



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Joint Housing Dept

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: November 10, 2023	<b>REQUESTS:</b>
Item #: P23-196	The applicant is requesting an Administrative Adjustment to allow a driveway and curb cut that is wider than the 20' maximum at the property located at 960 Maple Way and legally known as Lot 27, Southgate Addition PIDN: 22-41-16-32-4-09-004
Planner: Tyler Valentine	For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.
Phone: 733-0440 ext. 1305	
Email: <a href="mailto:tvalentine@jacksonwy.gov">tvalentine@jacksonwy.gov</a>	
<b>Owner</b>	
Thomas & Trista Deming PO Box 9765 Jackson, WY 83002	
<b>Please respond by: December 1st (with Comments)</b>	

**Owner**

Thomas & Trista Deming  
PO Box 9765  
Jackson, WY 83002

The applicant is requesting an Administrative Adjustment to allow a driveway and curb cut that is wider than the 20' maximum at the property located at 960 Maple Way and legally known as Lot 27, Southgate Addition PIDN: 22-41-16-32-4-09-004

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

**RESPONSE:** For Departments not using SmartGov, please send responses via email to: [planning@jacksonwy.gov](mailto:planning@jacksonwy.gov)



**PLANNING PERMIT APPLICATION**  
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

***For Office Use Only***

Fees Paid \_\_\_\_\_

Date & Time Received \_\_\_\_\_

Application #s \_\_\_\_\_

***Please note: Applications received after 3 PM will be processed the next business day.***

**PROJECT.**

Name/Description: Deming Residence  
Physical Address: 960 Maple Way  
Lot, Subdivision: Lot 27, Southgate Addition PIDN: 22-41-16-32-4-09-004

**PROPERTY OWNER.**

Name: Thomas & Trista Deming Phone: 307-413-2526  
Mailing Address: PO Box 9765 ZIP: 83002  
E-mail: tom@fcexcavation.com

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

Property Owner  Applicant/Agent

**TYPE OF APPLICATION.** *Please check all that apply; review the type of application at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning)*

<b>Use Permit</b>	<b>Physical Development</b>	<b>Interpretations</b>
<input type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input type="checkbox"/> Design Review	<b>Amendments to the LDRs</b>
<b>Relief from the LDRs</b>	<b>Subdivision/Development Option</b>	<input type="checkbox"/> LDR Text Amendment
<input checked="" type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	<b>Miscellaneous</b>
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis

**PRE-SUBMITTAL STEPS.** To see if pre-submittal steps apply to you, go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: \_\_\_\_\_ Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for submittal requirements.

Have you attached the following?

**Application Fee.** Fees are cumulative. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for the fees.

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

**Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) under the relevant application type.

For safety reasons we are proposing to remove the driveway from Maple Way and relocate to Dogwood Drive. In doing so, we would be willing to forfeit our right to a secondary driveway in exchange for a 24' wide curb cut. Attached to this application we have provided an updated sketch plan of the new driveway and dimensions, along with the removal and reclamation of the existing driveway on Maple Way. Thank you for your consideration.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

10/19/2023

Signature of Property Owner or Authorized Applicant/Agent  
Tom Deming

Date  
Owner

Name Printed

Title

Nov 9th, 2023

Planning  
Department  
Town of Jackson  
P.O. Box 1687  
Jackson, WY 83001

**PROJECT: 960 Maple Way**

Dear Planning Department,

Please accept this application for Administrative Adjustment for the property 960 Maple Way  
Jackson WY, 83002

Application is to request additional driveway width and curb cut to offset limited size of proposed driveway relocated from Maple Way to Dogwood Dr. We currently have a building permit under review that represents this plan and clearly shows the site limitations we are working with to get functional access to our proposed garage from Dogwood Dr. Our reason for the relocation is to increase the safety and reduce the likeliness of conflict with traffic while leaving and entering the property. With approval of this request, we would forfeit our right to a secondary driveway and curb cut.

We are looking forward to your review and seek your approval.

Sincerely,

Tom Deming  
307-413-2526

## RESPONSES TO FINDING

### C. Findings

An administrative adjustment shall be approved upon finding the application:

1. Complies with the applicability standards of this Section;

**Response:**

**Application is to request additional width of curb cut on Dogwood Dr and forfeit curb cut on Maple Way.**

2. Either:

- a. Compensates for some unusual constraint of the site or proposal that is not shared by landowners generally, or
- b. Better protects natural, scenic, or historic resources, or
- c. Better supports the purpose of the zone;

**Response:**

**Due to the corner lot setbacks and my proposed garage addition, I am limited to a 20' driveway depth. I am asking for additional width of 4' resulting in a 24' curb cut to help with off street parking.**

3. Is consistent with the purpose of the zone and the desired future character for the area described in the Comprehensive Plan;

**Response:**

**By removing the drive on Maple Way, I feel a 24' curb cut on Dogwood is consistent with the character of the area. Any future reconstruction of Maple Way will benefit from the removal of this exiting curb cut.**

4. Will not pose a danger to the public health or safety.

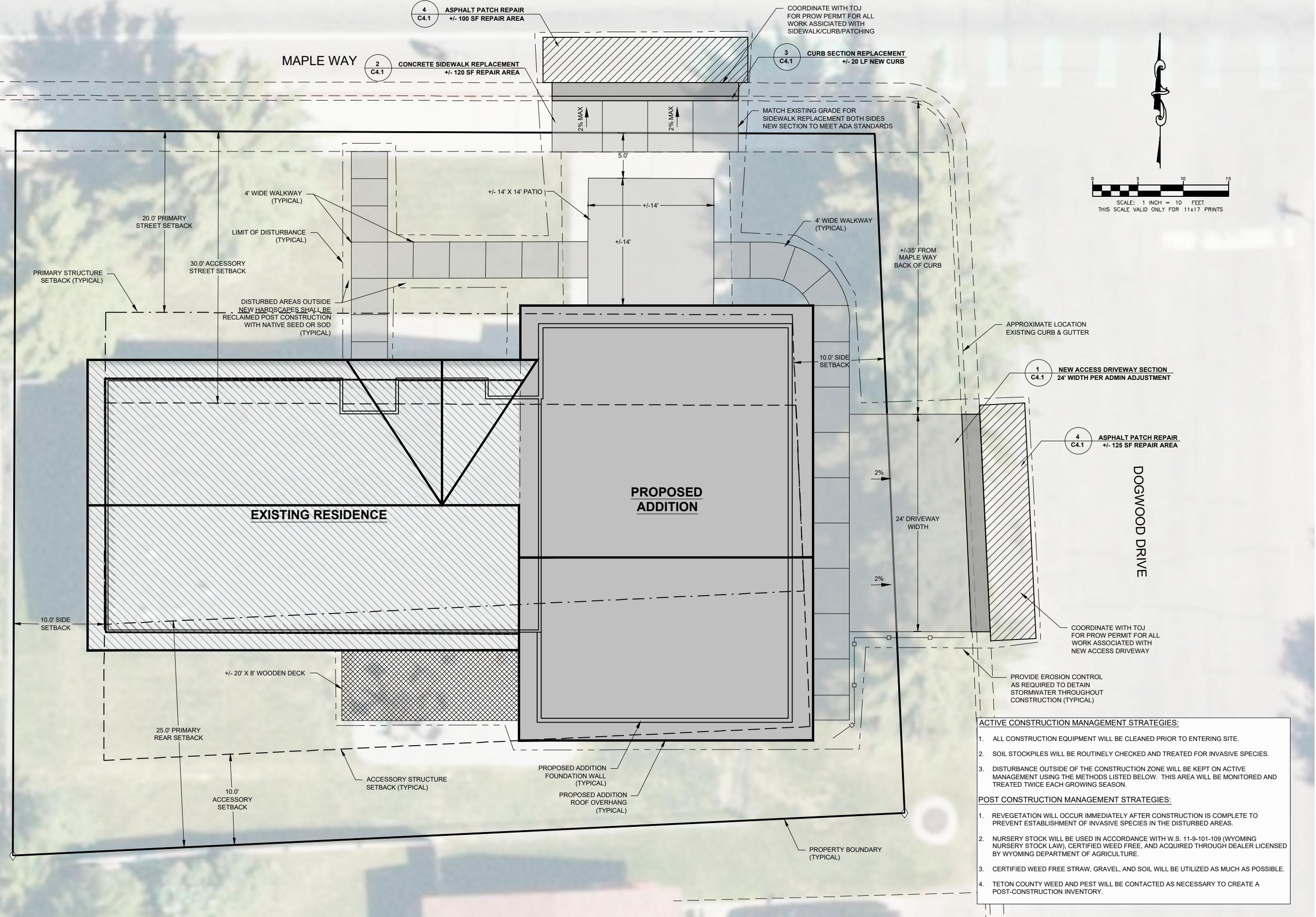
**Response:**

**By granting my request for the additional curb cut width on Dogwood I can remove the existing driveway and curb cut on Maple Way resulting in significantly safer pedestrian and vehicular travel along Maple Way.**

5. The site is not subject to a series of incremental administrative adjustments that circumvent the purpose of this Section.

**Response:**

**The site does not require any further administrative adjustments with the improvements we have proposed.**



PROJECT TITLE:  
DEMING RESIDENCE  
960 MAPLE WAY  
LOT 27 SOUTHGATE ADDITION  
JACKSON, WYOMING

SHEET TITLE:  
CIVIL SITE PLAN

DRAFTED BY:	KB
REVIEWED BY:	AJ
PLAN VERSION	DATE
TOJ B23-0319	10/13/2023
PROJECT NUMBER	22173
SHEET	C3.1

# DEMING RESIDENCE

## CIVIL IMPROVEMENTS

### 960 MAPLE WAY LOT 27, SOUTHGATE ADDITION

PIDN: 22-41-16-32-4-09-004

LOCATED WITHIN  
NE1/4 SE1/4, SECTION 32,  
T41N, R116W, 6TH P.M.  
TOWN OF JACKSON  
TETON COUNTY, WYOMING

#### GENERAL PROJECT NOTES:

- PROJECT SCOPE: SITE INFRASTRUCTURE FOR RESIDENTIAL ADDITION
- PROJECT SCHEDULE: BEGIN IN FALL 2023 AND END IN SPRING 2024.
- PROPERTY IS ZONED NL-3 IN THE TOWN OF JACKSON.
- PROPERTY AREA: 0.17 ACRES
- THE PROPERTY IS NOT LOCATED WITHIN THE WILD LAND URBAN INTERFACE, NATIONAL WILD AND SCENIC RIVER CORRIDOR, NATURAL RESOURCES OVERLAY, OR THE SCENIC RESOURCES OVERLAY.
- VERBAL NOTICE OF ANY CHANGES OR MODIFICATIONS THAT ARE NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE BUILDING PERMIT SHALL BE GIVEN TO THE TOWN ENGINEERING DEPARTMENT AT 307 733-3079. THE TOWN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL WRITTEN NOTICE OR INFORMATION BE SUBMITTED THROUGH THE TOWN'S BUILDING DEPARTMENT AND ADDITIONAL REVIEW FEES MAY APPLY.
- PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE APPLICANT SHALL CONTACT THE TOWN OF JACKSON ENGINEERING DEPARTMENT AND SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO MEET WITH THE ENGINEERING DEPARTMENT PRIOR TO START OF CONSTRUCTION ACTIVITIES WILL RESULT IN STOPPAGE OF WORK ON SITE. THE TOWN ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- THE DESIGN ENGINEER OF RECORD FOR ALL INFRASTRUCTURE AND GRADING SHALL INSPECT AND PROVIDE WRITTEN APPROVAL OF CONSTRUCTION PRIOR TO CERTIFICATE OF OCCUPANCY. THE TOWN ENGINEERING DEPARTMENT SHALL BE NOTIFIED TO ALLOW FOR WITNESSING OF ANY TESTING. FIELD REPORTS REGARDING THE INSTALLATIONS SHALL BE KEPT AND MAY BE REQUIRED BY THE TOWN ENGINEERING DEPARTMENT.

#### GENERAL CONSTRUCTION NOTES & SPECIFICATIONS:

- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS. ANY CONSTRUCTION RELATED ACTIVITIES NOT IN CONFORMANCE WITH APPROVED AND PERMITTED PLANS AND/OR SEQUENCING MAY RESULT IN TERMINATION OF WORK.
- THE APPROVED EROSION CONTROL PLAN SHALL BE LOCATED ON SITE. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAIN AND AT LEAST ONCE EACH WEEK. EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGEWAYS AS A RESULT OF LAND DEVELOPING OR DISTURBING ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.
- THE TOWN ENGINEER SHALL BE ALLOWED TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
- COPIES OF ALL AGREEMENTS AND/OR EASEMENTS SHALL BE PROVIDED TO THE TOWN OF JACKSON PRIOR TO GRADING ON ADJACENT PROPERTIES FOR TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITIES.
- CONSTRUCTION WORK HOURS SHALL BE CONSISTENT WITH CURRENT TOWN OF JACKSON POLICIES.
- CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DISTURBANCE OF PRIVATE PROPERTY BY HIS OPERATIONS. CONTRACTOR SHALL NOTIFY OWNER, OCCUPANT, AND ENGINEER PRIOR TO CONDUCTING ANY OPERATION THAT REQUIRES THE REMOVAL, REPLACEMENT, OR DAMAGE TO PRIVATE PROPERTY.
- ALL PUBLIC STREETS SHALL BE MAINTAINED CLEAR OF DEBRIS DURING CONSTRUCTION. SHOULD DEBRIS BE TRACKED ONTO PUBLIC STREETS FROM THE CONSTRUCTION SITE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE AFFECTED STREETS.
- CONSTRUCTION SITE DELINEATION FENCING SHALL BE PROVIDED AS NEEDED TO PROTECT THE PUBLIC FROM HAZARDS DURING CONSTRUCTION. THE FENCE SHALL REMAIN IN PLACE AND INTACT FOR AS LONG AS NECESSARY TO PROTECT THE PUBLIC.
- APPROVED SEDIMENTATION CONTROLS AND SILT RETENTION SHALL BE PLACED AND PROVIDED DURING CONSTRUCTION AS NEEDED TO PREVENT OFFSITE STORM FLOW AS IDENTIFIED IN THE APPROVED GRADING AND EROSION CONTROL PLAN. THE TOWN ENGINEER SHALL BE NOTIFIED UPON COMPLETION OF EROSION CONTROL MEASURES WITHIN 2 CALENDAR DAYS AFTER INSTALLATION.
- IF NECESSARY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY WYDPS STORMWATER PERMIT AND / OR CONSTRUCTION Dewatering PERMIT PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA. CONTACT ENGINEER TO LOCATE EXISTING WATER LINES, SEWER LINES.
- CONTRACTOR SHALL NOT INTERRUPT UTILITIES PROVIDING SERVICES TO PROPERTIES ADJACENT TO THE WORK, EXCEPT AS SPECIFICALLY APPROVED BY THE AUTHORITY HAVING JURISDICTION. SERVICES DAMAGED OR INTERRUPTED BY CONTRACTOR'S OPERATION SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. WHEN INTERRUPTION OF SERVICE IS APPROVED, CONTRACTOR SHALL NOTIFY OCCUPANT 24 HOURS PRIOR TO THE INTERRUPTION.

- THE CONTRACTOR WILL CALL THE UTILITY NOTIFICATION ONE CALL OF WYOMING, AT 1-800-844-2476, OR 811, FOR UTILITY LOCATIONS AT LEAST 2 BUSINESS DAYS, NOT INCLUDING THE DAY OF ACTUAL NOTIFICATION, PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
- CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION DESIGNATED TO REMAIN FROM ANY DAMAGE DURING CONSTRUCTION OPERATIONS. ANY EXISTING MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE RESET AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR AND ENGINEER SHALL NOTE THOSE MONUMENTS IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL EXCAVATION ACTIVITIES SHALL COMPLY WITH PERMIT REQUIREMENTS ISSUED FOR THE PROJECT. CONTRACTOR SHALL REVIEW AND BE RESPONSIBLE FOR PERMIT COMPLIANCE.
- SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPAKTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (AASHTO T-99 - STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS.
- CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING H OR GRADING W.
- CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPAKTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-180 - MODIFIED PROCTOR DENSITY).
- CONTRACTOR SHALL PROVIDE A MIX DESIGN FOR THE PLANT MIX PAVEMENT THAT HAS BEEN RECENTLY PREPARED BY A QUALIFIED INDEPENDENT TESTING LABORATORY. THE MIX DESIGN SHALL ESTABLISH THE OPTIMUM MIX PARAMETERS IN CONFORMANCE TO GUIDELINES ESTABLISHED BY THE ASPHALT INSTITUTE. THE MIX DESIGN SHALL DETERMINE THE OPTIMUM PERCENTAGE OF ASPHALT TO BE UTILIZED IN THE MIX AND THE MAXIMUM UNIT WEIGHT OF THE MIX AS DETERMINED BY THE MARSHALL METHOD. THE MIX DESIGN SHALL DESIGNATE THE JOB MIX FORMULA FOR BLENDING AGGREGATES TO CONFORM TO THE SPECIFIED TYPE AND GRADATION OF PLANT MIX BITUMINOUS PAVEMENT.
- WHERE IT IS REQUIRED TO CUT EXISTING PAVEMENT AND/OR EXISTING CURB, THE CUTTING SHALL BE DONE TO A NEAT WORK LINE WITH A SAWCUT OR OTHER METHOD AS APPROVED BY THE ENGINEER.
- WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS. REDUCE THE SPREAD OF NOXIOUS WEEDS AND INTRODUCTION OF OTHER INVASIVE SPECIES PRIOR TO CONSTRUCTION, DURING CONSTRUCTION, DURING REVEGETATION, AND AFTER CONSTRUCTION.
- FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.
- CONSTRUCTION SITE SHALL REMAIN CLEAN AND ALL TRASH AND CONSTRUCTION DEBRIS SHALL NOT ENTER INTO ADJACENT PROPERTIES.
- ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.
- A FOUR INCH MINIMUM LAYER OF TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING.
- CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 WITHOUT SPECIAL STABILIZATION AND APPROVAL FROM ENGINEER.

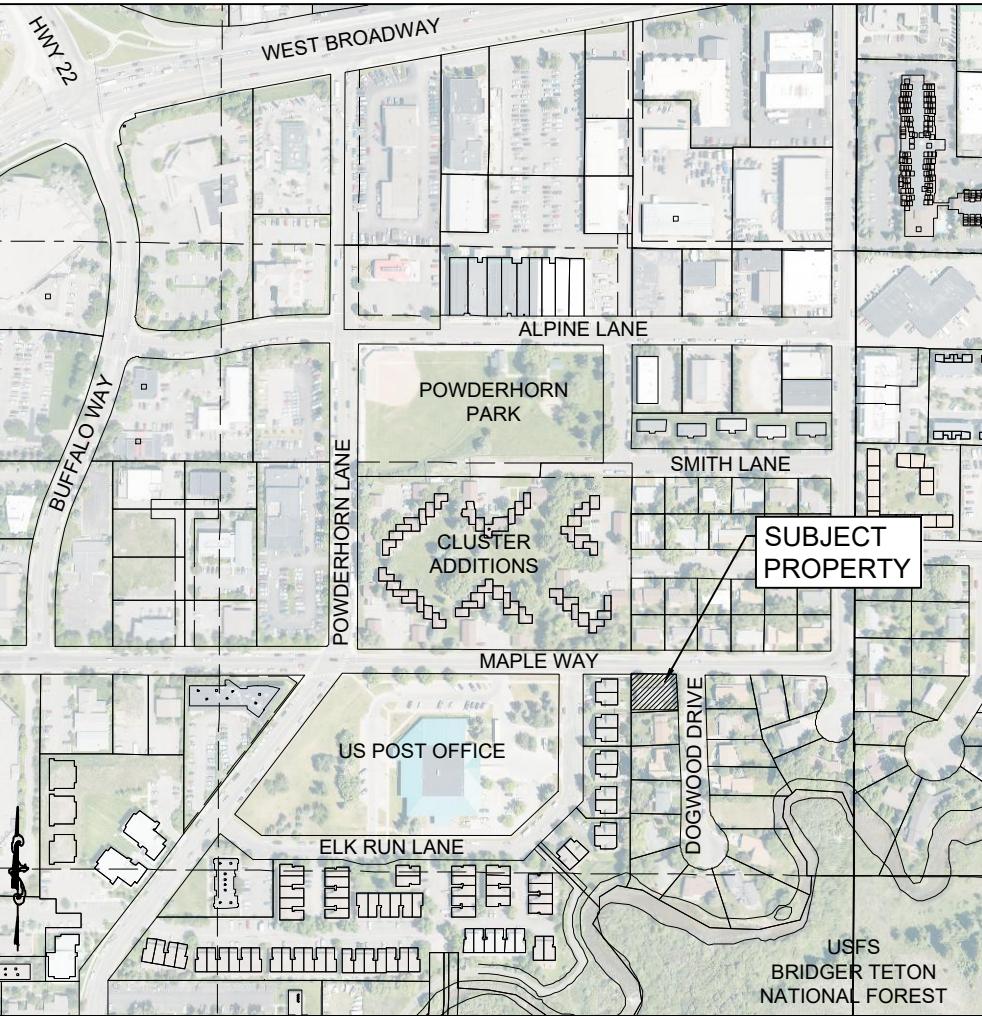
#### REVEGETATION SPECIFICATIONS:

(FOLLOW MITIGATION PLAN. FOLLOW THESE SPECIFICATIONS WHERE NOTHING IS SPECIFIED ON MITIGATION PLANS OR BY LANDSCAPE ARCHITECT.)

- SEED MIXTURE:

COMMON NAME	LBS./ACRE
MOUNTAIN BROME	10 LBS./ACRE
THICKSPIKE WHEATGRASS	12 LBS./ACRE
IDAHO FESCUE	6 LBS./ACRE
WESTERN WHEATGRASS	12 LBS./ACRE
ALPINE TIMOTHY	12 LBS./ACRE

TOTAL PURE LIVE SEED APPLICATION RATE 52 LBS./ACRE
- SEED MIXES CONTAINING NATIVE FLOWERING PLANTS SUCH AS LUPINE, YARROW AND PAINTBRUSH ARE ACCEPTABLE.
- ALL SEED SHALL COMPLY WITH WYOMING SEED LAW. SEED SHALL BE PURCHASED FROM A DEALER LICENSED WITH THE WYOMING DEPARTMENT OF AGRICULTURE. CERTIFICATIONS FOR THE SEED MIX SHALL BE PROVIDED TO THE ENGINEER PRIOR TO SEEDING.
- TOPSOIL SHALL BE UNIFORMLY SPREAD ON PREPARED SURFACES PRIOR TO SEEDING. REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS FROM THE PREPARED SOIL PRIOR TO SEEDING.
- HARD PACKED OR CAKED TOPSOIL SURFACES SHALL BE SCARIFIED OR DISKED PRIOR TO SEEDING.
- SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE SURFACE BY APPROVED MECHANICAL BROADCASTING DEVICES AND THE GROUND SHALL BE IMMEDIATELY RAKED OR DRAGGED TO COVER THE SEED.
- SEEDING SHALL BE PERFORMED BETWEEN THE TIME THE FROST LEAVES THE GROUND IN THE SPRING AND BEFORE THE FROST ENTERS THE GROUND IN THE FALL. REVEGETATION SHALL OCCUR UPON COMPLETION OF CONSTRUCTION.



VICINITY MAP  
1" = 400' for 11x17 Prints



OWNER  
Thomas & Trista Deming  
960 Maple Way  
Jackson, WY 83002  
(307) 413-2526

ARCHITECT  
Merrell Design Works  
P.O. Box 3714  
2045 South Park Ranch Road  
Jackson, WY 83001  
(307) 413-0042

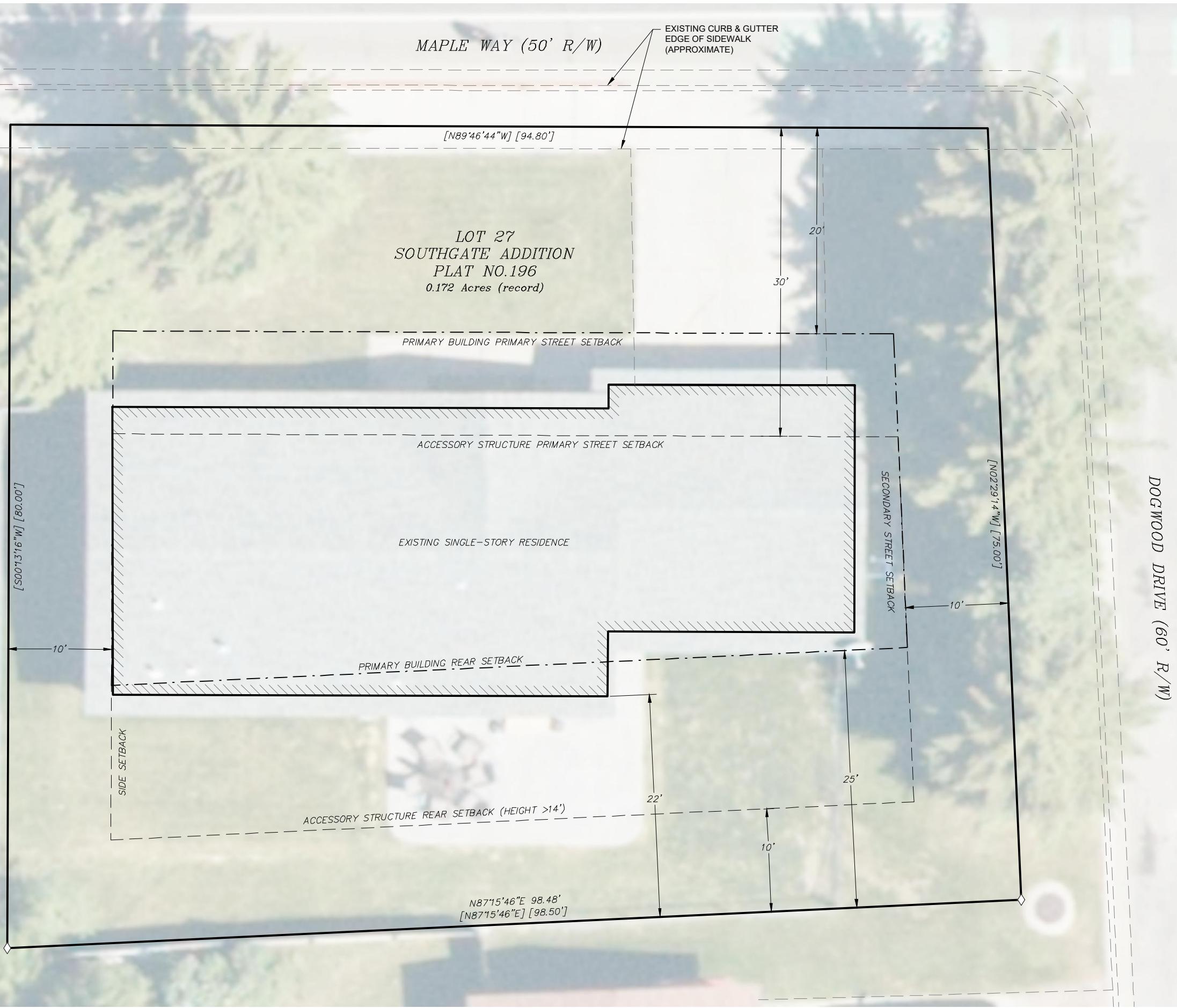
ENGINEER  
Jorgensen Associates, Inc.  
1315 S. Highway 89, #201  
P.O. Box 9550  
Jackson, WY 83002-9550  
(307) 733-5150

SHEET TITLE: TITLE, NOTES, VICINITY MAP, INDEX

DRAFTED BY:	KB
REVIEWED BY:	AJ
PLAN VERSION	DATE
TOJ B23-0319	10/13/2023
PROJECT NUMBER 22173	
SHEET C.1	

SHEET INDEX	
C1.1	TITLE, NOTES, VICINITY MAP, INDEX
C2.1	EXISTING CONDITIONS
C3.1	CIVIL SITE PLAN
C4.1	CIVIL DETAILS

PROJECT TITLE: DEMING RESIDENCE  
960 MAPLE WAY  
LOT 27, SOUTHGATE ADDITION  
JACKSON, WYOMING



0 5 10 15

SCALE: 1 INCH = 10 FEET  
THIS SCALE VALID ONLY FOR 11x17 PRINTS



#### LEGEND

- ◊ T-STAKE WITHOUT CAP
- SUBJECT PROPERTY BOUNDARY
- - - PRIMARY BUILDING SETBACK
- - - ACCESSORY STRUCTURE SETBACK
- / / / EXISTING STRUCTURE
- N87°15'46"E 98.48' MEASURED BEARING & DISTANCE
- [N87°15'46"E] [98.50'] RECORD BEARING & DISTANCE PER PLAT 196

#### SHEET TITLE: EXISTING CONDITIONS

DRAFTED BY:	KB
REVIEWED BY:	AJ
PLAN VERSION	DATE
TOJ B23-0319	10/13/2023

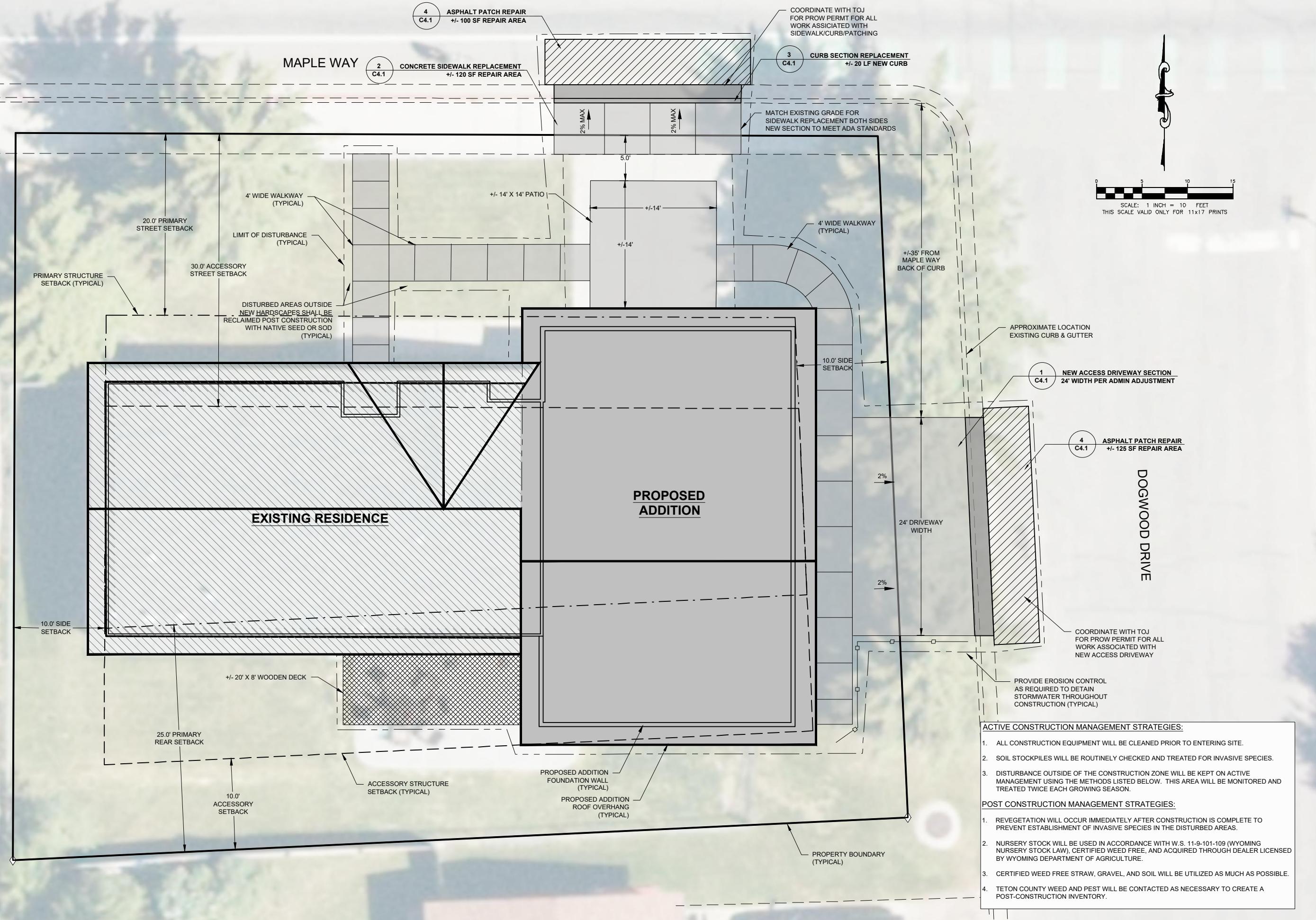
PROJECT NUMBER  
22173

SHEET  
C2.1

PROJECT TITLE:  
960 MAPLE WAY  
LOT 27 SOUTHGATE ADDITION  
JACKSON, WYOMING

11x17

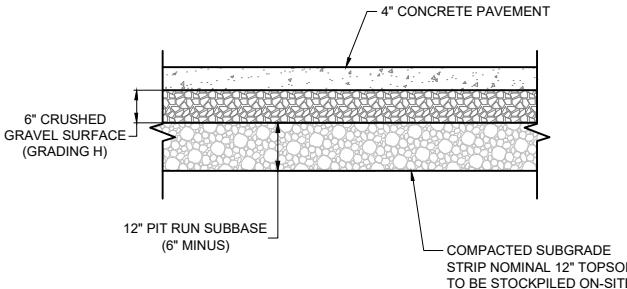
PRINTS



PROJECT TITLE:  
DEMING RESIDENCE  
960 MAPLE WAY  
LOT 27 SOUTHGATE ADDITION  
JACKSON, WYOMING

SHEET TITLE:  
CIVIL SITE PLAN

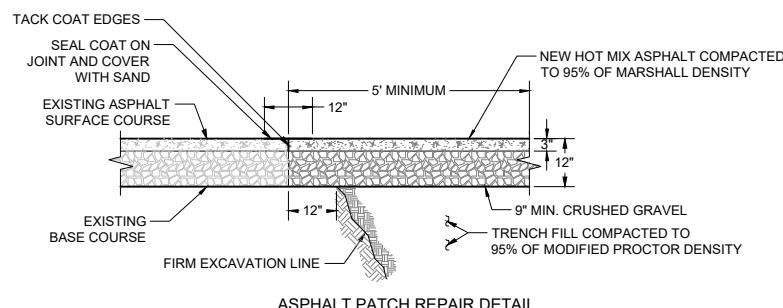
DRAFTED BY:	KB
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TOJ B23-0319	10/13/2023
PROJECT NUMBER	22173
SHEET	C3.1



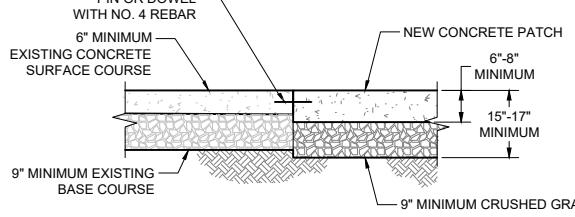
## NOTES:

- CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER.
- MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACE WITH STRUCTURAL MATERL TO SUBGRADE ELEVATION.
- WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRED. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

## 1 TYPICAL DRIVEWAY SECTION



ASPHALT PATCH REPAIR DETAIL



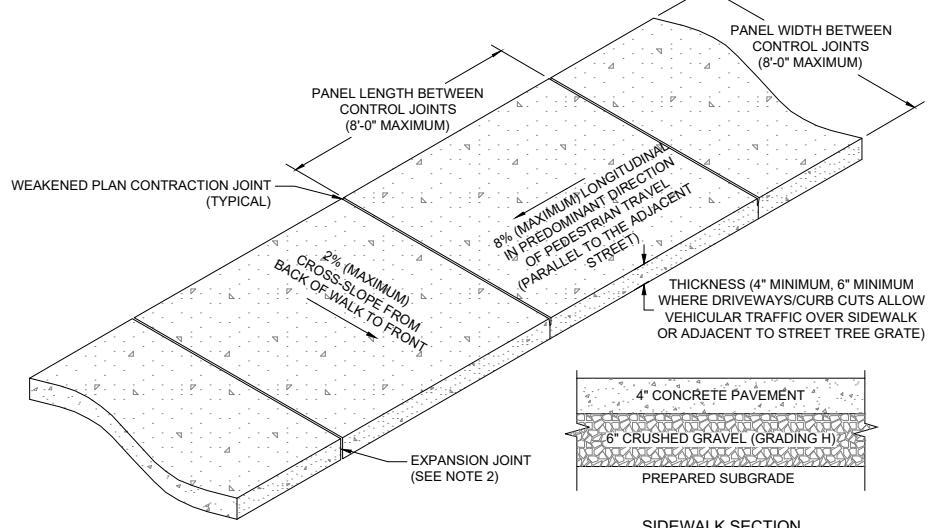
CONCRETE PATCH REPAIR DETAIL

## NOTES:

- REPLACEMENT ASPHALT SHALL BE 1" THICKER THAN EXISTING WITH A MINIMUM THICKNESS OF 3".
- ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THEN  $\frac{1}{2}$ " IN THICKNESS, AND COMPAKTED TO 95% OF MARSHALL DENSITY.
- BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIAL OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN OF JACKSON PUBLIC WORKS DEPARTMENT.

## 4 CONCRETE AND ASPHALT PATCH DETAIL

TOJ ST-118

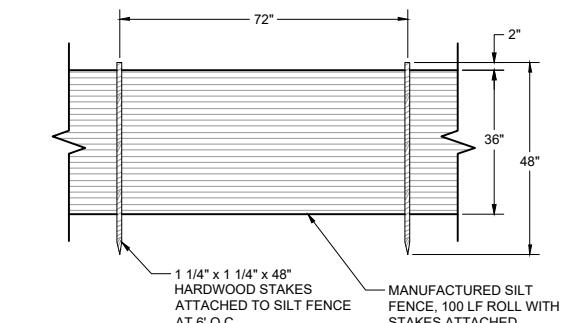


## NOTES:

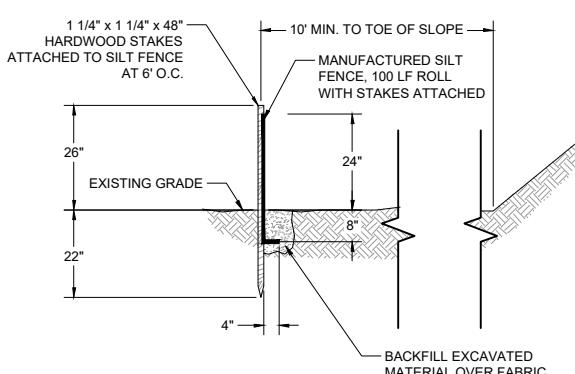
- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
- EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
- FOR SIDEWALKS GREATER THAN EIGHT FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
- REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
- AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03 GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
- CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER
- MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACED WITH STRUCTURAL MATERIAL TO SUBGRADE ELEVATION.
- WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRED. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

## 2 TYPICAL CONCRETE SIDEWALK DETAIL

TOJ ST-127



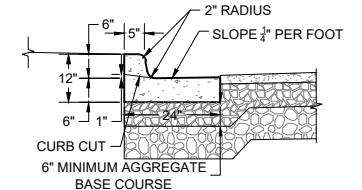
FRONT VIEW



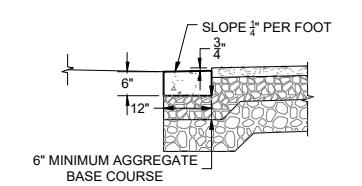
SIDE VIEW

## 5 MANUFACTURED SILT FENCE DETAIL

TOJ ST-118



VERTICAL CURB



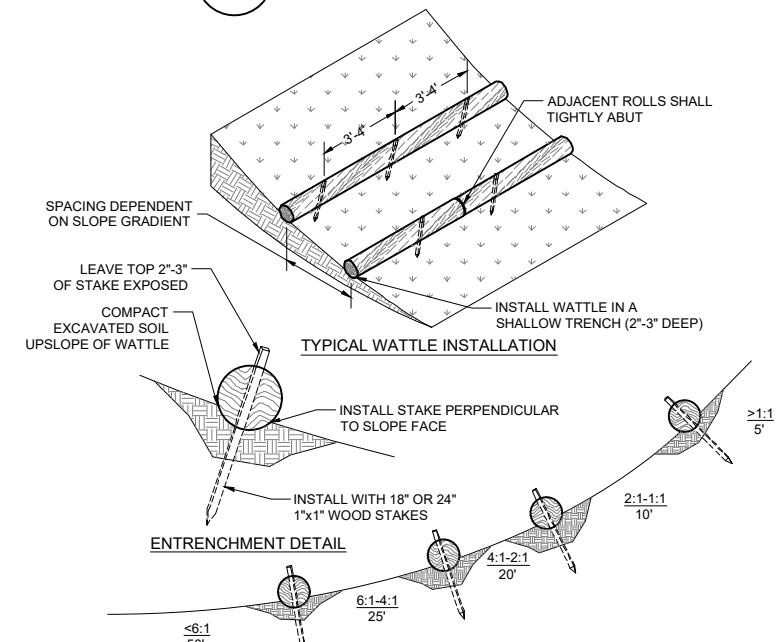
RIBBON CURB

## NOTES:

- CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
- AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
- REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
- ROLL CURB SHALL NOT BE ALLOWED.

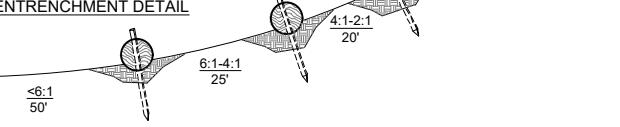
## 3 CURB SECTION DETAIL

TOJ ST-110



TYPICAL WATTLE INSTALLATION

## ENTRENCHMENT DETAIL



TYPICAL WATTLE SPACING BASE ON SLOPE GRADIENT

## NOTES:

- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHALL BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTERLS SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4' AND WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHALL BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.
- EROSION CONTROL PLAN AND LOCATION OF STRAW WATTERLS SHALL BE APPROVED BY THE TOWN OF JACKSON PUBLIC WORKS DEPARTMENT.

## 4 CONCRETE AND ASPHALT PATCH DETAIL

TOJ ST-118

## 6 TYPICAL STRAW WATTLE DETAIL

TOJ STM-107