



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: February 13, 2024	REQUESTS:
Item #: P24-018	<p>The applicant is submitting a request for a Sketch Plan for a 3-story hotel located at 210 and 230 N Glenwood St, legally known as LOT 11 and Pt. LOT 12, BLK. 1, SIMPSON.</p> <p>PIDNs (respectively):</p> <p>22-41-16-28-4-07-011 22-41-16-28-4-07-010</p> <p>For questions, please call Katelyn Page at 307-733-0440 x 1302 or email the address shown to the left. Thank you.</p>
Planner: Katelyn Page	
Phone: 733-0440 ext. 1302	
Email: kpage@jacksonwy.gov	
Owners: Pine Tree Corporation PO Box 1677 Jackson, WY 83001	
Applicant: Northworks Architects & Planners, LLC PO Box 4207 Jackson, WY 83001	
Please respond by: March 5, 2024 (with Comments)	

Applicant:

Northworks Architects & Planners, LLC
PO Box 4207
Jackson, WY 83001

RESPONSE: For Departments not using SmartGov, please send responses via email to:

planning@jacksonwy.gov

GLENWOOD HOTEL

210-230 N. GLENWOOD ST

SKETCH PLAN SUBMISSION

FEBRUARY 1, 2024



NORTHWORKS



HOTEL JACKSON

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01

COVER LETTER

NORTHWORKS

Paul Anthony
Planning Director
Town of Jackson
P.O. Box 1687
Jackson, WY 83001

January 31, 2024

Re: Sketch Plan: 210-230 N. Glenwood Street

Dear Mr. Anthony,

Please accept this Sketch Plan application for the redevelopment of the property located at 210-230 N. Glenwood Street. Included in this application are the following items:

1. Cover Letter
2. Application Form
3. Letter of Authorization
4. Project Narrative, Pre-App Responses & Neighborhood Meeting Notes
5. LDR Compliance
6. Responses to Findings for Approval (8.3.2C)
7. Housing Mitigation Plan
8. Architectural Drawings & Renders
9. Civil Drawings

The proposed project implements the goals noted in the Jackson/Teton County Comprehensive Plan. It conforms with the Town of Jackson land development regulations and design guidelines.

The project is a mixed-use building totaling approximately 19,000 square feet including a hotel lobby and café at the street level, and two additional levels comprised of 15 hotel rooms on each floor (30 rooms total).

Please notify me with any questions you may have. We look forward to working with you on this project.

Sincerely,



Kimberly Daul
Project Architect, Northworks Architects

02

APPLICATION



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Glenwood Hotel
Physical Address: 210-230 N. Glenwood St, Jackson, WY 83001
Lot, Subdivision: Lots 11-12, Blk. 1, Simpson PIDN: 22-41-16-28-4-07-011,
22-41-16-28-4-07-010

PROPERTY OWNER.

Name: Pine Tree Corporation Phone: _____
Mailing Address: PO Box 1677, Jackson, WY 83001 ZIP: _____
E-mail: sdarwiche@hoteljackson.com

APPLICANT/AGENT.

Name: Northworks Architects & Planners, LLC Phone: 307-201-5324
Mailing Address: PO Box 4207, Jackson, WY ZIP: 83001
E-mail: kdaul@nwks.com

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit	Physical Development	Interpretations
<input type="checkbox"/> Basic Use	<input checked="" type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input type="checkbox"/> Design Review	Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	Miscellaneous
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: P23-224 Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

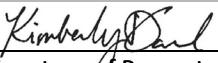
SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

- Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.
- Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Property Owner or Authorized Applicant/Agent
Kimberly Daul
Name Printed

01/08/2023
Date
Project Architect
Title

03

LETTER OF
AUTHORIZATION



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual: Sadele Darwiche Title: Officer

Being duly sworn, deposes and says that _____ is the owner in fee of the premises located at: _____ Name of legal property owner as listed on deed

Address of Premises: 210-230 N Glenwood St, Jackson WY 83001

Legal Description: Lots 11 & 12, Block 1, Simpson

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Northworks Architects and Planners, LLC

Mailing address of Applicant/agent: PO Box 4027, Jackson, WY 83001

Email address of Applicant/agent: ajanak@nwks.com

Phone Number of Applicant/agent: 307-201-5324

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

Demolition Permit Home Occupation Other (describe) Pre-Application Conference

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Officer

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF WYOMING)

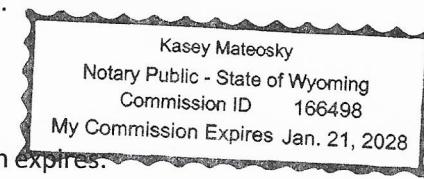
) SS.

COUNTY OF TECTON)

)

The foregoing instrument was acknowledged before me by Kasey Mateosky this 5th day of Dec 2023. WITNESS my hand and official seal.

Notary Public



My commission expires.

Jan 21, 2028

04

PROJECT NARRATIVE,
PRE-APP RESPONSES
& NEIGHBORHOOD
MEETING NOTES

NORTHWORKS

PROJECT NARRATIVE

OVERVIEW

The proposed project is located at 210-230 N. Glenwood Street, one block north of St. John's Episcopal Church and west of the Anvil Hotel. For purposes of this application, we are referring to the project as "Glenwood Hotel". The hotel will contain a ground floor lobby café space, parking at grade and in the basement, and two stories of hotel rooms.

EXISTING SITE

The site consists of two lots at the corner of N. Glenwood St. and W. Gill Ave (Lots 11 & 12, Blk. 1). An existing chiropractor office building at the northwest corner of the site will be demolished.

PROGRAM

The project will be a total of approximately 38,000 gross square feet (including basement parking) and 3 stories tall. The first floor will include a lobby reception area and café/lounge space, along with back of house spaces and parking accessed from the alley. A ramp down to the basement parking will be accessed from N. Glenwood St. The second and third floors each contain 15 hotel rooms (a total of 30 keys), all of which have access to a private balcony. A small rooftop terrace is set back from the street and is open only to hotel guests.

The building will have a total FAR area of 19,152 square feet; 8,000 square feet will be transferred to this project in addition to the by-right 11,152 square feet allowed by the LDRs with the lodging overlay.

The project meets the town's landscape requirements via the inclusion of planted areas along all 4 sides of the building. Along Glenwood St. and Gill Ave, a series of raised planters enliven the streetscape. Along the alley and north yard, planted areas will also include the required planting units.

On-Site parking is located partially at grade, fully shielded from view from the street, and accessed via an alley at the rear of the building. Basement parking is accessed via Glenwood St. at the northwest corner of the site. Garage doors shield both entrances from view. The project proposes a total of 7 street spaces and 26 on-site spaces.

CONCLUSION

This Sketch Plan application complies with the Town of Jackson Land Development Regulations, Design Guidelines, and applicable provisions of the Jackson/Teton County Comprehensive Plan.

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PRE-APP RESPONSES

General Discussion Notes/Comments from meeting:

1. **LDR vesting** – Project is vested under the current LDRs at time of determination of sufficiency of sketch plan submittal.
 - Noted.
2. **Summary of LDR Compliance** – Please include summary table of how project complies with the CR-2 zone including form-based standards like Building Frontage Options (LDR Sec. 2.2.1.D). Staff notes the project is not limited to “Lodging Frontage” as any use allowed in the applicable zoning district is allowed in any building frontage type, provided the use meets all other zoning and building code requirements. Compliance table should include dimension or calculation for how each standard is met as opposed to a “yes” noting apparent compliance.
 - Summary of LDR Compliance is included in the application.
3. **Response to Findings of Approval** – Include specific responses to each of the required Sketch Plan findings of approval listed in LDR Sec. 8.3.2.C
 - Responses to Findings of Approval is included in the application.
4. **Transfer of housing credits and development rights** – Sketch plan submittal shall include detailed housing mitigation plan describing existing credits on site, unit requirement of proposed development, and how the project plans to meet any housing unit requirement (ex: provision of units onsite or transfer of credits from a historic register property). Please reference LDR Sec. 6.3.5 - Method for Providing Required Affordable Workforce Housing and Sec. 5.9.6.C.5 – Incentives for Historic Preservation (Workforce Housing). Staff notes that final recordation of TDR deed restrictions (for FAR) have not yet been finalized/recorded and will be required as a condition of approval if the recording has not occurred prior to Town Council review. Similarly, if applicant plans to utilize a housing mitigation credit transfer from Historic Register property, restrictions have not yet been recorded. These restrictions will also be required as a condition of approval if the recording has not occurred prior to Town Council review.
 - Housing Mitigation Plan is included in the application.
5. **3rd Story stepback and encroachments into** – Planning Director confirmed the design as currently shown does not meet required 10' stepback at 3rd floor or 3' allowed encroachment into said stepback (northwest corner). Additionally, it is not the purview of the DRC committee to address, review, or approve LDR compliance as their review is limited to the Town's Design Guidelines. Revise design prior to DRC and Sketch Plan submittal. See LDR Sec. 9.4.1 for rules of measurement pertaining to stepback.
 - As shown on plans A1.03, A1.50, A1.51 and A2.00, the structure has been revised to meet the 3rd floor stepback requirements.
6. **Rooftop mechanical room** - The proposed rooftop mechanical room exceeds allowed building height and is not included in height allowance for elements used exclusively for elevator or stairway access to a roof. Revise design prior to DRC and Sketch Plan submittal.
 - As shown on plans A0.00, A1.50 & A1.51, the rooftop mechanical room has been removed.
7. **Roof height / deck / guardrail / pergola / deck furniture**
Current LDRS - Proposed design does not comply to current LDR height maximums. Under the current LDRs, structures used exclusively for elevator or stairway access to a roof may exceed the maximum allowable building height, provided they do not exceed the maximum height by more than ten feet, do not occupy more than 20 percent of the roof area, and are not visible from ground level view from a contiguous street (not limited to a right angle to the feature but all along the continuing street). Elements such as railings, furniture, hot tub, pergola structure may not exceed the max building height under current LDRs. The stair/elevator access components will need to be revised to meet the height allowance prior to DRC and Sketch Plan submittal.

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Pending LDR Updates - However, it appears the applicant can benefit from pending LDR updates that address some of the proposed rooftop elements. Under proposed updates currently under review by Town Council, some elements other than stair/elevator access will also be allowed to exceed the building height under certain conditions. This proposed text, an addition to current LDR Sec. 9.4.9.C

- As shown on plans A1.00, A1.50, A1.51, A2.00 and A2.01, the pergola rooftop structure and mechanical room have been removed. The rooftop stair/elevator overrun has been adjusted to not exceed 10' in height. A note has been added to indicate the hot tub is recessed into the roof structure. Lastly, a transparent guardrail has been added along the rooftop deck extents in lieu of planter boxes.
- The project prefers to pursue the Pending LDRs over the Current LDRs so that set-back transparent rooftop railings can extend above the maximum height.

8. **Pending LDR updates** (Town Council 3rd reading tentative 2/26)

Raised planter beds – “structural elements” including raised planter beds can count towards LSR

Bicycle parking - Conventional lodging would require 1 bike parking space per 11 lodging units with Short-term bike parking / long-term bike parking split 50/50.

Rooftop deck/furniture/railing (see notes above)

- Noted.

9. **Loading Requirement**. Demonstrate sufficient off-street loading facilities are provided for hotel operations/deliveries etc. The requirements of 6.2.2.E. are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.

- As shown on plan A1.01, a dedicated loading spot on Glenwood has been added. That street parking spot is the closest to an ADA compliant ramp that leads to the lobby entrance. Adjacent to the ramp, there is a single door entrance to the rear parking area that has direct access to the back of house spaces. Furthermore, there is an access door located in the alley adjacent to the parking entrance. This also leads to the back of house delivery and package storage spaces.

10. **Designated 15min On-street space** - Review of designated “guest check in” on-street vehicle parking space. Include a detail of this request within your sketch plan and development plan submittals. Include number of requested spaces, location of spaces along Glenwood or Gill, and suggested timeline for stall turnover such as 15min. Staff will present this to Council alongside your sketch/development plan requests.

- As shown on plan A1.00 & A1.01, one street parking spot on Glenwood has been designated to be a 15 min loading spot.

11. **EVSE charging** – Lodging requires 30% of spaces to be EVSE capable and 5% to be EVSE installed. Capable means capacity is available at site and conduit present.

- As shown on plan A1.01, two EVSE-installed charging spaces have been added (5% of 33 total parking spaces = 1.65 spaces EV spaces). A minimum of 10 spaces (30%) will be EVSE capable. Thus, 8 in addition to the existing 2 spaces.

12. **Partial Vacation** – This item may be reviewed and acknowledged by Council prior to issuance of building permit with applicant choosing to finalize recordation immediately before issuance of building permit. It is staff’s understanding that, in the event a partial vacation needs to be “undone”, applicant could record an affidavit with Town acknowledgement to void the partial vacation document.

- Noted.

Engineering Department Notes:

- Nelson Engineering will continue to develop site plans to show updated curb locations and a bulb-out at the corner of Glenwood & Gill.
- All other comments have been noted.

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CONSTRUCTION MANAGEMENT NARRATIVE

Once a General Contractor has been selected, the GC will carry out site management in multiple phases in accordance with the project site plans. The demolition phase will be contained by a fence and all construction activity shall occur on site. The excavation phase will involve off haul and coordination with Town of Jackson regarding right of way permits for sewer and utilities. If needed during the construction phase, the General Contractor will apply for a right of way use permit for a lane closure that will be occupied by a mobile crane.

The General Contractor will protect the pedestrian walkway with a 8' tall fence with screening. The construction barrier will extend the full length of the construction site and openings will be protected by gates that are controlled access points. The General Contractor will follow best practices for traffic control for all major deliveries. Construction parking will be self-enforced through staffing and signage.

The General Contractor will coordinate with the town to identify the properties and businesses most impacted by the construction information regarding schedule, traffic control, right of way use via site signage. The General contractor will conduct proactive neighbor outreach to ensure all neighbors impacted by the project are aware of the schedule, duration, and magnitude of the project.

NORTHWORKS

210-230 N Glenwood St. Neighborhood Meeting Summary

Meeting Location: 125 N Glenwood St. **Date:** 1/29/2024 **Time:** 5:30-6:30pm

Katelyn,

The Neighborhood meeting for the 210-230 N Glenwood Hotel project was held in person at 125 N Glenwood on Monday, January 29th from 5:30-6:30pm. Ownership was represented by Sadek Darwiche and the design team was represented by Hal Hutchinson and Adam Janak. Project boards were displayed within the meeting space for neighbors to review and ask questions about the proposed project. Four neighbors attended the meeting and stayed for the duration of the meeting. All comments were very positive and supportive of the project. Negative comments were targeted towards the narrowing of the street and building a bulb-out at the corner of Glenwood and Gill. The neighbors suggested leaving the streets as they are today and painting the bulb-out rather than building a new bulb-out from concrete. The neighbors also recommended that employee housing be provided off-site if required. They had strong opinions that employee housing within a lodging project is not a quality option for an employee that also works on property. They emphasized that this should be considered for all commercial properties within the Town of Jackson.

Neighbors included:

Chris Koch: 230 N Glenwood

Serese Kudar: 260 N Cache

Michael Kudar: 260 N Cache

Diana Waycott: 285 N Cache

Attached are the sign-in sheet as well written comments that Serese Kudar, Michael Kudar and Diana Waycott provided. Chris Koch did not provide written comments but emphasized that he supported the project and how it will be a great benefit to this part of town.

Sincerely,

Adam Janak

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210-230 N Glenwood St. Neighborhood Meeting Sign-in Sheet

Meeting Location: 125 N Glenwod St.

Date: 1/29/2024

Time: 5:30-6:30pm

Project Synopsis:

The project will be a total of approximately 38,000 gross square feet (including basement parking) and 3 stories tall. The first floor will include a lobby reception area and café/lounge space, along with back of house spaces and parking accessed from the alley. The second and third floors each contain 15 hotel rooms (a total of 30 keys), all of which have access to a private balcony. A small rooftop terrace is set back from the street and is open only to hotel guests.

The building will have a total FAR area of 19,152 square feet; 8,000 square feet will be transferred to this project in addition to the by-right 11,152 square feet allowed by the CR-2 LDRs with the Lodging overlay.

On-Site parking is located partially at grade, fully shielded from view from the street, and accessed via an alley at the rear of the building. Basement parking is accessed via N. Glenwood St. at the northwest corner of the site. Garage doors shield both entrances from view. The project proposes a total of 7 street spaces and 26 on-site spaces.

185 E Hansen, Jackson, Wyoming 83001 p: 307.201.5324 www.nwks.com

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210-230 N Glenwood St. Neighborhood Meeting

Meeting Location: 125 N Glenwood St. Date: 1/29/2024

Time: 5:30-6:30pm

Neighbor Name:

Comments: Supportive.

Curious and supportive - love the sustainable
size. *Grateful*

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210-230 N Glenwood St. Neighborhood Meeting

Meeting Location: 125 N Glenwood St.

Date: 1/29/2024

Time: 5:30-6:30pm

Neighbor Name: KUDAR, SERESE

Comments: KUDAR, MICHAEL

WE SUPPORT THIS PROJECT - good

FOR DOWNTOWN CORNER.

EFFICIENT, SOUND DESIGN

- NO NEED FOR BULB OUT
- NO BRAINER, SO RAISET FORWARD
LODGING, PROJECT
- EXPOSITE PROCESSES
LETS GET THE TAX WORKING
- SWINGER THAN LATER

05

LDR COMPLIANCE

NORTHWORKS

LDR COMPLIANCE

Lots 11 & 12, Blk. 1, Simpson
 210 & 230 N Glenwood St
 Jackson, Wyoming 83001

General	Source	Notes
Zoning district	Teton County GIS	ToJ – Commercial Residential-2 (CR-2)
PIDN	Teton County GIS	22-41-16-28-4-07-011 22-41-16-28-4-07-010
Gross Site Area (GSA)	Teton County GIS	.32 ac – 13,940 SF
LSR (Min)	TOJ LDR's section 2.2.12.B.1 (CR-2)	LSR = GSA x 10% 13,940 x 10% = 1,394 SF required
FAR (Max)	TOJ LDR's section 2.2.12.B.3 (CR-2)	GSA (0.46) sf + (0.34 Lodging Overlay) sf [13,940 (0.46) = 6,412 SF] + [13,940 (0.34) = 4,740 SF] = 11,152 SF (total by right)

2.2.12. CR-2: COMMERCIAL RESIDENTIAL-2

Town of Jackson Applicable LDRs

1. Lot Standards				
Building Setbacks (Sec 9.4.8.)				
General	Source	Requirement	Proposed	Complies
Primary street setback range (min.-max)	ToJ LDR Section 2.2.12. B.1	0' – 10'	0' – 10'	Yes
Secondary street setback range (min.-max)	ToJ LDR Section 2.2.12. B.1	0' – 10'	0'	Yes
Side interior (min.)	ToJ LDR Section 2.2.12. B.1	5'	5'	Yes
Rear (min.)	ToJ LDR Section 2.2.12. B.1	5' at corner lot	5'	Yes
Landscaping (Div. 5.5.)				
Landscape surface ratio (min.)	ToJ LDR Section 2.2.12. B.1	10% of 13,940 SF = 1,394 SF	1,394 SF	Yes
Plant units (min.)	ToJ LDR Section 2.2.12. B.1	1/1,000 sf of landscape area	2	Yes
Parking lot (all uses)	ToJ LDR Section 2.2.12. B.1	1/12 parking spaces	3	Yes
Fencing				
Height in any street or side yard (max)	ToJ LDR Section 2.2.12. B.1	4'	n/a	n/a
Height in rear yard (max)	ToJ LDR Section 2.2.12. B.1	6'	6'	Yes
Setback from pedestrian frontage	ToJ LDR Section 2.2.12. B.1	1'	70' at transformer	Yes

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Setback from side or rear lot line (min.)	ToJ LDR Section 2.2.12. B.1	0'	0'	Yes
Parking Setbacks (Sec. 9.4.8.)				
Primary street, above ground (min.)	ToJ LDR Section 2.2.12. B.1	30'	Set back 59'-1" from primary N. Glenwood St.	Yes
Secondary street, surface parking (min.)	ToJ LDR Section 2.2.12. B.1	30'	n/a	n/a
Secondary street, tuck under, enclosed, or structured parking screened by building (min.)	ToJ LDR Section 2.2.12. B.1	0'	Set back 28'-8" from secondary W. Gill Ave.	Yes
Access				
Curb cut width (max)	ToJ LDR Section 2.2.12. B.1	24'	20'-4"	Yes
2. Bulk Standards				
Street Façade (Sec. 9.4.11.)				
Width of ground and 2 nd story in primary street setback range • % of lot width (min.) • Length from street corner (min.)	ToJ LDR Section 2.2.12. B.2	70% min. 30' min.	1st Floor: 99'-0" of 99'-9" lot width = 90% 2nd Floor: 78'-2" of 99'-9" lot width = 78% Outer building structure is aligned with corner along entire street length	Yes, see A1.01 & A1.02.
Width of ground and 2 nd story in secondary street setback range • % of lot width (min.) • Length from street corner (min.)	ToJ LDR Section 2.2.12. B.2	35% min. 30' min.	1st Floor: 128'-8" of 139'-10" lot width = 92% 2nd Floor: 128'-8" of 139'-10" lot width = 92% Outer building structure is aligned with corner along entire street length	Yes, see A1.01 & A1.02.
Building Height (Sec. 9.4.9.)				
Height (max) if roof pitch <5/12 <i>Exceptions</i>	ToJ LDR Section 2.2.12. B.2 9.4.9.C	42' 10' over max. roof height	42' Stair has 10' overrun. Elevator has 10' overrun.	Yes Yes
Stories (max)	ToJ LDR Section 2.2.12. B.2	3 stories	3 stories	Yes
Height (min.) in any street setback range	ToJ LDR Section 2.2.12. B.2	2 stories or 24' min.	3 stories	Yes
Building Stepback (Sec. 9.4.12.)				
Stepback for any 3 rd story street façade or façade over 30' (min.)	ToJ LDR Section 2.2.12. B.2	10' min.	10' min.	Yes
Encroachment in stepback (max % of overall façade width)	ToJ LDR Section 2.2.12. B.2	60% max.	Primary: 52'-9" + 1'-2" = 53'-11" total encroaching / 89'-11" bldg. width = 60%	Yes

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			Secondary: 43'-8" + 29'-6" = 73'-2" total encroaching / 128'-8" bldg. width = 56%	
Scale of Development				
Floor area ratio (FAR) (max) (E.3.)	ToJ LDR Section 2.2.12. B.2	.46 + .34 for Lodging = .80 Total	11,152 SF total by right	Yes
Deed restricted housing exemption (Sec. 7.8.3.)	ToJ LDR Section 2.2.12. B.2		n/a	n/a
Workforce housing floor area bonus (Sec. 7.8.4.)	ToJ LDR Section 2.2.12. B.2	2:1	n/a	n/a
3. Form Standards				
Pedestrian Frontage				
Trees in grates	ToJ LDR Section 2.2.12. B.3	See sec. 2.2.1.C.2	40' max. spacing	Yes
Building Frontage				
Lodging	ToJ LDR Section 2.2.12. B.3 2.2.1.D.5	Story heights: Ground story: 12' min Upper story: 7'-6" min Ground floor elev: 0'-5' Transparency: (min) Ground story, prim: 40% Ground story, sec: 20% Upper stories: 20%	Story heights: 12'-8" 9'-1" 0' to 2'-6" Transparency: (min) 44% 74% 20% min.	Yes, see A2.00
		Blank Wall Area: Primary: 35' max. Secondary: 50' max.	Blank Wall Area: 22' 13'	
		Pedestrian Access: Primary entrance: Req Entrancing spacing: n/a	Pedestrian Access: Entries on both streets n/a	
Parking Type Options				
On-street parking	ToJ LDR Section 2.2.12. B.3	See sec. 2.2.1.E.1	Yes	Yes, see A0.00 and A1.01
Surface parking	ToJ LDR Section 2.2.12. B.3	See sec. 2.2.1.E.2.	n/a	n/a
Tuck-under parking	ToJ LDR Section 2.2.12. B.3	See sec. 2.2.1.E.4	n/a	n/a
Enclosed parking	ToJ LDR Section 2.2.12. B.3	See sec. 2.2.1.E.3.	Yes	Yes, see A1.01
Structured parking	ToJ LDR Section 2.2.12. B.3	See sec. 2.2.1.E.5.	n/a	Yes
Underground parking	ToJ LDR Section 2.2.12. B.3	See sec. 2.2.1.E.6.	Yes	Yes, see A1.00
4. Environmental Standards				
Natural Resource Setback (min) (Sec 5.1.1.)				
Cache Creek south of Cache Creek Dr.	ToJ LDR Section 2.2.12. B.4	20'		Yes

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Flat Creek north of Hansen	ToJ LDR Section 2.2.12. B.4	25'		Yes
Flat Creek south of Hansen	ToJ LDR Section 2.2.12. B.4	50'		Yes
Wetland	ToJ LDR Section 2.2.12. B.4	30'		Yes
Irrigation Ditch Setback (min) (Sec. 7.7.4.D.)				
Irrigation Ditch	ToJ LDR Section 2.2.12. B.4	15'		Yes
Natural Resource Overlay (NRO)(Sec. 5.2.1.)				
5. Scenic Standards				
Exterior Lighting (Sec 5.3.1.)				
Light trespass is prohibited	ToJ LDR Section 2.2.12. B.5			Yes
All lights over 600 lumen shall be fully shielded.	ToJ LDR Section 2.2.12. B.5			Yes
Max lumens per sf of site development	ToJ LDR Section 2.2.12. B.5	3		Yes
Lumens per site (max)	ToJ LDR Section 2.2.12. B.5			Yes
All fixtures		100,000		Yes
Unshielded fixtures		5,500		Yes
Light color	ToJ LDR Section 2.2.12. B.5	<3000 Kelvin		Yes
Scenic Resource Overlay (SRO)(Sec. 5.3.2.)				
7. Signs (nonresidential) (Div. 5.6.)				
Number of signs (max)	ToJ LDR Section 2.2.12. B.7	3 per business per frontage		Yes
Background color	ToJ LDR Section 2.2.12. B.7	No white or yellow		Yes
Sign Area				
Total sign area (max)	ToJ LDR Section 2.2.12. B.7	3 sf per linear ft of street façade width up to 150 sf		Yes
Penalty	ToJ LDR Section 2.2.12. B.7	10% per projecting and freestanding sign		Yes
Sign Type Standards				
Canopy Sign Clearance (min) Setback (min)	ToJ LDR Section 2.2.12. B.7	7'6" from average grade 18" from back of curb		Yes
Projecting sign Height (max) Clearance (min) Setback (min)	ToJ LDR Section 2.2.12. B.7	24' above grade 7'-6" from average grade 18" from back of curb		Yes
8. Grading, Erosion Control, Stormwater				
Grading (sec 5.7.2.)				
Erosion Control (sec 5.7.3.)				
Erosion shall be controlled at all times	ToJ LDR Section 2.2.12. B.8			Yes
Stormwater Management (sec.5.7.4.)				

NORTHWORKS

No increase in peak flow rate or velocity across property lines	ToJ LDR Section 2.2.12. B.8				Yes
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9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1.)	Development Plan (Sec. 8.3.2.)	Building Permit (Sec. 8.3.3.)	DRC Review (Sec. 8.2.6.)	Sign Permit (Sec. 8.3.5.)	Grading Permit (Sec. 8.3.4.)	Floodplain Permit
>13,800 sf	X	X	X	X		Sec.5.7.1.	n/a
Sign					X	Sec.5.7.1.	n/a

2.2.12.C - 1. Allowed Uses				2. Use Requirements		
Use	Permit	Individual Use (max)	Density (max)	Parking (min.) (Div. 6.2.) (E.1.)	Affordable Workforce Housing Units (min) (Div.6.3.)	
Lodging						
Conventional Lodging (6.1.5.B)	B(LO)	n/a	n/a	0.75/room	0.102*bedrooms	
Short-term Rental (6.1.5.C)	B(LO)	n/a	n/a	1/DU if <2 bedrooms and <500 sf; otherwise 1.5/DU	0.102*bedrooms	
Commercial Uses						
Office (6.1.6.B.)	B	n/a	n/a	2.47/1,000 sf	0.000247*sf	
Retail (6.1.6.C.)	B	12,500 sf excluding basement storage	n/a	3.37/1,000 sf	0.000216*sf	
Service (6.1.6.D.)	B		n/a	2.25/1,000 sf	0.000216*sf	
Restaurant/Bar (6.1.6.E.)	B		n/a	1/73 sf dining area + 1/40 sf bar area	0.000599*sf	

Div. 6.2 – Parking and Loading Standards

The proposed project will provide a mix of lodging and commercial uses and provide parking in accordance with parking standards of the CR-2 Zone, Division 6.2. Parking and Loading Standards.

Table 1. Required and Proposed Parking

2.2.12.C - Required Parking					Proposed Parking			
Use	Requirement	Area (SF)	# of Units	Spaces Required	Proposed On Site	Proposed On Street	Fee-in-Lieu	Total Proposed
Lodging				22.5				26
Conventional	0.75/room	-	30	22.5	26	-	-	26
Commercial				10.3				7
Restaurant	1/73 SF of dining area	500	-	6.8	-	7	0	7
Bar	1/40 SF of bar area	139	-	3.5	-	-	-	0
TOTAL				32.8				33

Required EVSE Parking					Proposed Bicycle Parking			
EVSE Installed	5% of spaces	-	-	1.7	-	-	-	2
EVSE-Capable	30% of spaces	-	-	9.9	-	-	-	10

6.2.2.D - Required Bicycle Parking					Proposed Bicycle Parking			
Bicycle Parking	1/11 vehicle spaces	-	-	3.0	-	-	-	3

6.2.5.C - Required Snow Storage					Proposed Snow Storage			
Snow Storage	2.5% of parking SF	532	-	13.3 SF			Complies	

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A total of 9 ground floor parking spaces and 17 basement spaces results in a total of 26 provided on-site. This includes 2 accessible spaces. An additional 7 street spaces are provided.

Bicycle Parking

Fixed bicycle parking is proposed in the ground floor parking garage.

Snow Storage

Snow storage for the uncovered parking aisles will occur at the adjacent planting strips.

Loading & Deliveries

Loading for deliveries will occur primarily off the alley through a deliveries door that leads to a back-of-house storage room. There is also access to the back-of-house spaces and parking garage through a hallway at Glenwood Street.

Trash Removal

Trash pickup can occur at the alley. Trash containers can be rolled out from their screened enclosure into the nearby alley.

Town of Jackson Design Guidelines

A. Public Space

Use – The Glenwood Hotel incorporates usable public space at its attractive pedestrian frontages with planters along Gill Ave and Glenwood St. In adherence with the Town of Jackson Land Development Regulations (TOJ LDRs), the re-designed public right-of-way includes the potential for increased walking area up to 13'-6" in width, new street trees, and pedestrian scaled lighting to enhance the public experience and create an inviting entry way into the hotel lobby café. The design of the building, particularly at the street level will support the future desired characteristics of the district noted as: "active uses, such as retail and service, are encouraged on the ground level, often with lodging, residential, or office on the upper floors."

Location – The corner lobby entry at Gill Ave. and Glenwood St. provides a seasonally adaptable and protected entry into the building. A buffer of planters, steps, and ramps separate it from the sidewalk, but glass walls and a canopy overhead invite people into the space.

Connections – By providing a vibrant lodging use with a lobby café/bar at ground level, the Glenwood Hotel will activate the neighborhood and become a lively pedestrian frontage.

Scale & Variety – The massing of the building is appropriately sized to provide a comfortable pedestrian experience.

Screening – The design will use street trees along the street frontages to screen pedestrians from the street. Parking will be enclosed and screened from view at the alley and northwest ramp entrance.

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B. Composition

The design uses material changes and massing elements to create visual interest at the scale of the pedestrian and of the neighborhood at large. The scale of the building is appropriate for its context. Furthermore, its entry canopy and reasonable floor heights create a welcoming entry sequence for pedestrians.

C. Massing

Mass & Height – The building mass and height are calibrated to the human scale. The design utilizes recessed entries, changes in building height, floor level changes, and lowered entry canopies to give the building a human scale. The proposed building adheres to the height standards outlined by the TOJ LDRs – reinforcing a sense of appropriate scale within the existing neighborhood context and benefiting the pedestrian experience.

Additive & Subtractive Massing – The building's gridded façade uses additive and subtractive massing to create depth and interest along each facade.

Volume Complexity – The building volume avoids reading as monolithic due to the “carved away” nature of the second and third floors, where the grid structure steps back to reduce the building's bulk.

Roofs – The building will have flat roofs that will drain snow and rain internally.

D. Street Wall

The design of the building provides an attractive street wall along Gill Ave and Glenwood St. The articulation of the structural grid along the façade creates a rhythm of solid walls and glazed openings that create a visually interesting streetscape experience.

E. Materials

Application of Materials – The application of each building material serves to define certain building elements as unique spaces or components of the program while creating an attractive façade that has an overall sense of unity.

Material Selection – The primary material palette for the building includes heavy timber, prefinished wood siding, and dark metal accents. The materials are in harmony with other building materials used on nearby buildings and throughout downtown Jackson.

06

RESPONSES TO FINDINGS FOR APPROVAL

NORTHWORKS

RESPONSES TO FINDINGS FOR APPROVAL

The following findings for **Sketch Plan approval per LDR Section 8.3.2.C** can be made as follows:

1. Is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan;

Complies. The proposed project lies within District 2: Town Commercial Core, articulated in the Illustration of Our Vision chapter of the Comprehensive Plan and as further identified within Sub Area 2.3 Downtown. The proposed development plan will support and promote a vibrant mixed-use pedestrian friendly environment where Commercial Residential-2 (CR-2) Zoning provides predictable guidance for streetscapes, pedestrian frontages, building frontages and parking. The hotel will provide lodging capacity and employment opportunities. The project further allows realization of desired character-defining mix of building bulk and scale with a three-story building. Pedestrian sidewalk and streetscape characteristics are proposed to include landscape planters and enhance the pedestrian experience. On-site parking will be screened from the primary street view with loading off the rear alley.

2. Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable;

Complies. The properties do not lie within either the NRO or SRO.

3. Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMS facilities;

Complies. The proposed project will not have significant impacts on public facilities and services. The proposed development will connect to Town water and sewer systems which exist in the adjacent streets and alley. The proposed development will provide 30 hotel rooms and a lobby café & bar. The single building design will consolidate sewer connections within the project to reduce connection points to the Town wastewater system. On-site parking will minimize traffic demands on the alley and on town and county roadways. New utility connections to the Town of Jackson services will be incorporated as part of this project. Impacts to schools and parks will be minimal. Impacts on police, fire and EMS facilities will not be significant as the proposed building design will improve on the current structures by providing fire sprinkler systems throughout the proposed building.

4. Complies with all relevant standards of these LDRs and other Town Ordinances as can be determined by the level of detail of a sketch plan;

Complies. The development proposed in this project complies with Zone specific standards for Design Guidelines. As fully articulated within the details of this application, the proposed development of the subject property into the proposed lodging use with all relevant standards of the Land Development Regulations (LDRs) for the Commercial Residential 2 (CR-2) zone as they stand as the implementation, in regulatory form, of the stated vision and desires of the Jackson/Teton County Comprehensive Plan adopted November 2020. Further, the proposed project is consistent with other adopted Town Ordinances as included in The Municipal Code adopted by the Town Council through and including Ordinance No. 1319, dated June 21, 2022.

5. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

Complies. The subject property has not received any applicable development permits or approvals related to the proposed physical development.

07

HOUSING MITIGATION PLAN



Jackson/Teton County Affordable Housing Checklist - Housing Mitigation Plan

(LDR Division 6.3.6)

Every development application must include a Housing Mitigation Plan for sufficiency. Every Housing Mitigation Plan is required to contain the following information:

Applicability (LDR 6.3.6.A.3.a)

1. Does your development qualify for an exemption from a housing mitigation requirement? Yes No If yes, explain and refer to the proper LDR _____

2. Are there credits associated with your development? Yes No If yes, explain where the existing credits came from, provide the calculation, and refer to the proper LDR. Housing credits are from pre-existing development as described in the attached narrative.

Calculation of Requirement (LDR 6.3.6.A.3.b)

3. Does your development require or are you otherwise requesting approval of an Independent Calculation (LDR section 6.3.3.B)? Yes No

If yes, provide the calculation according to 6.3.3.B.2 along with impact analysis, verifiable local information, industry specific rather than business specific data, etc. The Planning Department is available to help with this calculation prior to submittal of your application. Attach as a separate sheet.

I have attached a separate sheet with the calculation and supporting data for my Independent Calculation

Housing Mitigation Requirements Calculator. If no to 1 and 3 above, calculate your development's requirement, using the Housing Mitigation Requirements Calculator. The calculator can be found at this link: www.jacksonwy.gov/200/Planning Attach a copy of the first page of the calculator showing the calculations and requirements with your Housing Mitigation Plan. The Planning Department is available to help with this calculation prior to submittal of your application.

I have attached a copy of the first page of the Housing Mitigation Requirements Calculator which includes my requirement and unit types.

Type of Affordable Housing Provided – Standard Restrictions. (LDR 6.3.4)

4. How many ownership or rental units are you proposing in which income ranges with how many bedrooms?
Please complete the matrix below:

Bedrooms	0 – 50%	50% - 80%	80% - 120%	Workforce	Ownership or Rental
1-bedroom		One Unit			
2-bedroom					
3-bedroom					

Special Restriction. The Special Restriction is a contract between The Board of County Commissioners or the Town Council and the owner of real property developed or designated to satisfy the development requirements. The Special Restrictions will be recorded on the property. Appropriate restriction templates can be obtained from the Jackson/Teton County Affordable Housing Department or at this link: www.tetonwyo.org/1856/Deed-Restriction-Templates .

I have attached a draft of the Standard Restrictions for each unit.

Livability Standards (LDR 6.3.4.D and E) (Rules and Regs Section 2-3). Restricted housing must comply with the Livability Standards in the Jackson/Teton County Housing Department Rules and Regulations. The Livability Standards include amount of cabinetry/counter space, storage, closets, room sizes, appliances, laundry facilities, bathrooms, etc. The Rules and Regulations can be found at this link: www.tetonwyo.org/1332/Housing-Rules-and-Regulations .

I have reviewed the Livability Standards and understand the requirements. I have/will contact the Housing Department for approval of my units early in the design process to get their approval prior to submitting for building permit.

Method for Providing Required Housing (LDR 6.3.5):

One or a combination of the below methods may be proposed to satisfy your housing requirement. They are listed in the order of preference/priority. Highest priority must be used unless it is demonstrated that a higher priority is impracticable (LDR 6.3.5.C)

1. Construction of new units either on-site or off-site (LDR 6.3.5.D.1).
2. Conveyance of land for affordable/workforce housing (LDR 6.3.5.D.2).
3. Utilization of a banked affordable or workforce housing unit (LDR 6.3.5.D.3).
4. Restriction of an existing residential units as an affordable/workforce housing unit (LDR 6.3.5.D.4).
5. Payment of an in-lieu fee (LDR 6.3.5.D.5).

I have attached a detailed explanation of my proposed method of providing Required Housing.

Phasing Plan (LDR 6.3.5.A.3). Restricted Housing Units shall be ready for occupancy no later than the free market portion of the development is occupied. If the free market portion is to be developed in phases, then the Restricted Housing Units shall be developed prior to or in proportion to the free market portion.

I have attached a detailed description of my phasing plan as it pertains to Affordable/Workforce units.

Glenwood Hotel Housing Mitigation Plan:

Pre-Existing Development:

Based on LDR Division 6.3.2.A, development that was existed on 12/18/1995 or a building or use that was legally established since that date is credited against current Affordable Workforce Housing Standards. This includes the uses that generated the highest affordable housing requirement since the establishment of a development or use. This credit offsets the Affordable Workforce Housing Requirement of a new development.

The 210 N Glenwood property is currently vacant, and no housing credits are associated with that site. The 230 N Glenwood property contains an existing structure, originally built in 1923 as a single family dwelling. Since at least 1995, the existing structure contained office uses and a residential use. Currently, the existing building contains an office use (chiropractors office). This use includes the following floor area: are distributed within the building as follows:

- **First Floor Office Use Floor Area:** 919 s.f.
- **Second Floor Office Use Floor Area:** 232 s.f.
- **Total Office Use Floor Area:** 1,151 s.f.

Based on the above the total preexisting housing “credit” is as follows:

- Office Use: .000247 Units/s.f. = .284 Units
- **Total Credit:** **.284 Units**

Proposed Development:

The proposed development includes a total FAR of 19,152 s.f. of Floor Area. Included in this floor area are 15 individual conventional lodging units and the overall floor area also includes lobby and cafe/lounge space that is ancillary to the principal Conventional Lodging Use. Therefore, the overall use that is subject the Affordable Workforce Housing Requirements is based on the number of conventional Lodging Units proposed by the project and is calculated as follows:

- Conventional Lodging Units: 30 Units

Based on the above the total Affordable Workforce Requirement for the new development is as follows:

- Conventional Lodging: .102 Units/Room (.204 x 30) = 1.532 Units
- **Total Requirement:** **3.064 Units**

Total Credit Less Housing “Credit”:

This is simply the total housing requirement less the total housing “credit” as follows:

Total Requirement (3.064 Units) - Total Credit (.284) = 2.780 Units Required to be provided

Method for Providing Housing:

Based on the Town of Jackson Affordable Housing Calculator suggests that the mitigation for 1.248 units be provided in the following amounts:

- One 1-Bedroom Unit deed restricted at a rate affordable for persons up to 120% median income.
- One 2-bedroom Unit deed restricted at a rate affordable for persons up to 50% median income
- Fee in Lieu for the remaining .780 units totaling approximately \$212,000.

The application proposes to provide housing off site and via the utilization of housing credits. While the Town of Jackson affordable housing regulations state a preference to providing housing on-site, it is our position that an affordable housing unit within a Conventional Lodging use is less livable than providing the unit off site as long as the off-site unit(s) are close to commercial services and transportation infrastructure. In addition, the applicant has applied for, and received approval from the Town of Jackson to transfer housing mitigation credits of up to 8,000 s.f. from 81 S King Street to 210 and 230 N Glenwood Street (the property that is the subject of this application).

Based on the above, the applicant is proposing the following method for providing housing:

The applicant owns one 1-bedroom unit located at 140 W Broadway Avenue. The applicant proposes to deed restrict the existing 1-bedroom unit at a rate affordable for persons up to 120% median income. The remaining housing mitigation requirement will be paid through the utilization of all or a portion of 8,000 s.f. of affordable housing mitigation credit which will be transferred from 81 S King Street to 210 and 230 N Glenwood prior to submittal of a Development Plan application for the Glenwood Hotel project.

Phasing Plan:

All required housing will be provided prior to issuance of a certificate of occupancy for the Glenwood Hotel.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Conventional Lodging	0.102*bedrooms	1	450	30	3.064
	▼				

Affordable Workforce Housing Required: 2,780 units

Fee-in-Lieu Amount: n/a

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).

**Special Restrictions
for Affordable Condominium Rental Housing
Located at _____, Town of Jackson**

These Special Restrictions for Affordable Condominium Rental Housing ("Special Restrictions"), are made and entered into this day of _____, 20_____, by the undersigned Owner ("Owner") the Town of Jackson, Wyoming.

RECITALS:

WHEREAS, Owner holds fee ownership interest in that certain real property, located in the Town of Jackson, Wyoming, and more specifically described as follows:

A Condominium Subdivision within _____ Town of Jackson, Teton County Wyoming.

PIDN: _____ ("Residential Unit")

WHEREAS, as a condition of its approval for permit #_____ received _____(Date) ("FDP Approval") Owner was required to provide and restrict as follows:

(hereinafter "Residential Unit").

The Income Ranges are different than the Income Ranges defined in the Jackson/Teton County Housing Department Rules and Regulations because the FDP approval was received before the update to the Housing Rules and Regulations. The Rules and Regulations are enforced by the Jackson/Teton County Affordable Housing Department, such Rules and Regulations are defined in Section 1 below;

WHEREAS, in accordance with the FDP Approval, the Residential Unit is intended to address the need for rental housing for employees in Teton County, Wyoming and therefore Owner agrees it will not be owner-occupied;

WHEREAS, the Jackson Town Council and Teton County Board of County Commissioners resolved to form the Jackson/Teton County Housing Authority, a duly constituted housing authority pursuant to W.S. §15-10-116, as amended, and its successors or assigns, known as the Jackson/Teton County Housing Authority ("JTCHA");

WHEREAS, the Jackson Town Council and Teton County Board of County Commissioners further

resolved to create the Jackson/Teton County Affordable Housing Department ("Housing Department") who are employees of Teton County and agents acting on behalf of the JTCHA, empowered to enforce this Special Restriction;

WHEREAS, in furtherance of the goals, objectives, requirements and conditions of FDP Approval, and consistent with the Town of Jackson's goal of providing decent, safe and sanitary housing to qualified employees working in Teton County, Wyoming, that is affordable, Owner agrees to restrict the use and occupancy of the Residential Unit to a "Qualified Household," which meets employment, income and asset ownership qualifications as set forth herein and as further defined in the Jackson/Teton County Housing Department Rules and Regulations;

WHEREAS, Owner desires to adopt these Special Restrictions and declare that the Residential Unit ~~and Land~~ shall be held, sold, and conveyed in perpetuity subject to these Special Restrictions, which Special Restrictions shall be in addition to all other covenants, conditions or restrictions of record affecting the Residential Unit and shall be enforceable by Housing Department and Town of Jackson, Wyoming.

RESTRICTIONS:

NOW, THEREFORE, in satisfaction of the FDP Approval, and in further consideration of the foregoing Recitals, which are incorporated herein by this reference, Owner hereby declares, covenants and agrees for itself and each and every person acquiring ownership of the Residential Unit, that the Residential Unit shall be held, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity.

SECTION 1. JACKSON/TETON COUNTY HOUSING DEPARTMENT RULES AND REGULATIONS. References made herein to the "Rules and Regulations" are references to the written policies, procedures and guidelines of the Housing Department, as the same may be amended, modified, or updated from time to time and which policies, procedures, and guidelines are on file with the Housing Department or otherwise with Town of Jackson, Wyoming, or if there are no such written policies, procedures or guidelines (or a written policy, procedure or guideline with respect to a specific matter) then the reference shall be to the current applied policy or policies of the Housing Department or its successor. Procedural and administrative matters not otherwise addressed in these Special Restrictions shall be as set forth in the Rules and Regulations.

SECTION 2. RESTRICTIONS ON OCCUPANCY AND USE OF RESIDENTIAL UNIT. In addition to any restrictions included in the current Housing Rules and Regulations, occupancy and use of the Residential Unit shall be restricted as follows:

A. Qualified Household. The rental, use and occupancy of the Residential Unit shall be limited to a Qualified Household, as set forth below ("Qualified Household"):

1. Employment Requirement. At least one (1) member of the Qualified Household must maintain an average of thirty (30) hours per week employment on an annual basis, or a minimum of one thousand five hundred and sixty hours (1,560) per year, for a local business. A "local business" means a business physically located within Teton County, Wyoming, holding a business license with the Town of Jackson, Wyoming or one that can provide other verification of business status physically located in Teton County, Wyoming, and the business serves clients or customers who are physically located in Teton County, Wyoming.
2. Income Restriction. The Qualified Household's gross income shall fall between 0 – 80% of the median family income in Teton County, Wyoming, as determined by the current year's published Federal Department of Housing & Urban Development median family income chart for Teton County, Wyoming ("Income Cap").
3. No Teton County Residential Real Estate. No member of the Qualified Household may own (whether individually, in trust, or through an entity including without limitation a partnership, limited partnership, limited liability company, corporation, association, or the like) residential real estate within one hundred and fifty (150) miles of Teton County, Wyoming at any time during occupancy of the Residential Unit.
4. Initial Determination by Owner. Owner shall require each prospective renter of a Residential Unit to provide information sufficient to show eligibility as a Qualified Household under the Affordable Housing Program pursuant to the requirements of this restriction and the Housing Rules and Regulations. The determination shall be based upon written applications, representations, information and verifications, including at a minimum, a W-2 for each adult renter or other IRS filing showing source of earnings, a signed and sworn statement regarding ownership of other real estate and a list of current employer(s), hours worked as well as contact information for each employer(s) and other such information reasonably requested by the Housing Department to verify and substantiate as a Qualified Household.
5. Continuing Obligation to Remain a Qualified Household. The occupants of the Residential Unit shall satisfy the definition of a Qualified Household at all times during the occupancy of the Residential Unit.
6. Occupancy. Each Residential Unit shall be occupied as the Qualified Household's sole and exclusive primary residence, and each tenant of a Residential Unit shall physically reside therein on a full-time basis, at least eighty percent (80%) of the term of the lease. Except for permitted guests, no persons other than the members of the Qualified Household may occupy the Residential Unit.
7. Reporting Requirement – Housing Department Determination. Owner shall, by January 31 of each year, provide to the Housing Department a summary of the eligibility verification information contained above for each occupant of a

Residential Unit as set forth on the Housing Department Template that will be provided to Owner. Upon written request by the Housing Department for supporting documentation, Owner shall provide the same within fifteen (15) business days of receipt of such written request. Additionally, Owner shall, by January 31 of each year, provide the Housing Department with its most current lease form for Residential Unit. Each Residential Unit Lease must state, and it is a material consideration of this restriction, that the Housing Department has the ultimate and final authority to determine eligibility of households renting the Residential Unit. If the Housing Department, upon review of supporting documentation determines that an occupant of the Residential Unit does not qualify as a Qualified Household, the Housing Department shall have the authority to require the Owner to terminate the lease between Owner and the occupant of the Residential Unit pursuant to Sections 4 & 5 below.

- B. No Legal Action. No owner of the Residential Unit, prospective purchaser of the Residential Unit, Tenant, renter or occupant, or other party shall have the right to sue or bring other legal process against the Town of Jackson, Wyoming or the Housing Department, or any person affiliated with the Town of Jackson, Wyoming or the Housing Department arising out of these Special Restrictions, and neither shall the Town of Jackson, Wyoming or the Housing Department have any liability to any person aggrieved by the decision of the Town of Jackson, Wyoming or the Housing Department regarding qualification of a Qualified Household or any other matter relating to these Special Restrictions.
- C. No Owner Occupancy. Owner shall not reside in or occupy the Residential Unit. For purposes of this paragraph, if Owner is an entity (including without limitation, a partnership, limited partnership, Limited Liability Company, corporation, association, or other) or a trust, this prohibition on owner-occupancy shall extend to any partner, member, shareholder, other principal or owner of the entity, and any trustee or beneficiary of the trust.
- D. Household Composition. Only members of the Qualified Household may occupy a Residential Unit, except that Owner may restrict who may reside in a Residential Unit, provided that such owner-restriction does not violate Federal or state fair housing laws. Notwithstanding the foregoing, occupancy of the Residential Unit shall be in compliance with any and all building codes (or other relevant law, code, statute, ordinance or the like) regarding maximum occupancy standards or limitations.
- E. Written Lease Requirement. Occupancy of the Residential Unit shall be pursuant to a written lease, the form of which may be approved by Housing Department as it may require. Owner of the Residential Unit shall obtain written verification of income, asset ownership, and employment in Teton County, Wyoming for each Qualified Household

proposing to rent the Residential Unit prior to such Household's occupancy, and upon each extension or renewal of any lease therefore.

- F. Rental Term. The Residential Unit shall be offered for rent in periods of not less than six (6) months.
- G. Rental Rate. The household size used to determine the median family income is based on one (1) person per bedroom. A studio Residential Unit's maximum rent will be fifteen percent (15%) less than the maximum rental rate for a one-bedroom Residential Unit. The maximum Rental Rate that may be charged for the Residential Unit is variable annually based on the Housing and Urban Development Department's Median Family Income standard for Teton County, Wyoming. The Housing Department will calculate the maximum Rental Rate every year for the Residential Unit after the Housing and Urban Development Department issues the Median Family Income for Teton County, Wyoming in the following manner: The maximum monthly rental rate for 0 – 80% Income range for 2018 is: \$34,475 (50% of 2018 median family income for one (1) person household) multiplied by thirty percent (30%) with the product divided by twelve (12) and multiplied by 85% for a Studio = \$733. The rent charged must include basic utilities (electric, gas, water, sewer) and trash removal. Notwithstanding the foregoing to the contrary, the rental rate charged by Owner may at any time be less than the maximum rent calculation.
- H. Rental Unit: Except as provided herein, the Residential Unit shall remain a rental unit for Qualified Households.
- I. Guests. No persons other than those comprising the Qualified Household shall be permitted to occupy the Residential Unit for periods in excess of ten percent (10%) of the Rental Term in cumulative days per calendar year.
- J. Vacancies. The Residential Unit may be vacant intermittently between tenancies to allow for proper advertisement and verification for Qualified Households and reasonable maintenance. However, a Residential Unit shall not be vacant for a period greater than sixty (60) days, unless authorized by the Housing Department. If any Residential Unit remains vacant for more than sixty (60) days without approval, the Housing Department has the right, but not the obligation, to identify a Qualified Household to rent the Residential Unit.
- K. Business Activity. No business activities shall occur in a Residential Unit, other than a home occupation use that is allowed by applicable zoning and properly permitted.
- L. Compliance with Laws, Declaration. The Residential Unit shall be occupied in full compliance with these Special Restrictions and the Rules and Regulations, along with all laws, statutes, codes, rules, or regulations, covenants, conditions and restrictions, and all supplements and amendments thereto, and any other rules and regulations of any applicable homeowner's association, as the same may be adopted from time to time.

- M. Insurance. Owner shall keep the Residential Unit continuously insured against "all risks" of physical loss (not otherwise covered by a homeowner's association insurance), for the full replacement value of the Residential Unit.
- N. Maintenance. Owner shall be responsible for the cost and expense to keep and maintain the interior of the Residential Unit and all other aspects of the Residential Unit not otherwise maintained by a homeowner's association in a safe, decent and sanitary condition. In the event Owner fails to maintain the Residential Unit in a safe, decent and sanitary condition and such condition continues for fourteen (14) days after notice from the Housing Department, the Housing Department shall have the right but not the obligation to enter the Residential Unit and repair such condition and Owner shall reimburse Housing Department for such reasonable repair costs. Payment to Housing Department from Owner shall be due upon receipt of invoice.
- O. Periodic Reporting, Inspection. In order to confirm compliance with these Special Restrictions, each Owner shall comply, and cause its tenants to comply, with any reporting or inspection requirements as set forth herein and as may be required by the Housing Department from time to time. Upon reasonable notice to Owner, the Housing Department shall have the right to inspect the Residential Unit from time to time to determine compliance with these Special Restrictions and to review the written records required to be maintained by Owner. Owner shall maintain such records for a period of not less than two (2) years.
- P. Preference. Owner may give first-priority to rent the Residential Unit to Qualified Households of which a member of the Household is an employee of Owner. In the event there are no persons directly employed by Owner to whom Owner desires to rent the Residential Unit, then Owner may rent to any Qualified Household.

SECTION 3. SALE OF THE RESIDENTIAL UNIT. The Residential Unit ~~Complex~~—may be bought and sold as Owner may determine except that all reporting and record-keeping required herein shall be continuous and any new owner shall obtain the required records from the prior owner. Any such conveyance of the Residential Unit shall be subject to these Special Restrictions. Not less than ten (10) days prior to the closing of the sale or other transfer of the Residential Unit, Owner shall notify the Housing Department of the pending sale or transfer and, prior to closing, provide the Housing Department with contact information (including without limitation, mailing address, phone number and email) for the new owner.

SECTION 4. DEFAULT. Subject to the notice and cure provisions, if any, of the Housing Department Rules and Regulations, each of the following shall be considered a default ("Default"):

- A. A violation of any term of these Special Restrictions, the Rules and Regulations, the Declaration, or any laws affecting a Residential Unit.

- B. A violation of any term of these Special Restrictions or any laws affecting the Residential Unit.
- C. Vacancy of a Residential Unit for more than sixty (60) days continuously.
- D. Fraud or misrepresentation by Owner and/or occupant in the provision of an application, reporting requirement, inspection requirement or any other informational requirement to the Housing Department.
- E. If the Residential Unit is taken by execution or by other process of law, or if Owner is judicially insolvent according to law, or if any assignment is made of the property of Owner for the benefit of creditors, or if a receiver, trustee or other similar officer is appointed to take charge of any substantial part of the Residential Unit or Owner's property by a court of competent jurisdiction.

In the event the Housing Department believes there to be a Default, the Housing Manager, or a Designee of the Housing Department shall send written notice to Owner of such violation, the required action to cure and the timing for such cure. If Owner disputes the Housing Department's decision, Owner shall proceed in accordance with the Rules and Regulations.

SECTION 5. DEFAULT REMEDIES.-Subject to the notice and cure provisions, if any, of the Housing Department Rules and Regulations, in addition to any other remedies the Housing Department may have at law or equity, in the event of a Default, after notice and opportunity to cure as set forth in the preceding section, the Housing Department's remedies shall include, without limitation, as an exercise of its regulatory authority, the following:

- A. Specific Performance. The Housing Department shall have the right of specific performance of these Special Restrictions and the Rules and Regulations, and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance.
- B. Equitable Relief. In addition to subsection A, any equitable relief provided for herein may be sought singly or in combination with such other remedies as the Housing Department may be entitled to, either pursuant to these Special Restrictions or any other action authorized under the laws of the State of Wyoming.
- C. Revocation. The Housing Department may, for purposes of enforcing these Special Restrictions or the Rules and Regulations, revoke or seek revocation of the rights to use or occupy the Residential Unit.
- D. Enforcement. The Housing Department may, for purposes of enforcing these Special Restrictions or the Rules and Regulations, seek enforcement through the Town or County Land Development Regulations, including but not limited to Division 8.9 Enforcement.

SECTION 6. TERMINATION, AMENDMENT AND CORRECTION OF SPECIAL RESTRICTIONS.

- A. Termination. These Special Restrictions may be terminated after a determination by the Town of Jackson, Wyoming that these Special Restrictions are no longer consistent with the Town of Jackson, Wyoming goals for affordable housing.
- B. Amendment. These Special Restrictions may be amended by a signed, written amendment executed by the Parties hereto and recorded in the Teton County Clerk's Office against the title to the Residential Unit, with the written consent of Owner of the Residential Unit ~~Complex~~ and Town of Jackson, Wyoming.
- C. Correction. The Housing Department may unilaterally correct these Special Restrictions to address scrivener's errors, erroneous legal descriptions or typographical errors.

SECTION 7. SPECIAL RESTRICTIONS AS COVENANT. These Special Restrictions shall constitute covenants running with the Residential Unit, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Residential Unit, or any part thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by JTCHA, the Housing Department and Town of Jackson. These Special Restrictions shall be prior and superior to any mortgage or lien interest encumbering the ~~Land and/or~~ Residential Unit ~~Complex~~.

SECTION 8. NOTICES. All notices required to be served upon the parties to this Special Restriction shall be transmitted by one of the following methods: hand delivery; prepaid overnight courier; or by postage paid certified mail, return receipt requested, at the address set forth below for said party; or at such other address as one party notifies the other in writing pursuant to this paragraph. Notice shall be effective when hand delivered, one (1) day after being deposited with an overnight courier or five (5) business days after being placed in the mail. Either party may change its address and/or owner and/or other contact information in the manner provided for giving notice.

To Housing Department

Jackson/Teton County Affordable Housing Department
P.O. Box 714
Jackson, WY 83001

With a Copy to:

Town of Jackson
P.O. Box 1687
Jackson, WY 83001

To Owner

Jackson, WY 83001

SECTION 9. ATTORNEY'S FEES. In the event any party shall be required to retain counsel and file

suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

SECTION 10. CHOICE OF LAW, FORUM. These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming. The parties agree that the appropriate court in Teton County, Wyoming and/or the Ninth Judicial District for the State of Wyoming shall have sole and exclusive jurisdiction over any dispute, claim, or controversy which may arise involving these Special Restrictions or its subject matter. Owner by accepting a deed for the Residential Unit hereby submits to the personal jurisdiction of any such court in any action or proceeding arising out of or relating to this Special Restrictions

SECTION 11. SEVERABILITY. Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision, or any portion thereof, of any of the foregoing shall be invalid or prohibited under said applicable law, such provision shall be deemed modified to the extent necessary and possible to render it valid and enforceable, or if such modification is not possible, such provision shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provision(s) of such document.

SECTION 12. SECTION HEADINGS. Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and shall not govern, limit or aid in the construction of any terms or provisions contained herein.

SECTION 13. WAIVER. No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

SECTION 14. INDEMNIFICATION. Owner shall indemnify, defend, and hold the Housing Department and the Town of Jackson, and its directors, officers, agents and employees harmless against any and all loss, liability, claim, or cost (including reasonable attorneys' fees and expenses) for damage or injury to persons or property from any cause whatsoever on or about the Residential Unit, or for an Owner's breach of any provision of these Special Restrictions. Owner waives any and all such claims against the Housing Department and the Town of Jackson.

SECTION 15. SUCCESSORS AND ASSIGNS. These Special Restrictions shall be binding upon, and inure to the benefit of, the parties hereto and their respective successors, heirs, devisees, administrators and assigns.

SECTION 16. GOVERNMENTAL IMMUNITY. Neither the Town of Jackson, JTCHA, nor the Housing Department waive governmental immunity by executing these Special Restrictions and specifically retain immunity and all defenses available to them as sovereigns pursuant to Wyo. Stat. Ann. § 1-39-104(a) and any other applicable law.

IN WITNESS WHEREOF, Owner has executed this instrument on the _____ day of _____, 20____ (the "Effective Date").

OWNER:

Its:

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the _____ day of _____, 20____, the foregoing Special Restrictions for Employee Housing was acknowledged before me by _____ as _____ President of _____.

Witness my hand and official seal.

(Seal)

Notary Public

TOWN OF JACKSON:

Pete Muldoon, Mayor

ATTEST:

Sandy Birdyshaw, Town Clerk

STATE OF WYOMING)
) SS.
COUNTY OF TETON)

On the _____ day of _____, 20_____, the foregoing instrument was acknowledged before me by Pete Muldoon as Mayor of the Town of Jackson, Wyoming.

Witness my hand and official seal.

(Seal)

Notary Public
My commission expires:

JACKSON/TETON COUNTY AFFORDABLE HOUSING DEPARTMENT:

Stacy Stoker, Housing Manager

STATE OF WYOMING)
)
) SS.
COUNTY OF TETON)

On the _____ day of _____, 20_____, the foregoing instrument was acknowledged before me by Stacy Stoker, as Housing Manager of the Jackson/The Town of Jackson Affordable Housing Department.

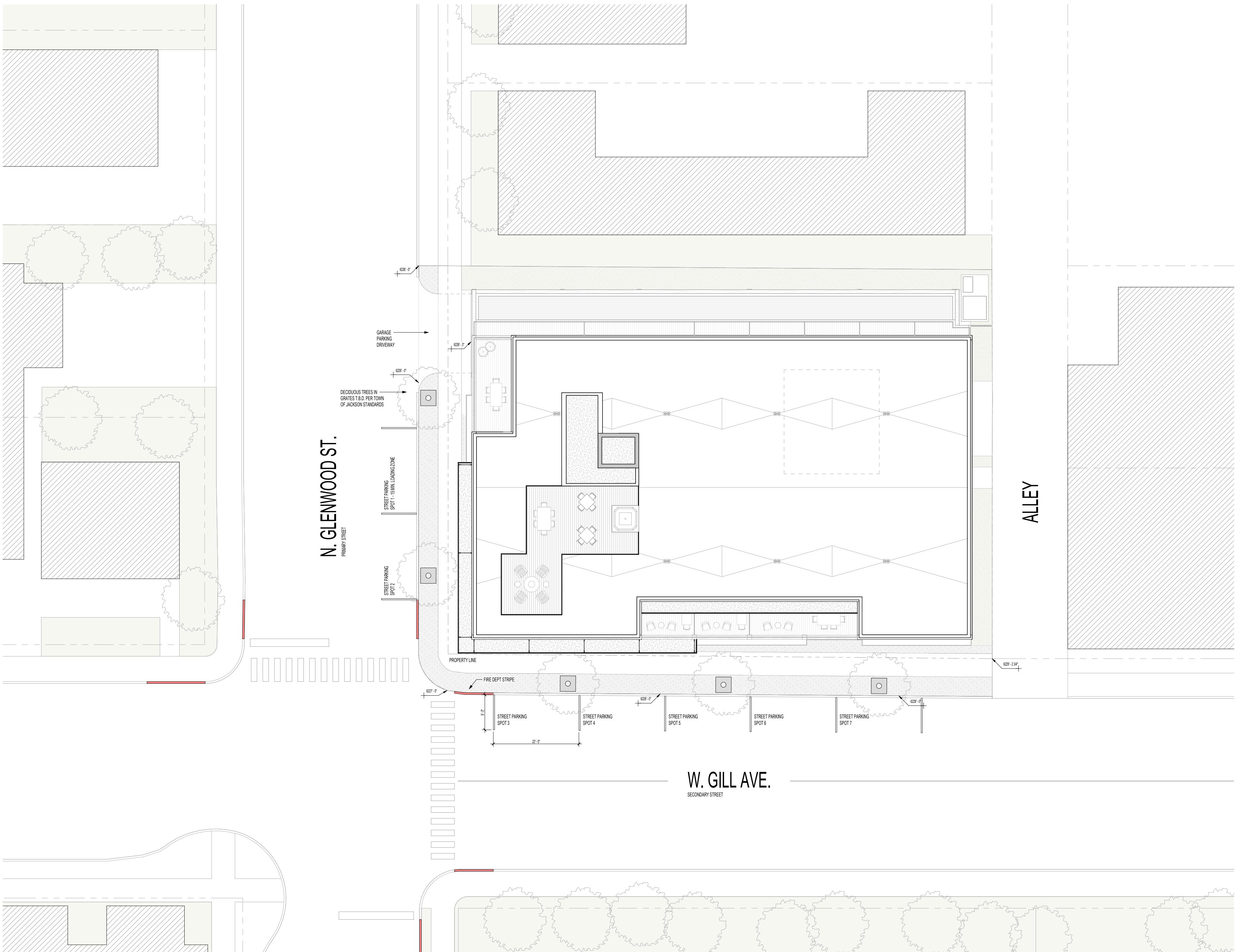
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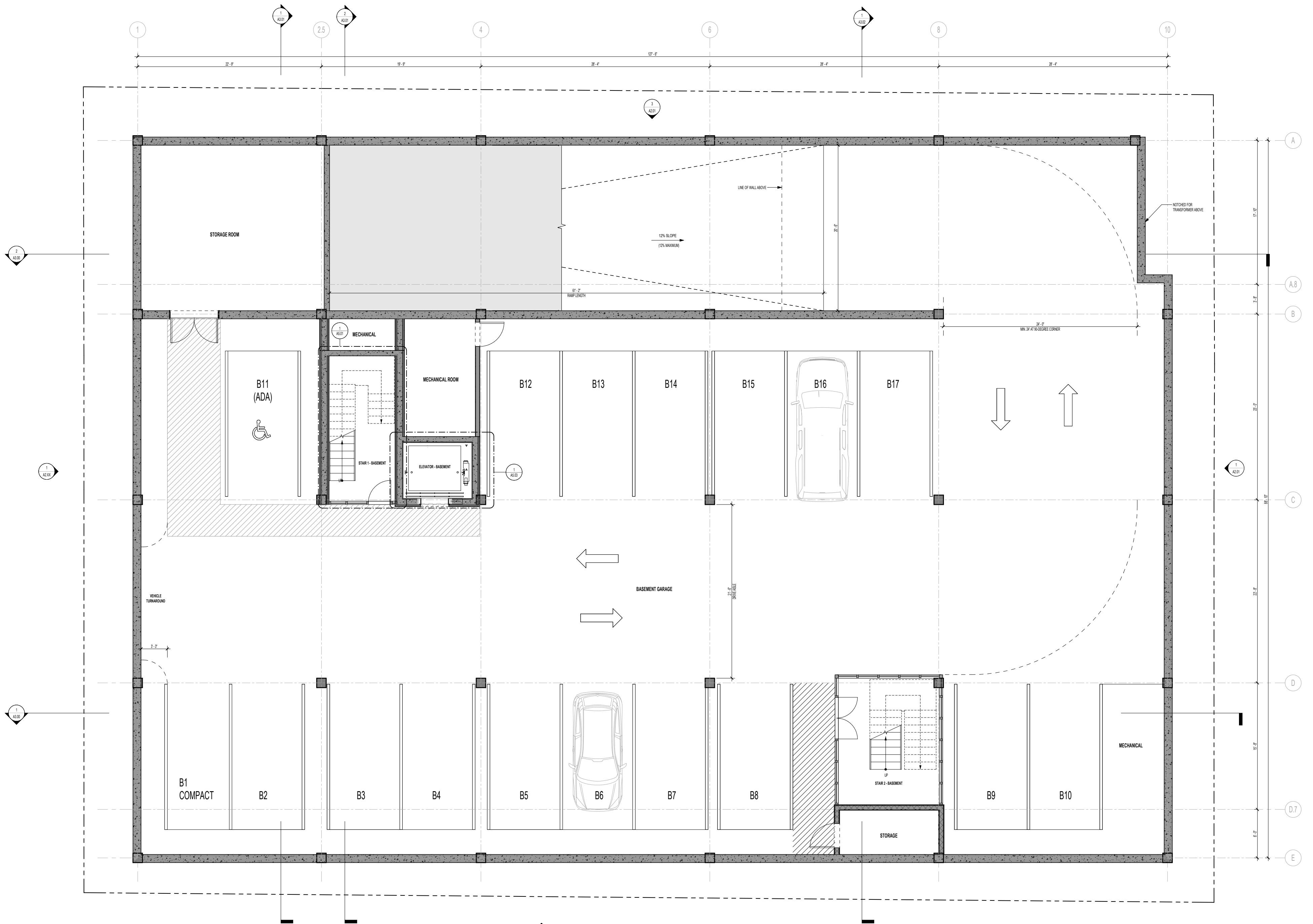
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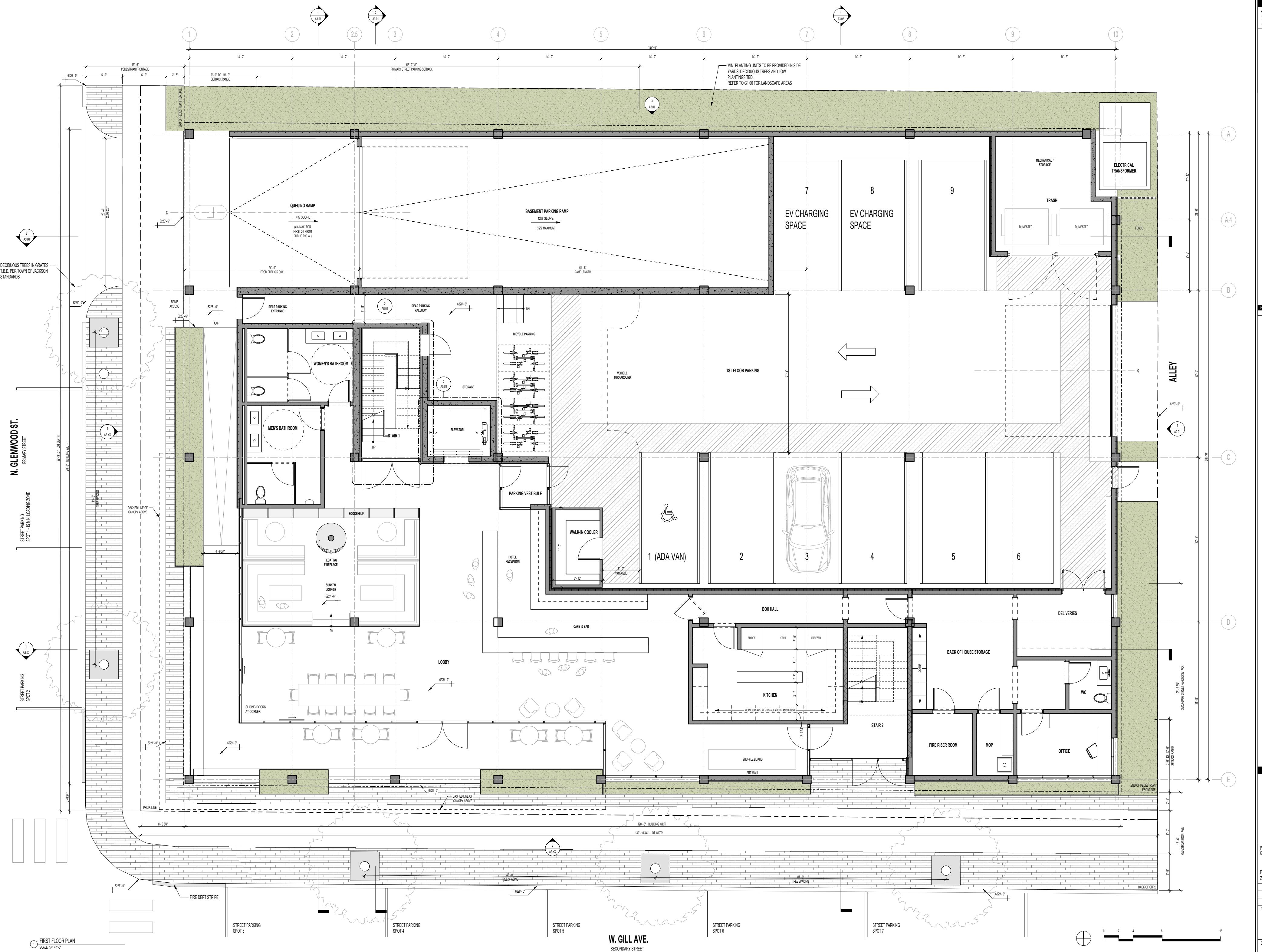
Notary Public
My commission expires:

08

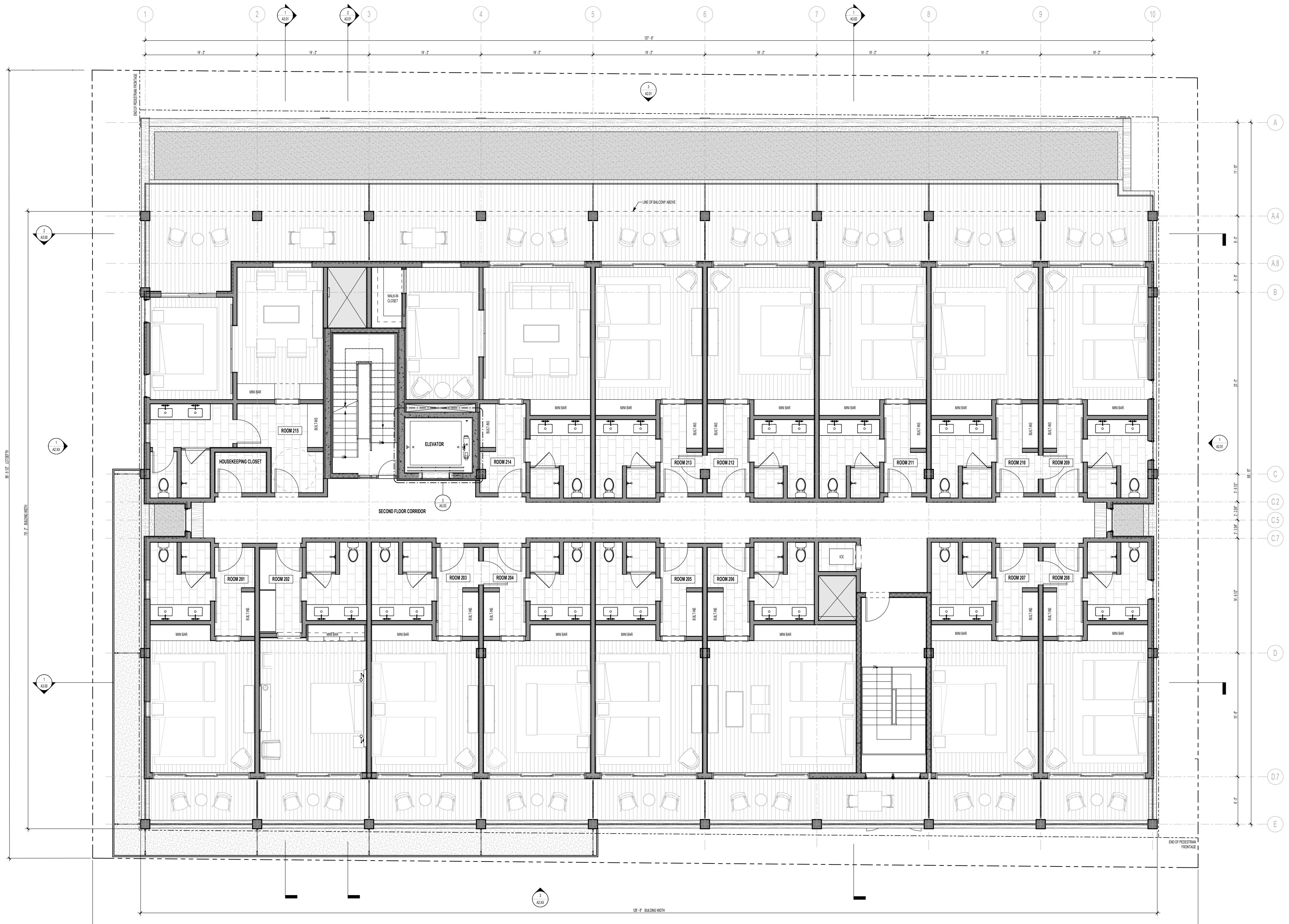
ARCHITECTURAL DRAWINGS & RENDERS

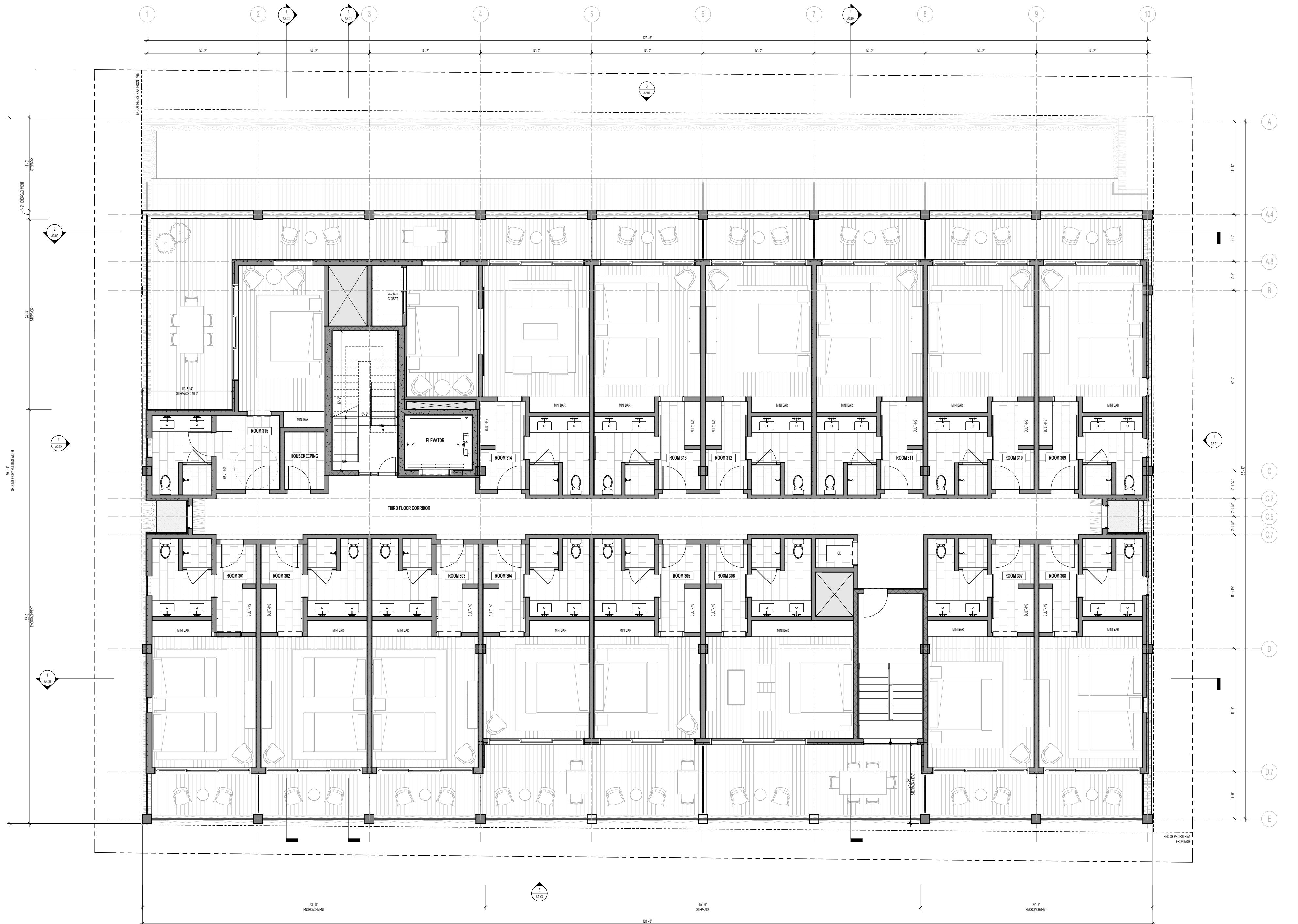






ISSUED DATE xx/xx/xxxx	ISSUED FOR REVISION 1								
PROFESSIONAL SEAL									
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Author	Drawn By								
Checker	Checked By								
Line & Drawing Number									
Drawing Name									
FIRST FLOOR PLAN									

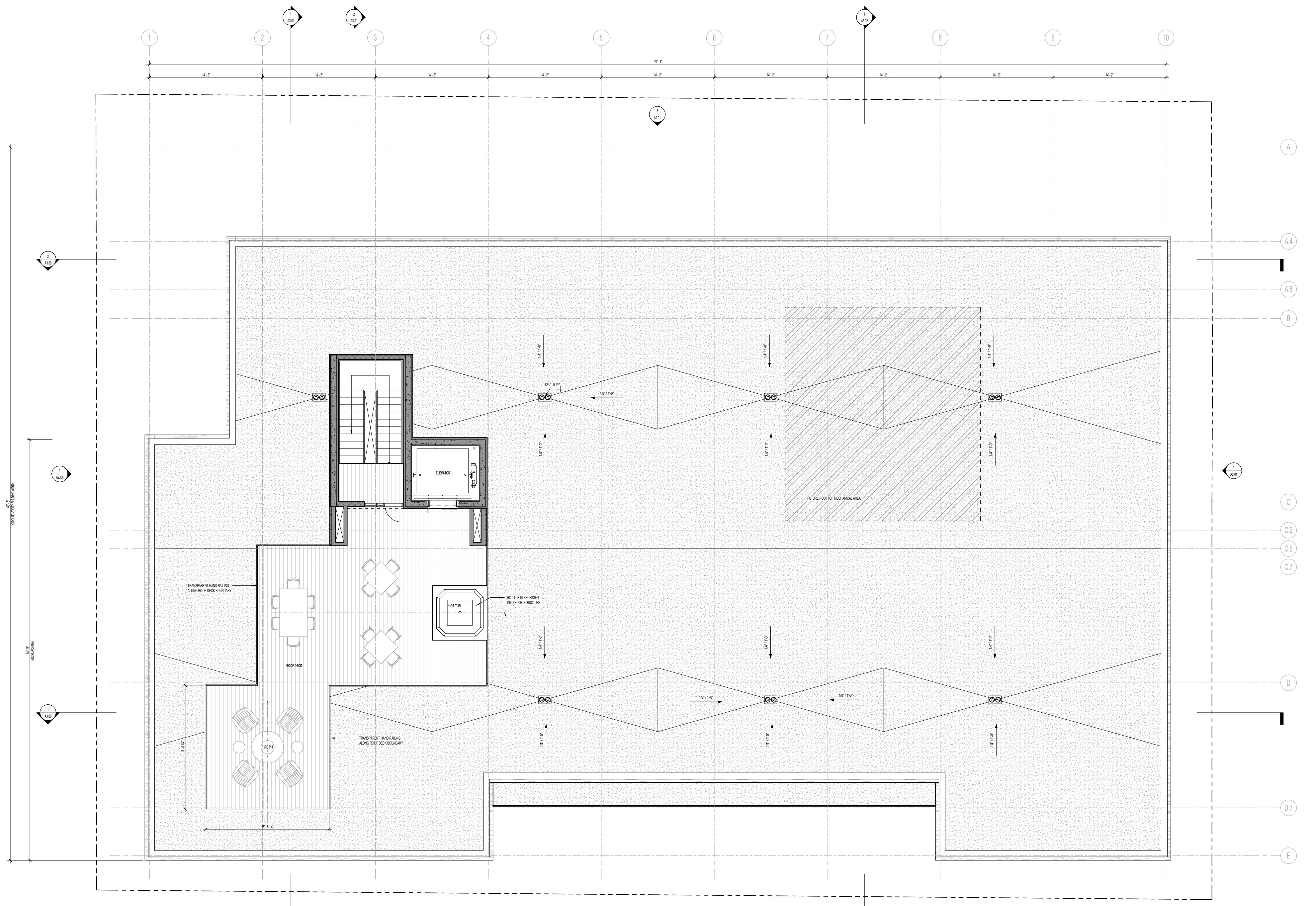


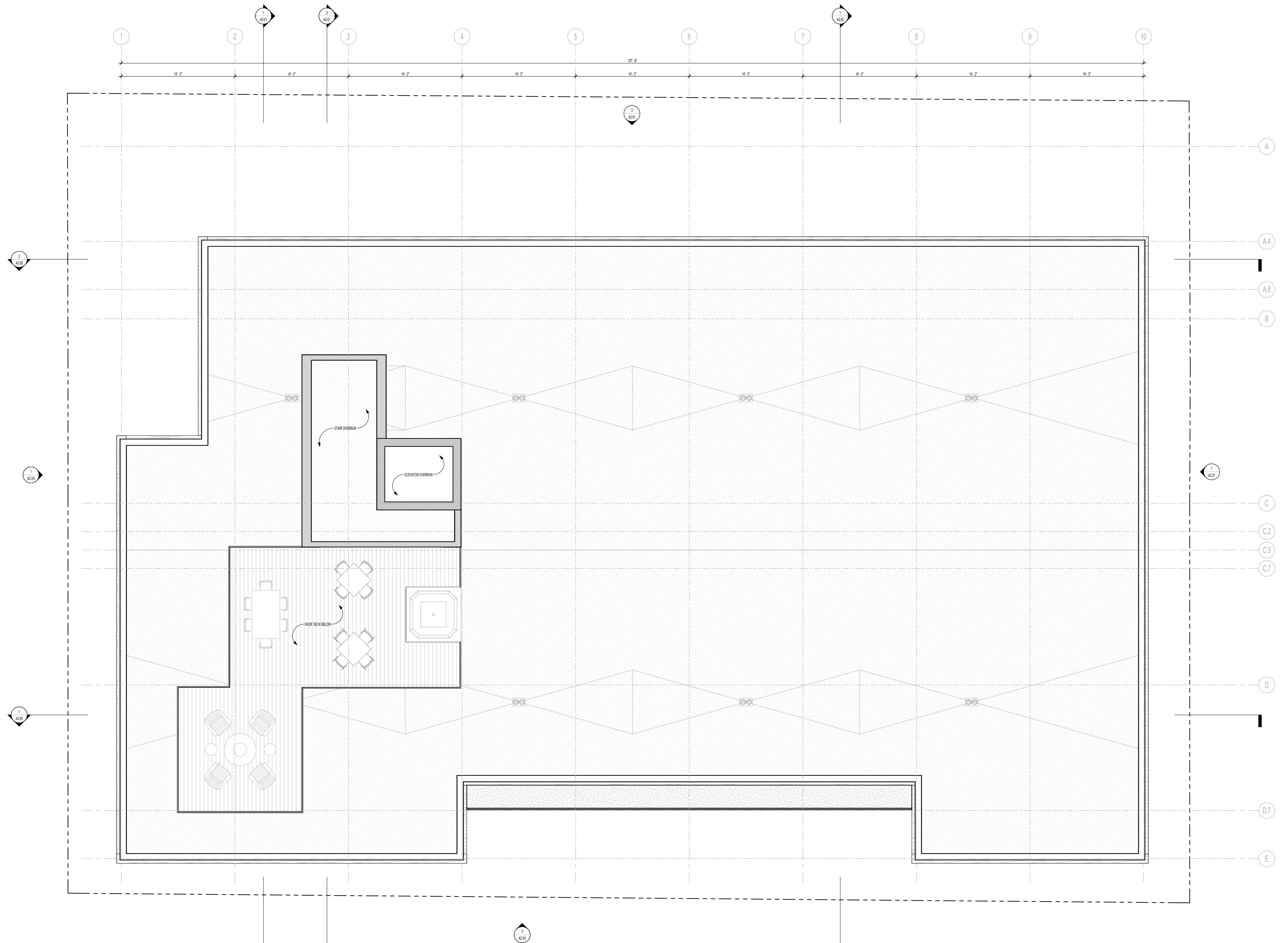
Project
GLENWOOD COMMERCIALPROJECT ADDRESS
ZIP CODE, STATE

2343	Project No.
Author	Drawn By
Checker	Checked By
Discipline & Drawing Number	

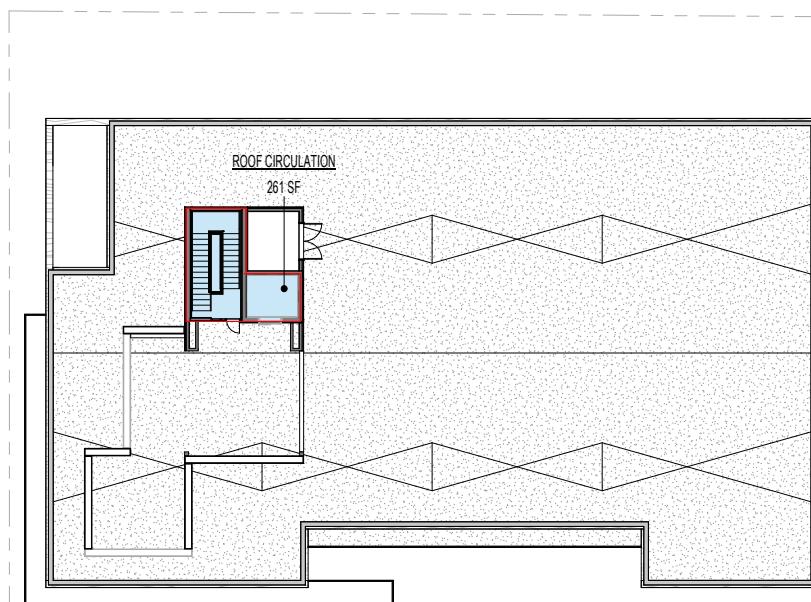
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Drawing Name
THIRD FLOOR PLAN

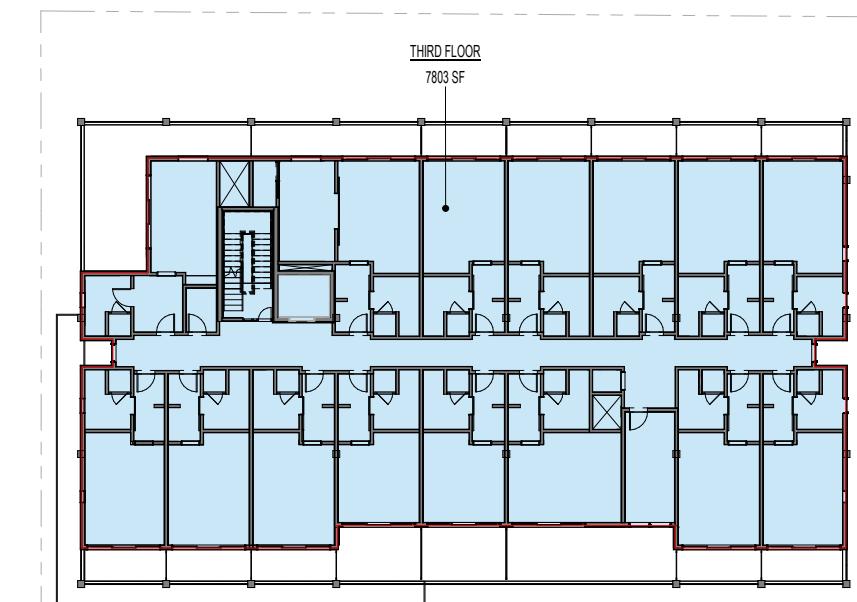




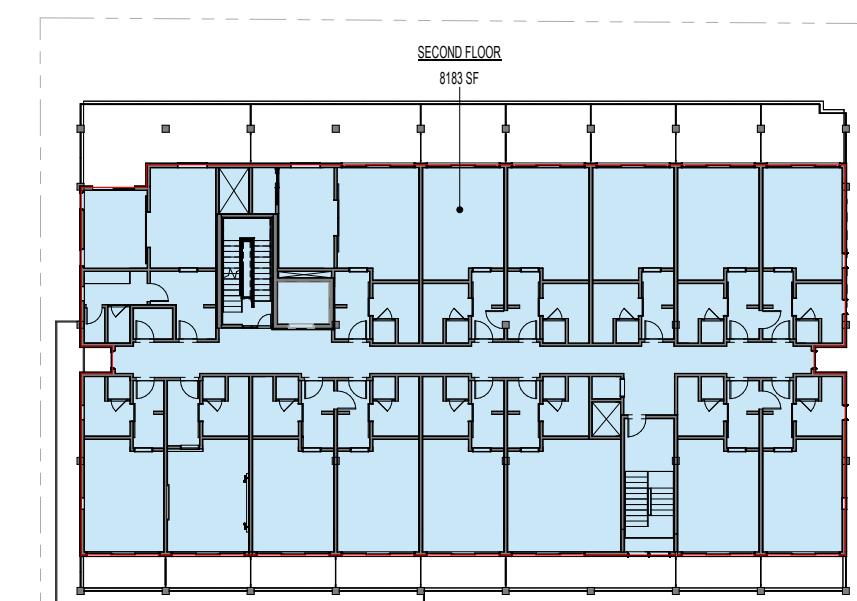
GROSS BLDG AREA	
LEVEL	AREA
BASEMENT	11505 SF
1ST FLOOR F.F.	10285 SF
1/2, 2ND FLOOR	9183 SF
2ND FLOOR	8983 SF
1/2, 3RD FLOOR	7603 SF
3RD FLOOR	281 SF
TR. ROOF STRUCT	3803 SF
SubTotal	
	3803 SF



④ GROSS AREA - ROOF
SCALE 1/16" x 1'-0"



⑤ GROSS AREA - 3RD FLOOR
SCALE 1/16" x 1'-0"

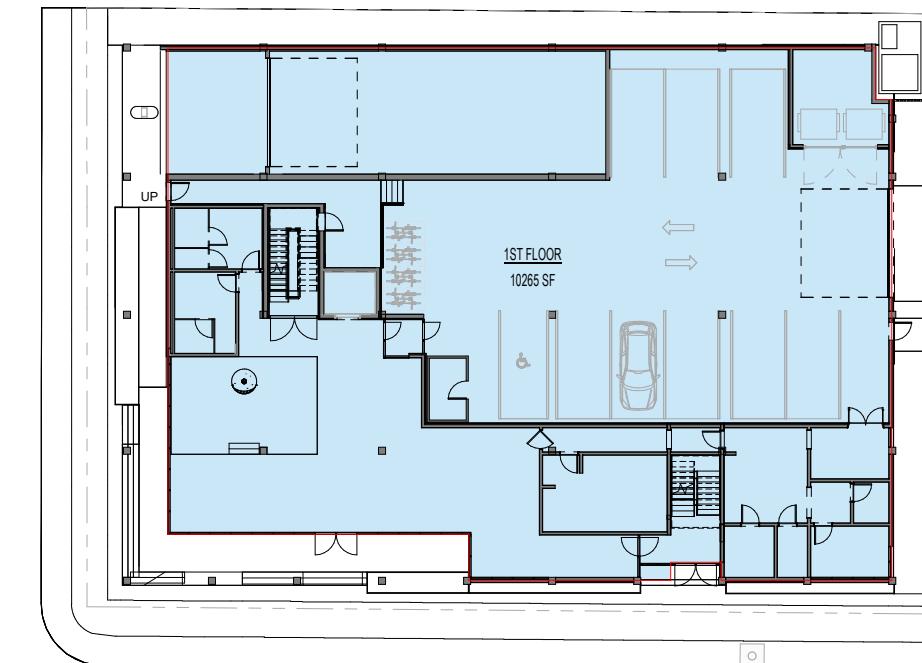


⑥ GROSS AREA - 2ND FLOOR
SCALE 1/16" x 1'-0"

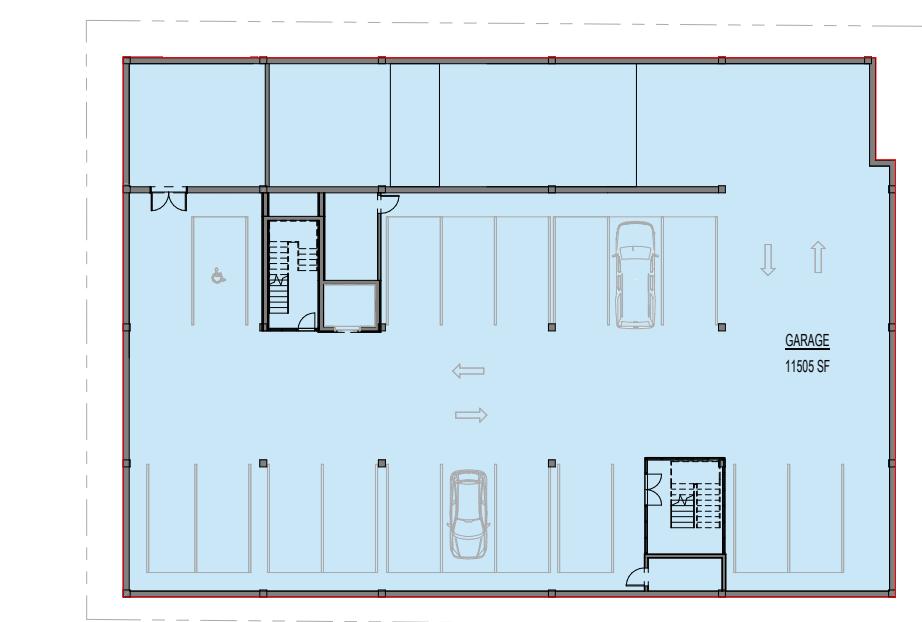
LANDSCAPE SURFACE AREA		
Level	Name	Area
1ST FLOOR F.F.	EAST LANDSCAPE 2	15 SF
1ST FLOOR F.F.	SOUTH PLANTER 1	31 SF
1ST FLOOR F.F.	SOUTH PLANTER 2	102 SF
1ST FLOOR F.F.	WEST PLANTER	15 SF
1ST FLOOR F.F.	EAST LANDSCAPE	213 SF
1ST FLOOR F.F.	NORTH LANDSCAPE	183 SF
Grand total		1394 SF

MIN. REQUIRED LANDSCAPE AREA: 1394 SF

SNOW STORAGE
TOTAL UNPROTECTED PARKING AREA (ASLES) = 532 SF
2.5% SNOW STORAGE = 13.3 SF
SNOW STORAGE TO OCCUR IN ADJACENT PLANTING STRIPS



⑦ GROSS AREA - 1ST FLOOR
SCALE 1/16" x 1'-0"



⑧ LANDSCAPE AREA PLAN
SCALE 1/16" x 1'-0"

FAR Legend

- AMENITY / LOBBY
- BACK OF HOUSE
- CIRCULATION
- HOTEL ROOM (EVEN)
- HOTEL ROOM (ODD)
- N/A

FAR AREA TOTALS

NAME	FAR AREA TYPE	AREA
Not Placed		0 SF

1ST FLOOR F.F.	ROOF VESTIBULE	CIRCULATION	Not Placed	0 SF
LOBBY RESTAURANT	AMENITY / LOBBY	759 SF		
LOBBY BAR	AMENITY / LOBBY	139 SF		
HOTEL LOBBY	AMENITY / LOBBY	113 SF		
BREAKFAST ROOM	BACK OF HOUSE	113 SF		
KITCHEN	BACK OF HOUSE	264 SF		
BOH OFFICE	BACK OF HOUSE	638 SF		
BOH CIRC	BACK OF HOUSE	123 SF		
STAIR 1-1	CIRCULATION	151 SF		
STAIR 1-1.1	CIRCULATION	151 SF		
REAR STIRBLE	CIRCULATION	42 SF		
ELEV-L1	CIRCULATION	67 SF		
		381 SF		

1/2, 2ND FLOOR SUBLOOR		
ICE	BACK OF HOUSE	23 SF
BOH CLOSET	BACK OF HOUSE	44 SF
CORRIDOR-L2	CIRCULATION	775 SF
UNIT 04	ROOF ROOM (EVEN)	421 SF
UNIT 02	HOTEL ROOM (EVEN)	421 SF
UNIT 06	HOTEL ROOM (EVEN)	522 SF
UNIT 08	HOTEL ROOM (EVEN)	419 SF
UNIT 10	HOTEL ROOM (EVEN)	419 SF
UNIT 12	HOTEL ROOM (EVEN)	419 SF
UNIT 10	HOTEL ROOM (EVEN)	419 SF
UNIT 01	HOTEL ROOM (EVEN)	419 SF
UNIT 03	HOTEL ROOM (EVEN)	421 SF
UNIT 05	HOTEL ROOM (EVEN)	419 SF
UNIT 07	HOTEL ROOM (EVEN)	419 SF
UNIT 09	HOTEL ROOM (EVEN)	419 SF
UNIT 11	HOTEL ROOM (EVEN)	419 SF
UNIT 13	HOTEL ROOM (EVEN)	419 SF
UNIT 15	HOTEL ROOM (EVEN)	419 SF
UNIT 17	HOTEL ROOM (EVEN)	421 SF
UNIT 19	HOTEL ROOM (EVEN)	367 SF
UNIT 20	HOTEL ROOM (EVEN)	421 SF
UNIT 21	HOTEL ROOM (EVEN)	451 SF
UNIT 22	HOTEL ROOM (EVEN)	421 SF
UNIT 23	HOTEL ROOM (EVEN)	419 SF
UNIT 25	HOTEL ROOM (EVEN)	421 SF
UNIT 27	HOTEL ROOM (EVEN)	421 SF
UNIT 29	HOTEL ROOM (EVEN)	421 SF
UNIT 30	HOTEL ROOM (EVEN)	419 SF
		764 SF

1/2, 3RD FLOOR SUBLOOR		
BOH CLOSET	BACK OF HOUSE	26 SF
ICE	BACK OF HOUSE	23 SF
CORRIDOR-L3	CIRCULATION	775 SF
STAIR 1-1.3	CIRCULATION	172 SF
STAIR 1-1.3	CIRCULATION	172 SF
UNIT 16	HOTEL ROOM (EVEN)	419 SF
UNIT 18	HOTEL ROOM (EVEN)	421 SF
UNIT 20	HOTEL ROOM (EVEN)	419 SF
UNIT 22	HOTEL ROOM (EVEN)	421 SF
UNIT 24	HOTEL ROOM (EVEN)	432 SF
UNIT 25	HOTEL ROOM (EVEN)	638 SF
UNIT 26	HOTEL ROOM (EVEN)	421 SF
UNIT 27	HOTEL ROOM (EVEN)	421 SF
UNIT 28	HOTEL ROOM (EVEN)	421 SF
UNIT 29	HOTEL ROOM (EVEN)	421 SF
UNIT 30	HOTEL ROOM (EVEN)	419 SF
		764 SF

1/2, 3RD FLOOR SUBLOOR		
BOH CLOSET	BACK OF HOUSE	35 SF
CORRIDOR-L3	CIRCULATION	775 SF
STAIR 1-1.3	CIRCULATION	172 SF
UNIT 16	HOTEL ROOM (EVEN)	419 SF
UNIT 18	HOTEL ROOM (EVEN)	421 SF
UNIT 20	HOTEL ROOM (EVEN)	419 SF
UNIT 22	HOTEL ROOM (EVEN)	421 SF
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UNIT 28	HOTEL ROOM (EVEN)	421 SF
UNIT 29	HOTEL ROOM (EVEN)	421 SF
UNIT 30	HOTEL ROOM (EVEN)	419 SF
		764 SF

1/2, 3RD FLOOR SUBLOOR		
BOH CLOSET	BACK OF HOUSE	35 SF
CORRIDOR-L3	CIRCULATION	775 SF
STAIR 1-1.3	CIRCULATION	172 SF
UNIT 16	HOTEL ROOM (EVEN)	419 SF
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		764 SF

1/2, 3RD FLOOR SUBLOOR		
BOH CLOSET	BACK OF HOUSE	35 SF
CORRIDOR-L3	CIRCULATION	775 SF
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UNIT 29	HOTEL ROOM (EVEN)	421 SF
UNIT 30	HOTEL ROOM (EVEN)	419 SF
		764 SF

1/2, 3RD FLOOR SUBLOOR		
BOH CLOSET	BACK OF HOUSE	35 SF
CORRIDOR-L3	CIRCULATION	775 SF
STAIR 1-1.3	CIRCULATION	172 SF

NEIGHBORHOOD CONTEXT

NORTH

GLORIETTA TRATTORIA,
SINGLE FAMILY HOMES



EAST

KNIT ON PEARL,
GRACE SPA, JACKSON
WORKFORCE CENTER



SOUTH

ST. JOHN'S EPISCOPAL
CHURCH, THE
GLENWOOD RESIDENTIAL
DEVELOPMENT



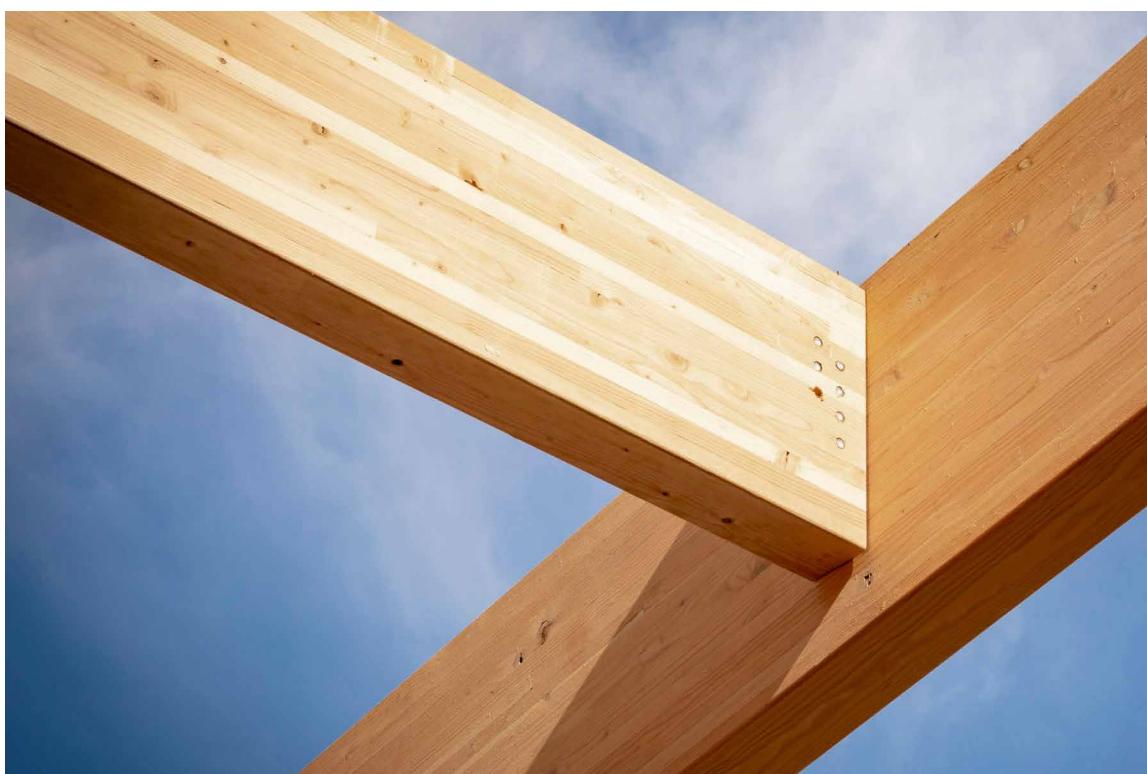
WEST

THE ANVIL HOTEL,
JACKSON HOME RANCH
WELCOME CENTER



PROPOSED MATERIAL PALETTE

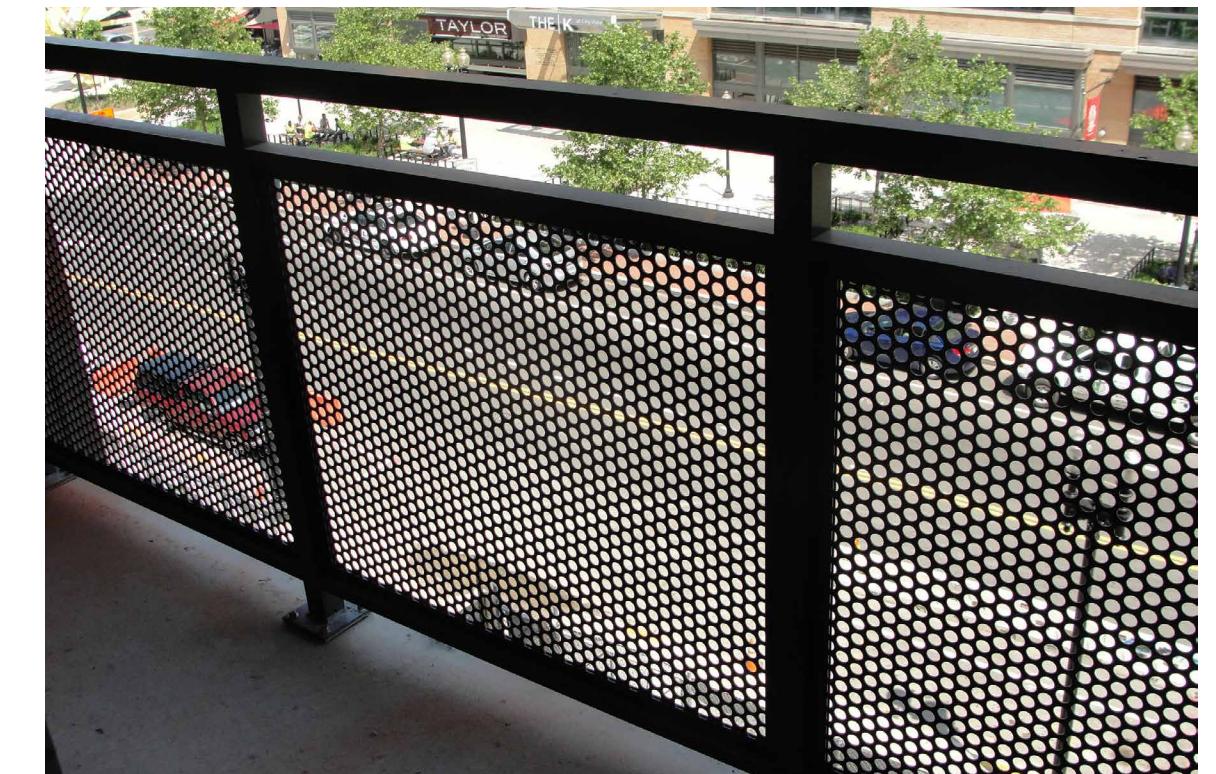
1 GLULAM COLUMNS AND BEAMS
EXTERIOR STRUCTURE, LEVELS 1, 2 & 3



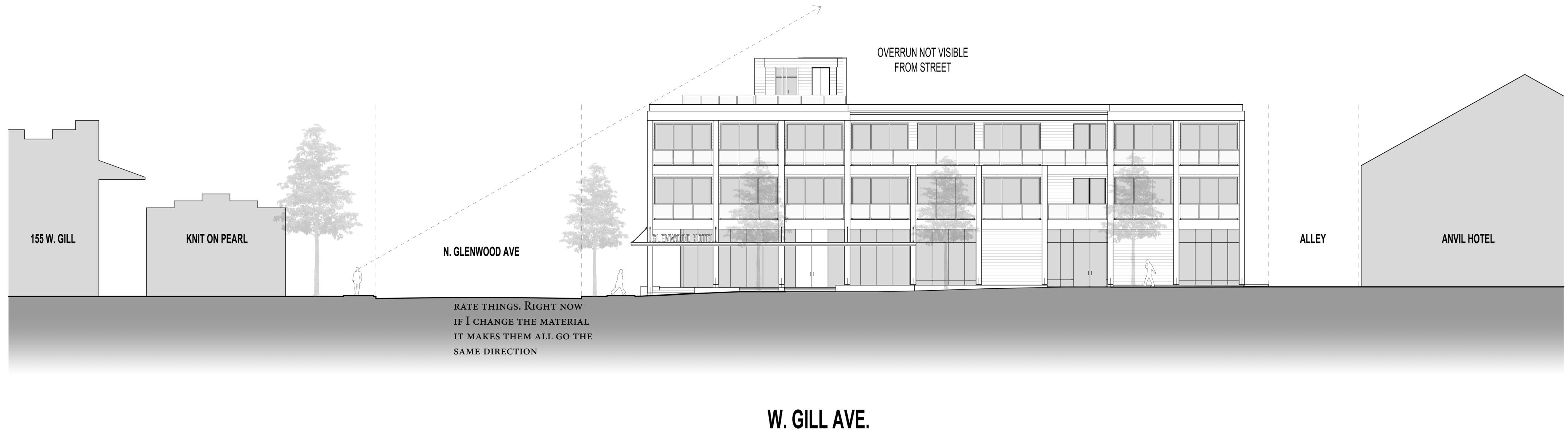
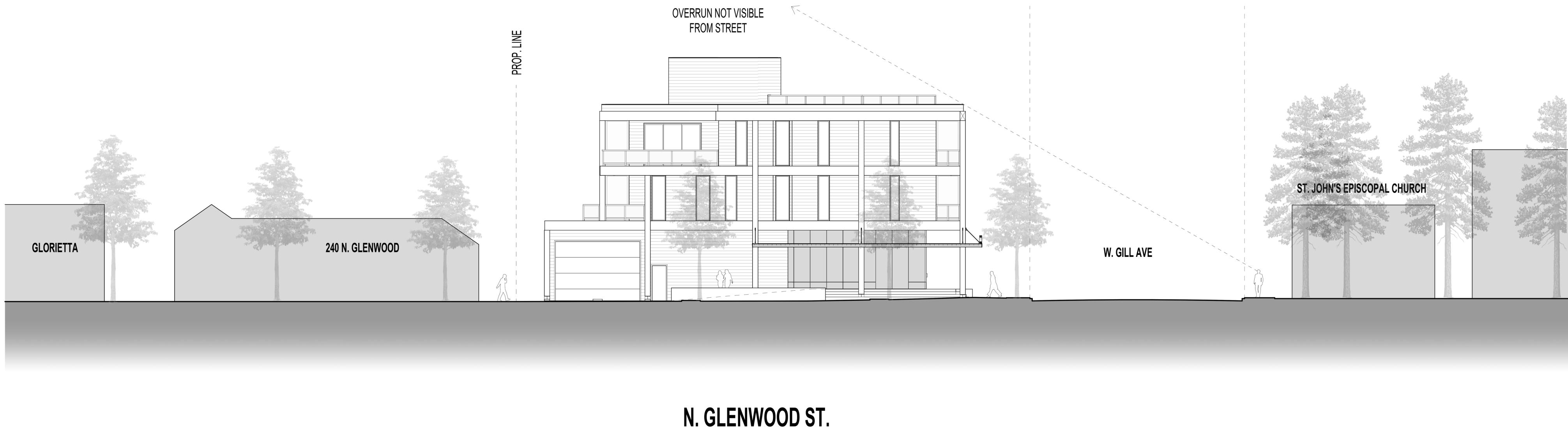
2 WOODEN HORIZONTAL SIDING
EXTERIOR WALLS, LEVELS 1, 2, 3 & ROOF FASCIAS



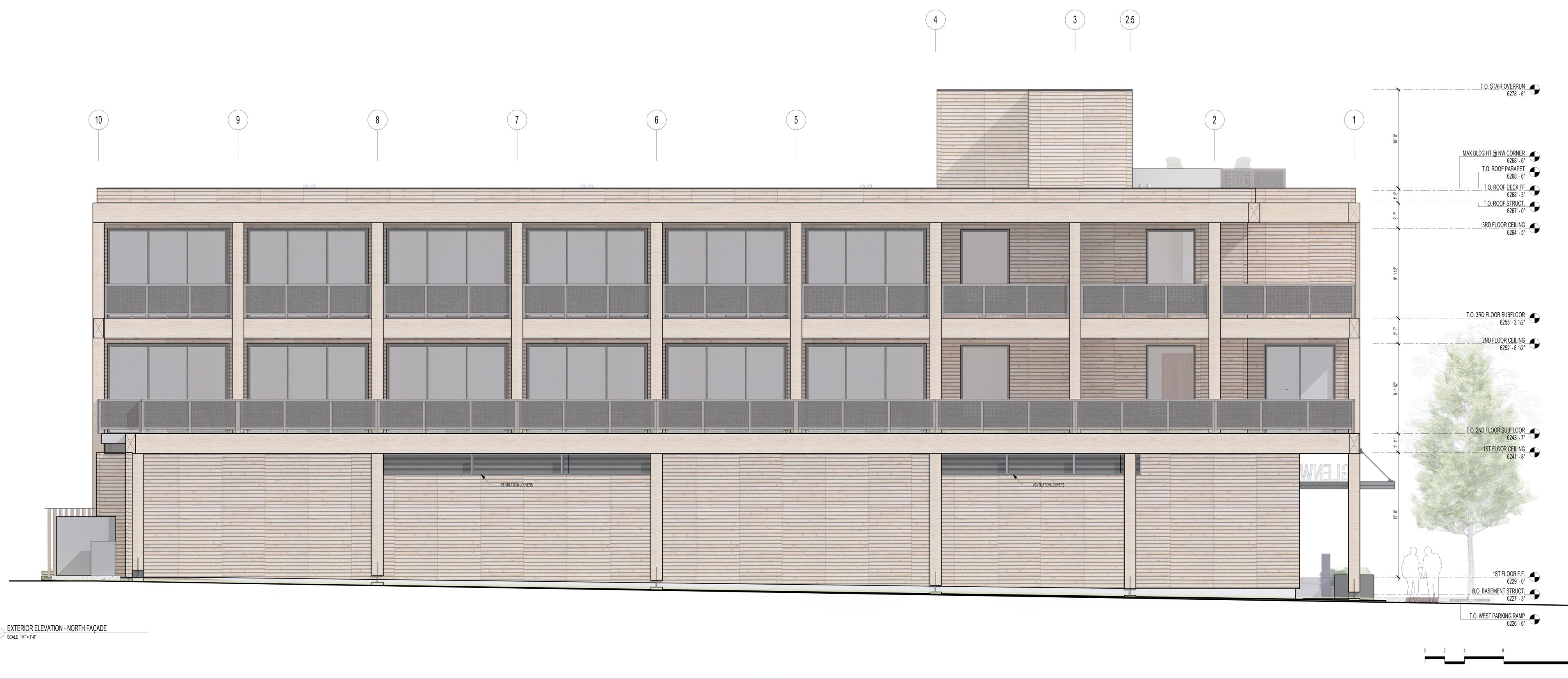
3 DARK METAL ACCENTS
EXTERIOR FRAMING @ WINDOWS, ROOF PARAPETS, CANOPIES
& BALCONY RAILINGS

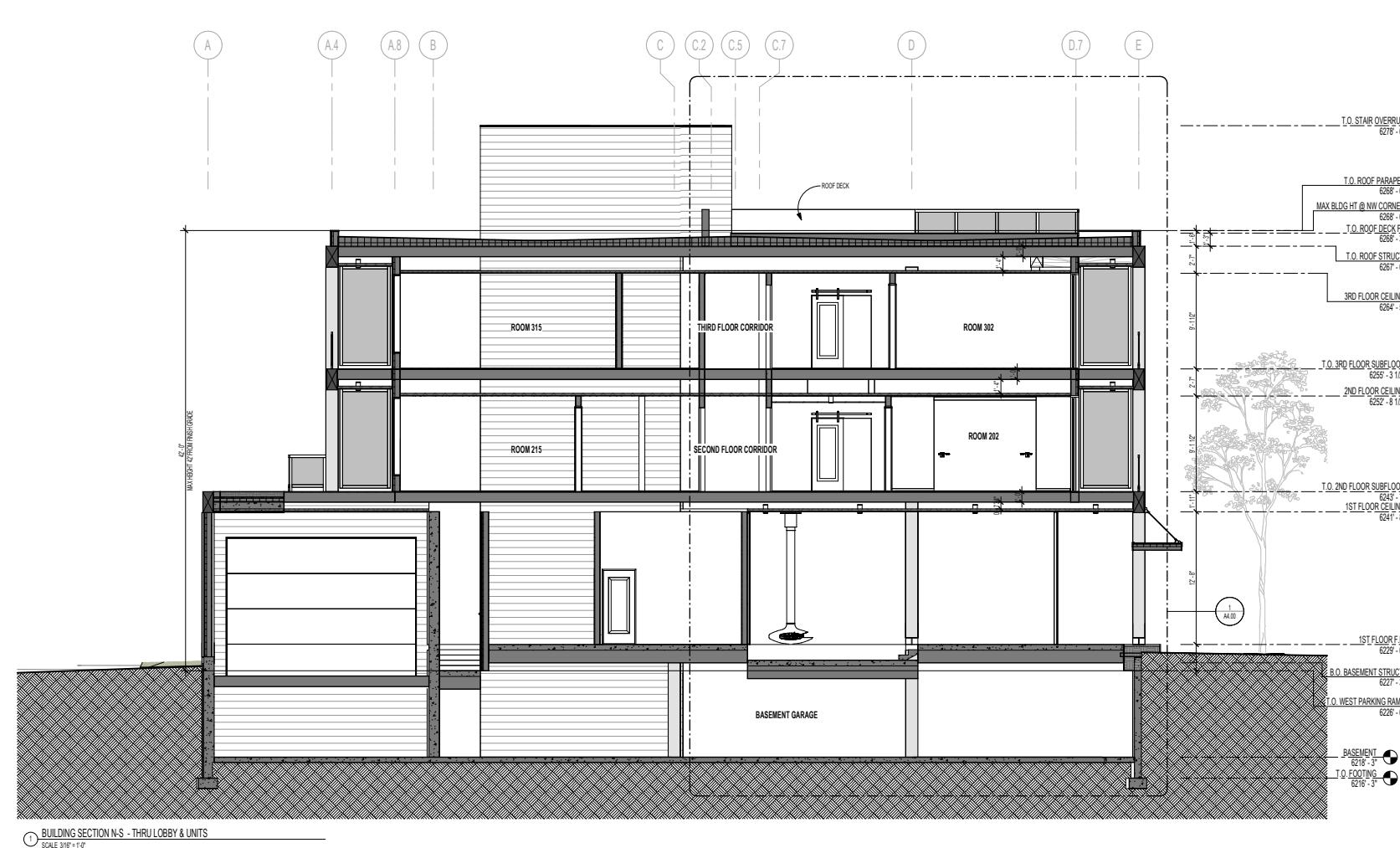
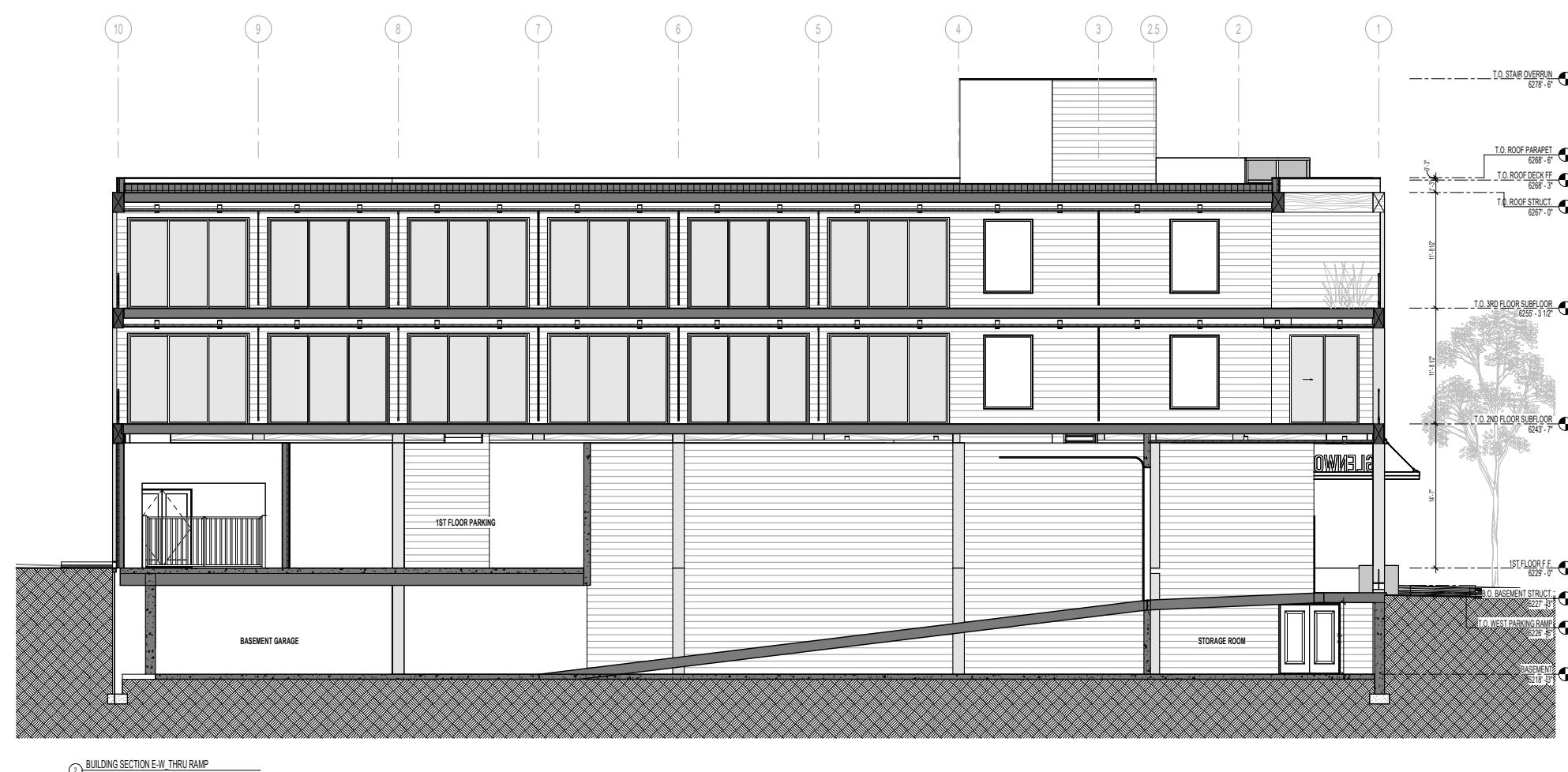
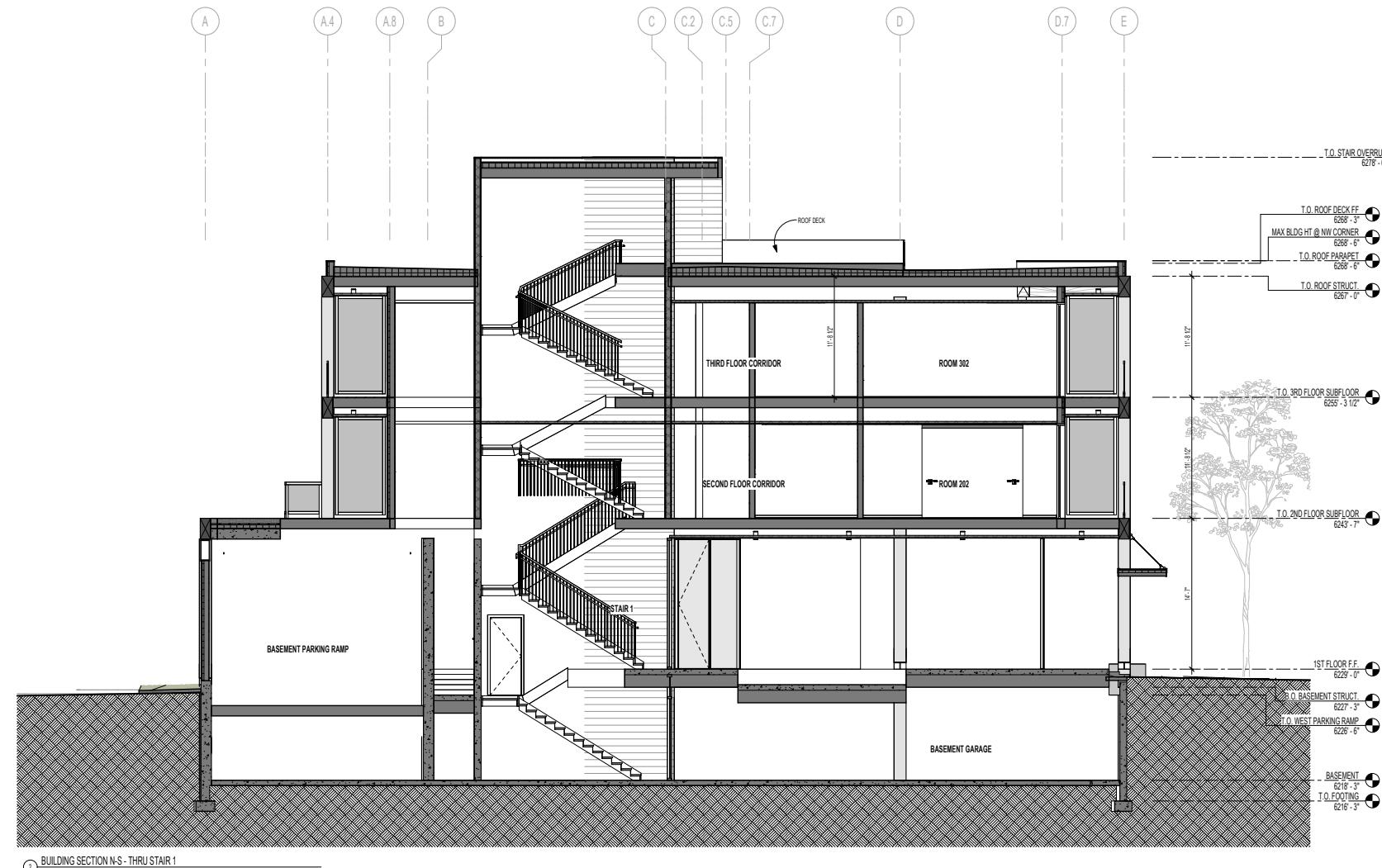


NEIGHBORHOOD CONTEXT









PROFESSIONAL SEAL

Project
GLENWOOD COMMERCIALPROJECT ADDRESS
ZIP CODE, STATE

2343

Author

Drawn By

Checker

Checked By

Discipline & Drawing Number

A3.00

Drawing Name

BUILDING SECTIONS



EXTERIOR RENDERING – CORNER OF GLENWOOD STREET & GILL AVE



EXTERIOR RENDERING – CORNER OF GLENWOOD STREET & GILL AVE



EXTERIOR RENDERING – GILL AVE, LOOKING WEST



EXTERIOR RENDERING – GLENWOOD STREET, LOOKING SOUTH

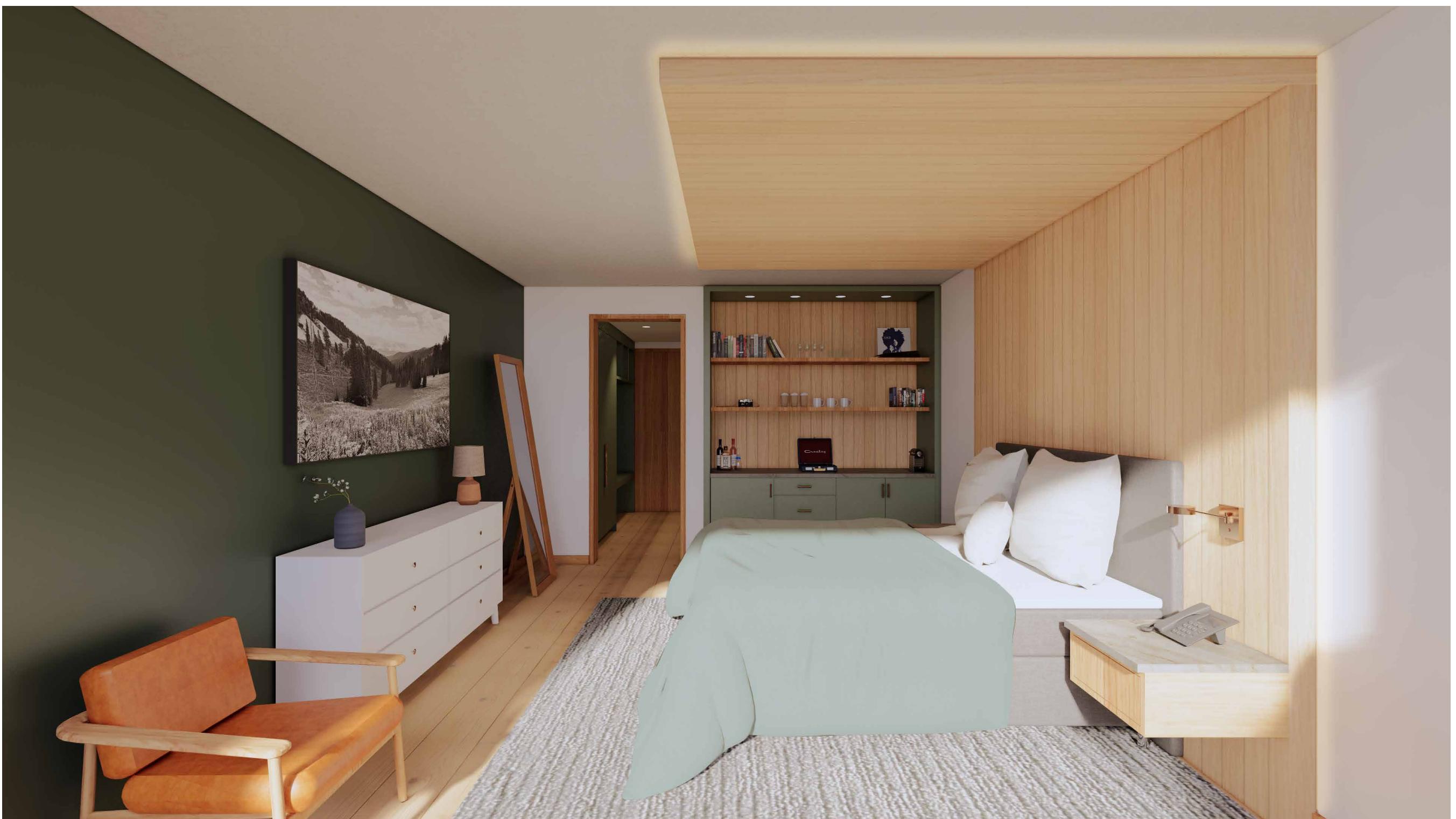


EXTERIOR RENDERING – AERIAL VIEW, CORNER OF GLENWOOD & GILL



THE DESIGN TEAM BELIEVES THAT THIS OPEN-AIR BEAM EXTENSION ALONG GLENWOOD STREET PROVIDES THE LIGHT, AIR & REDUCTION IN VOLUME THAT THE STEPBACK REQUIREMENTS PROMOTE – WHILE PROVIDING A MORE ELEGANT CORNER SOLUTION THAT TERMINATES THE STRUCTURAL GRID IN A MORE VISUALLY PLEASING MANNER.

EXTERIOR RENDERINGS – ALTERNATE STEPBACK INTERPRETATION



INTERIOR RENDERINGS – TYPICAL HOTEL ROOM

09

CIVIL DRAWINGS

ENGINEERING REPORT

1. Introduction

This engineering report provides the basis for design and addresses the engineering related issues for the proposed multi use development. The existing site contains a parking area and some small structures to be removed prior to the development. The site is completely developed with little to no existing pervious surfacing or landscaping. There are several existing buried and overhead utilities through the property. Water and sanitary sewer facilities are provided to the property through Town of Jackson (TOJ) Systems on several sides of the proposed development.

2. Water System

The site is surrounded on three sides by TOJ Water System Facilities. The TOJ has a 6-inch water main in North Glenwood Street and the alley, then an 8-inch main in West Gill Avenue. Due to the location of the project being near the downtown core of the TOJ, all water main facilities are adequately sized and looped. Per TOJ records there is an existing 4-inch water main that currently supplies water to the property.

To verify the existing water facilities are sized adequately, proposed water flows, both domestic and fire were estimated for the development. Due to the schematic nature of the programming of the development at this time, conservative estimates were utilized. Assumptions on use based on the proposed programming of the development are included in the Appendix along with flow projection calculations. Based on these assumptions, the peak domestic flow projection at the development is 200 gpm. Due to the size and proposed use of the development the structures will require automatic fire sprinkler systems. Fire flow requirements were calculated utilizing NFPA 13, along with the proposed programming of the facility. Fire flow requirements for the development sprinkler system are estimated to be 400 gpm. Due to the location of the development being in the core downtown area, it was assumed that additional exterior flow requirements would be needed in the event of a fire. It is assumed that 2 additional fire flows of 1000 gpm would be required on adjacent fire hydrants. The building fire flow, along with the 2 exterior fire hydrant flows were simulated in the TOJ Water Model. Results of the modeling are included in the Appendix, which indicate that residual pressure within the water system at adjacent fire hydrants never dropped below 20 psi during a fire flow scenario, meeting Wyoming Department of Environmental Quality (WYDEQ) requirements.

Using the projected fire flow demands to the structures, the water service supplying the development will need to be a 6-inch pipe from the existing 4 inch valve in the street, but the existing 4-inch tee and valve can remain. To comply with the TOJ's conventional practice that a single development be supplied water through one location, it is assumed that one service to the building will be installed. All proposed water system requirements are indicated on the Proposed Utility Plan located in the Appendix.

3. Sewer System

As can be noted from the existing site drawing located in the Appendix, there is an existing TOJ sewer main which runs north south in the alley to the east of the proposed development as well as in west gill avenue. The proposal is to gravity flow into the main within West Gill Avenue as this main is deeper and will allow all sanitary sewer located in the basement to gravity flow into the main based on preliminary finish floor elevations and existing sewer inverts.

To size the proposed piping the same assumed development programming was utilized as with the water system. Because there is little irrigation demand on the subject property it can be assumed the water and sewer demands will be close to equal. Based on calculations, included in the Appendix for the water demands, the peak hourly sanitary sewer flow was estimated at 200 gpm. Using this flow and assuming minimum pipe slopes a 6-inch gravity pipe would be adequate to serve the development. The proposed utility plan indicates the changes to the sanitary sewer system. The proposed service will be connected to the existing sewer main by the construction of a dog house manhole.

4. Wire Utilities and Gas

Power and communication facilities are readily available throughout the area and to this specific location. There are several overhead power and communication facilities which run north/south through the TOJ alley. Lower Valley Energy and Century Link Communications have been contacted to discuss relocation of the overhead facilities. The existing power pole in the alley that serves the property now contains a transformer bank will have to be replaced with a ground transformer. This transformer is proposed on the site and out of the TOJ alley.

5. Drainage and Stormwater

Development of the site will leave little to no pervious surface. This is much like the existing conditions of the site. All existing stormwater runoff from the site sheet flows onto neighboring parcels and TOJ roadways. Based on TOJ regulations the proposed development is required to retain any additional runoff above and beyond the existing conditions. Preliminary stormwater calculations were performed and are included in the Appendix. From the storm calculations it is indicated that approximately 15 cubic feet of storm water retainage is required on the site. This can be easily achieved by the use of roof drain scuppers that will only discharge pre condition storm water flows. Storm water will be collected on the roofs of the structures and various locations on the site and conveyed to the TOJ storm pipe in North Glennwood Street. In addition to the collection network gathering stormwater from the building roofs and surface drainage, snow melt and general drainage from the underground parking area will have to be collected and conveyed to the stormwater system. Due to the depth of the underground parking area, drains will require a pump or pumps to lift drainage to the stormwater collection system. All runoff collected within the parking areas will be conveyed to a sand/oil separator prior to being pumped to the collection system. The estimated .91 cfs of runoff calculated for a 100 yr storm event will not affect the TOJ system further downstream as was noted previously because the runoff amount is close to the existing flow which ultimately flows to the same collection system.

6. Streets and Access

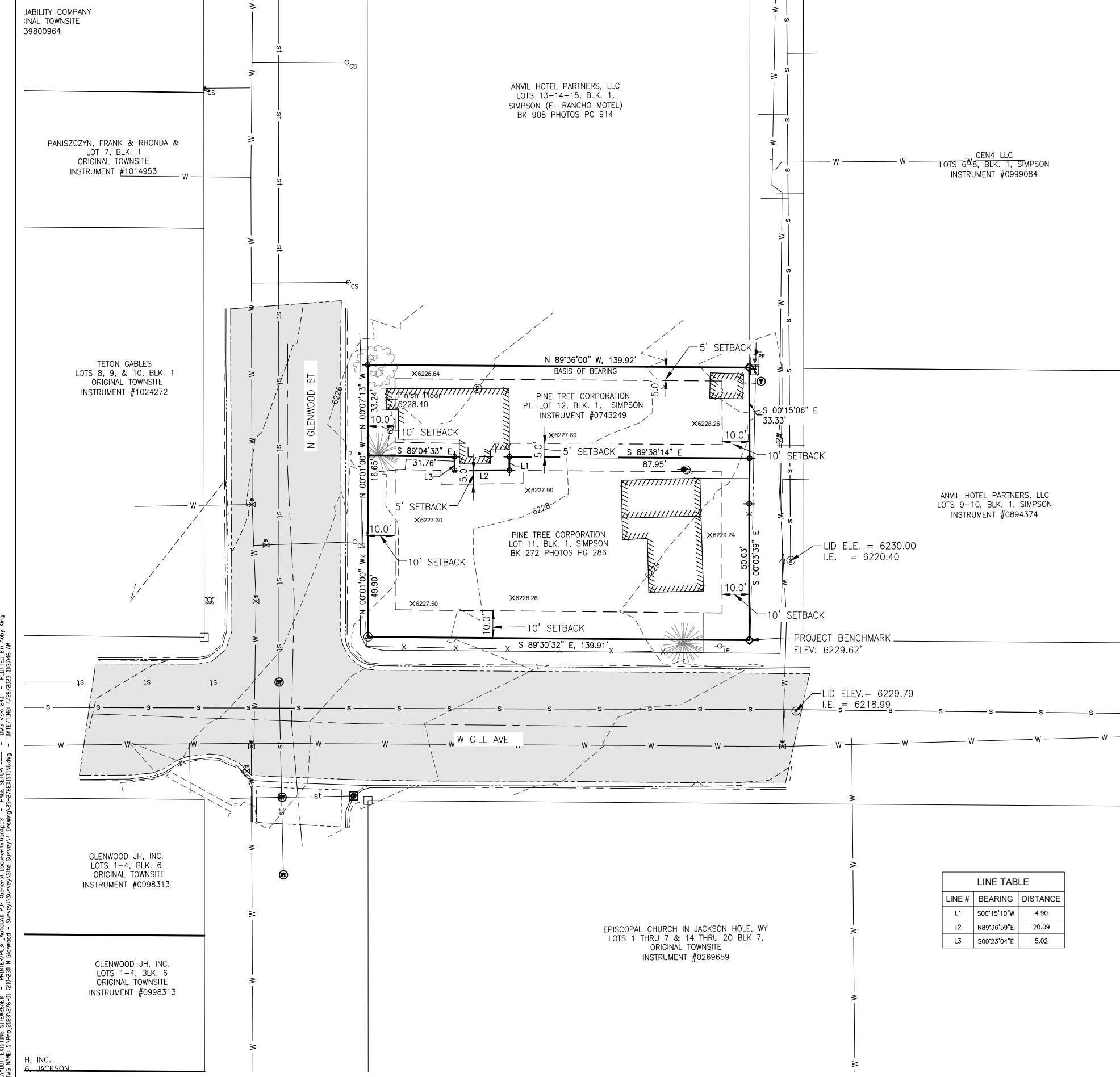
Access to the development will be in two different locations. The entrance to the parking garage will be from Glenwood Street. The first-floor parking will be accessed off of the alley to the east of the development. The main pedestrian access will be at the Glenwood and Gill intersection. Sidewalks with pavers and tree wells will be installed along both Glenwood and Gill per TOJ requirements. The proposed 15-unit hotel development will result in peak hour of approximately 11 hourly vehicle trips having minimal effects on the existing traffic flow around the development.

7. Soils

A geotechnical investigation has not been completed at this time but will be finalized prior to the development plan submittal. Based on surrounding developments, existing basement construction, and general knowledge of the area, it is assumed groundwater will not be present.

8. Snow Storage

Due to the proposed scale of the development, there is very little area on the site which is not covered by roofs or decks. No snow storage will be required because of the nature of the development.



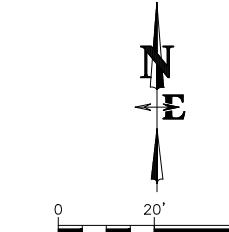
NOTE:

THE SITE SURVEY REPRESENTED ON THIS MAP SHOW CONDITIONS DETERMINED BY A FIELD SURVEY MADE ON SEPTEMBER 6, 2023, AND MAY NOT REFLECT CHANGES MADE SUBSEQUENT TO THAT DATE.

THE MAP WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT AND IS SUBJECT TO ANY OTHER EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY, AND CONDITIONS OF SIGHT AND/OR OF RECORD INCLUDING, BUT NOT LIMITED, TO THOSE SHOWN HEREON;

PRIMARY BUILDING SETBACKS PER TOJ CR-2 ZONE
10' PRIMARY STREET
5' SIDE
10' REAR

SITE DEVELOPMENT SETBACKS AND BUILDING SETBACKS SHALL BE VERIFIED WITH THE PLANNING DEPARTMENT IN THE AUTHORITY HAVING JURISDICTION PRIOR TO PLANNING ANY DEVELOPMENT. IT IS ALSO TO BE UNDERSTOOD THAT OTHER APPLICABLE CODES, RESTRICTIONS, COVENANTS AND REGULATIONS APPLICABLE TO DEVELOPMENT AND USE SHOULD BE DETERMINED PRIOR TO PLANNING ANY DEVELOPMENT AS THESE ARE NOT SHOWN ON THIS MAPPING

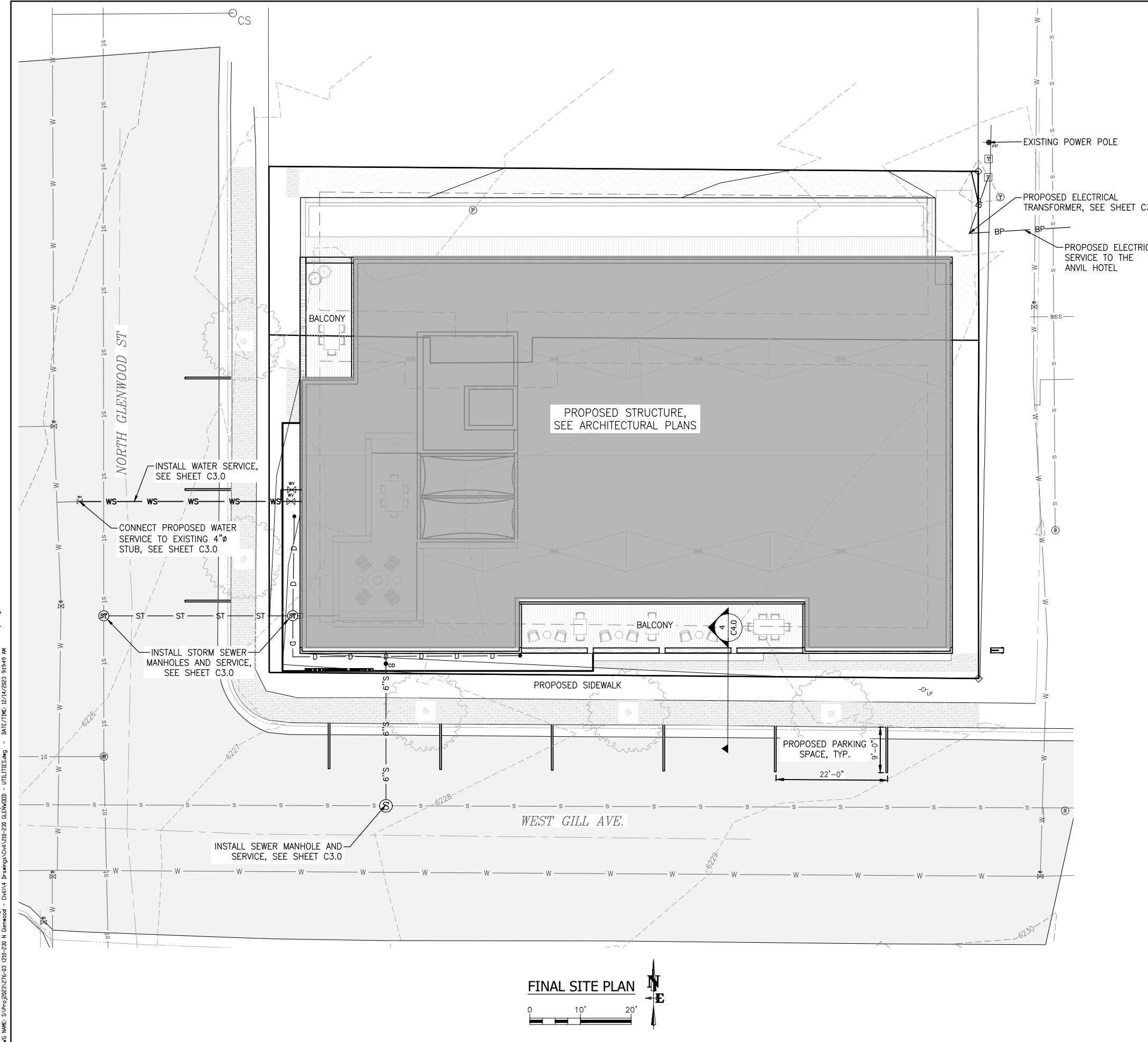


VERTICAL DATUM BASED ON NAVD88 (GEOID12B),
BENCHMARK SE PROPERTY CORNER ELEV = 6229.62',
DERIVED FROM NETWORK GPS OBSERVATIONS.

**NELSON
ENGINEERING**

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING NO	JOB TITLE	DRAWING TITLE	REV.
C1.0	LOTS 11 AND 12 SIMPSON ADDN 210 & 230 N GLENWOOD ST JACKSON, WY	EXISTING SITE PLAN	SG
23-276-01			ENGINEERED
			DRAWN
			SG/AR
			CHECKED
			LR
			APPROVED



LEGEND

—	INDEX CONTOUR
—	MINOR CONTOUR
—	WATER SERVICE
—	6"Ø WATER SERVICE
—	BURIED POWER
—	BASEMENT LEVEL
—	ROOF
WV	WATER VALVE
WS	SEWER MANHOLE
SS	STORM SEWER MANHOLE

**NELSON
ENGINEERING**

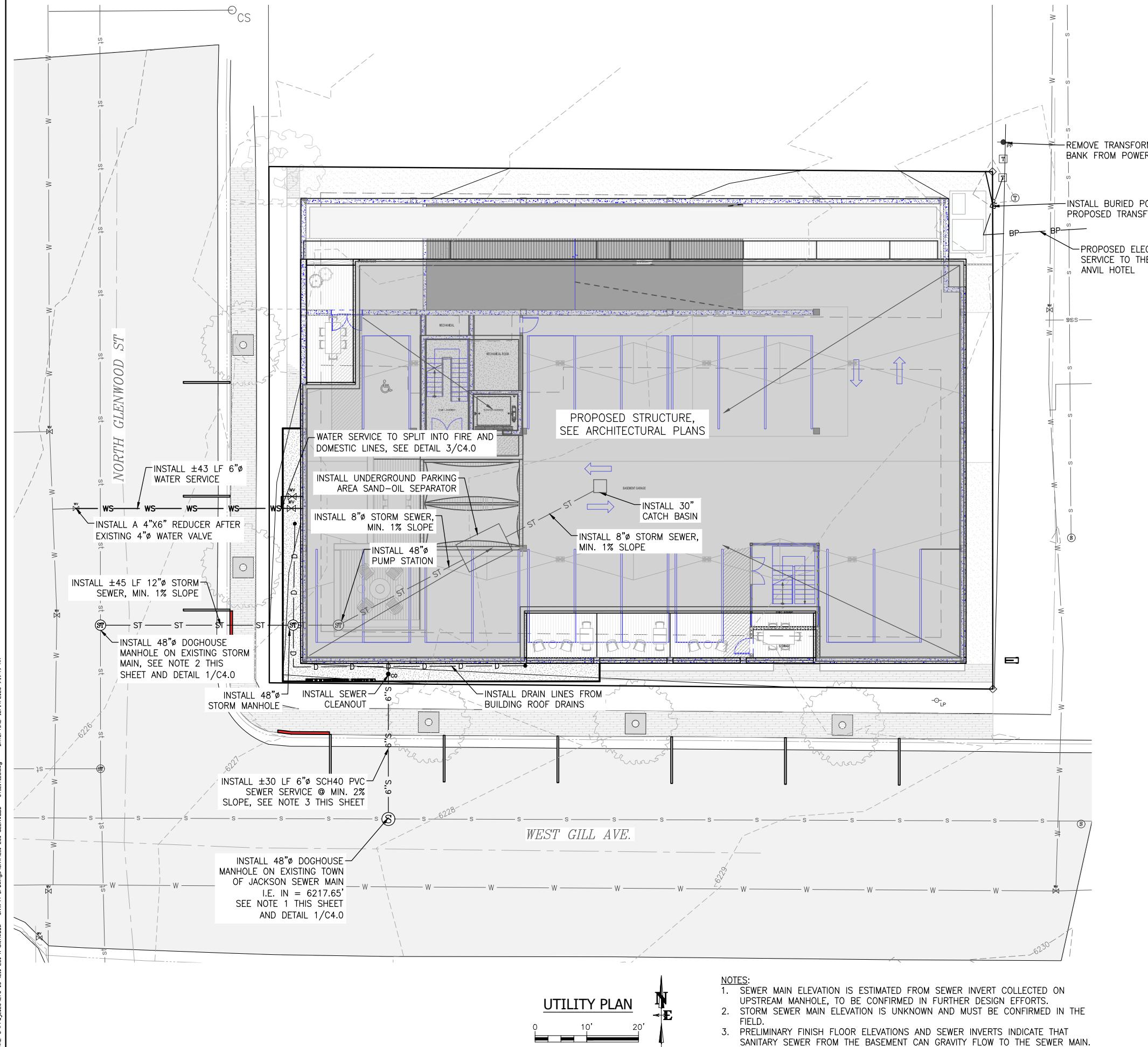
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DATE	12/14/2023	REV.
SURVEYED	NE	
ENGINEERED	AK	
DRAWN	AK/BIG	
CHECKED	MB	
APPROVED	MB	

DRAWING TITLE
FINAL SITE PLAN

JOB TITLE
GLENWOOD COMMERCIAL
210-230 NORTH GLENWOOD
JACKSON, WYOMING

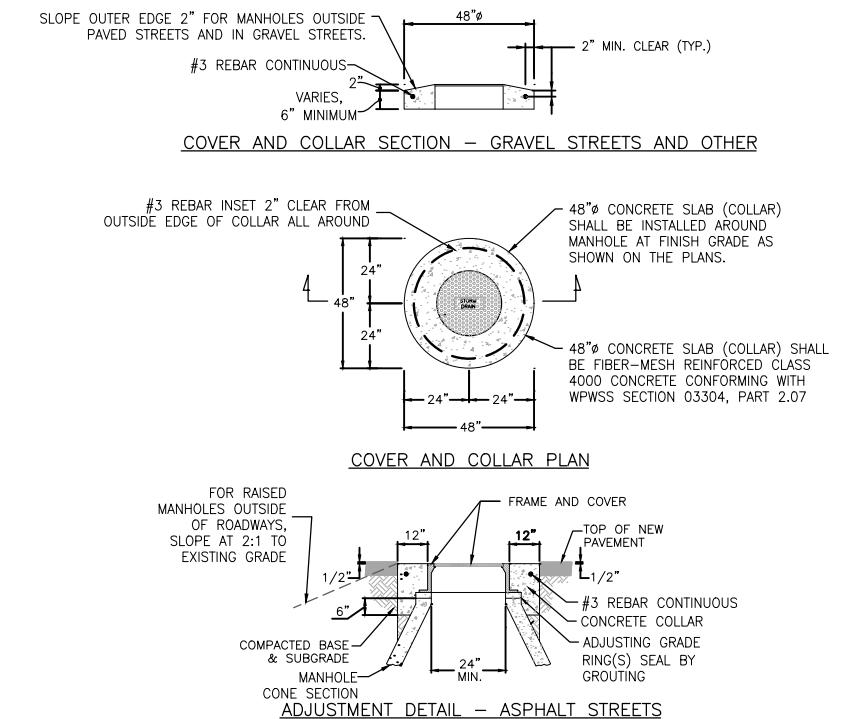
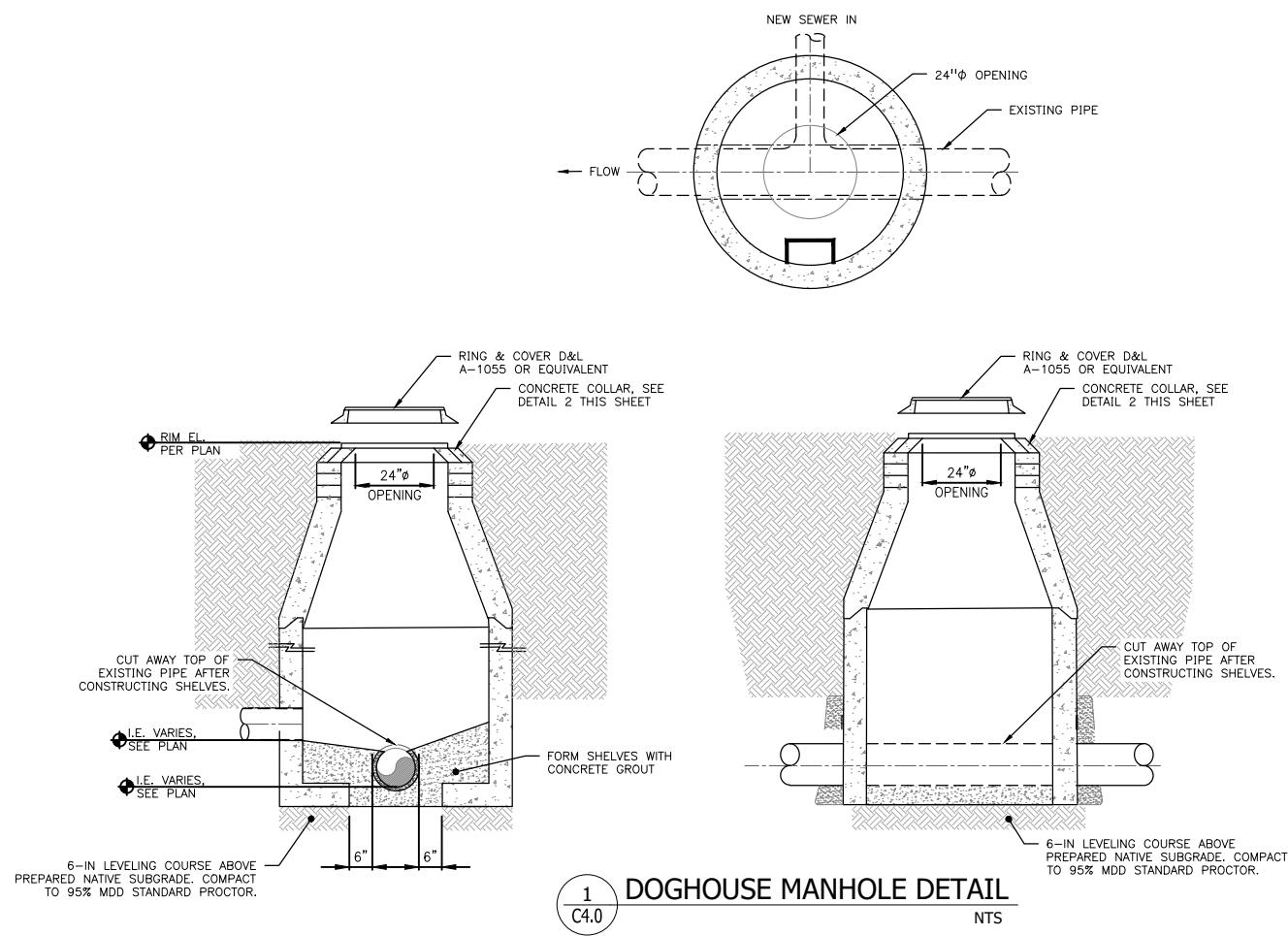
DRAWING NO
C2.0
JOB NO
23-276-03



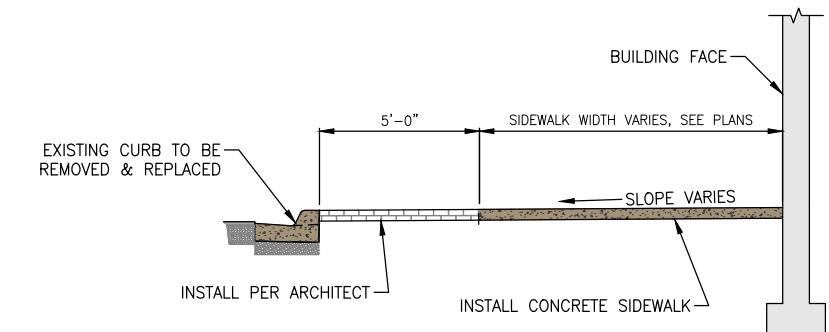
NOTES:

1. SEWER MAIN ELEVATION IS ESTIMATED FROM SEWER INVERT COLLECTED ON UPSTREAM MANHOLE, TO BE CONFIRMED IN FURTHER DESIGN EFFORTS.
2. STORM SEWER MAIN ELEVATION IS UNKNOWN AND MUST BE CONFIRMED IN THE FIELD.
3. PRELIMINARY FINISH FLOOR ELEVATIONS AND SEWER INVERTS INDICATE THAT SANITARY SEWER FROM THE BASEMENT CAN GRAVITY FLOW TO THE SEWER MAIN.

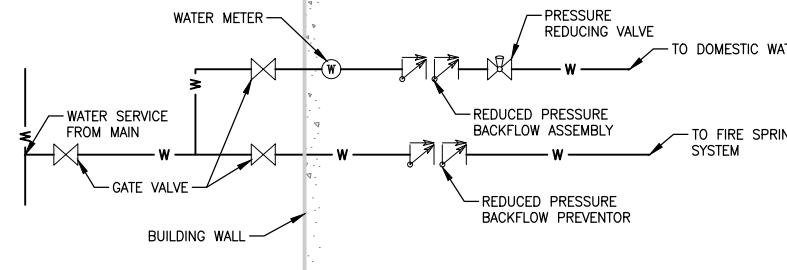
NELSON ENGINEERING	
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087	
DRAWING NO	JOB TITLE
C3.0	GLENWOOD COMMERCIAL
JOB NO	210-230 NORTH GLENWOOD
23-276-03	JACKSON, WYOMING
DRAWING TITLE	
UTILITY PLAN	
REV. DATE	
SURVEYED NE	
ENGINEERED AK	
DRAWN AK/BIG	
CHECKED MB	
APPROVED	



SEWER AND STORM SEWER MANHOLE COLLAR DETAIL



3 C4.0 WATER SERVICE FIRE ENTRY SCHEMATIC DETAIL



4
C4.0 TYPICAL SIDEWALK SECTION: W GILL AVE

JOB TITLE		DRAWING TITLE	DATE	REV.
GLENWOOD COMMERCIAL		DETAILS	12/14/2023	
210-230 NORTH GLENWOOD			SURVEYED	NE
JACKSON, WYOMING			ENGINEERED	AK
23-276-03			DRAWN	AK/BIG
			CHECKED	MB
			APPROVED	

	Kitchen Sink (3/4" connection)	Lavatory (1/2" connection)	Shower Head (shower only)	Urinal (pedestal flush valve)	Wash Sink (each set of faucets)	Water Closet (flush valve)	Water Closet (tank type)	Dishwasher (3/4" " connection)	Washing Machine (1" connection)
Basement									
1st Floor	1	5		1		4		1	2
2nd Floor			15		15		15		
3rd Floor			15		15		15		
Roof	1								

Domestic Water Flows

Description of Improvements:

BASEMENT	11,505	garage
1ST FLOOR	10,240	bathrooms, garage ramp, trash, parking, stairwells, elevator, lobby, kitchen, vestibule, office, mechanical
2ND FLOOR	8,183	15 hotel rooms, mechanical, stairwells, corridor, closet, elevator, ice
3RD FLOOR	7,815	15 hotel rooms, mechanical, stairwells, corridor, closet, elevator, ice
ROOF	261	stair, elevator, roof deck
TOTAL	38,004	sf

Estimating Domestic Max. Demand

*Calculations are based on methods outlined in the AWWA, "Sizing Water Service Lines and Meters" manual.

Domestic Water Demand for Facility Given Specified Fixtures

Assume Average Residential Fixture Value (AWWA M2)

Fixture Type	Fixture Value Based on 35 psi at Meter Outlet	Number of Fixtures	Fixture Value
Bathtub	8		0
Combined Sink & Tray	3		0
Drinking Fountain (cooler)	1		0
Drinking Fountain (public)	2		0
Kitchen Sink (1/2" connection)	3		0
Kitchen Sink (3/4" connection)	7	2	14
Lavatory (3/8" connection)	2		0
Lavatory (1/2" connection)	4	5	20
Laundry Tray (1/2" connection)	3		0
Laundry Tray (3/4" connection)	7		0
Shower Head (shower only)	4	30	120
Service Sink (1/2" connection)	3		0
Service Sink (3/4" connection)	7		0
Urinal (pedestal flush valve)	35	1	35
Urinal (wall or stall)	12		0
Urinal (trough. 2-ft unit)	2		0
Wash Sink (each set of faucets)	4	30	120
Water Closet (flush valve)	35	4	140
Water Closet (tank type)	3	30	90
Dishwasher (1/2" connection)	5		0
Dishwasher (3/4" connection)	10	1	10
Washing Machine (1/2" connection)	5		0
Washing Machine (3/4" connection)	12		0
Washing Machine (1" connection)	25	2	50
Hose Connections 1/2" (wash down)	6		0
Hose Connections 3/4" (wash down)	10		0
Hose 1/2" (50ft length - wash down)	6		0
Hose 5/8" (50ft length - wash down)	9		0
Hose 3/4" (50ft length - wash down)	12		0
Irrigation	3		0
Total Fixture Units			599

Base on Fixture Count of 599 using the upper line in Fig. 4.4 for a hotel the estimated Maximum Water Demand is 170 gpm.

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SIZING WATER SERVICE LINES AND METERS

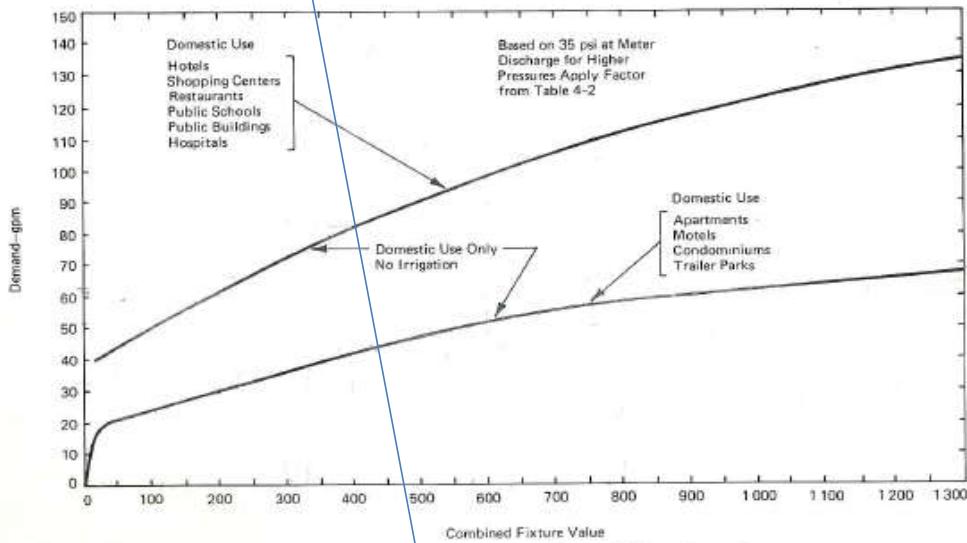


Fig. 4.4. Water-Flow Demand per Fixture Value—Low Range

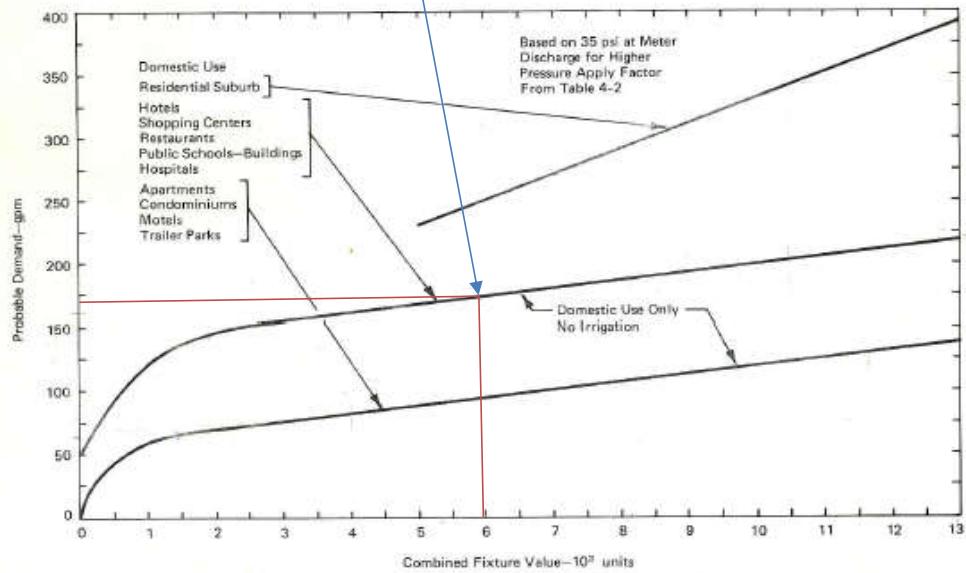


Fig. 4.5. Water-Flow Demand per Fixture Value—High Range

detailed lists of fixtures before estimates can be prepared. If the structure is in the planning stage, the mechanical engineer or architect is the best source of information, and, if construction is underway, the plumbing contractor or the building permits section of the city will have the information. Field trips by the estimator are often necessary to assist the customer as well as to properly assess the project when

Nelson Engineering
Jackson, Wyoming

Calculate Demands Based on Estimated System Pressure

Est. Max. Demand	170	gpm
Pressure at Nearest Meter	64.8	psi
Elevation at Nearest Meter	6225	ft
Estimated F.F. at First Floor	6229	ft
Estimated F.F. at Roof	6262	ft
Pressure at Roof	48.8	psi

Table 4.2 (for pressures other than 35 psi)

Design Pressure	Factor
20	0.74
30	0.92
35	1
40	1.07
50	1.22
60	1.34
70	1.46
80	1.57
90	1.68
100	1.78

For Pressures Deviating from 35 psi

Est. Pressure (psi) 48.8 psi
Demand @ Est Pressure 200.00 gpm

Fire Spinkler Flows

Hazard Classification

Light Hazard Occupancies per NFPA 13, Section 4.5.1

Building Area:

BASEMENT	11,505	sf
1ST FLOOR	10,240	sf
2ND FLOOR	8,138	sf
3RD FLOOR	7,815	sf
ROOF DECK	789	sf
Total	38,487	sf

Minimum Flow for Hose Connection

100 gpm per NFPA 13, Section 19.3.3.1.2

Utilize Early Suppression Fast-Response Sprinklers (ESFR) per Section 14.2

Actual Design Area 3000 SF (conservative, Lobby area)

Required Flow

Required Density 0.1 gpm/sf per NFPA 13, Section 19.3.3.1.1

Sprinkler Demand 300 gpm

Required Flow (sprinkler and hose) **400 gpm**

Static Pressure at Fire Sprinklers 48.8 psi @ design height

Dynamic Pressure at Fire Flow **37.4 psi @ design height**

Summary of Hydraulic Model Results

Junction Label	Total Demand (gpm)	Residual Pressure (psi)
J-152	1,000	49.9
J-407	400	48.7
J-147	1,000	50.2

See Fire Flow Exhibit for junction locations.



FIRE FLOW EXHIBIT

NOTE: PROPOSED FIRE FLOW DEMAND WAS MODELED
USING TWO 1,000 GPM FLOWS AT (J-152) AND (J-147).

DRAWING NO	TITLE
1	GLENWOOD COMMERCIAL
JOB NO	210-230 N GLENWOOD AVE JACKSON, WY 83001

GLENWOOD COMMERCIAL
210-230 N GLENWOOD AVE
JACKSON, WY 83001

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DATE	12-13-23	REV.
SURVEYED		
DRAWN	AK	
CHECKED		
APPROVED		

STORMWATER RUNOFF CALC'S
210-230 N GLENWOOD STREET

23-276-03
12/13/2023
AK

PRE-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT ²)=	2102	
C-VALUE =	0.9	
S =	50%	
L (ft) =	10	
tc (min) =	0.31	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

PARKING AREA CALCULATIONS

PARKING AREA (FT ²)=	7515	
C-VALUE =	0.9	
S =	10%	
L (ft) =	95	
tc (min) =	1.63	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LANDSCAPING CALCULATIONS

LANDSCAPING AREA (FT ²)	4360	
C-VALUE =	0.3	
S =	2%	
L (ft) =	40	
tc (min) =	7.23	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

Total Time of Conc., Tc = 7.23 min (landscaping)
Composite C_c = 0.71
Total Area, A_t = 13977 ft²

TABLE 4920.B
JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, T _d (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

Initial Flow Rate, Q_i (cfs) = 0.62 cfs at tc= 7.23 min

$$Q_i = C_c \cdot I \cdot A_t / (43560)$$

where,
Composite C_c = 0.71
Intensity, I = 2.70 in/hr at T_d = 7.23 min
Total Area, A_t = 13977 ft²

STORMWATER RUNOFF CALC'S
210-230 N GLENWOOD STREET

23-276-03
12/13/2023
AK

POST-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT ²)	11430	
C-VALUE =	0.9	
S =	25%	
L (ft) =	20	
tc (min) =	0.55	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

DRIVEWAY CALCULATIONS

DRIVEWAY AREA (FT ²)	1400	
C-VALUE =	0.9	
S =	2%	
L (ft) =	5	
tc (min) =	0.64	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LANDSCAPING CALCULATIONS

LANDSCAPING AREA (FT ²)	1147	
C-VALUE =	0.3	
S =	2%	
L (ft) =	5	
tc (min) =	2.56	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

Total Time of Conc., Tc = 2.56 min (landscaping)
Composite C_c = 0.85
Total Area, A_t = 13977 ft²

TABLE 4920.B
JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, T _d (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

Final Flow Rate, Q_f (cfs) = 0.91 cfs at tc = 2.56 min

$$Q_f = C_c \cdot I \cdot A_t / (43560)$$

where,

Composite C_c = 0.85
Intensity, I = 3.33 in/hr at T_d = 2.56 min
Total Area, A_t = 13977 ft²

STORMWATER RUNOFF CALC'S
210-230 N GLENWOOD STREET

23-276-03
12/13/2023
AK

Post and Pre-Developement Diff = **0.29** cfs

TABLE 1

DURATION, T_d (min)	INTENSITY, I (in/hr)	Design Flow, Q_d (ft 3 /s)	Design Storage Volume, V_d (ft 3)
2	3.40	0.936	6
3	3.27	0.900	21
4	3.13	0.863	32
5	3	0.826	39
7	2.73	0.752	39
8	2.60	0.715	34
9	2.46	0.678	24
10	2.33	0.641	11
15	1.9	0.523	-68
20	1.65	0.454	-162
30	1.3	0.358	-399
40	1.08	0.297	-667
50	0.95	0.261	-940

TABLE 1 EQUATIONS: $Q_d = C_c * I * A_t / (43200)$

$$V_d = (Q_d - Q_i) * ((Q_d - Q_i) / Q_f * T_d) * 60$$

Where,

Composite C_c =	0.85
Intensity, I =	3.33
Total Area, A_t =	13977
Final Flow Rate, Q_d (cfs) =	0.91
Initial Flow Rate, Q_i (cfs) =	0.62
Duration, T_d =	2.56

in/hr
ft 2
cfs at $t_c = 2.56$ min
cfs at $t_c = 7.23$ min
(min)

Req'd Storage Volume = 15.0 ft 3

Channel Report

<Name>

Circular

Diameter (ft) = 0.5

Highlighted

$$= 0.46$$

Invert Elev (ft) = 6217.65

$$Q \text{ (cfs)} = 0.440$$

Slope (%) = 2.00

Area (sqft) = 0.19

N-Value = 0.025

Velocity (ft/s) = 2.33

Calculations

Compute by: Known Q

Wetted Perim (ft) = 1.29

Known Q (cfs) = 0.44

Crit Depth, Y_c (ft) = 0.34

