



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: August 8, 2023

Item #: P23-147

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Email: TValentine@jacksonwy.gov

Owner

DW 580
PO Box 910
Jackson, WY 83001

Applicant

same

REQUESTS:

The applicant is submitting a request for a Basic Use Permit for short-term rental use at the property located at 255 E Snow King Ave. (formerly 580 S Willow St.), PIDN: 22-41-16-34-2-36-011

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

Please respond by: **August 22, 2023 (Sufficiency)**
August 29, 2023 (with Comments)

RESPONSE: For Departments not using SmartGov, please send responses via email to:
planning@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: **The Residence at Stag Landing**

Physical Address: **255 Snow King Blvd., Suite 103, Jackson, WY 83001**

Lot, Subdivision: **Lots 9, 10, Blk 4, Meadowland**

PIDN: **22-41-16-34-2-36-011**

PROPERTY OWNER.

Name: **DW 580 LLC**

Phone: **(917) 626-9674**

Mailing Address: **PO Box 910, Jackson, WY**

ZIP: **83001**

E-mail: **klaus@wrjdesign.com**

APPLICANT/AGENT.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner **Applicant/Agent**

TYPE OF APPLICATION. *Please check all that apply; review the type of application at www.townofjackson.com/200/Planning*

Use Permit

Basic Use

Physical Development

Sketch Plan

Interpretations

Formal Interpretation

Conditional Use

Development Plan

Zoning Compliance Verification

Special Use

Design Review

Amendments to the LDRs

Relief from the LDRs

Subdivision/Development Option

LDR Text Amendment

Administrative Adjustment

Subdivision Plat

Map Amendment

Variance

Boundary Adjustment (replat)

Miscellaneous

Beneficial Use Determination

Boundary Adjustment (no plat)

Other: _____

Appeal of an Admin. Decision

Development Option Plan

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____

Environmental Analysis #: _____

Original Permit #: _____

Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

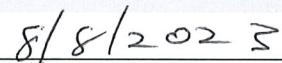
Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent

Klaus Baer

Name Printed



Date

Principal Owner

Title

Date: 08/07/2023

Submitted By: DW580 LLC Ownership

Submitted To: Town of Jackson Planning and Building Department

Regarding:

Narrative description of Residence for property at 255 E. Snow King Boulevard, Suite 103, Jackson, WY, 83001, to accompany Basic Use Permit application.

Greetings Planning and Building Department,

The following narrative is intended to accompany the Basic Use Permit application for the single family residence located at 255 E. Snow King Boulevard. This residence is part of the new construction project under Permit #B18-0472 (owned by DW580 LLC).

The property referenced on this application is a single family residence attached to a multi-use building. The residence is approximately 5,000 square feet and has four (4) bedrooms. The intention is for the owners to periodically rent the residence under short-term rental stays by using a local property management group at times they are not in town.

With respect ~


Rush Jenkins
(917) 860-8457
Owners / managers of DW580, LLC


Klaus Baer
(307) 314-3575

Housing Mitigation Plan

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Apartment (Unrestricted)	$0.000017 * \text{sf} + (\text{Exp}(-14.17 + 1.59 * \text{Ln(sf)})) / 2.176$		5000	1	0.000

Existing Workforce Housing Credit 0.000

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Short-Term Rental Unit	$0.102 * \text{bedrooms}$	4	5000	1	0.409

Affordable Workforce Housing Required: 0.409 units

Fee-in-Lieu Amount: \$ 111,116.42

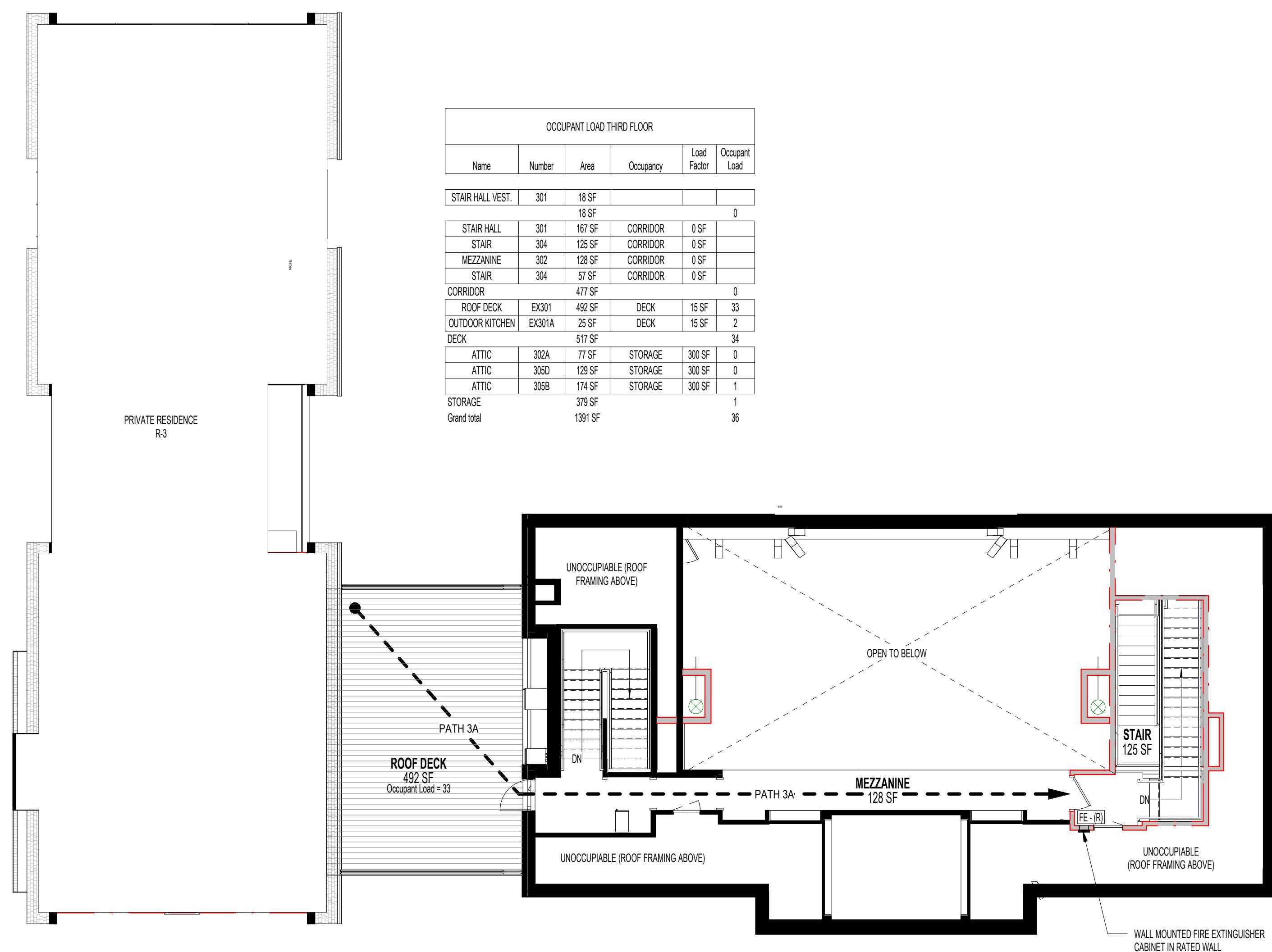
If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).

ABBREVIATIONS

A.D.	AREA DRAIN	N.R.C.	NOISE REDUCTION COEFFICIENT
ASY.	ASSEMBLY	NOM	NOMINAL
ATTN.	ATTENUATING	N	NORTH
AVE.	AVENUE	N/A	NOT APPLICABLE
BSMT	BASEMENT	N.I.C.	NOT IN CONTRACT
BTWN	BETWEEN	NTS	NOT TO SCALE
BIT	BITUMINOUS	NO.	NUMBER
BLKG	BLOCKING	O.C.	ON CENTER
BD	BOARD	OPNG	OPENING
B.O.	BOTTOM OF	OPP	OPPOSITE
BLVD	BOULEVARD	OSB	ORIENTED STRAND BOARD
BLDG	BUILDING	O.D.	OUTSIDE DIAMETER
BYO	BY OWNER	OH	OVERHEAD
CAB	CABINET	PNT	PANT
COD	CARBON MONOXIDE DETECTOR	PTD	PAINTED
CRPT	CARPET	PLAS	PLASTIC
C.I.	CAST IRON	PLAM	PLASTIC LAMINATE
CLG	CEILING	PL	PLATE
CT	CERAMIC TILE	PLUMB	PLUMBING
CIRUM	CIRCUMFERENCE	PWD	PLYWOOD
CLO	CLOSET	PT	POINT
COL	COLUMN	PVC	POLYVINYL CHLORIDE
CONC.	CONCRETE	PSI	POUNDS PER SQUARE INCH
CMU	CONCRETE MASONRY UNIT	PROP.	PROPERTY
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONTR.	CONTRACTOR	RAD	RADIUS
CJ	CONTRACT JOINT	REF	REFRIGERATOR
COORD.	COORDINATE	REINF.	REINFORCED
CTRNSNK	COUNTERSINK	REQD	REQUIRED
CU. FT.	CUBIC FEET	RA	RETURN AIR
EA	EACH	R	RISER
E	EAST	R.D.	ROOF DRAIN
ELEC.	ELECTRICAL	RM	ROOM
ELEV.	ELEVATOR	RO	ROUGH OPENING
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	SCHED	SCHEDULE
FD	FLOOR DRAIN	SECT	SECTION
FTG	FOOTING	SHT	SHEET
FDN	FOUNDATION	SD	SMOKE DETECTOR
FURN	FURNACE	SC	SOLID CORE
FUR	FURRED (FURRING)	STC	SOUND TRANSMISSION CLASS
GAL	GALLON	S	SOUTH
GALV.	GALVANIZED	SPEC	SPECIFICATION
GC	GENERAL CONTRACTOR	SPKLR	SPRINKLER
GL	GLASS, GLAZING	SQ	SQUARE
GFI	GROUND FAULT CIRCUIT INTERRUPTER	SQ.FT	SQUARE FOOT
GA	GUAGE	SQ IN	SQUARE INCH
GWB	GYPSUM WALL BOARD	SS	STAINLESS STEEL
G.Y. BD.	GYPSUM WALL BOARD	STD	STANDARD
HDWD	HARDWOOD	STL	STEEL
HTG	HEATING	ST	STONE
HVAC	HEATING VENTING AND AIR CONDITIONING	STO	STORAGE
HT	HEIGHT	STRUC	STRUCTURAL
HC	HOLLOW CORE	TEL	TELEPHONE
HM	HOLLOW METAL	TVHDV	TELEVISION (HIGH DEFINITION)
HM	HOLLOW METAL	TC	TERRA COTTA
HORIZ	HORIZONTAL	THK	THICK
HB	HOSE BIGG	T&G	TONGUE AND GROOVE
HR	HOUR	T.O.	TOP OF
IN	INCHES	T	TREAD
ID.	INSIDE DIAMETER	TYP.	TYPICAL
INT	INTERIOR	UL	UNDERWRITERS LABORATORY
JT	JOINT	UNO	UNLESS NOTED OTHERWISE
JUNCT.	JUNCTION	VAP. BAR.	VAPOR BARRIER
KIT	KITCHEN	VEN	VENeer
LAM	LAMINATE	VIF	VERIFY IN FIELD
LAV	LAVATORY	VERT	VERTICAL
L	LENGTH (LONG)	VB	VINYL BASE
LT	LIGHT	VCT	VINYL COMPOSITION TILE
LF	LINEAR FEET	VT	VINYL TILE
MFR	MANUFACTURER	WC	WATER CLOSET
MO	MASONRY OPENING	WH	WATER HEATER
MAS	MASONRY	WR	WATER RESISTANT
MATL	MATERIAL	WP	WATERPROOF
MAX	MAXIMUM	WWF	WELDED WIRE FABRIC
MECH	MECHANICAL	W	WEST
MTL	METAL	WI	WIDTH
MIN	MINIMUM	WIN	WINDOW
MISC	MISCELLANEOUS	WI	WITH
MTD	MOUNTED	WIO	WITHOUT
MULL	MULLION	WD	WOOD
		WK PT	WORK POINT
SHOP DRAWINGS, MOCK UPS, AND SUBMITTALS			
1. SHOP DRAWINGS AND/OR PRODUCT SUBMITTALS ARE TO BE PROVIDED TO THE ARCHITECT FOR REVIEW AND APPROVAL, AS NOTED BELOW. SHOW COORDINATION AND INTERFERENCE OF ALL EXTERIOR/INTERIOR ITEMS WITH ADJACENT FLUSHINGS, A.M.C. AND OTHER ADJACENT ASSEMBLIES.			
1.1. EXTERIOR WINDOWS AND DOORS			
1.2. EXTERIOR DOORS			
1.3. STRUCTURAL STEEL			
1.4. TRUSSES			
1.5. HVAC SYSTEMS AND TRIM			
1.6. PLUMBING SYSTEMS AND CAVITIES			
1.7. STARS, HANDRAILS, RAILINGS & BRACKETS			
1.8. ELECTRICAL CAVITIES AND TRIM			
1.9. HARDWARE			
1.10. SHOWER ENCLOSURES AND HARDWARE			
1.11. STONE VENEER (DELEGATED DESIGN, PROVIDE CALCULATIONS/ENGINEERING)			
1.12. CUT STONE & TILE			
1.13. FIREPLACE			
1.14. DECORATIVE METALS			
1.15. REINFORCING BARS			
1.16. STONE SLABS			
2. 1. STONE BLOCK UPS ARE TO BE PROVIDED FOR THE ARCHITECT'S REVIEW AS FOLLOWS:			
2.1. EXTERIOR SIDING			
2.2. EXTERIOR STONE CLADDING			
2.3. EXTERIOR TRIM			
2.4. INTERIOR TRIM			
2.5. MORTAR, WEPS, FLASHINGS, DRIP EDGES, TERMINATION BARS			
2.6. SILLS			
2.7. ROOFING			
2.8. SHEATHING			
2.9. PAINGS			
2.10. FIREPROOF			
2.11. WOOD FLOORING			
2.12. STONE/STEEL FLOORING			
2.13. BELOW-GRADE WATERPROOFING			

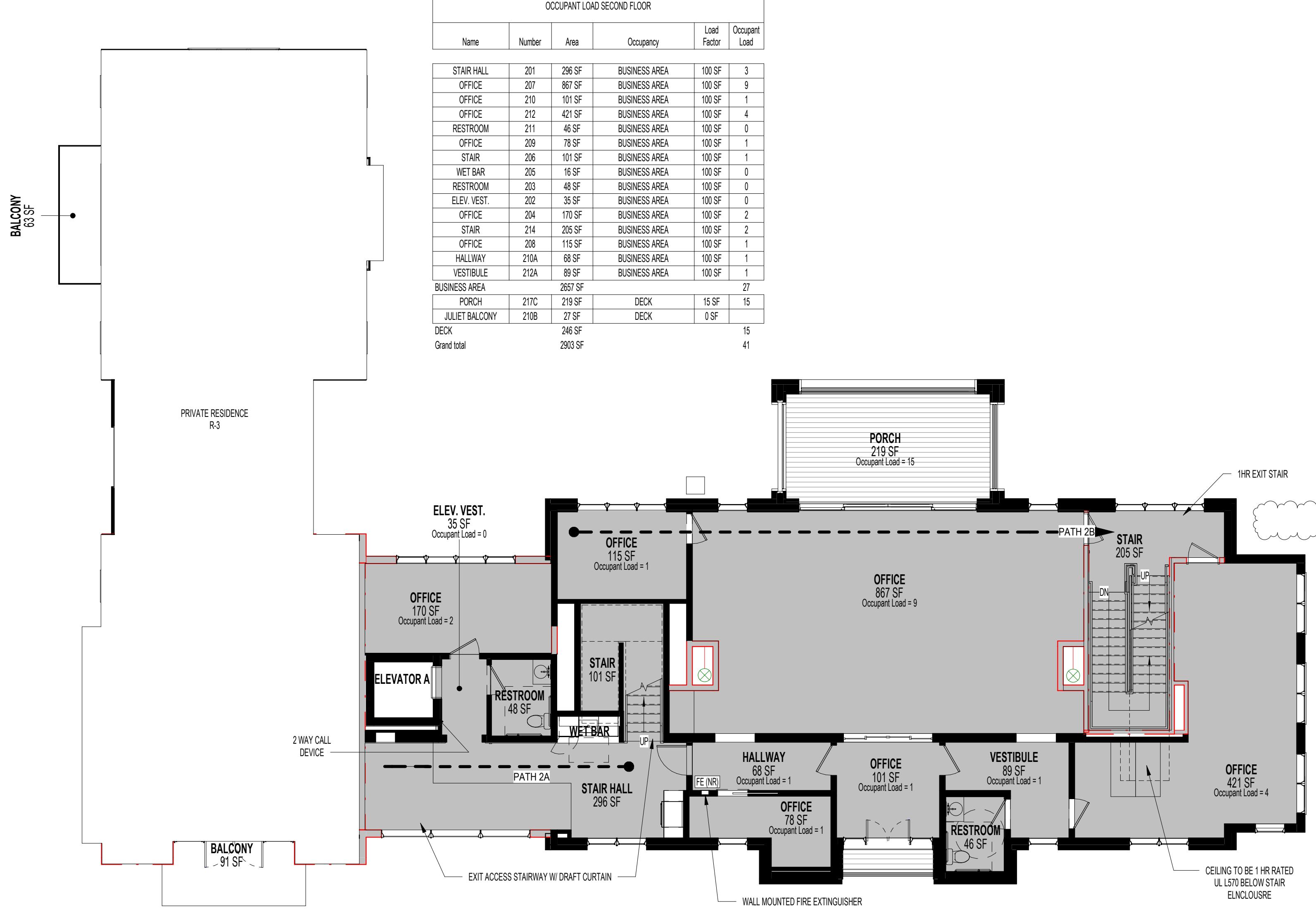
GENERAL REQUIREMENTS

1. ALL WORK PERFORMED MUST COMPLY WITH ALL APPLICABLE BUILDING CODES.
 2. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND NATIONAL CODES AND ORDINANCES.
 3. SUPPLEMENT TO THESE DOCUMENTS, THE GENERAL CONTRACTOR SHALL REFER TO THE GENERAL CONDITIONS FOR CONSTRUCTION, AS GIVEN IN AN DOCUMENT A-201, ARTICLE 14, INCLUSIVE.
 4. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MATERIALS, AND FINISHES. THESE DRAWINGS DO NOT NECESSARILY INDICATE DESCRIBE ALL WORK REQUIREMENTS FOR THE FULL COMPLETION OF THE PROJECT.
 5. THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT IN A FIRST CLASS WORKSHIPS/MANER.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
 7. ALL EXTERIOR INSTALLATION OF THE WORK SHALL BE PERFORMED IN A FIRST CLASS WORKSHIPS/MANER. THE COMPLETED SYSTEMS SHALL BE IN FULL OPERATION. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.
 8. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE INDUSTRY STANDARDS.
 9. WRITTEN DIMENSIONS HOLD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE PROJECT DRAWINGS.
 10. GENERAL CONTRACTOR SHALL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT. (OSHA) LATEST EDITION.
 11. GENERAL CONTRACTOR SHALL MAINTAIN INSURANCE FOR ALL WORK FOR ONE YEAR AFTER THE DATE OF FINAL COMPLETION.
 12. GENERAL CONTRACTOR SHALL MAINTAIN INSURANCE FOR ALL WORK FOR ONE YEAR AFTER THE DATE OF FINAL COMPLETION. THE CONTRACTOR SHALL PROVIDE A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES WITH A HOLD-HARMLESS CLAUSE, PROTECTING OWNER AND ARCHITECT.
 13. THE GENERAL CONTRACTOR SHALL VERIFY ALL LAYOUTS WITH THE ARCHITECT AS REQUIRED BEFORE PROCEEDING WITH THE WORK.
 14. THE PREMISES SHALL BE KEPT IN A BROOM-SWEPT FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL CONTRACTORS SHALL BE HELD RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEAVES DROPPED ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM-SWEPT FINISH CONDITION UPON THE COMPLETION OF THEIR PORTION OF THE PROJECT.
 15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS DELIVERED TO THE SITE.
 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE AND COMPLETE PROTECTION OF ALL ITEMS ON SITE THAT ARE EXISTING TO REMAIN.
 17. THE GENERAL CONTRACTOR SHALL PLACE ANY LOAD UPON OR CUT INTO ANY EXISTING FLOOR, WALL OR ROOF STRUCTURAL SYSTEM UNLESS SPECIFICALLY NOTED ON PROJECT DRAWINGS.
 18. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS, TECHNIQUES, PROCEDURES, AND COORDINATING FOR ALL PORTIONS OF THE WORK.
 19. ALL EXCAVATION, SHORING, AND THE ENGINEERING OF EXCAVATION AND SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 20. INSTALLATION OF FLOORS, WALLS, BEAMS, COLUMNS, AND OTHER HEADERS MAY REQUIRE SHORING AND BRACING. BEFORE STARTING ANY WORK, THE GENERAL CONTRACTOR SHALL INVESTIGATE THOROUGHLY TO DETERMINE THE EXTENT AND TYPE OF BRACING BEST SUITED TO THE CONDITIONS AND TO ALLOW INSTALLATION OF THE WORK.
 21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL NAMING SITE UTILITIES.
 22. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES AND SHALL OBTAIN CLARIFICATION FOR DESIGN INTENT ON ADDITIONAL DETAILS AND INFORMATION WHERE REQUIRED.
 23. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 24. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR PROPER OPERATION AND MAINTENANCE OF EQUIPMENT AND SYSTEMS. REVIEW ALL ACCESS PANEL LOCATIONS AND SPECIFY ACCESS PANELS TO PROVIDE COORDINATION WITH CONSTRUCTION.
 25. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING, BARICADES, AND LEADS SIGNAGE AROUND THE ENTIRE SITE TO PROTECT AND AT ANY INTERIOR FLOOR OPENINGS THAT MIGHT CAUSE A HAZARD.
 26. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THE IMMEDIATE INSTALLATION OF PROTECTIVE MATERIALS AND SUPPLIES INSTALLED BY THEIR WORKERS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THE REPLACEMENT OF PROTECTIVE MATERIALS INSTALLED BY OTHERS IF REMOVED BY THEIR WORKERS.
 27. ALL CHANGES PROPOSED BY THE GENERAL CONTRACTOR IN ANY DETAIL, SYSTEM OR MATERIAL (INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER CONSULTANT WORK) SHALL BE PROPOSED AND SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL.
 28. THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY FENCING, BARICADES, AND LEADS SIGNAGE AROUND THE ENTIRE SITE TO PROTECT AND AT ANY INTERIOR FLOOR OPENINGS THAT MIGHT CAUSE A HAZARD.
 29. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES AND SHALL OBTAIN CLARIFICATION FOR DESIGN INTENT ON ADDITIONAL DETAILS AND INFORMATION WHERE REQUIRED.
 30. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 31. THE GENERAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF HVAC DUCTS, DRILLS, AND LIGHT FIXTURES WITH THE FRAMING MEMBERS. IN CASE OF CONFLICT, LIGHTING AND DIFFUSER LAYOUT SHALL GOVERN.
 32. DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING AND FACE OF MASONRY, UNLESS OTHERWISE NOTED.
 33. THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY FENCING, BARICADES, AND LEADS SIGNAGE AROUND THE ENTIRE SITE TO PROTECT AND AT ANY INTERIOR FLOOR OPENINGS THAT MIGHT CAUSE A HAZARD.
 34. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
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 51. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 52. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 53. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 54. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 55. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 56. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR NEW/EXISTING OPENINGS, PENETRATIONS AT PRE-FABRATED ASSEMBLIES, AND STRUCTURE MEMBERS.
 57. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODE



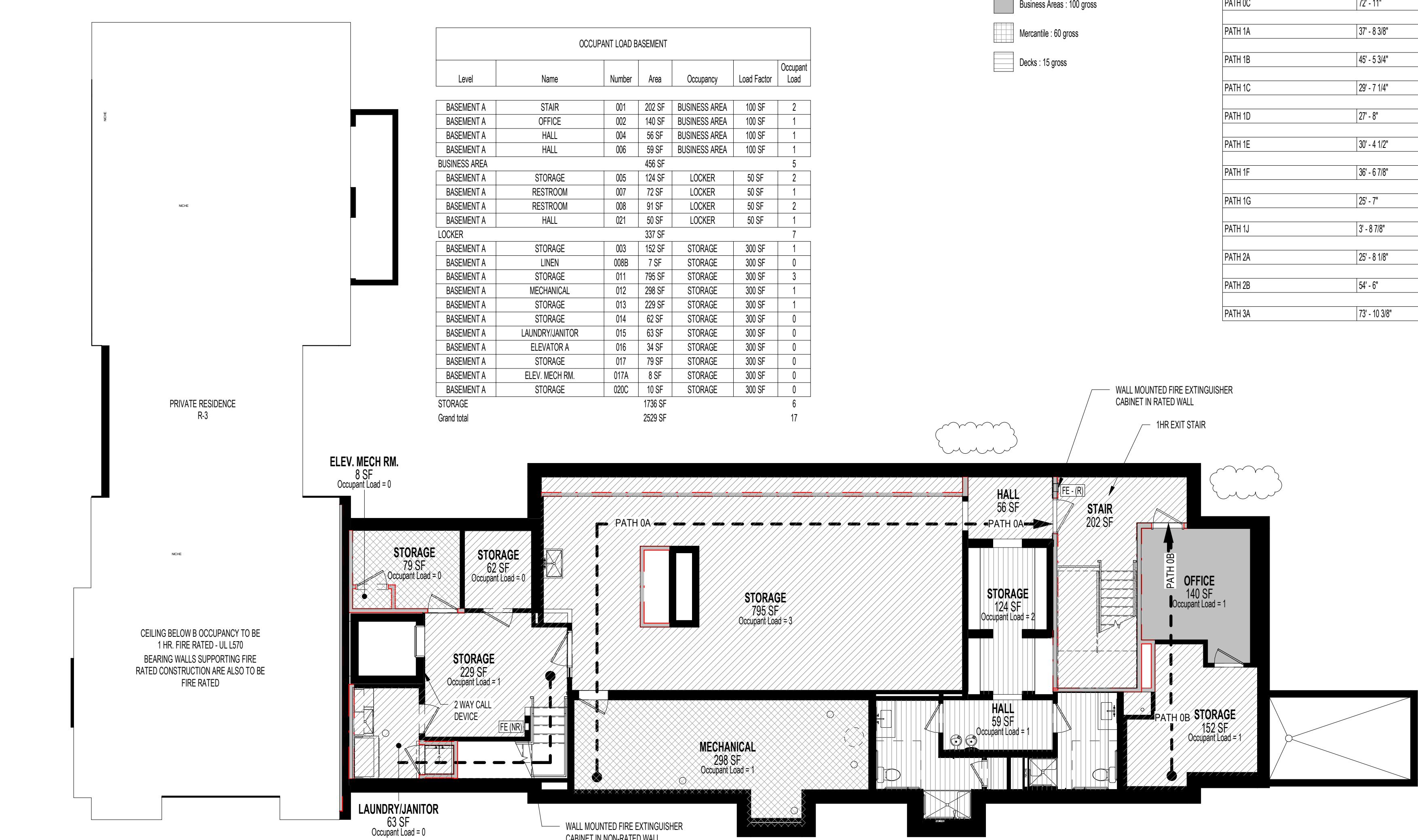
4 LEVEL 3 EGRESS PLAN

4 LEVEL
1/8" - 11/32"



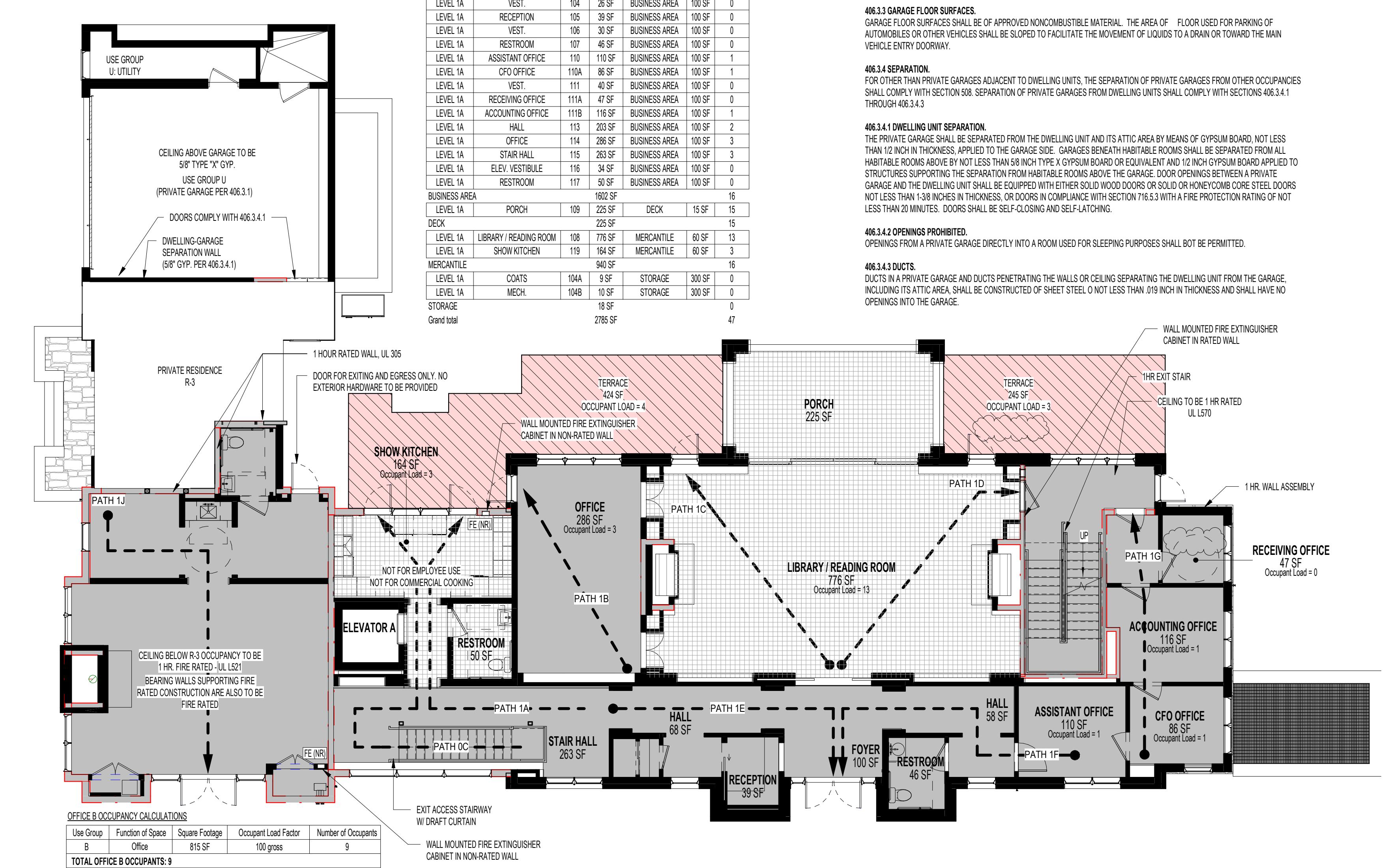
3 LEVEL 2 EGRESS PLAN

1/8 = 1-0



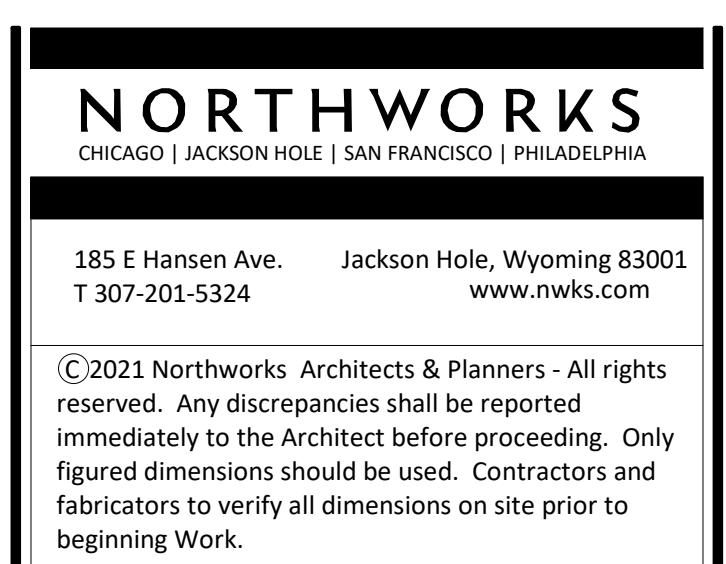
1 BASEMENT EGRESS PLAN

1 BA
1/8"



2 LEVEL 1 EGRESS PLAN 1/8" = 1'-0"

1/8



NORTHWORKS

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5 E Hansen Ave. Jackson Hole, Wyoming 83001

021 Northworks Architects & Planners - All rights reserved. Any discrepancies shall be reported immediately to the Architect before proceeding. Only agreed dimensions should be used. Contractors and Subcontractors are required to verify all dimensions on site prior to commencing Work.

ISSUED DATE	ISSUED FOR
06/30/2022	RFI #216 DOOR COORDINATION
07/02/2018	PERMIT
01/15/2018	PERMIT REVISION 1
02/28/2019	PERMIT REVISION 2
06/03/2021	PERMIT REVISION 10
12/09/2021	VE ISSUANCE
02/04/2022	PERMIT REVISION 14 TOJ RESPONSES
03/04/2022	PERMIT REVISION 14 TOJ RESPONSES
05/10/2022	PERMIT REVISION 15

PROFESSIONAL SEAL

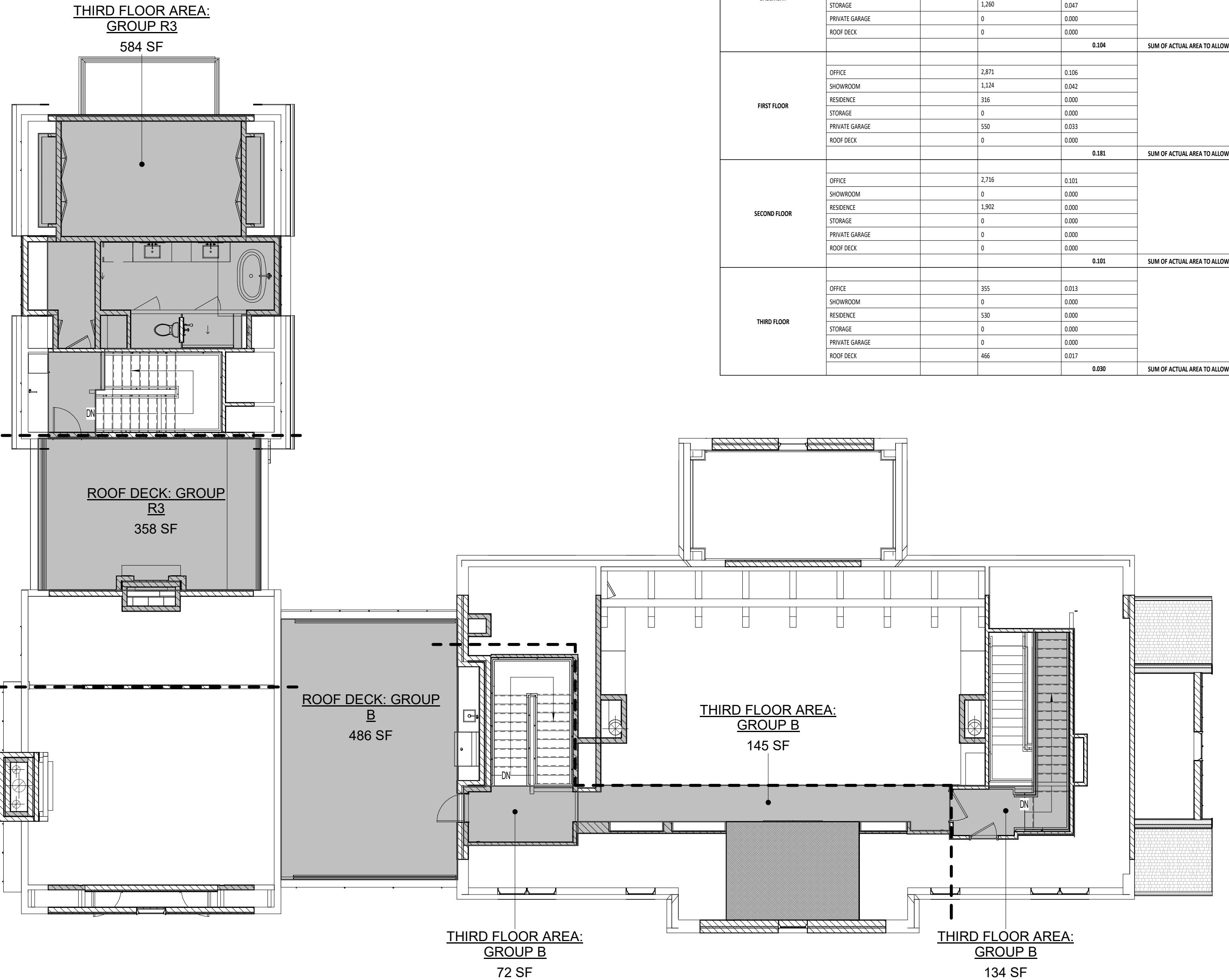
PROJECT

W580
0 SOUTH WILLOW STREET

816	Project No.
W, MA	Drawn By
EAD	Checked By
	Drawing No.

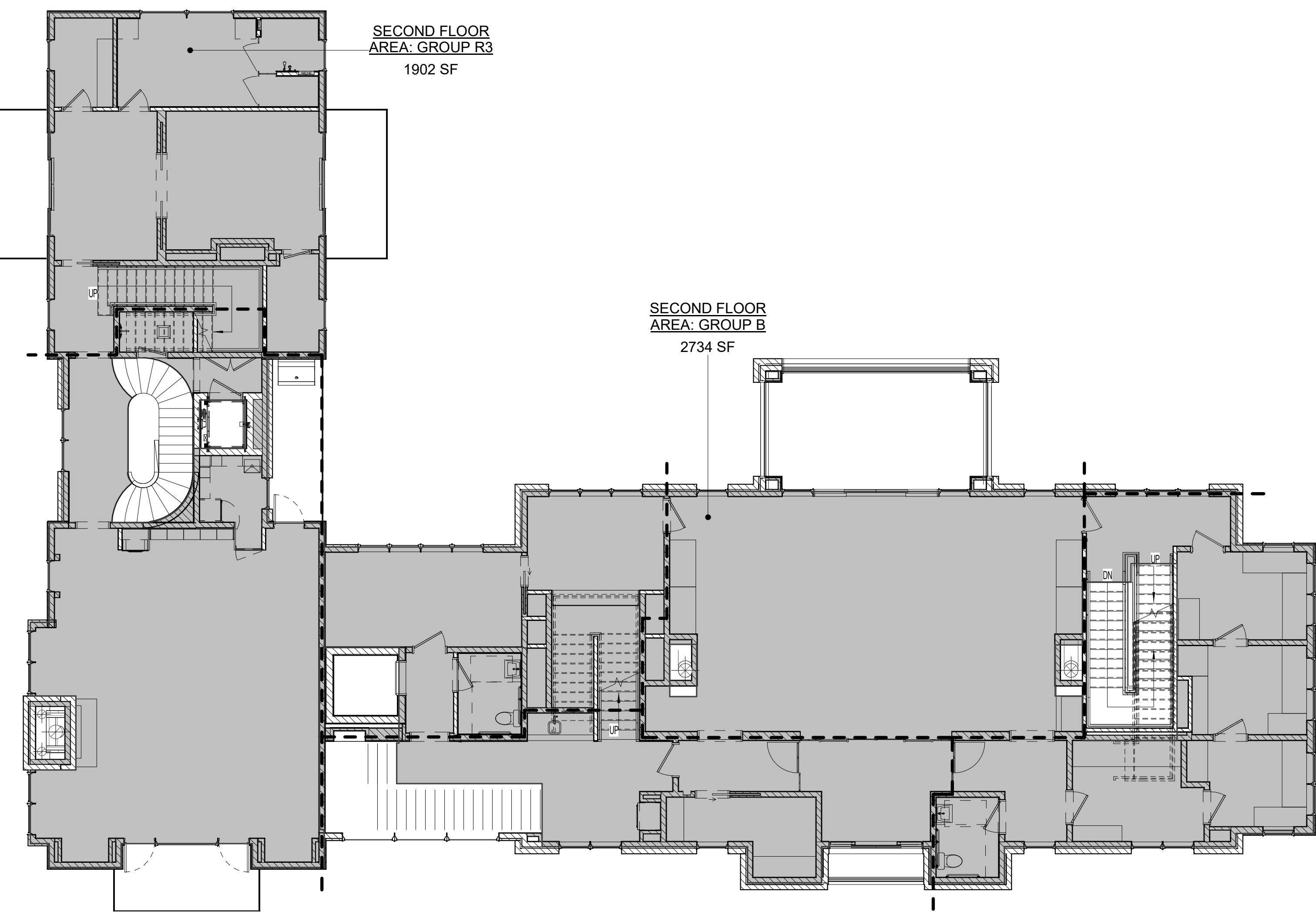
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Drawing Name



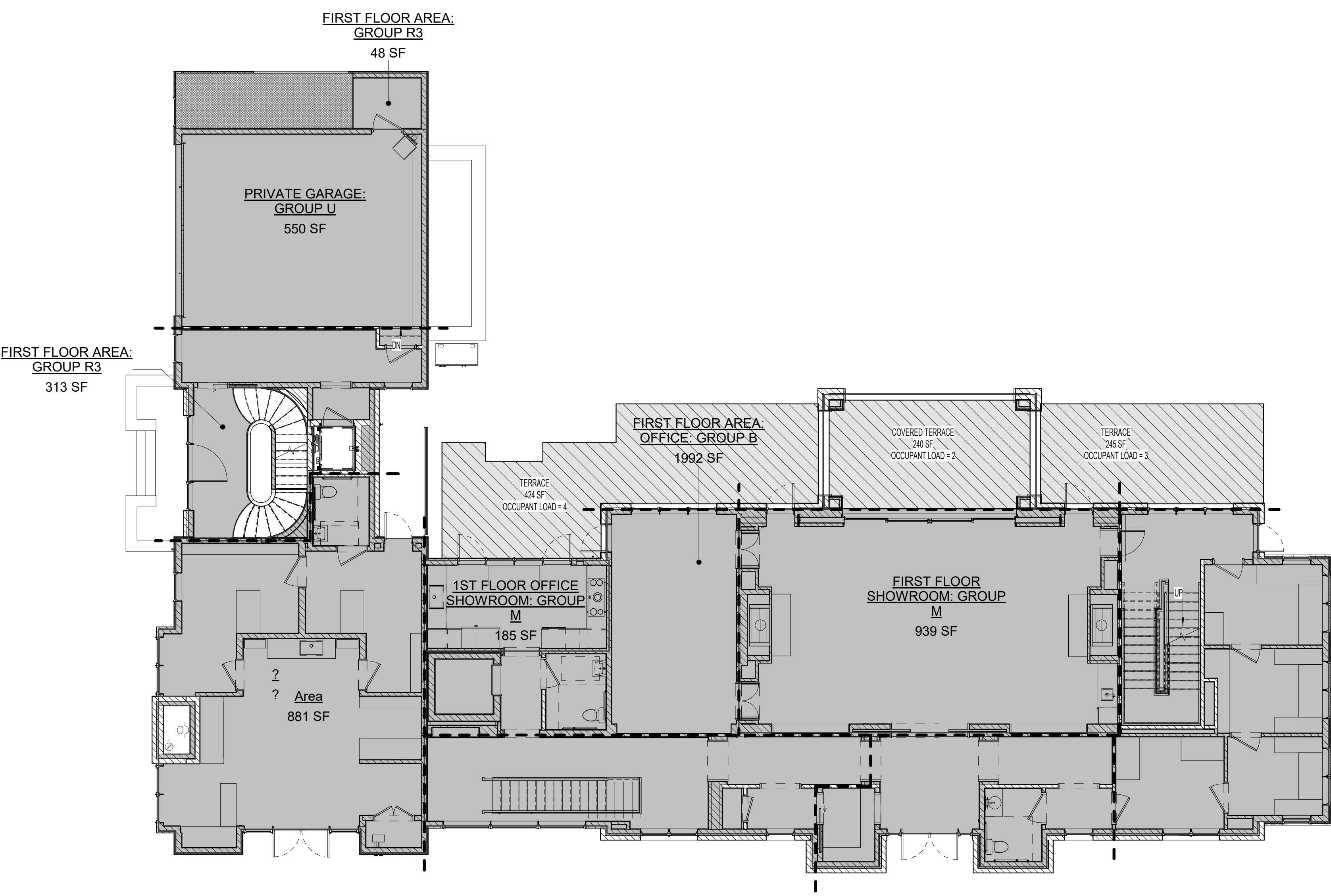
3 LEVEL 3 AREA PLAN

3



2 LEVEL 2 AREA PLAN

2 1/8" = 1'-0"



1 LEVEL 1 AREA PLAN

Digitized by srujanika@gmail.com

Construction Type - VB	OCCUPANCY GROUP	SPRINKLER	ALLOWABLE AREA				
Office	Group B	SM	27,000				
Showroom	Group M	SM	27,000				
Residence	Group R3	SM	UL				
Storage	Group S1	SM	27,000				
Private Garage	Group U	SM	16,500				
Roof Deck	Group B	SM	27,000				
SM = Buildings two or more stories above grade plane equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1							
	GROUP		AREA	RATIO			
BASEMENT	OFFICE		1,558	0.058			
	SHOWROOM		0	0.000			
	RESIDENCE		1,751	0.000			
	STORAGE		1,260	0.047			
	PRIVATE GARAGE		0	0.000			
	ROOF DECK		0	0.000			
				0.104	SUM OF ACTUAL AREA TO ALLOWABLE AREA RATIOS		
FIRST FLOOR	OFFICE		2,871	0.106			
	SHOWROOM		1,124	0.042			
	RESIDENCE		316	0.000			
	STORAGE		0	0.000			
	PRIVATE GARAGE		550	0.033			
	ROOF DECK		0	0.000			
				0.181	SUM OF ACTUAL AREA TO ALLOWABLE AREA RATIOS		
SECOND FLOOR	OFFICE		2,716	0.101			
	SHOWROOM		0	0.000			
	RESIDENCE		1,902	0.000			
	STORAGE		0	0.000			
	PRIVATE GARAGE		0	0.000			
	ROOF DECK		0	0.000			
				0.101	SUM OF ACTUAL AREA TO ALLOWABLE AREA RATIOS		
THIRD FLOOR	OFFICE		355	0.013			
	SHOWROOM		0	0.000			
	RESIDENCE		530	0.000			
	STORAGE		0	0.000			
	PRIVATE GARAGE		0	0.000			
	ROOF DECK		466	0.017			
				0.030	SUM OF ACTUAL AREA TO ALLOWABLE AREA RATIOS		

AREA SCHEDULE - CONDO GROSS AREA	
NAME	AREA
Area	Not Placed
BASEMENT FLOOR AREA: GROUP R3	1748 SF
FIRST FLOOR AREA: GROUP R3	313 SF
FIRST FLOOR AREA: GROUP R3	48 SF
Area	881 SF
SECOND FLOOR AREA: GROUP R3	1902 SF
THIRD FLOOR AREA: GROUP R3	584 SF
ROOF DECK: GROUP R3	358 SF
TOTAL	5834 SF

AREA SCHEDULE - OFFICE GROSS AREA	
NAME	AREA
	Not Placed
EMENT FLOOR AREA: GROUP B	1001 SF
EMENT FLOOR AREA: GROUP B	450 SF
T FLOOR AREA: OFFICE: GROUP B	1992 SF
T FLOOR SHOWROOM: GROUP M	939 SF
FLOOR OFFICE SHOWROOM: GROUP M	185 SF
	881 SF
OND FLOOR AREA: GROUP B	2734 SF
RD FLOOR AREA: GROUP B	72 SF
F DECK: GROUP B	486 SF
RD FLOOR AREA: GROUP B	134 SF
RD FLOOR AREA: GROUP B	145 SF
AL	9020 SF

S. WILLOW LDR REVIEW

Zone
sf or 0.34 Acres
King Ave: Primary Street
St: Secondary Street

trian frontage: Trees in Grates (Trees in Grass Acceptable due to existing precede
ng Frontage: Office
transparency: 40% Ground Story (primary St)
20% Ground Story (Secondary St)
20% upper Story (Primary & Secondary St)

ng Setbacks:
Primary St.: 0'-5'
Secondary St.: 0'-5'
side (interior): 0' or 5'
Rear (min.): 10'

Façade: Width of Ground and 2nd story in setback range
Primary St.: 80% (30' length from corner)
Secondary St.: 40% (30' length from corner)

NORTHWORKS

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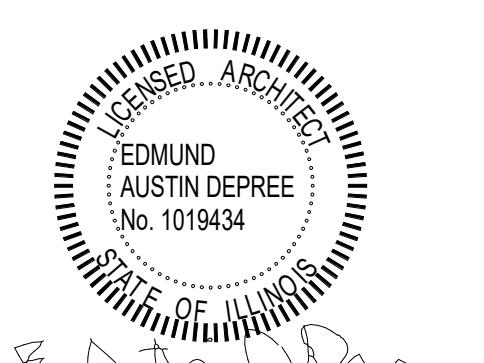
OCCUPANT LOAD RESIDENTIAL AREA			
Level	Name	Area	AREA / 200 SF
BASEMENT A	BASEMENT FLOOR AREA: GROUP R3	1748 SF	9
LEVEL 1A	FIRST FLOOR AREA: GROUP R3	313 SF	2
LEVEL 1A	FIRST FLOOR AREA: GROUP R3	48 SF	0
LEVEL 2A	SECOND FLOOR AREA: GROUP R3	1902 SF	10
LEVEL 3A	THIRD FLOOR AREA: GROUP R3	584 SF	3 PEOPLE
LEVEL 3A	ROOF DECK: GROUP R3	358 SF	2

REQUIRED PLUMBING FIXTURES:
WATER CLOSETS: 5 REQUIRED - 6 PROVIDED
 2 FOR THE FIRST 50 AND 3 FOR 50-150
LAVATORIES: 3 REQUIRED - 6 PROVIDED
 2 FOR THE FIRST 80 AND 1 FOR 80-150
WATER FOUNTAIN: 2 REQUIRED - 2 PROVIDED (AT WET BAR)
SERVICE SINK: 1 REQUIRED - 1 PROVIDED

OCCUPANT LOAD COMMERCIAL				
Level	Occupancy	Area	Load Factor	Occupant Load
Not Placed		0 SF		0
Not Placed	BUSINESS AREA	0 SF	100 SF	0
Not Placed	LOCKER	0 SF	50 SF	0
Not Placed	STORAGE	0 SF	300 SF	0
Not Placed: 10		0 SF		0
BASEMENT B		36 SF		0
BASEMENT B: 1		36 SF		0
BASEMENT A	BATH	163 SF	0 SF	0
BASEMENT A	BUSINESS AREA	472 SF	100 SF	5
BASEMENT A	LOCKER	176 SF	50 SF	4
BASEMENT A	STORAGE	1772 SF	300 SF	6
BASEMENT A: 18		2583 SF		14
OUTDOOR TERRACESNESS .909 SF		100 SF	9100 SF	19
LEVEL 1A	DECK	232 SF	15 SF	15
LEVEL 1A	MERCANTILE	898 SF	60 SF	15
LEVEL 1A	STORAGE	26 SF	300 SF	0
LEVEL 1A: 23		3089 SF		50
LEVEL 2B		122 SF		0
LEVEL 2B: 3		122 SF		0
LEVEL 2A		27 SF		0
LEVEL 2A	BATH	94 SF	0 SF	0
LEVEL 2A	BUSINESS AREA	2429 SF	100 SF	24
LEVEL 2A	CIRCULATION SPACE	140 SF	0 SF	0
LEVEL 2A	DECK	221 SF	15 SF	15
LEVEL 2A: 20		2911 SF		39
LEVEL 3B		25 SF		0
LEVEL 3B: 1		25 SF		0
LEVEL 3A		57 SF		0
LEVEL 3A	CORRIDOR	1302 SF	0 SF	0
LEVEL 3A	DECK	517 SF	15 SF	34
LEVEL 3A	STORAGE	379 SF	300 SF	1
LEVEL 3A: 9		2256 SF		36
Grand total		11021 SF		139

NO.	ISSUED DATE	ISSUED FOR
A	07/02/2018	PERMIT
B	01/15/2018	PERMIT REVISION 1
C	02/28/2019	PERMIT REVISION 2
M	04/09/2021	IEC: SHELL AND CORE

PROFESSIONAL SEAL



PROJECT DW580

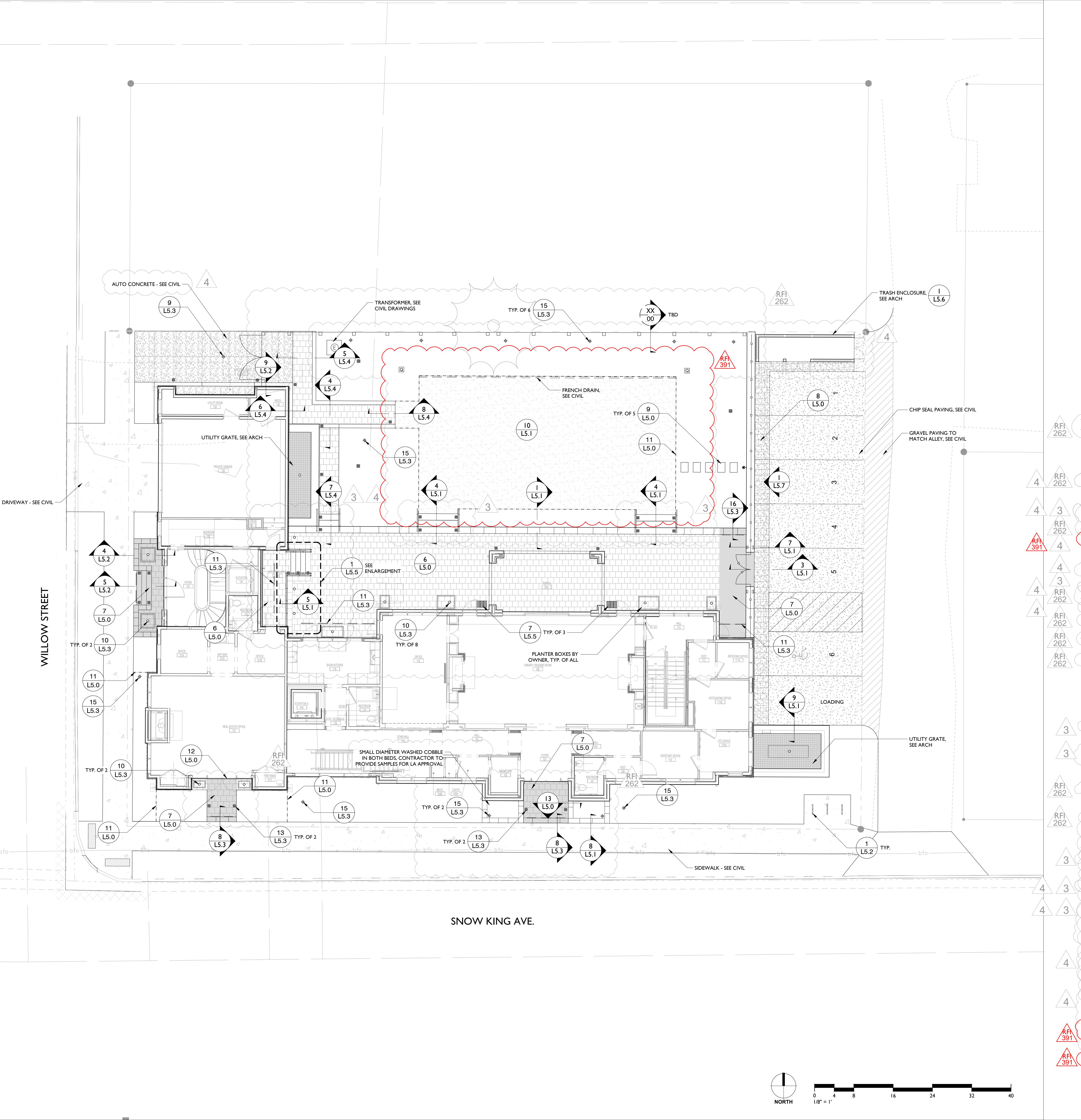
580 SOUTH WILLOW STREET

JACKSON, WY 83001

1816	Project No.
AW, MA	Drawn By
EAD	Checked By
	Drawing No.

G0.03

AREA PLANS



LEGEND

PROPERTY BOUNDARY
DRIVEWAY
ROADWAY
EDGER
SLOT DRAIN
FRENCH DRAIN
SAND-SET STONE PAVING
MORTAR-SET STONE PAVING
MORTAR-SET STONE PAVING W/ SNOWMELT
SAND-SET STONE EDGER
SITE WALL
CHIP SEAL PAVING
CONCRETE
EXPOSED AGGREGATE CONCRETE
CRUSHED GRAVEL
FENCE, TBD
EXISTING GRAVEL ALLEY
CRUSHED AGGREGATE PAVING
STEPPING STONES
PATH LIGHT
WALL LIGHT
WALL PLUG, SEE AV DRAWINGS
IN-GROUND PLUG IN PLANTING, SEE AV DRAWINGS
IN-GROUND PLUG IN Hardscape, SEE AV DRAWINGS
LANDSCAPE DRAIN INLET, SEE CIVIL
PLANTER DRAIN INLET
QUICK COUPLER VALVE

DETAIL REPORT

NUMBER	TITLE
1/L5.0	CONTROL JOINT
2/L5.0	EXPANSION JOINT
3/L5.0	DOWELED EXPANSION JOINT
4/L5.0	PEDESTRIAN CONCRETE
5/L5.0	PED SLAB TURNDOWN - TYP REINFORCEMENT
6/L5.0	MORTAR-SET STONE PAVING
7/L5.0	MORTAR-SET STONE PAVING W/ SNOWMELT
8/L5.0	SAND-SET STONE PAVING AT PARKING
9/L5.0	SECTION: SAND-SET STONE PAVING + PLANTING AREA
10/L5.0	STEPS / SAND-SET STONE PAVING
11/L5.0	STEEL EDGER
12/L5.0	BUILDING / MORTAR-SET STONE PAVING
13/L5.0	MORTAR-SET STONE PAVING / STONE BAND
14/L5.0	DECORATIVE STONE BAND
1/L5.1	MORTAR-SET STONE TERRACE EDGE
2/L5.1	PEDESTRIAN CONCRETE / PLANTING AREA
3/L5.1	MORTAR-SET STONE PAVING / STONE SLAB / SAND-SET STONE PAVING
4/L5.1	MORTAR-SET TERRACE TO SLAB STEPPING STONE - CONDITION B
5/L5.1	WEST TERRACE ENTRY EDGE (PENDING STRUCTURAL REVIEW)
6/L5.1	STONE VENEER WALL
7/L5.1	SECTION: STONE VENEER WALL WITH FENCE AT PARKING
8/L5.1	STONE BAND / CONCRETE SIDEWALK
9/L5.1	SECTION: STONE VENEER WALL AT PARKING
10/L5.1	CRUSHED AGGREGATE PAVING
1/L5.2	INVERTED U-STYLE BIKE RACK
2/L5.2	WEST COURTYARD TERRACE STEPS
3/L5.2	MORTAR-SET TERRACE / STEPPING STONE SLAB
4/L5.2	RESIDENTIAL ENTRY TERRACE EDGE
5/L5.2	RESIDENTIAL ENTRY STEPS WITH SLOT DRAIN
6/L5.2	5" AUTO CONCRETE TRENCH DRAIN
7/L5.2	PEDESTRIAN CONCRETE / SAND-SET STONE PAVING
8/L5.2	SAND-SET STONE PAVING / CHIP SEAL PAVING
9/L5.2	BUILDING / DECORATIVE STONE BAND / CONCRETE
1/L5.3	DECIDUOUS TREE PLANTING
2/L5.3	CONIFEROUS TREE PLANTING
3/L5.3	SHRUB PLANTING
4/L5.3	PERENNIAL PLANTING
5/L5.3	LAWN SOD
6/L5.3	ROOT BARRIER AT STREET TREES
7/L5.3	TREE PLANTER DIMENSIONS
8/L5.3	SLOT DRAIN AT MORTAR-SET STONE PAVING / SIDEWALK
9/L5.3	CONCRETE AREA DRAIN
10/L5.3	TERRACE AREA DRAIN
11/L5.3	TERRACE SLOT DRAIN
12/L5.3	WALL LIGHT - TYPE 1
13/L5.3	PATH LIGHT
14/L5.3	COBBLE DRIP EDGE
15/L5.3	LANDSCAPE AREA DRAIN
16/L5.3	MORTAR-SET STONE TERRACE EDGE W/ SLOT DRAIN
1/L5.4	STEPPING STONE SLAB - SECTION
2/L5.4	WALL LIGHT - TYPE 2
3/L5.4	WALL LIGHT - TYPE 2 - WEST-TERRACE-ENTRY
4/L5.4	STONE CURB STEP
5/L5.4	CONCRETE / STONE PAVING / STONE CURB
6/L5.4	DECORATIVE STONE BAND / MORTAR-SET STONE PAVING
7/L5.4	MORTAR-SET TERRACE TO SLAB STEPPING STONE - CONDITION A
8/L5.4	MORTAR-SET STONE PAVING / PLANTING
9/L5.4	POST TO WALL CONNECTION
1/L5.5	WEST TERRACE GUARDRAIL - PLAN
2/L5.5	WEST TERRACE GUARDRAIL - ELEVATION 2
3/L5.5	WEST TERRACE GUARDRAIL - ELEVATION 3
4/L5.5	PATH LIGHT IN SOLID SLABS
5/L5.5	WEST TERRACE GUARDRAIL - ELEVATION 1
6/L5.5	HANDRAIL POST ANCHOR
7/L5.5	GROUND BOX IN STONE PAVING
8/L5.5	COURTYARD TENT ANCHOR PLAN
9/L5.5	TENT ANCHORS
1/L5.6	TRASH ENCLOSURE PLAN
2/L5.6	TRASH ENCLOSURE - ELEVATIONS
3/L5.6	PRIVACY FENCE AT PLANTING
4/L5.6	PRIVACY FENCE - PLAN
5/L5.6	PRIVACY FENCE GATE
6/L5.7	ELEVATION: STONE VENEER WALL WITH FENCE AT PARKING

ISSUED DATE	ISSUED FOR
07/02/2018	ISSUE FOR PERMIT
10/15/2018	ISSUE FOR PRICING
06/30/2019	PERMIT REVISION 11
08/17/2021	ISSUE FOR PRICING
08/27/2021	90% CONSTRUCTION DOCUMENTS / PRICING (Rev P11)
12/09/2021	VE ISSUANCE (P13)
04/15/2022	PERMIT REVISION 15 (Rev P15)
04/22/2022	REVISION SET (Rev 2)
05/11/2022	CONSTRUCTION DOCUMENT SET
09/30/2022	RFI 262 (Rev RFI 262) ^{4th} ₂₆₂
02/23/2023	Rev 3 ³ ₃
03/29/2023	Rev 4 ⁴ ₄
07/21/2023	RFI 391 ³⁹¹ ₃₉₁

PROFESSIONAL SEAL



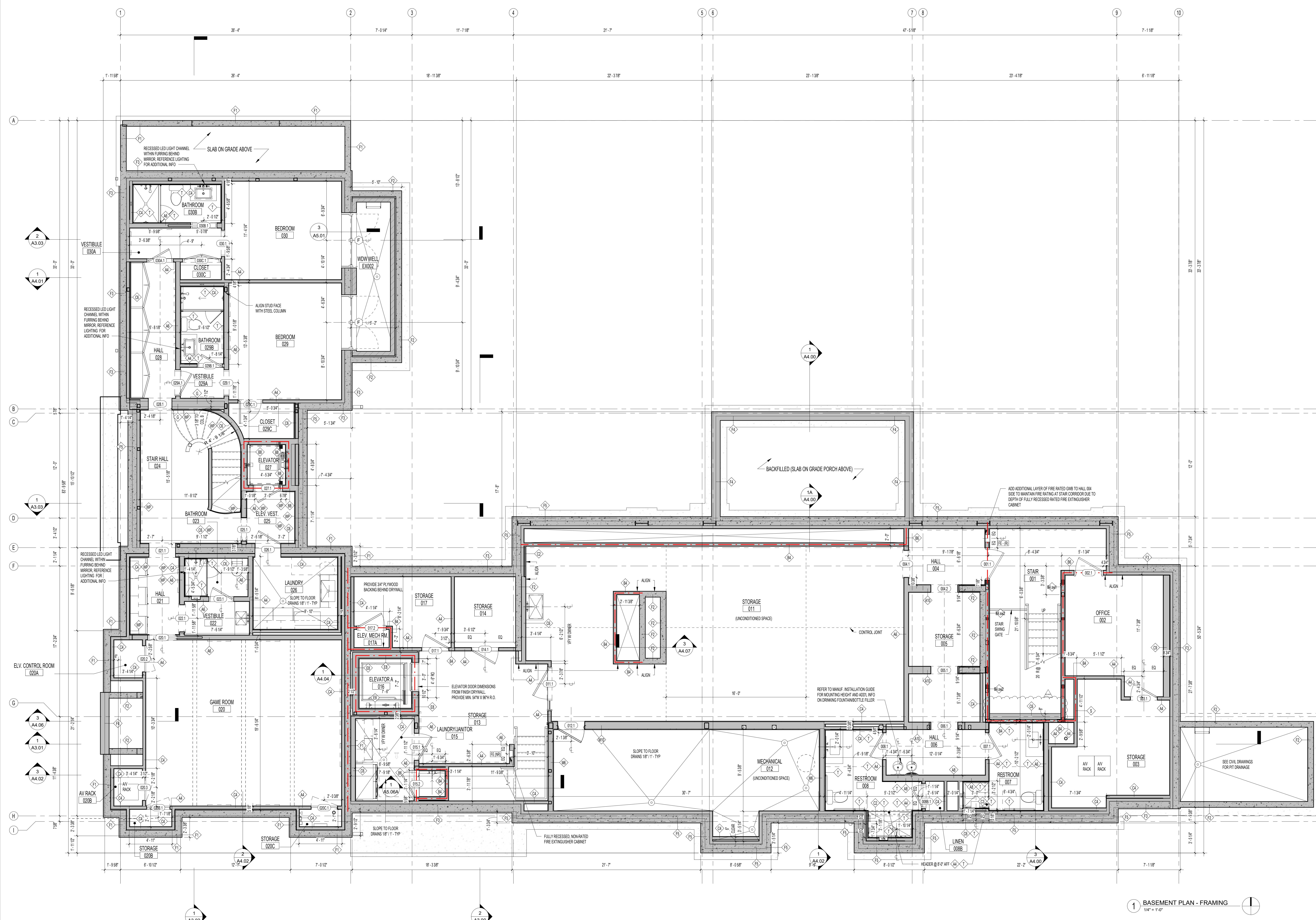
PROJECT DW580

580 SOUTH WILLOW STREET
JACKSON, WY 83001

Project No. 18105
Drawn By: MT
Checked By: MK
Drawing No.

L1.0

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Drawing Name
SITE MATERIALS PLAN

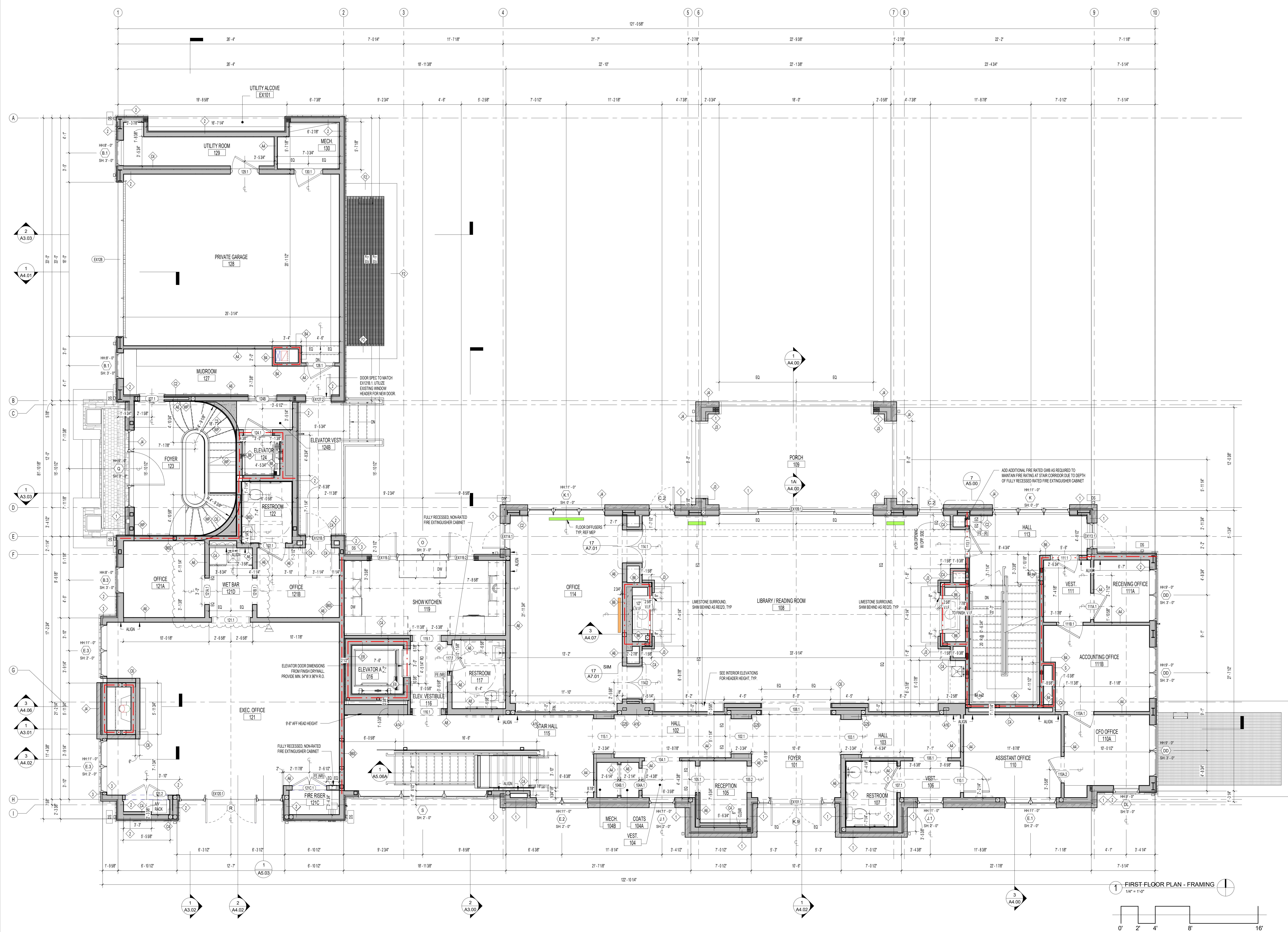


NO.	ISSUED DATE	ISSUED FOR
P1	06/09/2022	RFI#216 DOOR COORDINATION
P2	06/09/2022	RFI#233
P3	07/02/2018	Date 105
P4	01/15/2019	RFI#257
P5	02/28/2019	PERMIT
P6	04/30/2019	PERMIT REVISION 1
P7	06/03/2021	PERMIT REVISION 2
P8	07/02/2021	PERMIT REVISION 8
P9	07/02/2021	PERMIT REVISION 10
P10	07/02/2021	PERMIT REVISION 11
P11	08/31/2021	IFC, MEP
P12	12/09/2021	VE ISSUANCE
P13	02/04/2022	PERMIT REVISION 14 TOJ
P14	02/04/2022	RESPONSES
P15	05/19/2022	PERMIT REVISION 15

PROFESSIONAL SEAL

PROJECT
DW580
580 SOUTH WILLOW STREET
JACKSON, WY 83001

1816 Project No.
AW, MA Drawn By
EAD Checked By
Drawing No. A1.10
Drawing Name
BASEMENT FRAMING PLAN



NO.	ISSUED DATE	ISSUED FOR
	06/30/2022	RFI#216 DOOR COORDINATION
	08/05/2022	RFI#240.2
	8/30/2022	RFI#263 LIBRARY 108 FIREPLACE REV
	10/12/2022	RFI#204
P1	02/14/2023	RFI#4329
P2	07/02/2018	PERMIT
P3	02/28/2019	PERMIT REVISION 1
P9	06/03/2020	PERMIT REVISION 2
P10	07/02/2021	PERMIT REVISION 10
P11	08/31/2021	PERMIT REVISION 11
P13	12/09/2021	VE ISSUANCE
P14	02/04/2022	PERMIT REVISION 14 TOJ RESPONSES
P15	05/19/2022	PERMIT REVISION 15
P16	01/10/2023	PERMIT REVISION 16

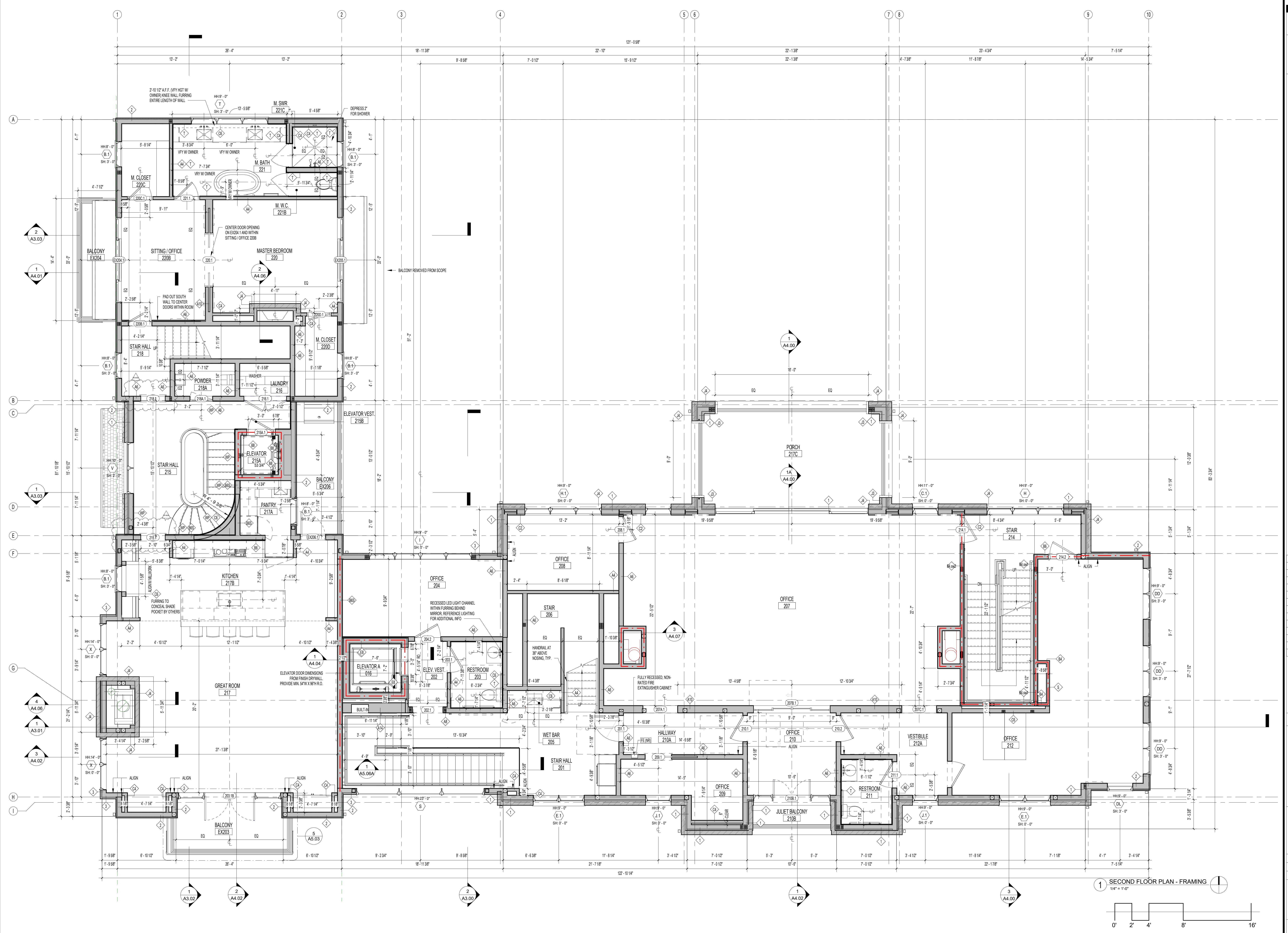
PROFESSIONAL SEAL

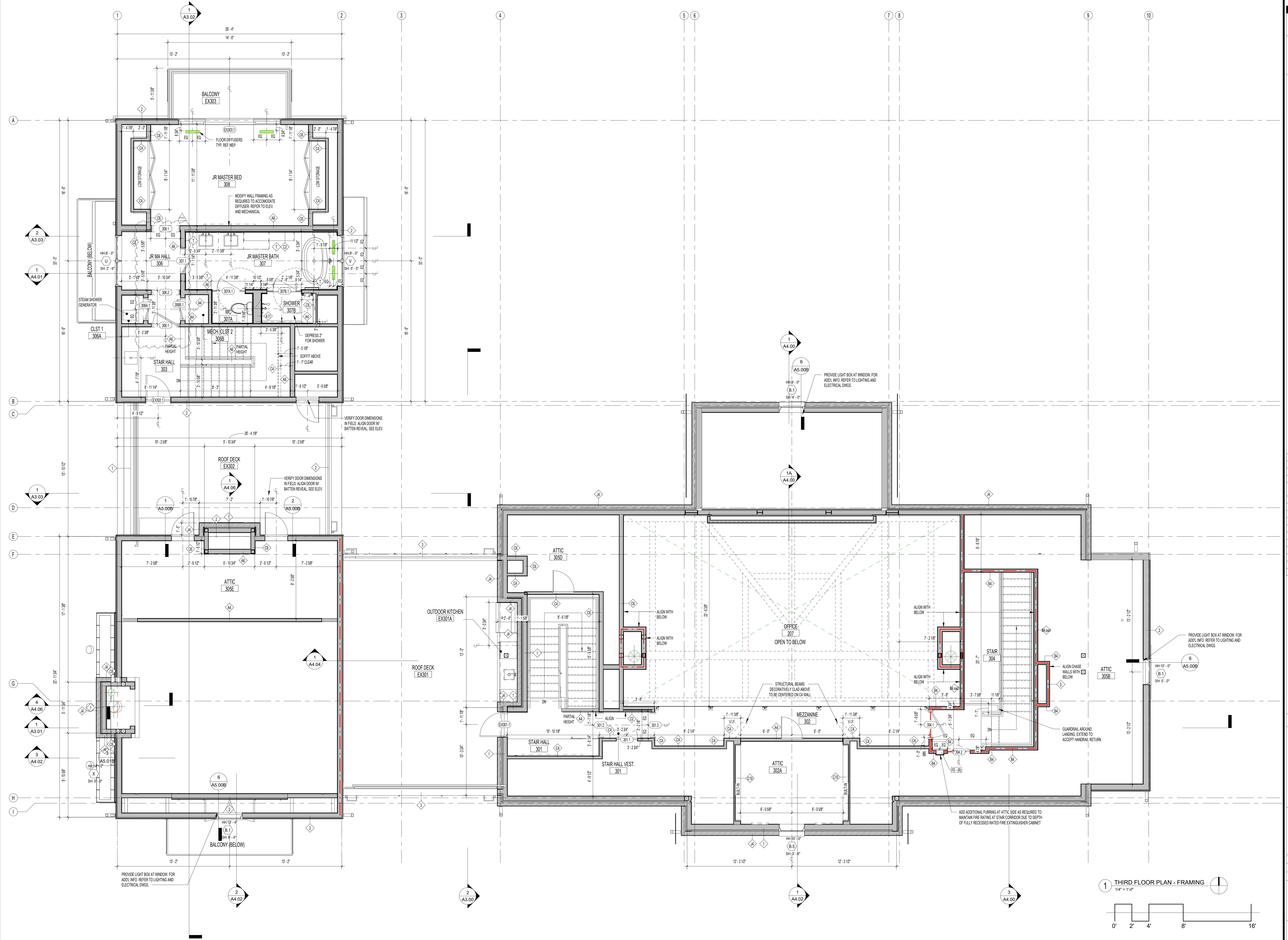
PROJECT
DW580
580 SOUTH WILLOW STREET
JACKSON, WY 83001

1816 Project No.
AW, MA Drawn By
EAD Checked By
Drawing No.

A1.11

Drawing Name
FIRST FLOOR FRAMING PLAN







February 08, 2021

Subcontractor Number:

Laboratory Report: **RES 484739-1**

Project #/P.O. #: **21-052-01**

Project Description: **Residence, 580 S Willow Street,
Jackson, Wyoming**

Andy Pruett
Nelson Engineering (WY)
PO Box 1599
Jackson WY 83001

Dear Andy,

Reservoirs Environmental, Inc. is an analytical laboratory accredited for the analysis of Industrial Hygiene and Environmental matrices by the National Voluntary Laboratory Accreditation Program (NVLAP), Lab Code 101896-0 for Transmission Electron Microscopy (TEM) and Polarized Light Microscopy (PLM) analysis and the American Industrial Hygiene Association (AIHA), Lab ID 101533 - Accreditation Certificate #480 for Phase Contrast Microscopy (PCM) analysis. This laboratory is currently proficient in both Proficiency Testing and PAT programs respectively.

Reservoirs Environmental, Inc. has analyzed the following samples for asbestos content as per your request. The analysis has been completed in general accordance with the appropriate methodology as stated in the attached analysis table. The results have been submitted to your office.

RES 484739-1 is the job number assigned to this study. This report is considered highly confidential and the sole property of the customer. Reservoirs Environmental, Inc. will not discuss any part of this study with personnel other than those of the client. The results described in this report only apply to the samples analyzed. This report must not be used to claim endorsement of products or analytical results by NVLAP or any agency of the U.S. Government. This report shall not be reproduced except in full, without written approval from Reservoirs Environmental, Inc. Samples will be disposed of after sixty days unless longer storage is requested. If you have any questions about this report, please feel free to call 303-964-1986.

Sincerely,

A handwritten signature in blue ink that reads "Jeanne Spencer". Below the signature, the text "by William Spells" is printed in a smaller font.

Jeanne Spencer
President

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

RES Job Number:	RES 484739-1				
Client:	Nelson Engineering (WY)				
Client Project Number / P.O.:	21-052-01				
Client Project Description:	Residence, 580 S Willow Street, Jackson, Wyoming				
Date Samples Received:	February 08, 2021				
Method:	EPA 600/R-93/116 - Short Report, Bulk				
Turnaround:	Rush				
Date Samples Analyzed:	February 08, 2021				

ND=None Detected
TR=Trace, <1% Visual Estimate
Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS-1	A	Off white/multi-colored paint	3	Chrysotile	ND	0	100
	B	Tan compound	4		3	0	97
	C	Tan joint compound	4		3	0	97
	D	Cream tape	5		ND	95	5
	E	Gray/tan drywall	84		ND	12	88
580-WS-2	A	Gray/tan drywall w/ off white/multi-colored paint	100	Composite	0.25	15	85
	A	White compound w/ off white/multi-colored paint	4		ND	0	100
580-WS-3	B	White compound w/ off white paint	5	ND	ND	0	100
	C	Pink/tan drywall	91		ND	12	88
	A	Gray/tan drywall w/ white/multi-colored paint	100		ND	15	85
580-WS-4	A	Off white/tan drywall w/ white/off white paint	100	ND	12	88	
580-WS-5	A	Off white/tan drywall w/ white/off white paint	100	ND	12	88	
580-WS-6	A	Off white/tan drywall w/ white/off white paint	100	ND	12	88	

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.

Only compound, tape and wallboard layers are used in the calculation of a composite result.

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

RES Job Number: **RES 484739-1**
 Client: **Nelson Engineering (WY)**
 Client Project Number / P.O.: **21-052-01**
 Client Project Description: **Residence, 580 S Willow Street, Jackson, Wyoming**
 Date Samples Received: **February 08, 2021**
 Method: **EPA 600/R-93/116 - Short Report, Bulk**
 Turnaround: **Rush**
 Date Samples Analyzed: **February 08, 2021**

ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS-7	A	Off white paint	2	Chrysotile	ND	0	100
	B	Tan compound	3		3	0	97
	C	Off white/tan drywall	95		ND	15	85
580-WS-8	A	Off white/tan drywall w/ white/multi-colored paint	100	Composite	0.09	15	85
	A	Off white/multi-colored paint	3		ND	0	100
580-WS-9	B	Tan compound	4	Chrysotile	3	0	97
	C	Cream tape	5	Chrysotile	ND	95	5
	D	Tan joint compound	5		3	0	97
	E	Gray/tan drywall	83	Composite	ND	12	88
					0.28		

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
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RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

RES Job Number: **RES 484739-1**
 Client: **Nelson Engineering (WY)**
 Client Project Number / P.O.: **21-052-01**
 Client Project Description: **Residence, 580 S Willow Street, Jackson, Wyoming**
 Date Samples Received: **February 08, 2021**
 Method: **EPA 600/R-93/116 - Short Report, Bulk**
 Turnaround: **Rush**
 Date Samples Analyzed: **February 08, 2021**

ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS-10	A	Green/multi-colored paint	2	Chrysotile	ND	0	100
	B	Tan compound	3		3	0	97
	C	Gray compound w/ white paint	4		ND	0	100
	D	Gray joint compound	4		ND	0	100
	E	Cream tape	5		ND	95	5
	F	Gray/tan drywall	82		ND	15	85
580-WS-11	A	White compound w/ white paint	5	Composite	0.10	0	100
	B	Gray/tan drywall w/ white/multi-colored paint	95		ND	12	88
580-WS-12	A	White compound w/ white paint	3		ND	0	100
	B	Gray/tan drywall w/ off white/multi-colored paint	97		ND	12	88
580-WS-13	A	Gray/tan drywall w/ white/multi-colored paint	100		ND	12	88

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Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS2-1		A Brown fibrous material	10		ND	90	10
		B Gray/tan drywall w/ white/multi-colored paint	90		ND	15	85
580-WS2-2		A Gray paint	2		ND	0	100
		B Tan compound	3	Chrysotile	3	0	97
		C White compound w/ white paint	4		ND	0	100
		D Off white/tan drywall	91		ND	12	88
580-WS2-3		A White compound w/ off white paint	5	Composite	0.10	0	100
		B Pink/tan drywall	95		ND	15	85
580-CP-1		A Tan/white ceiling tile	100		ND	80	20
580-CP-2		A Tan/white ceiling tile	100		ND	80	20
580-CP2-1		A Tan/white ceiling tile	100		ND	80	20
580-CP2-2		A Tan/white ceiling tile	100		ND	80	20

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Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-CP2-3	A	Tan/white ceiling tile	100		ND	80	20
580-CP3-1	A	Tan/white ceiling tile	100		ND	80	20
580-CP3-2	A	Tan/white ceiling tile	100		ND	80	20
580-VF1-1	A	Gray/white sheet vinyl w/ colorless adhesive	100		ND	5	95
580-VF2-1	A	Black foam	15		ND	0	100
	B	Gray/white tile w/ colorless adhesive	30		ND	0	100
	C	Brown/white tile	55	Chrysotile	4	0	96
580-VF3-1	A	Gray/white sheet vinyl w/ colorless adhesive	50		ND	5	95
	B	Tan/multi-colored tile	50	Chrysotile	4	0	96
580-VF4-1	A	Black foam	15		ND	0	100
	B	Gray/white tile	30		ND	0	100
	C	Tan/multi-colored tile	55	Chrysotile	4	0	96

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Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-VF5-1	A	Black mastic	5	Chrysotile	15	0	85
	B	Tan/multi-colored tile	35	Chrysotile	10	0	90
	C	Gray/white sheet vinyl w/ colorless adhesive	60		ND	5	95
580-VF6-1	A	Tan/multi-colored tile	40	Chrysotile	4	0	96
	B	Gray/white sheet vinyl	60		ND	5	95
580-FWP-1	A	Tan adhesive	10	Chrysotile	3	0	97
	B	Brown wood w/ white paint	90		ND	70	30
580-FS-1	A	Red granular material w/ white paint	35		ND	0	100
	B	Gray granular material	65		ND	0	100
580-HFU-1	A	Black felt	100		ND	65	35
580-CMU-1	A	Gray granular material w/ white paint	100		ND	0	100
580-GL-1	A	Off white glazing w/ white paint	100	Chrysotile	4	0	96
580-GL-2	A	White glazing	100		ND	0	100

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Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-GL-3	A	White glazing w/ white paint	100		ND	0	100
580-GL-4	A	Beige glazing w/ white paint	100		ND	0	100
580-RF-1	A	Black/brown shingle	20		ND	15	85
	B	White/black shingle	25		ND	15	85
	C	Black felt	25		ND	65	35
	D	Black/white shingle	30		ND	15	85
580-RF-2	A	Black felt	20		ND	65	35
	B	Black shingle	20		ND	15	85
	C	Black/tan shingle	30		ND	15	85
	D	Black/white shingle	30		ND	15	85
580-RF-3	A	Black/multi-colored shingle	40		ND	15	85
	B	Black/white shingle	60		ND	15	85
580-OFBS-1	A	Brown fiberboard	35		ND	80	20
	B	Brown fiberboard w/ white/green paint	65		ND	80	20

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Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non-Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-OFBS-2	A	Brown fiberboard	20		ND	80	20
	B	Gray fiberboard	80		ND	80	20

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Emily R. Giddens
Emily R. Giddens

Analyst

Landon Spells
Landon Spells

Analyst / Data QA



RES Job #: 484739

SUBMITTED BY	INVOICE TO	CONTACT INFORMATION	SERIES
Company: Nelson Engineering (WY)	Company: Nelson Engineering (WY)	Contact: Andy Pruitt	-1 PLM Rush *NO VERBALS*
Address: PO Box 1599	Address: PO Box 1599	Phone: (307) 690-8188	
		Fax:	
Jackson, WY 83001	Jackson, WY 83001	Cell:	
Project Number and/or P.O. #: 21-052-01		Final Data Deliverable Email Address:	
Project Description/Location: Residence, 580 S Willow Street, Jackson, Wyoming			apruett@nelsonengineering.net (+1 ADDNL. CONTACTS)

ASBESTOS LABORATORY HOURS: Weekdays: 7am - 7pm & Sat. 8am - 5pm					REQUESTED ANALYSIS			VALID MATRIX CODES			LAB NOTES				
PLM / PCM / TEM		DTL	RUSH	PRIORITY STANDARD				Air = A	Bulk = B						
CHEMISTRY LABORATORY HOURS: Weekdays: 8am - 5pm								Dust = D	Food = F						
Dust	RUSH	PRIORITY	STANDARD	*PRIOR NOTICE REQUIRED FOR SAME DAY TAT					Paint = P	Soil = S					
Metals	RUSH	PRIORITY	STANDARD											Surface = SU	Swab = SW
Organics*	SAME DAY	RUSH	PRIORITY	STANDARD						Tape = T	Wipe = W				
MICROBIOLOGY LABORATORY HOURS: Weekdays: 8am - 5pm										Drinking Water = DW					
Viable Analysis**		PRIORITY STANDARD								Waste Water = WW					
		**TAT DEPENDENT ON SPEED OF MICROBIAL GROWTH													
Medical Device Analysis		RUSH STANDARD													
Mold Analysis		RUSH PRIORITY STANDARD													
Turnaround times establish a laboratory priority, subject to laboratory volume and are not guaranteed. Additional fees apply for afterhours, weekends and holidays.															
Special Instructions:															
Client Sample ID Number (Sample ID's must be unique)					ASBESTOS	CHEMISTRY	MICROBIOLOGY						Laboratory Analysis Instructions		
1 580-WS-1	X							0.3in ²	B	1	02/05/21	09:40	CMP		
2 580-WS-2	X							0.3in ²	B	1	02/05/21	09:43	CMP		
3 580-WS-3	X							0.3in ²	B	1	02/05/21	09:46	CMP		
4 580-WS-4	X							0.3in ²	B	1	02/05/21	09:49	CMP		
5 580-WS-5	X							0.3in ²	B	1	02/05/21	09:52	CMP		
6 580-WS-6	X							0.3in ²	B	1	02/05/21	09:55	CMP		
7 580-WS-7	X							0.3in ²	B	1	02/05/21	09:58	CMP		
8 580-WS-8	X							0.3in ²	B	1	02/05/21	10:00	CMP		
9 580-WS-9	X							0.3in ²	B	1	02/05/21	10:01	CMP		
10 580-WS-10	X							0.3in ²	B	1	02/05/21	10:04	CMP		
11 580-WS-11	X							0.3in ²	B	1	02/05/21	10:50	CMP		
12 580-WS-12	X							0.3in ²	B	1	02/05/21	10:53	CMP		
13 580-WS-13	X							0.3in ²	B	1	02/05/21	10:56	CMP		

REI will analyze incoming samples based on information received and will not be responsible for errors or omissions in calculations resulting from the inaccuracy of original data. By signing, client/company representative agrees that submission of the following samples for requested analysis as indicated on this Chain of Custody shall constitute an analytical services agreement with payment terms of NET 30 days. Failure to comply with payment terms may result in a 1.5% monthly interest surcharge.

Relinquished By:		Andy Pruett	Date/Time: 02/05/2021 14:09:40	Sample Condition: Acceptable
Received By:		Rebecca Jewell	Date/Time: 02/08/2021 9:26:59	Carrier: UPS



Res Job#: **484739**

Submitted By: **Nelson Engineering (WY)**

Client Sample ID Number	(Sample ID's must be unique)	ASBESTOS	CHEMISTRY	MICROBIOLOGY	Sample	Length	Matrix	# of Tests	Date	Time	Instructions	
											Area	Method
14 580-WS2-1		X			0.3in ²		B	1	02/05/21	11:23	CMP	
15 580-WS2-2		X			0.3in ²		B	1	02/05/21	11:26	CMP	
16 580-WS2-3		X			0.3in ²		B	1	02/05/21	11:28	CMP	
17 580-CP-1		X			1in ²		B	1	02/05/21	10:10		
18 580-CP-2		X			1in ²		B	1	02/05/21	10:13		
19 580-CP2-1		X			1in ²		B	1	02/05/21	10:35		
20 580-CP2-2		X			1in ²		B	1	02/05/21	10:38		
21 580-CP2-3		X			1in ²		B	1	02/05/21	10:41		
22 580-CP3-1		X			1in ²		B	1	02/05/21	10:45		
23 580-CP3-2		X			1in ²		B	1	02/05/21	10:48		
24 580-VF1-1		X			2in ²		B	1	02/05/21	10:20		
25 580-VF2-1		X			2in ²		B	1	02/05/21	11:05		
26 580-VF3-1		X			2in ²		B	1	02/05/21	11:08		
27 580-VF4-1		X			2in ²		B	1	02/05/21	11:10		
28 580-VF5-1		X			2in ²		B	1	02/05/21	11:13		
29 580-VF6-1		X			2in ²		B	1	02/05/21	11:15		
30 580-FWP-1		X			2in ²		B	1	02/05/21	10:25		
31 580-FS-1		X			2in ²		B	1	02/05/21	10:27		
32 580-HFU-1		X			2in ²		B	1	02/05/21	10:30		
33 580-CMU-1		X			2in ²		B	1	02/05/21	11:00		
34 580-GL-1		X			0.5in ²		B	1	02/05/21	11:18		
35 580-GL-2		X			0.5in ²		B	1	02/05/21	11:21		
36 580-GL-3		X			0.5in ²		B	1	02/05/21	11:32		
37 580-GL-4		X			0.5in ²		B	1	02/05/21	11:44		
38 580-RF-1		X			1in ²		B	1	02/05/21	11:35		
39 580-RF-2		X			1in ²		B	1	02/05/21	11:38		
40 580-RF-3		X			1in ²		B	1	02/05/21	11:41		
41 580-OFBS-1		X			1in ²		B	1	02/05/21	11:49		
42 580-OFBS-2		X			1in ²		B	1	02/05/21	11:54		