



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

### Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: January 23, 2023	<b>REQUESTS:</b>  The applicant is submitting a request for a Grading Pre-Application for the property located at 500 E Kelly Ave., legally known as LOT 1, BLK. 1, CLARK PIDN: 22-41-16-34-2-35-001  For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P23-003	
Planner: Katelyn Page  Phone: 733-0440 ext. 1302  Email: kpage@jacksonwy.gov	
<b>Owner:</b> Kelly Jackson Investment II LLC 18301 Von Karman Ave STE 850 Irvine, CA 92612  <b>Applicant:</b> Hoyt Architects PO Box 7364 Jackson, WY 83002	
<b>Please respond by: February 6, 2023 (with Comments)</b>	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to: blenz@jacksonwy.gov



## **PRE-APPLICATION CONFERENCE REQUEST (PAP)**

### **Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440 fax:  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

#### ***For Office Use Only***

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

**Please note:** Applications received after 3 PM will be process the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

#### **PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

#### **PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **APPLICANT/AGENT.**

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner      \_\_\_\_\_ Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

\_\_\_\_\_ Physical Development Permit  
\_\_\_\_\_ Use Permit  
\_\_\_\_\_ Development Option or Subdivision Permit  
\_\_\_\_\_ Interpretations of the LDRs  
\_\_\_\_\_ Amendments to the LDRs  
\_\_\_\_\_ Relief from the LDRs  
\_\_\_\_\_ Environmental Analysis

**This pre-application conference is:**

\_\_\_\_\_ Required  
\_\_\_\_\_ Optional  
\_\_\_\_\_ For an Environmental Analysis  
\_\_\_\_\_ For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to [planning@jacksonwy.gov](mailto:planning@jacksonwy.gov)) of the submittal packet.

Have you attached the following?

\_\_\_\_\_ **Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.

\_\_\_\_\_ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

\_\_\_\_\_ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

- \_\_\_\_\_ Existing property conditions (buildings, uses, natural resources, etc)
- \_\_\_\_\_ Character and magnitude of proposed physical development or use
- \_\_\_\_\_ Intended development options or subdivision proposal (if applicable)
- \_\_\_\_\_ Proposed amendments to the LDRs (if applicable)

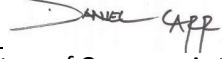
\_\_\_\_\_ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

- \_\_\_\_\_ Property boundaries
- \_\_\_\_\_ Existing and proposed physical development and the location of any uses not requiring physical development
- \_\_\_\_\_ Proposed parcel or lot lines (if applicable)
- \_\_\_\_\_ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

\_\_\_\_\_ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

\_\_\_\_\_ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during \_\_\_\_\_ hours, after making a reasonable effort to contact the owner/applicant prior to entering.

\_\_\_\_\_

Signature of Owner or Authorized Applicant/Agent

\_\_\_\_\_

Date

\_\_\_\_\_

Name Printed

\_\_\_\_\_

Title





## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

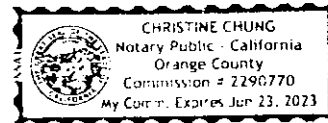
State of California  
County of Orange )

On 1/20/2023 before me, Christine Chung - Notary Public  
(insert name and title of the officer)

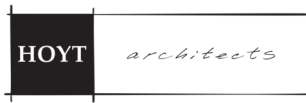
personally appeared Patty Chin,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.



Signature  (Seal)



December 29, 2022

Town of Jackson  
P.O. Box 1687  
Jackson, WY 83001

To whom it may concern,

The following narrative is to summarize the existing condition of the property and the proposed use of the building we are submitting for build permit. The existing residence of 2,856 square feet will be remodeled and we are proposing to add an additional 331 habitable square feet and 768 square feet on non-habitable. The project is located in NL-5 and will have a total of 3 units.

Sincerely,

DANIEL CARR  
307.733.9955

Hoyt|ARCHITECTS





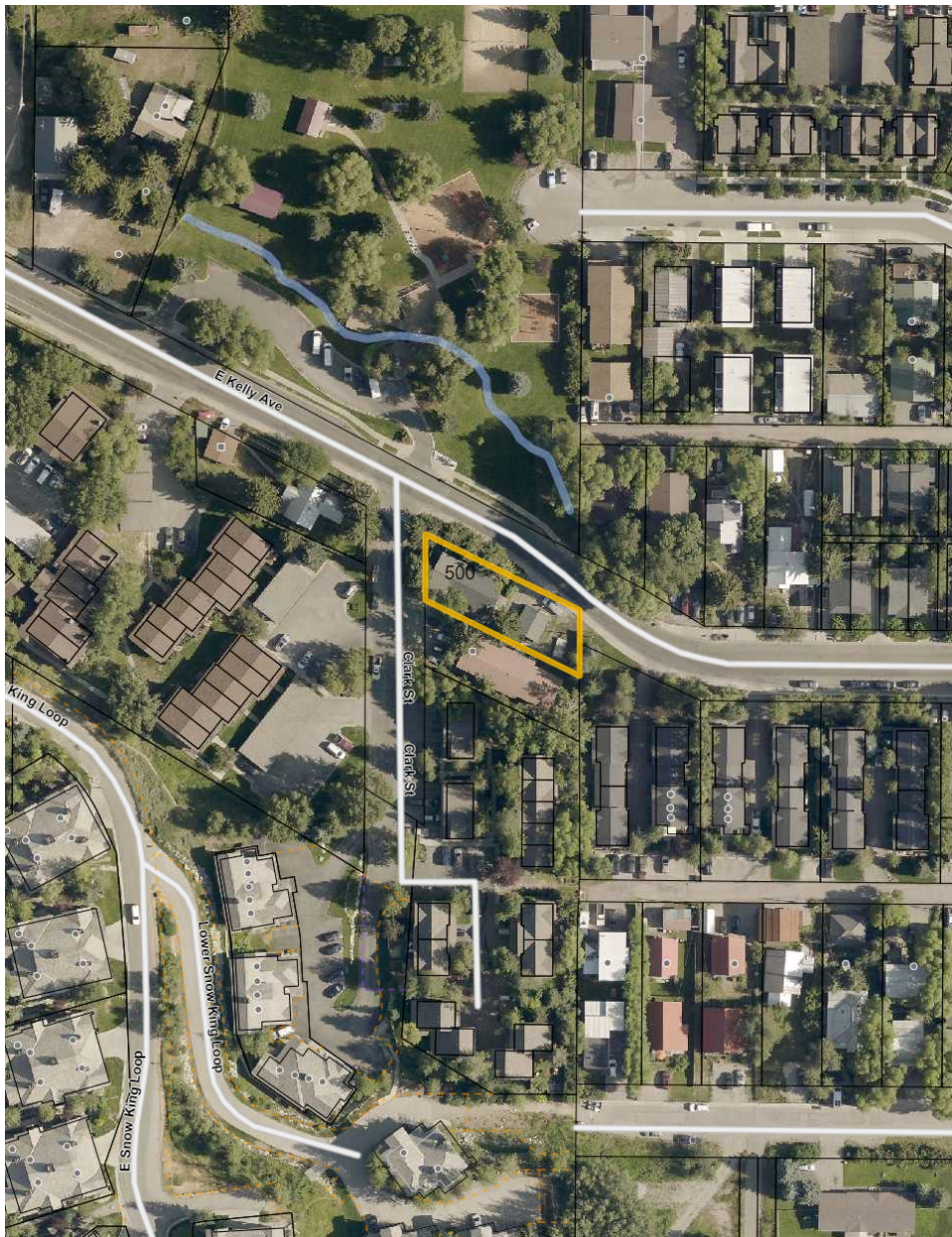
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500 E. Kelly

#### PROJECT LOCATION

500 E Kelly  
Jackson, WY  
Parcel: 22-41-16-34-2-35-001

VICINITY MAP: *Locator*



#### OWNER

Kelly Jackson Investments  
18301 Von Karman Ave. Ste. 850  
Jackson, WY 83001

#### LANDSCAPE ARCHITECT

Weaver & Associates PA  
Idaho Falls, ID  
208.529.9504  
weaverlandscape@gmail.com

#### ARCHITECT

Hoyt Architects  
1110 Maple Way Suite F  
PO Box 7364 (83002)  
Jackson, WY (83001)  
307.733.9955  
Bradh@hoytarchitects.design

#### STRUCTURAL ENGINEER

FROST Structural Engineering  
1020 Lincoln Road  
Idaho Falls, ID 83401  
(208) 227-8405

#### MECHANICAL ENGINEER

CN Engineers  
410 S Cache St.  
Jackson, WY 83001  
(307) 733-8765

#### ELECTRICAL ENGINEER

Dave Niles & Associates  
PO Box 191  
Jackson, WY 83001  
(307) 732-7400

#### GENERAL CONTRACTOR

AUFDERHEIDE CONSTRUCTION  
MANAGEMENT (ACM)  
307-690-4741  
ben@acmwyoming.com

#### SHEET INDEX

##### GENERAL

G101 COVER SHEET

##### LANDSCAPE ARCHITECT

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SD2 DEMOLITION PLAN  
SD3 FINAL SITE CONDITIONS PLAN  
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##### ARCHITECTURAL

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A101 BASEMENT FLOOR PLAN  
A102 1ST LEVEL FLOOR PLAN  
A103 2ND LEVEL FLOOR PLAN  
A104 ROOF PLAN  
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S1.1 TYPICAL DETAILS  
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S1.3 TYPICAL DETAILS  
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E1.2 1ST LEVEL LIGHTING & POWER PLAN  
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##### GENERAL CONSTRUCTION NOTES

- THIS PROJECT SHALL COMPLY WITH THE 2021 VERSION OF THE IBC AND THE CURRENT TOWN OF JACKSON LDRS INCLUDING ALL AMENDMENTS. ANY BUILDING OFFICIAL, SUBCONTRACTOR OR TRADES PERSON NOTING DISCREPANCIES SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY TETON COUNTY BUILDING AND FIRE DEPARTMENTS, HUD, FHA, STATE ELECTRICAL INSPECTOR OR OTHER GOVERNING AUTHORITIES, AS NECESSARY.
- ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT COUNTY LANDFILL OR RECYCLING FACILITY ONLY. NO DEBRIS IS TO BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES. ON-SITE REFUSE BURNING WILL BE DONE ONLY WITH APPROVAL OF OWNER AND TETON COUNTY SHERIFF.
- EXCEPT IN INTERIOR ELEVATIONS, AND UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE AND C.M.U. WALL. INTERIOR ELEVATION DIMENSIONS ARE GIVEN TO FACE OF FINISH MATERIAL. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION, VERIFY DISCREPANCIES WITH ARCHITECT.
- CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. STORAGE OF SUPPLIES SHALL REMAIN DRY.
- ALL SUBSTITUTIONS ARE TO BE APPROVED BY ARCHITECT/OWNER, ALONG WITH WRITTEN REQUESTS CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION, INCLUDING COST, AVAILABILITY AND REASON FOR SUBSTITUTION.
- SOLID WOOD BLOCKING, INSULATION OR OTHER FIRESTOP MATERIAL IS TO BE PROVIDED BETWEEN STORIES, BETWEEN TOP STORY AND ROOF SPACE, BETWEEN STAIR STRINGERS AT TOP AND BOTTOM, BETWEEN STUDS ALONG STAIR RUNS AND AT ALL OTHER PLACES THAT COULD ALLOW THE PASSAGE OF FLAME. FIRESTOPS BETWEEN CHIMNEY AND WOOD FRAME SHALL BE NON-COMBUSTIBLE.
- CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES AND STAIN COLORS FOR APPROVAL BY ARCHITECT/OWNER. THIS INCLUDES BUT IS NOT LIMITED TO INTERIOR AND EXTERIOR STAINS, INTERIOR PAINT, SHEETROCK TEXTURES, CHEMICALLY APPLIED METAL PATINAS, AND STONE VENEER MATERIAL & MASONRY TECHNIQUE.
- PROVIDE GROUNDING SYSTEM AS PER NEC ARTICLE 250-10, SIZED IN ACCORDANCE WITH TABLE 250-94, ATTACHED TO REBAR IN CONCRETE FOOTING, ALSO ATTACHED TO SINGLE DRIVEN GROUNDING ROD WITH SECONDARY GROUNDING PROTECTIONS AT METAL WATER SUPPLY SYSTEM.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH WARRANTY GUIDELINES.
- ALL SITE MATERIALS SHALL BE COMPACTED IN 6" TO 8" LIFTS, UNLESS OTHERWISE NOTED TO PREVENT SETTLING OF FINISH GRADE, WALKS, DRIVEWAYS, TERRACES, ETC.
- CONTRACTOR RESPONSIBLE FOR PROVIDING, COORDINATION AND SUPERVISING TRENCHING OF UTILITIES AND SERVICES TO AND FROM BUILDING. COORDINATION SHALL INCLUDE CONTRACTOR'S REASONABLE EFFORTS TO COMBINE AS MANY DIFFERENT UTILITIES IN COMMON TRENCHES AS PRACTICAL AND GOOD PRACTICE PERMIT.

##### CODES UTILIZED

ZONING DISTRICT - NL-5  
OCCUPANCY/USE - V-B  
CONSTRUCTION START: April, 2023  
FIRE SPRINKLERS - YES  
CODES UTILIZED - IRC 2021, IBC 2021, IPC 2021, IMC 2021, NEC 2020, IECC 2012  
SEISMIC DESIGN - CATEGORY D2  
SNOW LOAD - 75PSF  
WIND LOAD - 115 MPH  
LOT AREA - .20 ac  
PARKING - 6

##### AREA CALCULATIONS

	EXISTING	NEW	TOTAL
BASEMENT ARU	875 sf	-347 sf	528 sf
MAIN LEVEL	1,570 sf	38 sf	1,608 sf
UPPER LEVEL	411 sf	0 sf	411 sf
ATTACHED ARU	0 sf	640 sf	640 sf
<b>TOTAL HABITABLE</b>	<b>2,856 sf</b>	<b>331 sf</b>	<b>3,187 sf</b>
GARAGE		768 sf	768 sf
<b>TOTAL GROSS</b>	<b>2,856 sf</b>	<b>1,099 sf</b>	<b>3,955 sf</b>

500 E KELLY  
JACKSON WY  
500 E KELLY

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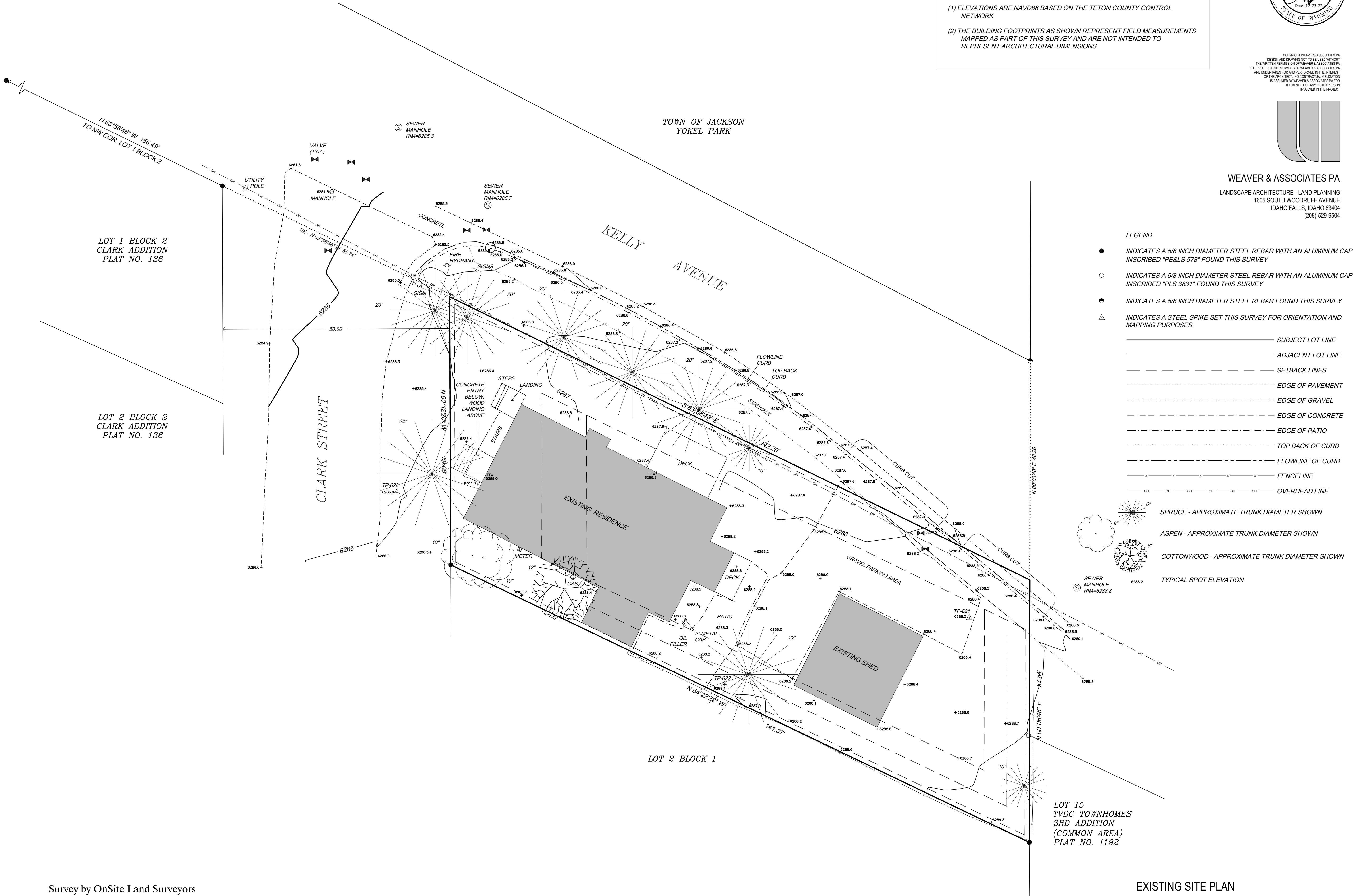
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REVISIONS

COVER SHEET

G101

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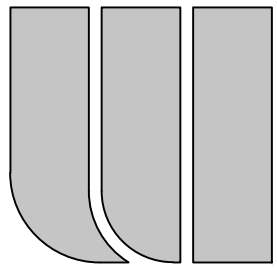
NOTES:

(1) ELEVATIONS ARE NAVD88 BASED ON THE TETON COUNTY CONTROL NETWORK

(2) THE BUILDING FOOTPRINTS AS SHOWN REPRESENT FIELD MEASUREMENTS MAPPED AS PART OF THIS SURVEY AND ARE NOT INTENDED TO REPRESENT ARCHITECTURAL DIMENSIONS.



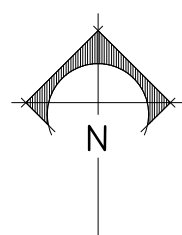
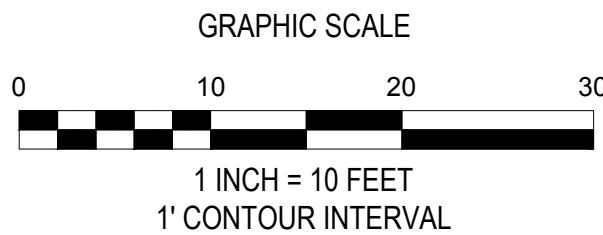
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IS ASSURED BY WEAVER & ASSOCIATES PA FOR  
THE BENEFIT OF ANY OTHER PERSON  
INVOLVED IN THE PROJECT



WEAVER & ASSOCIATES PA  
LANDSCAPE ARCHITECTURE - LAND PLANNING  
1605 SOUTH WOODRUFF AVENUE  
IDAHO FALLS, IDAHO 83404  
(208) 529-9504

- LEGEND
- INDICATES A 5/8 INCH DIAMETER STEEL REBAR WITH AN ALUMINUM CAP INSCRIBED "PE&LS 578" FOUND THIS SURVEY
  - INDICATES A 5/8 INCH DIAMETER STEEL REBAR WITH AN ALUMINUM CAP INSCRIBED "PLS 3831" FOUND THIS SURVEY
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  - △ INDICATES A STEEL SPIKE SET THIS SURVEY FOR ORIENTATION AND MAPPING PURPOSES
- SUBJECT LOT LINE
- ADJACENT LOT LINE
- SETBACK LINES
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF CONCRETE
- EDGE OF PATIO
- TOP BACK OF CURB
- FLOWLINE OF CURB
- FENCELINE
- OVERHEAD LINE
- SPRUCE - APPROXIMATE TRUNK DIAMETER SHOWN
- ASPEN - APPROXIMATE TRUNK DIAMETER SHOWN
- COTTONWOOD - APPROXIMATE TRUNK DIAMETER SHOWN
- TYPICAL SPOT ELEVATION

EXISTING SITE PLAN



Survey by OnSite Land Surveyors  
155 West Gill Ave.  
P.O. Box 12290  
Jackson, WY 83002  
(307) 734-6131

Jackson Wyoming  
hoytarchitects.design  
307.733.9955

500 E KELLY  
JACKSON WY  
500 E KELLY

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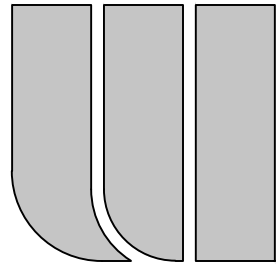
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WEAVER & ASSOCIATES PA  
LANDSCAPE ARCHITECTURE - LAND PLANNING  
1805 SOUTH WOODRUFF AVENUE  
IDAHO FALLS, IDAHO 83404  
(208) 529-9504

NOTES:

- (1) ELEVATIONS ARE NAVD88 BASED ON THE TETON COUNTY CONTROL NETWORK
- (2) THE BUILDING FOOTPRINTS AS SHOWN REPRESENT FIELD MEASUREMENTS MAPPED AS PART OF THIS SURVEY AND ARE NOT INTENDED TO REPRESENT ARCHITECTURAL DIMENSIONS.

LEGEND

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SPRUCE - APPROXIMATE TRUNK DIAMETER SHOWN

ASPEN - APPROXIMATE TRUNK DIAMETER SHOWN

COTTONWOOD - APPROXIMATE TRUNK DIAMETER SHOWN

TYPICAL SPOT ELEVATION

NOTES

Anticipated starting date of land development activities: Spring 2023.  
Anticipated completion date of slope revegetation: Fall 2023.  
Anticipated completion date of landscaping: Fall 2023.

Before start of construction install construction fence to define limits of land disturbing activities. Maintain and repair fence during construction. Construction fence shall be 6' high, with Wilson 6' high green opaque knitted polyethylene privacy screen attached. Install silt barrier fence at base of construction fence where grade slopes toward fence.

Before making cuts or fills construct interceptor ditches above and below proposed slopes higher than five feet. Interceptor ditches shall be six inches deep and six inches wide with rounded edges and shall be constructed to direct runoff to retention dikes and filter fabric. Runoff retention dikes shall be clean straw bales located at 50' intervals in interceptor ditches.

Prepare cut and fill areas by removing vegetation and other organic material no more than 30 days before grading.  
Before making cuts, strip topsoil and store off site for use later.  
Topsoil shall be redistributed and used for landscaping.

Roadway construction shall comply with requirements of the American Association of State Highway and Transportation Officials (AASHTO).  
Fills shall be compacted to at least 95 percent of maximum density.  
Roadway slope not to exceed 10 percent. Cross slope: 1-1/2 percent.

Cut and fill slopes shall be graded to a slope not exceeding 50%.

After rough grading slopes, spread topsoil over areas to be revegetated and compact to a minimum depth of four inches.

Revegetate all disturbed areas as soon as practical after grading by sodding or seeding as shown on sheet SD3.  
All tree and shrub plantings shown shall be watered with an underground automatic sprinkler system.

During the course of construction make periodic inspections of erosion control structures. Make necessary repairs to insure proper sediment containment and erosion control.

To minimize the spread of invasive species throughout he project areas the contractor shall comply with the following best management practices:

Inventory all Wyoming Designated and Teton County Declared invasive species present per MAISMA mapping standards, and create a management plan for species inventoried, as required under the Teton County Development Regulations (LDR's) 5.2.1 Natural Resources Overlay, and 5.7.2 Grading Standards.

Clean all construction equipment thoroughly before entering or leaving the site to prevent spreading invasive seeds and plant parts.

Keep all undisturbed areas on an active treatment plan to reduce invasive species populations and seed production. Minimize disturbance, as invasive species tend to establish and thrive in these areas.

Routinely check and treat soil stockpiles and disturbed areas for invasive species.

Conduct reseeding and revegetation in a timely fashion to prevent invasive species from establishing before desirable vegetation, as required under the Teton County LDR's 5.5.4 General Landscaping Standards and 5.7.2 Grading Standards. Utilize materials in accordance with the Wyoming Seed Law (W.S. 11-12-101-125) and the Wyoming Nursery Stock Law (W.S. 11-9-101-109).

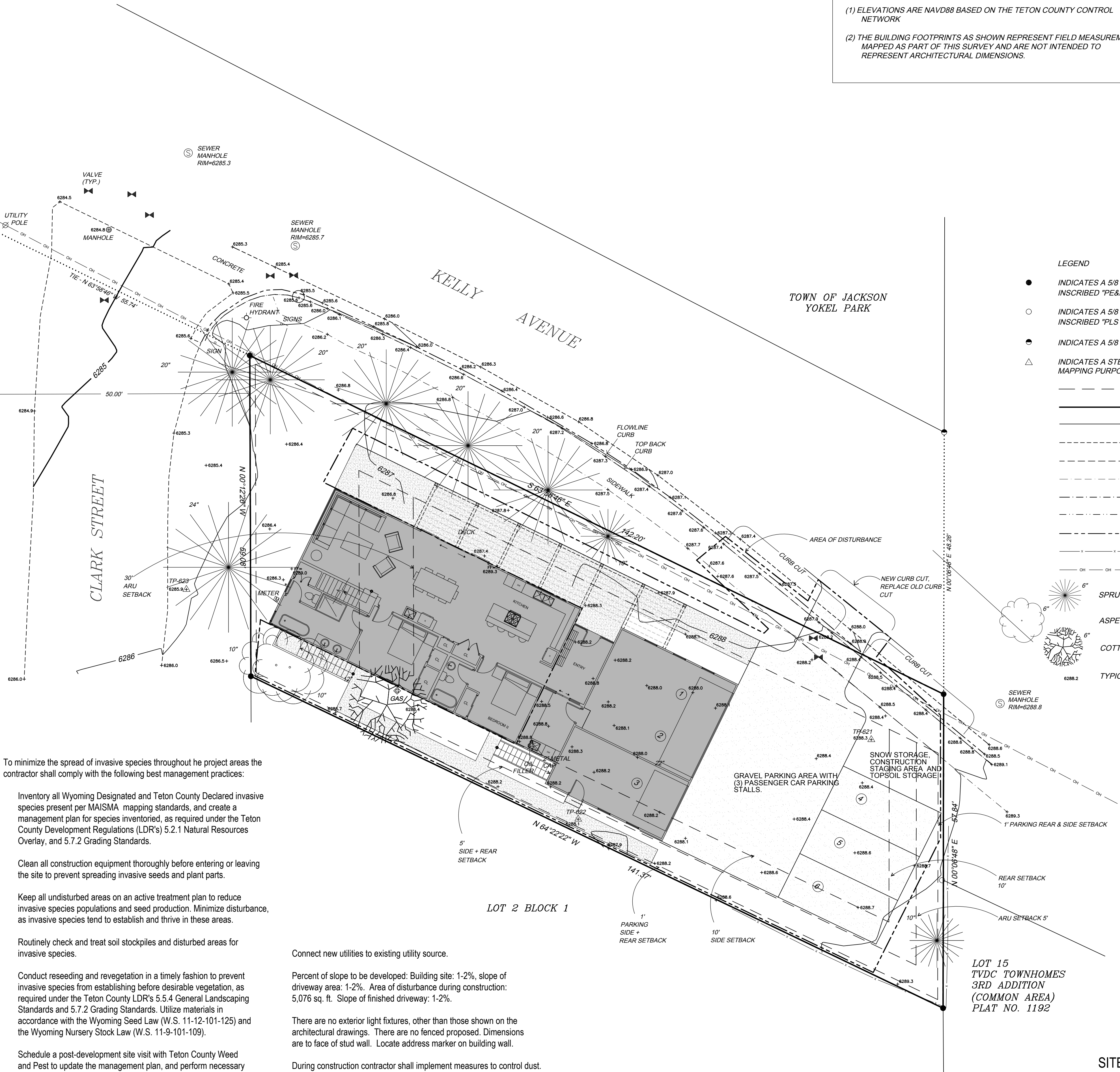
Schedule a post-development site visit with Teton County Weed and Pest to update the management plan, and perform necessary maintenance as required under the Teton County LDR's 5.5.5 Installation and Maintenance.

Connect new utilities to existing utility source.

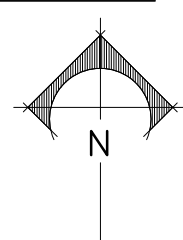
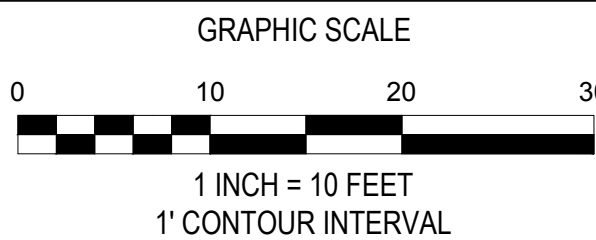
Percent of slope to be developed: Building site: 1-2%, slope of driveway area: 1-2%. Area of disturbance during construction: 5,076 sq. ft. Slope of finished driveway: 1-2%.

There are no exterior light fixtures, other than those shown on the architectural drawings. There are no fenced proposed. Dimensions are to face of stud wall. Locate address marker on building wall.

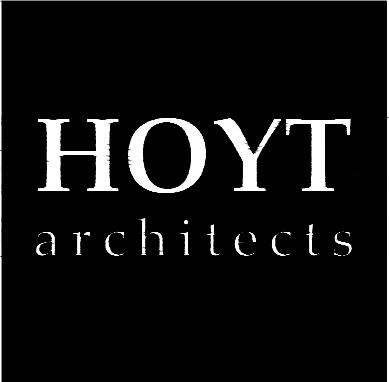
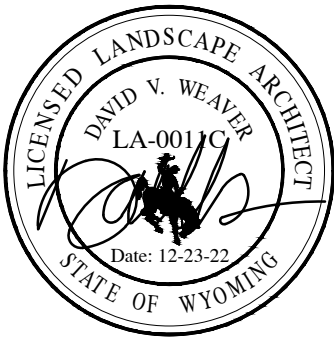
During construction contractor shall implement measures to control dust. All stockpiled soil shall be covered with a tarp during construction.



SITE PLAN

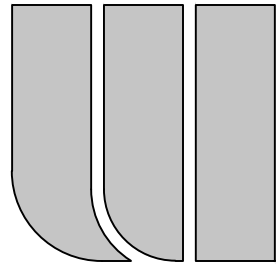






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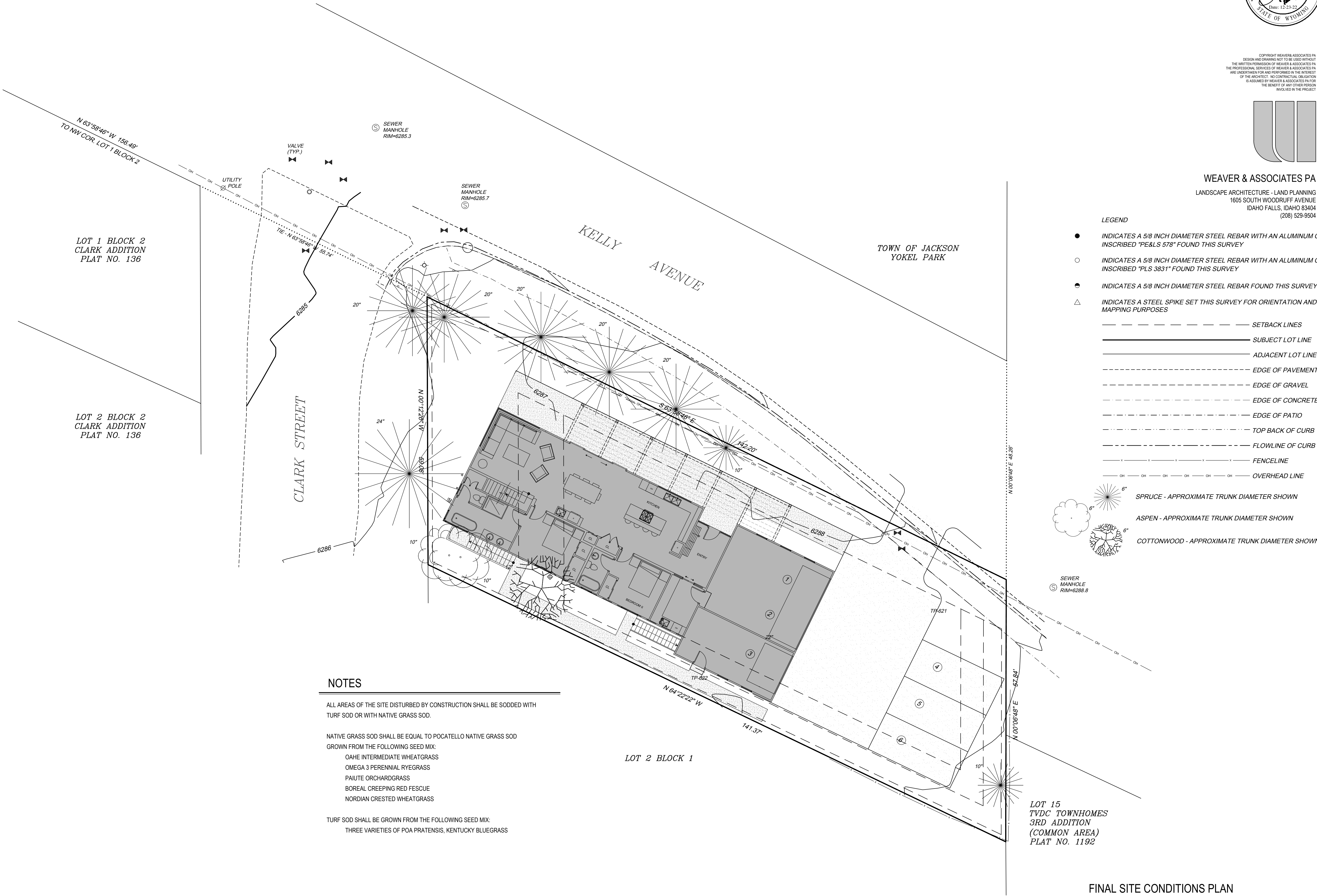
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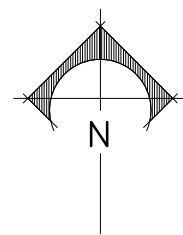
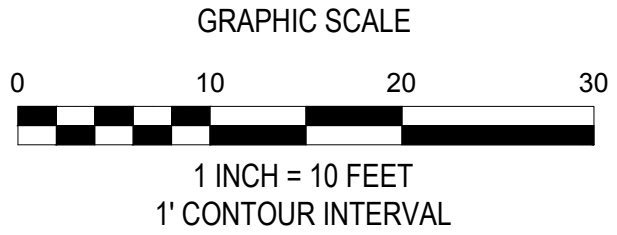
### NOTES

ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH  
TURF SOD OR WITH NATIVE GRASS SOD.

NATIVE GRASS SOD SHALL BE EQUAL TO POCATELLO NATIVE GRASS SOD  
GROWN FROM THE FOLLOWING SEED MIX:  
OAHU INTERMEDIATE WHEATGRASS  
OMEGA 3 PERENNIAL RYEGRASS  
PAIUTE ORCHARDGRASS  
BOREAL CREEPING RED FESCUE  
NORDIAN CRESTED WHEATGRASS

TURF SOD SHALL BE GROWN FROM THE FOLLOWING SEED MIX:  
THREE VARIETIES OF POA PRATENSIS, KENTUCKY BLUEGRASS

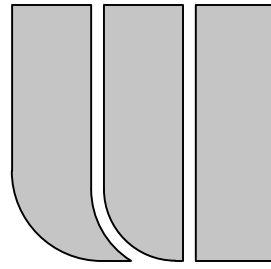
### FINAL SITE CONDITIONS PLAN



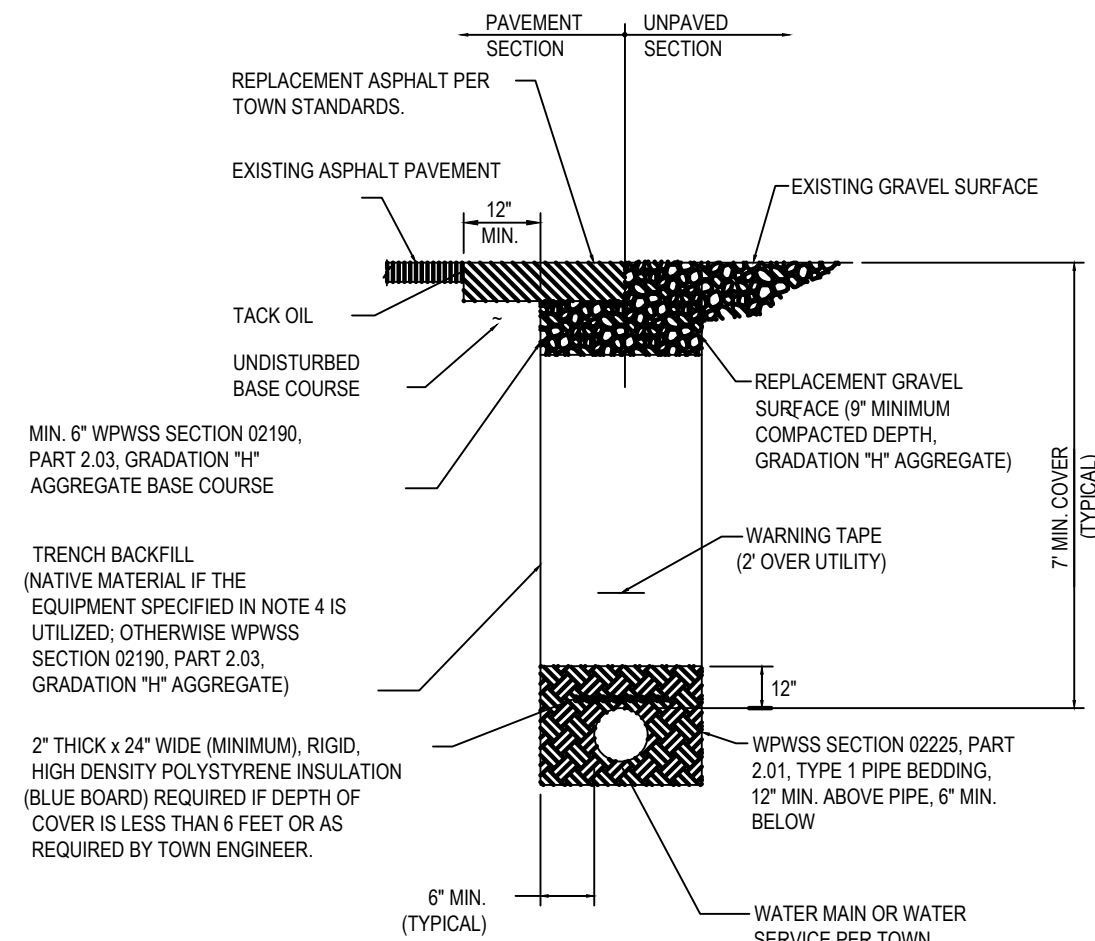




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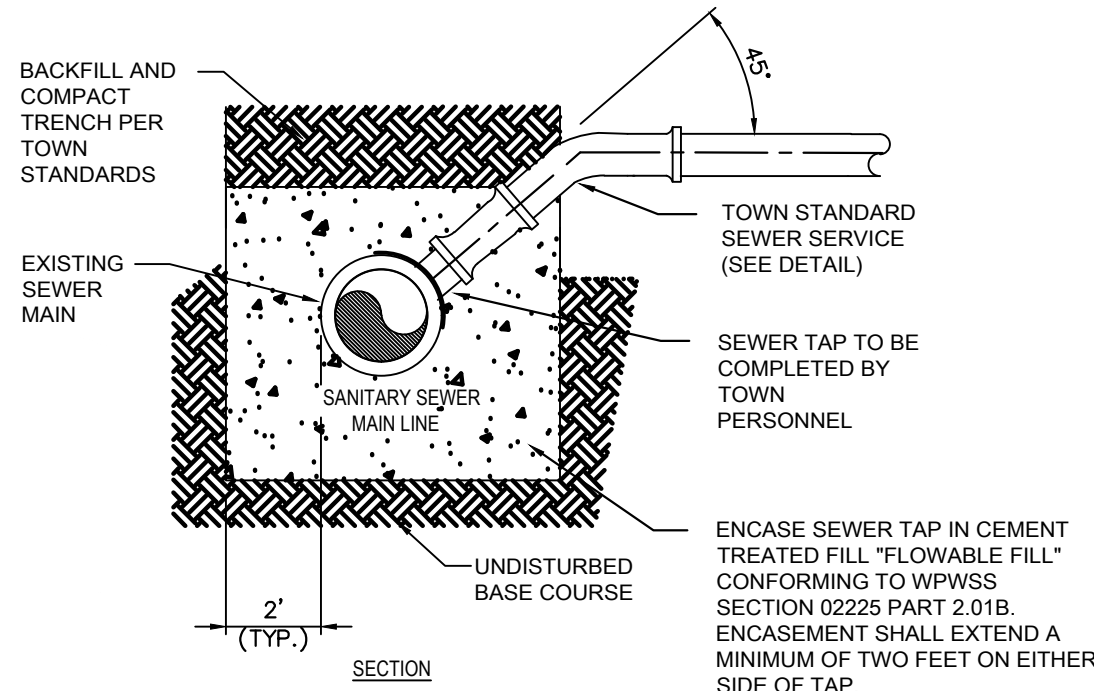
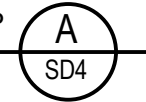
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- NOTES:
1. TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
    - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY
    - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY
  2. COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6\"/>
  3. PIPE BEDDING SHALL BE PLACED IN 6\"/>
  4. UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPMSS SECTION 02231, PART 3.03.
  5. ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

WATER MAIN AND SERVICE LINE TRENCH DETAIL, TYP

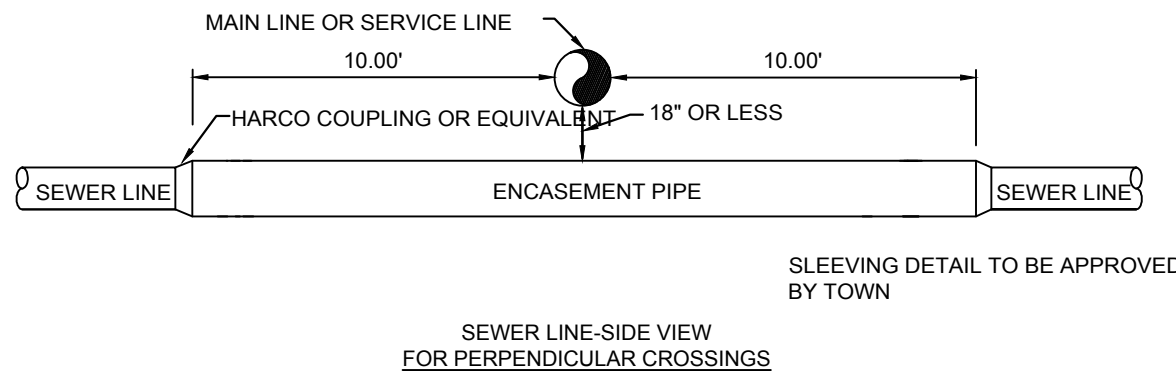
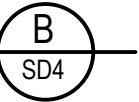
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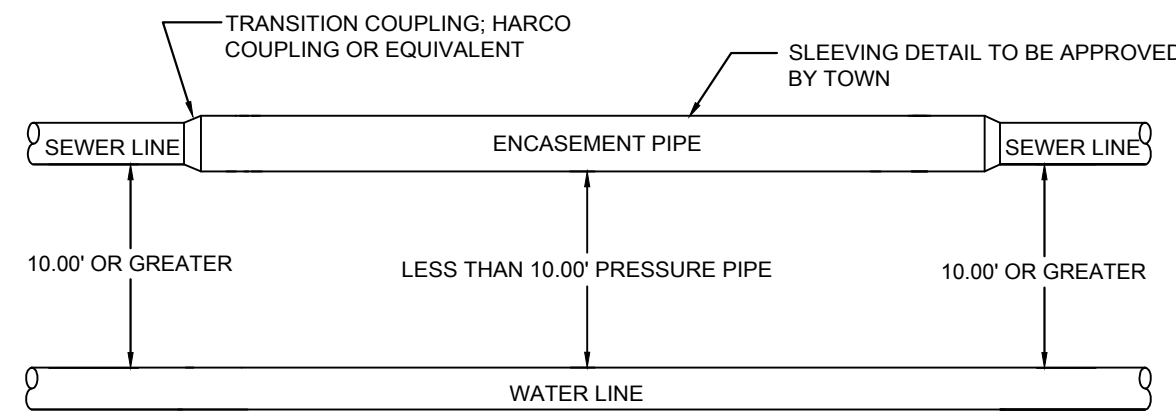
- NOTES:
1. THE TOWN WILL PERFORM TAP AT THE EXPENSE OF THE OWNER. ALL OTHER WORK SHALL BE PERFORMED BY THE OWNERS/CONTRACTOR.
  2. THE TOWN SHALL PERFORM TAP ONLY WITHIN TRENCHES WHICH MEET OR EXCEED THE STANDARDS SET BY OSHA. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL TRENCH EXCAVATIONS BE COMPLETED SHOULD IT BE DETERMINED BY TOWN PERSONNEL THAT THE TRENCH IS NOT IN COMPLIANCE WITH OSHA STANDARDS.

SANITARY SEWER MAIN TAPING DETAIL

NOT TO SCALE

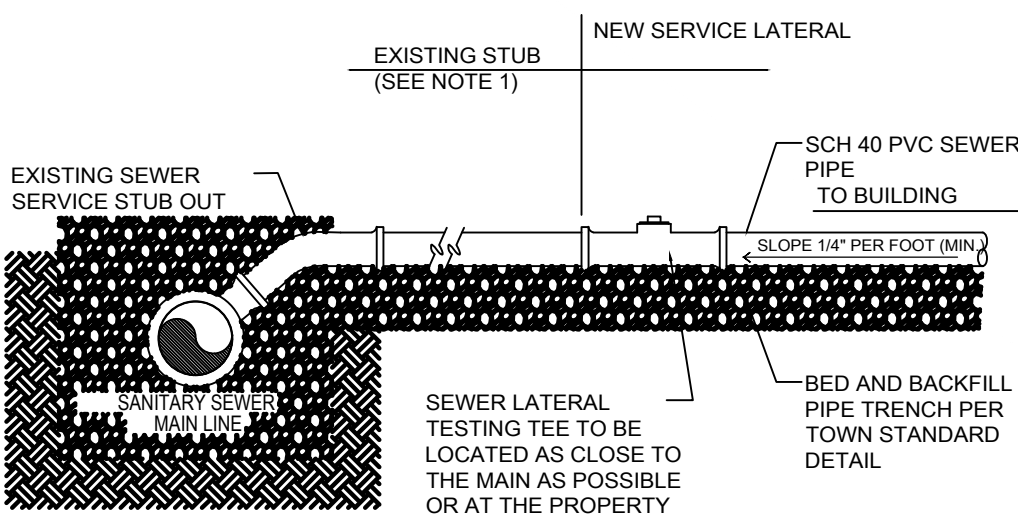


- NOTE:
1. IF WATER LINE IS 18\"/>



- NOTE:
1. IF WATER LINE IS 18\"/>
  2. IF APPROVED SEWER PRESSURE PIPE IS INSTALLED, ENCASEMENT PIPE MAY NOT BE REQUIRED AT DISTANCES LESS THAN 10 FEET.

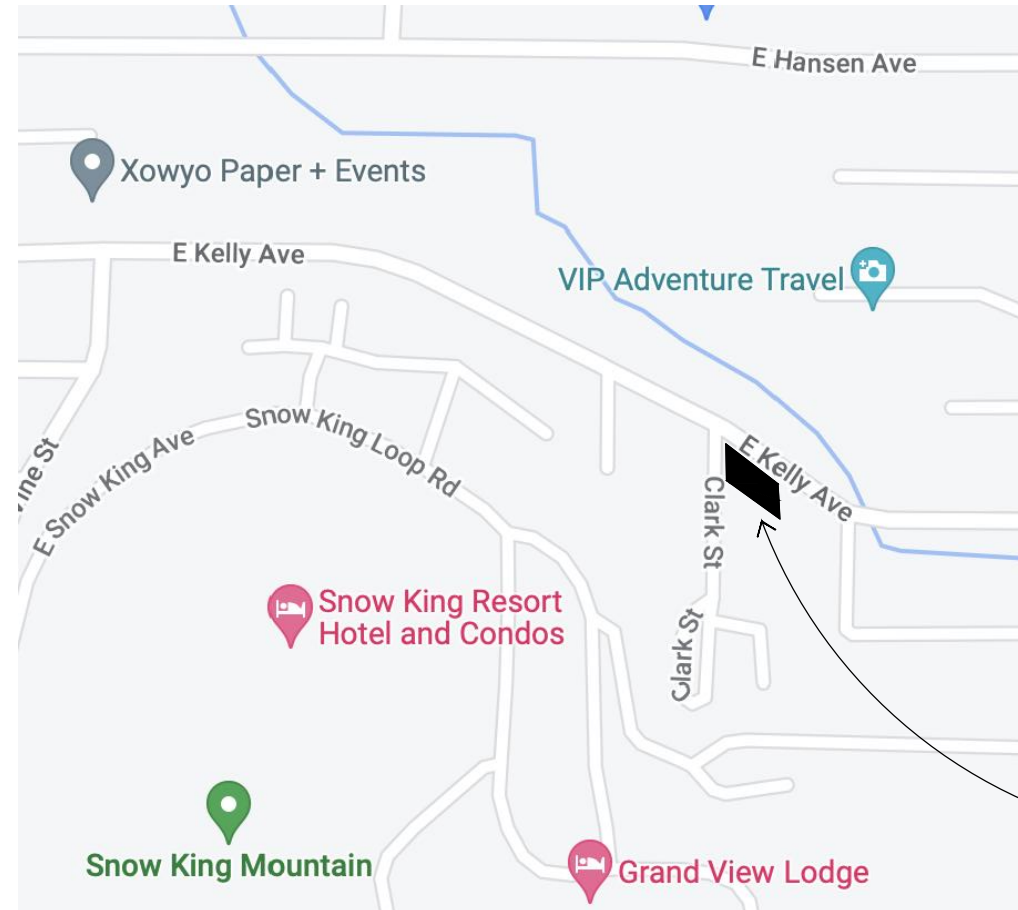
SEWER LINE-TOP VIEW FOR PARALLEL LINES



- NOTES:
1. NEW SERVICE CONNECTIONS TO EXISTING SANITARY SEWER STUBS SHALL BE FIELD APPROVED BY THE TOWN OF JACKSON.
  2. TRENCH SECTION AND BACKFILL OPERATIONS OF NEW SERVICE LINE SHALL BE COMPLETED PER TOWN STANDARDS. SEE DETAIL.
  3. CLEANOUTS TO BE PROVIDED ADJACENT TO HOUSE, AT A MINIMUM OF 100' INTERVALS ALONG SERVICE LINE AND AT ALL BENDS.
  4. PRIOR APPROVAL OF THE NEW SERVICE, THE LINE SHALL BE WATER TESTED FROM THE TESTING TEE TO THE BUILDING. WATER TEST SHALL BE WITNESS BY TOWN STAFF.

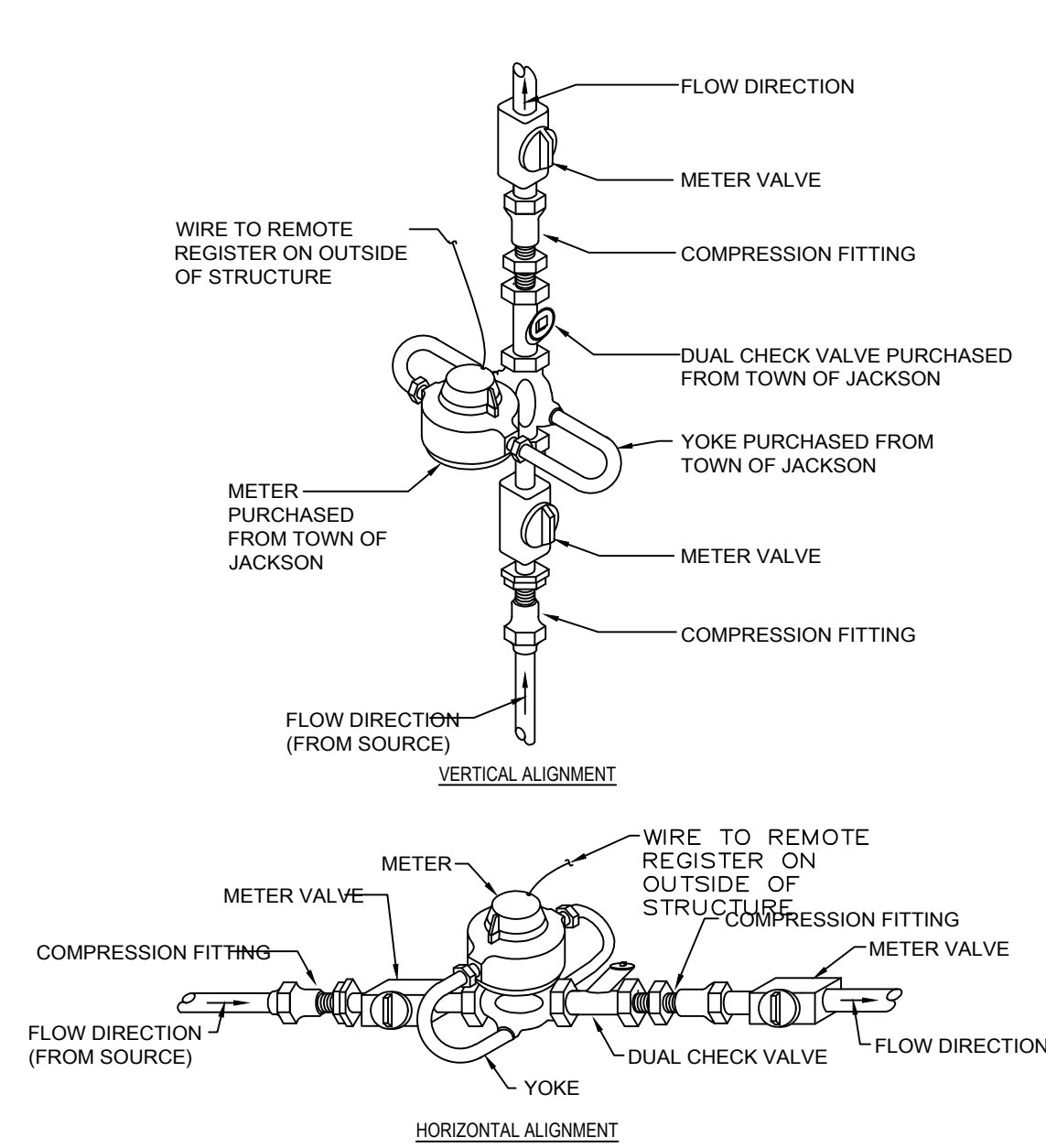
SANITARY SEWER SERVICE LINE DETAIL

NOT TO SCALE



VICINITY MAP

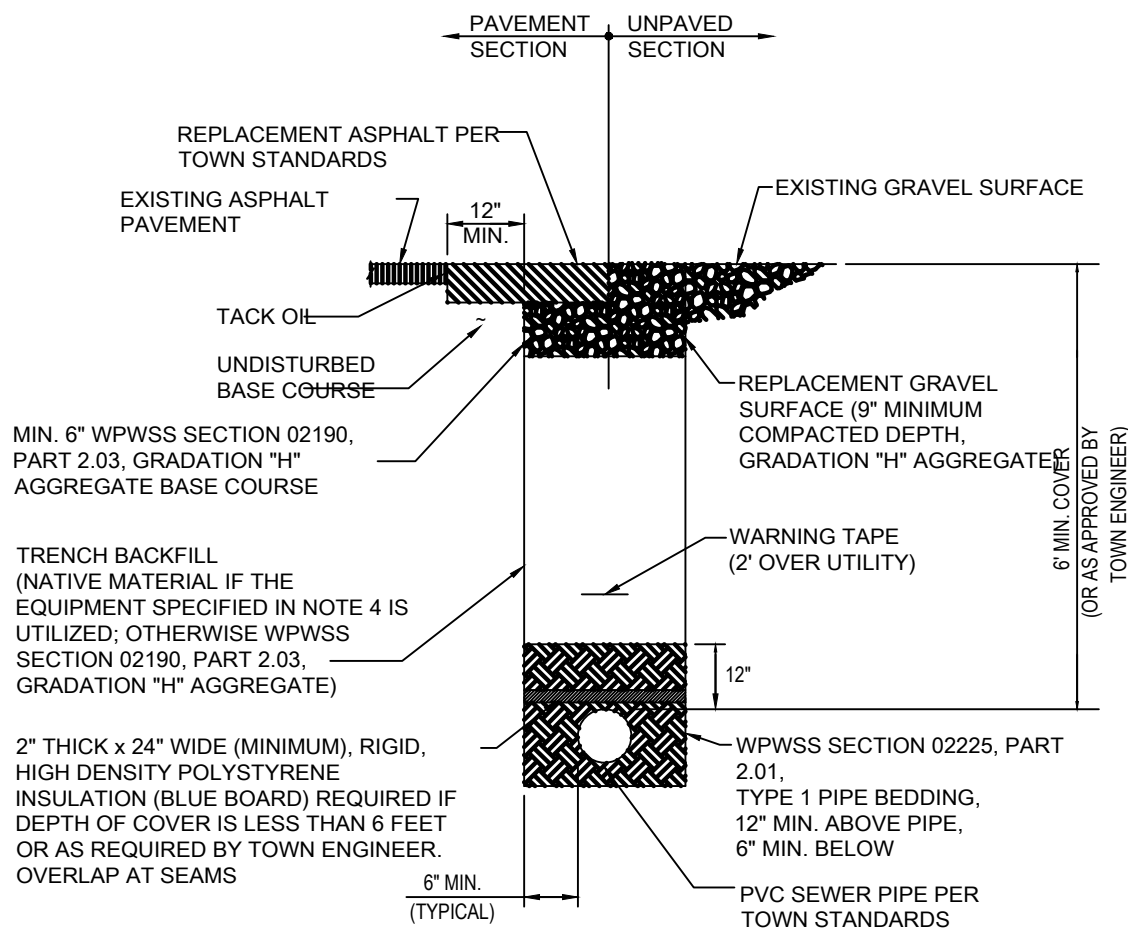
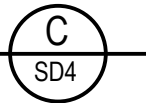
SUBJECT  
PROPERTY  
500 KELLY



- NOTES:
1. SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
  2. METER SHALL BE INSTALLED WITH THE METER FACING UP.
  3. METER SHALL BE PURCHASED FROM AND SUPPLIED BY THE TOWN OF JACKSON.

WATER METER INSTALLATION DETAIL, TYP

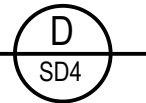
NOT TO SCALE



- NOTES:
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    - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY
  2. COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6\"/>
  3. PIPE BEDDING SHALL BE PLACED IN 6\"/>
  4. UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPMSS SECTION 02231, PART 3.03.
  5. ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

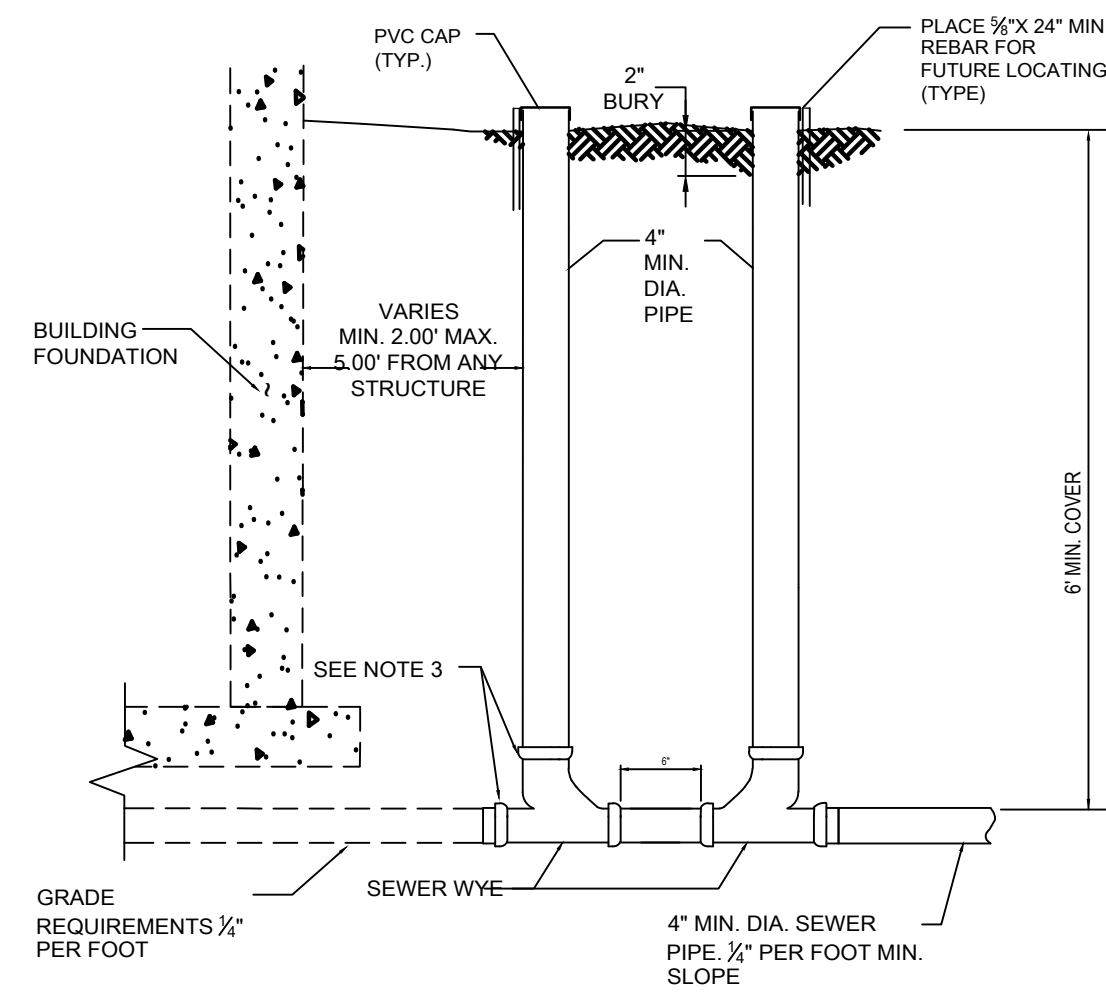
SANITARY SEWER SERVICE TRENCH DETAIL, TYP

NOT TO SCALE



SANITARY SEWER SERVICE LINE DETAIL

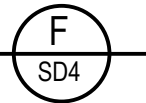
NOT TO SCALE



- NOTES:
1. PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
  2. INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
  3. ALL PVC FITTINGS SHALL MEET ASTM D3034 SPECIFICATIONS, AND SHALL ALSO MEET ASTM D312 SPECIFICATIONS FOR RUBBER GASKETED BELL AND SPIGOT TYPE WITH INTEGRAL BELL.

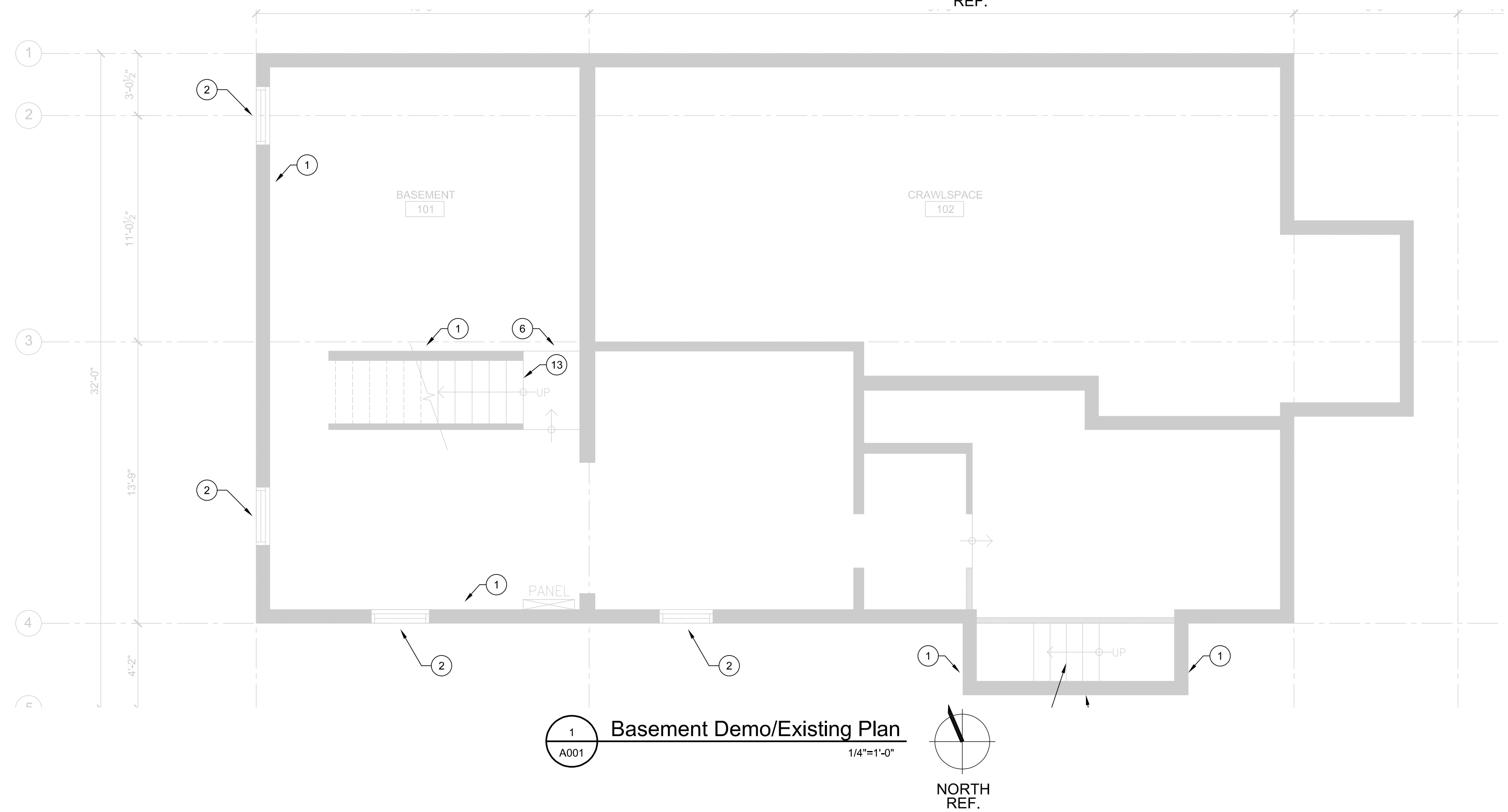
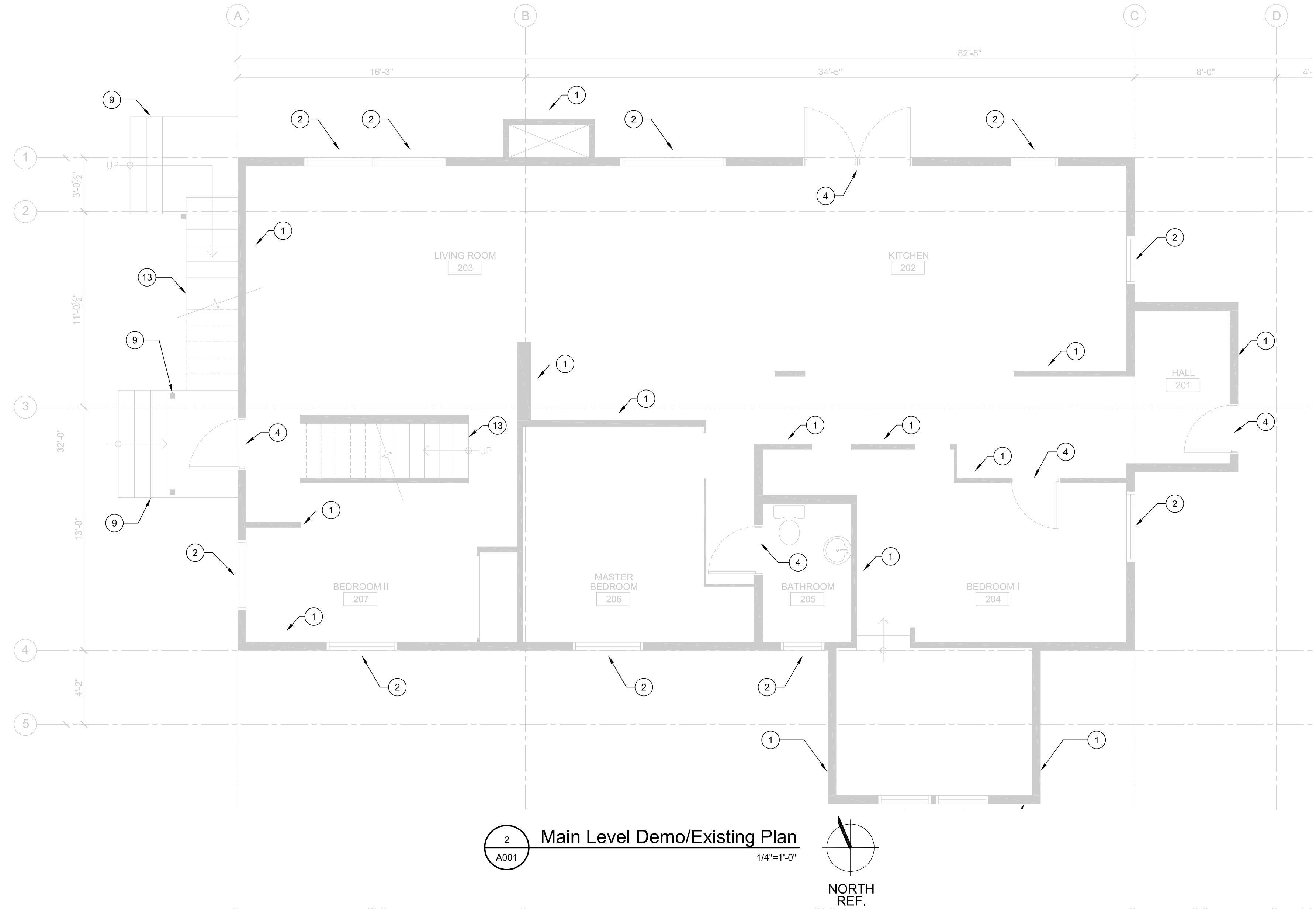
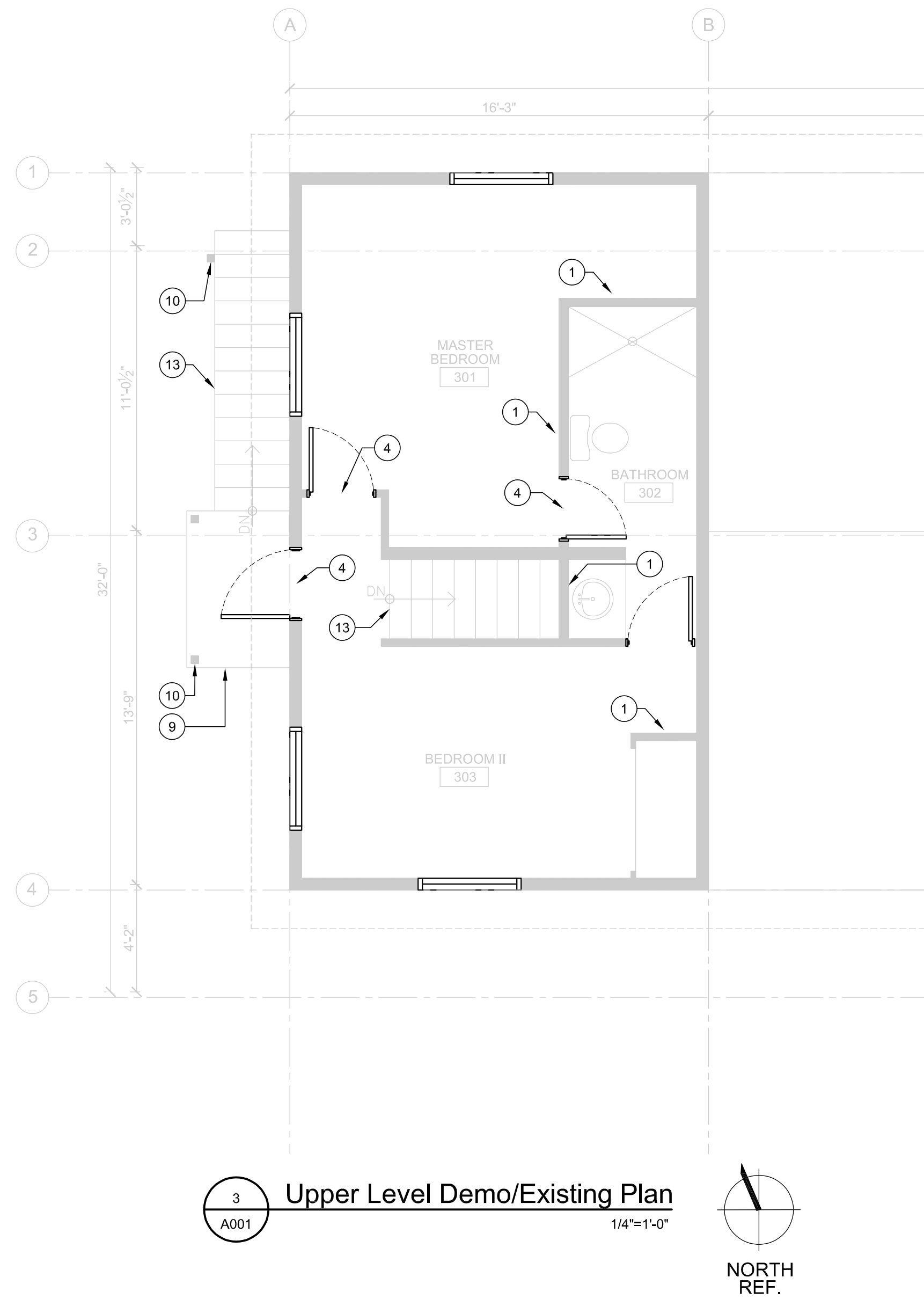
SANITARY SEWER SERVICE LATERAL BUILDING CLEANOUT DETAIL

NOT TO SCALE



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DEMO NOTES

- |  |   |
|--|---|
| 1 REMOVE WALL STRUCTURE AND FINISHES.                            | 16 RELOCATE WATER HEATER AND SOFTENER. SEE MECHANICAL PLANS FOR LOCATION. |
| 2 REMOVE EXISTING WINDOW.  | 17 RELOCATE NATURAL GAS ENTRY. SEE SITE PLAN FOR LOCATION.                |
| 3 REPLACE EXISTING WINDOW.                                       | 18 RELOCATE ELECTRICAL PANELS. SEE ELECTRICAL PLANS.                      |
| 4 REMOVE EXISTING DOOR.  | 19 RELOCATE ELECTRICAL METER. SEE ELECTRICAL PLANS.                       |
| 5 REMOVE EXISTING CASEWORK AND ANY ASSOCIATED PLUMBING FIXTURES. | 20 RELOCATE CRAWLSPACE ACCESS HATCH.                                      |
| 6 REMOVE EXISTING FLOOR FINISH.                                  |   |
| 7 REMOVE EXISTING CEILING FINISH.                                |   |
| 8 REPLACE WOOD DECK.   |   |
| 9 REMOVE DECK STRUCTURE.   |   |
| 10 REPLACE COLUMNS. SEE A101 FOR LOCATIONS.                      |   |
| 11 REMOVE GARAGE DOOR.   |   |
| 12 REMOVE CONCRETE SLAB AND FOUNDATION WALLS.                    |   |
| 13 REMOVE STAIRS AND SUPPORTING STRUCTURE.                       |   |
| 14 REMOVE RAILING.   |   |
| 15 REMOVE FINISHES AND FRAMING FOR NEW WINDOW.                   |   |

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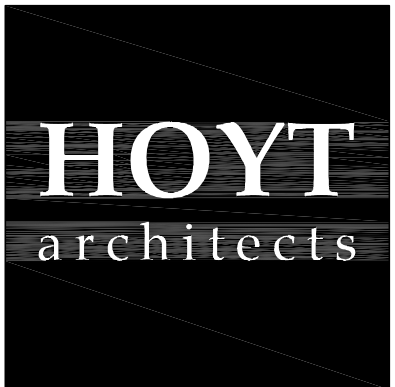
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EXISTING FLOOR PLANS

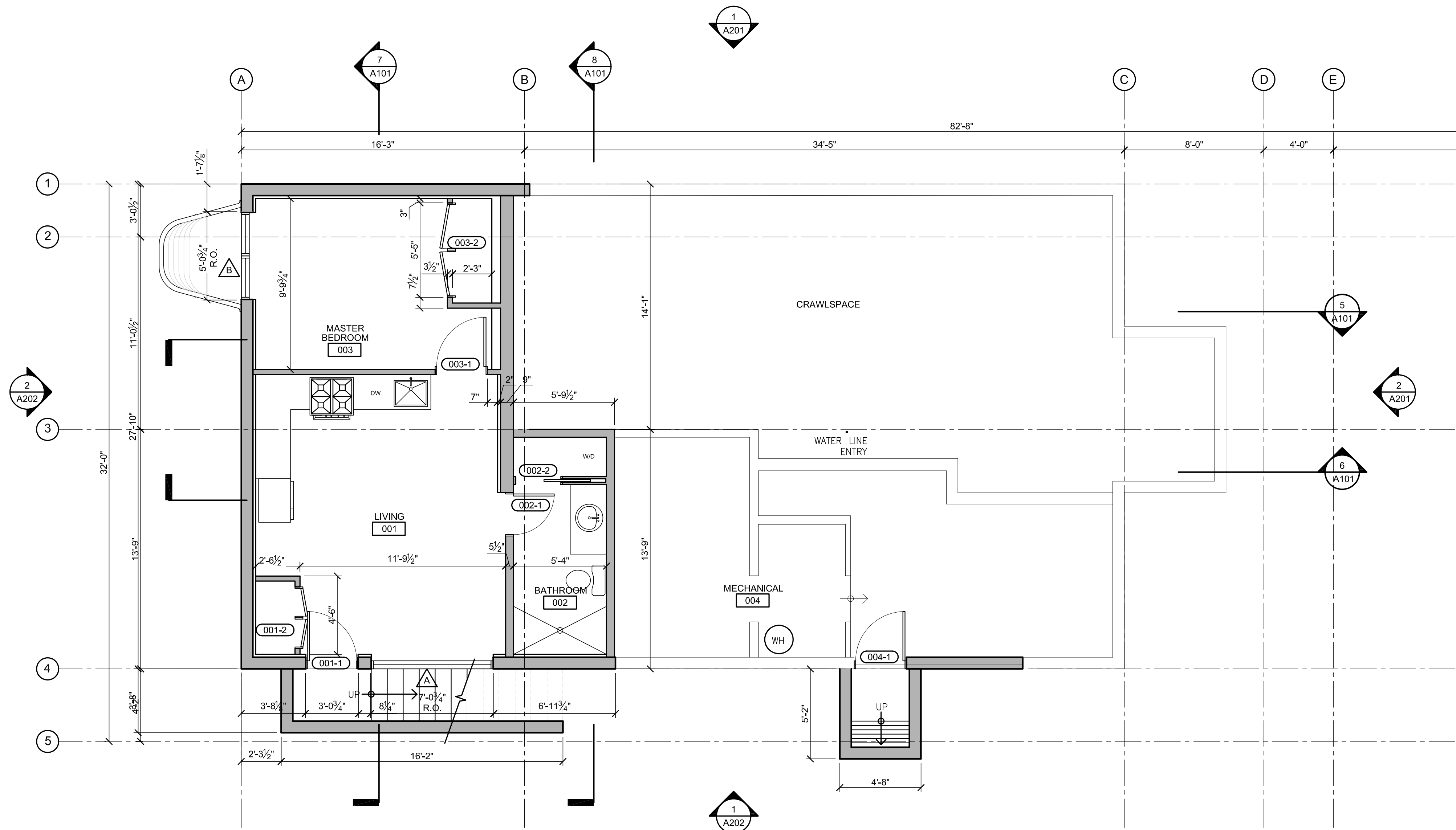
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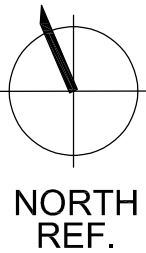


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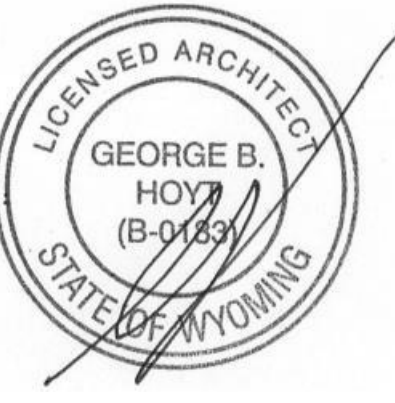
- GENERAL PLAN NOTES:
- Do not scale drawings. Contact Architect for any undocumented dimensions or clarifications of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
  - All dimensions are from gridline to centerline of structural columns, or to face of stud walls.
  - All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.
  - The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
  - Coordinate all windows and doors with schedules to determine rough opening dimensions.
  - Where shown, furniture is for reference only and not in contract.
  - All under floor walls shall have personnel openings with minimum dimensions of 24"x30"
  - Access and clear path of travel (24"x30") not to exceed 20' in length shall be required to all mechanical equipment located in crawlspace.
  - Crawl space access doors from conditioned space to unconditioned space shall be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces and the insulation shall be rigidly attached to the access door.



1  
A101  
Basement Floor Plan  
1/4"=1'-0"



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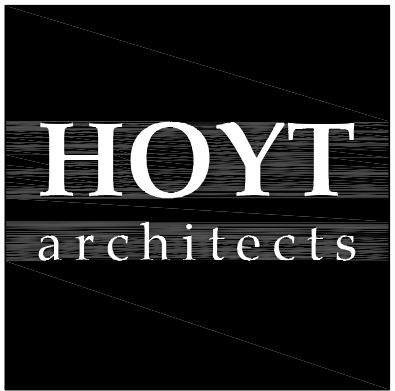
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BASEMENT  
FLOOR PLAN

A101

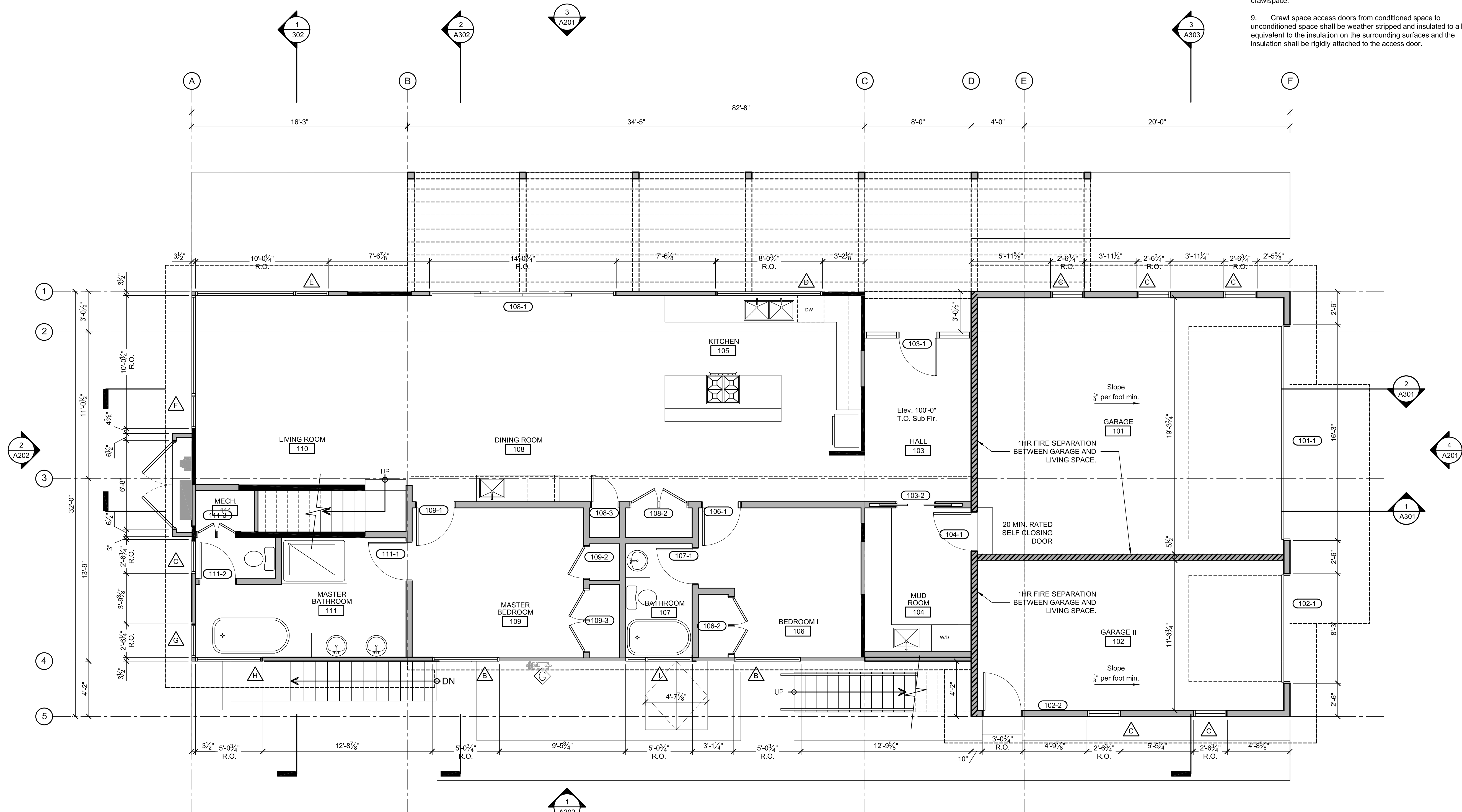
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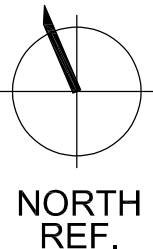
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1 Main Level Floor Plan  
A102  
1/4"=1'-0"



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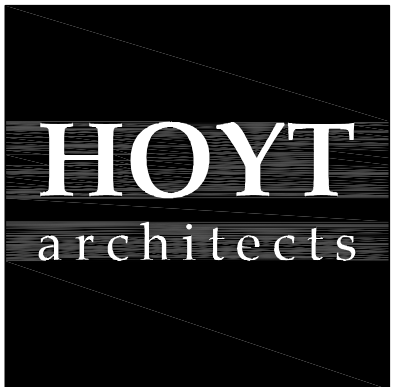
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1ST LEVEL  
FLOOR PLAN

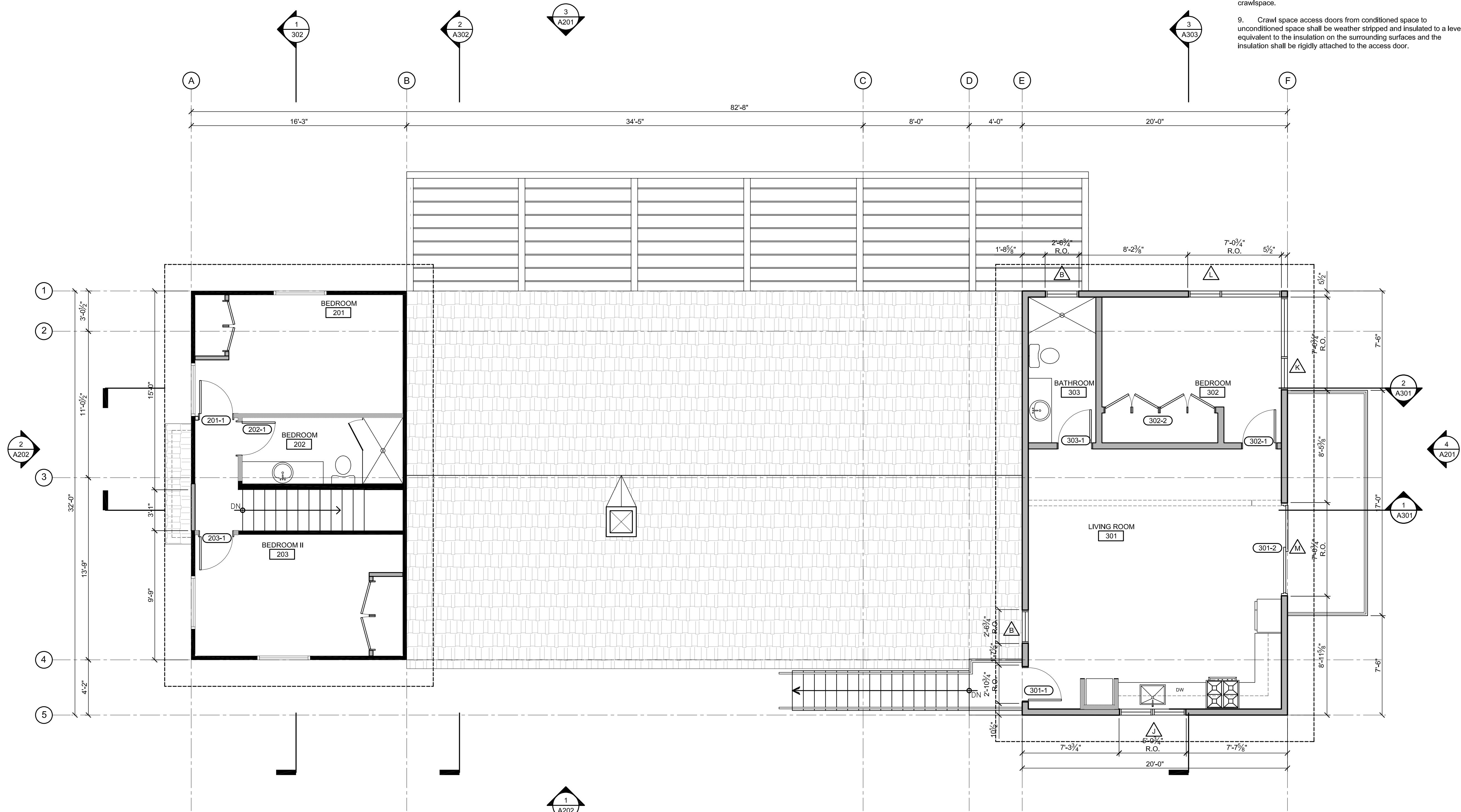
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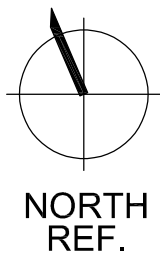


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1 Upper Level Floor Plan  
A103 1/4"=1'-0"



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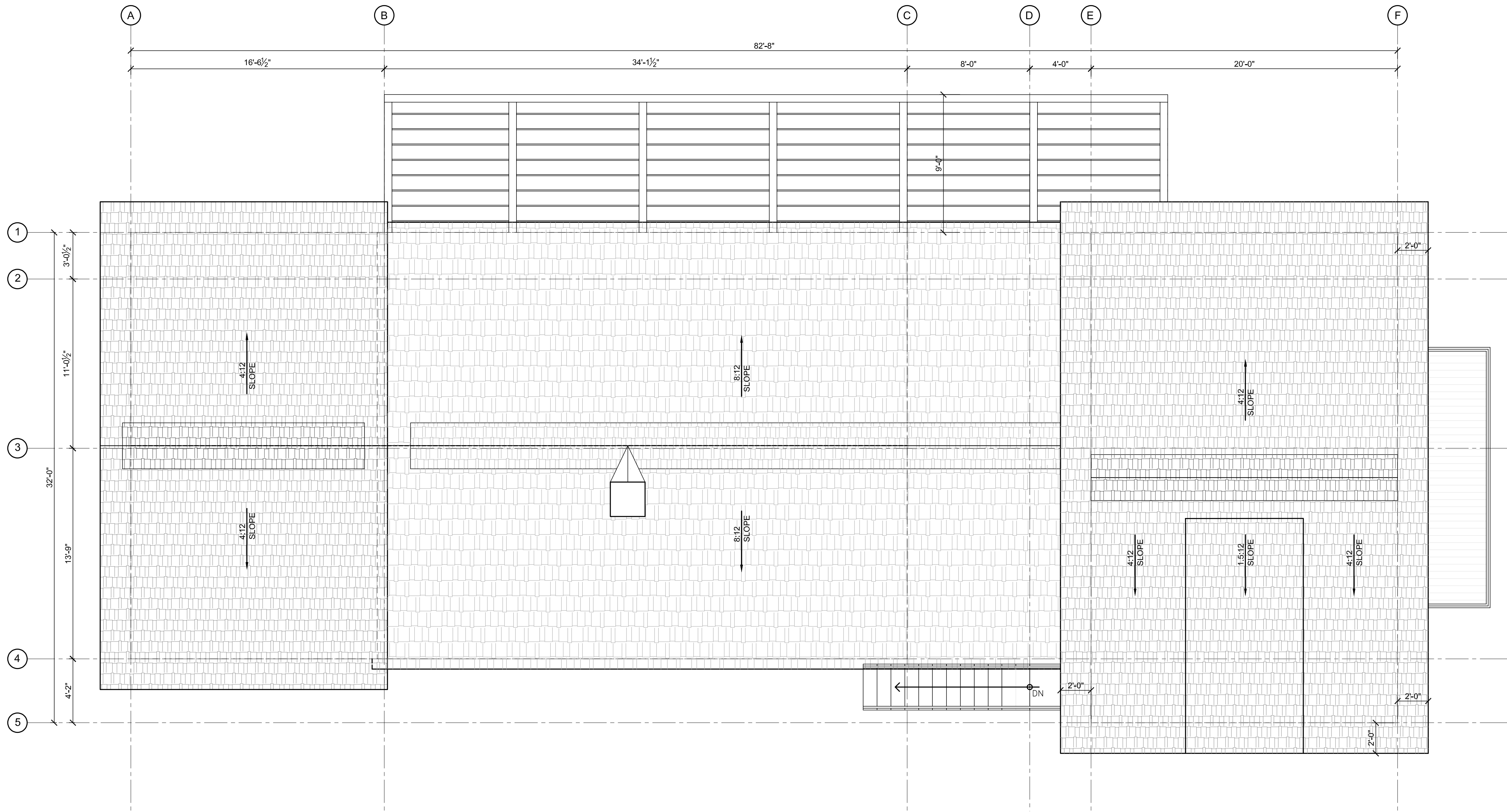
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2ND LEVEL  
FLOOR PLAN

A103

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ROOFING SCHEDULE	
ITEM	DESCRIPTION
1. UNDERLAYMENT	PROVIDE GRACE "ICE AND WATER SHIELD HT" IN THE FOLLOWING LOCATIONS. - AT ALL VALLEYS TO A POINT 48" UP EITHER SIDE. - AT ALL HORIZONTAL EAVES OVER HEATED SPACE, FROM EDGE OF ROOF TO A POINT 6'-0" UP SLOPE FROM THE OUTSIDE WALL OF HEATED SPACE BELOW. - AT ENTIRE ROOFS OF DORMERS AND LIVING/ENTRY GABLES. - AT ALL HIP, CURB, AND SIDEWALL CONDITIONS, TO EXTEND 18" IN EITHER DIRECTION. - AT VENT STACKS AND OTHER ROOFING PENETRATIONS AS SPECIFIED BELOW. - PROVIDE TITANIUM PSU-30 IN ALL OTHER AREAS - INSTALL AS PER MANUFACTURERS INSTRUCTIONS - FOR SLOPES 4:12 AND LESS USE GRACE "ICE AND WATER SHIELD" UNDER ENTIRE ROOFING MATERIAL.
2. FLAT ROOF	90MIL REINFORCED EPDM MEMBRANE - FULLY ADHERED. PROVIDE 1/2" COVER BOARD OVER ROOF INSULATION.
3. ASPHALT SHINGLES	GAF TIMBERLINE HD SHINGLES. COLOR: SLATE (VRIFY WITH OWNER). INSTALL PER MANUFACTURERS GUIDELINES.
4. OTHER PENETRATIONS	VENT STACKS AND OTHER ROOFING PENETRATIONS SHALL BE SEALED WITH SPRAY-IN URETHANE INSULATION AS DENOTED IN INSULATION SCHEDULE. COVER WITH GRACE "ICE AND WATER SHIELD HT". EXTEND A MINIMUM OF 12" IN ALL DIRECTIONS FROM EDGE OF PENETRATION AND LAP 6" UP THE SIDE OF VENT STACK. VENT STACKS SHALL THEN BE COVERED WITH PRE-MANUFACTURED FLASHING WITH INTEGRAL CAP.
5. LOW PROFILE RIDGE VENT	PRE-MANUFACTURED LOW PROFILE VENT. MATCH ADJACENT ROOFING MATERIAL. INSTALL PER MANUFACTURERS GUIDELINES.



1  
A104

Roof Plan

1/4"=1'-0"

NORTH REF.



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LICENSED ARCHITECT  
GEORGE B. HOYT  
(B-0183)  
STATE OF WYOMING

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ROOF PLAN

A104

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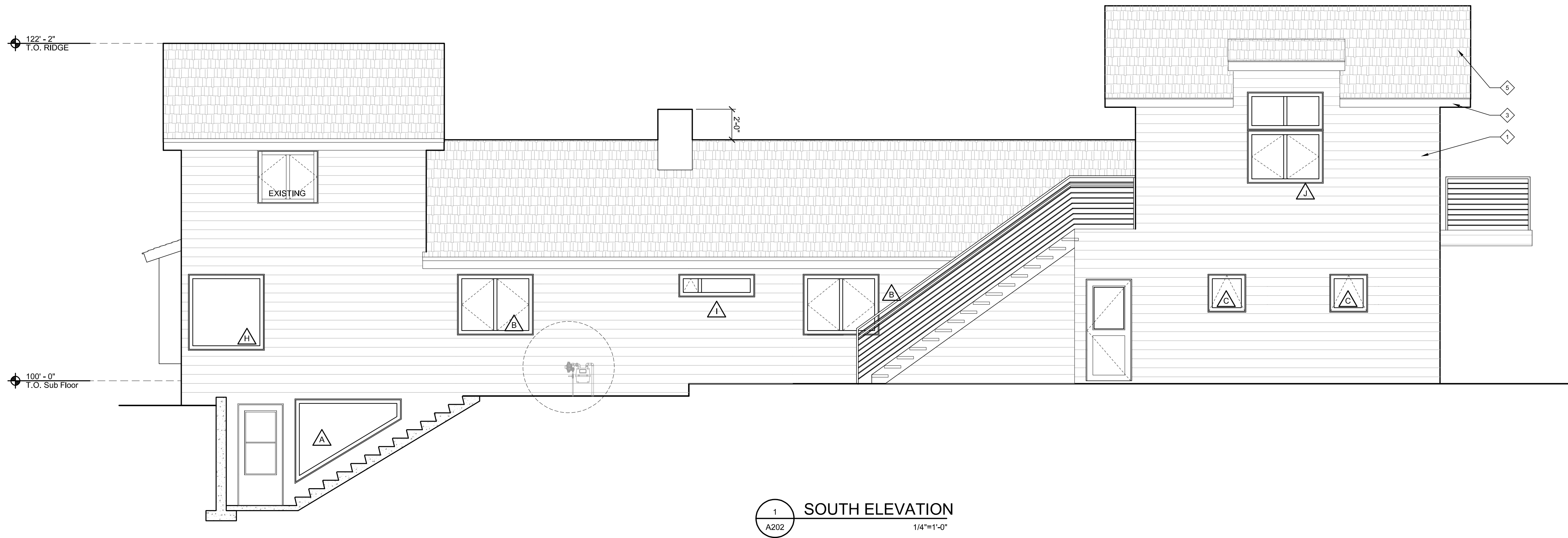
1 NORTH ELEVATION  
A201 1/4"=1'-0"

EXTERIOR MATERIAL SCHEDULE	
ITEM	DESCRIPTION
1. EXISTING SIDING.	EXISTING SIDING TO REMAIN. CLEAN AND RE-PAINT. COLOR: MATCH EXISTING.
2. NEW SIDING	METAL PANEL OR FIBER CEMENT BOARD. COLOR: CHARCOAL.
3. SOFFIT	TBD
4. FLAT ROOF	SEE ROOFING SCHEDULE.
5. SHINGLE ROOF	ASPHALT SHINGLE ROOF. SEE ROOFING SCHEDULE.
6. METAL ROOF	SEE ROOFING SCHEDULE.
7. COLUMNS	STAINED NEW DOUG FIR. SEE STRUCTURAL DRAWINGS FOR SIZE. COLOR: CHARCOAL.
8. CONCRETE FOUNDATION	SEE STRUCTURAL DRAWINGS. AT ALL EXTERIOR FOUNDATIONS A FLUID APPLIED ASPHALT MEMBRANE SHALL BE APPLIED IN (2) VERY HEAVY COATS. ENSURE PROPER COVERAGE AT ALL PENETRATIONS AND TRANSITION OF FOUNDATION WALL & FOOTING.
9. DECKING	5/4x6 CLEAR KEBONY DECKING. ATTACH WITH STEP-CLIP FOR KEBONY.
10. FLASHING	INSTALL PAINT-LOCK METAL FLASHING AT LOCATIONS SHOWN AT ARCHITECTURAL DETAILS AND AS DICTATED BY GOOD CONSTRUCTION PRACTICE. ALL EXPOSED FLASHING TO BE PAINTED METAL. ROOF FLASHING COMPONENTS (VALLEYS, SIDEWALLS, END WALLS AND ROOF PITCH TRANSITIONS) TO BE 20 OZ. CURB AND SIDEWALL FLASHING TO EXTEND A MINIMUM OF 8" UP SIDE OF WALL AND 4" OVER ROOFING. VALLEY FLASHING TO BE A MINIMUM OF 24" WIDE "W-CRIMP". OTHER FLASHING COMPONENTS AND SUCH AS DRIP CAPS AND SIDING TO TRIM CONNECTIONS TO BE 16 OZ WITH 1/2" HEM AT EXPOSED BOTTOM EDGE. MATCH COLOR WITH ADJACENT MATERIAL. VERIFY WITH ARCHITECT AND OWNER.
11. GARAGE DOORS	EXISTING GARAGE DOORS.
12. EXTERIOR LIGHTING	SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS. SHALL MEET REQUIREMENTS OF DIV. 5.3.1 OF THE TETON COUNTY LDRS.
13. WINDOWS	METAL CLAD WINDOWS. COLOR: BLACK. SEE WINDOW SCHEDULE FOR MAUNFACTURER AND SIZES.
NOTES	1. PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES FOR OWNER AND ARCHITECTS APPROVAL.



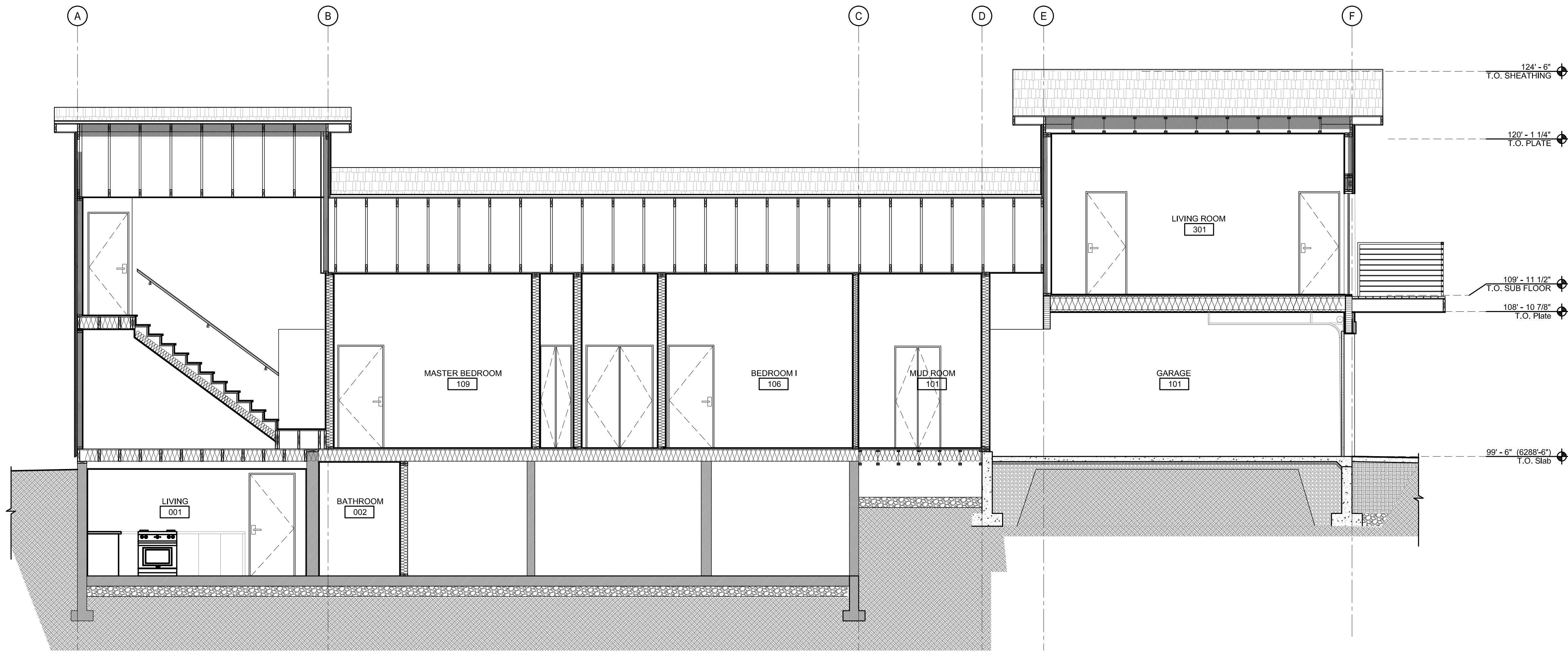
2 EAST ELEVATION  
A201 1/4"=1'-0"





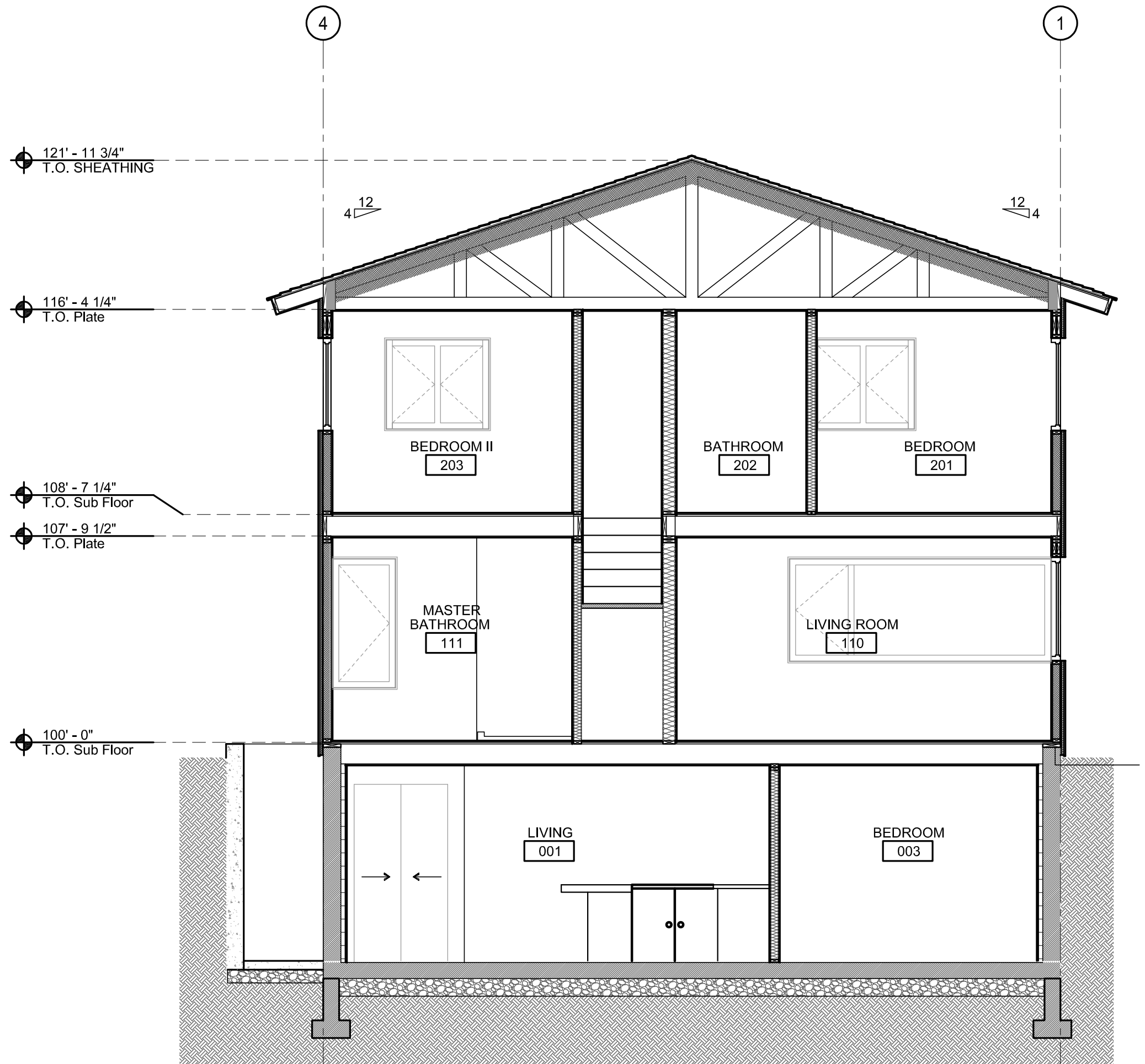
EXTERIOR MATERIAL SCHEDULE	
ITEM	DESCRIPTION
1. EXISTING SIDING.	EXISTING SIDING TO REMAIN. CLEAN AND RE-PAINT. COLOR: MATCH EXISTING.
2. NEW SIDING	METAL PANEL OR FIBER CEMENT BOARD. COLOR CHARCOAL.
3. SOFFIT	TBD
4. FLAT ROOF	SEE ROOFING SCHEDULE.
5. SHINGLE ROOF	ASPHALT SHINGLE ROOF. SEE ROOFING SCHEDULE.
6. METAL ROOF	SEE ROOFING SCHEDULE.
7. COLUMNS	STAINED NEW DOUG FIR. SEE STRUCTURAL DRAWINGS FOR SIZE. COLOR: CHARCOAL.
8. CONCRETE FOUNDATION	SEE STRUCTURAL DRAWINGS. AT ALL EXTERIOR FOUNDATIONS A FLUID APPLIED ASPHALT MEMBRANE SHALL BE APPLIED IN (2) VERY HEAVY COATS. ENSURE PROPER COVERAGE AT ALL PENETRATIONS AND TRANSITION OF FOUNDATION WALL & FOOTING.
9. DECKING	5/4x6 CLEAR KEBONY DECKING. ATTACH WITH STEP-CLIP FOR KEBONY.
10. FLASHING	INSTALL PAINT-LOCK METAL FLASHING AT LOCATIONS SHOWN AT ARCHITECTURAL DETAILS AND AS DICTATED BY GOOD CONSTRUCTION PRACTICE. ALL EXPOSED FLASHING TO BE PAINTED METAL. ROOF FLASHING COMPONENTS (VALLEYS, SIDEWALLS, END WALLS AND ROOF PITCH TRANSITIONS) TO BE 20 OZ. CURB AND SIDEWALL FLASHING TO EXTEND A MINIMUM OF 8" UP SIDE OF WALL AND 4" OVER ROOFING. VALLEY FLASHING TO BE A MINIMUM OF 24" WIDE "W-CRIMP". OTHER FLASHING COMPONENTS AND SUCH AS DRIP CAPS AND SIDING TO TRIM CONNECTIONS TO BE 16 OZ WITH 1/4" HEM AT EXPOSED BOTTOM EDGE. MATCH COLOR WITH ADJACENT MATERIAL. VERIFY WITH ARCHITECT AND OWNER.
11. GARAGE DOORS	EXISTING GARAGE DOORS.
12. EXTERIOR LIGHTING	SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS. SHALL MEET REQUIREMENTS OF DIV. 5.3.1 OF THE TETON COUNTY LDR'S.
13. WINDOWS	METAL CLAD WINDOWS. COLOR: BLACK. SEE WINDOW SCHEDULE FOR MAUFACTURER AND SIZES.
NOTES	1. PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES FOR OWNER AND ARCHITECTS APPROVAL.





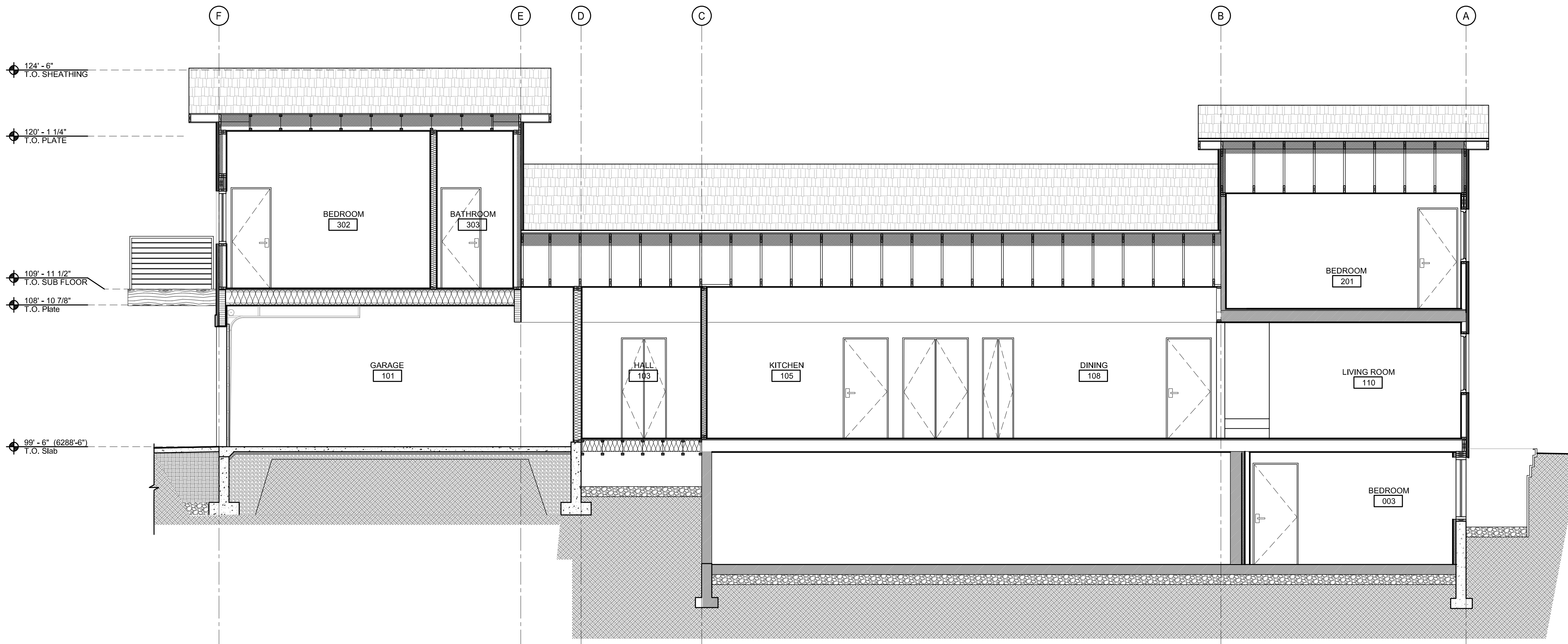
1  
A301  
BUILDING SECTION  
1/4"=1'-0"

INSULATION SCHEDULE				
LOCATION	R-VALUE	COUNTY REQ'D R-VALUE	EMP R-VALUE	DESCRIPTION
1. SOIL GAS BARRIER	N/A	N/A	N/A	1. INSTALL 4" PERF. PIPE IN PEA GRAVEL BED (NO FINES). 2. COVER GRAVEL BED WITH CONTINUOUS 10 MIL POLYETHYLENE SHEET SOIL GAS BARRIER ADHERED TO FOOTINGS. 3. PROVIDE VENT STACK THROUGH HEATED SPACE AND POWER IN CRAWL SPACE FOR EXHAUST FAN IF NECESSARY.
2. SLABS ON GRADE	R-10	R-10	N/A	INSTALL CONTINUOUS 2" EXTRUDED POLYSTYRENE INSULATION BOARD UNDER SLABS.
3. EXTERIOR FRAMED WALL CAVITIES	R-21 CI R5	R-25	R-28	INSTALL 3" SPRAY FOAM INSULATION (R-21) IN CAVITY. INSTALL 1" RIGID CONTINUOUS INSULATION (R-5) ON EXTERIOR WALL.
4. CONCRETE STEM WALLS IN CRAWLSPACE	R-15	R-15	N/A	INSTALL MINIMUM OF 2.5" SWD QUIK-SHIELD 112 SPRAY INSULATION (R-15).
5. FLOOR JOISTS OVER CONDITIONED SPACE	R-30	N/A	N/A	9.5" FORMALDEHYDE FREE BATT INSULATION (R-30)
6. SOUND ISOLATION AT INTERIOR WALLS & FLOORS	N/A	N/A	N/A	FILL SPACE WITH FRICTION-FIT FORMALDEHYDE FREE FIBERGLASS SOUND-ATTENUATION BATTS.
7. STICK FRAMED ROOFS	R-60	R-49	R-60	INSTALL MINIMUM OF 9.5" WITH SWD QUIK-SHIELD 112 SPRAY INSULATION.
8. EXTERIOR DOORS AND WINDOWS	MAX U=0.31	MAX U=0.32	MAX U=.31	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
9. MECHANICAL AND ELECTRICAL PENETRATIONS.	N/A	N/A	N/A	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
1* PROVIDE "TYVEK DRAINWRAP" OR EQUAL HOUSE WRAP OVER PLYWOOD SHEATHING AT ALL FRAMED EXTERIOR WALLS - TAPE ALL SEAMS W/ "TYVEK TAPE". * AT WINDOW AND DOOR ROUGH OPENINGS, CUT HOUSE WRAP IN A MODIFIED-I PATTERN PRIOR TO INSTALLING UNIT. * USE "TYVEK FLEXWRAP" OR EQUAL FOR FLASHING AT PANS & "TYVEK STRAIGHT FLASH" @ HEADS & LEGS. * PROVIDE APPROPRIATE "QUICKFLASH" OR EQUAL PRODUCT TO SEAL HOUSE WRAP AT ALL OTHER PENETRATIONS * LAP HOUSE WRAP OVER TOP EDGE OF ALL FLASHING AND DRIP EDGE METAL.				
2.* ALL FIBERGLASS BATTS TO FILL SPACE WITH NO GAPS. SEE BUILDERS GUIDE TO COLD CLIMATES. * TRIM BATTS TO FIT AROUND AND BEHIND OBJECTS IN WALL AND ROOF CAVITIES SUCH AS ELECTRICAL JUNCTION BOXES				
3. SPRAY URETHANE (CLOSED CELL) SWD QUIK-SHIELD 112 SPRAY INSULATION TO BE USED AT ALL FLOOR RIM AND ROOF RIM SPACES.				
4.CAULK ALL PLATES. CAULK ALL CRACKS (TRIMMERS, PANEL JOINTS, ETC...) TO ENSURE AIR TIGHTNESS.				
5. CONTRACTOR TO ARRANGE INSPECTION AT COMPLETION OF INSULATIONS INSTALLMENT AND PRIOR TO THE INSTALLATION OF ANY GYPSUM BOARD OR INTERIOR FINISH TRIM.				
6. PROVIDE INSULATION WRAP(R-5) ON ALL HOT WATER PIPING.				
7. EXPOSED SPRAY FOAM INSULATION IN CRAWLSPACE TO BE APPROVED IGNITION BARRIER OR PROTECTED WITH APPROVED THERMAL IGNITION BARRIER.				
8. CONTRACTOR TO ENSURE AIR-TIGHTNESS OF THERMAL ENVELOPE AND AIR BARRIER. CONTRACTOR SHALL BE RESPONSIBLE FOR PASSING BLOWER DOOR TEST AS REQUIRED IN 2012 IECC CHAPTER 4 AND 2015 IRC CHAPTER 11.				



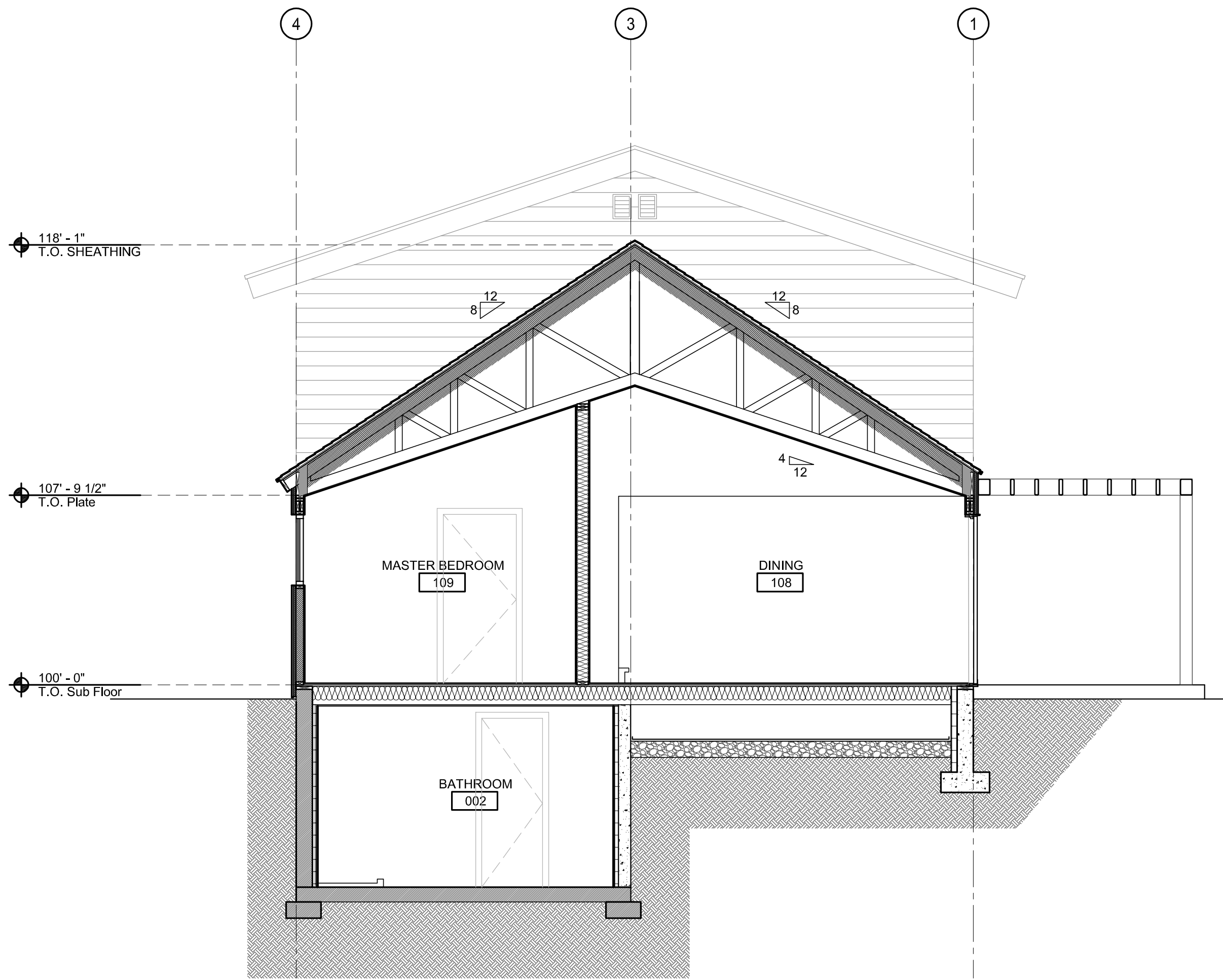
2  
A301  
BUILDING SECTION  
1/4"=1'-0"





1  
A302  
BUILDING SECTION  
1/4"=1'-0"

LOCATION	R-VALUE	COUNTY REQ'D R-VALUE	EMP R-VALUE	DESCRIPTION
1. SOIL GAS BARRIER	N/A	N/A	N/A	1. INSTALL 4" PERF. PIPE IN PEA GRAVEL BED (NO FINES). 2. COVER GRAVEL BED WITH CONTINUOUS 10 MIL POLYETHYLENE SHEET SOIL GAS BARRIER ADHERED TO FOOTINGS. 3. PROVIDE VENT STACK THROUGH HEATED SPACE AND POWER IN CRAWL SPACE FOR EXHAUST FAN IF NECESSARY. INSTALL CONTINUOUS 2" EXTRUDED POLYSTYRENE INSULATION BOARD UNDER SLABS.
2. SLABS ON GRADE	R-10	R-10	N/A	INSTALL 3" SPRAY FOAM INSULATION (R-21) IN CAVITY. INSTALL 1" RIGID CONTINUOUS INSULATION (R-5) ON EXTERIOR WALL.
3. EXTERIOR FRAMED WALL CAVITIES	R-21 CI R5	R-25	R-28	INSTALL MINIMUM OF 2.5" SWD QUIK-SHIELD 112 SPRAY INSULATION (R-15).
4. CONCRETE STEM WALLS IN CRAWLSPACE	R-15	R-15	N/A	9.5" FORMALDEHYDE FREE BATT INSULATION (R-30)
5. FLOOR JOISTS OVER CONDITIONED SPACE	R-30	N/A	N/A	FILL SPACE WITH FRICTION-FIT FORMALDEHYDE FREE FIBERGLASS SOUND-ATTENUATION BATTS.
6. SOUND ISOLATION AT INTERIOR WALLS & FLOORS	N/A	N/A	N/A	INSTALL MINIMUM OF 9.5" WITH SWD QUIK-SHIELD 112 SPRAY INSULATION.
7. STICK FRAMED ROOFS	R-60	R-49	R-60	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
8. EXTERIOR DOORS AND WINDOWS	MAX U=0.31	MAX U=0.32	MAX U=.31	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
9. MECHANICAL AND ELECTRICAL PENETRATIONS.	N/A	N/A	N/A	
1• PROVIDE "TYVEK DRAINWRAP" OR EQUAL HOUSE WRAP OVER PLYWOOD SHEATHING AT ALL FRAMED EXTERIOR WALLS - TAPE ALL SEAMS W/ "TYVEK TAPE". • AT WINDOW AND DOOR ROUGH OPENINGS, CUT HOUSE WRAP IN A MODIFIED-I PATTERN PRIOR TO INSTALLING UNIT. • USE "TYVEK FLEXWRAP" OR EQUAL FOR FLASHING AT PANS & "TYVEK STRAIGHT FLASH" @ HEADS & LEGS. • PROVIDE APPROPRIATE "QUICKFLASH" OR EQUAL PRODUCT TO SEAL HOUSE WRAP AT ALL OTHER PENETRATIONS • LAP HOUSE WRAP OVER TOP EDGE OF ALL FLASHING AND DRIP EDGE METAL.				
2• ALL FIBERGLASS BATTS TO FILL SPACE WITH NO GAPS. SEE BUILDERS GUIDE TO COLD CLIMATES. • TRIM BATTS TO FIT AROUND AND BEHIND OBJECTS IN WALL AND ROOF CAVITIES SUCH AS ELECTRICAL JUNCTION BOXES				
3. SPRAY URETHANE (CLOSED CELL) SWD QUIK-SHIELD 112 SPRAY INSULATION TO BE USED AT ALL FLOOR RIM AND ROOF RIM SPACES.				
4.CAULK ALL PLATES. CAULK ALL CRACKS (TRIMMERS, PANEL JOINTS, ETC...) TO ENSURE AIR TIGHTNESS.				
5. CONTRACTOR TO ARRANGE INSPECTION AT COMPLETION OF INSULATIONS INSTALLMENT AND PRIOR TO THE INSTALLATION OF ANY GYPSUM BOARD OR INTERIOR FINISH TRIM.				
6. PROVIDE INSULATION WRAP(R-5) ON ALL HOT WATER PIPING.				
7. EXPOSED SPRAY FOAM INSULATION IN CRAWLSPACE TO BE APPROVED IGNITION BARRIER OR PROTECTED WITH APPROVED THERMAL IGNITION BARRIER.				
8. CONTRACTOR TO ENSURE AIR-TIGHTNESS OF THERMAL ENVELOPE AND AIR BARRIER. CONTRACTOR SHALL BE RESPONSIBLE FOR PASSING BLOWER DOOR TEST AS REQUIRED IN 2012 IECC CHAPTER 4 AND 2015 IRC CHAPTER 11.				



2  
A302  
BUILDING SECTION  
1/4"=1'-0"

500 E KELLY  
JACKSON WY  
500 E KELLY



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PERMIT SET

12.23.2022  
DRAWN BY | F  
CHECKED BY | BH  
REVISIONS

BUILDING SECTIONS

A302

INSULATION SCHEDULE				
LOCATION	R-VALUE	COUNTY REQ'D R-VALUE	EMP R-VALUE	DESCRIPTION
1. SOIL GAS BARRIER	N/A	N/A	N/A	1. INSTALL 4" PERF. PIPE IN PEA GRAVEL BED (NO FINES). 2. COVER GRAVEL BED WITH CONTINUOUS 10 MIL POLYETHYLENE SHEET SOIL GAS BARRIER ADHERED TO FOOTINGS. 3. PROVIDE VENT STACK THROUGH HEATED SPACE AND POWER IN CRAWL SPACE FOR EXHAUST FAN IF NECESSARY.
2. SLABS ON GRADE	R-10	R-10	N/A	INSTALL CONTINUOUS 2" EXTRUDED POLYSTYRENE INSULATION BOARD UNDER SLABS.
3. EXTERIOR FRAMED WALL CAVITIES	R-21 CI R5	R-25	R-28	INSTALL 3" SPRAY FOAM INSULATION (R-21) IN CAVITY. INSTALL 1" RIGID CONTINUOUS INSULATION (R-5) ON EXTERIOR WALL.
4. CONCRETE STEM WALLS IN CRAWLSPACE	R-15	R-15	N/A	INSTALL MINIMUM OF 2.5" SWD QUIK-SHIELD 112 SPRAY INSULATION (R-15).
5. FLOOR JOISTS OVER CONDITIONED SPACE	R-30	N/A	N/A	9.5" FORMALDEHYDE FREE BATT INSULATION (R-30)
6. SOUND ISOLATION AT INTERIOR WALLS & FLOORS	N/A	N/A	N/A	FILL SPACE WITH FRICTION-FIT FORMALDEHYDE FREE FIBERGLASS SOUND-ATTENUATION BATTS.
7. STICK FRAMED ROOFS	R-60	R-49	R-60	INSTALL MINIMUM OF 9.5" WITH SWD QUIK-SHIELD 112 SPRAY INSULATION.
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• AT WINDOW AND DOOR ROUGH OPENINGS, CUT HOUSE WRAP IN A MODIFIED-I PATTERN PRIOR TO INSTALLING UNIT.				
• USE "TYVEK FLEXWRAP" OR EQUAL FOR FLASHING AT PANS & "TYVEK STRAIGHT FLASH" @ HEADS & LEGS.				
• PROVIDE APPROPRIATE "QUICKFLASH" OR EQUAL PRODUCT TO SEAL HOUSE WRAP AT ALL OTHER PENETRATIONS				
• LAP HOUSE WRAP OVER TOP EDGE OF ALL FLASHING AND DRIP EDGE METAL.				
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• TRIM BATTS TO FIT AROUND AND BEHIND OBJECTS IN WALL AND ROOF CAVITIES SUCH AS ELECTRICAL JUNCTION BOXES				
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