



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Housing Department

**Teton County**

- Planning Division

- Engineer
  - Surveyor- *Nelson*
  - Assessor
  - Clerk and Recorder
  - Road and Levee
- State of Wyoming**
- Teton Conservation
  - WYDOT
  - TC School District #1
  - Game and Fish
  - DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: January 24, 2023	<b>REQUESTS:</b>  The applicant is submitting a request for a Grading Pre-Application for the property located at 325 E Hansen Ave., legally known as LOT 2, BLK. 1, BRUCE PORTER SUBDIVISION PIDN: 22-41-16-34-2-17-005  For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P23-014	
Planner: Katelyn Page	
Phone: 733-0440 ext. 1302	
Email: <a href="mailto:kpage@jacksonwy.gov">kpage@jacksonwy.gov</a>	
Owner: Shelby Pollard Belote PO Box 6428 Jackson, WY 83001	
Applicant: same	
<b>Please respond by: February 7, 2023 (with Comments)</b>	

**Owner:**

Shelby Pollard Belote  
PO Box 6428  
Jackson, WY 83001

**Applicant:**

same

The applicant is submitting a request for a Grading Pre-Application for the property located at 325 E Hansen Ave., legally known as LOT 2, BLK. 1, BRUCE PORTER SUBDIVISION PIDN: 22-41-16-34-2-17-005

For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[blenz@jacksonwy.gov](mailto:blenz@jacksonwy.gov)



**PRE-APPLICATION CONFERENCE REQUEST (PAP)**  
**Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440 fax:  
 P.O. Box 1687  
 Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

***For Office Use Only***

Fees Paid \_\_\_\_\_

Time &amp; Date Received \_\_\_\_\_

Application # \_\_\_\_\_

***Please note:*** Applications received after 3 PM will be processed the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

**PROJECT.**

Name/Description: Beloite ResidencePhysical Address: 325 E Hansen AveLot, Subdivision: Lot 2, Blk. 1, Bruce Porter SubdivisionPIDN: 22-41-16-34-2-17-005

**PROPERTY OWNER.**

Name: Shelby Pollard

Phone: \_\_\_\_\_

Mailing Address: PO Box 6428 Jackson, WYZIP: 83001E-mail: Pollard.shelby@gmail.com; brent@caylercapital.com

**APPLICANT/AGENT.**

Name, Agency: same as owner

Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

Property Owner       Applicant/Agent

**Please include Braden Olson and Gabbi Sun for pre-app meeting scheduling.**  
***bolson@nelsonengineering.net; gabbi@vennstudiola.com***

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit  
 Use Permit  
 Development Option or Subdivision Permit  
 Interpretations of the LDRs  
 Amendments to the LDRs  
 Relief from the LDRs  
 Environmental Analysis

**This pre-application conference is:**  
 Required  
 Optional  
 For an Environmental Analysis  
 For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to [planning@jacksonwy.gov](mailto:planning@jacksonwy.gov)) of the submittal packet.

Have you attached the following?

**Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.  
 **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

**Narrative Project Description.** Please attach a short narrative description of the project that addresses:  
 Existing property conditions (buildings, uses, natural resources, etc)  
 Character and magnitude of proposed physical development or use  
 Intended development options or subdivision proposal (if applicable)  
 Proposed amendments to the LDRs (if applicable)

**Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:  
 Property boundaries  
 Existing and proposed physical development and the location of any uses not requiring physical development  
 Proposed parcel or lot lines (if applicable)  
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

**Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

**Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

DocuSigned by:  
Shelby Pollard

DocuSigned by:  
Brent Belote

Signature of Owner or Authorized Applicant/Agent

Shelby Pollard

Brent

Belote

Name Printed

1/19/2023 1/19/2023

Date

Mrs

Title

23 January 2023

Town of Jackson  
Planning & Building Department-Planning Division  
150 E. Pearl Ave.  
PO Box 1687  
Jackson, WY 83001

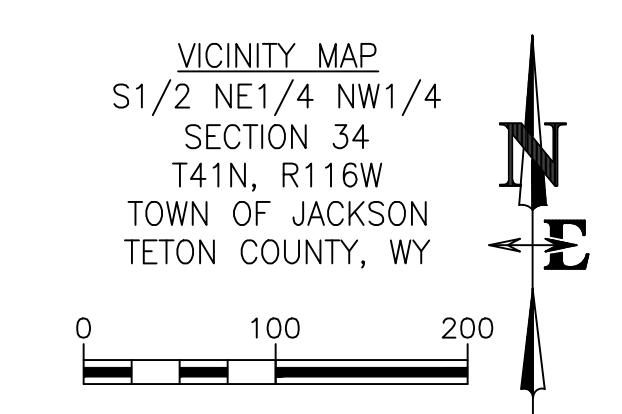
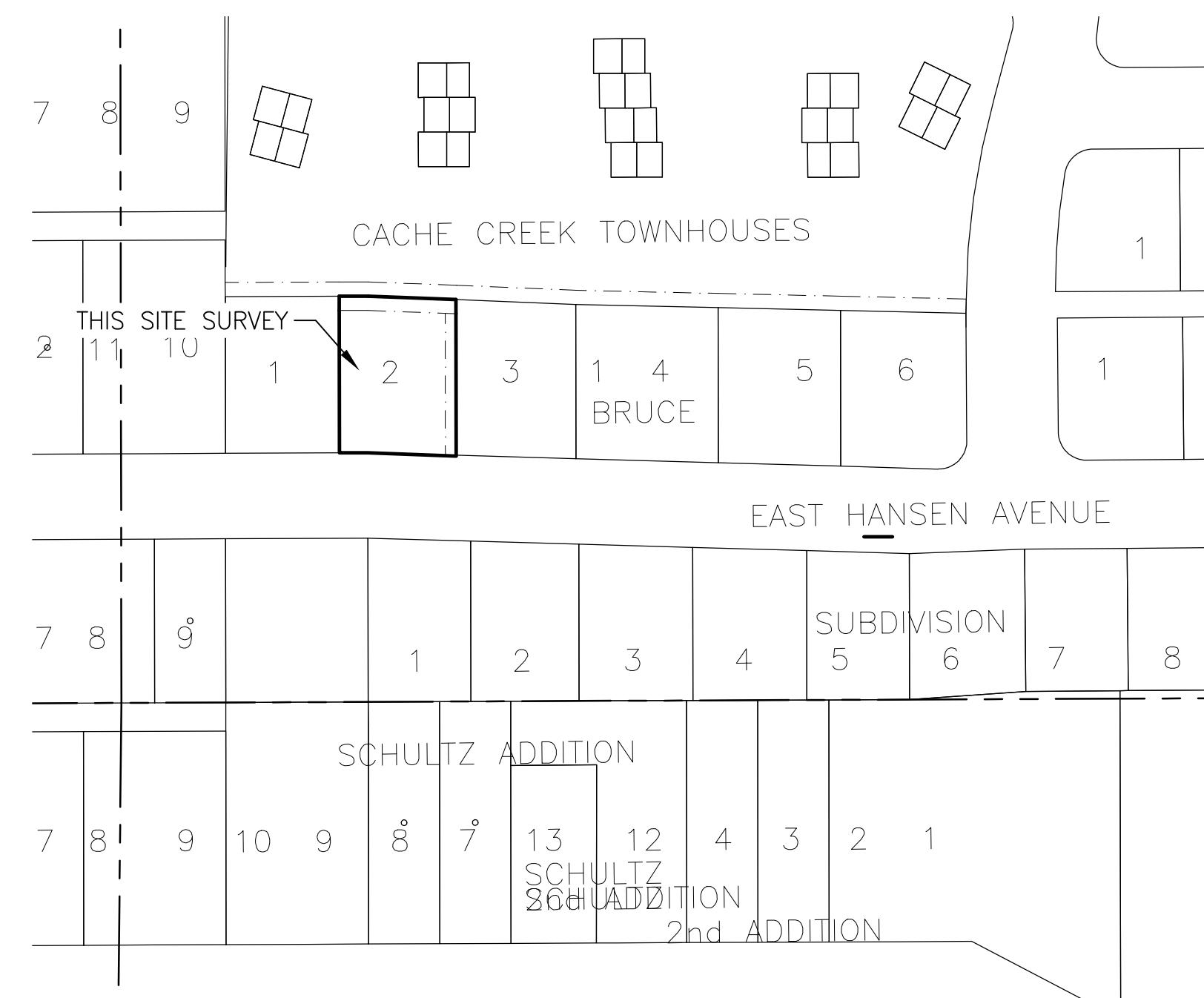
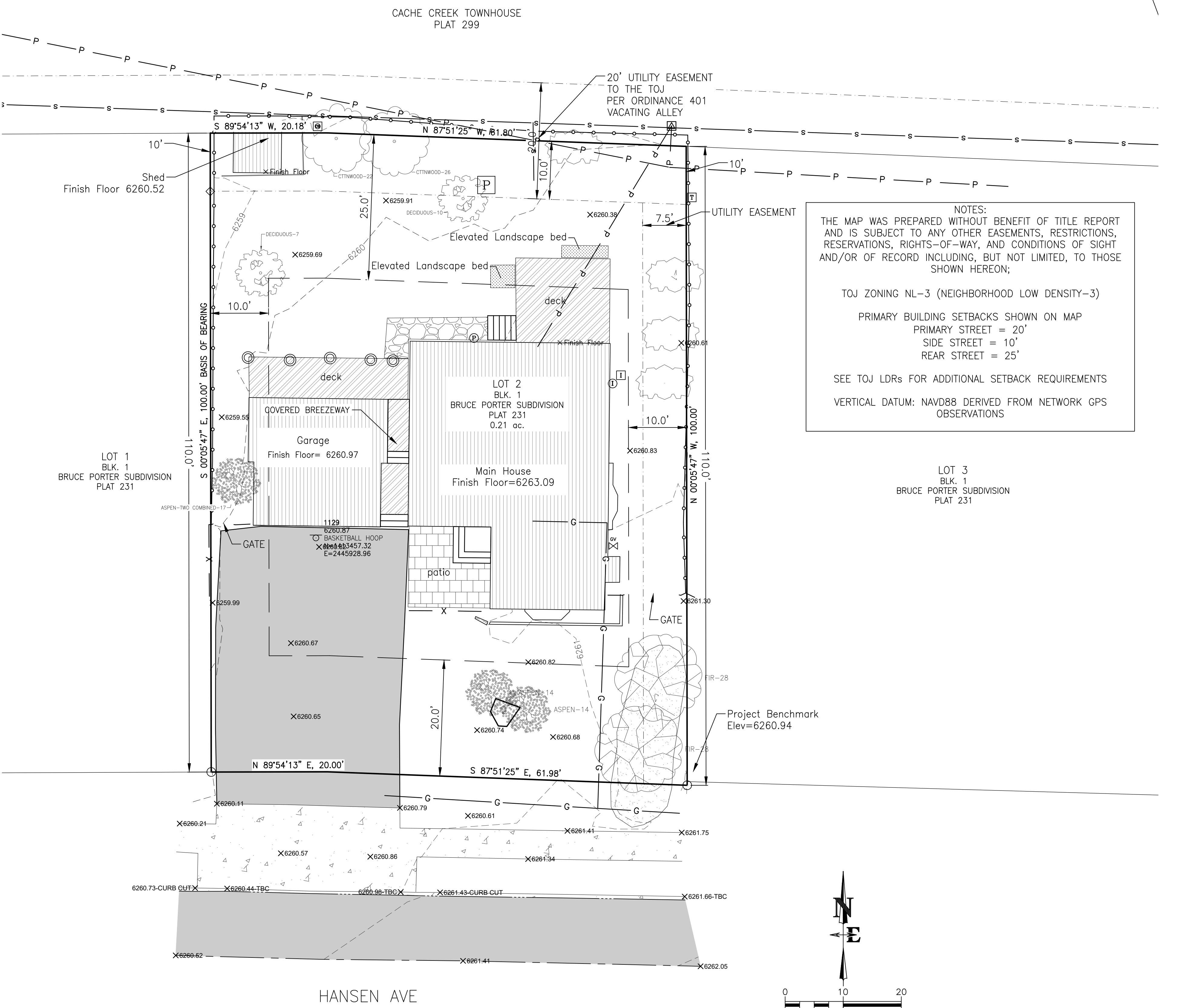
To Whom it May Concern,

The Attached PAP is for new residential construction located at 325 E Hansen Ave., Jackson WY. In accordance with the site plan attached, there is an existing residence with associated parking and utilities. Proposed development includes demolition of the existing structure and construction of a new residence with new utilities and driveway. The proposed development is shown on the same attached site plan. Please don't hesitate to contact me with project inquiries.

Sincerely,



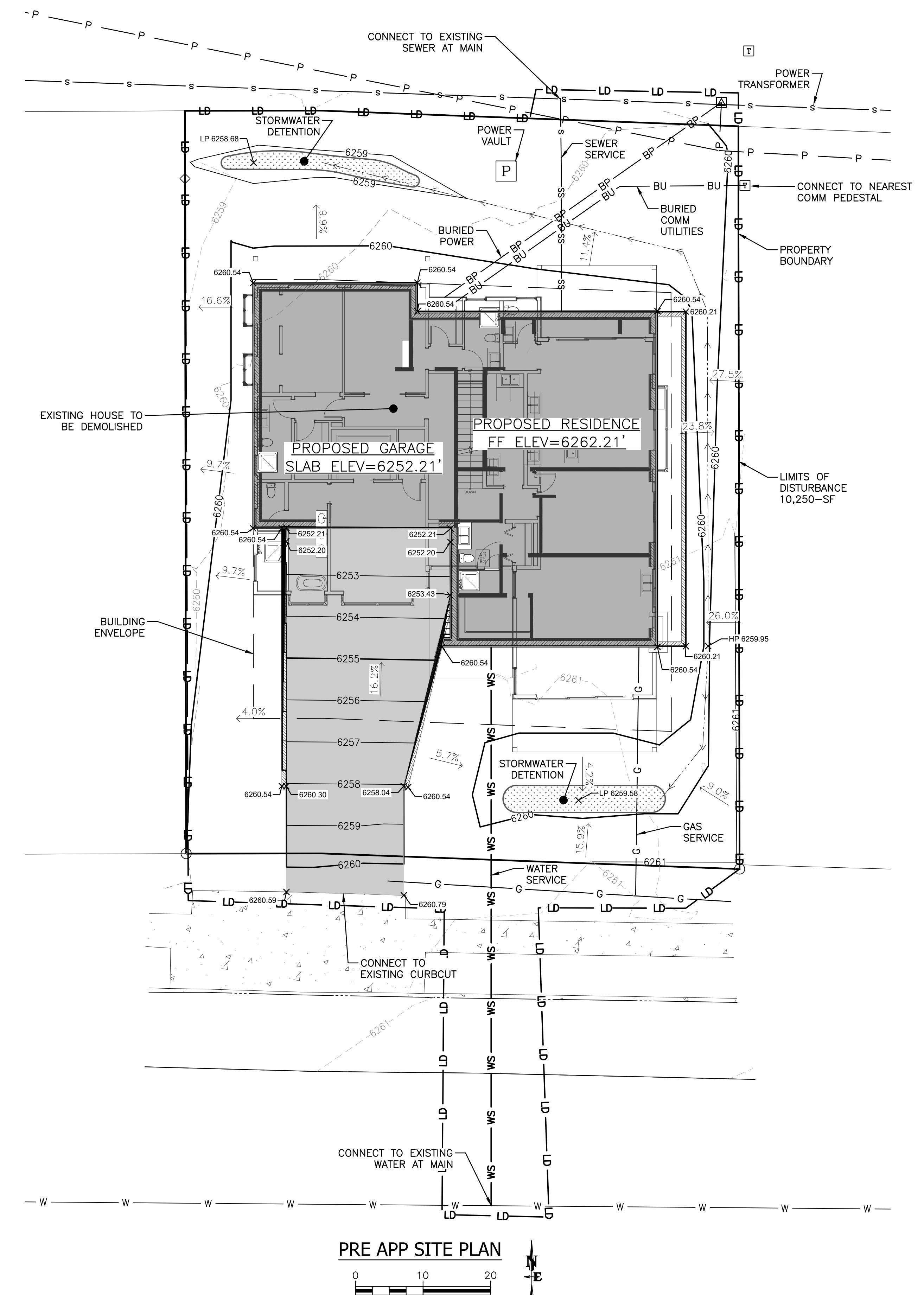
Braden Olson, PE  
Nelson Engineering  
Email: [bolson@nelsonengineering.net](mailto:bolson@nelsonengineering.net)



#### LEGEND

= PROPERTY LINE	= DECIDUOUS TREE
= EASEMENT LINE	= COTTONWOOD TREE
= SETBACK LINE	= ASPEN TREE
= EDGE OF PAVEMENT	= WILLOW TREE
= CENTER OF ROAD	= FIR TREE
= WATERLINE PER TOJ GIS	= TELEPHONE PEDESTAL
= SANITARY SEWER PER TOJ GIS	= POWER VAULT
= CHAIN LINK FENCE	= ELECTRIC METER
= WOOD FENCE	= GAS VALVE
= CURB AND GUTTER LINE	= IRRIGATION BOX
= WOOD DECK	= IRRIGATION CONTROLLER
= EDGE OF PAVEMENT	= COMPOST BIN
= STONE PATIO	= REBAR AND CAP
= STONE SIDEWALK	= REBAR
= ELEVATED LANDSCAPE BED	
= CONCRETE	

DRAWING NO	JOB TITLE	DRAWING TITLE	EXISTING SITE PLAN
1	325 E HANSEN AVE	325 E HANSEN AVE	BRENT BELOTE
19-357-01	19-357-01		



# PRE-APP SITE PLAN NOT FOR CONSTRUCTION