



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

### Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Joint Housing Dept

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 9, 2022

Item #: P22-288

Planner: Katelyn Page

Phone: 733-0440 ext. 1302

Email: [kpage@jacksonwy.gov](mailto:kpage@jacksonwy.gov)

#### Owner

Carol & Ramon Tome  
3775 Randall Mill Rd.NW  
Atlanta, GA 30327

#### Applicant

Cornelius Kinsey – Kinsey, LLC  
PO Box 12258  
Jackson, WY 83002

### REQUESTS:

The applicant is submitting a request for a Grading Pre-Application Conference for 410 E Gill, legally known LOTS 1,2,3, BLK. 5, L.G. GILL SUBDIVISION PIDN: 22-41-16-27-3-08-002

For questions, please call Brian Lenz at 307-733-0440 x1410 or email to the address shown below. Thank you.

**Please respond by: December 23, 2022 (with Comments)**

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[blenz@jacksonwy.gov](mailto:blenz@jacksonwy.gov)



## **PRE-APPLICATION CONFERENCE REQUEST (PAP)**

### **Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440 fax:  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

#### ***For Office Use Only***

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

**Please note:** Applications received after 3 PM will be process the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

#### **PROJECT.**

Name/Description: Tome Single-family residence with ARU

Physical Address: 170 North Gros Ventre Street - address changed to 410 E. Gill Ave.

Lot, Subdivision: Lots 1, 2, 3, Block 5, L.G. Gill subdivision

PIDN: 22-41-16-27-3-08-002

#### **PROPERTY OWNER.**

Name: Carol B. and Ramon E. Tome

Phone: 770.289.7036

Mailing Address: 3775 Randall Mill Rd. NW, Atlanta, GA

ZIP: 30327-2747

E-mail: ctome@ups.com

#### **APPLICANT/AGENT.**

Name, Agency: Cornelius Kinsey - Kinsey, LLC

Phone: 413.2485

Mailing Address: P.O. Box 12258, Jackson, WY

ZIP: 83002

E-mail: kinseycornelius@yahoo.com

#### **DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner

x \_\_\_\_\_ Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

\_\_\_\_\_ Physical Development Permit  
\_\_\_\_\_ Use Permit  
\_\_\_\_\_ Development Option or Subdivision Permit  
\_\_\_\_\_ Interpretations of the LDRs  
\_\_\_\_\_ Amendments to the LDRs  
\_\_\_\_\_ Relief from the LDRs  
\_\_\_\_\_ Environmental Analysis

**This pre-application conference is:**

☒ Required  
\_\_\_\_\_ Optional  
\_\_\_\_\_ For an Environmental Analysis  
☒ For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to [planning@jacksonwy.gov](mailto:planning@jacksonwy.gov)) of the submittal packet.

Have you attached the following?

☒ **Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.

☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

☒ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

☒ Existing property conditions (buildings, uses, natural resources, etc) survey  
\_\_\_\_\_ Character and magnitude of proposed physical development or use  
\_\_\_\_\_ Intended development options or subdivision proposal (if applicable)  
\_\_\_\_\_ Proposed amendments to the LDRs (if applicable)

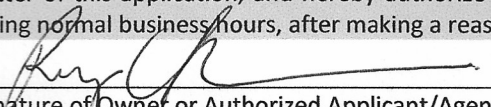
☒ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

\_\_\_\_\_ Property boundaries  
\_\_\_\_\_ Existing and proposed physical development and the location of any uses not requiring physical development  
\_\_\_\_\_ Proposed parcel or lot lines (if applicable)  
\_\_\_\_\_ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

☒ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

\_\_\_\_\_ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

  
Signature of Owner or Authorized Applicant/Agent

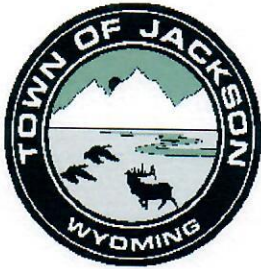
Name Printed

Date

Title

7 DEC 2022  
ARCHITECT/AGENT





Town of Jackson  
150 E Pearl Avenue  
PO Box 1687, Jackson, WY 83001  
P: (307)733-3932 F: (307)739-0919  
www.jacksonwy.gov

Date: 12/1/2022

# **LETTER OF AUTHORIZATION** **NAMING APPLICANT AS OWNER'S AGENT**

**PRINT** full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual  
Carol B. & Ramon E. Tome

Being duly sworn, deposes and says that Carol B. & Ramon E. Tome is the owner in fee of the premises located at:  
Name of property owner as listed on deed

Address of Premises: 170 North Gros Ventre Street

Legal Description: Lots 1, 2, 3, Block 5, L.G. Gill Subdivision

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Cornelius Kinsey - Kinsey, LLC

Mailing address of Applicant/agent: P.O. Box 12258, Jackson, WY 83002

Email address of Applicant/agent: kinseycornelius@yahoo.com

Phone Number of Applicant/agent: 413.2485

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☐ Development/Subdivision Plat Permit Application ☒ Building Permit Application  
☐ Public Right of Way Permit ☐ Grading and Erosion Control Permit ☐ Demolition Permit  
☒ Other (describe) Basic Use Permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Ramon E. Tome

Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non individual Owner

STATE OF Georgia )  
COUNTY OF Cobb ) SS.



The foregoing instrument was acknowledged before me by Ramon E. Tome this 1st day of December, 2022. WITNESS my hand and official seal.

Barbara Daniel

Notary Public

My commission expires: August 2, 2025

APPLICATION #:

Name of Application:	410 E. Gill (170 N. Gros Ventre)
Subpermits:	
Associated Applications:	
Prerequisite Applications:	P22-288 Pre-Ap
Agent/Applicant:	Cornelius Kinsey
Property Owner:	Tome
Reviewer:	Katelyn Page

Standard	Allowed/Required	Proposed	Complies
Zoning	NL-3		NA
Min Lot Size	7,500 SF		NA
Primary Street Setback (north)	20'	18'	No
Secondary Setback (west) N. Gros Ventre	10'	20.9'	Yes
Side Setback (east)	10'	25'	Yes
Secondary Street (south)	10'	10	Yes
Site Development Setbacks	20' primary 10' secondary 5' side interior		
Building Height	26' – 30'		Plans should verify building height
Encroachments (roof / stairs)	6 / 4		Front encroachment porch is too large
Stories	2		
FAR	0.40	7209.11 / 22651.2 .318	Yes
LSR	0.45		Likely ok
Affordable Housing	$0.000017(sf) + (Exp(-15.49 + 1.59 * \ln(sf))) / 2.176$	7209.11 – 769.23 sf (ARU exempt)	\$56,540.03 (0.208 units)
Parking	2/DU	4 required	Show +2 spaces
Parking setbacks	20' primary 10' secondary		
Access / Curb cut	20' width	Appears 23'	verify
Lighting / lumens	1.5 lumens / SF of site development		
Fencing	4'		

	6'		
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### **Notes**

- Orientation and setbacks – Based on proposed orientation on corner lot, Primary Street is E. Gill and Secondary street is N. Gros Vente. Because corner lot, there is not “rear” setback and instead primary structure shall adhere to 10’ or greater side interior setback.
- Structure does not meet primary street setback of 20’
- Revise encroachment - Porch encroachment on E. Gill is must be no greater than 6’. (Sec. 9.4.8.J.a) Cornices, canopies, eaves, decks (covered and uncovered), porches, balconies, bay windows, chimneys and similar architectural features may encroach into a front yard by not more than 6 feet.
- Parking - Show total parking of 4 spaces (2 for primary dwelling and 2 for ARU (rounded from 1.5). ARU shall be provided past the parking setback of 10’ on secondary street and 20’ on primary street. Current plans do not successfully accommodate required ARU parking. Revise.
- Curb cut max is 20’. Plans appear to show wider than allowed curb cut.
- List site development sf on plans
- Lumen allowance is 1.5 lumens /sf of site development
- Housing Mitigation estimated at \$56,540.03 (0.208 units)

### **Pre-App Review**

- Need ARU parking
- Orientation
- “Detached” non detached with walkway
- Front encroachment is greater than 6’ (6’-7”) (A2.2)
- Clarify building height
- Verify parking setbacks

### **LDR Table**





VICINITY MAP



3-D IMAGE  
NTS

ABBREVIATIONS

AB	ANCHOR BOLTS	FLR	FLOOR	P.S.F.	POUNDS PER SQ. FOOT
A.F.F.	ABOVE FINISHED FLOOR	FLUR.	FLUORESCENT	P.S.I.	POUNDS PER SQ. INCH
AC.	ACOUSTICAL	FTG.	FOOTING	P.T.	PRESSURE TREATED
ADJ.	ADJACENT	F.B.O.	FURNISHED BY OTHERS	R.	RADIUS
A/C	AIR CONDITIONING	GA.	GALVE	REF.	REFERENCE
ALT.	ALTERNATE	G.C.	GENERAL CONTRACTOR	REQ'D	REQUIRED
ALUM.	ALUMINUM	GYP. BD.	GYPSUM BOARD	REINF.	REINFORCE (ING) (MENT)
APPD.	APPROVED	G.F.I.	GROUND FAULT INTERRUPTER	R.O.	ROUGH OPENING
B.O.	BOTTOM OF	HVAC	HEATING/ VENT/ AIR COND.	R.D.	ROUGH DRAIN
BSMT.	BASEMENT	H.C.	HOLLOW CORE	RS	ROUGH SHOWN
BKG.	BEARING	H.M.	HOLLOW METAL	SIM.	SIMILAR
BLK	BLOCK	HR.	HOUR	S.C.	SOLID CORE
BLKG.	BLOCKING	INCL.	INCLUDE (D) (ING)	SPEC.	SPECIFICATION (S)
BD.	BOARD	INSUL.	INSULATE (D) (ION)	SPKR.	SPEAKER
BLDG.	BUILDING	INT.	INTERIOR	SQ.	SQUARE
C.J.	CONTROL JOINT	JT.	JOINT	SYS.	SYSTEM
CLG.	CEILING	MFR.	MANUFACTURER	THK	THICK (NESS)
CLR.	CLEAR (ANCE)	MTG.	METAL	T&G	TONKLE & GROOVE
COL.	COLUMN	M.O.	MASONRY OPENING	T.O.S.	TOP OF STEEL
CONC.	CONCRETE	MAX.	MAXIMUM	T.O.W.	TOP OF WALL
CNU	CONCRETE MASONRY UNIT	MECH.	MECHANICAL	TPL	TRIPLE
CONST.	CONSTRUCTION	MED.	MEDIUM	TYP.	TYPICAL
DET.	DETAIL	MM	MILLIMETER (S)	UB.C.	UNIFORM BUILDING CODE
DWG.	DRAWING	MIN.	MINIMUM	UN.D.	UNLESS NOTED OTHERWISE
(E)	EXISTING	NOM.	NOMINAL	V.C.T.	VINYL COMPOSITION TILE
EA.	EACH	(N)	NEW	VL.T.	VAULTED CEILING
E.F.	EACH FACE	NO.	NUMBER	V.T.R.	VENT THROUGH ROOF
E.J.	EXPANSION JOINT	N.L.C.	NOT IN CONTRACT	V.B.	VAPOR BARRIER
ELEC.	ELECTRIC (AL)	N.T.S.	NOT TO SCALE	W.C.	WATER CLOSET
EQ.	EQUAL	O.C.	ON CENTER	W.P.	WATER PROOF (ING)
EXIST.	EXISTING	O.D.	OUTSIDE DIAMETER	W.W.F.	WELDED WIRE FABRIC
E.W.	EACH WAY	P.V.M.T.	PAVEMENT	W	WIDTH, WIDE
F.D.	FLOOR DRAIN	PL.	PLATE	W/	WITH
FIN.	FINISH	PLYMD.	PLYWOOD	W/ O	WITHOUT
		PVC	POLY VINYL CHLORIDE		

RADON MITIGATION PER TETON COUNTY

GENERAL:  
ALL BUILDINGS USED FOR THE HOUSING OF PERSONS SHALL BE PROVIDED WITH BASIC RADON MITIGATORS. THESE MITIGATORS ARE BASIC IN NATURE AND MAY REQUIRE SUPPLEMENTAL EQUIPMENT SHOULD HIGH LEVELS OF RADON BE FOUND IN THE STRUCTURE.

CRAWL SPACE MITIGATORS:  
IN RESIDENTIAL STRUCTURES BUILT ABOVE A CRAWL SPACE, THE FOLLOWING MEASURES ARE REQUIRED:  
1. SEALING OF CRAWL SPACE WALLS: ALL PORTIONS OF CRAWL SPACE WALLS BELOW GRADE SHALL BE SEALED WITH DAMPROOFING OR WATERPROOFING.  
2. ALL PENETRATIONS TO BE SEALED: ALL SEWER, WATER, POWER, OR OTHER BELOW GRADE PENETRATIONS OF THE CRAWL SPACE SHALL BE THOROUGHLY CAULKED. ADDITIONALLY, ALL PENETRATIONS BETWEEN THE CRAWL SPACE AND THE LIVING SPACE SHALL BE CAULKED. ACCESS INTO THE CRAWL SPACE SHALL BE FITTED WITH A WEATHER STOP THAT WILL PROVIDE A POSITIVE SEAL.  
3. VENTILATION OF CRAWL SPACE: IN ADDITION TO THE VENTILATION REQUIRED BY OTHER SECTIONS OF THIS CODE, ONE FOUR (4) INCH DIAMETER SCHEDULE 20 PVC PIPE SHALL BE INSTALLED FROM THE CRAWL SPACE THROUGH THE ROOF. THIS PIPE SHALL NOT SERVE ANY OTHER USE AND SHALL BE CONTINUOUS FOR ITS ENTIRE LENGTH. OFFSETS FROM THE VERTICAL SHALL BE MINIMIZED. THE PIPE SHALL BE LABELED WHERE NOT CONCEALED WITHIN CONSTRUCTION WITH THE WORDS "RADON VENT." THE PIPE SHALL BE PLACED SO THAT THE PART OF THE PIPE IMMEDIATELY BENEATH THE ROOF AND OUTSIDE THE LIVING AREA IS ACCESSIBLE IN SUFFICIENT QUANTITY THAT A FAN MAY BE INSTALLED. THE FAN SHOULD BE RATED AT 90 TO 150 CFM TO NO STATIC PRESSURE. THE FAN POWER SHALL BE PLACED IN THE IMMEDIATE VICINITY OF THE PIPE. A RAIN CAP SHALL BE PROVIDED AT THE UPPER TERMINATION OF THE PIPE TO PREVENT THE ENTRY FOR WATER INTO THE SYSTEM.

BASEMENT MITIGATORS:  
IN RESIDENTIAL STRUCTURES BUILT ABOVE BASEMENTS, EITHER HABITABLE OR NON-HABITABLE, THE FOLLOWING MEASURES ARE REQUIRED:  
1. SEALING OF BASEMENT WALLS: ALL PORTIONS OF BASEMENT WALLS TO A POINT ABOVE SHALL BE THOROUGHLY SEALED WITH AN APPROVED WATERPROOFING.  
2. ALL PENETRATIONS TO BE SEALED: ALL PENETRATIONS IN WALLS ARE TO BE THOROUGHLY CAULKED. IN ADDITION, ALL CRACKS IN FLOOR SLABS, JOINTS WHERE THE FLOOR MEETS THE FOUNDATION WALLS AND PENETRATION THROUGH THE BASEMENT FLOOR ARE TO BE SIMILARLY SEALED.  
3. UNDER SLAB VENTILATION: A RADON COLLECTION SYSTEM CONSISTING OF FOUR (4) INCH PERFORATED PIPE SHALL BE PLACED WITH HOLES DOWN AND BEPPING IN FOUR (4) INCHES OF WASHED GRAVEL OF PEA SIZE OR LARGER WITHOUT FINES. THE PIPING SHALL BE CONNECTED TO A SOLID VERTICAL PIPE THAT WILL PASS THROUGH THE ROOF AS DESCRIBED IN CRAWL SPACE MITIGATORS #3. A BARRIER OF POLYETHYLENE SHEETING SHALL BE PLACED OVER THE SYSTEM AND GRAVEL. ALL LAPS OF SHEATHING SHALL BE AT LEAST ONE FOOT. THE SHEETING SHALL BE SEALED AROUND PENETRATIONS AND TO FOUNDATION WALLS. A COVER OF FOUR (4) INCHES OF SAND OR CRUSHED GRAVEL SHALL THEN BE PLACED OVER THE SHEETING TO RECEIVE THE SLAB.  
4. ALTERNATIVE DESIGN FOR UNDER SLAB VENTILATION: THE SYSTEM REQUIRED ABOVE MAY BE REDUCED TO THE PLASTIC SHEETING AND SAND WHEN A VENTILATION SYSTEM DESIGNED TO PROVIDE POSITIVE PRESSURE IN THE BASEMENT AREA IS PROVIDED AND APPROVED BY THE BUILDING OFFICIAL. (IF A WOOD STOVE IS PLACED IN THE BASEMENT, THIS ALTERNATIVE DESIGN MAY NOT BE USED.)

GENERAL NOTES

1. THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED BUILDING PERMITS AND AGENCY APPROVALS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EXECUTING WORK IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODES AND ALL OTHER AGENCY REGULATORS.
3. THE CONTRACTOR MUST INSPECT THE SITE BEFORE BEGINNING WORK AND IDENTIFY CONFLICTS OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
4. THE GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE DIMENSIONS AND CONDITIONS.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, MATERIALS SCHEDULES, ETC. WITHIN THE SCOPE OF THE PROJECT, AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
6. THE GENERAL CONTRACTOR MUST NOTIFY THE DESIGNER IMMEDIATELY OF CONDITIONS, WHICH REQUIRE DEVIATION FROM CONSTRUCTING THE WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
7. DO NOT SCALE DRAWINGS IN ORDER TO DETERMINE DIMENSIONS. WRITTEN DIMENSIONS GOVERN, AND LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DRAWINGS. WALLS AND PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE MEASURED FROM FACE OF STUD AS INDICATED. ALL COLUMNS ARE MEASURED FROM CENTERLINE. CONTRACTOR TO BE AWARE OF ALL N.T.S. (NOT TO SCALE) DIMENSIONS.
9. THE PRESENCE OF THE DESIGNER ON THE JOB SITE DOES NOT IMPLY APPROVAL OF THE WORK. THE GENERAL CONTRACTOR MUST CALL SPECIFIC ITEMS TO THE DESIGNER IF HE WISHES TO OBTAIN DESIGNER'S APPROVAL.
10. THE GENERAL CONTRACTOR MUST SUBMIT ALL PROPOSED SUBSTITUTIONS IN WRITING TO THE DESIGNER FOR APPROVAL WITH SUFFICIENT INFORMATION, SAMPLES, AND DIFFERENCE IN COST FOR EVALUATION. IF A REVISION OR SUBSTITUTION IS MADE TO IN ANY WAY ALTER THE WORK SO THAT IT DOES NOT CONFORM WITH THE CONTRACT DOCUMENTS WITHOUT THE DESIGNER'S WRITTEN APPROVAL, SUCH ACTION WILL RELIEVE THE DESIGNER OF ANY LIABILITY FOR THE RESULTING AESTHETIC EFFECT, SUBSEQUENT FAILURE, PROPERTY DAMAGE OR PERSONAL INJURY.
11. THE GENERAL CONTRACTOR MUST PERFORM HIGH QUALITY PROFESSIONAL WORK. THE WORK OF EACH TRADE MUST MEET OR EXCEED ALL QUALITY STANDARDS PUBLISHED BY THAT TRADE.
12. THE GENERAL CONTRACTOR MUST ARRANGE TO ACCOMMODATE "NOTE IN CONTRACT" WORK AND MUST REQUEST INSTRUCTIONS FROM THE DESIGNER BEFORE PROCEEDING.
13. THE GENERAL CONTRACTOR MUST TAKE CARE TO PROTECT NEWLY INSTALLED MATERIALS, FINISHES AND ASSEMBLIES.
14. THE GENERAL CONTRACTOR MUST HALT THE WORK AFFECTED WHEN NOTIFIED OF A PROPOSED CHANGE AND PROCEED ONLY AFTER RECEIVING INSTRUCTIONS FROM THE DESIGNER.
15. THE GENERAL CONTRACTOR MUST SUBMIT A DETAILED PROJECT SCHEDULE AT THE BEGINNING OF THE PROJECT. ANY SIGNIFICANT CHANGES WHICH WOULD ALTER THAT INITIAL SCHEDULE MUST BE DOCUMENTED IN A REVISED SCHEDULE.
16. THE GENERAL CONTRACTOR MUST PROVIDE ADEQUATE AND PROPER DRY STORAGE AND HANDLING OF ALL BUILDING MATERIALS, SUPPLIES, AND FINISHES IN ACCORDANCE WITH PRODUCT MANUFACTURERS RECOMMENDATIONS.
17. THE GENERAL CONTRACTOR MUST DETERMINE THAT ALL EQUIPMENT SPECIFIED WILL FIT THROUGH EXISTING DOORWAYS AND CORRIDORS BEFORE EQUIPMENT IS PURCHASED OR SCHEDULE THE INSTALLATION SEQUENCE TO AVOID CONFLICTS.
18. THE GENERAL CONTRACTOR MUST COMPLY WITH THE RULES OF THE SUBDIVISION AND THE COUNTY AND THE DIRECTIONS OF THE OWNERS FOR CONSTRUCTION FACILITIES, USE OF PREMISES, ACCESS TO THE PROJECT SITE, AND TRASH REMOVAL.
19. ALL MECHANICAL, ELECTRICAL, AND CIVIL ENGINEERING SERVICES AND SYSTEMS WILL BE SPECIFIED AND INSTALLED BY THE RESPECTIVE TRADES. ALL SYSTEMS SHALL BE DESIGNED WITH THE RESPECTIVE CODES.
20. EACH TRADE IS RESPONSIBLE FOR INSPECTION OF SERVICES AND TO ADVISE THE GENERAL CONTRACTOR, DESIGNER, AND OWNER AS TO CURRENT CONDITION, POSSIBLE PROBLEMS AND POTENTIAL SOLUTIONS WITH RESPECT TO THEIR TRADES.
21. THE CONTRACTOR SHALL VERIFY WITH THE DESIGNER THE SELECTION, FABRICATION, FINISH, AND INSTALLATION OF ALL INTERIOR FINISH ITEMS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:  
  
ALL INTERIOR TRIMMING AND STAND TRIM  
ALL INTERIOR CABINETS AND MILLWORK, INCLUDING COUNTERTOPS  
ALL PLUMBING FIXTURES AND FITTINGS  
ALL LIGHTING FIXTURES

FAR AND LSR RATIO  
INFORMATION

ZONING: NL-3  
MIN. LANDSCAPE RATIO (LSR) = .45  
FLOOR AREA RATIO (FAR) = .40  
PRIMARY STREET SETBACK = 20'-0"  
SECONDARY STREET SETBACK = 10'-0"  
SIDE INTERIOR SETBACK = 10'-0"  
MIN. REAR YARD = 25'-0"  
MAX. HEIGHT = ROOF PITCH  $\leq 5/12$  - 2 STORIES, NOT TO EXCEED 28'  
ROOF PITCH  $4/12 - 5/12$  - 2 STORIES, NOT TO EXCEED 28'  
ROOF PITCH  $\geq 6/12$  - 2 STORIES, NOT TO EXCEED 30'  
  
FAR  
INDIVIDUAL BUILDING (MAX. GROSS FLOOR AREA) N/A  
52 ACRES = 22,651,250 SQ. FT.  
MAXIMUM SQUARE FOOTAGE = 9,060,485 SQ. FT.  
CONSTRUCTION TYPE: V  
SPRINKLERED: YES  
2021 IRC

SQUARE FOOTAGE INFORMATION

FLOOR AREA FOR PROPERTY	HABITABLE	HABITABLE BASEMENT	UNHABITABLE	UNHABITABLE BASEMENT	TOTAL
FIRST FLOOR	4,106.04 SQ. FT.		947.00 SQ. FT.		5,053.04 SQ. FT.
SECOND FLOOR	2,355.84 SQ. FT.				2,355.84 SQ. FT.
ARJ	769.25 SQ. FT.				769.25 SQ. FT.
TOTAL	7,229.11 SQ. FT.		947.00 SQ. FT.		8,196.11 SQ. FT.

DRAWING INDEX

AO.1	COVER PAGE, GENERAL NOTES
CI.0	EXISTING SITE PLAN
CI.1	DEMOLITION SITE PLAN
CI.2	FINAL SITE PLAN
CS.0	GRADING & EROSION CONTROL PLAN
CS.1	GRADING DETAILS
CI.0	UTILITY SITE PLAN
CI.1	WATER & UTILITY PLAN
CI.2	SEWER DETAILS
A2.1	OVERALL FIRST FLOOR PLAN
A2.2	PARTIAL FIRST FLOOR PLAN
A2.3	PARTIAL SECOND FLOOR PLAN
A2.4	GARAGE/ ARJ FLOOR PLAN

KINSEY, LLC.

P.O. BOX 12258 • 1070 ELK RUN UNIT 60  
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS

DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.

PROJECT NUMBER

TOME RESIDENCE  
170 NORTH GROS VENTRE STREET  
JACKSON, WY

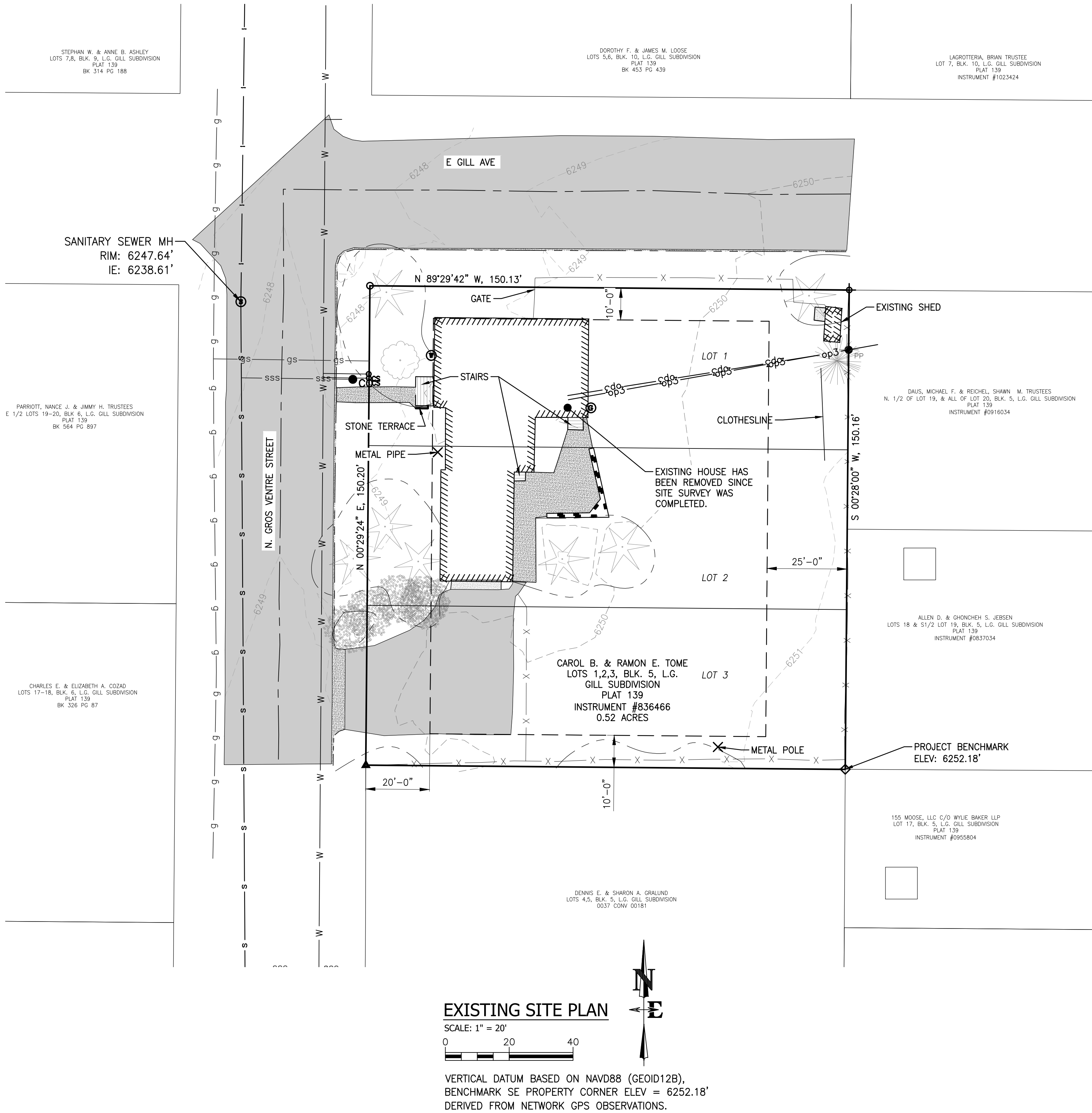
REVISIONS

PRE-APPLICATION CONFERENCE REQUEST


SHEET NAME	SHEET
COVER PAGE	A0.1
SCALE	
VARIES	
DATE	
7 DECEMBER 2022	



S:\Projects\21-525-02 170 N Gros Ventre St. - CIV\14 Drawings\Civil\21-525-02 170 N Gros Ventre St. - CIV\FIRMA1.dwg (EXISTING) - Dec 05 2022 01:33:45 pm PLOTTED BY: butler DWG FIRMA1 241



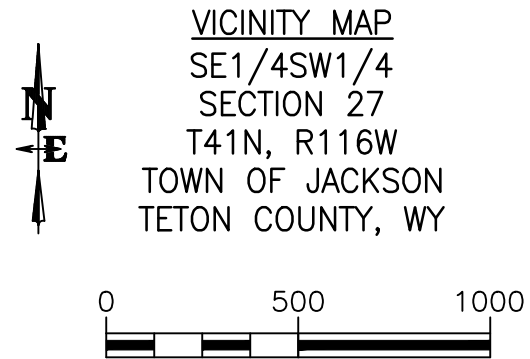
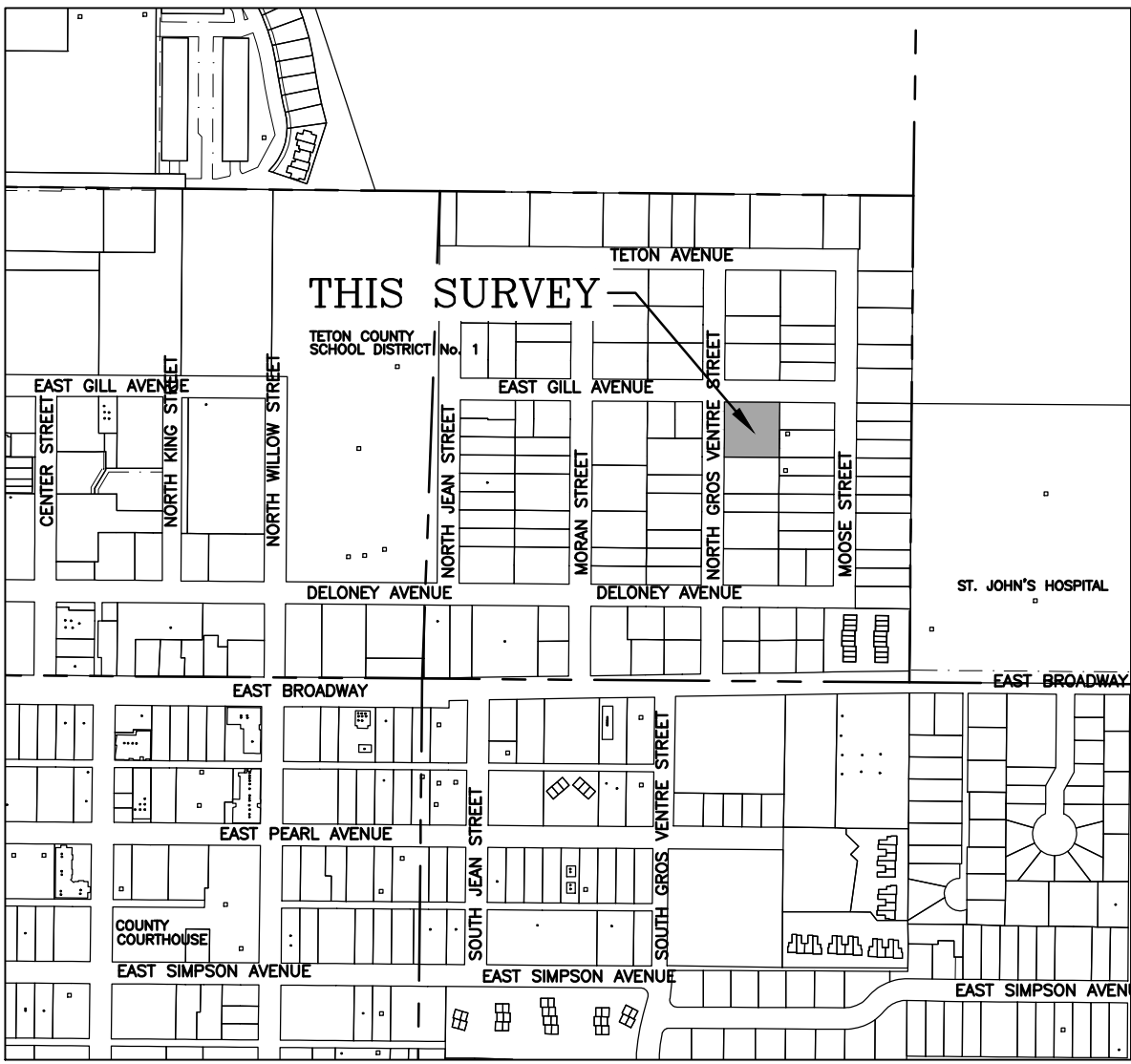
NOTE:

THE SITE SURVEY REPRESENTED ON THIS MAP SHOW CONDITIONS DETERMINED BY A FIELD SURVEY MADE ON NOVEMBER 22 AND NOVEMBER 23, 2021. AND MAY NOT REFLECT CHANGES MADE SUBSEQUENT TO THAT DATE.

THE MAP WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT AND IS SUBJECT TO ANY OTHER EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY, AND CONDITIONS OF SIGHT AND/OR OF RECORD INCLUDING, BUT NOT LIMITED, TO THOSE SHOWN HEREON;

PRIMARY BUILDING SETBACKS PER TOJ NL-3 ZONE  
20' PRIMARY STREET  
10' SECONDARY STREET  
10' SIDE  
25' REAR

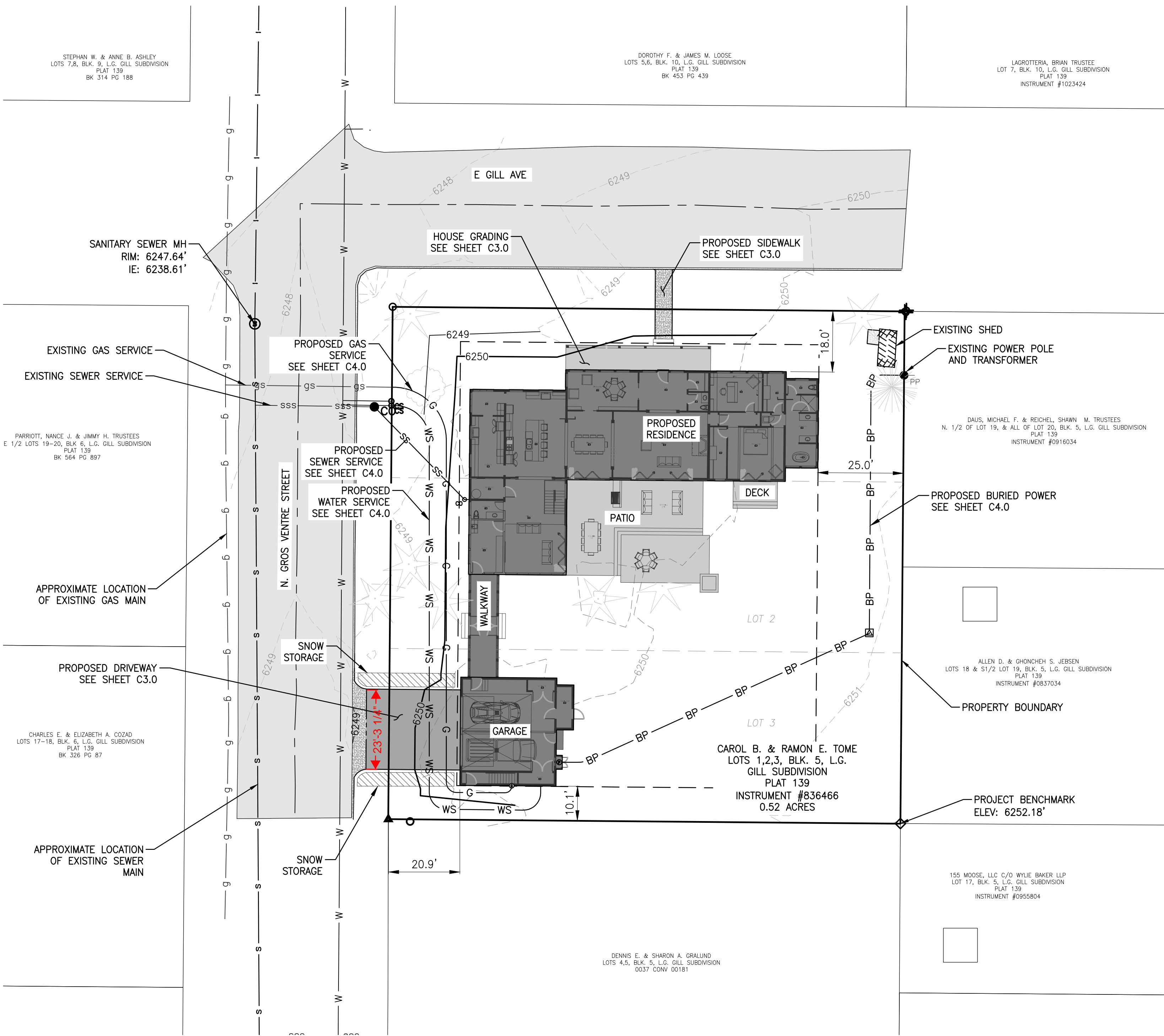
SITE DEVELOPMENT SETBACKS AND BUILDING SETBACKS SHALL BE VERIFIED WITH THE PLANNING DEPARTMENT IN THE AUTHORITY HAVING JURISDICTION PRIOR TO PLANNING ANY DEVELOPMENT. IT IS ALSO TO BE UNDERSTOOD THAT OTHER APPLICABLE CODES, RESTRICTIONS, COVENANTS AND REGULATIONS APPLICABLE TO DEVELOPMENT AND USE SHOULD BE DETERMINED PRIOR TO PLANNING ANY DEVELOPMENT AS THESE ARE NOT SHOWN ON THIS MAPPING



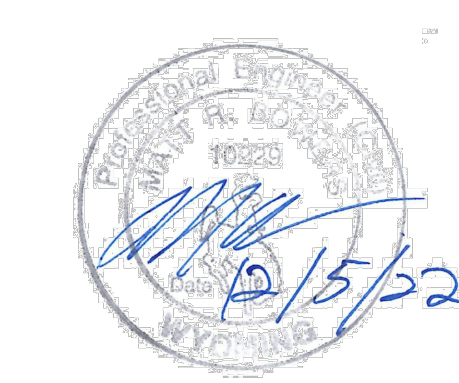
- LEGEND**
- = PROPERTY LINE
  - - - = UNDERLYING LOT LINE
  - - - = CURB LINE
  - op3 op3 = OVERHEAD POWER
  - - - = DRIP LINE
  - ||||| = BUILDING
  - x - x - x = FENCE
  - - - - - = BRICK WALL
  - - - - - = ROAD CENTERLINE
  - w = WATER LINE PER TOJ GIS
  - s = SANITARY SEWER LINE PER TOJ GIS
  - g = GAS LINE PER TOJ GIS
  - = PAVEMENT AREA
  - = CONCRETE
  - ① = IRRIGATION CONTROL VALVE
  - ② = SANITARY SEWER MANHOLE
  - ⊙ = WATER METER
  - ⊙ = GAS METER
  - ⊙ = CURB STOP
  - × 6250' = SPOT ELEVATION
  - ⊙ = LIGHT POST
  - ⊙ = POWER POLE
  - ◇ = FOUND REBAR AND CAP
  - = FOUND REBAR
  - ▲ = FOUND T-STAKE
  - ⊕ = CALCULATED POINT
  - ASPEN-14 = ASPEN TREE WITH TRUNK DIA.
  - SPRUCE-14 = SPRUCE TREE WITH TRUNK DIA.
  - DECIDUOUS-14 = DECIDUOUS TREE
  - PINE -12 = PINE TREE

DRAWING NO	JOB TITLE	DRAWING TITLE	REVISIONS				
			DATE	SURVEYED	ENGINEERED	DRAWN	APPROVED
CL.O	TOME RESIDENCE	EXISTING SITE PLAN	12/13/2021	TB	-	AR	LR
21-525-02	170 N GROS VENTURE STREET JACKSON, WY						





**FINAL SITE PLAN**  
SCALE: 1" = 20'



**SITE CONSTRUCTION NOTES & SPECIFICATIONS**

- CAUTION:** UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
  - IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
  - STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C3.0 FOR STAGING AND STOCKPILING LOCATIONS.
  - TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH AREAS. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
  - IN ACCORDANCE WITH SHEET C3.0, INSTALL EROSION CONTROL MEASURES AS NEEDED AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
  - REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
  - CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES ON THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
  - LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SPRING 2022 THROUGH SUMMER 2024.
  - CONTRACTOR SHALL COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
  - IF A GEOTECHNICAL REPORT WAS COMPLETED, CONTRACTOR SHALL FOLLOW RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.
  - PER TOJ STANDARDS, INSTALL BACKFLOW PREVENTION (REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER) ON IRRIGATION SYSTEMS CONNECTING TO PUBLIC WATER SUPPLY.
  - CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION MANAGEMENT REQUIREMENTS:
    - CONSTRUCTION PARKING AND STAGING SHALL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTAGE. STAGING W/IN PUBLIC RIGHT-OF-WAYS IS PROHIBITED W/OUT AN ENCROACHMENT PERMIT.
    - STAGE MATERIALS AND EQUIPMENT WITHIN THE LOT BOUNDARY AND IN ACCORDANCE WITH SHEET C3.0. NO STAGING WITHIN PUBLIC RIGHT-OF-WAY IS ALLOWED.
    - TRACK-OUT OF DEBRIS ON PUBLIC ROADS IS PROHIBITED. PLACE GRAVEL SURFACING TO MINIMIZE MUD ISSUES DURING CONSTRUCTION IN ACCORDANCE WITH ST-119/C5.2.
    - INSTALL CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C3.0.
    - LOCATE AND PROVIDE TEMPORARY CONSTRUCTION FACILITIES INCLUDING TRAILERS, TOILETS, DUMPSTERS AND LOCATIONS FOR CONCRETE WASHOUT W/IN THE LOT BOUNDARY.
    - DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
  - FINAL GRADING INSPECTION: PER TOJ STANDARDS, CONTRACTOR/OWNER SHALL ARRANGE FOR GRADING INSPECTION AND FINAL APPROVAL BY THE DESIGN ENGINEER FOR PLAN-LEVEL GEC'S
  - NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).

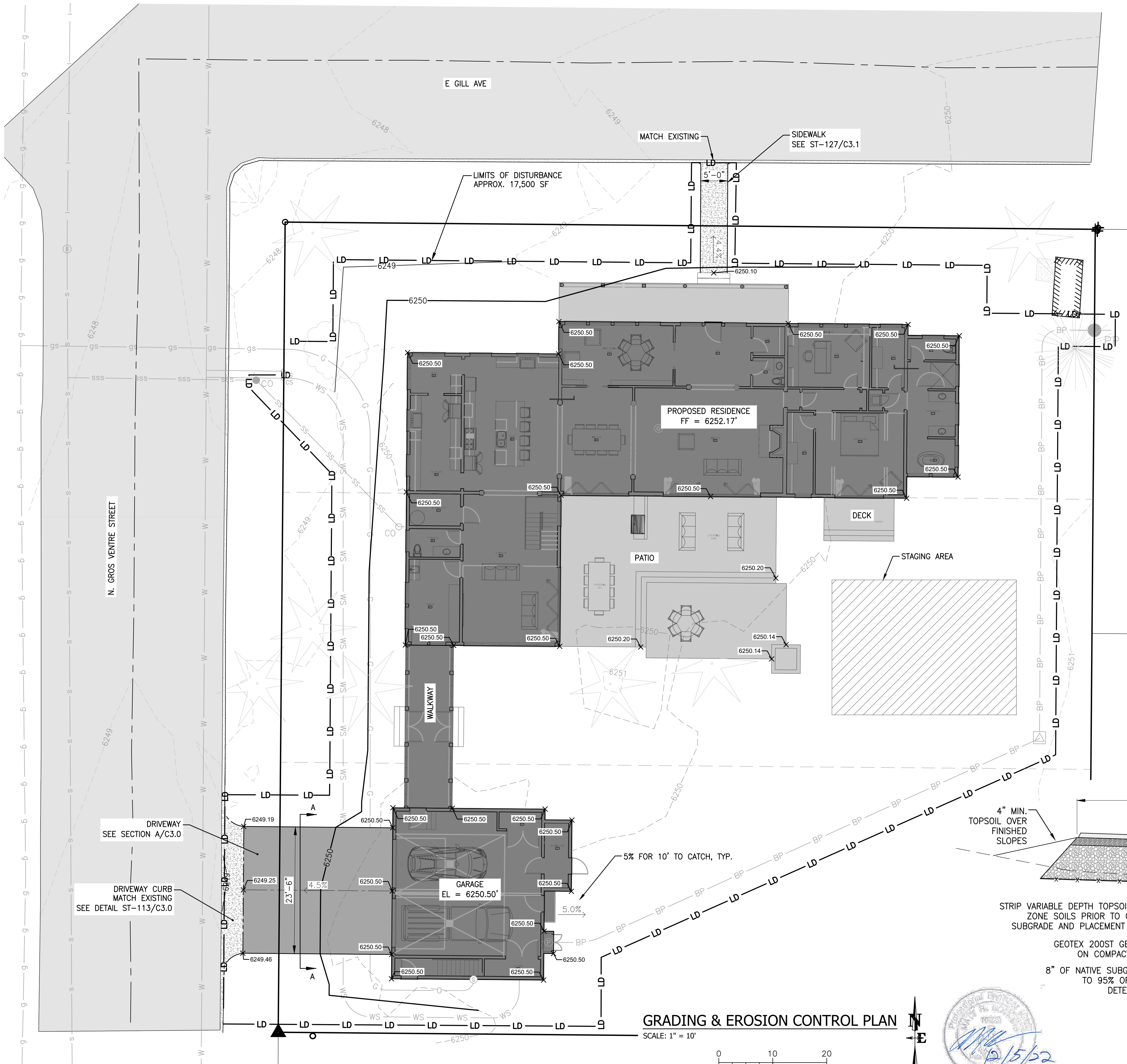
**TETON COUNTY WEED AND PEST MANAGEMENT STRATEGIES**

- PRE-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:**
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE TETON COUNTY WEED & PEST, OR OTHER QUALIFIED PROFESSIONAL, TO CONDUCT A SITE SPECIFIC INVENTORY OF INVASIVE SPECIES AND CREATE A SPECIES SPECIFIC MANAGEMENT PLAN IN ACCORDANCE WITH TETON COUNTY LDR 5.7.2.
- ACTIVE CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:**
- ALL CONSTRUCTION EQUIPMENT TO BE CLEANED PRIOR TO ENTERING THE SITE.
  - SOIL STOCKPILES TO BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
  - DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT SHALL BE MINIMIZED.
  - ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE KEPT ON ACTIVE MANAGEMENT USING THE CONTROL METHODS PRESCRIBED IN THE SPECIES SPECIFIC MANAGEMENT PLAN CREATED PRIOR TO CONSTRUCTION. THIS AREA SHALL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.
- POST-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:**
- RE-VEGETATION TO OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT THE ESTABLISHMENT OF INVASIVE SPECIES IN DISTURBED AREAS.
  - NURSERY STOCK SHALL BE IN ACCORDANCE WITH W.S. 11-9-101 - 109 (WYOMING NURSERY STOCK LAW), ACCOMPANIED BY A VALID HEALTH CERTIFICATE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE. SEEDS SHALL BE IN ACCORDANCE WITH W.S. 11-12-101 - 125 (WYOMING SEED LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE.
  - CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL SHALL BE UTILIZED WHERE POSSIBLE.
  - TCWP TO BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.

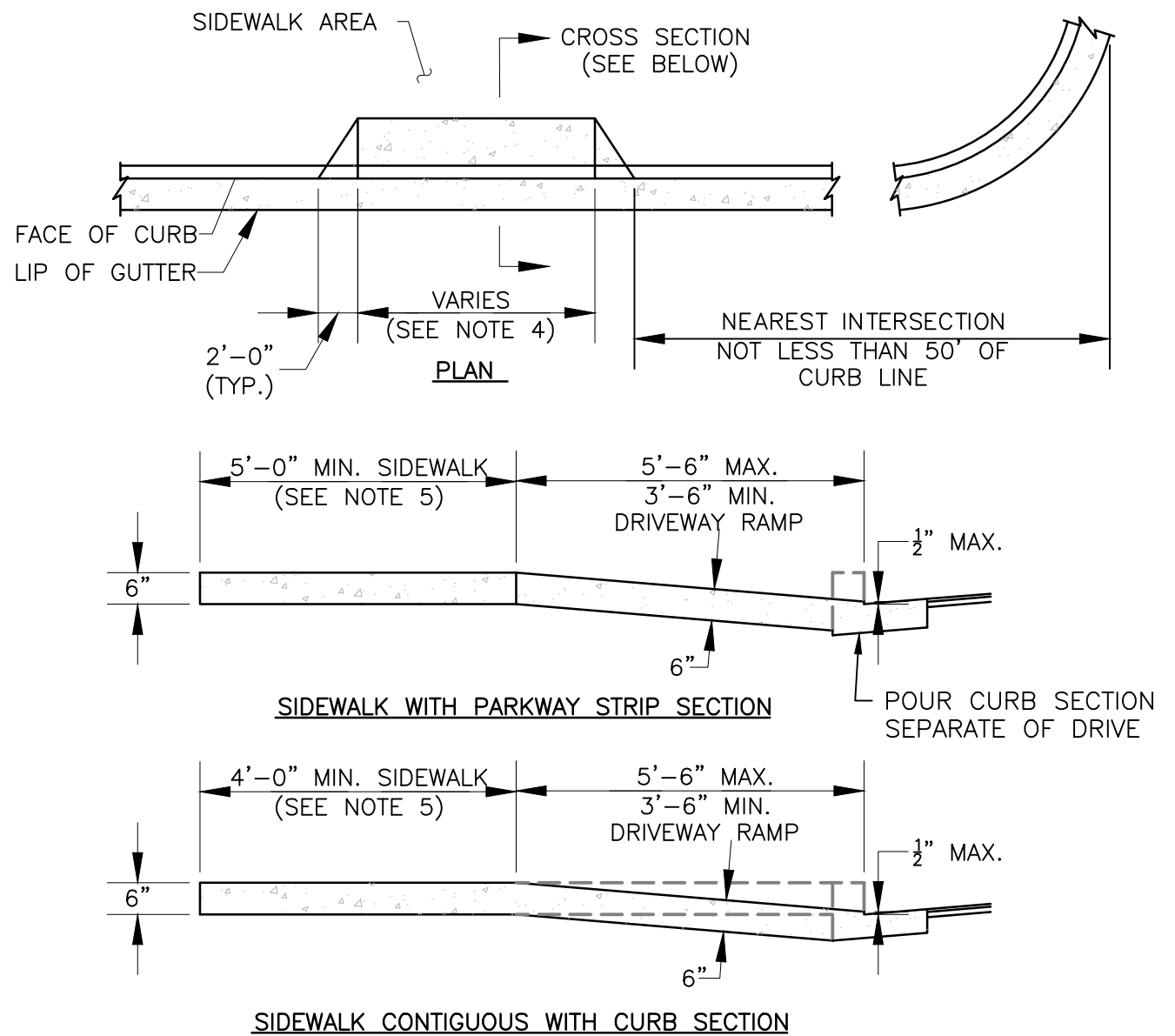
**BUILDING PERMIT**

DRAWING NO C2.0		JOB TITLE  TOME RESIDENCE 170 N GROS VENTURE STREET JACKSON, WY	DRAWING TITLE  FINAL SITE PLAN	P.O. BOX 1599, JACKSON WYOMING (307) 733-2087	DATE		REV.
JOB NO 21-525-02					SURVEYED	12/5/2022	
					ENGINEERED	NE	
					DRAWN	MB	
					CHECKED	LB	
			APPROVED	MB			





**CAUTION:**  
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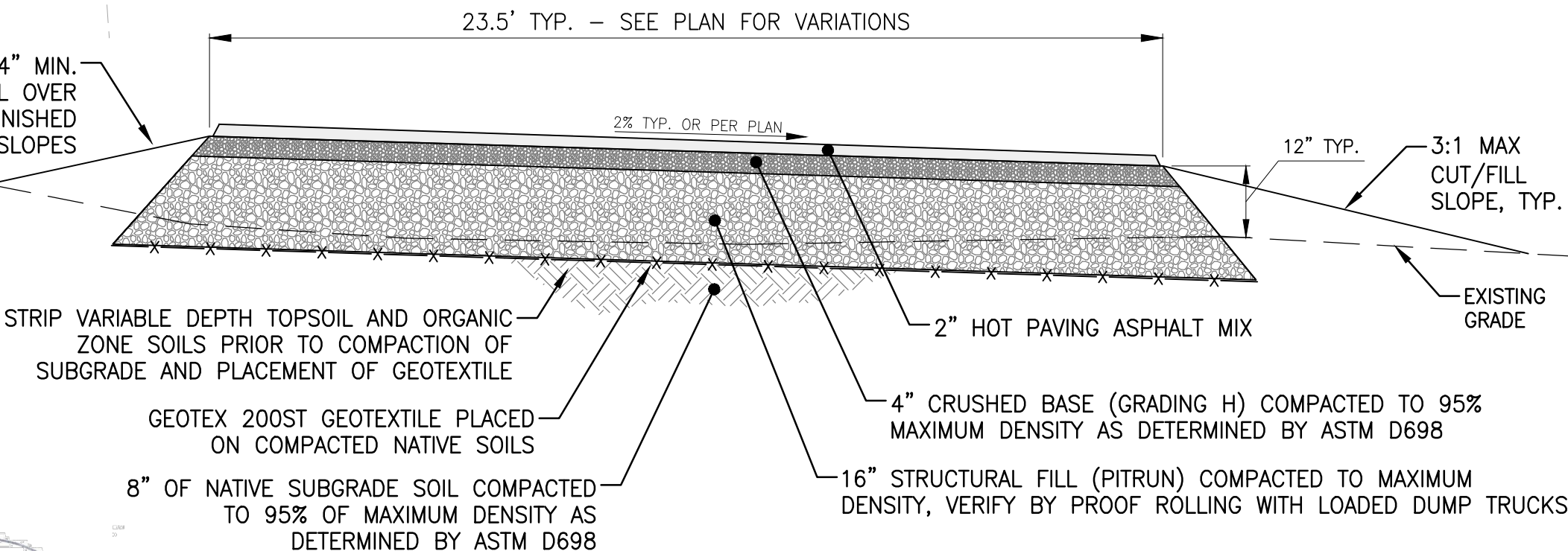


- NOTES:**
1. DRIVEWAYS AND CURB CUT SHALL BE INSTALLED TO CONFORM WITH ALL APPLICABLE ADA STANDARD REQUIREMENTS.
  2. CONCRETE DRIVEWAY RAMPS/CURB CUTS AND ASSOCIATED ADJACENT SIDEWALK SHALL CONFORM TO WPSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.07.
  3. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
  4. THE FLAT BOTTOM WIDTH DIMENSION OF CURB CUTS SHALL NOT EXCEED THE DIMENSIONS SET FORTH IN THE TOWN LAND DEVELOPMENT REGULATIONS.
  5. THE ENTIRE SIDEWALK AND RAMP SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2%. LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT BE STEEPER THAN 1:12.
  6. SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.



**DRIVEWAY CURB CUT**

ST-113 DATE: 12/5/12  
SCALE: N.T.S.



**TYPICAL DRIVEWAY SECTION**  
SCALE: N.T.S.

DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED
12/5/2022	NE	MB	LB	MB	MB

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

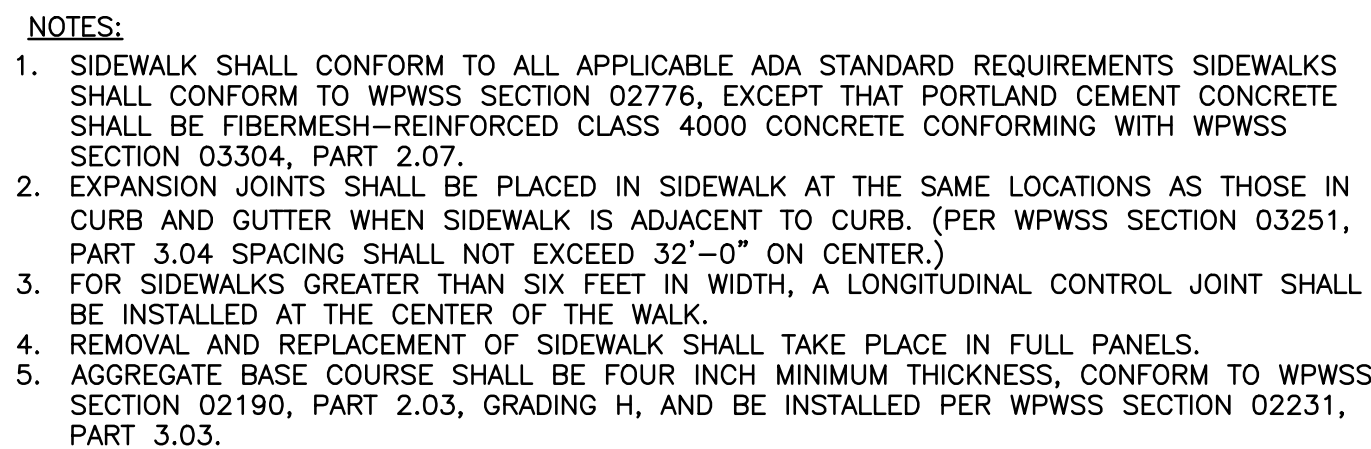
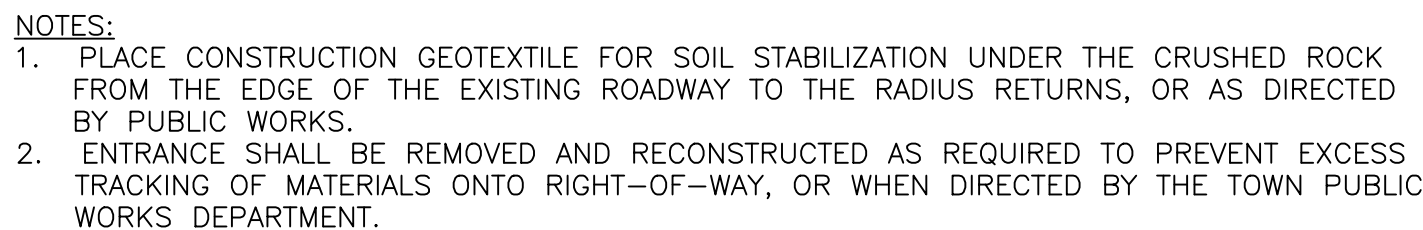
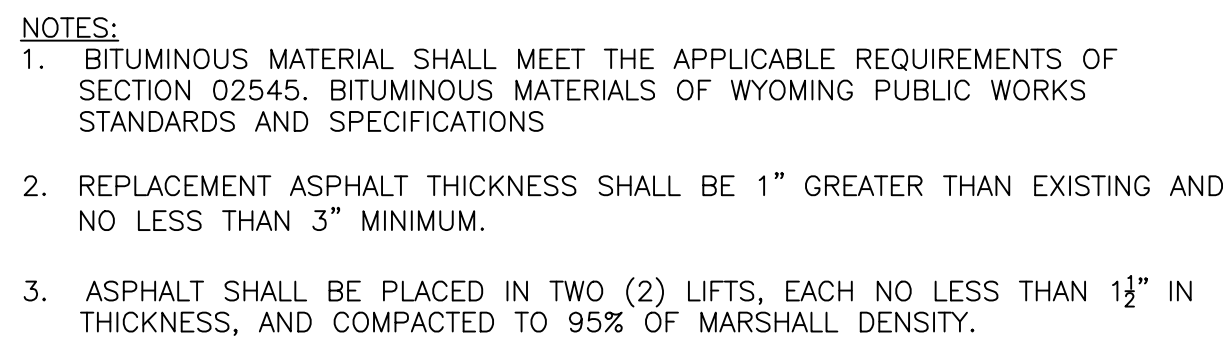
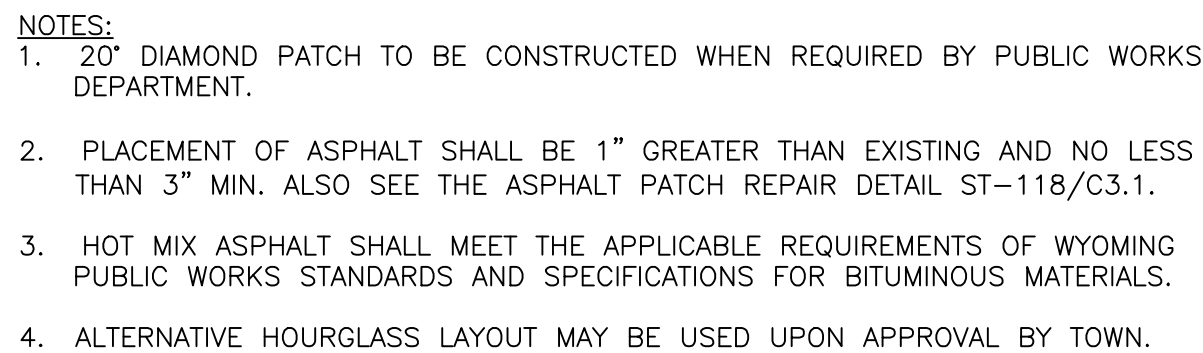
**GRADING & EROSION CONTROL PLAN**

**TOME RESIDENCE**  
170 N GROS VENTURE STREET  
JACKSON, WY

**DRAWING NO**  
C3.0  
**JOB NO**  
21-525-02

**BUILDING PERMIT**





**VERTICAL SPACING IS DEPENDENT ON SLOPE GRADIENT**

**ADJACENT ROLLS SHALL TIGHTLY ABUT**

**INSTALL WATTLE IN A SHALLOW TRENCH (2"–3" DEEP)**

**COMPACT EXCAVATED SOIL ON UPSLOPE SIDE**

**DRIVE STAKE UNTIL 2"–3" REMAINS EXPOSED**

**INSTALL STAKE PERPENDICULAR TO SLOPE FACE**

**INSTALL WITH 18" OR 24" 1"x1" WOOD STAKES**

**TYPICAL WATTLE INSTALLATION**

**ENTRENCHMENT DETAIL**

**NOTE:**

- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"–3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP–SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18"–24" STAKES EVERY 3'–4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"–3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
- EROSION CONTROL PLAN AND LOCATION OF STRAW WATTLES SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

**TYPICAL WATTLE SPACING BASE ON SLOPE GRADIENT**

**SCALE: NTS**

	<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; flex-direction: column; align-items: center; justify-content: center; margin: 0 auto;"> <div style="font-size: 8px; margin-bottom: 2px;">STM-107</div> <div style="font-size: 12px; margin: 0;">C3.1</div> </div>	<h2 style="margin: 0;">STRAW WATTLE DETAILS</h2>	<p>STM-107    DATE: 1/21/13</p> <p>SCALE: NTS</p>
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JOB TITLE  
 TOME RESIDENCE  
 170 N GROS VENTURE STREET  
 JACKSON, WY

DRAWING NO  
C3.1  
JOB NO  
21-525-02

**NELSON  
ENGINEERING**  
P O BOX 1599 JACKSON WYOMING (307) 733-2087

DATE	12/5/2022	REV.
SURVEYED	NE	
ENGINEERED	MB	
DRAWN	LB	
CHECKED	MB	

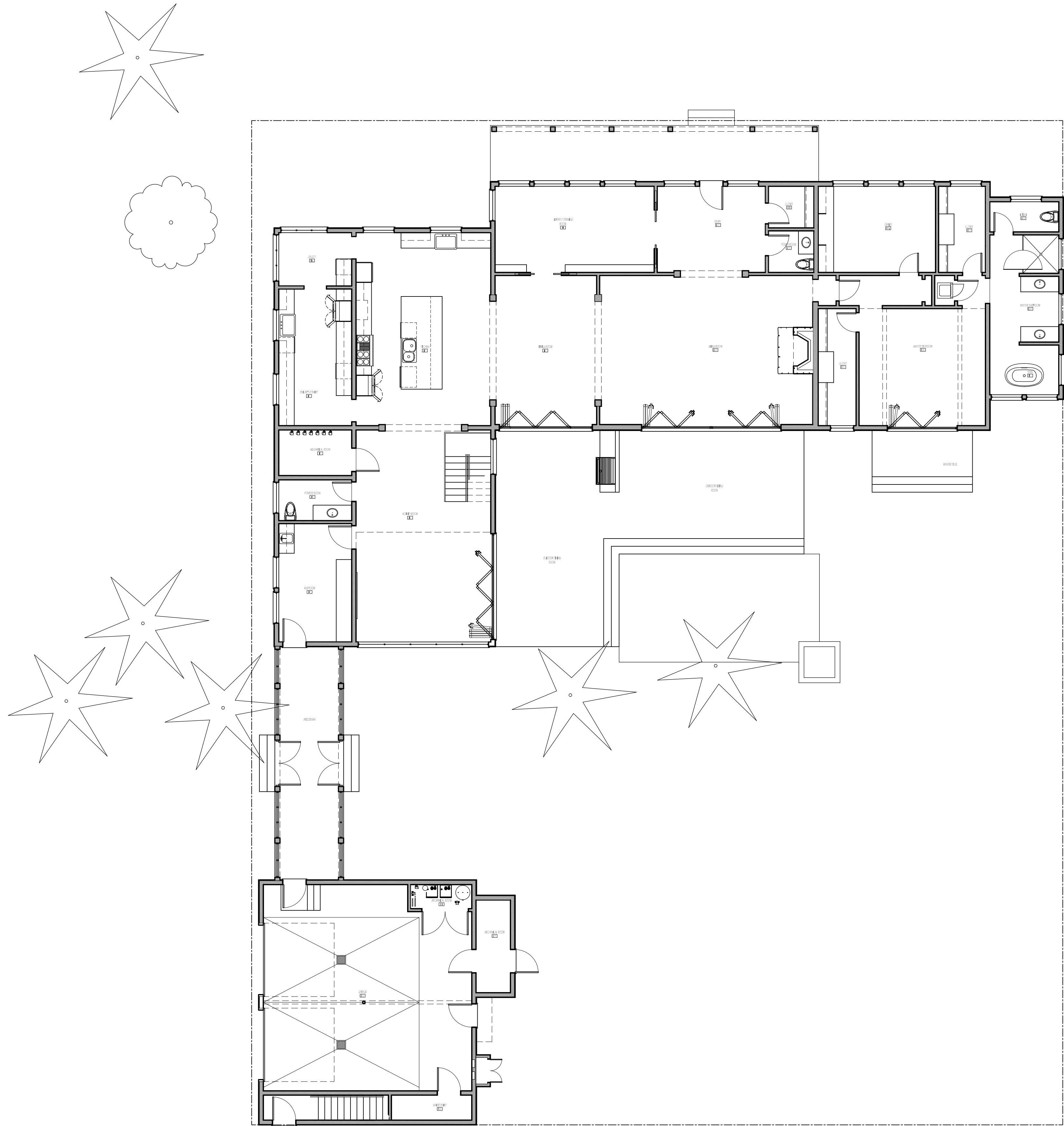
( BUILDING PERMIT











SQUARE FOOTAGE INFORMATION				
FLOOR AREA FOR PROPERTY	HABITABLE	HABITABLE BASEMENT	UNHABITABLE	UNHABITABLE BASEMENT
FIRST FLOOR	4,106.04 SQ. FT.		947.00 SQ. FT.	9,095.04 SQ. FT.
SECOND FLOOR	2,399.84 SQ. FT.			2,399.84 SQ. FT.
ARJ	769.25 SQ. FT.			769.25 SQ. FT.
TOTAL	7,209.11 SQ. FT.		947.00 SQ. FT.	8,156.11 SQ. FT.

PLAN NOTES
1. NO DIMENSIONS SHOULD BE IMPLIED OR MEASURED FROM THIS PLAN UNLESS THE DIMENSION IS SPECIFICALLY CALLED OUT ON THE PLAN. 2. USE APPROVED PRESURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT PER IRC R317.1.2 3. FIELD-CUT END, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD USING AMPA 104 STANDARD PER IRC R317.1.1 4. TILE BOARD TO BE HARDE BOARD EZ GRID WITH QUARTZ LOCK <sup>2</sup> GROUT - COLOR TO BE DETERMINED BY OWNER 5. PER R401.3, LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'. 6. PER R807.1, THE REQUIRED ATTIC ACCESS SHALL BE IN A HALL OR OTHER READILY ACCESSIBLE LOCATION. THE OPENINGS SHALL BE A MIN OF 22" X 30". 7. PER R1009.7, FACTORY BUILT CHIMNEYS HAVING OFFSETS, MUST BE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL AND THE ASSEMBLY WILL NOT CONTAIN MORE THAN 4 ELBOWS. 8. PER M1505.1.2, THERE MUST BE A 30" HIGH BY 24" WIDE PATHWAY FROM THE ACCESS DOOR TO THE FURNACE AND THE ACCESS OPENING CANNOT BE LOCATED FURTHER THAN 20' AWAY FROM THE FURNACE. 9. PER 2902.4.3, HOSE BIBS SHALL BE PROVIDED WITH AN ATMOSPHERIC OR PRESSURE-TYPE VACUUM BREAKER. 10. PER N1102.2.4 ATTIC ACCESS DOORS FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES AND THE INSULATION SHALL BE RIDGELY ATTACHED TO THE ACCESS DOOR. 11. PER R507.2.1, UNLESS AN IMPERMEABLE FLOOR IS PROVIDED, ALL DECK FRAMING SHALL BE OF PRESERVATION-TREATED OR NATURALLY DURABLE LUMBER. 12. ALL WALL FLASHING MUST COMPLY WITH R703.4. 13. PER THE REQUIREMENTS OF N1102.2.4, ACCESS DOORS FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES AND THE INSULATION SHALL BE RIDGELY ATTACHED TO THE ACCESS DOOR.

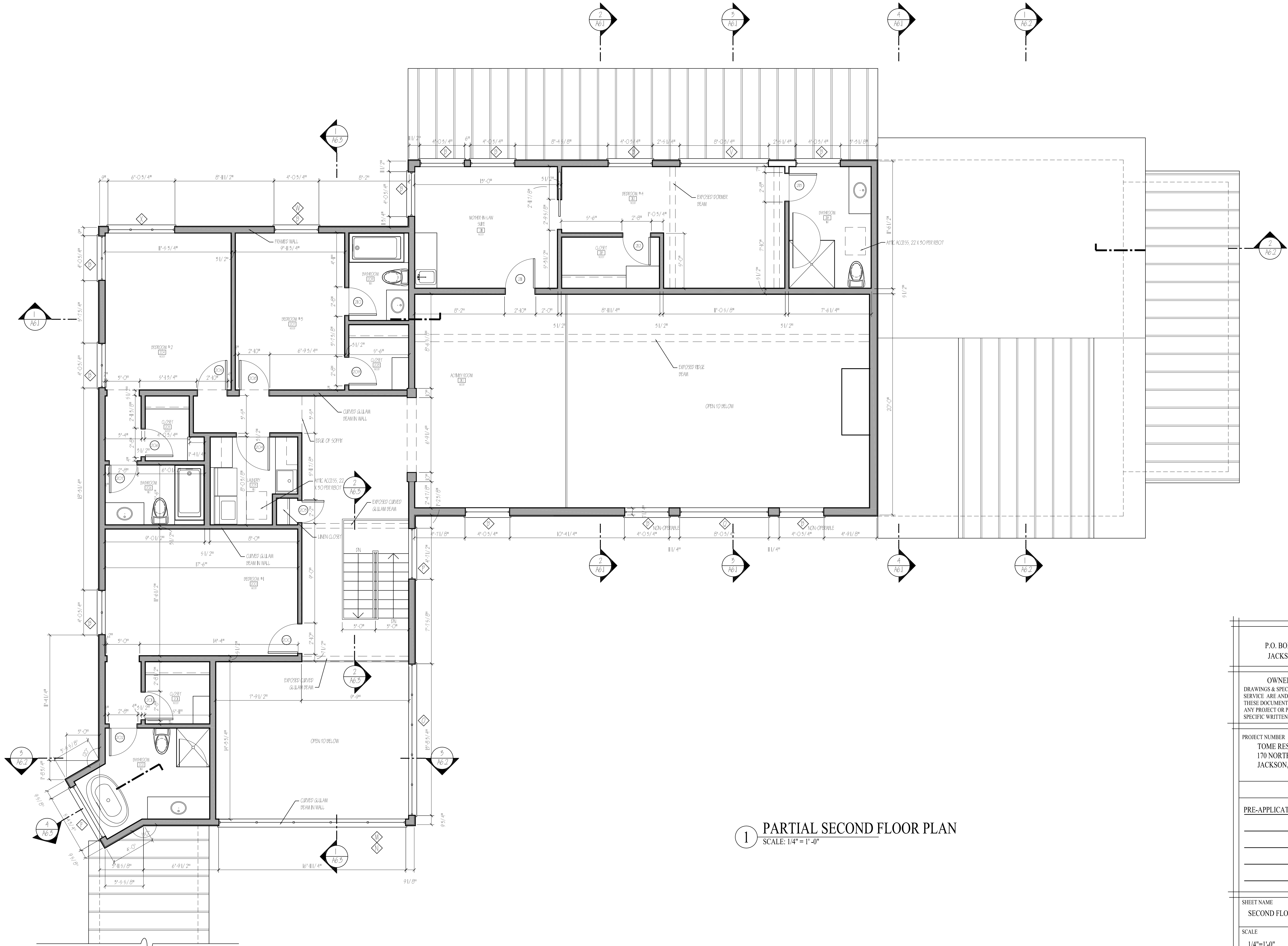
1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

KINSEY, LLC. P.O. BOX 12258 • 1070 ELK RUN UNIT 60 JACKSON, WY 83002 PH # 307.413.2485	
OWNERSHIP & USE OF DOCUMENTS DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT, KINSEY LLC.	
PROJECT NUMBER TOME RESIDENCE 170 NORTH GROS VENTRE STREET JACKSON, WY	
REVISIONS PRE-APPLICATION CONFERENCE REQUEST	
SHEET NAME FIRST FLOOR PLAN	
SCALE 1/8"=1'-0"	
DATE 7 DECEMBER 2022	
SHEET	





## A2.2



1 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

KINSEY, LLC.  
P.O. BOX 12258 • 1070 ELK RUN UNIT 60  
JACKSON, WY 83002 PH # 307.413.2485

OWNERSHIP & USE OF DOCUMENTS  
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PROJECT NUMBER  
TOME RESIDENCE  
170 NORTH GROS VENTRE STREET  
JACKSON, WY

REVISIONS	
PRE-APPLICATION CONFERENCE REQUEST	

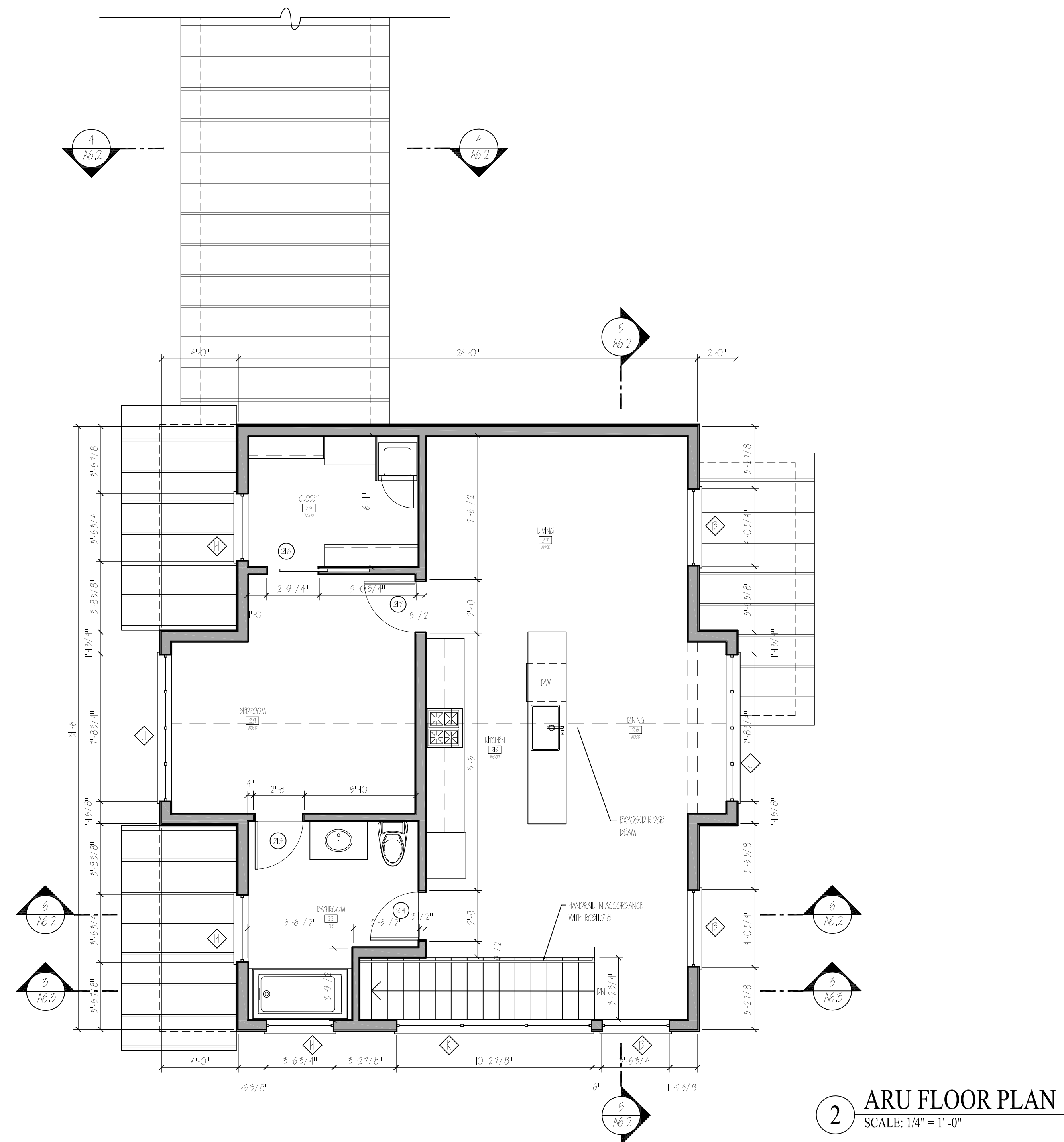
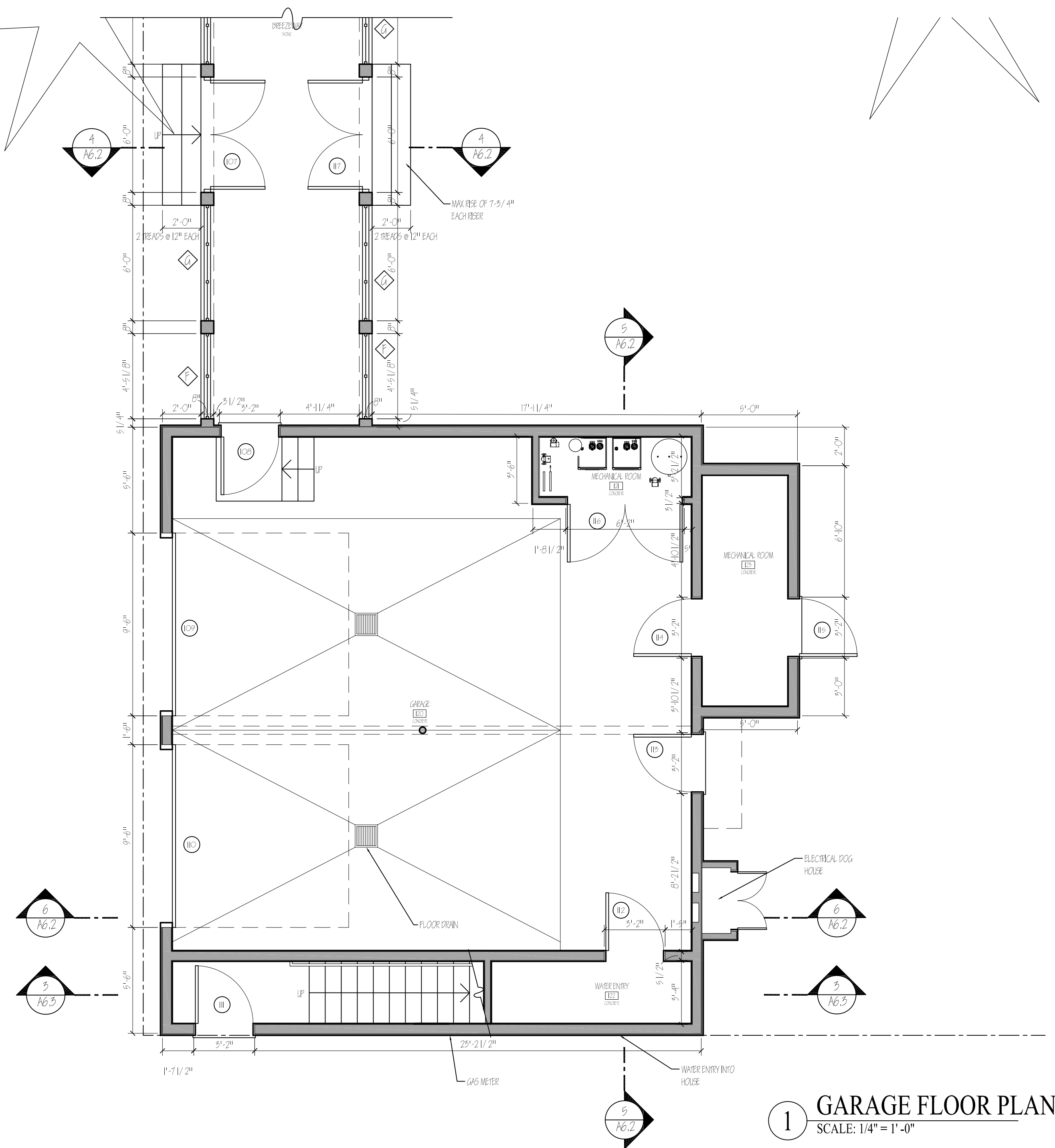
SHEET NAME  
SECOND FLOOR PLAN

SCALE  
1/4"=1'-0"

DATE  
7 DECEMBER 2022

SHEET

A2.3



KINSEY, LLC.  
P.O. BOX 12258 • 1070 ELK RUN UNIT 60  
JACKSON, WY 83002 PH # 307.413.2485

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PROJECT NUMBER  
TOME RESIDENCE  
170 NORTH GROS VENTRE STREET  
JACKSON, WY

## REVISIONS

### PRE-APPLICATION CONFERENCE REQUEST

SHEET NAME	
GARAGE/ ARU FLOOR	
PLAN	

SCALE  
1/4"=1'-0"

DATE  
7 DECEMBER 2022

SHEET

## A2.4

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tennant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required

Existing Workforce Housing Credit0.000

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Detached Single-Family Unit (Unre	0.000017*sf+(Exp(-15.49+1.59*Ln(sf)))/2.176	5	6439.88	1	0.208

Affordable Workforce Housing Required:0.208 unitsFee-in-Lieu Amount:\$56,540.03

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitgation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the Unit Type Sheet.