



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: August 8, 2023</p> <p>Item #: P23-147</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for a Basic Use Permit for short-term rental use at the property located at 255 E Snow King Ave. (formerly 580 S Willow St.), PIDN: 22-41-16-34-2-36-011</p> <p>For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.</p>
<p>Planner: Tyler Valentine</p> <p>Phone: 733-0440 ext. 1305</p> <p>Email: TValentine@jacksonwy.gov</p>	
<p>Owner DW 580 PO Box 910 Jackson, WY 83001</p> <p>Applicant same</p>	
<p>Please respond by: August 22, 2023 (Sufficiency) August 29, 2023 (with Comments)</p>	

RESPONSE: For Departments not using SmartGov, please send responses via email to:
planning@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: The Residence at Stag Landing
Physical Address: 255 Snow King Blvd., Suite 103, Jackson, WY 83001
Lot, Subdivision: Lots 9, 10, Blk 4, Meadowland PIDN: 22-41-16-34-2-36-011

PROPERTY OWNER.

Name: DW 580 LLC Phone: (917) 626-9674
Mailing Address: PO Box 910, Jackson, WY ZIP: 83001
E-mail: klaus@wrjdesign.com

APPLICANT/AGENT.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

DESIGNATED PRIMARY CONTACT.

☒ Property Owner ☐ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

☒ Basic Use
☐ Conditional Use
☐ Special Use

Relief from the LDRs

☐ Administrative Adjustment
☐ Variance
☐ Beneficial Use Determination
☐ Appeal of an Admin. Decision

Physical Development

☐ Sketch Plan
☐ Development Plan
☐ Design Review

Subdivision/Development Option

☐ Subdivision Plat
☐ Boundary Adjustment (replat)
☐ Boundary Adjustment (no plat)
☐ Development Option Plan

Interpretations

☐ Formal Interpretation
☐ Zoning Compliance Verification

Amendments to the LDRs

☐ LDR Text Amendment
☐ Map Amendment

Miscellaneous

☐ Other: _____
☐ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

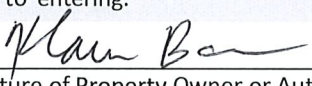
_____ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent
Klaus Baer

Name Printed

8/8/2023

Date
Principal Owner

Title

Date: 08/07/2023

Submitted By: DW580 LLC Ownership

Submitted To: Town of Jackson Planning and Building Department

Regarding:

Narrative description of Residence for property at 255 E. Snow King Boulevard, Suite 103, Jackson, WY, 83001, to accompany Basic Use Permit application.

Greetings Planning and Building Department,

The following narrative is intended to accompany the Basic Use Permit application for the single family residence located at 255 E. Snow King Boulevard. This residence is part of the new construction project under Permit #B18-0472 (owned by DW580 LLC).

The property referenced on this application is a single family residence attached to a multi-use building. The residence is approximately 5,000 square feet and has four (4) bedrooms. The intention is for the owners to periodically rent the residence under short-term rental stays by using a local property management group at times they are not in town.

With respect ~



Rush Jenkins
(917) 860-8457
Owners / managers of DW580, LLC



Klaus Baer
(307) 314-3575

Housing Mitigation Plan

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Apartment (Unrestricted)	$0.000017 * sf + (Exp(-14.17 + 1.59 * Ln(sf))) / 2.176$		5000	1	0.000

Existing Workforce Housing Credit 0.000

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Short-Term Rental Unit	$0.102 * bedrooms$	4	5000	1	0.409

Affordable Workforce Housing Required: 0.409 units

Fee-in-Lieu Amount: \$ 111,116.42

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).

ABBREVIATIONS			GENERAL REQUIREMENTS		
A.D.	AREA DRAIN	N.R.C.	NOISE REDUCTION COEFFICIENT		
ASSY.	ASSEMBLY	NOM	NOMINAL		
ATTN.	ATTENUATING	N	NORTH		
AVE.	AVENUE	NA	NOT APPLICABLE		
BSMT	BASEMENT	N.I.C.	NOT IN CONTRACT		
BTWN	BETWEEN	NTS	NOT TO SCALE		
BIT	BITUMINOUS	N	NUMBER		
BLKG	BLOCKING	O.C.	ON CENTER		
BO	BOARD	OPNG	OPENING		
BOT	BOTTOM	OPP	OPPOSITE		
B.O.	BOTTOM OF	OSB	ORIENTED STRAND BOARD		
BLVD	BOLLEVARD	O.D.	OUTSIDE DIAMETER		
BLDG	BUILDING	OH	OVERHEAD		
BYO	BY OWNER	PNT	PAINT		
CAB	CABINET	PAINTED	PAINTED		
COD	CARBON MONOXIDE DETECTOR	PBD	PARTICLE BOARD		
CRPT	CARPET	PLAS	PLASTIC		
C.I.	CAST IRON	PLAM	PLASTIC LAMINATE		
CLG	CEILING	PL	PLATE		
CT	CERAMIC TILE	PLUMB	PLUMBING		
CRCLM	CIRCUMFERENCE	PWD	PLYWOOD		
CLO	CLOSET	PT	POINT		
COL	COLUMN	PVC	POLYVINYL CHLORIDE		
CONC.	CONCRETE	PSI	POUNDS PER SQUARE INCH		
CMU	CONCRETE MASONRY UNIT	PROP.	PROPERTY		
CONST.	CONSTRUCTION	QT	QUARRY TILE		
CONTR.	CONTRACTOR	RAD	RADIUS		
CJ	CONTROL JOINT	REF	REFRIGERATOR		
COORD.	COORDINATE	REINF.	REINFORCED		
CNTRSNK	COUNTERSINK	RECD	REQUIRED		
CJ.FT.	CUBIC FEET	RA	RETURN AIR		
EA	EACH	R	RISER		
E	EAST	R.D	ROOF DRAIN		
ELEC.	ELECTRICAL	RM	ROOM		
ELEV.	ELEVATOR	RO	ROUGH OPENING		
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	SCHD	SCHEDULE		
FD	FLOOR DRAIN	SECT	SECTION		
FTG	FOOTING	SH	SHEET		
FON	FOUNDATION	SIMLAR	SIMILAR		
FURN	FURNACE	SC	SOLID CORE		
FUR	FURRED (FURRING)	STC	SOUND TRANSMISSION CLASS		
GAL	GALLON	S	SOUTH		
GALV.	GALVANIZED	SPEC.	SPECIFICATION		
GC	GENERAL CONTRACTOR	SPKLR	SPRINKLER		
GL	GLASS GLAZING	SQ	SQUARE		
GFI	GROUND FAULT CIRCUIT INTERRUPTER	SQ FT	SQUARE FOOT		
GA	GAUGE	SQ IN	SQUARE INCH		
GWB	GYPSSUM WALL BOARD	SS	STAINLESS STEEL		
GYP BD.	GYPSSUM WALL BOARD	STD	STANDARD		
HDWD	HARDWOOD	STL	STEEL		
HTG	HEATING	STO	STORAGE		
HVAC	HEATING, VENTING AND AIR CONDITIONING	STRUC	STRUCTURAL		
HT	HEIGHT	SAL	SUPPLY AIR		
HC	HOLLOW CORE	TVHDTV	TELEVISION (HIGH DEFINITION)		
HM	HOLLOW METAL	T	TERRA COTTA		
HM	HOLLOW METAL	THK	THICK		
HORIZ	HORIZONTAL	T&G	TONGUE AND GROOVE		
H&B	HOSE BIBB	T.O.	TOP OF		
HR	HOUR	T	TREAD		
IN	INCHES	TYP.	TYPICAL		
I.D.	INSIDE DIAMETER	UN	UNDERWRITERS LABORATORY		
INT	INTERIOR	UNO	UNLESS NOTED OTHERWISE		
JT	JOINT	VAP. BAR.	VAPOR BARRIER		
JUNCT.	JUNCTION	VEENER	VEENER		
KIT	KITCHEN	VIF	VERIFY IN FIELD		
LAM	LAMINATE	VERT	VERTICAL		
LAV	LAVATORY	VB	VINYL BASE		
L	LENGTH (LONG)	VCT	VINYL COMPOSITION TILE		
LT	LIGHT	VT	VINYL TILE		
LF	LINEAR FEET	WC	WATER CLOSET		
MFR	MANUFACTURER	WH	WATER HEATER		
MO	MASONRY OPENING	WR	WATER RESISTANT		
MAS	MASONRY	WP	WATERPROOF		
MATL	MATERIAL	WWF	WELDED WIRE FABRIC		
MAX	MAXIMUM	W	WEST		
MECH	MECHANICAL	WI	WIDTH		
MTL	METAL	WIN	WINDOW		
MIN	MINIMUM	W	WITH		
MISC	MISCELLANEOUS	W/O	WITHOUT		
MTD	MOUNTED	WO	WOOD		
MULL	MULLION	WK PT	WORK POINT		

SHOP DRAWINGS, MOCK UPS AND SUBMITTALS

- 1 SHOP DRAWINGS AND/OR PRODUCT SUBMITTALS ARE TO BE PROVIDED TO THE ARCHITECT FOR REVIEW AND APPROVAL AS NOTED BELOW. SHOP COORDINATION AND INTEGRATION OF ALL EXTERIOR ENVELOPE ITEMS WITH ADJACENT FINISHES, UNITS, AND OTHER ADJACENT ASSEMBLIES.
- 11 EXTERIOR WINDOWS AND DOORS
- 12 EXTERIOR DOORS
- 13 STRUCTURAL STEEL
- 14 TRUSSES
- 15 HVAC SYSTEMS AND TRIMS
- 16 MILLWORK AND CABINETRY
- 17 STAIRS, HANDRAILS, RAILINGS & BRACKETS
- 18 ELECTRICAL DEVICES AND TRIMS
- 19 HANDRAILS
- 111 STONE VENEER (DELEGATED DESIGN, PROVIDE CALCULATIONS/ENGINEERING)
- 112 OUT STONE & TILE
- 113 PREFABRICS
- 114 DECK/EXTENSIVE METALS
- 115 REINFORCING BARS
- 116 STONE SLABS
- 2 FULL SCALE MOCK UPS ARE TO BE PROVIDED FOR THE ARCHITECT'S REVIEW AS FOLLOWS:
- 21 EXTERIOR DOORS
- 22 EXTERIOR STONE CLADDING
- 23 EXTERIOR TRIM
- 24 INTERIOR TRIM
- 25 MORTAR, WEEPS, FLASHINGS, DRIP EDGES, TERMINATION BARS
- 26 SLIS
- 27 ROOFING
- 28 SNOWGUARDS
- 29 RAILINGS
- 210 FIREPROOF
- 211 WOOD FLOORING
- 212 STONETILE FLOORING
- 213 BELOW GRADE WATERPROOFING

THERMAL AND MOISTURE PROTECTION

- 1 ALL WORK PERFORMED MUST COMPLY WITH ALL APPLICABLE BUILDING CODES.
- 2 THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND NATIONAL CODES AND ORDINANCES.
- 3 SUPPLEMENTAL TO THESE DOCUMENTS, THE GENERAL CONTRACTOR SHALL REFER TO THE "GENERAL CONDITIONS FOR CONSTRUCTION" AS GIVEN IN AN DOCUMENT A-20, ARTICLE 1-14, INCLUSIVE.
- 4 THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT. DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INCLUDE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT.
- 5 THE GENERAL CONTRACTOR SHALL FURNISH ALL OF THE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT IN A FIRST-CLASS WORKMANSHIP MANNER.
- 6 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- 7 THE ENTIRE INSTALLATION OF THE WORK SHALL BE PERFORMED IN A FIRST-CLASS WORKMANSHIP MANNER. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.
- 8 ALL WORK PERFORMED TO BE INSTALLED BY LICENSED TRADESMEN AND SHALL COMPLY WITH APPLICABLE INDUSTRY QUALITY STANDARDS.
- 9 WRITTEN DIMENSIONS HAD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE PROJECT DRAWINGS.
- 10 GENERAL CONTRACTOR SHALL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, (OSHA) LATEST EDITION.
- 11 GENERAL CONTRACTOR SHALL GUARANTEE ALL WORK FOR ONE YEAR AFTER THE DATE OF FINAL COMPLETION.
- 12 GENERAL CONTRACTOR SHALL MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A \$1,000,000.00 CAUSE, PROTECTING OWNER AND ARCHITECT.
- 13 THE GENERAL CONTRACTOR SHALL VERIFY ALL LAYOUTS WITH THE ARCHITECT AS REQUIRED BEFORE PROCEEDING WITH THE WORK.
- 14 THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFTOVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM SWEEP FINISH CONDITION UPON THE COMPLETION OF THEIR PORTION OF THE WORK.
- 15 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS DELIVERED TO THE SITE.
- 16 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE AND COMPLETE PROTECTION OF ALL ITEMS ON SITE THAT ARE EXISTING TO REMAIN.
- 17 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING EXCHANGE OF ALL SUBMITTALS, INCLUDING MATERIAL SAMPLES AND SHOP DRAWINGS, BETWEEN SUB-CONTRACTORS AND ARCHITECT.
- 18 THE GENERAL CONTRACTOR SHALL NOT PLACE ANY LOAD UPON, NOR CUT INTO, NOR MODIFY ANY EXISTING FLOOR, WALL OR ROOF STRUCTURAL SYSTEM UNLESS SPECIFICALLY NOTED ON PROJECT DRAWINGS.
- 19 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, PROCEDURES, AND COORDINATING FOR ALL PORTIONS OF THE WORK.
- 20 ALL ELEVATION, SHOWING, AND THE ENGINEERING OF ELEVATION AND SHOPPING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 21 INSTALLATION OF FLOORS, WALLS, BEAMS, COLUMNS, AND/OR HEADERS MAY REQUIRE SHORING, AND/OR BRACING. BEFORE STARTING ANY WORK, THE GENERAL CONTRACTOR SHALL INVESTIGATE THOROUGHLY TO DETERMINE THE EXTENT AND TYPE OF BRACING BEST SUITED TO THE CONDITIONS AND TO ALLOW INSTALLATION OF THE NEW WORK.
- 22 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING SITE UTILITIES.
- 23 ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEAD ROOM AND AVOID OBSTRUCTIONS. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL NEW WORK WITH ALL EXISTING CONDITIONS.
- 24 THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES AND SHALL OBTAIN CLARIFICATION FOR DESIGN INTENT OR ADDITIONAL DETAILS AND INFORMATION WHERE REQUIRED.
- 25 ALL CHANGES PROPOSED BY THE GENERAL CONTRACTOR IN ANY DETAIL, SYSTEM OR MATERIAL, INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER CONSULTANT WORK SHALL BE PROPOSED AND SUBMITTED IN WRITING FOR REVIEW BY THE ARCHITECT AND OWNER.
- 26 THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING, BARRICADES, AND LEGIBLE SIGNAGE AROUND THE ENTIRE SITE TO BE PROTECTED AND AT ANY INTERIOR FLOOR OPENINGS THAT MUST CAUSE A HAZARD.
- 27 ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THE IMMEDIATE INSTALLATION OF PROTECTIVE MATERIALS AND SUPPLIES INSTALLED BY THEIR WORKMANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THE REPLACEMENT OF PROTECTIVE MATERIALS INSTALLED BY OTHERS IF REMOVED BY THEIR WORKMANS.
- 28 ALL DANGEROUS METALS AND MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN.
- 29 THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR PROPER OPERATION AND MAINTENANCE OF EQUIPMENT AND SYSTEMS. REFER TO ALL ACCESS PANEL LOCATIONS AND SPECIFICATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION / FABRICATION.
- 30 THE GENERAL CONTRACTOR SHALL PROVIDE ALL FIRE STOPS / FIRE STOPPING, SAFING INSULATION, FIRE PROOFING INSULATION, FIRE STOP SEALANTS, ETC. AS REQUIRED BY APPLICABLE CODES. THIS INCLUDES FIRE STOPPING REQUIRED FOR NON-EXISTING OPENINGS, PENETRATIONS AT FIRE-RATED ASSEMBLIES, AND STRUCTURAL MEMBERS.
- 31 THE GENERAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF DUCT OUTLITS, GRILLS, AND LIGHT FIXTURES WITH THE FRAMING MEMBERS. IN CASE OF CONFLICT, LIGHTING AND DIFFUSER HATCH SHALL GOVERN.
- 32 DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING AND FACE OF MASONRY, UNLESS OTHERWISE NOTED.

DRYWALL FINISH

- 1 ALL DRYWALL SHALL BE 5/8" TYPE "X" ON ALL WALLS AND CEILINGS, UNLESS OTHERWISE NOTED.
- 2 INSTALL 1/2" TYPE "X" DRYWALL OVER 5/8" TYPE "X" DRYWALL ON ALL EXTERIOR WALLS AND CEILINGS (EXCEPT FOR TILE BACKER BOARD), AND OTHER HIGH-HUMIDITY LOCATIONS.
- 3 AT ALL COMMON BUILDING AND GARAGE WALLS, AND MECHANICAL ROOMS, AND CEILINGS WITH ENGINEERED JOISTS INSTALL 5/8" TYPE "X" TYPE "X" DRYWALL OVER 5/8" TYPE "X" DRYWALL.
- 4 AT ALL BATHROOMS, INSTALL WATER RESISTANT RATED DRYWALL. PROVIDE 1/2" THICK CEMENTITIOUS BOARD AT ALL TILE WORK.
- 5 REFER TO ROOM FINISH SCHEDULE FOR THE LEVEL OF FINISH BY ROOM.
- 6 ONE DRYWALL SHALL BE SCREWED, TAPED, AND Sanded AS PER MANUFACTURER'S SPECIFICATIONS TO ACHIEVE THE APPEARANCE OF ONE CONTINUOUSLY SMOOTH SURFACE.
- 7 THE INDOOR WALL COVER, INCLUDING ALL HANDRAILS, MUST BE CONSTRUCTED OF A NON-CORROSIVE MATERIAL, SUCH AS COMPOSITE MATERIAL, STAINLESS STEEL, OR ALUMINUM.
- 22 ACCESS COVER SHALL BE RELEASABLE OR REMOVABLE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR FORCE GREATER THAN THAT WHICH IS RECD FOR NORMAL OPERATION OF THE ESCAPE RESCUE OPENING.
- 23 THE ESCAPE HATCH SHALL NOT REQUIRE MORE THAN 50 LBS OF FORCE TO OPEN.
- 24 THE ESCAPE HATCH DIMENSIONS SHALL BE A MIN. OF 3' X 3'.
- 25 THE GRATING AND ACCESS HATCH MUST BE ABLE TO WITHSTAND A 40PSF LIVE LOAD CAPACITY PER CODE.

MECHANICAL

- 1 ASSUME A TRADITIONAL FORCED AIR SYSTEM OF DUCTED VENTILATION AND MULTIPLE ZONES.
- 1.1 ALL DUCTWORK SHALL BE MINIMUM 1/4" GAUGE SHEET METAL.
- 2 INSULATE ALL DUCTWORK RUNS IN UNHEATED OR UNCONDITIONED SPACES.
- 3 FURNISH AND INSTALL DIFFUSER GRILLES AND TRIM.
- 4 FURNISH AUTOMATIC FLE DAMPERS AT FURNACE, WITH ALL NECESSARY CONTROL WIRING.
- 5 FURNISH AND INSTALL ALL CONTROL WIRING.
- 6 ALL RETURN AIR DUCTS SHALL BE LINED AND SEALED.
- 7 ALL DUCTS SHALL HAVE VOLUME DAMPERS IN EACH RUN.
- 8 ALL FORCED AIR FURNACES SHALL BE EQUIPPED WITH A HUMIDIFIER DEVICE.
- 9 FURNISH AND INSTALL VENTS FOR DRYER, EXHAUST HOOD, BATHROOM EXHAUST FANS, AND WATER HEATER. ASSUME CUSTOM EXTERIOR LOUVERED VENTS WITH CUSTOM BOOTS. ALL BATHROOM EXHAUST FANS TO HAVE REMOTE BLOWER.
- 10 PROVIDE MINIMUM 1" MESH AIR FILTER SYSTEM.
- 11 FURNISH AND INSTALL OUTSIDE FRESH AIR INTAKE.
- 12 NOT USED.
- 3 PROVIDE CLEARANCES AROUND AC UNITS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

REFRIGERATION

- 1 ALL UNITS SHALL BE INSTALLED BY A LICENSED REFRIGERATION CONTRACTOR AND BE IN COMPLIANCE WITH THE CITY OF HIGHLAND PARK REFRIGERATION CODE, LATEST EDITION.
- 2 INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM UPSTREAM OF ANY INTERVENING VALVES.
- 3 REFRIGERATION SYSTEMS (JL 1996, GROUP 1) HAVING A CHARGE OF 30 LBS OR MORE SHALL BE EQUIPPED WITH AN APPROVED PRESSURE RELIEF DEVICE SET AT A PRESSURE NOT TO EXCEED THE LOWEST MANUFACTURER DESIGN WORKING PRESSURE OF THE COMPONENTS COMPRISING THE ASSEMBLY.
- 4 REMOVE EXPANSION VALVES, DEVICES AND CONNECTIONS FROM AIR STREAM.
- 5 REFRIGERATION SHALL BE NON-IRRITANT AND NON-FLAMMABLE ONLY.
- 6 REFRIGERATION PIPING MAY BE TYPE "K" COPPER OR TYPE "ACR" UNLESS THE PRESSURE EXCEEDS THE RATED CAPACITY OF "ACR" TUBING.
- 7 ALL REFRIGERATION CONNECTIONS AND DEVICES TO BE BRAZED.
- 6 ALL FITTINGS SHALL BE SOCKET TYPE, JOINED BY BRAZING AT A MINIMUM OF 100 DEGREES F, BUT LESS THAN THE MELTING POINT OF THE JOINED PARTS.

WOOD AND PLASTICS

- 1 ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR SOL SHALL BE OF PRESSURE TREATED LUMBER.
- 2 INSTALL ALL HORIZONTAL MEMBERS (BEAMS, UNITS, JOISTS, ETC.) WITH CROWN UP.
- 3 FURNISH AND INSTALL ALL BLOCKING FOR BATHROOM ACCESSORIES, CABINETRY, PLUMBING FIXTURES, ELECTRICAL FIXTURES, ETC. COORDINATE LOCATION AND REQUIRED SIZE OF BLOCKING WITH GENERAL CONTRACTOR OR MANUFACTURER REQUIREMENTS.
- 7 CARPENTER SHALL INSTALL TEMPORARY RAILINGS, STAIRS, ETC. AS NEEDED AND REQUIRED BY CODE.
- 8 EXTERIOR SHEATHING SHALL BE FASTENED WITH GALVANIZED NAILS. ROOF SHEATHING SHALL BE CLIPPED AS PER A.P.A. STANDARDS.
- 9 EXTERIOR SHEATHING SHALL BE 5/8" APART, EXTERIOR GRADE SHEATHING, ALL CLADDING ATTACHMENTS AND FASTENERS THROUGH SHEATHING SHALL ANCHOR INTO STUD FRAMING OR APPROPRIATE BLOCKING.
- 10 VERIFY ALL DOOR AND WINDOW ROUGH OPENINGS WITH GENERAL CONTRACTOR AND JOCKWOOD/MANUFACTURER.
- 11 ASSUME ENGINEERED WOOD JOIST SYSTEM FOR ALL FLOOR JOISTS, UNLESS OTHERWISE NOTED.
- 12 ALL FLOOR JOISTS SHALL BE BRACED LATERSLALLY WITH SOLID BLOCKING, AT WOOD FLOOR TRUSS SYSTEM, COMPLY WITH MANUFACTURER'S SPECIFICATIONS FOR BRACING.
- 13 WOOD TRUSS DIAGRAMS AND SHOP DRAWINGS SHALL BE SUPPLIED BY TRUSS MANUFACTURER AND SEALED BY REGISTERED ENGINEER. WOOD TRUSS CONTRACTOR/SUPPLIER SHALL DESIGN ALL TRUSSES, TRUSS BRACING, TRUSS BRACING, AND ALL ASSOCIATED CONNECTIONS INCLUDING END CONNECTIONS & HOLD-DOWNS TO CONFORM TO THE CONSTRUCTION DOCUMENTS.
- 14 SUBFLOOR SHALL BE FASTENED BY 16G EXTERIOR GRADE PLYWOOD GLEED AND NAILED UNLESS OTHERWISE NOTED.
- 15 THE MINIMUM STAIR RISER SHALL BE 5" MAXIMUM AND 14" MINIMUM, AND THE MINIMUM TREAD DEPTH SHALL BE 11". ALL STAIRS SHALL MAINTAIN A MINIMUM HEADROOM CLEARANCE OF 8' 0" FROM EDGE OF NOSING. CONTRACTOR SHALL VERIFY ALL STAIR CONDITIONS IN FIELD.
- 16 PRESTAP TOP JOISTS AND OUT-FLATES. ALL FLOOR CONSTRUCTION THROUGH WHICH HEAT OR EXHAUST PASS THROUGH SHALL BE SHUT OFF STOPPED.
- 17 ALL EXTERIOR DOCKING, JOISTS, AND POSTS SHALL BE OF PRESSURE TREATED LUMBER, ALL EXTERIOR HANDRAILS, STAIRS, AND TRIP WORK SHALL BE OF CEDAR UNLESS OTHERWISE NOTED.
- 18 AT FLOOR TRUSSES WITH OPEN WEB DESIGN, PROVIDE SHUTTING OFF FOR ALL OPEN AREAS EXCEPT 100SF TO DIVIDE SUCH AREAS INTO EQUAL AREAS OF LESS THAN 100SF (IRC R402.2).
- 19 ANY WALL WHICH CONTAINS ANY PLUMBING LINES 1/2" IN DIAMETER OR GREATER SHALL BE A MINIMUM 2X6" WALL (SEC. 711.350A).
- 20 STAIRS WITH FOUR OR MORE RISERS SHALL BE A CONTINUOUS, GRASPABLE HANDRAIL INSTALLED ON BOTH SIDES OF THE STAIRWAY. THE HANDRAIL SHALL HAVE BOTH ENDS RETURNED TO THE WALL AND SHALL BE LOCATED 34" ABOVE THE STAIR NOSING.
- 21 THE MINIMUM STAIR GUARD RAIL HEIGHT SHALL BE 42". THE GUARDRAIL SHALL BE CONSTRUCTED SO AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- 22 PER BC 718.2.2 FIBERGLASS SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS.
- 23 HORIZONTALLY AT THE CEILING AND FLOORS.
- 22B HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET

PLUMBING

- 1 ALL PLUMBING WORK SHALL MEET WITH ALL STANDARDS OF GOOD PRACTICE. CONTRACTOR SHALL VERIFY AND ASSURE THAT ALL PIPING IS OF ADEQUATE SIZE AND PROPERLY VENTED.
- 2 PROVIDE AND INSTALL EXTERIOR DRAIN TILE.
- 21 INSULATE ALL DUCTWORK RUNS IN UNHEATED OR UNCONDITIONED SPACES.
- 22 FURNISH AND INSTALL DIFFUSER GRILLES AND TRIM.
- 23 FURNISH AUTOMATIC FLE DAMPERS AT FURNACE, WITH ALL NECESSARY CONTROL WIRING.
- 3 FURNISH AND INSTALL ALL CONTROL WIRING.
- 4 ALL RETURN AIR DUCTS SHALL BE LINED AND SEALED.
- 5 ALL DUCTS SHALL HAVE VOLUME DAMPERS IN EACH RUN.
- 6 ALL FORCED AIR FURNACES SHALL BE EQUIPPED WITH A HUMIDIFIER DEVICE.
- 7 FURNISH AND INSTALL VENTS FOR DRYER, EXHAUST HOOD, BATHROOM EXHAUST FANS, AND WATER HEATER. ASSUME CUSTOM EXTERIOR LOUVERED VENTS WITH CUSTOM BOOTS. ALL BATHROOM EXHAUST FANS TO HAVE REMOTE BLOWER.
- 8 PROVIDE MINIMUM 1" MESH AIR FILTER SYSTEM.
- 9 FURNISH AND INSTALL OUTSIDE FRESH AIR INTAKE.
- 10 NOT USED.
- 11 FURNISH AND INSTALL WATER HEATERS.
- 12 FURNISH AND INSTALL FLOOR DRAIN & CUP WASHER LOCATION AND FURNACE LOCATION.
- 13 FLOOR DRAIN TRAPS SHALL HAVE REMOVABLE STRAINERS. ALL CLEANOUTS SHALL BE ACCESSIBLE.
- 14 DRAIN PANS.
- 14.1 PROVIDE CODE APPROVED SHOWER PANS IN ALL SHOWER BATHS.
- 14.2 PROVIDE DRAIN PAN BELOW WASHING MACHINES.
- 15 WATER SYSTEM SHALL BE PURGED OF DETRIMENTAL WATER AND DISINFECTED PRIOR TO USE.
- 16 FURNISH AND INSTALL GAS PIPING SHUT OFF AT EACH APPLIANCE WITH DRIP LEG AND AT EACH FIREPLACE LOG LIGHTER.
- 17 SANITARY SEWER MUST UTILIZE DUCTILE IRON FROM THE FOUNDATION WALL TO BEYOND THE OVERGRO.
- 18 EJECTOR PUMP SHALL NOT BE UTILIZED FOR ANY OTHER FUTURE VENT.
- 19 PERFORM STACK TEST ON ALL WASTE AND VENT PIPING AT THE TIME OF THE ROUGH AND UNDERGROUND INSPECTIONS.
- 20 BUILDING FOUNDATION MUST BE BACKFILLED PRIOR TO THE UNDERGROUND PLUMBING INSPECTION.
- 21 75 PSIG AIR TEST ON WATER PRESSURE EQUIPPED UNDER WATER PIPING AT TIME OF ROUGH INSPECTION.
- 22 25 PSIG AIR TEST REQUIRED ON ALL GAS PIPING AT THE TIME OF THE ROUGH INSPECTION.
- 23 ALL NEW PLUMBING MUST MEET LOCAL BUILDING CODE.
- 24 PROVIDE A MINIMUM 1/2" WATER SERVICE.
- 25 MAIN WATER LINES TO HEATER AND FIRST SET OF RISERS TO BE MINIMUM 1/2".
- 26 WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
- 27 HOT WATER SYSTEMS WITH A DEVELOPED LENGTH OF GREATER THAN 10 FT. MUST BE PROVIDED WITH RECIRCULATION LINE.
- 28 NO PLUMBING FIXTURES, INCLUDING THE KITCHEN SINK, MAY DISCHARGE TO THE SEWER THROUGH AN "ARM" WHICH CHANGES DIRECTION OTHER THAN FROM HORIZONTAL TO VERTICAL.
- 29 ALL FLOOR DRAINS SHALL BE MINIMUM OF 4" AND SHALL BE INDIVIDUALLY VENTED.
- 30 PROVIDE 3/4" AIR CHAMBERS FOR HOT & COLD WATER RISERS & 1/2" CHAMBERS FOR WATER SUPPLY TO PLUMBING FIXTURES.
- 31 AVERAGE FLOW RATE FOR ALL FAUCETS TO BE LESS THAN 1.5 GPM. SHOWERS TO BE LESS THAN 1.5 GPM. TOILETS TO BE 1.1 GPM.
- 32 ALL HOT WATER PIPING SHALL HAVE 6" INSULATION. INSULATION SHALL BE PROPERLY INSTALLED ON ALL PIPING ELBOWS TO ADEQUATELY INSULATE TO 50 DEGREE BEND.
- 33 ANY WALL WHICH CONTAINS ANY PLUMBING LINES 1/2" IN DIAMETER OR GREATER SHALL BE A MIN. 2X6 WALL.
- 34 ALL PIPING IN THE HOT WATER RECIRCULATING SYSTEM SHALL BE INSULATED TO A MIN. OF R-3 (IRC R403.4).

FIRE SUPPRESSION

- 1 THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED AS REQUIRED BY NFPA 13

ELECTRICAL

- 1 ALL ELECTRICAL WORK SHALL BE CONCEALED WITHIN WALL/CEILING/STRUCTURE. ALL WORK SHALL BE RUN IN 1/2" OR 3/4" CONDUIT AS NECESSARY WITH A MINIMUM WIRE SIZE OF #14. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODE REQUIREMENTS INCLUDING THE INSTALLATION OF GFCI EQUIPMENT AS NECESSARY. CONTRACTOR SHALL MAKE ALL CONNECTIONS REQUIRED FOR MECHANICAL TRADES.
- 3 ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ENGINEERING OF PANEL BOARD LAYOUT AND CIRCUITING.
- 4 FURNISH AND INSTALL ALL ELECTRICAL FIXTURES AND BATH FANS. NOTE THAT DECORATIVE LIGHT FIXTURES ARE TO BE PROVIDED BY OWNER, INSTALLED BY ELECTRICIAN.
- 5 ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ENGINEERING OF PANEL BOARD LAYOUT AND CIRCUITING.
- 6 ALL CONVENIENCE OUTLETS SHALL BE INSTALLED AT 1'0" O.C. ABOVE ROUGH FLOOR, MOUNTED HORIZONTALLY. ALL SWITCHES TO BE INSTALLED AT 48" O.C. ABOVE ROUGH FLOOR, MOUNTED VERTICALLY, UNLESS OTHERWISE NOTED. ALL ABOVE-COUNTER CONVENIENCE OUTLETS SHALL BE MOUNTED VERTICALLY AT HEIGHTS INDICATED ON THE PLANS/LEGENDS, VERIFY WITH FIELD CONDITIONS.
- 7 FURNISH AND INSTALL HARDWIRED INTERCONNECTED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS WHERE REQUIRED BY CODE AT EACH FLOOR. SMOKE DETECTORS SHALL NOT BE LOCATED WITHIN 36" OF SUPPLY AIR VENTS OR CEILING FAN BLADES (REFER TO WPI INSTALLATION INSTRUCTIONS).
- 8 ELECTRICAL CONTRACTOR SHALL TACK IN ALL JUNCTION BOXES AND RECESSED LIGHT HOUSINGS FOR APPROVAL BY ARCHITECT/OWNER.
- 9 FURNISH AND INSTALL GROUND FAULT CIRCUIT INTERRUPTER (GFCI) AT ALL WET LOCATIONS AS INDICATED ON PLANS AND ALL LOCATIONS AS REQUIRED BY CODE.
- 10 GANG ALL SWITCHES UNDER ONE FACE PLATE WHERE POSSIBLE.
- 11 PROVIDE WHIPS AT ALL SCENE LOCATIONS.
- 12 ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY SCHEDULES AND LIGHTING AT APPROPRIATE TIMES, VERIFY SCHEDULE WITH GENERAL CONTRACTOR.
- 13 AT LEAST 75% OF THE LAMP IN THE PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICIENCY BULBS PER IRC R401.4.
- 14 NEW ELECTRICAL SERVICE TO BE 400A, UNDERGROUND.
- 15 THE SERVICE DISCONNECTING MEANS SHALL BE LOCATED ON THE EXTERIOR OF THE BUILDING.
- 16 SEPARATE CIRCUITS SHALL BE PROVIDED FOR ALL RANGES, OVENS, WATER HEATER, LAUNDRY, GARBAGE DISPOSAL, MICROWAVE, REFRIGERATOR, DISHWASHER, FOOD FREEZER, REFRIGERATOR, WHOLE HOUSE VACUUM, TUBS, WHIRLPUPS, STEAM GENERATORS, SUMP & EJECTOR PUMPS, FURNACES AND AIR CONDITIONERS.
- 17 INSTALL WALL RECEPTACLES SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE.
- 18 ALL BEDROOM RECEPTACLE AND LIGHTING CIRCUITS SHALL BE ARC-FAULT PROTECTED.
- 19 ALL LIGHT FIXTURES LOCATED WITHIN TUB OR SHOWER COMPARTMENTS SHALL HAVE AN APPROVED VAPOR-PROOF COVER AND SHALL BE GFCI PROTECTED.
- 20 THE RECEPTACLES IN THE KITCHEN ISLAND AND ALL GARAGE OUTLETS SHALL BE GFCI PROTECTED.
- 21 CLOSEST SURFACE MOUNTED NON-DESTRUCTIVE FIXTURES MUST BE MOUNTED AT MINIMUM 12" ABOVE FINISH FLOOR. THE NEAREST POINT OF STORAGE, RECESSED MOUNTING, RECESSED UNDERCOUNTER AND SURFACE MOUNTED FLUORESCENT FIXTURES MUST BE MOUNTED A MINIMUM OF SIX INCHES (6") AWAY FROM THE NEAREST POINT OF STORAGE. LIGHT FIXTURES IN CLOSETS MUST HAVE A COMPLETELY ENCLOSED LAMP.
- 22 ALL EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRS EXCEPT THAT ALL EXTERIOR STAIRWAYS TO THE BASEMENT SHALL BE PROVIDED WITH A LIGHT AT THE BOTTOM LANDING (SECTION R303.4 AS AMENDED).
- 1 Exception 1: Stairways serving one or more landings shall be provided with a light fixture in the immediate vicinity of the top and bottom of the stairs. The control for these lights shall be a 3-way switch located at the top and bottom of the stairs. (SECTION R303.6)

GAS

- 1 ABOVE SHALL BE SCH 40 BLACK STEEL WITH BLACK STEEL WALLEABLE FITTINGS FOR PIPE 2" & SMALLER.
- 2 BELOW GRADE GAS PIPING SHALL BE SCH 40 BLACK STEEL WITH BLACK STEEL WALLEABLE FITTINGS. PROVIDE CATHODIC PROTECTIONS AS REQUIRED. PIPING SHALL BE PROVIDED WITH A FACTORY APPLIED COATING OF OTHER FUSION BONDED EPDM OR THE WARE FACTORY COATING MUST BE ACCEPTABLE TO UTILITY COMPANY.

DEMOLITION

- 1 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL DEMOLITION.
- 2 THE GENERAL CONTRACTOR SHALL REVIEW ALL DOCUMENTS, INCLUDING DRAWING AS PREPARED BY STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERS PRIOR TO DEMOLITION. CONTRACTOR SHALL COORDINATE DEMOLITION SCOPE WITH GENERAL WORK SCOPE AND REPORT ANY DISCREPANCIES WITH OWNER AND ARCHITECT.
- 3 ALL ITEMS THAT WERE NOT INDICATED TO BE REMOVED INCLUDING ITEMS TO BE SALVAGED SHALL BE FULLY PROTECTED FROM DAMAGE DURING DEMOLITION. CONTRACTOR SHALL EXERCISE CAUTION TO AVOID DAMAGE TO ITEMS ADJACENT TO ZONES OF DEMOLITION.
- 4 ANY DAMAGE IMFLICTED UPON EXISTING ITEMS OR SURFACES THAT ARE TO REMAIN SHALL BE REFINISHED, REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, BUILDING MANAGEMENT AND ARCHITECT AT NO ADDITIONAL COST.
- 5 ALL ITEMS OF EXISTING EQUIPMENT, MATERIALS, FIXTURES, ETC., SHALL REMAIN THE PROPERTY OF THE TENANT. ALL SALVAGED AND/OR REUSABLE ITEMS SALVAGED DURING DEMOLITION OPERATIONS SHALL BE REMOVED AND REPAIRED FOR LATER REINSTALLATION. ITEMS INSPECTED AND REJECTED BY THE OWNER OR ARCHITECT SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- 6 DEMOLITION DRAWINGS PROVIDED ARE INTENDED TO SHOW THE GENERAL NATURE OF THE EXISTING CONDITIONS AND EXTENT OF WORK. DRAWINGS ARE NOT TO BE CONSIDERED AS A RECORD DRAWING OF EXISTING CONDITIONS. GENERAL CONTRACTOR TO VERIFY ALL WORK IN FIELD PRIOR TO COMMENCEMENT.
- 7 THE GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE OF METHODS AND OPERATIONS OF DEMOLITION FOR OWNER AND ARCHITECT REVIEW FOR ALL DEMOLITION WORK. THE SCHEDULE SHALL INCLUDE THE COORDINATION REQUIRED WITH EXISTING BUILDING SYSTEMS FOR ALL TRADES, INCLUDING SHUT OFF, CAPPING OR REDUCING OF UTILITIES, AND THE CONSTRUCTION OF ANY TEMPORARY UTILITY LINES.
- 8 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW OF ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION.
- 9 THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY AND/OR PERMANENT SUPPORT AS NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY OF ALL ADJACENT AND EXISTING STRUCTURES TO BE AFFECTED BY THE DEMOLITION.

LIST OF DEFERRED SUBMITTALS

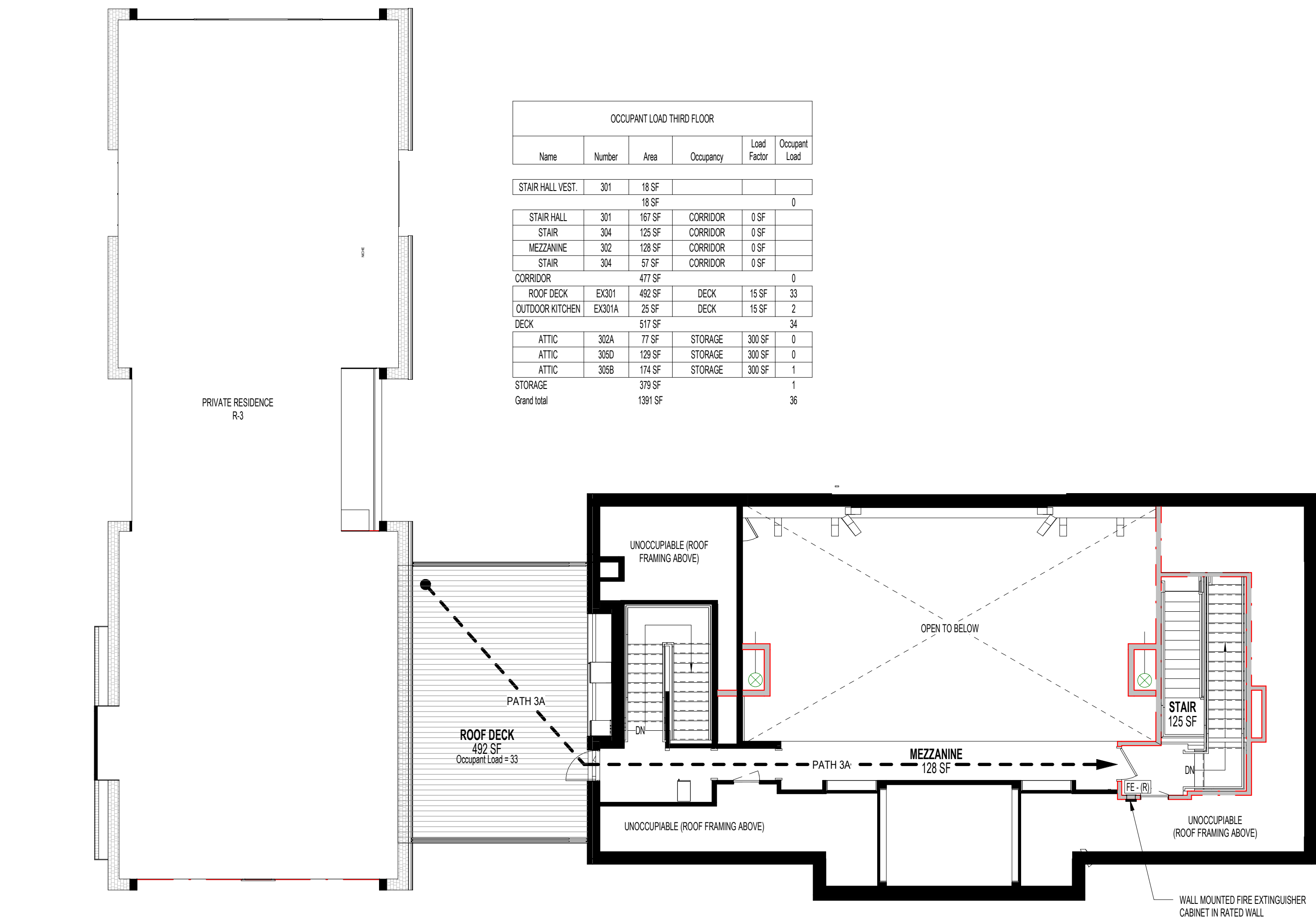
1. FIRE SUPPRESSION SYSTEMS (DESIGN BUILD)
2. FIRE ALARM SYSTEM (DESIGN-BUILD)
3. MEP SEISMIC RESTRAINTS
4. PRECAST CONCRETE ELEMENTS
5. TRUSSES (FLOOR AND ROOF)
6. STEEL STAIRS, HANDRAILS, AND GUARDS
7. ELEVATOR DRAWINGS

580 S. WILLOW BUILDING CODE REVIEW

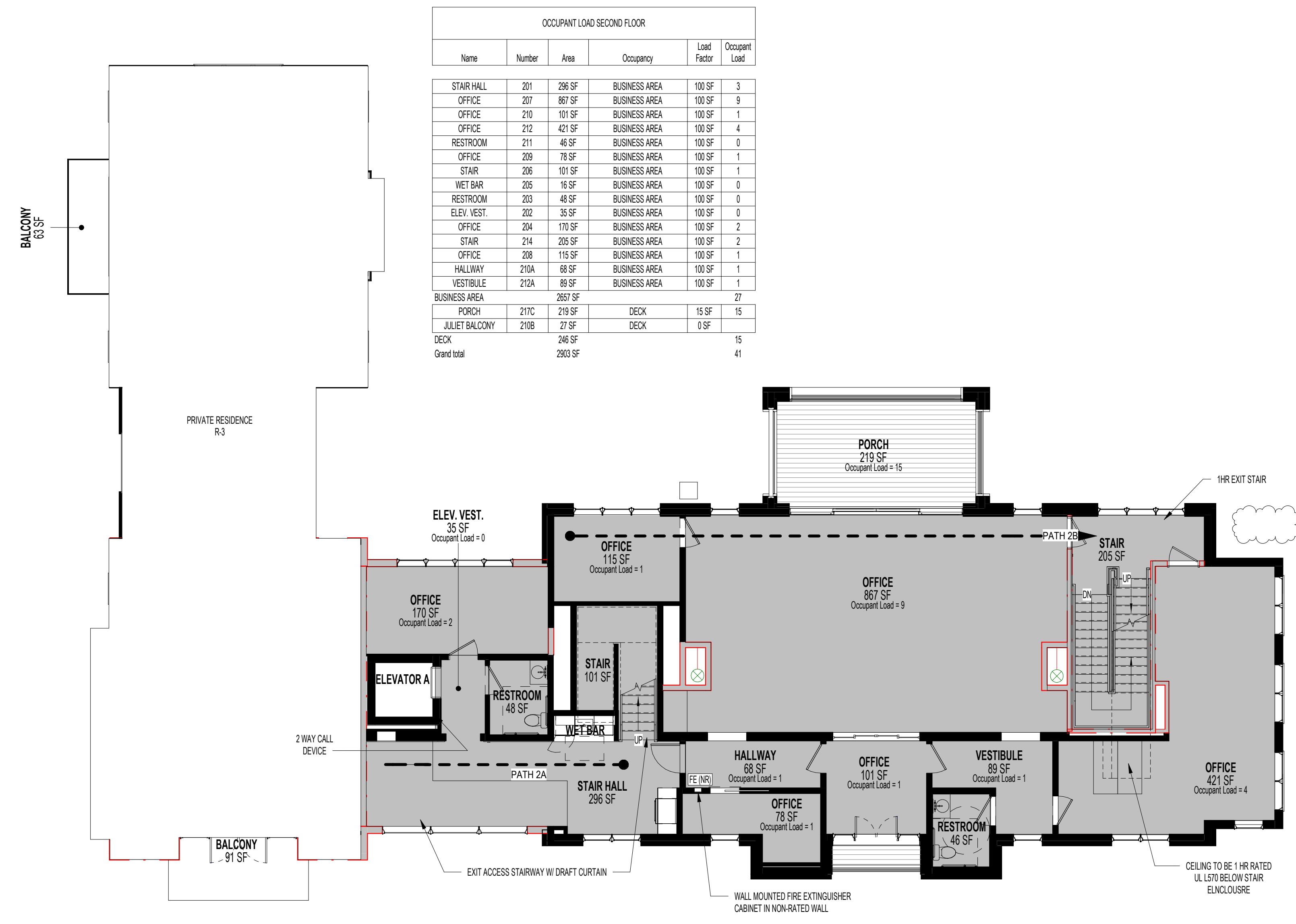
1. Building occupancy (Chapter 3);
2. Office - Section 304 Business group B
3. Showroom - Section 301.1 Merchandise group M
4. Residences - Section 310.5 Residential Group R-3
5. Storage - Section 311.2 Moderate-hazard storage, Group S-1
6. Private Garage - Section 311.1 (Private Garage) (S-1.1) (Classification), Utility and Miscellaneous Group U
7. Roof Deck - Section 303.1.2 Business group B
8. General Building Heights and Areas (Chapter 5);
9. Allowable Height above grade: Table 504.3 (Type VB construction), sprinklered
 - a. Floor: 8'
 - b. Mezz.: 8'0"
 - c. R-3 occ.: 8'
 - d. S-1 occ.: 8'
 - e. U occ.: 8'
10. Allowable stories above grade: Table 504.4 (Type VB construction), sprinklered
 - a. B occ.: 3
 - b. Mezz.: 2
 - c. R-3 occ.: 4
 - d. S-1 occ.: 2
 - e. U occ.: 2
11. Table 505.2: allowable area: Sprinklered multiple stories (SM), Type VB construction

Occ.	Allowable Area	Proposed Area
B	27,000 sf	4745 sf
M	27,000 sf	1,029 sf
U	44,000 sf	150 sf
S-1	27,000 sf	2,997 sf
U	16,500 sf	511 sf
12. Chapter 8 Interior Finishes
13. See chapter for specific requirements for walls, ceilings, floors, etc.
14. Chapter 9 Fire Protection Systems</

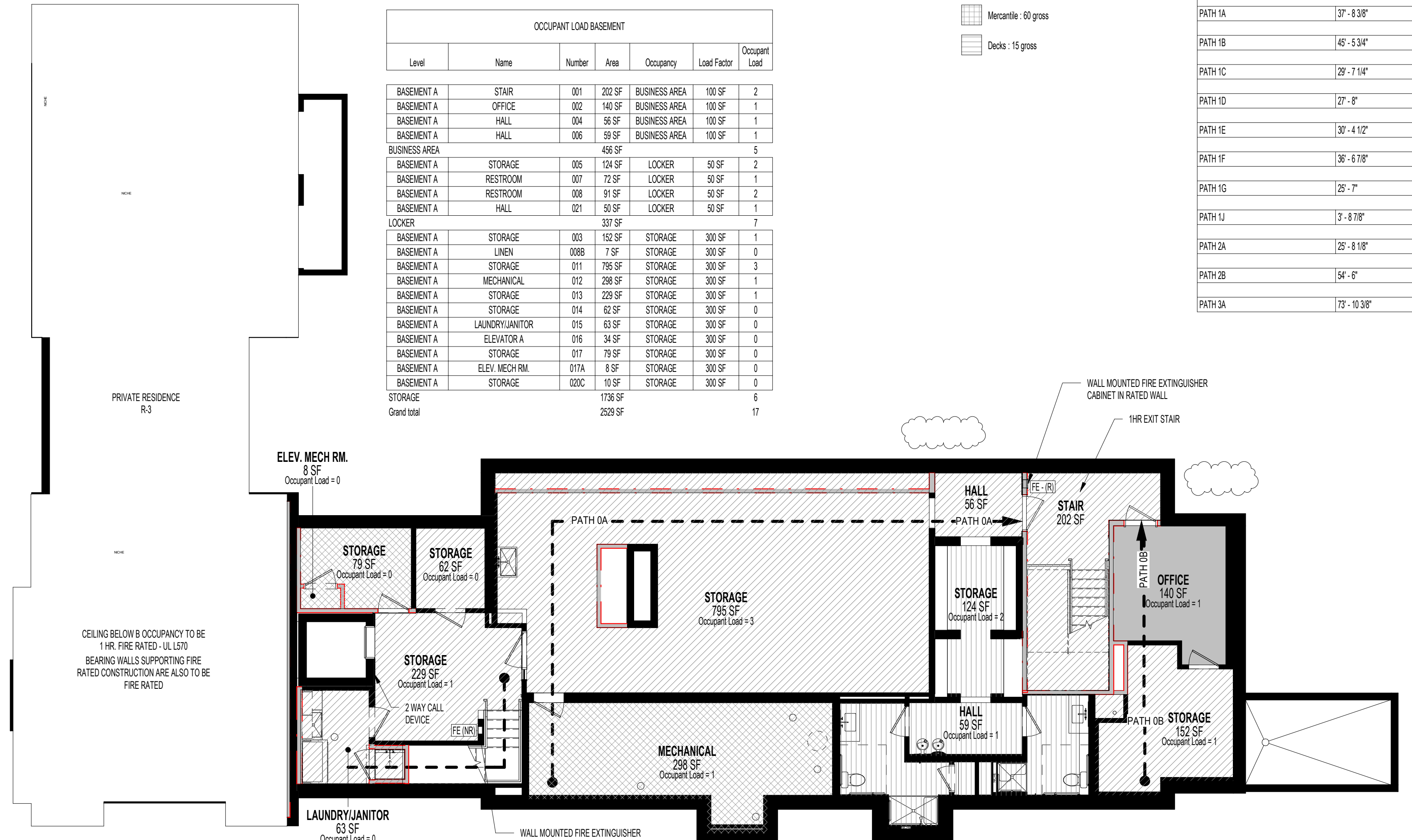
4 LEVEL 3 EGRESS PLAN
1/8" = 1'-0"



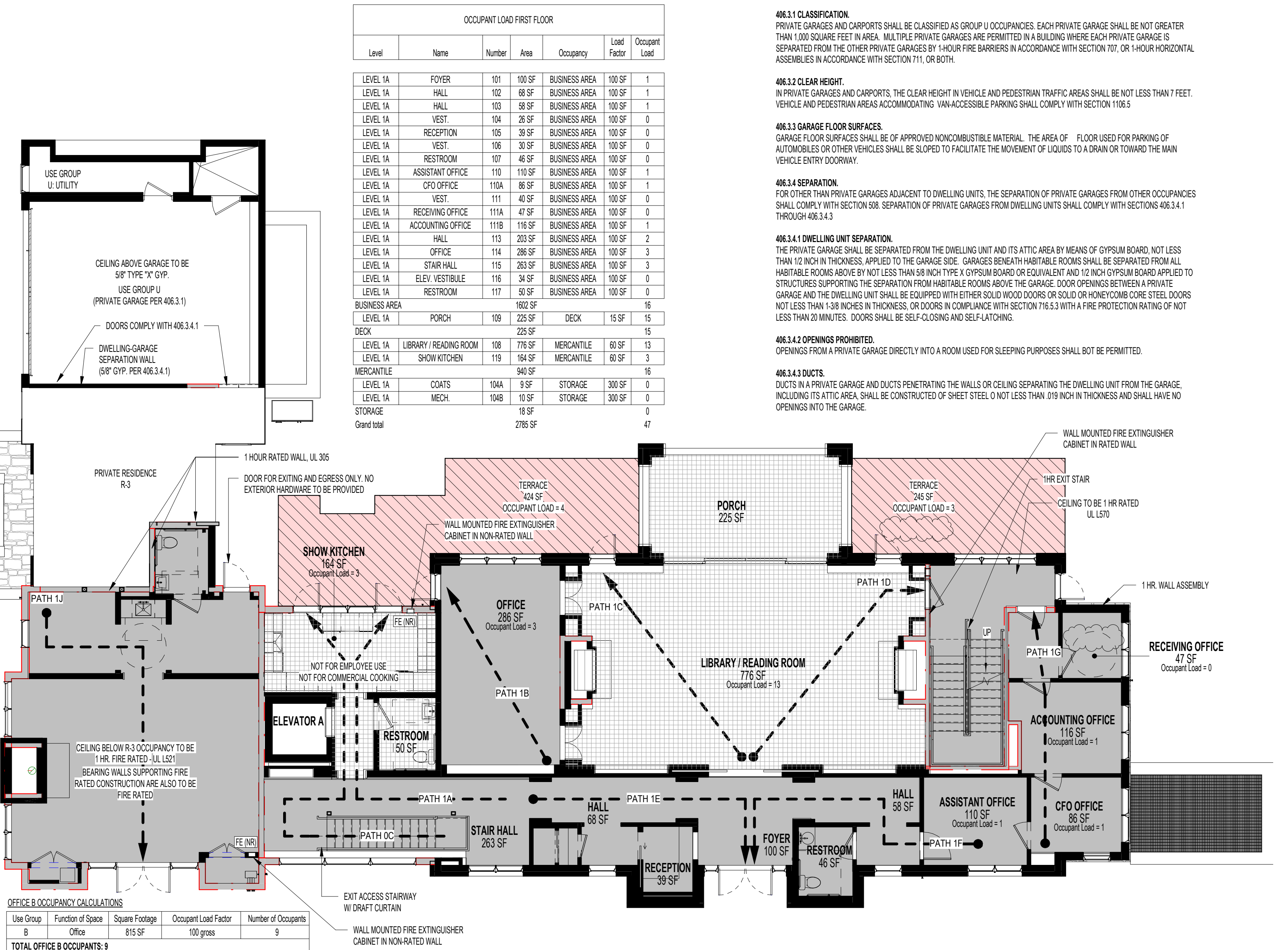
3 LEVEL 2 EGRESS PLAN
1/8" = 1'-0"



1 BASEMENT EGRESS PLAN
1/8" = 1'-0"



2 LEVEL 1 EGRESS PLAN
1/8" = 1'-0"



NORTHWORKS

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Drawing Name
EGRESS & SEPARATION DIAGRAMS

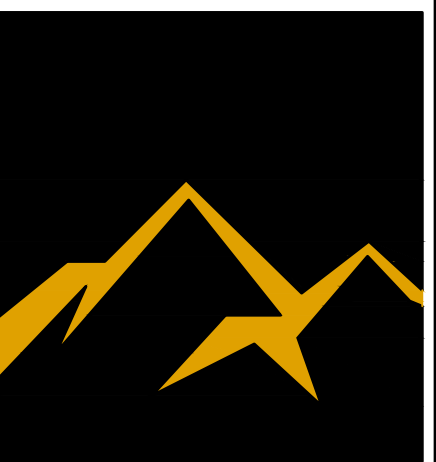
G0.02

PROJECT
DW580
580 SOUTH WILLOW STREET
JACKSON, WY 83001

1816 Project No.
AW, MA Drawn By
EAD Checked By
Drawing No.

PROFESSIONAL SEAL

NO.	ISSUED DATE	ISSUED FOR
	06/30/2022	RFI #216 DOOR COORDINATION
P1	07/02/2018	PERMIT
P2	01/15/2018	PERMIT REVISION 1
P3	02/28/2019	PERMIT REVISION 2
P9	06/03/2021	PERMIT REVISION 10
P13	12/09/2021	VE ISSUANCE
P14	02/04/2022	PERMIT REVISION 14 TO J RESPONSES
P14	03/04/2022	PERMIT REVISION 14 TO J RESPONSES
P15	05/19/2022	PERMIT REVISION 15



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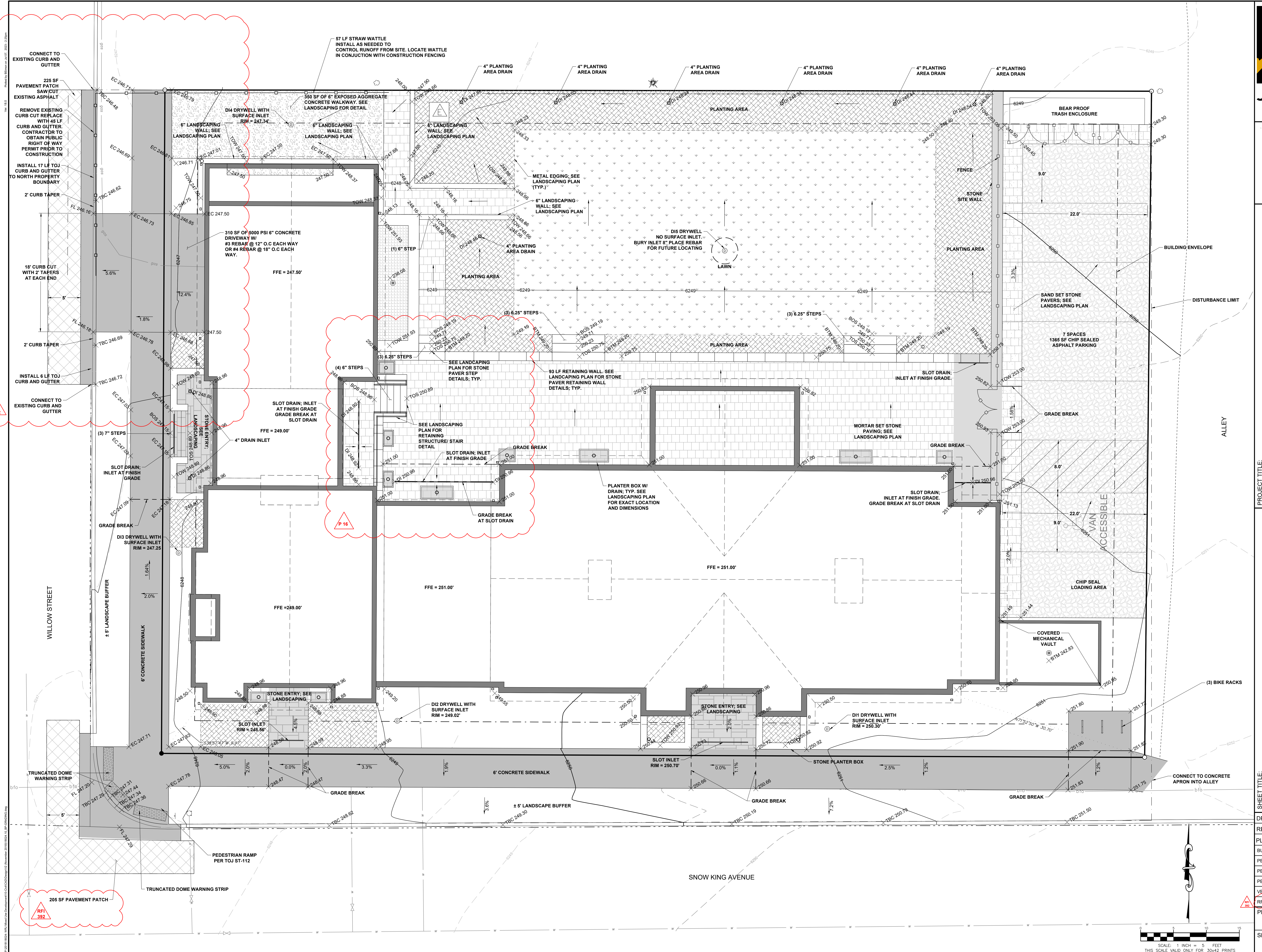


PROJECT TITLE:
DW580
580 SOUTH WILLOW
JACKSON, WY 83001

SHEET TITLE:
SITE GRADING

DRAFTED BY:	BS/JL
REVIEWED BY:	TK
PLAN VERSION	DATE
BUILDING PERMIT	06.29.2018
PERMIT REV 10	06.03.2021
PERMIT REV 11	06.30.2021
PERMIT REV 12	08.30.2021
VE ISSUANCE	12.09.2021
RFI 392 REV	07.07.2023

PROJECT NUMBER
18024.10
SHEET
C2.0



PLANTING & IRRIGATION NOTES

1. Refer to Civil Engineer's utility and grading plans. If site conditions vary from what is shown, contact the Landscape Architect and Civil Engineer for direction before proceeding.
2. Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site conditions, contact the Landscape Architect for direction before proceeding.
3. Excavation near underground utilities shall be done carefully and, if necessary, by hand. The Contractor is fully responsible for this work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the Owner.
4. Obtain approval of finish grading from Landscape Architect prior to installing any plant material. The finish grades of planting areas and lawns shall be 1" below adjacent edging or paving. Confirm mulch depth and whether lawns are to be seed or sod.
5. Confirm all plant counts and square footages. Quantities shown are provided as Owner information only. If quantities indicated in the plant list differ from symbols shown on the plans, then the plans shall govern the plant count.
6. Contractor to verify suitability of native or imported topsoil. Suitable topsoil shall be free of roots, plants, sod, stones greater than 1" in any dimension, clay lumps, and other extraneous materials detrimental to plant growth.
7. For areas to receive sod or seed and/or to produce planting soil for areas indicated on details, amend suitable topsoil with organic compost to a ratio of 1 part compost to 4 parts topsoil by volume.
8. Compost shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5 to 8.0; moisture content 35 to 55 percent by weight; with organic matter content 50 to 60 percent of dry weight with 16-16-8 nutrient composition. If compost is not 16-16-8 composition, add commercial fertilizer in necessary quantities to meet 16-16-8 nutrient composition. Source: Glacier Gold Compost or approved equal.
9. Contractor to supplement existing native surface topsoil as necessary. Obtain supplemental topsoil displaced from naturally well-drained construction or mining sites where topsoil occurs at least 4 inches deep. Do not obtain from agricultural lands, bogs, or marshes.
10. Compost mulch shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5-8.0; moisture content 35 to 55 percent by weight; 100 percent passing through 1-inch sieve; soluble salt content of 2 to 5 decisiemens/m; not to exceed 0.5 percent inert contaminants and free of substances toxic to planting; organic matter content 50 to 60 percent of dry weight. Source: Glacier Gold Compost or approved equal.
11. The Landscape Architect shall review all plant materials at the source or nursery or by photographs provided by Contractor prior to shipment. The Landscape Architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site.
12. Carefully align and space plant materials as indicated in these notes, drawings, and details. The final location of plant materials is to be approved by the Landscape Architect on site prior to installation. The Contractor is responsible for staking or marking the location of all plant materials on site for review by the Landscape Architect. The Landscape Architect reserves the right to adjust the exact locations of plants on site.
13. All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
14. All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller. All trees, shrubs, and perennials shall be drip irrigated and all turf areas shall be irrigated with a spray or rotor system. Planters on ground level, 2nd and 3rd floor terraces shall have drip irrigation. Detail of concrete and stone penetration for drip irrigation at terraces to be approved by landscape architect prior to construction. Irrigation system shall be design-build by Contractor. Contractor shall provide an irrigation shop-drawing for review by Landscape Architect before proceeding. Contractor shall demonstrate full system coverage prior to acceptance and before plant material installation. Contractor shall provide a reproducible as-built drawing of installed irrigation system at conclusion of project.
15. The irrigation system shall be operational prior to plant installation or temporary irrigation measures shall be provided in the interim. The method of temporary irrigation shall be approved by the Landscape Architect prior to plant material installation.
16. No pruning of existing or newly planted trees or shrubs shall be allowed without the direction and approval of the Landscape Architect.
17. For ball & burlap trees, remove burlap from top] of rootball and entire wire basket as tree pits are backfilled.
18. All installed trees shall be staked. The Landscape Architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
19. During construction and prior to final acceptance, Contractor shall observe the project site for the growth of noxious weeds. Contractor shall report the growth of noxious weeds to the Teton County Weed and Pest District Office. Contractor and Owner shall implement a weed control program to control noxious weeds.
20. Apply 16-16-8 fertilizer at the rate of 15 lbs per 1,000 SF and till into top 4" of areas to receive sod or seed.
21. Planting period for sod shall be immediately after finish grading and irrigation installation are accepted but no later than September 30 for sod.
22. Final sod quantity shall be calculated by Contractor based on limits of disturbance.

LANDSCAPE AREA & PLANT UNIT SUMMARY

Per Town of Jackson LDR Section 2.2.3 Commercial Residential-1 and Division 5.5 - Landscaping Standards, the following is a summary of the Landscape Area and Plant Unit Requirements for this project:

Landscape Area Requirement:
Gross Site Area: 0.34 acres / 15,119 sf
Minimum Landscape Area Requirement: 10% of GSA
Minimum Landscape Area Requirement: 1,512 sf
Proposed Landscape Area: 4,414 sf

Plant Unit Requirement:
1 Plant Unit per 1,000 sf of landscape area (4,414 sf of landscape area proposed) = 5 Plant Units
1 Plant Unit per 12 Parking Spaces (6 Surface Parking Spaces Proposed) = 1 Plant Unit
TOTAL PLANT UNIT REQUIREMENT = 6 PLANT UNITS

BICYCLE PARKING SUMMARY

Three (3) "U-Style" bike racks are proposed, providing bicycle parking for 6 bikes. See Detail B/L0.2

LEGEND

---	PROPERTY BOUNDARY
---	DRIVEWAY
---	ROADWAY
---	EDGER
---	SLOT DRAIN
---	TRENCH DRAIN
---	SAND-SET STONE PAVING
---	MORTAR-SET STONE PAVING
---	MORTAR-SET STONE PAVING W/ SNOWMELT
---	SAND-SET STONE EDGER
---	SITE WALL
---	CHIP SEAL PAVING
---	CONCRETE
---	EXPOSED AGGREGATE CONCRETE
---	FENCE, TBD
---	EXISTING GRAVEL ALLEY
---	PROPOSED GRAVEL PAVING TO MATCH EXISTING ALLEY

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	B & B	3"	4
	Acer palmatum 'Connara Pygmy' / Connara Pygmy Japanese Maple	15 gal	1" Cal	2
	Malus x 'Spring Snow' / Spring Snow Crab Apple	B&B	3" Cal	6
	Populus tremuloides / Quaking Aspen	B&B	3"	7
	Ulmus americana 'New Horizon' / New Horizon American Elm	B & B	3"	5
SHRUBS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Cornus sericea 'Isanti' / Isanti Redosier Dogwood	5 gal		84
	Crataegus douglasii suksdorfii / Black Hawthorne	B & B	5'	15
	Deschampsia cespitosa / Tufted Hair Grass	1 gal		14
	Sorbaria aitchisonii / False Spiraea	5 gal		6
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	
	Groundcover TBD	1 gal.	20" o.c.	150
	Low Water Use Kentucky Bluegrass Blend - Pocahontas Sod	SOD		2,408 sf
	Perennial Mix - Species TBD	1 gal.	20" o.c.	300

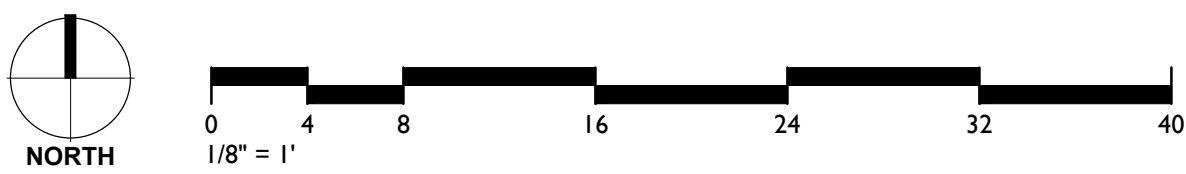
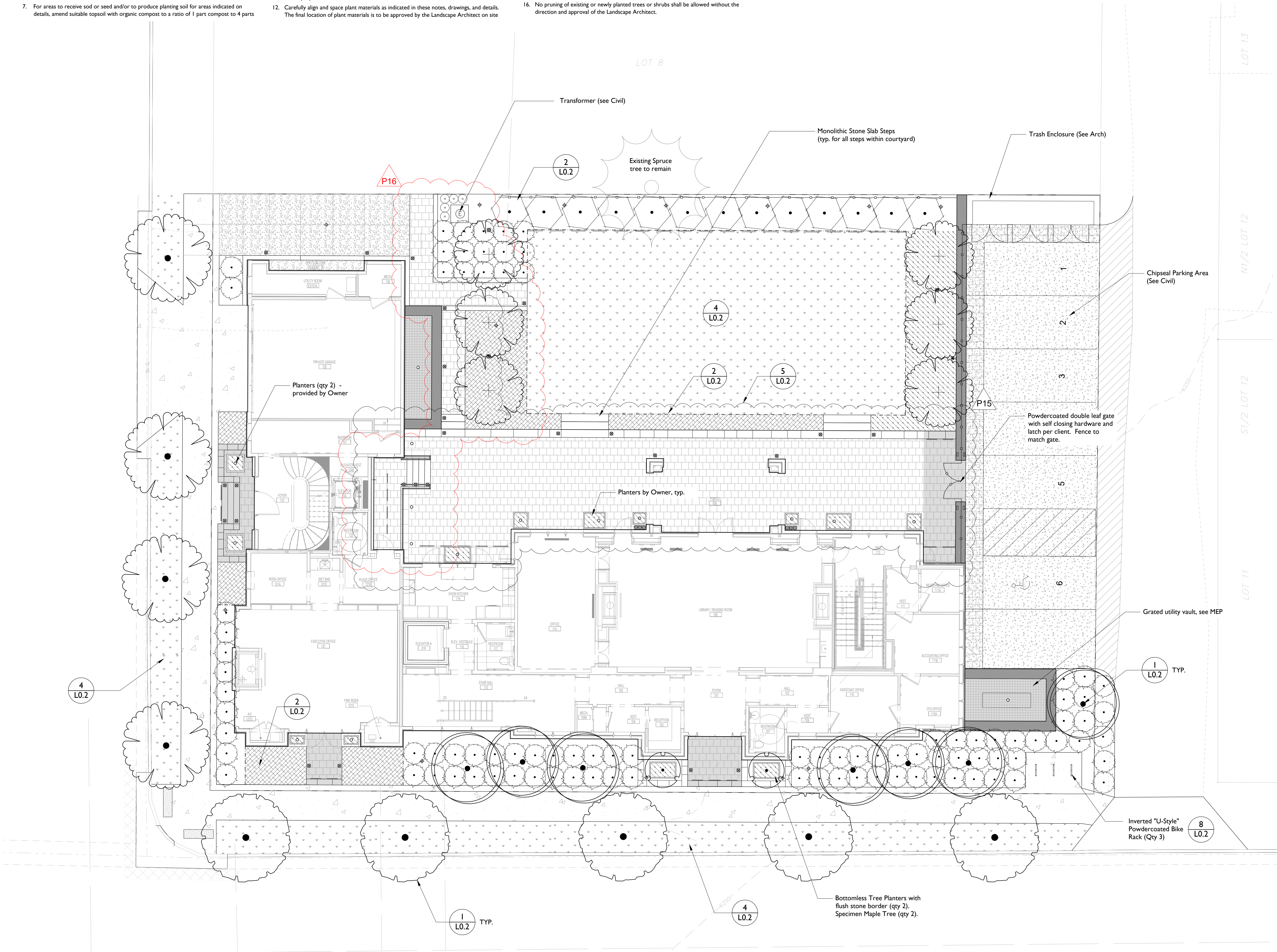
SITE LIGHTING SCHEDULE

SYMBOL	MODEL	LIGHT COLOR	QTY
	B-K LIGHTING PATH LIGHT W/ SINGLE APERTURE - COLOR TBD. SEE LIGHTING FOR SPECIFICATIONS.	2700k	25
	BEGA WALL LIGHT, BLACK FINISH. SEE LIGHTING FOR SPECIFICATIONS.	2700k	4

NOTE:
1. LIGHT SYMBOLS ARE NOT TO SCALE.
2. SEE ARCH OR ELECTRICAL DRAWINGS FOR ALL LIGHTING ASSOCIATED WITH THE BUILDING.

DETAIL REPORT

NUMBER	TITLE
1/L0.2	DECIDUOUS TREE PLANTING
2/L0.2	SHRUB PLANTING
3/L0.2	PERENNIAL PLANTING
4/L0.2	LAWN SOD
5/L0.2	STEEL EDGER
6/L0.2	CONIFEROUS TREE PLANTING
7/L0.2	ROOT BARRIER AT STREET TRESS
8/L0.2	INVERTED U-STYLE BIKE RACK



NORTHWORKS

235 East Broadway Jackson Hole, Wyoming 83001
T 307-201-5324 www.nwks.com

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HERSHBERGER DESIGN

Landscape Architecture • Environmental Planning • Urban Design
461 South Glenview P.O. Box 1448, Jackson, Wyoming 83001 T 307-739-0101 F 307-734-8351

NO.	ISSUED DATE	ISSUED FOR
2	07/02/2018	ISSUE FOR PERMIT
5	11/16/2018	PERMIT REVISIONS
6	08/28/2019	PERMIT REVISIONS
P10	06/30/2021	PERMIT REVISION 10
P11	08/27/2021	PERMIT REVISION 11
P13	12/09/2021	VE ISSUANCE
P15	04/15/2022	PERMIT REVISION 15 (Rev P15)
P16	12/21/2022	PERMIT REVISION 16

PROFESSIONAL SEAL

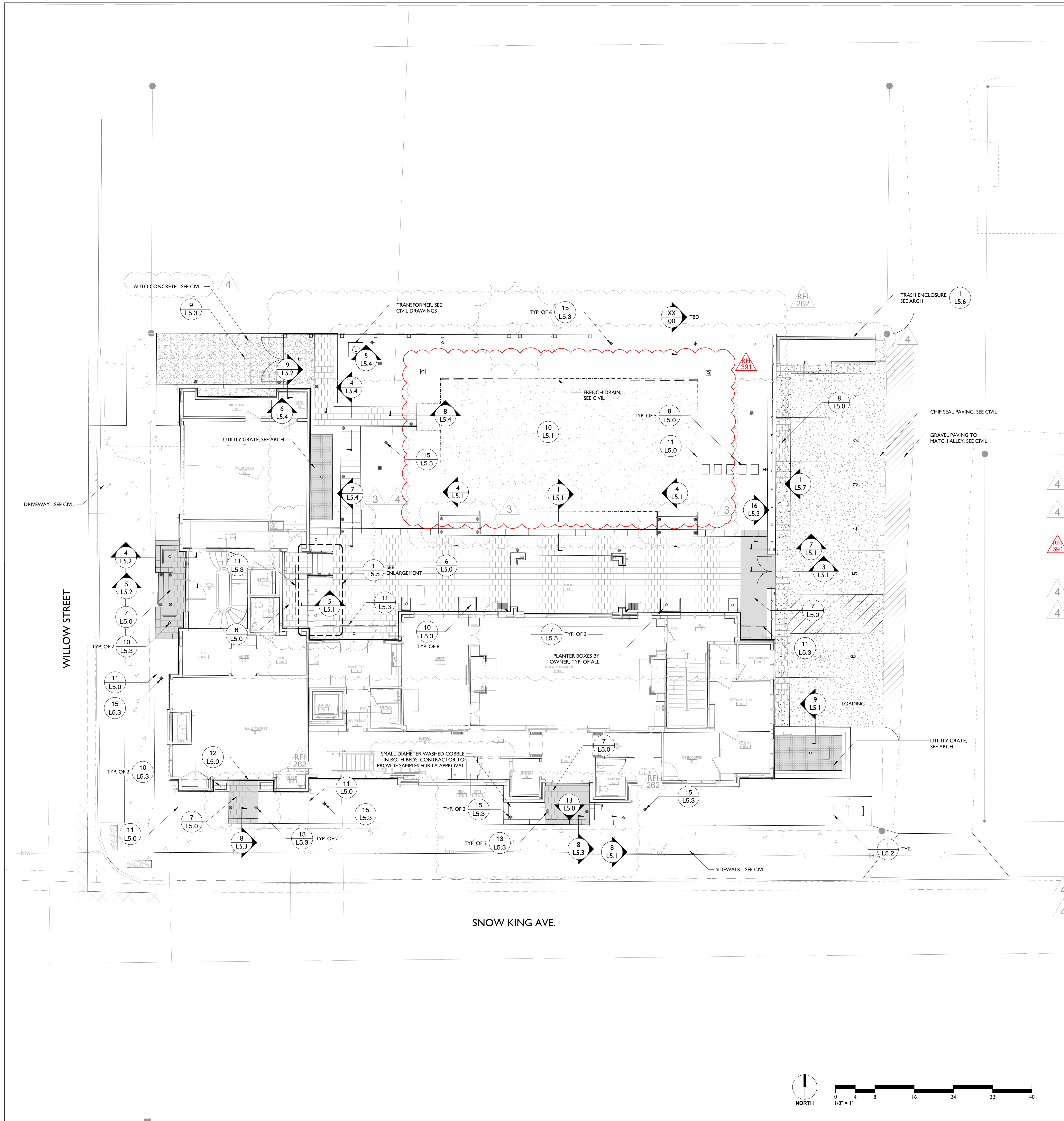


PROJECT
DW580
580 SOUTH WILLOW STREET
JACKSON, WY 83001

1816	Project No.
MK / MT	Drawn By
BH	Checked By
	Drawing No.

L0.1

Drawing Name
LANDSCAPE PLAN



LEGEND

- PROPERTY BOUNDARY
- DRIVEWAY
- ROADWAY
- EDGER
- SLOT DRAIN
- FRENCH DRAIN
- SAND-SET STONE PAVING
- MORTAR-SET STONE PAVING
- MORTAR-SET STONE PAVING W/ SNOWMELT
- SAND-SET STONE EDGER
- SITE WALL
- CHIP SEAL PAVING
- CONCRETE
- EXPOSED AGGREGATE CONCRETE
- CRUSHED GRAVEL
- FENCE, TBD
- EXISTING GRAVEL ALLEY
- PROPOSED GRAVEL PAVING TO MATCH EXISTING ALLEY
- CRUSHED AGGREGATE PAVING
- STEPPING STONES
- PATH LIGHT
- WALL LIGHT
- WALL PLUG, SEE AV DRAWINGS
- IN-GROUND PLUG IN PLANTING, SEE AV DRAWINGS
- IN-GROUND PLUG IN HARDSCAPE, SEE AV DRAWINGS
- LANDSCAPE DRAIN INLET, SEE CIVIL
- PLANTER DRAIN INLET
- QUICK COUPLER VALVE

DETAIL REPORT

NUMBER	TITLE
1/L5.0	CONTROL JOINT
2/L5.0	EXPANSION JOINT
3/L5.0	DOWELED EXPANSION JOINT
4/L5.0	PEDESTRIAN CONCRETE
5/L5.0	PED SLAB TURNDOWN - TYP REINFORCEMENT
6/L5.0	MORTAR-SET STONE PAVING
7/L5.0	MORTAR-SET STONE PAVING W/ SNOWMELT
8/L5.0	SAND-SET STONE PAVING AT PARKING
9/L5.0	SECTION: SAND-SET STONE PAVING / PLANTING AREA
10/L5.0	STEPS / SAND-SET STONE PAVING
11/L5.0	STEEL EDGER
12/L5.0	BUILDING / MORTAR-SET STONE PAVING
13/L5.0	MORTAR-SET STONE PAVING / STONE BAND
14/L5.0	DECORATIVE STONE BAND
1/L5.1	MORTAR-SET STONE TERRACE EDGE
2/L5.1	PEDESTRIAN CONCRETE / PLANTING AREA
3/L5.1	MORTAR-SET STONE PAVING / STONE SLAB / SAND-SET STONE PAVING
4/L5.1	MORTAR-SET TERRACE TO SLAB STEPPING STONE - CONDITION B
5/L5.1	WEST TERRACE ENTRY EDGE (PENDING STRUCTURAL REVIEW)
6/L5.1	STONE VENEER WALL
7/L5.1	SECTION: STONE VENEER WALL WITH FENCE AT PARKING
8/L5.1	STONE BAND / CONCRETE SIDEWALK
9/L5.1	SECTION: STONE VENEER WALL AT PARKING
10/L5.1	CRUSHED AGGREGATE PAVING
1/L5.2	INVERTED U-STYLE BIKE RACK
2/L5.2	WEST COURTYARD TERRACE STEPS
3/L5.2	MORTAR-SET TERRACE / STEPPING STONE SLAB
4/L5.2	RESIDENTIAL ENTRY TERRACE EDGE
5/L5.2	RESIDENTIAL ENTRY STEPS WITH SLOT DRAIN
6/L5.2	5" AUTO CONCRETE TRENCH DRAIN
7/L5.2	PEDESTRIAN CONCRETE / SAND-SET STONE PAVING
8/L5.2	SAND-SET STONE PAVING / CHIP SEAL PAVING
9/L5.2	BUILDING / DECORATIVE STONE BAND / CONCRETE
1/L5.3	DECIDUOUS TREE PLANTING
2/L5.3	CONIFEROUS TREE PLANTING
3/L5.3	SHRUB PLANTING
4/L5.3	PERENNIAL PLANTING
5/L5.3	LAWN SOD
6/L5.3	ROOT BARRIER AT STREET TREES
7/L5.3	TREE PLANTER DIMENSIONS
8/L5.3	SLOT DRAIN AT MORTAR-SET STONE PAVING / SIDEWALK
9/L5.3	CONCRETE AREA DRAIN
10/L5.3	TERRACE AREA DRAIN
11/L5.3	TERRACE SLOT DRAIN
12/L5.3	WALL LIGHT - TYPE 1
13/L5.3	PATH LIGHT
14/L5.3	COBBLE DRIP EDGE
15/L5.3	LANDSCAPE AREA DRAIN
16/L5.3	MORTAR-SET STONE TERRACE EDGE W/ SLOT DRAIN
1/L5.4	STEPPING STONE SLAB - SECTION
2/L5.4	WALL LIGHT - TYPE 2
3/L5.4	WALL LIGHT - TYPE 2 - WEST TERRACE ENTRY
4/L5.4	STONE CURB STEP
5/L5.4	CONCRETE / STONE PAVING / STONE CURB
6/L5.4	DECORATIVE STONE BAND / MORTAR-SET STONE PAVING
7/L5.4	MORTAR-SET TERRACE TO SLAB STEPPING STONE - CONDITION A
8/L5.4	MORTAR-SET STONE PAVING / PLANTING
9/L5.4	POST TO WALL CONNECTION
1/L5.5	WEST TERRACE GUARDRAIL - PLAN
2/L5.5	WEST TERRACE GUARDRAIL - ELEVATION 2
3/L5.5	WEST TERRACE GUARDRAIL - ELEVATION 3
4/L5.5	PATH LIGHT IN SOLID SLABS
5/L5.5	WEST TERRACE GUARDRAIL - ELEVATION 1
6/L5.5	HANDRAIL POST ANCHOR
7/L5.5	GROUND BOX IN STONE PAVING
8/L5.5	COURTYARD TENT ANCHOR PLAN
9/L5.5	TENT ANCHORS
1/L5.6	TRASH ENCLOSURE PLAN
2/L5.6	TRASH ENCLOSURE - ELEVATIONS
3/L5.6	PRIVACY FENCE AT PLANTING
4/L5.6	PRIVACY FENCE - PLAN
5/L5.6	PRIVACY FENCE GATE
1/L5.7	ELEVATION: STONE VENEER WALL WITH FENCE AT PARKING

NORTHWORKS

235 East Broadway
83001
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Jackson Hole, Wyoming
www.nwks.com

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560 South Glenwood
P.O. Box 1648
Jackson, WY 83001
307.739.1001

www.hersbergerdesign.com

ISSUED DATE	ISSUED FOR
07/02/2018	ISSUE FOR PERMIT
10/15/2018	ISSUE FOR PRICING
06/30/2021	PERMIT REVISION 11
08/17/2021	ISSUE FOR PRICING
08/27/2021	90% CONSTRUCTION DOCUMENTS / PRICING (Rev P11)
12/09/2021	VE ISSUANCE (P13)
04/15/2022	PERMIT REVISION 15 (Rev P15)
04/22/2022	REVISION SET (Rev 2)
05/11/2022	CONSTRUCTION DOCUMENT SET
09/30/2022	RFI 262 (Rev RFI 262) / 4
02/23/2023	Rev 3 / 3
03/29/2023	Rev 4 / 4
07/21/2023	RFI 391 / 391

PROFESSIONAL SEAL

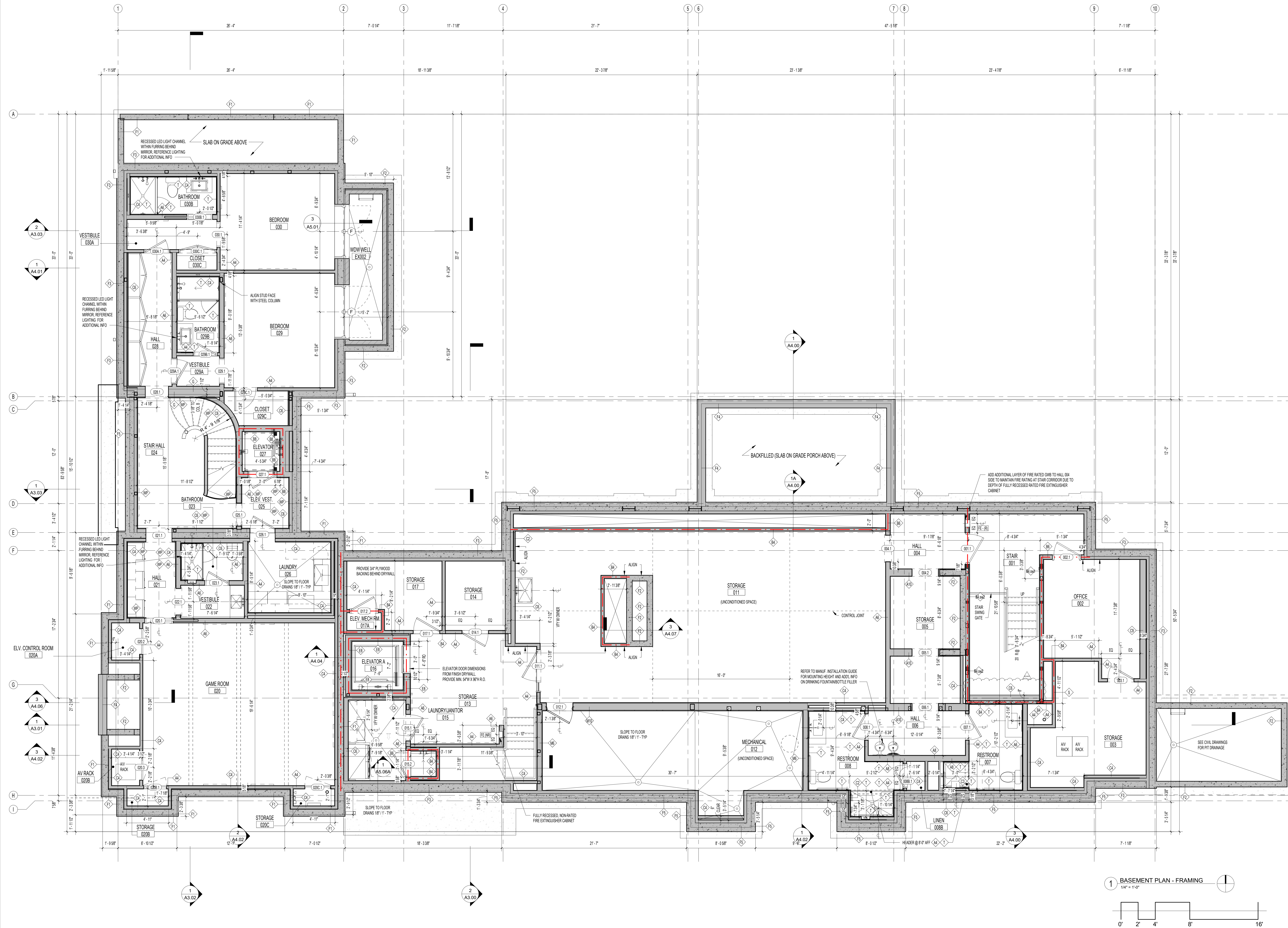


PROJECT
DW580
580 SOUTH WILLOW STREET
JACKSON, WY 83001

Project No. 18105
Drawn By: MT
Checked By: MK
Drawing No.

L1.0

Drawing Name
SITE MATERIALS PLAN



NO.	ISSUED DATE	ISSUED FOR
	06/30/2022	RPI #216 DOOR COORDINATION
	06/09/2022	RPI #233
	Date 105	RPI #257
P1	07/02/2018	PERMIT
P2	01/15/2018	PERMIT REVISION 1
P3	02/28/2019	PERMIT REVISION 2
P7	04/30/2021	PERMIT REVISIONS 8
P9	06/03/2021	PERMIT REVISION 10
P10	07/02/2021	PERMIT REVISION 11
P11	08/31/2021	IFC-MEP
P13	12/09/2021	VE ISSUANCE
P14	02/04/2022	PERMIT REVISION 14 TOJ RESPONSES
P15	05/19/2022	PERMIT REVISION 15

PROFESSIONAL SEAL

PROJECT
DW580
580 SOUTH WILLOW STREET
JACKSON, WY 83001

1816	Project No.
AW, MA	Drawn By
EAD	Checked By
	Drawing No.

A1.10

Drawing Name
BASEMENT FRAMING PLAN

NO.	ISSUED DATE	ISSUED FOR
	06/30/2022	RFI #216 DOOR COORDINATION
	08/05/2022	RFI #240_2
	8/30/2022	RFI #263 LIBRARY 108 FIREPLACE REV.
	10/12/2022	RFI #204
	02/14/2023	RFI #329
P1	07/02/2018	PERMIT
P2	01/15/2018	PERMIT REVISION 1
P3	02/28/2019	PERMIT REVISION 2
P9	06/03/2021	PERMIT REVISION 10
P10	07/02/2021	PERMIT REVISION 11
P11	08/31/2021	IFC MEP
P13	12/09/2021	VE ISSUANCE
P14	02/04/2022	PERMIT REVISION 14 TOJ RESPONSES
P15	05/19/2022	PERMIT REVISION 15
P16	01/10/2023	PERMIT REVISION 16

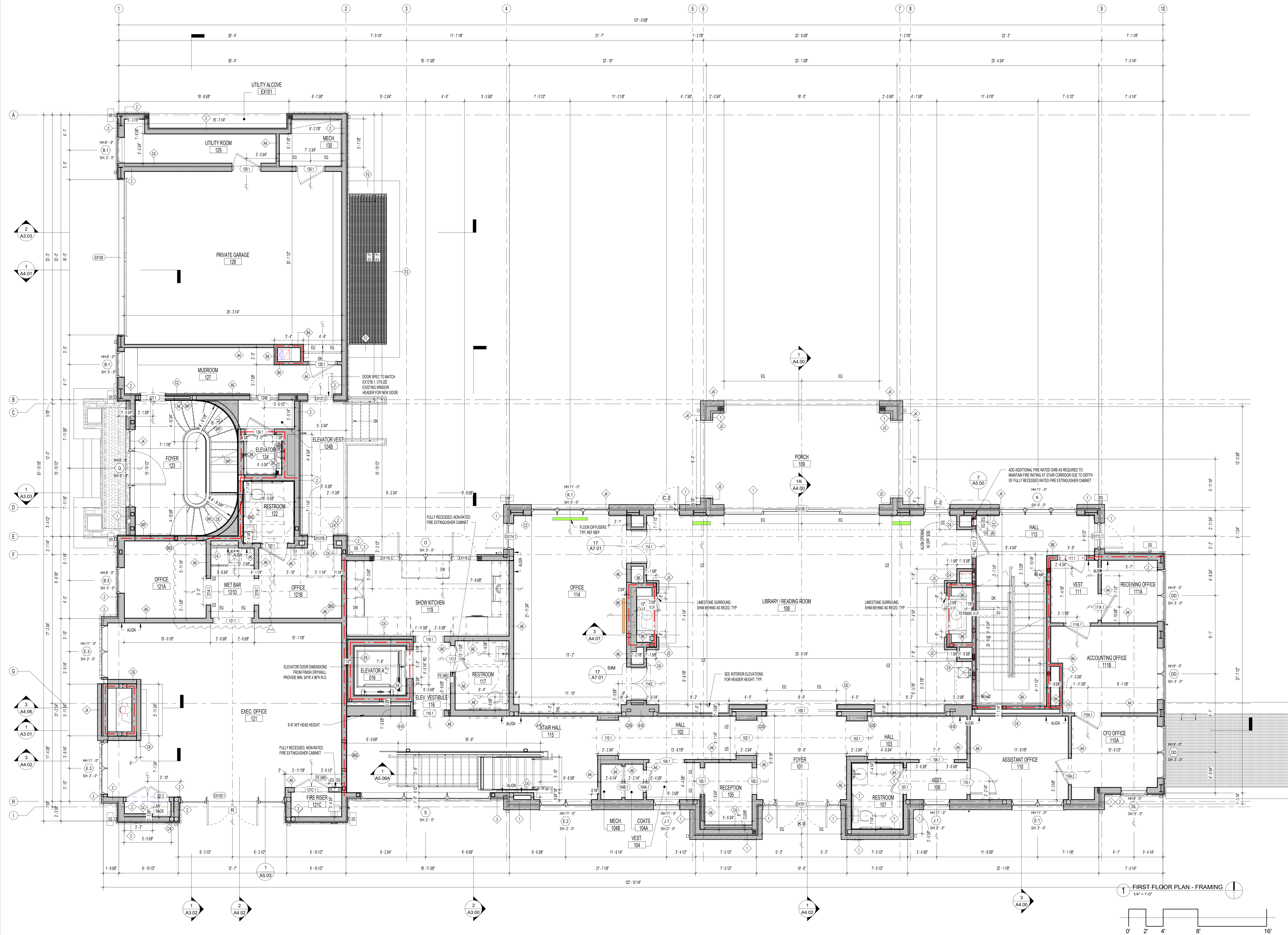
PROFESSIONAL SEAL

PROJECT
DW580
580 SOUTH WILLOW STREET
JACKSON, WY 83001

1816	Project No.
AW, MA	Drawn By
EAD	Checked By
	Drawing No.

A1.11

Drawing Name
FIRST FLOOR FRAMING PLAN



NO.	ISSUED DATE	ISSUED FOR
	04/27/2022	RCP COORDINATION
	06/30/2022	RFI #216 DOOR COORDINATION
	05/25/2022	RFI #231
	07/26/2022	RFI #248
	08/10/2022	RFI #256
P1	07/02/2018	PERMIT
P2	01/15/2018	PERMIT REVISION 1
P3	02/28/2019	PERMIT REVISION 2
P9	06/03/2021	PERMIT REVISION 10
P10	07/02/2021	PERMIT REVISION 11
P11	08/31/2021	IFC: MEP
P13	12/09/2021	VE ISSUANCE
P15	05/19/2022	PERMIT REVISION 15

PROFESSIONAL SEAL

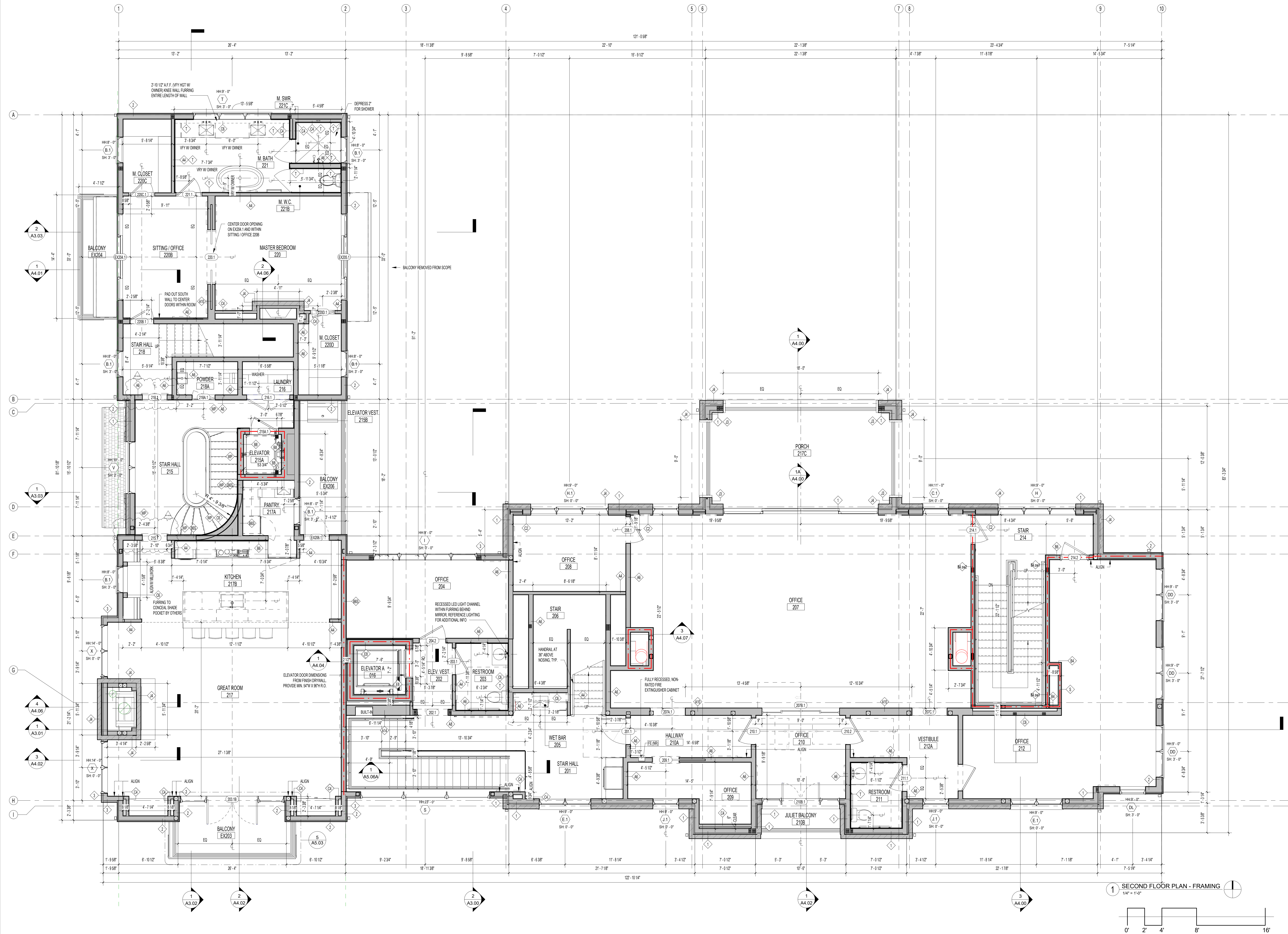
PROJECT
DW580

580 SOUTH WILLOW STREET
JACKSON, WY 83001

1816	Project No.
AW, MA	Drawn By
EAD	Checked By
	Drawing No.

A1.12

Drawing Name
SECOND FLOOR FRAMING PLAN



PROFESSIONAL SEA

1816	Project No.
AW, MA	Drawn By
EAD	Checked By
	Drawing No.

Drawing Name
THIRD FLOOR FRAMING PLAN



February 08, 2021

Subcontractor Number:

Laboratory Report: RES 484739-1

Project #/P.O. #: 21-052-01

Project Description: Residence, 580 S Willow Street,
Jackson, Wyoming

Andy Pruett
Nelson Engineering (WY)
PO Box 1599
Jackson WY 83001

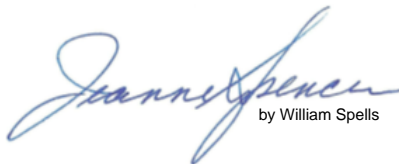
Dear Andy,

Reservoirs Environmental, Inc. is an analytical laboratory accredited for the analysis of Industrial Hygiene and Environmental matrices by the National Voluntary Laboratory Accreditation Program (NVLAP), Lab Code 101896-0 for Transmission Electron Microscopy (TEM) and Polarized Light Microscopy (PLM) analysis and the American Industrial Hygiene Association (AIHA), Lab ID 101533 - Accreditation Certificate #480 for Phase Contrast Microscopy (PCM) analysis. This laboratory is currently proficient in both Proficiency Testing and PAT programs respectively.

Reservoirs Environmental, Inc. has analyzed the following samples for asbestos content as per your request. The analysis has been completed in general accordance with the appropriate methodology as stated in the attached analysis table. The results have been submitted to your office.

RES 484739-1 is the job number assigned to this study. This report is considered highly confidential and the sole property of the customer. Reservoirs Environmental, Inc. will not discuss any part of this study with personnel other than those of the client. The results described in this report only apply to the samples analyzed. This report must not be used to claim endorsement of products or analytical results by NVLAP or any agency of the U.S. Government. This report shall not be reproduced except in full, without written approval from Reservoirs Environmental, Inc. Samples will be disposed of after sixty days unless longer storage is requested. If you have any questions about this report, please feel free to call 303-964-1986.

Sincerely,



by William Spells

Jeanne Spencer
President

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

RES Job Number: **RES 484739-1**
 Client: **Nelson Engineering (WY)**
 Client Project Number / P.O.: **21-052-01**
 Client Project Description: **Residence, 580 S Willow Street, Jackson, Wyoming**
 Date Samples Received: **February 08, 2021**
 Method: **EPA 600/R-93/116 - Short Report, Bulk**
 Turnaround: **Rush**
 Date Samples Analyzed: **February 08, 2021**

ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non- Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS-1	A	Off white/multi-colored paint	3		ND	0	100
	B	Tan compound	4	Chrysotile	3	0	97
	C	Tan joint compound	4	Chrysotile	3	0	97
	D	Cream tape	5		ND	95	5
	E	Gray/tan drywall	84		ND	12	88
				Composite	0.25		
580-WS-2	A	Gray/tan drywall w/ off white/multi-colored paint	100		ND	15	85
580-WS-3	A	White compound w/ off white/multi-colored paint	4		ND	0	100
	B	White compound w/ off white paint	5		ND	0	100
	C	Pink/tan drywall	91		ND	12	88
580-WS-4	A	Gray/tan drywall w/ white/multi-colored paint	100		ND	15	85
580-WS-5	A	Off white/tan drywall w/ white/off white paint	100		ND	12	88
580-WS-6	A	Off white/tan drywall w/ white/off white paint	100		ND	12	88

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
 Only compound, tape and wallboard layers are used in the calculation of a composite result.

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

RES Job Number: **RES 484739-1**
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ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non-Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS-7	A	Off white paint	2		ND	0	100
	B	Tan compound	3	Chrysotile	3	0	97
	C	Off white/tan drywall	95		ND	15	85
				Composite	0.09		
580-WS-8	A	Off white/tan drywall w/ white/multi-colored paint	100		ND	15	85
580-WS-9	A	Off white/multi-colored paint	3		ND	0	100
	B	Tan compound	4	Chrysotile	3	0	97
	C	Cream tape	5		ND	95	5
	D	Tan joint compound	5	Chrysotile	3	0	97
	E	Gray/tan drywall	83		ND	12	88
				Composite	0.28		

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
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RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

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 Turnaround: **Rush**
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ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non- Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS-10	A	Green/multi-colored paint	2	Chrysotile	ND	0	100
	B	Tan compound	3		3	0	97
	C	Gray compound w/ white paint	4		ND	0	100
	D	Gray joint compound	4		ND	0	100
	E	Cream tape	5		ND	95	5
	F	Gray/tan drywall	82	Composite	ND	15	85
580-WS-11	A	White compound w/ white paint	5		ND	0	100
	B	Gray/tan drywall w/ white/multi-colored paint	95		ND	12	88
580-WS-12	A	White compound w/ white paint	3		ND	0	100
	B	Gray/tan drywall w/ off white/multi-colored paint	97		ND	12	88
580-WS-13	A	Gray/tan drywall w/ white/multi-colored paint	100		ND	12	88

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
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RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

RES Job Number: **RES 484739-1**
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ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non- Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-WS2-1	A	Brown fibrous material	10		ND	90	10
	B	Gray/tan drywall w/ white/multi-colored paint	90		ND	15	85
580-WS2-2	A	Gray paint	2		ND	0	100
	B	Tan compound	3	Chrysotile	3	0	97
	C	White compound w/ white paint	4		ND	0	100
	D	Off white/tan drywall	91		ND	12	88
				Composite	0.10		
580-WS2-3	A	White compound w/ off white paint	5		ND	0	100
	B	Pink/tan drywall	95		ND	15	85
580-CP-1	A	Tan/white ceiling tile	100		ND	80	20
580-CP-2	A	Tan/white ceiling tile	100		ND	80	20
580-CP2-1	A	Tan/white ceiling tile	100		ND	80	20
580-CP2-2	A	Tan/white ceiling tile	100		ND	80	20

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
 Only compound, tape and wallboard layers are used in the calculation of a composite result.

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

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ND=None Detected
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Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non- Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-CP2-3	A	Tan/white ceiling tile	100		ND	80	20
580-CP3-1	A	Tan/white ceiling tile	100		ND	80	20
580-CP3-2	A	Tan/white ceiling tile	100		ND	80	20
580-VF1-1	A	Gray/white sheet vinyl w/ colorless adhesive	100		ND	5	95
580-VF2-1	A	Black foam	15		ND	0	100
	B	Gray/white tile w/ colorless adhesive	30		ND	0	100
	C	Brown/white tile	55	Chrysotile	4	0	96
580-VF3-1	A	Gray/white sheet vinyl w/ colorless adhesive	50		ND	5	95
	B	Tan/multi-colored tile	50	Chrysotile	4	0	96
580-VF4-1	A	Black foam	15		ND	0	100
	B	Gray/white tile	30		ND	0	100
	C	Tan/multi-colored tile	55	Chrysotile	4	0	96

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
 Only compound, tape and wallboard layers are used in the calculation of a composite result.

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

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RES Job Number: **RES 484739-1**
 Client: **Nelson Engineering (WY)**
 Client Project Number / P.O.: **21-052-01**
 Client Project Description: **Residence, 580 S Willow Street, Jackson, Wyoming**
 Date Samples Received: **February 08, 2021**
 Method: **EPA 600/R-93/116 - Short Report, Bulk**
 Turnaround: **Rush**
 Date Samples Analyzed: **February 08, 2021**

ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non- Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-VF5-1	A	Black mastic	5	Chrysotile	15	0	85
	B	Tan/multi-colored tile	35	Chrysotile	10	0	90
	C	Gray/white sheet vinyl w/ colorless adhesive	60		ND	5	95
580-VF6-1	A	Tan/multi-colored tile	40	Chrysotile	4	0	96
	B	Gray/white sheet vinyl	60		ND	5	95
580-FWP-1	A	Tan adhesive	10	Chrysotile	3	0	97
	B	Brown wood w/ white paint	90		ND	70	30
580-FS-1	A	Red granular material w/ white paint	35		ND	0	100
	B	Gray granular material	65		ND	0	100
580-HFU-1	A	Black felt	100		ND	65	35
580-CMU-1	A	Gray granular material w/ white paint	100		ND	0	100
580-GL-1	A	Off white glazing w/ white paint	100	Chrysotile	4	0	96
580-GL-2	A	White glazing	100		ND	0	100

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
 Only compound, tape and wallboard layers are used in the calculation of a composite result.

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

TABLE: PLM BULK ANALYSIS, PERCENTAGE COMPOSITION BY VOLUME

RES Job Number: **RES 484739-1**
 Client: **Nelson Engineering (WY)**
 Client Project Number / P.O.: **21-052-01**
 Client Project Description: **Residence, 580 S Willow Street, Jackson, Wyoming**
 Date Samples Received: **February 08, 2021**
 Method: **EPA 600/R-93/116 - Short Report, Bulk**
 Turnaround: **Rush**
 Date Samples Analyzed: **February 08, 2021**

ND=None Detected
 TR=Trace, <1% Visual Estimate
 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non- Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-GL-3	A	White glazing w/ white paint	100		ND	0	100
580-GL-4	A	Beige glazing w/ white paint	100		ND	0	100
580-RF-1	A	Black/brown shingle	20		ND	15	85
	B	White/black shingle	25		ND	15	85
	C	Black felt	25		ND	65	35
	D	Black/white shingle	30		ND	15	85
	A	Black felt	20		ND	65	35
580-RF-2	B	Black shingle	20		ND	15	85
	C	Black/tan shingle	30		ND	15	85
	D	Black/white shingle	30		ND	15	85
	A	Black/multi-colored shingle	40		ND	15	85
580-RF-3	B	Black/white shingle	60		ND	15	85
	A	Brown fiberboard	35		ND	80	20
580-OFBS-1	B	Brown fiberboard w/ white/green paint	65		ND	80	20

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
 Only compound, tape and wallboard layers are used in the calculation of a composite result.

RESERVOIRS ENVIRONMENTAL INC.

NVLAP Lab Code 101896-0

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 Trem/Act=Tremolite/Actinolite

Client Sample Number	L A Y E R	Physical Description	Sub Part (%)	Asbestos Content		Non Asbestos Fibrous Components (%)	Non- Fibrous Components (%)
				Mineral	Visual Estimate (%)		
580-OFBS-2	A	Brown fiberboard	20		ND	80	20
	B	Gray fiberboard	80		ND	80	20

TEM Analysis recommended for organically bound material (i.e. floor tile) if PLM results are <1%.
 Only compound, tape and wallboard layers are used in the calculation of a composite result.


 Emily R. Giddens

Analyst


 Landon Spells

Analyst / Data QA



RES Job #: 484739

SUBMITTED BY	INVOICE TO	CONTACT INFORMATION	SERIES
Company: Nelson Engineering (WY)	Company: Nelson Engineering (WY)	Contact: Andy Pruett	-1 PLM Rush *NO VERBALS*
Address: PO Box 1599	Address: PO Box 1599	Phone: (307) 690-8188	
		Fax:	
Jackson, WY 83001	Jackson, WY 83001	Cell:	
Project Number and/or P.O. #: 21-052-01		Final Data Deliverable Email Address:	
Project Description/Location: Residence, 580 S Willow Street, Jackson, Wyoming		apruett@nelsonengineering.net (+ 1 ADDNL. CONTACTS)	

ASBESTOS LABORATORY HOURS: Weekdays: 7am - 7pm & Sat. 8am - 5pm				REQUESTED ANALYSIS							VALID MATRIX CODES				LAB NOTES
PLM / PCM / TEM DTL RUSH PRIORITY STANDARD				PLM - PLM Short Report (EPA/600/R-93/116) TEM - AHERA (+/- or Quantified), Microvac (+/- or Quantified), Wipe (+/- or Quantified), NIOSH 7402, Yamate Level II, ISO 10312, ISO 13794, Chatfield, Drinking Water, Waste Water, Bulk +/-, CARB Modified Ahera PCM - 7400A, 7400B, OSHA DUST - Total, Respirable METALS - Analysis Lead Only (7082, 7420, Waste Water, Foodware), Multi Metals (7303, 8020A, 200.8, Waste Water, Foodware, OSHA ID-1259), pH (Liquid or Non-Liquid), TCLP RCRA 8 Scan, Welding Fume Scan, Full Metals Scan ORGANICS - Methamphetamine, TSS VABLES - Campylobacter, Bacillus, Salmonella (Culturable or +/-), Listeria, E.coli O157:H7, E.coli/Coliforms - Plated, S aureus, Yeast & Mol, Aerobic Plate Count, Coliforms/E.coli - (State Water, Drinking Water, Non-Drinking Water, +/-, Quantification), Lactic Acid, Viable Microbial Count (wo/ID or w/ID), Enterococcus (+/- or Quantification), Legionella (P, NP, C) MEDICAL - Bioterrorism, LAL MOLD - Spore Trap, Bulk Mold, Particulate Identification	Air = A		Bulk = B								
					Dust = D		Food = F								
CHEMISTRY LABORATORY HOURS: Weekdays: 8am - 5pm					Paint = P		Soil = S								
Dust					Surface = SU		Swab = SW								
Metals					Tape = T		Wipe = W								
Organics*					Drinking Water = DW										
MICROBIOLOGY LABORATORY HOURS: Weekdays: 8am - 5pm					Waste Water = WW										
Viable Analysis**					**ASTM E1792 approved wipe media only**										
Medical Device Analysis					Sample Volume (L) / Area Length/or Aliquots x Width/or Area per Aliquot Matrix Code # of Containers Date Collected mm/dd/yy Time Collected hh:mm										
Mold Analysis															
Turnaround times establish a laboratory priority, subject to laboratory volume and are not guaranteed. Additional fees apply for afterhours, weekends and holidays.															
Special Instructions:															
Client Sample ID Number (Sample ID's must be unique)				ASBESTOS	CHEMISTRY	MICROBIOLOGY						Laboratory Analysis Instructions			
1 580-WS-1				X				0.3in²	B	1	02/05/21	09:40	CMP		
2 580-WS-2				X				0.3in²	B	1	02/05/21	09:43	CMP		
3 580-WS-3				X				0.3in²	B	1	02/05/21	09:46	CMP		
4 580-WS-4				X				0.3in²	B	1	02/05/21	09:49	CMP		
5 580-WS-5				X				0.3in²	B	1	02/05/21	09:52	CMP		
6 580-WS-6				X				0.3in²	B	1	02/05/21	09:55	CMP		
7 580-WS-7				X				0.3in²	B	1	02/05/21	09:58	CMP		
8 580-WS-8				X				0.3in²	B	1	02/05/21	10:00	CMP		
9 580-WS-9				X				0.3in²	B	1	02/05/21	10:01	CMP		
10 580-WS-10				X				0.3in²	B	1	02/05/21	10:04	CMP		
11 580-WS-11				X				0.3in²	B	1	02/05/21	10:50	CMP		
12 580-WS-12				X				0.3in²	B	1	02/05/21	10:53	CMP		
13 580-WS-13				X				0.3in²	B	1	02/05/21	10:56	CMP		


REI will analyze incoming samples based on information received and will not be responsible for errors or omissions in calculations resulting from the inaccuracy of original data. By signing, client/company representative agrees that submission of the following samples for requested analysis as indicated on this Chain of Custody shall constitute an analytical services agreement with payment terms of NET 30 days. Failure to comply with payment terms may result in a 1.5% monthly interest surcharge.

Relinquished By:		Andy Pruett	Date/Time: 02/05/2021 14:09:40	Sample Condition: Acceptable
Received By:		Rebecca Jewell	Date/Time: 02/08/2021 9:26:59	Carrier: UPS



Res Job#: **484739**

Submitted By: **Nelson Engineering (WY)**



Reservoirs Environmental, Inc.

Res Job#: 484739

Submitted By: Nelson Engineering (WY)

Client Sample ID Number	(Sample ID's must be unique)										REQUESTED ANALYSIS						VALID MATRIX CODES					LAB NOTES																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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