



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: December 9, 2022	REQUESTS:
Item #: P22-288	
Planner: Katelyn Page	
Phone: 733-0440 ext. 1302	
Email: kpage@jacksonwy.gov	
Owner Carol & Ramon Tome 3775 Randall Mill Rd.NW Atlanta, GA 30327	
Applicant Cornelius Kinsey – Kinsey, LLC PO Box 12258 Jackson, WY 83002	
Please respond by: December 23, 2022 (with Comments)	

Applicant

Cornelius Kinsey – Kinsey, LLC
PO Box 12258
Jackson, WY 83002

The applicant is submitting a request for a Grading Pre-Application Conference for 410 E Gill, legally known LOTS 1,2,3, BLK. 5, L.G. GILL SUBDIVISION PIDN: 22-41-16-27-3-08-002

For questions, please call Brian Lenz at 307-733-0440 x1410 or email to the address shown below. Thank you.

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: Tome Single-family residence with ARU

Physical Address: 170 North Gros Ventre Street - address changed to 410 E. Gill Ave.

Lot, Subdivision: Lots 1, 2, 3, Block 5, L.G. Gill subdivision PIDN: 22-41-16-27-3-08-002

PROPERTY OWNER.

Name: Carol B. and Ramon E. Tome Phone: 770.289.7036
Mailing Address: 3775 Randall Mill Rd. NW, Atlanta, GA ZIP: 30327-2747
E-mail: ctome@ups.com

APPLICANT/AGENT.

Name, Agency: Cornelius Kinsey - Kinsey, LLC Phone: 413.2485
Mailing Address: P.O. Box 12258, Jackson, WY ZIP: 83002
E-mail: kinseycornelius@yahoo.com

DESIGNATED PRIMARY CONTACT.

 Property Owner x Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

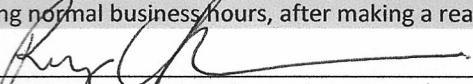
Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc) survey
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

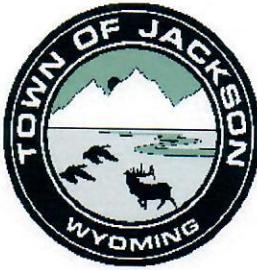

Signature of Owner or Authorized Applicant/Agent

Roy Cornelius Kinsey, Jr.
Name Printed

7 DEC 2022

Date

ARCHITECT/AGENT
Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: 12/1/2022

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Carol B. & Ramon E. Tome

Being duly sworn, deposes and says that Carol B. & Ramon E. Tome is the owner in fee of the premises located at:

Address of Premises: 170 North Gros Ventre Street

Legal Description: Lots 1, 2,3, Block 5, L.G. Gill Subdivision

Legal Description: Lots 1, 2, 3, Block 5, L.G. Gm Subdivision
Please attach additional sheet for additional addresses and legal descriptions.

And, that the person named as follows: Name of Applicant/agent: Cornelius Kinsey, Kinsey, LLC

Mailing address of Applicant/agent: P.O. Box 12258, Jackson, WV 28002

Email address of Applicant/agent: kinseycornelius@yahoo.com

Phone Number of Applicant/agent: 413 2485

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Demolition Permit

Other (describe) Basic Use Permit

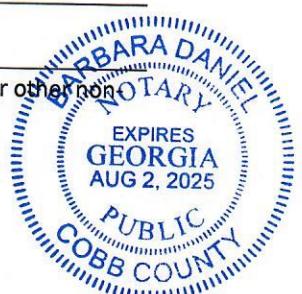
Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Ramon E. Sime

Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Georgia)
COUNTY OF Cobb) SS.
)



The foregoing instrument was acknowledged before me by Ramon E. Tome' this 1st day of December, 2022. WITNESS my hand and official seal.

Notary Public

My commission expires:

August 2, 2025

APPLICATION #:	
----------------	--

Name of Application:	410 E. Gill (170 N. Gros Ventre)
Subpermits:	
Associated Applications:	
Prerequisite Applications:	P22-288 Pre-Ap
Agent/Applicant:	Cornelius Kinsey
Property Owner:	Tome
Reviewer:	Katelyn Page

Standard	Allowed/Required	Proposed	Complies
Zoning	NL-3		NA
Min Lot Size	7,500 SF		NA
Primary Street Setback (north)	20'	18'	No
Secondary Setback (west) N. Gros Ventre	10'	20.9'	Yes
Side Setback (east)	10'	25'	Yes
Secondary Street (south)	10'	10	Yes
Site Development Setbacks	20' primary 10' secondary 5' side interior		
Building Height	26' – 30'		Plans should verify building height
Encroachments (roof / stairs)	6 / 4		Front encroachment porch is too large
Stories	2		
FAR	0.40	7209.11 /22651.2 .318	Yes
LSR	0.45		Likely ok
Affordable Housing	0.000017(sf) + (Exp(-15.49 + 1.59*Ln(sf))/2.176	7209.11 – 769.23 sf (ARU exempt)	\$56,540.03 (0.208 units)
Parking	2/DU	4 required	Show +2 spaces
Parking setbacks	20' primary 10' secondary		
Access / Curb cut	20' width	Appears 23'	verify
Lighting / lumens	1.5 lumens / SF of site development		
Fencing	4'		

	6'	
--	----	--

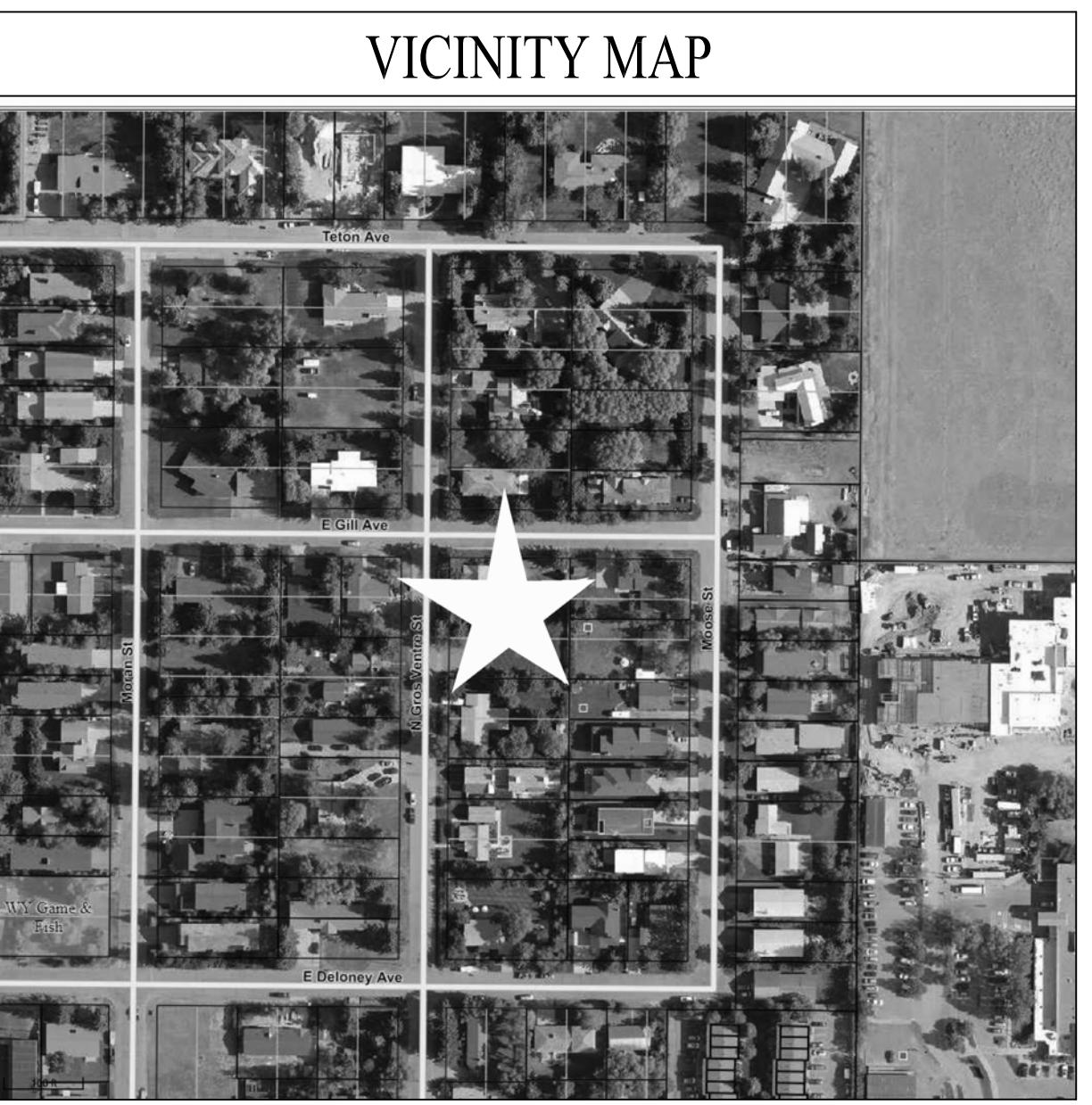
Notes

- Orientation and setbacks – Based on proposed orientation on corner lot, Primary Street is E. Gill and Secondary street is N. Gros Vente. Because corner lot, there is not “rear” setback and instead primary structure shall adhere to 10' or greater side interior setback.
- Structure does not meet primary street setback of 20'
- Revise encroachment - Porch encroachment on E. Gill is must be no greater than 6'. (Sec. 9.4.8.J.a) Cornices, canopies, eaves, decks (covered and uncovered), porches, balconies, bay windows, chimneys and similar architectural features may encroach into a front yard by not more than 6 feet.
- Parking - Show total parking of 4 spaces (2 for primary dwelling and 2 for ARU (rounded from 1.5). ARU shall be provided past the parking setback of 10' on secondary street and 20' on primary street. Current plans do not successfully accommodate required ARU parking. Revise.
- Curb cut max is 20'. Plans appear to show wider than allowed curb cut.
- List site development sf on plans
- Lumen allowance is 1.5 lumens /sf of site development
- Housing Mitigation estimated at **\$56,540.03 (0.208 units)**

Pre-App Review

- Need ARU parking
- Orientation
- “Detached” non detached with walkway
- Front encroachment is greater than 6' (6'-7") (A2.2)
- Clarify building height
- Verify parking setbacks

LDR Table



3-D IMAGE
2 NTS

ABBREVIATIONS	
AB	ANCHOR BOLTS
A.F.F.	ABOVE FINISHED FLOOR
AC.	ACOUSTICAL
ADJ.	ADJACENT
A/C	AIR CONDITIONING
ALT.	ALTERNATE
ALUM.	ALUMINUM
APPD.	APPROVED
B.O.	BOTTOM OF
BSMT.	BASEMENT
B.R.	BEARING
BLK.	BLOCK
BLKA.	BLOCKING
BD.	BOARD
BLDG.	BUILDING
C.J.	CONTROL JOINT
C.L.G.	CEILING
CLR.	CLEAR (ANCE)
COL.	COLUMN
CONC.	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST.	CONSTRUCTION
DL.	DETAIL
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
EF.	EACH FACE
E.J.	EXPANSION JOINT
ELEC.	ELECTRIC (AL.)
EQ.	EQUAL
EXIST.	EXISTING
E.W.	EACH WAY
F.D.	FLOOR DRAIN
FIN.	FINISH
FLR.	FLOOR
FLR.	FLUORESCENT
F.G.	FOOTING
F.B.O.	FURNISHED BY OTHERS
GA.	GAUGE
G.C.	GENERAL CONTRACTOR
G.C.P. BD.	Gypsum Board
G.F.I.	GROUND FAULT INTERRUPTED
HVAC	HEATING/ VENT/ AIR COND.
H.C.	HOLLOW CORE
H.M.	HOLLOW METAL
HR.	HOUR
INCL.	INCLUDE (D) (ING)
INSL.	INSULATE (D) (ION)
INT.	INTERIOR
J.T.	JOINT
M.P.R.	MANUFACTURER
M.L.	METAL
M.O.	MASONRY OPENING
MAX.	MAXIMUM
MECH.	MECHANICAL
MED.	MEDIUM
MM	MILLIMETER (S)
MIN.	MINIMUM
NOM.	NOMINAL
N.O.	NUMBER
N.I.C.	NOT IN CONTRACT
N.F.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
P.V.M.	PAVEMENT
PL.	PLATE
PLYWD.	PLYWOOD
PVC	POLYVINYL CHLORIDE
P.S.F.	POUNDS PER SQ. FOOT
P.S.I.	POUNDS PER SQ. INCH
P.T.	PRESSURE TREATED
R.	RADIAL
REF.	REFERENCE
REQ'D	REQUIRED
REINF.	REINFORCE (ING) (MEND)
R.O.	ROUGH OPENING
R.D.	ROOF DRAIN
RS	ROUGH SAWN
SIM.	SIMILAR
S.C.	SOLID CORE
SPEC.	SPECIFICATION (S)
SPKR.	SPEAKER
SQ.	SQUARE
SYS.	SYSTEM
THK.	THICK (NESS)
T.G.	TONGUE & GROOVE
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
TPL.	TRIPLE
TYP.	TYPICAL
U.B.C.	UNIFORM BUILDING CODE
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITION TILE
V.L.T.	VULCANIZED CEILING
V.R.R.	VENT THROUGH ROOF
V.B.	VAPOR BARRIER
W.C.	WATER CLOSET
W.P.	WATER PROOF (ING)
W.W.F.	WELDED WIRE FABRIC
W.	WIDTH
W/H	WITH
W/O	WITHOUT

RADON MITIGATION PER TETON COUNTY

GENERAL:
ALL BUILDINGS USED FOR THE HOUSING OF PERSONS SHALL BE PROVIDED WITH BASIC RADON MITIGATORS. THESE MITIGATORS ARE BASIC IN NATURE AND MAY REQUIRE SUPPLEMENTAL EQUIPMENT SHOULD HIGH LEVELS OF RADON BE FOUND IN THE STRUCTURE.

CRAWN SPACE MITIGATORS:
IN RESIDENTIAL STRUCTURES BUILT ABOVE A CRAWN SPACE, THE FOLLOWING MEASURES ARE REQUIRED:

1. SEALING OF CRAWN SPACE WALLS: ALL PORTIONS OF CRAWN SPACE WALLS BELOW GRADE SHALL BE SEALED WITH DAMPPROOFING OR WATERPROOFING.
2. ALL PENETRATIONS TO BE SEALED: ALL SEWER WATER, POWER, OR OTHER BELOW GRADE PENETRATIONS OF THE CRAWN SPACE SHALL BE THOROUGHLY CALLED. ADDITIONALLY, ALL PENETRATIONS BETWEEN THE CRAWN SPACE AND THE LIVING SPACE SHALL BE CALLED. ACCESS INTO THE CRAWN SPACE SHALL BE FIMED WITH A WEATHER STOP THAT WILL PROVIDE A POSITIVE SEAL.
3. VENTILATION OF CRAWN SPACE: IN ADDITION TO THE VENTILATION REQUIRED BY OTHER SECTIONS OF THIS CODE, ONE FOUR (4) INCH DIAMETER SCHEDULE 20 PVC PIPE SHALL BE INSTALLED FROM THE CRAWN SPACE THROUGH THE ROOF. THIS PIPE SHALL NOT SERVE ANY OTHER USE AND SHALL BE CONTINUOUS FOR ITS ENTIRE LENGTH. OFFSETS FROM THE VERTICAL SHALL BE MINIMIZED. THE PIPE SHALL BE LABELED WHERE NOT CONCEALED WITHIN THE CRAWN SPACE WITH THE WORDS "RADON VENT". THE PIPE SHALL BE PLACED SO THAT THE PART OF THE PIPE IMMEDIATELY BEATH THE ROOF AND OUTSIDE THE LIVING AREA IS ACCESSIBLE IN SUFFICIENT QUANTITY THAT A FAN MAY BE INSTALLED. THE FAN SHOULD BE RATED AT 90 TO 150 CFM TO NO STATIC PRESSURE. THE FAN POWER SHALL BE PLACED IN THE IMMEDIATE VICINITY OF THE PIPE. A RAIN CAP SHALL BE PROVIDED AT THE UPPER TERMINATION OF THE PIPE TO PREVENT THE ENTRY OF WATER INTO THE SYSTEM.

BASEMENT MITIGATORS:
IN RESIDENTIAL STRUCTURES BUILT ABOVE BASEMENTS, EITHER HABITABLE OR NON-HABITABLE, THE FOLLOWING MEASURES ARE REQUIRED:

1. SEALING OF BASEMENT WALLS: ALL PORTIONS OF BASEMENT WALLS TO A POINT ABOVE SHALL BE THOROUGHLY SEALED WITH AN APPROVED WATERPROOFING.
2. ALL PENETRATIONS IN WALLS ARE TO BE THOROUGHLY CALLED. IN ADDITION, ALL CRACKS IN FLOOR SLABS, JOINTS WHERE THE FLOOR MEETS THE FOUNDATION WALLS AND PENETRATION THROUGH THE BASEMENT FLOOR ARE TO BE SIMILARLY SEALED.
3. UNDER SLAB VENTILATION: A RADON COLLECTION SYSTEM CONSISTING OF FOUR (4) INCH PERFORATED PIPE SHALL BE PLACED WITH HOLES DOWN AND BEING IN FOUR (4) INCHES OF WASHED GRAVEL OF PEA SIZE OR LARGER WITHOUT FINES. THE PIPING SHALL BE CONNECTED TO A SOLID VERTICAL PIPE THAT WILL PASS THROUGH THE ROOF AS DESCRIBED IN CRAWN SPACE MITIGATORS #3. A BARRIER OF POLYETHYLENE SHEETING SHALL BE PLACED OVER THE SYSTEM AND GRAVEL. ALL LAPS OF SHEETING SHALL BE AT LEAST ONE FOOT. THE SHEETING SHALL BE SEALED AROUND PENETRATIONS AND TO FOUNDATION WALLS. A COVER OF FOUR (4) INCHES OF SAND OR CRUSHED GRAVEL SHALL THEN BE PLACED OVER THE SHEETING TO RECEIVE THE SLAB.
4. ALTERNATIVE DESIGN FOR UNDER SLAB VENTILATION: THE SYSTEM REQUIRED ABOVE MAY BE REDUCED TO THE PLASTIC SHEETING AND SAND WHEN A VENTILATION SYSTEM DESIGNED TO PROVIDE POSITIVE PRESSURE IN THE BASEMENT AREA IS PROVIDED AND APPROVED BY THE BUILDING OFFICIAL. (IF A WOOD STOVE IS PLACED IN THE BASEMENT, THIS ALTERNATIVE DESIGN MAY NOT BE USED.)

SQUARE FOOTAGE INFORMATION

FLOOR AREA FOR PROPERTY	HABITABLE	UNHABITABLE	UNHABITABLE BASEMENT	TOTAL
FIRST FLOOR	4,106.04 SQ. FT.		947.00 SQ. FT.	5,053.04 SQ. FT.
SECOND FLOOR	2,333.84 SQ. FT.			2,333.84 SQ. FT.
ARU	769.23 SQ. FT.			769.23 SQ. FT.
TOTAL	7,209.11 SQ. FT.		947.00 SQ. FT.	8,156.11 SQ. FT.

DRAWING INDEX

A.0.1	COVER PAGE, GENERAL NOTES
C.0.0	EXISTING SITE PLAN
C.0.1	DEMOLITION SITE PLAN
C.2.0	FINAL SITE PLAN
C.3.0	GRADING & EROSION CONTROL PLAN
C.3.1	GRADING DETAILS
C.4.0	UTILITY SITE PLAN
C.4.1	WATER & UTILITY PLAN
C.4.2	SEWER DETAILS
A.2.1	OVERALL FIRST FLOOR PLAN
A.2.2	PARTIAL FIRST FLOOR PLAN
A.2.3	PARTIAL SECOND FLOOR PLAN
A.2.4	Garage/ ARI FLOOR PLAN

GENERAL NOTES

1. THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED BUILDING PERMITS AND AGENCY APPROVALS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EXECUTING WORK IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODES AND ALL OTHER AGENCY REGULATORS.
3. THE CONTRACTOR MUST INSPECT THE SITE BEFORE BEGINNING WORK AND IDENTIFY CONFLICTS OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
4. THE GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE DIMENSIONS AND CONDITIONS.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, MATERIALS SCHEDULES, ETC. WITHIN THE SCOPE OF THE PROJECT, AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
6. THE GENERAL CONTRACTOR MUST NOTIFY THE DESIGNER IMMEDIATELY OF CONDITIONS WHICH REQUIRE DEVIATION FROM CONSTRUCTING THE WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
7. DO NOT SCALE DRAWINGS IN ORDER TO DETERMINE DIMENSIONS. WRITTEN DIMENSIONS GOVERN, AND LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DRAWINGS. WALLS AND PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE MEASURED FROM FACE OF STUD AS INDICATED. ALL COLUMNS ARE MEASURED FROM CENTERLINE. CONTRACTOR TO BE AWARE OF ALL N.T.S. (NOT TO SCALE) DIMENSIONS.
9. THE PRESENCE OF THE DESIGNER ON THE JOB SITE DOES NOT IMPLY APPROVAL OF THE WORK. THE GENERAL CONTRACTOR MUST CALL SPECIFIC ITEMS TO THE DESIGNER IF HE WISHES TO OBTAIN DESIGNER'S APPROVAL.
10. THE GENERAL CONTRACTOR MUST SUBMIT ALL PROPOSED SUBSTITUTIONS IN WRITING TO THE DESIGNER FOR APPROVAL WITH SUFFICIENT INFORMATION, SAMPLES, AND DIFFERENCE IN COST FOR EVALUATION. IF A REVISION OR SUBSTITUTION IS MADE TO IN ANY WAY ALTER THE WORK SO THAT IT DOES NOT CONFORM WITH THE CONTRACT DOCUMENTS WITHOUT THE DESIGNER'S WRITTEN APPROVAL, SUCH ACTION WILL RELIEVE THE DESIGNER OF ANY LIABILITY FOR THE RESULTING AESTHETIC EFFECT, SUBSEQUENT FAILURE, PROPERTY DAMAGE OR PERSONAL INJURY.
11. THE GENERAL CONTRACTOR MUST PERFORM HIGH QUALITY PROFESSIONAL WORK. THE WORK OF EACH TRADE MUST MEET OR EXCEED ALL QUALITY STANDARDS PUBLISHED BY THAT TRADE.
12. THE GENERAL CONTRACTOR MUST ARRANGE TO ACCOMMODATE "NOTE IN CONTRACT" WORK AND MUST REQUEST INSTRUCTIONS FROM THE DESIGNER BEFORE PROCEEDING.
13. THE GENERAL CONTRACTOR MUST TAKE CARE TO PROTECT NEWLY INSTALLED MATERIALS, FINISHES AND ASSEMBLIES.
14. THE GENERAL CONTRACTOR MUST HALT THE WORK AFFECTED WHEN NOTIFIED OF A PROPOSED CHANGE AND PROCEED ONLY AFTER RECEIVING INSTRUCTIONS FROM THE DESIGNER.
15. THE GENERAL CONTRACTOR MUST SUBMIT A DETAILED PROJECT SCHEDULE AT THE BEGINNING OF THE PROJECT. ANY SIGNIFICANT CHANGES WHICH WOULD ALTER THAT INITIAL SCHEDULE MUST BE DOCUMENTED IN A REVIEW SCHEDULE.
16. THE GENERAL CONTRACTOR MUST PROVIDE ADEQUATE AND PROPER DRY STORAGE AND HANDLING OF ALL BUILDING MATERIALS, SUPPLIES, AND FINISHES IN ACCORDANCE WITH PRODUCT MANUFACTURERS' RECOMMENDATIONS.
17. THE GENERAL CONTRACTOR MUST DETERMINE THAT ALL EQUIPMENT SPECIFIED WILL FIT THROUGH EXISTING DOORWAYS AND CORRIDORS BEFORE EQUIPMENT IS PURCHASED OR SCHEDULED THE INSTALLATION SEQUENCE TO AVOID CONFLICTS.
18. THE GENERAL CONTRACTOR MUST COMPLY WITH THE RULES OF THE SUBDIVISION AND THE COUNTY AND THE DIRECTIONS OF THE OWNERS FOR CONSTRUCTION FACILITIES, USE OF PREMISES, ACCESS TO THE PROJECT SITE, AND TRASH REMOVAL.
19. ALL MECHANICAL, ELECTRICAL, AND CIVIL ENGINEERING SERVICES AND SYSTEMS WILL BE SPECIFIED AND INSTALLED BY THE RESPECTIVE TRADES. ALL SYSTEMS SHALL BE DESIGNED WITH THE RESPECTIVE CODES.
20. EACH TRADE IS RESPONSIBLE FOR INSPECTION OF SERVICES AND TO ADVISE THE GENERAL CONTRACTOR, DESIGNER, AND OWNER AS TO CURRENT CONDITION, POSSIBLE PROBLEMS AND POTENTIAL SOLUTIONS WITH RESPECT TO THEIR TRADES.
21. THE CONTRACTOR SHALL VERIFY WITH THE DESIGNER THE SELECTION, FABRICATION, FINISH, AND INSTALLATION OF ALL INTERIOR FINISH ITEMS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

ALL INTERIOR RUNNING AND STAND TRIM
ALL INTERIOR CABINETS AND MILLWORK, INCLUDING COUNTERTOPS
ALL PLUMBING FIXTURES AND PIPING
ALL LIGHTING FIXTURES

KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS
DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

PROJECT NUMBER
TOME RESIDENCE
170 NORTH GROS VENTRE STREET
JACKSON, WY

REVISIONS

PRE-APPLICATION CONFERENCE REQUEST

SHEET NAME
COVER PAGE
SCALE
VARIES
DATE
7 DECEMBER 2022

A0.1

SITE CONSTRUCTION NOTES & SPECIFICATIONS

CAUTION:

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
2. IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
3. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C3.0 FOR STAGING AND STOCKPILING LOCATIONS.
4. TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH AREAS. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
5. IN ACCORDANCE WITH SHEET C3.0, INSTALL EROSION CONTROL MEASURES AS NEEDED AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
6. REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
7. CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES ON THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
8. LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SPRING 2022 THROUGH SUMMER 2024.
9. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
10. IF A GEOTECHNICAL REPORT WAS COMPLETED, CONTRACTOR SHALL FOLLOW RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.
11. PER TOJ STANDARDS, INSTALL BACKFLOW PREVENTION (REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER) ON IRRIGATION SYSTEMS CONNECTING TO PUBLIC WATER SUPPLY.
12. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION MANAGEMENT REQUIREMENTS:
 - A. CONSTRUCTION PARKING AND STAGING SHALL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTRAGE. STAGING W/IN PUBLIC RIGHT-OF-WAYS IS PROHIBITED W/OUT AN ENCROACHMENT PERMIT.
 - B. STAGE MATERIALS AND EQUIPMENT WITHIN THE LOT BOUNDARY AND IN ACCORDANCE WITH SHEET C3.0. NO STAGING WITHIN PUBLIC RIGHT-OF-WAY IS ALLOWED.
 - C. TRACK-OUT OF DEBRIS ON PUBLIC ROADS IS PROHIBITED. PLACE GRAVEL SURFACING TO MINIMIZE MUD ISSUES DURING CONSTRUCTION IN ACCORDANCE WITH ST-119/C5.2.
 - D. INSTALL CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C3.0.
 - E. LOCATE AND PROVIDE TEMPORARY CONSTRUCTION FACILITIES INCLUDING TRAILERS, TOILETS, DUMPSTERS AND LOCATIONS FOR CONCRETE WASHOUT W/IN THE LOT BOUNDARY.
 - F. DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
13. FINAL GRADING INSPECTION: PER TOJ STANDARDS, CONTRACTOR/OWNER SHALL ARRANGE FOR GRADING INSPECTION AND FINAL APPROVAL BY THE DESIGN ENGINEER FOR PLAN-LEVEL GEC's
14. NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).

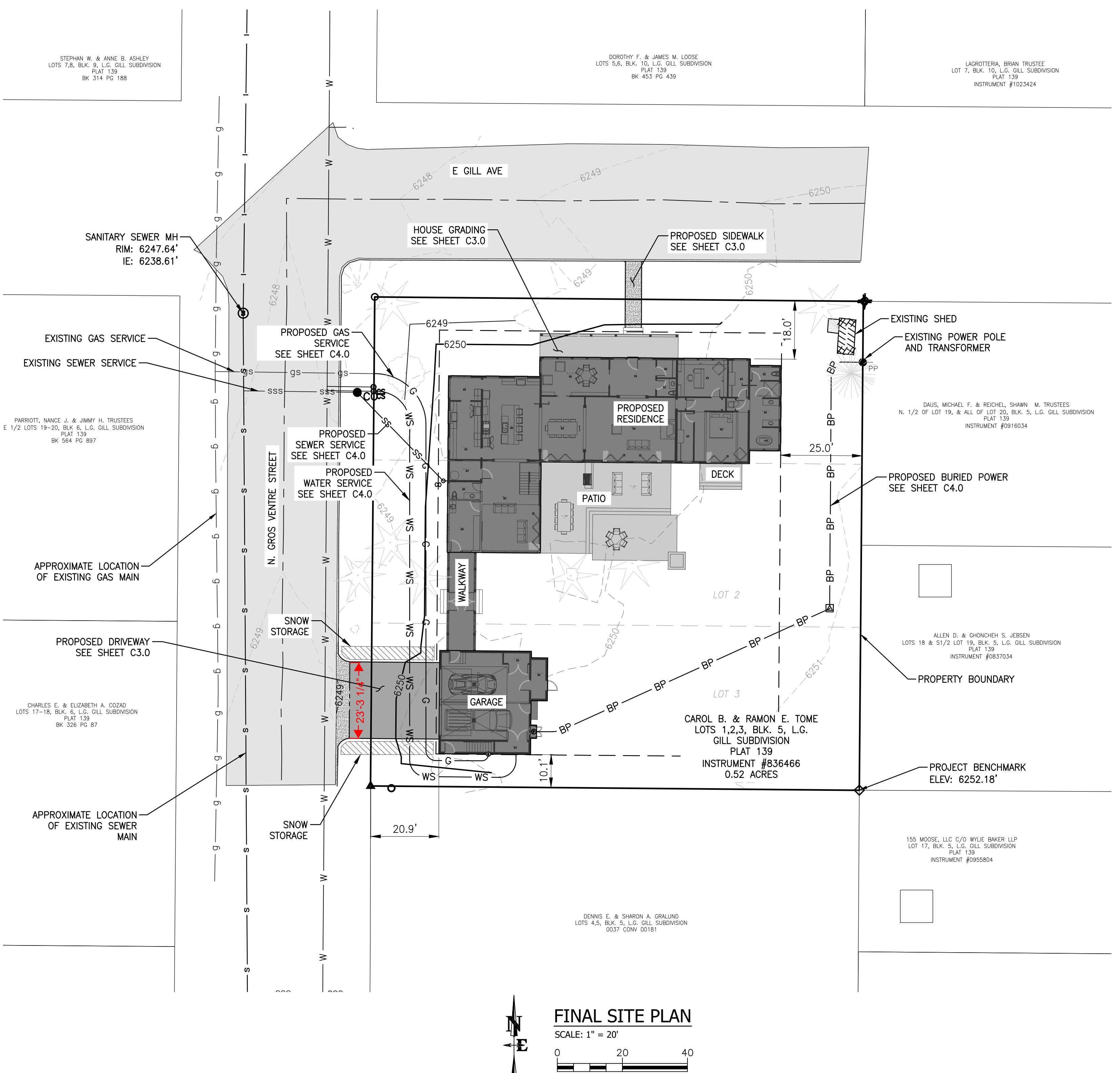
**NELSON
ENGINEERING**

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

FINAL SITE PLAN

JOB TITLE: TOME RESIDENCE
DRAWING NO: C2.0
JOB NO: 21-525-02

DATE	12/5/2022	REV.
SURVEYED	NE	
ENGINEERED	MB	
DRAWN	LB	
CHECKED	MB	
APPROVED	MB	



TETON COUNTY WEED AND PEST MANAGEMENT STRATEGIES

PRE-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE TETON COUNTY WEED & PEST, OR OTHER QUALIFIED PROFESSIONAL, TO CONDUCT A SITE SPECIFIC INVENTORY OF INVASIVE SPECIES AND CREATE A SPECIES SPECIFIC MANAGEMENT PLAN IN ACCORDANCE WITH TETON COUNTY LDR 5.7.2.

ACTIVE CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

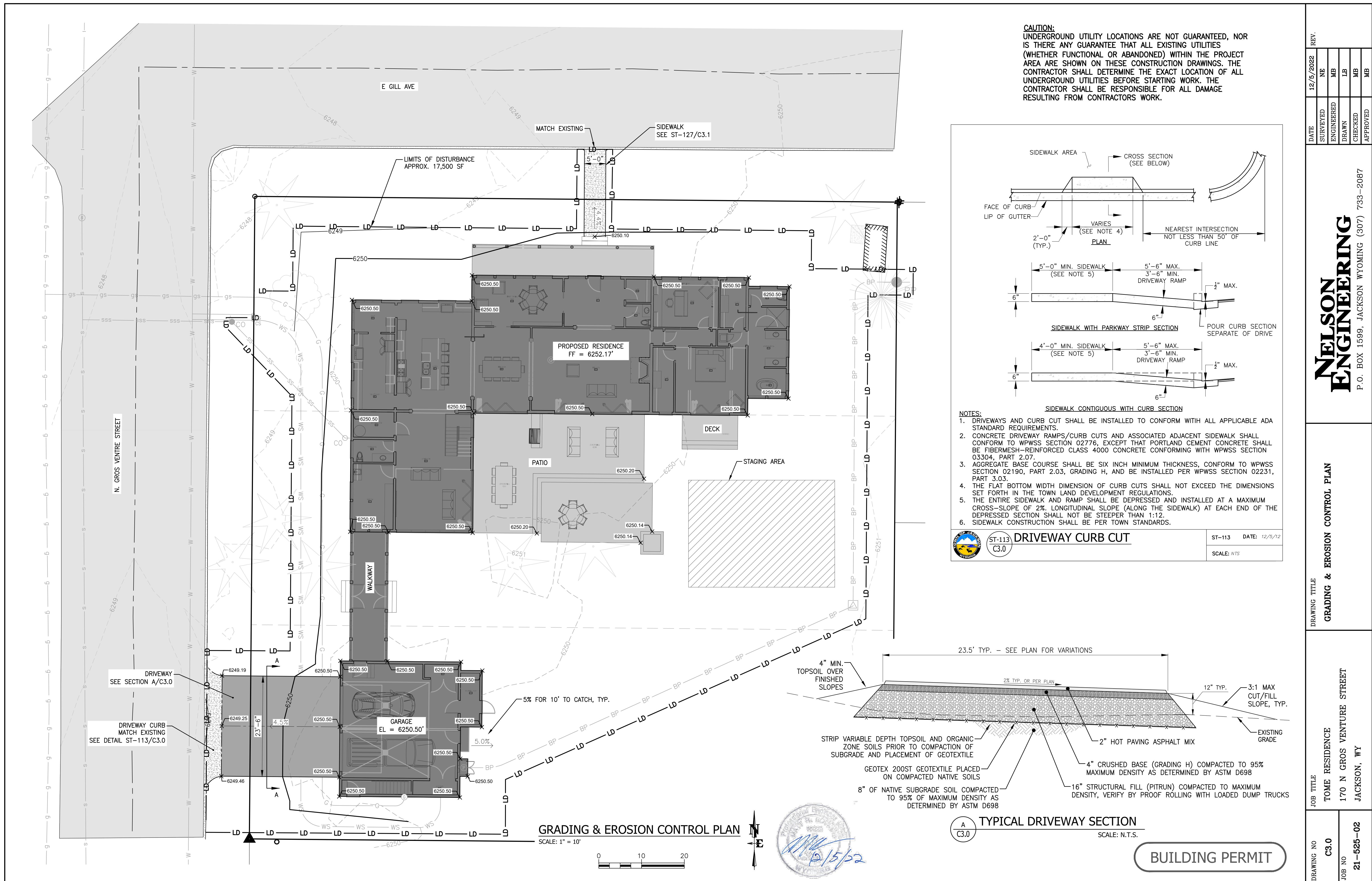
1. ALL CONSTRUCTION EQUIPMENT TO BE CLEANED PRIOR TO ENTERING THE SITE.
2. SOIL STOCKPILES TO BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
3. DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT SHALL BE MINIMIZED.
4. ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE KEPT ON ACTIVE MANAGEMENT USING THE CONTROL METHODS PRESCRIBED IN THE SPECIES SPECIFIC MANAGEMENT PLAN CREATED PRIOR TO CONSTRUCTION. THIS AREA SHALL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.

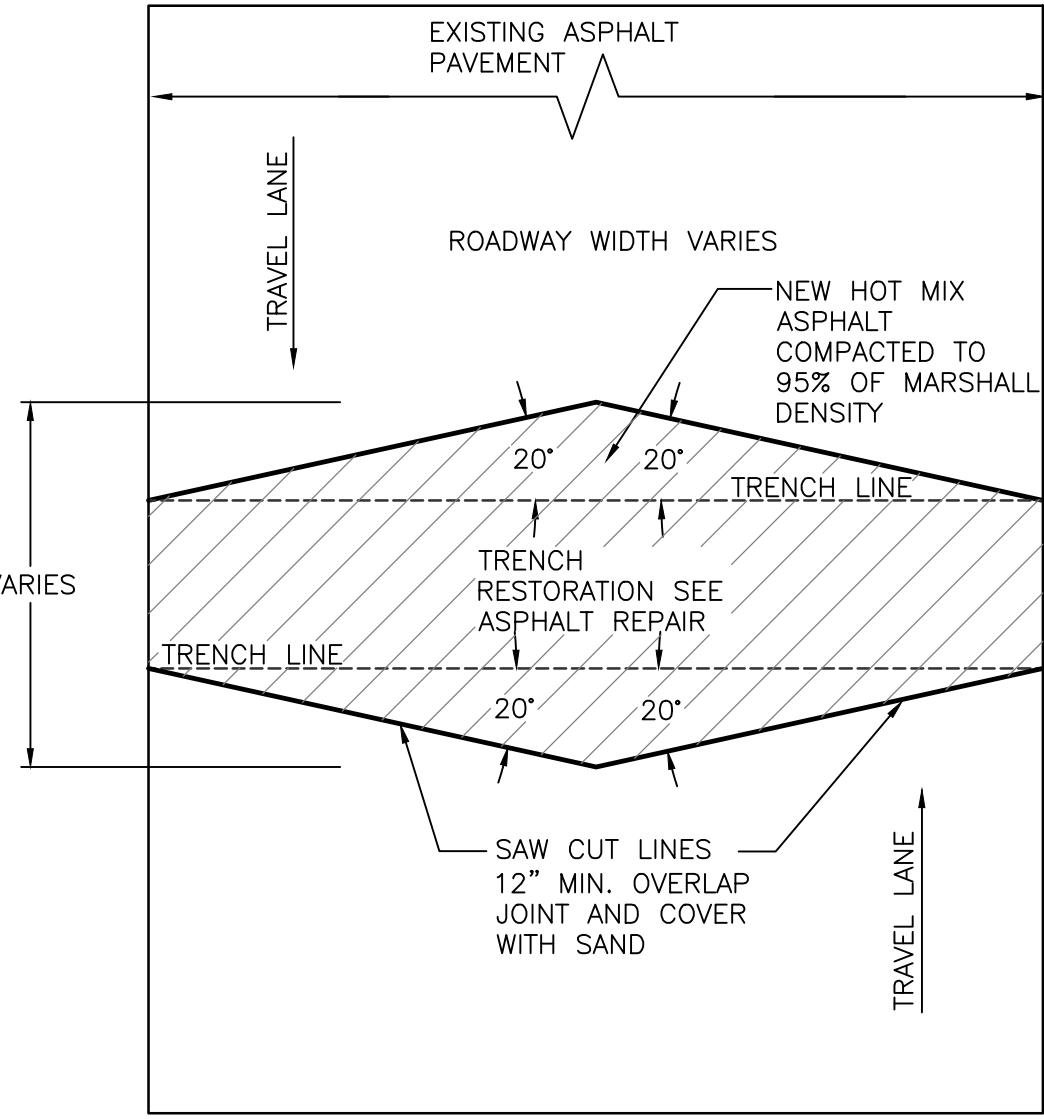
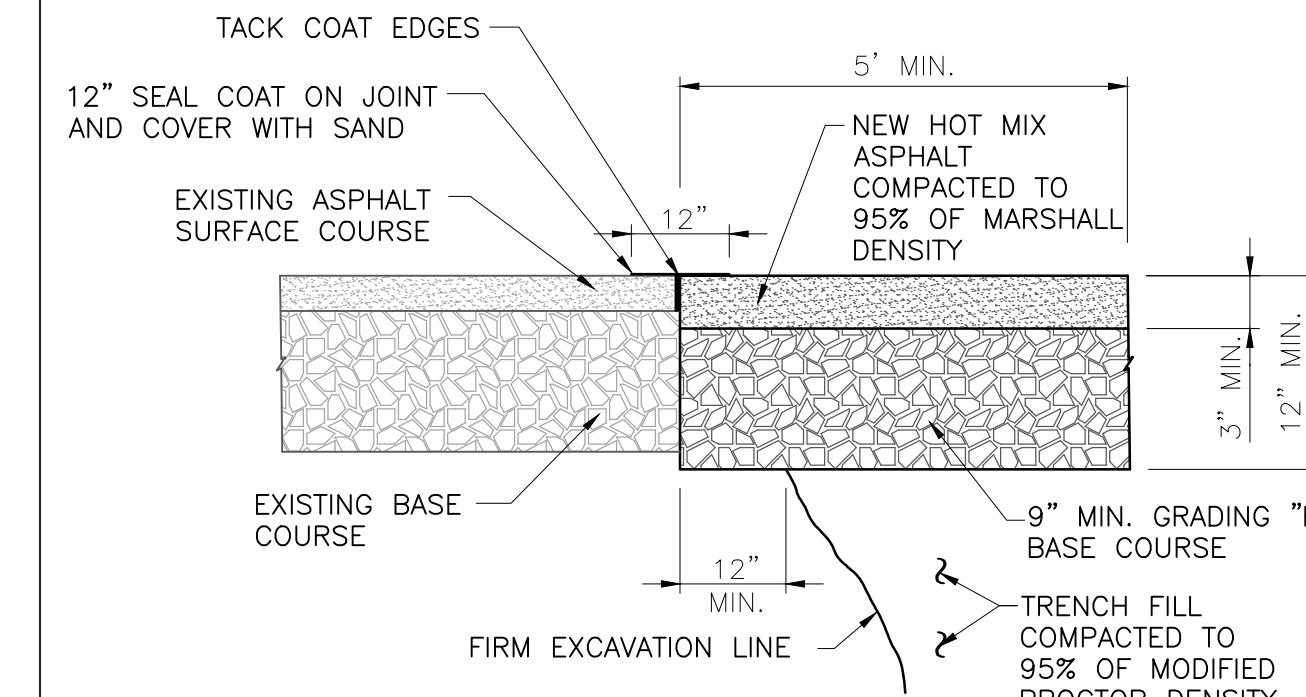
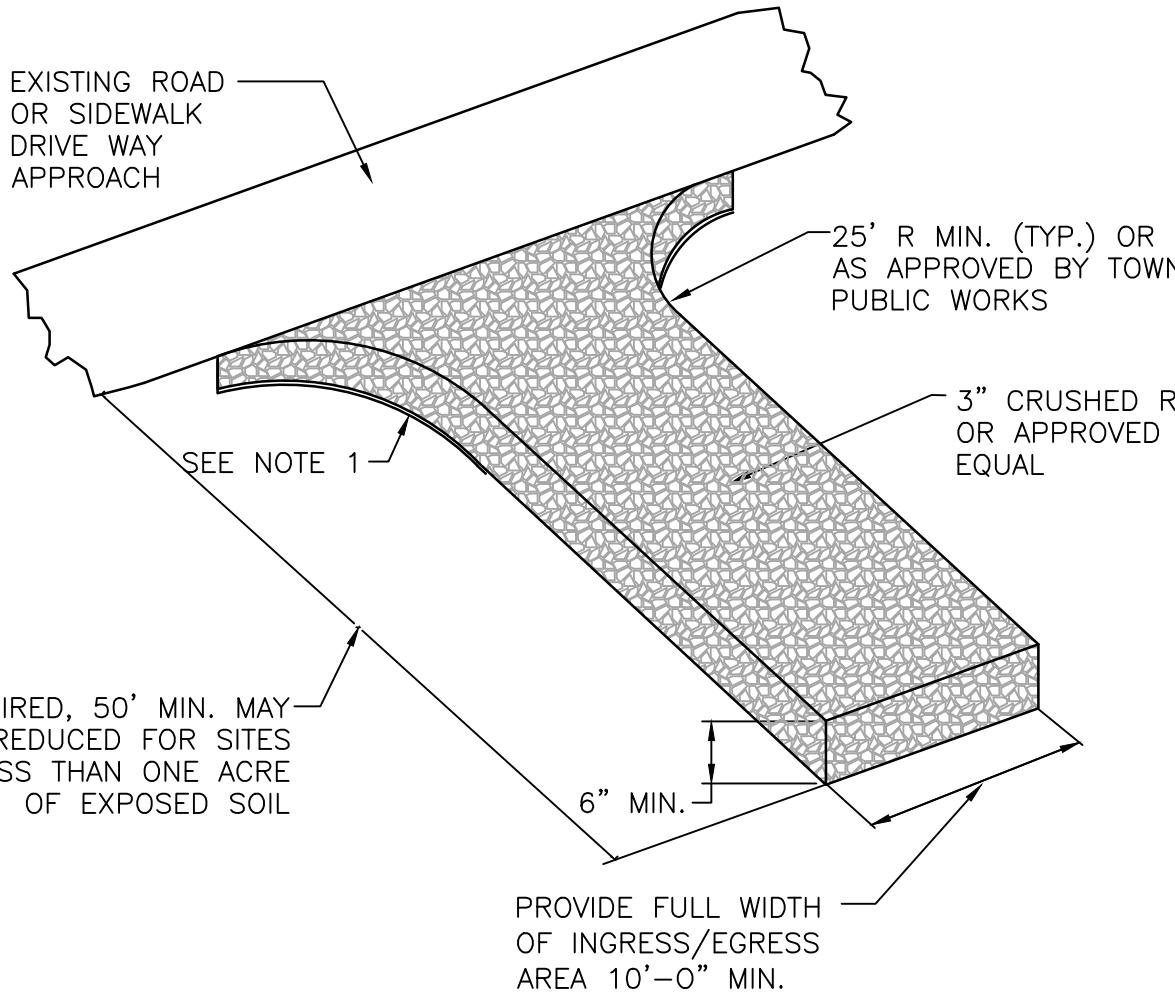
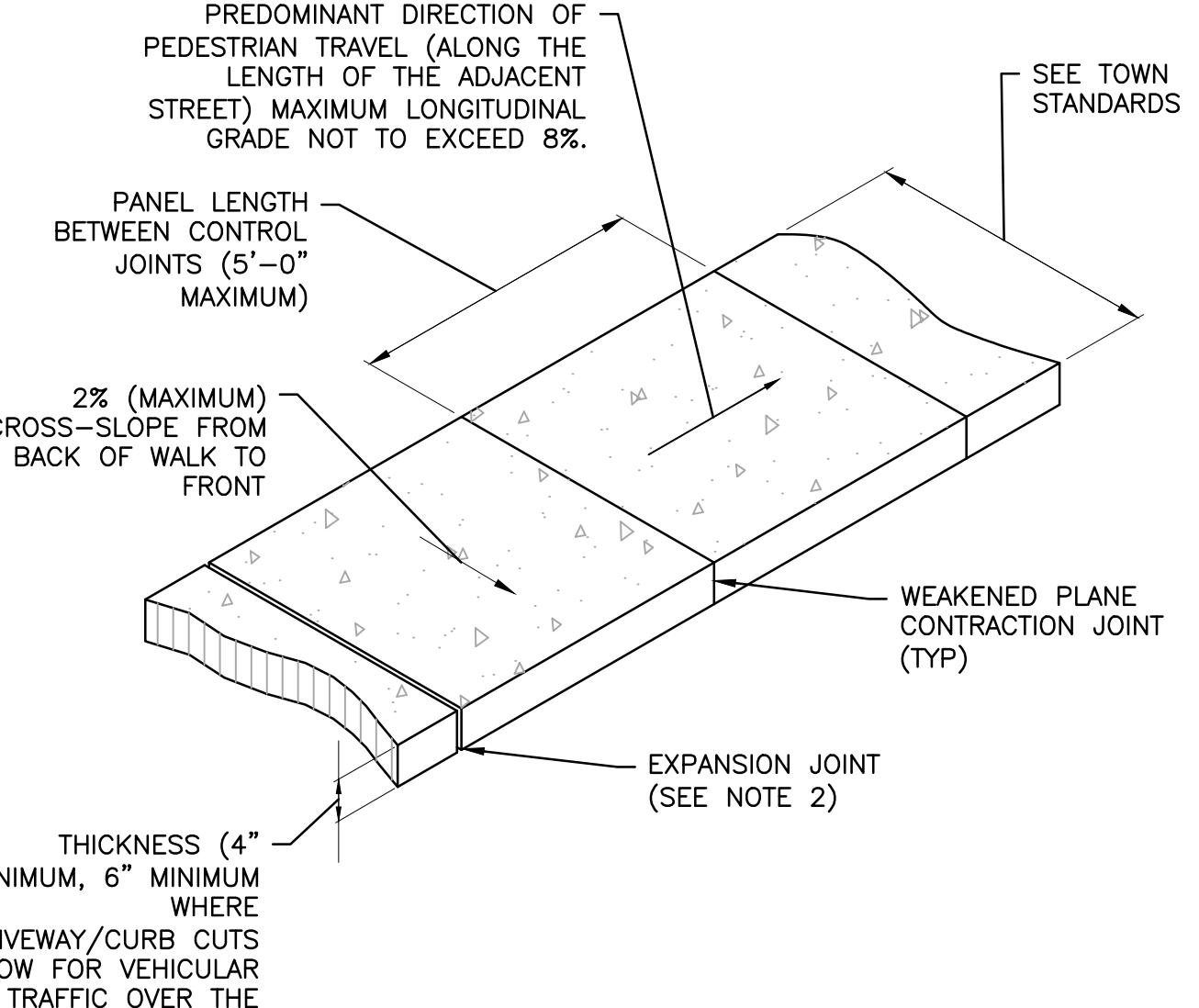
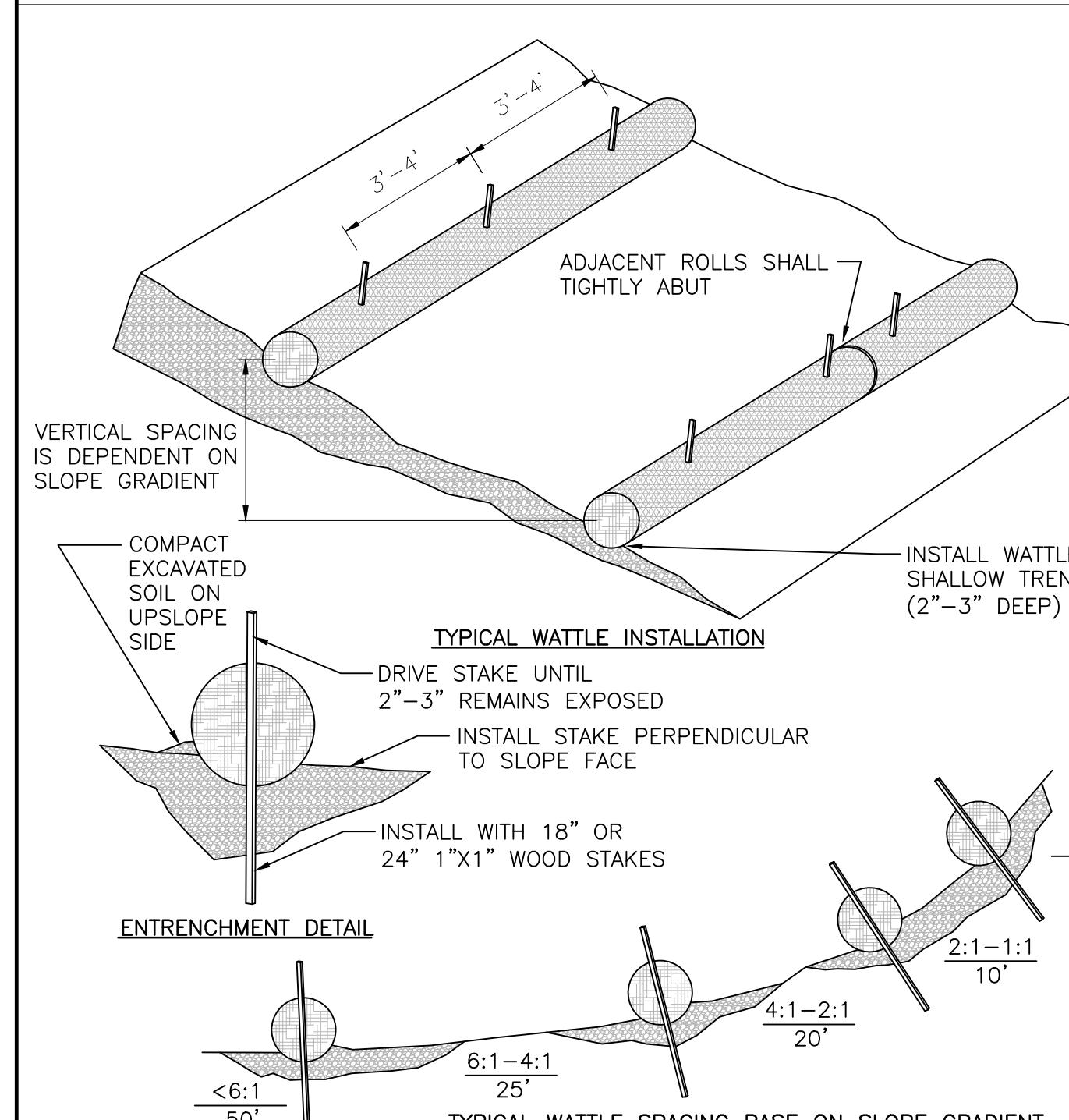
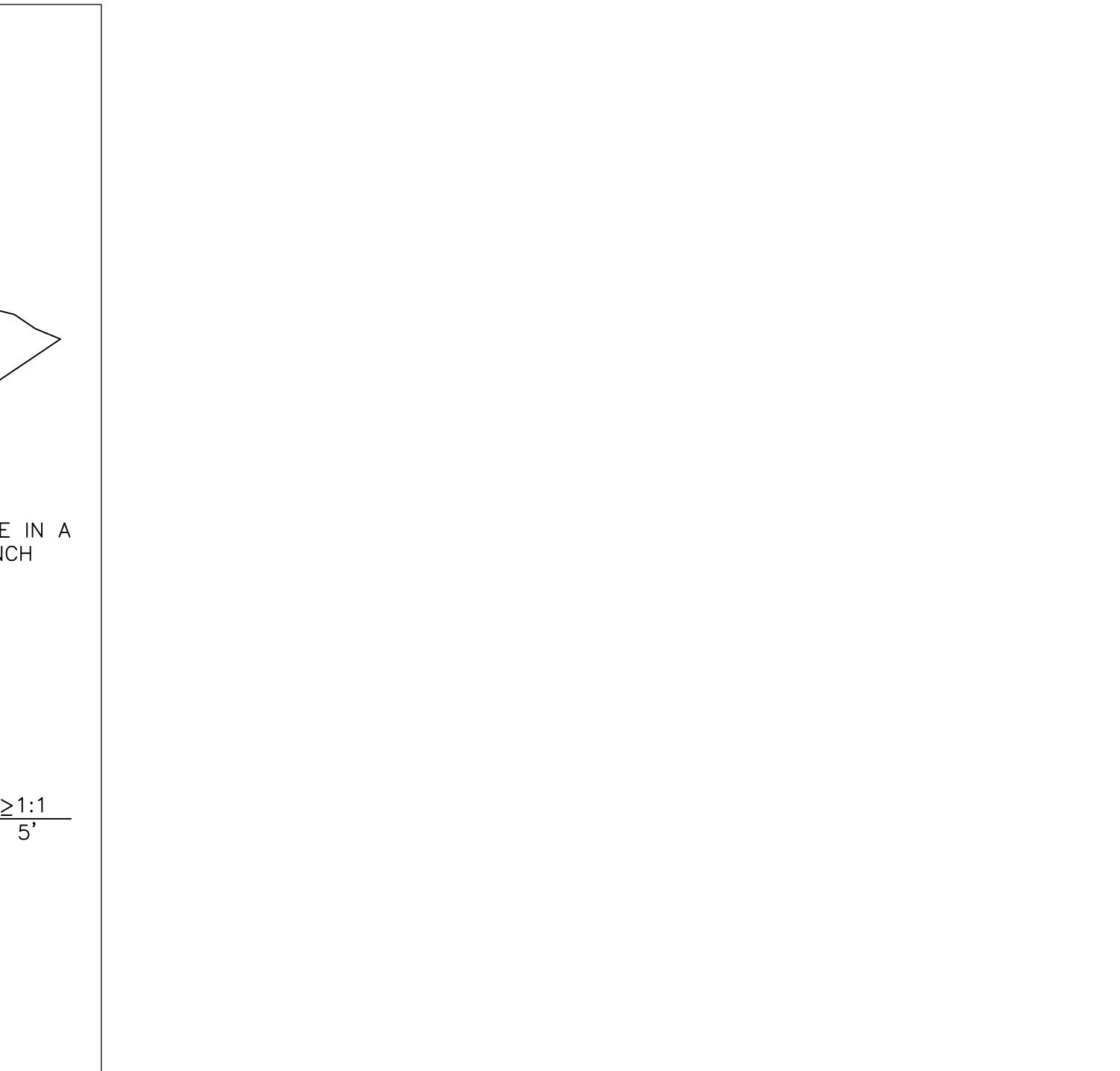
POST-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

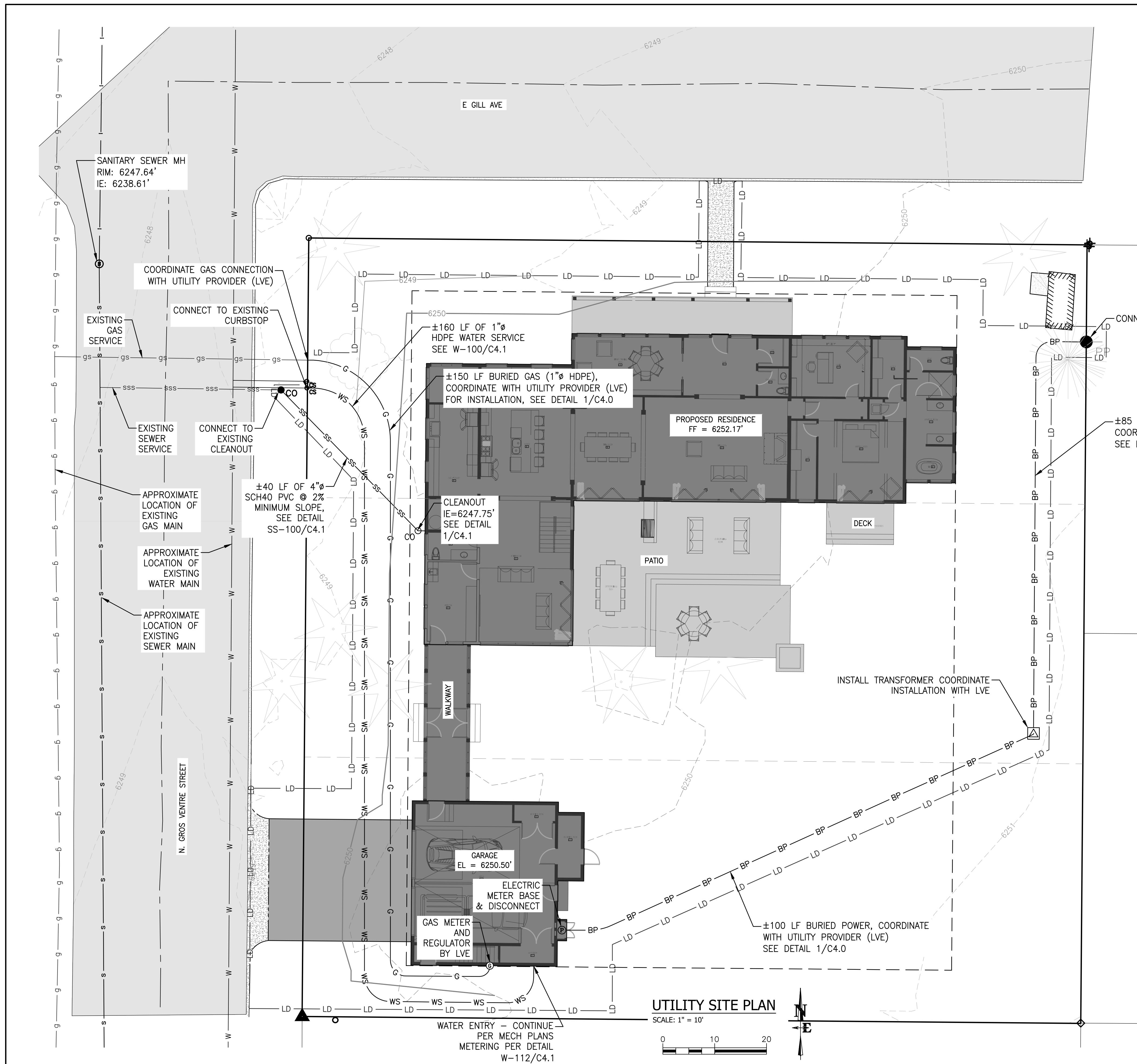
1. RE-VEGETATION TO OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT THE ESTABLISHMENT OF INVASIVE SPECIES IN DISTURBED AREAS.
2. NURSERY STOCK SHALL BE IN ACCORDANCE WITH W.S. 11-9-101 - 109 (WYOMING NURSERY STOCK LAW), ACCOMPANIED BY A VALID HEALTH CERTIFICATE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE. SEEDS SHALL BE IN ACCORDANCE WITH W.S. 11-12-101 - 125 (WYOMING SEED LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE.
3. CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL SHALL BE UTILIZED WHERE POSSIBLE.
4. TCWP TO BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.



BUILDING PERMIT



 <p>NOTES:</p> <ol style="list-style-type: none"> 1. 20° DIAMOND PATCH TO BE CONSTRUCTED WHEN REQUIRED BY PUBLIC WORKS DEPARTMENT. 2. PLACEMENT OF ASPHALT SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MIN. ALSO SEE THE ASPHALT PATCH REPAIR DETAIL ST-118/C3.1. 3. HOT MIX ASPHALT SHALL MEET THE APPLICABLE REQUIREMENTS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS FOR BITUMINOUS MATERIALS. 4. ALTERNATIVE HOURGLASS LAYOUT MAY BE USED UPON APPROVAL BY TOWN. 	 <p>NOTES:</p> <ol style="list-style-type: none"> 1. BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545. BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS 2. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM. 3. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1$\frac{1}{2}$" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY. 	 <p>NOTES:</p> <ol style="list-style-type: none"> 1. PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION UNDER THE CRUSHED ROCK FROM THE EDGE OF THE EXISTING ROADWAY TO THE RADIUS RETURNS, OR AS DIRECTED BY PUBLIC WORKS. 2. ENTRANCE SHALL BE REMOVED AND RECONSTRUCTED AS REQUIRED TO PREVENT EXCESS TRACKING OF MATERIALS ONTO RIGHT-OF-WAY, OR WHEN DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT. 	 <p>NOTES:</p> <ol style="list-style-type: none"> 1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS. SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07. 2. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.) 3. FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK. 4. REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS. 5. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 <p>ST-117 DATE: 12/5/12 C3.1</p>	 <p>ST-118 DATE: 12/5/12 C3.1 SCALE: NTS</p>	 <p>ST-119 DATE: 12/5/12 C3.1 ST-118 DATE: 12/5/12 C3.1 SCALE: NTS</p>	 <p>ST-127 DATE: 12/7/12 C3.1 SCALE: WTS</p>
 <p>NOTE:</p> <ol style="list-style-type: none"> 1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH. 2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTERLS SHOULD TIGHTLY ABUT. 3. SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4" AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE. 4. EROSION CONTROL PLAN AND LOCATION OF STRAW WATTERLS SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT. 	 <p>STM-107 DATE: 1/21/13 C3.1 SCALE: NTS</p>	<p>DRAWING TITLE TOME RESIDENCE 170 N GROS VENTURE STREET JACKSON, WY</p>	<p>BUILDING PERMIT DRAFTING NO C3.1 JOB NO 21-525-02 REV. 12/5/2022 NE ENGINEERED MB DRAWN LB CHECKED MB APPROVED MB</p> <p>NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 733-2087</p> <p></p>



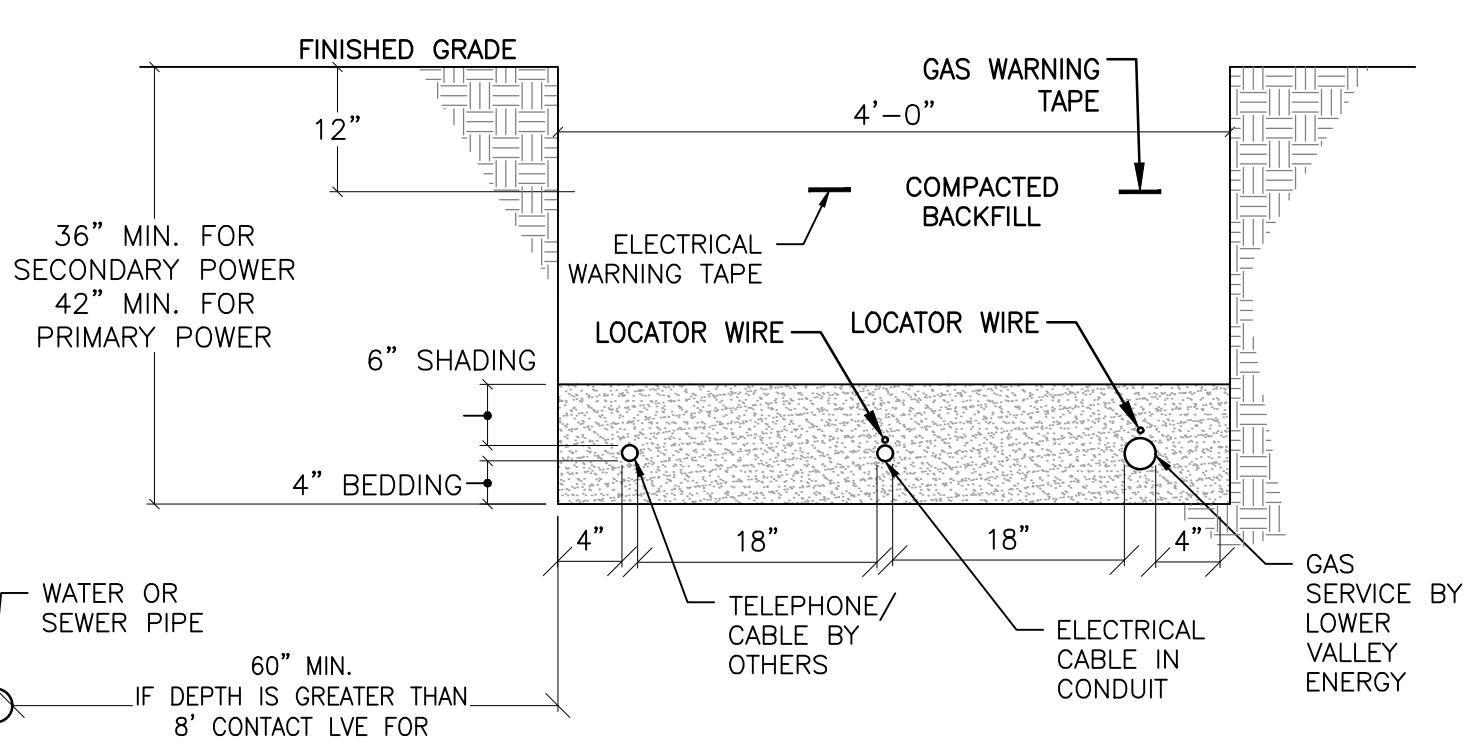
UTILITY NOTES:

SPECIAL PROVISIONS TO WPSS (2015) - UTILITIES

- WATER SERVICE PIPE SHALL BE SDR11 POLYETHYLENE.
- WATERLINE SHALL BE BURIED WITH A MINIMUM OF SIX FEET OF COVER.
- GRAVITY SEWER PIPE SHALL BE 4" ASTM D2665 SCH40 PVC.
- MINIMUM SEWER PIPE GRADE SHALL BE 2%, UNLESS OTHERWISE NOTED.
- INSULATE ALL WATER AND SEWER PIPES WITH LESS THAN 6' OF BURY, AND BELOW PROPOSED ROADS, DRIVEWAYS AND WALKWAYS.
- CONTRACTOR SHALL VERIFY MIN 2% SLOPE SEWER SERVICE IS VIEABLE BY VERIFYING EXISTING SEWER MAIN ELEVATION AND CONNECTION TO EXISTING SEWER MAIN PRIOR TO CONSTRUCTION.

CAUTION:

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTOR'S WORK.



NOTES:

1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

UTILITY TRENCH DETAIL
SCALE: NTS

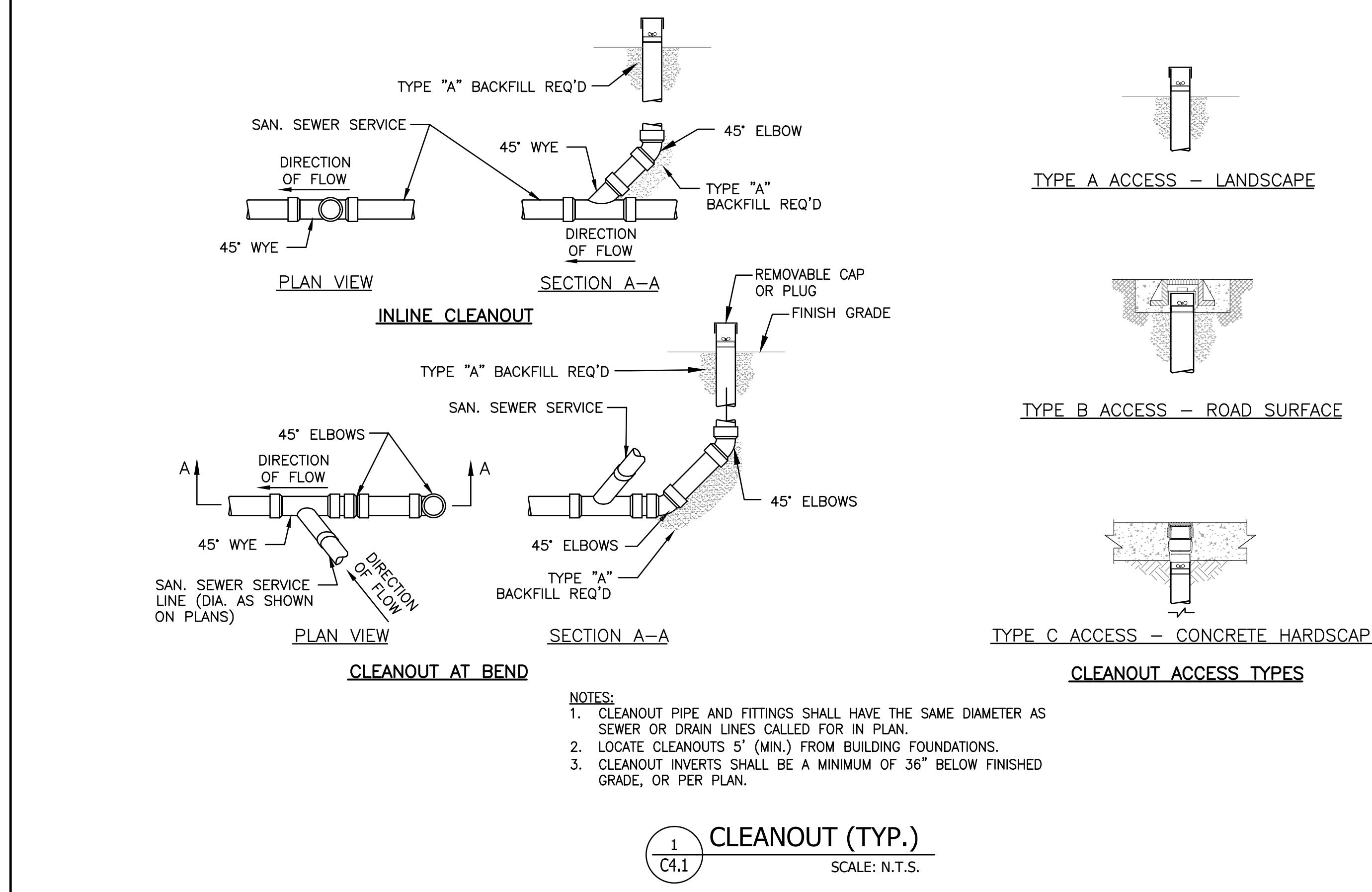
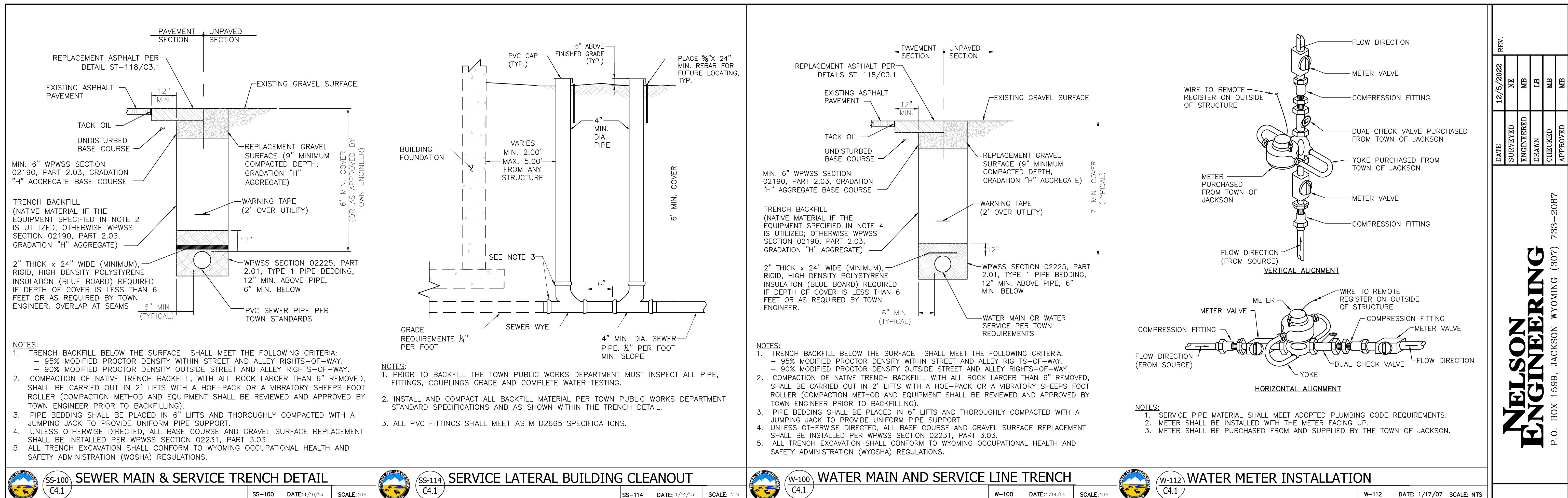
12/5/22
21/5/22

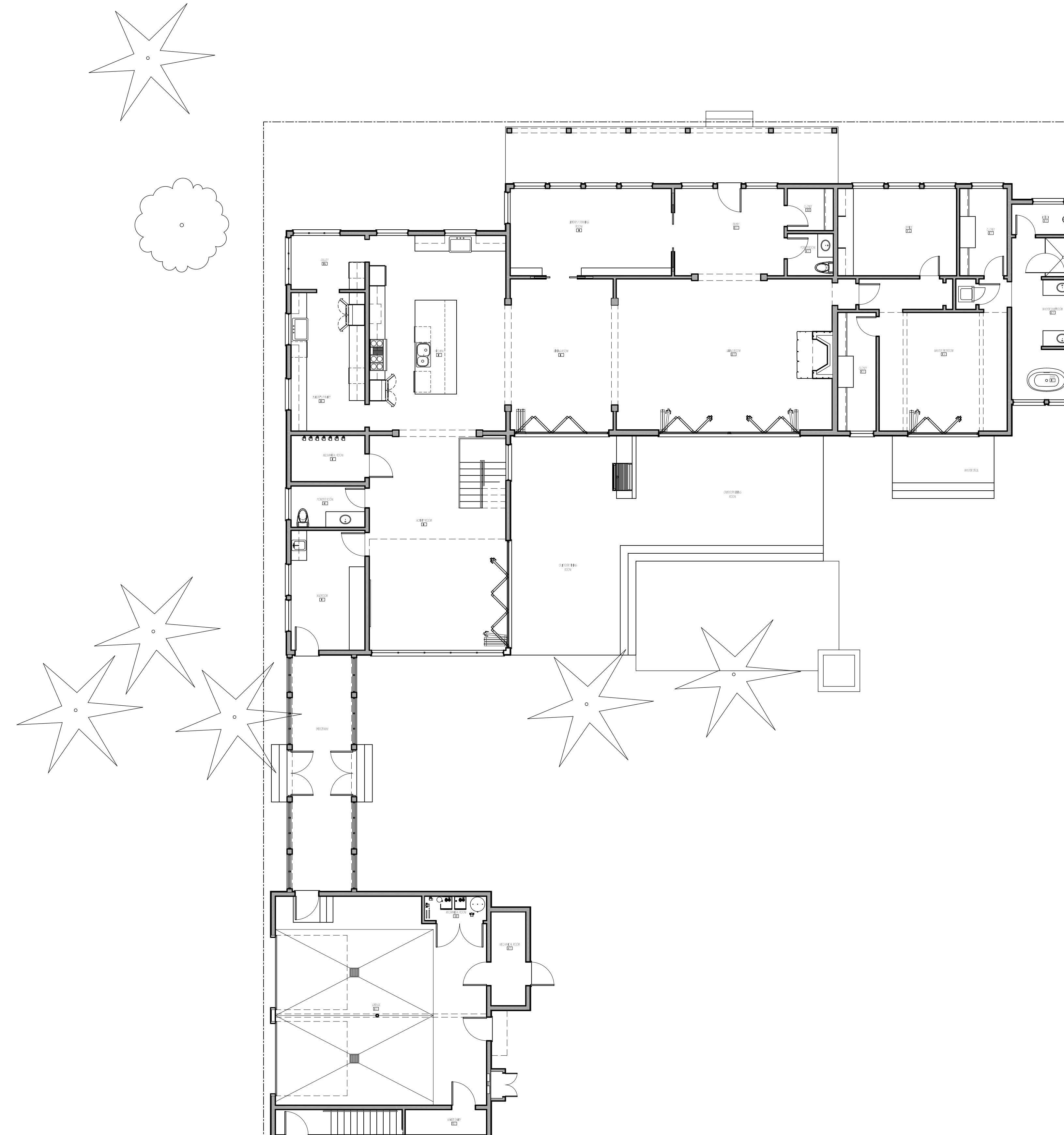
BUILDING PERMIT

**NELSON
ENGINEERING**

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING NO	JOB TITLE	DRAWING TITLE	REV.
C4.0	TOME RESIDENCE	170 N GROS VENTURE STREET	NE
21-525-02	JACKSON, WY		MB
			MB
			MB





1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE INFORMATION

FLOOR AREA FOR PROPERTY	HABITABLE	HABITABLE BASEMENT	UNHABITABLE	UNHABITABLE BASEMENT	TOTAL
FIRST FLOOR	4,106.04 SQ. FT.		947.00 SQ. FT.		5,053.04 SQ. FT.
SECOND FLOOR	2,333.84 SQ. FT.			2,333.84 SQ. FT.	2,333.84 SQ. FT.
ARU	769.29 SQ. FT.			769.29 SQ. FT.	769.29 SQ. FT.
TOTAL	7,209.11 SQ. FT.		947.00 SQ. FT.		8,156.11 SQ. FT.

PLAN NOTES

1. NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN.
2. USE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT PER IBC R317.1.2
3. FIELD-CUT END, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD USING AMPA MA STANDARD PER IBC R317.1.
4. TILE BOARD TO BE HARDE BOARD EZ GRID WITH QUARTZ LOOK² GROUT - COLOR TO BE DETERMINED BY OWNER
5. PER RA01.3,LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
6. PER R807.1, THE REQUIRED AMIC ACCESS SHALL BE IN A HALL OR OTHER READILY ACCESSIBLE LOCATION. THE OPENING SHALL BE A MIN OF 22" X 30".
7. PER R100.7, FACTORY BUILT CHIMNEYS HAVING OFFSETS, MUST BE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL AND THE ASSEMBLY WILL NOT CONTAIN MORE THAN 4 ELBOWS.
8. PER M105.1.2, THERE MUST BE A 30" HIGH BY 24" WIDE PATHWAY FROM THE ACCESS DOOR TO THE FURNACE AND THE ACCESS OPENING CANNOT BE LOCATED FURTHER THAN 20' AWAY FROM THE FURNACE.
9. PER 2902.4.2, HOSE BIBS SHALL BE PROVIDED WITH AN ATMOSPHERIC OR PRESSURE TYPE VACUUM BREAKER.
10. PER NI02.2.4 AMIC ACCESS DOORS FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES AND THE INSULATION SHALL BE RIGIDLY ATTACHED TO THE ACCESS DOOR.
11. PER R507.2.1, UNLESS AN IMPERMEABLE FLOOR IS PROVIDED, ALL DECK FRAMING SHALL BE OF PRESERVATION TREATED OR NATURALLY DURABLE LUMBER.
12. ALL WALL FLASHING MUST COMPLY WITH R705.4.
13. PER THE REQUIREMENTS OF NI02.2.4, ACCESS DOORS FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES AND THE INSULATION SHALL BE RIGIDLY ATTACHED TO THE ACCESS DOOR.

KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS
DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

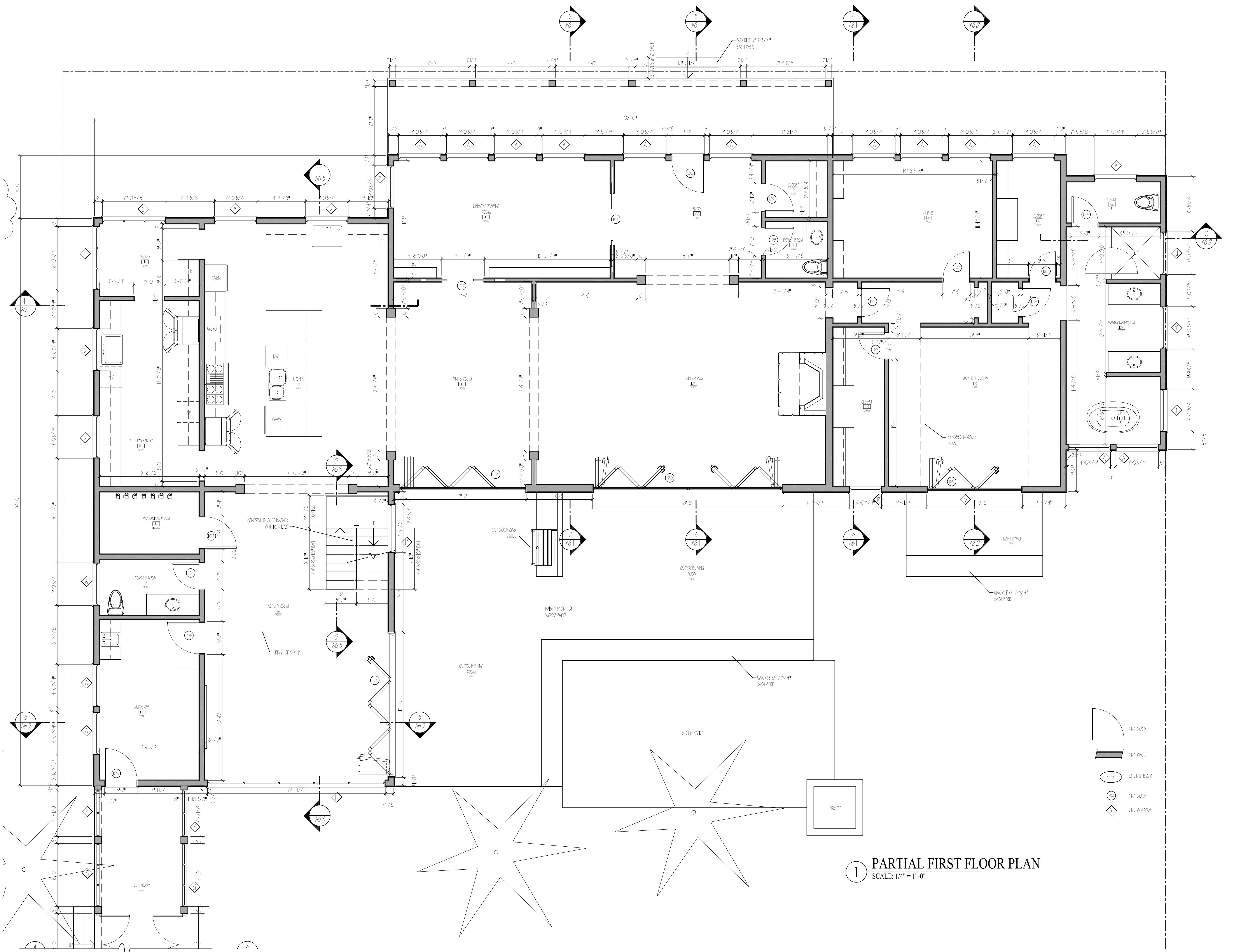
PROJECT NUMBER
TOME RESIDENCE
170 NORTH GROS VENTRE STREET
JACKSON, WY

REVISIONS

PRE-APPLICATION CONFERENCE REQUEST

SHEET NAME
FIRST FLOOR PLAN
SCALE
1/8"=1'-0"
DATE
7 DECEMBER 2022

A2.1



1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS
DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL
SERVICE, ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT.
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR
ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR
SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

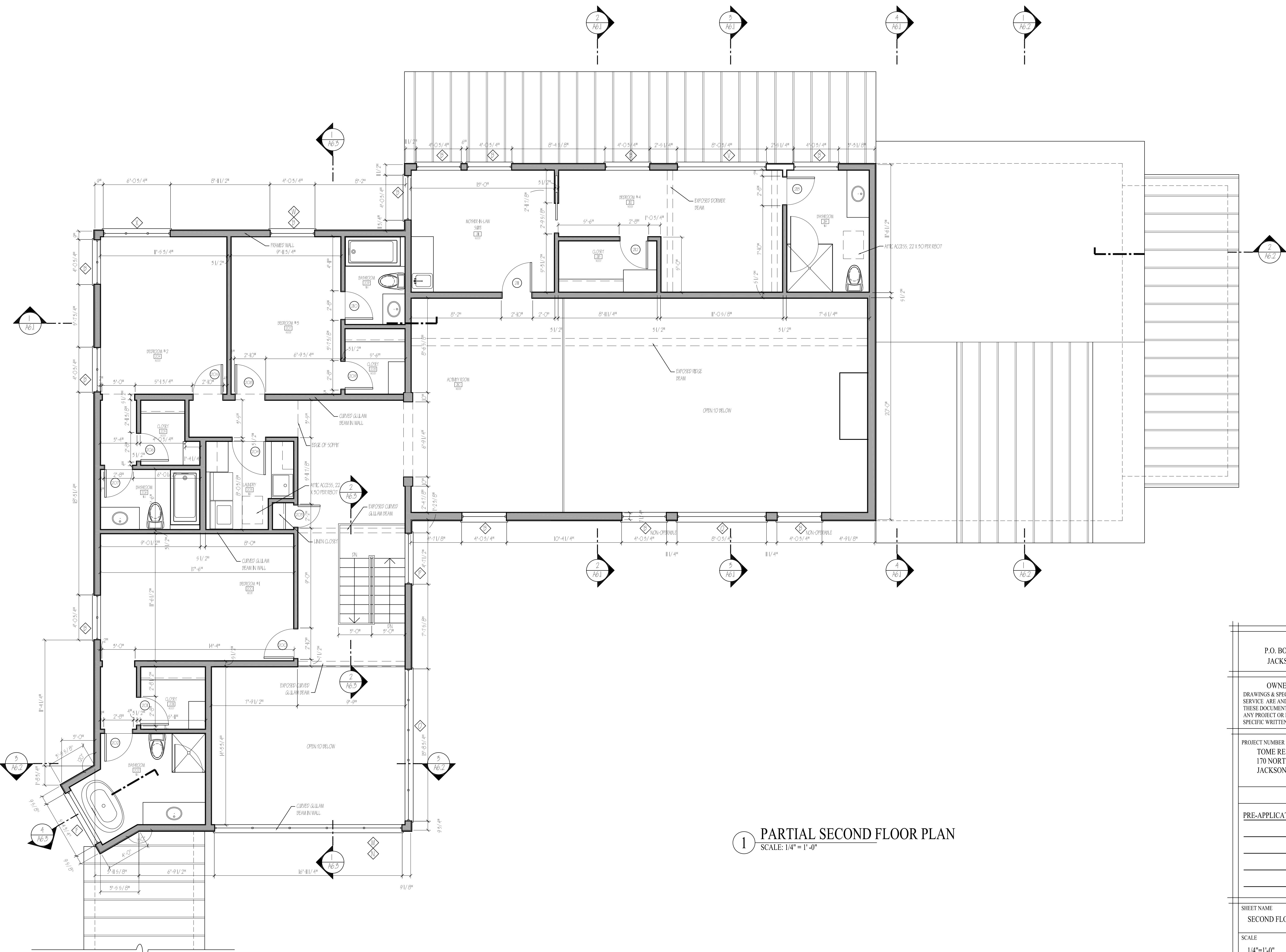
PROJECT NUMBER
TOME RESIDENCE
170 NORTH GROS VENTRE STREET
JACKSON, WY

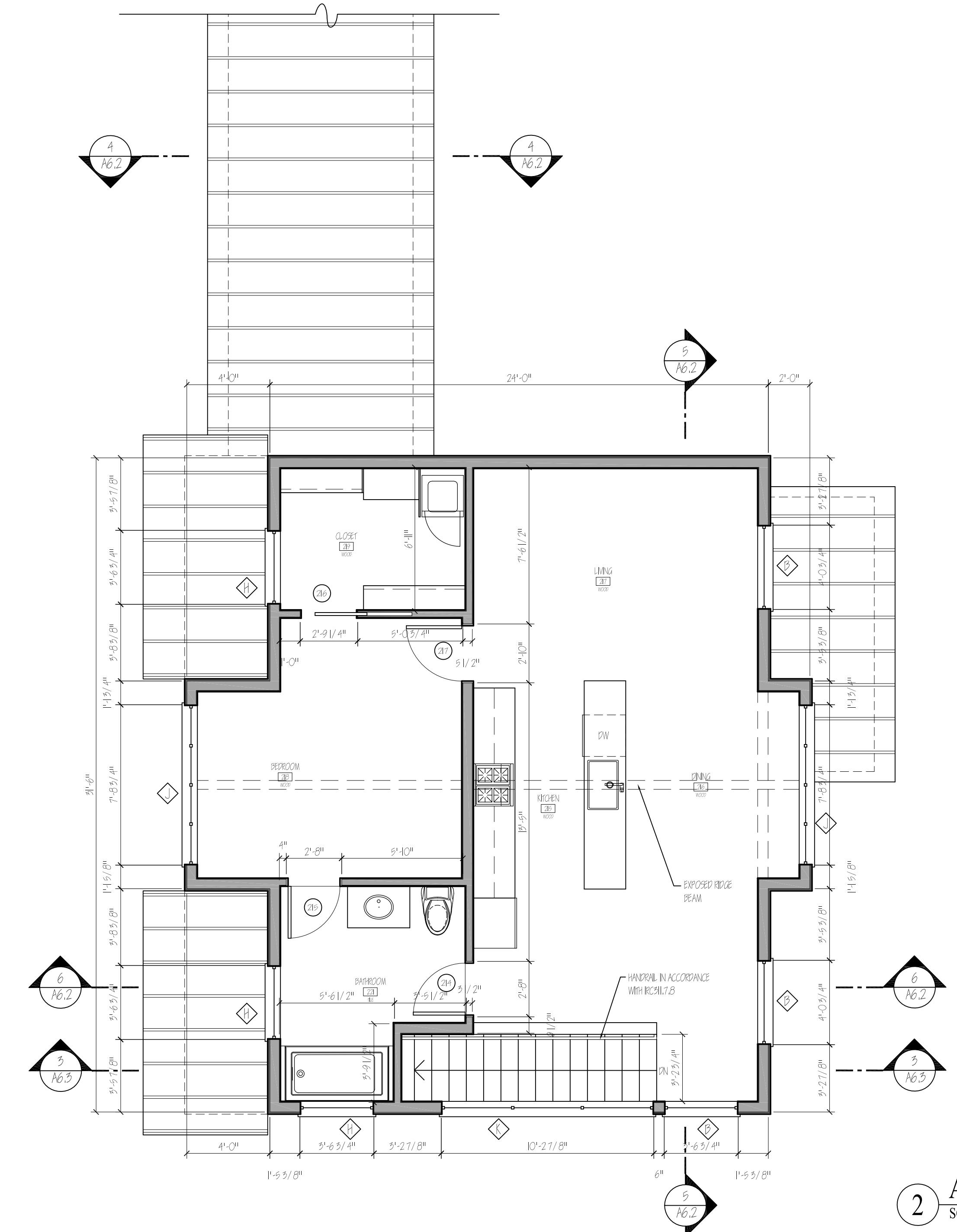
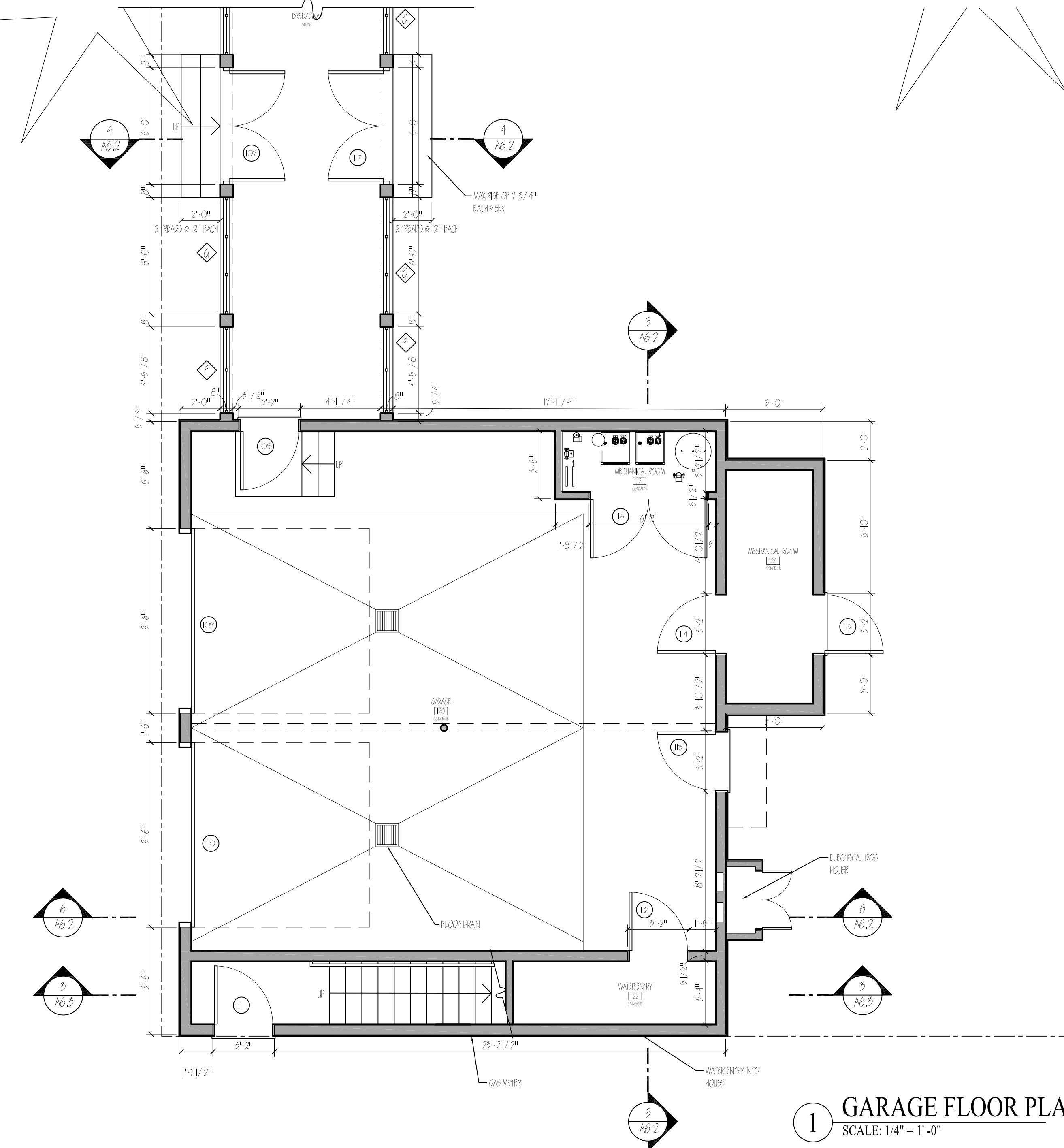
REVISIONS

PRE-APPLICATION CONFERENCE REQUEST

SHEET NAME
FIRST FLOOR PLAN
SCALE
1/4" = 1'-0"
DATE
7 DECEMBER 2022

A2.2





KINSEY, LLC.
P.O. BOX 12258 • 1070 ELK RUN UNIT 60
JACKSON, WY 83002 PH 307.413.2485

OWNERSHIP & USE OF DOCUMENTS
DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR, SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

PROJECT NUMBER
TOME RESIDENCE
170 NORTH GROS VENTRE STREET
JACKSON, WY

REVISIONS
PRE-APPLICATION CONFERENCE REQUEST

SHEET NAME
GARAGE/ ARU FLOOR
PLAN
SCALE
1/4" = 1'-0"
DATE
7 DECEMBER 2022

A2.4

Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required

Existing Workforce Housing Credit 0.000

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Detached Single-Family Unit (Unre)	0.000017*sf+(Exp(-15.49+1.59*Ln(sf)))/2.176	5	6439.88	1	0.208

Affordable Workforce Housing Required: 0.208 units Fee-in-Lieu Amount: \$ 56,540.03

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).