



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Housing Department

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers
- Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: January 23, 2023	<b>REQUESTS:</b>  The applicant is submitting a request for a Grading Pre-Application for the property located at 500 E Kelly Ave., legally known as LOT 1, BLK. 1, CLARK PIDN: 22-41-16-34-2-35-001  For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P23-003	
Planner: Katelyn Page	
Phone: 733-0440 ext. 1302	
Email: <a href="mailto:kpage@jacksonwy.gov">kpage@jacksonwy.gov</a>	
Owner: Kelly Jackson Investment II LLC 18301 Von Karman Ave STE 850 Irvine, CA 92612	
Applicant: Hoyt Architects PO Box 7364 Jackson, WY 83002	
Please respond by: <b>February 6, 2023 (with Comments)</b>	

**Owner:**

Kelly Jackson Investment II LLC  
18301 Von Karman Ave STE 850  
Irvine, CA 92612

**Applicant:**

Hoyt Architects  
PO Box 7364  
Jackson, WY 83002

**REQUESTS:**

The applicant is submitting a request for a Grading Pre-Application for the property located at 500 E Kelly Ave., legally known as LOT 1, BLK. 1, CLARK PIDN: 22-41-16-34-2-35-001

For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[blenz@jacksonwy.gov](mailto:blenz@jacksonwy.gov)



**PRE-APPLICATION CONFERENCE REQUEST (PAP)**  
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:  
P.O. Box 1687 [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

***For Office Use Only***

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

***Please note:*** Applications received after 3 PM will be processed the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

**PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_

PIDN: \_\_\_\_\_

**PROPERTY OWNER.**

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name, Agency: \_\_\_\_\_

Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

Property Owner

Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit  
 Use Permit  
 Development Option or Subdivision Permit  
 Interpretations of the LDRs  
 Amendments to the LDRs  
 Relief from the LDRs  
 Environmental Analysis

**This pre-application conference is:**  
 Required  
 Optional  
 For an Environmental Analysis  
 For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to [planning@jacksonwy.gov](mailto:planning@jacksonwy.gov)) of the submittal packet.

Have you attached the following?

**Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

**Narrative Project Description.** Please attach a short narrative description of the project that addresses:  
 Existing property conditions (buildings, uses, natural resources, etc)  
 Character and magnitude of proposed physical development or use  
 Intended development options or subdivision proposal (if applicable)  
 Proposed amendments to the LDRs (if applicable)

**Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:  
 Property boundaries  
 Existing and proposed physical development and the location of any uses not requiring physical development  
 Proposed parcel or lot lines (if applicable)  
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

**Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

**Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during [redacted] hours, after making a reasonable effort to contact the owner/applicant prior to entering.



---

Signature of Owner or Authorized Applicant/Agent

---

Date

---

Name Printed

---

Title



Town of Jackson  
150 E Pearl Avenue  
PO Box 1687, Jackson, WY 83001  
P: (307)733-3932 F: (307)739-0919  
www.jacksonwy.gov

Date:

## LETTER OF AUTHORIZATION

### NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Patty Chin, President

Being duly sworn, deposes and says that Kelly Jackson Investment II LLC is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 500 E Kelly Avenue

Legal Description: Lot 1, Blk. 1, Clark N:43.47440° W: 110.75261°

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Brad Hoyt, Hoyt Architects

Mailing address of Applicant/agent: PO Box 7364 Jackson, Wy 83002

Email address of Applicant/agent: BradH@hoytarchitects.design

Phone Number of Applicant/agent: 307.733.9955

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application       Building Permit Application

Public Right of Way Permit     Grading and Erosion Control Permit       Demolition Permit

Other (describe) \_\_\_\_\_

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF \_\_\_\_\_ )

) SS.

COUNTY OF \_\_\_\_\_ )

)

The foregoing instrument was acknowledged before me by \_\_\_\_\_ this \_\_\_\_\_  
day of \_\_\_\_\_, WITNESS my hand and official seal.

Notary Public

My commission expires:

*see attached for acknowledgement*

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Orange)

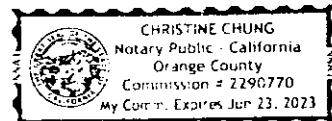
On 1/20/2023 before me, Christine Chung - Notary Public  
(insert name and title of the officer)

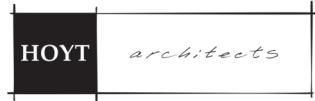
personally appeared Patty Chin,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.

Signature Christine Chung \_\_\_\_\_ (Seal)





December 29, 2022

Town of Jackson  
P.O. Box 1687  
Jackson, WY 83001

To whom it may concern,

The following narrative is to summarize the existing condition of the property and the proposed use of the building we are submitting for build permit. The existing residence of 2,856 square feet will be remodeled and we are proposing to add an additional 331 habitable square feet and 768 square feet on non-habitable. The project is located in NL-5 and will have a total of 3 units.

Sincerely,

DANIEL CARR  
307.733.9955  
Hoyt|ARCHITECTS

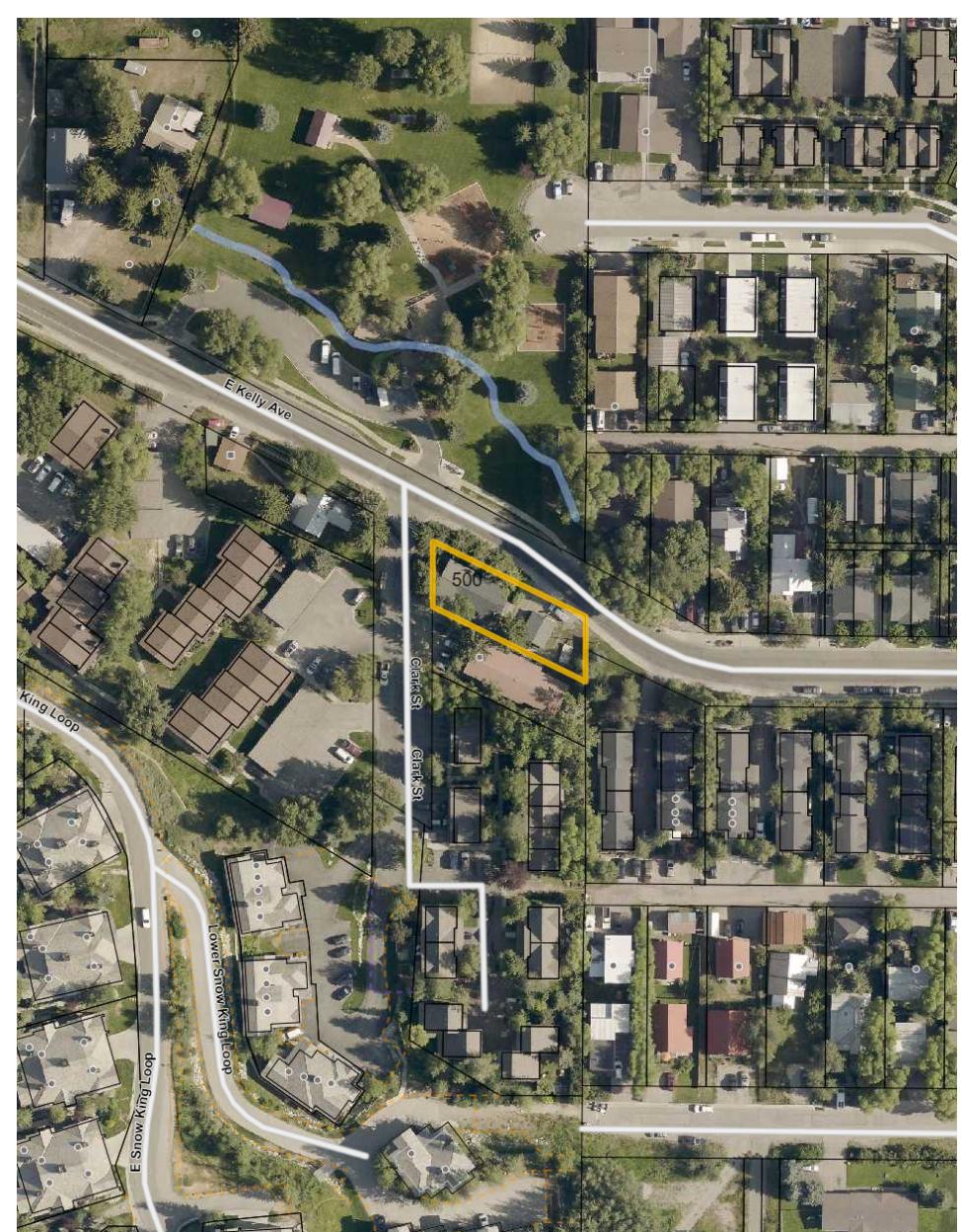
12.23.2022

## 500 E. Kelly



**PROJECT LOCATION**  
500 E Kelly  
Jackson, WY  
Parcel: 22-41-16-34-2-35-001

**VICINITY MAP:** Locator 



### OWNER

Kelly Jackson Investments  
18301 Von Karman Ave. Ste. 850  
Jackson, WY 83001

### LANDSCAPE ARCHITECT

Weaver & Associates PA  
Idaho Falls, ID  
208.529.9504  
weaverlandscape@gmail.com

### ARCHITECT

Hoyt Architects  
1110 Maple Way Suite F  
PO Box 7364 (83002)  
Jackson, WY (83001)  
307.733.9955  
Bradh@hoytarchitects.design

**STRUCTURAL ENGINEER**  
FROST Structural Engineering  
1020 Lincoln Road  
Idaho Falls, ID 83401  
(208) 227-8405

**MECHANICAL ENGINEER**  
CN Engineers  
410 S Cache St.  
Jackson, WY 83001  
(307) 733-8765

**ELECTRICAL ENGINEER**  
Dave Niles & Associates  
PO Box 191  
Jackson, WY 83001  
(307) 732-7400

**GENERAL CONTRACTOR**  
AUFDERHEIDE CONSTRUCTION  
MANAGEMENT (ACM)  
307-690-4741  
ben@acmwyoming.com

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G101 COVER SHEET

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#### GENERAL CONSTRUCTION NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2021 VERSION OF THE IBC AND THE CURRENT TOWN OF JACKSON LDRS INCLUDING ALL AMENDMENTS. ANY BUILDING OFFICIAL, SUBCONTRACTOR OR TRADES PERSON NOTING DISCREPANCIES SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY.  
2. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY TETON COUNTY BUILDING AND FIRE DEPARTMENTS, HUD, FHA, STATE ELECTRICAL INSPECTOR OR OTHER GOVERNING AUTHORITIES, AS NECESSARY.  
3. ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT COUNTY LANDFILL OR RECYCLING FACILITY ONLY. NO DEBRIS IS TO BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES. ON-SITE REFUSE BURNING WILL BE DONE ONLY WITH APPROVAL OF OWNER AND TETON COUNTY SHERIFF.

4. EXCEPT IN INTERIOR ELEVATIONS, AND UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE AND C.M.U. WALL. INTERIOR ELEVATION DIMENSIONS ARE GIVEN TO FACE OF FINISH MATERIAL. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION, VERIFY DISCREPANCIES WITH ARCHITECT.

5. CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. STORAGE OF SUPPLIES SHALL REMAIN DRY.

6. ALL SUBSTITUTIONS ARE TO BE APPROVED BY ARCHITECT/OWNER, ALONG WITH WRITTEN REQUESTS. CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION, INCLUDING COST, AVAILABILITY AND REASON FOR SUBSTITUTION.

7. SOLID WOOD BLOCKING, INSULATION OR OTHER FIRESTOP MATERIAL IS TO BE PROVIDED BETWEEN STORIES, BETWEEN TOP STORY AND ROOF SPACE, BETWEEN STAIR STRINGERS AT TOP AND BOTTOM, BETWEEN STUDS ALONG STAIR RUNS AND AT ALL OTHER PLACES THAT COULD ALLOW THE PASSAGE OF FLAME. FIRESTOPPS BETWEEN CHIMNEY AND WOOD FRAME SHALL BE NON-COMBUSTIBLE.

8. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES AND STAIN COLORS FOR APPROVAL BY ARCHITECT/OWNER. THIS INCLUDES BUT IS NOT LIMITED TO INTERIOR AND EXTERIOR STAINS, INTERIOR PAINT, SHEETROCK TEXTURES, CHEMICALLY APPLIED METAL PATINAS, AND STONE VENEER MATERIAL & MASONRY TECHNIQUE.

9. PROVIDE GROUNING SYSTEM AS PER NEC ARTICLE 250-1C, SIZED IN ACCORDANCE WITH TABLE 250-94. ATTACHED TO REBAR IN CONCRETE FOOTING, ALSO ATTACHED TO SINGLE DRIVEN GROUNING ROD WITH SECONDARY GROUNING PROTECTIONS AT METAL WATER SUPPLY SYSTEM.

10. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH WARRANTY GUIDELINES.

11. ALL SITE MATERIALS SHALL BE COMPAKTED IN 6" TO 8" LIFTS, UNLESS OTHERWISE NOTED TO PREVENT SETTLING OF FINISH GRADE, WALKS, DRIVEWAYS, TERRACES, ETC.

12. CONTRACTOR RESPONSIBLE FOR PROVIDING, COORDINATION AND SUPERVISING TRENCHING OF UTILITIES AND SERVICES TO AND FROM BUILDING. COORDINATION SHALL INCLUDE CONTRACTOR'S REASONABLE EFFORTS TO COMBINE AS MANY DIFFERENT UTILITIES IN COMMON TRENCHES AS PRACTICAL AND GOOD PRACTICE PERMIT.

#### CODES UTILIZED

ZONING DISTRICT - NL-5  
OCCUPANCY/USE - V-B  
CONSTRUCTION START: April, 2023  
FIRE SPRINKLERS - YES  
CODES UTILIZED - IBC 2021, IBC 2021, IPC 2021, IMC 2021, NEC 2020, IECC 2012  
SEISMIC DESIGN - CATEGORY D2  
SNOW LOAD - 75PSF  
WIND LOAD - 115 MPH  
LOT AREA - .20 ac  
PARKING - 6

#### AREA CALCULATIONS

	EXISTING	NEW	TOTAL
BASEMENT ARU	875 sf	-347 sf	528 sf
MAIN LEVEL	1,570 sf	38 sf	1,608 sf
UPPER LEVEL	411 sf	0 sf	411 sf
ATTACHED ARU	0 sf	640 sf	640 sf
<b>TOTAL HABITABLE</b>	<b>2,856 sf</b>	<b>331 sf</b>	<b>3,187 sf</b>
GARAGE		768 sf	768 sf
<b>TOTAL GROSS</b>	<b>2,856 sf</b>	<b>1,099 sf</b>	<b>3,955 sf</b>

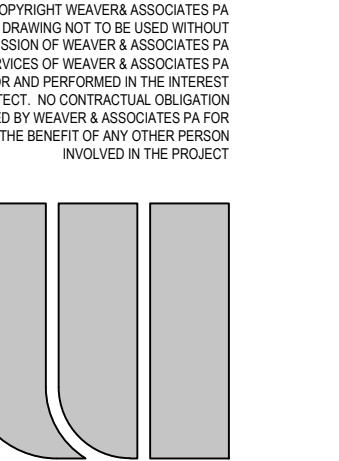
500 E KELLY  
JACKSON WY

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PERMIT SET

12.23.2022  
DRAWN BY |  
CHECKED BY | BH  
REVISIONS

COVER SHEET

G101



WEAVER & ASSOCIATES PA  
LANDSCAPE ARCHITECTURE - LAND PLANNING  
1605 SOUTH WOODRUFF AVENUE  
IDAHO FALLS, IDAHO 83404  
(208) 529-9504

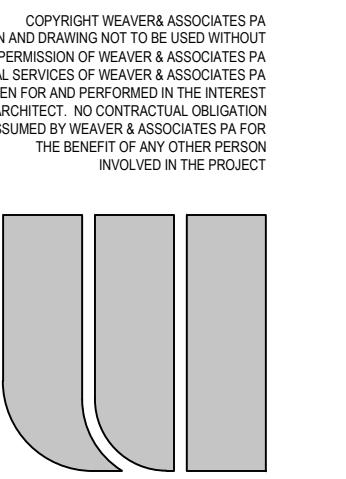
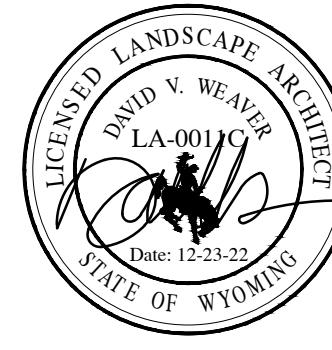
Jackson Wyoming  
307.733.9955

NOTES:  
(1) ELEVATIONS ARE NAVD88 BASED ON THE TETON COUNTY CONTROL  
NETWORK  
(2) THE BUILDING FOOTPRINTS AS SHOWN REPRESENT FIELD MEASUREMENTS  
MAPPED AS PART OF THIS SURVEY AND ARE NOT INTENDED TO  
REPRESENT ARCHITECTURAL DIMENSIONS.

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ARE UNDERTAKEN FOR AND PERFORMED IN THE INTEREST  
OF THE CONTRACTOR AND NOT THE OWNER. THE CONTRACTOR  
IS ASSUMED TO BEAR THE COST OF ANY OTHER PERSON  
INVOLVED IN THE PROJECT







WEAVER & ASSOCIATES PA

LANDSCAPE ARCHITECTURE - LAND PLANNING  
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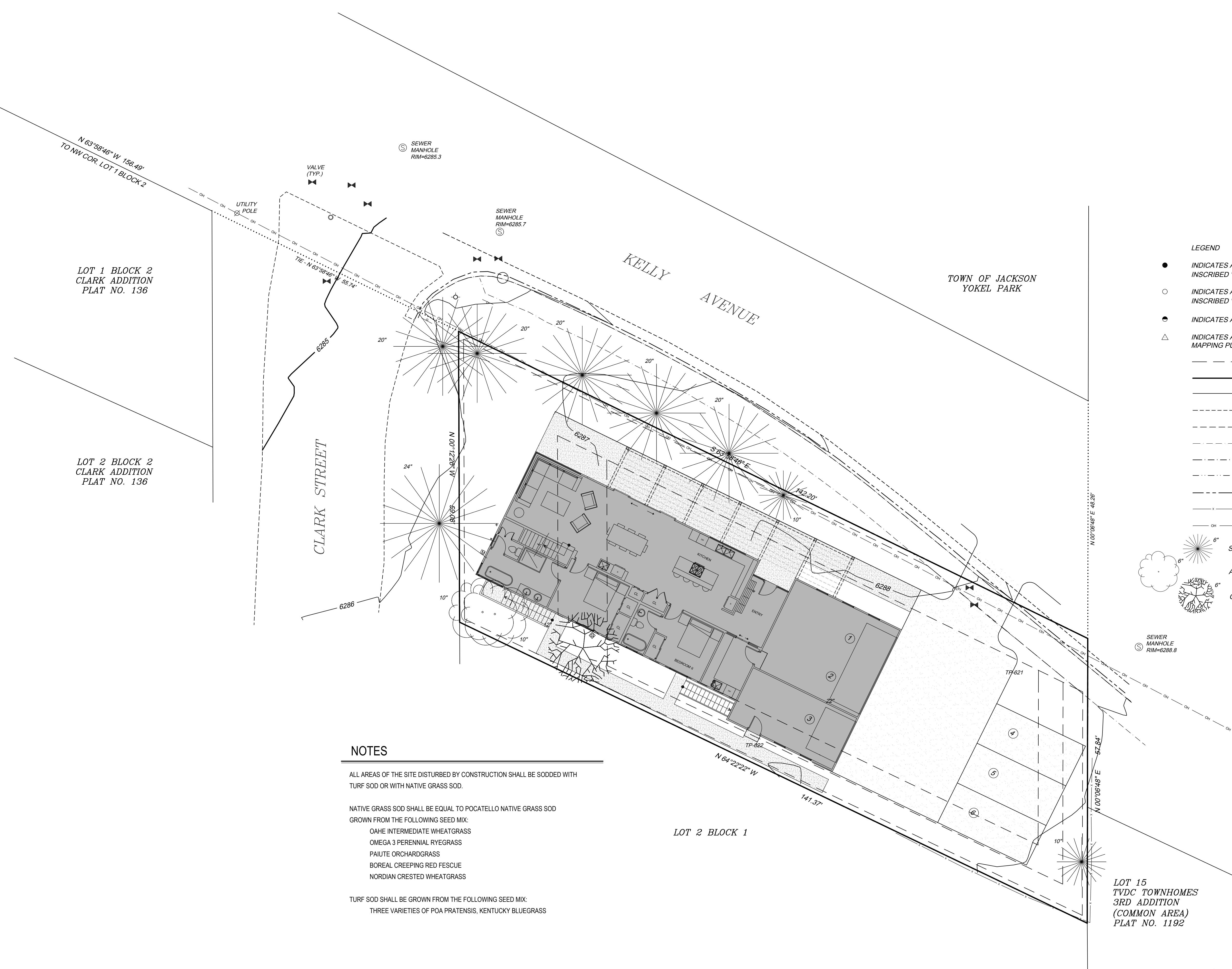
LEGEND

- INDICATES A 5/8 INCH DIAMETER STEEL REBAR WITH AN ALUMINUM CAP INSCRIBED "P&L 578" FOUND THIS SURVEY
- INDICATES A 5/8 INCH DIAMETER STEEL REBAR WITH AN ALUMINUM CAP INSCRIBED "PLS 3831" FOUND THIS SURVEY
- INDICATES A 5/8 INCH DIAMETER STEEL REBAR FOUND THIS SURVEY
- △ INDICATES A STEEL SPIKE SET THIS SURVEY FOR ORIENTATION AND MAPPING PURPOSES

- SETBACK LINES
- SUBJECT LOT LINE
- ADJACENT LOT LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF CONCRETE
- EDGE OF PATIO
- TOP BACK OF CURB
- FLOWLINE OF CURB
- FENCELINE
- OVERHEAD LINE

6" SPRUCE - APPROXIMATE TRUNK DIAMETER SHOWN  
6" ASPEN - APPROXIMATE TRUNK DIAMETER SHOWN  
6" COTTONWOOD - APPROXIMATE TRUNK DIAMETER SHOWN

500 E KELLY  
JACKSON WY



NOTES

ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH TURF SOD OR WITH NATIVE GRASS SOD.

NATIVE GRASS SOD SHALL BE EQUAL TO POCATELLO NATIVE GRASS SOD GROWN FROM THE FOLLOWING SEED MIX:  
OAE INTERMEDIATE WHEATGRASS  
OMEGA 3 PERENNIAL RYEGRASS  
PAIUTE ORCHARDGRASS  
BOREAL CREEPING RED FESCUE  
NORDIAN CRESTED WHEATGRASS

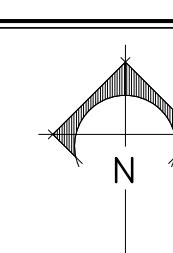
TURF SOD SHALL BE GROWN FROM THE FOLLOWING SEED MIX:  
THREE VARIETIES OF POA PRATENSIS, KENTUCKY BLUEGRASS

LOT 2 BLOCK 1

LOT 15  
TVDC TOWNHOMES  
3RD ADDITION  
(COMMON AREA)  
PLAT NO. 1192

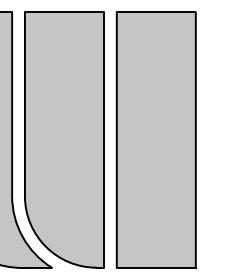
FINAL SITE CONDITIONS PLAN

GRAPHIC SCALE  
0 10 20 30  
1 INCH = 10 FEET  
1' CONTOUR INTERVAL





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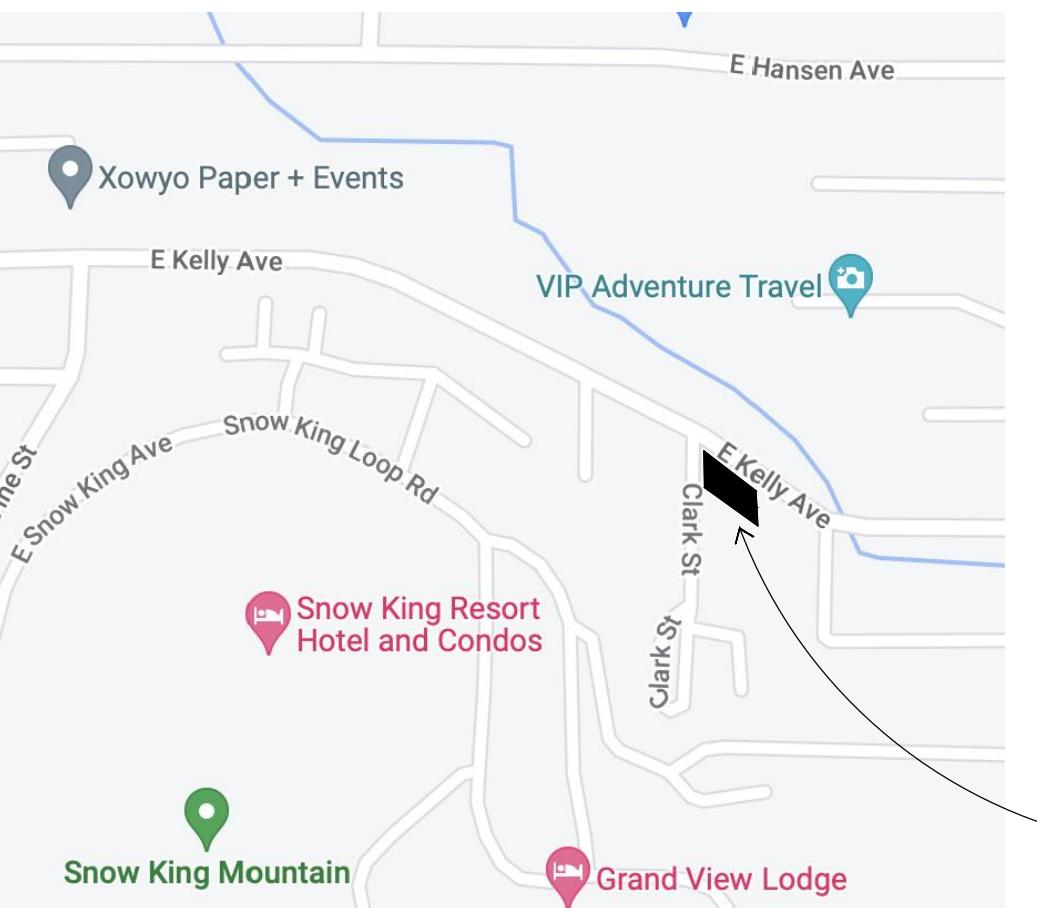


WEAVER & ASSOCIATES PA

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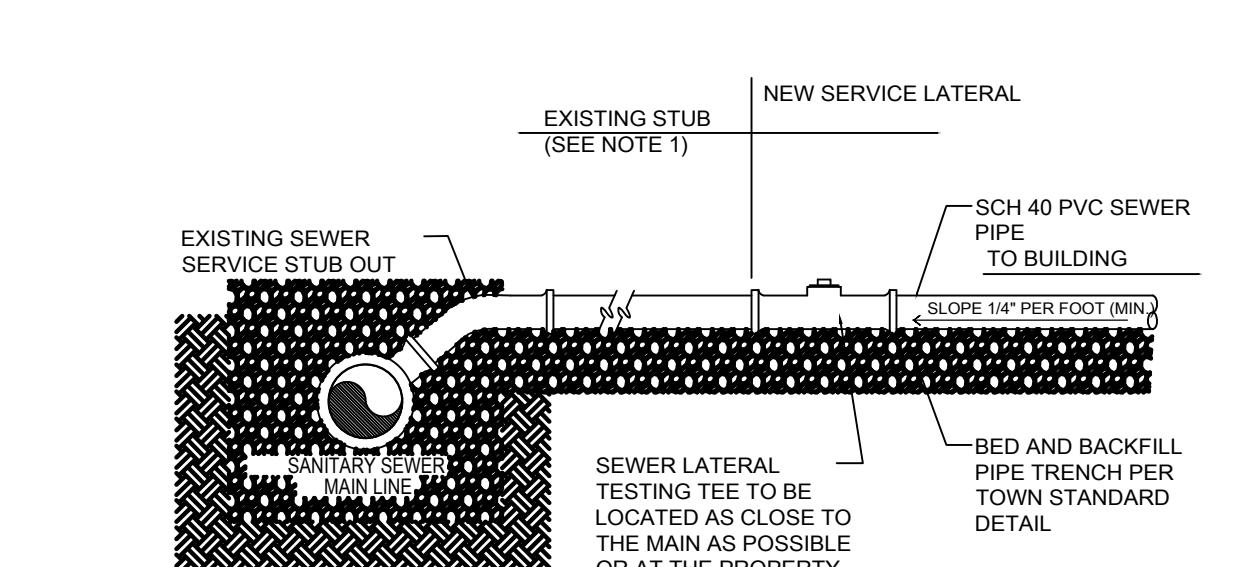
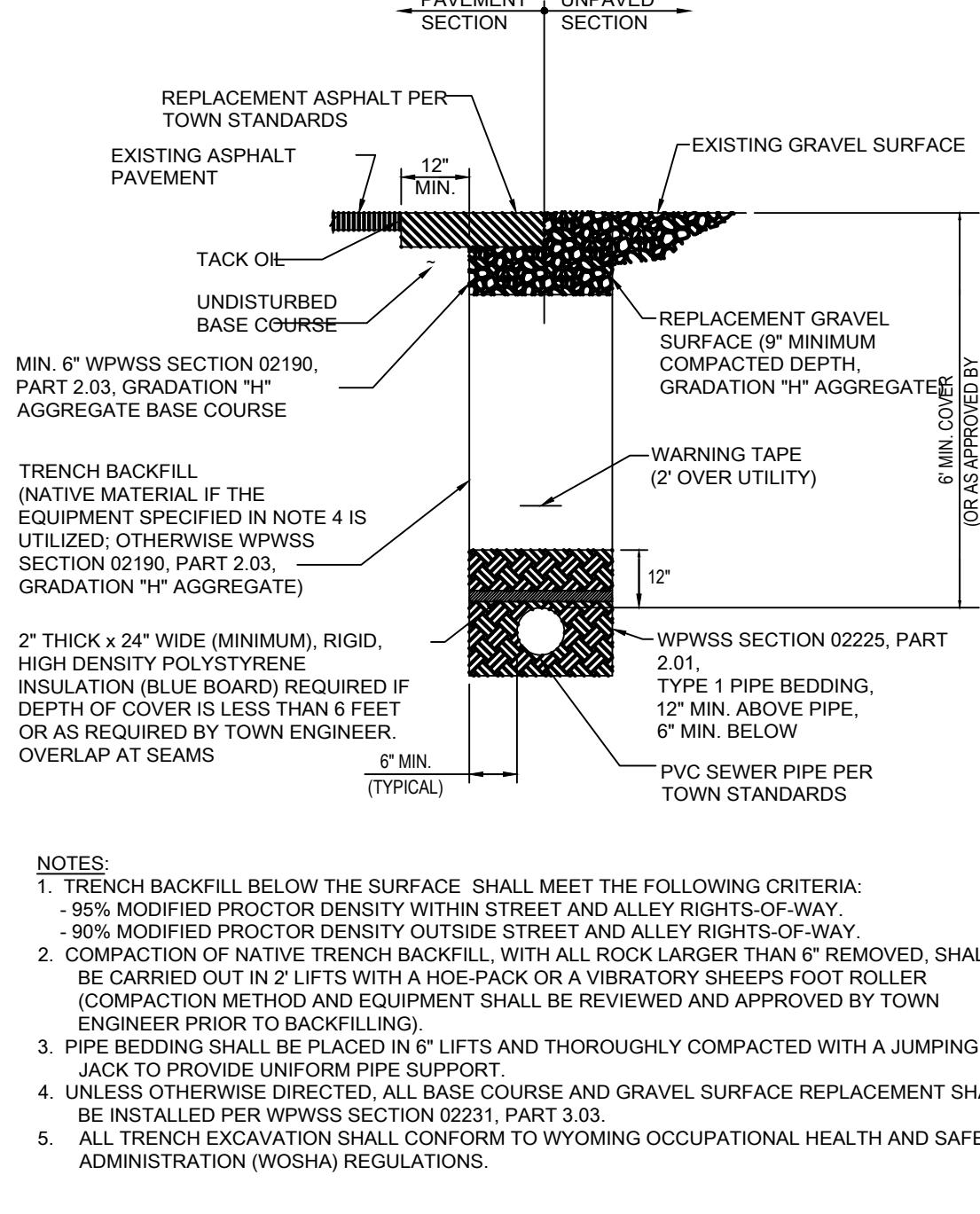
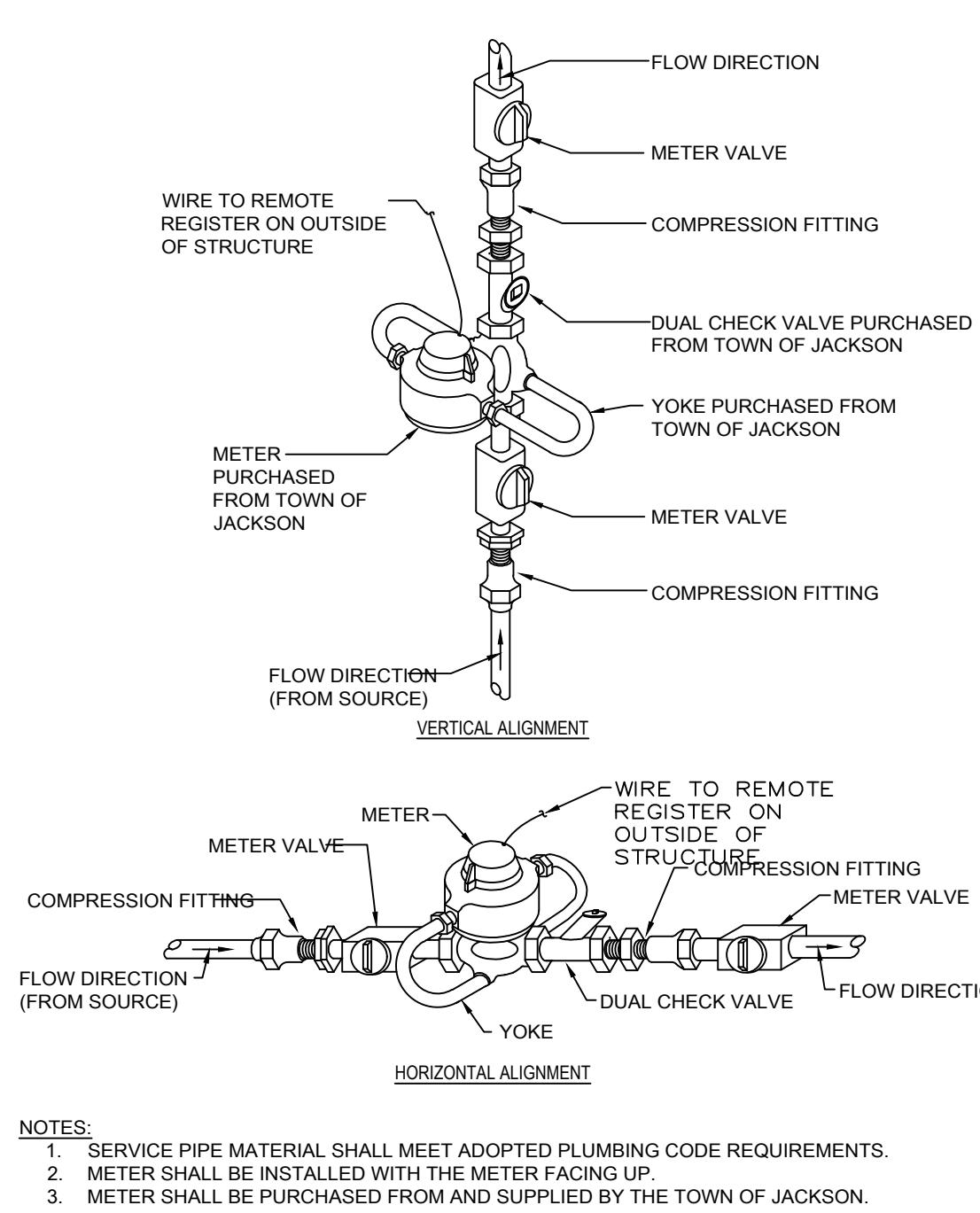
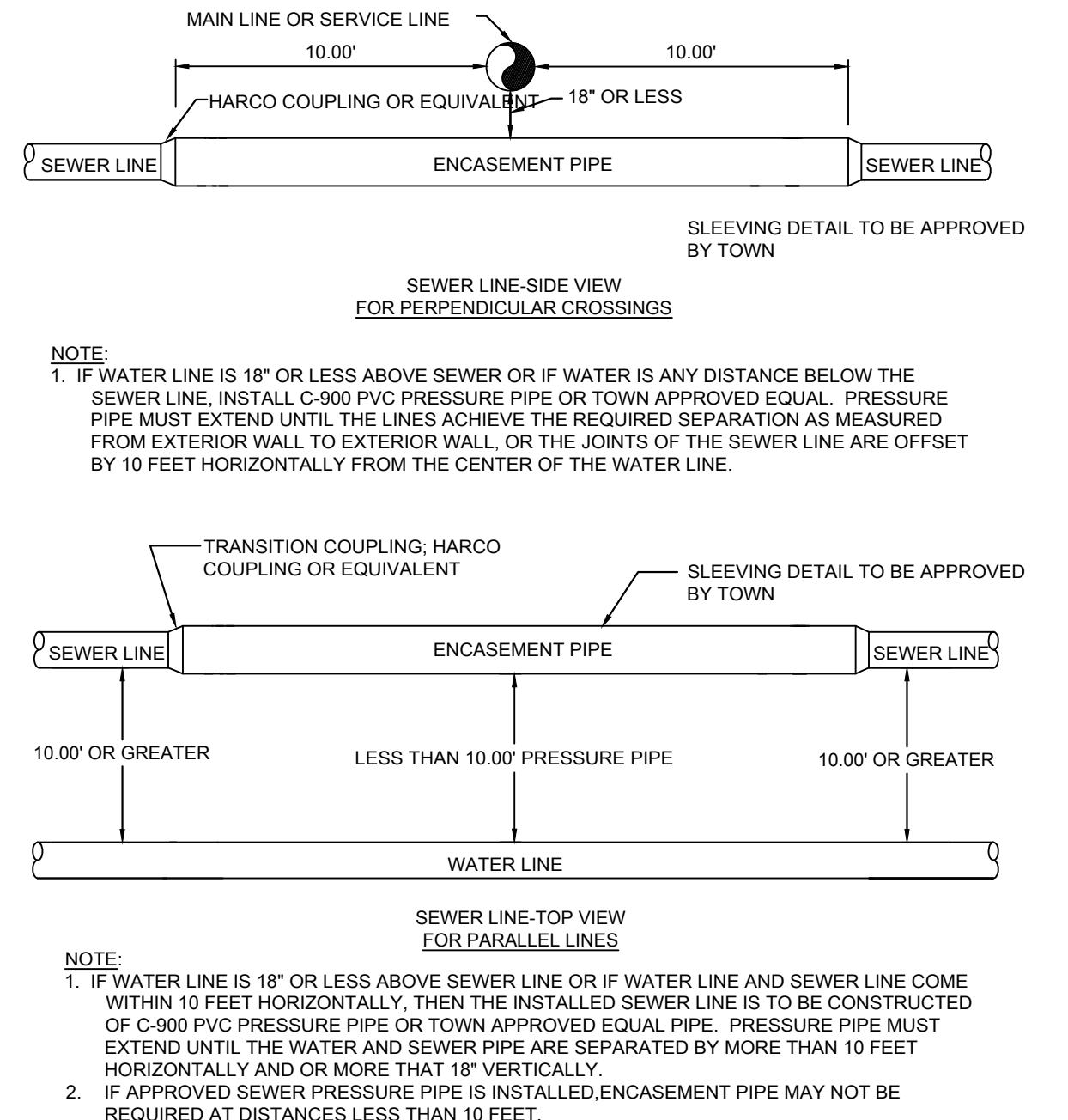
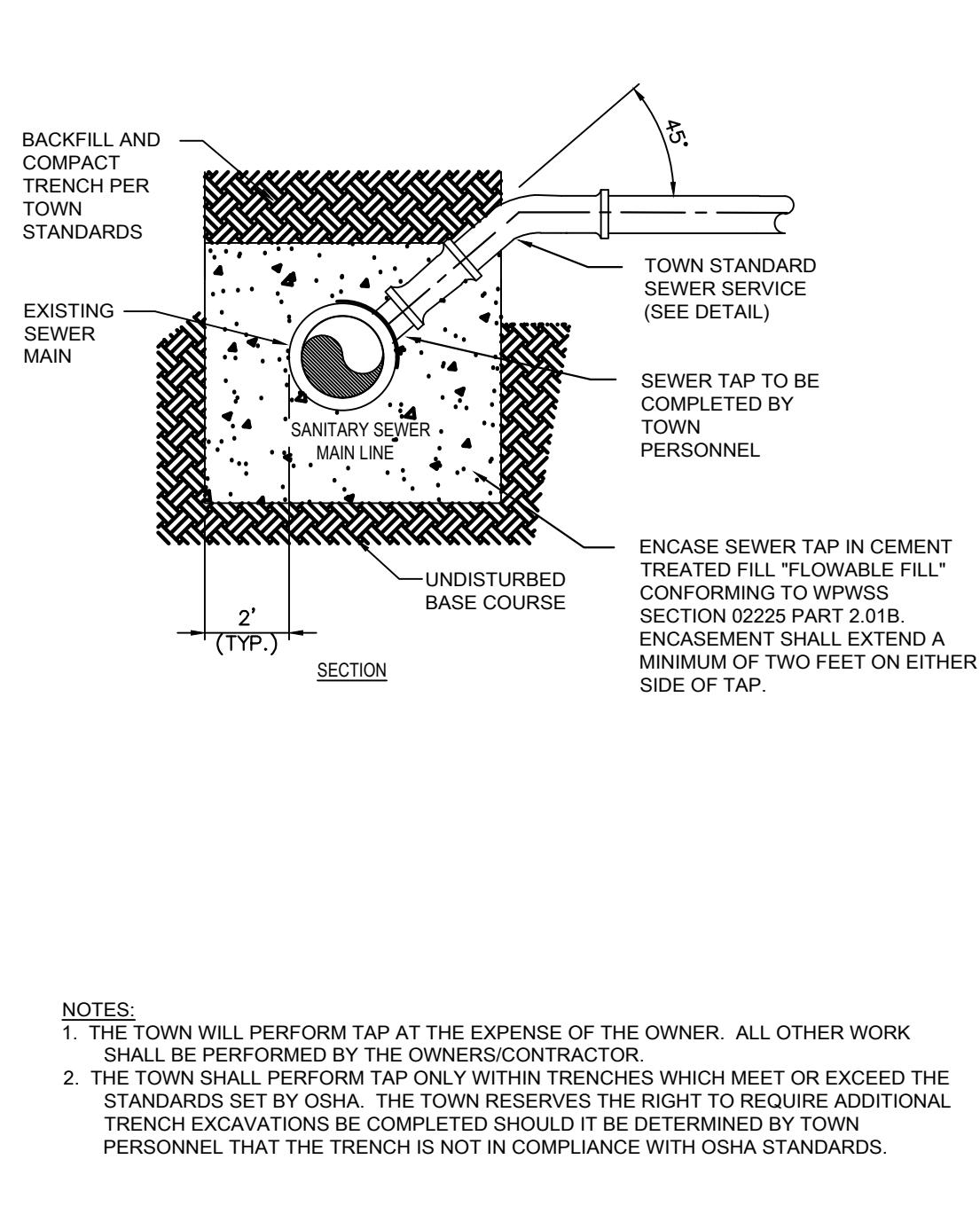
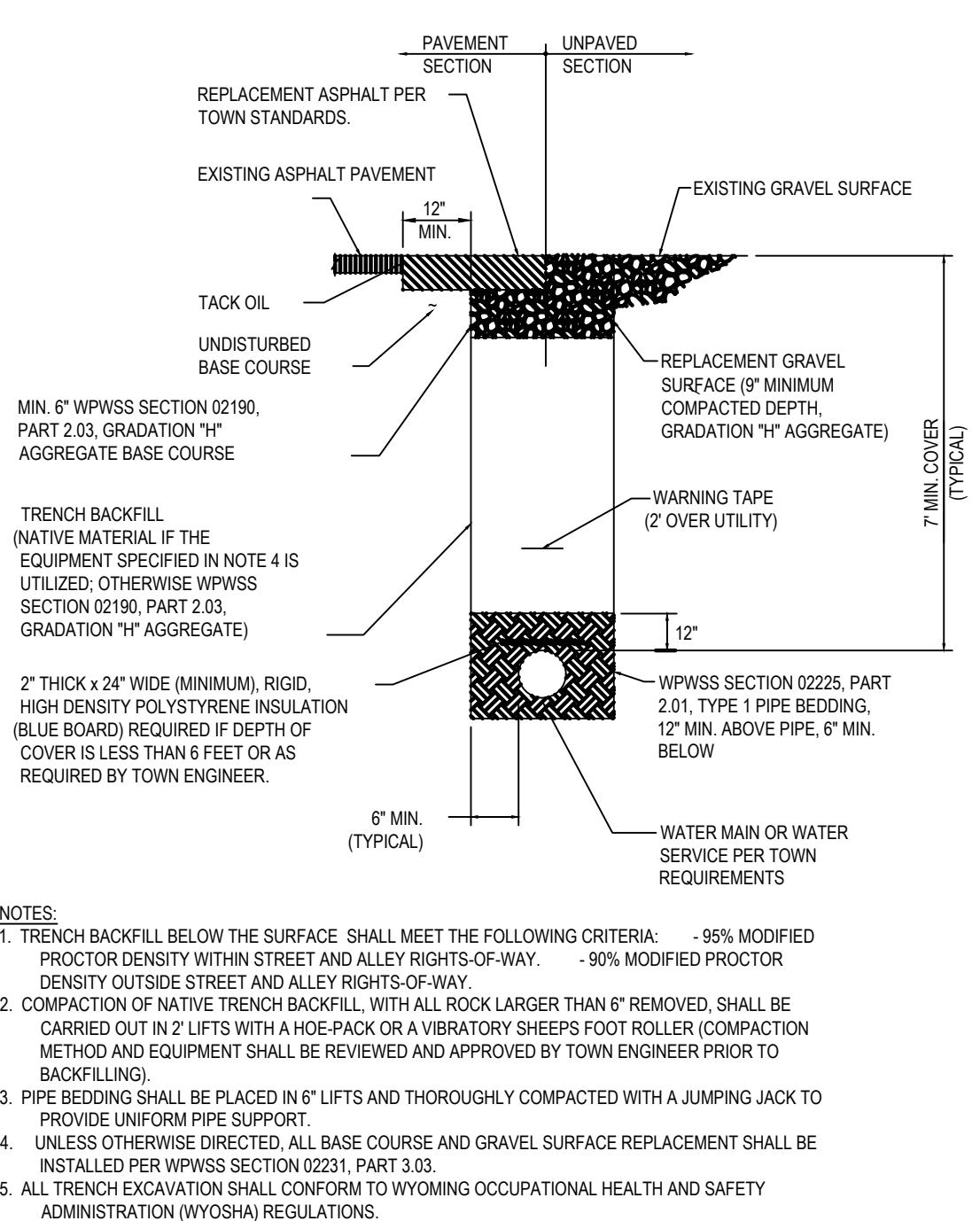
SUBJECT  
PROPERTY  
500 KELLY

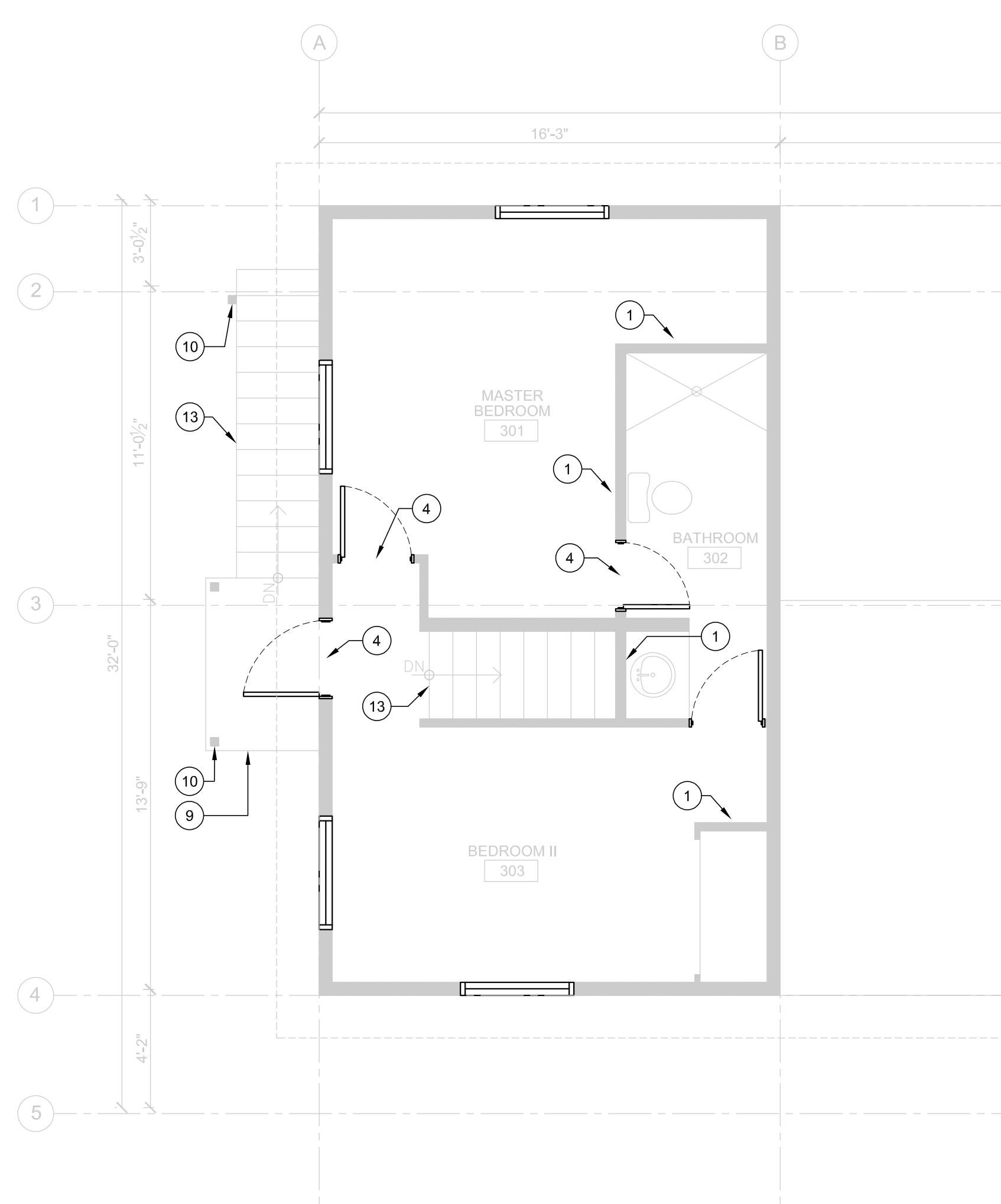
VICINITY MAP



500 E KELLY  
JACKSON WY

500 E KELLY  
JACKSON WY

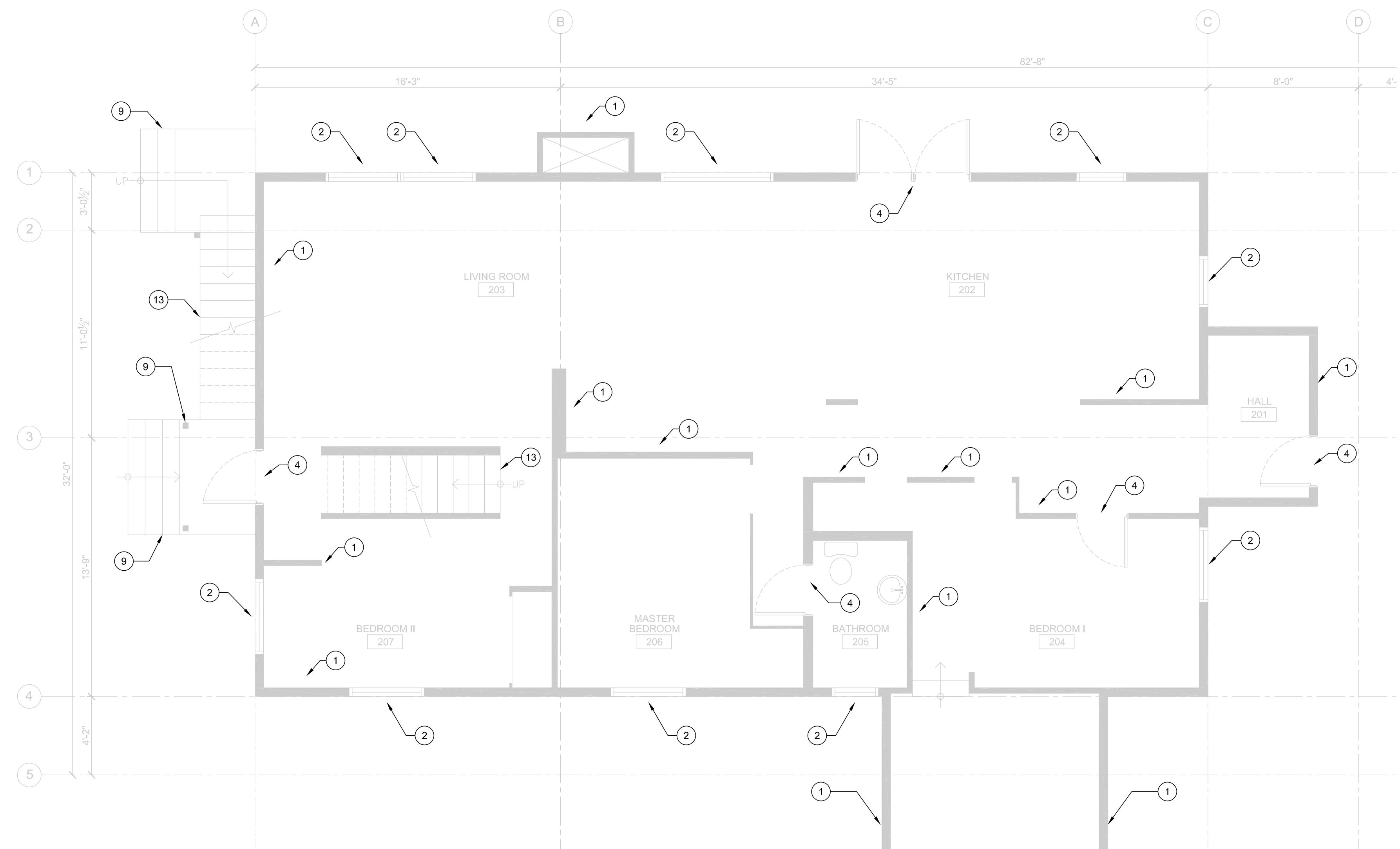



 Upper Level Demo/Existing Plan  
 1/4"=1'-0"

 NORTH  
 REF.

## DEMO NOTES

- ① REMOVE WALL STRUCTURE AND FINISHES.
- ② REMOVE EXISTING WINDOW.
- ③ REPLACE EXISTING WINDOW.
- ④ REMOVE EXISTING DOOR.
- ⑤ REMOVE EXISTING CASEWORK AND ANY ASSOCIATED PLUMBING FIXTURES.
- ⑥ REMOVE EXISTING FLOOR FINISH.
- ⑦ REMOVE EXISTING CEILING FINISH.
- ⑧ REPLACE WOOD DECK.
- ⑨ REMOVE DECK STRUCTURE.
- ⑩ REPLACE COLUMNS. SEE A101 FOR LOCATIONS.
- ⑪ REMOVE GARAGE DOOR.
- ⑫ REMOVE CONCRETE SLAB AND FOUNDATION WALLS.
- ⑬ REMOVE STAIRS AND SUPPORTING STRUCTURE.
- ⑭ REMOVE RAILING.
- ⑮ REMOVE FINISHES AND FRAMING FOR NEW WINDOW.
- ⑯ RELOCATE WATER HEATER AND SOFTENER. SEE MECHANICAL PLANS FOR LOCATION.
- ⑰ RELOCATE NATURAL GAS ENTRY. SEE SITE PLAN FOR LOCATION.
- ⑱ RELOCATE ELECTRICAL PANELS. SEE ELECTRICAL PLANS.
- ⑲ RELOCATE ELECTRICAL METER. SEE ELECTRICAL PLANS.
- ⑳ RELOCATE CRAWLSPACE ACCESS HATCH.


 Main Level Demo/Existing Plan  
 1/4"=1'-0"

 NORTH  
 REF.

 Basement Demo/Existing Plan  
 1/4"=1'-0"

 NORTH  
 REF.

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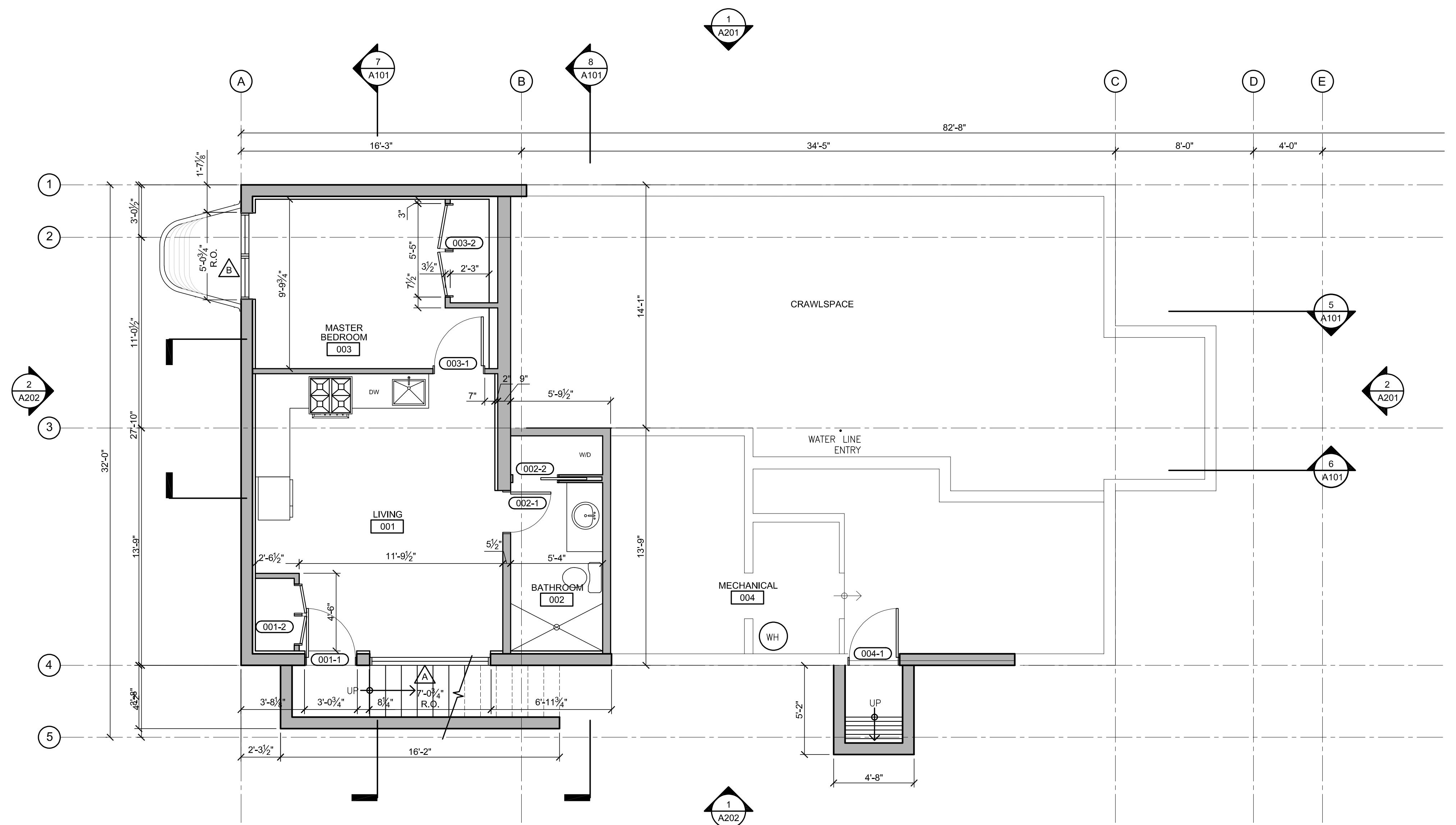
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EXISTING FLOOR PLANS

A001

GENERAL PLAN NOTES:

- Do not scale drawings. Contact Architect for any undocumented dimensions or clarifications of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- All dimensions are from gridline to centerline of structural columns, or to face of stud walls.
- All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.
- The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- Coordinate all windows and doors with schedules to determine rough opening dimensions.
- Where shown, furniture is for reference only and not in contract.
- All under floor walls shall have personnel openings with minimum dimensions of 24" x 30".
- Access and clear path of travel (24" x 30") not to exceed 20' in length shall be required to all mechanical equipment located in crawlspace.
- Crawl space access doors from conditioned space to unconditioned space shall be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces and the insulation shall be rigidly attached to the access door.


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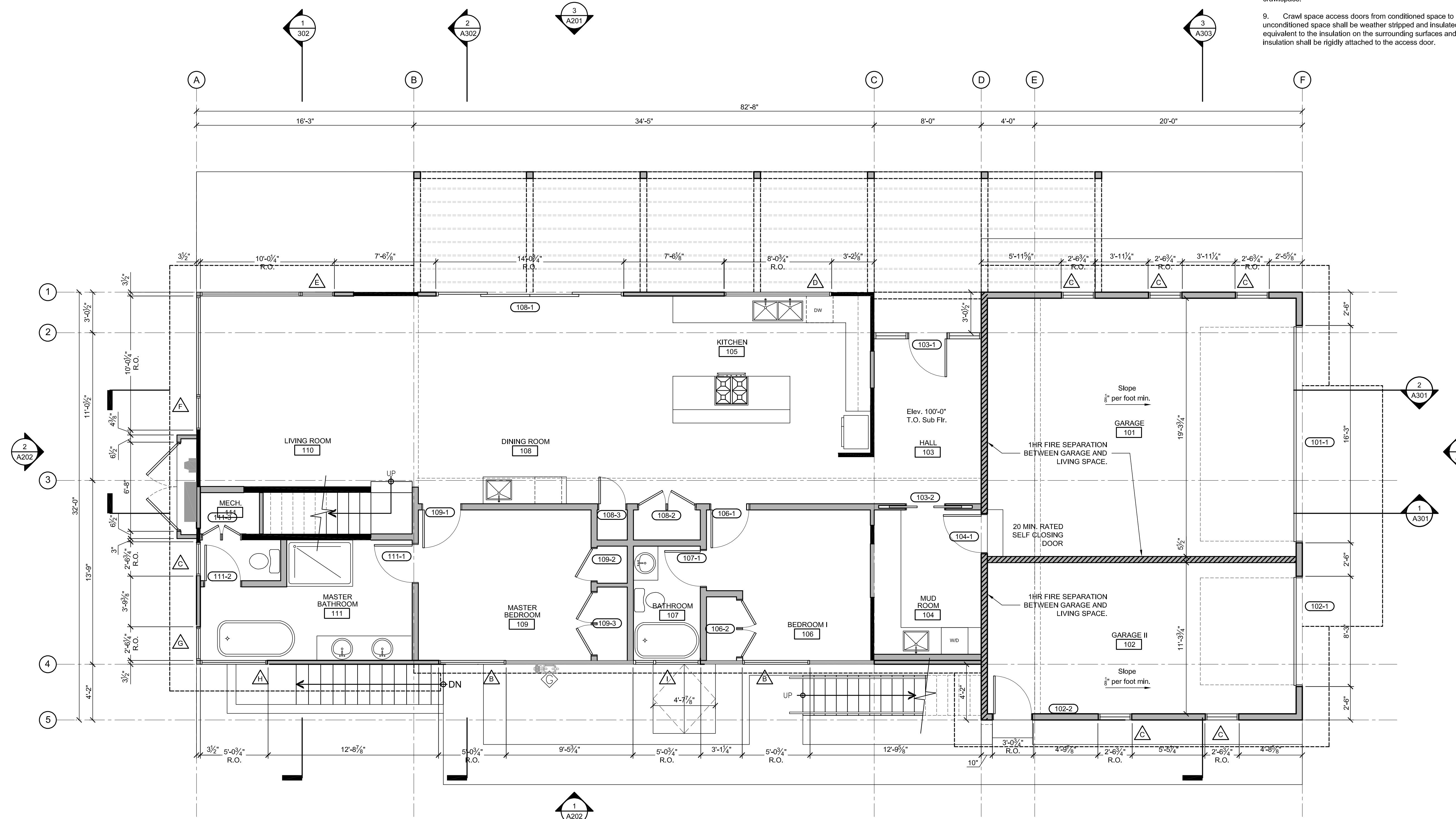
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 BASEMENT  
 FLOOR PLAN

A101

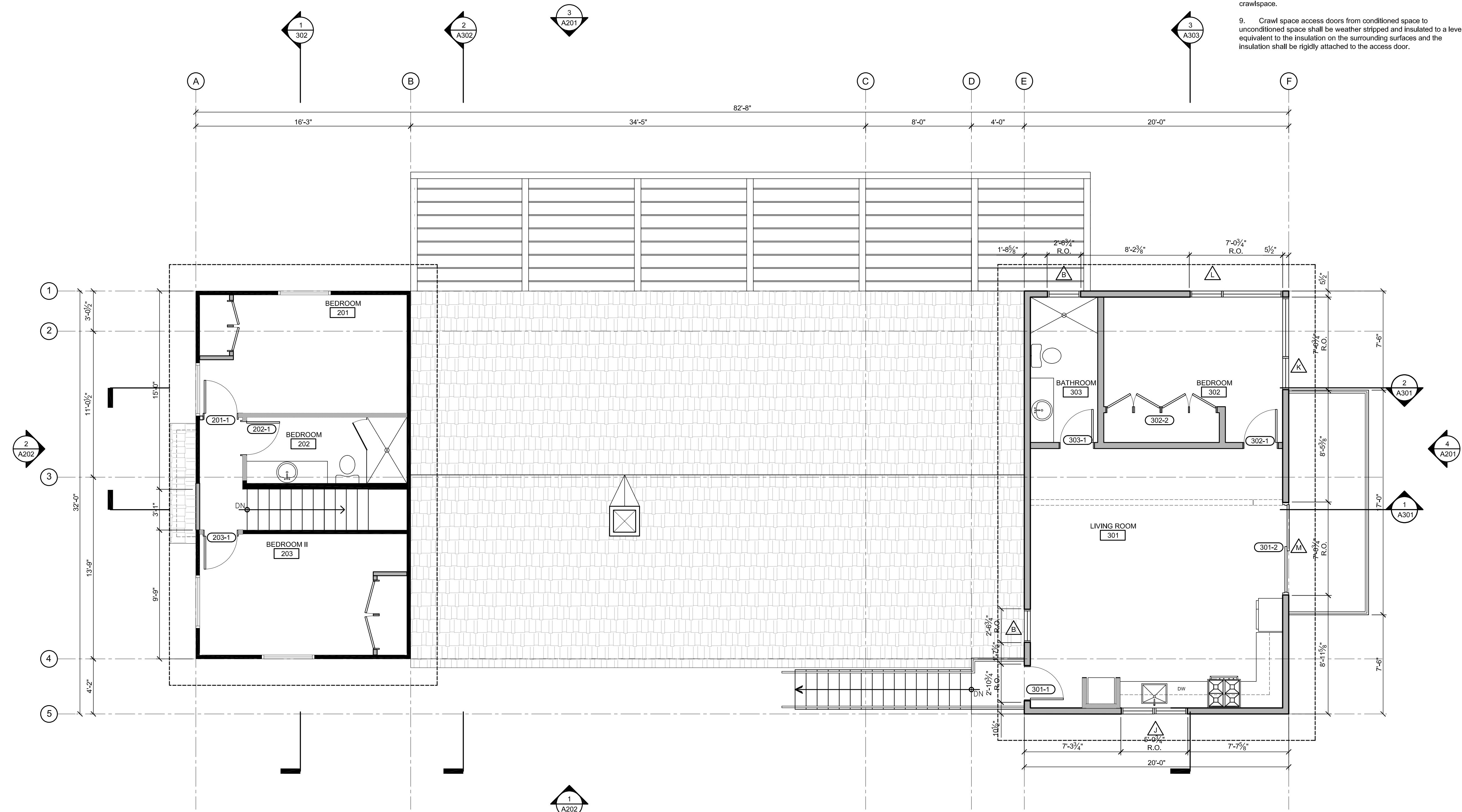
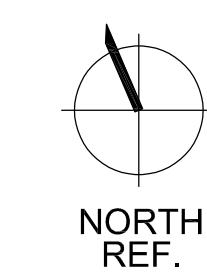
## GENERAL PLAN NOTES:

1. Do not scale drawings. Contact Architect for any undocumented dimensions or clarifications of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
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9. Crawl space access doors from conditioned space to unconditioned space shall be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces and the insulation shall be rigidly attached to the access door.



## GENERAL PLAN NOTES:

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5. Coordinate all windows and doors with schedules to determine rough opening dimensions.
6. Where shown, furniture is for reference only and not in contract.
7. All under floor walls shall have personnel openings with minimum dimensions of 24" x 30".
8. Access and clear path of travel (24" x 30") not to exceed 20' in length shall be required to all mechanical equipment located in crawlspace.
9. Crawl space access doors from conditioned space to unconditioned space shall be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces and the insulation shall be rigidly attached to the access door.


 1  
 A103  
 Upper Level Floor Plan  
 1/4"=1'-0"

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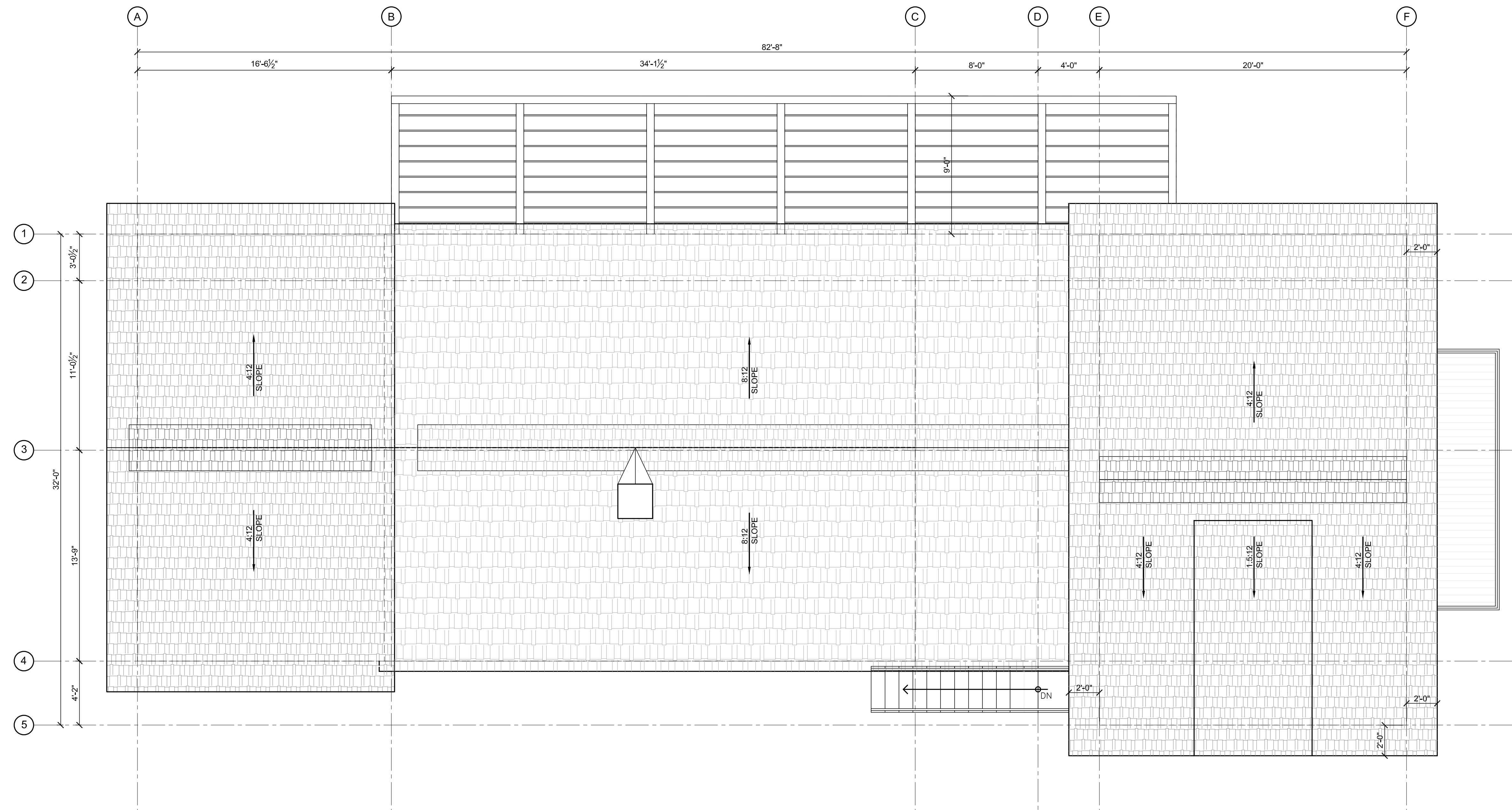

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 2ND LEVEL  
 FLOOR PLAN

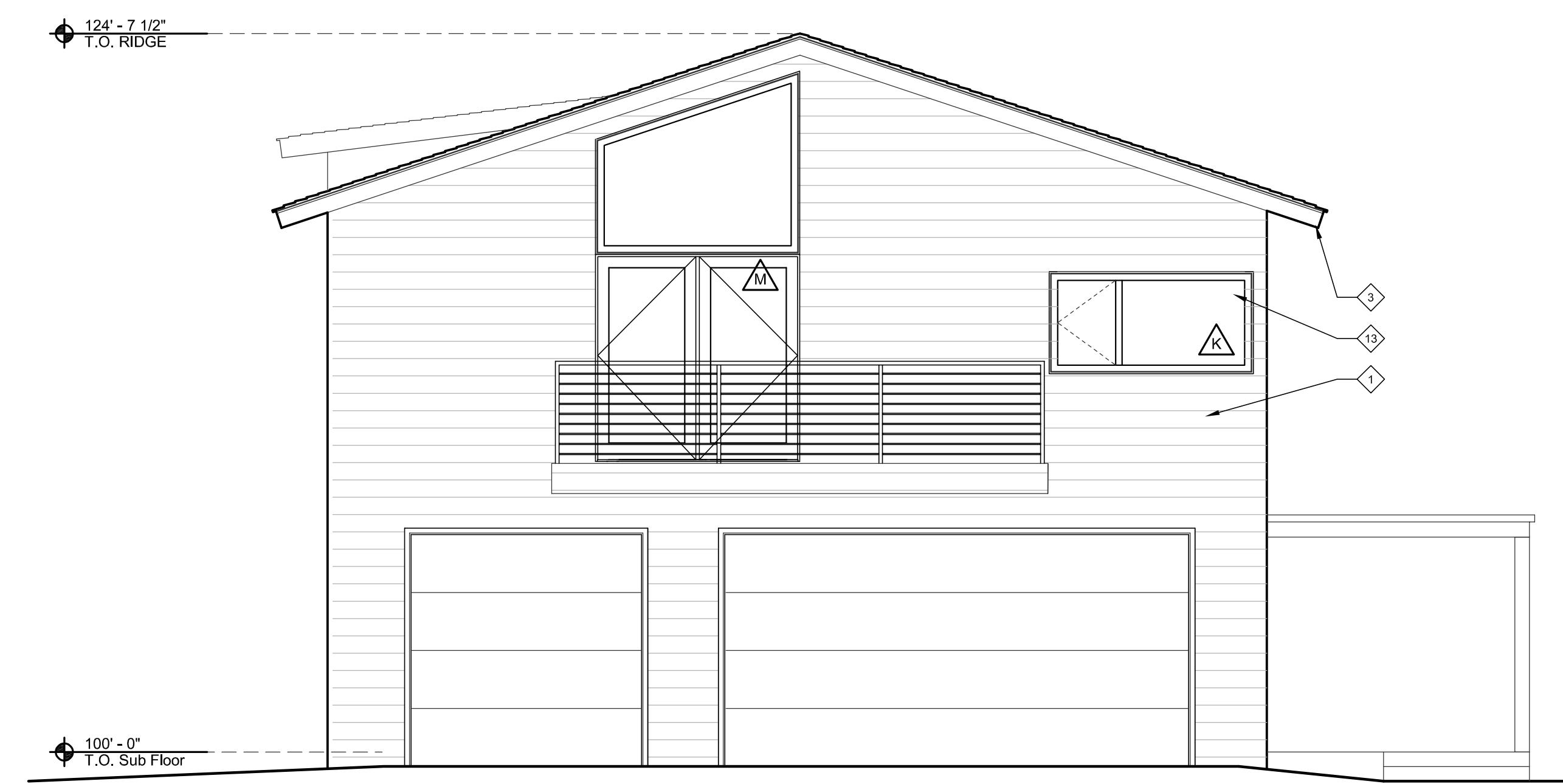
A103

ROOFING SCHEDULE	
ITEM	DESCRIPTION
1. UNDERLAYMENT	PROVIDE GRACE "ICE AND WATER SHIELD HT" IN THE FOLLOWING LOCATIONS. - AT ALL VALLEYS TO A POINT 48" UP EITHER SIDE. - AT ALL HORIZONTAL EAVES OVER HEATED SPACE, FROM EDGE OF ROOF TO A POINT 6'-0" UP SLOPE FROM THE OUTSIDE WALL OF HEATED SPACE BELOW. - AT ENTIRE ROOFS OF DORMERS AND LIVING/ENTRY GABLES. - PROVIDE TITANIUM PSU-30 IN ALL OTHER AREAS - INSTALL AS PER MANUFACTURERS INSTRUCTIONS - FOR SLOPES 4:12 AND LESS USE GRACE "ICE AND WATER SHIELD" UNDER ENTIRE ROOFING MATERIAL.
2. FLAT ROOF	90MIL REINFORCED EPDM MEMBRANE - FULLY ADHERED. PROVIDE 1/2" COVER BOARD OVER ROOF INSULATION.
3. ASPHALT SHINGLES	GAF TIMBERLINE HD SHINGLES. COLOR: SLATE (VERIFY WITH OWNER). INSTALL PER MANUFACTURERS GUIDELINES.
4. OTHER PENETRATIONS	VENT STACKS AND OTHER ROOFING PENETRATIONS SHALL BE SEALED WITH SPRAY-IN URETHANE INSULATION AS DENOTED IN INSULATION SCHEDULE. COVER WITH GRACE "ICE AND WATER SHIELD HT". EXTEND A MINIMUM OF 12" IN ALL DIRECTIONS FROM EDGE OF PENETRATION AND LAP 6" UP THE SIDE OF VENT STACK. VENT STACKS SHALL THEN BE COVERED WITH PRE-MANUFACTURED FLASHING WITH INTEGRAL CAP.
5. LOW PROFILE RIDGE VENT	PRE-MANUFACTURED LOW PROFILE VENT. MATCH ADJACENT ROOFING MATERIAL. INSTALL PER MANUFACTURERS GUIDELINES.




 1 NORTH ELEVATION  
 A201 1/4"=1'-0"

EXTERIOR MATERIAL SCHEDULE	
ITEM	DESCRIPTION
1. EXISTING SIDING.	EXISTING SIDING TO REMAIN. CLEAN AND RE-PAINT. COLOR: MATCH EXISTING.
2. NEW SIDING	METAL PANEL OR FIBER CEMENT BOARD. COLOR CHARCOAL.
3. SOFFIT	TBD
4. FLAT ROOF	SEE ROOFING SCHEDULE.
5. SHINGLE ROOF	ASPHALT SHINGLE ROOF. SEE ROOFING SCHEDULE.
6. METAL ROOF	SEE ROOFING SCHEDULE.
7. COLUMNS	STAINED NEW DOUG FIR. SEE STRUCTURAL DRAWINGS FOR SIZE. COLOR: CHARCOAL.
8. CONCRETE FOUNDATION	SEE STRUCTURAL DRAWINGS. AT ALL EXTERIOR FOUNDATIONS A FLUID APPLIED ASPHALT MEMBRANE SHALL BE APPLIED IN (2) VERY HEAVY COATS. ENSURE PROPER COVERAGE AT ALL PENETRATIONS AND TRANSITION OF FOUNDATION WALL & FOOTING.
9. DECKING	5/4x6 CLEAR KEBONY DECKING. ATTACH WITH STEP-CLIP FOR KEBONY.
10. FLASHING	INSTALL PAINT-LOCK METAL FLASHING AT LOCATIONS SHOWN AT ARCHITECTURAL DETAILS AND AS dictated BY GOOD CONSTRUCTION PRACTICE. ALL EXPOSED FLASHING TO BE PAINTED METAL. ROOF FLASHING COMPONENTS (VALLEYS, SIDEWALLS, END WALLS AND ROOF PITCH TRANSITIONS) TO BE 20 OZ. CURB AND SIDEWALL FLASHING TO EXTEND A MINIMUM OF 8" UP SIDE OF WALL AND 4" OVER ROOFING. VALLEY FLASHING TO BE A MINIMUM OF 24" WIDE "W-CRIMP". OTHER FLASHING COMPONENTS SUCH AS DRIP CAPS AND SIDING TO TRIM CONNECTIONS TO BE 16 OZ WITH 1/4" HEM AT EXPOSED BOTTOM EDGE. MATCH COLOR WITH ADJACENT MATERIAL. VERIFY WITH ARCHITECT AND OWNER.
11. GARAGE DOORS	EXISTING GARAGE DOORS.
12. EXTERIOR LIGHTING	SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS. SHALL MEET REQUIREMENTS OF DIV. 5.3.1 OF THE TETON COUNTY LDR'S.
13. WINDOWS	METAL CLAD WINDOWS. COLOR: BLACK. SEE WINDOW SCHEDULE FOR MANUFACTURER AND SIZES.
NOTES	1. PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES FOR OWNER AND ARCHITECTS APPROVAL.


 2 EAST ELEVATION  
 A201 1/4"=1'-0"

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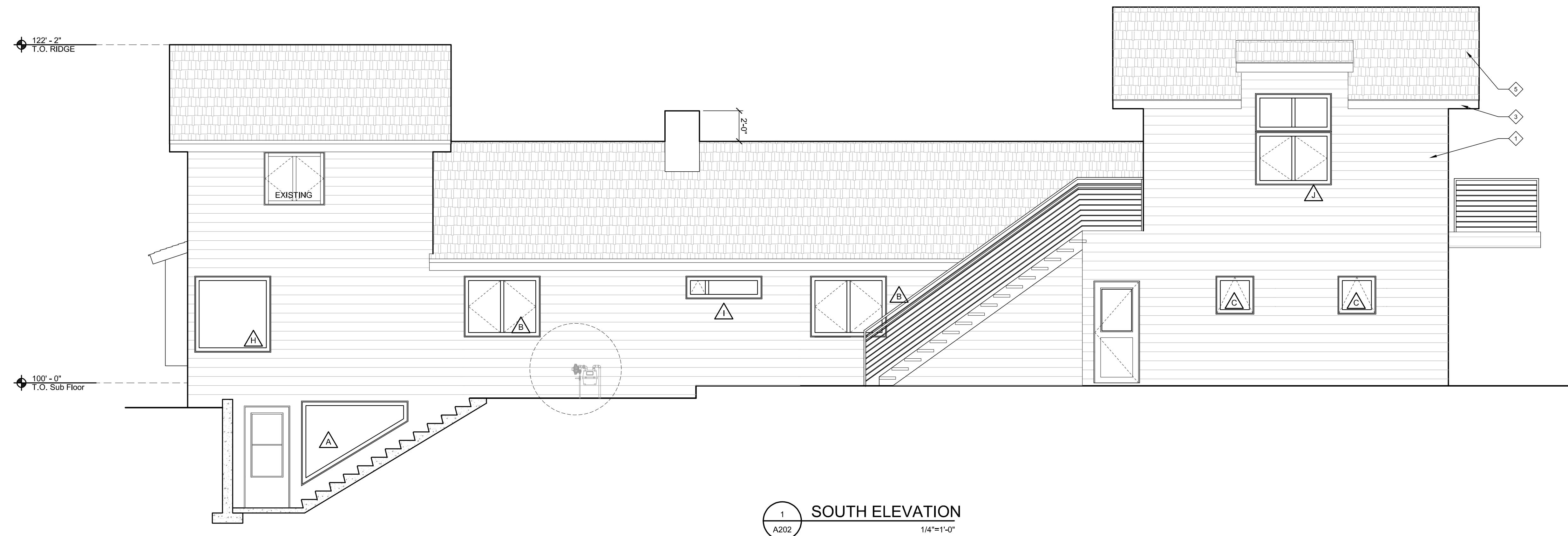

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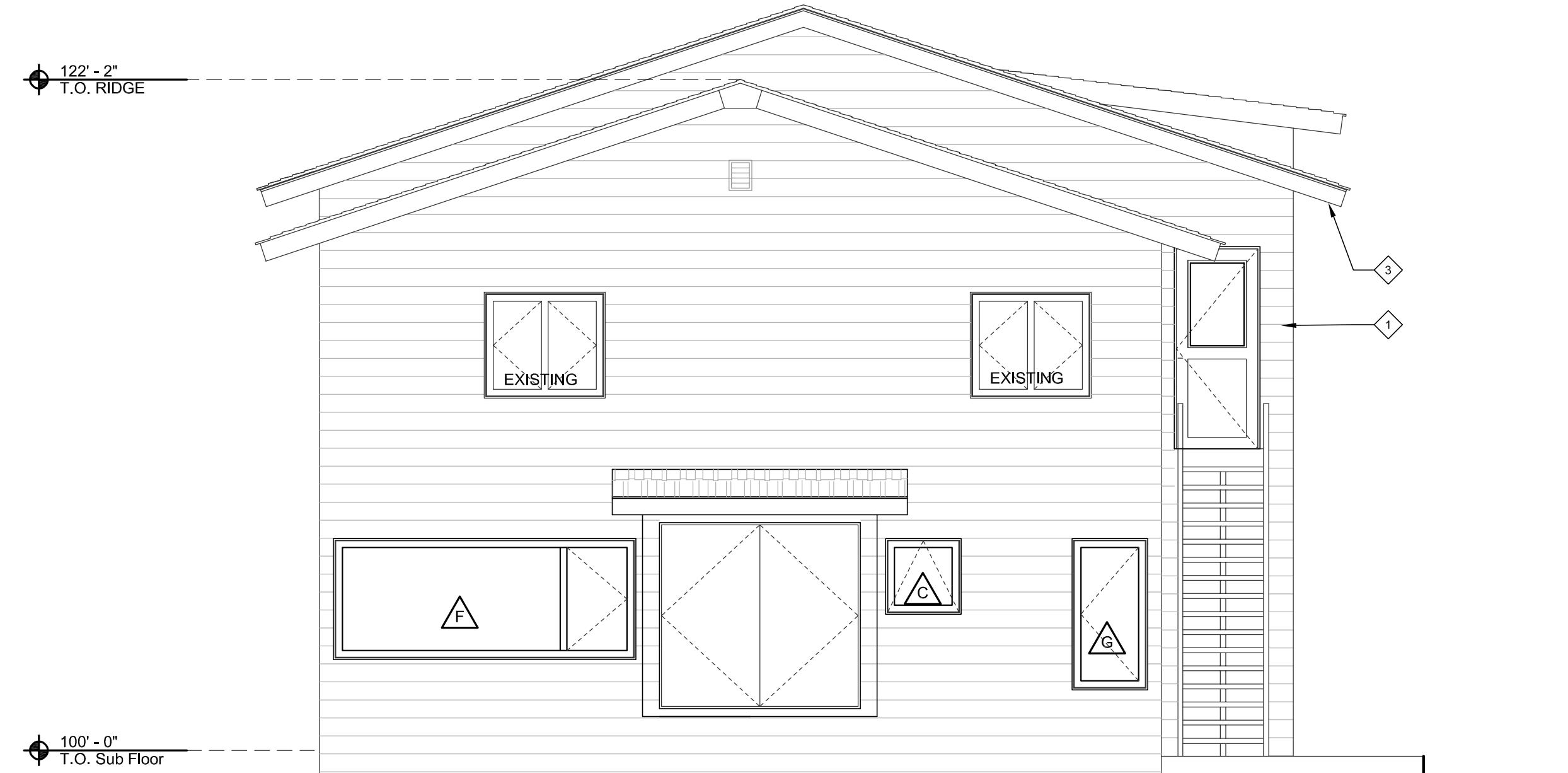
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EXTERIOR ELEVATIONS

A201



EXTERIOR MATERIAL SCHEDULE	
ITEM	DESCRIPTION
1. EXISTING SIDING.	EXISTING SIDING TO REMAIN. CLEAN AND RE-PAINT. COLOR: MATCH EXISTING.
2. NEW SIDING	METAL PANEL OR FIBER CEMENT BOARD. COLOR CHARCOAL.
3. SOFFIT	TBD
4. FLAT ROOF	SEE ROOFING SCHEDULE.
5. SHINGLE ROOF	ASPHALT SHINGLE ROOF. SEE ROOFING SCHEDULE.
6. METAL ROOF	SEE ROOFING SCHEDULE.
7. COLUMNS	STAINED NEW DOUG FIR. SEE STRUCTURAL DRAWINGS FOR SIZE. COLOR: CHARCOAL.
8. CONCRETE FOUNDATION	SEE STRUCTURAL DRAWINGS. AT ALL EXTERIOR FOUNDATIONS A FLUID APPLIED ASPHALT MEMBRANE SHALL BE APPLIED IN (2) VERY HEAVY COATS. ENSURE PROPER COVERAGE AT ALL PENETRATIONS AND TRANSITION OF FOUNDATION WALL & FOOTING.
9. DECKING	5/4x6 CLEAR KEBONY DECKING. ATTACH WITH STEP-CLIP FOR KEBONY.
10. FLASHING	INSTALL PAINT-LOCK METAL FLASHING AT LOCATIONS SHOWN AT ARCHITECTURAL DETAILS AND AS dictated BY GOOD CONSTRUCTION PRACTICE. ALL EXPOSED FLASHING TO BE PAINTED METAL. ROOF FLASHING COMPONENTS (VALLEYS, SIDEWALLS, END WALLS AND ROOF PITCH TRANSITIONS) TO BE 20 OZ. CURB AND SIDEWALL FLASHING TO EXTEND A MINIMUM OF 8" UP SIDE OF WALL AND 4" OVER ROOFING. VALLEY FLASHING TO BE A MINIMUM OF 24" WIDE "W-CRIMP". OTHER FLASHING COMPONENTS AND SUCH AS DRIP CAPS AND SIDING TO TRIM CONNECTIONS TO BE 16 OZ WITH 1/4" HEM AT EXPOSED BOTTOM EDGE. MATCH COLOR WITH ADJACENT MATERIAL. VERIFY WITH ARCHITECT AND OWNER.
11. GARAGE DOORS	EXISTING GARAGE DOORS.
12. EXTERIOR LIGHTING	SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS. SHALL MEET REQUIREMENTS OF DIV. 5.3.1 OF THE TETON COUNTY LDR'S.
13. WINDOWS	METAL CLAD WINDOWS. COLOR: BLACK. SEE WINDOW SCHEDULE FOR MANUFACTURER AND SIZES.
NOTES	1. PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES FOR OWNER AND ARCHITECTS APPROVAL.


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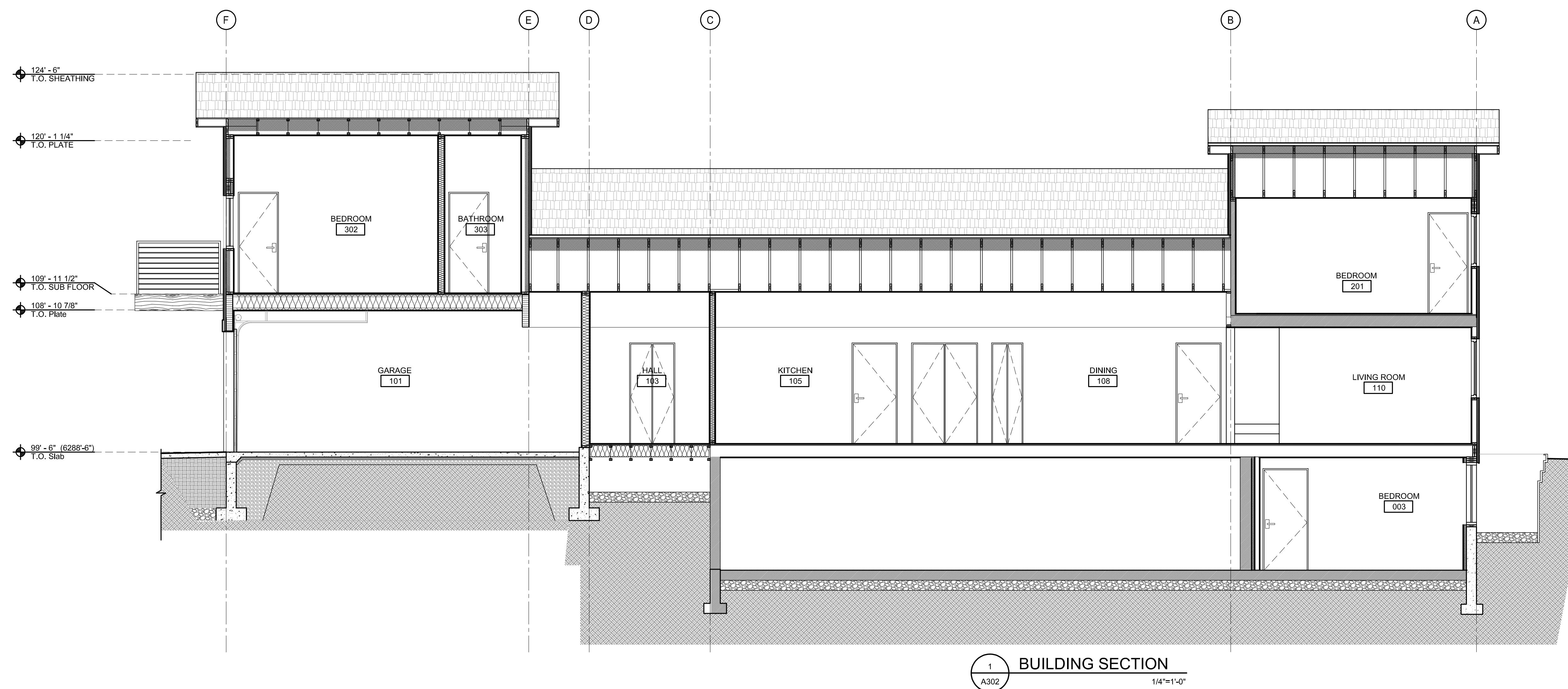
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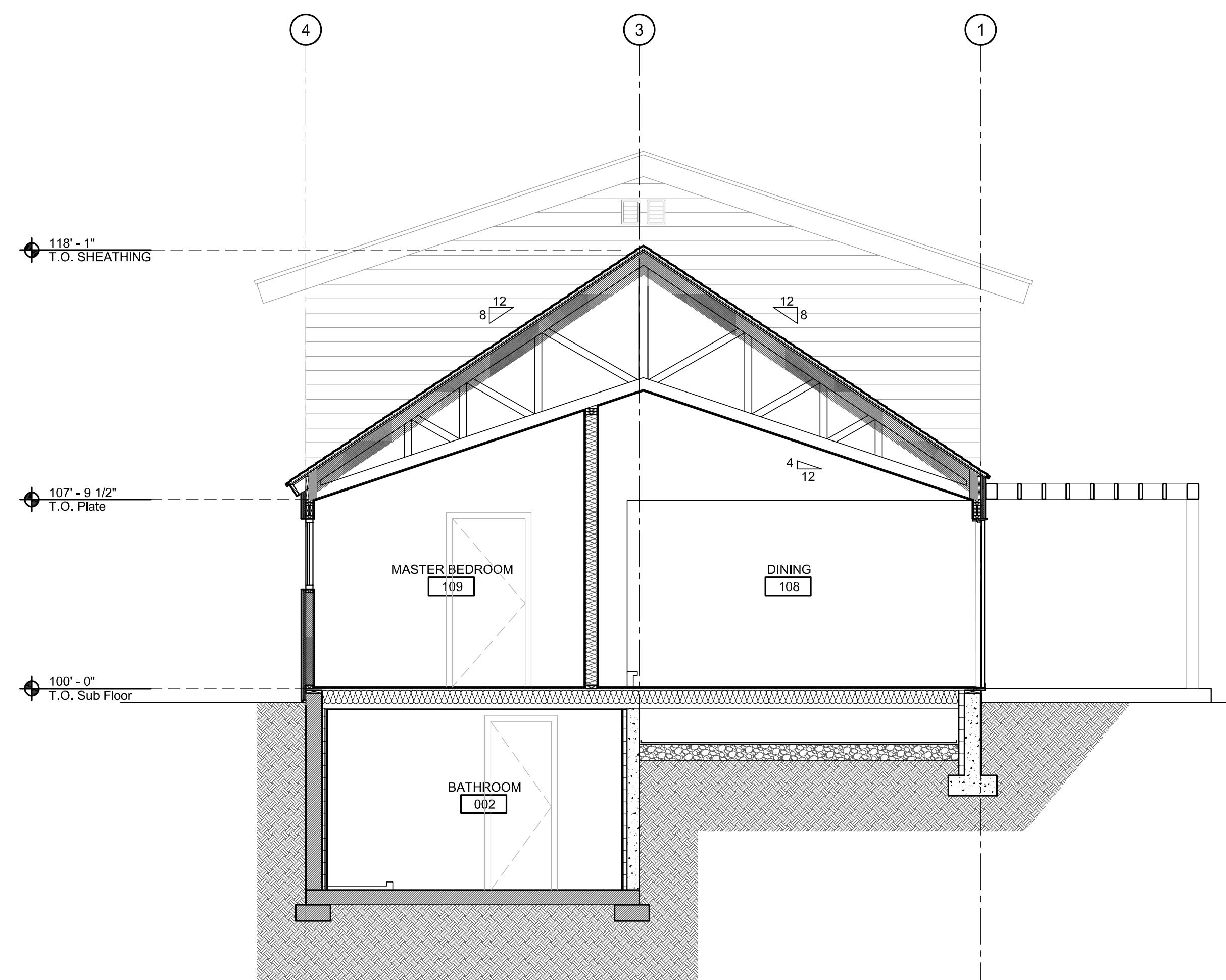
EXTERIOR ELEVATIONS

A202





LOCATION	R-VALUE	COUNTY REQ'D R-VALUE	EMP R-VALUE	DESCRIPTION
1. SOIL GAS BARRIER	N/A	N/A	N/A	1. INSTALL 4" PERF. PIPE IN PEA GRAVEL BED (NO FINES). 2. COVER GRAVEL BED WITH CONTINUOUS 10 MIL POLYETHYLENE SHEET SOIL GAS BARRIER ADHERED TO FOOTINGS. 3. PROVIDE VENT STACK THROUGH HEATED SPACE AND POWER IN CRAWL SPACE FOR EXHAUST FAN IF NECESSARY.
2. SLABS ON GRADE	R-10	R-10	N/A	INSTALL CONTINUOUS 2" EXTRUDED POLYSTYRENE INSULATION BOARD UNDER SLABS.
3. EXTERIOR FRAMED WALL CAVITIES	R-21 CI R5	R-25	R-28	INSTALL 3" SPRAY FOAM INSULATION (R-21) IN CAVITY. INSTALL 1" RIGID CONTINUOUS INSULATION (R-5) ON EXTERIOR WALL.
4. CONCRETE STEM WALLS IN CRAWLSPACE	R-15	R-15	N/A	INSTALL MINIMUM OF 2.5" SWD QUIK-SHIELD 112 SPRAY INSULATION (R-15).
5. FLOOR JOISTS OVER CONDITIONED SPACE	R-30	N/A	N/A	9.5" FORMALDEHYDE FREE BATT INSULATION (R-30)
6. SOUND ISOLATION AT INTERIOR WALLS & FLOORS	N/A	N/A	N/A	FILL SPACE WITH FRICTION-FIT FORMALDEHYDE FREE FIBERGLASS SOUND-ATTENUATION BATTS.
7. STICK FRAMED ROOFS	R-60	R-49	R-60	INSTALL MINIMUM OF 9.5" WITH SWD QUIK-SHIELD 112 SPRAY INSULATION.
8. EXTERIOR DOORS AND WINDOWS	MAX U=0.31	MAX U=0.32	MAX U=.31	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
9. MECHANICAL AND ELECTRICAL PENETRATIONS.	N/A	N/A	N/A	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
1• PROVIDE "TYVEK DRAINWRAP" OR EQUAL HOUSE WRAP OVER PLYWOOD SHEATHING AT ALL FRAMED EXTERIOR WALLS - TAPE ALL SEAMS W/ "TYVEK TAPE". • AT WINDOW AND DOOR ROUGH OPENINGS, CUT HOUSE WRAP IN A MODIFIED-I PATTERN PRIOR TO INSTALLING UNIT. • USE "TYVEK FLEXWRAP" OR EQUAL FOR FLASHING AT PANS & "TYVEK STRAIGHT FLASH" @ HEADS & LEGS. • PROVIDE APPROPRIATE "QUICKFLASH" OR EQUAL PRODUCT TO SEAL HOUSE WRAP AT ALL OTHER PENETRATIONS • LAP HOUSE WRAP OVER TOP EDGE OF ALL FLASHING AND DRIP EDGE METAL.				
2. ALL FIBERGLASS BATTS TO FILL SPACE WITH NO GAPS. SEE BUILDERS GUIDE TO COLD CLIMATES. • TRIM BATTS TO FIT AROUND AND BEHIND OBJECTS IN WALL AND ROOF CAVITIES SUCH AS ELECTRICAL JUNCTION BOXES				
3. SPRAY URETHANE (CLOSED CELL) SWD QUIK-SHIELD 112 SPRAY INSULATION TO BE USED AT ALL FLOOR RIM AND ROOF RIM SPACES.				
4. CAULK ALL PLATES. CAULK ALL CRACKS (TRIMMERS, PANEL JOINTS, ETC...) TO ENSURE AIR TIGHTNESS.				
5. CONTRACTOR TO ARRANGE INSPECTION AT COMPLETION OF INSULATIONS INSTALLMENT AND PRIOR TO THE INSTALLATION OF ANY GYPSUM BOARD OR INTERIOR FINISH TRIM.				
6. PROVIDE INSULATION WRAP(R-5) ON ALL HOT WATER PIPING.				
7. EXPOSED SPRAY FOAM INSULATION IN CRAWLSPACE TO BE APPROVED IGNITION BARRIER OR PROTECTED WITH APPROVED THERMAL IGNITION BARRIER.				
8. CONTRACTOR TO ENSURE AIR-TIGHTNESS OF THERMAL ENVELOPE AND AIR BARRIER. CONTRACTOR SHALL BE RESPONSIBLE FOR PASSING BLOWER DOOR TEST AS REQUIRED IN 2012 IECC CHAPTER 4 AND 2015 IRC CHAPTER 11.				



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## BUILDING SECTIONS

A302

## INSULATION SCHEDULE

LOCATION	R-VALUE	COUNTY REQ'D R-VALUE	EMP R-VALUE	DESCRIPTION
1. SOIL GAS BARRIER	N/A	N/A	N/A	1. INSTALL 4" PERF. PIPE IN PEA GRAVEL BED (NO FINES). 2. COVER GRAVEL BED WITH CONTINUOUS 10 MIL POLYETHYLENE SHEET SOIL GAS BARRIER ADHERED TO FOOTINGS. 3. PROVIDE VENT STACK THROUGH HEATED SPACE AND POWER IN CRAWL SPACE FOR EXHAUST FAN IF NECESSARY.
2. SLABS ON GRADE	R-10	R-10	N/A	INSTALL CONTINUOUS 2" EXTRUDED POLYSTYRENE INSULATION BOARD UNDER SLABS.
3. EXTERIOR FRAMED WALL CAVITIES	R-21 CI R5	R-25	R-28	INSTALL 3" SPRAY FOAM INSULATION (R-21) IN CAVITY. INSTALL 1" RIGID CONTINUOUS INSULATION (R-5) ON EXTERIOR WALL.
4. CONCRETE STEM WALLS IN CRAWLSPACE	R-15	R-15	N/A	INSTALL MINIMUM OF 2.5" SWD QUIK-SHIELD 112 SPRAY INSULATION (R-15).
5. FLOOR JOISTS OVER CONDITIONED SPACE	R-30	N/A	N/A	9.5" FORMALDEHYDE FREE BATT INSULATION (R-30)
6. SOUND ISOLATION AT INTERIOR WALLS & FLOORS	N/A	N/A	N/A	FILL SPACE WITH FRICTION-FIT FORMALDEHYDE FREE FIBERGLASS SOUND-ATTENUATION BATTS.
7. STICK FRAMED ROOFS	R-60	R-49	R-60	INSTALL MINIMUM OF 9.5" WITH SWD QUIK-SHIELD 112 SPRAY INSULATION.
8. EXTERIOR DOORS AND WINDOWS	MAX U=0.31	MAX U=0.32	MAX U=.31	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
9. MECHANICAL AND ELECTRICAL PENETRATIONS.	N/A	N/A	N/A	FILL RO SPACE WITH LOW EXPANDING SPRAY URETHANE (CLOSED CELL) INSULATION.
1. PROVIDE "TYVEK DRAINWRAP" OR EQUAL HOUSE WRAP OVER PLYWOOD SHEATHING AT ALL FRAMED EXTERIOR WALLS - TAPE ALL SEAMS W/ "TYVEK TAPE".				
• AT WINDOW AND DOOR ROUGH OPENINGS, CUT HOUSE WRAP IN A MODIFIED-I PATTERN PRIOR TO INSTALLING UNIT.				
• USE "TYVEK FLEXWRAP" OR EQUAL FOR FLASHING AT PANS & "TYVEK STRAIGHT FLASH" @ HEADS & LEGS.				
• PROVIDE APPROPRIATE "QUICKFLASH" OR EQUAL PRODUCT TO SEAL HOUSE WRAP AT ALL OTHER PENETRATIONS				
• LAP HOUSE WRAP OVER TOP EDGE OF ALL FLASHING AND DRIP EDGE METAL.				
2. ALL FIBERGLASS BATTS TO FILL SPACE WITH NO GAPS. SEE BUILDERS GUIDE TO COLD CLIMATES.				
• TRIM BATTS TO FIT AROUND AND BEHIND OBJECTS IN WALL AND ROOF CAVITIES SUCH AS ELECTRICAL JUNCTION BOXES				
3. SPRAY URETHANE (CLOSED CELL) SWD QUIK-SHIELD 112 SPRAY INSULATION TO BE USED AT ALL FLOOR RIM AND ROOF RIM SPACES.				
4. CAULK ALL PLATES. CAULK ALL CRACKS (TRIMMERS, PANEL JOINTS, ETC...) TO ENSURE AIR TIGHTNESS.				
5. CONTRACTOR TO ARRANGE INSPECTION AT COMPLETION OF INSULATIONS INSTALLMENT AND PRIOR TO THE INSTALLATION OF ANY GYPSUM BOARD OR INTERIOR FINISH TRIM.				
6. PROVIDE INSULATION WRAP(R-5) ON ALL HOT WATER PIPING.				
7. EXPOSED SPRAY FOAM INSULATION IN CRAWLSPACE TO BE APPROVED IGNITION BARRIER OR PROTECTED WITH APPROVED THERMAL IGNITION BARRIER.				
8. CONTRACTOR TO ENSURE AIR-TIGHTNESS OF THERMAL ENVELOPE AND AIR BARRIER. CONTRACTOR SHALL BE RESPONSIBLE FOR PASSING BLOWER DOOR TEST AS REQUIRED IN 2012 IECC CHAPTER 4 AND 2015 IRC CHAPTER 11.				

1• PROVIDE "TYVEK DRAINWRAP" OR EQUAL HOUSE WRAP OVER PLYWOOD SHEATHING AT ALL FRAMED EXTERIOR WALLS - TAPE ALL SEAMS W/ "TYVEK TAPE".  
• AT WINDOW AND DOOR ROUGH OPENINGS, CUT HOUSE WRAP IN A MODIFIED-I PATTERN PRIOR TO INSTALLING UNIT.  
• USE "TYVEK FLEXWRAP" OR EQUAL FOR FLASHING AT PANS & "TYVEK STRAIGHT FLASH" @ HEADS & LEGS.  
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• LAP HOUSE WRAP OVER TOP EDGE OF ALL FLASHING AND DRIP EDGE METAL.

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• TRIM BATTS TO FIT AROUND AND BEHIND OBJECTS IN WALL AND ROOF CAVITIES SUCH AS ELECTRICAL JUNCTION BOXES

3. SPRAY URETHANE (CLOSED CELL) SWD QUIK-SHIELD 112 SPRAY INSULATION TO BE USED AT ALL FLOOR RIM AND ROOF RIM SPACES.

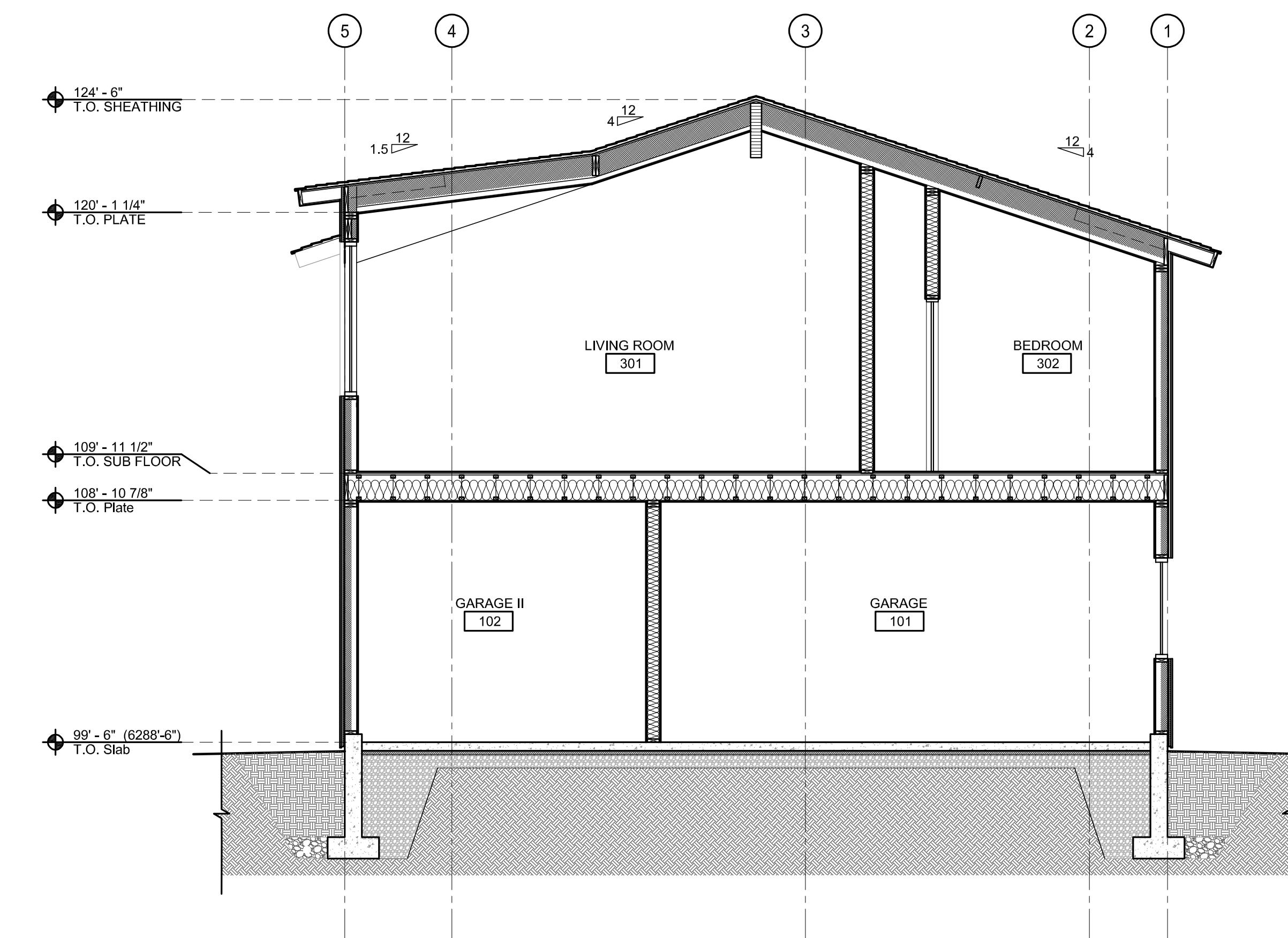
4. CAULK ALL PLATES. CAULK ALL CRACKS (TRIMMERS, PANEL JOINTS, ETC...) TO ENSURE AIR TIGHTNESS.

5. CONTRACTOR TO ARRANGE INSPECTION AT COMPLETION OF INSULATIONS INSTALLMENT AND PRIOR TO THE INSTALLATION OF ANY GYPSUM BOARD OR INTERIOR FINISH TRIM.

6. PROVIDE INSULATION WRAP(R-5) ON ALL HOT WATER PIPING.

7. EXPOSED SPRAY FOAM INSULATION IN CRAWLSPACE TO BE APPROVED IGNITION BARRIER OR PROTECTED WITH APPROVED THERMAL IGNITION BARRIER.

8. CONTRACTOR TO ENSURE AIR-TIGHTNESS OF THERMAL ENVELOPE AND AIR BARRIER. CONTRACTOR SHALL BE RESPONSIBLE FOR PASSING BLOWER DOOR TEST AS REQUIRED IN 2012 IECC CHAPTER 4 AND 2015 IRC CHAPTER 11.



**500 E KELLY  
JACKSON WY**

A circular seal for a licensed architect in Wyoming. The outer ring contains the text "LICENSED ARCHITECT" at the top and "STATE OF WYOMING" at the bottom. The inner circle contains "GEORGE B. HOYT" at the top and "(B-0183)" at the bottom. The entire seal is crossed through with a large, dark, diagonal line.

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## BUILDING SECTIONS

# BUILDING SECTION