



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: July 18, 2022

Item #: P22-181

Planner: Katelyn Page

Phone: 733-0440 ext. 1302

Email: kpage@jacksonwy.gov

Owner:

950 Alpine Ln, LLC
PO Box 9175
Jackson, WY 83002

Applicant:

A43 Architects (Claude Terral)
PO Box 4055
Jackson WY 83001

REQUESTS:

The applicant is submitting a request for an Optional Pre-Application Conference for the property located at 950 Alpine Ln., legally known as LOT 27, JACKSON HOLE MEADOWS ADDITION, PHASE III, PIDN: 22-41-16-32-4-04-003

For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by: **August 1, 2022 (Sufficiency)**
August 8, 2022 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

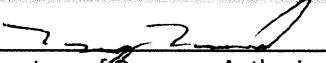
Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

Claude Terral

Name Printed

07-15-2022

Date

Project Architect

Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: 07-18-2022

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that Dmitriy Grimberg, President is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 950 Alpine Lane, Jackson, WY 83001

Legal Description: LOT 27, JACKSON HOLE MEADOWS ADDITION, PHASE III, PIN 22-41-16-32-4-04-003

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Chris Jaubert and Claude Terral - A43 Architecture

Mailing address of Applicant/agent: P.O. Box 4055, Jackson, WY 83001

Email address of Applicant/agent: chris@A43design.com, trey@A43design.com

Phone Number of Applicant/agent: 307-249-8650

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

Demolition Permit Home Occupation Other (describe) DRC, Pre-application Meeting, Basic Use Permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Dmitriy S. Grimberg

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

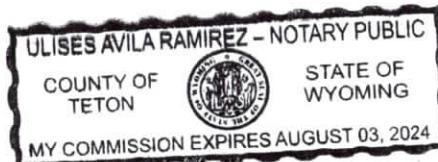
STATE OF Wyoming)

)

) SS.

COUNTY OF Teton)

)



The foregoing instrument was acknowledged before me by Dmitriy S. Grimberg this 18th day of July. WITNESS my hand and official seal.

Ulises Avila Ramirez
Notary Public

My commission expires: 08/03/2024

ABBREVIATIONS		
ADJ.	Adjustable/ Adjacent	MAX. MECH.
A.F.F.	Above Finish Floor	Maximum Mechanical
ALT.	Alternate	MEMB. W.P.
ALUM.	Aluminum	Membrane Waterproofing
APPROX.	Approximate	MIN.
ARCH.	Architectural/Architect	MISC.
BD.	Board	M.O.
BLDG.	Building	Masonry Opening
B.M.	Bench Mark	MTL.
B.O.	Bottom Of	(N)
BRG.	Bearing	NEC.
BSMT.	Basement	N.I.C.
BTM.	Bottom	NOM.
CAB.	Cabinet	N.T.S.
CLG.	Ceiling	O.A.F.
CLO.	Close	O.C.
C.M.	Construction Manager	O.D.
C.M.U.	Concrete Masonry Unit	OPEN.
COL.	Column	OPP.
CONC.	Concrete	OPP.H.
CONT.	Construction Joint	ORIG.
CONT.	Continuous	PL.
CONTR.	Contractor	P.LAM.
COORD.	Coordinate	PLAS.
C.T.	Ceramic Tile	PLYWD.
CTR.	Center	PREFAB.
C.W.	Cold Water	PTD.
DBL.	Double	RAD.
DET.	Detail	R.D.
DIA.	Diameter	Roof Drain
DIM.	Dimension	RECMND.
DISP.	Dispenser/Dispenser	REF.
DN.	Down	REINF.
D.P.	Damp-Proofing	REQD.
D.H.	Drainable Housewrap	REVIS.
DWG.	Drawing	R.M.
EA.	Each	R.O.
E.C.	Electrical Contractor	RTG.
EL.	Elevation	Radius
ELEC.	Electrical/ Electric	Roof Drain
ELEV.	Elevator/ Elevation	RECMND.
E/O.	Equipment by Owner	Reference
EQ.	Equal	REINF.
EQUIP.	Equipment	REQD.
EXIST. or (E)	Existing	REVIS.
EXT.	Exterior	R.O.
F.D.	Floor Drain	Rough Opening
FDN.	Foundation	RTG.
F.E.	Fire Extinguisher	RTG.
FIN.	Finish	RTG.
FLR.	Floor	RTG.
F.O.S.	Face of Stud	RTG.
FR.	Frame	RTG.
FT.	Foot/Foot	RTG.
FTG.	Footing	RTG.
FURR.	Furring	RTG.
GA.	Gauge	TEMP.
GALV.	Galvanized	TEMP.
G.C.	General Contractor	TOP.
GYP. BD.	Gypsum Board	TOIL.
H.B.	Hose Bibb	TOILET.
H.DCP.	Handicapped	UNEXC.
H.C.	Hollow Core	UNFIN.
H.M.	Hollow Metal	UNFINISHED
HORZ.	Horizontal	UNFINISHED
HT.	Height	UNLESS OTHERWISE NOTED
H.W.	Hot Water	UNIVERSAL
I.D.	Inside Diameter	VERT.
IN.	Inch/Inches	V.I.F.
INSUL.	Insulation	V.T.R.
INT.	Interior	VENT.
INV.	Invert	VENT. THROUGH ROOF
JAN.	Janitor	W.
JT.	Joint	W.C.
LOC.	Location	W.D.
		WIN.
		W.P.
		W.W.F.
		W.R.B.

GENERAL CONSTRUCTION NOTES:

- The term "Owner" shall denote the client, or Owner, as designated in the Contract. The term "General Contractor" or "Contractor" shall denote the Corporation, Company, Partnership, Form or Individual who has entered into the Contract for the performance of the work and has engaged Subcontractors to perform a part of the work. The term "Architect" refers to Atelier 43, LLC. The use of the words "Provide" and "provided" in connection with any item specified shall be intended to mean that the item shall be furnished, installed and connected where so required.
- This project shall comply with the current adopted International Residential Code, IMC, IFC, International Urban and Interface Code and the current adopted Building Code, the use of the of the subdivision in which the project is located and the current Teton County Comprehensive Plan and Land Development Regulations, including all amendments. Any building official, subcontractor or trades person noting discrepancies shall notify Architect immediately upon their discovery.
- Contractor shall coordinate all required inspections by Teton County Building and Fire Departments, local electrical inspector and other governing authorities.
- Contractor shall obtain and pay for all temporary utilities, including electricity necessary for construction and temporary septic facilities, which shall be maintained on site for duration of construction. A job phone must be maintained on site for duration of construction and the phone number will be provided by the architect.
- All construction debris to be stockpiled neatly on site until disposal, which shall be done at county landfill or recycling facility only. No debris is to be disposed of in local waste collection facilities. On site refuse burning will be done only with approval of Owner, Teton County Sheriff and the Subdivision Homeowner's Association.
- Contractor shall inform Architect of any and all Owner requested changes or directives following Owner/Contractor conversations. Contractor shall not proceed with Owner requested changes or directives without prior review from the Architect and written Change Order.
- Except at Interior Elevations, and unless otherwise noted, all dimensions are given to face of rough framing, centerline of columns, or face of concrete and G.I. wall. Interior Elevation dimensions are given to face of finished interior. Given tolerance, take precedence over scale. Contractor shall take extra caution to coordinate dimensions of structural drawings with architectural drawings prior to construction. Verify discrepancies with Architect.
- Contractor shall provide storage for all building materials in accordance with manufacturers recommendations.
- Solid wood blocking, insulation or other firestop material is to be provided between stories; between top story and roof space, between stair stringers at top and bottom, between studs along stair runs and at all other places that could afford the passage of flame, as required by the IRC.
- Contractor to provide samples of all finishes and stain colors for approval by architect / owner. Samples to include interior and exterior stains, interior paint, sheathing textures, etc. See Project Manual.
- The contractor, subcontractor, supplier or other hired entity shall align all visible products / equipment (which includes but is not limited to, outlets, lights, switches, smoke detectors, thermostats, AV devices, diffusers, fire protection, etc.) equally between or directly with architectural elements (windows, doors, beams, columns etc.) and other visible products / equipment. Adjust structural framing as required (contact architect prior to adjusting framing for possible structural requirements). Verify all locations with architect prior to rough-in installations of any system or equipment, any adjustments in the field per architect's direction may be required and shall be included in the project costs.
- Contractor to verify the existing radon mitigation, if any, upon beginning of work and retain a copy in a safekeeping area.
- Provide 4" diameter schedule 30 P.V.C. pipe labeled "radon vent", continuous from crawl space/ gravel bed to rain cap terminus above roof. Radon vents shall be placed so that the a future fan may be installed if necessary. Provide receptacle in attic near pipe.
- All vent pipes that extend through the roof shall be terminated 16" min. above the roof.
- Fire sprinkler system to meet NFPA 13 or NFPA13R where required. Sizing and installation to be done by licensed fire sprinkler contractor. See fire protection drawings.

SITE CALCULATIONS

Site Information

Gross Site Area: 0.34 ac (14,810 sf)
Adjusted Site Area: same
Zoning: CR-3-T0J
Zoning Overlay: N/A

Zoning Summary:

Minimum LSR	.10 (1,481 sf)
Floor Area Ratio (FAR)	.40 (5,924 sf)

Min. Street Yard: 0-10 feet
Min. Side Yard: 5 feet
Min. Rear Yard: 10 feet
Max. Height: 42 feet

Impervious Surfaces:

Square footage of existing roofed areas	6,128 sf
Paved, concrete, or unpaved driveways and parking areas	7,763 sf
Other impervious surfaces such as solid terraces and paved sidewalks	0 sf

Total Impervious Surfaces 13,891 sf

Floor Area of Proposed Structure

First Floor - habitable (below grade*)	0 sf
First Floor - habitable (above grade)	5,098 sf
First Floor - non-habitable (below grade*)	0 sf
First Floor - non-habitable (above grade)	0 sf
Second Floor (non-habitable)	0 sf
Second Floor (habitable)	4,249 sf

Gross - above grade 9,347 sf
Gross - below grade 0 sf

*does not count towards FAR

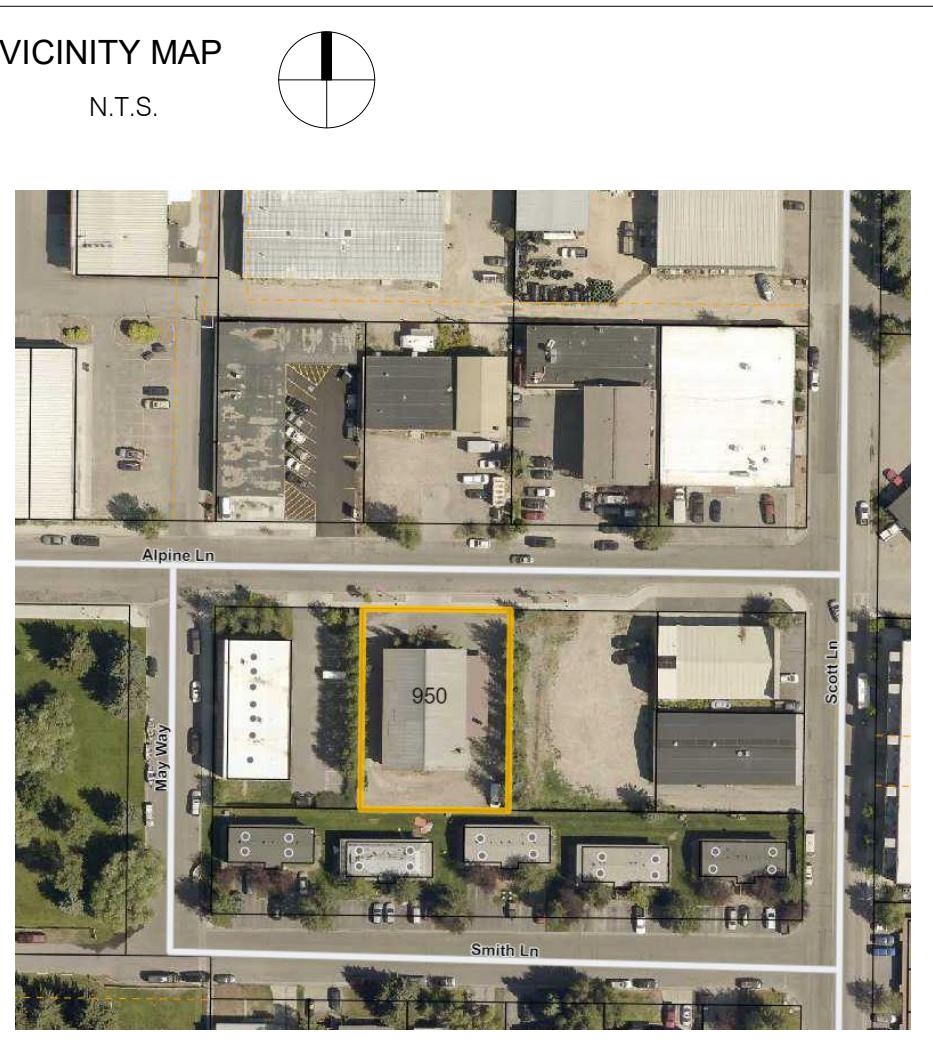
Floor Area Ratio (9,347 sf / 14,810 sf) = 0.63

Gross Square Footage Tabulation-Fire Area

1st Floor Proposed	SEE CODE PLAN
2nd Floor Proposed	SEE CODE PLAN

Landscaping

Existing	919 sf
Proposed	2,151 sf



PROJECT INFORMATION

Project Description: Grimberg Mortuary/JH Flower Boutique
Project No.: Job #2203
Project Owner: 950 Alpine Lane
J. Grimberg, WY 83001
LOT 27, JACKSON HOLE MEADOWS ADDITION, PHASE III
DMITRI & MONICA GRIMBERG
6419 ROSELAWN ROAD
Richmond, VA 23226
804.370.0284
henrysheid@gmail.com

Project Architect: Chris Jaubert
Atelier 43, LLC
3970 Hawthorne Ln.
Wilson, WY 83014
307.200.1790

Contractor: Coulor Construction
310 E. Broadway #7
Jackson, WY 83001
307.699.3949
jesse@coulorconstruction.com

DRAWING LIST

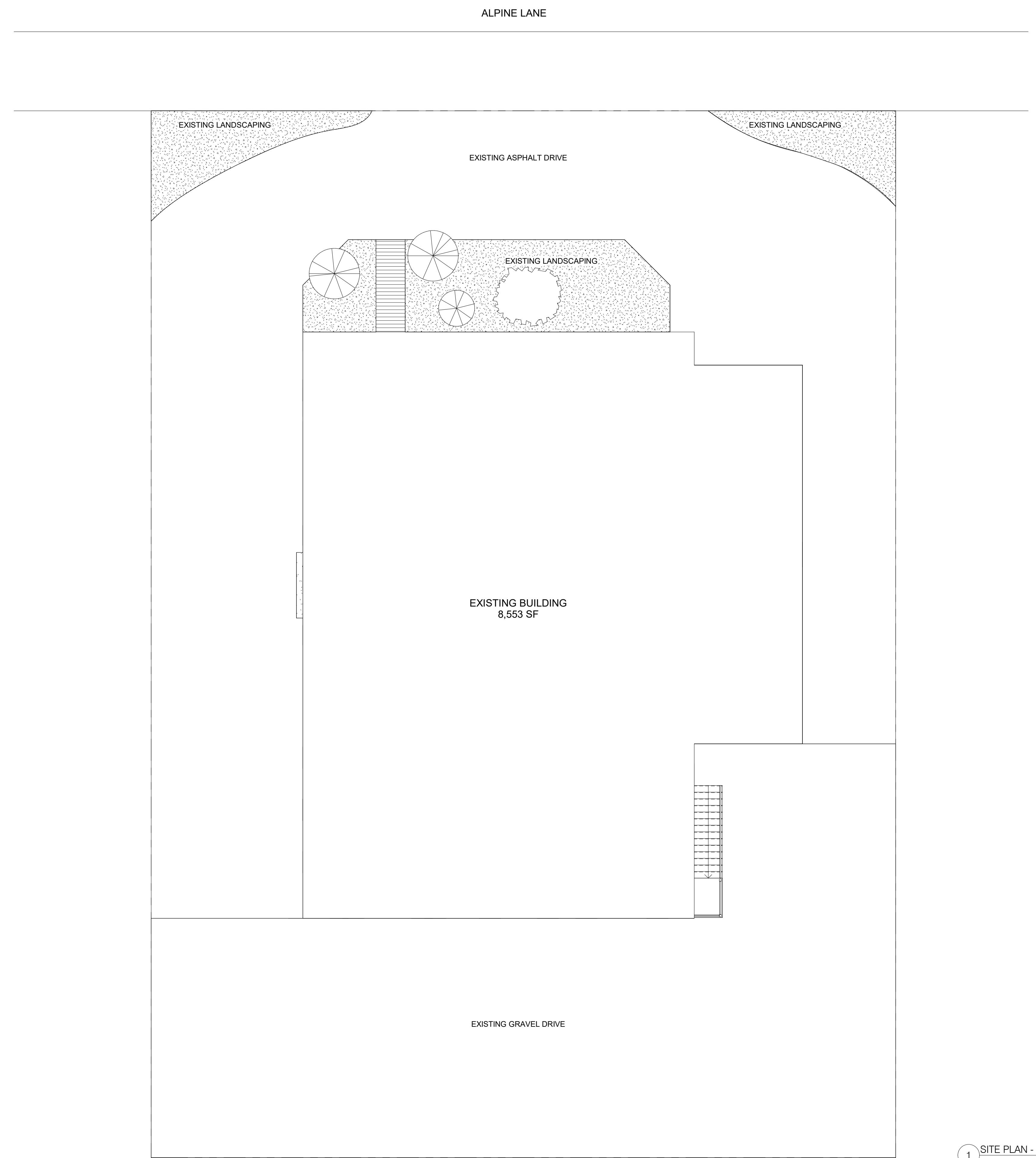
Sheet No.	Sheet Name
GENERAL G.1.0	COVER SCHEDULES
G.1.1	WALL, FLOOR, AND ROOF TYPES
G.1.2	CODE PLAN
G.1.3	
CIVIL C.1.0	EXISTING SITE / DEMO PLAN
C.1.1	SITE PLAN
C.2.0	UTILITY PLAN
C.2.1	UTILITY DETAILS
C.3.0	GRADING PLAN
ARCHITECTURAL A.1.0	FOUNDATION PLAN - DEMO
A.1.2	UPPER FLOOR PLAN - DEMO
A.1.3	ROOF PLAN - DEMO
A.2.0	FOUNDATION PLAN
A.2.1	LOWER FLOOR PLAN
A.2.2	UPPER FLOOR PLAN
A.2.3	ROOF PLAN
A.3.0	EXISTING ELEVATIONS
A.3.1	BUILDING ELEVATIONS
A.3.2	BUILDING ELEVATIONS
A.3.3	BUILDING ISOMETRICS
A.4.1	BUILDING SECTIONS
A.4.2	BUILDING SECTIONS
A.4.3	BUILDING SECTIONS
A.4.4	BUILDING SECTIONS
A.4.5	BUILDING SECTIONS
A.4.6	BUILDING SECTIONS
A.4.7	BUILDING SECTIONS
A.5.1	WALL SECTIONS / DETAILS
A.5.2	WALL SECTIONS / DETAILS
A.5.3	WALL SECTIONS / DETAILS
A.8.1	LIGHTING PLANS
A.8.2	LIGHTING PLANS
STRUCTURAL S000	GENERAL STRUCTURAL NOTES I
S001	GENERAL STRUCTURAL NOTES II
S010	TYPICAL CONCRETE DETAILS
S011	TYPICAL CONCRETE DETAILS
S012	TYPICAL WOOD DETAILS
S013	TYPICAL WOOD DETAILS
S014	TYPICAL WOOD DETAILS
S015	TYPICAL WOOD DETAILS
S100	FOUNDATION PLAN
S101	LOWER LEVEL FRAMING PLAN
S102	UPPER LEVEL FRAMING PLAN
S103	ROOF FRAMING PLAN
S500	FOUNDATION DETAILS
S800	WOOD DETAILS
S801	WOOD DETAILS

MECHANICAL

Structural: Johnson Engineering
Jason Johnson
1315 W. 8th Street #401
Jackson, WY 83001
307.733.5150

Architect: Atelier 43, LLC
mail: 3970 Hawthorne Ln.
office: 310 E. Broadway #7
Jackson, WY 83001
phone: 307.200.1790

Centerline Tag: G.1.0



1 SITE PLAN - DEMO
1/8" = 1'-0"

AS1.0

Architect: Aefer AS LLC
Attn: 3870 Thompson Ln.
Apt 100
Arlington, VA 22207
Office: 301.200.1790
Phone: 301.200.1790

Project: Gardner Mortuary/LifFlower
Boulder
930 Alpine Lane
Jackson, WY 83001

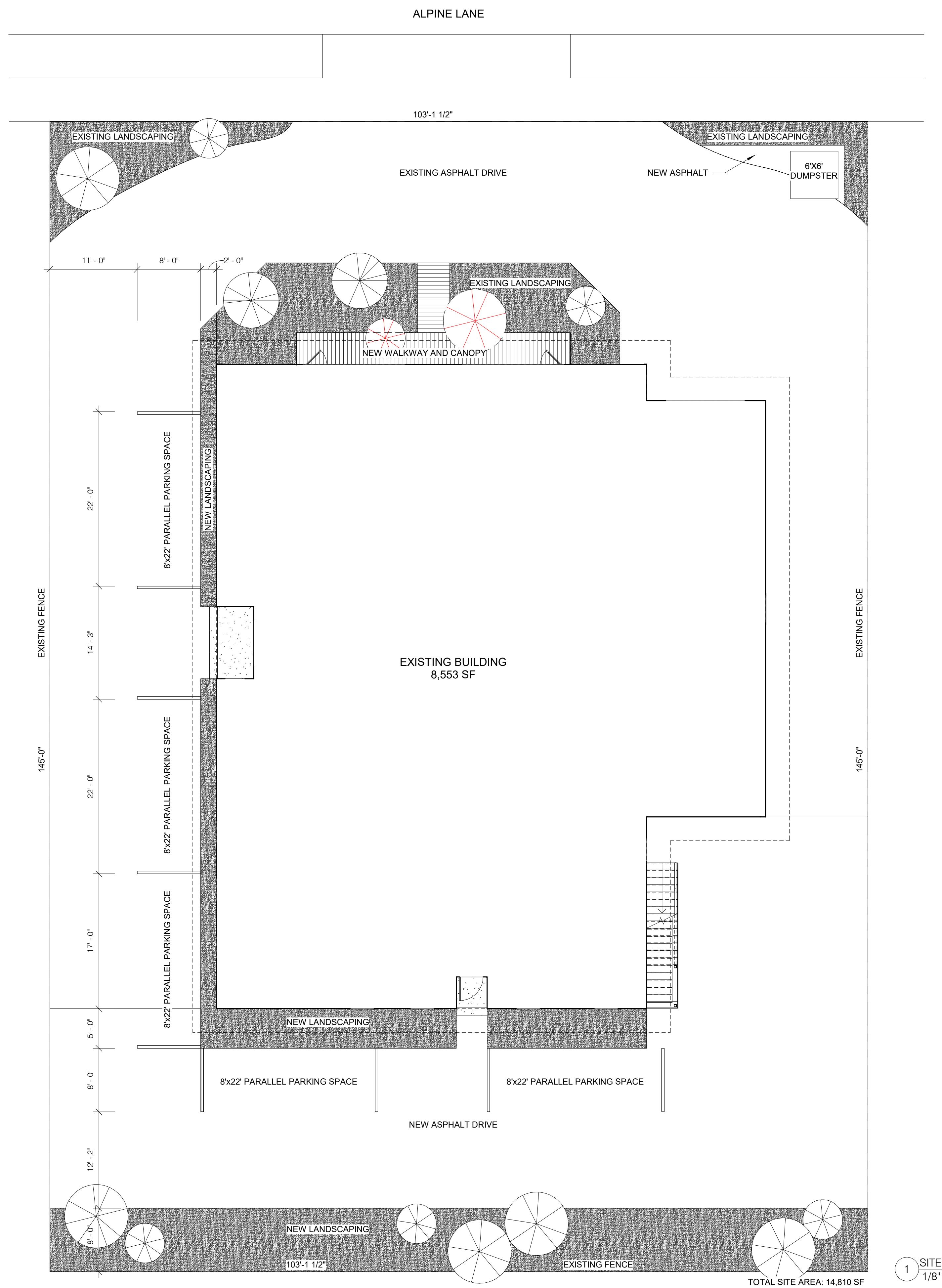
Client: DMITRI & MONICA GRANBERG

Structural: Jorgensen Engineering
1315 Main St, Suite 201
Laramie, WY 82001
307.763.5150

Mechanical:

Drawing Title: EXISTING SITE PLAN

Date: 2022-07-15



SITE PLAN TRUE NORTH
1/8" = 1'-0"

AS1.1

Project: Grimberg Mortuary/JH
Boutique
950 Alpine Lane
Jackson, WY 83001

Architect: Atelier 43, LLC
mail 3970 Hawthorne Ln.
Wilson, WY 83014
office 215 W. Gill Ave.
Jackson, WY 83001
phone 307.200.1700

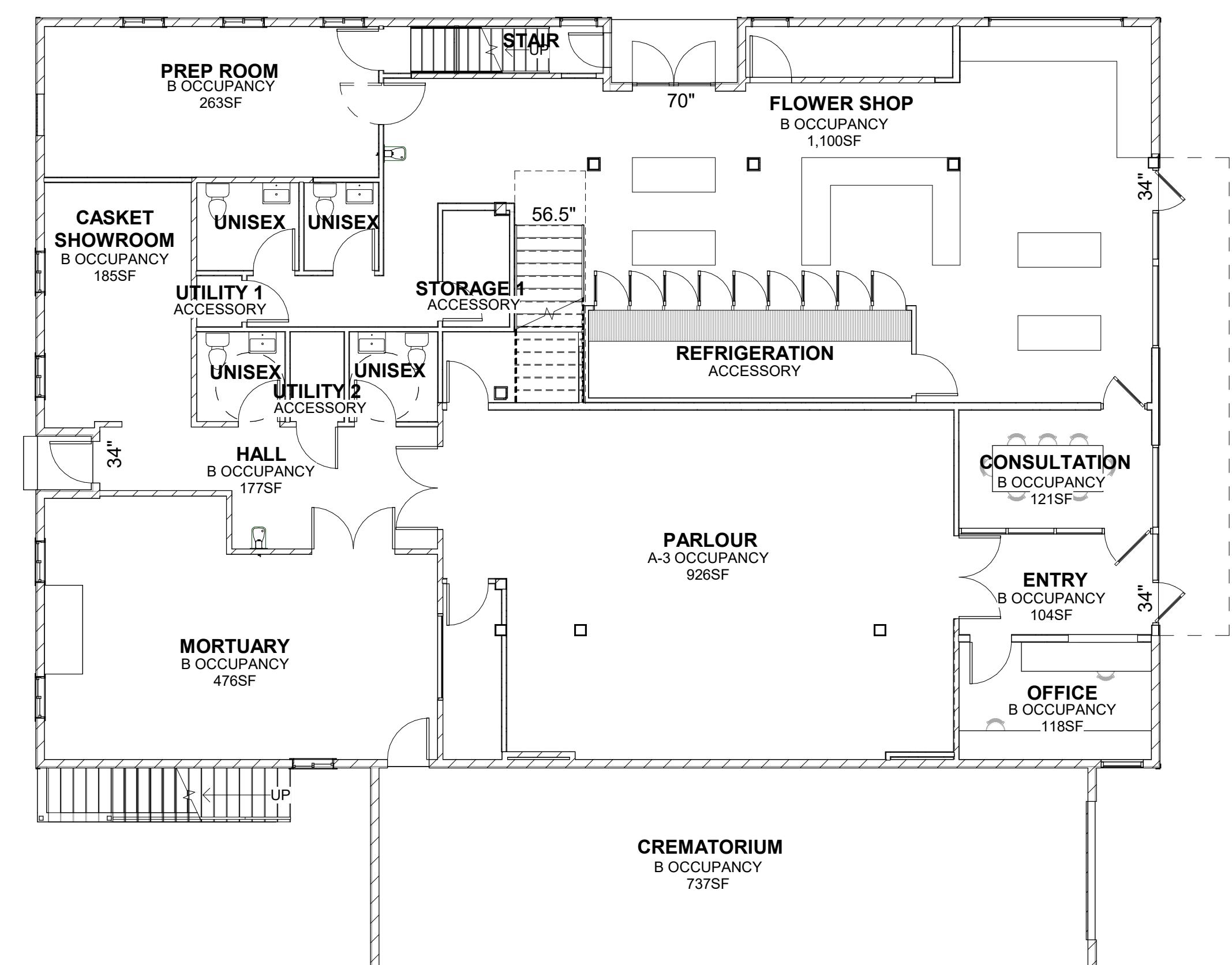
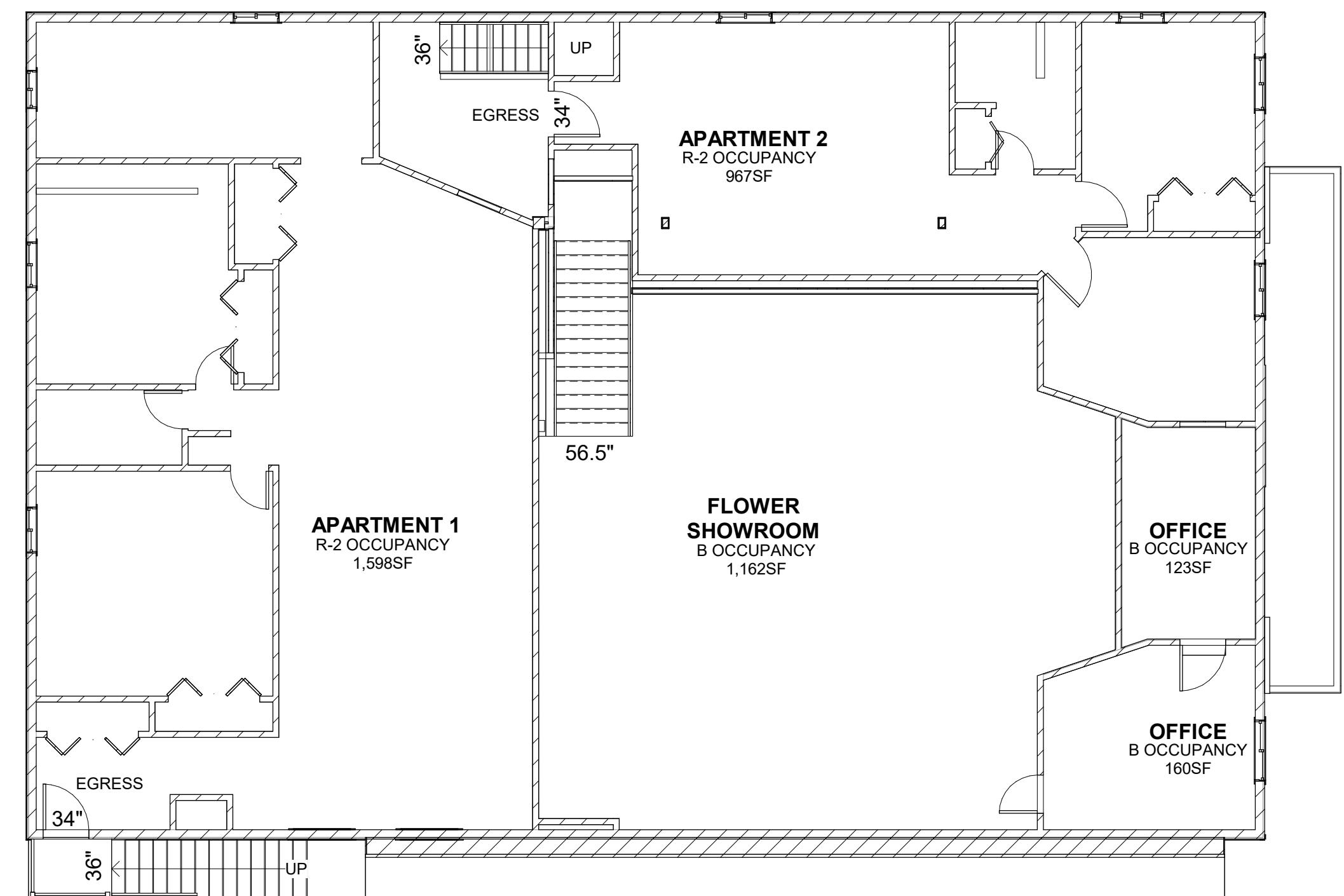
Structural
Jorgensen Engineering
Jason Mann
1315 Hwy 89 S Suite #
Jackson, WY 83001
307.733.5150

DMITRI & MONICA GRIMBERG

Meet the Team

SITE PLAN

2022.07.15



CONSTRUCTION TYPE

TYPE V-B, S

OCCUPANCY TYPES

FUNERAL HOME (A-3, B) - 3,112 SF
JH FLOWER BOUTIQUE (B) - 3,651 SF
APARTMENTS (R-2) - 2,455 SF

ALLOWABLE BUILDING AREA

A-3 TYPE V-B, S: 18,000SF
PROPOSED: 926SF
RATIO: .051

B TYPE V-B, S: 27,000SF
PROPOSED: 5,942SF
RATIO: .220

R-2 TYPE V-B, S: 21,000SF
EXISTING: 2,565SF
RATIO: .122

TOTAL AREA: 9,433SF
TOTAL RATIO: .393

OCCUPANT LOADS

A-3 CONCENTRATED UNFIXED - 926sf/7 = 133 OCCUPANTS

B BUSINESS AREAS - 4,721sf/100 = 48 OCCUPANTS
FIRST FLOOR - 3,276sf/100 = 33
SECOND FLOOR - 1,445sf/100 = 15

PLUMBING REQUIREMENTS

A-3 ASSEMBLY
133/2 = 66.5
WOMEN: 1/75 = 1 FIXTURE
MEN: 1/150 = 1 FIXTURE
LAVATORIES: 1/200 = 1W/1M

B BUSINESS AREAS

48
1/25 FIRST 50 OCCUPANTS: 2 FIXTURES (2 UNISEX OR 1W/1M)
LAVATORIES: 1/40 FOR FIRST 80 = 1W/1M

TOTAL
WOMEN: 2 FIXTURES, 2 LAVATORIES
MEN: 2 FIXTURES, 2 LAVATORIES

EGRESS

FLOWER BOUTIQUE
STAIR: 15 x 0.3 = 4.5" (36" MIN.)
DOORS: 30 x 0.2 = 6" (32" MIN.) (ACTUAL 34"+70" = 104")

FUNERAL HOME
DOORS: 151 x 0.2 = 30.2" (32" MIN.) (ACTUAL 34"x2 = 68")

FIRE SEPARATION

1-HOUR FIRE SEPARATION REQUIRED BETWEEN ALL OCCUPANCIES

Date: 2022-07-15

Drawing Title: CODE PLAN

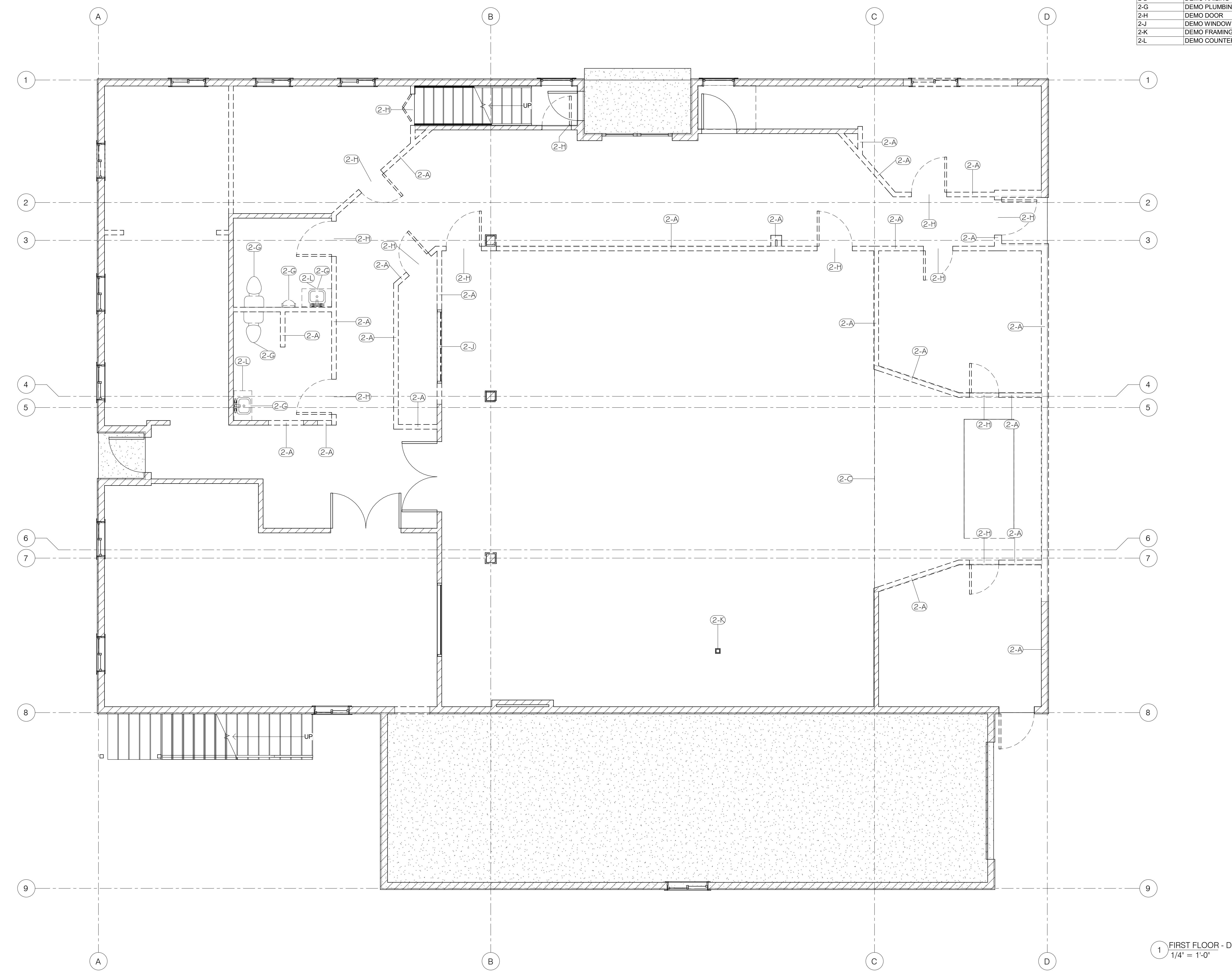
Mechanical

Civil:

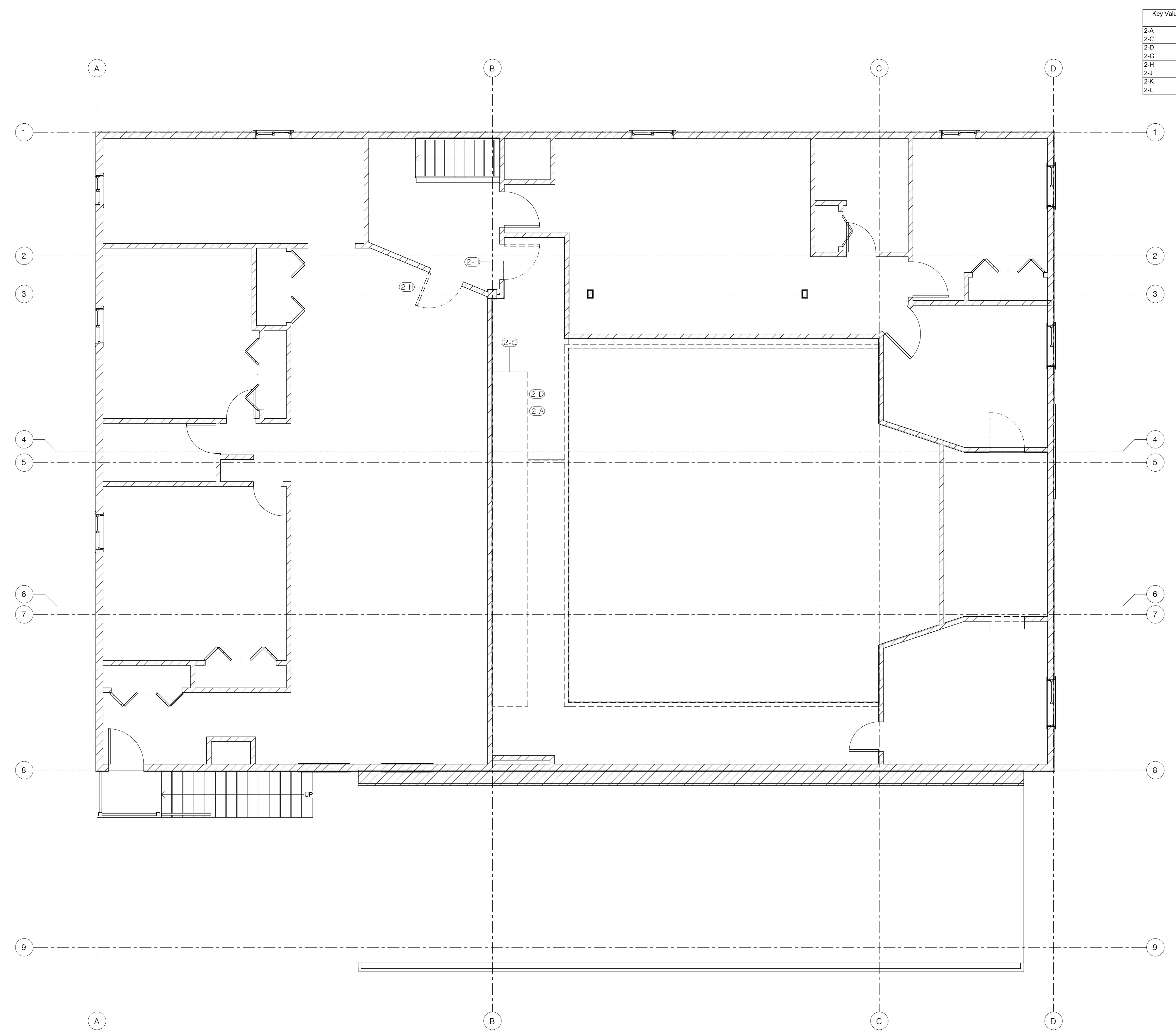
Structural: Johnson Engineering
1315 Hwy 80 S, Suite #201
Jackson, WY 83001
307.733.5150

Project: Gamma Mortuary/JH Flower
Boutique
801 Alpine Lane
950 Alpine Lane
Jackson, WY 83001
Phone: 307.200.1790



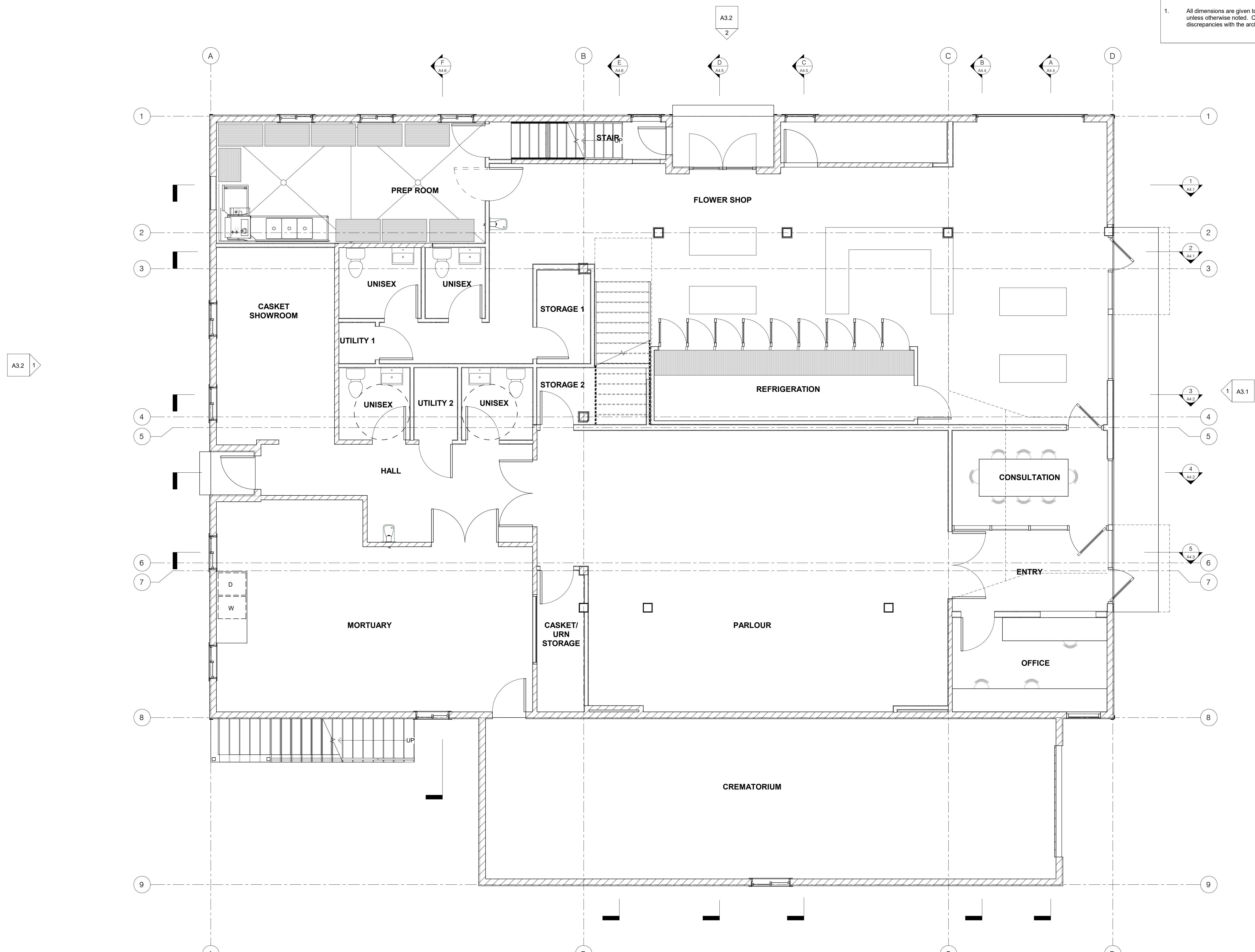


Drawing Title: LOWER FLOOR PLAN - DEMO
 Date: 2022-07-15
 Client: DMITRI & MONICA CHAMBERG
 Project: Gammora Monture/JH Power
 Architect: Atelier 43, LLC
 3870-Bethesda Ln.
 860 Alpha Lane
 Bethesda, MD 20814
 office: 301.200.179001
 phone: 301.200.179001
 Structural: Jorgenson Engineering
 Jason Jorgenson
 1315 Hwy 63 S, Suite #101
 Joplin, MO 64801
 (417) 623-5150
 Mechanical:
 Civil:
 Client: DMITRI & MONICA CHAMBERG
 Gammora Monture/JH Power
 Bethesda, MD 20814
 office: 301.200.179001
 phone: 301.200.179001
 Drawing No: A1.1



Drawing Title: UPPERTLOORPLAN - DEMO
 Date: 2022-07-15
 Client: DMITRI & MONICA GARNER
 Project: GARNER/MONICA/JH-Power
 Architect: Atelier 43, LLC
 3870 Earthworks Ln.
 Suite 401
 1315 W. 68th St.
 Minneapolis, MN 55431
 Office: 612.871.0500
 Fax: 612.871.0501
 Phone: 307.200.1790
 Structural: Jorgenson Engineering
 Jason Jorgenson
 1315 W. 68th St.
 Minneapolis, MN 55431
 307.753.5150
 Mechanical: 
 Client: DMITRI & MONICA GARNER
 Project: GARNER/MONICA/JH-Power
 Architect: Atelier 43, LLC
 3870 Earthworks Ln.
 Suite 401
 1315 W. 68th St.
 Minneapolis, MN 55431
 Office: 612.871.0500
 Fax: 612.871.0501
 Phone: 307.200.1790
 Drawing Title: UPPERTLOORPLAN - DEMO
 Date: 2022-07-15

A1.2



GENERAL PLAN NOTES:

All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.

A2 1

A2.1

Object: Jimberg Mortuary/J
Jimberg
650 Alpine Lane
Jackson, WY 83001

100

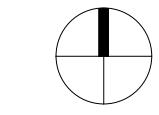
Structural: Enggensen Engineering
Mann
3315 Hwy 89 S
Rockson, WY 8300
007 733 5150

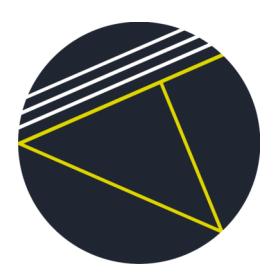
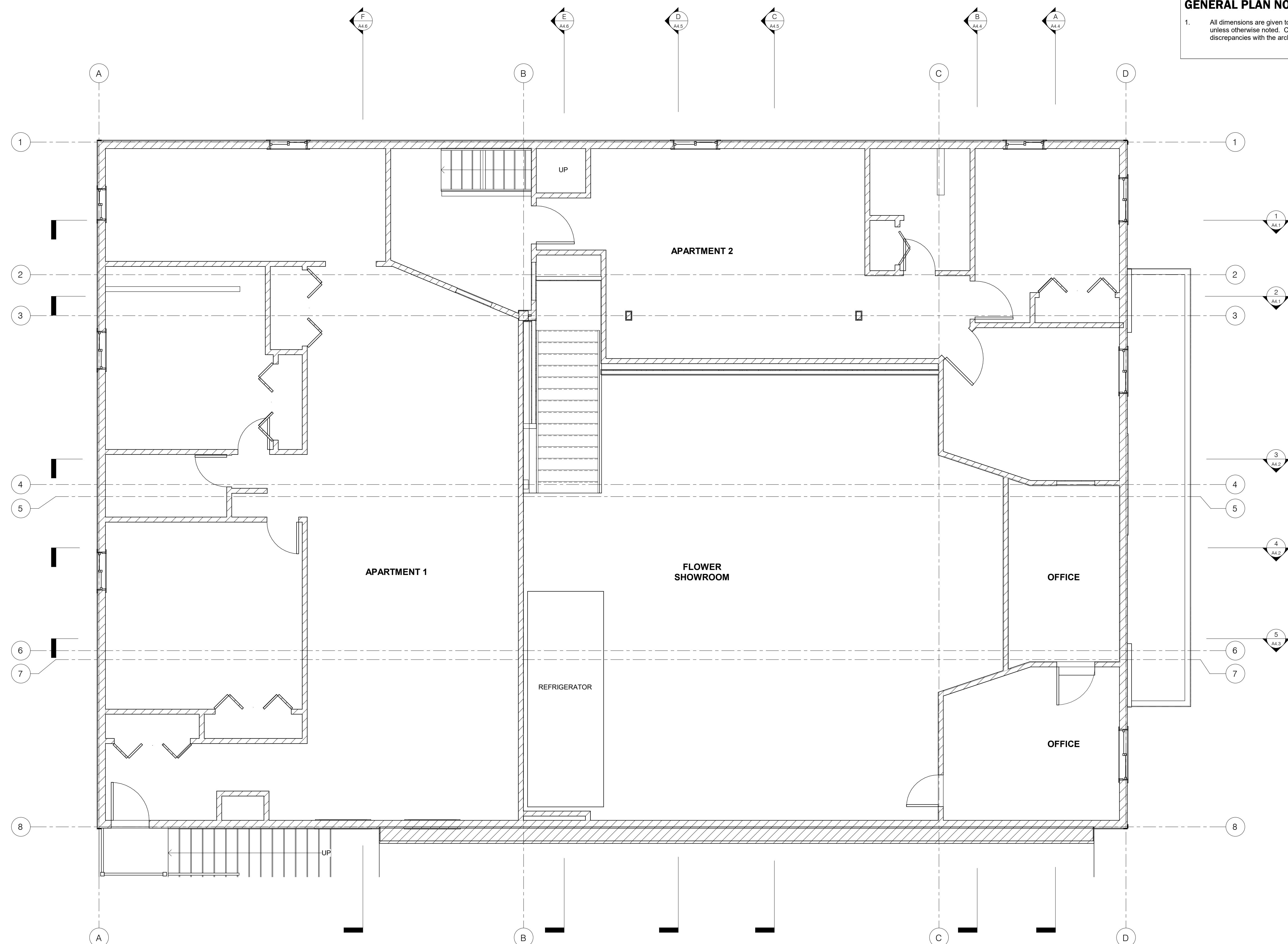
CMI:

Mechanical:

Drawing Title
LOWER FLOOR PLAN

Date 2022.07.15





A2.2



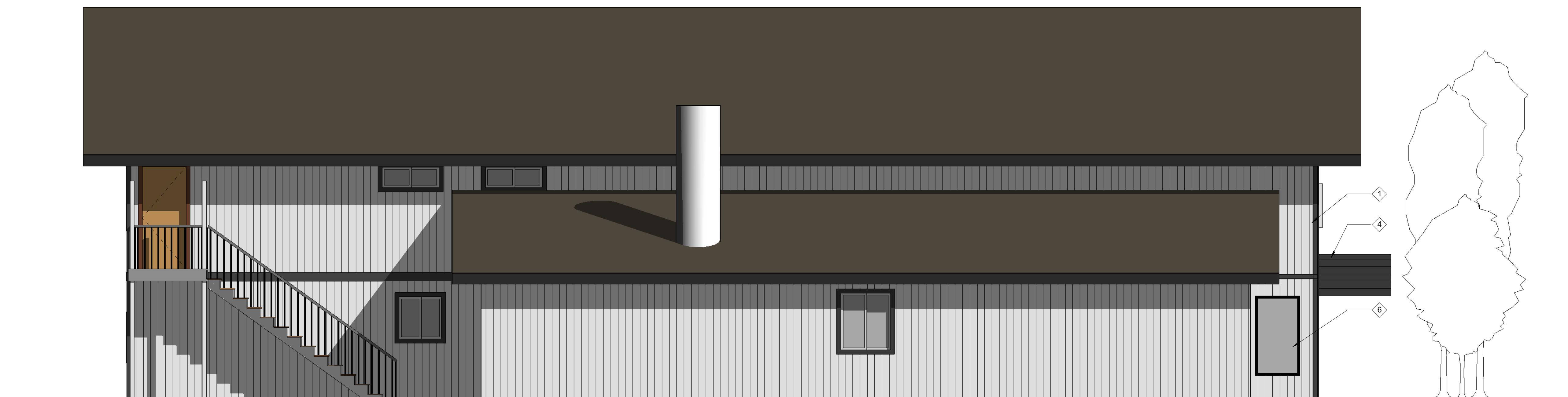
MATERIAL SCHEDULE:	
1	WOOD SIDING - PAINTED WHITE
2	WOOD SIDING - PAINTED BLACK
3	SIGNAGE
4	WOOD CANOPY - PAINTED BLACK
5	NEW STOREFRONT WINDOW
6	NEW WINDOW
7	NEW DOOR
8	WOOD FASCIA - PAINTED BLACK

Date: 2022-07-15

Drawing Title: BUILDING ELEVATIONS

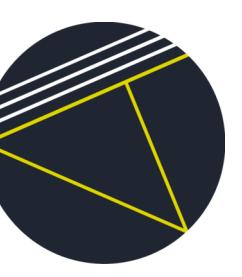
Sheet: Mechanical

1 NORTH ELEVATION
1/4" = 1'-0"



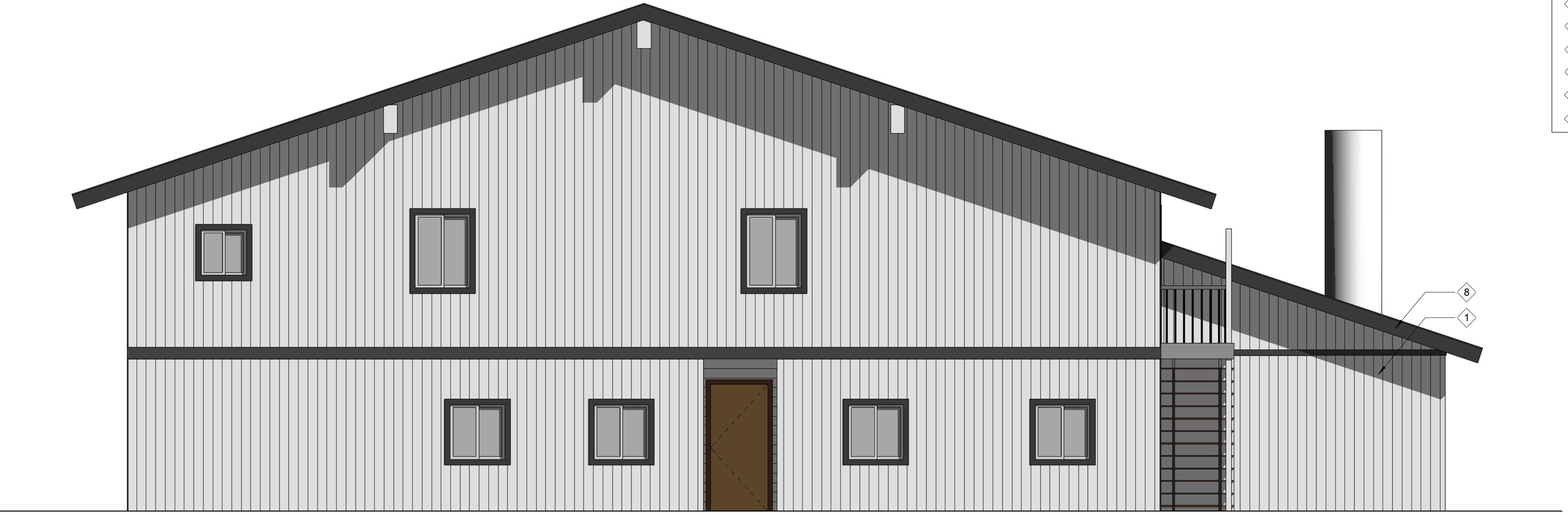
Architect: DMITRI & MONICA GARNER/BRG
Project: Gamma Monitor/JH Power
Client: Jason John
1315 Hwy 88 S, Suite #201
Laurel, WY 82201
307-733-5150

Architect: Atelier 43, LLC
Project: Gamma Monitor/JH Power
Client: Gamma Monitor/JH Power
1315 Hwy 88 S, Suite #201
Laurel, WY 82201
phone: 307-200-1790/01



2 EAST ELEVATION
1/4" = 1'-0"

A3.1



1 SOUTH ELEVATION

1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

A3.2

MATERIAL SCHEDULE:

- 1 WOOD SIDING - PAINTED WHITE
- 2 WOOD SIDING - PAINTED BLACK
- 3 SIGNAGE
- 4 WOOD CANOPY - PAINTED BLACK
- 5 NEW STOREFRONT WINDOW
- 6 NEW WINDOW
- 7 NEW DOOR
- 8 WOOD FASCIA - PAINTED BLACK

2022.07.15

BUILDING ELEVATIONS

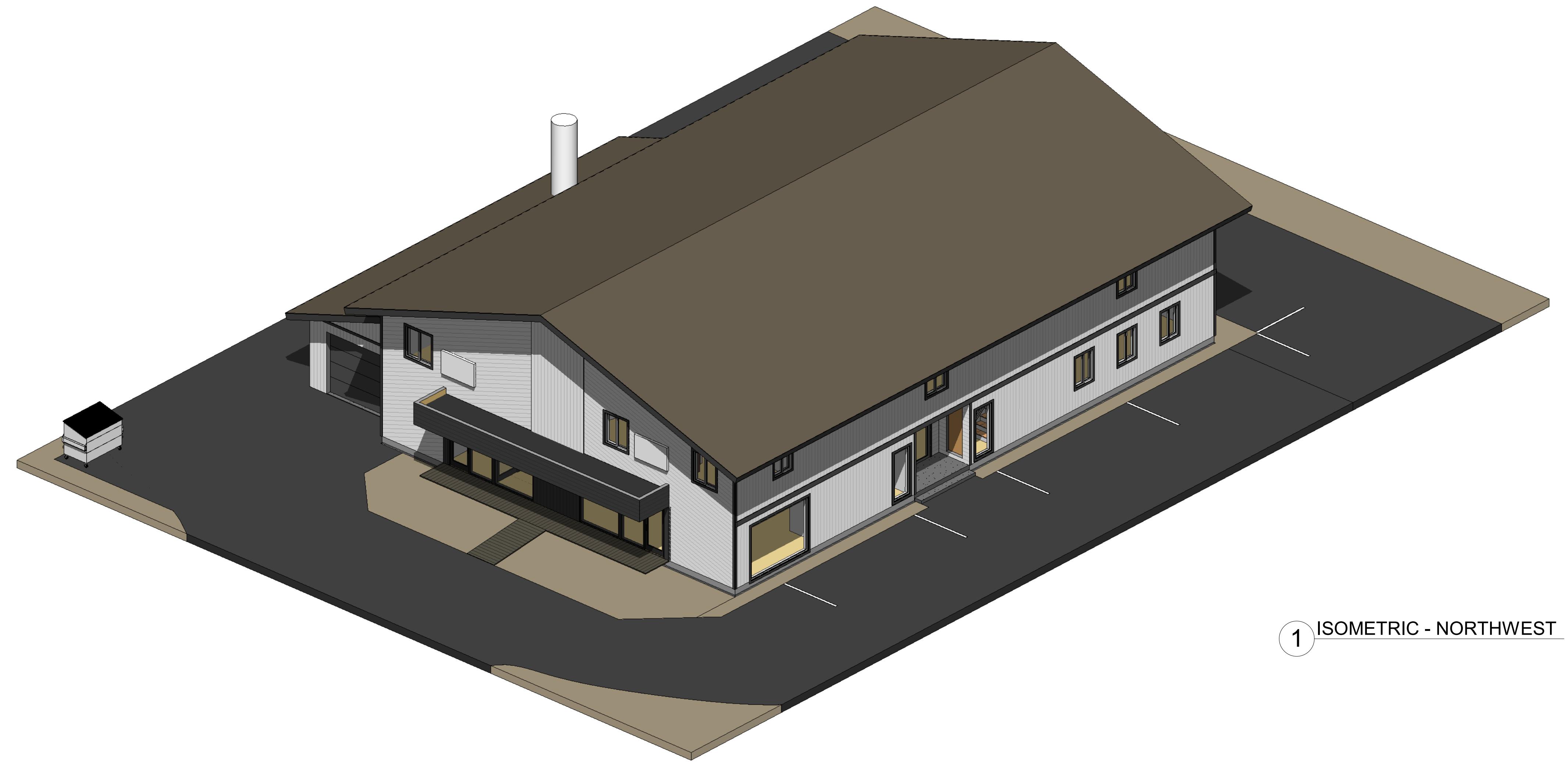
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Jorgensen Engineering
Jason Mann
1315 Hwy 89 S Suite #
Jackson, WY 83001
307.733.5150

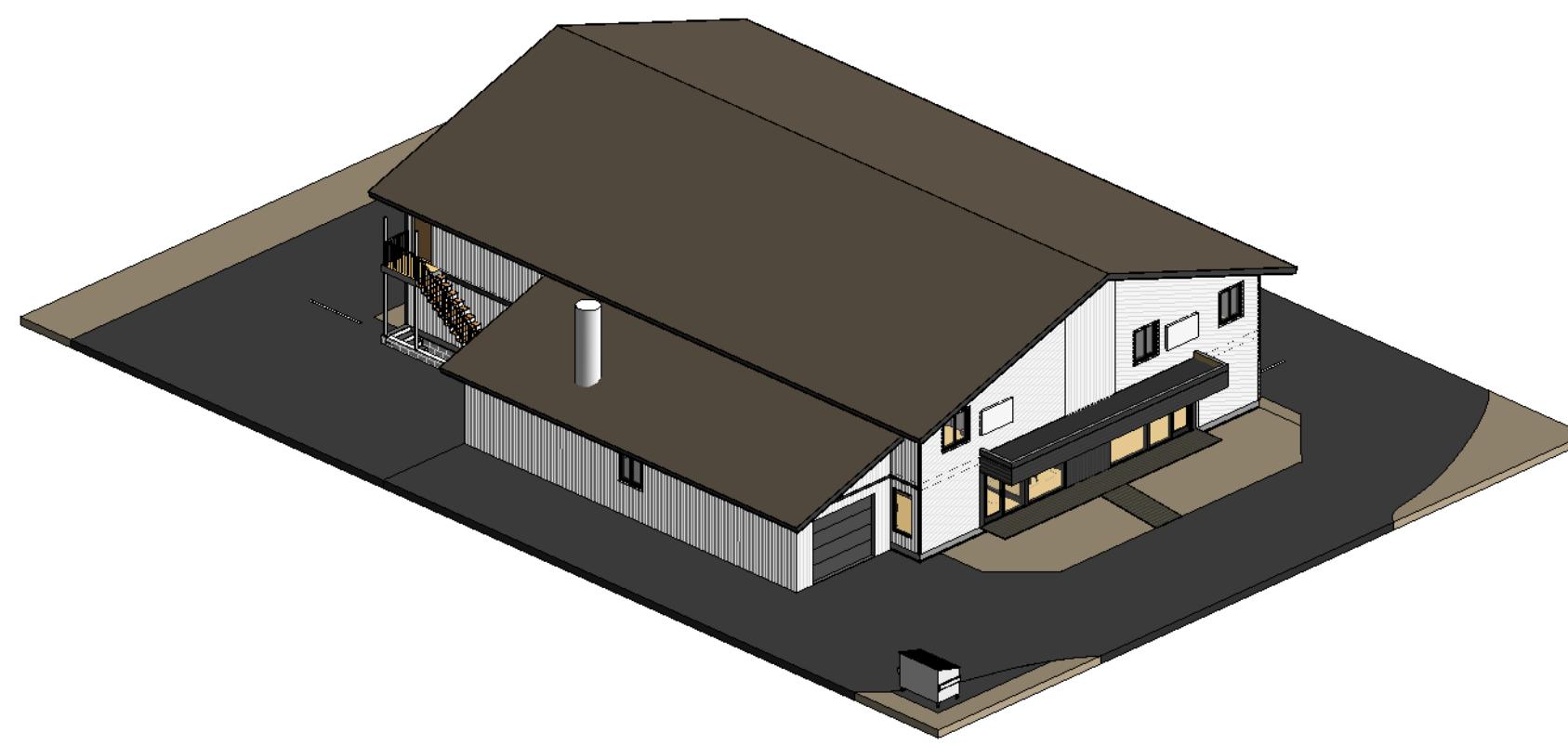
Atelier 43, LLC
mail 3970 Hawthorne Ln.
Wilson, WY 83014
office 215W. Gill Ave.
Jackson, WY 83001
phone 307.200.1790

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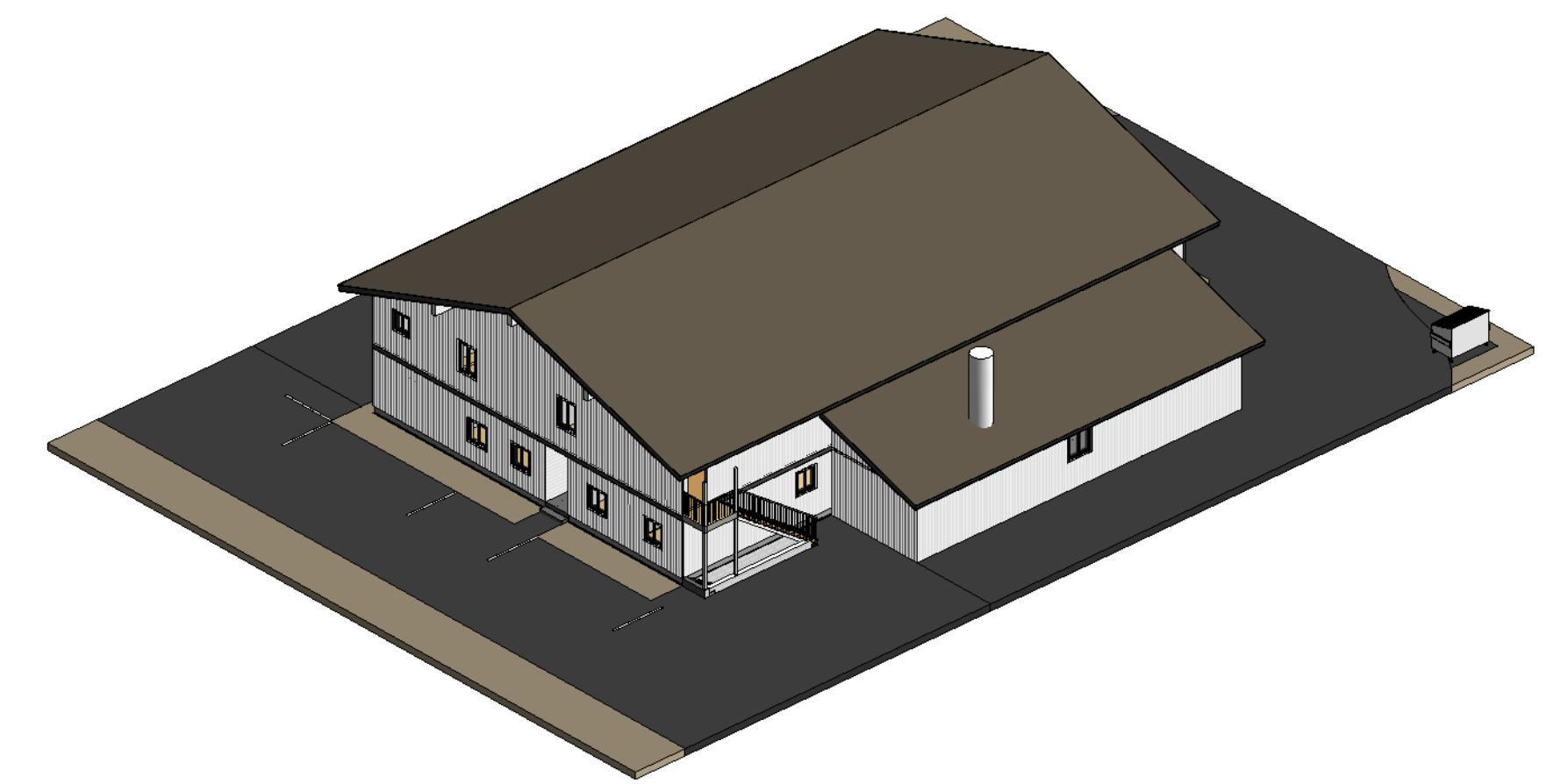
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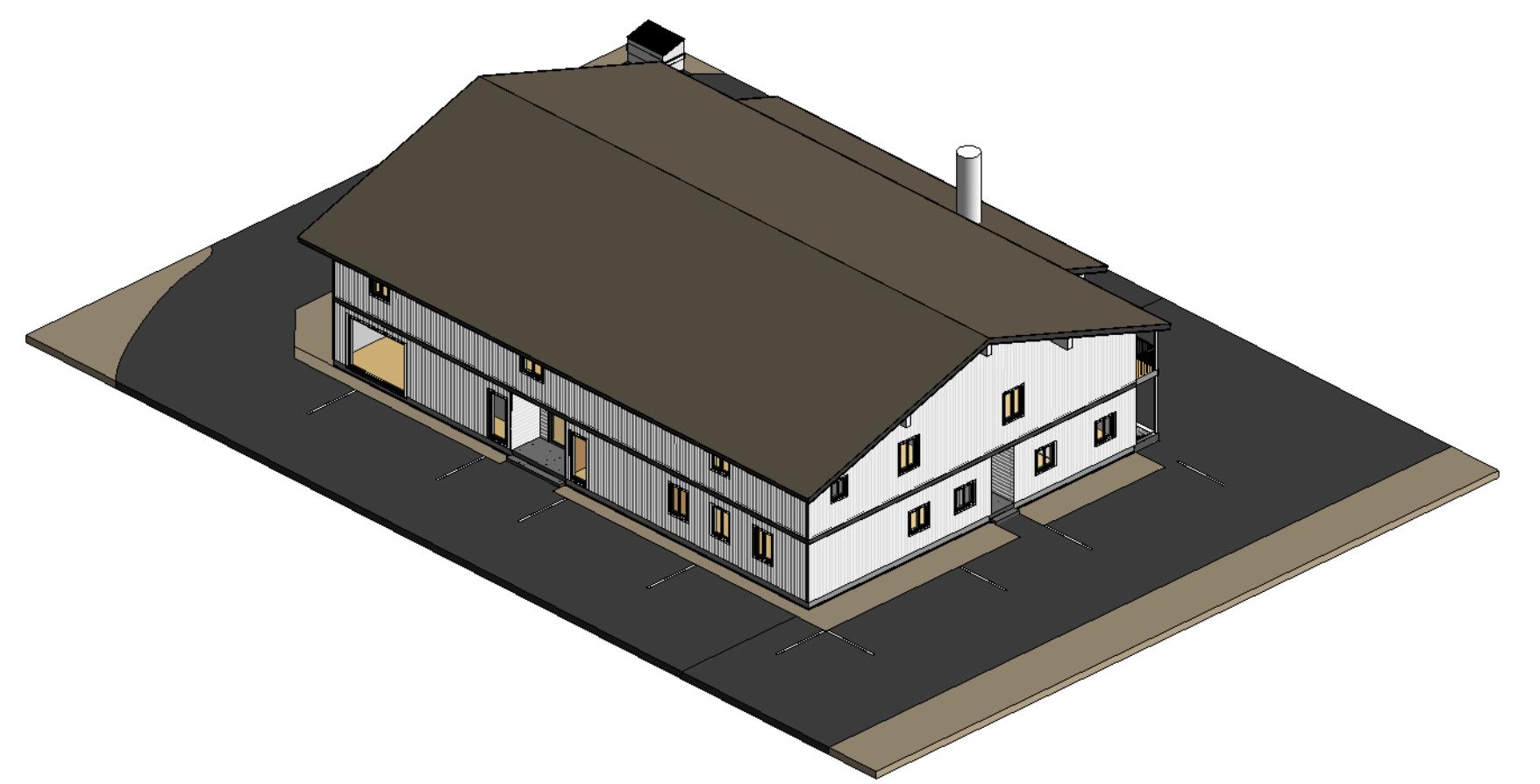
1 ISOMETRIC - NORTHWEST



2 ISOMETRIC - NORTHEAST



3 ISOMETRIC - SOUTHEAST



4 ISOMETRIC - SOUTHWEST

A3.3

Architect: Atelier A3 LLC
3570 Hawthorn Ln.
Riverton, WY 82001
office: 307.200.1795

Project: Gardner Mortuary/Art Flower
Gardner Mortuary
930 4th Ave
Jackson, WY 83001

Client: DAVID & MONICA GRANBERG
Gardner Mortuary/Art Flower
930 4th Ave
Jackson, WY 83001

Structural: Jorgenson Engineering
Jason Jorgenson
1315 Hwy 89 S Suite #201
Laramie, WY 82001
307.763.5150

Drawing Title: BUILDING ISOMETRICS

Date: 2022-07-15