



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: July 18, 2022</p> <p>Item #: P22-181</p> <p>Planner: Katelyn Page</p> <p>Phone: 733-0440 ext. 1302</p> <p>Email: kpage@jacksonwy.gov</p> <p>Owner: 950 Alpine Ln, LLC PO Box 9175 Jackson, WY 83002</p> <p>Applicant: A43 Architects (Claude Terral) PO Box 4055 Jackson WY 83001</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for an Optional Pre-Application Conference for the property located at 950 Alpine Ln., legally known as LOT 27, JACKSON HOLE MEADOWS ADDITION, PHASE III, PIDN: 22-41-16-32-4-04-003</p> <p>For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.</p>
<p>Please respond by: August 1, 2022 (Sufficiency) August 8, 2022 (with Comments)</p>	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

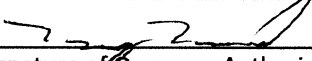
_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Claude Terral

Name Printed

07-15-2022

Date

Project Architect

Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: 07-18-2022

LETTER OF AUTHORIZATION NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that Dmitriy Grimberg, President is the owner in fee of the premises located at:
Name of property owner as listed on deed

Address of Premises: 950 Alpine Lane, Jackson, WY 83001

Legal Description: LOT 27, JACKSON HOLE MEADOWS ADDITION, PHASE III, PIN 22-41-16-32-4-04-003

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Chris Jaubert and Claude Terral - A43 Architecture

Mailing address of Applicant/agent: P.O. Box 4055, Jackson, WY 83001

Email address of Applicant/agent: chris@A43design.com, trey@A43design.com

Phone Number of Applicant/agent: 307-249-8650

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

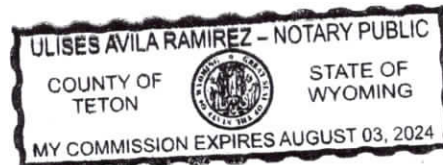
- ☐ Development/Subdivision Plat Permit Application ☒ Building Permit Application
- ☒ Public Right of Way Permit ☒ Grading and Erosion Control Permit ☐ Business License Application
- ☒ Demolition Permit ☐ Home Occupation ☒ Other (describe) DRC, Pre-application Meeting, Basic Use Permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF WY)
) SS.
COUNTY OF Teton)



The foregoing instrument was acknowledged before me by Dmitriy S Grimberg this 18th day of July. WITNESS my hand and official seal.

Notary Public

My commission expires: 08/03/2024

ABBREVIATIONS			
ADJ.	Adjustable/ Adjacent	MAX.	Maximum
A.F.F.	Above Finish Floor	MECH.	Mechanical
ALT.	Alternate	MEMB.W.P.	Membrane Waterproofing
ALUM.	Aluminum	MFR.	Manufacturer
APPROX.	Approximate	MIN.	Minimum
ARCH.	Architectural/Architect	MISC.	Miscellaneous
		M.O.	Masonry Opening
BD.	Board	MTL.	Metal
BLDG.	Building		
B.M.	Bench Mark	(N)	New
B.O.	Bottom Of	NECESS.	Necessary
BRG.	Bearing	N.I.C.	Not In Contact
BSMT.	Basement	NOM.	Nominal
BTM.	Bottom	N.T.S.	Not to Scale
CAB.	Cabinet	O.A.F.	Overall Frame
CLG.	Ceiling	O.C.	On Center
CLO.	Closet	O.D.	Outside Diameter
C.M.	Construction Manager	OPNG.	Opening
C.M.U.	Concrete Masonry Unit	OPP.	Opposite
COL.	Column	OPP.H.	Opposite Hand
CONC.	Concrete	ORIG.	Original
CONST.	Construction Joint		
CONT.	Continuous	PL.	Plate
CONTR.	Contractor	P.L.M.	Plastic Laminate
COORD.	Coordinate	PLAS.	Plaster
C.T.	Ceramic Tile	PLYWD.	Plywood
CTR.	Center	PREFAB.	Prefabricated
C.W.	Cold Water	PTD.	Painted
DBL.	Double	RAD.	Radius
DET.	Detail	R.D.	Roof Drain
DIA.	Diameter	RECMMND.	Recommendation
DIM.	Dimension	REF.	Reference
DISP.	Dispenser/Disposal	REINF.	Reinforce/ing
DN.	Down	REQ'D.	Required
D.P.	Dampproofing	REV.	Revisions
D.H.	Drainable Housewrap	RIM.	Rim
DWG.	Drawing	R.O.	Rough Opening
		RTG.	Rating
EA.	Each		
E.C.	Electrical Contractor	S.C.	Solid Core
EL.	Elevation	SCHED.	Schedule
ELEC.	Electrical/ Electric	SECT.	Section
ELEV.	Elevator/ Elevation	S.F.	Square Feet
E/O.	Equipment by Owner	SHT.	Sheet
EQ.	Equal	SHTG.	Sheathing
EQUIP.	Equipment	SIM.	Similar
EXIST. or (E)	Existing	SPECS.	Specifications
EXT.	Exterior	SQ.	Square
		S.S.	Stainless Steel
F.D.	Floor Drain	STL.	Steel
F.F.	Foundation	STOR.	Storage
F.E.	F.E. Fire Extinguisher	STRUCT.	Structural
FIN.	Finish	SUSP.	Suspended
FLR.	Floor	S.S.D.	See Structural Drawings
F.O.S.	Face of Stud	S.W.T.	See Wall Types
FR.	Frame	S.W.F.	See Roof Types
FT.	Feed/Foot	S.F.T.	See Floor Types
FTG.	Footing		
FURR.	Furring	TEL.	Telephone
		TEMP.	Tempered
GA.	Gauge	T.O.	Top Of
GALV.	Galvanized	TOIL.	Toilet
G.C.	General Contractor	TRTD.	Treated
GYP. BD.	Gypsum Board	TYP.	Typical
H.B.	Hose Bibb	U.G.	Underground
HDCP.	Hand-capped	U.L.	Underwriters Laboratory
H.C.	Hollow Core	UNEXC.	Unexcavated
H.M.	Hollow Metal	UNFIN.	Unfinished
HORZ.	Horizontal	U.O.N.	Unless Otherwise Noted
HT.	Height		
H.W.	Hot Water	VERT.	Vertical
		V.I.F.	Verify In Field
I.D.	Inside Diameter	V.T.R.	Vent Through Roof
IN.	Inch/Inches		
INSUL.	Insulation	W/	With
INT.	Interior	W.C.	Water Closet
INV.	Invert	WD.	Wood
		WIN.	Window
JAN.	Janitor	W.P.	Waterproof
JT.	Joint	W.W.F.	Welded Wire Fabric
		W.R.B.	Weatherproof Building Wrap
LOC.	Location		

SYMBOL LEGEND	
	Drawing Title
	Section Tag
	Exterior Elevation Tag
	Interior Elevation Tag
	Elevation Datum
	North Arrow
	Detail Key
	Grid Tag
	Door Tag
	Window Tag
	Spot Elevation Tag
Room name	
	Room Tag
	Centerline Tag

GENERAL CONSTRUCTION NOTES:

1. The term "Owner" shall denote the client, or Owner, as designated in the Contract. The term "General Contractor" or "Contractor" shall denote the Corporation, Company, Partnership, Firm or Individual who has entered into the Contract for the performance of the work and has engaged Subcontractors to perform a portion of the work. The term "Architect" refers to Atelier 43, LLC. The use of the words "Provide" and "provided" in connection with any item specified shall be intended to mean that the item shall be furnished, installed and connected as so required.
2. This project shall comply with the current adopted International Residential Code, IRC, IFC, and International Building Code, and the Interface Code and the currently adopted National Electric Code, the CCR's of the subdivision in which the project is located and the current Teton County Comprehensive Plan and Land Development Regulations, including all amendments. Any building official, subcontractor or trades person noting discrepancies shall notify the Architect immediately in writing.
3. Contractor shall coordinate all required inspections by Teton County Building and Fire Departments, local electrical inspector and other governing authorities.
4. Contractor shall obtain and pay for all temporary utilities, including but not be limited to, construction and temporary septic facilities, which shall be maintained on site for duration of construction. A job phone must be maintained on site for duration of construction and the phone number will be made available to the architect.
5. All construction debris to be stockpiled neatly on site until disposal, which shall be done at an approved waste collection facility. No debris is to be disposed of in local waste collection facilities. On site refuse burning will be done only with approval of Owner, Teton County Sheriff and the Subdivision Homeowner's Association.
6. Contractor shall inform Architect of any and all Owner requested changes or directives following Owner/Contractor Change Orders. Contractor shall not proceed with Owner requested changes or directives without prior review from the Architect and written Change Order.
7. Except at Interior Elevations, and unless otherwise noted, all dimensions are given to face of rough framing, centerline of columns, or face of concrete and C.M.U. wall. Interior Elevation dimensions are given to face of finished material. Exterior Elevation dimensions are given to face of finished material. All dimensions shall be finished and rain colors for approval by architect / owner. This includes interior and exterior stairs, interior panel, sheetrock textures, etc. - see Project Manual.
8. Contractor shall provide storage for all building materials in accordance with manufacturers recommendations.
9. Solid wood blocking, insulation or other firestop material is to be provided between stories, between top story and roof runs, between stair stringers at top and bottom, between studs along stair spans and at all other places that could afford the passage of flame, and as required by the IRC.
10. To provide security, the finished interior and exterior colors for approval by architect / owner. This includes interior and exterior stairs, interior panel, sheetrock textures, etc. - see Project Manual.
11. The contractor, subcontractor, supplier or other hired entity shall align all visible portions / equipment (which includes but is not limited to, outlets, light switches, doors, windows, doors, radiators, A/C devices, diffusers, fire protection, etc.) equally between or directly with architectural elements (windows, doors, beams, columns etc.) and other visible portions / equipment. Adjust structural framing as required (contract architect prior to adjusting framing for possible structural requirements). Verify all locations with architect prior to rough-in installations of any system or equipment, any changes in the framing per architect's direction may be required and shall be included in the project costs.
12. Contractor to verify the existing radon mitigation, if any, upon beginning of work and extend to the new crawlspaces area.
13. Provide 4" diameter, schedule 30 A/V C pipe labeled "radon vent" discharging from crawlspace gravel and rain cap terminus above roof. Radon vents shall be placed so that the a future fan may be installed if necessary, provide receptacle in attic near pipe.
14. All vent pipes that extend through the roof shall be terminated 16" min. above the roof.
15. The radon system to meet NFPA 131 or NFPA131B where required. Sizing and installation to be done by licensed fire sprinkler contractor. See fire protection drawings.

SITE NOTES:

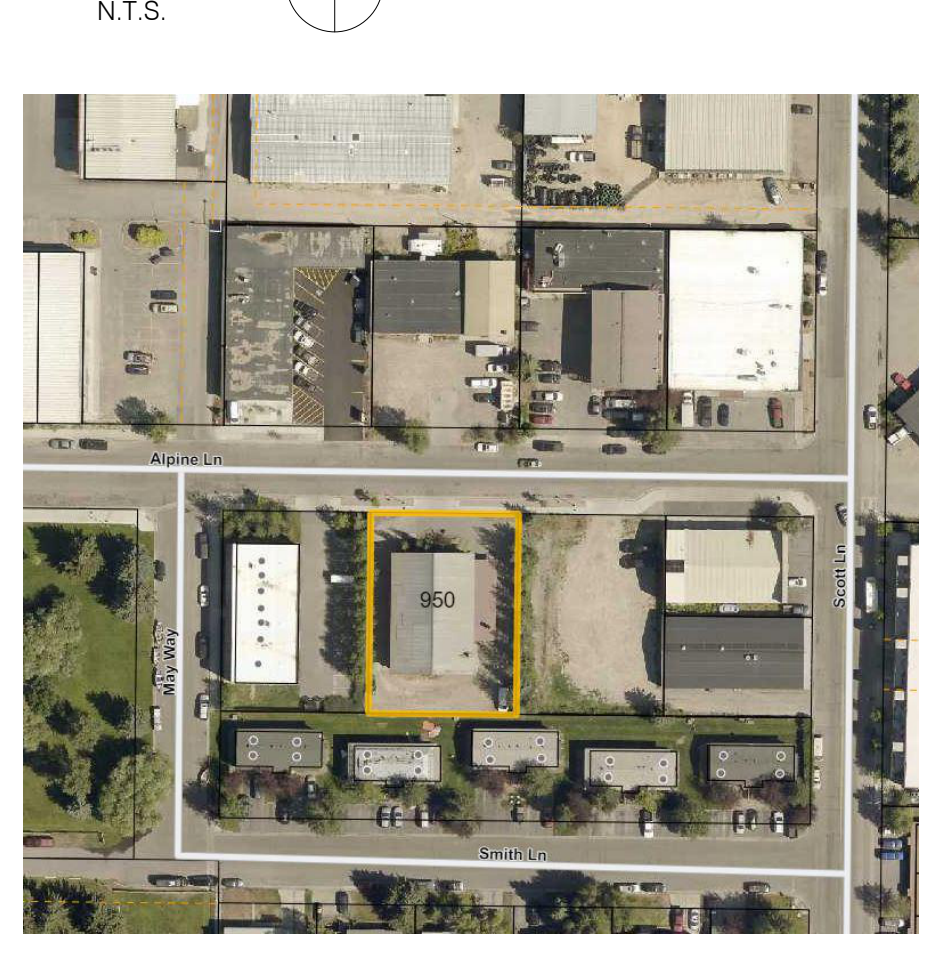
1. Preliminary and final building staking to be verified in field by Architect prior to excavation.
2. Final building staking and all required surveying to be performed by licensed surveyor at contractor's expense.
3. Contractor to notify Architect of any installations with existing soil conditions or high water table immediately upon discovery. (Primarily during excavation)
4. All necessary pit run or road base material, imported for the construction of driveway, shall be figured into the cost of the general construction contract. Excess material shall be removed for the house foundation, and not used for sloped grade at building perimeter as shown at building sections and site plan, may be used in the construction of the driveway. The unit cost of any additional imported pit run as may be required to provide bearing for footings shall be clearly indicated in the proposal / contract as a potential additional cost.
5. Contractor is responsible for providing, coordinating and supervising the trenching of utilities and services to and from building. Coordination shall include contractor's reasonable efforts to combine as many different utilities in common trenches as practicalities and good practice permit.
6. All organic materials shall be removed to 8" limits, unless otherwise noted, to prevent settling of finish grade, walks, driveways, terraces, etc.
7. Removal of existing trees and other organic material cleared for the purpose of construction is the responsibility of the contractor.
8. Excavated top soil is to be retained and used as final ground cover. All disturbed areas, including rough grading at building perimeter and utility trenches are to be covered with top soil. Top soil shall be defined as min 4" deep, free of debris, waste, frozen material, vegetation or other deleterious matter and containing not more than 10% sand, gravel, clay or rocks - none of which may be larger than 1" in any direction.
9. Contractor to provide finish grading to match spot elevations as shown at site plan. Finish grade to be smooth even surface with raked finish to blend naturally with undisturbed existing grade.
10. Minimum slope away from house shall be 1/8" per foot.
11. Finish landscaping (including seeding and planting of new trees) is not part of this contract.
12. Cuts and installation of roadways to provide hookup are the responsibility of the General Contractor.
13. Location of all utilities to be verified with Architect. Gravel drive and parking to be constructed of min 4" of 3/4" crushed gravel over min 6" of road base (pit run or fill excavated from the site may be used if of proper composition). Elevate above surrounding grade and crown to provide positive drainage.
14. Remove all top soil below drive prior to installation and feather into side of elevated finish drive.
15. All excavated fill and demolition debris is to be stockpiled in the areas shown on the site plan.
16. See site grading plan for proposed drive and parking area locations and construction specifications.
17. See site grading plan for utility specifications for installation.

SITE CALCULATIONS

<u>Site Information</u>	
Gross Site Area:	0.34 ac (14,810 sf)
Adjusted Site Area:	same
Zoning:	CR-3-Tol
Zoning Overlay:	N/A
<u>Zoning Summary:</u>	
Minimum LSR	.10 (1,481 sf)
Floor Area Ratio (FAR)	.40 (5,924 sf)
Min. Street Yard	0-10 feet
Min. Side Yard	5 feet
Min. Rear Yard	10 feet
Max. Height	42 feet
<u>Impervious Surfaces:</u>	
Square footage of existing roofed areas	6,128 sf
Paved, concrete, or unpaved driveways and parking areas	7,763 sf
Other impervious surfaces such as solid terraces and paved sidewalks	0 sf
Total Impervious Surfaces	13,891 sf
<u>Floor Area of Proposed Structure</u>	
First Floor - habitable (below grade*)	0 sf
First Floor - habitable (above grade)	5,098 sf
First Floor - non-habitable (below grade*)	0 sf
First Floor - non-habitable (above grade)	0 sf
Second Floor (non-habitable)	0 sf
Second Floor (habitable)	4,249 sf
Gross - above grade	9,347 sf
Gross - below grade	0 sf
*does not count towards FAR	
<u>Floor Area Ratio</u>	(9,347 sf / 14,810 sf) = 0.63
<u>Gross Square Footage Tabulation-Fire Area</u>	
1st Floor Proposed	SEE CODE PLAN
2nd Floor Proposed	SEE CODE PLAN
<u>Landscaping</u>	
Existing	919 sf
Proposed	2,151 sf

Standard Plant Unit Alternatives	
Alternative	Quantity, Size & Type of Plants Required
A	1 3" caliper canopy tree
	6 6' – 8' large shrubs or multi-stem trees
	4 #5 container shrubs
B	2 3" caliper canopy trees
	2 6' – 8' large shrubs or multi-stem trees
	3 8' high evergreen trees
C (preferred for year-round screening)	3 6' – 8' large shrub or multi-stem trees
	3 8' high evergreen trees
	2 #5 container shrubs

VICINITY MAP



PROJECT INFORMATION

Project Description:

Grimberg Mortuary/JH Flower
Boutique
Job #2203
950 Alpine Lane
Jackson, WY 83001
LOT 27, JACKSON HOLE
MEADOWS ADDITION,
PHASE III
DMITRI & MONICA GRIMBERG
6419 ROSELAWN ROAD
Richmond, VA 23226
804.370.0284
henryshield@gmail.com

Project Owner:

Chris Jaubert
Atelier 43, LLC
3970 Hawthorne Ln.
Wilson, WY 83014
307.200.1790

Project Architect:

Contractor:

Coulour Construction
310 E. Broadway #7
Jackson, WY 83001
307.699.3949
jesse@coulourconstruction.com

DRAWING LIST

Sheet No.	Sheet Name
GENERAL	
G1.0	COVER
G1.1	SCHEDULES
G1.2	WALL, FLOOR, AND ROOF TYPES
G1.3	CODE PLAN
CIVIL	
C1.0	EXISTING SITE / DEMO PLAN
C1.1	SITE PLAN
C2.0	UTILITY PLAN
C2.1	UTILITY DETAILS
C3.0	GRADING PLAN
ARCHITECTURAL	
A1.0	FOUNDATION PLAN - DEMO
A1.2	UPPER FLOOR PLAN - DEMO
A1.3	ROOF PLAN - DEMO
A2.0	FOUNDATION PLAN
A2.1	LOWER FLOOR PLAN
A2.2	UPPER FLOOR PLAN
A2.3	ROOF PLAN
A3.0	EXISTING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS
A3.3	BUILDING ISOMETRICS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS
A4.4	BUILDING SECTIONS
A4.5	BUILDING SECTIONS
A4.6	BUILDING SECTIONS
A4.7	BUILDING SECTIONS
A5.1	WALL SECTIONS / DETAILS
A5.2	WALL SECTIONS / DETAILS
A5.3	WALL SECTIONS / DETAILS
A8.1	LIGHTING PLANS
A8.2	LIGHTING PLANS
STRUCTURAL	
S000	GENERAL STRUCTURAL NOTES I
S001	GENERAL STRUCTURAL NOTES II
S010	TYPICAL CONCRETE DETAILS
S011	TYPICAL CONCRETE DETAILS
S012	TYPICAL WOOD DETAILS
S013	TYPICAL WOOD DETAILS
S014	TYPICAL WOOD DETAILS
S015	TYPICAL WOOD DETAILS
S100	FOUNDATION PLAN
S101	LOWER LEVEL FRAMING PLAN
S102	UPPER LEVEL FRAMING PLAN
S103	ROOF FRAMING PLAN
S500	FOUNDATION DETAILS
S800	WOOD DETAILS
S801	WOOD DETAILS

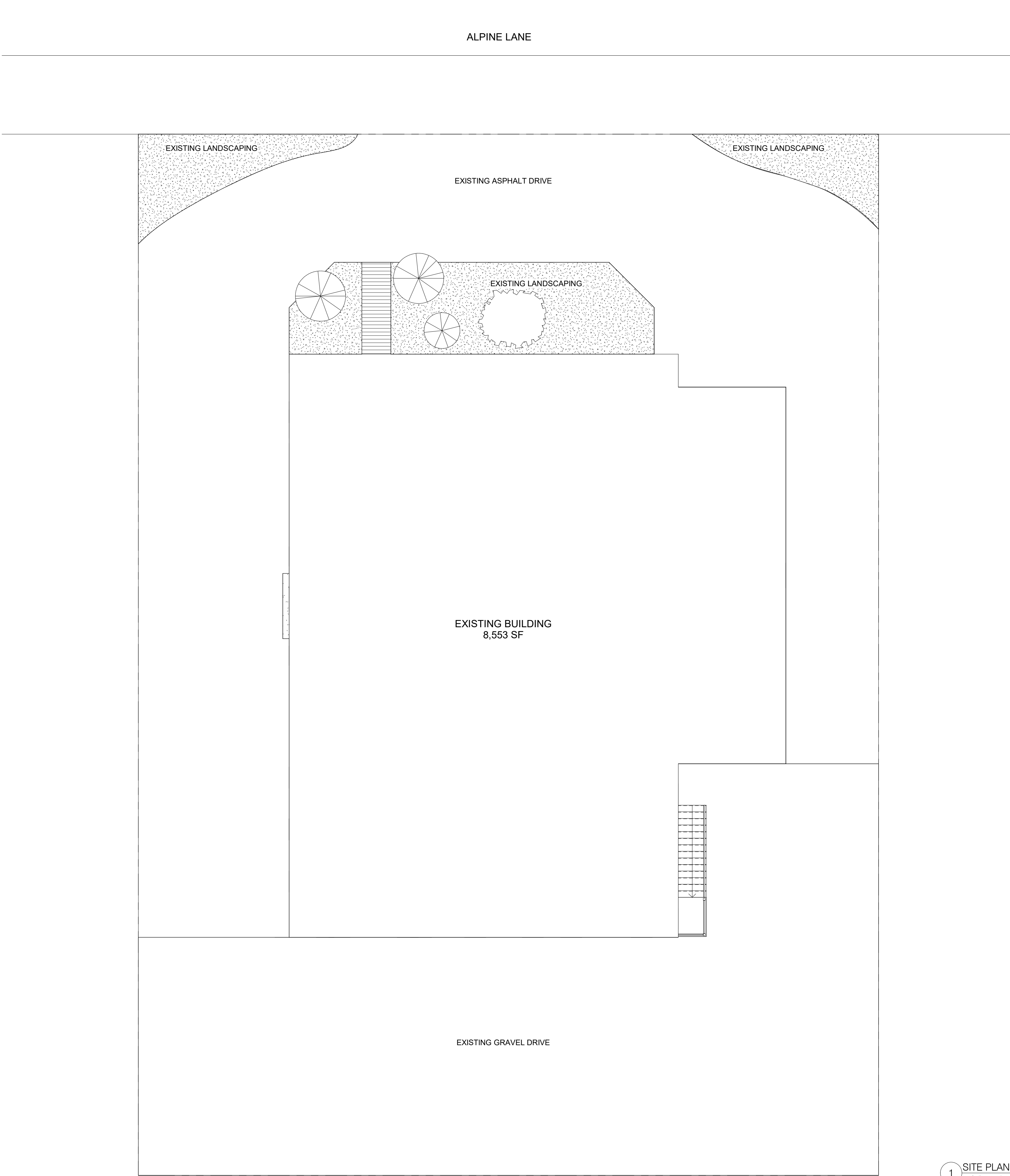
G1.0

Civil:

Mechanical:

Drawing Title

Date _____



1 SITE PLAN - DEMO
1/8" = 1'-0"

AS1.0

AS1.0

Architect:
A3
3070 Hewitt Lane
Wilson, WY 83014
phone 307.220.1730

Project:
Crown Mountain/H Flower
Boutique
950 Alpine Lane
Jackson, WY 83001

Client:
DUTTA & MONICA GRIMBERG

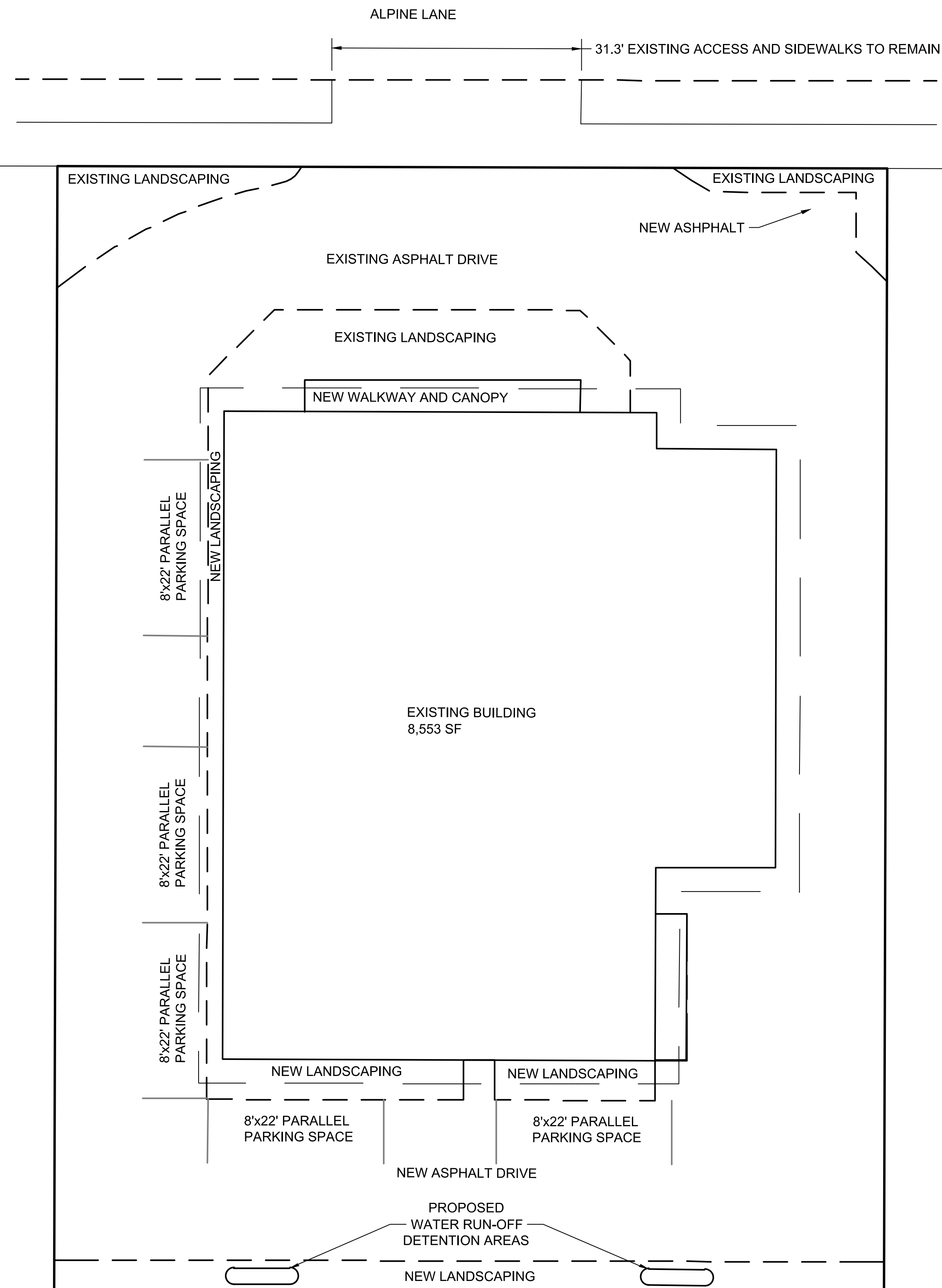
Structural:
JASON MERRI
Engineering
1315 Hwy 89 S Suite #201
Jackson, WY 83001
307.733.5150

Mechanical:

Civil:

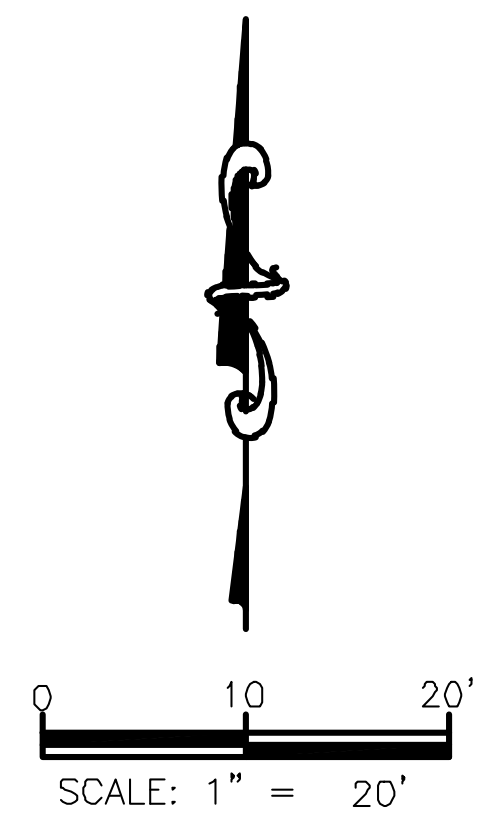
Drawing Title:
EXISTING SITE PLAN

Date:
2022.07.15



NOTES:

1. PROPERTY BOUNDARY SHOWN HERE ON IS DERIVED FROM RECORD DIMENSIONS SHOWN ON PLAT 233. A BOUNDARY SURVEY WILL BE COMPLETED AS PART OF A TOPOGRAPHIC SURVEY, AT A LATER TIME.
2. A PRELIMINARY TRAFFIC FLOW ANALYSIS HAS SHOWN TO ACCOMMODATE STANDARD PASSENGER VEHICLES. A ONE WAY LANE WILL BE UTILIZED.
3. PRELIMINARY STORMWATER CALCULATIONS YIELDED A REQUIRED WATER STORAGE OF 6 TO 12 CUBIC FEET.



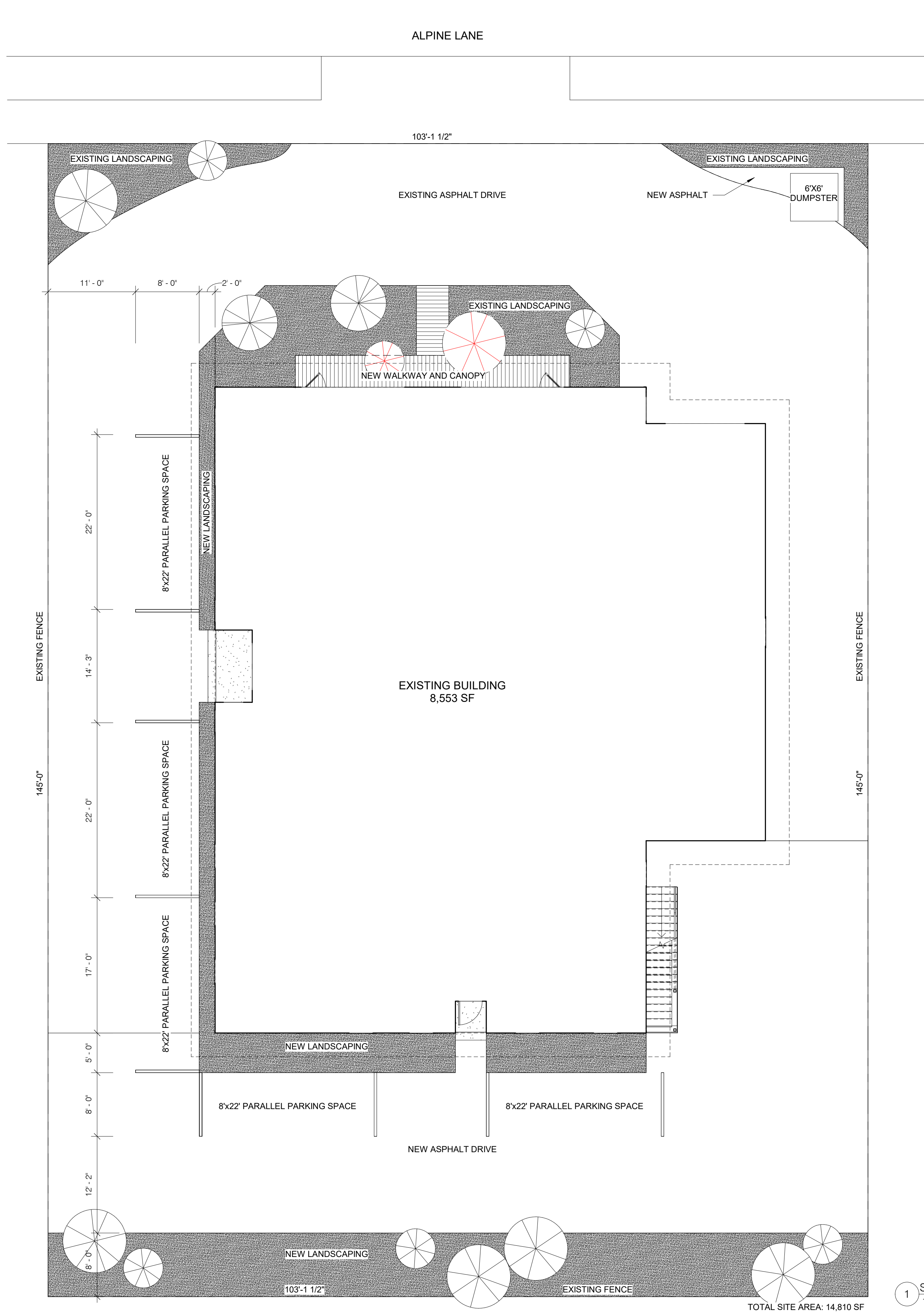
- PRELIMINARY -
SUBJECT TO CORRECTION
AND APPROVAL

LOT 27, JACKSON HOLE MEADOWS
950 ALPINE LANE, LLC
JACKSON, WYOMING

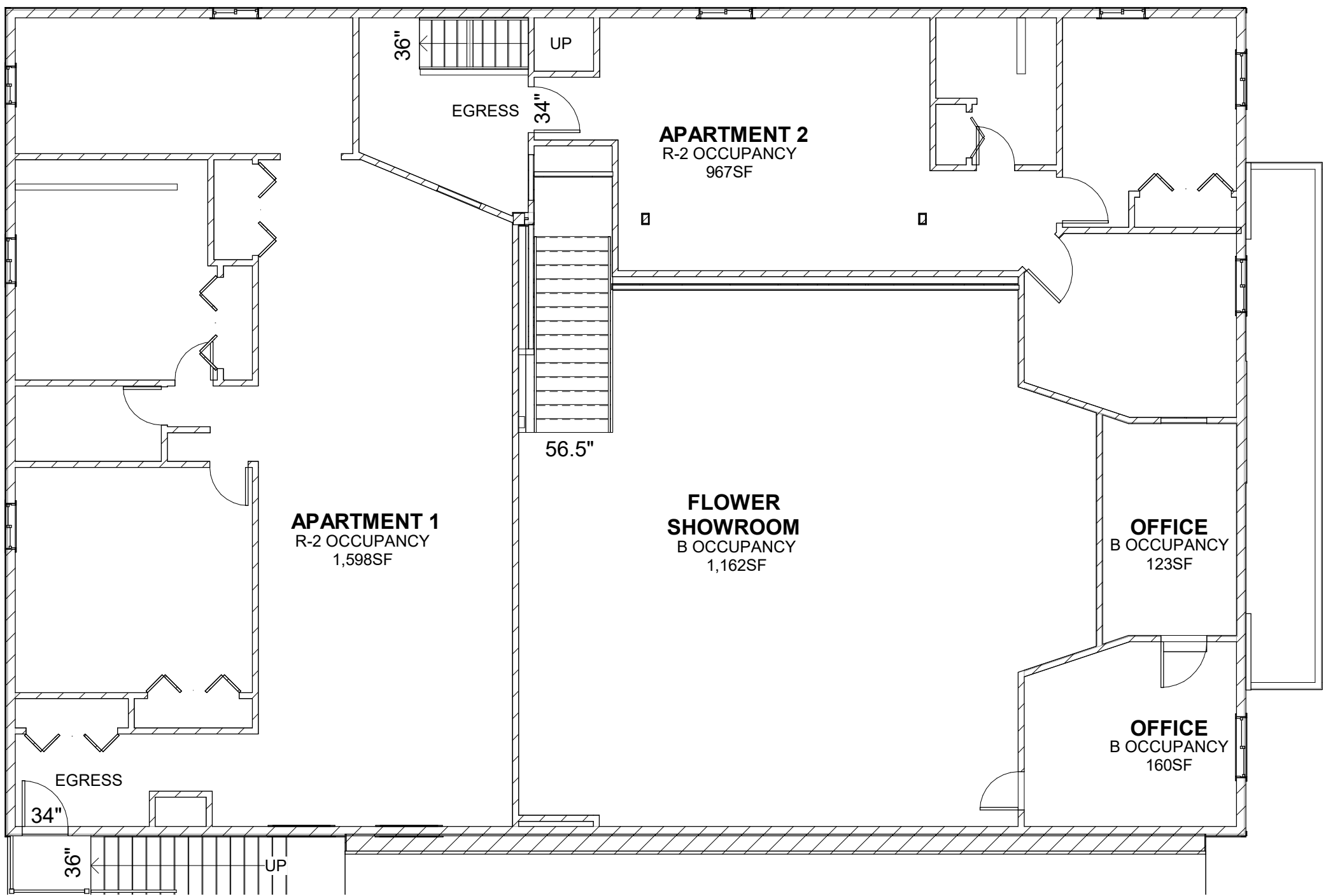
PROPOSED PARKING LAYOUT AND SITE IMPROVEMENTS

DRAFTED BY:	UC
REVIEWED BY:	RA
PLAN VERSION	DATE
PRE-APP	7/15/2022

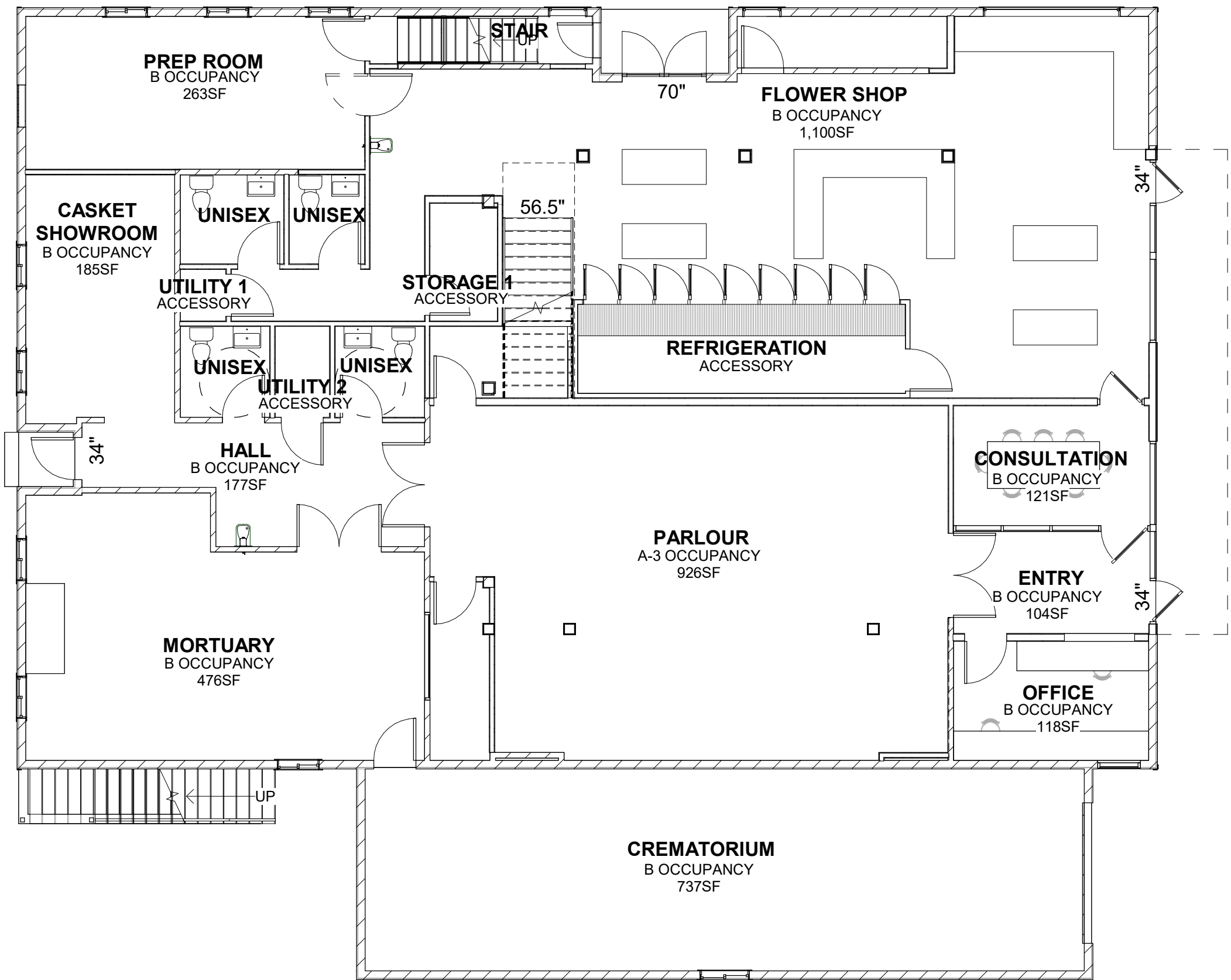
PROJECT NUMBER
22129
SHEET
EXHIBIT



1 SITE PLAN TRUE NORTH
1/8" = 1'-0"



2 SECOND FLOOR PLAN - CODE PLAN
1/8" = 1'-0"



1 FIRST FLOOR - CODE PLAN
1/8" = 1'-0"

CONSTRUCTION TYPE

TYPE V-B, S

OCCUPANCY TYPES

FUNERAL HOME (A-3, B) - 3,112 SF
JH FLOWER BOUTIQUE (B) - 3,651 SF
APARTMENTS (R-2) - 2,455 SF

ALLOWABLE BUILDING AREA

A-3 TYPE V-B, S: 18,000SF
PROPOSED: 926SF
RATIO: .051

B TYPE V-B, S: 27,000SF
PROPOSED: 5,942SF
RATIO: .220

R-2 TYPE V-B, S: 21,000SF
EXISTING: 2,565SF
RATIO: .122

TOTAL AREA: 9,433SF
TOTAL RATIO: .393

OCCUPANT LOADS

A-3 CONCENTRATED UNFIXED - 926sf/7 = 133 OCCUPANTS

B BUSINESS AREAS - 4,721sf/100 = 48 OCCUPANTS
FIRST FLOOR - 3,276sf/100 = 33
SECOND FLOOR - 1,445sf/100 = 15

PLUMBING REQUIREMENTS

A-3 ASSEMBLY
133/2 = 66.5
WOMEN: 1/75 = 1 FIXTURE
MEN: 1/150 = 1 FIXTURE
LAVATORIES: 1/200 = 1W/1M

B BUSINESS AREAS
48
1/25 FIRST 50 OCCUPANTS: 2 FIXTURES (2 UNISEX OR 1W/1M)
LAVATORIES: 1/40 FOR FIRST 80 = 1W/1M

TOTAL
WOMEN: 2 FIXTURES, 2 LAVATORIES
MEN: 2 FIXTURES, 2 LAVATORIES

EGRESS

FLOWER BOUTIQUE
STAIR: 15 x 0.3 = 4.5" (36" MIN.)
DOORS: 30 x 0.2 = 6" (32" MIN.) (ACTUAL 34"+70" = 104")

FUNERAL HOME
DOORS: 151 x 0.2 = 30.2" (32" MIN.) (ACTUAL 34"x2 = 68")

FIRE SEPARATION

1-HOUR FIRE SEPARATION REQUIRED BETWEEN ALL OCCUPANCIES



Architect:
Adler 43, LLC
mail 3370 Hawthorne Ln.
Jackson, WI 53001
office 2185 W. Oak Ave.
Jackson, WI 53001
phone 307.200.1790

Project:
Grimberg Mortuary/JH Flower
Boutique
950 Apple Lane
Jackson, WI 53001

Client:
DMITRI & MONICA GRIMBERG

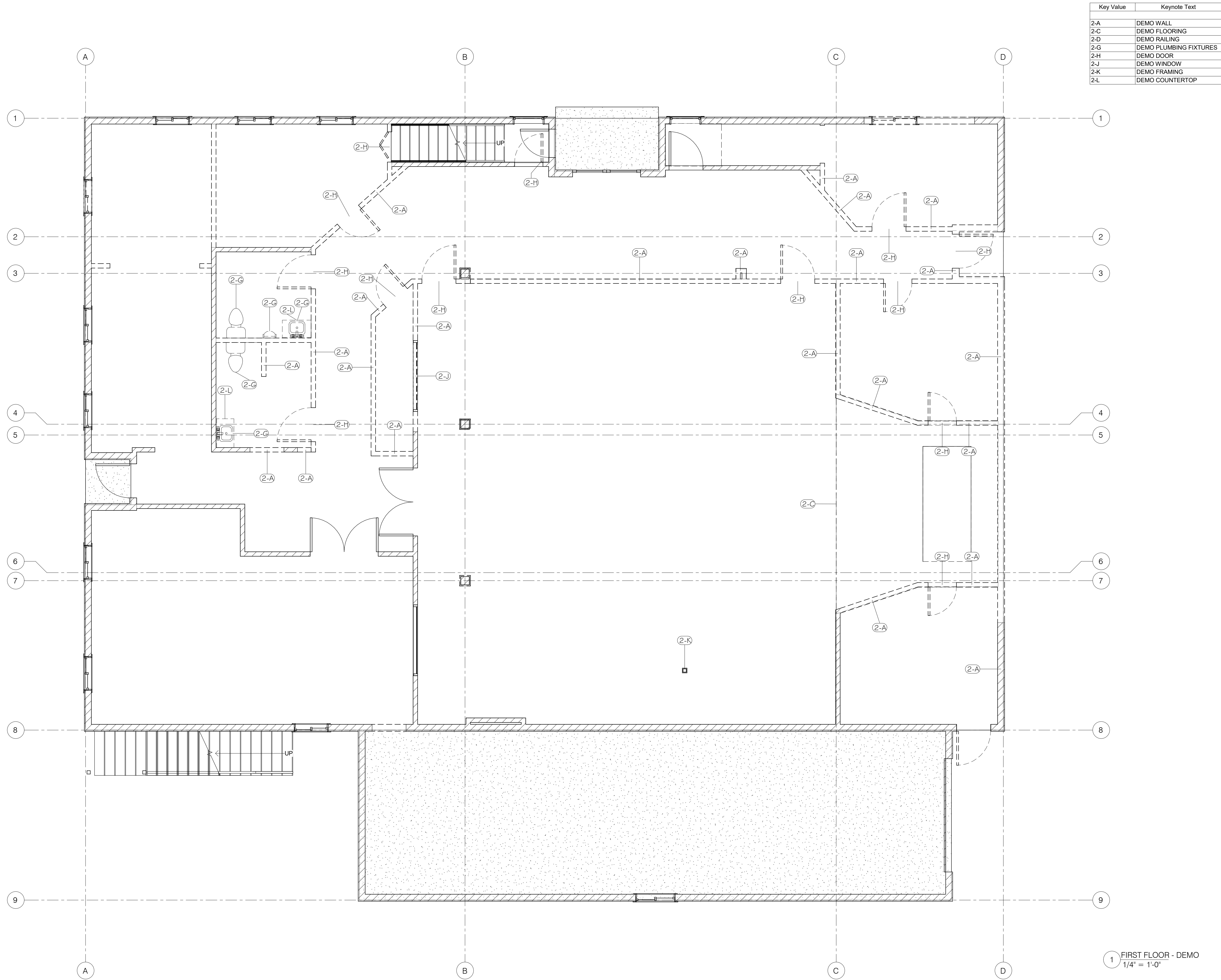
Structural:
Jorgensen Engineering
Jason M. Jorgensen
13151 Hwy 140 S Suite #201
Jackson, WI 53001
307.733.5150

Civil:

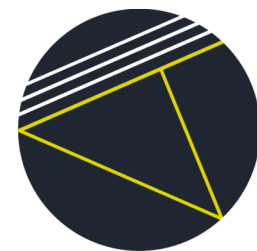
Mechanical:

Drawing Title
CODE PLAN

Date
2/22/2015



1 FIRST FLOOR - DEMO
1/4" = 1'-0"



Architect:
Aeller 43, LLC
mail 3370 Hawthorne Ln.
Jackson, WI 53014
office 216 W. Oak St.
phone 307.200.1790

Project:
Grimberg Mortuary/J.H. Flower
Boulevard
550 Alpine Loop
Jackson, WI 53001

Client:
DMITH & MONICA GRAMBERG

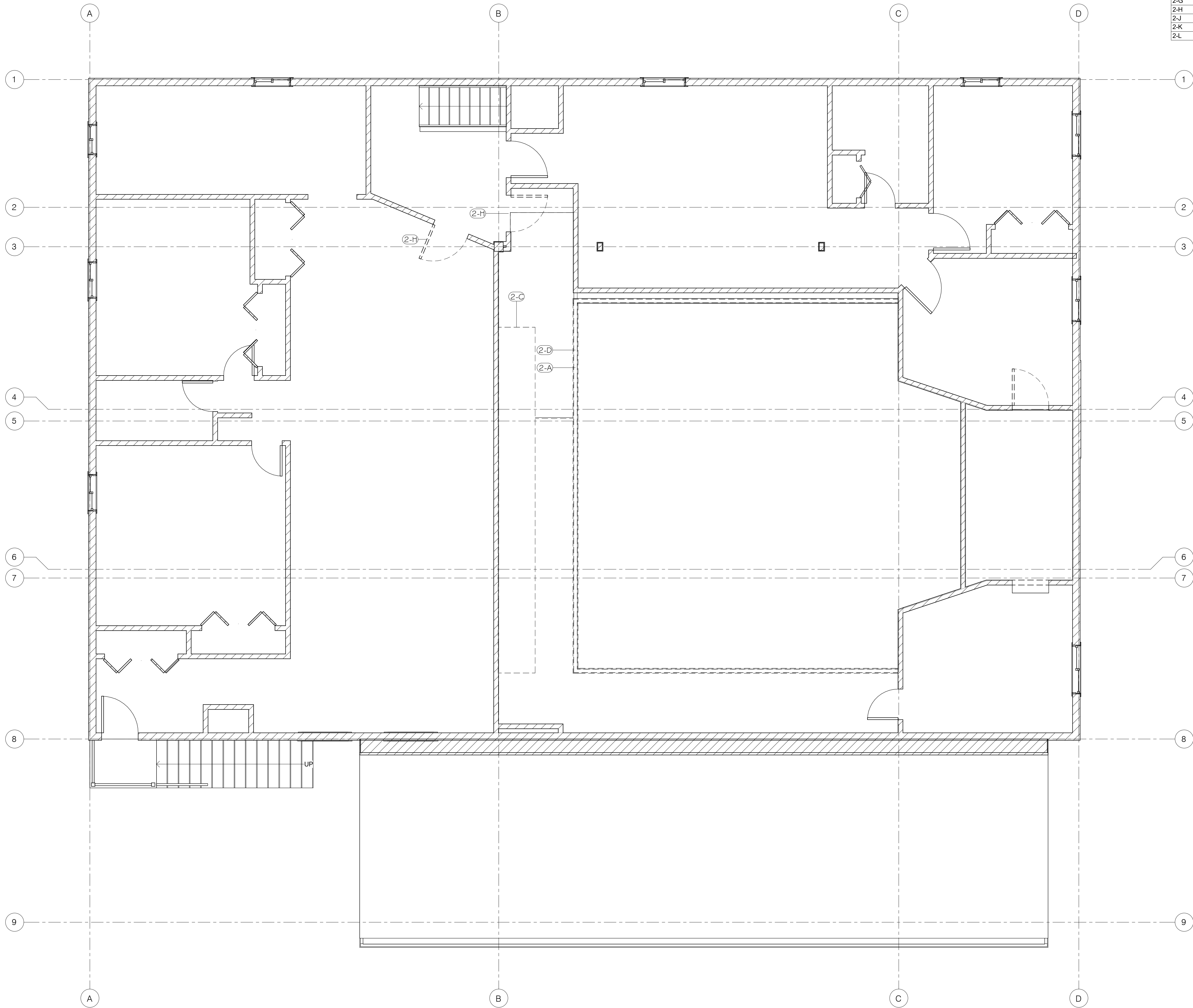
Structural:
Jorgensen Engineering
Jason M. Jorgensen
1315 Hwy 10 S Suite #201
Jackson, WI 53001
307.733.5150

Civil:

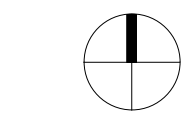
Mechanical:

Drawing Title:
LOWER FLOOR PLAN - DEMO

Date:
2022.07.15



Key Value	Keynote Text
2-A	DEMO WALL
2-C	DEMO FLOORING
2-D	DEMO RAILING
2-G	DEMO PLUMBING FIXTURES
2-H	DEMO DOOR
2-J	DEMO WINDOW
2-K	DEMO FRAMING
2-L	DEMO COUNTERTOP



Date
2022.07.15

Drawing Title
UPPER FLOOR PLAN - DEMO

Mechanical

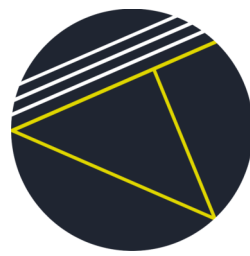
Civil

Structural
Jorgensen Engineering
1315 Hwy 83001
Jacksboro, WI 53001
307.753.5150

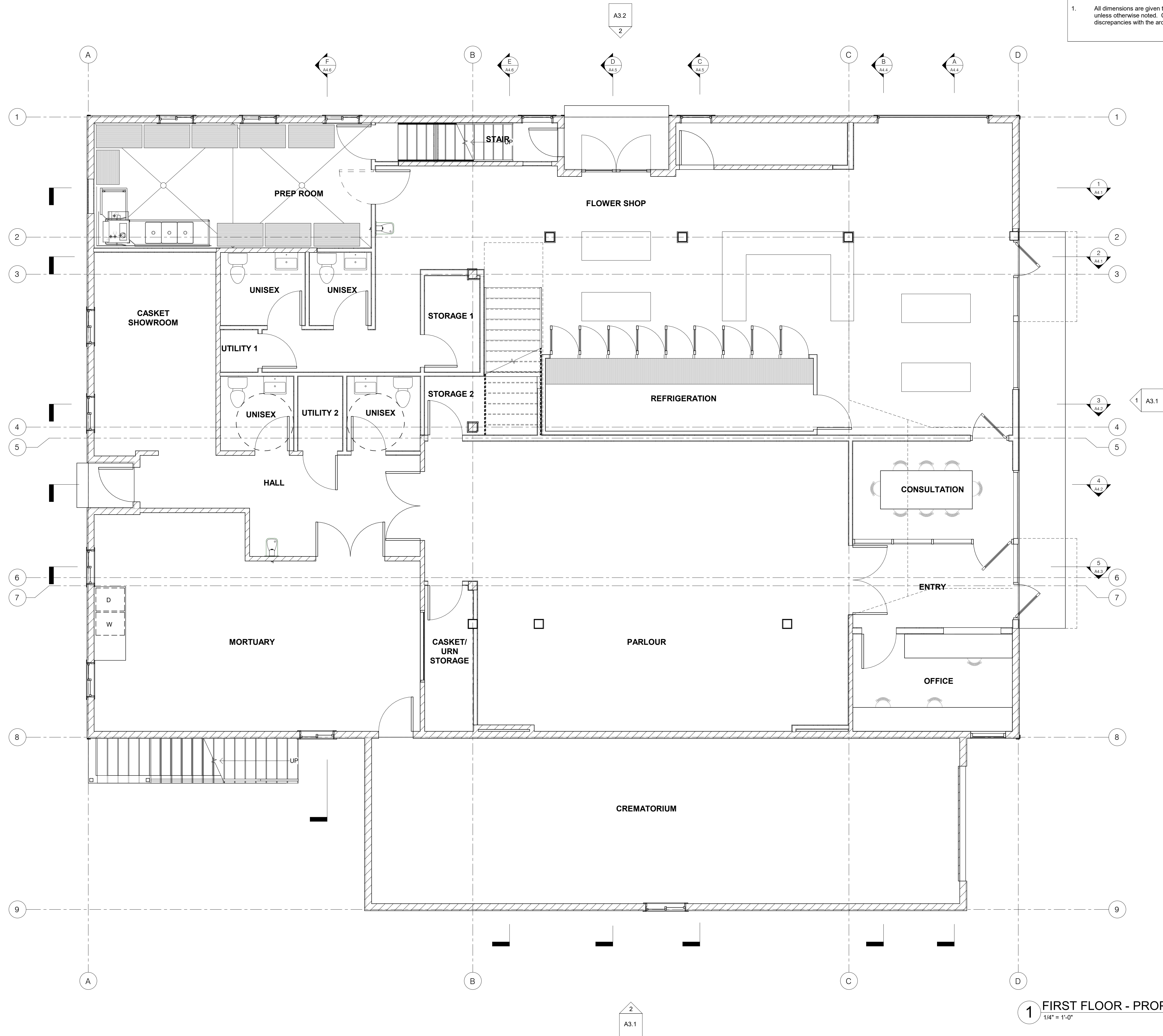
Client
DMITH & MONICA GRAMBERG

Project
Grimberg Mortuary/J.H. Flower
Boulevard
950 Alpine Loop
Jacksboro, WI 53001

Architect
Aeller 45, LLC
mail 3370 Hawthorne Ln
Jacksboro, WI 53001
office 215 W. Oak St.
Jacksboro, WI 53001
phone 307.200.1790

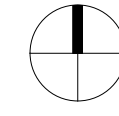


A3.2 1



GENERAL PLAN NOTES:

1. All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.



Date
2022.07.15

Drawing Title
LOWER FLOOR PLAN

Mechanical

Civil

Structural
Jorgensen Engineering
Jason M. Jorgensen
1315 Hwy 83 South #201
Jackson, WI 53001
307.753.5150

Client
DMITR & MONICA GRAMBERG

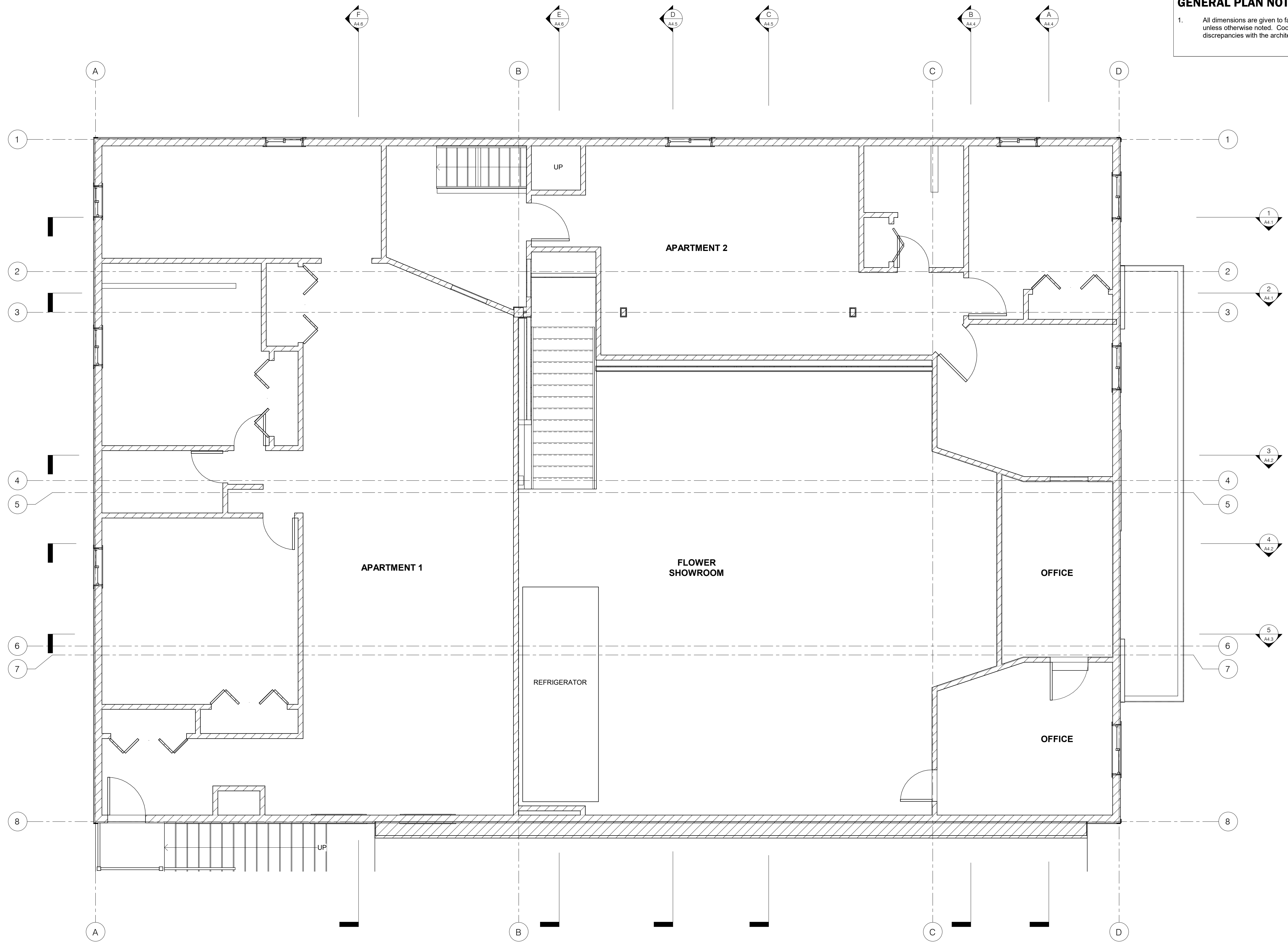
Project
Grimberg Mortuary/JH Flower
Boulevard
950 Alpine Lane
Jackson, WI 53001

Architect
Aeller 43, LLC
3370 Hawthorne Ln.
Madison, WI 53714
office 215/W. Capitol Ave.
Jackson, WI 53001
phone 307.200.1790



A2.1

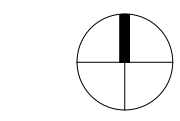
1 FIRST FLOOR - PROPOSED
1/4" = 1'-0"



GENERAL PLAN NOTES:

1. All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.

1 SECOND FLOOR PLAN - PROPOSED
1/4" = 1'-0"



Date
2022.07.15

Drawing Title
UPPER FLOOR PLAN

Mechanical

Civil

Structural:
Jorgensen Engineering
Jason M. Jorgensen
1315 Hwy 83 Suite #201
Jackson, WI 53001
307.753.5150

Client:
DMITR & MONICA GRAMBERG

Project:
Grimberg Mortuary/J.H. Flower
Boulevard
950 Alpine Loop
Jackson, WI 53001

Architect:
Aeller 43, LLC
3370 Hawthorne Ln.
Madison, WI 53714
office 215/W. Capitol Ave.
Jackson, WI 53001
phone 307.200.1790

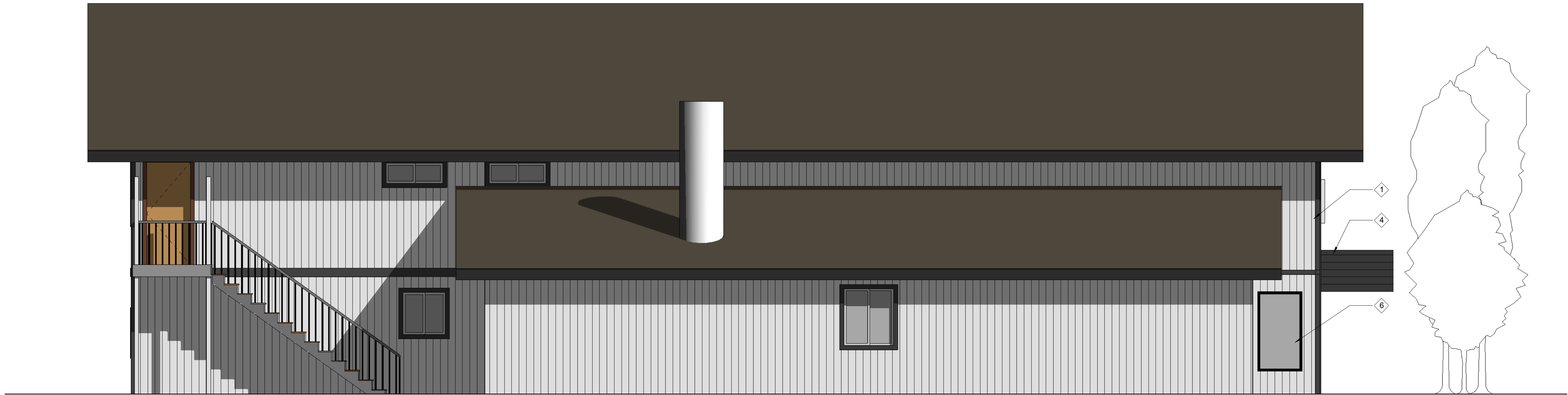


A2.2



MATERIAL SCHEDULE:	
1	WOOD SIDING - PAINTED WHITE
2	WOOD SIDING - PAINTED BLACK
3	SIGNAGE
4	WOOD CANOPY - PAINTED BLACK
5	NEW STOREFRONT WINDOW
6	NEW WINDOW
7	NEW DOOR
8	WOOD FASCIA - PAINTED BLACK

1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



Architect:
Alder 43, LLC
mail 3370 Hawthorne Ln.
Jackson, WI 53014
office 2165 W. Oak St.
Jackson, WI 53001
phone 307.200.1790

Project:
Grimberg Montway/J.H. Flower
Boulevard
950 Alpine Loop
Jackson, WI 53001

Client:
DMITH & MONICA GRIMBERG

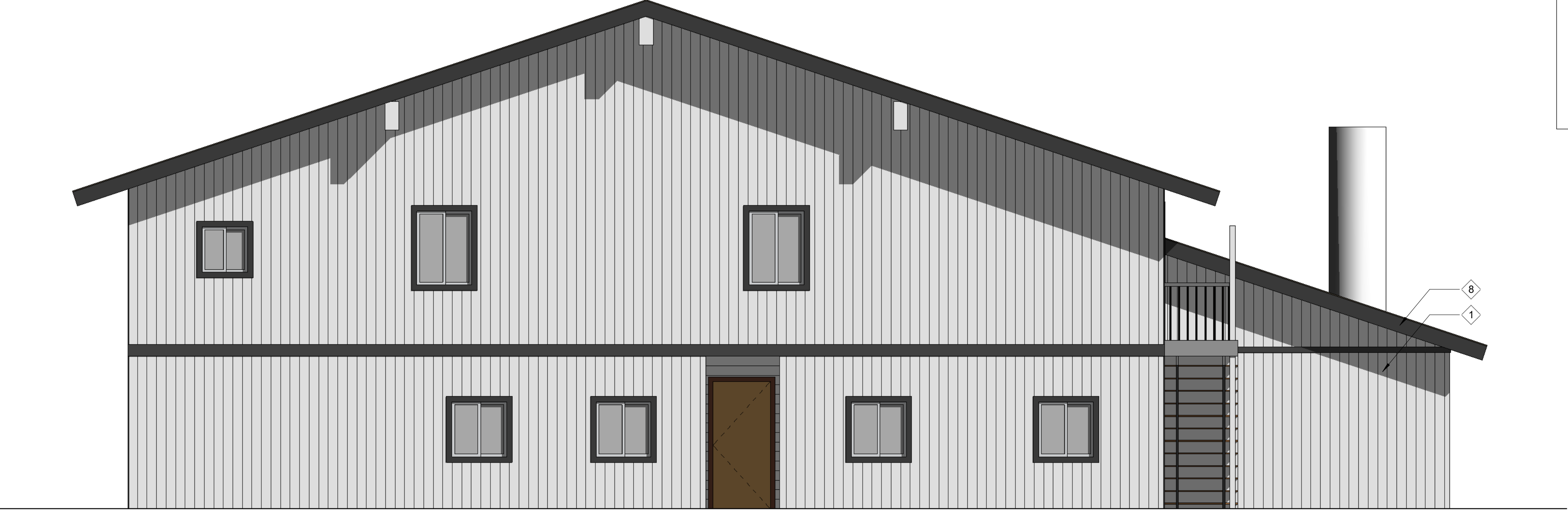
Structural:
Jorgensen Engineering
Jorgensen Martin
1315 Hwy 16 S Suite #201
Jackson, WI 53001
307.753.5150

Civil:

Mechanical:

Drawing Title:
BUILDING ELEVATIONS

Date:
2022.07.15



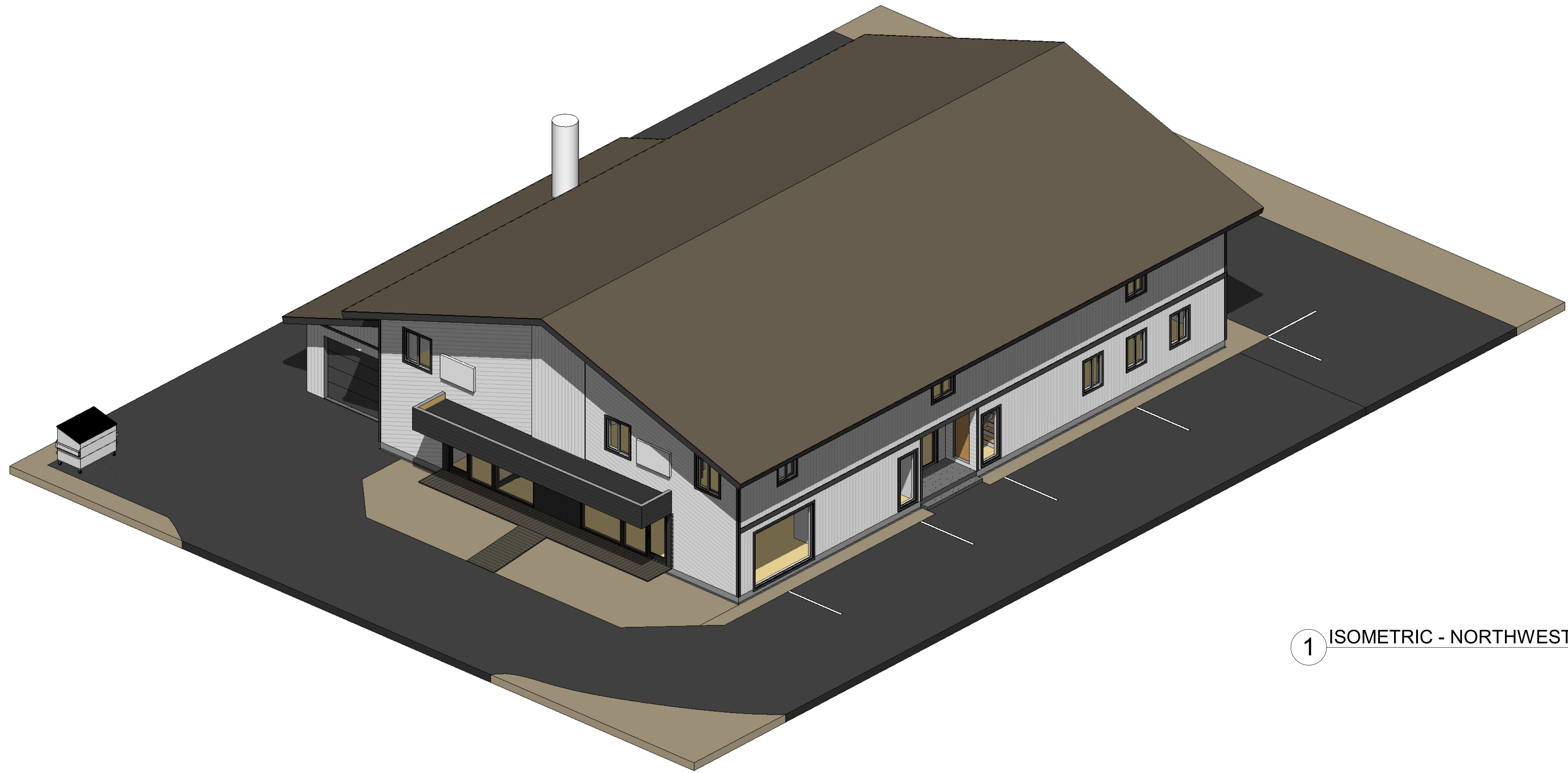
MATERIAL SCHEDULE:

1	WOOD SIDING - PAINTED WHITE
2	WOOD SIDING - PAINTED BLACK
3	SIGNAGE
4	WOOD CANOPY - PAINTED BLACK
5	NEW STOREFRONT WINDOW
6	NEW WINDOW
7	NEW DOOR
8	WOOD FASCIA - PAINTED BLACK

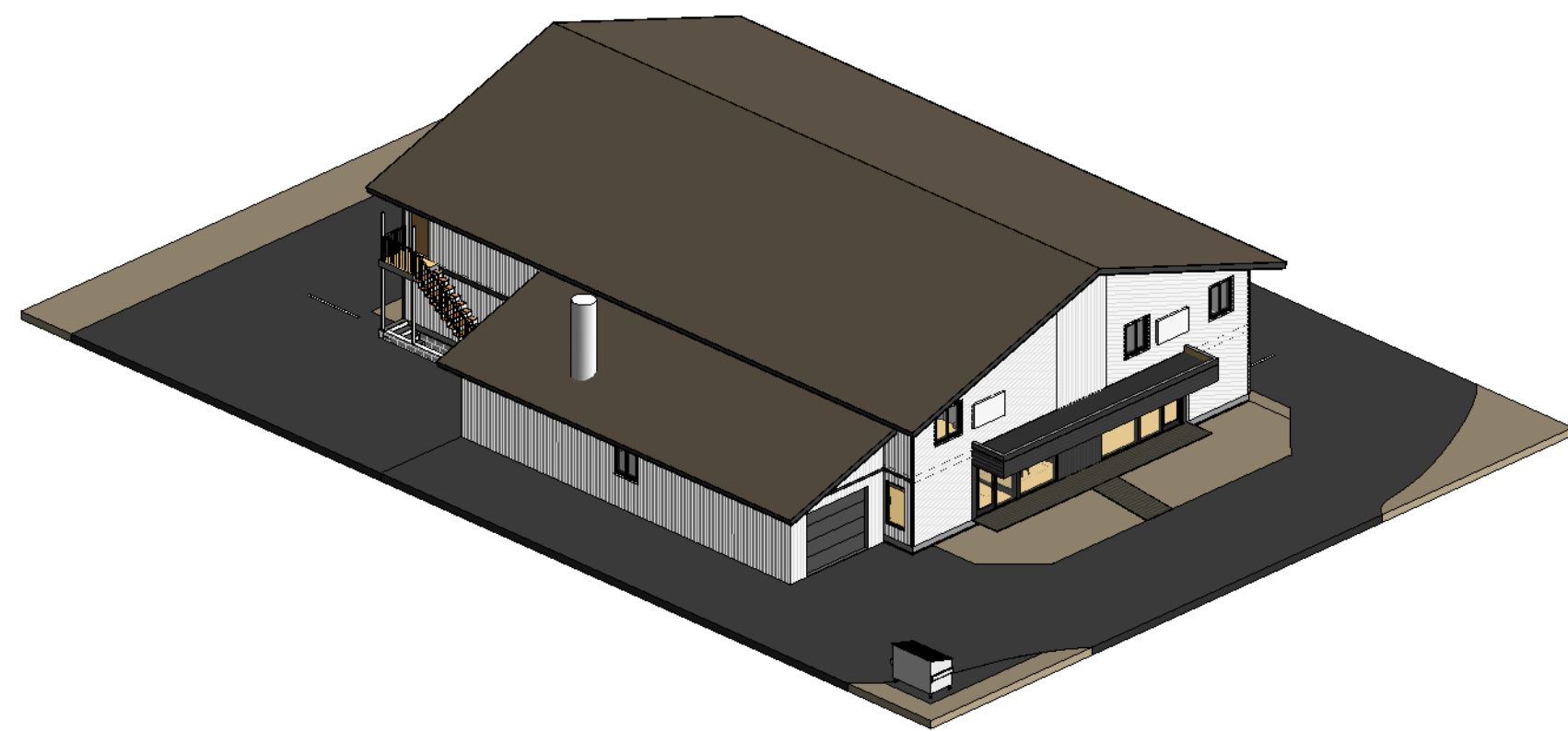
1 SOUTH ELEVATION
1/4" = 1'-0"



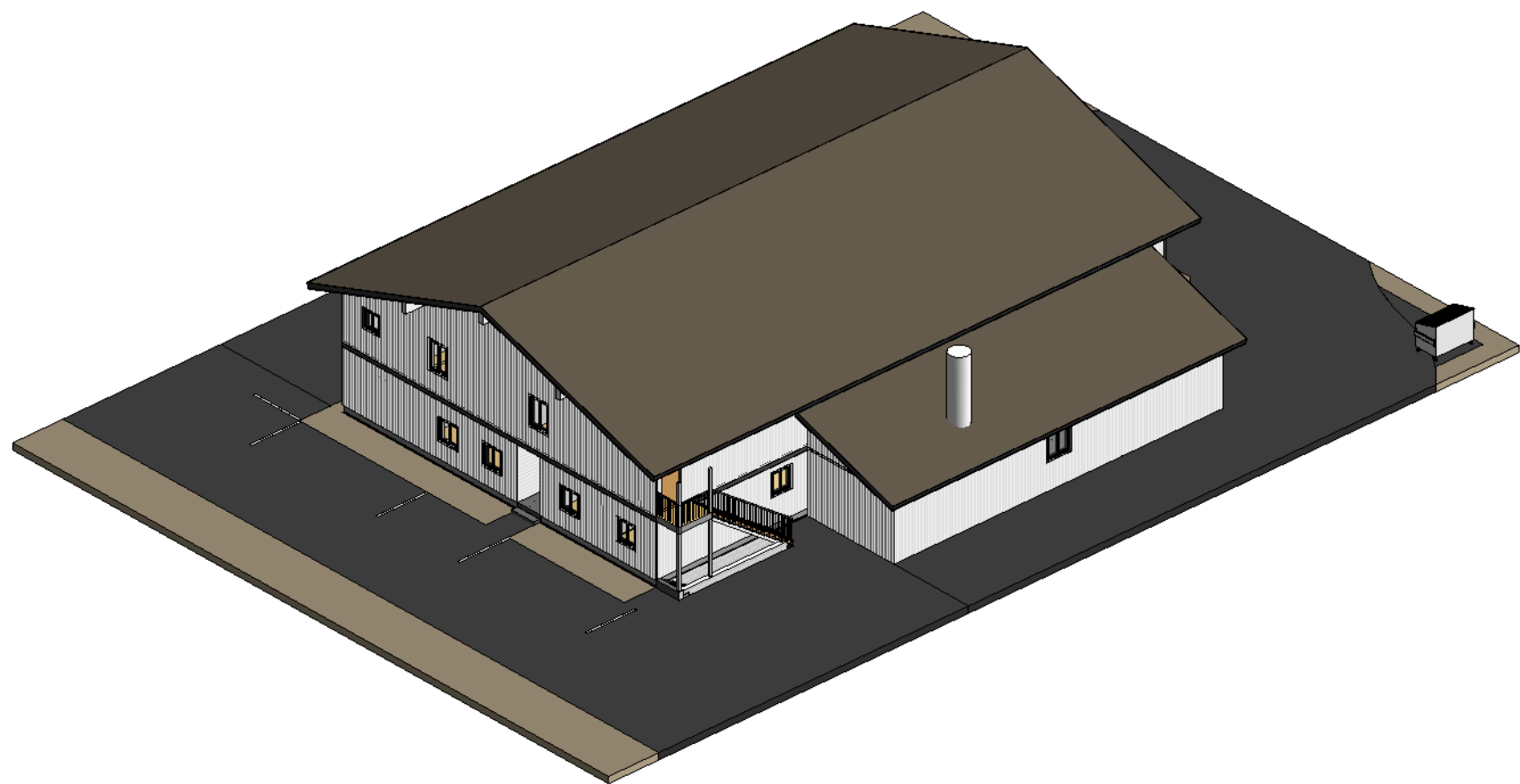
2 WEST ELEVATION
1/4" = 1'-0"



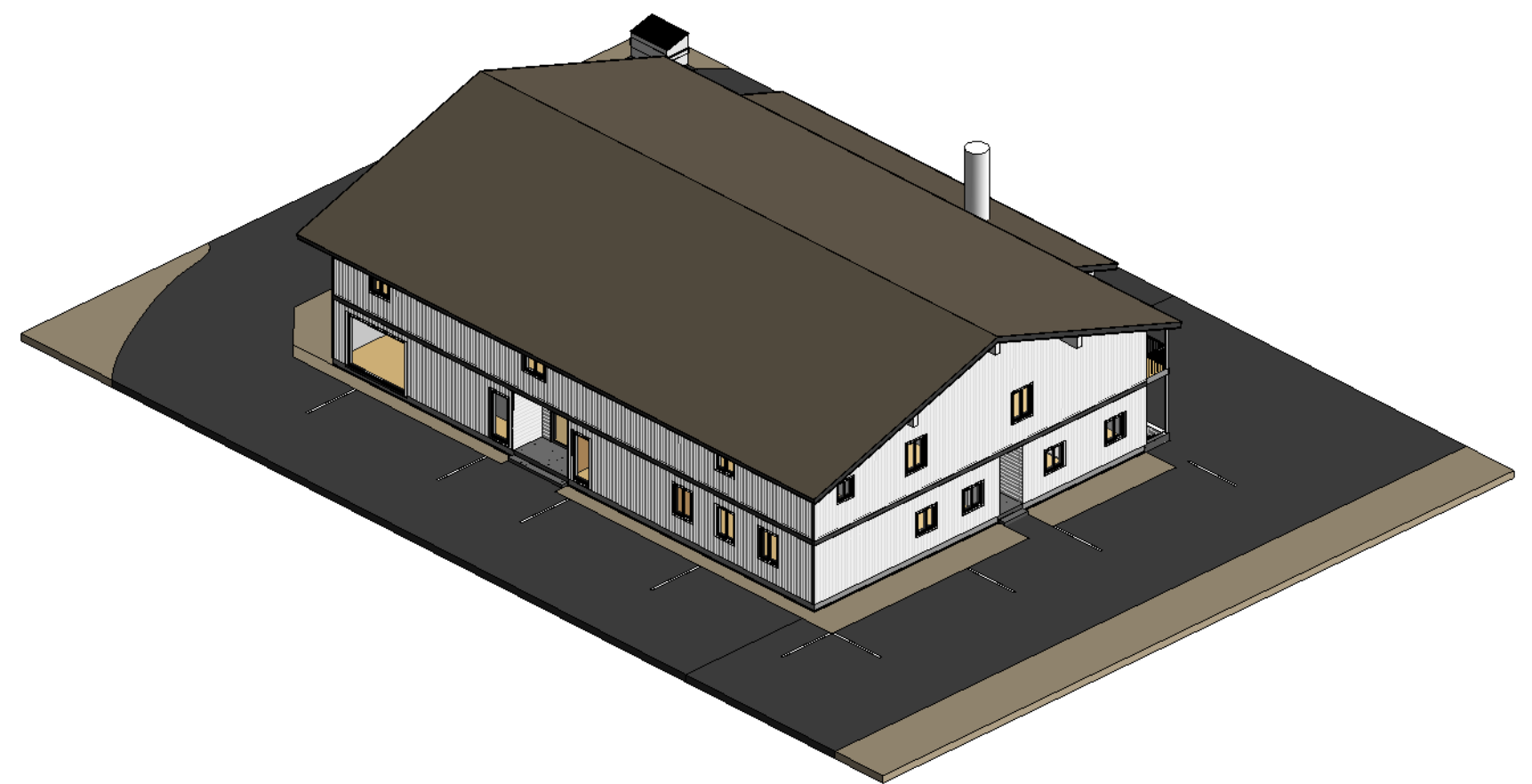
1 ISOMETRIC - NORTHWEST



2 ISOMETRIC - NORTHEAST



3 ISOMETRIC - SOUTHEAST



4 ISOMETRIC - SOUTHWEST