



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson Public Works/Engineering Building Title Company Town Attorney Police**Joint Town/County** Parks and Recreation Pathways Joint Housing Dept**Teton County** Planning Division Engineer Surveyor- *Nelson* Assessor Clerk and Recorder Road and Levee**State of Wyoming** Teton Conservation WYDOT TC School District #1 Game and Fish DEQ**Federal Agencies** Army Corp of Engineers**Utility Providers** Qwest Lower Valley Energy Bresnan Communications**Special Districts** START Jackson Hole Fire/EMS Irrigation Company

Date: October 5, 2023

Item #: P23-178

Planner: Katelyn Page

Phone: 733-0440 ext. 13025

Email: kpage@jacksonwy.gov**Owner**

SSDA, LLC

PO Box 3393

Jackson, WY 83001

Applicant

Phuong Huynh

PO Box 10144

Jackson, WY 83002

REQUESTS:

The applicant is submitting a request for a Basic Use Permit for service use at the property located at 1160 Alpine Ln Unit 1F legally known as LOT 5, BISHOP ADDITION.

For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by:**October 25, 2023 (with Comments)**

RESPONSE: For Departments not using SmartGov, please send responses via email to:
planning@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Nails & Spa by Tara
Physical Address: 1160 Alpine Ln Ste 1-1F, Jackson, WY 83001
Lot, Subdivision: Lot 5 of the Bishop Addition PIDN: 22-41-16-32-1-20-002

PROPERTY OWNER.

Name: SSDA, LLC Phone: 307-733-5881
Mailing Address: PO Box 3393, Jackson, WY ZIP: 83001
E-mail: scott@scottsre.com and henley@scottsre.com

APPLICANT/AGENT.

Name: Phuong Huynh Phone: 408-505-5139
Mailing Address: PO Box 10144, Jackson, WY ZIP: 83002
E-mail: phuonghuynh_84@yahoo.com

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit	Physical Development	Interpretations
<input checked="" type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input type="checkbox"/> Design Review	Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	Miscellaneous
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____

Environmental Analysis #: _____

Original Permit #: _____

Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent

Phuong Huynh

Name Printed

10/3/2023

Date

Owner

Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual: Scott M. Shepherd Title: Managing Member

Being duly sworn, deposes and says that SSDA, LLC is the owner in fee of the premises located at: _____ Name of legal property owner as listed on deed

Address of Premises: 1160 Alpine Ln Ste 1-1F, Jackson, WY 83001

Legal Description: Lot 5 of the Bishop Addition to the Town of Jackson Teton
Please attach additional sheet for additional addresses and legal descriptions
County, Wyoming, according to
that Plat recorded May 9, 1991 as Plat No. 720
And, that the person named as follows: Name of Applicant/agent: Phuong Huynh, Nails and Spa by Tara

Mailing address of Applicant/agent: Po Box 10144, Jackson, WY 83002

Email address of Applicant/agent: phuonghuyenb_84@yahoo.com

Phone Number of Applicant/agent: 408-505-5139

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application
 Public Right of Way Permit Grading and Erosion Control Permit Business License Application
 Demolition Permit Home Occupation Other (describe) Basic Use Permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Myshkin
Property Owner Signature Managing Member

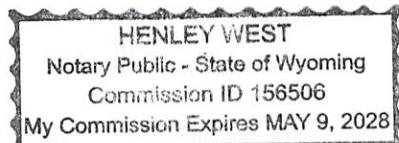
Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF WY)
COUNTY OF Teton) SS.)

The foregoing instrument was acknowledged before me by _____ this 3
day of October. WITNESS my hand and official seal.

Notary Public

My commission expires:



May 9 2028

Application for Build-Out for Nails & Spa by Tara

At 1160 Alpine Ln Ste 1-1F

Owner: SSDA, LLC

Renter/Applicant: Nails & Spa by Tara (Phuong Huynh)

Square footage will remain the same, 747 sq. ft.

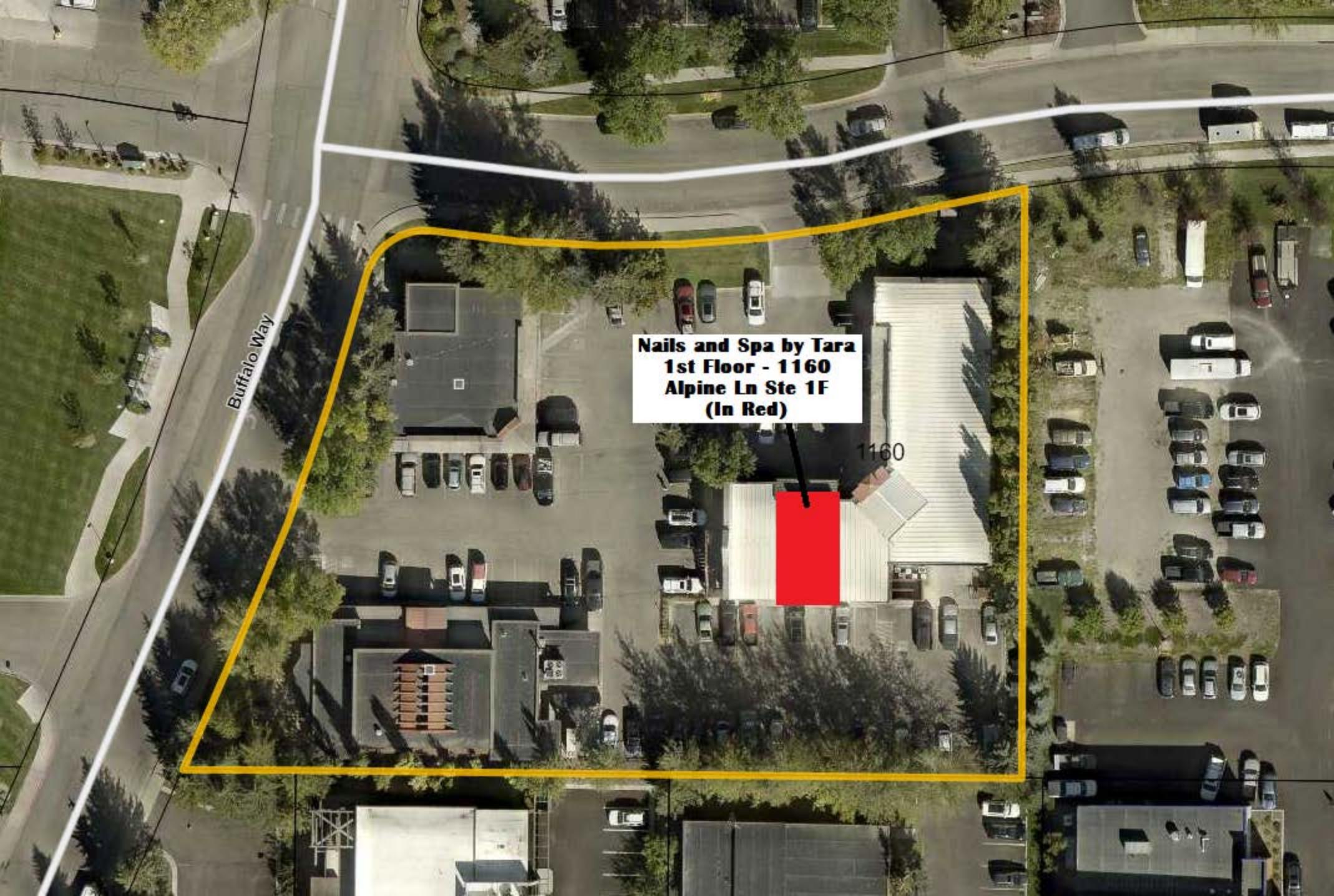
Commercial build-out for nail salon. There will be 5 pedicure chairs, and 5 manicure tables. A private room will be created, which will be used for waxes. Currently, Phuong is the only "employee" of the business. Once the commercial space is built out, then employees can be hired. They will be 1099 contractors, which is typical in this field. The typical hours for this business are 10am to 6pm. It is the hope that the business will be open every day of the week, but at first it will be open Tuesday through Saturday.

The current floorplan is open. The planned build-out will add a waxing room, and a wall in the back to allow for employee space, laundry and storage. The bathroom is not being changed. Proper ventilation will be install, as required by code, for nail salons. As well as water and sewer, and electrical for each pedicure chair. An architect and engineer have completed the plans per required codes.

Buffalo Way

Nails and Spa by Tara
1st Floor - 1160
Alpine Ln Ste 1F
(In Red)

1160



New - 2010

Business	Use	Suite No.	Pkg Std	SF	Pk Req	Notes
Pica's	rest	1A		55	836	15.2
Pica's	rest	1B				1 space per 55 SF dining area
Dr. Michael Stern	office	1C		4	1273	5.092
Dr. Michael Stern	office	1D		4	757	3.028
Blue Cross / Blue Sheild	retail	1E		4	752	3.008
Vacant	retail	1F		45	747	3.3615
Mimi LLC	salon	1G		1.5	3	4.5
Dubbe Moulder Architects	office	2A		3.3	1581	5.2173
Dubbe Moulder Architects	office	2B		3.3	800	2.64
TSV, LLC / Rick Massie	office	2C		3.3	1095	3.6135
Jackson Lodging Company	office	2D		3.3	925	3.0525
National park Conservation Association	office	2E		3.3	752	2.4816
Edward D. Jones	office	2F		3.3	747	2.4651
VR Interactive Media, LLC	office	2G		3.3	870	2.871
TOPS	med	ALL		4	7242	28.968
Vision Arts	retail	1A		4	1582	6.328
Core Pilates & Gyrotonic, LLC	retail	1B		3.3	1488	4.9104

96.7369 Not to exceed 99

82.2264

APPROVED
PLANNING DEPT.

10/12/10
P10-076

JM Sheild
SSDA, LLC

9-15-10

New - 2023

Business	Use	Suite No.	Pkg Std	SF	Pk Req	Notes
Pica's	rest	1A		55	836	15.2
Pica's	rest	1B				1 space per 55 SF dining area
Teton Oral	med	1C		4	1273	5.092
Teton Oral	med	1D		4	757	3.028
Blue Cross	retail	1E		4	752	3.008
Coldwell Banker	retail	1F		4.5	747	3.3615
Champu	salon	1G		1.5	3	4.5
Dubbe Moulder	ofc	2A		3.3	1581	5.2173
Dubbe Moulder	ofc	2B		3.3	800	2.64
Forsyth & Brown	ofc	2C		3.3	1095	3.6135
Yellowstone Coalition	ofc	2D		3.3	925	3.0525
National Parks	ofc	2E		3.3	752	2.4816
Edward Jones	ofc	2F		3.3	747	2.4651
Solid Masonry	ofc	2G		3.3	870	2.871
TOPS	med	ALL		4	7242	28.968
Hole Family Eye	med	1A		4	1582	6.328
Core Pilates	ofc	1B		3.3	1488	4.9104
					96.7369	Not to exceed 99
					82.22637	

NAILS & SPA BY TARA

1160 ALPINE LANE, SUITE 1-F, JACKSON, WYOMING

GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EXECUTING WORK IN CONFORMANCE WITH THE 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) AND ALL OTHER AGENCY REGULATIONS IN EFFECT AT THE TIME OF APPROVAL.
- THE GENERAL CONTRACTOR MUST SUBMIT A DETAILED PROJECT SCHEDULE AT THE BEGINNING OF THE PROJECT. ANY SIGNIFICANT CHANGES WHICH WOULD ALTER THAT INITIAL SCHEDULE MUST BE DOCUMENTED IN A REVISED SCHEDULE.
- THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED BUILDING PERMITS AND AGENCY APPROVALS.
- THE GENERAL CONTRACTOR MUST INSPECT THE SITE BEFORE BEGINNING WORK AND IDENTIFY CONFLICTS OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
- THE GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE DIMENSIONS AND CONDITIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, MATERIALS, SCHEDULES, ETC. WITHIN THE SCOPE OF THE PROJECT, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT IMMEDIATELY OF CONDITIONS WHICH REQUIRE DEVIATION FROM CONSTRUCTING THE WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS IN ORDER TO DETERMINE DIMENSIONS. WRITTEN DIMENSIONS GOVERN AND LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. WALLS AND PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF STUD AS INDICATED. ALL COLUMNS ARE MEASURED FROM CENTERLINE. CONTRACTOR TO BE AWARE OF ALL N.T.S. (NOT TO SCALE) DIMENSIONS. WRITTEN DIMENSIONS GOVERN OVER SCALE.
- THE PRESENCE OF THE ARCHITECT ON THE JOB SITE DOES NOT IMPLY APPROVAL OF THE WORK. THE GENERAL CONTRACTOR MUST CALL SPECIFIC ITEMS TO THE ATTENTION OF THE ARCHITECT IF HE WISHES TO OBTAIN THE ARCHITECT'S APPROVAL.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL FIRE MARSHALL TO DETERMINE AND AGREE UPON THE EMERGENCY FIRE FIGHTING REQUIREMENTS DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING ALL ADJUSTMENTS MADE DURING CONSTRUCTION. RECORDS OF ALL FIELD ADJUSTMENTS SHALL BE GIVEN TO THE ARCHITECT UPON RECEIPT OF CERTIFICATE OF OCCUPANCY OR UPON ISSUANCE OF STATEMENT OF SUBSTANTIAL COMPLETION.
- THE GENERAL CONTRACTOR MUST SUBMIT ALL PROPOSED SUBSTITUTIONS IN WRITING TO THE ARCHITECT FOR APPROVAL WITH SUFFICIENT INFORMATION, SAMPLES, AND DIFFERENCE IN COST FOR EVALUATION. IF A REVISION OR SUBSTITUTION IS MADE IN ANY WAY TO ALTER THE WORK SO THAT IT DOES NOT CONFORM WITH THE CONTRACT DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL, SUCH ACTION WILL RELIEVE THE ARCHITECT OF ANY LIABILITY FOR THE RESULTING AESTHETIC EFFECT, SUBSEQUENT FAILURE, PROPERTY DAMAGE OR PERSONAL INJURY.
- THE GENERAL CONTRACTOR MUST PERFORM HIGH QUALITY PROFESSIONAL WORK. THE WORK OF EACH TRADE MUST MEET OR EXCEED ALL QUALITY STANDARDS PUBLISHED BY THE RESPECTIVE TRADES.
- THE GENERAL CONTRACTOR MUST ARRANGE TO ACCOMMODATE "NOT IN CONTRACT" WORK AND MUST REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING.
- THE GENERAL CONTRACTOR MUST TAKE CARE TO PROTECT NEWLY INSTALLED MATERIALS, FINISHES AND ASSEMBLIES.
- THE GENERAL CONTRACTOR MUST HALT THE WORK AFFECTED WHEN NOTIFIED OF A PROPOSED CHANGE AND PROCEED ONLY AFTER RECEIVING INSTRUCTIONS FROM THE ARCHITECT.
- THE GENERAL CONTRACTOR MUST PROVIDE ADEQUATE AND PROPER DRY STORAGE AND HANDLING OF ALL BUILDING MATERIALS, SUPPLIES, AND FINISHES IN ACCORDANCE WITH PRODUCT MANUFACTURER'S RECOMMENDATIONS.
- THE GENERAL CONTRACTOR MUST DETERMINE THAT ALL EQUIPMENT SPECIFIED WILL FIT THROUGH DOORWAYS AND CORRIDORS BEFORE EQUIPMENT IS PURCHASED OR SCHEDULE THE INSTALLATION SEQUENCE TO AVOID CONFLICTS.
- THE GENERAL CONTRACTOR MUST COMPLY WITH THE RULES OF THE SUBDIVISION AND THE COUNTY AND THE DIRECTIONS OF THE OWNERS FOR CONSTRUCTION FACILITIES, USE OF PREMISES, ACCESS TO THE PROJECT SITE, AND TRASH REMOVAL.
- ALL MECHANICAL, ELECTRICAL, AND CIVIL ENGINEERING SERVICES AND SYSTEMS WILL BE SPECIFIED AND INSTALLED BY THE RESPECTIVE TRADES. ALL SYSTEMS SHALL BE DESIGNED WITHIN THE RESPECTIVE CODES.
- EACH TRADE IS RESPONSIBLE FOR INSPECTION OF SERVICE AND TO ADVISE THE GENERAL CONTRACTOR, ARCHITECT, AND OWNER AS TO CURRENT CONDITION, POSSIBLE PROBLEMS AND POTENTIAL SOLUTIONS WITH RESPECT TO THEIR TRADES.

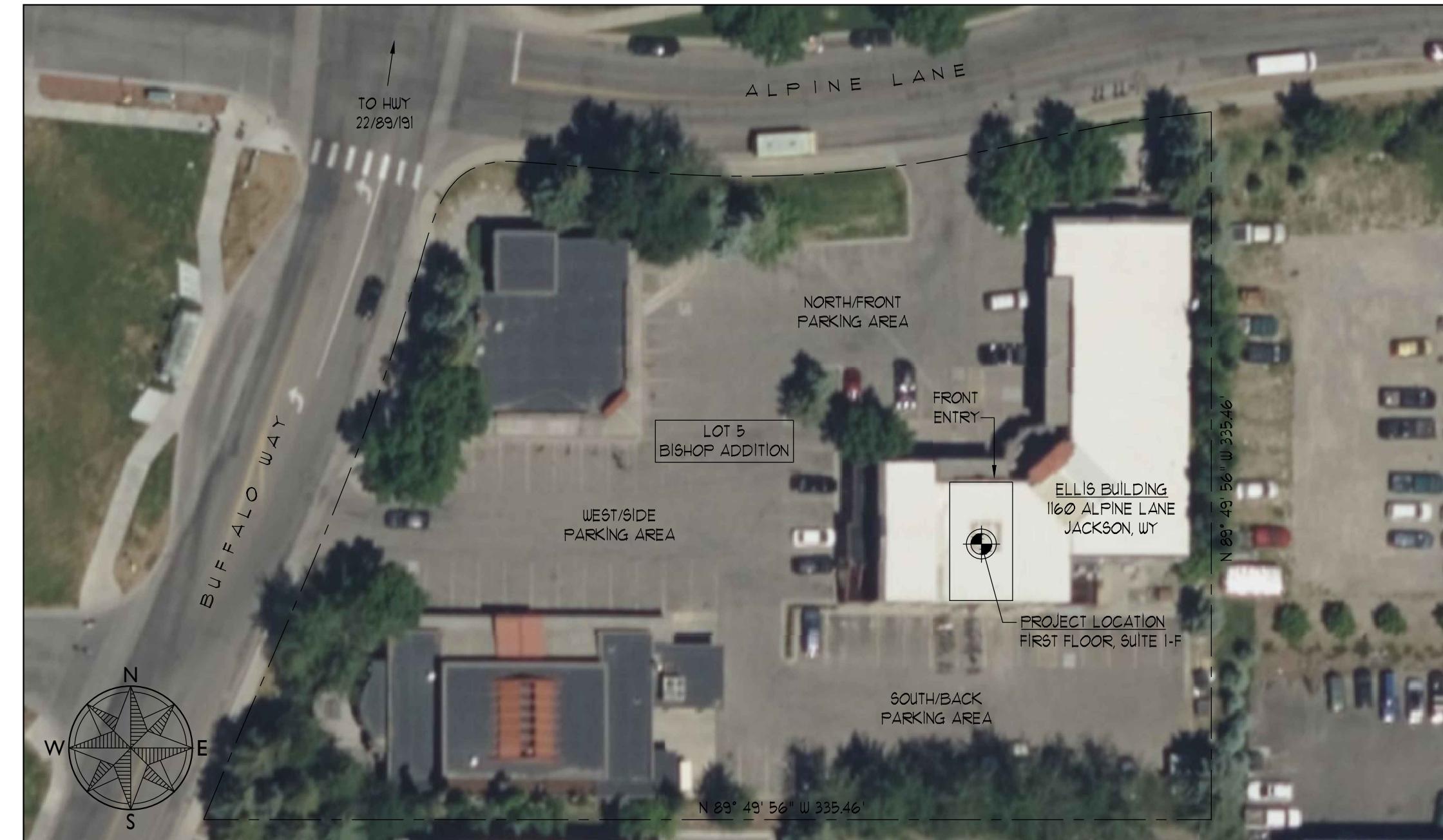
CODE & ZONING ANALYSIS

- APPLICABLE CODES:
 - 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 - PER IBC 2022: WHERE PROVISIONS OF OTHER ICC 4 NFPA 10 CODES CONFLICT WITH PROVISIONS OF THE IEBC, THE PROVISIONS OF THE IEBC SHALL TAKE PRECEDENCE.
 - 2021 INTERNATIONAL BUILDING CODE (IBC)
 - 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
 - 2021 INTERNATIONAL FIRE CODE (IFC)
 - 2021 INTERNATIONAL MECHANICAL CODE (IMC)
 - 2021 INTERNATIONAL PLUMBING CODE (IPC)
 - 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
 - 2020 NATIONAL ELECTRICAL CODE (NEC), NFPA 10
 - JACKSON MUNICIPAL CODE, TITLE 15 BUILDINGS AND CONSTRUCTION
- LOT DATA:
 - LOT SIZE: 147 ACRES
 - LOT LOCATION: LOT 5, BISHOP ADDITION
 - PARCEL: 22-416-32-4-20-000
 - ZONING: CR-3 COMMERCIAL RESIDENTIAL
- FLOOR AREAS:
 - EXISTING GROSS FLOOR AREA OF BUILDING, AND ALL RESPECTIVE UNITS, TO REMAIN.
 - GROSS HABITABLE FLOOR AREA OF SUITE 1-F: APPROXIMATELY 147 SF.
 - EXISTING SITE DEVELOPMENT TO REMAIN, INCLUDING BUT NOT LIMITED TO: ALL COVERED AREAS, PAVED/UNPAVED PARKING AREAS, OTHER IMPERVIOUS SURFACES
- OCCUPANCY CLASSIFICATION AND USE:
 - OCCUPANCY GROUP: BUSINESS GROUP B
 - NO CHANGE TO EXISTING OCCUPANCY GROUP CLASSIFICATION
 - OCCUPANCY USE: NAIL SALON AND SPA
 - OCCUPANT LOAD: 31 OCCUPANTS
 - AS PER SECTION 004 OF THE 2021 IBC
- DESIGN CRITERIA UTILIZED:
 - SEISMIC DESIGN CATEGORY: D
 - MEAN ANNUAL TEMPERATURE: 38° FAHRENHEIT
 - WINTER DESIGN TEMPERATURE: 20° FAHRENHEIT
- NOTES:
 - GENERAL SCOPE OF WORK: EXISTING RETAIL SPACE (SUITE 1-F) TO BE ALTERED AS REQUIRED FOR THE PROPOSED NAIL SALON AND SPA OCCUPANCY USE.
 - CLASSIFICATION OF WORK PER THE 2021 IBC: ALTERATION - LEVEL 2
 - ALL ALTERATIONS, REPAIRS, AND ADDITIONS, REGARDLESS OF COMPLIANCE METHOD, SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE 2021 IBC.
 - MANICURE AND PEDICURE STATIONS SHALL BE PROVIDED WITH AN EXHAUST SYSTEM IN ACCORDANCE WITH SECTION 601.20 AND TABLE 403.3.11. OF THE 2021 IMC.
 - EACH MANICURE AND PEDICURE STATION SHALL BE PROVIDED WITH A SOURCE CAPTURE SYSTEM IN ACCORDANCE WITH IMC TABLE 403.3.11 - FOOTNOTE H



SUITE 1-F, EXISTING NORTH ELEVATION

1
TI
N.T.S.



EXISTING SITE AERIAL

2
TI
N.T.S.

ABBREVIATIONS	
AFF.	ABOVE FINISHED FLOOR
APPROX.	APPROXIMATE
ALT.	ALTERNATE
ARCH.	ARCHITECTURAL/ ARCHITECT
ASST.	ASSEMBLY
BULK.	BLOCKING
B.O.	BOTTOM OF
CL.	CENTER LINE
CMU.	CONCRETE MASONRY UNIT
CONC.	CONCRETE
DTL.	DETAIL
DUG.	DRAWING
ELEC.	ELECTRIC/ ELECTRICAL
EQ.	EQUAL
EXIST.	EXISTING
EXT.	EXTERIOR
EQUIP.	EQUIPMENT
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
FIN.	FINISH
FIXT.	FIXTURE
GWB.	GYPSUM WALL BOARD
INBL.	INSULATION
INT.	INTERIOR
LAV.	LAVATORY
LOC.	LOCATION
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
M.E.P.	MECHANICAL, ELECTRICAL, PLUMBING
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MONTEED
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OCC.	OCCUPANT(S)
RD.	ROOF DRAIN
RE.	REFERENCE
REQD.	REQUIRED
RO.	ROUGH OPENING
SCHED.	SCHEDULE
SIM.	SIMILAR
S.F.	SQUARE FOOT
T.B.D.	TO BE DETERMINED
TOF.	TOP OF
TYP.	Typical
UNO.	UNLESS NOTED OTHERWISE
VAP. BR.	VAPOR BARRIER
VAR.	VARIABLE
V.F.	VERIFY IN FIELD
W/C.	WATER CLOSET

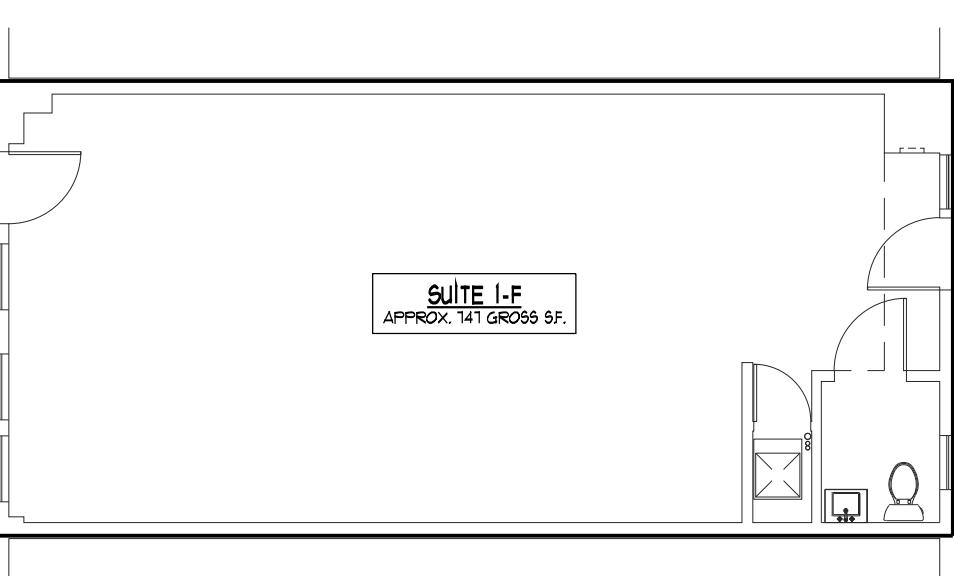
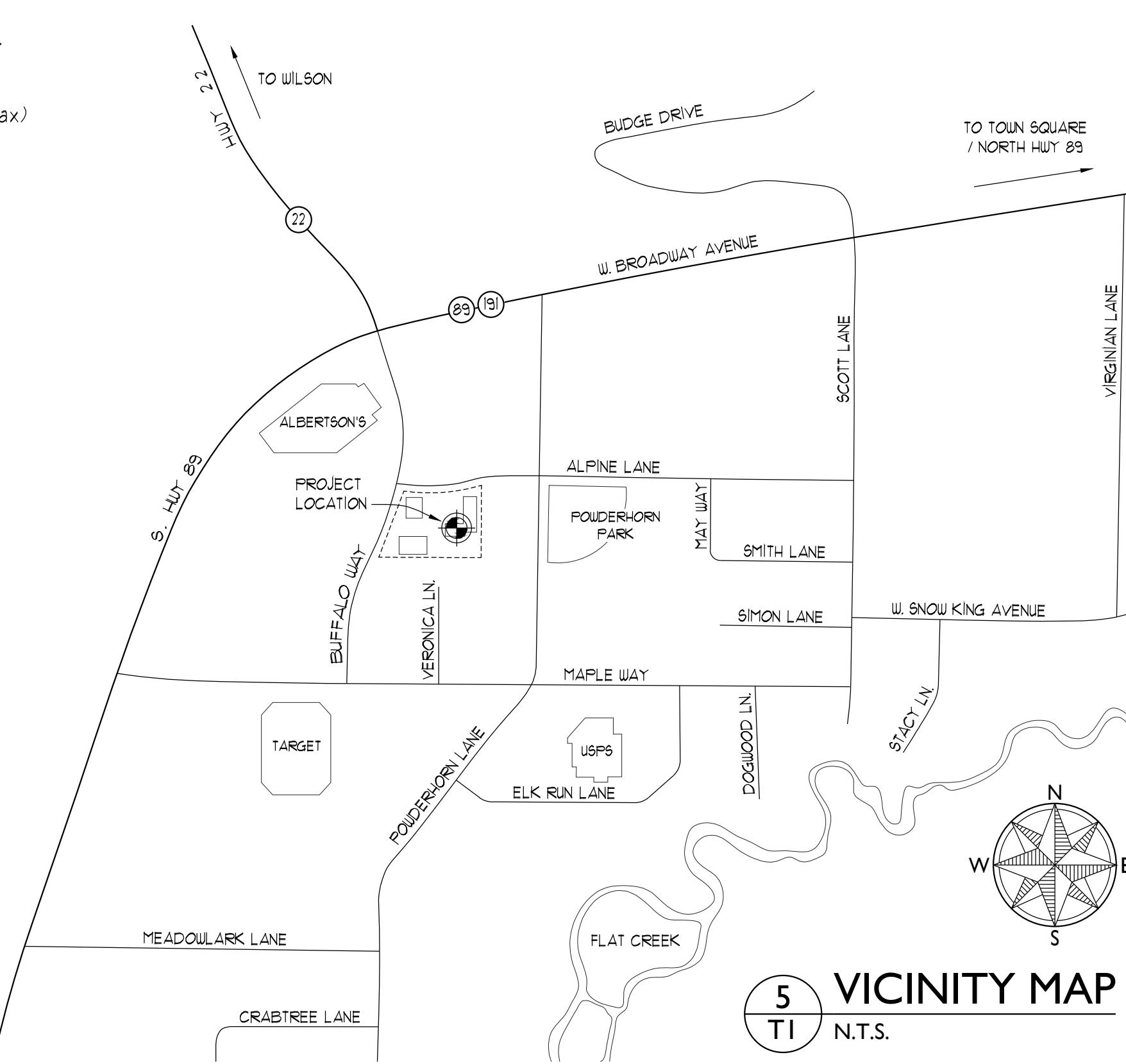
ARCHITECT
Dubbe-Moulder Architects, P.C.
1160 Alpine Lane, Suite 2A
P.O. Box 9221
Jackson, WY 83002
(307) 733-9551
(307) 733-4302 (fax)

M.E.P.
ENGINEER
XL Engineering
5251 Wild Dunes Ln
Idaho Falls, ID 83404
(208) 703-3111

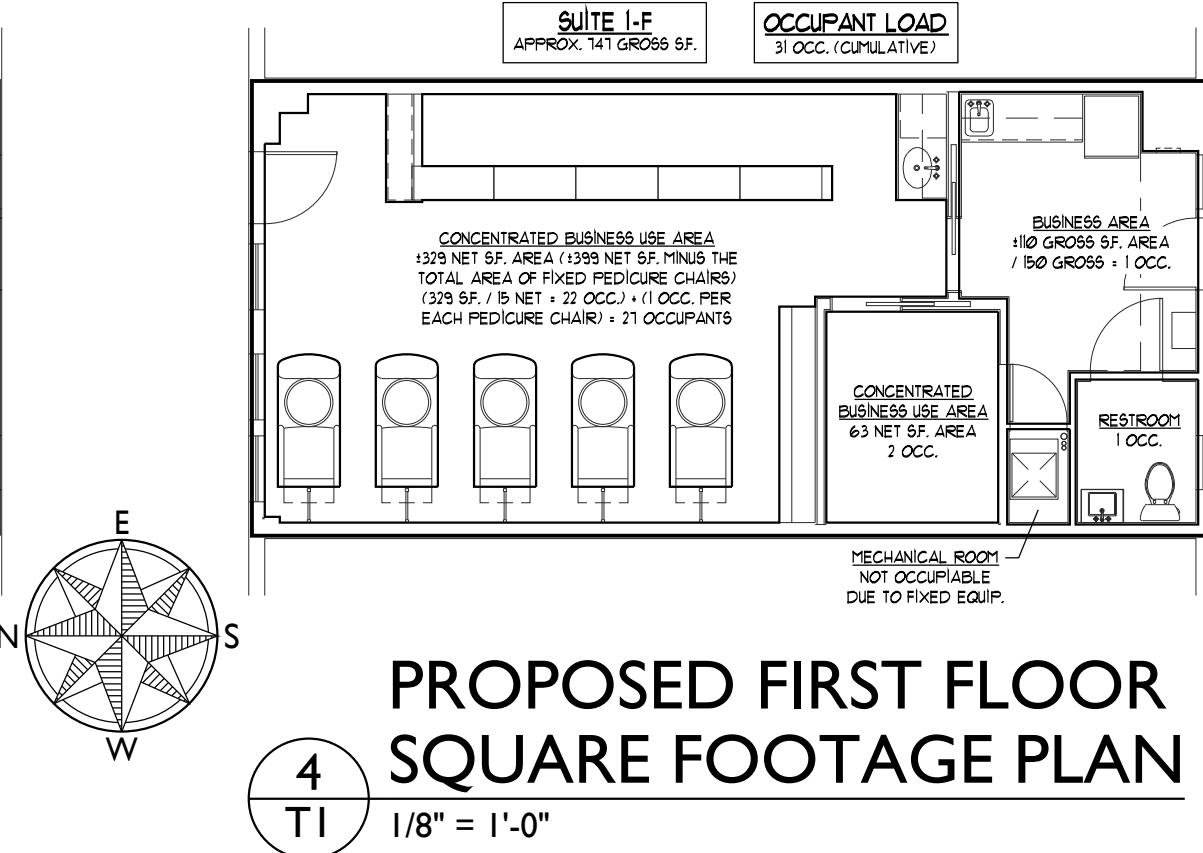
PROPERTY OWNER
SSDA, LLC
P.O. Box 3393
Jackson, WY 83001
(408) 505-5139

TENANT
Nails & Spa by Tara, LLC
Phuong T. Huynh
P.O. Box 1014
Jackson, WY 83001
(408) 505-5139

GENERAL CONTRACTOR
Summit Crest Construction
P.O. Box 3393
Jackson, WY 83001
(307) 733-5881



EXISTING FIRST FLOOR
SQUARE FOOTAGE PLAN



PROPOSED FIRST FLOOR
SQUARE FOOTAGE PLAN

3
TI
1/8" = 1'-0"

4
TI
1/8" = 1'-0"

SHEET INDEX

TI	TITLE SHEET
A11	EXISTING CONDITION PHOTOS
A21	FLOOR PLANS
A22	ACCESSIBLE FLOOR PLAN & DETAILS
A51	NOTES & SCHEDULES
M00	HVAC COVER SHEET
M11	HVAC PLAN
P00	PLUMBING COVER SHEET
P11	PLUMBING PLAN
E00	ELECTRICAL SYMBOLS & ABBREVIATIONS
E01	RISER AND SCHEDULES
E02	ENERGY COMPLIANCE FORM
E11	ELECTRICAL PLANS

NAILS & SPA BY TARA

1160 Alpine Lane, Suite 1-F
Jackson, Wyoming

DUBBE MOULDER ARCHITECTS
JACKSON 1160 Alpine Lane, Ste 2A DRIGGS P.O. Box 9227 37 North First East P.O. Box 3393 Driggs, ID 83422 (307) 733-9551 (208) 354-0151 www.dubbe-moulder.com

OWNERSHIP & USE OF DOCUMENTS
Drawings & Specifications, as instruments of professional service are and shall remain the property of the architect. These documents are not to be used in whole or in part for any project or purposes whatsoever, without the prior specific written authorization of Dubbe Moulder Architects, P.C.

TITLE SHEET

PERMIT SET

Set Title	Set Issue Date
PERMIT SET	SEPTEMBER 29, 2023
Set Title	Permit Set
Set Issue Date	September 29, 2023
Drawn By	M.K.
Checked By	
Plot Date	SEPTEMBER 29, 2023
Scale	AS NOTED
Project Number	2312

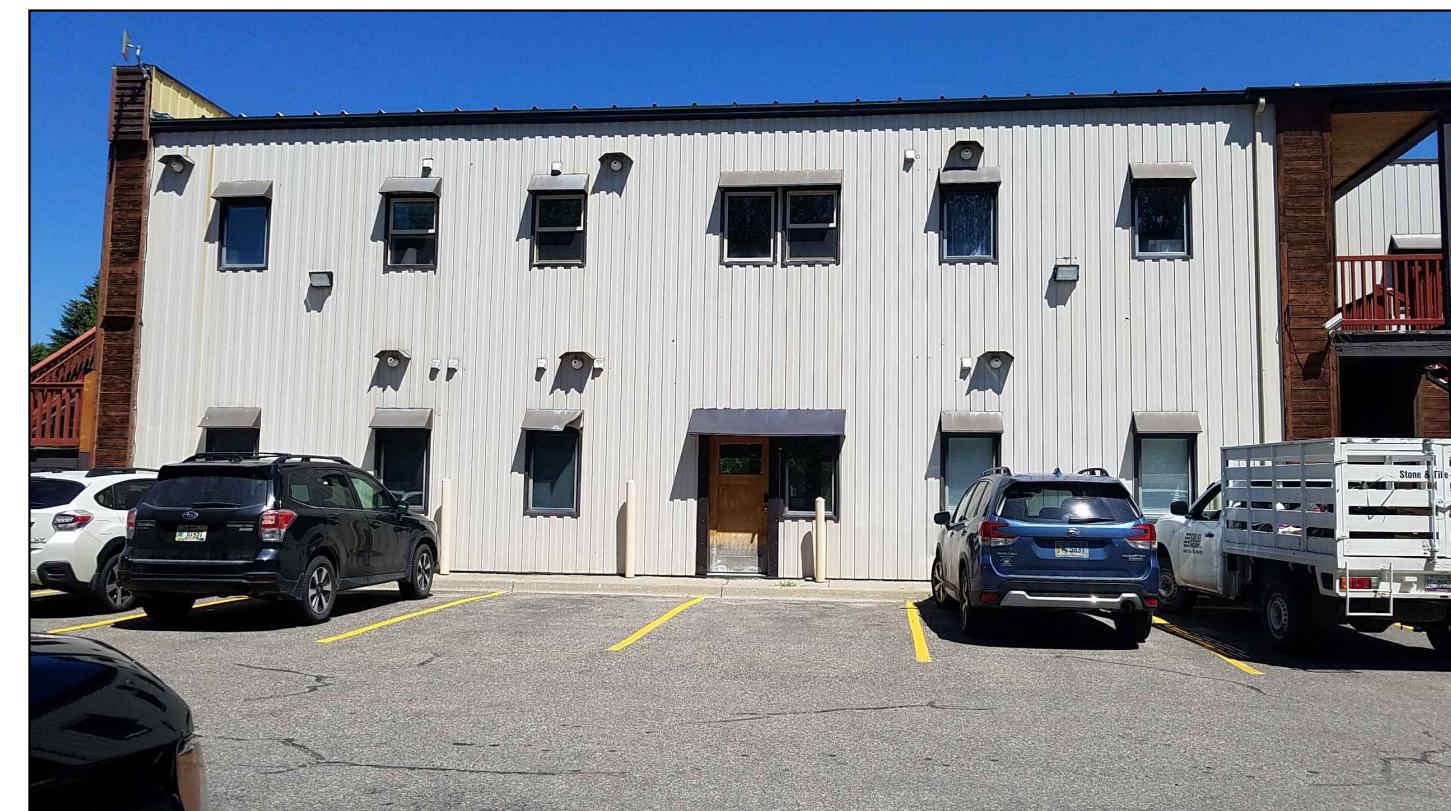
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1 EXTERIOR VIEW NORTH
AI.I N.T.S.



2 EXTERIOR NORTH ELEVATION
AI.I N.T.S.



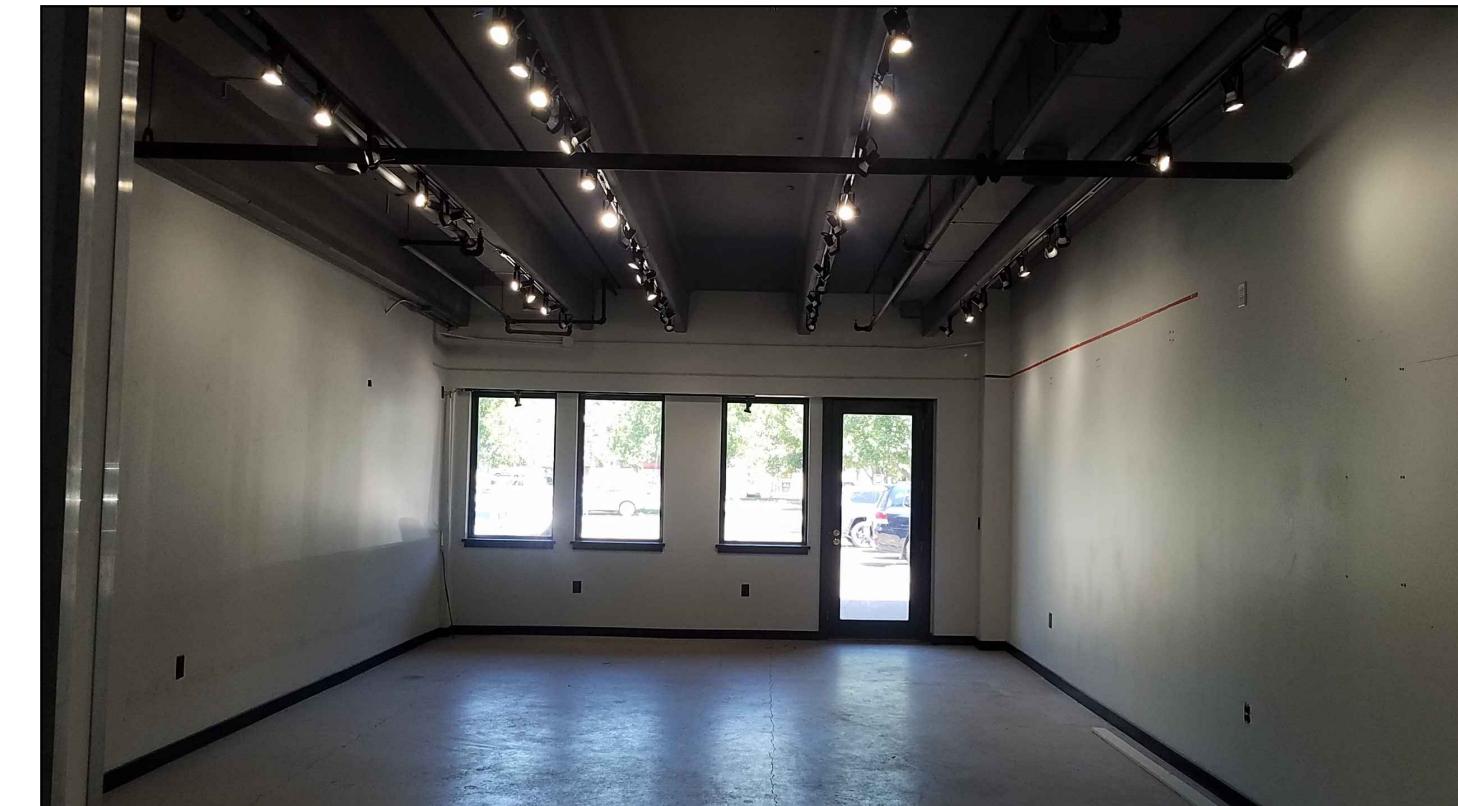
3 EXTERIOR SOUTH ELEVATION
AI.I N.T.S.



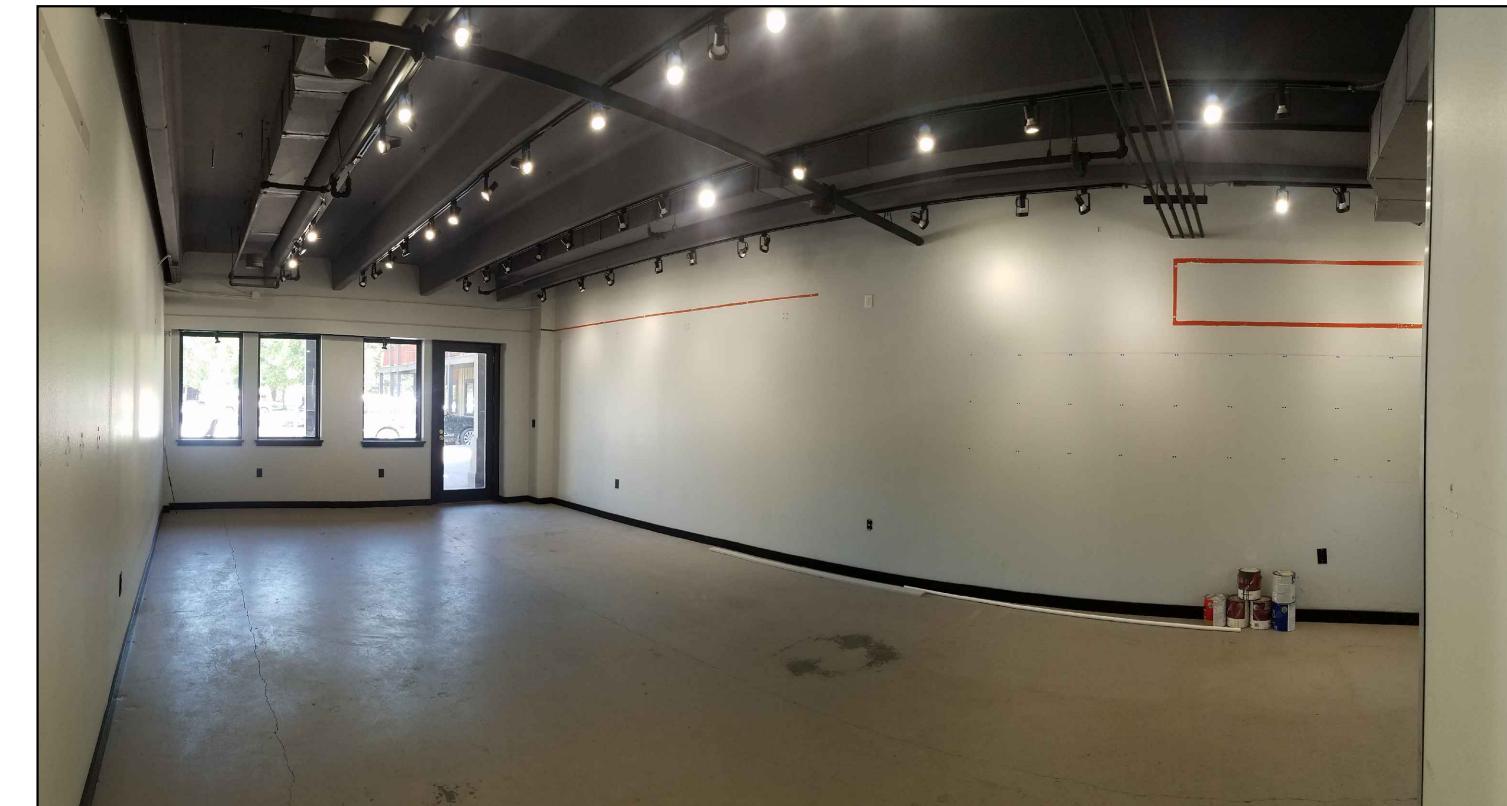
4 PHOTO POINTS
AI.I 1/8" = 1'-0"



5 PANORAMA
AI.I N.T.S.



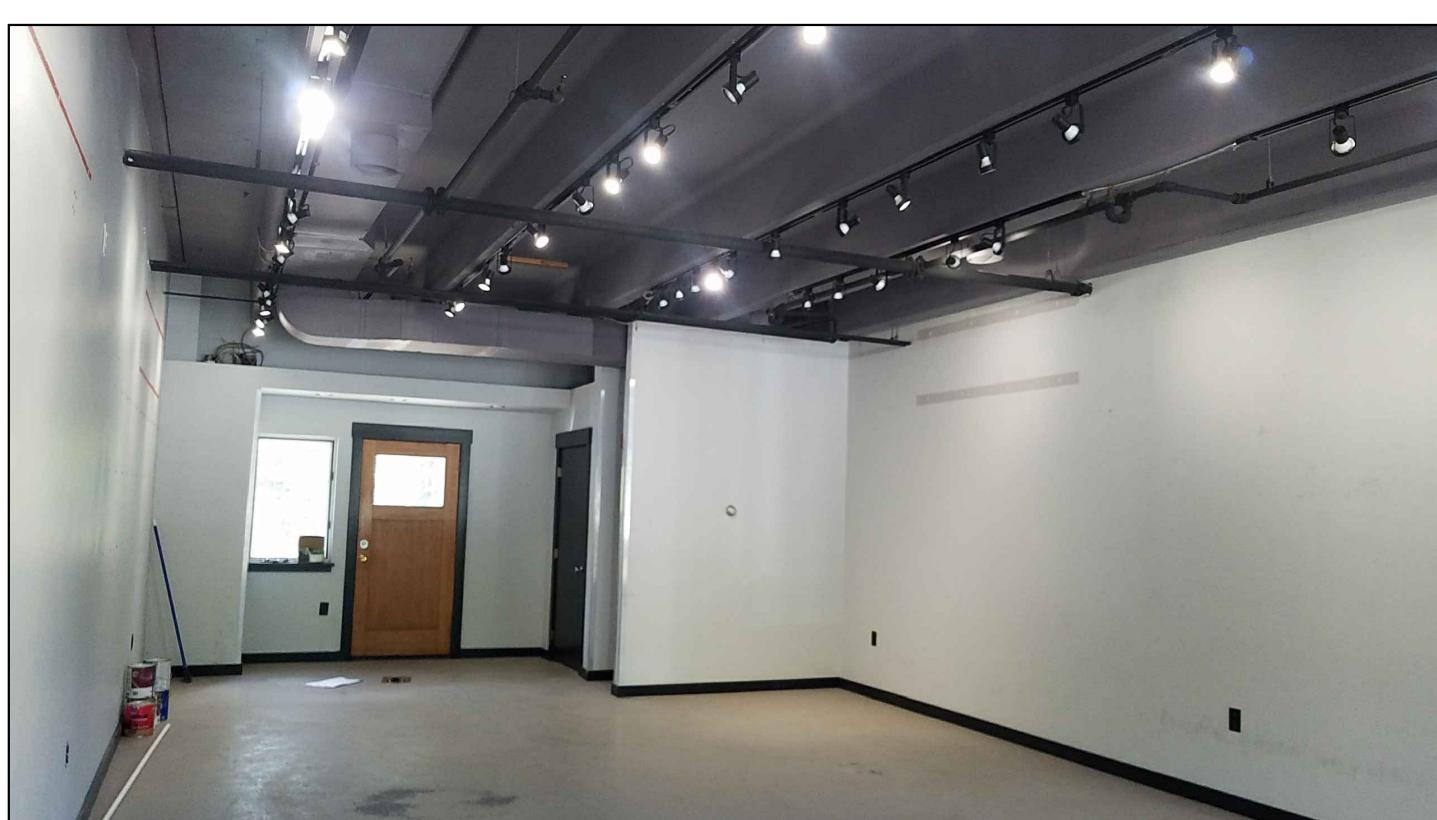
6 VIEW NORTH
AI.I N.T.S.



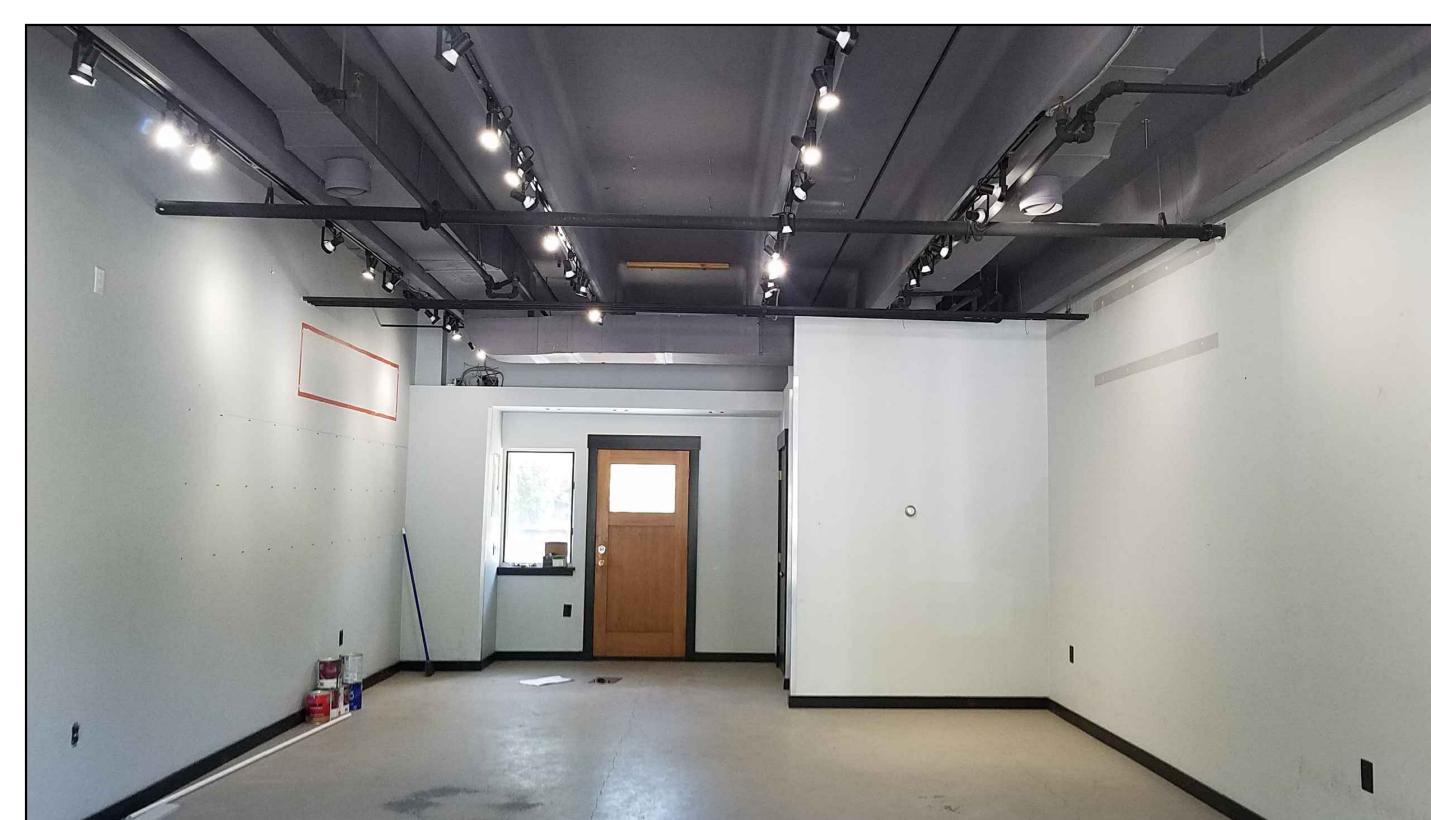
7 PANORAMA
AI.I N.T.S.



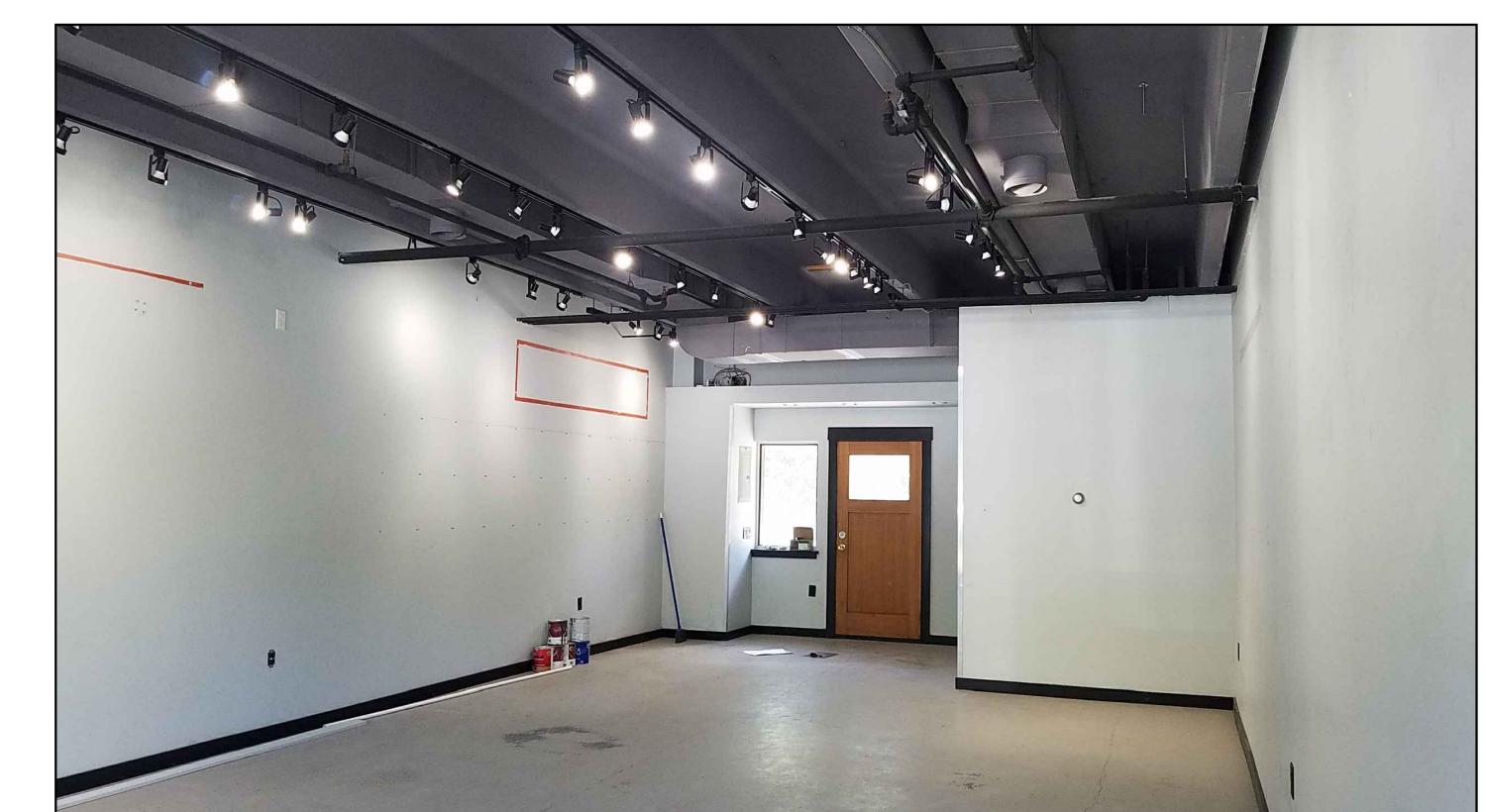
8 NW CLG. CORNER
AI.I N.T.S.



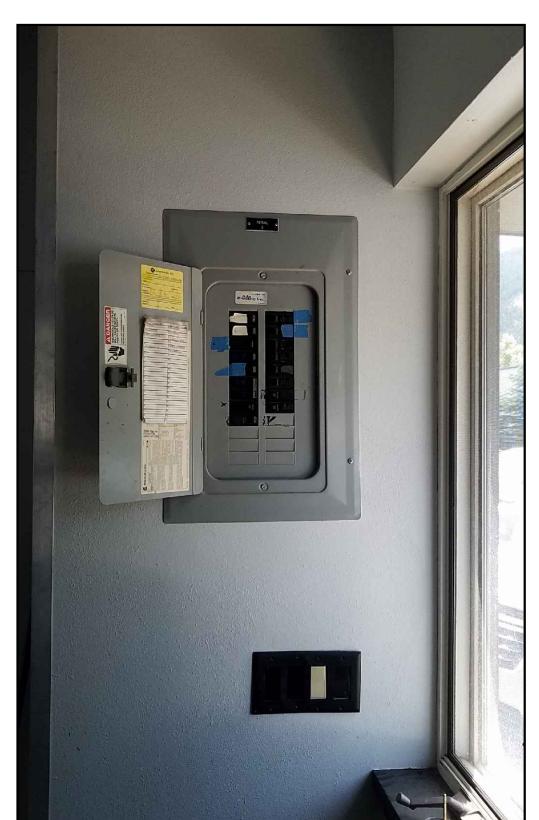
9 VIEW SOUTH
AI.I N.T.S.



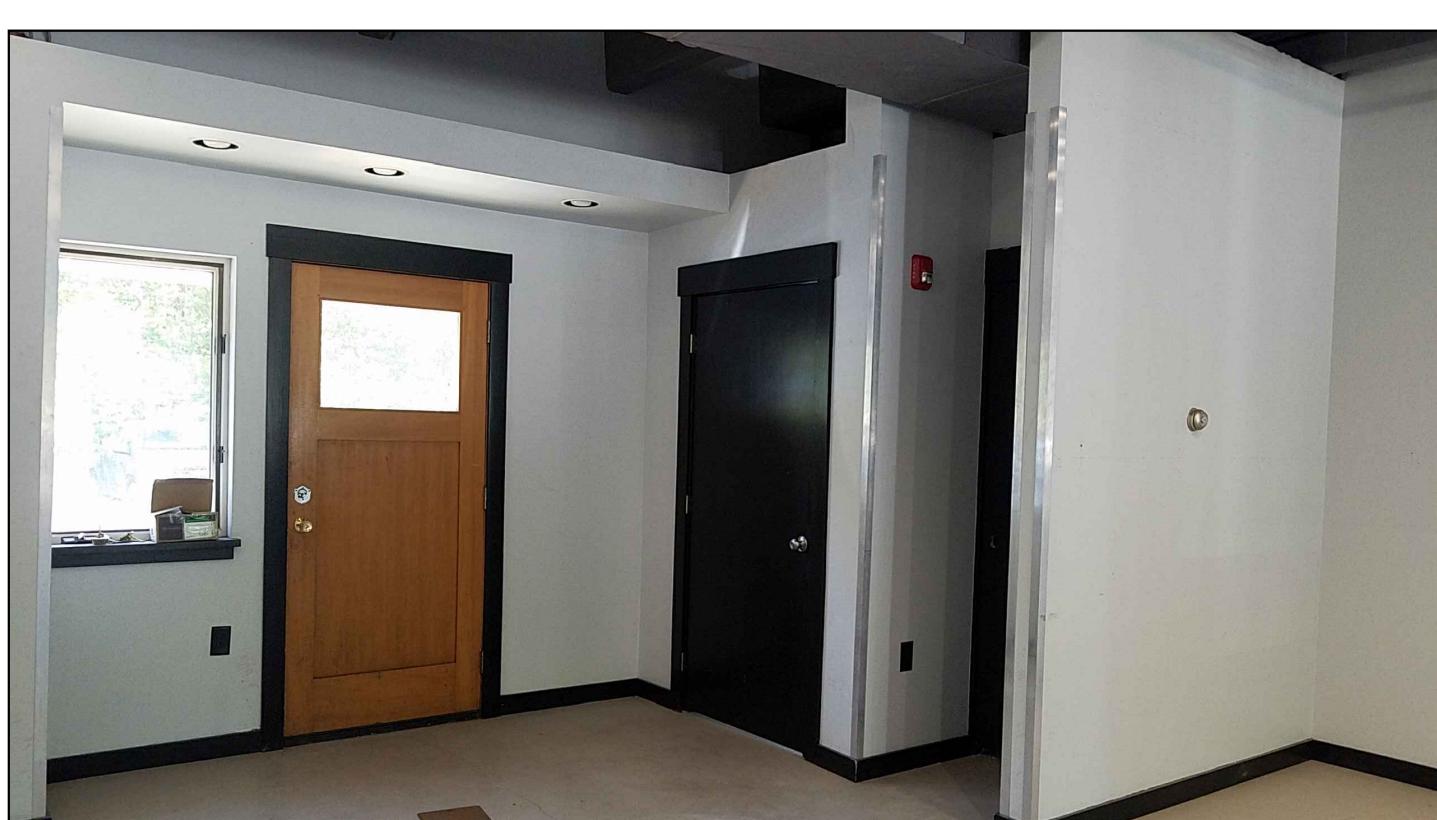
10 VIEW SOUTH
AI.I N.T.S.



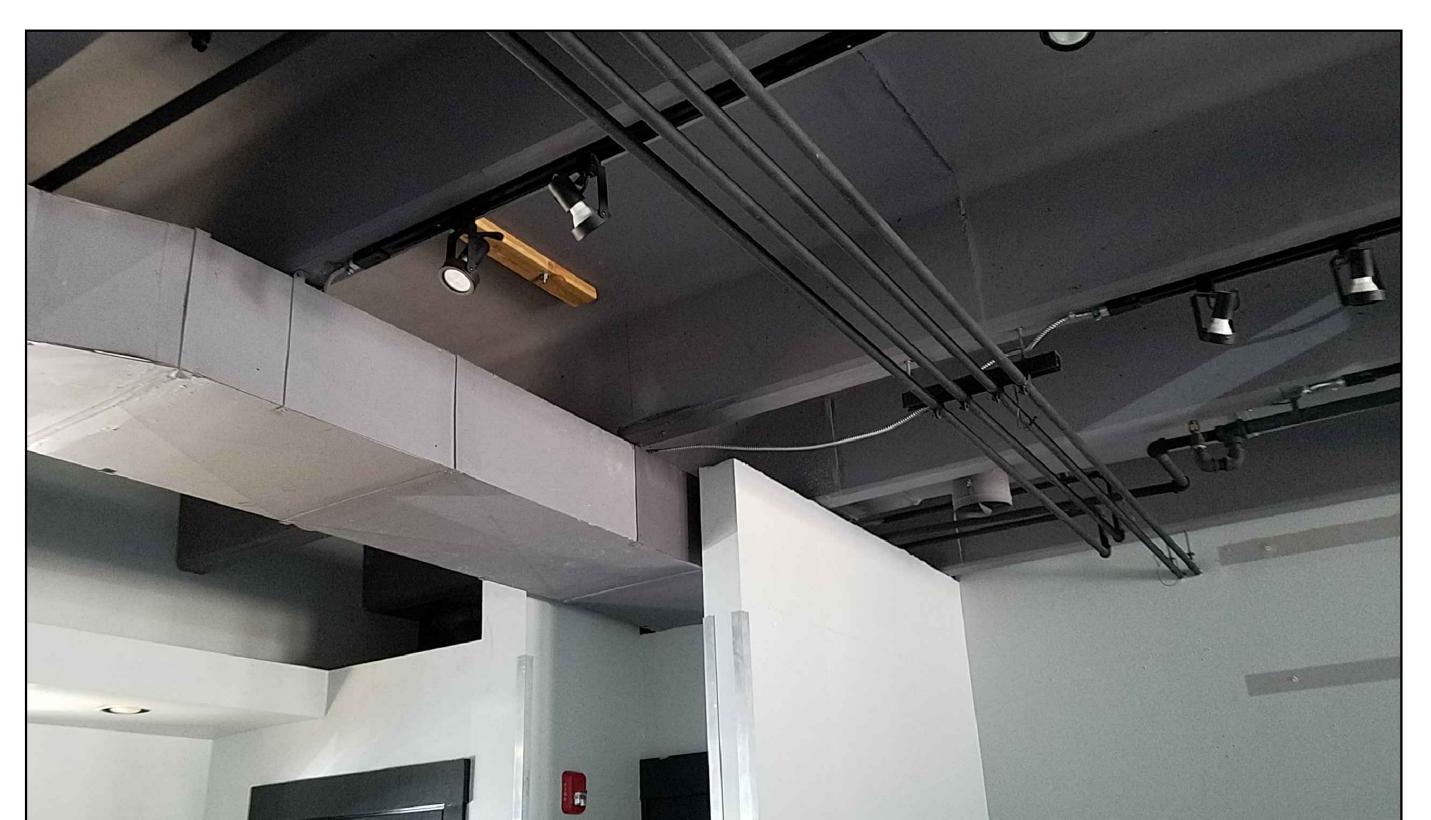
11 VIEW SOUTH
AI.I N.T.S.



12 ELECT. PANEL
AI.I N.T.S.



13 VIEW SOUTHWEST
AI.I N.T.S.



14 SW CEILING CORNER
AI.I N.T.S.



15 VIEW WEST
AI.I N.T.S.



16 RESTROOM
AI.I N.T.S.



17 MECH. ROOM
AI.I N.T.S.

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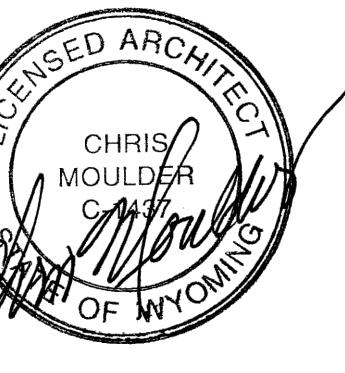
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Drawing Title

EXISTING CONDITION PHOTOS

Set Title PERMIT SET

Set Title	Set Issue Date
PERMIT SET	SEPTEMBER 29, 2023



Drawn By	Checked By
M.K.	

Chris Moulder
C.A.
State of Wyoming

Plot Date

SEPTEMBER 29, 2023

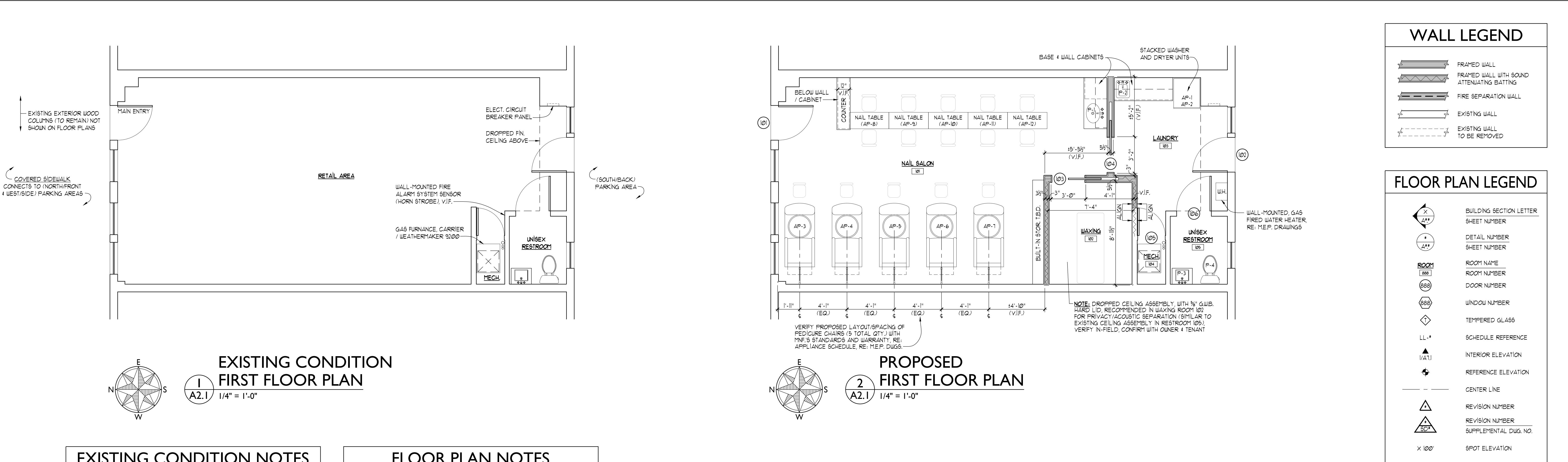
Scale

AS NOTED

Project Number

2312

A.I.I



EXISTING CONDITION NOTES

- THE EXISTING CONDITION DRAWINGS REFLECT THE MEASURED AND RECORDED CONDITIONS ON THE DATE THEY WERE MEASURED, AND DO NOT REFLECT OR IMPLY ANY STRUCTURAL OR CONSTRUCTION CONDITIONS. MEASUREMENTS WERE TAKEN TO THE SURFACES OF EXISTING EXPOSED FINISH MATERIALS FOR THE PURPOSE OF ALLOWING THESE DRAWINGS TO BE PREPARED DEPICTING THEN CURRENT AND EXISTING CONDITIONS.
- WHILE THESE DRAWINGS WERE ACCURATELY PREPARED TO REFLECT EXISTING CONDITIONS, THEY SHOULD NOT BE RELIED UPON WITHOUT FURTHER CONFIRMATION SPECIFIC TO THE NEED.
- HORIZONTAL AND VERTICAL MEASUREMENTS WERE MADE TO ESTABLISH THE BASIC CONFIGURATION OF THE BUILDING. NO CONFIRMATION WAS MADE AS TO THE BUILDING BEING CONSTRUCTED STRAIGHT, SQUARE, LEVEL OR PLUMB.
- NO INVASIVE OR SUB-SURFACE INVESTIGATIONS WERE MADE TO CONFIRM HIDDEN OR NON-VISUAL CONDITIONS.
- NO ASSUMPTIONS SHOULD BE MADE REGARDING THE STRUCTURAL, MECHANICAL, PLUMBING OR ELECTRICAL SYSTEMS OTHER THAN DEPICTED LOCATIONS FOR THE ITEMS SHOWN.
- DESIGNATED ROOFCING PITCHES SHOULD BE CONSIDERED APPROXIMATE AND TO BE VERIFIED IN FIELD BY CONTRACTOR.

DEMOLITION NOTES

- CONTRACTOR TO VERIFY EXTENT OF DEMOLITION WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK.
- CONTRACTOR TO REMOVE ALL EXISTING CONSTRUCTION AS NOTED OR REQUIRED FOR THE PROPOSED NEW CONSTRUCTION AND PROPERLY DISPOSE OF ALL DEMOLISHED MATERIAL AS REQUIRED.
- CONTRACTOR TO TAKE CARE IN PROTECTING ALL EXISTING CONSTRUCTION NOT SCHEDULED FOR DEMOLITION AS NOTED, IF THERE IS A QUESTION AS TO EXTENT OF DEMOLITION, CONTRACTOR TO VERIFY WITH ARCHITECT.
- CONTRACTOR TO REMOVE ALL EXISTING FLOOR AND CEILING FINISHES AND RELATED CONSTRUCTION AS IF REQUIRED IN SCHEDULED AREAS, OR AS DIRECTED BY THE OWNER.
- CONTRACTOR TO REMOVE ALL EXISTING ARCHITECTURAL WOODWORK (CABINETS, SHELVES, CLOTHES RODS/ HOOKS, ETC.) AS REQUIRED IN SCHEDULED AREAS, OR AS DIRECTED BY THE OWNER.
- CONTRACTOR TO REMOVE ANY PLUMBING FIXTURES, CAP UTILITY LINES AND REROUTE VENT STACKS, SUPPLY AND WASTE LINES AS REQUIRED FOR NEW CONSTRUCTION.
- CONTRACTOR TO REMOVE ALL ELECTRICAL FIXTURES (LIGHT FIXTURES, APPLIANCES, ETC.) OUTLETS, SWITCHES AND CONTROLS AS IF REQUIRED IN SCHEDULED AREAS, OR AS DIRECTED BY THE OWNER. LIVE WIRES TO BE ABANDONED SHALL COMPLY WITH APPLICABLE CODES AND SAFE INDUSTRY STANDARDS.
- ALL EXISTING CEILING-MOUNTED LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED OR REQUIRED FOR THE PROPOSED INTERIOR ALTERATIONS. VERIFY WITH OWNER IN-FIELD. CONTRACTOR SHALL VERIFY ALL PROPOSED NEW LIGHT FIXTURES AND SWITCHES (IF ANY) WITH OWNER IN-FIELD.
- CONTRACTOR TO REMOVE ALL HVAC GRILLES, DUCTWORK AND RELATED CONSTRUCTION AS REQUIRED. CAP EXISTING DUCT WORK AS REQUIRED.
- ALL DEMOLITION TO BE OWNER'S SALVAGE AT THEIR OPTION. NON-OWNER SALVAGED ITEMS AND MATERIAL ARE TO BE DISPOSED OF BY CONTRACTOR.
- CONTRACTOR TO TAKE SPECIAL CARE TO SHORE UP EXISTING STRUCTURE BEFORE REMOVING ANY STRUCTURAL SUPPORTS.
- EXISTING RESTROOM AND MECHANICAL ROOM TO REMAIN AS-BUILT. VERIFY IN-FIELD AND CONFIRM WITH OWNER.

FLOOR PLAN NOTES

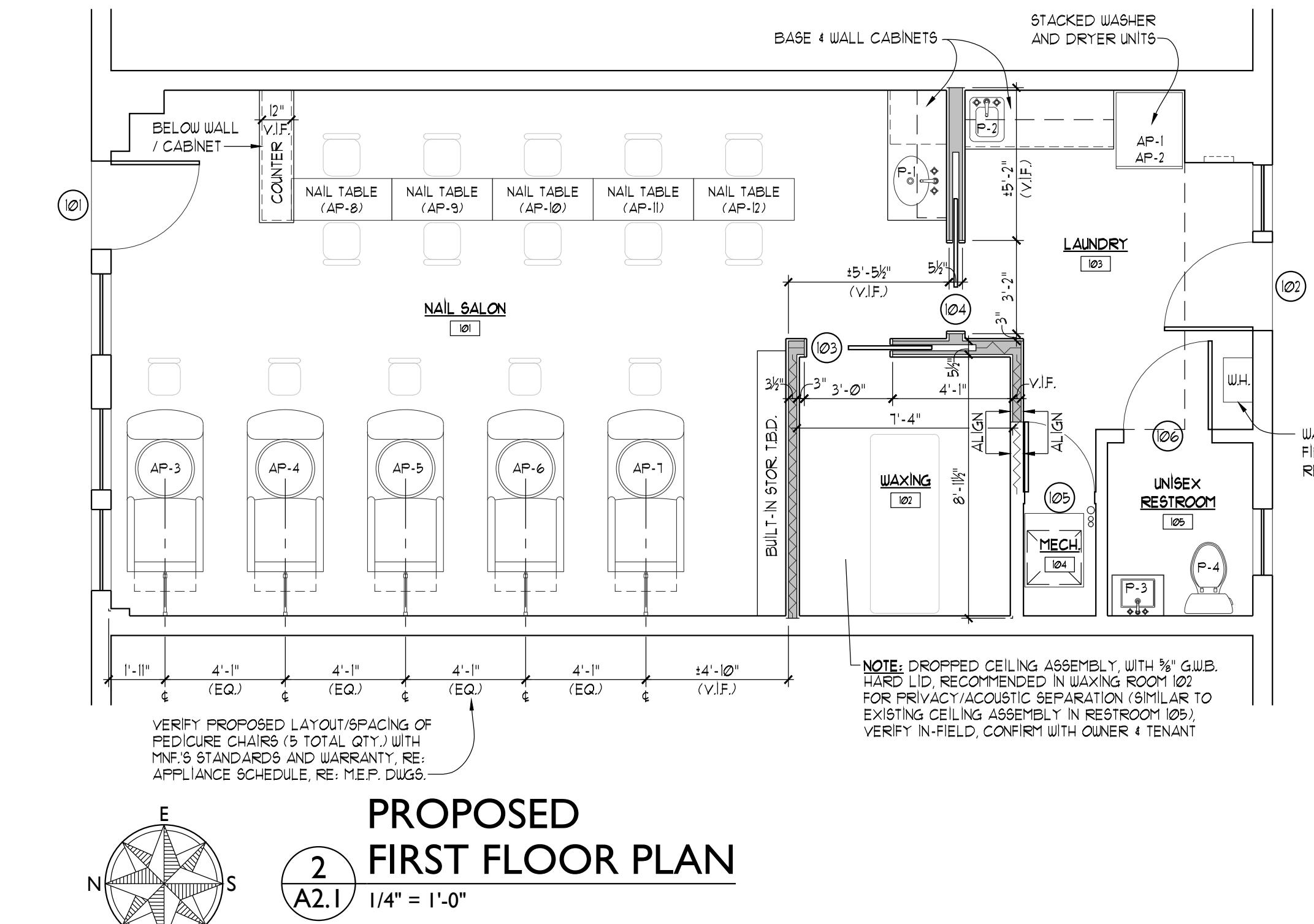
- ALL EXTERIOR WALL FRAMING TO REMAIN, OR BE REPLACED/REPAIRED IN-KIND AS IF REQUIRED FOR THE PROPOSED NEW CONSTRUCTION.
- ALL INTERIOR WALLS TO BE 2x4 WOOD STUDS, UNLESS NOTED OR DIMENSIONED. OTHERWISE, METAL STUDS OF EQUIVALENT SIZE MAY BE USED FOR INTERIOR WALLS AS IF REQUIRED TO MATCH EXISTING INTERIOR WALL FRAMING IN-KIND.
- ALL WET WALLS TO BE 2x6 WOOD STUDS, OR METAL STUDS OF EQUIVALENT SIZE.
- ALL POCKET DOORS TO BE FRAMED IN 2x6 WALLS UNLESS NOTED OR DIMENSIONED OTHERWISE.
- ALL (IF ANY) FURR WALLS TO BE 2x4 WOOD STUDS, OR METAL STUDS OF EQUIVALENT SIZE. PROVIDE A 1/8" SPACE BETWEEN FURR WALL AND CONCRETE FOUNDATION WALL TO PLUMB FURR WALL.
- ALL PROPOSED NEW INTERIOR FINISHES TO BE DETERMINED. CONTRACTOR TO VERIFY WITH OWNER/CLIENT IN-FIELD. ALL INTERIOR FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPMENT RATING OF NOT GREATER THAN 450.
- PROVIDE FIRE BLOCKING IN STUD WALL AND FURR WALL CAVITIES AT INTERVALS NOT EXCEEDING 16' AT WALL TO CEILING CONNECTIONS INCLUDING AT SOFFITS AND DROPPED AND/OR COVE CEILINGS, CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF RUNS.
- PROVIDE APPROVED MATERIAL FIRE-STOP AT ALL OPENINGS AROUND VENTS, PIPES, CABLES, WIRES, ETC. AT CEILING AND FLOOR LEVELS.
- PROVIDE BLOCKING AT WALL TO CEILING ASSEMBLIES TO ACT AS DRAFT-STOPPING. VERIFY DRAFT-STOPPING IS ADEQUATE WITH TOWN OF JACKSON BUILDING DEPARTMENT.
- PROVIDE DRAFT-STOPPING IN CONCEALED FLOOR/CEILING ASSEMBLIES. DRAFT-STOPPING SHALL DIVIDE CONCEALED FLOOR/CEILING ASSEMBLIES INTO AREAS LESS THAN 1000 SF. EACH FOR THE INTERNATIONAL RESIDENTIAL CODE R502.12. VERIFY DRAFT-STOPPING IS ADEQUATE WITH TOWN OF JACKSON BUILDING DEPARTMENT.
- REFERENCE MECHANICAL DRAWINGS FOR VENTING DETAILS AND SPECIFICATIONS.

UTILITY LOCATION NOTES

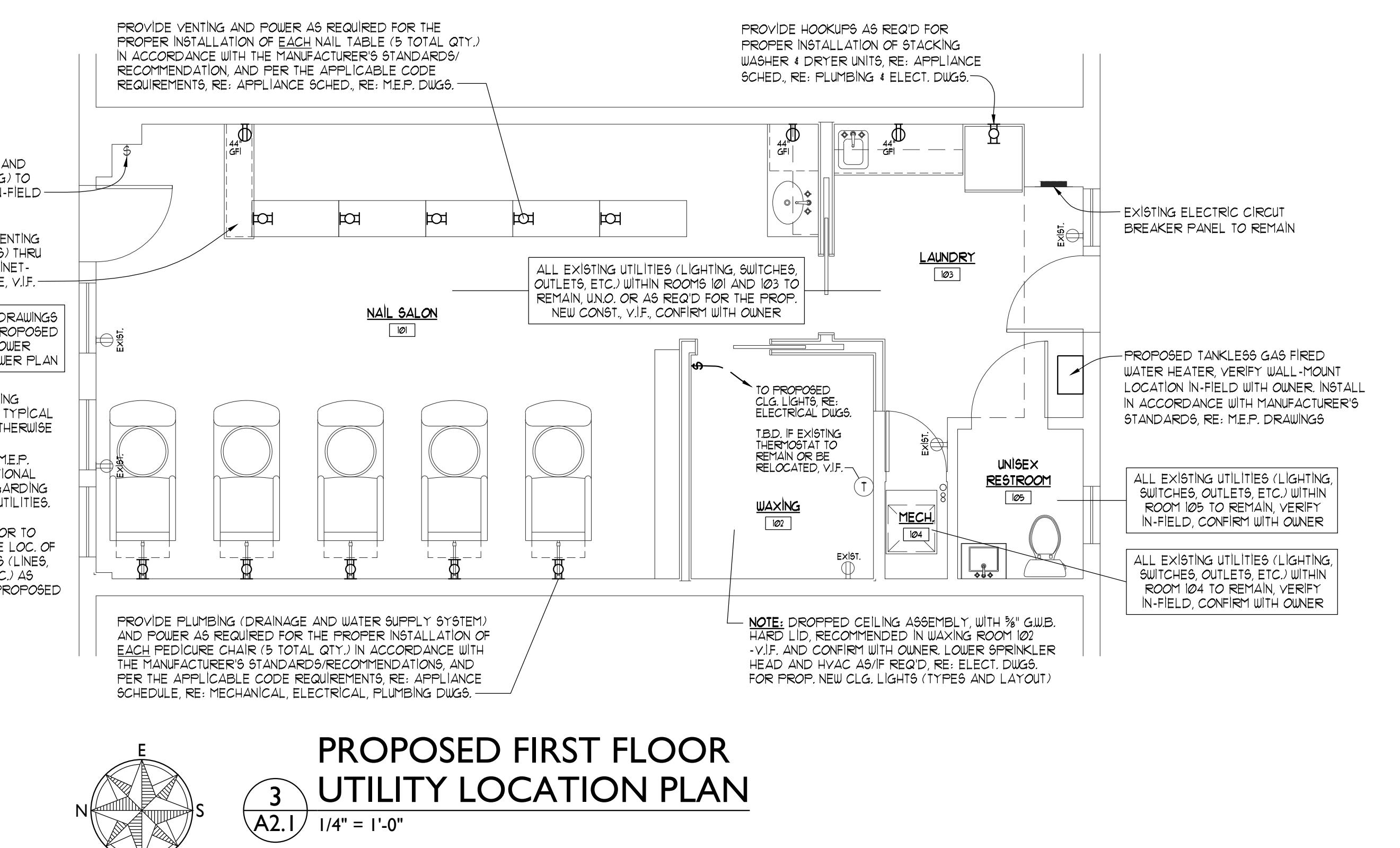
- SYMBOLS REFLECT THE TYPE OF UTILITY BUT DO NOT REPRESENT A SPECIFIC ITEM.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFO.

UTILITY LOCATION PLAN LEGEND

- SINGLE POLE SWITCH, MOUNTED 48" AFF. TO 6" OF BOX
- DUPLEX OUTLET, MOUNTED 12" AFF. TO 6" OF BOX
- DUPLEX OUTLET, GROUND FAULT CIRCUIT INTERRUPTER
- THERMOSTAT, MOUNTED 60" AFF. TO 6" OF BOX
- CIRCUIT BREAKER PANEL BOARD
- APPLIANCE CONNECTION, RE: APPLIANCE SCHEDULE
- ROOM NAME
- ROOM NUMBER
- CENTER LINE
- REVISION NUMBER
- REVISION NUMBER
- SUPPLEMENTARY DRAWING NUMBER



PROPOSED FIRST FLOOR PLAN



PROPOSED FIRST FLOOR UTILITY LOCATION PLAN

NAILS & SPA BY TARA

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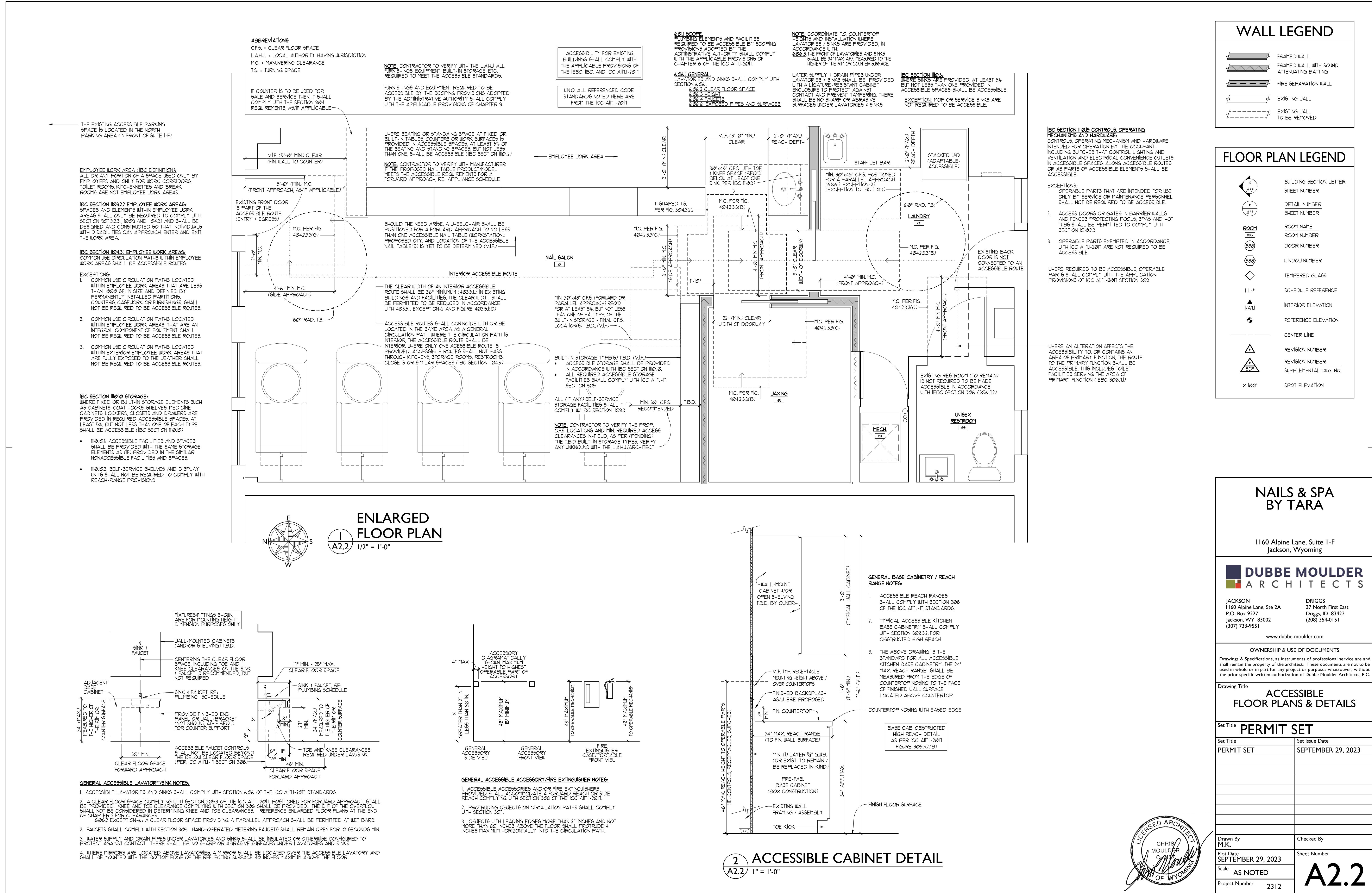
Drawing Title

FLOOR PLANS

PERMIT SET

Set Title	Set Issue Date
PERMIT SET	SEPTEMBER 29, 2023
Drawn By	M.K.
Plot Date	SEPTEMBER 29, 2023
Scale	1/4" = 1'-0"
Project Number	2312
Checked By	

A2.1



Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
retail	0.000216*sf	0	747	1	0.161

Existing Workforce Housing Credit 0.161

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
service	0.000216*sf	0	747	1	0.161

Affordable Workforce Housing Required: 0.000 units

Fee-in-Lieu Amount: \$ -

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).