/2022
DRAWN BY: TK
CHECKED BY: KC
JOB #: 20283



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1' -0"

TOWN OF JACKSON
APPROVED FOR BUILDING CONSTRUCTION. ANY DEVIATIONS FROM APPROVED PLANS
ARE SUBJECT TO PRIOR APPROVAL. APPROVAL OF THESE PLANS DOES NOT RELIEVE
THE DESIGN PROFESSIONAL, GENERAL CONTRACTOR, OR SUBCONTRACTORS OF
RESPONSIBILITY FOR COMPLIANCE WITH STATE AND LOCAL CONSTRUCTION LAWS.
AN APPROVED SET OF THESE PLANS IS TO BE AVAILABLE ON THE JOB SITE FOR USE
BY INSPECTORS. IF SUCH PLANS ARE NOT AVAILABLE ON SITE, ANY INSPECTION MAY
BE CANCELLED AND A REINSPECTION CHARGE LEVIED PRIOR TO THE INSPECTION
BEING PERFORMED.
PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS

PLAN NOTES

L MEASUREMENTS OFF OF LOG WALLS ARE TAKEN AS AN AVERAGE. LOGS VARY FROM 7" TO 9" IN DIAMETER, THE LOGS ARE HAND-Hewn THEREFORE THE SURFACE IS NOT CONSISTENT.
LOG BEAM VARY FROM 8" TO 9" IN DIAMETER AND HAVE A NATURAL TAPER FROM ONE END TO THE OTHER
THE ASSUMPTION OF 5/8" DRYWALL ON THE WALLS
NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.
DIMENSIONS ARE ONLY REPRESENTATIVE OF THE EXISTING BUILDING NOT TO BE USED FOR MEASUREMENTS - ALL DIMENSIONS NEED TO BE FIELD VERIFIED

ALL DIMENSIONS MUST BE FIELD VERIFIED

KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS
WINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL
CCE ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT.
E DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR
PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR
FIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

PROJECT NUMBER
BROWN RESIDENCE
445 EAST KELLY AVENUE
JACKSON, WY

REVISIONS

MOVE/BUILDING PERMIT



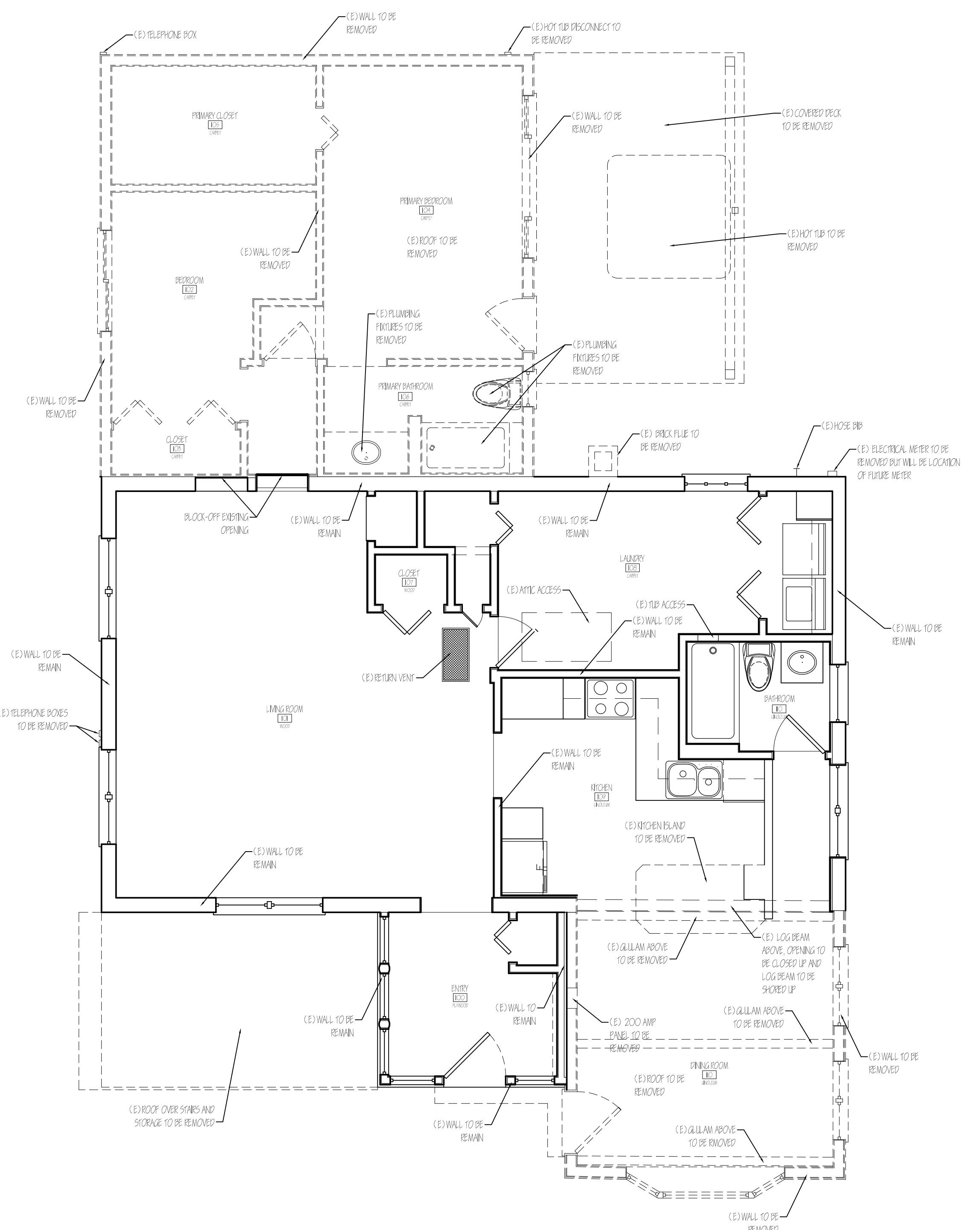
SHEET NAME
EXISTING FIRST
FLOOR PLAN

SCALE
1/4"=1'-0"

DATE
28 DECEMBER 2021

A1.1

TOWN OF JACKSON
APPROVED FOR BUILDING CONSTRUCTION. ANY DEVIATIONS FROM APPROVED PLANS
ARE SUBJECT TO PRIOR APPROVAL. APPROVAL OF THESE PLANS DOES NOT RELIEVE
THE DESIGN PROFESSIONAL, GENERAL CONTRACTOR, OR SUBCONTRACTORS OF
RESPONSIBILITY FOR COMPLIANCE WITH STATE AND LOCAL CONSTRUCTION LAWS.
AN APPROVED SET OF THESE PLANS IS TO BE AVAILABLE ON THE JOB SITE FOR USE
BY INSPECTORS. IF SUCH PLANS ARE NOT AVAILABLE ON SITE, ANY INSPECTION MAY
BE CANCELLED AND A REINSPECTION CHARGE LEVIED PRIOR TO THE INSPECTION
BEING PERFORMED.
PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS



DEMOLITION PLAN NOTES

- ALL MEASUREMENTS OFF OF LOG WALLS ARE TAKEN AS AN AVERAGE. LOGS VARY FROM 7" TO 9" IN DIAMETER. THE LOGS ARE HAND-HEWN THEREFORE THE SURFACE IS NOT CONSISTENT.
- LOG BEAM VARY FROM 8" TO 9" IN DIAMETER AND HAVE A NATURAL TAPER FROM ONE END TO THE OTHER END.
- THE ASSUMPTION OF 5/8" DRYWALL ON THE WALLS
- NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.
- PLANS ARE ONLY REPRESENTATIVE OF THE EXISTING BUILDING NOT TO BE USED FOR MEASUREMENTS - ALL DIMENSIONS NEED TO BE FIELD VERIFIED

KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS
GS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL
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PROJECT NUMBER
BROWN RESIDENCE
445 EAST KELLY AVENUE
JACKSON, WY

REVISIONS

MOVE/BUILDING PERMIT

1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



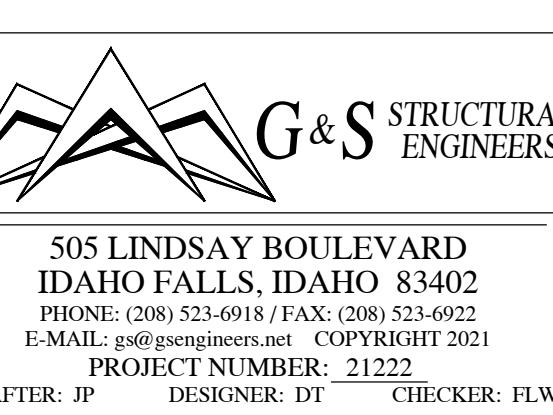
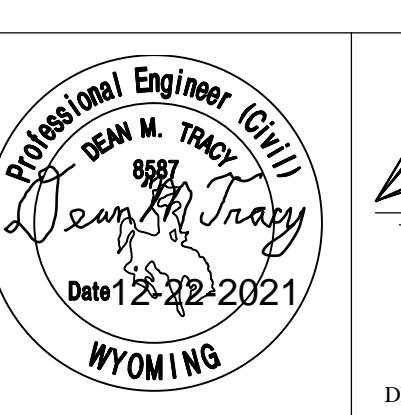
SHEET NAME
FIRST DEMOLITION
EVACUATION PLAN

FLOOR PLAN

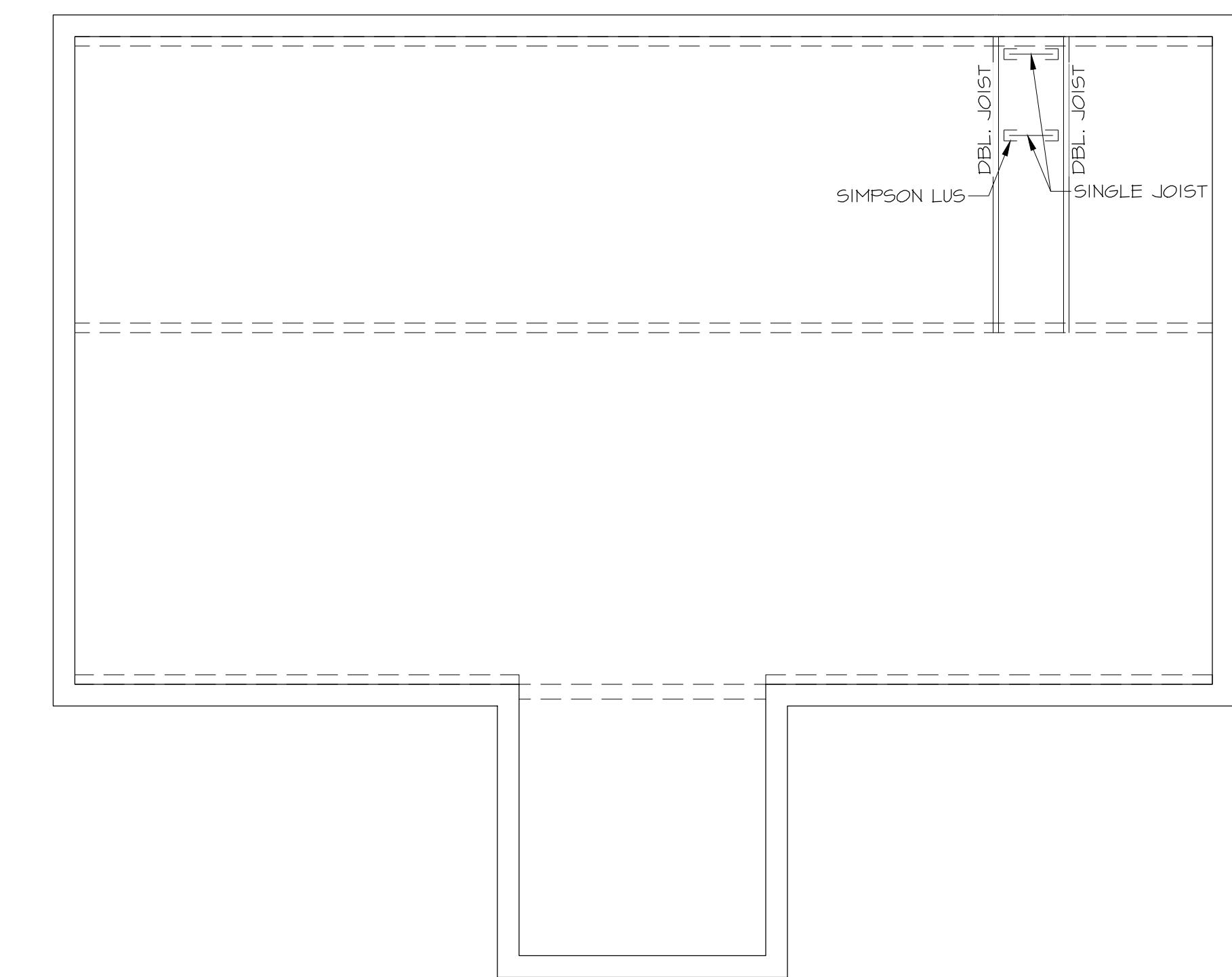
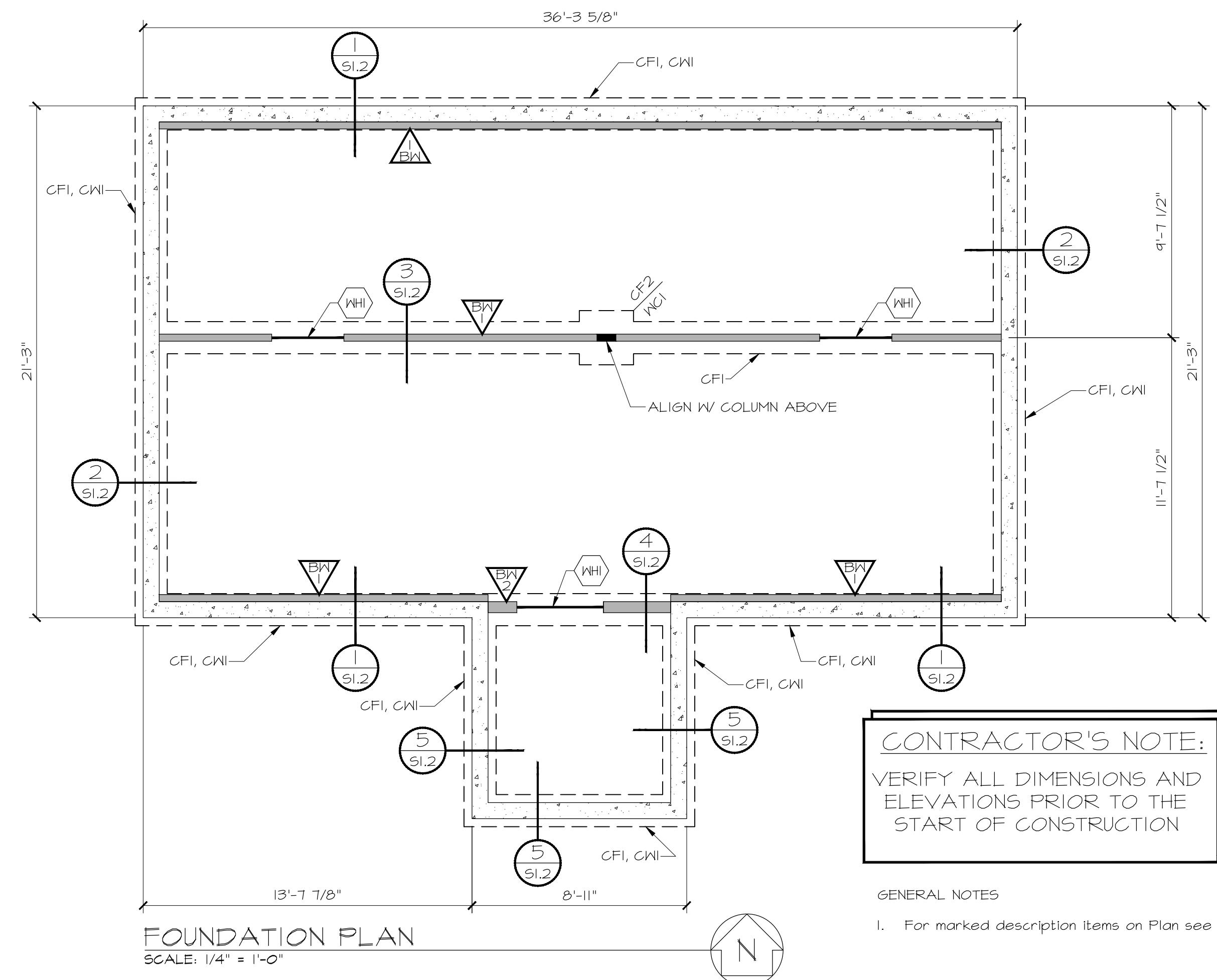
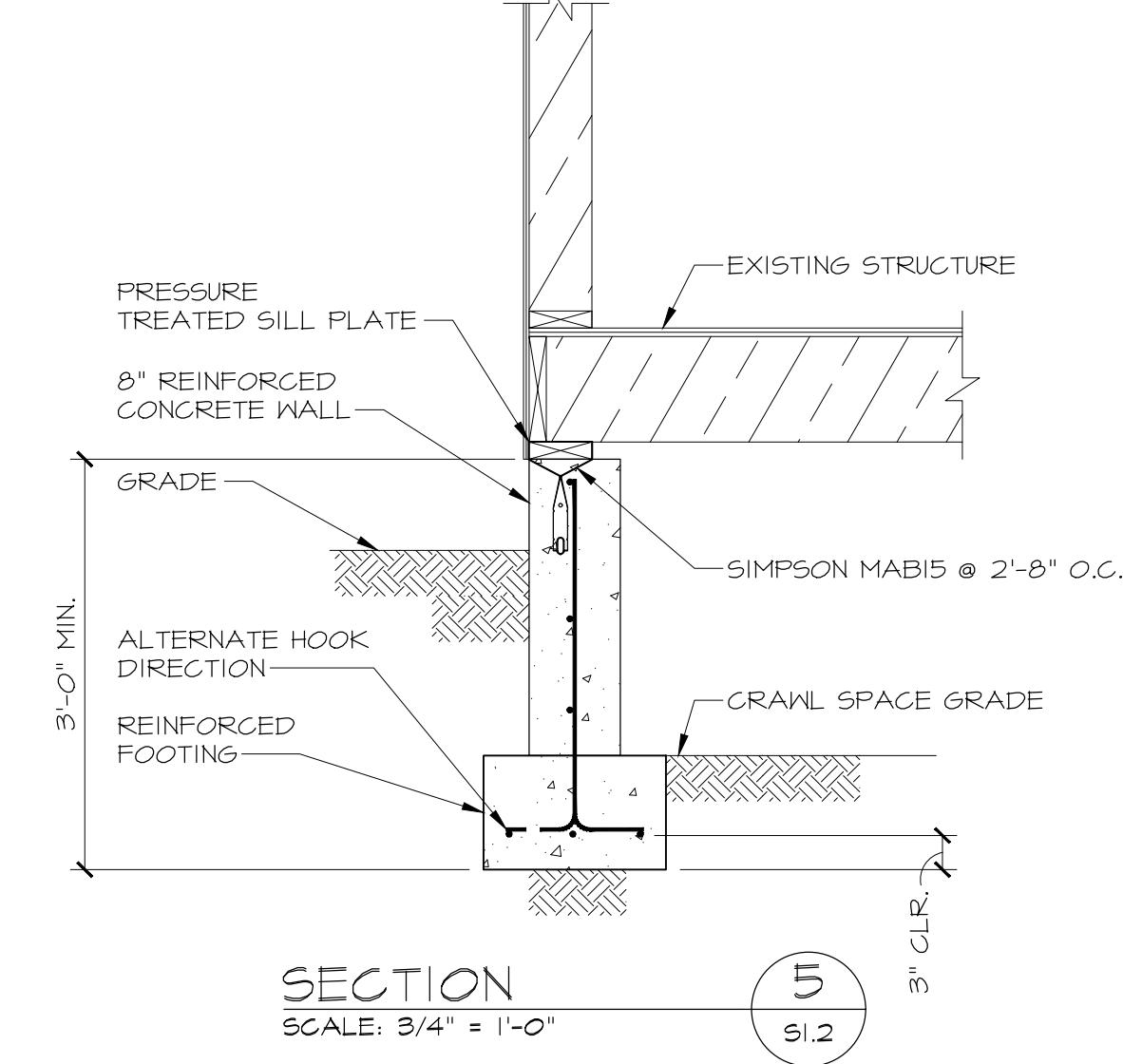
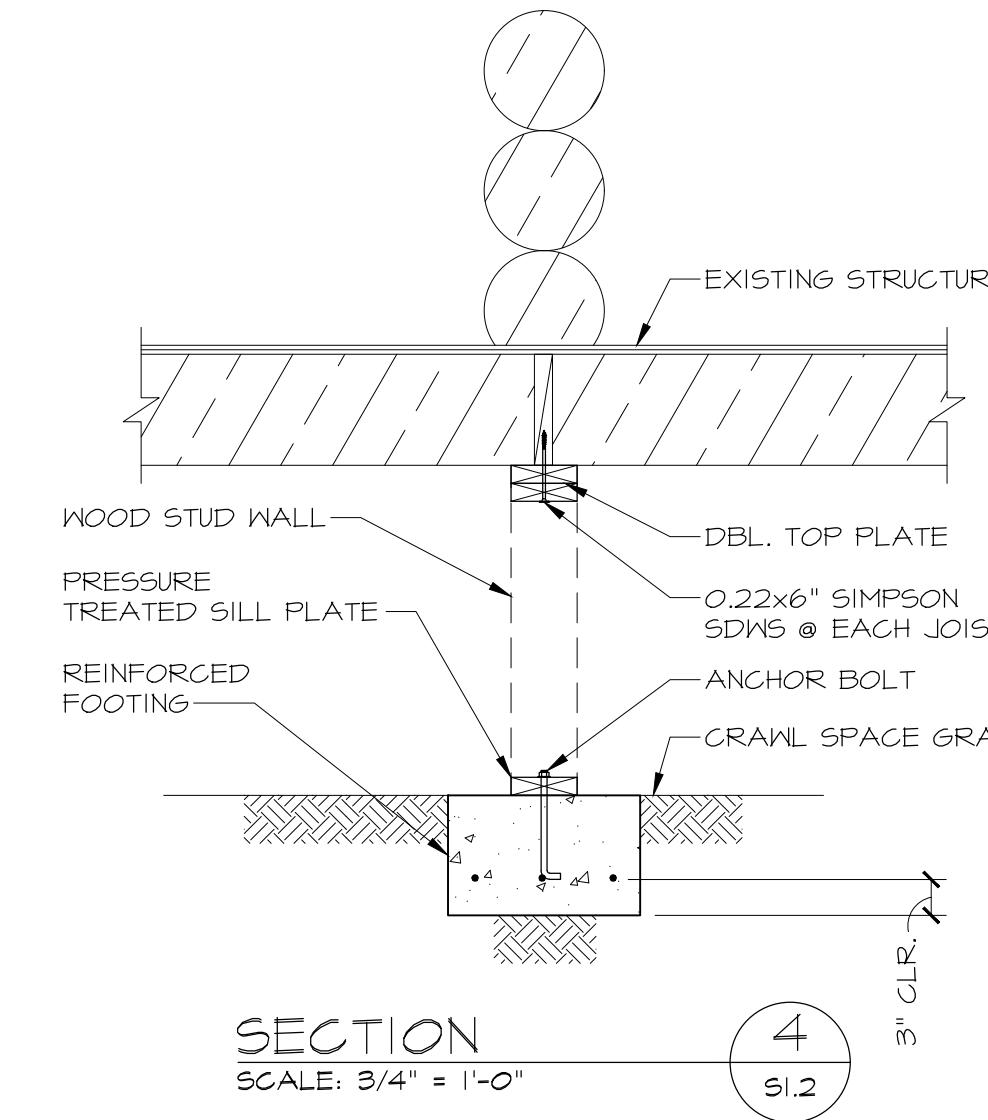
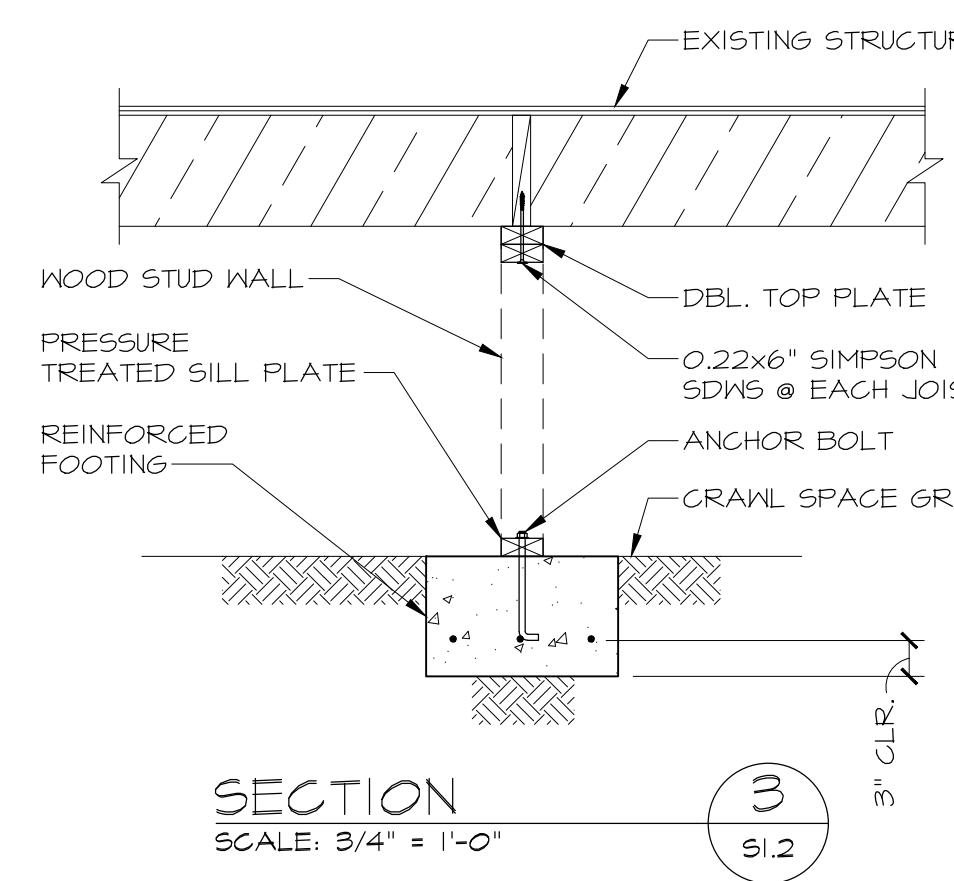
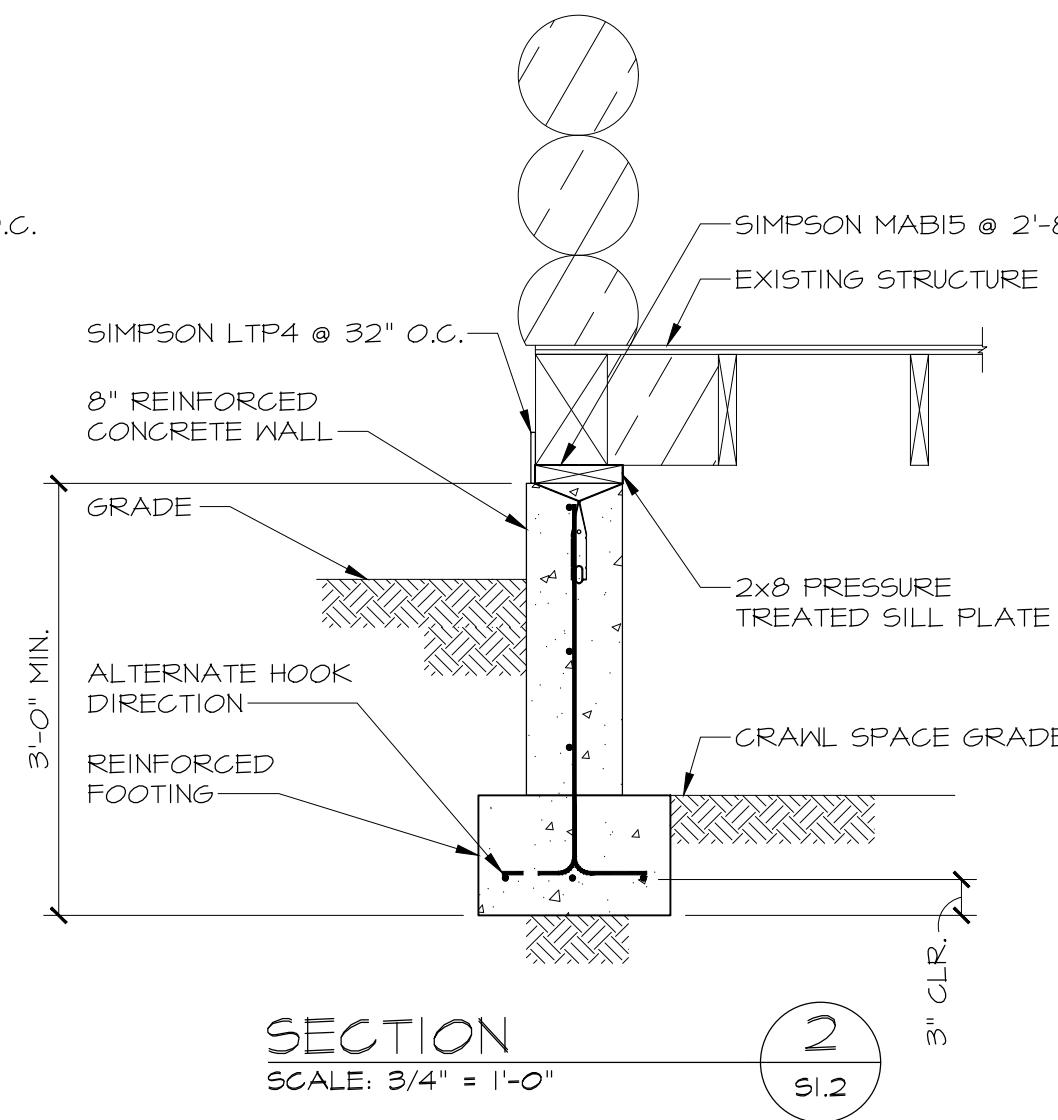
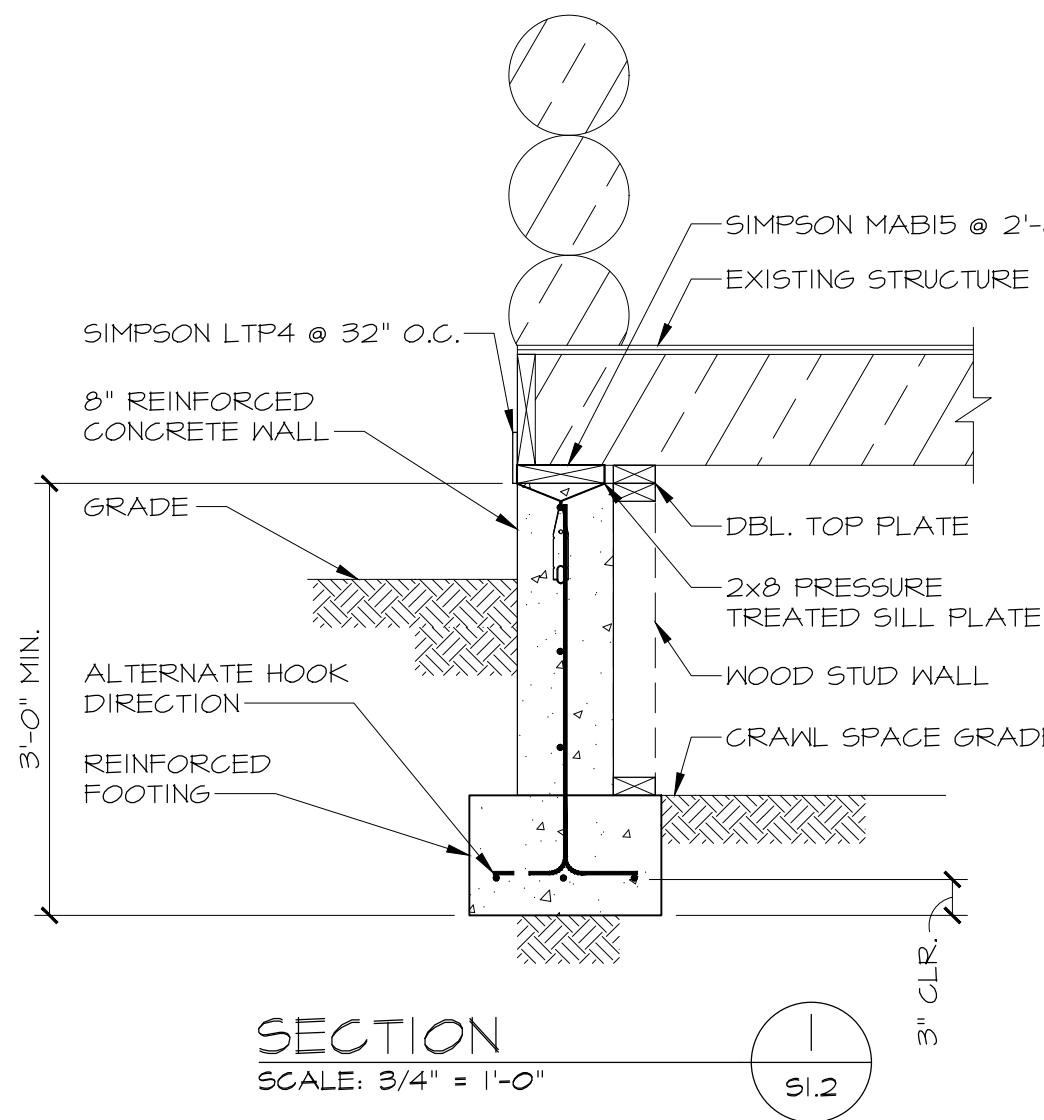
DATE

A1.

STRUCTURAL DRAWING NOTES									
BROWN FOUNDATION									
I. GENERAL APPLICATION									
A. These drawings must be used in conjunction with the architectural drawings to clearly define the requirements for construction.									
B. Do not scale drawings.									
C. In the opinion of the Contractor, any items that appear to be deficiencies, omissions, contradictions or ambiguities in the drawings, should be brought to the attention of the Architect and/or G&S Structural Engineers.									
II. CODES AND SPECIFICATIONS (see attached 1/17/22 letter from G&S Structural Engineers on adherence to 2021 IBC)									
A. International Building Code (IBC) - 2018 Edition									
III. DESIGN CRITERIA									
A. Wind 3 Second Gust Wind Speed = 115 MPH (Ultimate) 89 MPH (Nominal) Exposure = B Risk Category II Enclosure Classification = Enclosed Components and Cladding Pressure = 15 psf									
B. Seismic Ss = 121.8g Sps = 0.82g Sd = 36.5%g Spd = 0.47g Risk Category = II Ie = 1.00 Site Class = D Seismic Design Category = D R = 6.5 V = Cs K = 0.26K Light Frame Bearing Walls With Wood Shear Panel System Equivalent Lateral Force Analysis Method Percentage of snow used for design = 20%									
C. Live Loads per IBC Sec. 1607 Uniform (psf) 1. Ground snow: Pg 110 2. Roof a. Snow Load: Pf 75 i. Ie = 1.0 ii. Ce = 1.0 iii. Ct = 1.0 b. Live Load 20 3. Floors 40 4. Interior wall lateral pressure 5									
D. Dead Loads 1. Framing system Uniform (psf) 15 (Roof) 15 (All Floors)									
E. Design Assumptions 1. Soil bearing pressure used is 5000 psf for columns and wall footings as per the 445 E Kelly soils report, by Nelson Engineering dated 12/17/21. Any variation encountered, different from this report, shall be brought to the attention of G&S Structural Engineers before proceeding.									
F. Allowable Stresses (unless otherwise noted) 1. Concrete (Reference ACI 318-14, section 14.3-Concrete Durability Requirements) a. Footing (and interior foundation walls) i. Per ACI Table 14.3.1 - F0.50, N0.1 ii. Minimum F'c @ 28 days 3000 psi iii. W/C ratio 0.55 max iv. Slump limit 4 - 8 inches with verified max slump of 3" before admixtures, (+ 1") 3% (+ 1%) Total air content v. Air entrainment. b. Exterior/perimeter foundation walls i. Per ACI Table 14.3.1 - F1.50, N0.1 ii. Minimum F'c @ 28 days 3500 psi iii. W/C ratio 0.55 max iv. Slump limit 4 - 8 inches with verified max slump of 4" before admixtures, (+ 1") 6% (+ 1%) Total air content v. Air entrainment 2. Reinforcing steel a. Typical ASTM A615 Grade 60									
IV. SPECIAL INSPECTION A. The Owner or the Owner's Agent shall employ independent Special Inspector(s) to perform the following duties. Each Special Inspector shall submit qualifications showing competency to the Building Official for approval prior to specified duties. All special inspection is to comply with IBC Chapter 17. 1. Duties and Responsibilities of the Special Inspector a. The Special Inspector shall observe the work assigned to be certain it conforms to the approved contract drawings. b. The Special Inspector shall furnish inspection reports to the Building Official and to the Architect of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. 2. Concrete: a. No special inspection is required based upon the exceptions listed in IBC Section 1705.3. 3. Concrete and Masonry Anchors: a. Drilled in adhesive (epoxy) and mechanical anchors: i. Special inspection of drilled in anchors as per ICC Evaluation Services Report and/or as required by the building department. 4. Structural Backfill: a. Periodic inspection of backfilled soil under concrete footings per the compaction requirements in the Geotechnical Engineering Report or note E in Section V.									
V. GENERAL STRUCTURAL NOTES A. All footings shall bear on undisturbed soil or rock. The foundation shall bear on the same soil type throughout the entire structure. A minimum distance of 3'-0" shall be maintained from finished grade to the bottom of all concrete footings. B. Caution shall be taken not to undermine existing footings. C. Contractor shall verify all dimensions in the field; any variation from the drawings shall be brought to the attention of the Architect. Any proposed field changes shall have prior approval from the Architect. D. Adequate shoring and bracing of all structural members during construction shall be provided. E. Backfill under slabs and footings shall be with approved material. Unless noted otherwise in a Geotechnical Engineering Report place fill in 6" maximum loose lifts and compact to 95% maximum dry density in accordance with ASTM D1557.									
VI. CONCRETE A. Unless otherwise noted, all concrete is to be made with Portland Cement - ASTM C150 with a maximum aggregate size less than or equal to one inch. B. Concrete shall be of ready mix type conforming to ASTM C94. C. When the average daily temperature is expected to drop below 40° F for 3 or more successive days, the concrete shall comply with the Cold Weather Concreting Standard (ACI 306). Place no concrete against frozen earth. D. All vertical reinforcement in piers and walls shall be dowelled from the footing or structure below with rebar of the same size and spacing as required above. All footing dowels shall have at least 40 diameters embedment into concrete above and shall have a 6" hook in footing below unless specified otherwise. E. Provide corner bars at all intersecting corners. Use same bar size and spacing as horizontal wall reinforcement. Where longitudinal reinforcing bars join concrete columns the reinforcing shall run continuous through columns. Where continuous horizontal reinforcement terminates, use a 90° return or separate corner bar. F. Splices of reinforcement at points of maximum stress shall be avoided. All longitudinal reinforcement in beams and headers shall be continuous without splices between supports. Minimum overlap for lapped splices shall be as follows: #4 - 24"									
G. Reinforce all concrete walls as shown on the Concrete Wall Schedule. H. All exterior vertical concrete surfaces below finished grade, where in contact with earth, shall be protected with an asphaltic coating.									
I. No aluminum products shall be embedded in the concrete. J. All construction joints shall be located so as not to impair the strength of the structure. Unless noted on the drawings, all reinforcement shall be continuous through the joints. Each construction joint shall be keyed.									
VII. REINFORCING STEEL A. Welding or tack welding of reinforcing bars to other bars, plates, angles, etc. is prohibited unless ASTM A706 (weldable) rebar is utilized. B. All detailing, fabrication and placing of reinforcing bars shall conform to the ACI Manual of Standard Practice for Detailing Reinforcing Concrete Structures (ACI 315). C. Reinforcement shall be accurately placed as indicated on the drawings and adequately supported to prevent displacement before concrete or masonry grout is placed. D. The following minimum concrete cover for reinforcement shall be provided, unless otherwise noted. Cast against and permanently exposed to earth..... 3" Exposed to earth or weather - #5 and smaller... 1-1/2"									
VIII. TIMBER A. All wood and timber construction that is part of this project shall comply with the Timber Construction Manual of the AITC. Other members with equivalent size and strength can be substituted only if documentation is provided to substantiate capacity of new product. All wood framing members shall have a moisture content less than 19% unless otherwise noted. B. Notching of any structural member other than that shown on the drawings is prohibited. See Detail 2/51.1 for Allowable Penetration in Light Framed 2x Lumber. C. There shall be at least two nails at each contact point, with 8d thru 1" material, 16d thru 2" material and 40-60d thru 3" material. D. Wherever possible nails should be driven perpendicular to the grain instead of toe nailed. E. All wood materials in direct contact with concrete or masonry or within 6" of soil shall be pressure treated wood or wood of natural resistance to decay. When wood joists are located closer than 18" or wood beams are located closer than 12" to exposed soil, the wood framing shall be pressure treated wood or wood of natural resistance to decay. F. Where wood tends to split, holes for nails shall be bored a diameter smaller than that of the nails. G. All wood connection hardware shown on plans is based upon Simpson Strong Tie products. Equivalent hardware may be used upon approval of the Architect. All hangers are to match the width and depth of framing members with correct slope and skew where applicable. Fill all nail holes unless otherwise noted. All Simpson connectors in exterior applications or in contact with pressure treated wood shall have a corrosion resistant coating. The coating type shall be determined by referencing the "General Corrosion Information" website at www.strongtie.com/info and the "Corrosion Resistance Recommendations and Classifications" section.									
H. See the Nailing Schedule for the typical wood to wood fastening requirements of the structural components.									
NAILING SCHEDULE All nails in this schedule are based upon IBC Table 2304.10.1 and Truss Joist Specifier's guide. See the table or engineered "I" joist manufacturer for additional options and requirements. All fasteners exposed to weather or moisture and/or fasteners less than 1/2" driven into pressure treated lumber shall be stainless steel or galvanized. Other nails with proper revised spacing may be used with written approval of the engineer.									
CONNECTION FASTENING 2x Floor Joists to bearing plate 3-10d box (0.128" x 3") toenail 2x Rim Joist with 2x Floor Joists 4-10d box (0.128" x 3") end nail from rim to each joist & 10d box (0.128" x 3") toenail to plate below @ 6" o.c. 2x Roof Joists to top plate 4-10d box (0.128" x 3") toenail or 3-10d box (0.135" x 3.5") toenail Blocking between 2x joists 3-10d box (0.128" x 3") toenail to joist or truss & 10d box (0.128" x 3") toenail to plate below @ 6" o.c. Double Top Plates Lower plate to top of stud 2-16d common (0.162" x 3.5") end nails or 3-10d box (0.128" x 3") end nails Upper plate to lower plate-staggered 16d common (0.162" x 3.5") @ 16" o.c. or 10d box (0.128" x 3") @ 12" o.c. Upper plate to lower plate @ intersection 2-16d common (0.162" x 3.5") or 3-10d box (0.128" x 3") @ each side of splice Upper plate to lower plate @ splice point 8-16d common (0.162" x 3.5") or 12-10d box (0.128" x 3") @ each side of splice (Minimum lap: 4'-0" with 2'-0" each side of splice) 2x Built-up Headers 2x12 or less in depth 2 rows of 16d box (0.135" x 3.5") @ 12" o.c. @ each ply Continuous header to stud 4-10d box (0.128" x 3") toenail at each stud									
NOTCHING OF ROOF OR FLOOR JOIST L/3 L/3 L/3 d/3 d/3 d/3 d/4 MAX. d/4 MAX. d/4 MAX. NOTCHING OF ROOF OR FLOOR JOIST H/3 H/3 H/3 d/3 MAX. d/3 MAX. d/3 MAX. d/4 MAX. d/4 MAX. d/4 MAX. NOTCHING & HOLE BORING OF EX. OR BEARING WALL STUDS H/3 H/3 H/3 2" MIN. 2" MIN. 2" MIN. d/3 MAX. d/3 MAX. d/3 MAX. NOTCHING & HOLE BORING OF EX. OR BEARING WALL STUDS HOLE BORING OF ROOF OR FLOOR JOIST BEARING TYPE H/3 H/3 H/3 1/2" MIN. 1/2" MIN. 1/2" MIN. NOTCHING OF DOUBLE TOP PLATE DBL. TOP PLATE H/3 H/3 H/3 2-SIMPSON CS16 STEEL STRAPS (MIN.) WOOD STUD NOTCHING OF DOUBLE TOP PLATE H/3 H/3 H/3 16" MIN. 16" MIN. 16" MIN.									
SIZE SCHEDULE MEMBER d/3 d/4 d/6 2x4 1 1/8 1 1/8 5/8 2x6 1 3/4 1 3/8 7/8 2x8 2 3/8 1 3/4 1 1/8 2x10 3 2 1/4 1 1/2 2x12 3 5/8 2 3/4 1 1/8									
HOLES & NOTCHES IN BEAMS ARE NOT ALLOWED UNLESS OTHERWISE APPROVED IN WRITING BY ENGINEER									
ALLOWABLE PENETRATION IN LIGHT FRAMED 2x LUMBER 2									
WOOD WALL SCHEDULE (SEE FRAMING PLAN FOR SHEAR WALL HOLDOWNS) (SEE APPROPRIATE SECTIONS FOR BOTTOM PLATE NAILING OR BOLTING) MARK WALL STUDS (1) SILL PLATE (2) ANCHOR BOLTS (3) 3x3x.229 PLATE WASHERS (4) WALL BLOCKING (5) TOP PLATE (6) NAILING (7) APA RATED SHEATHING (8) EDGES (9) INTERMED. B1W 2x4 @ 16" O.C. 2x 1/2" O. C. @ 6'-0" O.C. 7" EMBED NO 2x4 @ 4'-0" O.C. 1/51.1 N/A N/A N/A B1W 2x6 @ 16" O.C. 2x 1/2" O. C. @ 6'-0" O.C. 7" EMBED NO 2x6 @ 4'-0" O.C. 1/51.1 N/A N/A N/A (1) USE NO. 2 DOUGLAS FIR. (2) USE PRESSURE TREATED WOOD WHEN IN CONTACT WITH CONCRETE. (3) USE A301 STEEL. DO NOT RECESS NUT AND WASHER INTO SILL PLATE. MINIMUM 2 ANCHOR BOLTS PER PIECE. LOCATE ANCHOR BOLTS 10" FROM EACH END OF PIECE. CONTRACTOR MAY USE SIMPSON TITEN HD ANCHORS OF THE SAME DIAMETER AND SPACING SPECIFIED. PROVIDE A MINIMUM EMBEDMENT OF 3 1/4" FOR 1/2" TITEN HD ANCHORS AND 3 3/4" FOR 5/8" TITEN HD ANCHORS. (4) USE A36 STEEL. DO NOT RECESS INTO SILL PLATE. IF PLATE WASHERS ARE NOT REQUIRED, USE STANDARD WASHERS. (5) AT BEARING WALLS (BW) ONLY. BLOCKING MAY BE ELIMINATED IF WALL SHEATHING IS APPLIED. (6) WHERE TOP PLATE IS CUT OR DISCONTINUOUS, STRAP ACROSS BREAK WITH SIMPSON MST37 STRAP. (7) SHEATHING BE PLYWOOD OR OSB. (VERTICAL OR HORIZONTAL ORIENTATION). PROVIDE BLOCKING AT ALL UNSUPPORTED PANEL EDGES FOR NAILING, INCLUDING PANEL EDGES ABOVE AND BELOW OPENINGS.									
TOWN OF JACKSON APPROVED FOR BUILDING CONSTRUCTION. ANY DEVIATION FROM THESE PLANS DOES NOT RELIEVE THE DESIGN PROFESSIONAL, GENERAL CONTRACTOR, OR SUBCONTRACTORS OF RESPONSIBILITY FOR COMPLIANCE WITH STATE AND LOCAL CONSTRUCTION LAWS. AN APPROVED SET OF THESE PLANS IS TO BE AVAILABLE ON THE JOB SITE FOR USE BY INSPECTORS. IF SUCH PLANS ARE NOT AVAILABLE ON SITE, ANY INSPECTION MAY BE CANCELLED AND A REINSPECTION CHARGE LEVIED PRIOR TO THE INSPECTION. PERMIT NO: B2-0081 DATE: 1/16/2022 BUILDING OFFICIAL: KS									
LEGEND MARK ON APPROVED PLANS BEARING WALL SCHEDULE DETAIL ARE SUBJECT TO PRIOR APPROVAL. APPROVAL OF THESE PLANS DOES NOT RELIEVE THE DESIGN PROFESSIONAL, GENERAL CONTRACTOR, OR SUBCONTRACTORS OF RESPONSIBILITY FOR COMPLIANCE WITH STATE AND LOCAL CONSTRUCTION LAWS. AN APPROVED SET OF THESE PLANS IS TO BE AVAILABLE ON THE JOB SITE FOR USE BY INSPECTORS. IF SUCH PLANS ARE NOT AVAILABLE ON SITE, ANY INSPECTION MAY BE CANCELLED AND A REINSPECTION CHARGE LEVIED PRIOR TO THE INSPECTION. PERMIT NO: B2-0081 DATE: 1/16/2022 BUILDING OFFICIAL: KS									
CONCRETE FOOTING SCHEDULE MARK DEPTH WIDTH LENGTH REINFORCEMENT CPI 10" 1'-4" CONT. 2- #4 CONT. - CF2 10" 2'-3" 2'-3" 3- #4 3- #4									
COLUMN SCHEDULE MARK COLUMN SIZE MATERIAL REMARKS WCI 4x10 NO. 2 DOUG. FIR PROVIDE SOLID BLOCKING BELOW WOOD COLUMNS @ FLOOR FRAMING TO ENSURE CONTINUOUS TRANSFER OF LOAD TO COLUMN OR FOUNDATION BELOW.									
CONCRETE WALL SCHEDULE MARK WIDTH TYPE REINFORCEMENT REMARKS CWI 8" A #4 @ 12" O.C. #4 @ 18" O.C. PLACEMENT TYPE HORIZ. REINF. WIDTH EQ. EQ. VERT. REINF. TYPE A									
WOOD HEADER SCHEDULE MARK HEADER SIZE MATERIAL CRISSPLE STUD REMARKS WHI 2- 2x8 NO. 2 DOUG. FIR 1- 2x6 NOTCHING & HOLE BORING OF EX. OR BEARING WALL STUDS WOOD HEADER 2x KING STUD @ OPENING GREATER THAN 6'-0" 2x CRISSPLE STUD 2x KING STUD ROUGH OPENING SEE ARCH. DWGS. 16d NAILS @ 12"									
KINSEY, LLC. P.O. BOX 12258 • 107 ELK RUN UNIT 60 JACKSON, WY 83001 PH #307.413.2485									
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PROJECT NUMBER: BROWN RESIDENCE 445 EAST KELLY AVENUE JACKSON, WY									
REVISIONS PERMIT SET 12/13/2021 CONSTRUCTION SET 12/22/2021									
SHEET NAME SHEET SCALE DATE 09 DECEMBER 2021 DRAFTER: JP DESIGNER: DT CHECKER: FLW									



505 LINDSAY BOULEVARD
IDAHO FALLS, IDAHO 83402
PHONE: (208) 523-6918 / FAX: (208) 523-6922
E-MAIL: gsgenginiers.net COPYRIGHT 2021
PROJECT NUMBER: 2122
DRAFTER: JP DESIGNER: DT CHECKER: FLW



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 PERMIT NO: B22-0081
 DATE: 1/16/2022
 BUILDING OFFICIAL: KS

KINSEY, LLC.
 P.O. BOX 12258 • 1070 ELK RUN UNIT 60
 JACKSON, WY 83002 PH # 307.413.2485

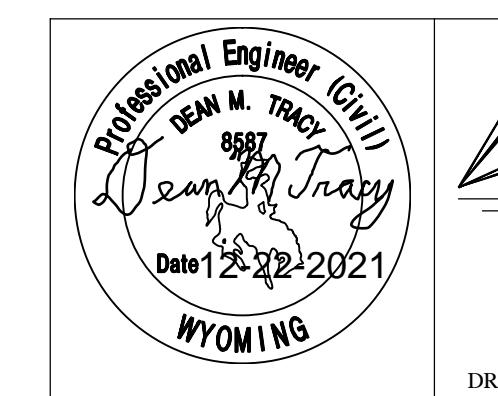
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PROJECT NUMBER
 BROWN RESIDENCE
 445 EAST KELLY AVENUE
 JACKSON, WY

REVISIONS

PERMIT SET 12/13/2021

CONSTRUCTION SET 12/22/2021

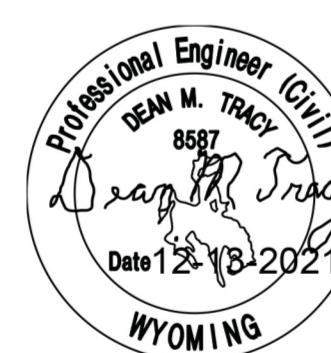
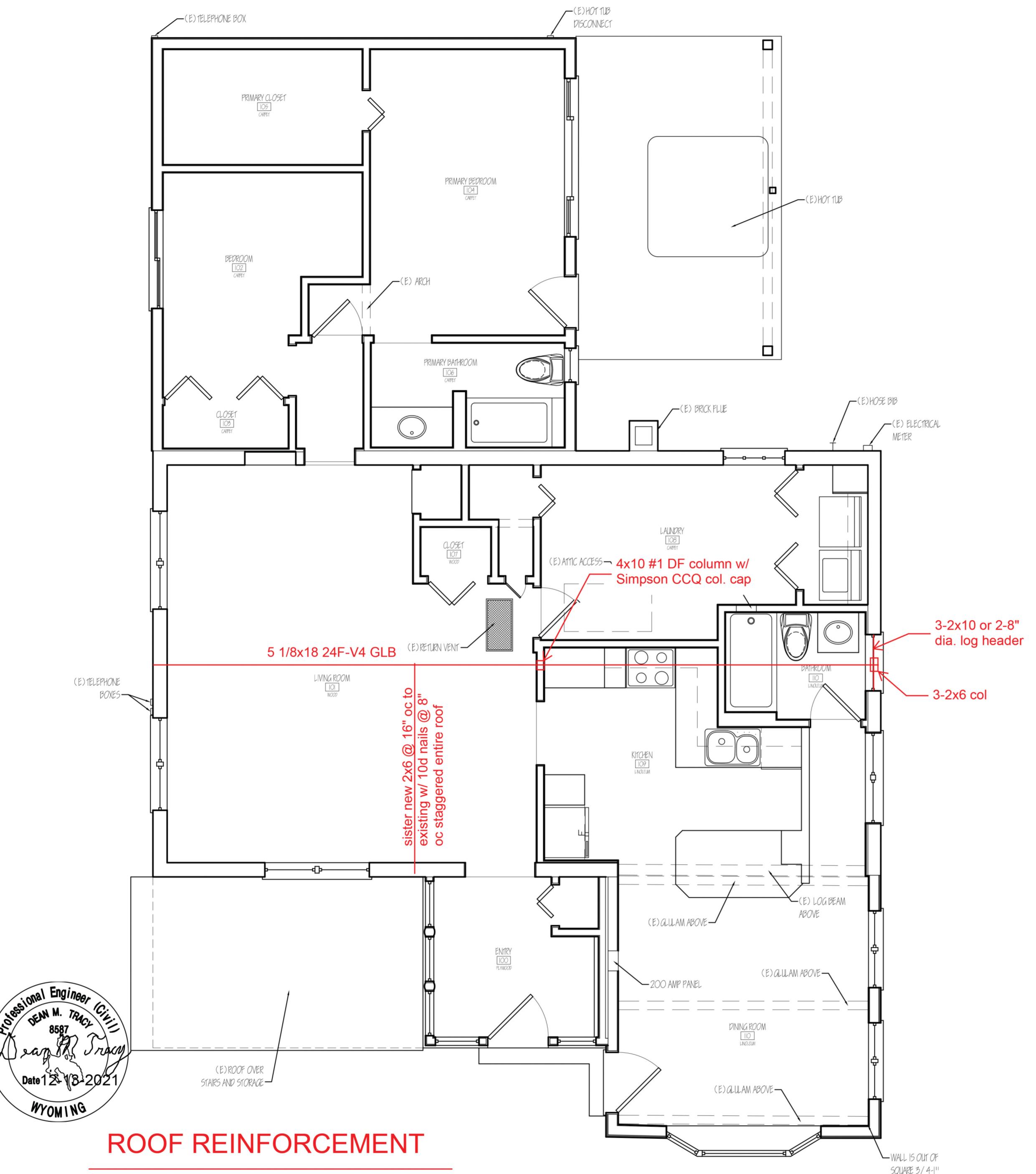


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 PHONE: (208) 523-6918 / FAX: (208) 523-6922
 E-MAIL: gsg@enginiers.net
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 DRAFTER: JP DESIGNER: DT CHECKER: FLW

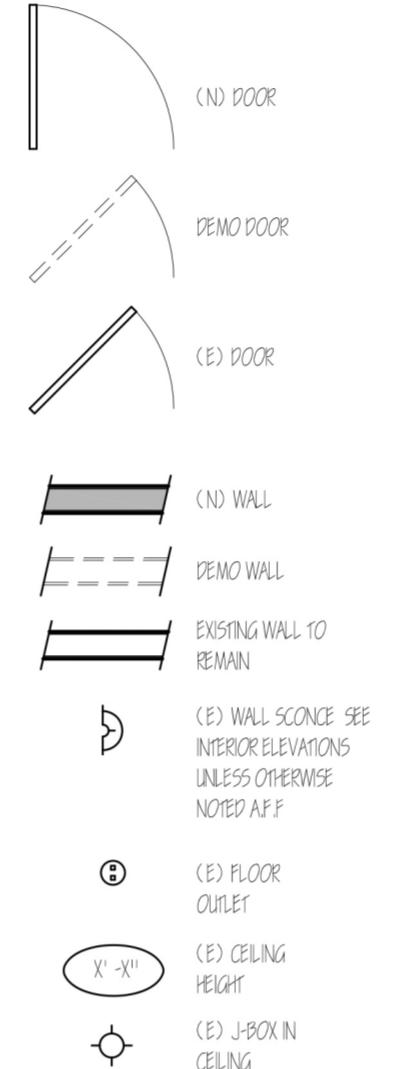
SHEET NAME	SHEET
SCALE	
DATE 09 DECEMBER 2021	

S1.2

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PERMIT NO: B22-0081
DATE: 1/16/2022
BUILDING OFFICIAL: KS



ROOF REINFORCEMENT



PLAN NOTES

1. ALL MEASUREMENTS OFF OF LOG WALLS ARE TAKEN AS AN AVERAGE. LOGS VARY FROM 7" TO 9" IN DIAMETER. THE LOGS ARE HAND-HEWN THEREFORE THE SURFACE IS NOT CONSISTENT.
2. LOG BEAM VARY FROM 8" TO 9" IN DIAMETER AND HAVE A NATURAL TAPER FROM ONE END TO THE OTHER END.
3. THE ASSUMPTION OF 5/8" DRAWDOWN ON THE WALLS.
4. NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.
5. PLANS ARE ONLY REPRESENTATIVE OF THE EXISTING BUILDING NOT TO BE USED FOR MEASUREMENTS - ALL DIMENSIONS NEED TO BE FIELD VERIFIED

ALL DIMENSIONS MUST BE FIELD VERIFIED

1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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JACKSON, WY 83002 PH # 307.413.2485

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PROJECT NUMBER
BROWN RESIDENCE
445 EAST KELLY AVENUE
JACKSON, WY

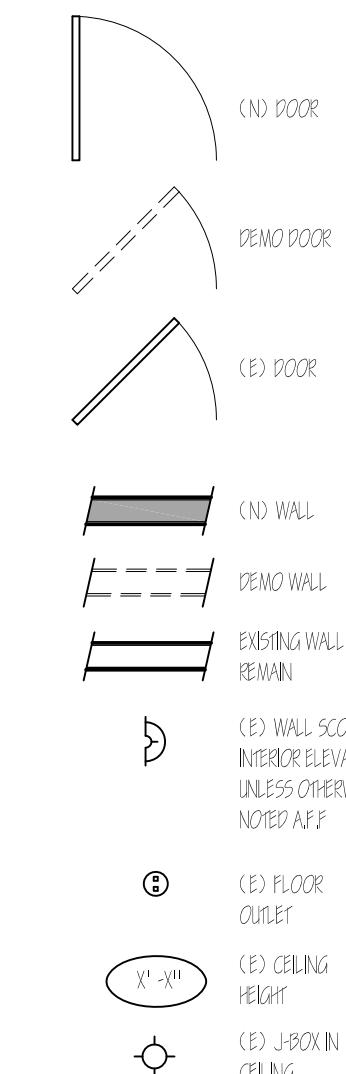
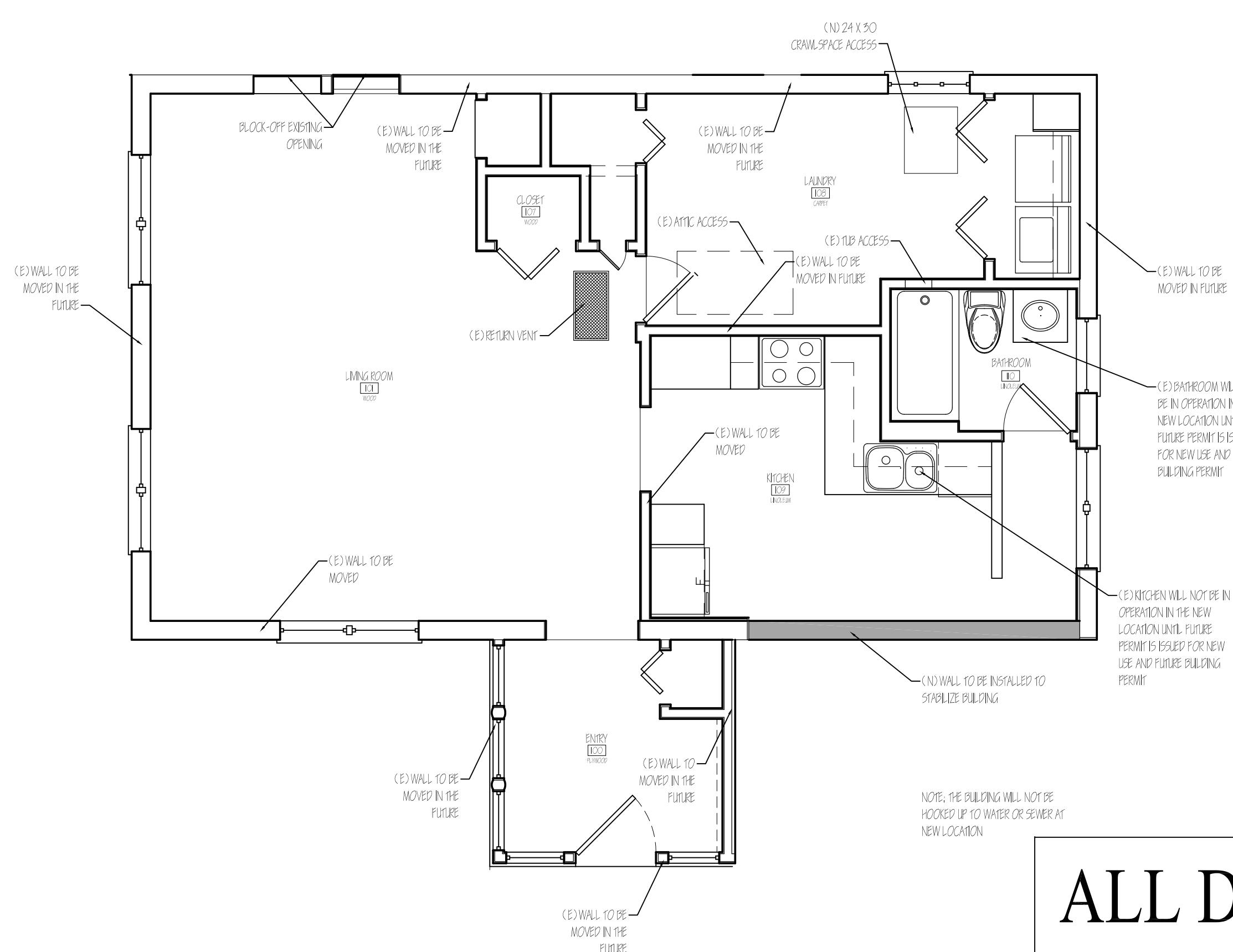
REVISIONS

MOVE/BUILDING PERMIT

SHEET NAME
FIRST FLOOR PLAN
SCALE
1/4"=1'-0"
DATE
15 DECEMBER 2021

SHEET
S1.3

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 PERMIT NO: B22-0081
 DATE: 1/16/2022
 BUILDING OFFICIAL: KS



PLAN NOTES

1. ALL MEASUREMENTS OFF OF LOG WALLS ARE TAKEN AS AN AVERAGE. LOGS VARY FROM 7" TO 9" IN DIAMETER. THE LOGS ARE HAND-HEWN THEREFORE THE SURFACE IS NOT CONSISTENT.
2. LOG BEAM VARY FROM 8" TO 9" IN DIAMETER AND HAVE A NATURAL TAPER FROM ONE END TO THE OTHER END.
3. THE ASSUMPTION OF 5/8" DRWALL ON THE WALLS.
4. NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.
5. PLANS ARE ONLY REPRESENTATIVE OF THE EXISTING BUILDING NOT TO BE USED FOR MEASUREMENTS - ALL DIMENSIONS NEED TO BE FIELD VERIFIED

ALL DIMENSIONS MUST BE FIELD VERIFIED

1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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 JACKSON, WY 83002 PH # 307.413.2485

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 445 EAST KELLY AVENUE
 JACKSON, WY

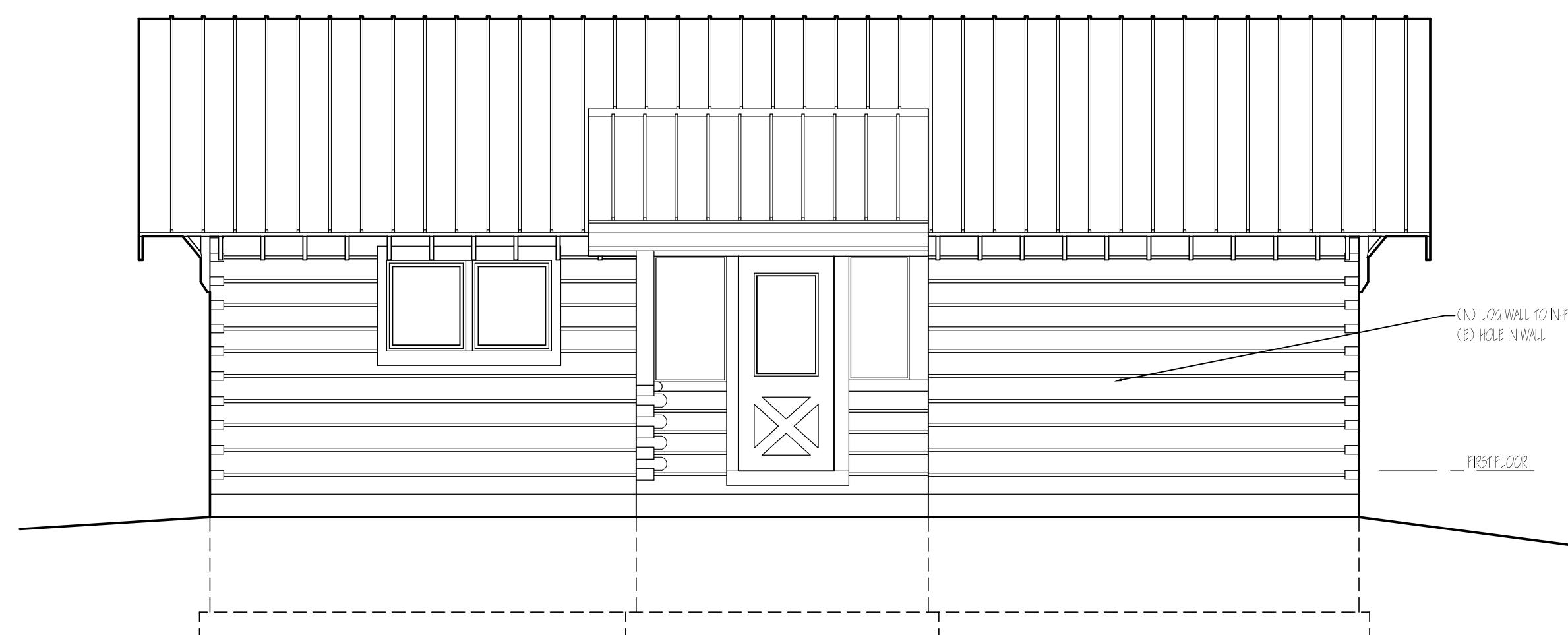
REVISIONS

MOVE/BUILDING PERMIT

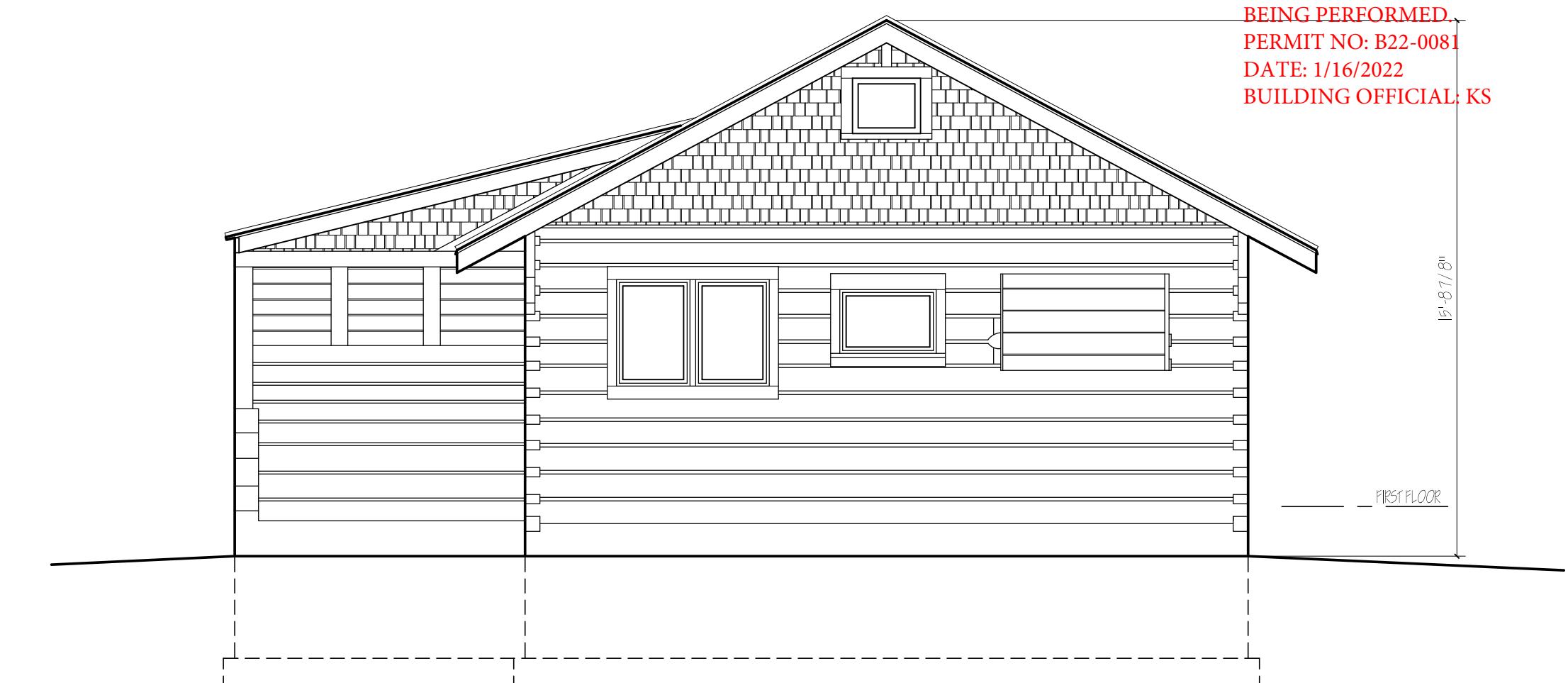
A2.1

SHEET NAME
 FIRST FLOOR PLAN
 SCALE
 1/4"=1'-0"
 DATE
 28 DECEMBER 2021

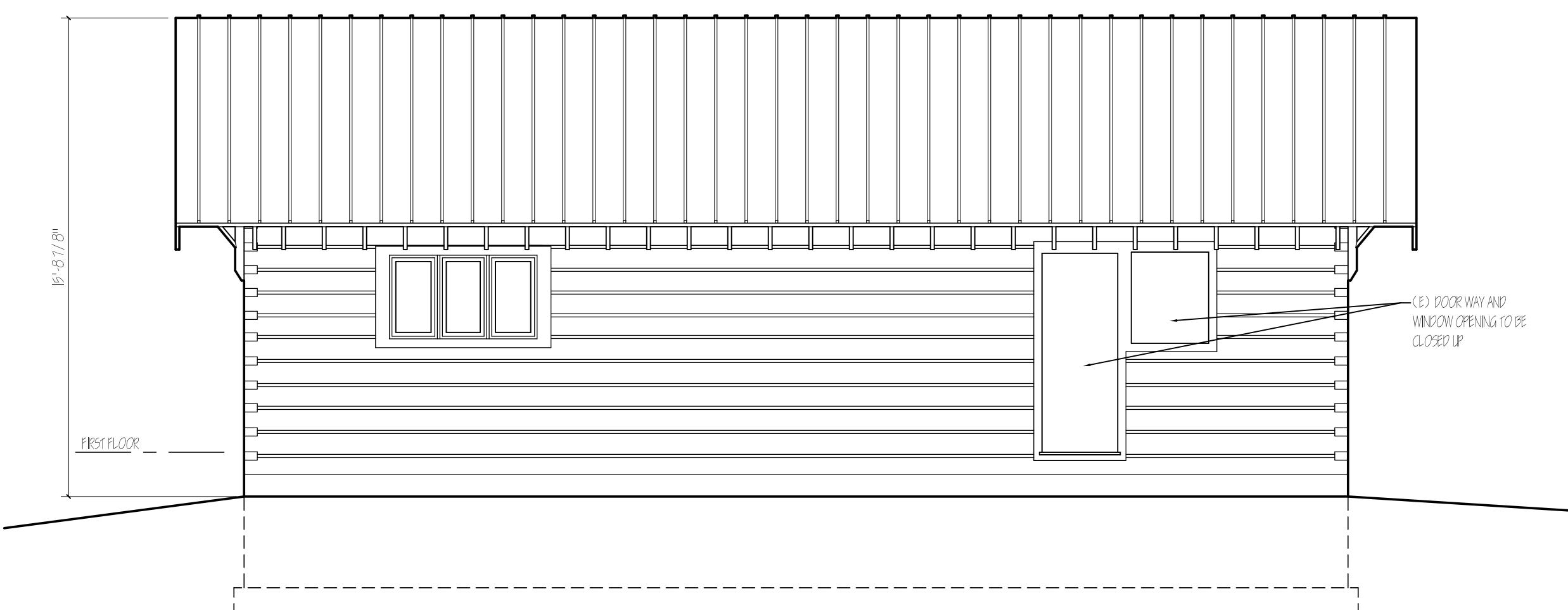
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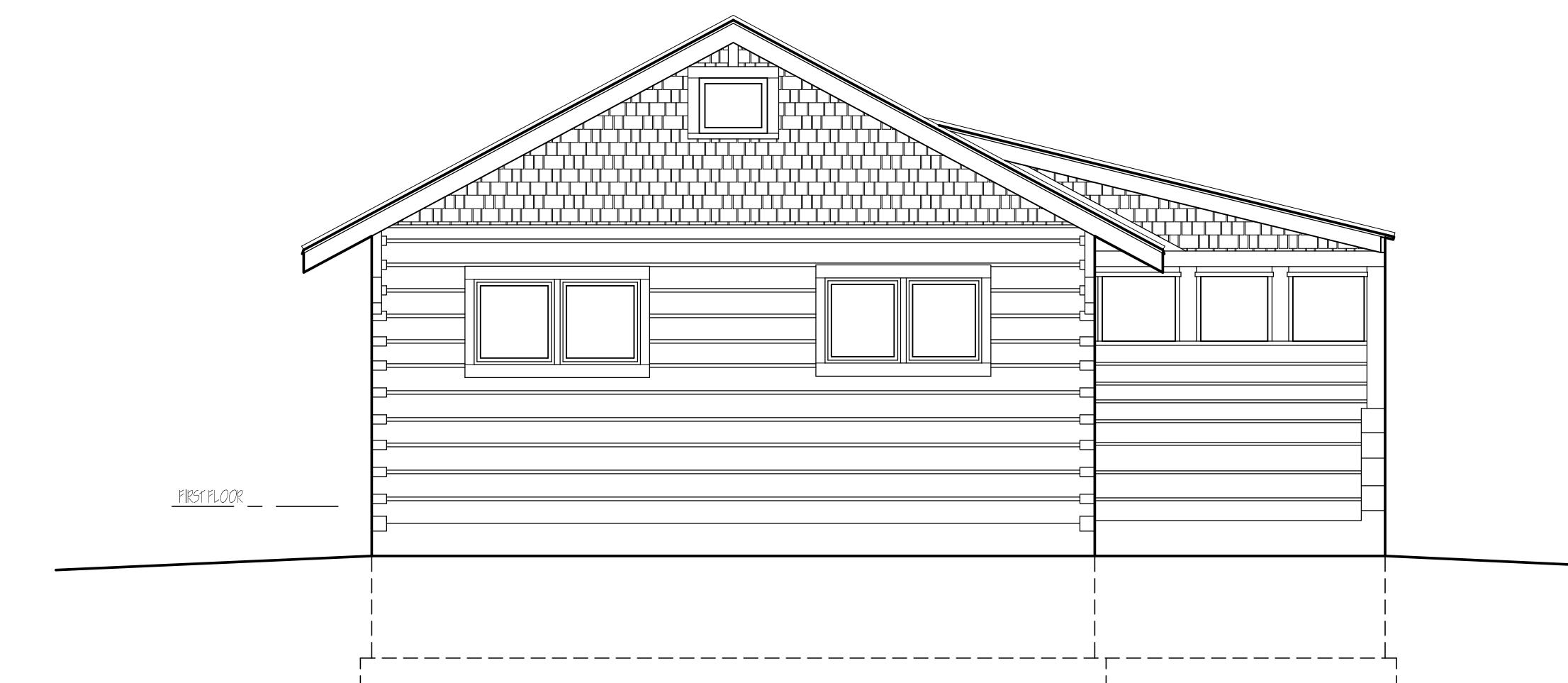
1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



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 P.O. BOX 12258 • 1070 ELK RUN UNIT 60
 JACKSON, WY 83002 PH # 307.413.2485

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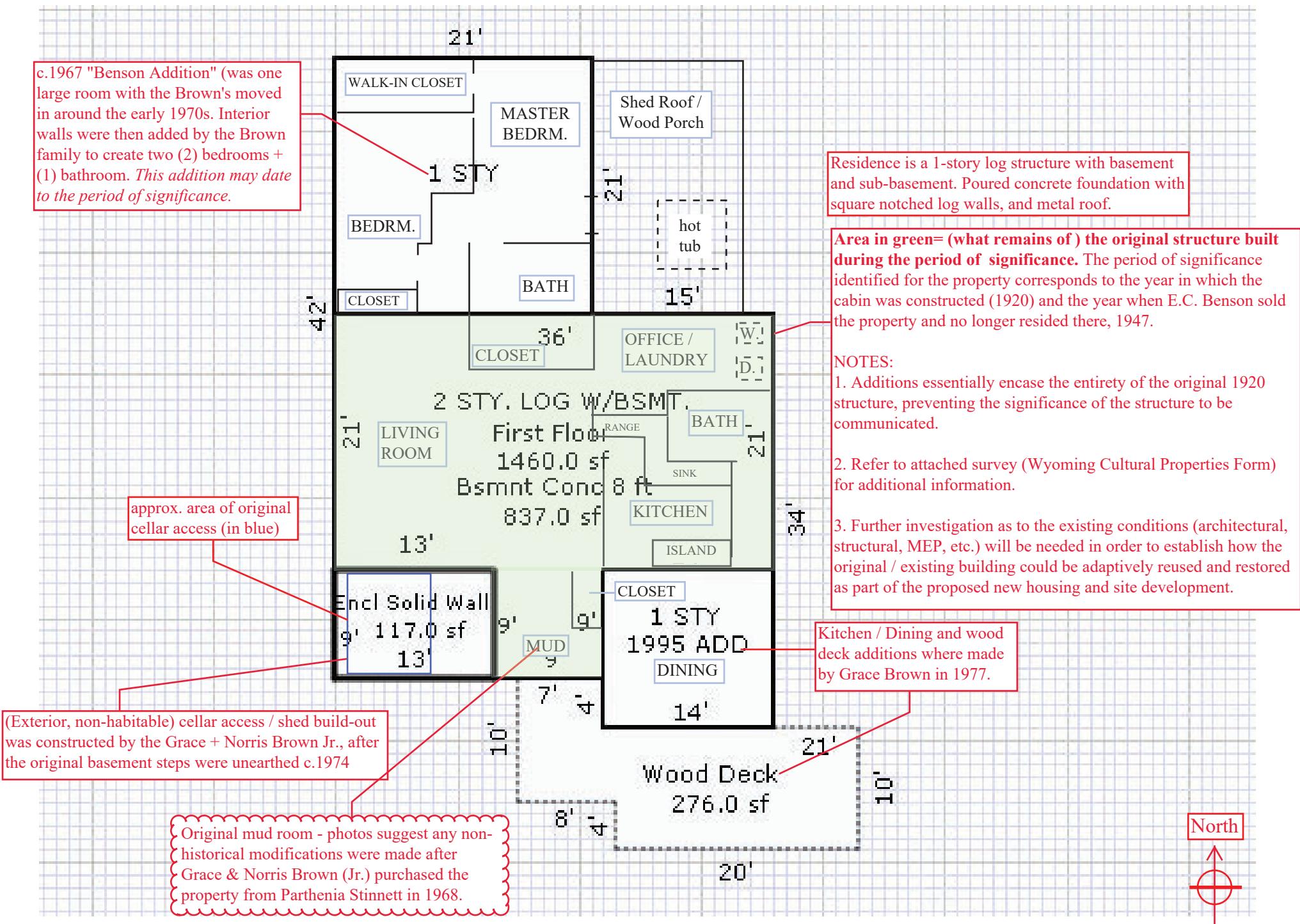
REVISIONS

MOVE/BUILDING PERMIT

SHEET NAME
 ELEVATIONS
 SCALE
 1/4"=1'-0"
 DATE
 17 JANUARY 2022

A5.1

Benson-Brown Residence - 1st Floor Plan (from GIS)





TOWN OF JACKSON HISTORIC REGISTER NOMINATION FORM

DATE _____

DATE RECEIVED _____

This form is required to nominate properties to the Jackson Historic Register per Sec. 8.5.7 in the Town of Jackson Land Development Regulations. Type all entries and complete all applicable sections. Contact Town of Jackson Planning with any questions at (307) 733-0440.

PART 1: PROPERTY INFORMATION

Property Name			
Historic	Common		
Location			
Street Address	Zip		
PIDN(s): _____ _____	Legal Description and Plat or Addition: _____ _____		
Nominated Elements			
Please indicate below significant elements of the property that are included in the nomination by checking the appropriate box(es) below. Describe these elements specifically in the narrative section of this form.			
Principal Structure	Site		
Historic Additions	Historic Landscaping, Fencing, Walkways, etc.		
Ancillary Buildings/Outbuildings			
Owner of Property			
Name			
Address	City	State	Zip
Is the owner the sponsor of this nomination?	Yes	No	
Form Preparer			
Name/Title	Company/Organization		
Address	City	State	Zip
Email	Phone		
Nomination Checklist — Attachments			
Site Map (REQUIRED)	Historic Survey		
Photographs (REQUIRED):	Other (please indicate):		
Development Permit Application (REQUIRED):	FOR OFFICE USE Date Received _____		

PART 2: PHYSICAL DESCRIPTION, FUNCTIONS, USES and MATERIALS

Summarize the changes to plan, original cladding, windows, interior, and other significant elements by selecting the choices below. These changes should be described specifically in the narrative section of this form.

Original Materials Intact?			Original Materials Intact?		
Plan (i.e.: no additions to footprint, relocation of walls or roof plan)	Yes	No	Interior (woodwork, finishes, flooring, fixtures)	Yes	No
Original cladding	Yes	No	Other elements	Yes	No
Windows (no replacement windows or replacement sashes)	Yes	No			

Physical Description/Integrity Narrative

Describe in detail the present and original (if known) integrity of the structure, including exterior appearance, setting, and architectural characteristics (use continuation sheets if necessary).

PART 3: HISTORICAL OR CULTURAL SIGNIFICANCE

Criteria for Designation

Jackson Land Development Regulations recognize five criteria of historical significance in Sec. 5.9.4. Please select any that apply to this property for which there is **documentary evidence** included in this nomination form.

- A Association with events that have made a significant contribution to history;
- B Connection with persons significant in history;
- C Distinctive characteristics of a type, period, method of construction, or artisan;
- D Geographic Importance; and/or
- E Possibility to yield important information related to prehistory or history

Historical Data (if known)

Date(s) of Construction

Other Date(s) of Significance

Architect (s)

Builder

Engineer

Statement of Significance

Describe in detail the chronological history of the property and how it meets the criteria for the Jackson Historic Register. Please provide a summary in the first paragraph (use continuation sheets if necessary). Please provide a bibliography for books and other materials accessed.

Narrative Continuation

This page may be edited or copied as
needed. Continued from page 2

Date _____ Smithsonian # _____

RECORD TYPE: First-recording, Full Re-record, Update, Condition Report, Site LeadPROPERTY CATEGORY: Prehistoric Site, Historic Site, Building, Structure, Object, District, Landscape, Lithic Landscape, TCP**1. IDENTIFICATION/OWNERSHIP**

Consultant Project Number _____ Agency Project Number(s) _____

Associated Project Name _____

Site Name **The Benson Home** _____ Temporary Field Number _____Other Common names: **Brown Home** _____ Agency Site Number _____

Other Site Number _____

Landowner (at time of this reporting, specify agency/district, if private give name and address): check here if site information is confidential

Grace P. Brown
PO Box 189
Jackson, WY
83001

2. LOCATION (repeat as needed on continuation sheets; check here if additional locational information is on continuation sheet)Street address **445 East Kelly Ave** _____ Town **Jackson** _____Lot-Block: _____ Parcel _____ County **Teton** _____USGS 7.5' Map Name, Date **Jackson, 1996** _____Township **41** N Range **116** W Section **34** **1/4**'s **pt of the Southeast quarter of the Northwest quarter** _____ Template: _____Township _____ Range _____ Section **1/4**'s _____ Template: _____Township _____ Range _____ Section **1/4**'s _____ Template: _____Elevation (ft.): **6300** _____ UTM Coordinates (center point is required; bounding UTM(s) required for sites > 200m in any dimension)UTM: Zone **12** E **519907** m N **4813638** m Datum used to calculate: **NAD 27** **NAD 83**

Bounding UTM : (1) E _____ N _____ (2) E _____ N _____

(3) E _____ N _____ (4) E _____ N _____

UTM source: corrected GPS/rectified survey (<5m error), uncorrected GPS, map template, other: _____

GPS Model/Software: _____

Notes pertaining to access:

3. NATIONAL REGISTER STATUS (check all that apply in each category)**ENROLLED STATUS** Landmark/Monument, Enrolled on NRHP**FACTORS AFFECTING INTEGRITY** (check all that apply; indicate specific areas of disturbance and vandalism on a copy of the site map)Disturbance/Vandalism : none, erosion, vandalism, collection, structural damage, manual excavation, mechanical excavation, vehicle traffic, structural decay, grazing, construction/development, defacement, imminent destruction, unknown

Percent of property badly disturbed as of this recording date, to nearest 10%): _____

NATIONAL REGISTER OF HISTORIC PLACES SIGNIFICANCEPeriod(s) of significance: **1920-1947** _____ Theme(s) **Community Planning and Development** _____**NATIONAL REGISTER OF HISTORIC PLACES ELIGIBILITY RECOMMENDATIONS** (check all applicable):**Recorder NRHP Evaluation:** Eligible under criteria **a**, **b**, **c**, **d**; Not Eligible, UnevaluatedContributing Components: Prehistoric, Historic Associated person for criterion b property _____

Justification: (Include in justification a statement of significance; discussion of contributing components (indicate spatial extents on maps); and integrity (location, design, setting, materials, workmanship, feeling, association); discuss how significant periods and themes were determined)*:

Date _____ Smithsonian # _____

Statement of Significance

The Benson Home was evaluated for significance under Criterion A within the area of significance of commerce and community planning and development. The property demonstrates strong significance not only as the generation site for the town's first electrical service, but also as the home of the individual who made that electrification possible. Though electrical power was not available on ranches until after World War II, the electrification of the town of Jackson in 1921 symbolized the transformation the rural ranching town was undergoing at the conclusion of the second decade of the twentieth century. The period of significance identified for the property corresponds to the year in which the cabin was constructed (1920) and the year when Benson sold the property and no longer resided there, 1947.

Statement of Integrity

Several additions have been made to the Benson Home, most notably a kitchen and deck that were added in 1977 to the south elevation. The entire north wing appears to be added following initial construction, however it is not known when (potentially within the period of significance). All windows have been enlarged or otherwise changed. Additions essentially encase the entirety of the original 1920 structure, preventing the significance of the structure to be communicated. The turbines still exist in the sub-basement and the creek still runs through the property. The Benson Garage is in an advanced state of decay, without doors to enclose the front of the building or protect the interior from environmental threats. The Benson generator building has also lost significant integrity due to its adaptive reuse as a housing unit. It is the opinion of the principal investigator that the property no longer possesses integrity of design, workmanship, association, and feeling and thus is not eligible for inclusion in the National Register of Historic Places.

Agency Determination: Eligible under criteria a, b, c, d ; Not Eligible, Unevaluated Date/initials: _____

Justification:

SHPO Concurrence: Eligible under criteria a, b, c, d ; Not Eligible, Unevaluated Date/initials: _____

Justification:

4. INVESTIGATIVE HISTORY (Check all that apply, use property narrative for additional information as appropriate)

Recorded by: Katherine Longfield _____ Organization: Amenity Preservation _____

Field Dates: 7/09 _____

DISCOVERY METHOD (describe in site narrative description)

Exposed on surface, Exposed subsurface, Construction discovery, Documentary sources, Informant

WORK PERFORMED (as part of this recording ONLY; describe numbers and dimensions of sampling/excavation units in narrative section)

<input type="checkbox"/> Surface recorded	<input type="checkbox"/> Tested with probe device	<input type="checkbox"/> Materials sourcing	<input type="checkbox"/> Lab analyses
<input type="checkbox"/> Shovel tested	<input type="checkbox"/> Controlled Trench/Blade	<input type="checkbox"/> Remote sensing	<input type="checkbox"/> Material sample program
<input type="checkbox"/> Formal test unit(s)	<input type="checkbox"/> Geomorphology study	<input type="checkbox"/> Photos/Sketches/Video	<input type="checkbox"/> C-14 dating
<input type="checkbox"/> Block excavation	<input type="checkbox"/> Paleo-environmental study	<input type="checkbox"/> Collections research	<input type="checkbox"/> Other (describe in narrative)

MATERIALS COLLECTED AS PART OF THIS RECORDING? yes, no, unknown

Repository: U. W. Archaeological Repository (UWAR), Western Wyoming College, Other: _____

5. PROPERTY DESCRIPTION**PHYSICAL DIMENSIONS**

Length 53.3 _____ m, Width 51.2 _____ m, Area: 2266 _____ sq. m, (estimated measurement method: _____)

Boundary estimates based on:

feature/artifact distribution, modern features or disturbance, property boundaries, topography, other, unknown.

Property datum? yes, no (describe if yes): _____

RECORDS INVENTORY (check all appropriate attachments associated with this recording)**Required attachments*:**

(6) Prehistoric/Historic Archaeological Site Setting, Topography, Depositional Environment (*not required for urban and

rural buildings, structures, objects, or historic districts)
 (7) Site Narrative Description
 (8) Prehistoric/Historic Site Matrix
 site map w/scale, orientation, key

location map (USGS 1:24,000 base)
 photographs/images

Date _____ Smithsonian # _____

Additional Attachments:

(One or more of the next 8 are required)

(8A) artifacts associated with prehistoric component
 (8B) features associated with prehistoric component
 (8C) artifacts associated with historic component
 (8D) features associated with historic component

(8E) historic and/or prehistoric rock art/inscription component
 (8F) historic architecture description
 (8G) linear feature description
 (8H) lithic landscape sample description
 (8I) historic structure/object description

Optional Attachments:

(8J)TCP description
 artifact illustrations
 stratigraphic profile
 field notes
 artifact catalog
 electronic data
 other (describe): _____

Date _____ Smithsonian # _____

6. PREHISTORIC/HISTORIC ARCHAEOLOGICAL SITE SETTING, TOPOGRAPHY, DEPOSITIONAL ENVIRONMENT*

(Section 6 is not required for urban and rural buildings, structures, objects, or historic districts)

GENERAL TOPOGRAPHIC SETTING Basin/Interior, Foothill/Basin Margin, Major River Terraces, Mountain/Major Uplift, Unknown

Geographic Division (cf. "Wyoming Geologic Highway Map" published by Western Geographics with the cooperation of the Geological Survey of Wyoming Revised Edition 1991, R.D. Christiansen, Geologist Map compiled and adapted from Geologic Map of Wyoming. Divisions prepared by Richard W. Jones, 2002. See map in "Users Guide.")

<input type="checkbox"/> Absaroka Range	<input type="checkbox"/> Great Divide Basin	<input type="checkbox"/> Madison Range	<input type="checkbox"/> Shirley Mtns.
<input type="checkbox"/> Bates Hole	<input type="checkbox"/> Green River Basin	<input type="checkbox"/> Medicine Bow Mtns.	<input type="checkbox"/> Snake River Range
<input type="checkbox"/> Beartooth Mtns.	<input type="checkbox"/> Green Mtn.	<input type="checkbox"/> N Laramie Basin Structures	<input type="checkbox"/> Sublette Range
<input type="checkbox"/> Bighorn Basin	<input type="checkbox"/> Goshen Hole	<input type="checkbox"/> Overthrust Belt	<input type="checkbox"/> Star Valley
<input type="checkbox"/> Bridger Basin	<input type="checkbox"/> Gros Ventre Range	<input type="checkbox"/> Owl Creek Mtns.	<input type="checkbox"/> Teton Range
<input type="checkbox"/> Bighorn Mtns.	<input type="checkbox"/> Hanna-Carbon Basin	<input type="checkbox"/> Powder River Basin	<input type="checkbox"/> Tump Range
<input type="checkbox"/> Black Hills Uplift	<input type="checkbox"/> Hartville Uplift	<input type="checkbox"/> Rawlins Uplift	<input type="checkbox"/> Washakie Basin
<input type="checkbox"/> Casper Arch	<input type="checkbox"/> Hoback Range	<input type="checkbox"/> Rock Springs Uplift	<input type="checkbox"/> Washakie Range
<input type="checkbox"/> Denver Basin	<input type="checkbox"/> Jackson Hole	<input type="checkbox"/> Salt River Range	<input type="checkbox"/> Wind River Basin
<input type="checkbox"/> Ferris Mtns.	<input type="checkbox"/> Kindt Basin	<input type="checkbox"/> Sierra Madre Mtns.	<input type="checkbox"/> Wind River Range
<input type="checkbox"/> Fossil Basin	<input type="checkbox"/> Laramie Basin	<input type="checkbox"/> Seminoe Mtns.	<input type="checkbox"/> Yellowstone Volcanic Plateau
<input type="checkbox"/> Granite Mtns.	<input type="checkbox"/> Laramie Mtns.	<input type="checkbox"/> Shirley Basin	<input type="checkbox"/> Unknown

UNIQUE SITE SETTING (check as appropriate, describe site setting in general narrative):

<input type="checkbox"/> playa	<input type="checkbox"/> arroyo cutbank	<input type="checkbox"/> rockshelter	<input type="checkbox"/> spring
<input type="checkbox"/> saddle/pass	<input type="checkbox"/> cliff	<input type="checkbox"/> cave	

GENERAL TOPOGRAPHIC SETTING (few words): _____**VEGETATION ASSOCIATION** (cf. Knight 1994:8, Mountains and Plains: The Ecology of Wyoming Landscapes; Yale Univ. Press)

<input type="checkbox"/> Alpine	<input type="checkbox"/> Ponderosa Pine	<input type="checkbox"/> Desert Shrub	<input type="checkbox"/> Riparian
<input type="checkbox"/> Spruce/Fir	<input type="checkbox"/> Aspen/Conifer	<input type="checkbox"/> Grassland	<input type="checkbox"/> Cultivated
<input type="checkbox"/> Douglas-Fir	<input type="checkbox"/> Oak	<input type="checkbox"/> Sagebrush	<input type="checkbox"/> Unknown
<input type="checkbox"/> Lodgepole Pine	<input type="checkbox"/> Juniper	<input type="checkbox"/> Sand Dunes	<input type="checkbox"/> not applicable

OVERALL PERCENT BARE GROUND (discuss variation in ground visibility in general site narrative) 0%, 1-25%, 26-50%, 51-75%, 76-99%, 100%, unknown, not applicable**GENERAL DEPOSITIONAL ENVIRONMENT** (check all applicable, describe in general site narrative): unknown, aeolian, alluvial, colluvial, bare rock, regolith, not applicable, other**AEOLIAN SETTINGS** (Late Pleistocene and Holocene aeolian deposits)Is site in/partly in an aeolian deposit?: yes, no, unknown, not applicableIf "yes", which type(s)? dune, sand shadow, sand sheet, deflation area, don't know**SUBSURFACE POTENTIAL**Archaeological subsurface deposits: yes, no, unknown/undeterminedMaximum depth below surface of cultural deposits: meters, unknown, not applicable (enter zero if no subsurface deposits are present)Estimate based on: rough guess, shovel test(s), core/auger tests, excavation(s), road/arroyo cuts, animal burrows, other information (describe in narrative)

Date _____ Smithsonian # _____

7. SITE NARRATIVE DESCRIPTION

In addition to general description, the site narrative should address explicitly the kinds and amount of work done at a site, the site environment (setting, geomorphology, soils and sediments, vegetation), site condition and threats to the site. All other matters that demand more discussion than the other sections of the form allow should be discussed in a well-organized fashion here. Tables and other materials can be part of the site narrative, as appropriate. Dating and laboratory results should be cited here, with clear references to laboratory numbers and results.

Site Description

The two-thirds-acre lot is located on Kelly Avenue in a transitional space between Mike Yokel Park and a Lower Valley Power and Light transfer station. The lot contains three structures: the Benson home, the Benson garage, and the generator station. The Benson home is accessed from a shared driveway with the generator station (now a second residence). The Benson Home is approximately 125 feet from the street and is secluded and private despite its relative proximity to Kelly Avenue. A creek runs east-west in front of the home, which is crossed via a plank footbridge. Trees cover much of the southern elevation of the home, blocking both the site and sounds of the street. The remainder of the lot is grass covered with an informal driveway leading from the street to the back of the property. A fence runs along the eastern elevation where the lot meets the adjoining Mike Yokel Park. The garage is located behind the generator station and was likely accessed from the shared driveway that runs between the residence and the station.

The Benson Home

The residence is a one-story log structure with basement and sub-basement. The foundation is poured concrete and walls are log construction with square notching. Logs are painted a dark brown and the roof is metal. The gable ends are clad with shingles that are painted brown to match the logs. The footprint of the building, including all of its additions, is generally rectilinear. The original portion of the house was a rectangle that ran east-west on the property. A north-south addition was added to the western end of the house, making the house an el-shape. Later, porch additions were added to the east side of the north-south addition and to the south of the south elevation as well as a kitchen addition to the south elevation, filling in the el-shape to form a rectangle.

The south elevation consists of a porch addition, kitchen addition, and cellar access build-out. The only part of the original structure that can be seen on the southern elevation is on the west side where rafter tails and original square notching are visible. The west elevation contains the most amount of original log work that is still visible. Two horizontal sliders are installed in the raised basement, suggesting that the 1920 structure was raised and windows added at some point. However, because the basement played such an important role in the building as the site of electrical generation, it is possible that the basement was always raised as it appears today. An addition extends north from the original 1920s portion of the house on the west elevation. As stated earlier, the addition may date to the period of significance. The south elevation is mostly also made up of the addition as well as a shed roof porch that covers an outdoor hot tub. The east elevation also consists of the hot tub porch addition and the gable end of the original 1920 structure.

The Benson Garage

The Benson garage is in a severely deteriorated condition. It is a square, hip-roofed building that is located behind and to the west of the Benson home. The structure appears to be clapboard (but it is possible that an original siding may have deteriorated). It now has a rolled asphalt roof, but it likely had shingle roof. Based on the proportions, scale, and size, the garage likely dates to the period of significance. The street facing elevation contains a large garage door opening, though the doors themselves are no longer present.

The Generator Station

The third building is perhaps the most historically significant. The generator station has now been converted to living quarters and a second-story porch has been added to the south elevation. In addition, a sliding glass door and a first-story window have been added to the structure. The original utilitarian garage doors likely used to move equipment in or out still remain on the first floor directly behind the added exterior stairway.

Site Narrative

Edward C. Benson was born to Francis and Rebecca Benson in Colorado in 1883. Despite his birth in Colorado, Benson's siblings and extended family were all born in New Jersey or Pennsylvania, and Benson spent his childhood and young adult years in the northeast. By the age of 20, E.C. Benson was working as a bank clerk in Jersey City, New Jersey, living with his parents (his father was the bank's assistant treasurer). By his late twenties in 1910, Benson was working with automobiles and still living in New Jersey. E.C. Benson married a woman named Sylvia Miller from the Philadelphia area sometime between 1910 and 1917 and the couple lived with Sylvia's widowed mother and sister's family until 1920. While living in the Philadelphia area, Benson worked as an automobile salesman.

From a *Jackson's Hole Courier* article, it would seem that despite living in Philadelphia, the Bensons had frequented Wyoming before moving there in 1920. The most likely reason for the Bensons to frequent Jackson on a temporary basis would have been to stay at a dude ranch. Seeing

* Continue narrative as needed on separate page or by expanding section on word processor.

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Date _____ Smithsonian # _____

as only three dude ranch's existed in the valley at that early time, the Bar BC, the JY, and the White Grass Dude Ranches, it is likely that the Bensons either stayed at the Bar BC or White Grass, as both ranches had a strong tie to Philadelphia. In 1917, the Courier reported that "Mrs. Benson, her two daughters, Elizabeth and Sylvia and Miss Mears made a trip to Jackson's Lake last week..."¹

Whatever the Benson's draw to Jackson, E.C. and Sylvia Benson moved to Jackson in 1920. Sylvia Benson arrived a few months following Edward, and he crossed Teton Pass to meet her in Victor, Idaho on Saturday May 29, 1920. The couple signed the paperwork for the purchase of the property on Kelly Avenue from George Kelly on Monday June 1, 1920. Presumably, Benson constructed the house shortly thereafter. At some point in 1920 as well, Benson diverted nearby Cache Creek to his property and under his home. Benson used the water to power two water turbine generators that he had constructed in his basement. Though this practice was fairly common (the Chambers Ranch on Mormon Row, the Murie Ranch, and the Snake River Ranch all had similar generators), Benson was distinguished in his decision to sell the power he generated to others rather than using it exclusively. Interestingly, prior to Benson's electrical plant, Spicer & Curtis, a garage and car dealership, were reported to have "installed a Western Electric lighting plant in their Jackson garage."² By December of 1920, the Courier reported that "Freighters arrived the latter part of last week with the engine for the electric light plant which C.E. [sic] Benson is installing. Mr. Benson is engaged at present setting poles and stringing wires. He expects to be ready to turn on the juice soon."³ Clearly, Benson wasted no time. In January of 1921, the paper reported that after two months of installing poles and stringing wires that the system is nearly ready. Apparently storms and severe cold weather did not even prevent their progress: "Mr. Benson is not one to sit down and wait for things to come his way. As a result of this disposition he now has the polls about all set and the wires practically all strung. Just as soon as he wires a few more buildings, the 'juice' will be turned on. Mr. Benson plans to have meters installed, so each person can use all the juice he wants and pay accordingly."⁴ By 1921, the town council had granted Benson rights as the exclusive franchise to provide Jackson with electricity. By the end of that year Jackson considered itself "a modern 'burg' ...since E.C. Benson has erected seven street lights on some of the principal street corners. They burn until 11:00 o'clock every night."⁵ Starting in 1920, Benson began advertising in the *Jackson's Hole Courier* as "a seller of electrical supplies." In February of 1921, Sylvia Benson was reported to have taken a trip back to Philadelphia for several months.

In 1923 Benson purchased the corner property on Center and Deloney streets for the company's headquarters. His home on Kelly Avenue served as the sole power generation source for Benson's operation until the late 1920s when Benson built a dam and power plant on Flat Creek. At some point before 1930 Benson also constructed the generator station to house diesel generators on the property on Kelly. In 1931, Benson incorporated the Jackson Hole Light and Power Company. Rural development loans that gave preferential funding to power cooperatives over private companies made it difficult for Jackson Hole Light and Power Company to remain competitive with cooperatives like Lower Valley Power and Light. Lower Valley eventually acquired Jackson Hole Light and Power in 1952.

Benson's first wife, Sylvia M. Benson, died and Benson subsequently married Parthenia Hansen (Cliff Hansen's elder sister). Parthenia's daughter, Edith Stinnett, lived in the house on Kelly until 1968 when she sold the property to Grace Brown. Grace Brown added a porch and kitchen on to the south side of the structure in 1977. The generators still remain in the sub-basement. The land surrounding the Brown's one acre was sold to the town in 1988 and converted to the public Miller Park.

Major Bibliographical References

Personal interview with Grace Brown, June 2009

Census of the United States, 1910, Gloucester County, NJ, Wenonah Precinct

Census of the United States, 1920, Montgomery County, PA, Lower Gwynedd Precinct

Census of the United States, 1930, Teton County, WY, Jackson Town

Jackson's Hole Courier, June 26, 1921

"Electric Lights Soon," *Jackson's Hole Courier*, December 9, 1920

Jackson's Hole Courier, August 8, 1917

Daugherty, John, *A Place Called Jackson Hole*, Moose, WY: Grand Teton Association, 1999

¹ *Jackson's Hole Courier*, August 8, 1917

² Ibid. June 3, 1920

³ Ibid. December 9, 1920

⁴ Ibid. January 30, 1921

⁵ Ibid. April 7, 1921

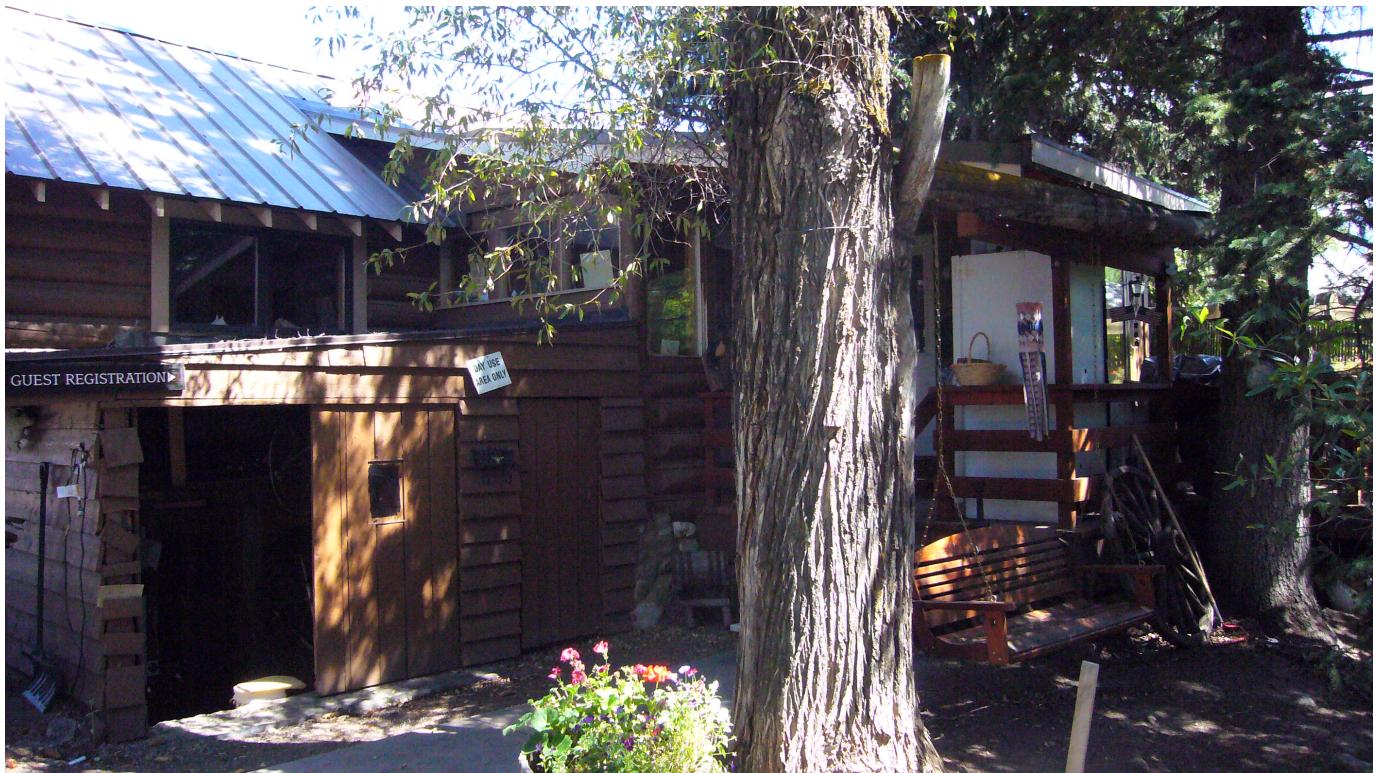
Date _____ Smithsonian # _____

8. Prehistoric/Historic Site Matrix (attach (8A) "Artifacts Associated with Prehistoric Component", (8B) "Features Associated with Prehistoric Component", (8C) "Artifacts Associated with Historic Component", (8D) "Features Associated with Historic Component" as appropriate). Check boxes for "yes" as appropriate.

<u>COMPONENT</u>	<u>OCCURRENCE</u>		<u>CONTENTS</u>		
	Surface	Subsurface	Artifacts	Features	Rock Art
PREHISTORIC					
Unknown Prehistoric	—	—	—	—	—
Paleoindian	—	—	—	—	—
Early Archaic	—	—	—	—	—
Middle Archaic	—	—	—	—	—
Late Archaic	—	—	—	—	—
Archaic (general)	—	—	—	—	—
Late Prehistoric	—	—	—	—	—
PREHISTORIC PHASES (optional)					
Great Divide	—	—	—	—	—
Green River/Opal	—	—	—	—	—
Pine Spring	—	—	—	—	—
Deadman Wash	—	—	—	—	—
Uinta	—	—	—	—	—
Firehole	—	—	—	—	—
PROTOHISTORIC					
HISTORIC					
Unknown Historic	—	—	—	—	—
Early Historic	—	—	—	—	—
Pre-territorial	—	—	—	—	—
Territorial	—	—	—	—	—
Expansion	—	—	—	—	<u>X</u>
Depression	—	—	—	—	—
WWII Era	—	—	—	—	—
Post WWII	—	—	—	—	—
Modern	—	—	—	—	—

Periods of Significance – Protohistoric (1720-1800) Early Historic (1801-1842) Pre-territorial (1843-1867) Territorial (1868-1889); Expansion (1890-1919) Depression (1920-1939); WWII-era (1940-1946); Post-WWII (1947-1955); Modern (1956-present)

Date _____ Smithsonian # _____



Benson/Brown Home, South Elevation Detail, Longfield 2009



Benson/Brown Home, South Elevation Detail, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

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Date _____ Smithsonian # _____



Benson/Brown Home, South Elevation, Longfield 2009

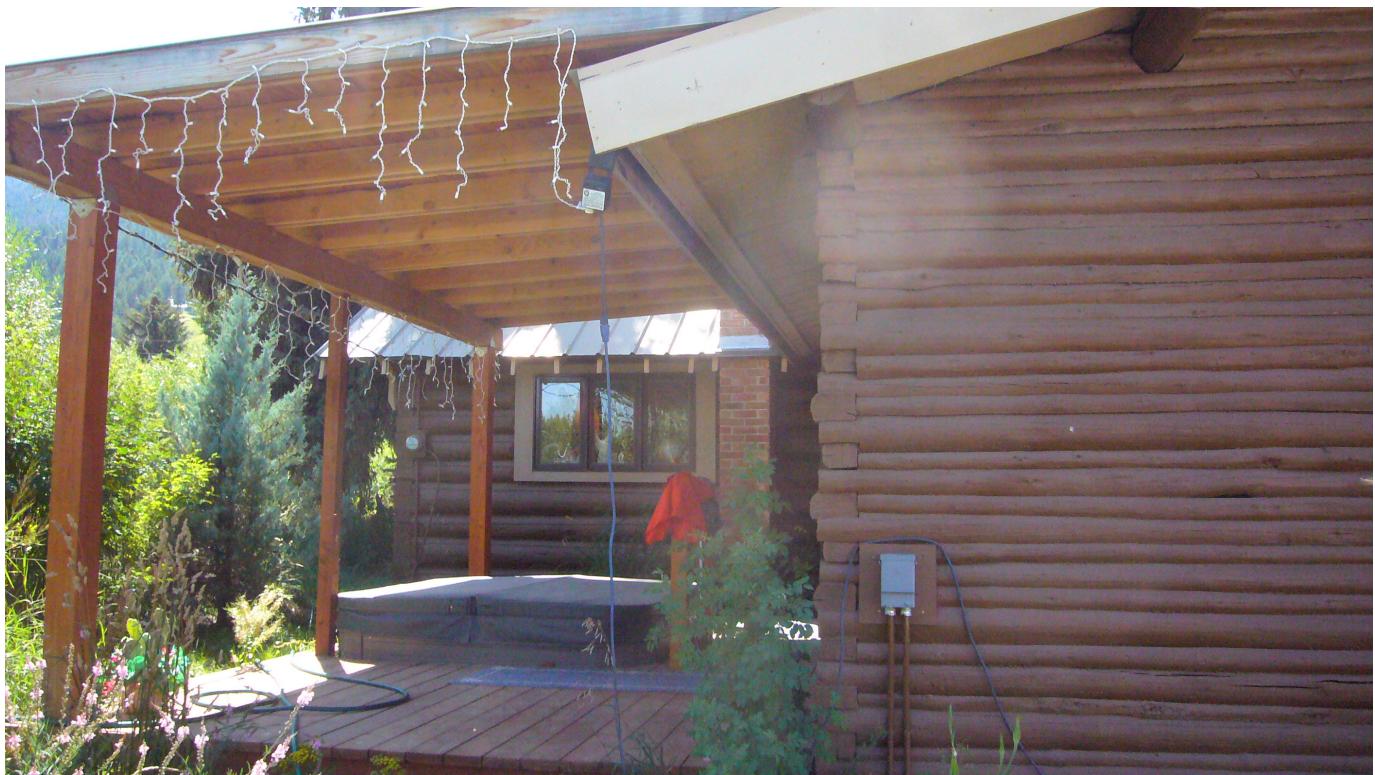


Benson/Brown Home, West and North Elevations, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

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Date _____ Smithsonian # _____



Benson/Brown Home, North Elevation Detail, Longfield 2009



Benson/Brown Home, East Elevation, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

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Date _____ Smithsonian # _____



Benson/Brown Generator Station, South Elevation, Longfield 2009



Benson/Brown Garage, South and West Elevations, Longfield 2009

* Continue narrative as needed on separate page or by expanding section on word processor.

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**Caption**

Ed Benson with pets, a dog and a cat. The first power station building is in the background.

Restricted

false

Original Object Size**Equipment Used to Acquire****Settings And Resolution****Latitude**

0 N

Azimuth

0

Details**Copyrights****Negative No**

Public Access false

Original Object**Format****Software Used to Acquire****Grayscale or Color (RGB)**

Longitude 0 E

Entered by

Unknown

Last modified by

Nora Haskell

Entered

09/23/2008 1:00 PM

Last modified

02/12/2021 11:36 AM



Caption	Work crew building pond, on Benson's power plant, view NW, ca. 1920	Negative No	
Restricted	false	Public Access	false
Original Object Size		Original Object Format	
Equipment Used to Acquire		Software Used to Acquire	
Settings And Resolution		Grayscale or Color (RGB)	
Latitude	0 N	Longitude	0 E
Azimuth	0		
Details			
Copyrights			

Entered by	Unknown	Last modified by	Nora Haskell
Entered	02/26/2010 12:00 PM	Last modified	02/12/2021 11:49 AM

**Caption**

Ed Benson and dog and cat on steps of cabin. In doorway of town's first power station. ca, 1920

Restricted

false

Original Object Size**Equipment Used to Acquire****Settings And Resolution****Negative No****Public Access**

false

Original Object Format**Software Used to Acquire****Grayscale or Color (RGB)****Longitude**

0 E

1998.0023.012 Print, Photographic

Jackson Hole Historical Society &

Photographer



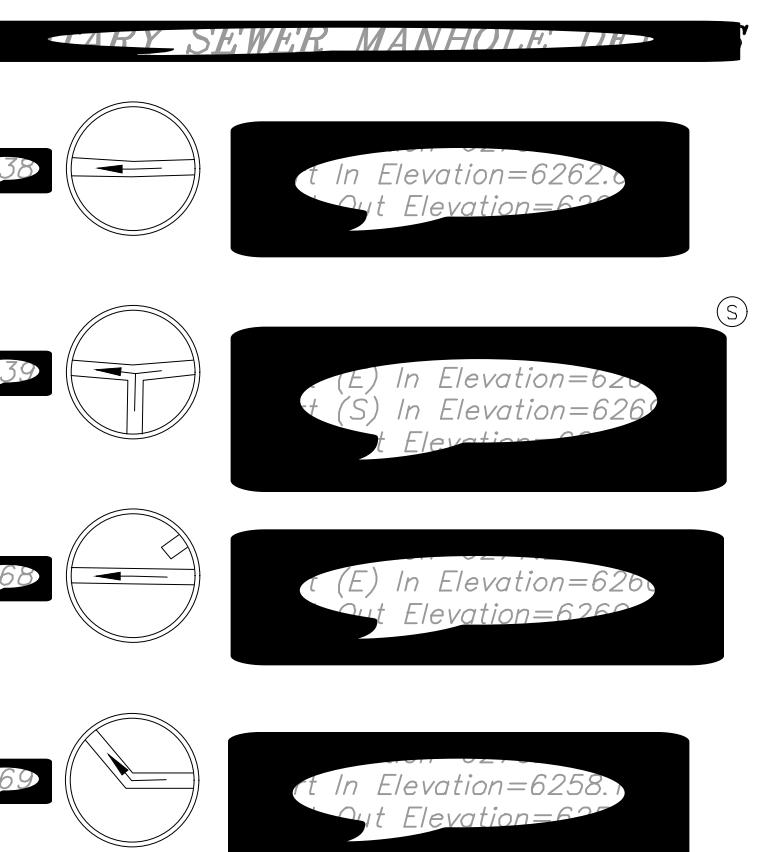
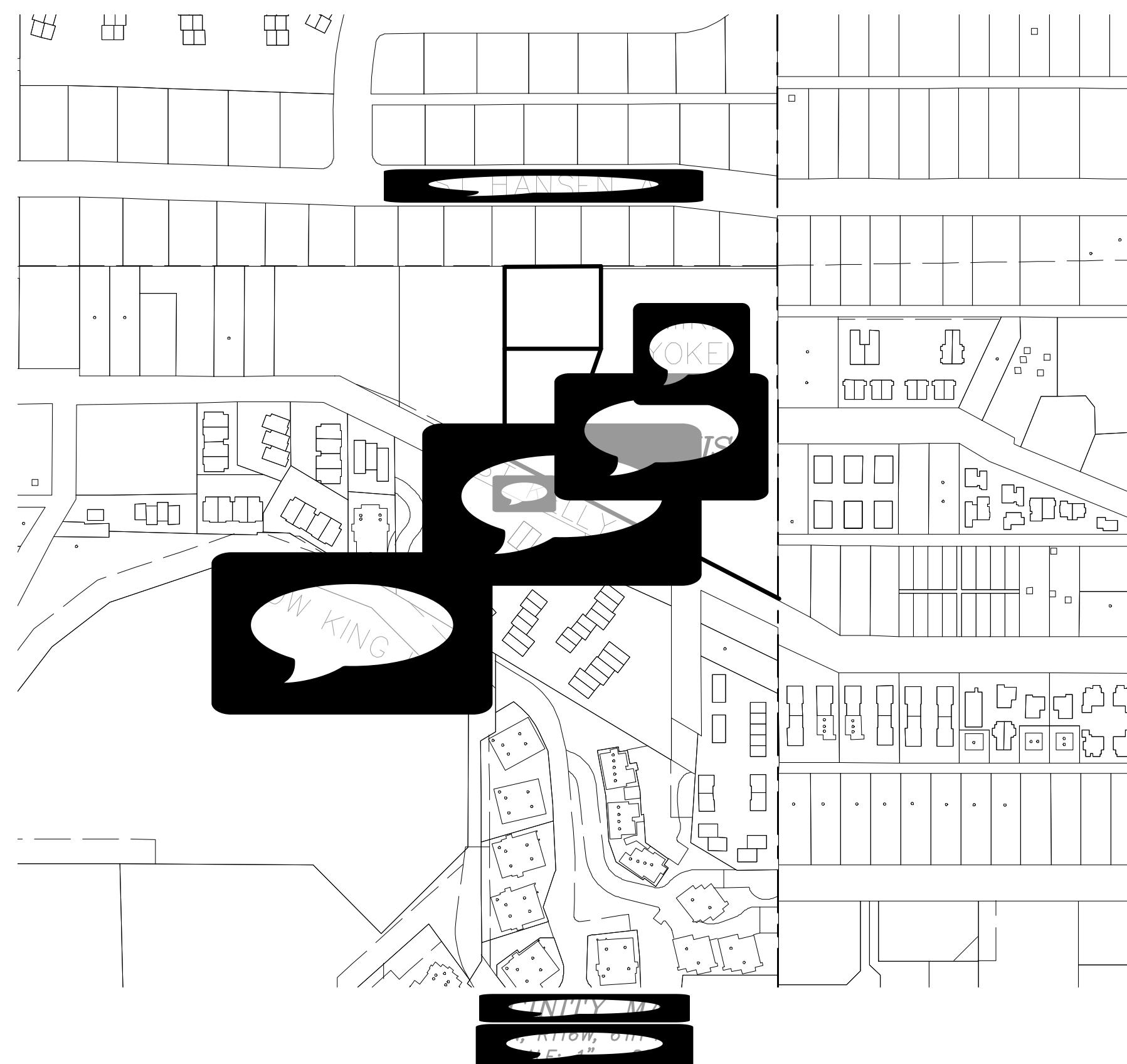
Date ca 1920

Description

Benson power plant on Flat Creek. became the home of Norris Brown at 445 E. Kelly Street .

Notes

P:\2020\20136-TC Housing - 445 E. Kelly\60-Survey\CAD\20136 Site Topo.dwg



Properties are limited to visible structures; underground locations were not mapped due to lack of information. The boundaries of the Subject Properties are depicted in red on the map.

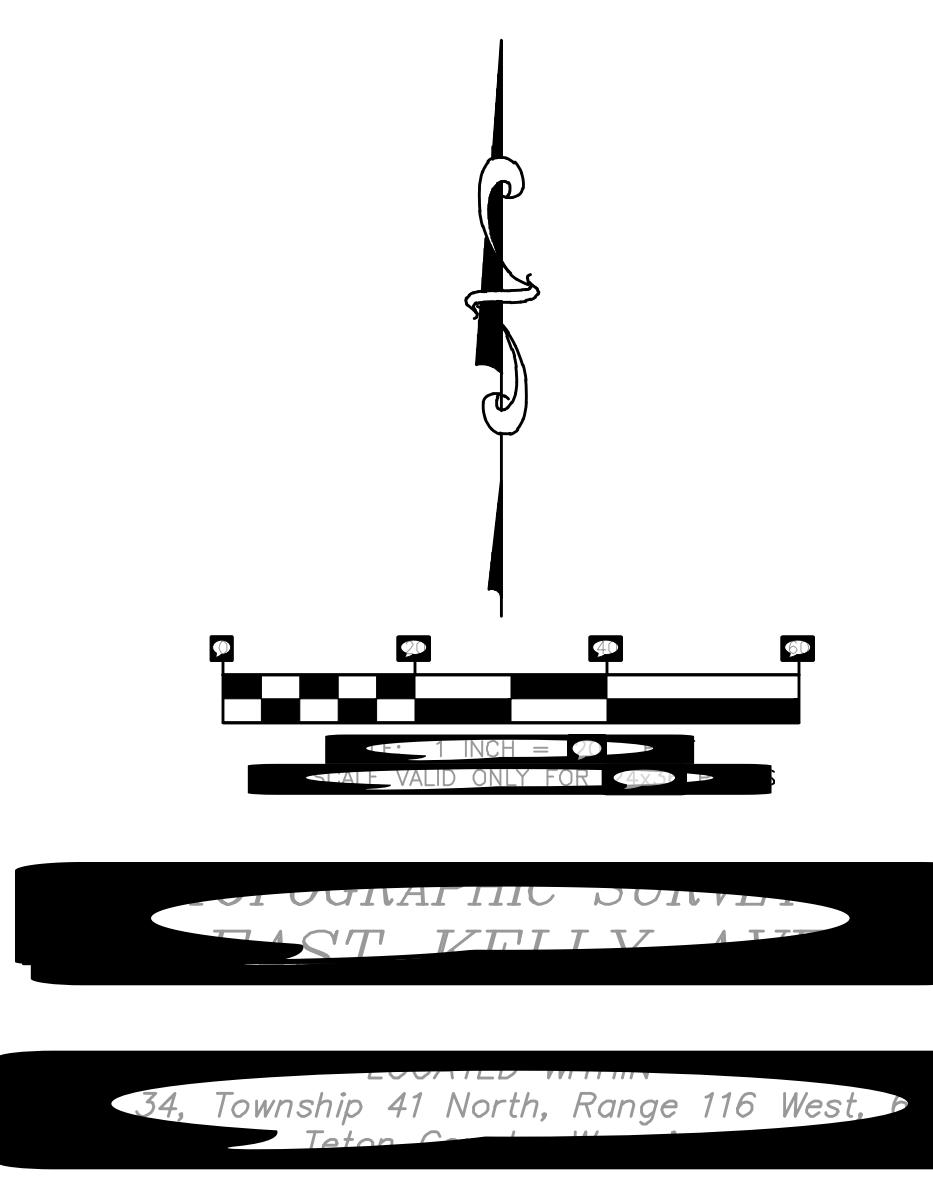
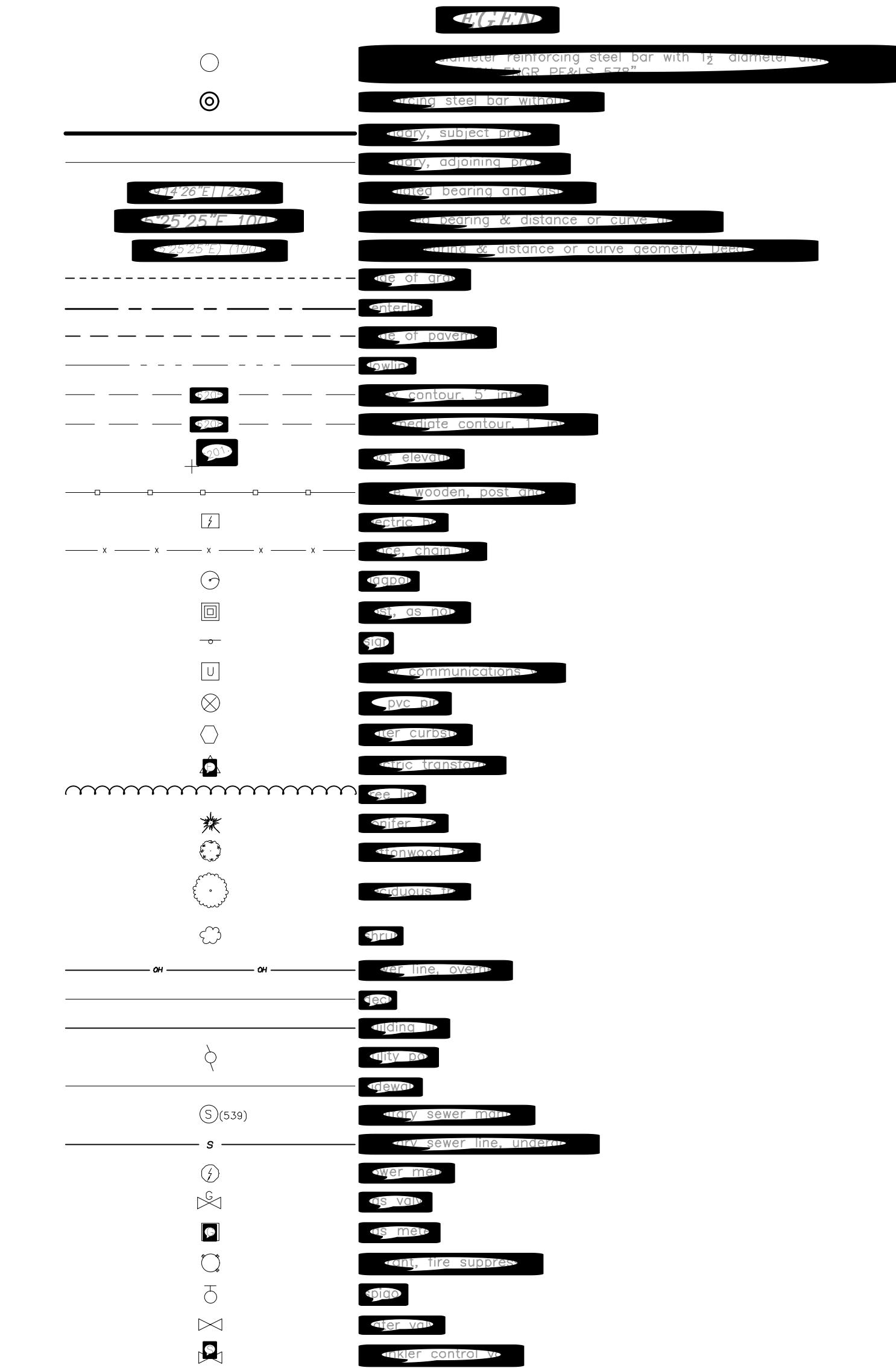
CPS observation methods and reference NAVD29. Site benchmark elevation is 6273.0

CPS observation methods and reference NAVD29. Site benchmark elevation is 6273.0

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10.1007/s00339-007-0332-0

11. **What is the primary purpose of the *Journal of Clinical Endocrinology and Metabolism*?**





Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: March 15, 2022

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual : Teton County, a duly organized county of the State of Wyoming

Being duly sworn, deposes and says that Teton County is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 445 E Kelly Avenue

Legal Description: PT SE1/4NW1/4, SEC. 34, TWP. 41, RNG. 116.

Please attach additional sheet for additional addresses and legal descriptions.

And, that the person named as follows: Name of Applicant/agent Jackson/Teton County Affordable Housing Department

Mailing address of Applicant/agent: PO Box 714 Jackson, WY 83001

Email address of Applicant/agent: kristi.malone@tetoncountywy.gov, ahnorton@tetoncountywy.gov

Phone Number of Applicant/agent: 307-732-0867

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

Demolition Permit Other (describe) Pre-application meetings, Admin Adjustments, Zoning Compliance Verification

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Natalia D. Macker, Chair, Teton County Board of Commissioners

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner), partnership or other non-individual Owner *Attest: [Signature]*

STATE OF WYOMING)
COUNTY OF TON) SS.
)

The seal is circular with a double-line border. The outer ring contains the words "STATE OF WYOMING" at the top and "TETON COUNTY" at the bottom. The inner circle contains the words "CLERK" on top and "COUNTY" on the bottom, all in a bold, sans-serif font.

The foregoing instrument was acknowledged before me by NATALIA D. MACKER this 15th day of MARCH, 2022. WITNESS my hand and official seal.

My commission expires: 7-1-2027