



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: January 24, 2023	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 325 E Hansen Ave., legally known as LOT 2, BLK. 1, BRUCE PORTER SUBDIVISION PIDN: 22-41-16-34-2-17-005 For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P23-014	
Planner: Katelyn Page Phone: 733-0440 ext. 1302 Email: kpage@jacksonwy.gov	
Owner: Shelby Pollard Belote PO Box 6428 Jackson, WY 83001 Applicant: same	
Please respond by: February 7, 2023 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov

**PRE-APPLICATION CONFERENCE REQUEST (PAP)****Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440 fax:
 P.O. Box 1687 | www.townofjackson.com
 Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application**PROJECT.**Name/Description: Belote ResidencePhysical Address: 325 E Hansen AveLot, Subdivision: Lot 2, Blk. 1, Bruce Porter SubdivisionPIDN: 22-41-16-34-2-17-005**PROPERTY OWNER.**Name: Shelby Pollard

Phone: _____

Mailing Address: PO Box 6428 Jackson, WYZIP: 83001E-mail: Pollard.shelby@gmail.com; brent@caylercapital.com**APPLICANT/AGENT.**Name, Agency: same as owner

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

x _____ Property Owner _____ Applicant/Agent

Please include Braden Olson and Gabbi Sun for pre-app meeting scheduling.
bolson@nelsonengineering.net; gabbi@vennstudiola.com

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
 Mailing Address: _____ ZIP: _____
 E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

<input type="checkbox"/> Physical Development Permit	This pre-application conference is:
<input type="checkbox"/> Use Permit	
<input type="checkbox"/> Development Option or Subdivision Permit	
<input type="checkbox"/> Interpretations of the LDRs	
<input type="checkbox"/> Amendments to the LDRs	
<input type="checkbox"/> Relief from the LDRs	
<input type="checkbox"/> Environmental Analysis	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Optional <input type="checkbox"/> For an Environmental Analysis <input checked="" type="checkbox"/> For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

☒ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

☐ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

☒ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

- ☒ Existing property conditions (buildings, uses, natural resources, etc)
- ☒ Character and magnitude of proposed physical development or use
- ☐ Intended development options or subdivision proposal (if applicable)
- ☐ Proposed amendments to the LDRs (if applicable)

☒ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

- ☒ Property boundaries
- ☒ Existing and proposed physical development and the location of any uses not requiring physical development
- ☐ Proposed parcel or lot lines (if applicable)
- ☐ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

☒ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

☒ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

DocuSigned by:

Shelby Pollard

DocuSigned by:

Brent Belote

1/19/2023

1/19/2023

Signature of Owner or Authorized Applicant/Agent

Date

Shelby Pollard

Brent

Belote

Mrs

Name Printed

Title

23 January 2023

Town of Jackson
Planning & Building Department-Planning Division
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

To Whom it May Concern,

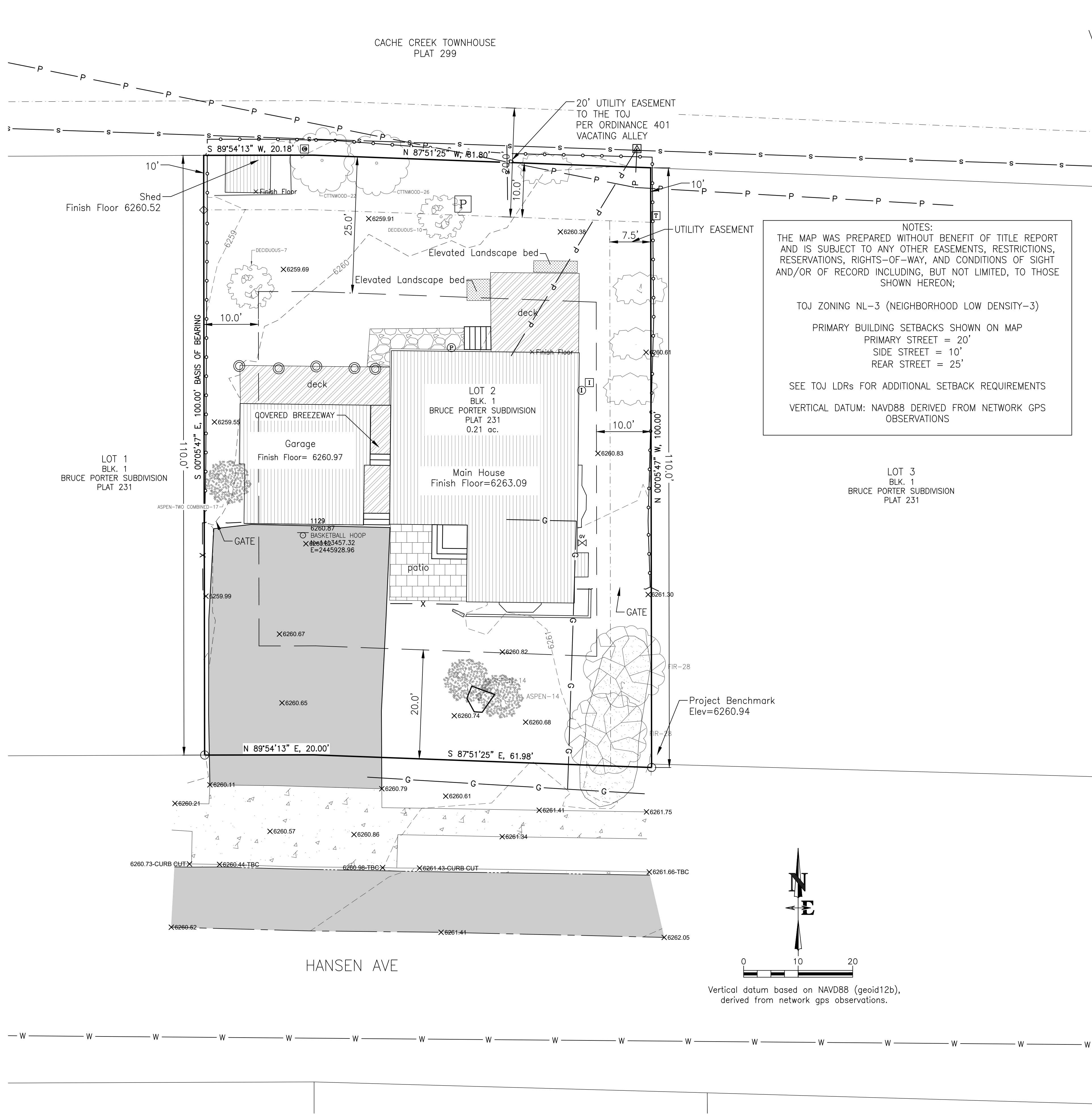
The Attached PAP is for new residential construction located at 325 E Hansen Ave., Jackson WY. In accordance with the site plan attached, there is an existing residence with associated parking and utilities. Proposed development includes demolition of the existing structure and construction of a new residence with new utilities and driveway. The proposed development is shown on the same attached site plan. Please don't hesitate to contact me with project inquiries.

Sincerely,

A handwritten signature in black ink, appearing to read 'Braden Olson', written in a cursive style.

Braden Olson, PE
Nelson Engineering
Email: bolson@nelsonengineering.net

S:\Proj\2019\357-01_325 E Hansen - Brent Belote - Surveying\4 Drawings\19271 Existing\GLD EXISTING SITE PLAN.dwg - Jan 24 2023 10:43:01 am PLOTTED BY: dson DWG FORMAT: 241



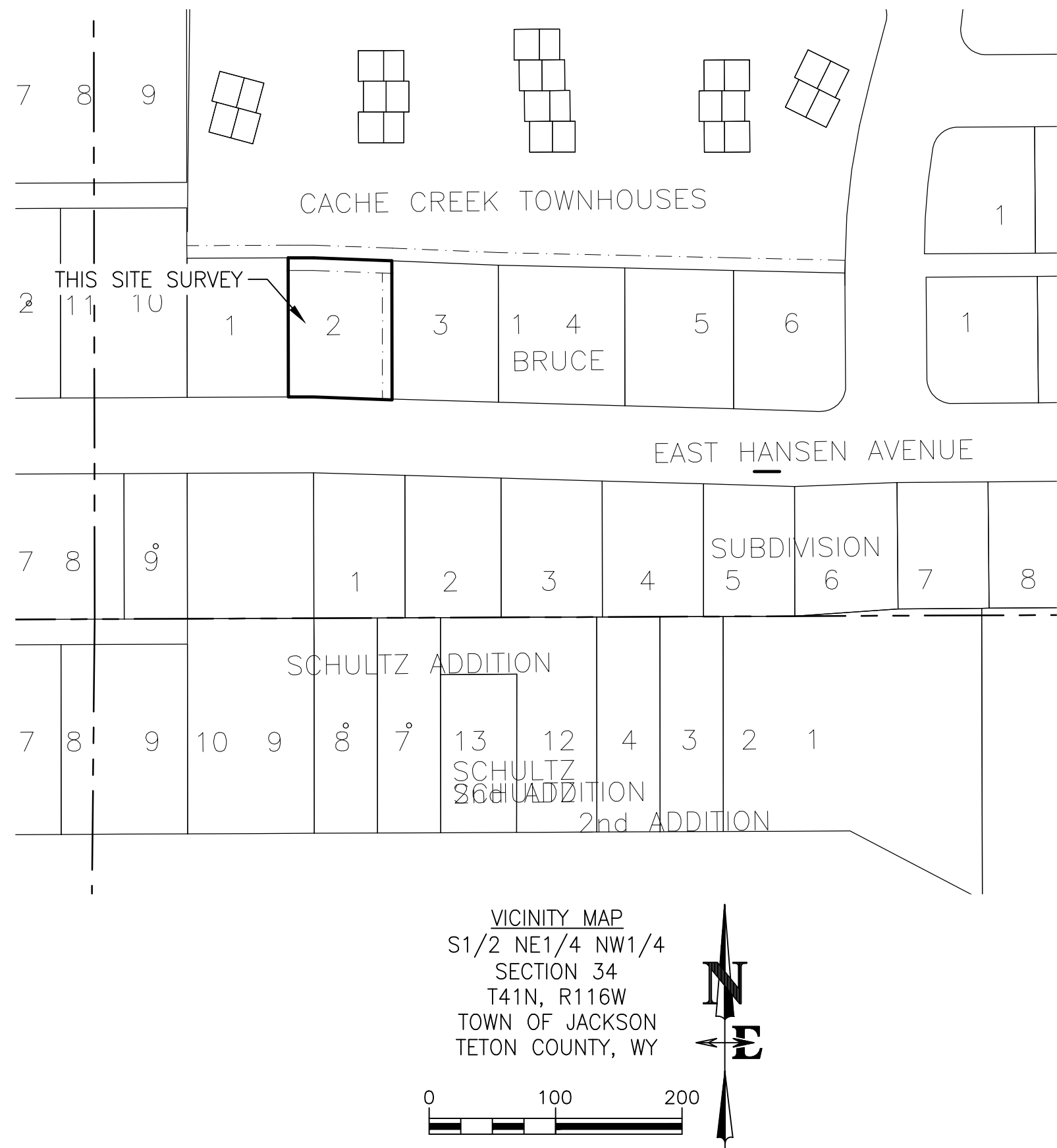
NOTES:
THE MAP WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT
AND IS SUBJECT TO ANY OTHER EASEMENTS, RESTRICTIONS,
RESERVATIONS, RIGHTS-OF-WAY, AND CONDITIONS OF SIGHT
AND/OR OF RECORD INCLUDING, BUT NOT LIMITED, TO THOSE
SHOWN HEREON;

TOJ ZONING NL-3 (NEIGHBORHOOD LOW DENSITY-3)

PRIMARY BUILDING SETBACKS SHOWN ON MAP
PRIMARY STREET = 20'
SIDE STREET = 10'
REAR STREET = 25'

SEE TOJ LDRs FOR ADDITIONAL SETBACK REQUIREMENTS

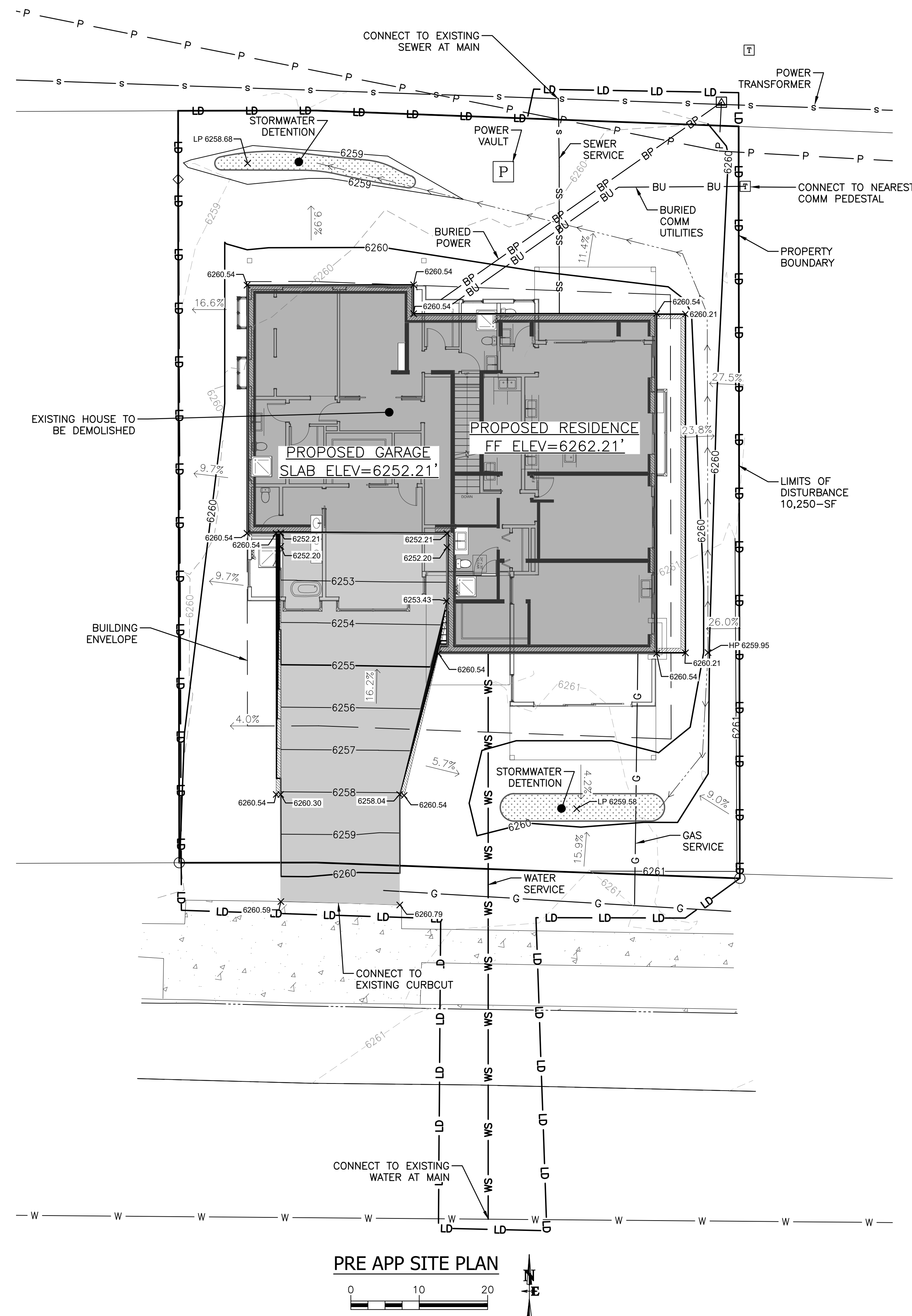
VERTICAL DATUM: NAVD88 DERIVED FROM NETWORK GPS
OBSERVATIONS




- LEGEND**
- = PROPERTY LINE
 - - - = EASEMENT LINE
 - - - = SETBACK LINE
 - - - = EDGE OF PAVEMENT
 - - - = CENTER OF ROAD
 - w- = WATERLINE PER TOJ GIS
 - s- = SANITARY SEWER PER TOJ GIS
 - o-o- = CHAIN LINK FENCE
 - x- = WOOD FENCE
 - - - = CURB AND GUTTER LINE
 - [Hatched] = WOOD DECK
 - [Solid Grey] = EDGE OF PAVEMENT
 - [Brick] = STONE PATIO
 - [Stippled] = STONE SIDEWALK
 - [+ + +] = ELEVATED LANDSCAPE BED
 - [Dotted] = CONCRETE
 - [Tree Symbol] = DECIDUOUS TREE
 - [Tree Symbol] = COTTONWOOD TREE
 - [Tree Symbol] = ASPEN TREE
 - [Tree Symbol] = WILLOW TREE
 - [Tree Symbol] = FIR TREE
 - [Tree Symbol] = TELEPHONE PEDESTAL
 - [T] = POWER VAULT
 - [P] = ELECTRIC METER
 - [V] = GAS VALVE
 - [I] = IRRIGATION BOX
 - [C] = IRRIGATION CONTROLLER
 - [B] = COMPOST BIN
 - [R] = REBAR AND CAP
 - [O] = REBAR

DRAWING NO	JOB TITLE	DRAWING TITLE	DATE	12/13/19	REV
1	325 E HANSEN AVE	EXISTING SITE PLAN	SURVEYED	DK	1/9/23
JOB NO	19-357-01	BRENT BELOTE	ENGINEERED	DK	
			DRAWN	DK	
			CHECKED	LR	
			APPROVED		

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



PRE-APP SITE PLAN
NOT FOR CONSTRUCTION

DRAWING NO 2		JOB TITLE BELOTE RESIDENCE 325 E HANSEN AVE JACKSON, WY	DRAWING TITLE PRE-APPLICATION SITE PLAN	<div><p>NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 733-2087</p></div>	DATE	23 JAN 2023	REV.
					SURVEYED	NELSON ENG.	BO
					DRAWN		AR/BO
					CHECKED		BO/JK
					APPROVED		BO/JK
JOB NO 22-421							