



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: October 20, 2023	REQUESTS:
Item #: P23-191	
Planner: Katelyn Page	The applicant is submitting a request for a Basic Use Permit for Light Industry use at the property at 1705 High School Rd. #130 legally known as UNIT 130, FLAT CREEK BUSINESS CENTER CONDOMINIUM, BLDG. 100 PIDN: 22-40-16-06-1-12-003
Phone: 733-0440 ext. 1302	
Email: kpage@jacksonwy.gov	For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.
Owner Flat Creek Business Center, LLC PO Box 14270 Jackson, WY 83001	
Applicant A43 Architecture Chris Jaubert PO Box 4055 Jackson, WY 83001	
Please respond by: November 10, 2023 (with Comments)	

RESPONSE: For Departments not using SmartGov, please send responses via email to:
planning@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Design Review

Subdivision/Development Option

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification

Amendments to the LDRs

LDR Text Amendment

Map Amendment

Miscellaneous

Other: _____

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____

Environmental Analysis #: _____

Original Permit #: _____

Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

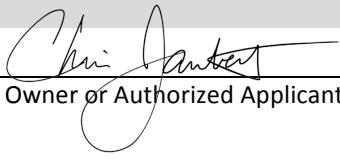
Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Brandon Ryan- President

Being duly sworn, deposes and says that Flat Creek Business Center LLC is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 1705 High School Road # 130

Legal Description: 22-40-16-06-1-12-003

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: A43 Architecture

Mailing address of Applicant/agent: P.O. Box 4055 Jackson, WY 83001

Email address of Applicant/agent: chris@a43design.com

Phone Number of Applicant/agent: (307) 249-8650

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

Demolition Permit Home Occupation Other (describe) Basic Use Permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

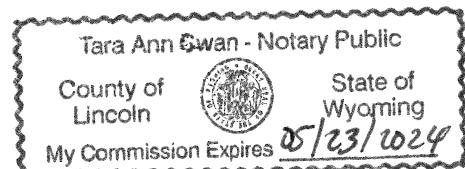
Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Wyoming)
) SS.
COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Brandon Ryan this 11th day of October, 2022. WITNESS my hand and official seal.

Notary Public

My commission expires:



ABBREVIATIONS:			
ADJ.	ADJUSTABLE/ ADJACENT	MAX.	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MECH.	MECHANICAL
AJ.	ALTERNATE	M.F.W.P.	MECHANICAL WATERPROOFING
ALUM.	ALUMINUM	MFR.	MANUFACTURER
APPROX.	APPROXIMATE	MIN.	MINIMUM
ARCH.	ARCHITECTURAL/ARCHITECT	MISC.	MISCELLANEOUS
BD.	BOARD	M.O.	MASONRY OPENING
BLDG.	BUILDING	MTL.	METAL
B.M.	BENCH MARK	(N.)	NEW
B.O.	BOTTOM OF	NEC.	NECESSARY
BRG.	BEARING	N.I.C.	NOT IN CONTACT
BSMT.	BASEMENT	NOM.	NOMINAL
BTM.	BOTTOM	N.T.S.	NOT TO SCALE
CAB.	CABINET	O.A.F.	OVERALL FRAME
CLG.	CEILING	O.C.	ON CENTER
CLO.	CLOSET	O.D.	OUTSIDE DIAMETER
C.M.	CONSTRUCTION MANAGER	OPNG.	OPENING
C.M.U.	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
COL.	COLUMN	OPP.H.	OPPOSITE HAND
CONC.	CONCRETE	ORIG.	ORIGINAL
CONST.	CONSTRUCTION JOINT	PL.	PLATE
CONT.	CONTINUOUS	PLAM.	PLASTIC LAMINATE
CONTR.	CONTRACTOR	PLAS.	PLASTER
COORD.	COORDINATE	PLYWD.	PLYWOOD
C.T.	CERAMIC TILE	PREFAB.	PREFABRICATED
CTR.	CENTER	PTD.	PAINTED
C.W.	COLD WATER	RTG.	RATING
DBL.	DOUBLE	RAD.	RADIUS
DET.	DETAIL	R.D.	ROOF DRAIN
DIA.	DIAMETER	RECMDN.	RECOMMENDATION
DIM.	DIMENSION	REF.	REFERENCE
DISP.	DISPENSER/DISPOSAL	REINF.	REINFORCE/ING
DN.	DOWN	REQ'D.	REQUIRED
D.P.	DAMPPROOFING	REV.	REVISIONS
D.H.	DRAINABLE HOUSEWRAP	RM.	ROOM
DWG.	DRAWING	R.O.	ROUGH OPENING
EA.	EACH	RTG.	RTG.
E.C.	ELECTRICAL CONTRACTOR	S.A.T.	SEE ASSEMBLY TYPES
EL.	ELEVATION	S.C.D.	SEE CIVIL DRAWINGS
ELEC.	ELECTRICAL/ELECTRIC	S.C.	SOLID CORE
ELEV.	ELEVATOR/ELEVATION	SCHED.	SCHEDULE
E/O.	EQUIPMENT BY OWNER	SECT.	SECTION
EQ.	EQUAL	S.E.D.	SEE ELECTRICAL DRAWINGS
EQUIP.	EQUIPMENT	S.F.	SQUARE FEET
EXIST. or (e)	EXISTING	SHT.	SHEET
EXT.	EXTERIOR	SHTG.	SHEATHING
F.D.	FLOOR DRAIN	SIM.	SIMILAR
FDN.	FOUNDATION	S.I.F.S.	SEE INTERIOR FINISH SCHEDULE
F.E.	FIRE EXTINGUISHER	S.M.D.	SEE MEP DRAWINGS
F.E.C.	FIRE EXTINGUISHER CLOSET	SPCS.	SPECIFICATIONS
FIN.	FINISH	SQ.	SQUARE
FLR.	FLOOR	S.S.	STAINLESS STEEL
F.O.S.	FACE OF STUD	S.S.D.	SEE STRUCTURAL DRAWINGS
FR.	FRAME	STL.	STEEL
FT.	FEET/FOOT	STOR.	STORAGE
FTG.	FOOTING	STRUCT.	STRUCTURAL
FURR.	FURRING	SUSP.	SUSPENDED
GA.	GAUGE	TEL.	TELEPHONE
GALV.	GALVANIZED	TEMP.	TEMPERED
G.C.	GENERAL CONTRACTOR	T.O.	TOP
GYP. BD.	GYPSUM BOARD	TOL.	TREATED
H.B.	HOSE BIBB	TRTD.	TYPICAL
H.DCP.	HANDICAPPED	TYPE.	TYPE
H.C.	HOLLOW CORE	U.G.	UNDERGROUND
H.M.	HOLLOW METAL	U.L.	UNDERWRITERS LABORATORY
HORZ.	HORIZONTAL	UNEXC.	UNEXCAVATED
HT.	HEIGHT	UNFIN.	UNFINISHED
H.W.	HOT WATER	U.O.N.	UNLESS OTHERWISE NOTED
ID.	INSIDE DIAMETER	VERT.	VERTICAL
IN.	INCHINCHES	V.I.F.	VERIFY IN FIELD
INSUL.	INSULATION	V.T.R.	VENT THROUGH ROOF
INT.	INTERIOR	W/	WITH
INV.	INVERT	W.C.	WATER CLOSET
JAN.	JANITOR	WD.	WOOD
JT.	JOINT	WIN.	WINDOW
LOC.	LOCATION	W.P.	WATERPROOF
		W.W.F.	WELDED WIRE FABRIC
		W.R.B.	WEATHERPROOF BUILDING WRAP

GENERAL CONSTRUCTION NOTES:

- THE TERM "OWNER" SHALL DENOTE THE CLIENT, OR OWNER, AS DESIGNATED IN THE CONTRACT. THE TERM "GENERAL CONTRACTOR" OR "CONTRACTOR" SHALL DENOTE THE CORPORATION, COMPANY, PARTNERSHIP, FORM OR INDIVIDUAL WHO HAS ENTERED INTO THE CONTRACT FOR THE PERFORMANCE OF THE WORK AND HAS ENGAGED SUBCONTRACTORS TO PERFORM A PART OF THE WORK. THE TERM "ARCHITECT" REFERS TO ATELIER 43, LLC. THE USE OF ANY ITEM SPECIFIED SHALL BE INTENDED TO MEAN THAT THE ITEM SHALL BE FURNISHED, INSTALLED AND CONNECTED WHERE SO REQUIRED.
- GENERAL PROJECT NOTES APPLY TO ALL SHEETS & SPECIFICATIONS. CONTRACTOR AND SUB-CONTRACTORS ARE TO REVIEW ALL CONTRACT DOCUMENTS AND COORDINATE THEIR SCOPE OF WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS. INFORMATION COMMON TO SEVERAL DRAWINGS MAY BE NOTED ON ONLY ONE. CONTRACTOR IS RESPONSIBLE FOR ENTIRE SET OF DOCUMENTS.
- THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES AND AMMENDMENTS ADOPTED BY THE TOWN OF JACKSON: INCLUDING 2021 INTERNATIONAL BUILDING CODE.
- ALL NEW CONSTRUCTION TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY TOWN OF JACKSON BUILDING AND FIRE DEPARTMENTS, LOCAL ELECTRICAL INSPECTOR AND ALL APPLICABLE GOVERNING AUTHORITIES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL TEMPORARY UTILITIES, INCLUDING ELECTRICITY NECESSARY FOR CONSTRUCTION AND TEMPORARY SEPTIC FACILITIES, WHICH SHALL BE MAINTAINED ON SITE FOR DURATION OF CONSTRUCTION. A JOB PHONE MUST BE MAINTAINED ON SITE FOR DURATION OF CONSTRUCTION AND THE PHONE NUMBER WILL BE MADE AVAILABLE TO THE ARCHITECT.
- THE CONTRACTOR(S) SHALL KEEP ALL AREAS OF CONSTRUCTION CLEAN AND FREE OF DEBRIS. AFTER CONSTRUCTION IS COMPLETE, THE FINAL CONTRACTOR SHALL PROVIDE FINAL CLEAN UP. ENFORCE REQUIREMENTS STRICTLY, DISPOSE OF MATERIALS LAWFULLY.
- CONTRACTOR SHALL INFORM ARCHITECT OF ANY AND ALL OWNER REQUESTED CHANGES OR DIRECTIVES FOLLOWING OWNER/CONTRACTOR CONVERSATIONS. CONTRACTOR SHALL NOT PROCEED WITH OWNER REQUESTED CHANGES OR DIRECTIVES WITHOUT PRIOR REVIEW FROM THE ARCHITECT AND WRITTEN CHANGE ORDER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS FOR ACCURACY PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXCEPT AT INTERIOR ELEVATIONS, AND UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE AND C.M.U. WALL. INTERIOR ELEVATION DIMENSIONS ARE GIVEN TO FACE OF FINISH MATERIAL. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL TAKE EXTRA CAUTION TO COORDINATE DIMENSIONS OF STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. VERIFY DISCREPANCIES WITH ARCHITECT.
- WHERE EXISTING MECHANICAL EQUIPMENT, VENTS, ETC., ARE TO BE REMOVED FROM EXISTING ROOF, EXISTING ROOF SUBSTRATE SHALL BE PATCHED AND REPAIRED (SEE PROJECT MANUAL).
- WHERE PENETRATIONS OCCUR ON EXISTING ROOF BECAUSE OF NEW CONSTRUCTION, ROOF SHALL BE TEMPORARILY PATCHED AND REPAIRED UNTIL NEW ROOFING AND FLASHING CAN BE INSTALLED. COORDINATE INSTALLATION OF ROOF PENETRATIONS REFER TO MECHANICAL DRAWINGS FOR LOCATION OF ROOF VENTS, EXHAUST FANS, MECHANICAL EQUIPMENT, ETC.
- ALL OTHER EXISTING ROOF PENETRATIONS NOT MENTIONED UNDER SPECIFIC NOTES SHALL BE FLASHED AS APPROVED BY THE ROOF MEMBRANE MANUFACTURER.

GENERAL TENANT IMPROVEMENT NOTES:

- THE ARCHITECT IS NOT RESPONSIBLE FOR CONDITIONS THAT CURRENTLY EXIST. DRAWINGS AND SPECIFICATIONS ARE BASED ON EXISTING DRAWINGS PROVIDED AND ON FIELD OBSERVATIONS. FIELD CONDITIONS THAT ARE NOT VISIBLE OR BEYOND THE ARCHITECT'S CONTROL ARE THE RESPONSIBILITY OF OTHERS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ALL CONDITIONS THAT VARY FROM THOSE INDICATED ON THE DRAWINGS.

- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT, AS REQUIRED BY THE SPECIFICATIONS, TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AFFECTING THE PROPOSED DEMOLITION AND NEW CONSTRUCTION PRIOR TO SUBMITTAL OF BIDS.

- CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, NOTED, SPECIFIED, OR REASONABLY INFERRED FROM THE CONSTRUCTION DOCUMENTS.

- DIAGONALLY HATCHED WALLS ON FLOOR PLANS AND REFLECTED CEILING PLANS INDICATE EXISTING CONSTRUCTION.

- EXISTING CONCRETE FLOOR UNDER REMOVED CARPET OR VINYL COMPOSITION TILE SHALL BE REPAIRED, PATCHED OR REMOVED AS REQUIRED PRIOR TO INSTALLATION OF NEW FLOORING.

- WHERE NEW FLOOR MATERIAL IS TO BE INSTALLED OVER EXISTING EXPOSED CONCRETE FLOORS, PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FLOORING.

- PATCH AND PREPARE EXISTING DRYWALL FINISHES TO REMAIN AS REQUIRED PRIOR TO APPLICATION OF NEW FINISH.

- PATCH AND REPAIR FLOORS, WALLS, CEILINGS AND ANY OTHER EXISTING CONSTRUCTION INDICATED TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION.

- DIMENSIONS SHOWN ARE TO FACE OF EXISTING FINISH SURFACE AND NEW STUDS UNLESS OTHERWISE INDICATED. ALL DIMENSIONS SHALL BE FIELD VERIFIED TO CONFORM TO EXISTING CONDITIONS.

- GRID LINES ASSUME EXISTING COLUMN ALIGN. VERIFY ALIGNMENT BEFORE BEGINNING CONSTRUCTION. ADJUST DIMENSIONS AS REQUIRED TO MAINTAIN COLUMN COVERAGE WITHIN WALL CONSTRUCTION AND TO LOCATE WALLS BELOW BEAMS AS INDICATED.

- PATCH AND FINISH WALLS, CEILINGS AND FLOORS WHERE CUTTING FOR PIPING, CONDUIT, AND OTHER MECHANICAL OR ELECTRICAL WORK HAS OCCURRED.

- WHERE ROOF PENETRATIONS OCCUR BECAUSE OF NEW CONSTRUCTION, ROOF SHALL BE TEMPORARILY PATCHED AND REPAIRED UNTIL NEW ROOFING AND FLASHING CAN BE INSTALLED. COORDINATE INSTALLATION OF ROOF PENETRATIONS REFER TO MECHANICAL DRAWINGS FOR LOCATION OF ROOF VENTS, EXHAUST FANS, MECHANICAL EQUIPMENT, ETC.

- WHERE EXISTING MECHANICAL EQUIPMENT, VENTS, ETC., ARE TO BE REMOVED FROM EXISTING ROOF, EXISTING ROOF SUBSTRATE SHALL BE PATCHED AND REPAIRED (SEE PROJECT MANUAL).

- ALL OTHER EXISTING ROOF PENETRATIONS NOT MENTIONED UNDER SPECIFIC NOTES SHALL BE FLASHED AS APPROVED BY THE ROOF MEMBRANE MANUFACTURER.

PROJECT TEAM

PROJECT DESCRIPTION: STIO HQ.2 Job #2213 1705 Highschool Rd # 130 Jackson, WY 83001

PROJECT OWNER: STIO 1705 Highschool Rd #310 Jackson, WY

PROJECT ARCHITECT: Chris Jaubert Atelier 43 LLC PO BOX 4055 JACKSON, WY 83001 307.249.8650

CONTRACTOR: Matarozzi Pelsinger Builders Jackson, WY 83001

DRAWING LIST

Sheet No.	Sheet Name
G.1.0	COVER
G.1.1	SCHEDULES
G.1.2	WALL AND FLOOR ASSEMBLY TYPES
G.1.3	ACCESSIBILITY CLEARANCE AND REQUIREMENTS
G.1.4	CODE ANALYSIS

ARCHITECTURAL	FLOOR PLANS
A.2.1	FRAMING PLANS
A.2.2	ROOF PLAN
A.2.3	BUILDING SECTIONS
A.4.1	WALL SECTIONS / DETAILS
A.5.1	ENLARGED PLANS & INTERIOR ELEVATIONS
A.7.1	REFLECTED CEILING PLAN
A.8.1	

STRUCTURAL	ROOF FRAMING PLAN
S200	

MECHANICAL	MECHANICAL COVER SHEET
M0.0	MECHANICAL SPECIFICATIONS
M0.1	FORCED AIR ZONING PLAN
M1.1	SECOND FLOOR - FORCED AIR PLAN
M2.2	ROOF - FORCED AIR PLAN
M3.1	MECHANICAL ISOMETRIC
M4.1	MECHANICAL DETAILS & SEQUENCES
M5.1	MECHANICAL SCHEDULES

PLUMBING	PLUMBING COVER SHEET
P0.0	FOUNDATION - WASTE/VENT PLAN
P1.0	FIRST FLOOR - WASTE/VENT PLAN
P1.1	SECOND FLOOR - WASTE/VENT PLAN
P1.2	FOUNDATION - DOMESTIC/GAS PLAN
P2.0	FIRST FLOOR - DOMESTIC/GAS PLAN
P2.1	PLUMBING ISOMETRIC
P3.1	PLUMBING DETAILS
P4.1	PLUMBING EQUIPMENT SCHEDULES
P5.1	

ELECTRICAL	ELECTRICAL COVER SHEET
E0.0	FIRST FLOOR POWER PLAN
E1.1	SECOND FLOOR POWER PLAN
E1.2	ROOF POWER PLAN
E1.3	LIGHTING PLAN
E2.1	LIGHTING PL

INTERIOR FINISH TYPES:

FLOOR FINISH TYPES	
CARPET FLOORING	
CP-1	CARPET TILE - GIBRALTAR CARPETS - NEW FRIENDS - RANDOM PATTERN - CARPET TO COMPLY WITH ADA 302.2
EPOXY FLOORING	
EP-1	DIAMOND COAT EPOXY OR SIM - COLOR AND FLAKE TBD - EXPOXY TO COMPLY WITH ADA 302.1
WALL FINISH TYPES	
CONC-1	EXISTING INTERIOR CONCRETE WALL, TO REMAIN AS IS AND UNPAINTED
DRYWALL	
GWB-2	LEVEL 2 DRYWALL - ALL JOINTS TAPE - LIGHT SKIM COAT OVER FASTENERS NO TEXTURE - NO PAINT-PAINTED
GWB-3	LEVEL 3 DRYWALL - ALL JOINTS TAPE AND SANDED - LIGHT ORANGE PEEL FINISH - PAINTED BENJAMIN MOORE - DECORATOR'S WHITE CC-20 - EGGSHELL FINISH
GWB-4	LEVEL 4 DRYWALL - ALL JOINTS TAPE AND SANDED SMOOTH - LIGHT HAND TROWELED SKIM COAT-PAINTED BENJAMIN MOORE - DECORATOR'S WHITE CC-20 EGGSHELL FINISH
TILE	
TL-1	WOW EUROPEAN- SOLO- PORCELAIN BODY- COLOR GRAPHITE - 6" X 6" - EXPOSED EDGED FINISHED WITH SCHLUTER QUADEC SQUARE EDGE TRIM 1/4" ALUM - BLACK - Q60GS
CEILING FINISH TYPES	
DRYWALL	
GWB-2	LEVEL 2 DRYWALL - ALL JOINTS TAPE - LIGHT SKIM COAT OVER FASTENERS NO TEXTURE - NO PAINT-PAINTED
GWB-3	LEVEL 3 DRYWALL - ALL JOINTS TAPE AND SANDED - LIGHT ORANGE PEEL FINISH PAINTED BENJAMIN MOORE - DECORATOR'S WHITE CC-20 - EGGSHELL FINISH
GWB-4	LEVEL 4 DRYWALL - ALL JOINTS TAPE AND SANDED SMOOTH - LIGHT HAND TROWELED SKIM COAT - PAINTED BENJAMIN MOORE - DECORATOR'S WHITE CC-20 EGGSHELL FINISH
COUNTER SURFACE FINISH TYPES	
ENGINEERED STONE	
CT-1	CAMBRIA QUARTZ - 2CM ENGINEERED STONE - COLOR FIELDSTONE - CAMBRIA MATTE- EASED EDGE- MIN. 4" BACKSPLASH
TRIM FINISH TYPES	
BASE TRIM	
TR-1	POPLAR BASE TRIM - 3/4" X 3-1/2" - PAINTED - BENJAMIN MOORE - BLACK - 2132-10 - SEMI GLOSS FINISH
DOOR TRIM	
TR-2	POPLAR JAMB AND HEAD TRIM - 1" X 3-1/2" - PAINTED - BENJAMIN MOORE - BLACK - 2132-10 - SEMI GLOSS FINISH ALL DOOR FRAMES AND STOPS PAINTED TO MATCH
WINDOW SILL TRIM	
TR-3	POPLAR SILL AND STOOL TRIM - SEE DETAILS - PAINTED - BENJAMIN MOORE - DECORATOR'S WHITE CC-20 - SEMI- GLOSS FINISH
BASE TRIM	
TR-4	ROPPE VINYL WALL BASE - STANDARD 5/8" TOE BASE - 4 1/2" TALL - 100 BLACK - SEE DETAILS

DOOR SCHEDULE:

DOOR NUMBER	WIDTH	HEIGHT	DOOR TYPE	FUNCTION	HARDWARE TYPE	COMMENTS
100-1	3' - 4"	7' - 0"	SWING DOOR	Exterior	A	REPLACE EXISTING DOOR LEAF
101-1	3' - 0"	7' - 0"	SWING DOOR	Interior	B	
102-1	3' - 0"	7' - 0"	SWING DOOR	Interior	B	
102-3	2' - 6"	2' - 0"	ACCESS-DOOR	Interior	-	
103-1	2' - 6"	7' - 0"	SWING DOOR	Interior	C	

DOOR NOTES:

1. DOOR HARDWARE TO BE DETERMINED
2. LEVER HANDLE, HINGES, AND DOOR STOP MATERIAL TO BE DETERMINED.
3. DOORS AND HARDWARE SHALL COMPLY W/ IBC 1010
4. ALL DOOR HARDWARE SHALL COMPLY WITH ADA 404.2.7.
5. NEW EXTERIOR ENTRY DOORS TO BE 0.32 U-VALUE OR BETTER
6. VERIFY ALL TEMPERED GLASS.

DOOR HARDWARE LEGEND

TYPE	PULL SIDE	PUSH SIDE
HARDWARE TYPE A	LEVER W/ KEYED LOCK, DEADBOLT W/ KEYED LOCK	RIM PANIC BAR
HARDWARE TYPE B	LEVER W/ THUMB BOTTOM LOCK	LEVER W/ KEYED LOCK
HARDWARE TYPE C	LEVER W/ KEYED LOCK	ALWAYS ACTIVE LEVER

PLUMBING FIXTURE SCHEDULE:

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	SIZE	FINISH	COMMENTS
P-1	UNDERMOUNT SINK	TBD	TBD	30" x 18"		
P-2	KITCHENETTE FAUCET	TBD	TBD			SHALL COMPLY W/ ADA 606.4
P-3	LAVATORY SINK	TBD	TBD			SHALL COMPLY W/ ADA 606
P-4	LAVATORY FAUCET	TBD	TBD			SHALL COMPLY W/ ADA 606.4
P-5	TOILET	TBD	TBD			SHALL COMPLY W/ ADA 604
P-6	MECHANICAL PUSHBAR ACTUATED WATER COOLER	ELKAY	VRGRNRL8			
P-7	UTILITY FAUCET	TBD	TBD			
P-8	SERVICE SINK	TBD	TBD			

APPLIANCE SCHEDULE:

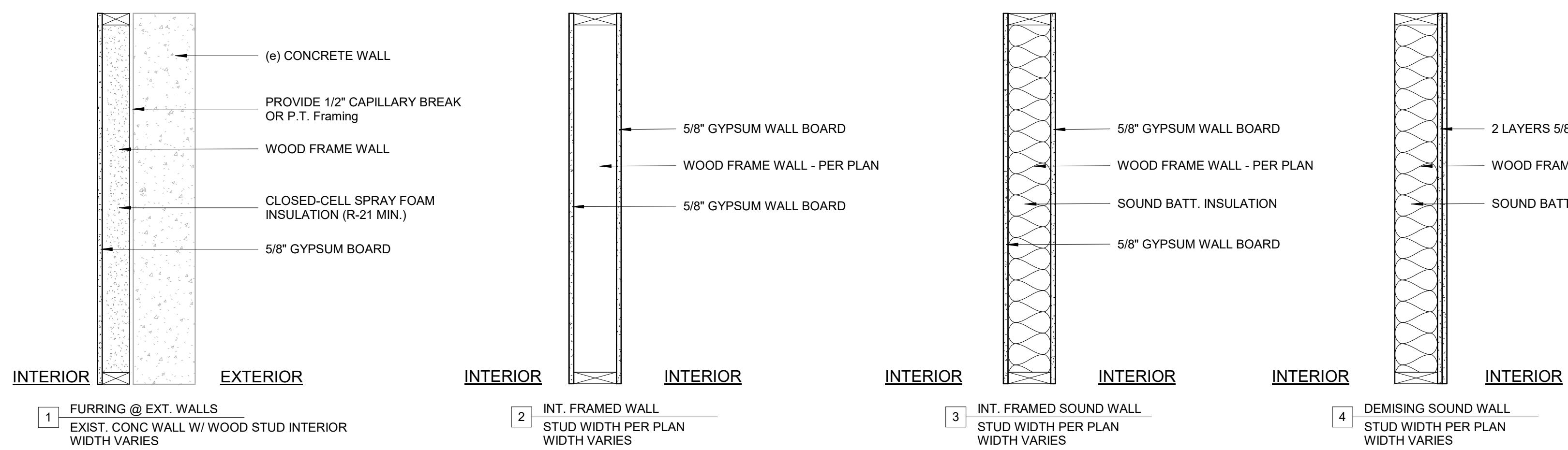
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	SIZE	COMMENTS
A-1	UNDERCOUNTER REF.	SUBZERO			CLIENT TO REUSE (e) PANEL READY
A-2	DISHWASHER	ASKO	DBI663IS.U		

INTERIOR FINISH SCHEDULE:

ROOM	FLOOR	WALLS	CEILING	COUNTER SURFACE	TRIM
WAREHOUSE 100	CP-1	GWB-4	CONC-1	(e) FIN. TO REMAIN	CT-1
BATHROOM 101	EP-1	GWB-4	TL-1	GWB-4	N/A
ADA BATHROOM 102	EP-1	GWB-4	TL-1	GWB-4	N/A
MECH. ROOM 103	EP-1	GWB-3		GWB-3	N/A
(e) RISER ROOM 104	(e) FIN. TO REMAIN	N/A			
MECH. ROOM 201	PLYWOOD SUBFLOOR	GWB-2		GWB-2	N/A

Client: STORHD2	Project: STORHD2	Architect: Atelier 43 LLC
Address: 1715 High School Rd # 130	Address: 1715 High School Rd # 130	Address: Atelier 43 LLC PO Box 4055 610 1/2 1st Ave Jackson, WY 83001
City: Jackson, WY 83001	City: Jackson, WY 83001	City: Jackson, WY 83001
State: WY	State: WY	State: WY
Zip: 83001	Zip: 83001	Zip: 83001
Phone: 307-246-8656	Phone: 307-246-8656	Phone: 307-246-8656
Client: STORHD2	Project: STORHD2	Architect: Atelier 43 LLC
Address: 350 S CORNERSTONE RD	Address: 350 S CORNERSTONE RD	Address: Atelier 43 LLC PO Box 4055 610 1/2 1st Ave Jackson, WY 83001
City: Jackson, WY 83001	City: Jackson, WY 83001	City: Jackson, WY 83001
State: WY	State: WY	State: WY
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Address: 350 S CORNERSTONE RD	Address: 350 S CORNERSTONE RD	Address: Atelier 43 LLC PO Box 4055 610 1/2 1st Ave Jackson, WY 83001
City		

WALL TYPES



ASSEMBLY TYPE NOTES:

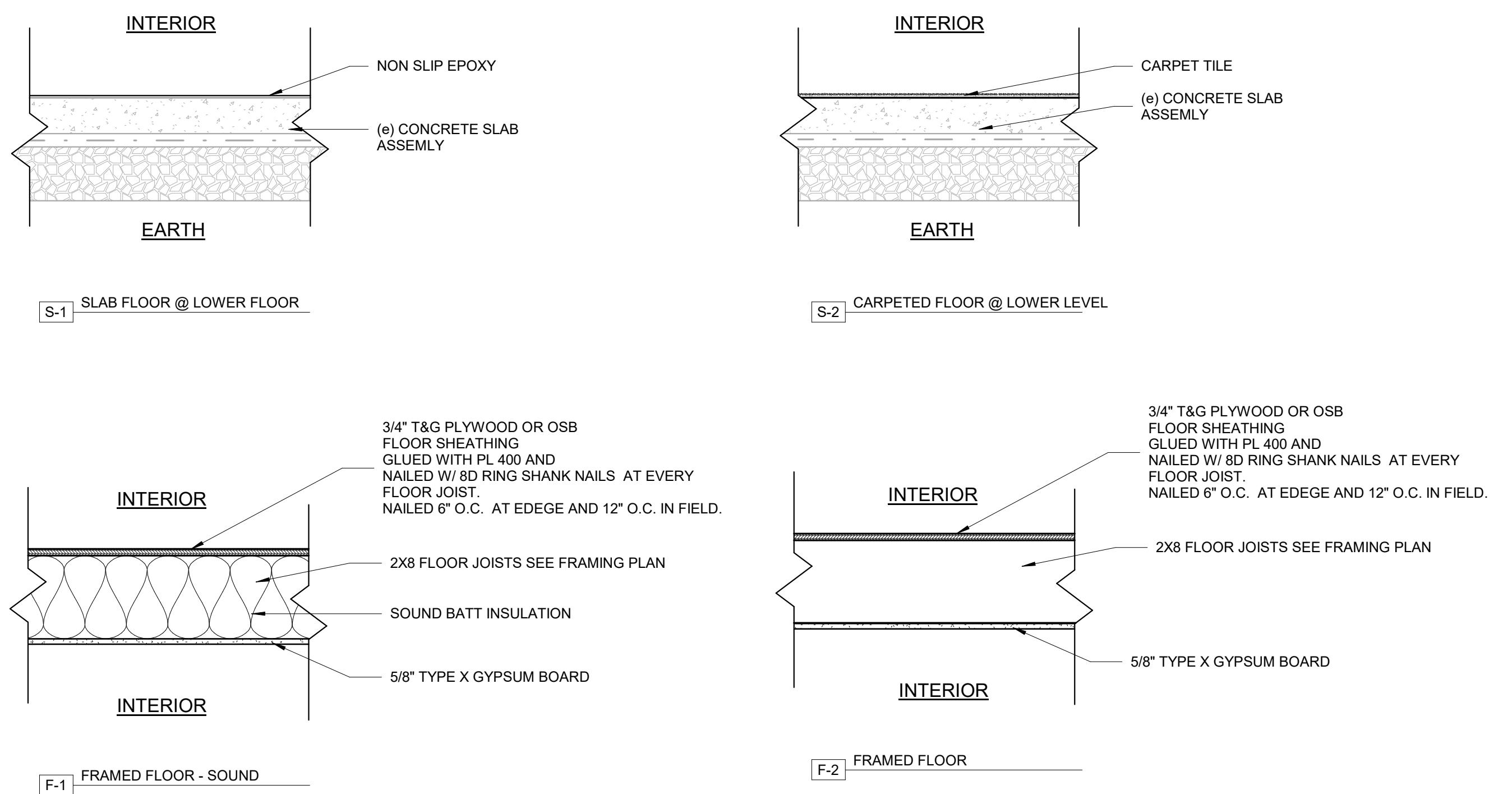
- SAWN LUMBER MATERIALS (U.N.O. ON PLAN AND DETAILS)
 - MULTI-PLY LUMBER BEAMS, RAFTERS, JOISTS, AND COLUMNS TO BE SELECT STRUCTURAL DOUGLAS FIR-LARCH.
 - SELECT SAWN TIMBER BEAMS AND COLUMNS TO BE DENSE NO. 1 OR BETTER DOUGLAS FIR-LARCH. TOP AND BOTTOM WALL PLATES TO BE NO. 1 & BTR DOUGLAS FIR-LARCH. STUDS TO BE NO. 2 OR BETTER DOUGLAS FIR-LARCH.
- FRAMING ANCHORS AND CONNECTORS TO BE "STRONG TIE" BY SIMPSON APPROVED AND EQUAL INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- SILL PLATES TO BE ATTACHED TO THE FOUNDATION WITH 5/8" Ø x 12" @ 4'-0" O.C. ANCHOR BOLTS WITH 3" x 3" x 3/16" SQUARE WASHERS AND HEX NUTS.
- WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE FOUNDATION, USE PRESSURE TREATED WOOD PRODUCTS.
- USE GALVANIZED OR STAINLESS STEEL FASTENERS WHEN NAILING INTO PRESSURE TREATED MATERIALS.
- CONTRACTOR TO SUPPLY FIRE BLOCKING AS PER INTERNATIONAL BUILDING CODE FOR VERTICAL AND HORIZONTAL STUD AND SOFFIT CAVITIES AND CHIMNEYS.
- REFER TO MECHANICAL DRAWINGS FOR DUCTS

ISSUANCE	#	Description	Date
		BUILDING PERMIT	23-10-11

LICENSED ARCHITECT
STATE OF WYOMING
B-0268
Date: 10/12/2021

Draughted
WALL AND FLOOR
ASSEMBLY TYPES
Date
2023-04-23

FLOOR TYPES



Mechanical:
ENERGY
3505 CORNERSTONE RD
BUCYSON, WY 83001
307-223-2210

Civil:
NA

Structural:
MEC CORP
SUITE 43 STONERIDGE DR
SUITE 43 STONERIDGE DR
PO BOX 382301 F.
406-582-9892

Client:
STO

Project:
STO FH-2
1715 High School Rd # 130
Jackson, WY 83001

Atelier 43 LLC
Atelier 43 LLC
mail: PO Box 4055
3505 Cornerstone Ave #103
Jackson, WY 83001

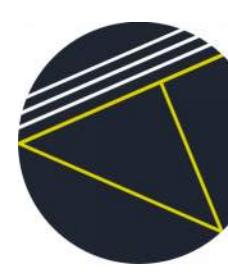
Office:
Atelier 43 LLC
3505 Cornerstone Ave #103
Jackson, WY 83001

Phone:
307-248-8656
406-582-9892

Architect:
Atelier 43 LLC
Atelier 43 LLC
mail: PO Box 4055
3505 Cornerstone Ave #103
Jackson, WY 83001

Office:
Atelier 43 LLC
3505 Cornerstone Ave #103
Jackson, WY 83001

Phone:
307-248-8656
406-582-9892

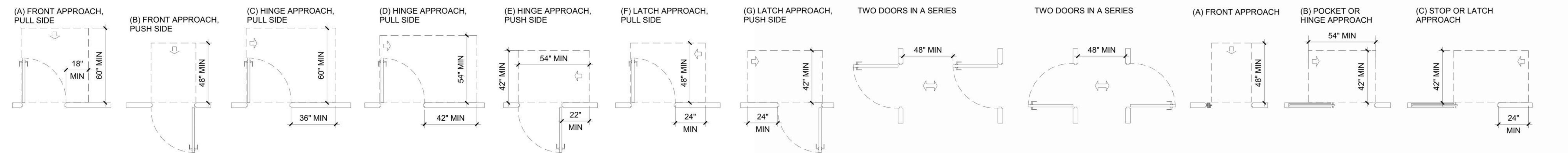


G1.2

LICENSED ARCHITECT STATE OF WYOMING B-0268 Date: 10/22/2021		ISSUANCE # <input type="text"/> Description <input type="text"/> Date <input type="text"/>
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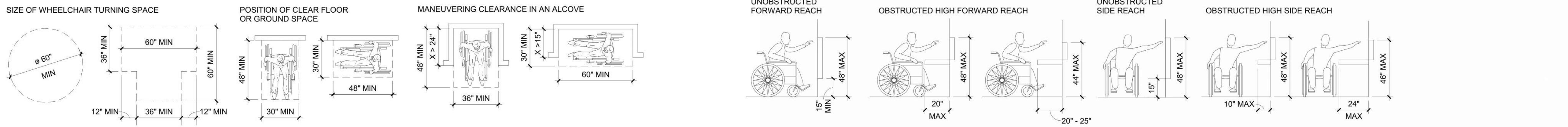
Mechanical: ENERGY STAR CORNERSTONE RD
3505 CORNERSTONE RD
BUTTE, MT 59718
307-220-2210
406-582-9892

Draughted: 2023-04-23



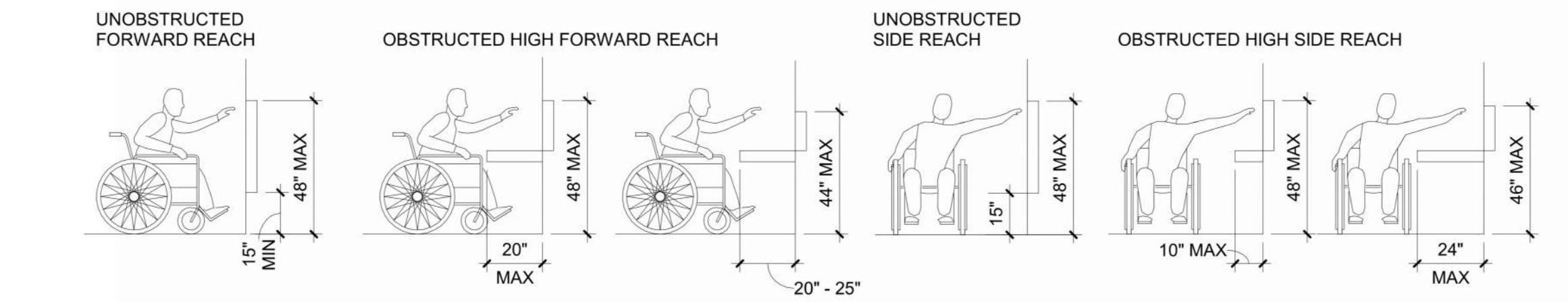
1 DOOR APPROACH CLEARANCES

SCALE: 1/4" = 1'-0"



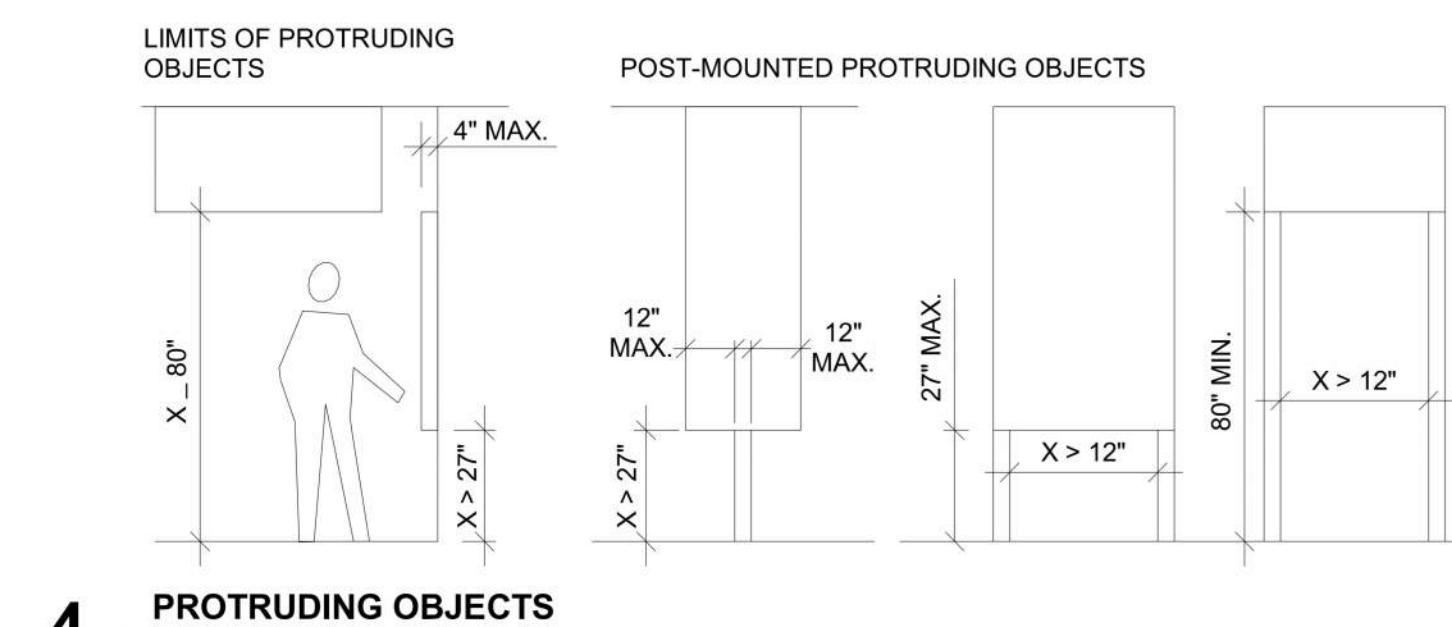
2 CLEAR FLOOR SPACE

SCALE: 1/4" = 1'-0"



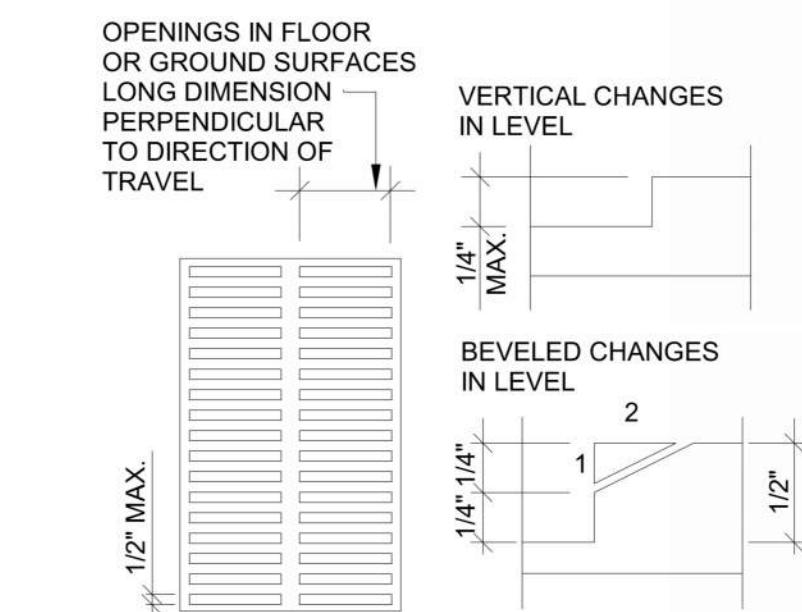
3 REACH RANGES

SCALE: 1/4" = 1'-0"



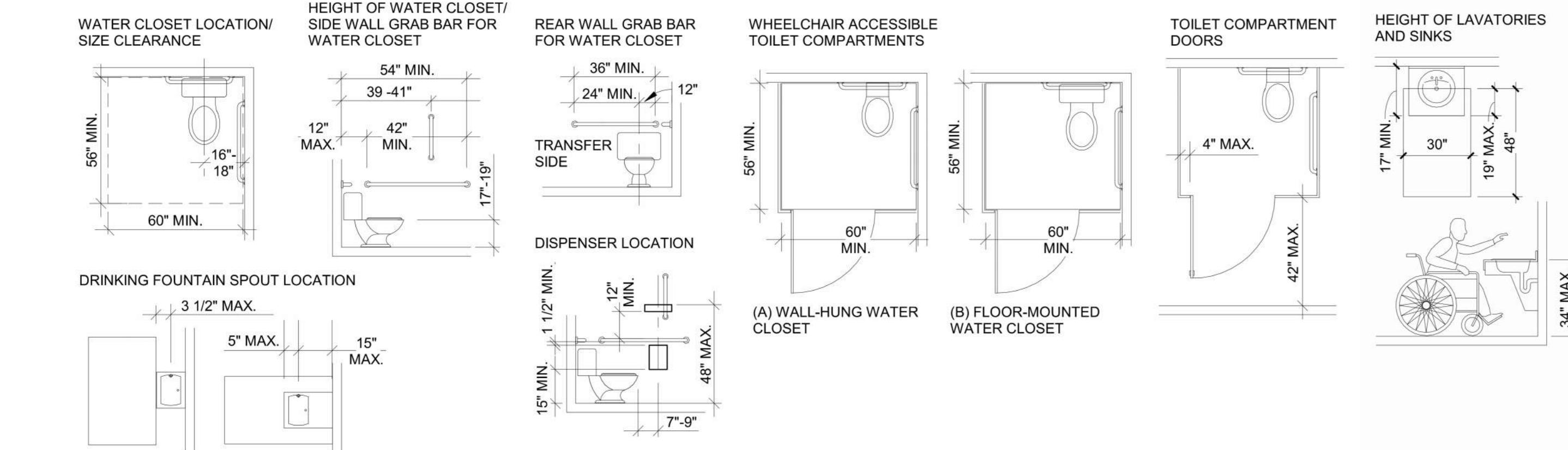
4 PROTRUDING OBJECTS

SCALE: 1/4" = 1'-0"



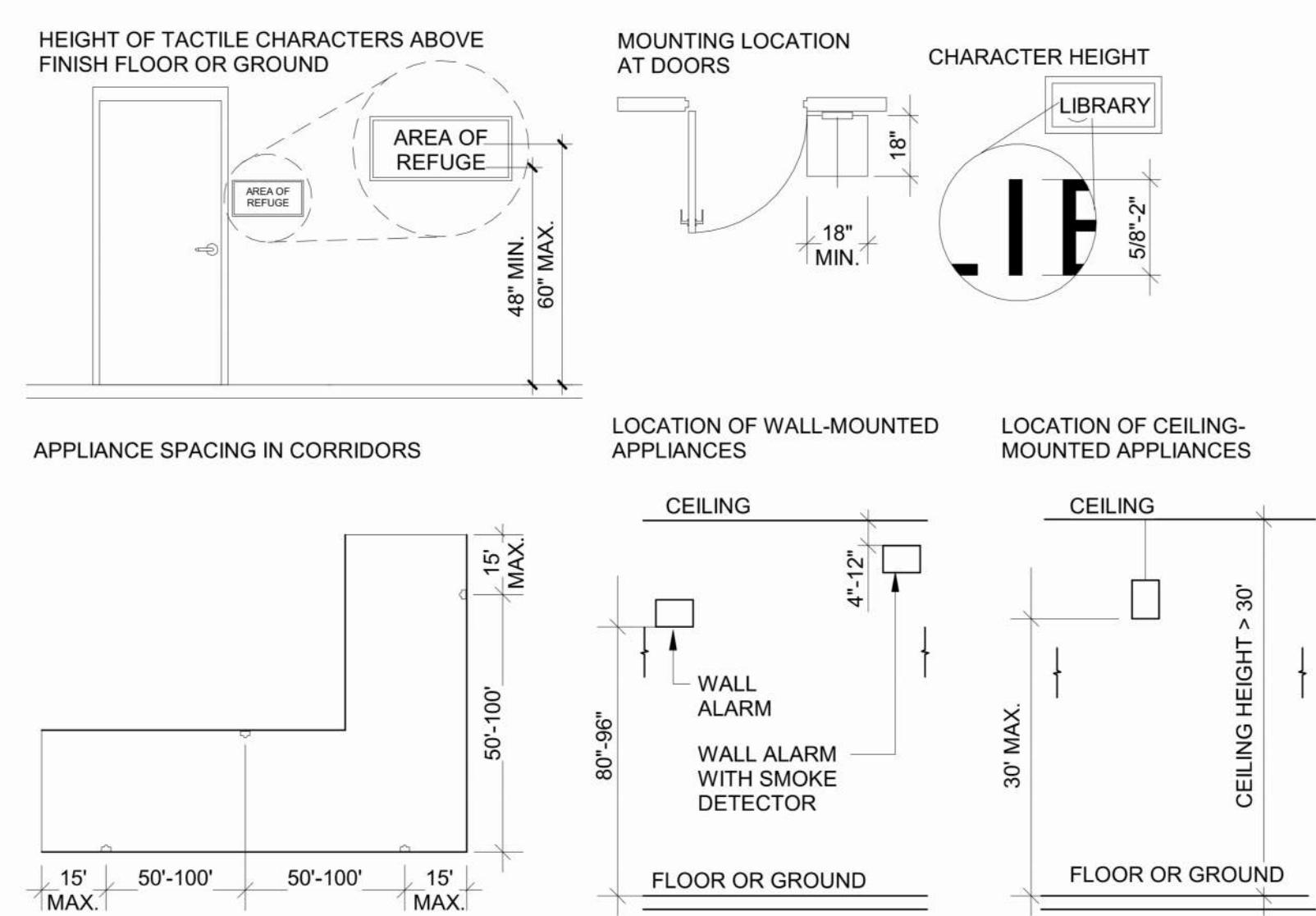
5 FLOOR AND SURFACE CHANGES

SCALE: 1/4" = 1'-0"



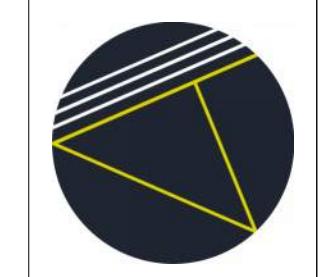
6 PLUMBING ELEMENTS AND FACILITIES

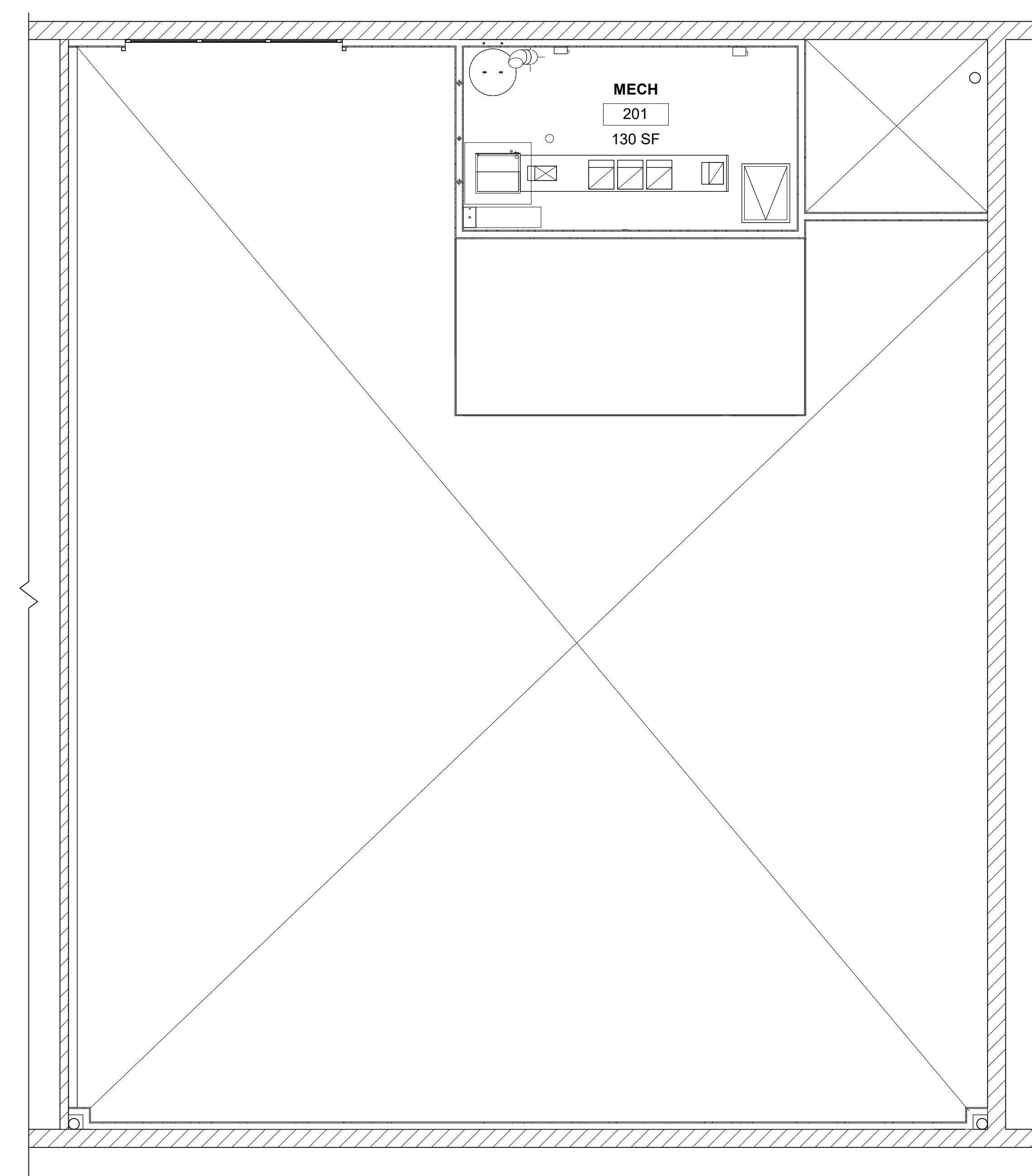
SCALE: 1/4" = 1'-0"



7 COMMUNICATION ELEMENTS AND FEATURES

SCALE: 1/4" = 1'-0"



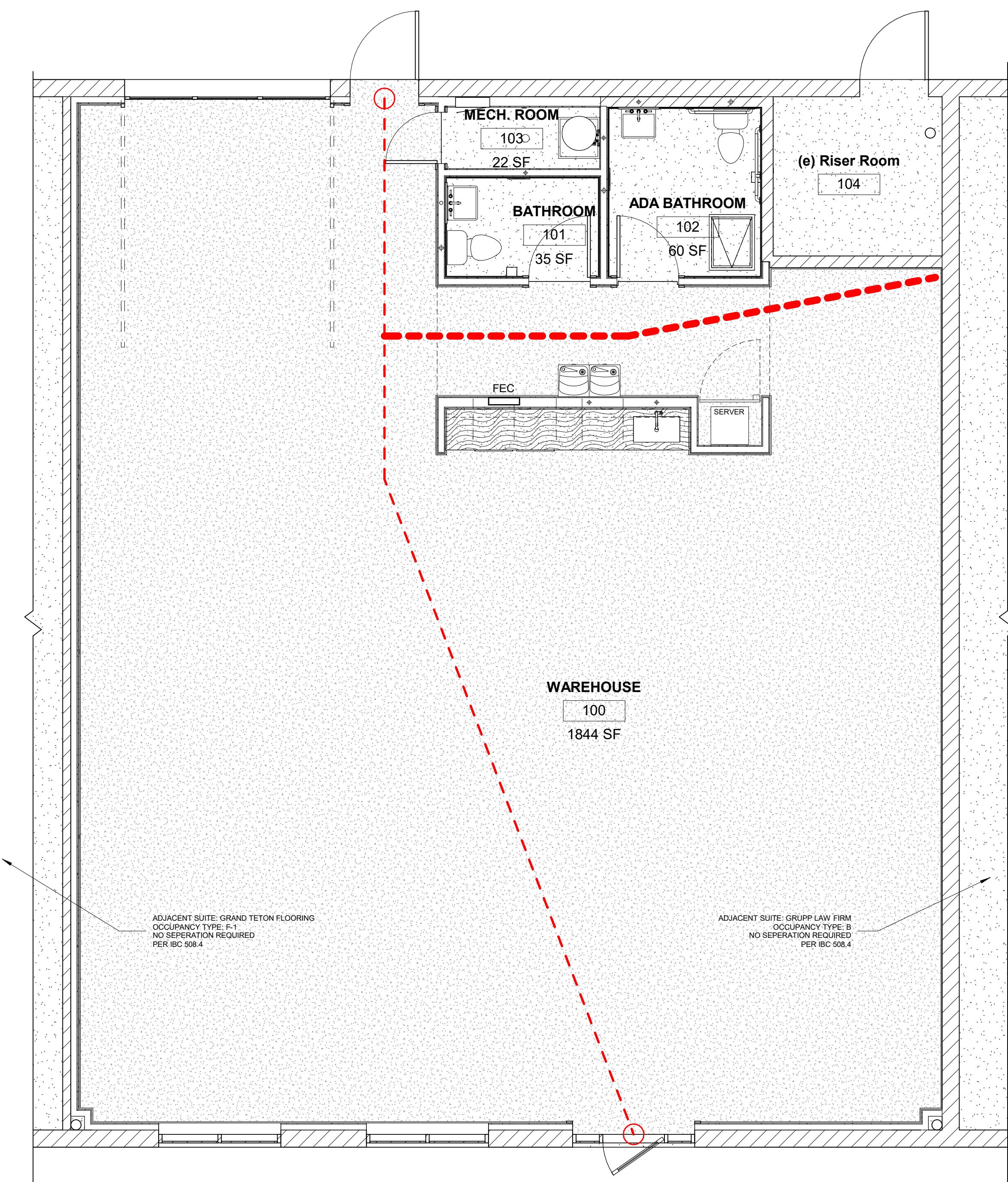


2 MECH. ROOM- CODE PLAN

CODE SYMBOL LEGEND	
SYMBOL	ITEM
FE	FIRE EXTINGUISHER
[FEC]	FIRE EXTINGUISHER CABINET
—	MAXIMUM TRAVEL DISTANCE
—·—·—·—	COMMON PATH OF EGRESS
XX	FIRE RATING OF DOOR IN MINUTES
-----	1-HOUR FIRE SEPARATION
—·—·—	2-HOUR FIRE SEPARATION
—·—·—	3-HOUR FIRE SEPARATION
-----	EXISTING 1-HOUR FIRE SEPARATION
—·—·—	EXISTING 2-HOUR FIRE SEPARATION
—·—·—	EXISTING 3-HOUR FIRE SEPARATION

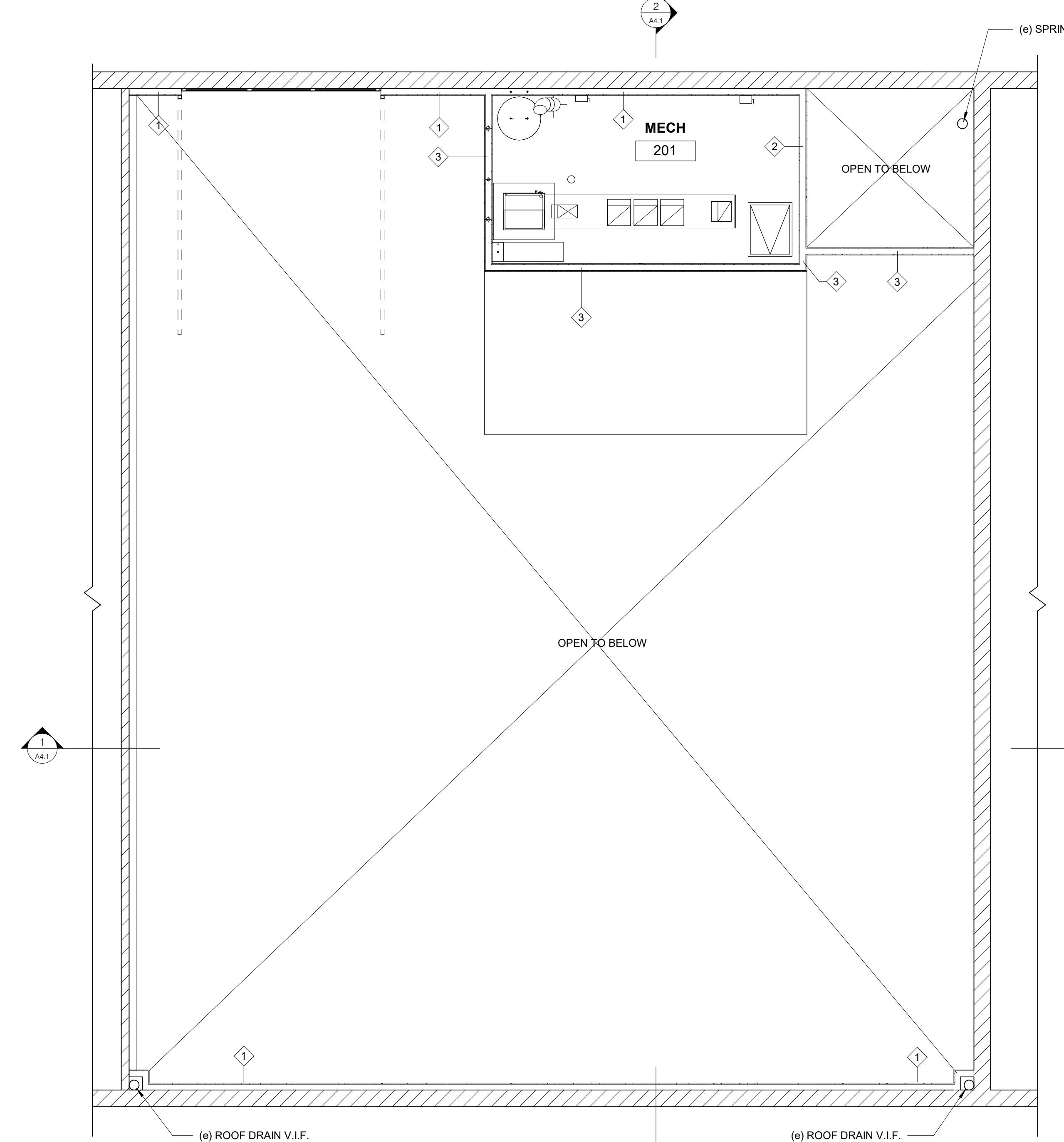
USE GROUP	NO. OF OCCUPANTS	PLUMBING FIXTURE COUNT		REQUIRED DRINKING FOUNTAINS	REQUIRED SERVICE SINK
		REQUIRED WATER CLOSETS	REQUIRED LAVATORIES		
		MEN	WOMEN	MEN	WOMEN
F-1	19	1 PER 100	1 PER 100	1 PER 1000	1
		.02	.02	.002	
		TOTAL REQUIRED	1	1	
		TOTAL PROVIDED	2	1	1

FIRE SPRINKLER AND FIRE ALARM - IBC CHAPTER 9		
FIRE SPRINKLERS ?	YES - EXSISTING	
FIRE ALARM SYSTEM	PER IBC SECTION 907.2	
PORTABLE FIRE EXTINGUISHERS	REQUIRED SPACING OF FIRE EXTINGUISHERS (PER IBC 906.1) = 75'	
EXITS - IBC CHAPTER 10		
COMMON PATH OF EGRESS (1006.2.1)	ALLOWED = 75'	ACTUAL = 27'
MINIMUM NUMBER OF EXITS (1006.2.1)	ALLOWED = 1	ACTUAL = 2
MAXIMUM TRAVEL DISTANCE (1017.2)	ALLOWED = 250'	ACTUAL = 52'

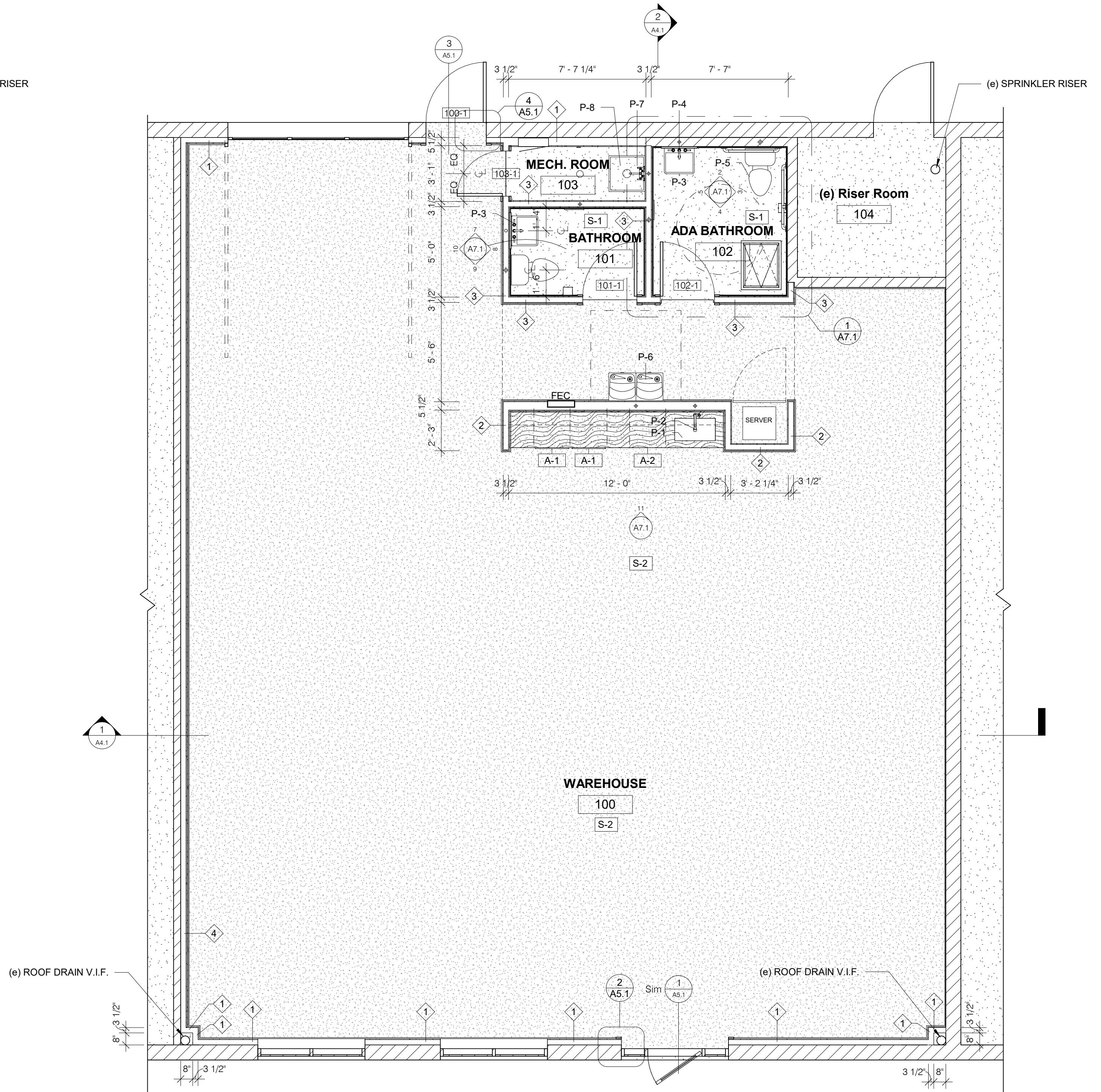


1 FIRST FLOOR - CODE PLAN

Project: ST10HD.2 1715 Highschool Rd # 130 Jackson, WY 83001	Client: ST10	Civil: N/A
Architect: Atelier 43 LLC mail: PO Box 4055 83001 office: 610 246 8656 Jackson, WY 83001 phone: 307 246 8656	Structural: 5143 STONERIDGE DR SUITE 100, JKT, MT 59718 P: 406 582 9801 F: 406 582 9892	Mechanical: ENERGY CORP 3501 S CORNERSTONE RD BANCROFT, WY 83001 307 243 2210
ISSUANCE		Drawn by: C. Jaubert Date: 23.10.11
Description: BUILDING PERMIT		Date: 2023.04.23
CODE ANALYSIS		
Mechanical: ENERGY CORP 3501 S CORNERSTONE RD BANCROFT, WY 83001 Date: 2023.04.23		
Structural: 5143 STONERIDGE DR SUITE 100, JKT, MT 59718 P: 406 582 9801 F: 406 582 9892		
Civil: N/A		
Drawn by: C. Jaubert Date: 23.10.11		
CODE ANALYSIS		
Mechanical: ENERGY CORP 3501 S CORNERSTONE RD BANCROFT, WY 83001 Date: 2023.04.23		
Structural: 5143 STONERIDGE DR SUITE 100, JKT, MT 59718 P: 406 582 9801 F: 406 582 9892		
Civil: N/A		
Drawn by: C. Jaubert Date: 23.10.11		
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Drawn by: C. Jaubert Date: 23.10.11		
CODE ANALYSIS		
Mechanical: ENERGY CORP 3501 S CORNERSTONE RD BANCROFT, WY 83001 Date:		



2 MECH. ROOM- PROPOSED
1/4" = 1'-0"



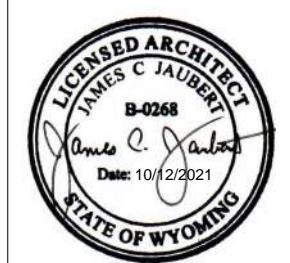
1 FIRST FLOOR - PROPOSED
1/4" = 1'-0"

FRAMING LEGEND:

NEW INTERIOR 2X WALL
EXISTING WALL VERIFY IN FIELD

GENERAL PLAN NOTES:

- DRAWINGS ARE SHOWN TO SCALE AS NOTED AS AIDS IN DETERMINING SIZE AND PROPORTION. ONLY WRITTEN DESCRIPTIONS AND SIZES SHALL BE UTILIZED FOR CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED.
- UNLESS NOTED OTHERWISE, DIMENSIONS ON PLANS ARE TO FACE OF FRAMING.
- FIXTURES AND EQUIPMENT SHOWN ARE FOR COORDINATION PURPOSES ONLY. REFER TO THE MANUFACTURER'S PRODUCT DATA, ENGINEERING DRAWINGS AND SPECIFICATIONS FOR FIXTURE AND EQUIPMENT DESCRIPTIONS AND LOCATIONS.
- PRESERVE ADJACENT OR EXISTING CONSTRUCTION. AVOID DAMAGE TO EXISTING STRUCTURES, SIDEWALKS, CURBS, PAVING AND LANDSCAPING. PATCH, REPAIR OR REPLACE ANY ITEMS DAMAGED, OR AS DIRECTED BY THE PROPERTY OWNER.
- AVOID UNNECESSARY DISRUPTIONS TO THE FUNCTIONS AND ACTIVITIES OF ADJACENT BUILDINGS.
- CAREFULLY REVIEW ALL CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION. BRING DISCREPANCIES OR CONFLICTING DATA TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- INSTALL PORTABLE FIRE EXTINGUISHER CABINETS SO HANDLE IS NO MORE THAN 48" A.F.F.



B-0268
Date: 10/12/2021

Drawing
FLOOR PLANS
Date
2023/04/23

Mechanical:
350 S. CORNERSTONE RD
BUTTE, MT 59718
307-220-2210

Civil:
NA

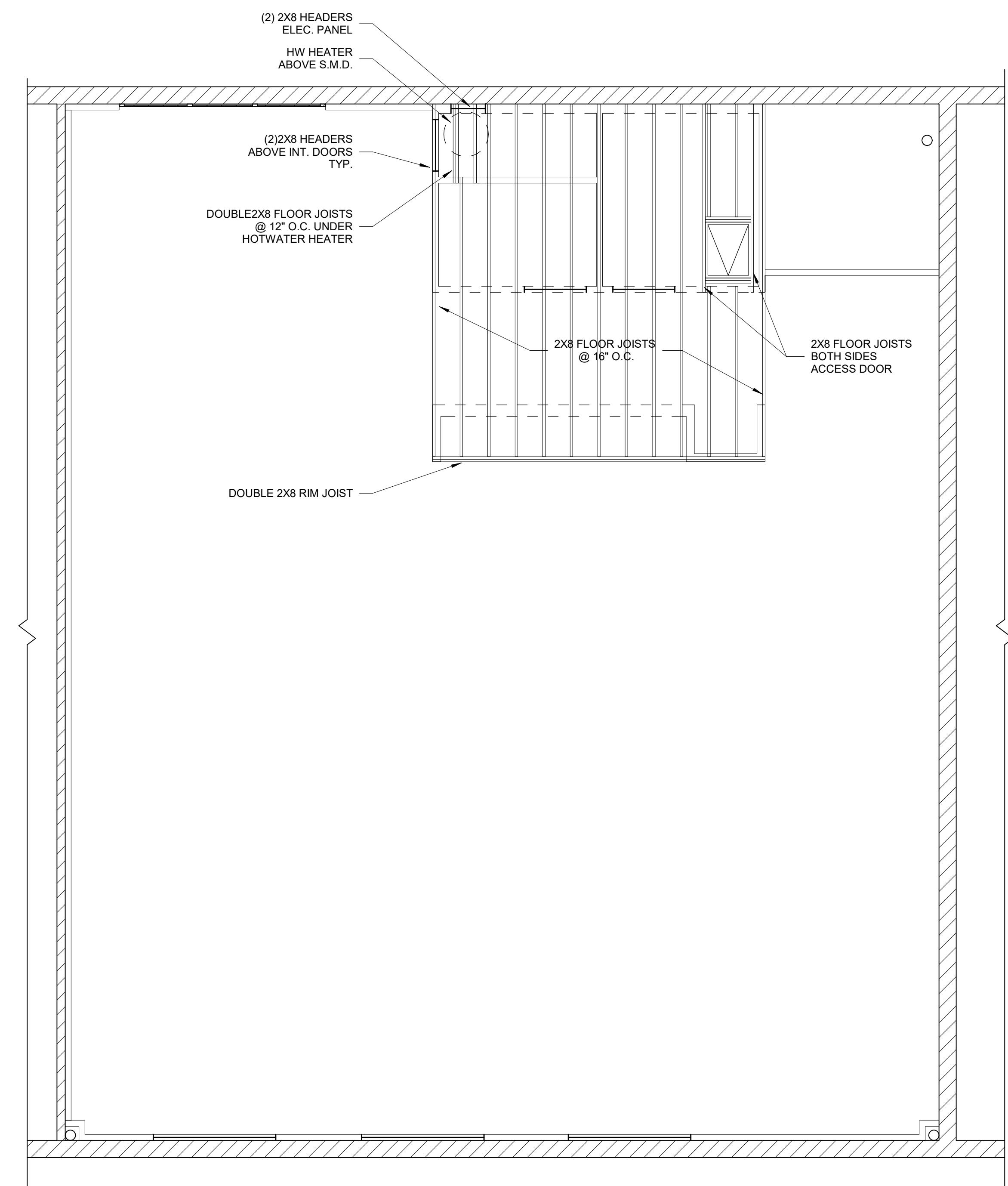
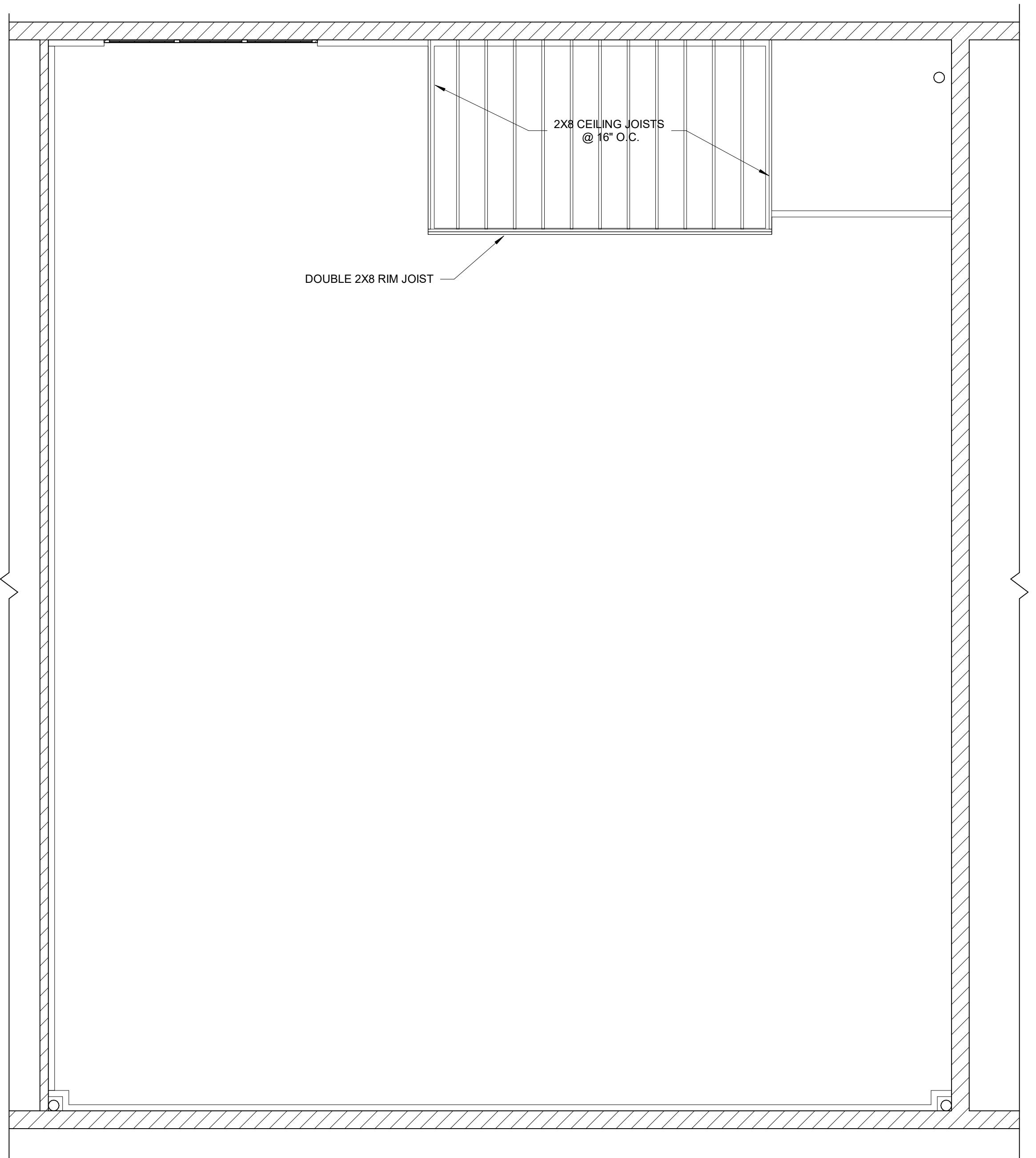
Structural:
S43 STONERIDGE DR
SUITE 100, MT 59718
P-406-582-9801 F:
406-582-9892

Project:
STORHD2
1715 Highschool Rd # 130
Jackson, WY 83001
Client:
STO

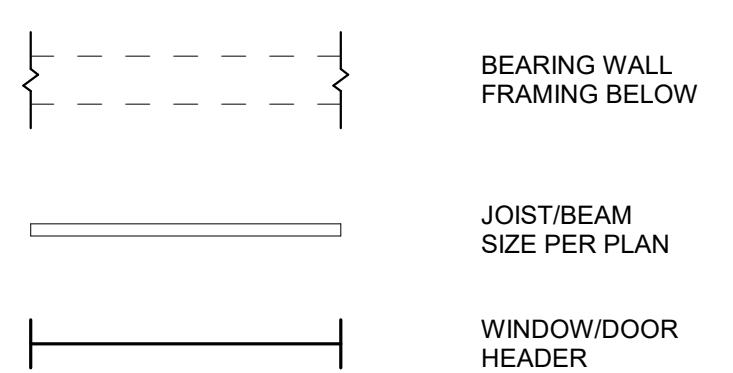
Architect:
Atelier 43 LLC
mail: PO Box 4055
office: 610 Grand Ave #103
Jackson, WY 83001
phone: 307-246-8656



A.2.1



FRAMING PLAN LEGEND:



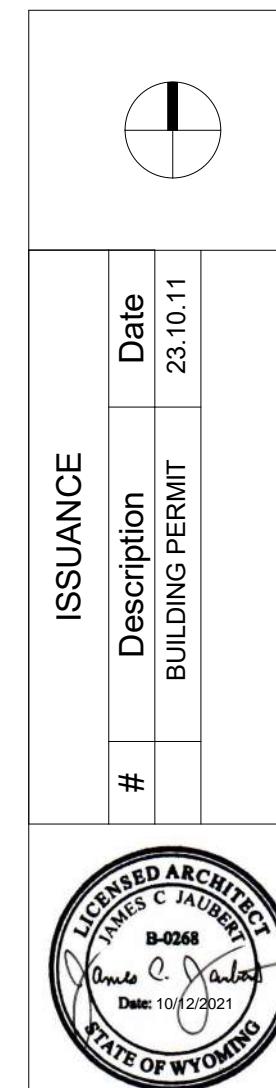
GENERAL PLAN NOTES:

- DRAWINGS ARE SHOWN TO SCALE AS NOTED AS AIDS IN DETERMINING SIZE AND PROPORTION. ONLY WRITTEN DESCRIPTIONS AND SIZES SHALL BE UTILIZED FOR CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED.
- UNLESS NOTED OTHERWISE, DIMENSIONS ON PLANS ARE TO FACE OF FRAMING.
- FIXTURES AND EQUIPMENT SHOWN ARE FOR COORDINATION PURPOSES ONLY. REFER TO THE MANUFACTURER'S PRODUCT DATA, ENGINEERING DRAWINGS AND SPECIFICATIONS FOR FIXTURE AND EQUIPMENT DESCRIPTIONS AND LOCATIONS.
- PRESERVE ADJACENT OR EXISTING CONSTRUCTION. AVOID DAMAGE TO EXISTING STRUCTURES, SIDEWALKS, CURBS, PAVING AND LANDSCAPING. PATCH, REPAIR OR REPLACE ANY ITEMS DAMAGED, OR AS DIRECTED BY THE PROPERTY OWNER.
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- INSTALL PORTABLE FIRE EXTINGUISHER CABINETS SO HANDLE IS NO MORE THAN 48" A.F.F.

ASSEMBLY TYPE NOTES:

- SAWN LUMBER MATERIALS (U.N.O. ON PLAN AND DETAILS)
 - MULTI-PLY LUMBER BEAMS, RAFTERS, JOISTS, AND COLUMNS TO BE SELECT STRUCTURAL DOUGLAS FIR - LARCH.
 - SOLID SAWN TIMBER BEAMS AND COLUMNS TO BE DENSE No. 1 OR BETTER DOUGLAS FIR-LARCH.
 - TOP AND BOTTOM WALL PLATES TO BE No. 1 & BTR DOUGLAS FIR-LARCH. STUDS TO BE No. 2 OR BETTER DOUGLAS FIR - LARCH.
- FRAMING ANCHORS AND CONNECTORS TO BE "STRONG TIE" BY SIMPSON APPROVED AND EQUAL INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- SILL PLATES TO BE ATTACHED TO THE FOUNDATION WITH 5/8" Ø12" @ 4'-0" O.C. ANCHOR BOLTS WITH 3" x 3" x 1/16" SQUARE WASHERS AND HEX NUTS.
- WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE FOUNDATION, USE PRESSURE TREATED WOOD PRODUCTS.
- USE GALVANIZED OR STAINLESS STEEL FASTENERS WHEN NAILING INTO PRESSURE TREATED MATERIALS.
- CONTRACTOR TO SUPPLY FIRE BLOCKING AS PER INTERNATIONAL BUILDING CODE FOR VERTICAL AND HORIZONTAL STUD AND SOFFIT CAVITIES AND CHIMNEYS.
- REFER TO MECHANICAL DRAWINGS FOR DUCTS

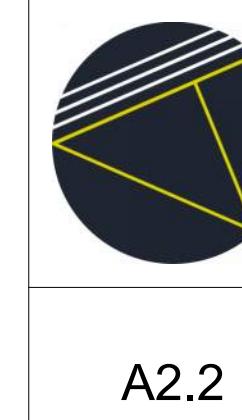
A.2



ISSUANCE	Description	Date
#	BUILDING PERMIT	23.10.11

Mechanical:	ENERGY	Drawings:
Structural:	3301 S. CORNERSTONE RD	FRAMING PLANS
Civil:	BALTIMORE, MT 83915	Date:
Client:	307-230-2210	2023-04-23

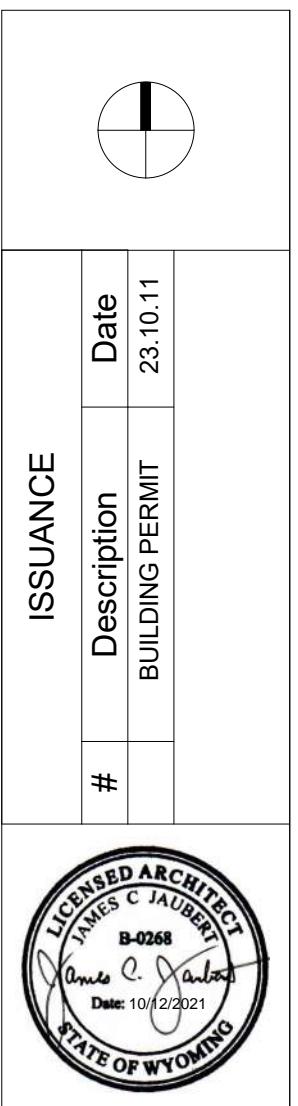
Project:	STORHD.2	Client:	STO
Atelier 43 LLC	7175 Highschool Rd # 130	Address:	130
mail: PO Box 4055	Jackson, WY 83001	Office:	130
office: 610 10th Ave # 103	Jackson, WY 83001	Phone:	307-248-8656



FRAMING LEGEND:	
	NEW INTERIOR 2X WALL
	EXISTING WALL VERIFY IN FIELD

GENERAL PLAN NOTES:

- DRAWINGS ARE SHOWN TO SCALE AS NOTED AS AIDS IN DETERMINING SIZE AND PROPORTION. ONLY WRITTEN DESCRIPTIONS AND SIZES SHALL BE UTILIZED FOR CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED.
- UNLESS NOTED OTHERWISE, DIMENSIONS ON PLANS ARE TO FACE OF FRAMING.
- FIXTURES AND EQUIPMENT SHOWN ARE FOR COORDINATION PURPOSES ONLY. REFER TO THE MANUFACTURER'S PRODUCT DATA, ENGINEERING DRAWINGS AND SPECIFICATIONS FOR FIXTURE AND EQUIPMENT DESCRIPTIONS AND LOCATIONS.
- PRESERVE ADJACENT OR EXISTING CONSTRUCTION. AVOID DAMAGE TO EXISTING STRUCTURES, SIDEWALKS, CURBS, PAVING AND LANDSCAPING. PATCH, REPAIR OR REPLACE ANY ITEMS DAMAGED, OR AS DIRECTED BY THE PROPERTY OWNER.
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- INSTALL PORTABLE FIRE EXTINGUISHER CABINETS SO HANDLE IS NO MORE THAN 48" A.F.F.



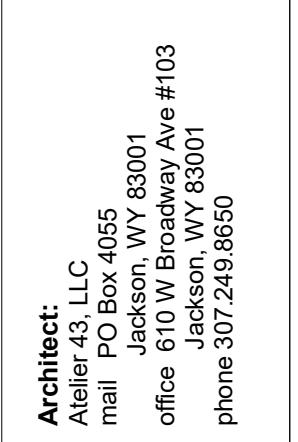
Architect: Atelier 43 LLC
mail: PO Box 4055
63001
office: 63001
Jackson, WY 83001
phone: 307-246-8656

Project: STORHD.2
1715 Highschool Rd # 130
Jackson, WY 83001

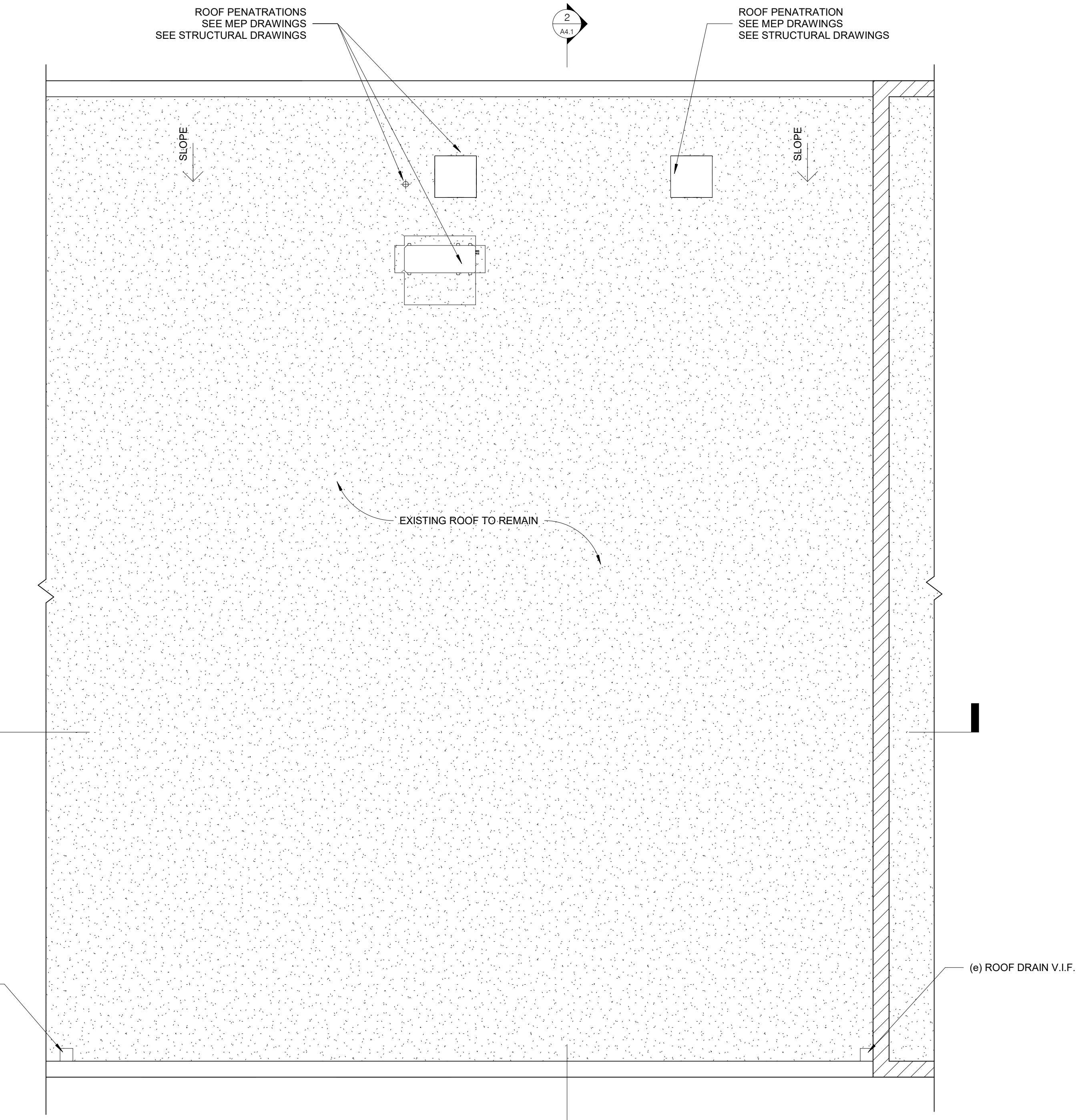
Client: STO

Structural: I.M.C. STONERIDGE DR
3501 S CORNERSTONE RD
BUTTE, MT 59715
P: 406-822-9801 F: 406-822-9892

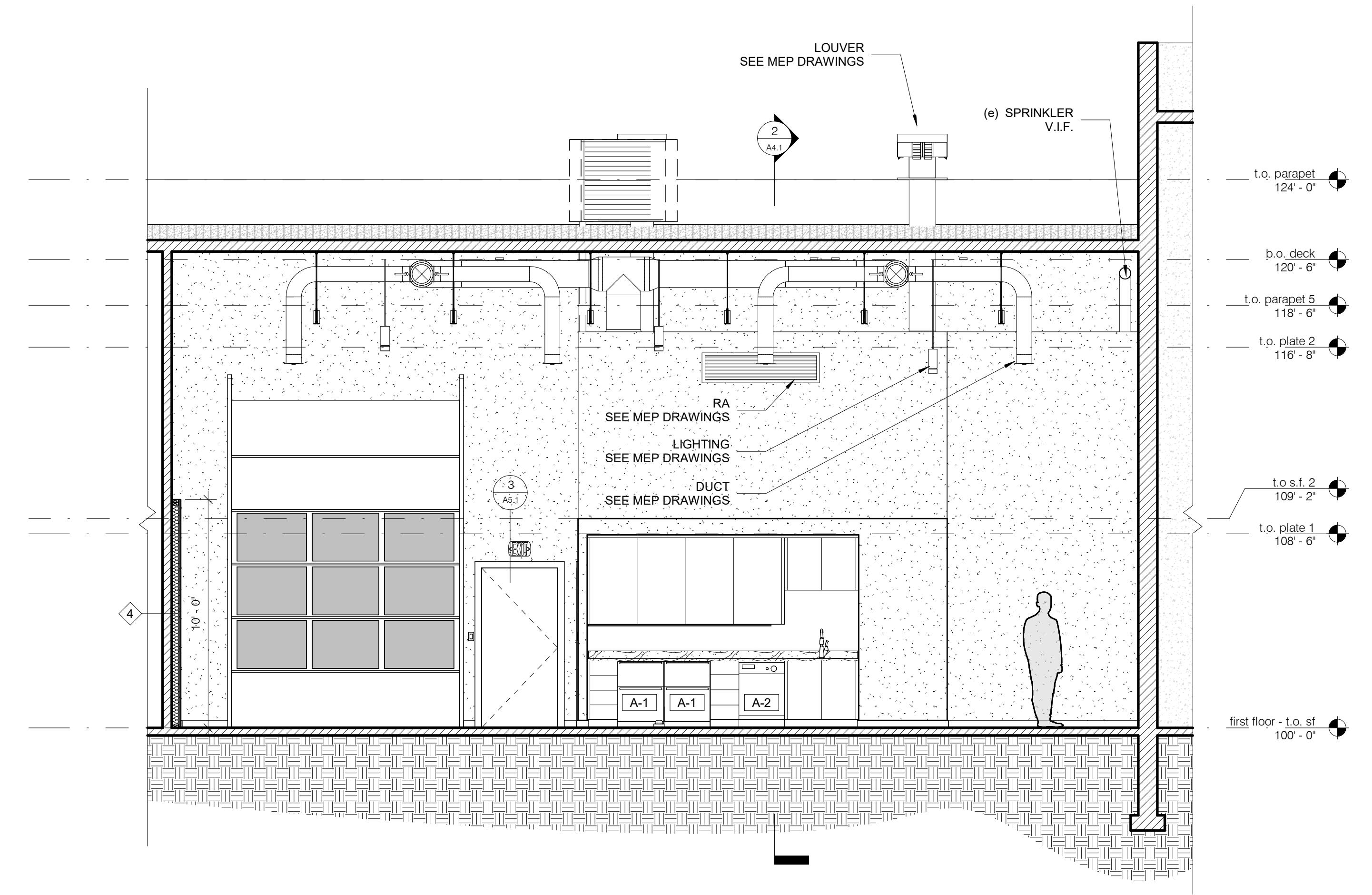
Mechanical: Drawing
ROOF PLAN
Date: 2023-04-23



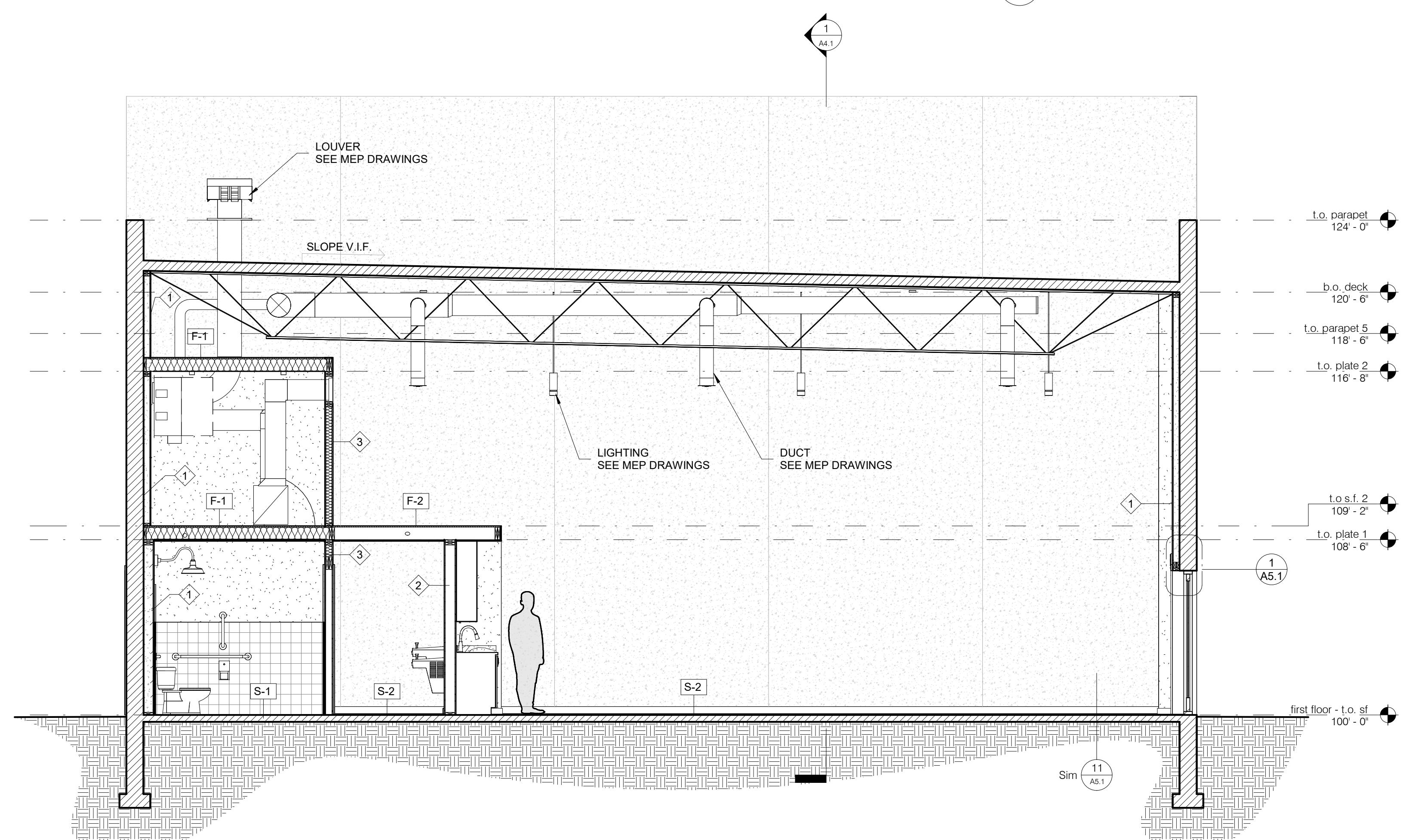
A2.3



1 ROOF PLAN - PROPOSED
1/4" = 1'-0"

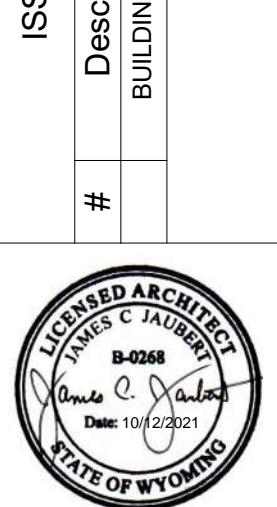


1 SECTION 1
1/4" = 1'-0"



2 SECTION A
1/4" = 1'-0"

ISSUANCE
Description
BUILDING PERMIT



Drawing
BUILDING SECTIONS
Date
2023/04/23

Mechanical:
3303 S CORNERSTONE RD
BUCYSON, WY 83001
307-233-2210

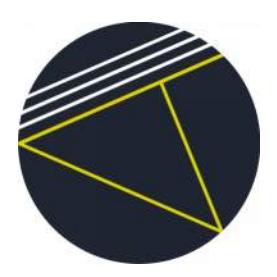
Civil:
N/A

Structural:
IMEC CORP
5443 STONERIDGE DR
SUITE 100, MT 85915-18
P: 406-582-9801 F:
406-582-9892

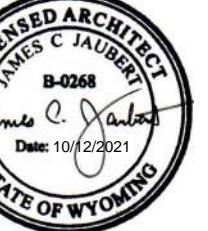
Client:
S10

Project:
STORHD2
1715 Highschool Rd # 130
Jackson, WY 83001

Architect:
Atelier 43 LLC
mail: PO Box 4055
83001
office: 610 2nd Ave #103
Jackson, WY 83001
phone: 307-246-8656



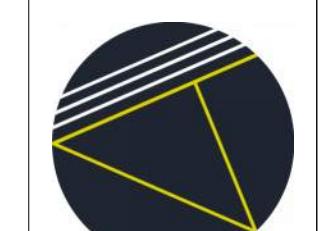
A4.1

ISSUANCE	Description	Date
#	BUILDING PERMIT	23.10.11
		

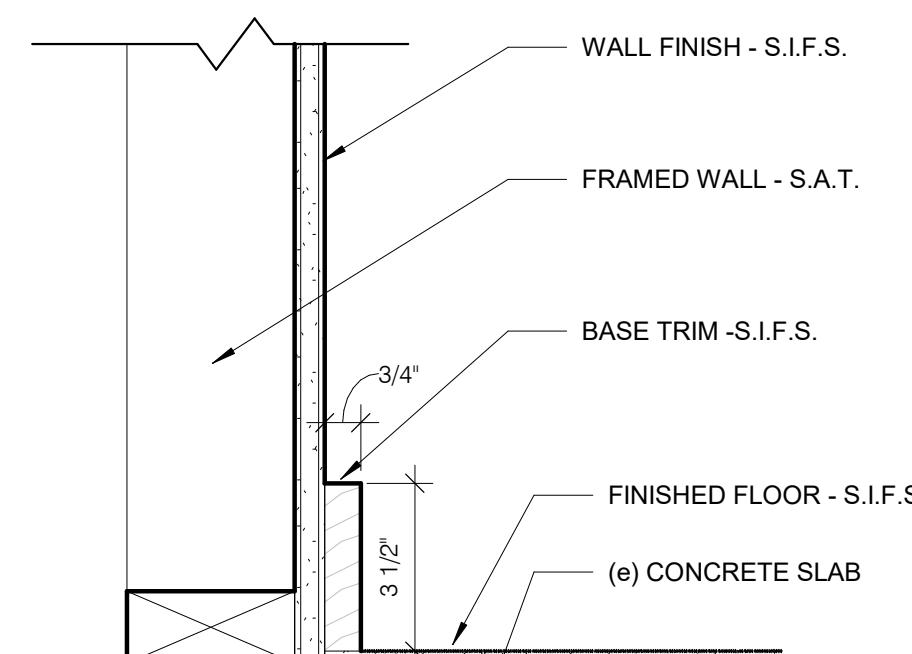
Drawings
WALL SECTIONS / DETAILS
Date 2023.04.23

Mechanical:
ENERGY CORP
3303 S CORNERSTONE RD
BUTCHER, MT 59718
307-230-2210
406-582-9892

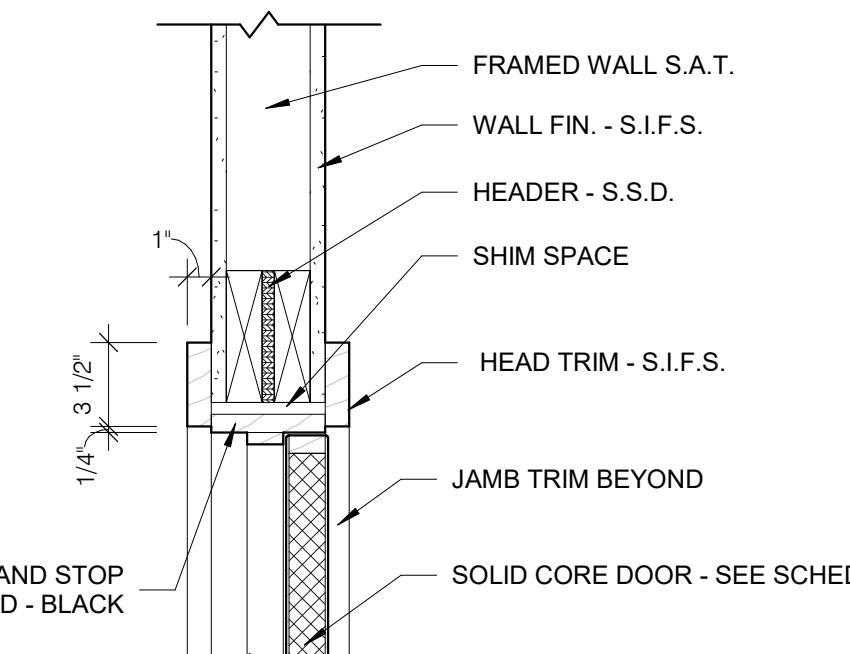
Structural:
IMC CORP
SUITE 43 STONERIDGE DR
BOZEMAN, MT 59715
P-406-582-9801 F-
406-582-9892



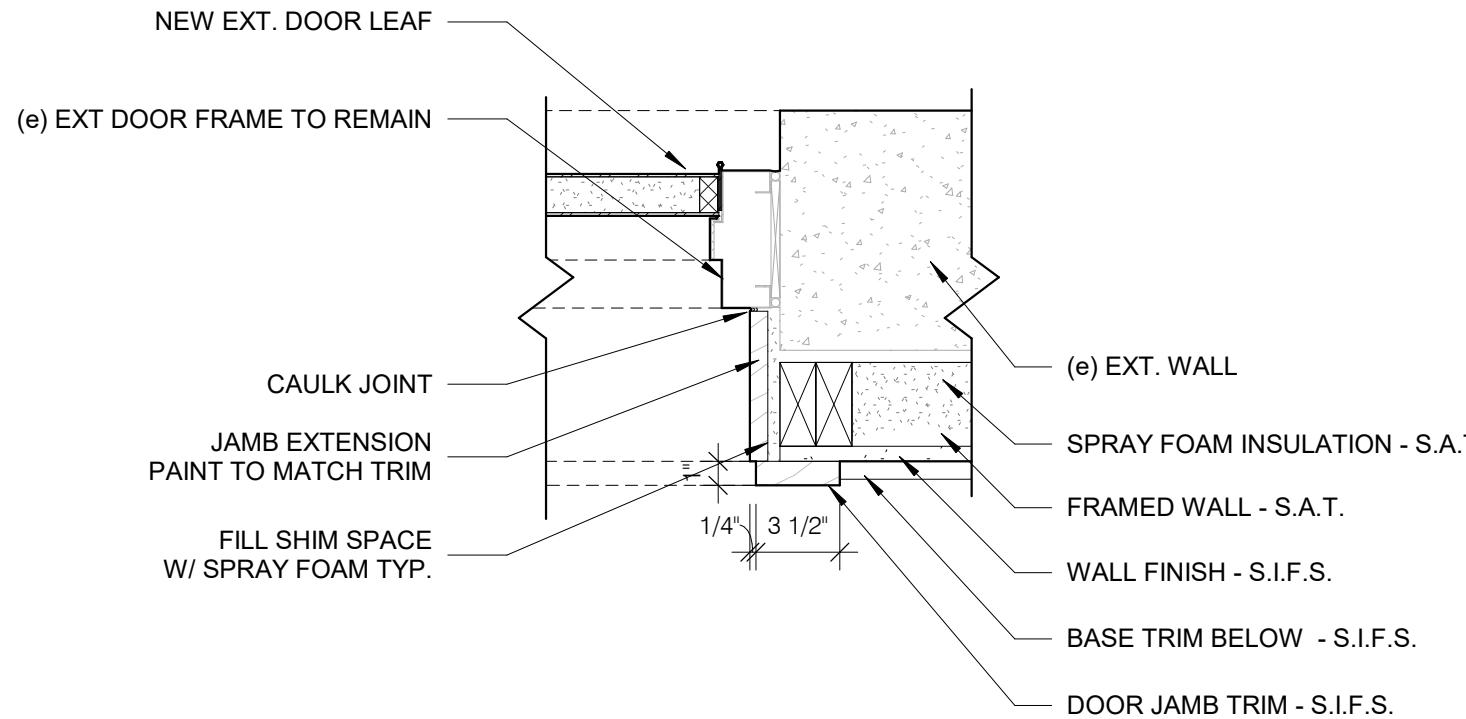
A5.1



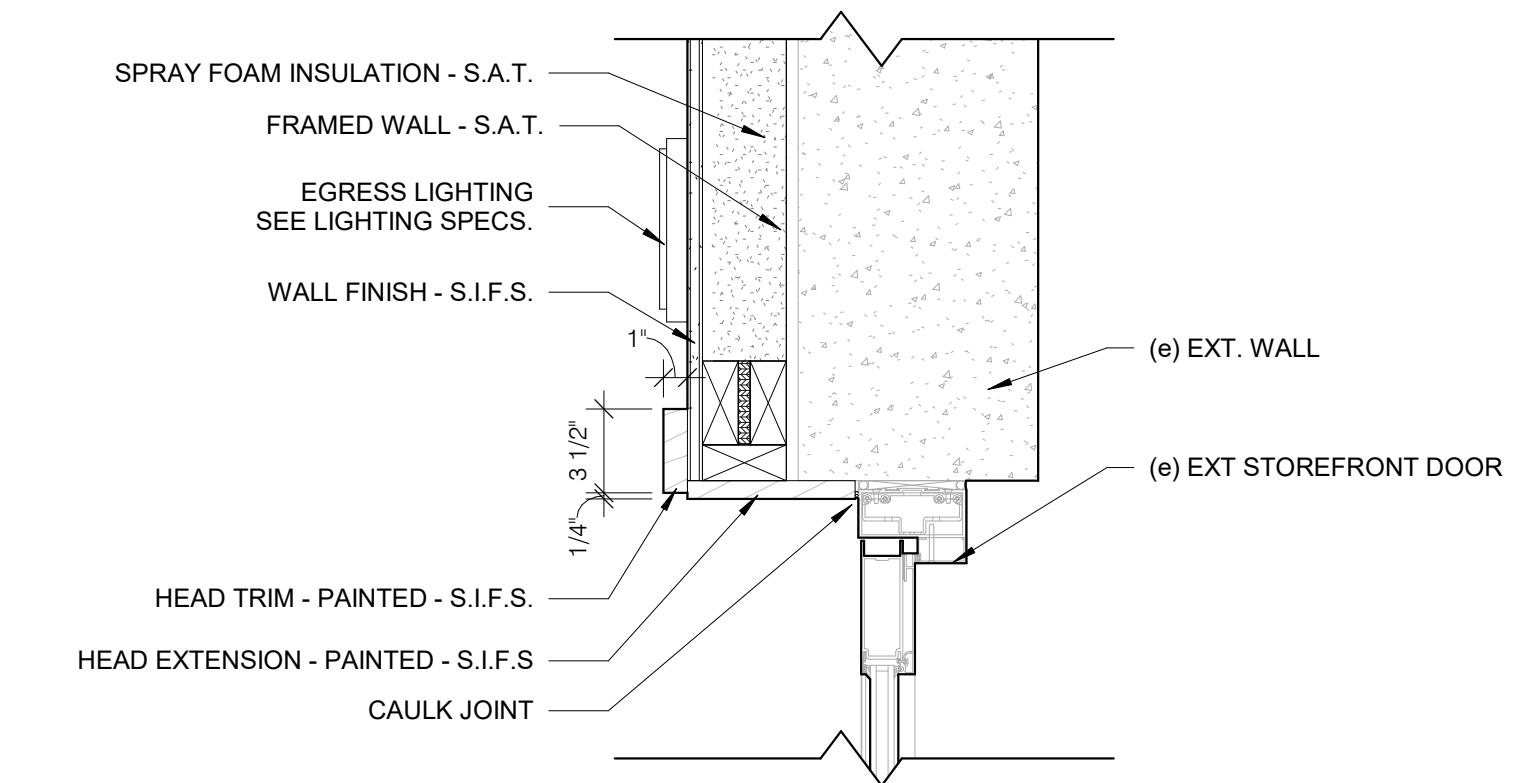
10 TYP. BASE TRIM
 $3'' = 1'-0''$



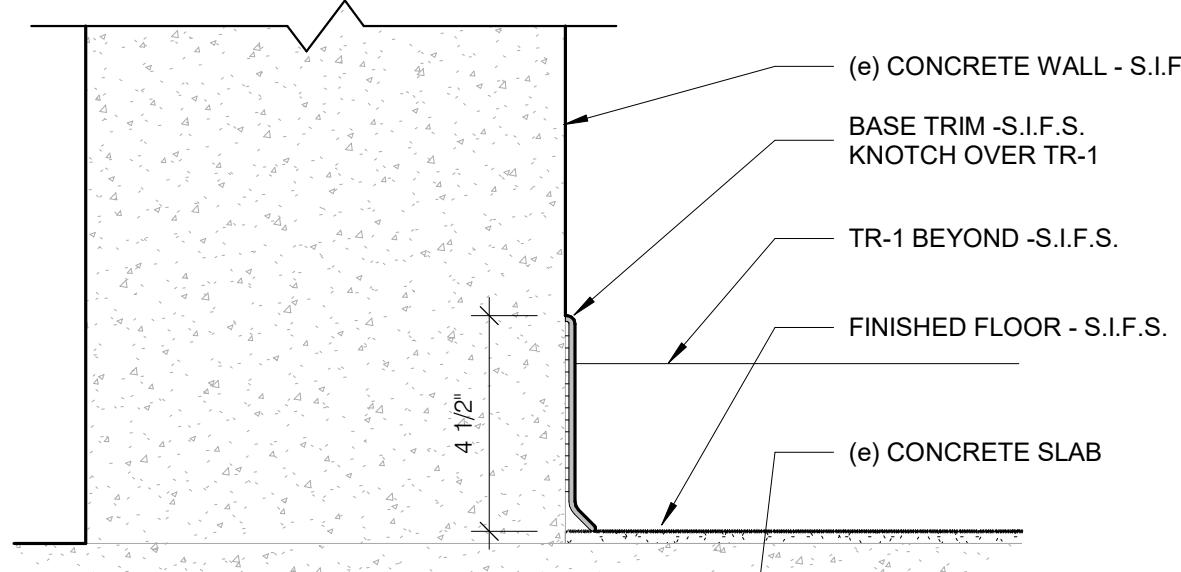
7 TYP. INT. DOOR HEAD SEC.
 $1 1/2'' = 1'-0''$



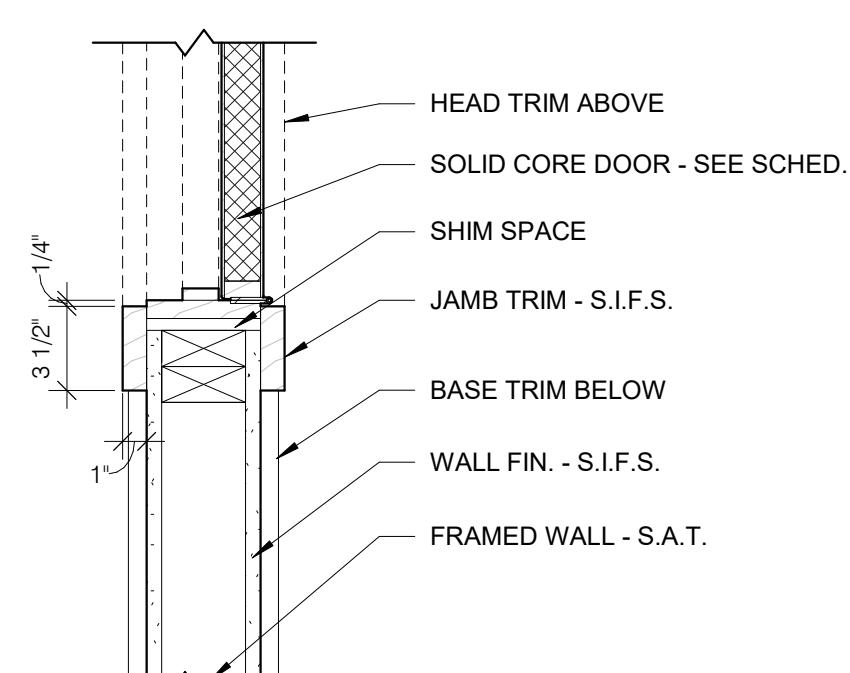
4 DOOR JAMB @ EXT. METAL SWING DOOR
 $1 1/2'' = 1'-0''$



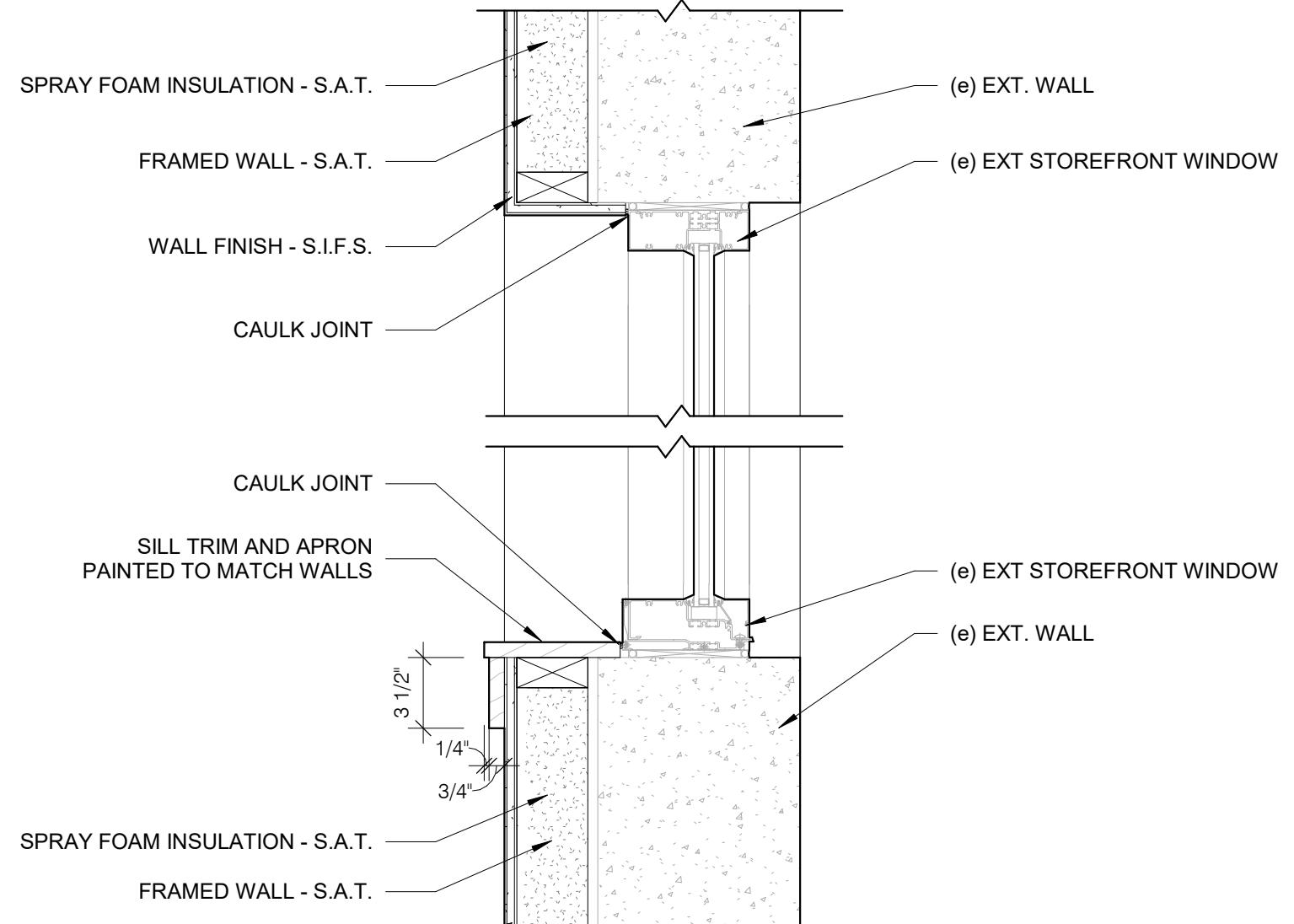
1 SEC. DTL @ (e) STOREFRONT DOOR
 $1 1/2'' = 1'-0''$



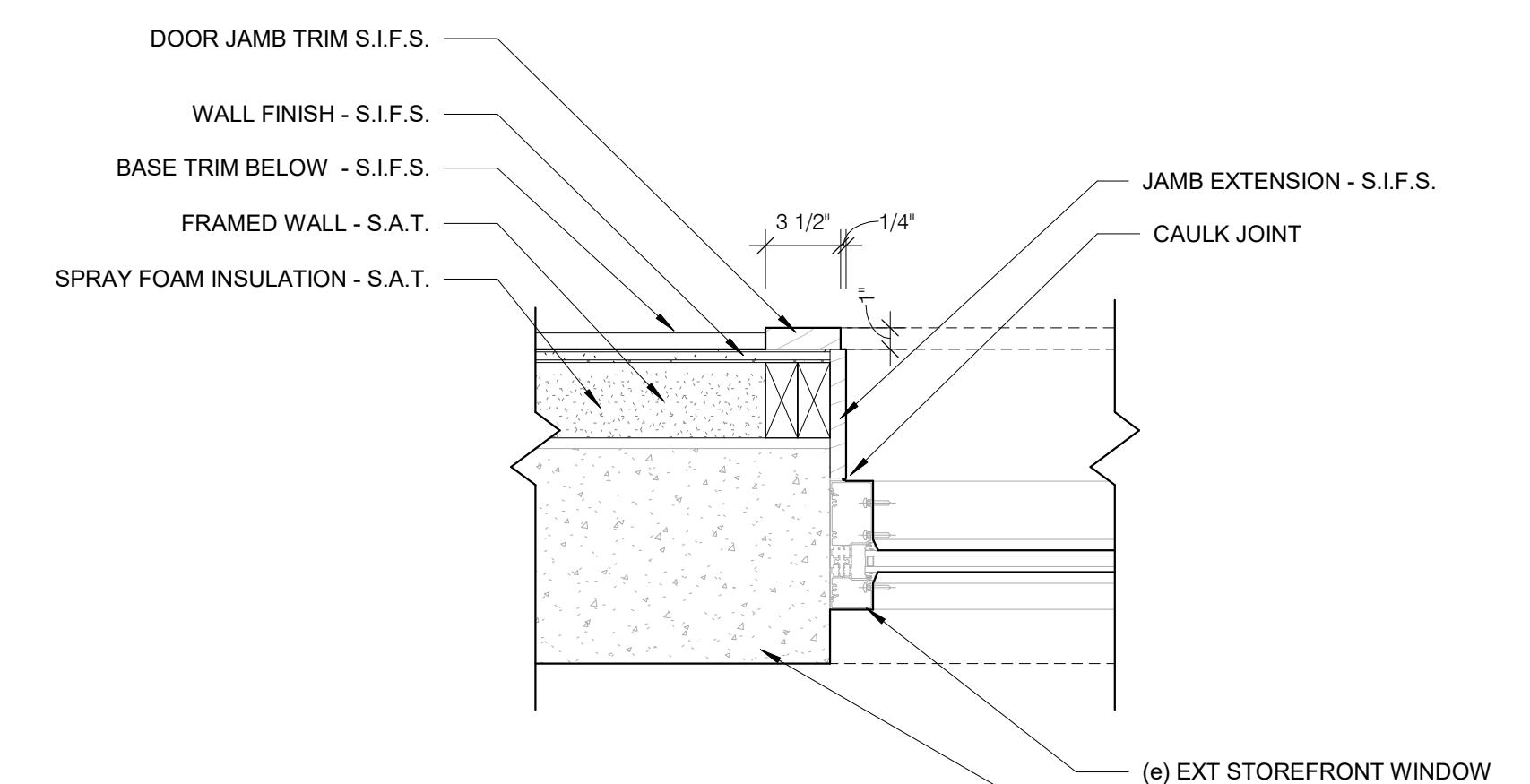
11 BASE TRIM @ CONC. WALL
 $3'' = 1'-0''$



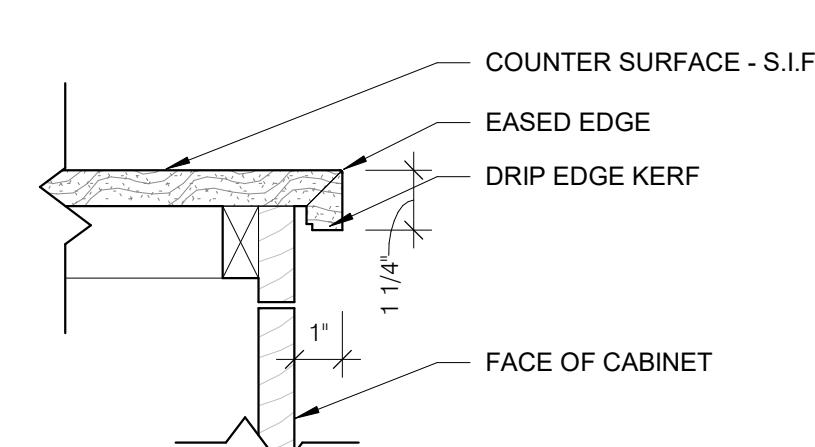
8 TYP. INT. DOOR JAMB @ GYP BD. / GYP BD.
 $1 1/2'' = 1'-0''$



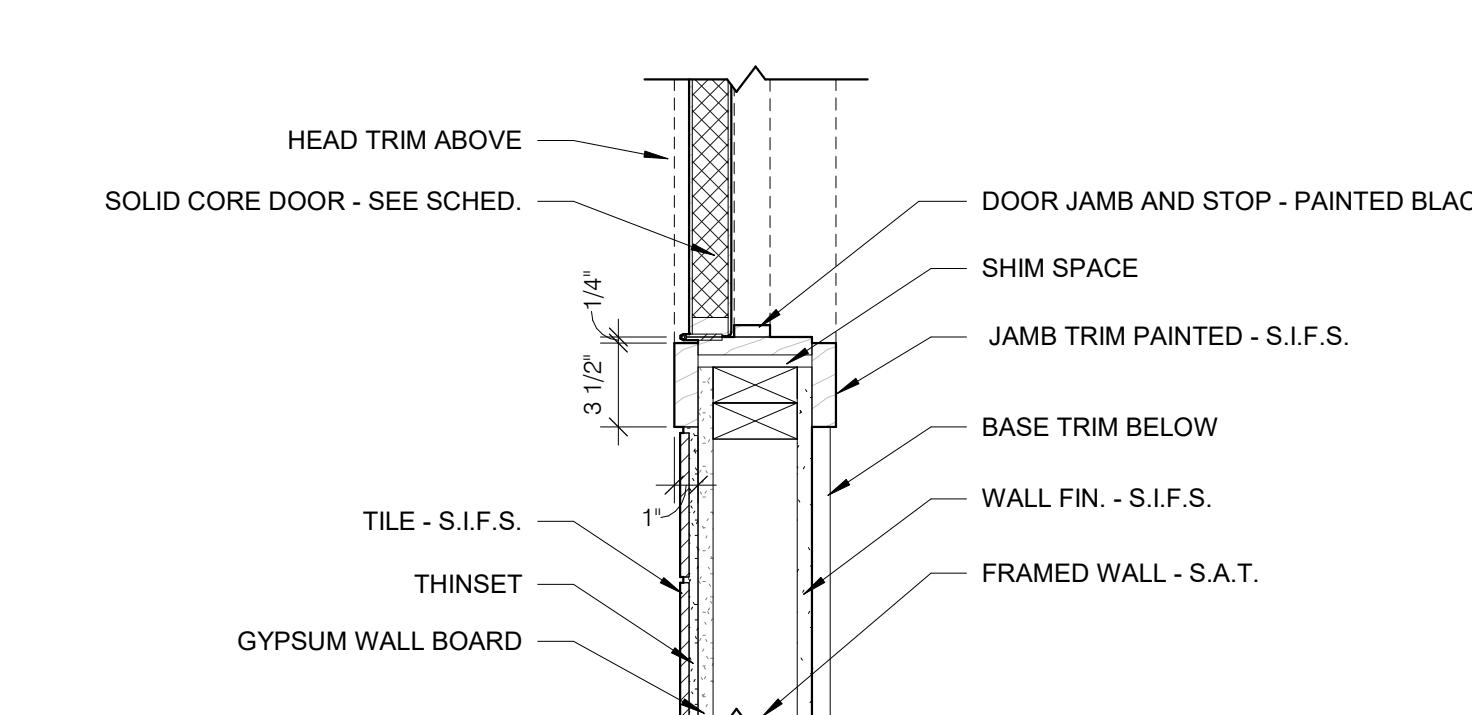
5 TYP. WINDOW SEC. @ HEAD/SILL
 $1 1/2'' = 1'-0''$



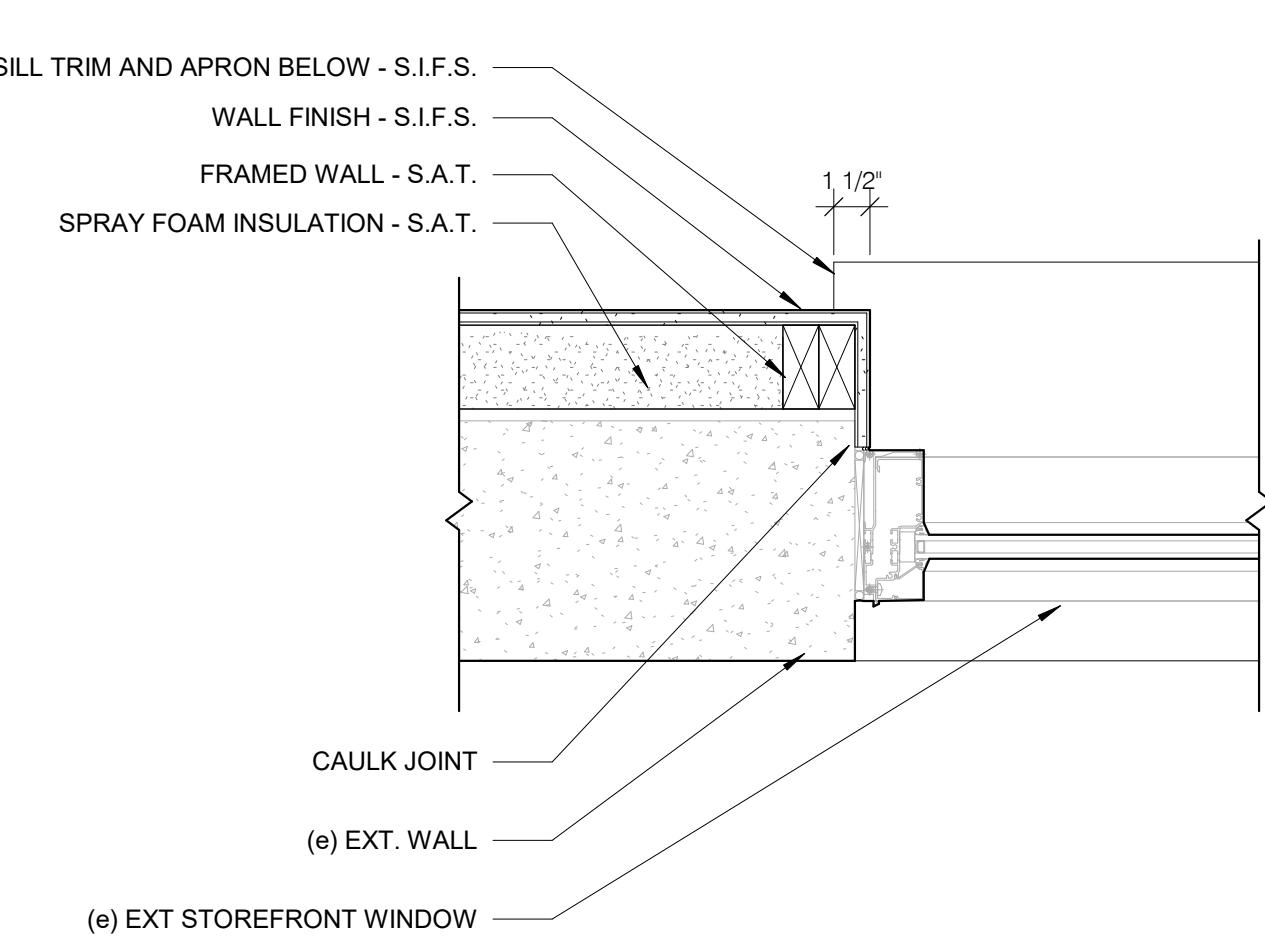
2 JAMB @ (e) STOREFRONT DOOR
 $1 1/2'' = 1'-0''$



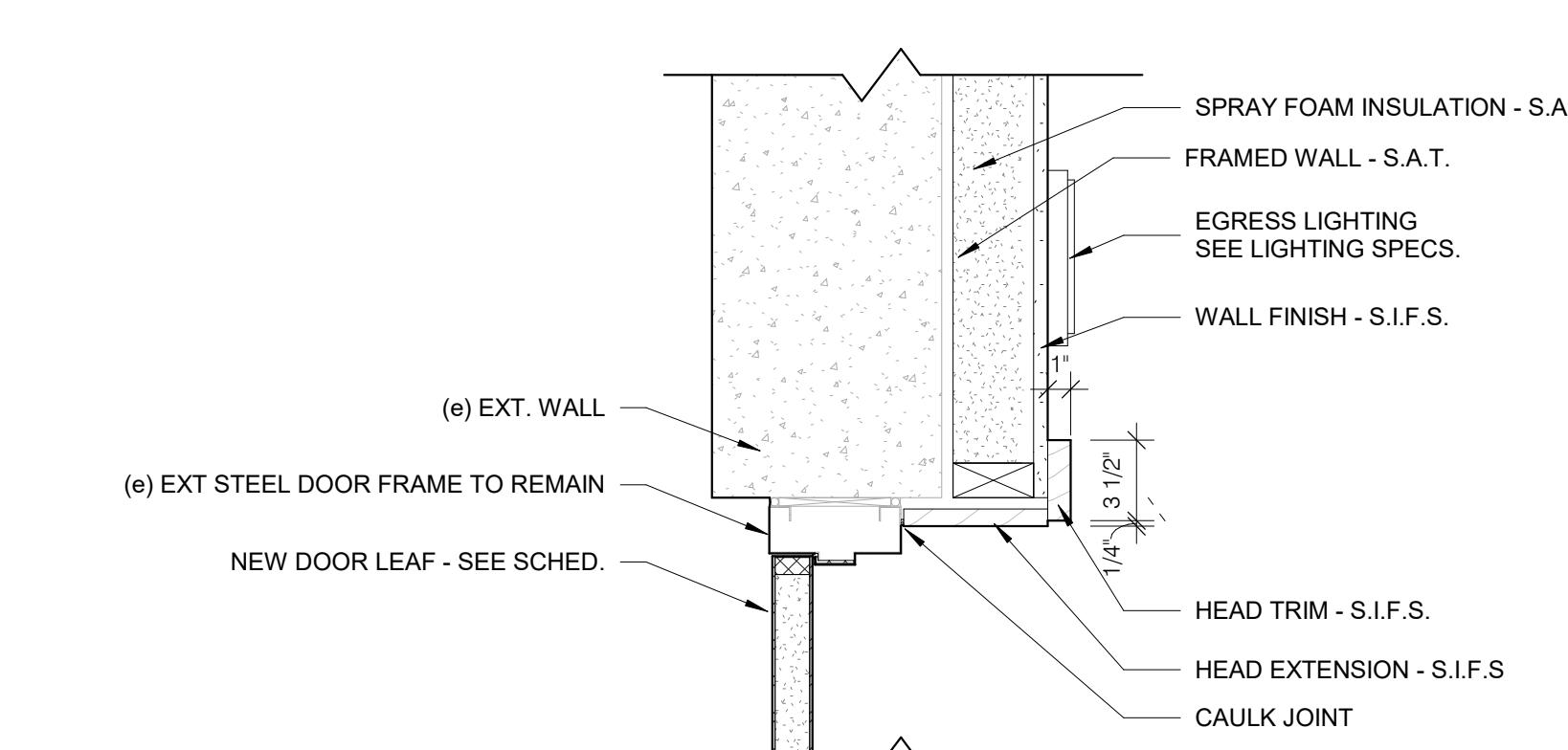
12 TYP. COUNTER TOP NOSING DETAIL
 $3'' = 1'-0''$



9 TYP. INT. DOOR JAMB @ GYP BD. / TILE
 $1 1/2'' = 1'-0''$

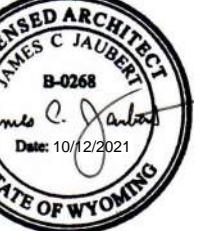


6 TYP. WINDOW JAMB
 $1 1/2'' = 1'-0''$



3 SEC. DTL. @ EXT. METAL DOOR
 $1 1/2'' = 1'-0''$

Project:
STORFD.2
1705 High School Rd # 130
Jackson, WY 83001
Architect: Atelier 43 LLC
mail: P.O. Box 4055
office: 610 N. Jackson Ave #103
Jackson, WY 83001
phone: 307-248-8656

 B-0268 Date: 10/12/2021		ISSUANCE	DATE
		#	DESCRIPTION
		BUILDING PERMIT	23.10.11

Drawn by: ENLARGED PLANS & INTERIOR ELEVATIONS
Date: 2023.04.23

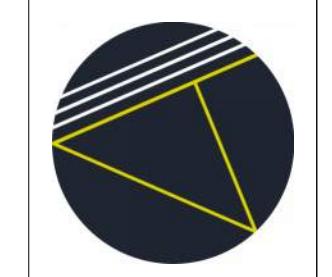
Mechanical: ENERGY STAR CORNERSTONE RD
3303 CORNERSTONE RD
BUCKINGHAM, NY 10501
307-220-2210

Civil: N/A

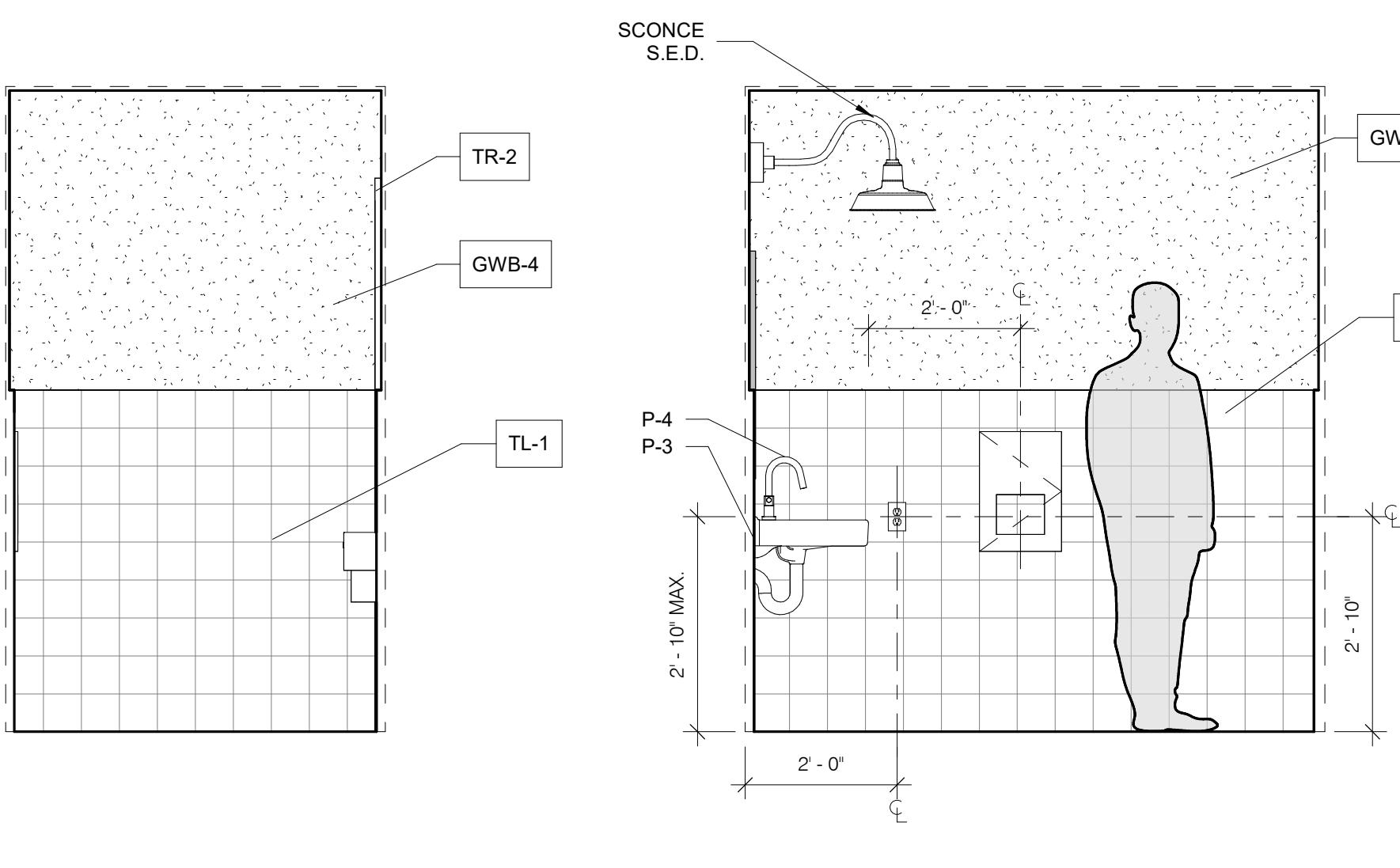
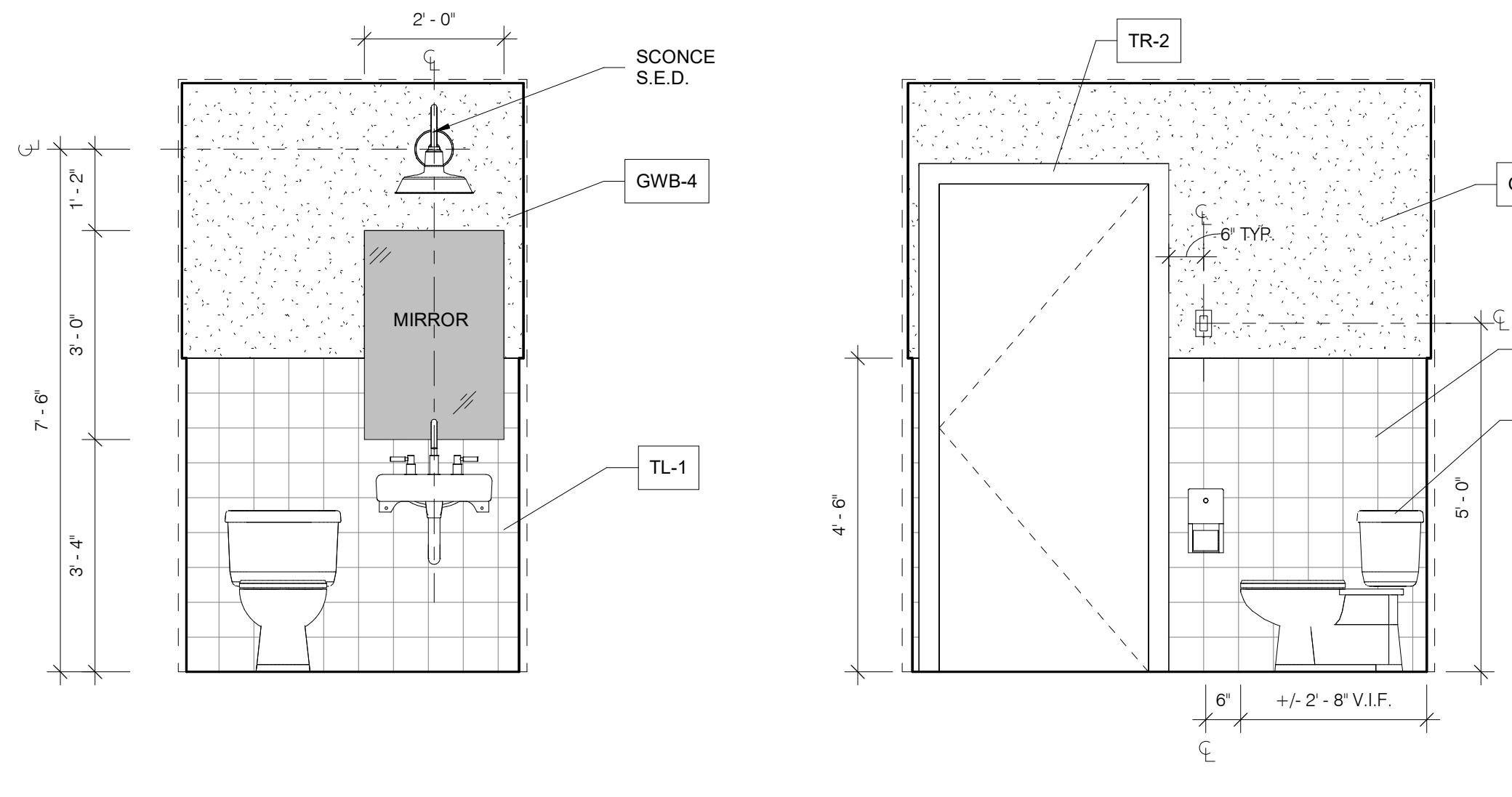
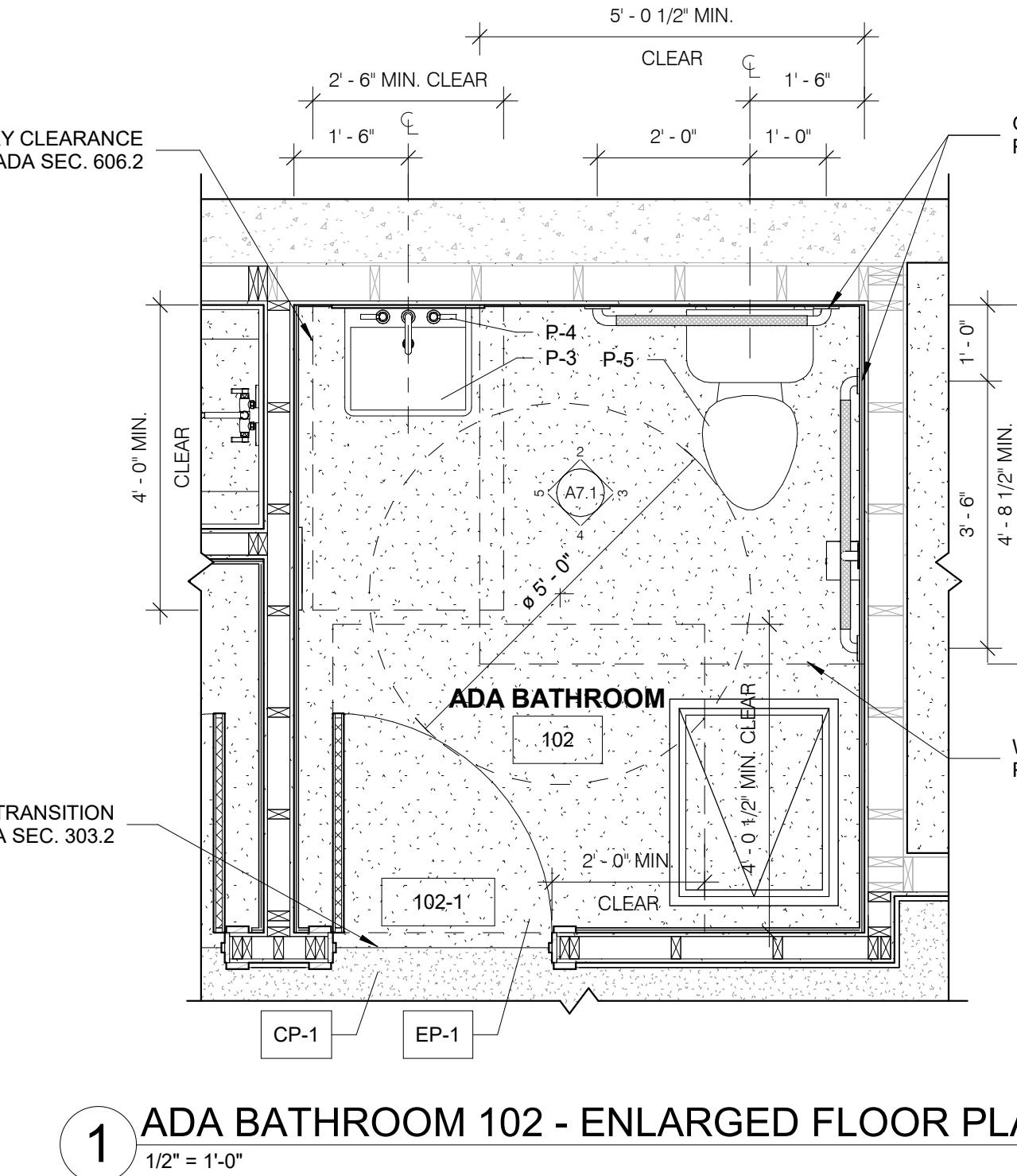
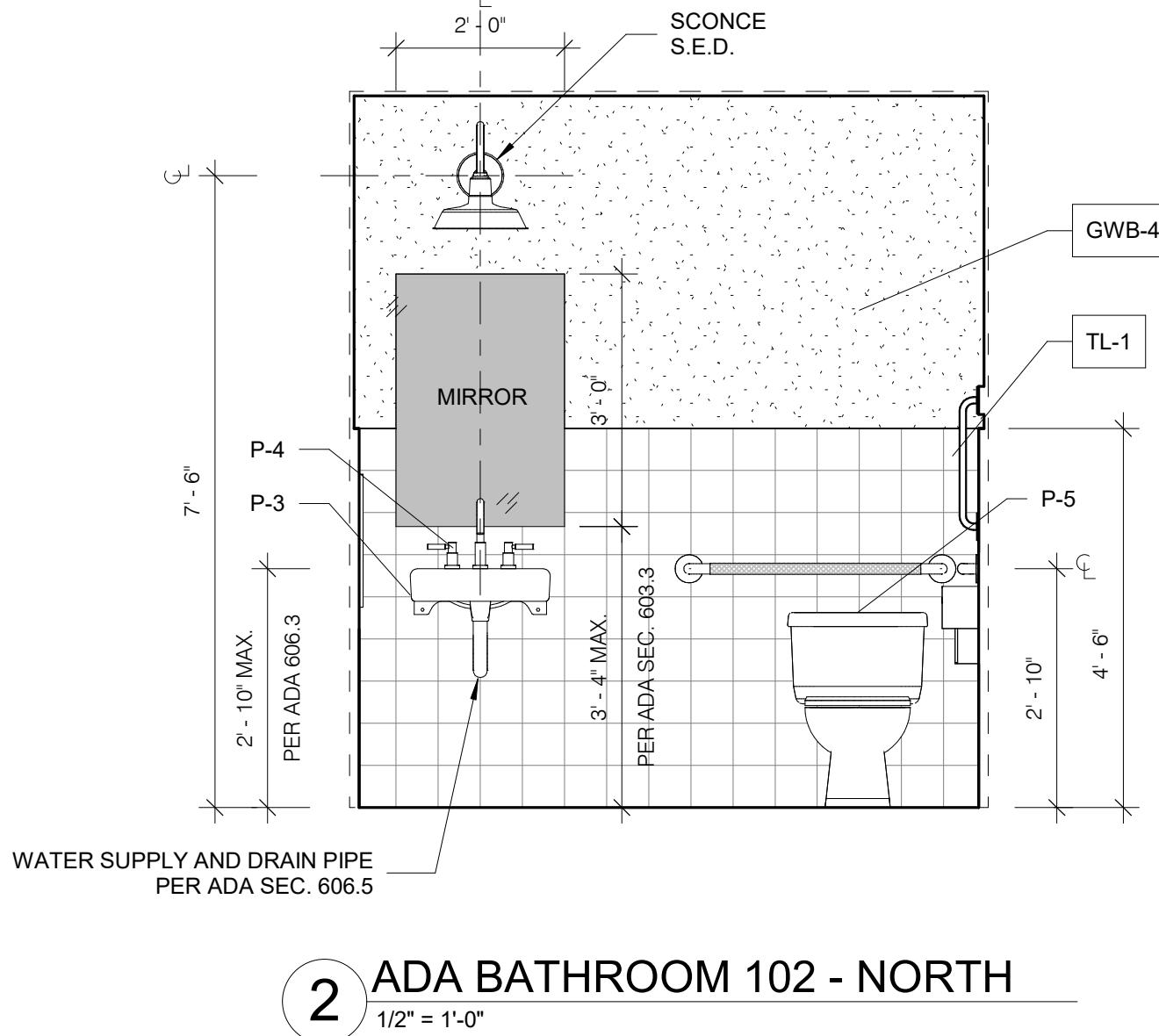
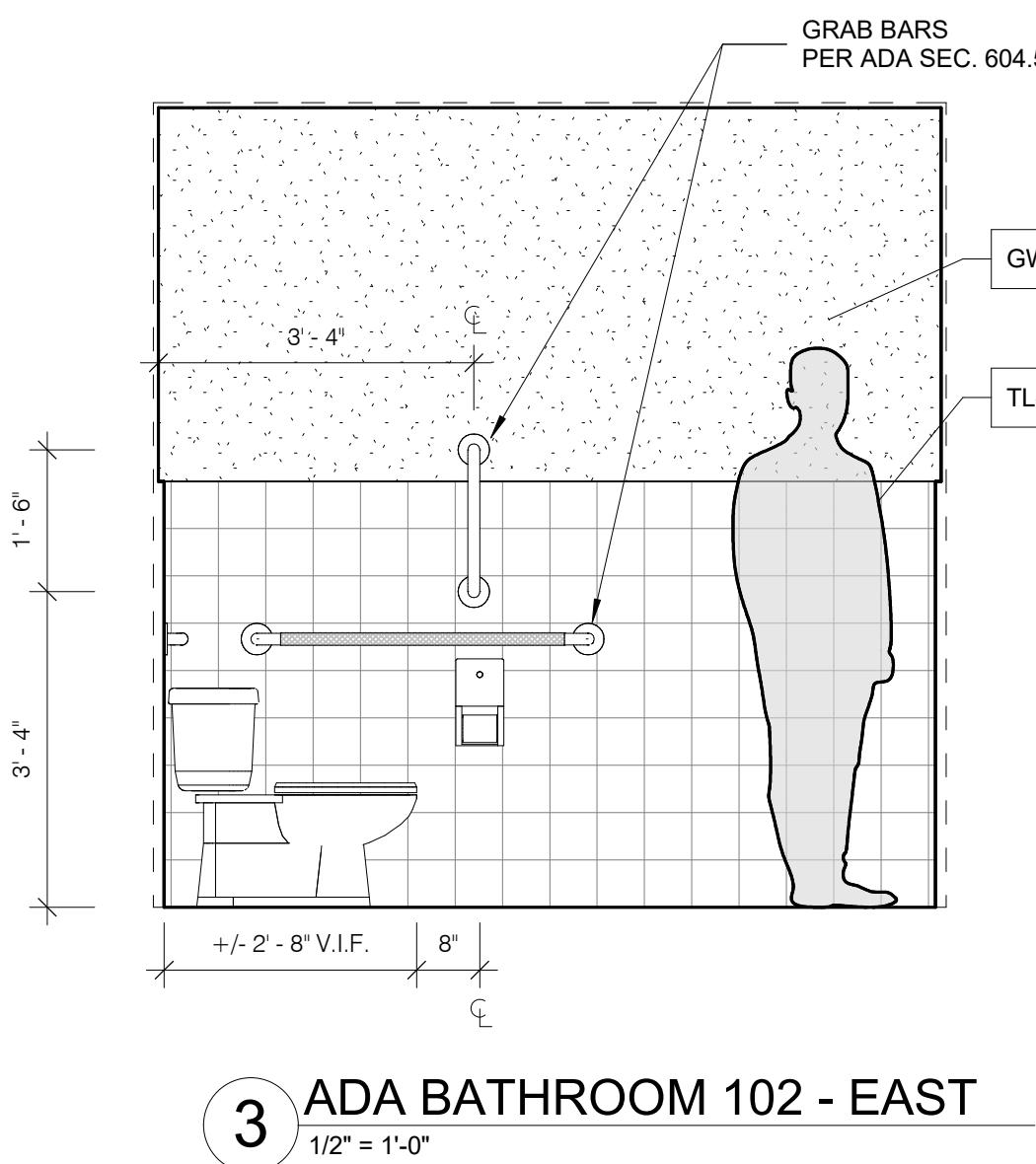
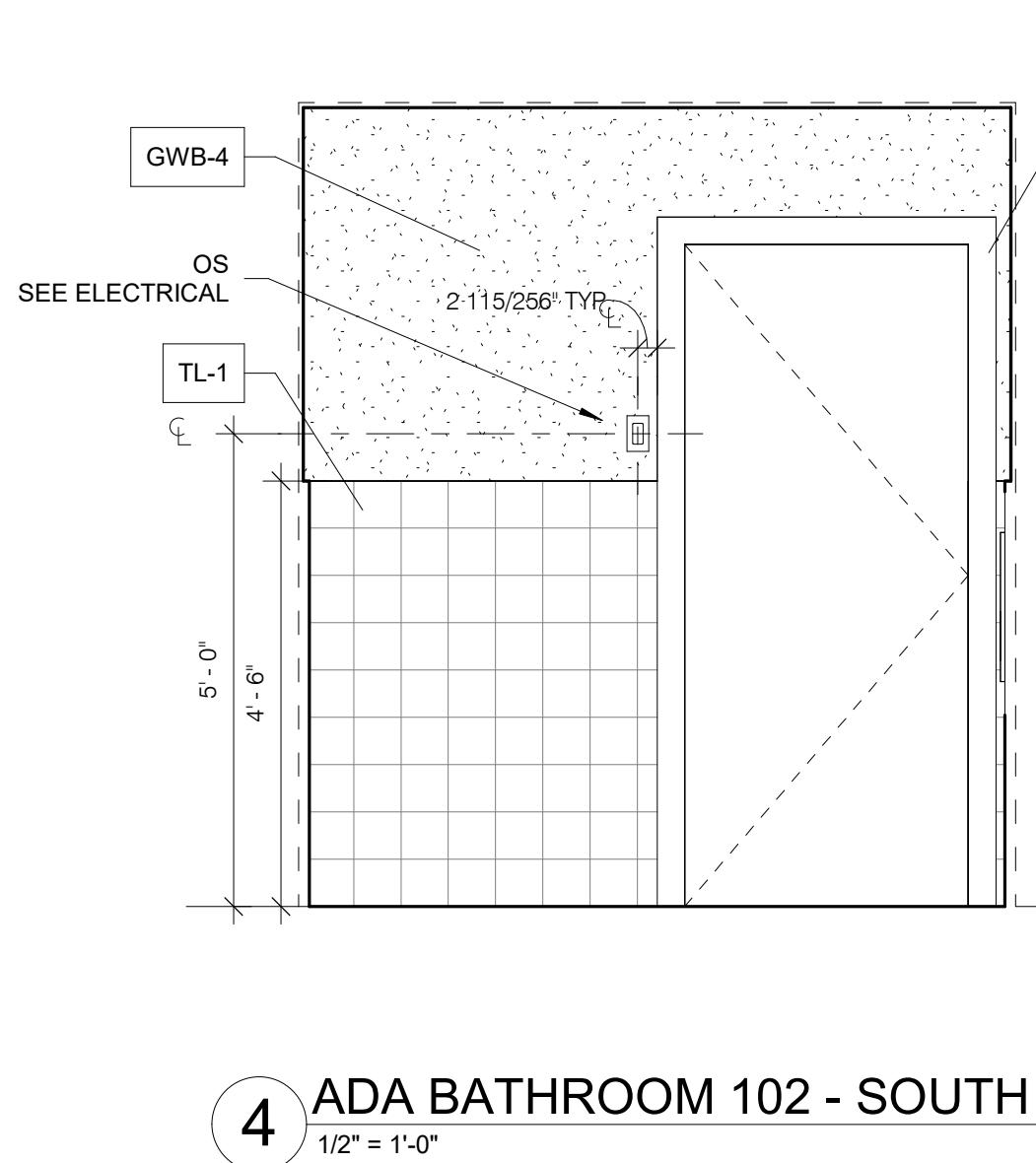
Structural: N/A

Architect: STORHD, LLC
1715 High School Rd # 130
Jackson, WY 83001

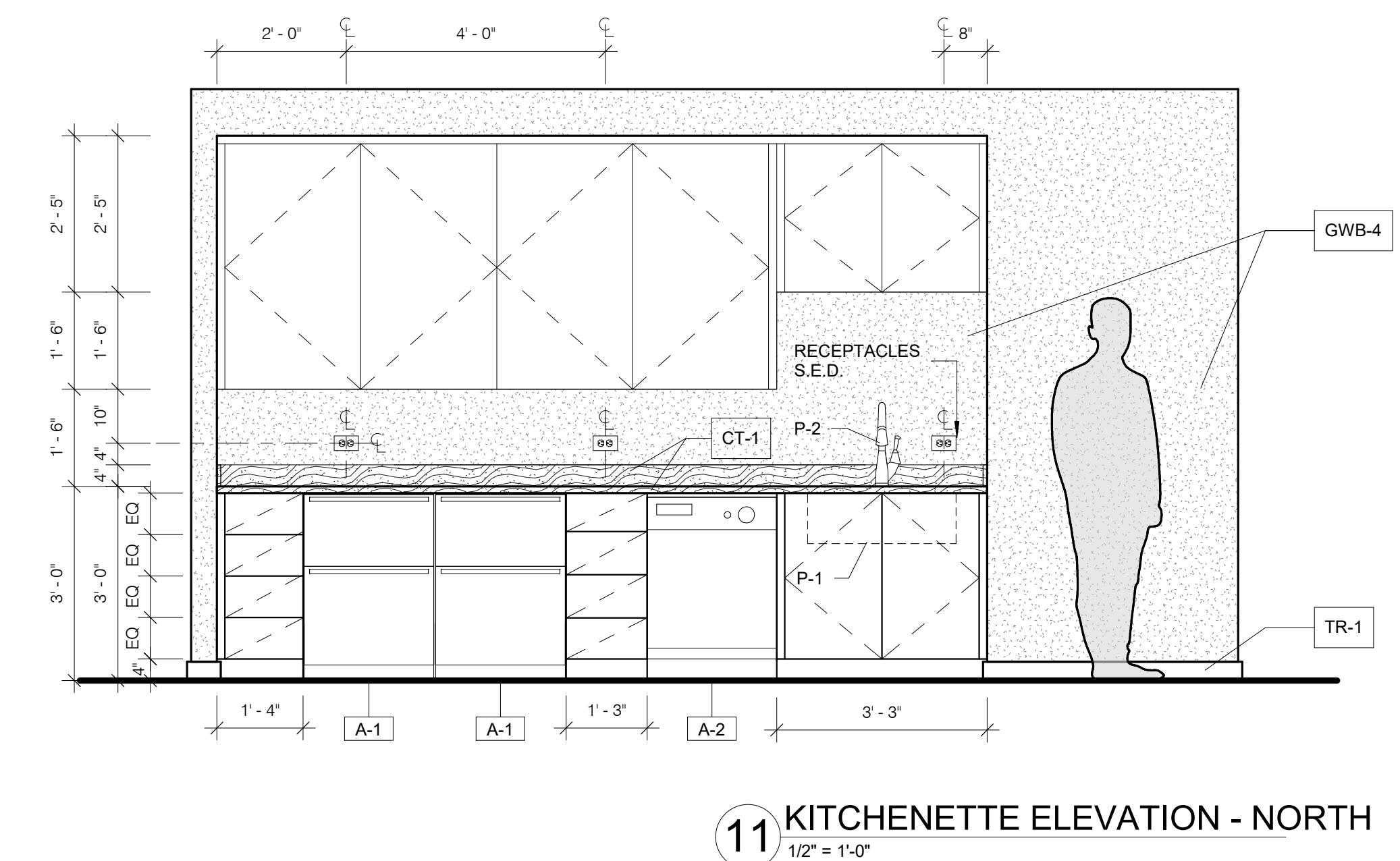
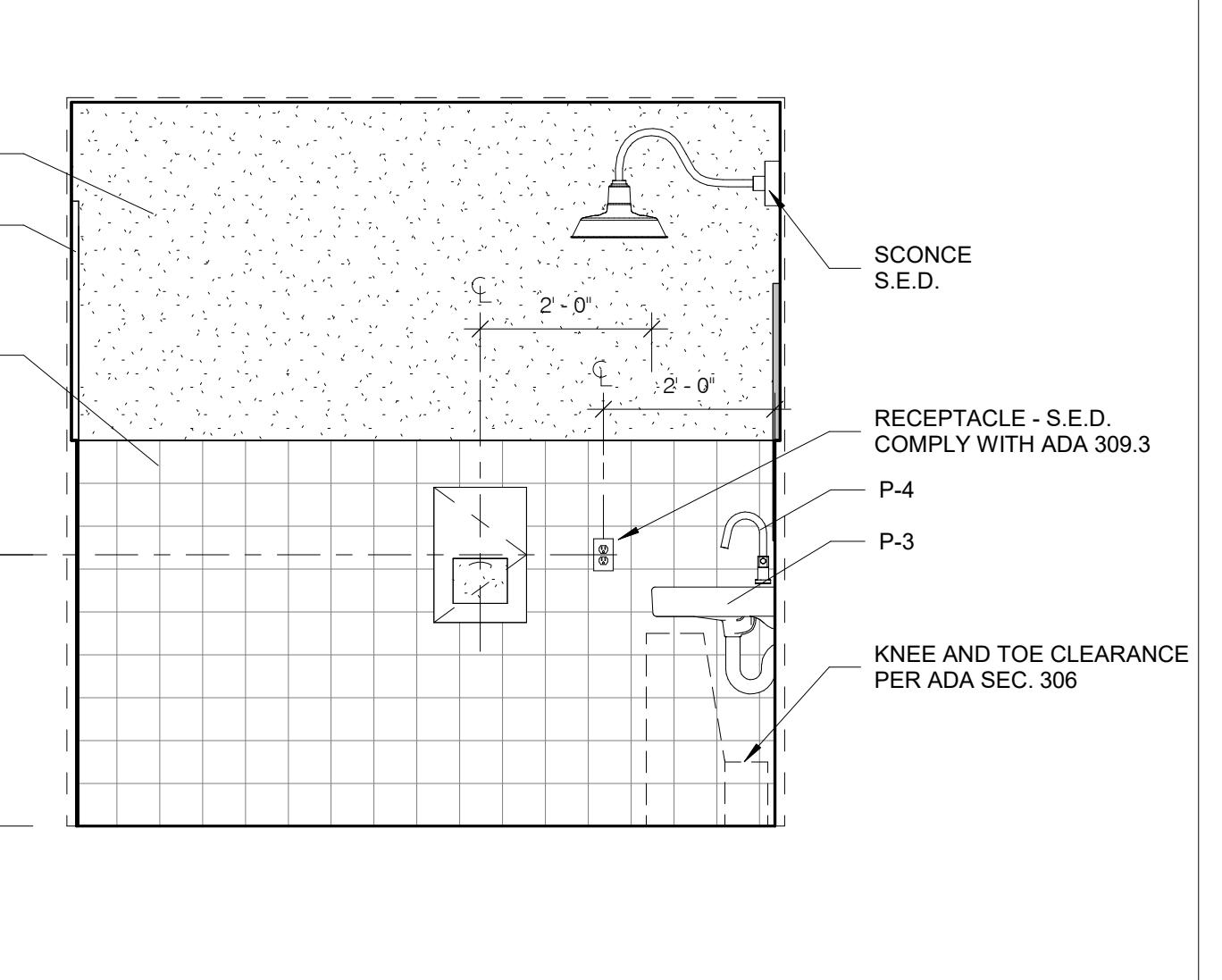
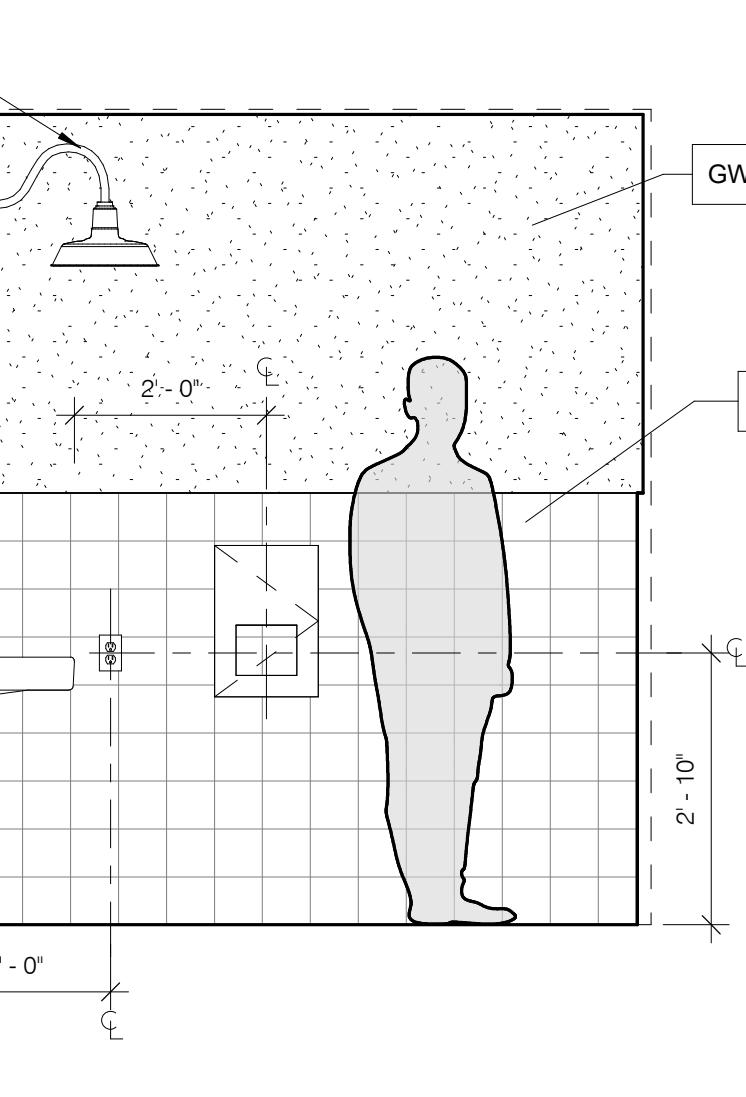
Atelier 43 LLC
mail: PO Box 4055
office: 610 2nd Ave # 103
Jackson, WY 83001
phone: 307-248-8656



A7.1



8 BATHROOM 101 - EAST
1/2" = 1'-0"



INTERIOR ELEVATION NOTES:

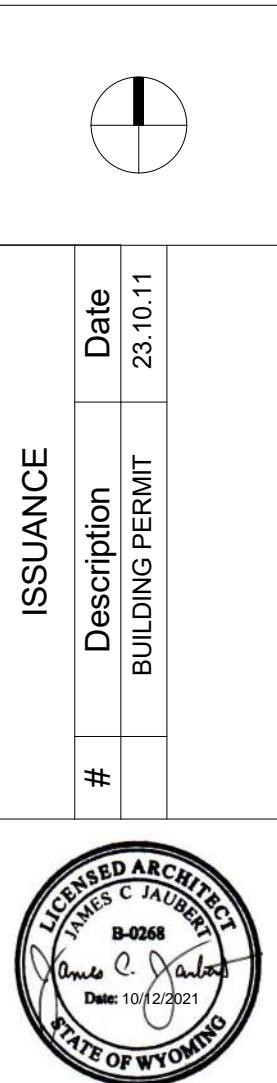
1. MILLWORK SUB-CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
2. SUB-CONTRACTOR TO SUBMIT WOOD, STAIN, AND FINISH SAMPLES FOR APPROVAL.
3. REFER TO INTERIOR FINISH TYPES FOR INTERIOR FINISHES.
4. REFER TO APPLIANCE SCHEDULE FOR APPLIANCES.
5. REFER TO PLUMBING SCHEDULE FOR PLUMBING FIXTURES.
6. MILLWORK SUB-CONTRACTOR TO V.I.F. ALL WALL LENGTHS AFTER ROUGH FRAMING.
7. ARCHITECT TO REVIEW ROUGH-IN LOCATIONS IN FIELD FOR DESIGN INTENT.

MATERIAL FINISH LEGEND:

CP-1	CARPET TILE	TL-1	TILE
CONC-1	CARPET TILE	CT-1	COUNTER SURFACE
EP-1	EPOXY FLOORING	TR-1	BASE TRIM
GWB-2	LEVEL 2 DRYWALL	TR-2	DOOR TRIM
GWB-3	LEVEL 3 DRYWALL	TR-3	WINDOW SILL TRIM
GWB-4	LEVEL 4 DRYWALL	TR-4	BASE TRIM

ENLARGED PLAN NOTES:

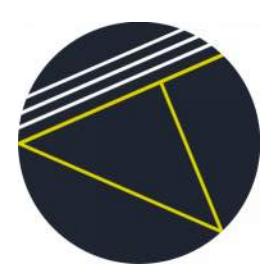
1. DRAWINGS ARE SHOWN TO SCALE AS NOTED AS AIDS IN DETERMINING SIZE AND PROPORTION. ONLY WRITTEN DESCRIPTIONS AND SIZES SHALL BE UTILIZED FOR CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ON PLANS ARE TO FACE OF FRAMING.
3. FIXTURES AND EQUIPMENT SHOWN ARE FOR COORDINATION PURPOSES ONLY. REFER TO THE MANUFACTURER'S PRODUCT DATA, ENGINEERING DRAWINGS AND SPECIFICATIONS FOR FIXTURE AND EQUIPMENT DESCRIPTIONS AND LOCATIONS.
4. PRESERVE ADJACENT OR EXISTING CONSTRUCTION. AVOID DAMAGE TO EXISTING STRUCTURES, SIDEWALKS, CURBS, PAVING AND LANDSCAPING. PATCH, REPAIR OR REPLACE ANY ITEMS DAMAGED, OR AS DIRECTED BY THE PROPERTY OWNER.
5. AVOID UNNECESSARY DISRUPTIONS TO THE FUNCTIONS AND ACTIVITIES OF ADJACENT BUILDINGS.
6. CAREFULLY REVIEW ALL CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION. BRING DISCREPANCIES OR CONFLICTING DATA TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
7. INSTALL PORTABLE FIRE EXTINGUISHER CABINETS SO HANDLE IS NO MORE THAN 48" A.F.F.



ISSUANCE
Description Date
BUILDING PERMIT

Mechanical: ENERGY CORP
3505 CORNERSTONE RD
BUCKSON, WY 83001
307-220-2210
406-582-9892

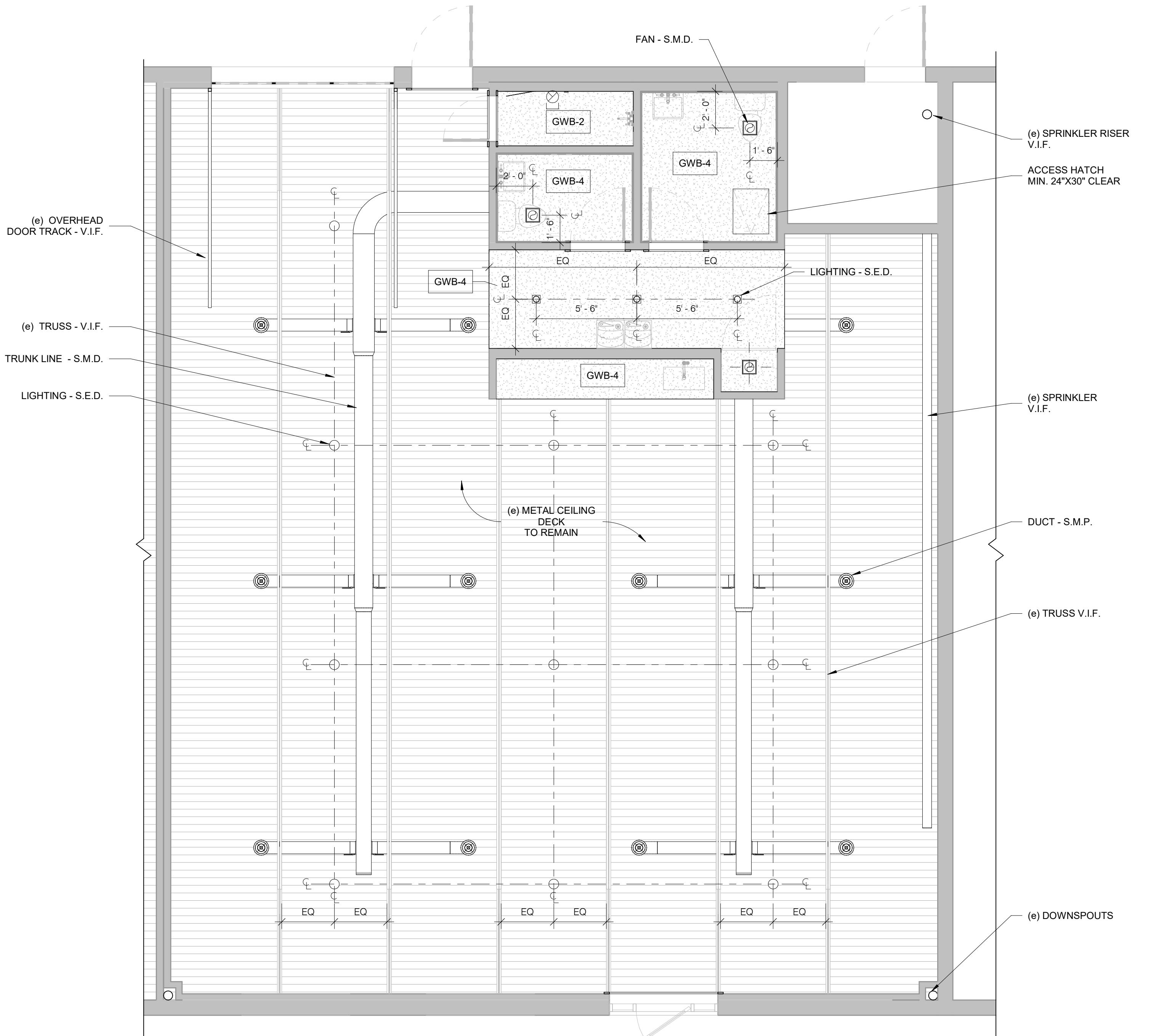
Architect: Atelier 43 LLC
mail: PO Box 4055
63001
office: 63001
Jackson, WY 83001
phone: 307-246-8656



A8.1

RCP NOTES:

1. COORDINATE ANY DISCREPENCIES WITH ARCHITECT.
2. REFER TO INTERIOR FINISH TYPES FOR INTERIOR FINISHES.
3. REFER TO MEP DRAWINGS FOR DUCT/EQUIPMENT LAYOUTS, SPECIFICATIONS AND SIZES.
4. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SPECIFICATIONS AND LAYOUT. CENTERLINES SHOWN ON RCP ARE FOR DESIGN INTENT.
5. REFER TO INTERIOR ELEVATIONS FOR ALL FIXTURE HEIGHTS.
6. ARCHITECT AND GC TO REVIEW ROUGH-IN LOCATIONS IN FIELD FOR DESIGN INTENT.
7. G.C. TO COORDINATE SECURITY SYSTEM WIRING AND LOCATIONS WITH OWNER.
8. SECURITY SYSTEM DESIGN AND SPECIFICATIONS BY OWNER.
9. WHERE REQUIRED G.C. TO COORDINATE ACCESS PANELS AND SIZES WITH SUBCONTRACTORS. PROVIDE MINIMUM WORKING CLEARANCES PER NEC.
10. CONCEAL ALL ELECTRICAL CONDUITS RACEWAYS AND CABLING IN WALLS ABOVE CEILING OR BELOW FLOORS, IF CONCEALED RACEWAYS ARE NOT POSSIBLE AND SURFACE RACEWAYS ARE REQUIRED, COORDINATE WITH ARCHITECT PRIOR TO COMMENCING WORK.
11. WHERE APPLICABLE, ADJUST AND SUPPLEMENT EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED TO COMPLY WITH APPLICABLE FIRE CODE. FIELD VERIFY EXISTING LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.



2 MAIN FLOOR - RCP
1/4" = 1'-0"

A8.1



Memorandum

PROJECT NAME: STIO

SUBJECT: Basic Use Narrative - Stio

TO: Town Of Jackson Planning Department

FROM: A43 Architecture

DATE: October 19, 2023

DISTRIBUTION

Name	Title	Affiliation
Paul Anthony	Planning Director	Town of Jackson
Tyler Valentine	Senior Planner	Town of Jackson
Katelyn Page	Associate Planner	Town of Jackson
Chris Jaubert	Principal Architect	A43 Architecture
Reed Duggan	Project Manager	A43 Architecture

Project location: 1705 High School Rd. # 130, 22-40-165-06-1-003

Zone: BP

Current Commercial Use: Daycare

Current Square Footage: 1971 sf

Stio has taken over one tenant space on the ground level of Flat Creek Business Center. Located at 1735 High School Rd, Unit 130, Jackson WY 83001. Stio is proposing renovation to the interior space.

The previous uses were light industry, as an audio/video showroom, followed more recently by a use as daycare. This project consists of changing the use back to light industry (warehouse)

Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Light Industry	0.000123*sf	0	1971	1	0.242

Existing Workforce Housing Credit 0.242

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Light Industry	0.000123*sf	0	1971	1	0.242

Affordable Workforce Housing Required: 0.000 units

Fee-in-Lieu Amount: \$ -

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).