



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: November 10, 2023	REQUESTS: The applicant is requesting an Administrative Adjustment to allow a driveway and curb cut that is wider than the 20' maximum at the property located at 960 Maple Way and legally known as Lot 27, Southgate Addition PIDN: 22-41-16-32-4-09-004 For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.
Item #: P23-196	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Email: tvalentine@jacksonwy.gov	
Owner Thomas & Trista Deming PO Box 9765 Jackson, WY 83002	
Please respond by: December 1st (with Comments)	

RESPONSE: For Departments not using SmartGov, please send responses via email to:
planning@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Deming Residence
Physical Address: 960 Maple Way
Lot, Subdivision: Lot 27, Southgate Addition PIDN: 22-41-16-32-4-09-004

PROPERTY OWNER.

Name: Thomas & Trista Deming Phone: 307-413-2526
Mailing Address: PO Box 9765 ZIP: 83002
E-mail: tom@fcexcavation.com

APPLICANT/AGENT.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

DESIGNATED PRIMARY CONTACT.

☒ Property Owner ☐ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

☐ Basic Use
☐ Conditional Use
☐ Special Use

Relief from the LDRs

☒ Administrative Adjustment
☐ Variance
☐ Beneficial Use Determination
☐ Appeal of an Admin. Decision

Physical Development

☐ Sketch Plan
☐ Development Plan
☐ Design Review

Subdivision/Development Option

☐ Subdivision Plat
☐ Boundary Adjustment (replat)
☐ Boundary Adjustment (no plat)
☐ Development Option Plan

Interpretations

☐ Formal Interpretation
☐ Zoning Compliance Verification

Amendments to the LDRs

☐ LDR Text Amendment
☐ Map Amendment

Miscellaneous

☐ Other: _____
☐ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____

Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

_____ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

For safety reasons we are proposing to remove the driveway from Maple Way and relocate to Dogwood Drive. In doing so, we would be willing to forfeit our right to a secondary driveway in exchange for a 24' wide curb cut. Attached to this application we have provided an updated sketch plan of the new driveway and dimensions, along with the removal and reclamation of the existing driveway on Maple Way. Thank you for your consideration.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Property Owner or Authorized Applicant/Agent
Tom Deming

Name Printed

10/19/2023

Date
Owner

Title

Nov 9th, 2023

Planning
Department
Town of Jackson
P.O. Box 1687
Jackson, WY 83001

PROJECT: 960 Maple Way

Dear Planning Department,

Please accept this application for Administrative Adjustment for the property 960 Maple Way Jackson WY, 83002

Application is to request additional driveway width and curb cut to offset limited size of proposed driveway relocated from Maple Way to Dogwood Dr. We currently have a building permit under review that represents this plan and clearly shows the site limitations we are working with to get functional access to our proposed garage from Dogwood Dr. Our reason for the relocation is to increase the safety and reduce the likeliness of conflict with traffic while leaving and entering the property. With approval of this request, we would forfeit our right to a secondary driveway and curb cut.

We are looking forward to your review and seek your approval.

Sincerely,

Tom Deming
307-413-2526

RESPONSES TO FINDING

C. Findings

An administrative adjustment shall be approved upon finding the application:

1. Complies with the applicability standards of this Section;

Response:

Application is to request additional width of curb cut on Dogwood Dr and forfeit curb cut on Maple Way.

2. Either:
 - a. Compensates for some unusual constraint of the site or proposal that is not shared by landowners generally, or
 - b. Better protects natural, scenic, or historic resources, or
 - c. Better supports the purpose of the zone;

Response:

Due to the corner lot setbacks and my proposed garage addition, I am limited to a 20' driveway depth. I am asking for additional width of 4' resulting in a 24' curb cut to help with off street parking.

3. Is consistent with the purpose of the zone and the desired future character for the area described in the Comprehensive Plan;

Response:

By removing the drive on Maple Way, I feel a 24' curb cut on Dogwood is consistent with the character of the area. Any future reconstruction of Maple Way will benefit from the removal of this exiting curb cut.

4. Will not pose a danger to the public health or safety.

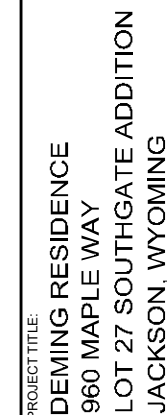
Response:

By granting my request for the additional curb cut width on Dogwood I can remove the existing driveway and curb cut on Maple Way resulting in significantly safer pedestrian and vehicular travel along Maple Way.

5. The site is not subject to a series of incremental administrative adjustments that circumvent the purpose of this Section.

Response:

The site does not require any further administrative adjustments with the improvements we have proposed.



DRAFTED BY:		KB
REVIEWED BY:		AJ
PLAN VERSION		DAT
TOJ B23-0319		10/13/20
PROJECT NUMBER		
22173		
SHEET		
C3.1		

DEMING RESIDENCE

CIVIL IMPROVEMENTS

960 MAPLE WAY
LOT 27, SOUTHGATE ADDITION

PIDN: 22-41-16-32-4-09-004

LOCATED WITHIN
NE1/4 SE1/4, SECTION 32,
T41N, R116W, 6TH P.M.
TOWN OF JACKSON
TETON COUNTY, WYOMING

GENERAL PROJECT NOTES:

- PROJECT SCOPE: SITE INFRASTRUCTURE FOR RESIDENTIAL ADDITION
- PROJECT SCHEDULE: BEGIN IN FALL 2023 AND END IN SPRING 2024.
- PROPERTY IS ZONED NL-3 IN THE TOWN OF JACKSON.
- PROPERTY AREA: 0.17 ACRES
- THE PROPERTY IS NOT LOCATED WITHIN THE WILD LAND URBAN INTERFACE, NATIONAL WILD AND SCENIC RIVER CORRIDOR, NATURAL RESOURCES OVERLAY, OR THE SCENIC RESOURCES OVERLAY.
- VERBAL NOTICE OF ANY CHANGES OR MODIFICATIONS THAT ARE NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE BUILDING PERMIT SHALL BE GIVEN TO THE TOWN ENGINEERING DEPARTMENT AT 307 733-3079. THE TOWN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL WRITTEN NOTICE OR INFORMATION BE SUBMITTED THROUGH THE TOWN'S BUILDING DEPARTMENT AND ADDITIONAL REVIEW FEES MAY APPLY.
- PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE APPLICANT SHALL CONTACT THE TOWN OF JACKSON ENGINEERING DEPARTMENT AND SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO MEET WITH THE ENGINEERING DEPARTMENT PRIOR TO START OF CONSTRUCTION ACTIVITIES WILL RESULT IN STOPPAGE OF WORK ON SITE. THE TOWN ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- THE DESIGN ENGINEER OF RECORD FOR ALL INFRASTRUCTURE AND GRADING SHALL INSPECT AND PROVIDE WRITTEN APPROVAL OF CONSTRUCTION PRIOR TO CERTIFICATE OF OCCUPANCY. THE TOWN ENGINEERING DEPARTMENT SHALL BE NOTIFIED TO ALLOW FOR WITNESSING OF ANY TESTING. FIELD REPORTS REGARDING THE INSTALLATIONS SHALL BE KEPT AND MAY BE REQUIRED BY THE TOWN ENGINEERING DEPARTMENT.

GENERAL CONSTRUCTION NOTES & SPECIFICATIONS:

- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS. ANY CONSTRUCTION RELATED ACTIVITIES NOT IN CONFORMANCE WITH APPROVED AND PERMITTED PLANS AND/OR SEQUENCING MAY RESULT IN TERMINATION OF WORK.
- THE APPROVED EROSION CONTROL PLAN SHALL BE LOCATED ON SITE. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAIN AND AT LEAST ONCE EACH WEEK. EROSION DAMAGES TO ADJOINING SURFACES AND DRAINAGE WAYS AS A RESULT OF LAND DEVELOPING OR DISTURBING ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.
- THE TOWN ENGINEER SHALL BE ALLOWED TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
- COPIES OF ALL AGREEMENTS AND/OR EASEMENTS SHALL BE PROVIDED TO THE TOWN OF JACKSON PRIOR TO GRADING ON ADJACENT PROPERTIES FOR TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITIES.
- CONSTRUCTION WORK HOURS SHALL BE CONSISTENT WITH CURRENT TOWN OF JACKSON POLICIES.
- CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DISTURBANCE OF PRIVATE PROPERTY BY HIS OPERATIONS. CONTRACTOR SHALL NOTIFY OWNER, OCCUPANT, AND ENGINEER PRIOR TO CONDUCTING ANY OPERATION THAT REQUIRES THE REMOVAL, REPLACEMENT, OR DAMAGE TO PRIVATE PROPERTY.
- ALL PUBLIC STREETS SHALL BE MAINTAINED CLEAR OF DEBRIS DURING CONSTRUCTION. SHOULD DEBRIS BE TRACKED ONTO PUBLIC STREETS FROM THE CONSTRUCTION SITE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE AFFECTED STREETS.
- CONSTRUCTION SITE DELINEATION FENCING SHALL BE PROVIDED AS NEEDED TO PROTECT THE PUBLIC FROM HAZARDS DURING CONSTRUCTION. THE FENCE SHALL REMAIN IN PLACE AND INTACT FOR AS LONG AS NECESSARY TO PROTECT THE PUBLIC.
- APPROVED SEDIMENTATION CONTROLS AND SILT RETENTION SHALL BE PLACED AND PROVIDED DURING CONSTRUCTION AS NEEDED TO PREVENT OFFSITE STORM FLOW AS IDENTIFIED IN THE APPROVED GRADING AND EROSION CONTROL PLAN. THE TOWN ENGINEER SHALL BE NOTIFIED UPON COMPLETION OF EROSION CONTROL MEASURES WITHIN 2 CALENDAR DAYS AFTER INSTALLATION.
- IF NECESSARY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY WYPDES STORMWATER PERMIT AND / OR CONSTRUCTION DEWATERING PERMIT PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA. CONTACT ENGINEER TO LOCATE EXISTING WATER LINES, SEWER LINES.
- CONTRACTOR SHALL NOT INTERRUPT UTILITIES PROVIDING SERVICES TO PROPERTIES ADJACENT TO THE WORK, EXCEPT AS SPECIFICALLY APPROVED BY THE AUTHORITY HAVING JURISDICTION. SERVICES DAMAGED OR INTERRUPTED BY CONTRACTOR'S OPERATION SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. WHEN INTERRUPTION OF SERVICE IS APPROVED, CONTRACTOR SHALL NOTIFY OCCUPANT 24 HOURS PRIOR TO THE INTERRUPTION.

- THE CONTRACTOR WILL CALL THE UTILITY NOTIFICATION ONE CALL OF WYOMING, AT 1-800-844-2476, OR 811, FOR UTILITY LOCATIONS AT LEAST 2 BUSINESS DAYS, NOT INCLUDING THE DAY OF ACTUAL NOTIFICATION, PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
- CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION DESIGNATED TO REMAIN FROM ANY DAMAGE DURING CONSTRUCTION OPERATIONS. ANY EXISTING MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE RESET AT THE CONTRACTORS OWN EXPENSE. THE CONTRACTOR AND ENGINEER SHALL NOTE THOSE MONUMENTS IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL EXCAVATION ACTIVITIES SHALL COMPLY WITH PERMIT REQUIREMENTS ISSUED FOR THE PROJECT. CONTRACTOR SHALL REVIEW AND BE RESPONSIBLE FOR PERMIT COMPLIANCE.
- SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (AASHTO T-99 - STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS.
- CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING H OR GRADING W.
- CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-180 - MODIFIED PROCTOR DENSITY).
- CONTRACTOR SHALL PROVIDE A MIX DESIGN FOR THE PLANT MIX PAVEMENT THAT HAS BEEN RECENTLY PREPARED BY A QUALIFIED INDEPENDENT TESTING LABORATORY. THE MIX DESIGN SHALL ESTABLISH THE OPTIMUM MIX PARAMETERS IN CONFORMANCE TO GUIDELINES ESTABLISHED BY THE ASPHALT INSTITUTE. THE MIX DESIGN SHALL DETERMINE THE OPTIMUM PERCENTAGE OF ASPHALT TO BE UTILIZED IN THE MIX AND THE MAXIMUM UNIT WEIGHT OF THE MIX AS DETERMINED BY THE MARSHALL METHOD. THE MIX DESIGN SHALL DESIGNATE THE JOB MIX FORMULA FOR BLENDING AGGREGATES TO CONFORM TO THE SPECIFIED TYPE AND GRADATION OF PLANT MIX BITUMINOUS PAVEMENT.
- WHERE IT IS REQUIRED TO CUT EXISTING PAVEMENT AND/OR EXISTING CURB, THE CUTTING SHALL BE DONE TO A NEAT WORK LINE WITH A SAWCUT OR OTHER METHOD AS APPROVED BY THE ENGINEER.
- WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS. REDUCE THE SPREAD OF NOXIOUS WEEDS AND INTRODUCTION OF OTHER INVASIVE SPECIES PRIOR TO CONSTRUCTION, DURING CONSTRUCTION, DURING REVEGETATION, AND AFTER CONSTRUCTION.
- FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.
- CONSTRUCTION SITE SHALL REMAIN CLEAN AND ALL TRASH AND CONSTRUCTION DEBRIS SHALL NOT ENTER INTO ADJACENT PROPERTIES.
- ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.
- A FOUR INCH MINIMUM LAYER OF TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING.
- CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 WITHOUT SPECIAL STABILIZATION AND APPROVAL FROM ENGINEER.

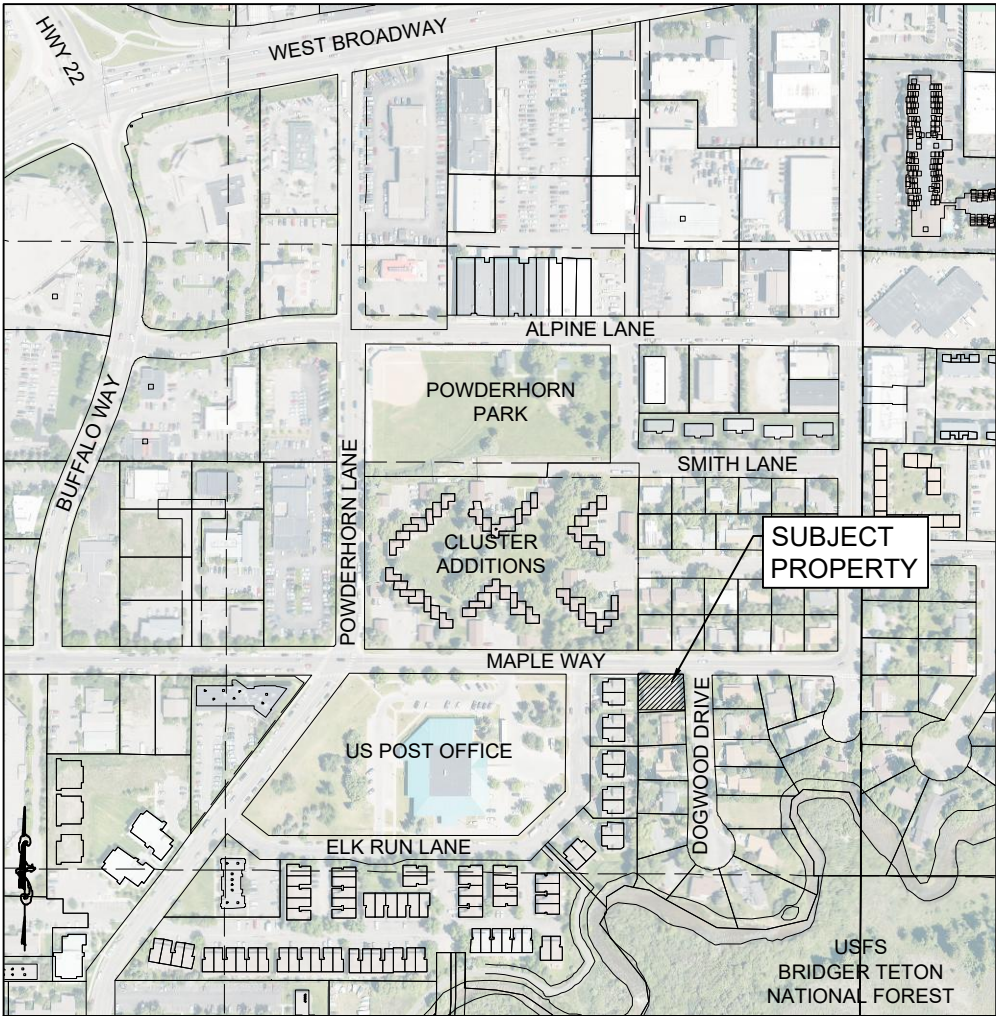
REVEGETATION SPECIFICATIONS:

(FOLLOW MITIGATION PLAN. FOLLOW THESE SPECIFICATIONS WHERE NOTHING IS SPECIFIED ON MITIGATION PLANS OR BY LANDSCAPE ARCHITECT.)

- SEED MIXTURE:

COMMON NAME	LBS./ACRE
MOUNTAIN BROME	10 LBS./ACRE
THICKSPIKE WHEATGRASS	12 LBS./ACRE
IDAHO FESCUE	6 LBS./ACRE
WESTERN WHEATGRASS	12 LBS./ACRE
ALPINE TIMOTHY	12 LBS./ACRE
TOTAL PURE LIVE SEED APPLICATION RATE	52 LBS./ACRE

- SEED MIXES CONTAINING NATIVE FLOWERING PLANTS SUCH AS LUPINE, YARROW AND PAINTBRUSH ARE ACCEPTABLE.
- ALL SEED SHALL COMPLY WITH WYOMING SEED LAW. SEED SHALL BE PURCHASED FROM A DEALER LICENSED WITH THE WYOMING DEPARTMENT OF AGRICULTURE. CERTIFICATIONS FOR THE SEED MIX SHALL BE PROVIDED TO THE ENGINEER PRIOR TO SEEDING.
- TOPSOIL SHALL BE UNIFORMLY SPREAD ON PREPARED SURFACES PRIOR TO SEEDING. REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS FROM THE PREPARED SOIL PRIOR TO SEEDING.
- HARD PACKED OR CAKED TOPSOIL SURFACES SHALL BE SCARIFIED OR DISKED PRIOR TO SEEDING.
- SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE SURFACE BY APPROVED MECHANICAL BROADCASTING DEVICES AND THE GROUND SHALL BE IMMEDIATELY RAKED OR DRAGGED TO COVER THE SEED.
- SEEDING SHALL BE PERFORMED BETWEEN THE TIME THE FROST LEAVES THE GROUND IN THE SPRING AND BEFORE THE FROST ENTERS THE GROUND IN THE FALL. REVEGETATION SHALL OCCUR UPON COMPLETION OF CONSTRUCTION.



VICINITY MAP

1" = 400' for 11x17 Prints

OWNER

Thomas & Trista Deming
960 Maple Way
Jackson, WY 83002
(307) 413-2526

ARCHITECT

Merrell Design Works
P.O. Box 3714
2045 South Park Ranch Road
Jackson, WY 83001
(307) 413-0042

ENGINEER

Jorgensen Associates, Inc.
1315 S. Highway 89, #201
P.O. Box 9550
Jackson, WY 83002-9550
(307) 733-5150



SHEET INDEX

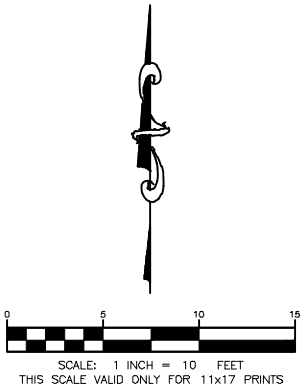
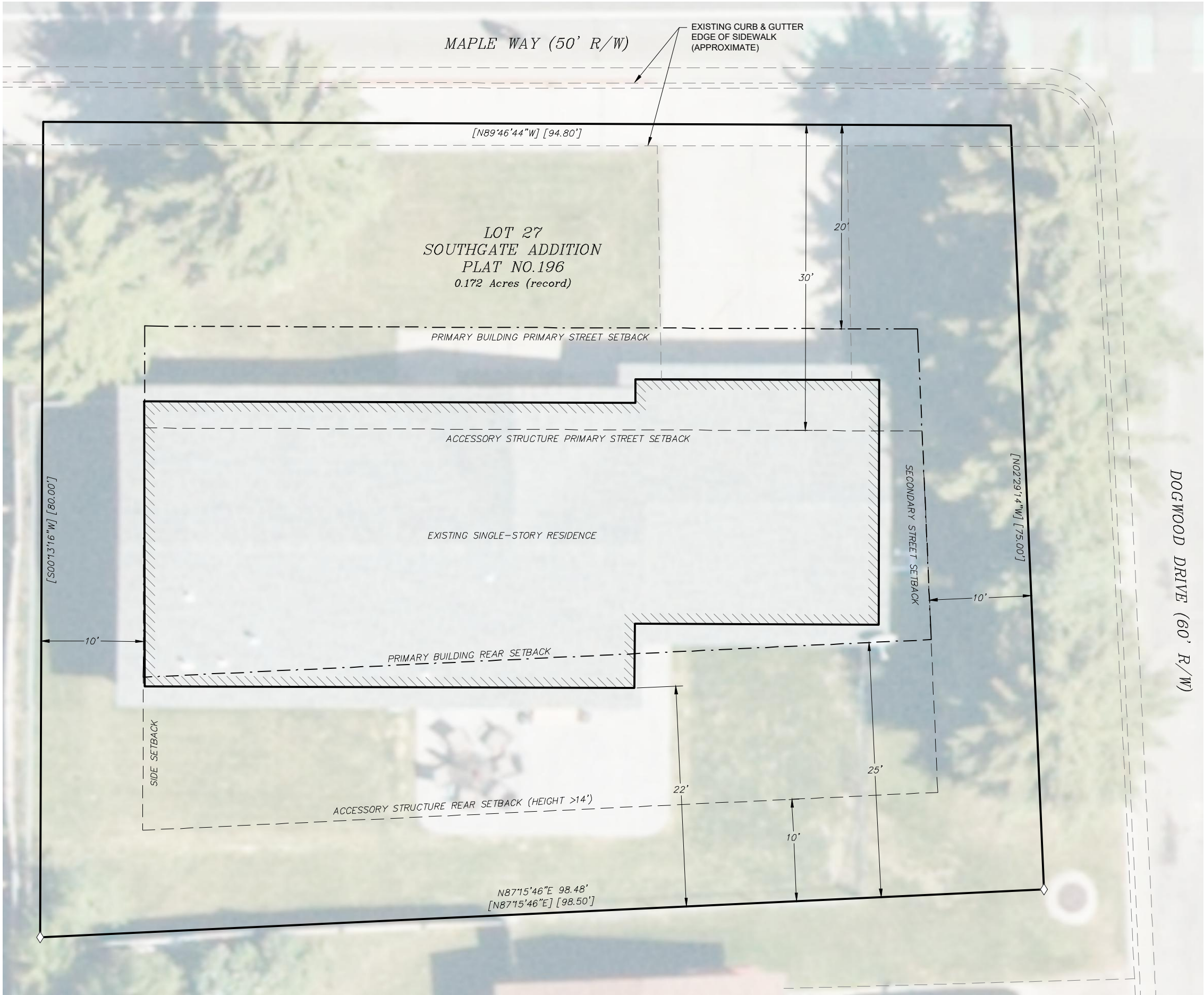
C1.1	TITLE, NOTES, VICINITY MAP, INDEX
C2.1	EXISTING CONDITIONS
C3.1	CIVIL SITE PLAN
C4.1	CIVIL DETAILS

PROJECT TITLE:
DEMING RESIDENCE
960 MAPLE WAY
LOT 27 SOUTHGATE ADDITION
JACKSON, WYOMING

SHEET TITLE:
TITLE, NOTES, VICINITY MAP, INDEX

DRAFTED BY:	KB
REVIEWED BY:	AJ
PLAN VERSION	DATE
TOJ B23-0319	10/13/2023
PROJECT NUMBER	22173
SHEET	C1.1

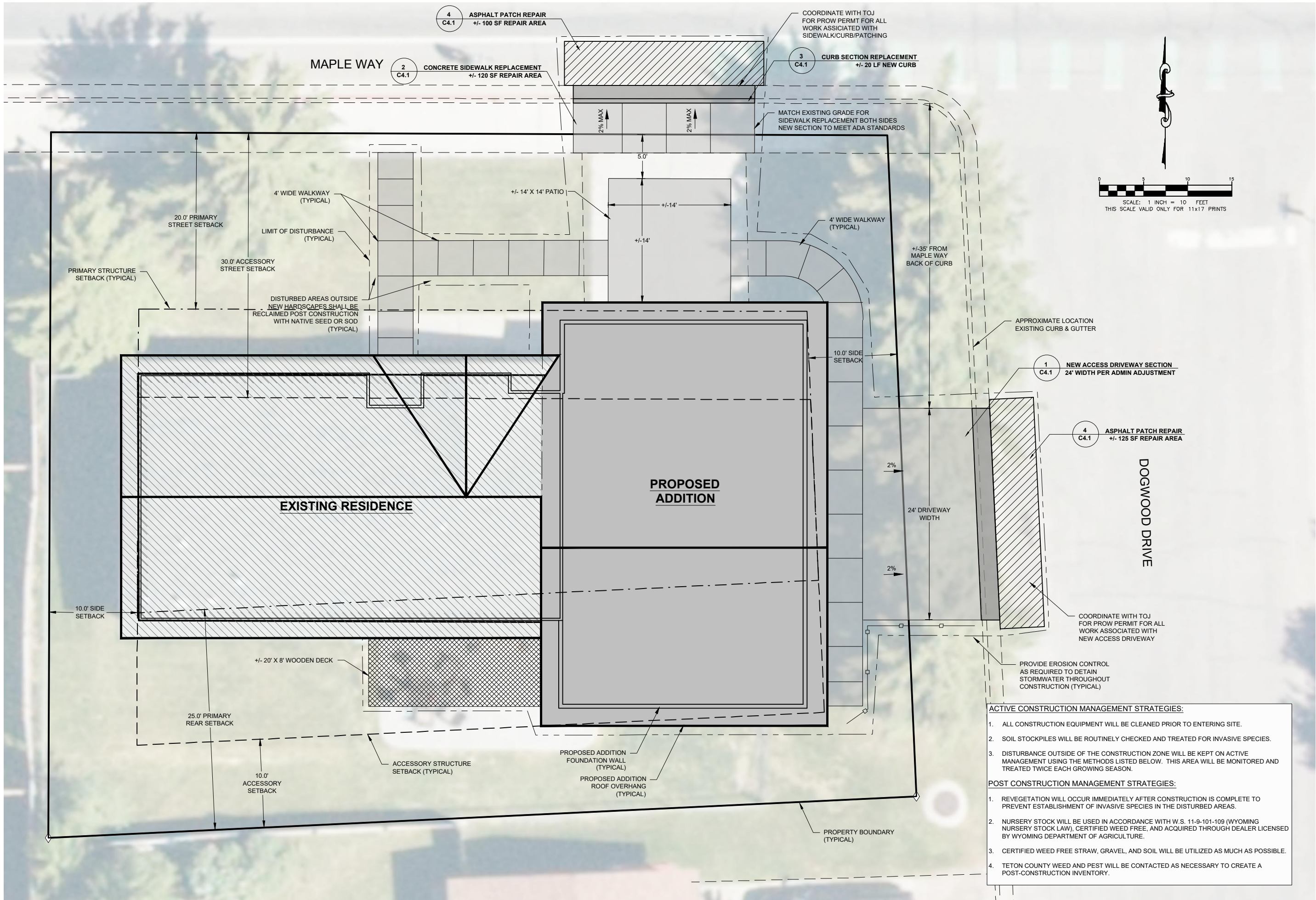


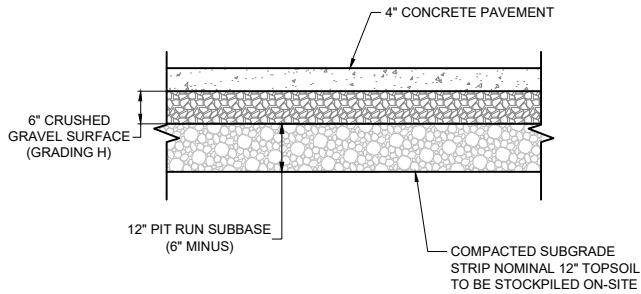


LEGEND	
	T-STAKE WITHOUT CAP
	SUBJECT PROPERTY BOUNDARY
	PRIMARY BUILDING SETBACK
	ACCESSORY STRUCTURE SETBACK
	EXISTING STRUCTURE
	MEASURED BEARING & DISTANCE
	RECORD BEARING & DISTANCE PER PLAT 196

SURVEY NOTES:

- THIS SURVEY WAS CONDUCTED IN AUGUST 2022 AND PREPARED UNDER THE DIRECTION OF MATTHEW GOTHAM, WYOMING PLS 13002.
- BUILDING SETBACKS ARE BASED ON TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS FOR THE NL-3 ZONE, SECTION 2.2.4.
- REFER TO PLAT 196 FOR RECORD EASEMENTS WITHIN THE PROPERTY. OTHER EASEMENTS OR ENCUMBRANCES MAY EXIST ON THE SUBJECT PROPERTY. A THOROUGH SEARCH OF PUBLIC RECORDS WAS NOT CONDUCTED.
- ONLY MONUMENTS PERTINENT TO THE SUBJECT PROPERTY ARE DEPICTED. RECORD DIMENSIONS SHOWN ARE FROM PLAT 196. THE NORTHEAST AND NORTHWEST LOT CORNERS WERE NOT FOUND AND A FULL BOUNDARY SURVEY HAS NOT BEEN CONDUCTED.
- RECORD DIMENSIONS SHOWN ARE FROM PLAT 196.
- LOCATIONS OF EXISTING UTILITIES ARE NOT SHOWN ON THIS MAP. CONTRACTOR SHALL VERIFY LOCATION OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY.

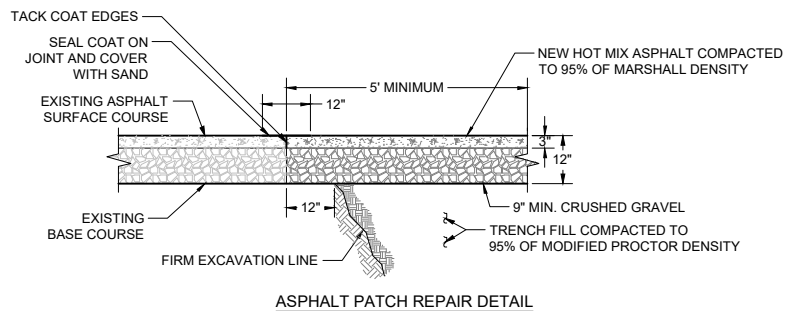




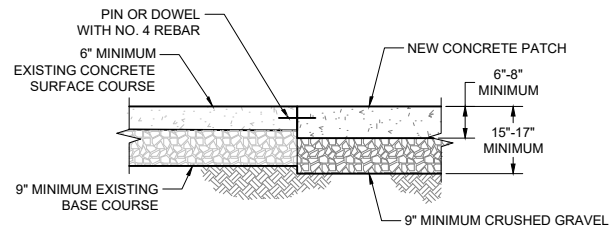
NOTES:

- CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER.
- MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACE WITH STRUCTURAL MATERL TO SUBGRADE ELEVATION.
- WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRED. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

1 TYPICAL DRIVEWAY SECTION
C4.1 NOT TO SCALE



ASPHALT PATCH REPAIR DETAIL

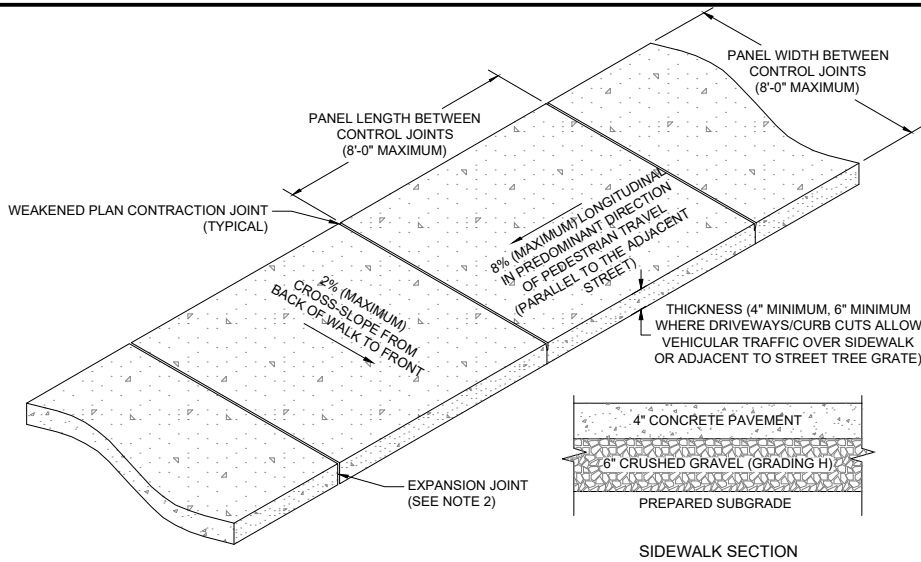


CONCRETE PATCH REPAIR DETAIL

NOTES:

- REPLACEMENT ASPHALT SHALL BE 1" THICKER THAN EXISTING WITH A MINIMUM THICKNESS OF 3".
- ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THEN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
- BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIAL OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN OF JACKSON PUBLIC WORKS DEPARTMENT.

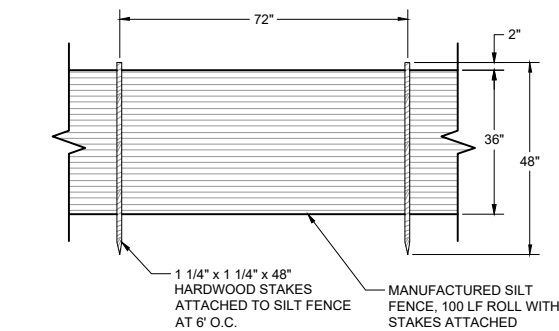
4 CONCRETE AND ASPHALT PATCH DETAIL
C4.1 NOT TO SCALE TOJ ST-118



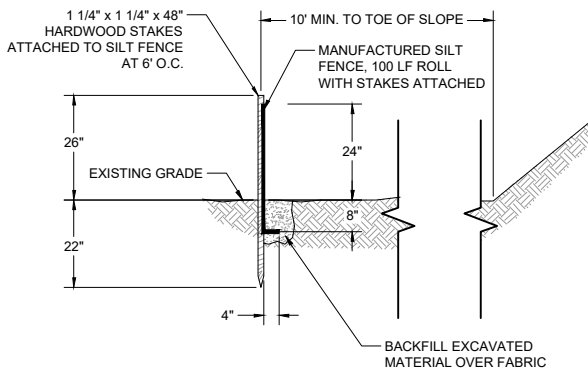
NOTES:

- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
- EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
- FOR SIDEWALKS GREATER THAN EIGHT FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
- REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
- AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03 GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
- CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER
- MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACED WITH STRUCTURAL MATERIAL TO SUBGRADE ELEVATION.
- WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRES. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

2 TYPICAL CONCRETE SIDEWALK DETAIL
C4.1 NOT TO SCALE TOJ ST-127

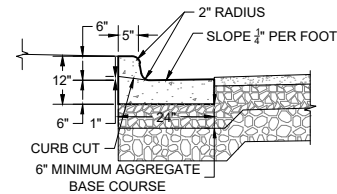


FRONT VIEW

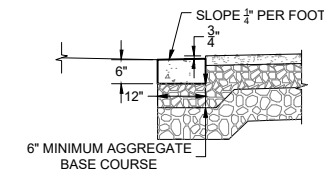


SIDE VIEW

5 MANUFACTURED SILT FENCE DETAIL
C4.1 NOT TO SCALE



VERTICAL CURB

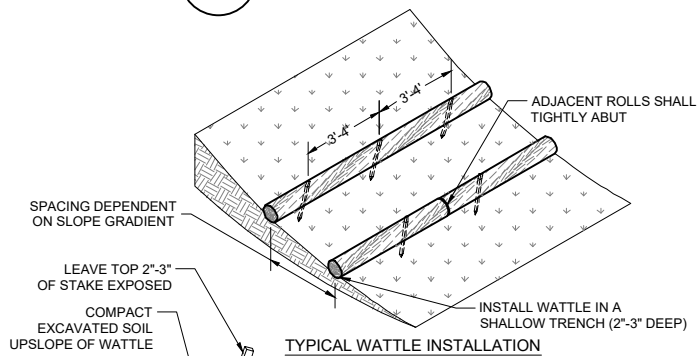


RIBBON CURB

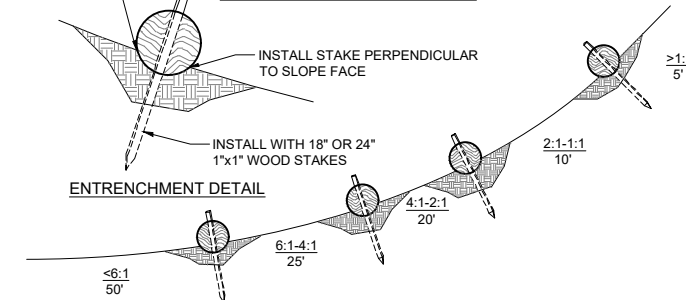
NOTES:

- CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
- AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
- REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
- ROLL CURB SHALL NOT BE ALLOWED.

3 CURB SECTION DETAIL
C4.1 NOT TO SCALE TOJ ST-110



TYPICAL WATTLE INSTALLATION



ENTRENCHMENT DETAIL

TYPICAL WATTLE SPACING BASE ON SLOPE GRADIENT

NOTES:

- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHALL BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4" AND WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2'-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHALL BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.
- EROSION CONTROL PLAN AND LOCATION OF STRAW WATTLES SHALL BE APPROVED BY THE TOWN OF JACKSON PUBLIC WORKS DEPARTMENT.

6 TYPICAL STRAW WATTLE DETAIL
C4.1 NOT TO SCALE TOJ STM-107