



TOWN OF JACKSON

PLANNING & BUILDING

DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: January 20, 2023

Item #: P23-013

Planner: Paul Anthony

Phone: 733-0440 ext. 1305

Email: panthony@jacksonwy.gov

Owner:

JHHR Holdings 1 LLC
2505 Shootin' Iron Ranch Rd.
Jackson, WY 83001

Applicant:

SJ Planning Solutions
PO Box 523
Jackson WY 83001

REQUESTS:

Teton County is submitting a request for a Town of Jackson review of a single lot subdivision in Northern South Park prior to the platting of 80 lots (79 residential and one exaction lot) associated with DEV2022-0006. PIDN: 22-40-16-06-3-00-015

For questions, please call Paul Anthony at 733-0440, x1303 or email to the address shown below. Thank you.

Please respond by: February 27, 2023 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov

From: [Paul Anthony](#)
To: [Annette Langley](#)
Subject: FW: Jackson Consult on SD2022-0008; a 1 Lot Subdivision, prior to Platting of an 80 Lot Subdivision on 25.67 ac of Suburban zoned Land
Date: Friday, January 20, 2023 3:38:40 PM
Attachments: [SD2022-0008 Application.pdf](#)

Annette, can you add this as a new project and please be sure to include the below email as well in the file? Please distribute to Tyler S. as well as to normal group. Deadline for comments is February 27 and there is no chronology (sufficiency, noticing, or hearings, etc.) involved with this project.

Thanks, Paul.

From: Hamilton Smith <hsmith@tetoncountywy.gov>
Sent: Friday, January 20, 2023 2:37 PM
To: Paul Anthony <panthony@jacksonwy.gov>
Subject: Jackson Consult on SD2022-0008; a 1 Lot Subdivision, prior to Platting of an 80 Lot Subdivision on 25.67 ac of Suburban zoned Land

Good afternoon, Paul,

An application has been submitted for a 1-lot Plat (attached), prior to Platting of an 80 Lot Subdivision on 25.67 ac of Suburban zoned Land in Northern South Park.

The Subdivision application follows the approval of a Development Plan, DEV2022-0006. The applicant is carving out a one-lot subdivision, and then deeding the lot to the entity that will oversee the proposed development of 79 single-family lots and one exaction lot.

In considering your time allocation, we will obviously be seeing more SD applications down the road, as the development begins. Infrastructure is not proposed in phases, it will go in at one time, but I imagine there will be multiple filings of the subdivision.

This current application is in need of Town of Jackson comments, given that the plat location is within ½-mile of the corporate limit of the Town of Jackson. Sorry I am going the old-school route with an email request for comments, as we still lack the bandwidth to move on the final steps in SmartGov to do a better job connecting via that interface. Perhaps in the coming months, given some recent hires, etc.

Pursuant to W.S. 34-12-103, at the time of a plat submittal, the County shall solicit comments from the “City” of Jackson such that the Board of County Commissioners may consider city comments relating to impacts to the city’s infrastructure or other development plans resulting from the proposed plat and development.

The BCC is required to consider the city’s comments at the time the plat application is filed and shall respond to the city with any items of disagreement.

That Statute continues to state the following:

To the extent practical, the Board of County Commissioners shall ensure that a plat application meets the following:

1. *Is consistent with any applicable city and county land use or comprehensive plan;*
2. *Conforms to any adopted street plan of the city or county;*
3. *Contains all areas for streets, roads, and alleys that are dedicated rights of way;*
4. *Contains dedicated easements for all existing and proposed utilities; and*

5. *Contains any additional criteria the governing body of the city and the board of county commissioners agree to through a jointly adopted plan or voluntary agreement*

The application is scheduled to go to the Board of County Commissioners on March 7, 2023; therefore, comments can be integrated with my final staff packet for the board any time up until 8:00 a.m., Monday, February 27, 2023.

Please share with any Town staff that you feel will inform comments, and of course, feel free to call me with any questions or concerns and thank you for your consideration.

Hamilton Smith

Principal Planner

Teton County Planning and Development

PO Box 1727

200 South Willow Street

Jackson, WY 83001

(Ph)307-733-3959

(Fax)307-733-4451



November 23, 2022

Hamilton Smith, Principal Planner
PO Box 1727
200 S. Willow Street
Jackson, WY 83001

HAND DELIVERED

RE: Application for a 1-lot Subdivision Plat for JHHR Holdings I LLC

Dear Hamilton,

On behalf of JHHR Holdings I LLC, I am submitting an application for a single lot subdivision in Northern South Park prior to the platting of 80 lots (79 residential and one exaction lot) associated with DEV2022-0006. Following the paradigm established for other developments in Teton County, this subdivision, to be named JHHR South, will serve to separate a 25.67-acre parcel from a larger tract owned by JHHR Holdings I LLC prior to that 25.67-acres being subdivided into residential lots.

I am submitting this package with the Application Submittal Checklist to establish sufficiency. The following are provided for processing:

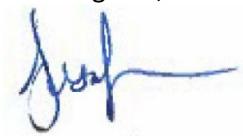
1. An application form for a Subdivision Plat and a check in the amount of \$450 for the application fee
2. Letter of Authorization from JHHR Holdings I LLC for SJ Planning Solutions to act as their agent
3. Operating Agreement demonstrating that Robert Gill can sign on behalf of JHHR Holdings I LLC
4. Letter of Authorization allowing JHHR Development II Inc to act as the applicant for this application
5. Application Submittal Checklist for a Subdivision Plat
6. Findings for approval of a Subdivision Plat
7. Title Report
8. Proof of Publication of Notice of Intent to Subdivide
9. Plat: One 11" X 17" copy and one 24" X 36" copy
10. Digital copy of submittal documents (via email)

Please note that the following instruments associated with EXD2022-0009 will have been recorded after the issuance of the title report, and are referenced on the plat (recordation information will be added to the plat once that information is received by the Clerk's Office):

1. Certificate of Acknowledgment for Exempt Land Division
2. Map of Survey
3. Quit Claim Deed for Adjusted Hereford Ranch Tract 10

Please also note that no subdivision improvement agreement or financial assurances agreement is required as all roads and underground utilities will be installed under the plat establishing the 79 residential lots and the one exaction lot. Once I receive your sufficiency determination, I will provide updated electronic copies as necessary for distribution to the technical review committee, and any additional hard copies upon your request. Thank you for your assistance.

Best Regards,



Susan Johnson
SJ Planning Solutions



PLANNING PERMIT APPLICATION
Planning & Building Services Department
Planning Division

200 S. Willow St. | ph: (307) 733-3959
P.O. Box 1727 | www.tetoncountywy.gov
Jackson, WY 83001 | permits@tetoncountywy.gov

For Office Use Only

Fees Paid _____

Check # _____

Credit Card _____

Cash _____

Application #s _____

PROJECT

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

OWNER

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT

____ Owner _____ Applicant/Agent (Letter of Authorization required)

TYPE OF APPLICATION *Check all that apply; see the applicable application submittal checklists and Planning Fee Schedule online.*

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification
(No LOA Required)

Development Option/Subdivision

Development Option Plan

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Amendments to the LDRs

LDR Text Amendment

Zoning Map Amendment

Planned Unit Development

PRE-SUBMITTAL STEPS Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. If this application is amending a previous approval, indicate the original permit number.

Pre-application Conference #:	N/A	Environmental Analysis #:	N/A
Original Permit #:	N/A	Date of Neighborhood Meeting:	N/A

SUBMITTAL REQUIREMENTS Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

- Application Fee** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted [Planning Fee Schedule](#) on the county website for more information.
- Electronic Submittal** A complete digital file of the application with attachments/plans sent to permits@tetoncountywy.gov.
- Hard Copy Submittal** A complete printed file of the application with attachments/plans.
- Notarized Letter of Authorization** A notarized letter of consent from the landowner is required if the applicant is not the owner. Please see the Letter of Authorization template on the county website for a sample.
- Corporations and Partnerships** If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation.
- Response to Submittal Checklist** All applications require response to applicable review standards. These standards are outlined on the submittal checklists for each application type. If a pre-application conference is held, the submittal checklists will be provided at the conference. If no pre-application conference is required, please see the website for the applicable checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

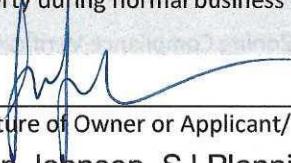
FORMAT

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Applicant/ Authorized Agent

Susan Johnson, SJ Planning Solutions

Name Printed

11/23/2022

Date

Authorized Agent

Title/Role

Teton County Planning and Development
200 S. Willow, P.O. Box 1727
Jackson, WY 83001
Phone (307)733-7030 Fax (307) 739-9208



LETTER OF AUTHORIZATION BY OWNER

THE LETTER OF AUTHORIZATION IS TO BE SUBMITTED ONLY IF THE APPLICANT/AGENT IS NOT THE RECORDED OWNER OF THE PROPERTY. THE RECORDED OWNER MUST SIGN THE LETTER OF AUTHORIZATION AND HAVE IT NOTARIZED.

OWNER, CO-OWNER, OR CORPORATE OWNER:

Name: JHHR Holdings I LLC
Physical Address of Property: 1500 So Park Loop Rd; Revised Hereford Ranch Tract I; Revised Hereford Ranch Tract 10
Mailing Address: 2505 Shootin Iron Ranch Road, Jackson, WY
Zip code: 83001 Phone: 307-413-2694
Email: robert@jhherfordranch.com

AGENT OR CONTRACTOR: (If authorizing Agent and Contractor, fill out a form for each)

Name: SJ Planning Solutions
Mailing Address: PO Box 523, Jackson, WY
Zip code: 83001 Phone: 307-413-2694
Email: susan@SJplanningsolutions.com

Owner, Co-Owner, or Corporate Owner, ("Owner") which property is specifically described as 1500 So. Park Loop Rd; LOT 6 SEC. 6, TWP. 40, RNG. 116; LOT 7 & PT. SE1/4SW1/4 SEC. 6, TWP. 40, RNG. 116 hereby authorizes Agent or Contractor, as stated above, to represent and/or act for Owner in making application for, receiving, and accepting on Owner's behalf, any permits or other action by the Teton County Commissioners, Planning and Development, Building, and/or Engineering Departments relating to Owner's Property in Teton County, and the modification, development, planning, platting, replatting, improvements, use or occupancy of land, or energy mitigation in Teton County. Owner acknowledges and agrees to be bound and must abide by the written terms or conditions of issuance of any such named Agent or Contractor, whether actually delivered to Owner or not. Owner agrees that no modification, development, planning, platting or replatting, improvements, use or occupancy of land, or energy mitigation involved in any application, as it relates to Owner's Property, shall take place until approved by the appropriate official(s) of Teton County, in accordance with all applicable codes and regulations. Owner agrees to pay any fines and/or mitigation fees to Teton County and will be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes, and/or regulations applicable to the action sought to be permitted by the application authorized herein. Owner agrees and authorizes Agent or Contractor to pay any fines and/or mitigation fees to Teton County and for the Agent or Contractor to accept and receive any reimbursement or fee payments due to Owner from Teton County, including but not limited to energy mitigation fees.

Under penalty of perjury, the undersigned swears that the foregoing is true and correct, and if signing on behalf of co-owners, multiple owners, corporation, partnership, limited liability company, or other entity, the undersigned hereby swears that this authorization is given, to the full extent required, with the necessary and appropriate approval, which authorizes the undersigned to act on behalf of such entity and/or owners.

OWNER, CO-OWNER, CORPORATE OWNER:

Print Name: Robert L Gill
Signature: Robert L Gill
Title: OWNER

STATE OF Wyoming ss.
COUNTY OF Teton

Subscribed and sworn to before me by Gill Robert L this
14th day of January, 2020.

WITNESS my hand and official seal.

Melisa Molina
Notary Public

My commission expires: 11/18/2023



**OPERATING AGREEMENT
OF
JHHR HOLDINGS I LLC,
a Wyoming limited liability company**

The undersigned members of JHHR Holdings I LLC, a Wyoming limited liability company (the “**Company**”), organized pursuant to the Act (defined below) hereby agree that this is the Operating Agreement (the “**Agreement**”) of the Company within the meaning of the Act effective as of 12:01 A.M. Wyoming time on December 23, 2019 (the “**Effective Date**”).

RECITALS

A. On December 20, 2019, the Company was organized as a Wyoming limited liability company under the name of “JHHR Holdings I LLC” by filing Articles of Organization with the Wyoming Secretary of State.

B. The Members of the Company desire to enter into this Agreement on the terms and conditions provided below.

**ARTICLE I.
DEFINITIONS**

For purposes of this Agreement, unless the context clearly indicates otherwise, the following terms shall have the following meanings:

1.1 “**Act**”: collectively, the Wyoming Limited Liability Company Act at W.S. 17-29-101 *et seq.*, as amended.

1.2 “**Additional Member**”: any Member other than the initial Members who has acquired a Membership Interest in the Company by another Member volitionally transferring such membership interest to the new Member, to the extent such new Member has been approved by all other Members as a “Member” hereunder.

1.3 “**Admission**” or “**Admit**”: the act by which the Transferee of a Membership Interest or an Additional Member becomes a Member of the Company.

1.4 “**Articles**”: the Articles of Organization as filed with the Secretary of State of the State pursuant to the Act and as may be amended from time to time.

1.5 “**Capital Contribution**”: the cash, cash equivalents or the agreed fair market value of Property which a Member contributes to the Company, net of any liabilities secured by such contributed property which the Company is considered to have assumed or taken subject to.

1.6 “**Company**”: JHHR Holdings I LLC, a Wyoming limited liability company formed under the Act, and any successor limited liability company.

1.7 “**Distribution**”: transfer of Property to a Member on account of a Membership Interest.

6.4 Indemnification. The Company shall indemnify the Members for any and all costs, losses, liabilities and damages paid or accrued by the Members in connection with the business of the Company, to the fullest extent provided or allowed by the laws of the State. In addition, the Company may indemnify any other employee or other agent of the Company in the discretion of the Members. The Company may, as determined by the Members, advance costs of defense of any Proceeding to the Members or any other agent.

6.5 Conflicts of Interest. The Members shall be entitled to enter into transactions on their own behalf that may be considered to be competitive with, or a business opportunity that may be beneficial to, the Company, it being expressly understood that the Members may enter into transactions that are similar to the transactions into which the Company may enter. A Member does not violate a duty or obligation owed to the Company merely because a Member's conduct furthers the Member's own interest. Each Member may lend money to, borrow money from, act as a surety, guarantor or endorser for, guarantee or assume one or more obligations of, provide collateral for, and transact other business with the Company, and has the same rights and obligations with respect to any such matter as those of a Person who is not a Member, subject to other applicable law. No transaction with the Company shall be voidable solely because such Member has a direct or indirect interest in the transaction if the transaction is fair to the Company.

ARTICLE VII. MANAGEMENT

7.1 Management. Subject to the limitations set forth in this Agreement, the Members shall manage the activities of the Company. At any time when there is more than one Member, any one Member may take any action permitted to be taken by the Members, unless the approval of more than one of the Member is expressly required pursuant to this Agreement or the Act. Notwithstanding the foregoing, all Members must consent to: (i) the sale of all or substantially all of the assets of the Company, (ii) the Company incurring indebtedness other than trade payables and other amounts in the ordinary course of business, (iii) the Company granting a volitional lien, mortgage or deed of trust on assets of the Company (inchoate liens such as mechanics liens being deemed to not be volitional for the purposes of this Section), (iv) settling or compromising any litigation, or (v) dissolving, liquidating or winding up the Company.

7.2 Members Have No Exclusive Duty to Company. Neither the Company nor any Member shall have any right, by virtue of this Agreement, to share or participate in such other investments or activities of the Members or to the income or proceeds derived therefrom. No Member shall incur any liability to the Company or to any Member as a result of engaging in any other business or venture.

7.3 Compensation, Reimbursement, Organization Expenses. No Member shall be prevented from receiving compensation from the Company by reason of the fact that such Member is a Member of the Company. Any such compensation shall be unanimously set by the Members. Members acting in furtherance of Company business shall also be entitled to reimbursement for reasonable, substantiated costs and expenses incurred in performing his duties hereunder, including, without limitation, travel expenses.

7.4 Officers. The Members may appoint officers at any time. The officers of the Company may include a president, vice president, and secretary. Any individual may hold any number of

11.4 Winding Up and Certificate of Cancellation. The winding up of the Company shall be completed when all debts, liabilities, and obligations of the Company have been paid and discharged or reasonably adequate provision therefor has been made, and all of the remaining Property and assets of the Company have been distributed to the Members. Upon the completion of winding up of the Company, articles of dissolution shall be delivered to the Secretary of State for filing. The articles of dissolution shall set forth the information required by the Act.

ARTICLE XII. AMENDMENT

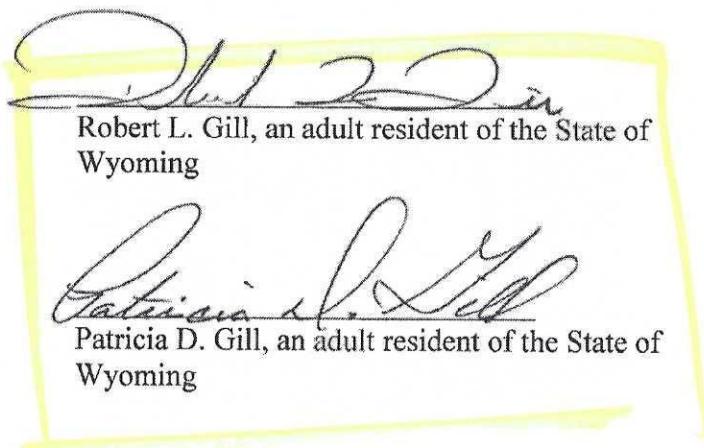
This Agreement may be amended or modified from time to time only by a written instrument adopted and executed by all of the Members.

ARTICLE XIII. MISCELLANEOUS PROVISIONS

13.1 Entire Agreement. This Agreement represents the entire operating agreement governing the relationship between the Members and the Company.

13.2 Rights of Creditors and Third Parties under Operating Agreement. This Agreement is adopted by the initial Member for the exclusive benefit of the Company, its Members, and their successors and assigns. This Agreement is expressly not intended for the benefit of any creditor of the Company, any creditor of the Members, or any other Person. Except and only to the extent provided by applicable statute, no such creditor or third party shall have any rights under this Agreement or any agreement between the Company and the Members with respect to any Capital Contribution or otherwise.

IN WITNESS WHEREOF, we have hereunto set my hand effective as of the Effective Date.



Robert L. Gill, an adult resident of the State of Wyoming

Patricia D. Gill, an adult resident of the State of Wyoming

LETTER OF AUTHORIZATION

JHHR Holdings I LLC, a Wyoming limited liability company ("Owner"), as the owner of the real property legally described on Exhibit A attached hereto and by this reference incorporated herein ("Property"), hereby authorizes JHHR Development II Inc., a Wyoming corporation ("Developer"), to represent and act for Owner in making application for, receiving and accepting on Owner's behalf, any permits or other action by the Teton County Commissioners, Planning and Development, Building, and/or Engineering Departments relating to the Property and in particular DEV2022-0006.

Owner acknowledges and agrees to be bound and must abide by the written terms or conditions of issuance of any such permit, whether actually delivered to Owner or not. Owner agrees that no modification, development, planning, platting or replatting, improvements, use or occupancy of land, or energy mitigation involved in any application, as it relates to the Property, shall take place until approved by the appropriate official(s) of Teton County, in accordance with all applicable codes and regulations. Owner agrees to pay any fines and/or mitigation fees to Teton County and will be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes, and/or regulations applicable to the action sought to be permitted by the application authorized herein. Owner agrees and authorizes Developer to pay any fines and/or mitigation fees to Teton County and for Developer to accept and receive any reimbursement or fee payments due to Owner from Teton County, including but not limited to energy mitigation fees.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Dated this 1 day of November, 2022.

JHHR Holdings I LLC, a Wyoming limited liability company

By: 
Robert Gill, Manager

STATE OF WYOMING)
) ss:
COUNTY OF TETON)

Subscribed and sworn before me by Robert Gill, as Manager of JHHR Holdings I LLC, a Wyoming limited liability company, this 1 day of November, 2022.

WITNESS my hand and official seal.


Notary Public
My commission expires: 02-10-24

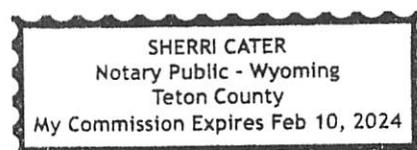


EXHIBIT "A"
LEGAL DESCRIPTION
OF
LAND RE-ZONE FROM RURAL SUBURBAN

A parcel of land being a portion of Gov't Lot 7 of Section 6, T.40N., R.116W., 6th P.M., Teton County, Wyoming, being more particularly described as:

BEGINNING at the southwest corner of said Section 6;

THENCE N00°04'18"W, 1158.23 feet, along the west line of Section 6 to a point;

THENCE S66°07'50"E, 1402.72 feet to a point;

THENCE SOUTH, 586.49 feet, to a point on the south line of said Section 6;

THENCE S89°48'56"W, 1281.31 feet, along said south line of Section 6 to the Point of Beginning.

Said parcel encompasses 25.67 acres, more or less.

The basis of bearings for this description is N00°04'18"W along said west line of Section 6.

October 28, 2022

Jorgensen Associates, Inc.

P:\2020\20030-JHHR Holdings 1-HS Road Housing\60-Survey\Docs\Legal Descriptions\Suburban Re-Zone\20030_25.67ac. Rural to Suburban Parcel.docx



**Application Submittal Checklist for a
SUBDIVISION PLAT (S/D)**
Planning & Development Department
Planning Division

200 S. Willow St. | ph: (307) 733-3959
P.O. Box 1727 | fax: (307) 739-9208
Jackson, WY 83001 | www.tetonwyo.org

APPLICABILITY. *This checklist should be used when submitting an application for a **Subdivision Plat** or when submitting an application to amend an existing subdivision plat. The purpose of the subdivision plat procedure is to ensure that the subdivision of land and airspace complies with the purpose and standards of the LDRs and State statute. The subdivision plat process also ensures orderly land records, proper recordation of land ownership and property owner association records, and provision of rights-of-way for streets and utilities.*

When is a Subdivision Plat required?

A subdivision plat is required for all division of land or airspace, including condominium and townhouse subdivisions, unless the division meets the standards for an Exempt Land Division (see Section 8.5.4) or a Boundary Adjustment (see Section 8.5.5). Development options that require a subdivision plat are identified in the standards for each zone, found in Articles 2-4, Subsection D.4, Permit Requirement Thresholds.

Do I need a Pre-Application Conference first?

A Pre-Application Conference is not required prior to submittal, but an applicant may request a pre-application meeting to discuss the requirements and applicable regulations with Planning Staff. This is encouraged for applicants who are unfamiliar with the regulations and the planning process. If a Pre-Application Conference is held, this checklist may be modified by staff to reflect the specifics of your project.

Note: *The form and content of a subdivision plat is established by Wyoming state statute and the LDRs, and review of a subdivision plat is a technical review. Strict adherence to the standards and submittal requirements outlined in this checklist is required.*

POSTED NOTICE. *The applicant is responsible for posting and maintaining a notice of the public hearing on the land subject to the application. The posted notice shall meet the following standards.*

- **Content.** The posted notice shall contain the notice content required by Subsection 1 above, except the description of the location of the land subject to the application. A template is available in the Administrative Manual.
- **Timing.** The notice shall be posted for at least 10 days prior to the hearing, and shall be removed within 5 days following the hearing.
- **Size.** The notice shall be 4 ft by 4 ft.
- **Location and Legibility.** A notice shall be placed along each front lot line so as to be legible from each access point to the site. The notice may be mounted to a building. If the notice is freestanding, it should be set back 2 ft from any lot line or access easement.
- **Materials.** The notice shall meet the materials standards of Div. 5.6. and shall not be lighted.

FINDINGS FOR APPROVAL. *The application shall include a narrative statement addressing each of the applicable Findings for Approval, found in Section 8.5.3, Subdivision Plat.*

A plat shall be approved upon a finding the proposed plat:

1. Is in substantial conformance with an approved development plan or development option plan;
2. Complies with the standards of this Section.
3. Complies with the subdivision standards of Div. 7.2.; and
4. Complies with all other relevant standards of these LDRs and other County Resolutions.

GENERAL INFORMATION.

Title Report. A title report or title certificate prepared within the last six months that includes evidence of all easements and deed restrictions on the property and for access and utilities across any properties not under the control of the owner or applicant to the development from a dedicated public road. Copies of the documents referenced in the report should not be submitted unless requested by the planner during review. Applications for amendment of a Subdivision Plat may be exempt from the requirement to include a title report, depending on circumstances. Check with the Planning Department for confirmation.

INITIAL SUBMITTAL.

The initial application submittal for a new subdivision plat or amendment to a subdivision plat which constitutes a vacation requiring a new plat map shall include the following:

Plat Map. One copy of the proposed subdivision plat map, prepared to the standards outlined in the Administrative Manual. The initial plat map submittal shall be on paper, rather than mylar. The applicant may be required to submit additional hard copies of the plat if requested by the Technical Review Committee.

Notice of Intent. Evidence that the applicant has published a "Notice of Intent to Subdivide" once each week for 2 weeks within 30 calendar days prior to filing this application, pursuant to Wyoming statutes as amended.

Subdivision Improvements Agreement. If applicable, the proposed Subdivision Improvements agreement, prepared in the form established in the Administrative Manual.

Documents to be Recorded. Copies of any documents to be recorded with the subdivision plat, in draft form, including, but not limited to: affidavits of owner, mortgagee, or surveyor; covenants, conditions and restrictions (CC&Rs); conservation easements, well easements, access easements, etc.

The initial application submittal for an amendment to a subdivision plat where no new plat map is required shall include the following:

Request. A narrative explanation of the proposed vacation, including the plat number, sheet number, and reason for the proposed request.

Instrument. A draft partial vacation instrument, based on the form provided in the Administrative Manual, to be recorded to document the approval.

Documents or Exhibits to be Recorded. Draft copies of any other documents or exhibits to be recorded with the partial vacation instrument, including, but not limited to, building envelope maps, easements, etc.

PRE-HEARING PACKET SUBMITTAL. *The following shall be delivered to the Planning Department no later than 9:00am the business day before the Board of County Commissioner packets go out for the scheduled public hearing on the proposed subdivision plat or amendment:*

Plat Map. One full size copy of the plat map, reflecting all revisions requested by the Technical Review Committee, for the Board of County Commissioners' packets. The map should be printed on paper, not mylar.

HEARING SUBMITTAL. *The following shall be delivered to the Planning Department no later than 9:00am the business day before the scheduled public hearing:*

Mylar Plat Map. The original mylar, fully signed and notarized, apart from the final signature required by the Board of County Commissioners.

Original Documents. Signed and notarized original documents to be recorded with the plat.

PRIOR TO RECORDING. *Prior to recording of the plat and associated documents with the County Clerk, the following must be provided to the Planning Department:*

Survey in digital format. An Autocad compatible DXF or DWG file must be provided for all subdivision plats and maps of survey. The DXF or DWG file must include all boundary, lot, unit and easement lines of the subdivision or survey.

Payment of Fees. Payment of all fees associated with plat review, including technical review fees, neighbor notice fees, exactions, and/or required performance bonds or other financial assurances.

Findings for Approval of a Subdivision Plat

1. Is in substantial conformance with an approved development plan or development option plan or is a condominium or townhouse subdivision of existing development;
Not Applicable.

This plat is preceding the Board's review of Development Plan (DEV2022-0006). The applicant is requesting to carve out a one-lot subdivision, deeding the lot to JHHR Development II Inc, which will oversee the proposed development of the 79 single-family lots and the one exaction lot.

2. Complies with the standards of this Section;

Can Be Made.

As submitted, the plat contains all requirements of applicable Wyoming State Statutes and notes regarding future subdivision. No depictions of improvements or notes designating zoning districts, setbacks, or any other standard under these LDRs that are subject to change at the legislative discretion of the Board have been included on the plat.

3. Complies with the subdivision standards of Div. 7.2;

Can Be Made.

No Subdivision Improvements Agreement is required as no subdivision improvements are being proposed at this time. A Subdivision Improvements Agreement will occur at the time of the Final Plat for the 79 residential lots.

4. Complies with all other relevant standards of these LDRs and other County Resolutions.

Not Applicable.

There are no other applicable LDRs and no County Resolutions that pertain to this application.

Issued To:

Jorgensen Associates, PC
1315 HWY 89 S., Suite 201
Jackson, WY 83002

Report No.: W-28449
Effective Date: September 23, 2022
Current Date: October 8, 2022
Cost: \$500.00

Project Reference: Revised Hereford Ranch Tract 1
Revised Hereford Ranch Tract 10

Property Address: TBD South Park Loop Road, Jackson, WY 83001
TBD South Park Loop Road, Jackson, WY 83001

County: Teton

1. According to the last deed appearing of public record, title to the fee simple estate or interest in the land described or referred to in this Report at the effective date hereof appears to be vested in:

JHHR Holdings I LLC, a Wyoming limited liability company

2. The land referred to in this Report is described as follows:

See Exhibit "A" Attached Hereto and Made a Part Hereof

Issued By:

WYOMING TITLE & ESCROW, INC.
Christina Feuz, President
Phone: 307.732.2983

This Ownership and Encumbrance Report is not a Commitment for Title Insurance nor is it an Abstract of Title. This Ownership and Encumbrance Report is for informational purposes only, does not necessarily contain all defects, liens or encumbrances of record, and may not be relied upon as a representation of the record regarding the subject property, and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

EXHIBIT "A"
LEGAL DESCRIPTION

PARCEL 1:

Revised Hereford Ranch Tract 1

A Tract of land in G.L.O. Lot 6, (the NW $\frac{1}{4}$ SW $\frac{1}{4}$) and in G .L.O. Lot 5, (the SW $\frac{1}{4}$ NW $\frac{1}{4}$), of Section 6, Township 40 North, Range 116 West, 6th P.M., Teton County, Wyoming, said Tract of Land being more particularly described as follows: All of said G.L.O. Lot 6, and that portion G.L.O. Lot 5 southerly of that boundary established by Boundary Line Agreement, described and recorded in Book 145P, 172-181 in the Office of the Teton County Clerk, EXCEPTING THEREFROM that 3.01-acre parcel of the land shown as Parcel "A" on that Map to accompany Lot Division Application for Robert Bruce Porter Trust recorded as Map T-313-A, Parcel "A" also described as:

A parcel of land in the West $\frac{1}{2}$ of Section 6, T40N, R116W, 6th P.M., Teton County, Wyoming, described as follows: BEGINNING at the west $\frac{1}{4}$ corner of Section 6, marked by a 5/8" steel reinforcing rod in the center of the oiled roadway for South Park County Road No. 22-1; thence N89°38'37"E, 335.00 feet along that line established by boundary line agreement recorded in the Office of the Clerk of Teton County, Wyoming in Book 145 of Photo on pages 172-181, to a three inch aluminum cap on a one-inch aluminum pipe set in the north bank of an irrigation ditch; thence S00°02'59"E, 391.40 feet to a steel reinforcing rod with a plastic cap; thence S89°38'37"W, 310.00 feet to a steel reinforcing rod with a plastic cap; thence continuing S89°38'37"W, 25.00 feet to an intersection with the west line of Section 6, marked by a PK nail with a stamped washer set in the oiled surface of the South Park County Road; thence N00°02'59"W, 391.40 feet to the POINT OF BEGINNING.

PARCEL 2:

Revised Hereford Ranch Tract 10

A Tract of land in the SE $\frac{1}{4}$ SW $\frac{1}{4}$ and in G.L.O. Lot 7, (the SW $\frac{1}{4}$ SW $\frac{1}{4}$), of Section 6, Township 40 North, Range 116 West, 6th P . M., Teton County, Wyoming, said Tract of Land being more particularly described as follows: All of G.L.O. Lot 7, (the SW $\frac{1}{4}$ SW $\frac{1}{4}$), and the westerly $\frac{1}{2}$ of the SE $\frac{1}{4}$ SW $\frac{1}{4}$ of said Section 6.

PIDN: 22-40-16-06-3-00-012, 22-40-16-06-3-00-015

Wyoming Title & Escrow
Ownership and Encumbrance Report
Report No.: W-28449

ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY APPEAR TO BE (BUT ARE NOT NECESSARILY LIMITED TO) THE FOLLOWING:

1. General taxes for the year 2023, a lien not yet due or payable.
2. Taxes, special and general, assessment districts and service areas for the year 2022.
Tax ID No.: 01-007783
1st Installment: \$136.17 DUE
2nd Installment: \$136.17 OPEN

Note: First Installment is delinquent November 10. Second Installment is delinquent May 10.

There is no interest on the 1st half if the entire tax is paid in 1 full payment on or before December 31st of the tax year.

AFFECTS PARCEL 1- Revised Hereford Ranch Tract 1

3. Taxes, special and general, assessment districts and service areas for the year 2022.
Tax ID No.: 01-007786
1st Installment: \$220.81 DUE
2nd Installment: \$220.81 OPEN

Note: First Installment is delinquent November 10. Second Installment is delinquent May 10.

There is no interest on the 1st half if the entire tax is paid in 1 full payment on or before December 31st of the tax year.

AFFECTS PARCEL 2- Revised Hereford Ranch Tract 10

4. Rights of upper and lower riparian owners in and to the free and unobstructed flow of the water of any ditches extending through the land, without diminution.
5. An easement upon the terms, conditions and provisions contained therein for the purpose shown below and rights incidental thereto as granted to the State of Wyoming in a document recorded November 5, 1956, as (book) 8 of Mixed Records (page) 507, Official Records:
Purpose: Right-of-Way Easement
[8MR507](#)
6. An easement over said land for electric distribution circuits and incidental purposes, as granted to Lower Valley Power and Light, Inc., recorded December 29, 1980, as (book) 107 (page) 181, Official Records.
[B107P181](#)
7. Terms and Conditions of Agreement to establish boundary line, by and between Four Lazy F Ranch and the Robert Bruce Porter Trust recorded September 23, 1983, as (book) 145 (page) 172, Official Records.
[B145P172](#)
8. All Matters disclosed by Record of Survey T-309C recorded June 10, 1986, as (book) 1 of Maps (page) 209, Official Records.
[T-309C](#)
9. All Matters shown by Record of Survey T-313A recorded June 15, 1987, as (book) 1 of Maps (page) 241, Official Records.
[T-313A](#)

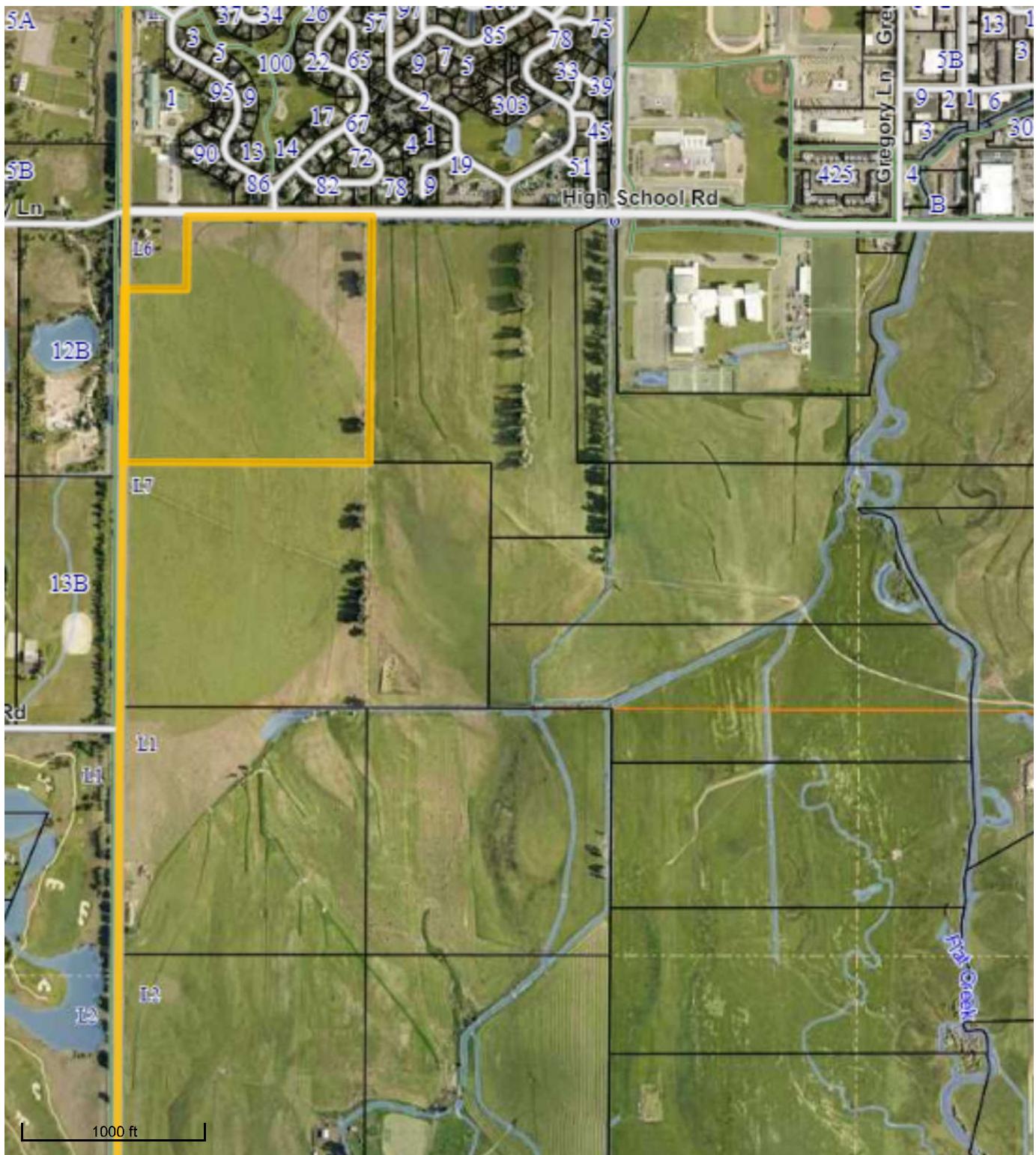
Wyoming Title & Escrow
Ownership and Encumbrance Report
Report No.: W-28449

10. Affidavit Re: Leek Ditch, recorded August 7, 1989, as (book) 214 (page) 89, Official Records.
[B214P89](#)
11. Terms and Conditions of Memorandum of Fence Agreement, recorded January 26, 2010, as (book) 749 (page) 103, Official Records.
[B749P103](#)
12. Easements disclosed by deeds and conditions contained therein, recorded November 9, 1992, as (book) 260 (page) 1045; (book) 260 (page) 1060; (book) 260 (page) 1074, Official Records.
[B260P1045](#); [B260P1060](#); [B260P1074](#)

Disclaimer, Abandonment and Vacation of Easements, recorded January 26, 2010, as (book) 748 (page) 897; (book) 748 (page) 902; (book) 748 (page) 907 Official Records.
NOTE: Said easements and vacations are shown because they extinguish access to other parcels, thereby potentially land locking them. Access may be possible through other parcels in common ownership
[B748P897](#); [B748P902](#); [B748P907](#)
13. An easement over said land for electric distribution circuits and incidental purposes, as granted to Lower Valley Energy, recorded July 22, 2015, as (book) 900 (page) 713, Official Records.
[B900P713](#)

***** End of Schedule B *****

Teton County Wyoming MapServer



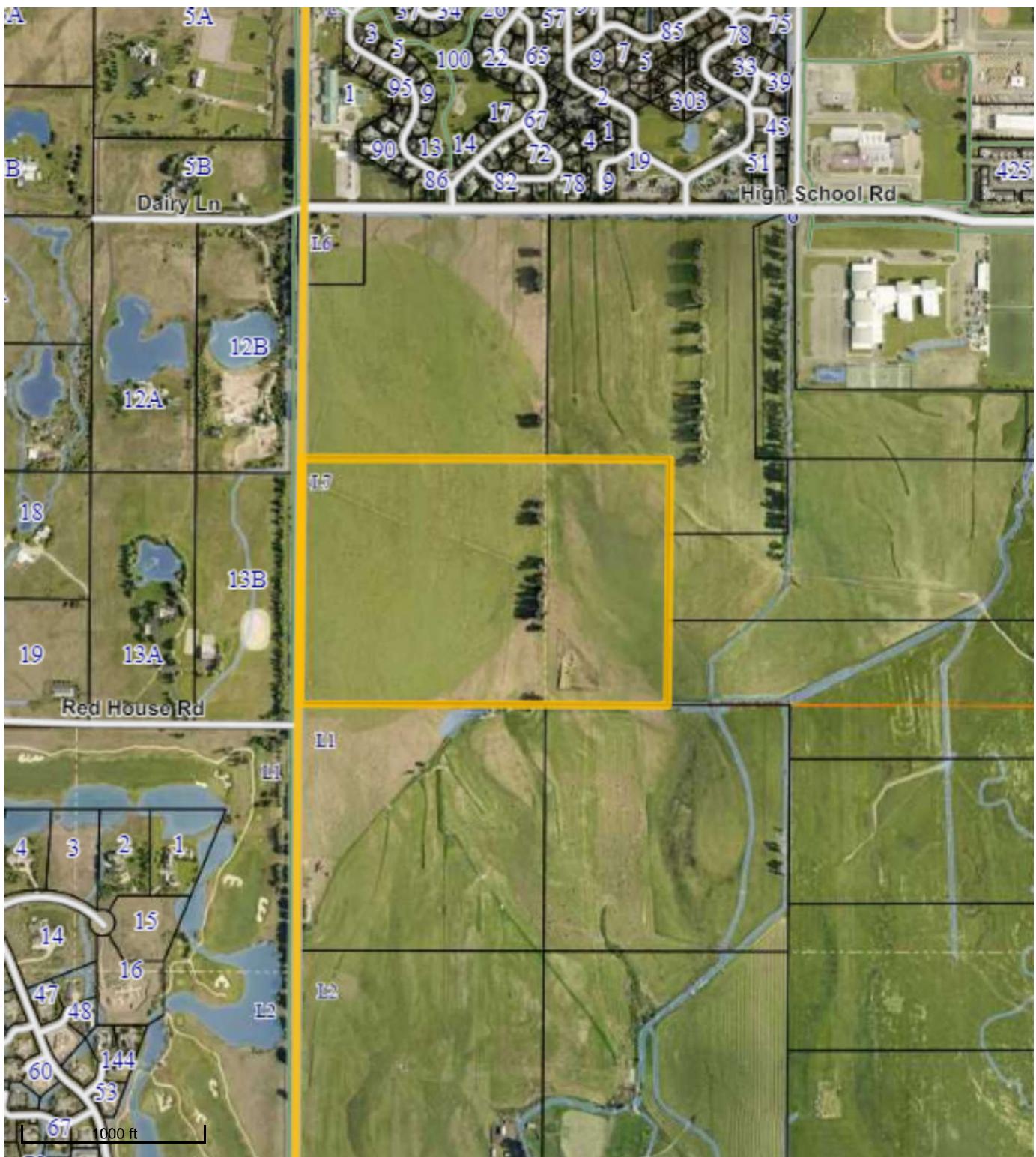
- Orange line: Township Line
- Blue line: River, Creeks, Lakes
- 2020 Color, 3" resolution, private land
- Red line: Highway



Teton County provides this map for illustrative purposes only and assumes no liability for actions taken by users based on information shown.
Updated 10/10/2022

Revised Hereford Ranch Tract 1

Teton County Wyoming MapServer



- Yellow line: Township Line
- Blue line: River, Creeks, Lakes
- 2020 Color, 3" resolution, private land
- Red line: Highway



Teton County provides this map for illustrative purposes only and assumes no liability for actions taken by users based on information shown.
Updated 10/10/2022

Revised Hereford Tract 10

Jackson Hole News&Guide
PROOF OF PUBLICATION

**COUNTY OF TETON
THE STATE OF WYOMING**

Kevin Olson

Being duly sworn, deposes and says that he is the Publisher of the JACKSON HOLE NEWS&GUIDE, weekly newspaper published in Jackson in said county and state, and that the annexed Notice was published in 2 consecutive issues of said newspaper and not in a supplement, the first publication thereof being on November 2, 2022

Subscribed in my presence and sworn to before me this Day of November, 20 22

Kevin Olson
Kevi Olson
NOTARY PUBLIC

Kevin Olson
NOTARY PUBLIC

Notice is hereby given that, in accordance with §18-5-306 Wyoming Statutes, JHHR Holdings I LLC intends to apply for a permit for a subdivision plat in Teton County. A public hearing for said permit will occur at a regular meeting of the Teton County Board of County Commissioners at the Teton County Administration Building. Please contact the Teton County Planning Office at 307-733-3959 for the scheduled meeting date. The proposed subdivision consists of a 25.67-acre portion of Revised Hereford Ranch Tract 10 within Gov't Lot 7 of Section 6, T.40N., R.116W. and is in an area zoned Suburban that is located east of South Park Loop Road, approximately one-third of a mile south of High School Road. After approval and recordation of the one lot subdivision, at a future date it will be re-platted in accord with Development Plan DEV2022-0006.

Publish: 11/02, 11/09/22

Fee for publication \$ 110.00 Charge to the following:

Account No: 26452 Name: 3D Planning Solutions

Address: PO Box 523 Jackson, WY 83001

CERTIFICATE OF OWNER

The undersigned, acting for and on behalf of JHHR Holdings I LLC, a Wyoming limited liability company, hereinafter referred to as Owner, does hereby certify:

that JHHR Holdings I LLC is the owner and proprietor of those parts of Government Lot 7, Township 40 North, Range 116 West, 6th Principal Meridian, Teton County, Wyoming, more particularly described in the Certificate of Surveyor on this plat;

that parts of said Government Lot 7 are hereby subdivided, and that the foregoing subdivision of said lands, as shown on this plat, is with the free consent and in accordance with the desires of said Owner;

that the name of the foregoing subdivision shall be JHHR SOUTH;

SUBJECT TO the terms and conditions of the following instruments of record in the Office of the Clerk of Teton County, Wyoming:

1. RIGHT-OF-WAY EASEMENT for South Park County Road in Book 8 of Mixed Records, pages 507-508;
2. AFFIDAVIT regarding Leek Ditch in Book 214 of Photo, pages 89-93;
3. MEMORANDUM OF FENCE AGREEMENT in Book 749 of Photo, pages 103-112;

that access to the foregoing subdivision is via adjacent South Park County Road 22-1;

that the undersigned Owner hereby reserves unto itself, its heirs, successors and assigns the right to grant unto other parties non-exclusive easements for any purposes it deems necessary within the foregoing subdivision;

that JHHR SOUTH may be SUBJECT TO other easements, rights-of-way, covenants, conditions, restrictions, reservations, agreements, or encumbrances of such and/or record;

that the seller does not warrant to the purchaser that they shall have any rights to the natural flow of any stream within or adjacent to the subdivision;

that Wyoming law does not recognize any riparian rights to the continued natural flow of any stream within or adjacent to the subdivision;

JHHR Holdings I LLC

WATER RIGHTS NOTES

The records of the Wyoming State Engineer's Office indicate:

- that ground water rights are appertaining to the lands of this subdivision under permits U.W. 203172 and U.W. 204944, the Jackson Hole Hereford Ranch #1 Irrigation Well and the Enl. Jackson Hole Hereford Ranch #1 Irrigation Well, respectively. Said well is owned by JHHR Holdings I LLC and is located on the Remainder Adjusted Hereford Ranch Tract 10; said rights shall be retained, and
- that surface water rights are appertaining to the lands of this subdivision for irrigation; said rights, under the following appropriations, shall be retained:

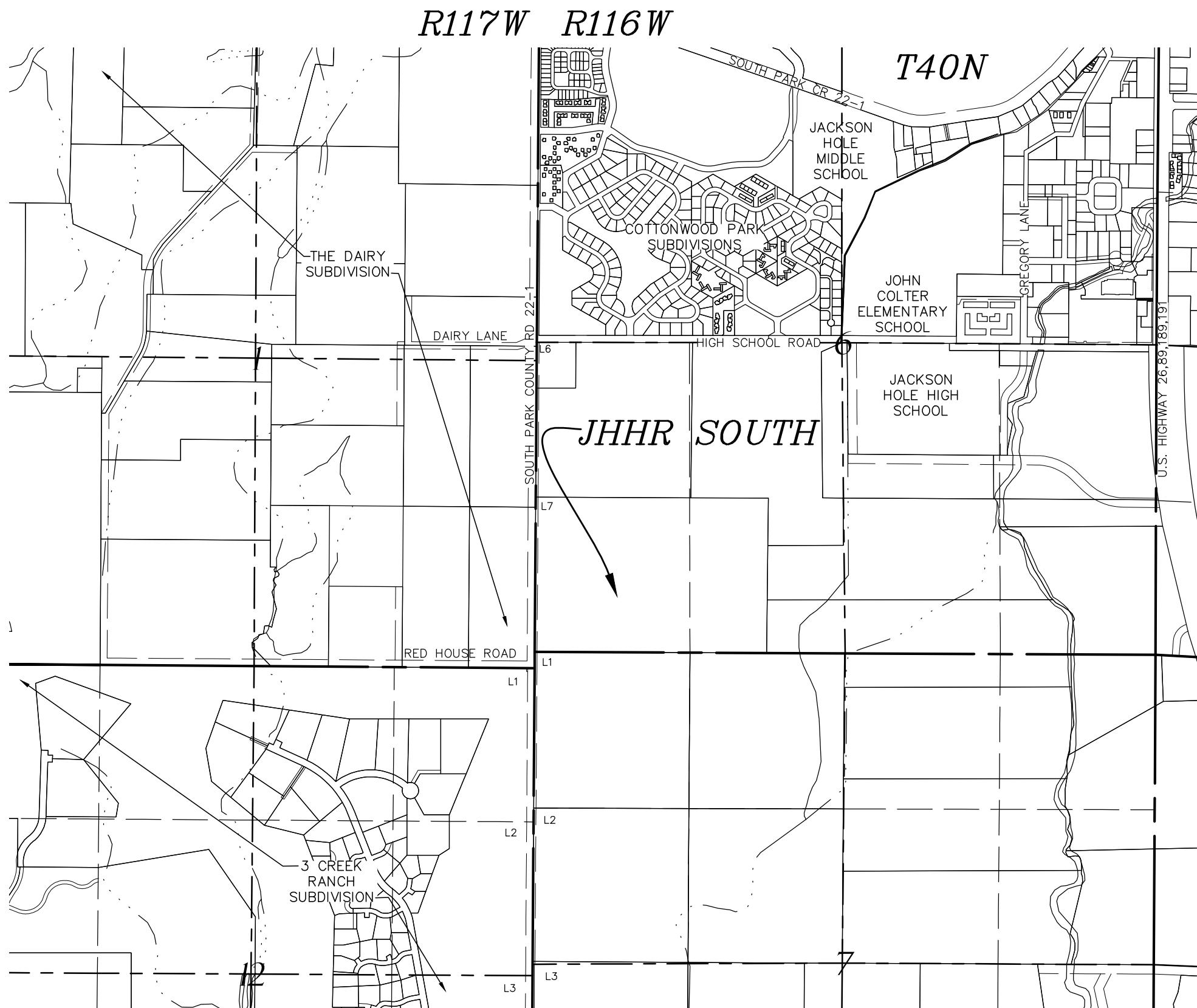
original supply from Little Gros Ventre River (a.k.a. Flat Creek), tributary of Snake River, via the Enl. Leek Ditch, Permit 5651E, under the R. Bruce Porter appropriation, Certificate Record 63, page 264, Proof 25232, with priority of September 2, 1952; and

supplemental supply from Gros Ventre River, tributary of Snake River, via the Enl. South Park Supply Ditch, Permit 5638E, under the R. Bruce Porter appropriation, Certificate Record 63, page 267, Proof 25235, with priority of September 8, 1952.

Note that water rights may be altered over time. For the status of water rights appertaining to this subdivision after the recordation of this plat, refer to the records of the Wyoming State Engineer's Office.

SELLER DOES NOT WARRANT TO PURCHASER THAT THE PURCHASER SHALL HAVE ANY RIGHTS TO THE NATURAL FLOW OF ANY STREAM OR RIVER WITHIN OR ADJACENT TO THE PROPOSED SUBDIVISION.

WYOMING LAW DOES NOT RECOGNIZE ANY RIPARIAN RIGHTS TO THE CONTINUED NATURAL FLOW OF A STREAM OR RIVER FOR PERSONS LIVING ON THE BANKS OF A STREAM OR RIVER.



VICINITY MAP
SCALE: 1" = 1000'

CERTIFICATE OF SURVEYOR

I, Matthew P. Gotham, a Wyoming Professional Land Surveyor, do hereby certify:

that this plat was prepared from data obtained during surveys performed under my direction during July 2021; from previous surveys performed by Jorgensen Associates, P.C. and Jorgensen Associates, Inc., and from information of record in the Office of the Clerk of Teton County, Wyoming

that this plat correctly represents JHHR SOUTH, being a subdivision of Adjusted Hereford Ranch Tract 10, described in that Quitclaim Deed of record in the Office of the Clerk of Teton County, Wyoming in Document _____, and depicted on Map of Survey of record in said Office as Map T-_____, and is located within Government Lot 7 of Section 6, Township 40 North, Range 116 West, 6th P.M., Teton County, Wyoming;

that said JHHR SOUTH is more particularly described as follows:

BEGINNING at the southwest corner of said Section 6;

thence N00°04'18"W, 1158.23 feet, along the west line of Section 6 to a point;

thence S66°07'50"E, 1402.72 feet to a point;

thence SOUTH, 586.49 feet, to a point on the south line of said Section 6;

thence S89°48'56"W, 1281.31 feet, along said south line of Section 6 to the POINT OF BEGINNING.

Said parcel encompasses 25.67 acres, more or less.

The basis of bearings for this description is N00°04'18"W along said west line of Section 6.

that said JHHR SOUTH is SUBJECT TO easements, rights-of-way, covenants, conditions, restrictions and agreements including, but not limited to, those specifically called for in the Certificate of Owner on this plat;

that according to the records of the Wyoming State Engineer's Office, the lands of this subdivision have surface water rights and ground water rights; said rights are specifically detailed in the Water Rights Notes on this Sheet of this plat.

CERTIFICATE OF APPROVAL

Pursuant to Sections 34-12-103, and 18-5-301 through 18-5-315, Wyoming Statutes and the pertinent land development regulations of Teton County, Wyoming, the foregoing subdivision, JHHR SOUTH, was approved at the regular meeting of the Board of County Commissioners held on the _____ day of _____, 2023;

State of Wyoming)
County of Teton) SS

ATTEST:

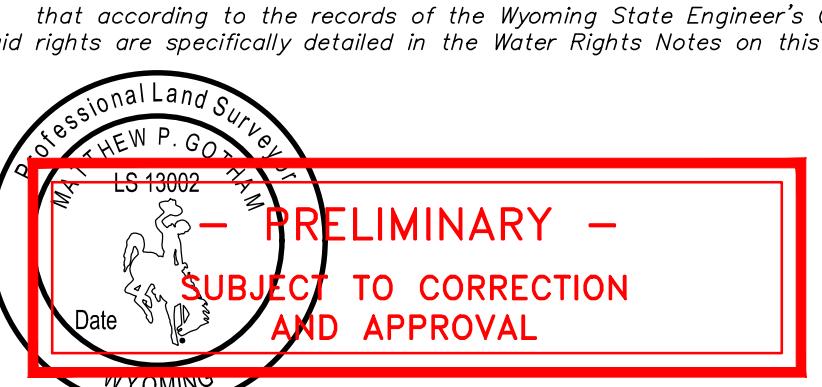
Clerk,
Maureen E. Murphy

BOARD OF COUNTY COMMISSIONERS

Chair,
Natalia D. Macker

LOT AND AREA SUMMARY

TOTAL AREA: 25.67+/- ACRES
TOTAL NUMBER OF LOTS: 1
SUBJECT TO FURTHER SUBDIVISION IN ACCORDANCE WITH
DEVELOPMENT PLAN DEV 2022-0006



Matthew P. Gotham
Wyoming Professional Land Surveyor 13002

State of Wyoming)
County of Teton) SS

The foregoing instrument was acknowledged before me by Matthew P. Gotham this _____ day of _____, 2023.

WITNESS my hand and official seal.

Notary Public
My commission expires:

OWNER:
JHHR Holdings I LLC
a Wyoming limited liability company
c/o
2505 Shootin Iron Ranch Road
Jackson, Wyoming 83001-9493
307-733-6688

SURVEYOR & ENGINEER:
Jorgensen Associates, Inc.
1315 South Highway 89, Suite 201
P.O. Box 9550
Jackson, Wyoming 83002
307-733-5150



INITIAL SUBMITTAL DATE: NOVEMBER 23, 2022

FINAL PLAT JHHR SOUTH

A SUBDIVISION OF
Adjusted Hereford Ranch Tract 10, Map T-____

LOCATED WITHIN
PT. Government Lot 7, Section 6
T.40N, R.116W, 6th P.M.
Teton County, Wyoming

SHEET 1 OF 2

PREPARED BY: RHL MAP PREPARED: 11/22/2022 PROJECT NUMBER: 20030.60

P:\2020\0030-JHHR Holdings 1-HS Road Housing\60-Survey\CAD\20030 JHHR Plat-26 AC Single Lot_REVISED.dwg

LEGEND

cates a monument with Land Corner
ordination Certificate of record in the
ce of the Clerk of Teton County,
oming

pipe with 3" diameter brass cap
cribed "NELSON ENGINEERING PE & LS
3 1982" with other appropriate
rkings

forcing steel bar with 1" or 1-1/2"
2-1/2" diameter plastic cap
cribed "RLS 3831" or "PLS 3831"

forcing steel bar without cap

pipe with 3" diameter brass cap
cribed "NELSON ENGINEERING PLS
3 2008" with other appropriate
rkings

pipe with 3" diameter brass cap
cribed "PETER M. JORGENSEN PE &
2612 1984" with other appropriate
rkings

forcing steel bar with 3" diameter
minum cap inscribed "JORGENSEN
SOCIATES PLS 13002" with other
ropriate markings set this survey

forcing steel bar with 2" diameter
minum cap inscribed "JORGENSEN
SOCIATES INC. PLS 13002" set this
vey

nail with washer inscribed
JORGENSEN PLS 13002" set this survey

tion line

tional subdivision line

ndary, subject properties

ndary, adjoining property

ndary, road right-of-way

FINAL PLAT
JHHR SOUTH

THE BEECHWOOD
A SUBDIVISION OF

and Hereford Ranch Tract 10, Map T-
LOCATED WITHIN
PT. Government Lot 7, Section 6
T.40N., R.116W., 6th P.M.
Take 2nd W. from 1st

Teton County, Wyoming
SHEET 2 OF 2

— PRELIMINARY —
SUBJECT TO CORRECTION
AND APPROVAL

