



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police
- Ecosystem Stewardship

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division
- Engineer
- Surveyor
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company
- Regional Transportation

Date: October 14, 2024
Item #: P24-156

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Email: tvalentine@jacksonwy.gov

Owner

Glenwood JH, Inc.
4011 80th Street
Kenosha, WI 53142

Applicant

Matt Gotham
Jorgensen Associates, Inc.
PO Box 9550
Jackson, WY 83002

REQUESTS:

The applicant is submitting a request for a Zoning Compliance Verification for the property located at 165 North Glenwood Street, legally known as:

LOTS 5-6, BLK. 6, JACKSON

PIDN:

22-41-16-28-4-10-004

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

Please respond by: November 4, 2024 (with Comments)

For Departments not using Smartgov, please send responses via email to planning@jacksonwy.gov



Town of Jackson Planning and Building Department

LETTER OF AUTHORIZATION
NAMING APPLICANT AS OWNER'S AGENT

Stephen R. Mills, President of Glenwood JH, Inc.

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that Glenwood JH, Inc. is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 185 N. Glenwood St.

Legal Description: Lot 1-4, Block 6, Town of Jackson

Legal Description: _____
Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Matt Gotham, Jorgensen Associates, Inc.

Mailing address of Applicant/agent: PO Box 9550, Jackson, WY 83002

Email address of Applicant/agent: mgotham@jorgeng.com

Phone Number of Applicant/agent: 307-733-5150

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit

Demolition Permit Other (describe) _____

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

~~Property Owner Signature~~

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF WISCONSIN)
COUNTY OF KENOSHA) SS.
)

The foregoing instrument was acknowledged before me by Stephen R. Mills this 30th day of August, 2021.

WITNESS my hand and official seal.

Janis E. Hagerty
Notary Public



My commission expires: 02/10/2024



October 1, 2024

Mr. Tyler Valentine
Teton County Planning Dept.
P.O. Box 1727
200 South Willow St.
Jackson, WY 83001
-Digitally Delivered to planning@jacksonwy.gov -

**RE: Planning Permit Application for a Zoning Compliance Verification (ZCV) for a Boundary Adjustment
between Glenwood Condominium Addition (Plat No.1441) and Lot 5, Block 6, Original Town of Jackson
(Plat No. 100)**

Mr. Valentine,

Enclosed you will find the necessary materials for a Zoning Compliance Verification (ZCV) that we are submitting on behalf of our client Glenwood JH, LLC. The properties are specifically located within Block 6 of the Original Townsite of Jackson.

- Planning Permit Application
- Letter of Authorization
- Exhibit maps demonstrating proposed boundary adjustment
- Check for ZCV application fee has already been provided to your office

General Information

Glenwood JH is the developer of Glenwood Condominium Addition to the Town of Jackson (Plat No. 1441) and is currently developing Phase 2 of the Glenwood Condominiums and seeks a boundary adjustment between Plat 1441 and Lot 5, Block 6. Both properties are in the Town's DC-2 zone, Town Commercial Core district. The existing foundation of the Glenwood Condominium Addition Phase 1 is between 3.3' and 1.6' offset from the south boundary line. The purpose of the boundary adjustment is to move the boundary to the south face of the existing foundation wall and apply a zero-setback to both Phase 1 and Phase 2.

Zoning Compliance Verification (ZCV) for Boundary Adjustment (BDJ)

The adjustment of boundaries between parcels of record that involves the division of a portion of one property so that the divided portion can be completely merged into an adjacent property shall be exempt from the standards of Section 8.5.3. of the Town of Jackson Land Development Regulations (LDRs) but shall comply with the standards of Section 8.5.5. of the LDRs and requires a ZCV prior to submittal.

8.6.2.C. Findings for ZCV

In order to issue a ZCV, the Planning Director shall find that the property, portion of the property, or attribute of the property in question:

1. ***Complies with all relevant standards of these LDRs and other Town Ordinances;*** To the best of our knowledge, the approval of this application complies with all the relevant standards of these LDRs and other Town Ordinances. Complies.
2. ***Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*** To the best of our knowledge, this application is in substantial conformance with all standards and conditions of all prior applicable permits or approvals. Complies.

Applicable LDR Standards for Boundary Adjustment (BDJ)

8.5.5.D. Findings

A boundary adjustment shall be approved upon finding that:

1. ***No additional parcels of record are created;*** No additional parcels of record are being proposed by this application. Complies.
2. ***Each of the resulting parcels of record complies with the zone in which it is located as approved through a zoning compliance verification;*** The re-configuration of these two lots will bring the setbacks into compliance with Zone Standards of the DC-2 Zone in the Town of Jackson. Complies.
3. ***The applicability and required document provisions of this Section are met;*** The required documents for the recording of the adjusted parcels will be provided upon approval of the application in accordance with Section 8.5.5. Complies.
4. ***The application complies with all other relevant standards of these LDRs and other Town Ordinances, and.*** The approval of this application complies with all the relevant standards of these LDRs and other Town Ordinances. Complies.
5. ***The application is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*** This application is in substantial conformance with all standards and conditions of all prior applicable permits or approvals. Complies.

The exhibit maps included with this application show the current and proposed boundaries in both plan and profile views. I have also included the structural foundation plans for both phases 1 & 2 of the project.

Establishing the boundary line on the south face of the existing foundation wall will result in architectural appurtenances and roof eaves extending over the boundary into the south property. This will be resolved with an encroachment agreement which is not an issue as the applicant is the owner of the south property and controlling party of the condominium association of phase 1.

Please call me if you have any questions, or if you require additional information at this time. Thank you for your assistance.

Sincerely,

JORGENSEN ASSOCIATES, INC.



Matt Gotham, PLS
Survey Manager



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Design Review

Subdivision/Development Option

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification

Amendments to the LDRs

LDR Text Amendment

Map Amendment

Miscellaneous

Other: _____

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title



Town of Jackson Planning and Building Department

LETTER OF AUTHORIZATION
NAMING APPLICANT AS OWNER'S AGENT

Stephen R. Mills, President of Glenwood JH, Inc.

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Demolition Permit Other (describe) _____

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

~~Property Owner Signature~~

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other name of individual Owner

STATE OF WISCONSIN)
COUNTY OF KENOSHA) SS.
)

The foregoing instrument was acknowledged before me by Stephen R. Mills this 30th day of August, 2021.

WITNESS my hand and official seal.

Janis E. Hagerty
Notary Public



My commission expires: 02/10/2024

LOT 7
BLOCK 6
STAGE STOP, INC.

*Glenwood JH, Inc
165 N Glenwood St
Jackson, WY
Lots 5 & 6, Block 6
Deed 1040206
0.32 Acres*

THE GLENWOOD CONDOMINIUMS PHASE
ADDITION TO THE TOWN OF JACKSON
(PROPOSED)

NEW LOT AREA = 0.33 ACRE

EXISTING LOT BOUNDARY
TO BE VACATED

1.4'

N00°08'05" W

2.06'

40.10'

PROPOSED LOT BOUNDARY

THE GLENWOOD CONDOMINIUM
ADDITION TO THE TOWN OF JACKSON
PLAT 1441

NEW LOT AREA = 0.64 AC

NOO°12'08" W 99.00

N00°04'23" W 201.97'

ALLEY (20'-PUBLIC)

*BUFFALO CLUB CONDOMINIUMS
PLAT NO. 1250*

WEST GILL AVE

Glenwood JH, Inc
165 N Glenwood St
Jackson, WY
Lots 5 & 6, Block 6
Deed 1040206
0.32 Acres

THE GLENWOOD CONDOMINIUMS PHASE II
ADDITION TO THE TOWN OF JACKSON
(PROPOSED)

NEW LOT AREA = 0.33 ACRES

**EXISTING LOT BOUNDARY
TO BE VACATED**

PROPOSED LOT BOUNDARY

**THE GLENWOOD CONDOMINIUMS
ADDITION TO THE TOWN OF JACKSON
PLAT 1441**

NEW LOT AREA = 0.64 ACRES

N00°12'08"W 99.00' N00°04'23"W 201.97'

N89°58'52"E 139.95' N89°07'06"W 100.06'

N89°51'55"E 142.15' N89°32'47"E 140.10'

1.7' 1.6' 1.4' 3.3' 3.0'

N00°07'06"W 200.13'

LEGEND

	reinforcing steel bar with 2" diameter aluminum cap inscribed "JORGENSEN ASSOCIATES P.C. PLS 13002"
<i>N25°25'25"E 100.00'</i>	measured bearing & distance or curve geometry
<i>[N25°25'25"E] [100.00']</i>	calculated bearing & distance or curve geometry
— — — — —	boundary, to be vacated
— — — — —	boundary, this subdivision
— — — — —	boundary, adjoining property
— — — — —	boundary, proposed

The logo for Jorgensen is displayed on a white background. On the left is a black square containing a white graphic of two mountain peaks with a river or path winding between them. To the right of the square, the word "JORGENSEN" is written in a large, bold, black, sans-serif font. Below "JORGENSEN", the words "JACKSON, WYOMING" are in a smaller black font, followed by the phone number "307.733.5150" and the website "www.jorgeng.com" in a slightly smaller black font.

A scale bar and registration marks for a map. The scale bar is a horizontal line with a black and white checkered pattern, marked at 0, 10, 20, and 30. Above the scale bar is a decorative flourish. Below the scale bar is the text "SCALE: 1 INCH = 10 FEET" and "THIS SCALE VALID ONLY FOR 24x36 PRINTS".

EXHIBIT A
THE GLENWOOD CONDOMINIUM PHASE I & II
PROPOSED BOUNDARY ADJUSTMENT

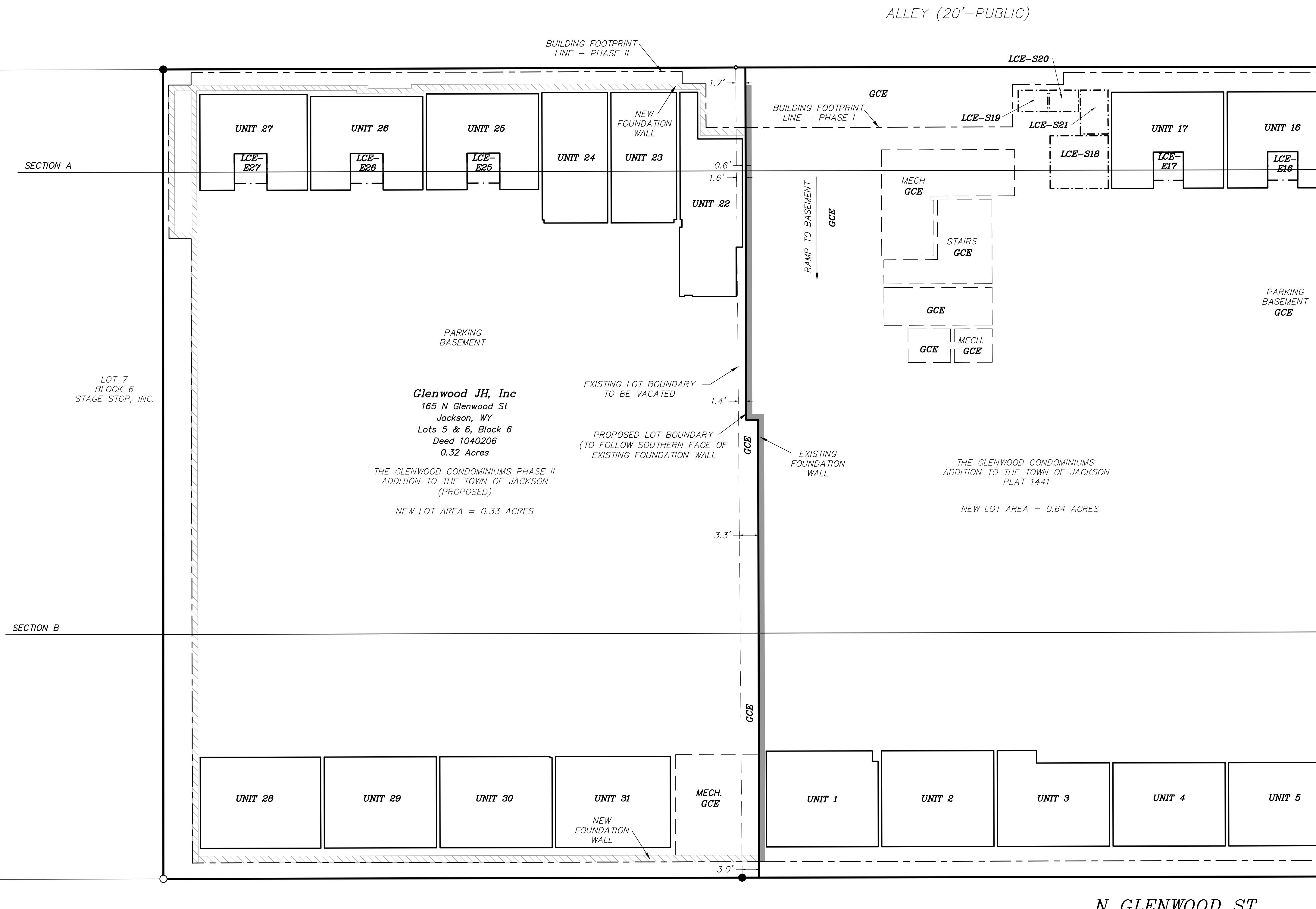
OVERVIEW PLAN

LOCATED IN THE
SE1/4 of SE1/4 Section 28
T41N, R116W, 6th P.M.
Town of Jackson
Teton County, Wyoming

LOTS 13-15 & S1/2 LOT 16, BLOCK 6, PLAT 100
DOROTHY WILSON LIVING TRUST
DOC 0455134

LOT 17 & N1/2 LOT 16, BLOCK 6, PLAT 100
JJB LLC
DOC 1008064

MILLER PARK LOFTS CONDOMINIUMS
ADDITION TO THE TOWN OF JACKSON
PLAT 1318
COMMON AREA



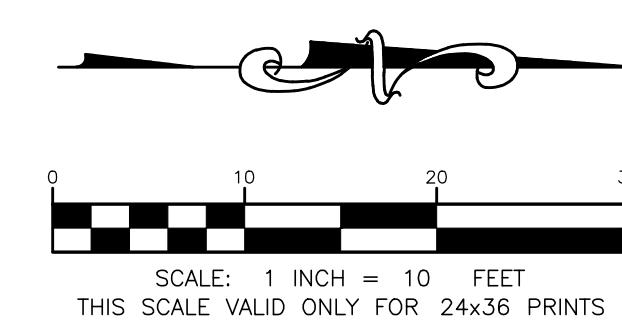
LEGEND

- reinforcing steel bar with 2 1/2" diameter aluminum cap inscribed "PLS 6447"
- reinforcing steel bar with 2" diameter aluminum cap inscribed "JORGENSEN ASSOCIATES P.C. PLS 13002"
- measured bearing & distance or curve geometry
- calculated bearing & distance or curve geometry
- boundary, to be vacated
- boundary, this subdivision
- boundary, adjoining property
- boundary, proposed
- boundary, condominium unit
- boundary, condominium limited common element
- building footprint line, as noted
- building line, face of exterior siding
- building eaves
- existing foundation wall — Phase I
- new foundation wall — Phase II

EXHIBIT B
THE GLENWOOD CONDOMINIUM PHASE I & II
PROPOSED BOUNDARY ADJUSTMENT

BASEMENT PLAN

LOCATED IN THE
SE1/4 of SE1/4 Section 28
T41N, R116W, 6th P.M.
Town of Jackson
Teton County, Wyoming



ALLEY (20'-PUBLIC)

SECTION A

SECTION B

BUILDING FOOTPRINT LINE - PHASE II

BUILDING FOOTPRINT LINE - PHASE I

NEW FOUNDATION WALL

UNIT 27 **UNIT 26** **UNIT 25** **UNIT 24** **UNIT 23** **UNIT 22** **UNIT 20** **UNIT 18** **UNIT 17** **UNIT 16**

LCE-E27 **LCE-E26** **LCE-E25** **LCE-E17** **LCE-E16**

GCE **TRASH GCE** **WALKWAY GCE** **STAIRS GCE** **LOBBY GCE** **ELEV. GCE**

RAMP TO BASEMENT

LCE-STAIRS 19/21

LCE-P18 **LCE-P17** **LCE-P16**

LOT 7 BLOCK 6 STAGE STOP, INC.

Glenwood JH, Inc
165 N Glenwood St
Jackson, WY
Lots 5 & 6, Block 6
Deed 1040206
0.32 Acres

EXISTING LOT BOUNDARY TO BE VACATED

PROPOSED LOT BOUNDARY (TO FOLLOW SOUTHERN FACE OF EXISTING FOUNDATION WALL)

COURTYARD

EXISTING FOUNDATION WALL

THE GLENWOOD CONDOMINIUMS PHASE II ADDITION TO THE TOWN OF JACKSON (PROPOSED)

NEW LOT AREA = 0.33 ACRES

1.4'-PROPOSED BNDRY TO EAVES

3.3'

LCE-P1 **LCE-P2** **LCE-P3** **LCE-P4** **LCE-P5**

COURTYARD

THE GLENWOOD CONDOMINIUMS ADDITION TO THE TOWN OF JACKSON PLAT 1441

NEW LOT AREA = 0.64 ACRES

LCE-E28 **LCE-E29** **LCE-E30** **LCE-E31** **LCE-E1** **LCE-E2** **LCE-E3** **LCE-E4** **LCE-E5**

UNIT 28 (area) SF **UNIT 29 (area) SF** **UNIT 30 (area) SF** **UNIT 31 (area) SF**

GCE

0.3'-PROPOSED BNDRY TO EXTERIOR SIDING

NEW FOUNDATION WALL

3.0'

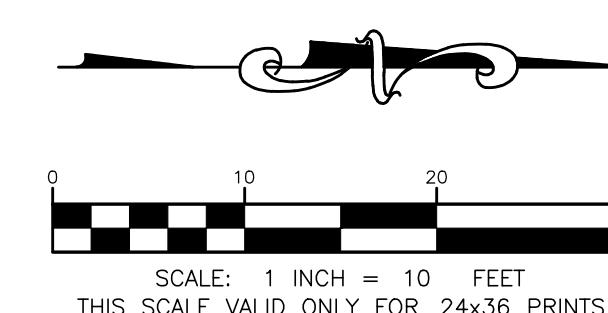
LEGEND

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- boundary, building footprint line, as noted
- boundary, building line, face of exterior siding
- boundary, building eaves
- existing foundation wall – Phase I
- new foundation wall – Phase II

EXHIBIT C
THE GLENWOOD CONDOMINIUM PHASE I & II
PROPOSED BOUNDARY ADJUSTMENT

LEVEL 1 PLAN

LOCATED IN THE
SE1/4 of SE1/4 Section 28
T41N, R116W, 6th P.M.
Town of Jackson
Teton County, Wyoming



PILOT HOUSE/ROOF DECK
— ELEV. = 6260.0

THIRD FLOOR
— ELEV. = 6248.9

SECOND FLOOR
— ELEV. = 6237.7

FIRST FLOOR
— ELEV. = 6226.0

BASEMENT SLAB
— ELEV. = 6210.4

24

LOT BOUNDARY (EXISTING)
LOT BOUNDARY (PROPOSED)

1.6'-EXISTING BNDRY TO
PROPOSED BNDRY

0.6'-PROPOSED
BNDRY TO
UNIT 22
(PHASE II)

0.5'-PROPOSED
BNDRY TO
UNIT 20
(PHASE I)

EXISTING
FOUNDATION
WALL

RAMP TO
BASEMENT
GCE

WALKWAY
GCE

TRASH
GCE

MECH.
GCE

LCE-S21

UNIT 23

UNIT 22

UNIT 20

UNIT 19

UNIT 21

UNIT 18

UNIT 17

LCE-E17

UNIT 17

LCE-E16

UNIT

LCE-P21

LCE-P17

LCE-P16

LEGEND

reinforcing steel bar with 2 1/2" diameter aluminum cap inscribed "PLS 6447"
reinforcing steel bar with 2" diameter aluminum cap inscribed "JORGENSEN
ASSOCIATES P.C. PLS 13002"
measured bearing & distance or curve geometry
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building footprint line, as noted
building line, face of exterior siding
building eaves
existing foundation wall - Phase I
new foundation wall - Phase II

PILOT HOUSE/ROOF DECK
ELEV. = 6260.0

THIRD FLOOR
ELEV. = 6248.9

SECOND FLOOR
ELEV. = 6237.7

FIRST FLOOR
ELEV. = 6226.0

BASEMENT SLAB
ELEV. = 6210.4

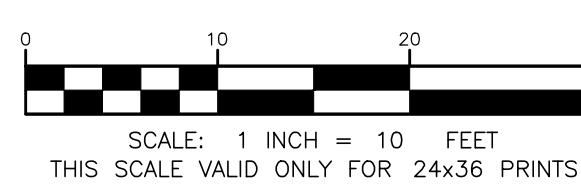
This architectural site plan illustrates the layout of five units (UNIT 1 through UNIT 5) and associated boundary details. The plan shows the following key features and dimensions:

- Boundary Details:**
 - LCE-P31:** Existing building footprint.
 - LOT BOUNDARY (EXISTING):** The outermost boundary of the site.
 - LOT BOUNDARY (PROPOSED):** The proposed boundary for the site.
 - 3.2' - EXISTING BNDRY TO PROPOSED BNDRY:** The distance between the existing and proposed boundaries.
 - 1.4' - PROPOSED BNDRY TO EAVES:** The distance from the proposed boundary to the eaves of the building.
 - 0.6' - PROPOSED BNDRY TO LCE-P1 (PHASE 1):** The distance from the proposed boundary to the rear of LCE-P1.
 - 1.1' - PROPOSED BNDRY TO UNIT 22 (PHASE 1):** The distance from the proposed boundary to the rear of UNIT 22.
 - 0.3' - PROPOSED BNDRY TO EXTERIOR SIDING:** The distance from the proposed boundary to the exterior siding of the building.
- Units:** The site is divided into five units:
 - UNIT 1:** Located to the right of LCE-E1.
 - UNIT 2:** Located to the right of LCE-E2.
 - UNIT 3:** Located to the right of LCE-E3.
 - UNIT 4:** Located to the right of LCE-E4.
 - UNIT 5:** Located to the right of LCE-E4.
- Foundation:** An arrow points to the "EXISTING FOUNDATION WALL" at the bottom left.
- Basement:** A dashed line at the bottom represents the "PARKING BASEMENT PHASE 1".
- Labels:** The labels "GCE" and "LCE" are present at the bottom right.

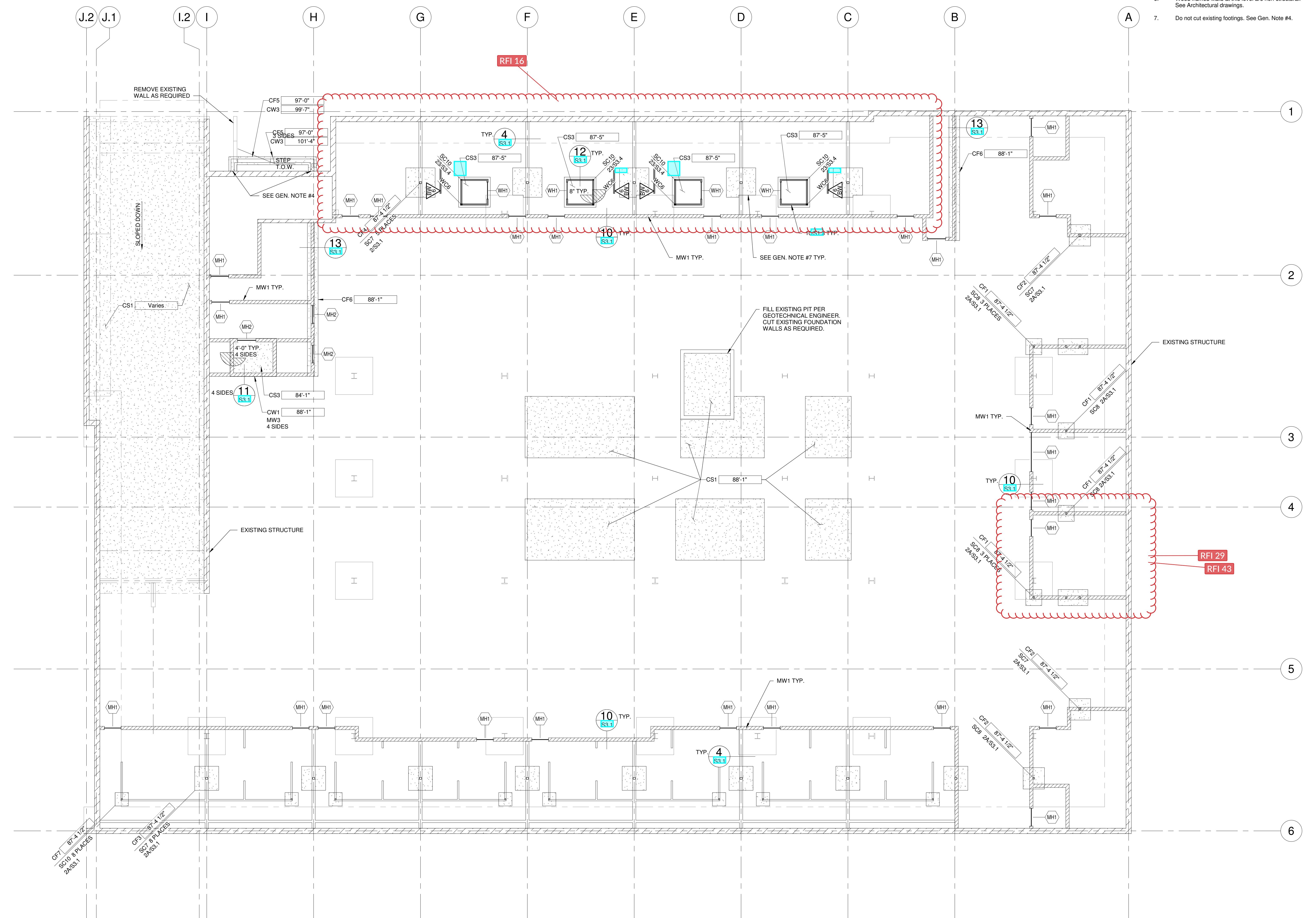
EXHIBIT D
THE GLENWOOD CONDOMINIUM PHASE I & II
PROPOSED BOUNDARY ADJUSTMENT

SECTIONS A AND B

LOCATED IN THE
SE1/4 of SE1/4 Section 28
T41N, R116W, 6th P.M.
Town of Jackson
Teton County, Wyoming



PHASE 1

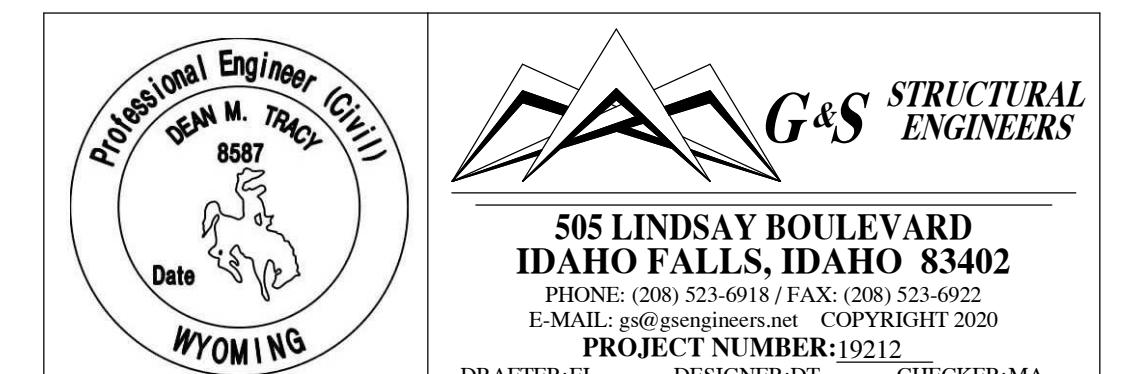


CONCRETE FOOTING SCHEDULE					
MARK	DEPTH	WIDTH	LENGTH	REINFORCEMENT	
				LONGITUDINAL	TRANSVERSE
CF1	12"	3'-0"	3'-0"	5- #4	5- #4
CF2	12"	4'-0"	4'-0"	6- #4	6- #4
CF3	14"	4'-6"	4'-6"	8- #4	8- #4
CF4	18"	5'-6"	5'-6"	8- #5	8- #5
CF5	12"	1'-6"	CONT.	2- #4 CONT.	..
CF6	12"	2'-0"	CONT.	3- #4 CONT.	..
CF7	12"	2'-6"	2'-6"	4- #4	4- #4

BASEMENT WALL FRAMING PLAN

1/8" = 1'-0"

N



NORTHWORKS

CHICAGO | JACKSON HOLE | SAN FRANCISCO | PHILADELPHIA

1512 N. Throop Street Chicago, Illinois 60642

T 312-440-9850 F 312-440-9851

© 2010 Northworks Architects & Planners. All rights reserved. Any discrepancies shall be reported immediately to the Architect before proceeding. Only figured dimensions should be used. Contractors and fabricators to verify all dimensions on site prior to beginning Work.

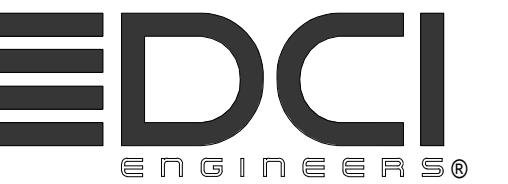
	ISSUED DATE	ISSUED FOR
1	3.26.2020	ISSUE FOR PERMIT
2	6.12.2020	IFC: CORE & SHELL - PROGRESS
4	07.10.2020	IFC: CORE & SHELL - PRICING
6	12.15.2020	IFC: INTERIORS

IFC: INTERIORS

PROFESSIONAL SEAL

Project GLENWOOD GILL	
165 AND 185 GLENWOOD ST.	JACKSON, WY 83001
1928	Project No.
Author	Drawn By
Checker	Checked By
Discipline	Drawing No.
S2.1	
Drawing Name BASEMENT WALL FRAMING PLAN	

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Any discrepancies shall be reported immediately to the Architect before proceeding. Only figured dimensions should be used. Contractors and fabricators to verify all dimensions on site prior to beginning work.



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CIVIL & STRUCTURAL

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STRUCTURAL STEEL COLUMN SCHEDULE

TYPE	SIZE	BASE PLATE	REMARKS
CS1	W18 ₆₇	PL 1 1/2"	SEE 16SS.01
CS2	HSS6 _{6x6x1/2}	PL 1/2"	SEE 15SS.01
CS3	HSS6 _{6x6x3/8}	PL 1"	SEE 20SS.01
CS4	V18x2	PL 2"	SEE 16SS.01
CS5	HSS5 _{5x5x1/2}	PL 3/4"	SEE 12SS.01

SPREAD FOOTING SCHEDULE

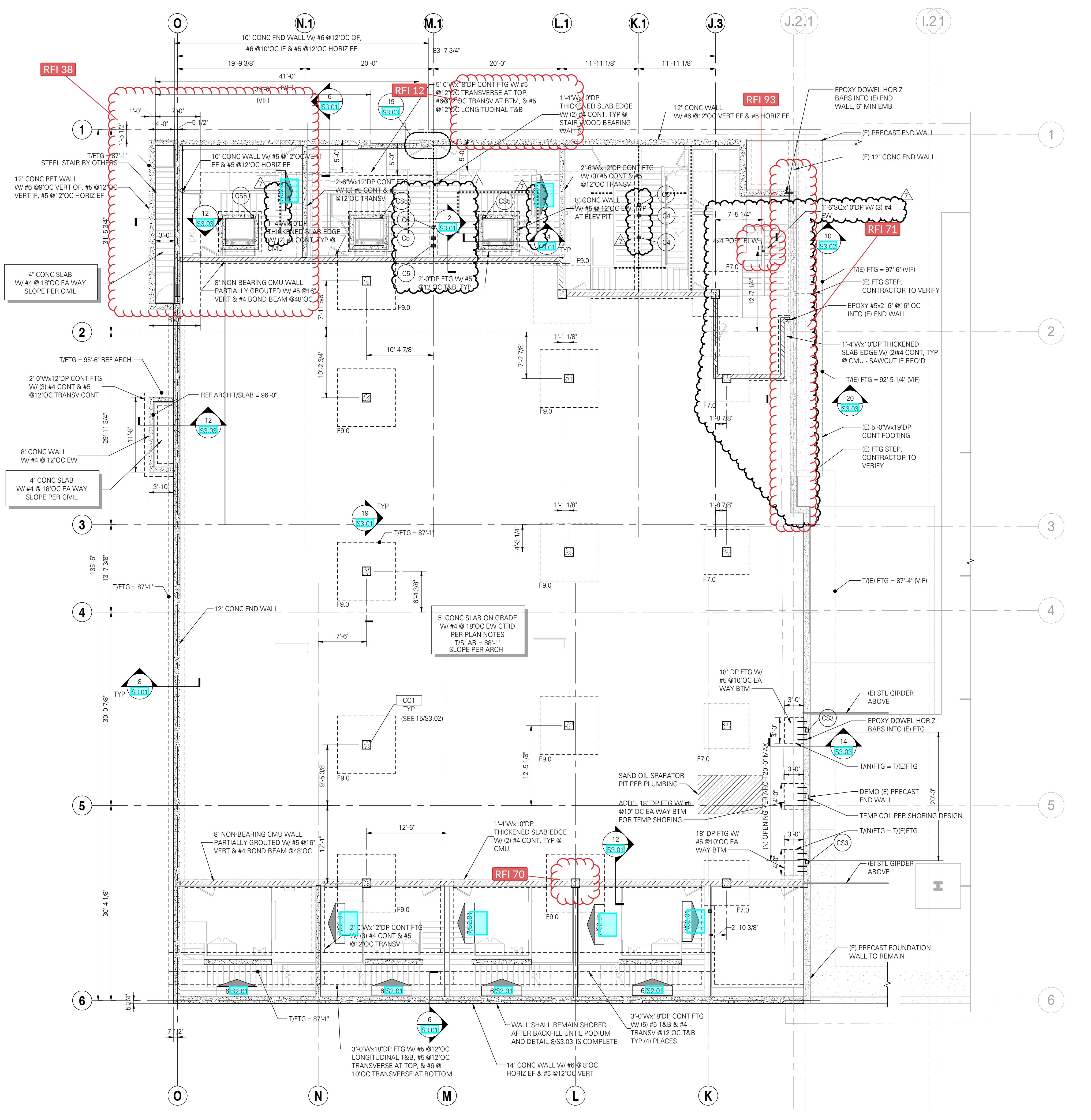
TYPE	LENGTH	WIDTH	DEPTH	REINFORCING	COMMENTS
F7.0	7'-0"	7'-0"	1'-6"	(8) #6 EW	
F9.0	9'-0"	9'-0"	2'-0"	(12) #6 EW	

FOUNDATION PLAN NOTES:

- STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND FOR (S1.1, S1.2 AND S1.3).
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED.
- CONTRACTOR SHALL LOCATE AND VERIFY THE FOLLOWING WITH OTHERS PRIOR TO POURING CONCRETE: ALL DOOR OPENINGS IN FOUNDATION WALLS; DRAINS AND SLOPES; BLOCKOUTS FOR POOL, SPAS, FREEZERS, COOLERS, PLUMBING, SPRINKLERS AND HVAC; ALL DUCTS, CHASES AND PIPES FOR MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS; STAIR DETAILS AND GUARDRAILS PER ARCHITECTURAL DRAWINGS.
- TOP OF SLAB (TSLAB) ELEVATION ASSUMED 0'-0" FOR ACTUAL TSLAB ELEVATION REFER TO CIVIL AND ARCHITECTURAL DRAWINGS. PROVIDE 6 MIL VAPOR BARRIER BELOW SLAB AT INTERIOR SPACES. PROVIDE FREE-DRAINING GRANULAR FILL PER GEOTECH REPORT.
- TYPICAL TOP OF INTERIOR (T) INTERIOR FOOTING ELEVATION = X'-X", UNO. TYPICAL TOP OF EXTERIOR (T) EXTERIOR FOOTING ELEVATIONS = X'-X", UNO.
- ALL FOOTINGS AND SLABS TO BEAR ON COMPETENT NATIVE SOIL AND/OR STRUCTURAL FILL, IMPROVED SOIL; SUBGRADE PREPARATION, STRUCTURAL FILL, DRAINAGE SYSTEM, AND OTHER REQUIREMENTS PER GEOTECH REPORT AS NOTED IN THE STRUCTURAL GENERAL NOTES.
- CJ INDICATES CONTROL JOINT PER PLAN.
- CONTRACTOR TO VERIFY TOP OF CONCRETE (T) CONCRETE WALL ELEVATIONS ON ALL SITE RETAINING WALLS. MAINTAIN T WALL ELEVATION A MINIMUM OF 6" ABOVE FINISH GRADE PER (02301, 02303).
- MOISTURE PROOF ALL CONCRETE STEM AND BASEMENT WALLS PER ARCHITECT. CONTRACTOR TO VERIFY ADDITIONAL LOCATIONS WHICH REQUIRE WATERPROOFING PER ARCHITECTURAL DRAWINGS.
- STEEL STAIRS SHALL BE BIDDER-DESIGNED, UNO. APPLICABLE DESIGN REQUIREMENTS PER STRUCTURAL GENERAL NOTES.
- ELEVATOR STEEL AND CONNECTIONS ARE PROVIDED FOR BUDGET PURPOSES ONLY AND ARE PRELIMINARY. THE PROPOSED STRUCTURAL MEMBERS AND THEIR CONNECTIONS SHALL BE CONFIRMED ONCE FINAL ELEVATOR REACTIONS ARE PROVIDED TO THE STRUCTURAL ENGINEER OF RECORD.
- UNDERPINNING PILES MAY BE EITHER HELICAL PIERS OR PIN PILES WITH REQUIRED WORKING LOADS PER PLAN. OPTION PER CONTRACTOR AND SHORING ENGINEER. SHORING ENGINEER TO CONSIDER UNBRACED LENGTH CONDITION OF PILES, ESPECIALLY AT THE WEST END OF GRIDLINE J'2 WHERE UNBRACED LENGTH MAY REACH >10'. TEMPORARY BRACING ON EACH SIDE OF EXISTING WALL SHOULD REMAIN IN PLACE UNTIL WALLS ARE IN THEIR FINAL CONDITION.
- TYPICAL DETAILS PER:

1/53.01 STANDARD HOOKS & BENDS - BEAM STRENGTHS AND COLUMN TIES
2/53.01 TYPICAL LAP SPLICING AND DEVELOPMENT LENGTH SCHEDULE
3/53.01 TYPICAL CORNER REINFORCING AT CONCRETE WALLS - SINGLE MAT
4/53.01 PLAN - TYPICAL CORNER REINFORCING AT CONCRETE WALLS - DOUBLE MAT
5/53.01 PIPE OR CONDUIT EMBEDDED IN SLAB ON GRADE
7/53.01 TYPICAL PIPE AND TRENCH LOCATIONS AT CONCRETE STEM/WALL/FOOTING
9/53.01 TYPICAL ANCHOR BOLT SCHEDULE
1/53.01 TYPICAL SHEAR WALL REINFORCING DETAILS
1/53.01 TYPICAL CORNER REINFORCING AT CONCRETE COLUMN
13/53.01 PLAN - TYPICAL CONTROL JOINT AT CONCRETE COLUMN
15/53.01 PLAN - CONCRETE SHEAR WALL BOUNDARY (6 BARS)
16/53.01 COLUMN VERTICAL REINFORCING LAP SPLICE SCHEDULE
17/53.01 PLANS - TYPICAL VERTICAL CONTROL JOINT AT CONCRETE WALL
18/53.01 ELEVATION - TYPICAL CONCRETE WALL OPENING REINFORCING
20/53.01 PLAN - CONCRETE SHEAR WALL OPENING REINFORCING

PHASE 2

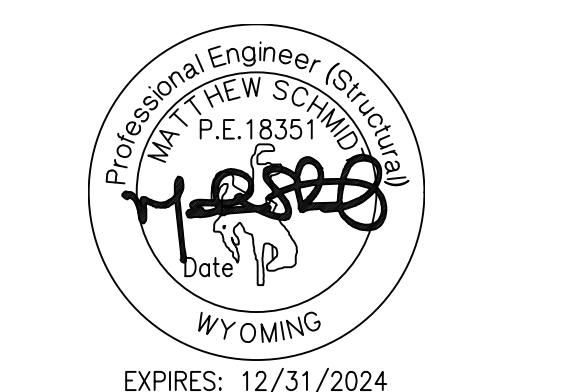


FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

ISSUE FOR CONSTRUCTION

1	08.02.2021	SCHEMATIC DESIGN ISSUANCE
2	10.29.2021	75% DD SET
3	11.19.2021	ISSUE FOR PERMIT & 100% DD
4	02.18.2022	100% CD SET
5	03.17.2022	ISSUE FOR CONSTRUCTION
6	01.20.2023	IFC/ADDITION 2
7	05.09.2023	ADDITION 3



Project GLENWOOD GILL PHASE 2

165 GLENWOOD ST. JACKSON, WY 83001

21141-0590	Project No.
TJH	Drawn By
SMO	Checked By
STRUCTURAL	Drawing No.

S1.01

Drawing Name
STRUCTURAL FOUNDATION PLAN



APPROXIMATE PROPOSED LOT BOUNDARY LOCATION.

VIEW FROM THE ALLEY AT THE TOP OF RAMP, LOOKING EAST ALONG THE EXISTING FOUNDATION WALL



APPROXIMATE PROPOSED LOT BOUNDARY LOCATION.

VIEW FROM N GLENWOOD ST, LOOKING WEST DOWN THE COURTYARD ACCESS