



# TOWN OF JACKSON

## PLANNING & BUILDING

### DEPARTMENT

#### TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Housing Department

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: June 17, 2022

Item #: P22-156

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Email: [tvalentine@jacksonwy.gov](mailto:tvalentine@jacksonwy.gov)

**Owner:**

Stagestop Inc.  
PO Box 1677  
Jackson, WY 83001

**Applicant:**

FFKR Architects  
730 Pacific Ave.  
SLC, UT 84101

**REQUESTS:**

The applicant is submitting a request for a Development Plan Amendment for the property located at 145 N Glenwood, 120 N Glenwood and 135 N Cache St., legally known as LOT 8, BLK. 6, ORIGINAL TOWNSITE OF JACKSON (PLAT 100), N 35' LOT 12, LOT 13, BLK. 7, JACKSON (MOS T-28M) and LOT 8, BLK. 7, JACKSON (MOS T-28M) PIDNs: 22-41-16-28-4-25-001, 22-41-16-28-4-09-002 and 22-41-16-28-4-09-001

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

**Please respond by:** **July 1, 2022 (Sufficiency)**  
**July 8, 2022 (with Comments)**

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[alangley@jacksonwy.gov](mailto:alangley@jacksonwy.gov)

June 13, 2022

**RE: 120 N Glenwood Street**  
**Development Plan Amendment**  
**And Design Review**

To whom it may concern,

As discussed in our Pre-application meeting held on May 25, 2022, Stage Stop Inc. is submitting the following Design Review Package to be reviewed and approved as minor changes to previously approved development plan.

Stage Stop Inc is requesting a Development Plan – Amendment that uses a density transfer from an adjacent site that would allow the following changes to the design within the previously approved building envelope

- Fully enclose Cache level food service area.
- Change Level 2 meeting rooms to Lodging Units
- Enclose 2<sup>nd</sup> story space above restaurant and Level 2 breezeways for additional Lodging Units.

Stage Stop Inc., the owner of both properties, would like to transfer 4,200 sf of density from 145 N. Glenwood, LOT 8, BLK. 6, ORIGINAL TOWNSITE OF JACKSON (PLAT 100) to the blended properties at 120 N Glenwood Street and 135 N. Cache Street. Their plan is to use the existing structure on Lot 145 in their current condition. These properties have surplus density that is being unused.

They are also requesting a Design Committee review for the following changes to 120N Glenwood Street. Previously approved planning applications: #P08-029, #P10-029, #P11-008, #P19-048.

**Summary of changes**

(Additional floor area is identified with shading on attached plans)

Basement Level

- Floor Area Comparison
  - Application – 6,061 gross sf
  - Development Option – 6,061 gross sf
  - No change in floor area
- No Change on use on this floor

Lower Level

- Floor Area Comparison
  - Previous Application – 6,061 gross sf
  - Development Option – 6,061 gross sf
  - No change in floor area
- Kitchen Prep Area increased, and Fitness area decrease by 150sf

Cache Street Level

- Floor Area Comparison
  - Previous Application – 3,330 gross sf

- Development Option – 5,600 gross sf
- Increase 2,270 sf of enclosed floor area
- Changed sit down dining to retail and market
- Enclosed open seating area on West to expand market over entire floor.

#### Second Floor

- Floor Area Comparison
  - Previous Application – 3,180 gross sf
  - Development Option – 6,180 gross sf
  - Increase 3,000 sf of enclosed floor area
- Changed Meeting rooms to Lodging Units.
- Enclosed space above Market to add 3 Lodging units.
- Enclosed open seating area on West to expand market over entire floor.

#### Third Floor / Roof Deck

- Floor Area Comparison
  - Previous Application – 3,520 gross sf
  - Development Option – 3,520 gross sf
  - No change in floor area
- No change in use on this floor

#### Exterior Elevations

- North facing wall along adjacent church property to be a patterned CMU wall. This change is needed in response to the adjacent property owner denying temporary construction access to facilitate construction.
- Second floor windows along Cache Street have moved. The balconies above Cache Street remain.

All other Exterior materials are to be as previously approved, matching phase I materials.

By maintaining massing variation, materials, and building scale from the previously approved application we feel that these changes are an improvement to the previously approved design. And they are consistent with the desired character as described for the site in the Jackson/Teton County Comprehensive Plan, and this proposal also Complies with the Town of Jackson Design Guidelines.

The project site is not within the Natural Resource Overlay (NRO) or the Scenic Resources Overlay (SRO).

#### **F.A.R. Calculation Summary**

Per the gross numbers above there is an increase 5,270 SF of enclosed space. These numbers include exterior wall thicknesses and space types that are not used in the FAR calculations. Per previous agreement the FAR numbers provided below are based on NET interior numbers.

The previously approved planning application package allowed for a site weighted F.A.R. of 1.49:1 and an additional 8,009 sf of occupiable space. Based on the current building design and including a density transfer of 4,100 SF, the calculated F.A.R. for the complete build out of the property is an additional 7,912 sf of occupiable space at a F.A.R. of 1.48:1. The Town Square portion of the site would have a density of 1.71:1 which is below the 1.8:1 LDR Town Square requirement.

### **Housing Mitigation**

Based upon the approved uses for Phase II, which have already been mitigated, the calculator determines that a credit of 4.966 units exists. Please see the attached housing mitigation credit work sheet copied from previous approved request #P19-048.

Based upon the current proposed uses for Phase II, the calculator generates a requirement of 4.909 units which is less than the credit of 4.966 units. We anticipate that there will be no additional housing required.

### **Parking Calculation**

An updated parking demand calculation worksheet based on current square footages and space usages is provided. It shows that there are 40.15 spaces required. With 45 parking spaces provided in Phase I, no additional parking spaces would be required. Please see the attached parking calculation sheet for detailed comparison between the planning application package and the current design.

Please let me know if additional information is required.

Thank you,



**Jerry L. Jensen AIA**  
Senior Associate | Architect  
**FFKR ARCHITECTS**

Letter of Authorization

Updated F.A.R Calculation – Revised 6.13.22

Updated Parking Calculation – Revised 6.13.22

Updated Housing Mitigation Calculation – Revised 6.13.22

Floor Plans and Elevations

Cc: Sadek Darwiche – Hotel Jackson, Stage Stop Inc.



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**  
**Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | fax: (307) 734-3563  
Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

***For Office Use Only***

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Check # \_\_\_\_\_

Credit Card \_\_\_\_\_

Cash \_\_\_\_\_

Application #s \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

**OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_ Owner \_\_\_\_\_ Applicant/Agent

**TYPE OF APPLICATION.** Please check all that apply; see Fee Schedule for applicable fees.

**Use Permit**

Basic Use

Conditional Use

Special Use

**Relief from the LDRs**

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

**Physical Development**

Sketch Plan

Development Plan

**Interpretations**

Formal Interpretation

Zoning Compliance Verification

**Development Option/Subdivision**

Development Option Plan

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

**Amendments to the LDRs**

LDR Text Amendment

Zoning Map Amendment

Planned Unit Development

**PRE-SUBMITTAL STEPS.** Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.**

Pre-application Conference #: \_\_\_\_\_ Environmental Analysis #: \_\_\_\_\_

Original Permit #: #P08-178, #P10-029 and #P11-008 Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department.. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

*Have you attached the following?*

**Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

**Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

## FORMAT.

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

**Note:** *Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.*

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

\_\_\_\_\_  
Signature of Owner or Authorized Applicant/Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name Printed

\_\_\_\_\_  
Title

## LETTER OF AUTHORIZATION

STAGE STOP, INC

POBOX 1677, JACKSON WY 83001

“Owner” whose address is: \_\_\_\_\_

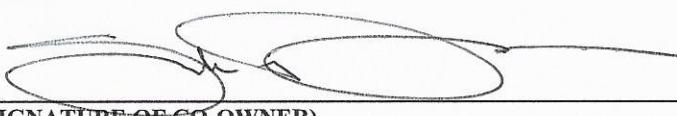
(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

more specifically legally described as: 135N CACHE STREET, Parcel: 22-41-16-28-4-09-001  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(If too lengthy, attach description)

HEREBY AUTHORIZES Jerry Jensen, FFKR Architects as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER: 

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: President

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF WYOMING

)

)SS.

COUNTY OF TETON

)

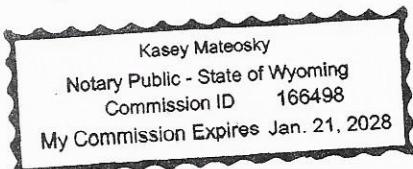
The foregoing instrument was acknowledged before me by Kasey Mateosky this 16<sup>th</sup> day of June, 2022

WITNESS my hand and official seal.

  
(Notary Public)

My commission expires:

(Seal)



**Hotel Jackson F.A.R. Calculation**

Updated: 6.13.22

	<b>Calculated</b>	<b>From Planning application</b>
Floor area allowed	20,054	19,900
25% Housing Bonus	29,845	29,875
	7,461	7,469
	37,306	37,344

**Town FAR Requirements**

Zoned Town Square	1.83 :1
Zoned Urban Commercial	1.3 :1

**Site Weighted FAR**

0.46	0.65
0.84	0.84
1.3 :1	1.49 :1
Phase I	Phase II

**Site Area Table**

	UC	Town Square	
HJ Site	11,948	Hotel Patio Site	5,064
Vacated Alley	984	Stage Stop Site	2,058
Total	12,932	Total	7,122
Phase I Site	17,996		
Total Site Development	20,054		

**Lot # 145 Density Availability**

Lot Size	0.14	acre
Lot Size SF	6,098	sf
Bldg Size	2,513	sf
Zone	UC	
FAR Allowance	1.3	
Allowable Size	7,928	sf
Available Density	5,415	sf

<b>F.A.R. Calculation</b> <b>Blended</b>	Phase I Floor Area (as Built)	Phase II Floor Area - Designed	Total Floor Area	F.A.R.
Net Occupiable Space	21,836	12,148	33,984	1.49 :1
		Transferred Density	4,100	
		Net Calculated Space	29,884	

<b>F.A.R. Calculation</b> <b>(Town Square portion of site)</b>		Phase II Floor Area - Designed	Total Floor Area	F.A.R.
Net Occupiable Space		12,148	12,148	1.71 :1

# Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

## Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

### Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
	From previous application: Based upon the approved uses for Phase II which have already been mitigated, the calculator determines that a credit of 4.966 units exists				

Existing Workforce Housing Credit **4.966**

### Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Conventional Lodging	0.102*bedrooms	1		9	<b>0.919</b>
Restaurant/Bar	0.000599*sf		4719	1	<b>2.825</b>
Retail	0.000216*sf		4579	1	<b>0.988</b>

Affordable Workforce Housing Required: 4.733 units

Fee-in-Lieu Amount: n/a

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).

## Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted June 26, 2018. Cells that can be modified are highlighted in gold, other cells are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, it is best to start with a fresh worksheet in order to reset the auto population equations for the gold cells.

**Step 1. Describe your project.** Enter as many rows as needed to describe the different uses and unit types proposed. Select a use from the use table in the left most gold boxes. In the other gold boxes, describe each use's size in floor area and bedrooms (if applicable), then describe how many units of each use type are proposed. The required affordable housing will calculate for each unit and populate the Total box. See also Sections 6.3.2 and 6.3.3 of the proposed LDRs.

Use	LDR Rate	Proposed Use Size (bedrooms)	Proposed Use Size (sf)	Proposed Use Quantity	Affordable Units Required
Restaurant/Bar	0.001197 * sf	0	2540	1	<b>3.042</b>
Retail	0.000431 * sf		2094	1	<b>0.903</b>
Conventional Lodging	0.204 * bedrooms	1	1500	5	<b>1.021</b>
					?
					?
					?
					?
					?
					?
					?
					?
<b>Total</b>		1	6134	7	<b>4.966</b>

Step 2. What types of units are required? The proposed LDRs lay out a schedule for how many units have to be in each income ranges and how many units have to have 1, 2, or 3 bedrooms. The LDRs also allow for adjustment. To propose an adjusted allocation, change the values in the proposed column/row (gold cells); the customized allocation must meet the customization rules provided, and may not result in less affordable workforce units provided than are required. If a rule is violated the cell will turn red. See also Section 6.3.4 of the proposed LDRs.

Affordability	LDR Schedule	Proposed	Custom %	Customization Rules
Rental Units Affordable to Households making 50% Median Income	1.000	1.000	20%	Custom % shall be $\geq$ 25%
Rental Units Affordable to Households making 80% Median Income	1.000	1.000	20%	Custom % shall be $\geq$ 19%
Rental/Ownership Units Affordable to Households making 120% Median Income	2.966	2.966	60%	Custom % shall be $<$ 43%
Rental/Ownership Workforce Units	0.000	0.000	0%	Custom % shall be $<$ 13%
Total	4.966	4.966		Proposed total shall be $\geq$ Required

Bedroom Mix	1 Bed/Studio	2 Bedroom	3 Bedroom	Total Units	Total Employees Housed	Customization Rule
LDR Schedule	2.000	2.000	0.966	4.966	8.940	
Proposed Allocation	2.000	2.000	0.966	4.966	8.930	Proposed totals shall be >= Schedule totals
Employees per Unit per LDRs	1.45	2.00	2.10	1.80		

**Step 3. Distribute the affordability and bedroom mix.** The bedroom mix must be proportionaly distributed among the affordability mix. If you modify the distribution (gold cells) the totals must match your allocation totals (they will turn red if they don't). A customized distribution should be within 1 (rounded up or down) of the even distribution. See also Section 6.3.4 of the proposed LDPs.

Requirement Distribution					Even Distribution		
	1 Bed/Studio	2 Bedroom	3 Bedroom	Total	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	1.000	0.000	0.000	1.000	0.429	0.429	0.143
Affordable to 80% Median Income	0.000	1.000	0.000	1.000	0.429	0.429	0.143
Affordable to 120% Median Income	1.000	1.000	0.966	2.966	1.271	1.271	0.424
Workforce Restriction	0.000	0.000	0.000	0.000	0.000	0.000	0.000
Total	2.000	2.000	0.966				

**Step 4. How will the required housing be provided?** The proposed LDRs require that unless impractical any housing requirement of 1 unit or greater be provided through construction of housing. If impractical the units may be provided by dedication of land, use of a banked unit, or restriction of an existing unit. Only as a last option shall a fee be paid. Enter the number of units to be constructed or provided through land dedication, use of a banked unit, or restriction of an existing unit (gold boxes). The information will be used in the LDRs for the proposed LDRs.

	Units Constructed		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	1.000	0.000	0.000
Affordable to 80% Median Income	0.000	1.000	0.000
Affordable to 120% Median Income	1.000	1.000	0.000

Units Provided via Land Dedication		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

	Banked Units Used		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	0.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

Existing Units Restricted		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

	Units Provided via In-Lieu Fee			Fee				
	1 Bed/Studio	2 Bed	3 Bed	1 Bed/Studio	2 Bed	3 Bed		
Affordable to 50% Median Income	0.000	0.000	0.000	\$ -	\$ -	\$ -		
Affordable to 80% Median Income	0.000	0.000	0.000	\$ -	\$ -	\$ -		
Affordable to 120% Median Income	0.000	0.000	0.966	\$ -	\$ -	\$ 312,870		
Workforce Restriction	0.000	0.000	0.000	\$ -	\$ -	\$ -		
							Total	\$ 312,870

## Hotel Jackson Parking Calculation

Updated: 6.13.22

### From Planning Application

Use	Req'd Spaces				SF/Units	# Spaces
Conventional Lodging	0.75	per	LU		59	44.25
Assembly Spaces						
Meeting Room	1	per	150	sf	624	4.16
Conference Areas	1	per	150	sf	1,947	12.98
Accessory Commercial						
Retail*	4.5	per	500	sf	2,094	4.19
Kitchen (Restaurant)	1	per	500	sf	661	1.32
Spa	1	per	500	sf	412	0.82
Dining**	1	per	55	sf	2,540	46.18
Bar Area	2	per	55	sf		
(Un)Loading Glenwood					3	3.00
Employee Housing						
One (1) Studio Apt	1.25	per	DU		1	1.25
Two (2) Bed	2	per	DU		2	4.00
Sub-Total Basic Demand					122.16	

### Current Design

Phase I	Phase II	Total		# Spaces
55	9	64		48.00
343	0	343	sf	2.29
0	0	0	sf	0.00
0	1,742	1,742	sf	3.48
952	2,604	3,556	sf	7.11
343	5,230	5,573	sf	11.15
683	1,595	2,278	sf	41.42
419	1,696	2,115	sf	38.45
1		1		1.25
2		2		4.00
Sub-Total Basic Demand				
157.15				

### Parking Credits Summary

Non-Residential Shared Parking	41
On Street Parking Credit North Cache St	2
On Street Parking Credit North Glenwood ST	3
On site Employee housing Credit	5
Prior Use Credit	66
Sub Total	117

Parking Credits 117

Total Required Parking 40.15

### Parking Provided

Garage ADA	2
Garage stacked	40
On street	3
<b>Total Parking Provided</b>	<b>45</b>

Additional Spaces Provided 4.85

### Color Legend

From Div 6.2	<span style="background-color: #d3d3d3; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span>
From Agenda	<span style="background-color: #ffd700; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span>

\* Retail is 1/500 sf per Agenda Item

\*\* seating areas, previously "Flex Space"





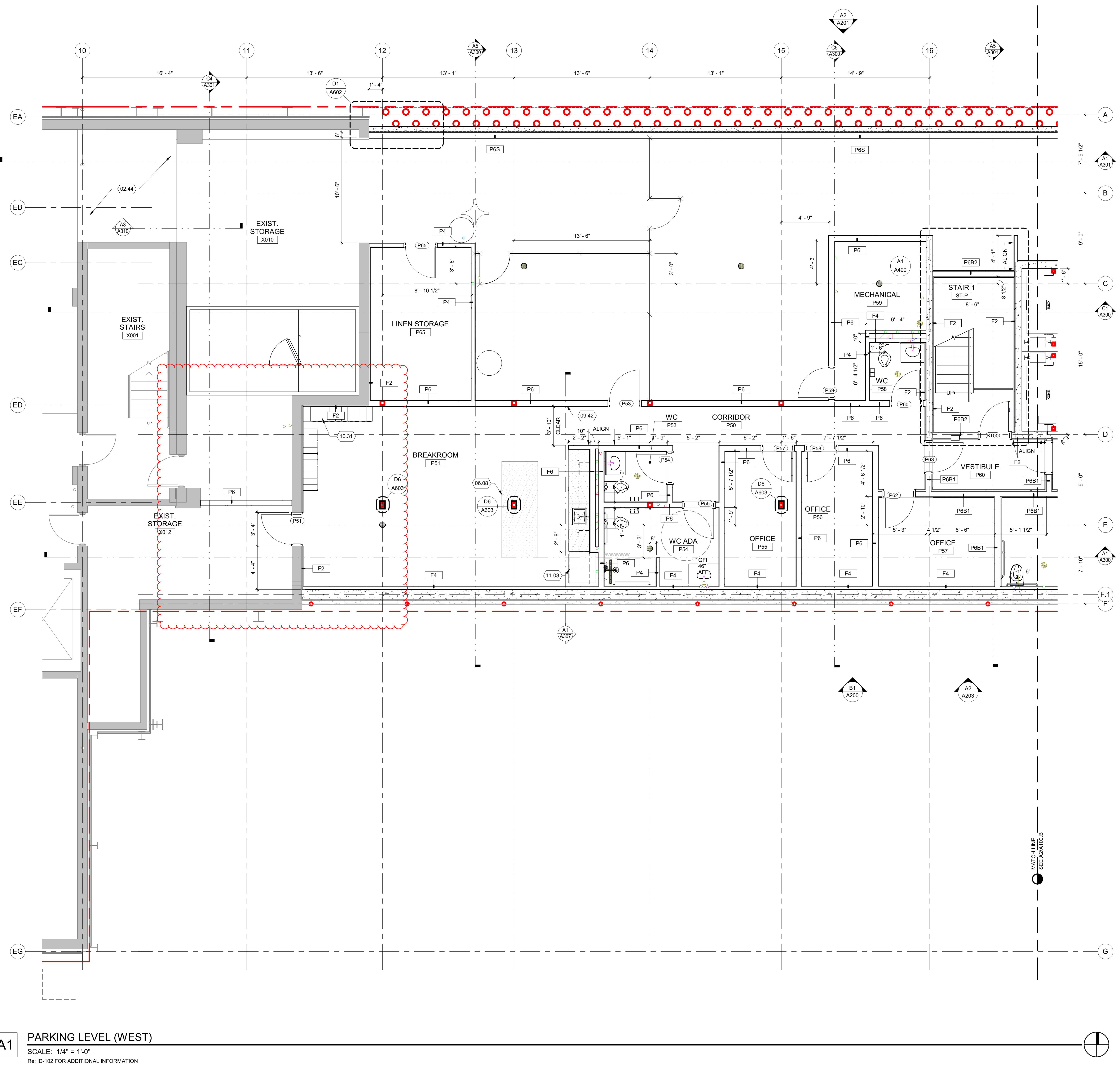
DATE: 28.12.2021

REVISION:

PROJECT NUMBER: 18015

**REFERENCE NOTES**

02.44 EXISTING RAMP TO REMAIN, FIELD VERIFY  
06.08 COUNTERTOP ISLAND  
09.42 ALIGN FINISH TO OPPOSITE WALL  
10.31 LOCKERS  
11.03 REFRIGERATOR



**FLOOR PLAN - PARKING LEVEL (WEST)**

A100.A

Architectural floor plan of a medical facility, likely a dental office, showing various rooms, dimensions, and fixtures. The plan includes sections for Storage, Treatment, Therapy Prep, and a Vestibule. Key rooms include ADA Showers, Treatment Areas, and a Waiting Room. The plan is detailed with dimensions, fixture types, and specific room labels like 'ELEV 1' and 'ELEV 2'.

Dimensions and Labels:

- Overall width: 83' 2 1/2"
- Overall depth: 34' 7"
- Rooms and fixtures labeled include: VESTIBULE, ELEV 1, ELEV 2, STORAG, TREATMENT, THERAPY PREP, ADA SHOWER, SHOWER, WAITING, OFFICE, and various fixture types (F2B, P4B1, P4B2, P4T1, P4, P402, P400, P401, P403, P404, P405, P406, P407, P408, P409, P410, P411, P412, P413, P414, P415, P416, P417, P418, P419, P420, P421, P422, P423, P424, P425, P426, P427, P428, P429, P430, P431, P432, P433, P434, P435, P436, P437, P438, P439, P440, P441, P442, P443, P444, P445, P446, P447, P448, P449, P450, P451, P452, P453, P454, P455, P456, P457, P458, P459, P460, P461, P462, P463, P464, P465, P466, P467, P468, P469, P470, P471, P472, P473, P474, P475, P476, P477, P478, P479, P480, P481, P482, P483, P484, P485, P486, P487, P488, P489, P490, P491, P492, P493, P494, P495, P496, P497, P498, P499, P4100, P4101, P4102, P4103, P4104, P4105, P4106, P4107, P4108, P4109, P4110, P4111, P4112, P4113, P4114, P4115, P4116, P4117, P4118, P4119, P4120, P4121, P4122, P4123, P4124, P4125, P4126, P4127, P4128, P4129, 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**A2** PARKING LEVEL (EAST)  
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

## REFERENCE NOTES

05.58 PILE BY SHORING CONTRACTOR  
10.20 FIREPLACE; VENTLESS GAS  
12.23 ARTWORK; PROVIDE BACKING, OWNER  
FURNISHED AND INSTALLED  
22.25 PRE-FAB FOUNTAIN; PROVIDE PLUMBING  
26.16 DECORATIVE LIGHT FIXTURE: OFCI

135 N CACHE ST.  
JACKSON WY  
PERMIT REVIEW - JAN. 10, 2022

135 N CACHE ST.  
JACKSON WY  
PERMIT REVIEW - JAN. 10, 2020

NUMBER 18015  
DOOR  
MAN -  
WORKING  
WEL  
AST)

00.B

NUMBER 18015

# GENERAL FLOOR PLAN NOTES

- DIMENSIONS ARE TO FACE OF NEW STUDS,  
FACE OF CONCRETE OR EXPOSED FACE OF  
EXISTING CONSTRUCTION U.N.O.  
DIMENSIONS MARKED AS CLEAR (CLR.) ARE TO  
FINISH FACE OF ASSEMBLY.  
CONTRACTOR TO VERIFY ALL EXISTING GRID  
LOCATIONS AND DIMENSIONS.  
SEE SHEET A412 FOR ALL ADA AND OTHER FIXTURE  
OUNTING STANDARDS AND CLEARANCE  
QUIREMENTS.  
DOOR JAMBS IN STUD WALLS ARE TO BE 4"  
AWAY FROM CORNER OF ADJACENT WALL, U.N.O.  
TALL GYPSUM BOARD CONTROL JOINTS EVERY  
6.O.C. (FOR GYPSUM BOARD WALL EXPANSES  
GREATERTHAN 30') U.N.O.  
WHITE AND GREY LINework IS OWNER SUPPLIED  
AND INSTALLED EQUIPMENT AND FURNITURE.  
CONTRACTOR TO COORDINATE WORK WITH  
OWNERS REPRESENTATIVE.  
SEE GUESTROOM PLANS FOR GUESTROOM  
FORMATION.  
SEE ELECTRICAL FOR LIGHTING DETAILS  
LINework IS FOR DESIGN INTENT PURPOSES  
ONLY - FABRICATOR SHALL PRODUCE SHOP  
DRAWINGS AND COORDINATE FINAL DETAILS WITH  
ARCHITECT.  
SEE FOOD SERVICE FOR KITCHEN EQUIPMENT  
FORMATION.  
ALL PARTITIONS ARE P4 U.N.O.  
ALL MEASUREMENTS SHALL BE VERIFIED BY THE  
CONTRACTORS AND SUB-CONTRACTORS MUST  
VERIFY FOR VARIANCES.

## FINISH LEGEND

Room  
name  
101  
F  
B  
W

WHEN ROOM IS NOT ELEVATED,  
ALL FINISHES ARE SHOWN IN THE  
TAG

WHEN ROOM IS ELEVATED, FLOOR  
FINISH SHOWN ON TAG

SEE ELEVATIONS FOR ADDITIONAL  
VERTICAL FINISHES

Room  
name  
101  
F

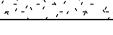
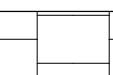
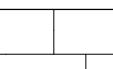
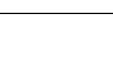
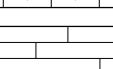
F = FLOOR FINISH  
B = BASE FINISH  
W = WALL FINISH

NF = NO FINISH  
\* = FINISHES VARY, SEE INTERIOR  
ELEVATIONS

SEE FINISH LEGEND FOR FINISHES

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## FLOOR FINISH HATCH LEGEND

-  CARPET
-  PORCELAIN TILE
-  PORCELAIN TILE
-  STONE
-  STONE
-  CONCRETE
-  WOVEN FLOORING
-  WOOD PLANK

NUMBER 18015

\_\_\_\_\_

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AN -  
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# WORKING

VEL

AST)

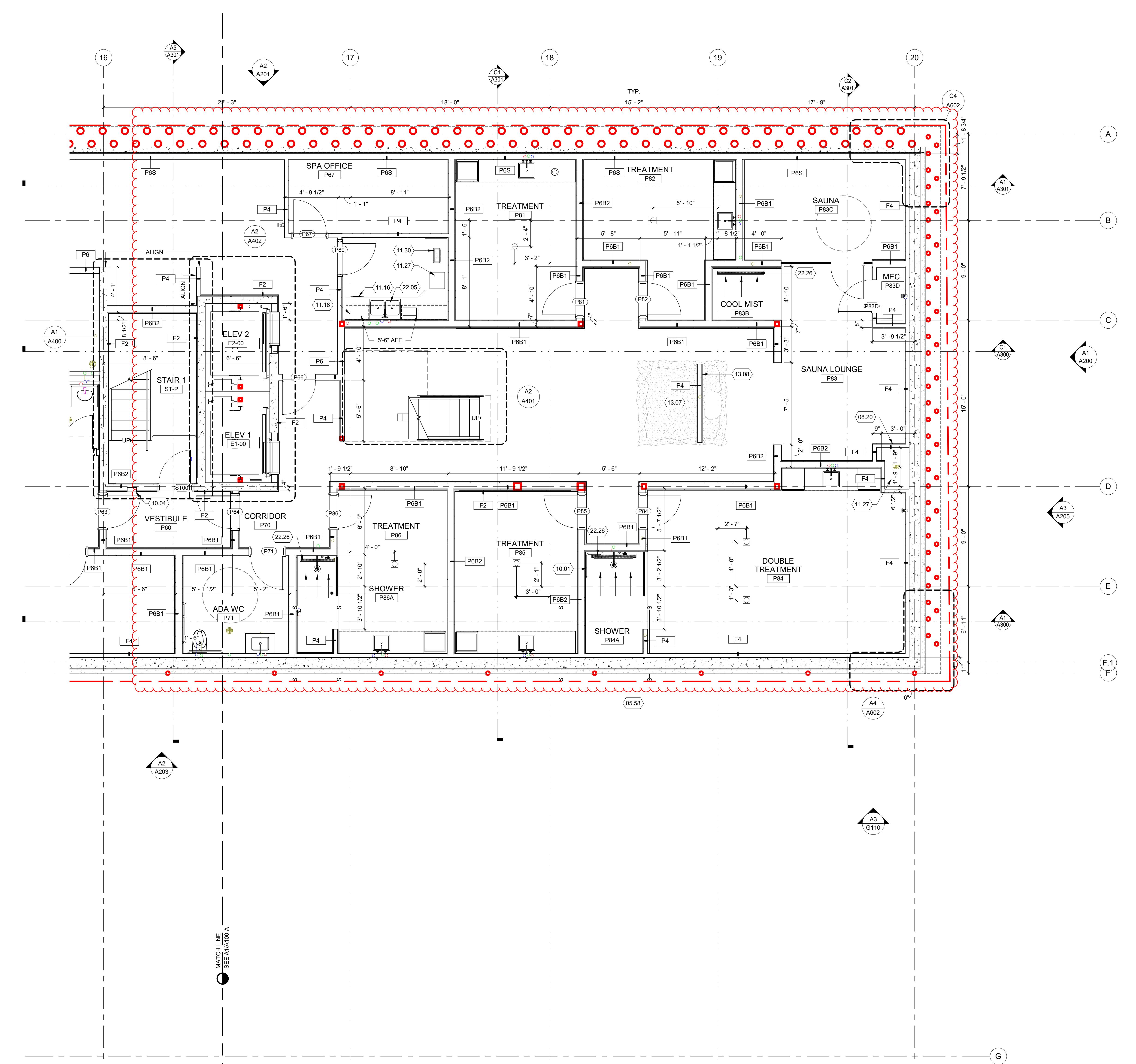
104

20 B



**REFERENCE NOTES**

06.07 CABINET, RE: INTERIOR CABINET DETAILS  
08.20 MECHANICAL ACCESS PANEL  
10.01 GRAB BARS, PROVIDE BACKING; REFER TO PLUMBING MOUNTING HEIGHTS  
10.04 FIRE EXTINGUISHER CABINET  
11.16 DISHWASHER  
11.18 MICROWAVE  
11.27 SPA EQUIPMENT  
11.29 SAUNA HEAT UNIT, BY OTHERS  
11.30 OWNER SUPPLIED COMPUTER WORKSTATION  
13.07 CUSTOM WATER FEATURE (FUTURE WORK)  
13.09 DOWNTOWNSIDE, REFER TO DOWNTOWNSIDE  
13.09.01 TIER GARDEN BY OTHERS  
22.05 LAVATORY, REFER TO PLUMBING DRAWINGS  
22.21 FAUCET, RE: PLUMBING DRAWINGS  
22.26 LINEAR SHOWER DRAIN, RE: PLUMBING DRAWINGS



**A2** PARKING LEVEL (EAST)  
SCALE: 1/4" = 1'-0"  
Re: ID-103 FOR ADDITIONAL INFORMATION

REFERENCE NOTES

05.58 PILE BY SHORING CONTRACTOR  
06.03 MILLWORK  
10.04 FIRE EXTINGUISHER CABINET  
10.29 PRE-FAB GREEN WALL; PROVIDE POWER AND WATER  
12.23 ARTWORK; PROVIDE BACKING, OWNER FURNISHED AND INSTALLED

GENERAL FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, FACE OF CONCRETE OR EXPOSED FACE OF EXISTING CONCRETE. A. DIMENSIONS MARKED AS CLEAR (CLR.) ARE TO FINISH FACE OF ASSEMBLY.
2. CONTRACTOR TO VERIFY ALL EXISTING GRID LOCATIONS AND DIMENSIONS.
3. SEE SHEET A412 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
4. ALL OPENINGS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
5. INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' O.C. (FOR GYPSUM BOARD WALL EXPANSION GROWTH).
6. DASHED AND GREY LINEWORK IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE. CONTRACTOR TO COORDINATE WORK WITH OWNER'S REPRESENTATIVE.
7. SEE GUESTROOM PLANS FOR GUESTROOM INFORMATION.
8. SEE ELECTRICAL FOR LIGHTING DETAILS.
9. MILLWORK FOR FURNITURE PURPOSES ONLY - FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
10. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
11. ALL PARTITIONS ARE P4 U.N.O.
12. ALL MEASUREMENTS SHALL BE VERIFIED BY THE G.C.
13. CONTRACTORS AND SUB-CONTRACTORS MUST VERIFY FOR VARIANCES.

SYMBOL LEGEND



FINISH LEGEND

Room name	101	WHEN ROOM IS NOT ELEVATED, ALL FINISHES ARE SHOWN IN THE TAG
	F	WHEN ROOM IS ELEVATED, FLOOR FINISH SHOWN ON TAG
	B	SEE ELEVATIONS FOR ADDITIONAL VERTICAL FINISHES
Room name	101	
	F	F = FLOOR FINISH B = BASE FINISH W = WALL FINISH
		NF = NO FINISH + = FINISHES VARY, SEE INTERIOR ELEVATIONS
		SEE FINISH LEGEND FOR FINISHES

**HOTEL JACKSON PHII**  
135 N CACHE ST.  
JACKSON WY  
PERMIT REVIEW - JAN. 10, 2020

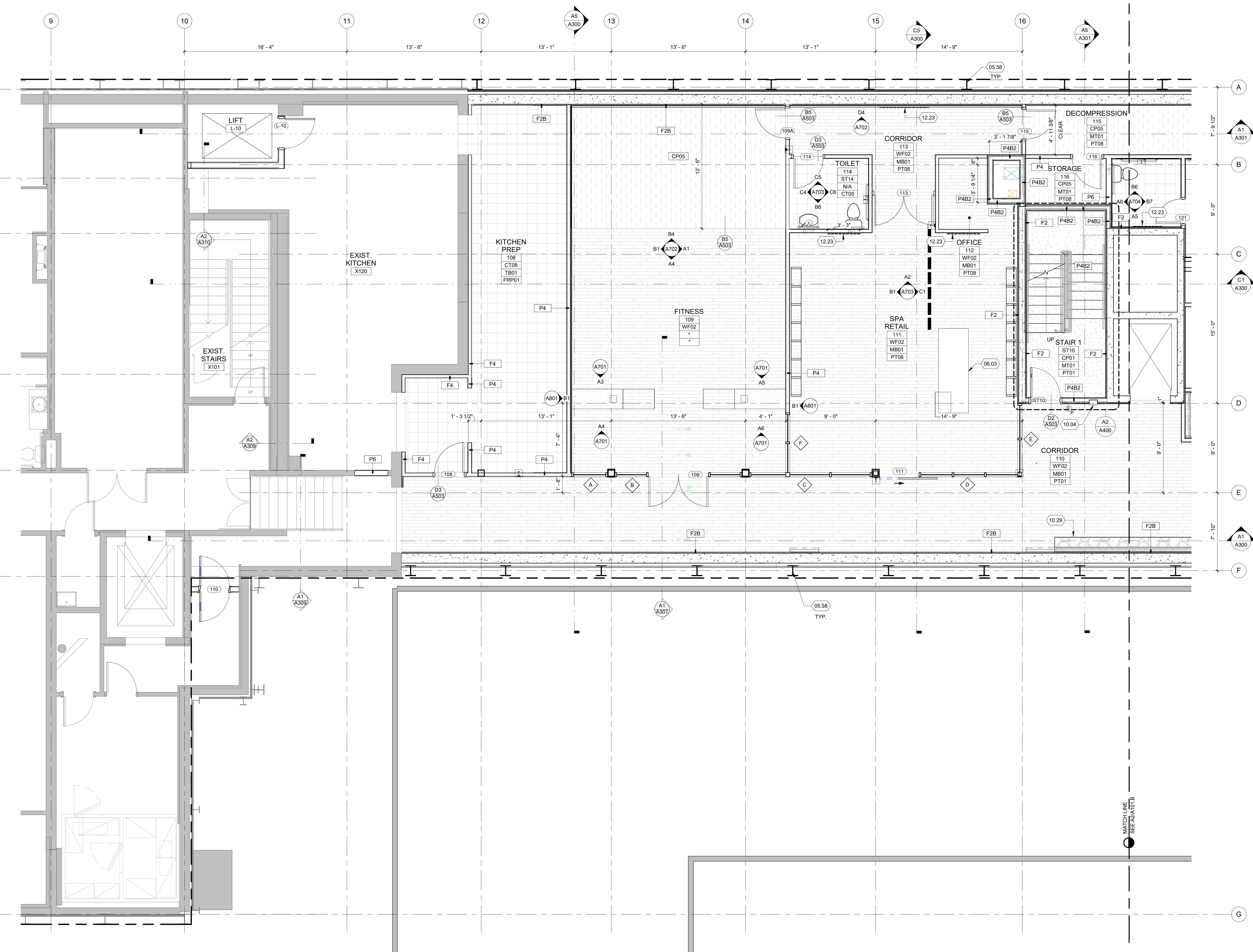
LICENSED ARCHITECT  
KEVIN A. MARKS  
C-2777  
Date: 1-10-20  
State of Wyoming  
EXP 12-31-2020

FLOOR FINISH HATCH LEGEND

	CARPET
	PORCELAIN TILE
	PORCELAIN TILE
	STONE
	STONE
	CONCRETE
	WOVEN FLOORING
	WOOD PLANK

FLOOR PLAN -  
BASEMENT  
LEVEL  
(WEST)

A101.A



A1  
BASEMENT LEVEL (WEST)  
SCALE: 1/4" = 1'-0"



DATE: 28.12.2021

REVISION: 0

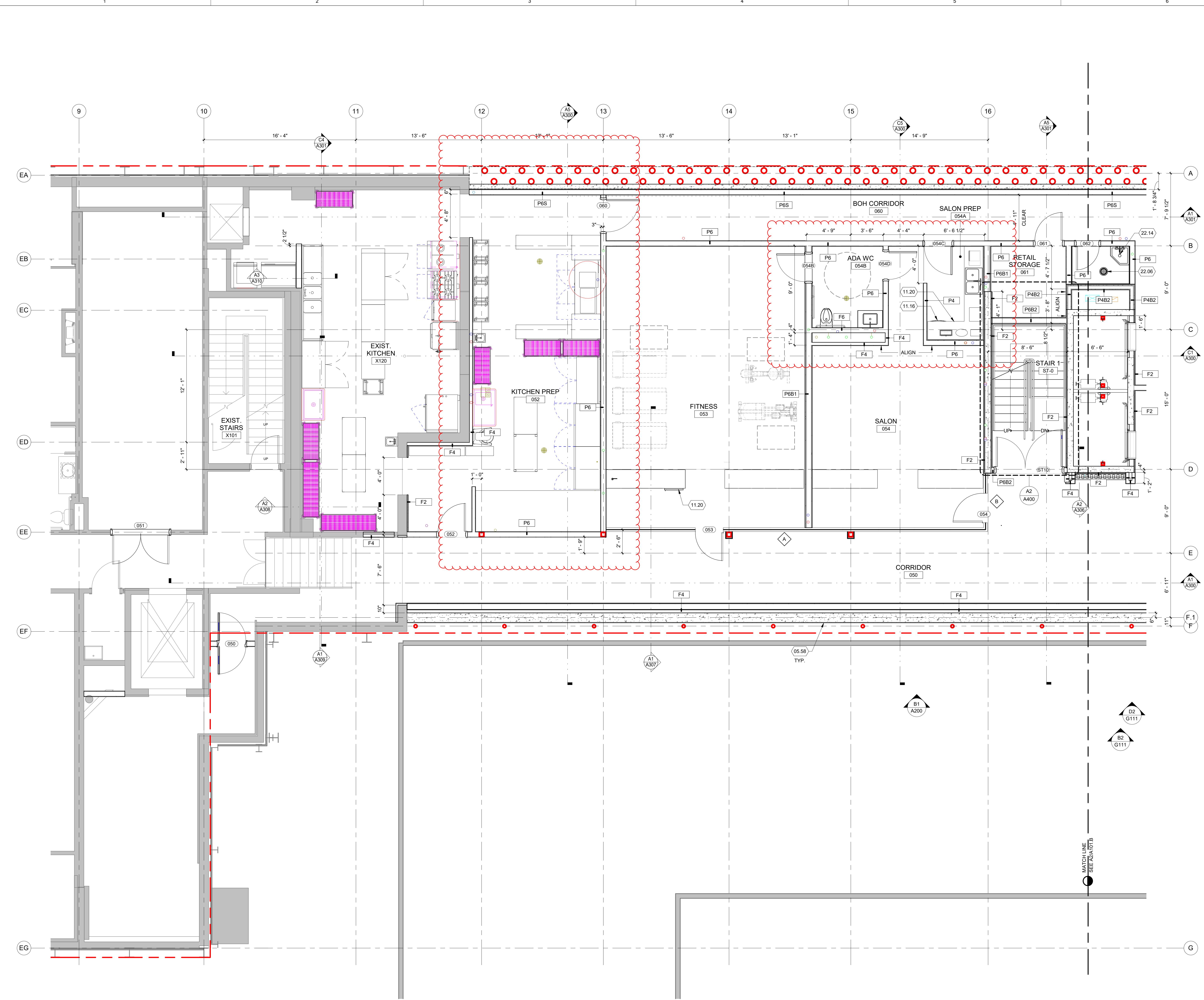
PROJECT NUMBER: 18015

**FLOOR PLAN - BASEMENT LEVEL (WEST)**

A101.A

**REFERENCE NOTES**

- 05.58 PILE BY SHORING CONTRACTOR
- 11.16 DISHWASHER
- 11.20 REFRIGERATOR
- 11.25 WATER DISPENSER
- 22.06 FLOOR DRAIN, RE: PLUMBING DRAWINGS
- 22.14 SERVICE SINK
- 22.27 PEDICURE FOOT SINK, PROVIDE PLUMBING



**A1**  
BASEMENT LEVEL (WEST)  
SCALE: 1/4" = 1'-0"  
Re: ID-104 FOR ADDITIONAL INFORMATION

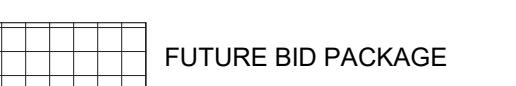
**REFERENCE NOTES**

05.58 PILE BY SHORING CONTRACTOR  
09.30 DRAPERY, OWNER FURNISHED AND INSTALLED  
10.04 FIRE EXTINGUISHER CABINET  
10.29 PRE-PAINT GREEN WALL; PROVIDE POWER AND WATER  
11.22 RECESSED HAND DRYER  
12.23 ARTWORK, PROVIDE BACKING, OWNER FURNISHED AND INSTALLED

**GENERAL FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, FACE OF CONCRETE OR EXPOSED FACE OF EXISTING CONSTRUCTION U.N.O.
2. CONTRACTOR TO VERIFY ALL EXISTING GRID LOCATIONS AND DIMENSIONS.
3. SEE ELEVATION A412 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
4. ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CCS OF ADJACENT WALL, N.O. INSIDE. DOOR JAMBS ARE TO BE CLEAR (CLR.) ARE TO FINISH FACE OF ASSEMBLY.
5. SEE ELEVATION A412 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
6. DASHED AND GREY LINework IS OWNER SUPPLIED AND CONTRACTOR IS TO COORDINATE WITH CONTRACTOR TO COORDINATE WORK WITH OWNERS REPRESENTATIVE.
7. SEE GUESTROOM PLANS FOR GUESTROOM INFORMATION.
8. SEE ELECTRICAL FOR LIGHTING DETAILS.
9. MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY - FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
10. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
11. ALL PARTITIONS ARE P4 U.N.O.
12. ALL MEASUREMENTS SHALL BE VERIFIED BY THE G.C.
13. CONTRACTORS AND SUB-CONTRACTORS MUST VERIFY FOR VARIANCES.

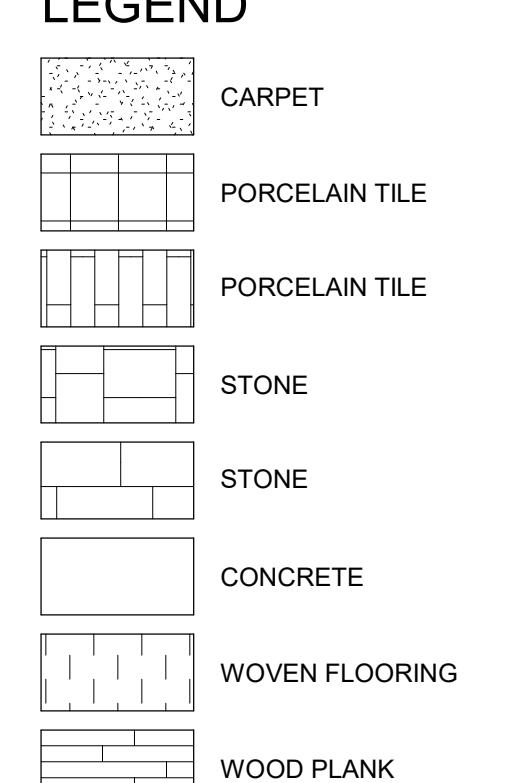
**SYMBOL LEGEND**



**FINISH LEGEND**

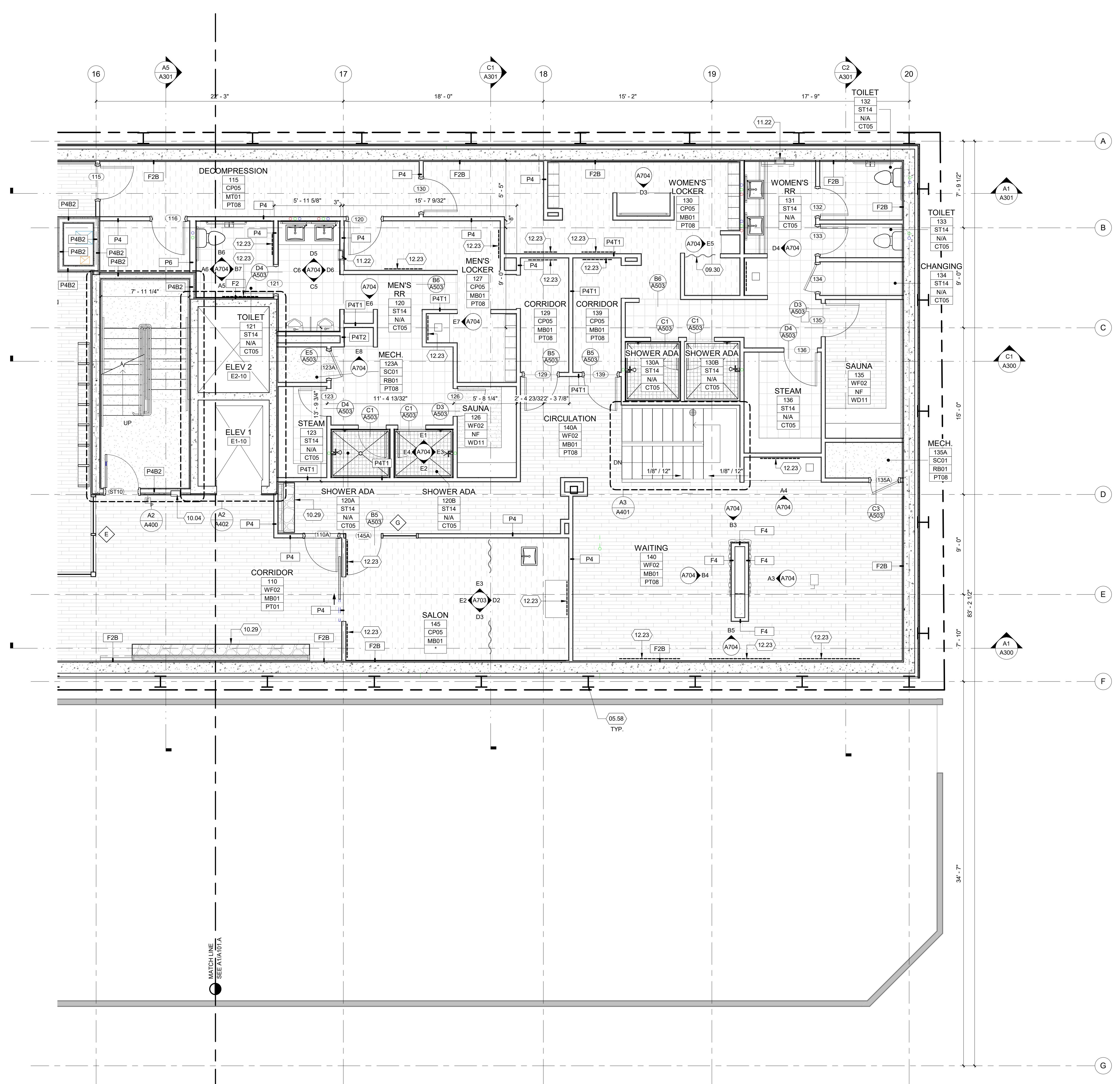
Room name	101	WHEN ROOM IS NOT ELEVATED, ALL FINISHES ARE SHOWN IN THE TAG
	F	WHEN ROOM IS ELEVATED, FLOOR FINISH SHOWN ON TAG
	B	SEE ELEVATIONS FOR ADDITIONAL VERTICAL FINISHES
Room name	101	
	F	F = FLOOR FINISH B = BASE FINISH W = WALL FINISH
		NF = NO FINISH = FINISHES VARY, SEE INTERIOR ELEVATIONS
		SEE FINISH LEGEND FOR FINISHES

**FLOOR FINISH HATCH LEGEND**



PROJECT NUMBER 18015  
**FLOOR PLAN - BASEMENT LEVEL (EAST)**

A101.B





KEVIN A. MASS  
Date: 28-12

DATE REVISION

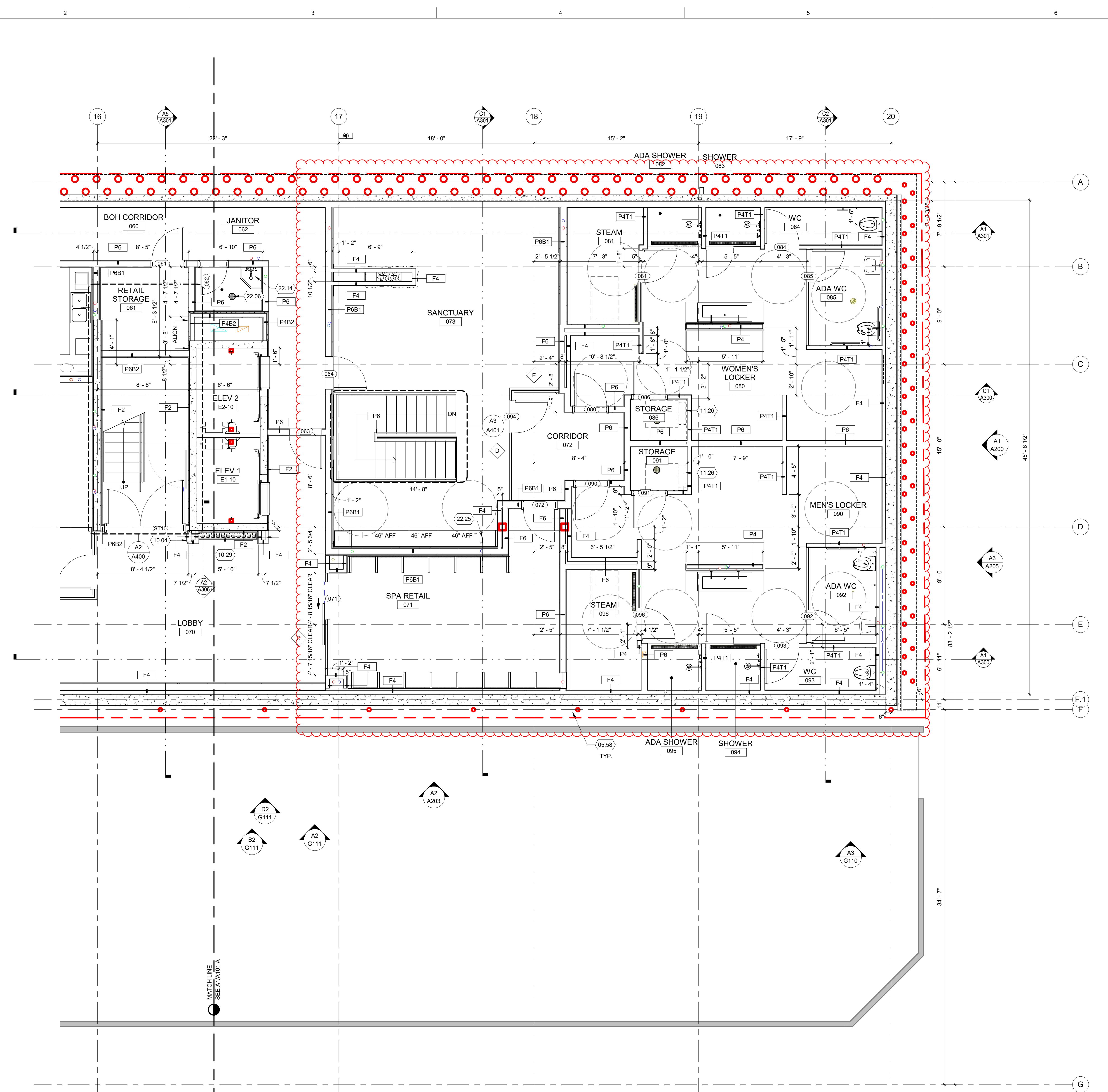
PROJECT NUMBER 18015

**FLOOR PLAN - BASEMENT LEVEL (EAST)**

A101.B

**REFERENCE NOTES**

05.58 PIPE BY SHORING CONTRACTOR  
10.04 FIRE EXTINGUISHER CABINET  
10.29 PRE-FAB GREEN WALL; PROVIDE POWER AND  
WATER CONNECTION  
11.26 STEAM CONTROL PANEL  
22.06 FLOOR DRAIN; RE: PLUMBING DRAWINGS  
22.14 SERVICE SINK  
22.25 PRE-FAB FOUNTAIN; PROVIDE PLUMBING  
26.03 FLOOR OUTLET BOX

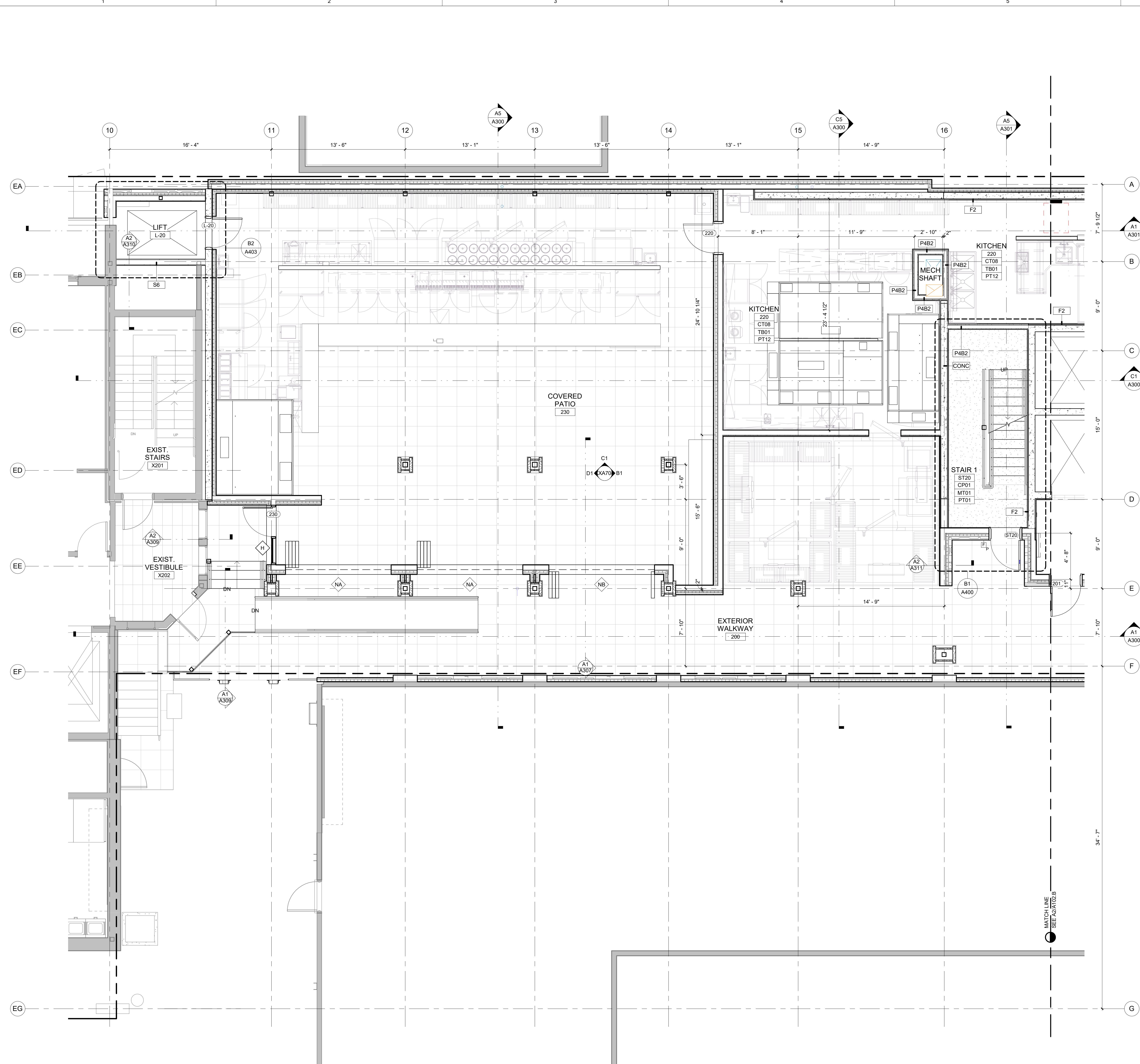


**A2** BASEMENT LEVEL (EAST)

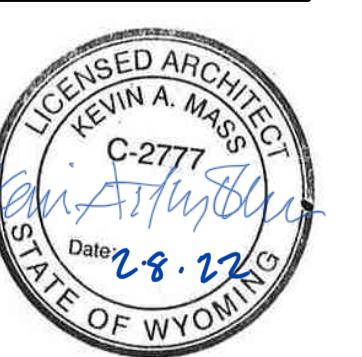
SCALE: 1/4" = 1'-0"  
Re: ID-105 FOR ADDITIONAL INFORMATION

28/2022 11:52:34 AM

REFERENCE NOTES



A1 CACHE STREET (WEST)  
SCALE: 1/4" = 1'-0"



DATE 7/22/2022

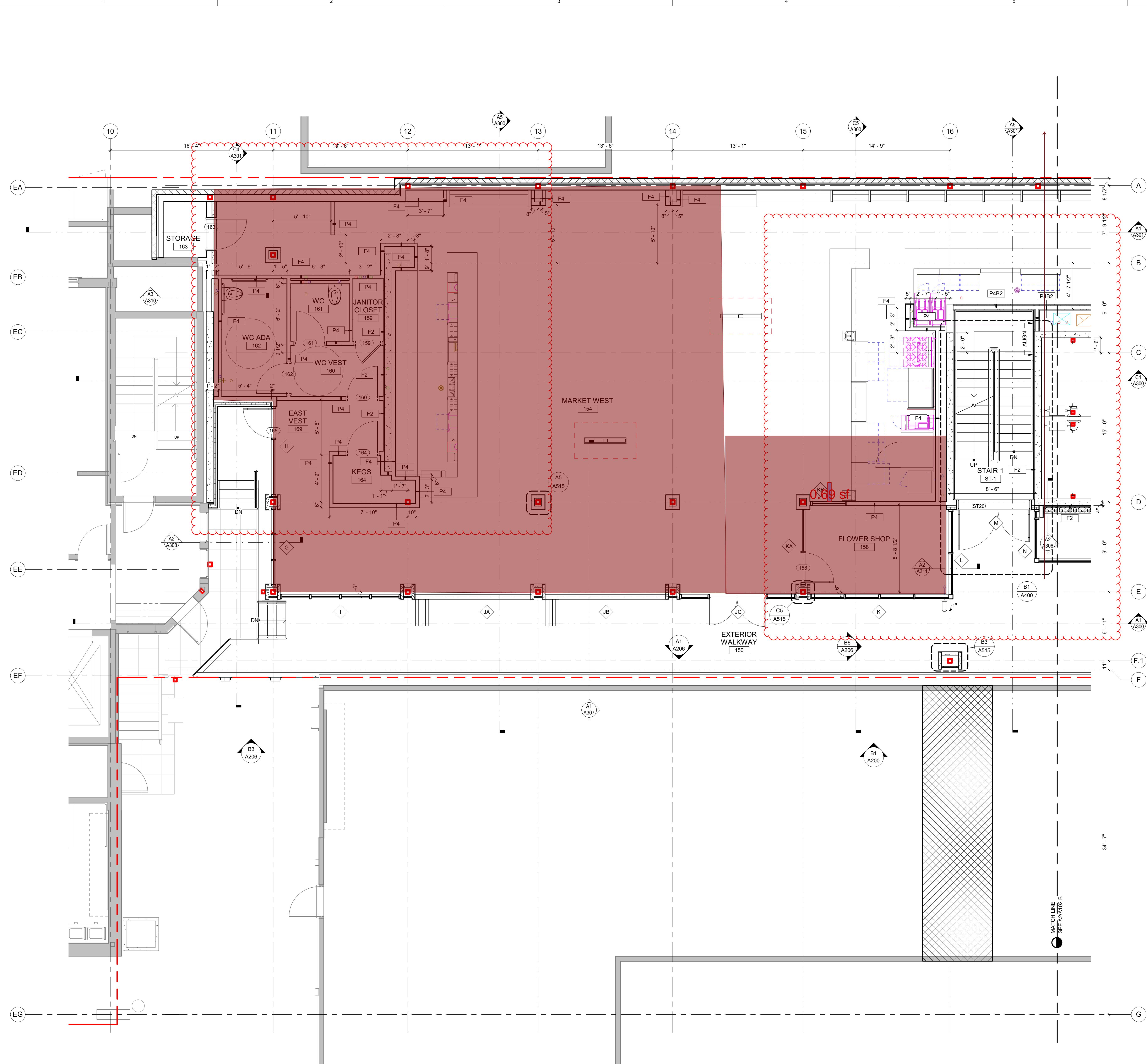
REVISION 0

PROJECT NUMBER 18015

REFERENCE NOTES

GENERAL FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DOCUMENTS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF NEW STUDS, EXCEPT WHERE NOTED AS TO FACE OF EXISTING CONSTRUCTION U.N.O.
- DIMENSIONS MARKED AS CLEAR (CLR) ARE TO FINISH FACE OF ASSEMBLY.
- CONTRACTOR SHALL EXISTING GRID LOCATIONS AND DIMENSIONS.
- SEE SHEET A700 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
- ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
- INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' ON C.O. FOR GYPSUM BOARD WALL EXPANSION GREATER THAN 30' U.A.C.
- DASHED AND GREY LINework IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE.
- CONTRACTOR TO COORDINATE WORK WITH OWNERS REPRESENTATIVE.
- SEE ELECTRICAL FOR LIGHTING DETAILS.
- MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY. FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
- SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
- ALL PARTITIONS ARE P4 U.N.O.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE G.C.
- CONTRACTORS AND SUB-CONTRACTORS MUST ALLOW FOR VARIANCES.
- THE INFORMATION USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION INDICATED OR NOTED IN ANY DISCREPANCIES.
- PARTITIONS, CEILINGS, AND/OR FLOORS WHERE DEMOLITION HAS OCCURRED, PREPARE SURFACES TO ACCEPT NEW FINISHES WHERE EXISTING DEFORMITIES OCCUR, REPAIR AS NOTED OR AS ADVISED BY MANUFACTURER OF NEW FINISH MATERIAL.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- ALSO REFER TO D100 SHEETS FOR FLOOR PLAN INFORMATION.



**A1** CACHE STREET (WEST)

SCALE: 1/4" = 1'0"  
Re: ID-106 FOR ADDITIONAL INFORMATION



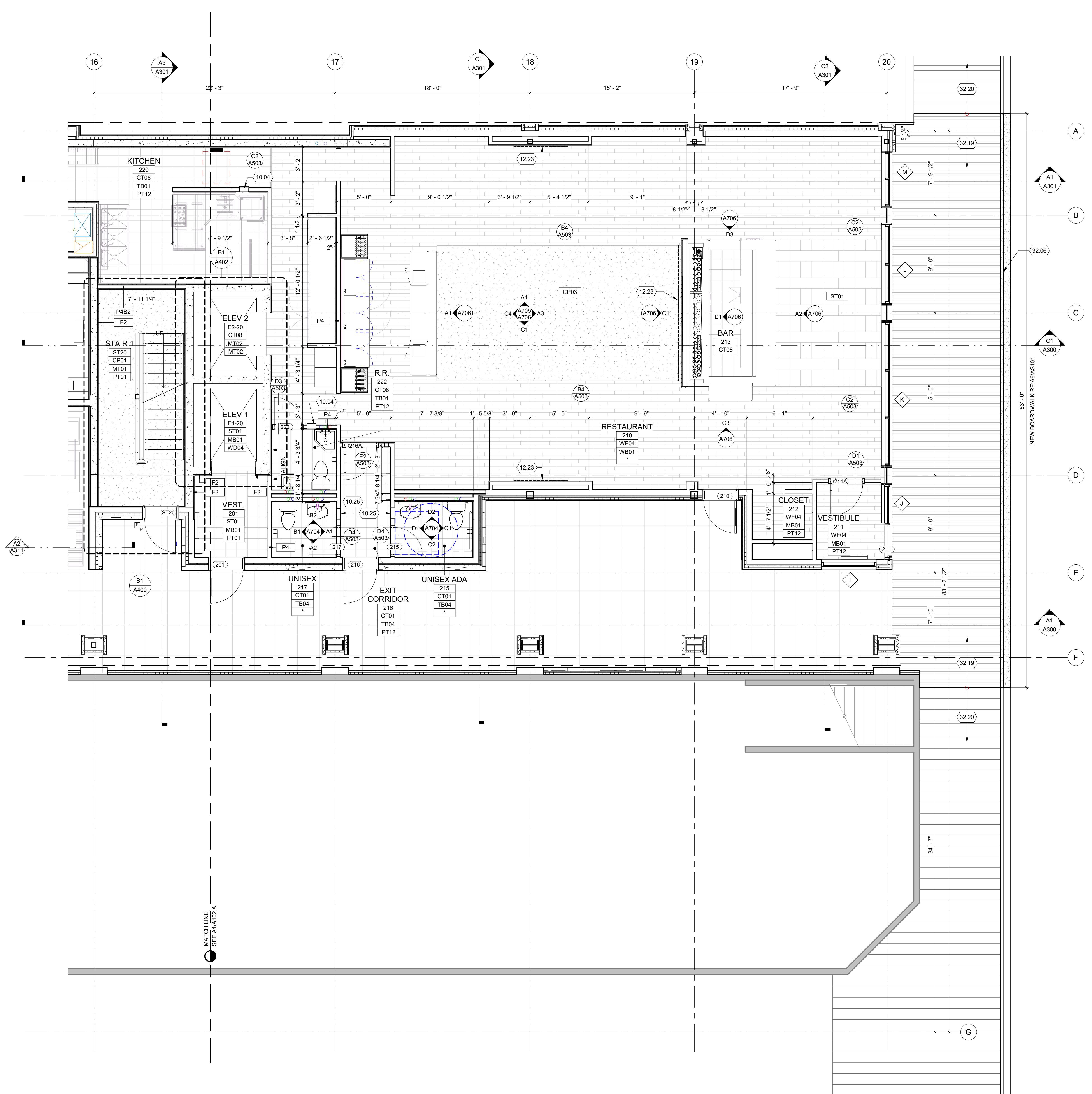
EXP 12-31-2020

DATE REVISION

**REFERENCE NOTES**

10.04 FIRE EXTINGUISHER CABINET  
10.25 PAPER TOWEL DISPENSER  
12.23 ARTWORK, PROVIDE BACKING, OWNER FURNISH  
32.06 CONCRETE CURB, RE A4/A5/100  
32.19 WOOD BOARDWALK, RE A5/A6/100  
32.20 EXISTING BOARDWALK TO REMAIN

PROJECT NUMBER 18015  
**FLOOR PLAN - CACHE STREET (EAST)**  
A102.B



**GENERAL FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, FACE OF CONCRETE OR EXPOSED FACE OF EXISTING CONSTRUCTION U.N.O.
2. DOORS ARE TO SWING CLEAR (CLR) ARE TO FINISH FACE OF ASSEMBLY.
3. CONTRACTOR TO VERIFY ALL EXISTING GRID LOCATIONS AND DIMENSIONS.
4. SEE ELEVATION FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
5. ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" O.C. (EXCEPT DOORS ON EXISTING STUD WALLS).
6. INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' O.C. (FOR GYPSUM BOARD WALL EXPANSION GREATER THAN 30') U.N.O.
7. DOORS AND GATEWAYS ARE OWNER SUPPLIED AND INSTALLED. EQUIPMENT AND FURNITURE, CONTRACTOR TO COORDINATE WORK WITH OWNERS REPRESENTATIVE.
8. SEE GUESTROOM PLANS FOR GUESTROOM INFORMATION.
9. SEE ELECTRICAL FOR LIGHTING DETAILS.
10. MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY. FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
11. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
12. ALL MEASUREMENTS SHALL BE VERIFIED BY THE G.C.
13. CONTRACTORS AND SUB-CONTRACTORS MUST VERIFY FOR VARIANCES.

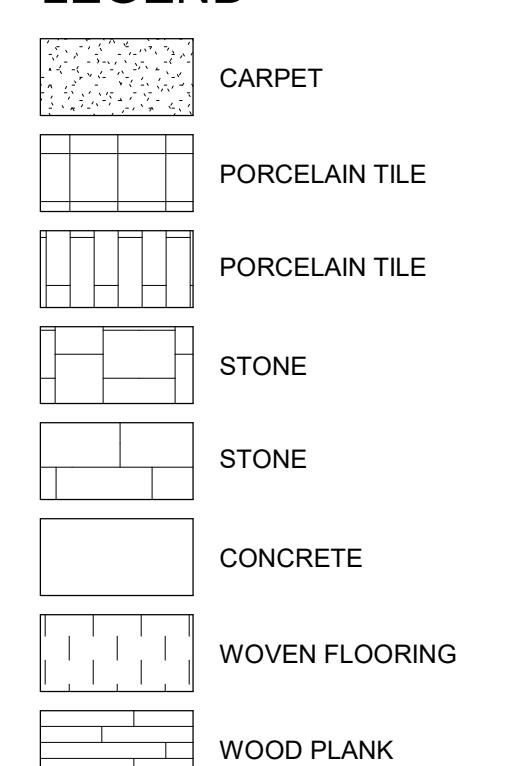
**SYMBOL LEGEND**




**FINISH LEGEND**

Room name	101	WHEN ROOM IS NOT ELEVATED, ALL FINISHES ARE SHOWN IN THE TAG
	F	WHEN ROOM IS ELEVATED, FLOOR FINISH SHOWN ON TAG
	B	SEE ELEVATIONS FOR ADDITIONAL VERTICAL FINISHES
Room name	101	W = WALL FINISH
	F	F = FLOOR FINISH
	B	B = BASE FINISH
	W	W = WALL FINISH
		NF = NO FINISH
		* = FINISHES VARY, SEE INTERIOR ELEVATIONS
		SEE FINISH LEGEND FOR FINISHES

**FLOOR FINISH HATCH LEGEND**



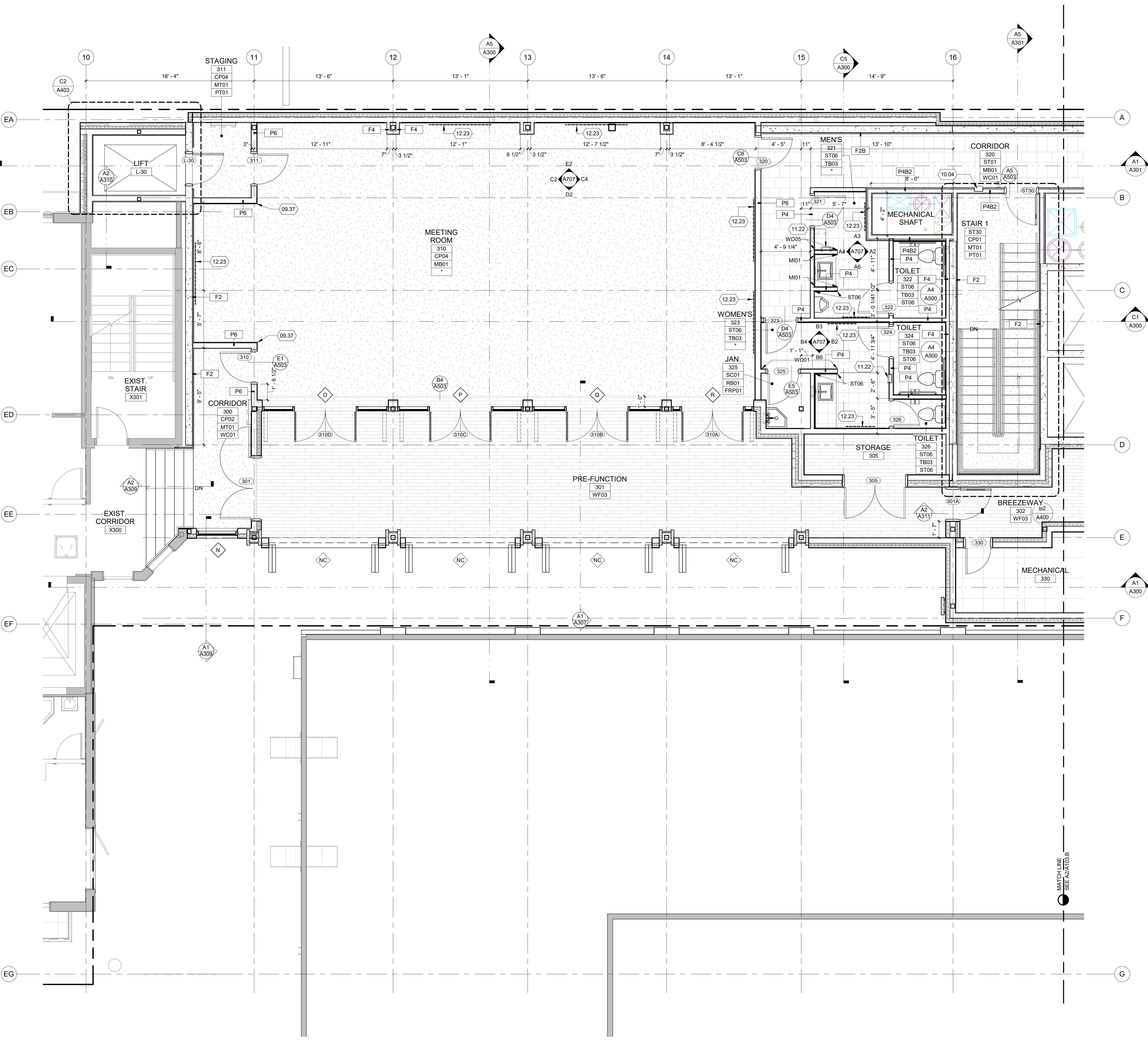




EXP 12-31-2020

**REFERENCE NOTES**

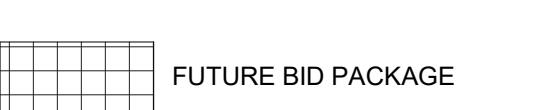
09.37 ALL WOOD CLAD CORNERS TO BE MITER CUT AND END MATCHED  
10.04 EXTRACTOR FISHER CABINET  
11.22 RECESSED HAND DRYER  
12.23 ARTWORK PROVIDE BACKING, OWNER FURNISHED AND INSTALLED



**GENERAL FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, FACE OF CONCRETE OR EXPOSED FACE OF EXISTING CONSTRUCTION U.N.C. A 1/4" MINIMUM CLEARANCE (CLR.) ARE TO FINISH FACE OF ASSEMBLY.
2. CONTRACTOR TO VERIFY ALL EXISTING GRID LOCATIONS AND DIMENSIONS.
3. SEE ELEVATIONS FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
4. ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" DEEP FROM CONCRETE SURFACE.
5. INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' O.C. (FOR GYPSUM BOARD WALL EXPANSION).
6. DASHED AND GREY LINE WORK IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE. CONTRACTOR TO COORDINATE WORK WITH OWNERS REPRESENTATIVE.
7. SEE GUEST ROOM PLANS FOR GUESTROOM INFORMATION.
8. SEE ELECTRICAL FOR LIGHTING DETAILS.
9. MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY. FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
10. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
11. ALL MEASUREMENTS ARE P4 U.N.C.
12. ALL MEASUREMENTS SHALL BE VERIFIED BY THE G.C.
13. CONTRACTORS AND SUB-CONTRACTORS MUST VERIFY FOR VARIANCES.

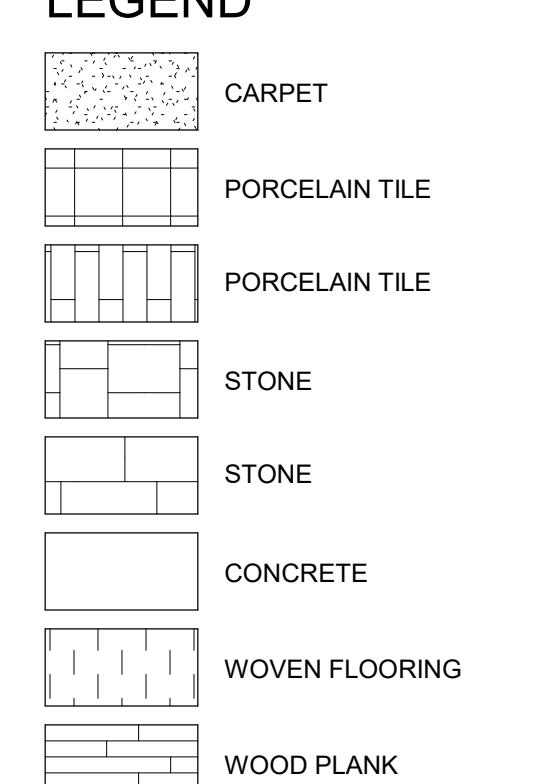
**SYMBOL LEGEND**



**FINISH LEGEND**

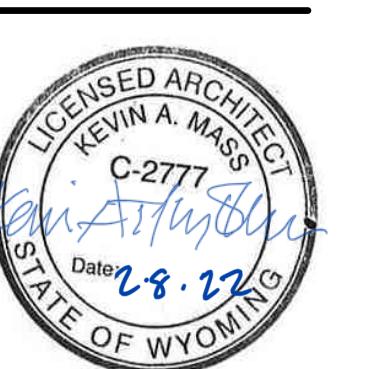
Room name	101	WHEN ROOM IS NOT ELEVATED ALL FINISHES ARE SHOWN IN THE TAG
	F	WHEN ROOM IS ELEVATED, FLOOR FINISH SHOWN ON TAG
	B	SEE ELEVATIONS FOR ADDITIONAL VERTICAL FINISHES
Room name	101	W
	F	F = FLOOR FINISH W = WALL FINISH
	NC	NC = NO FINISH = FINISHES VARY, SEE INTERIOR ELEVATIONS
		SEE FINISH LEGEND FOR FINISHES

**FLOOR FINISH HATCH LEGEND**



PROJECT NUMBER 18015  
FLOOR PLAN - SECOND FLOOR (WEST)

A103.A



DATE: 2/8/22

REVISION: 0

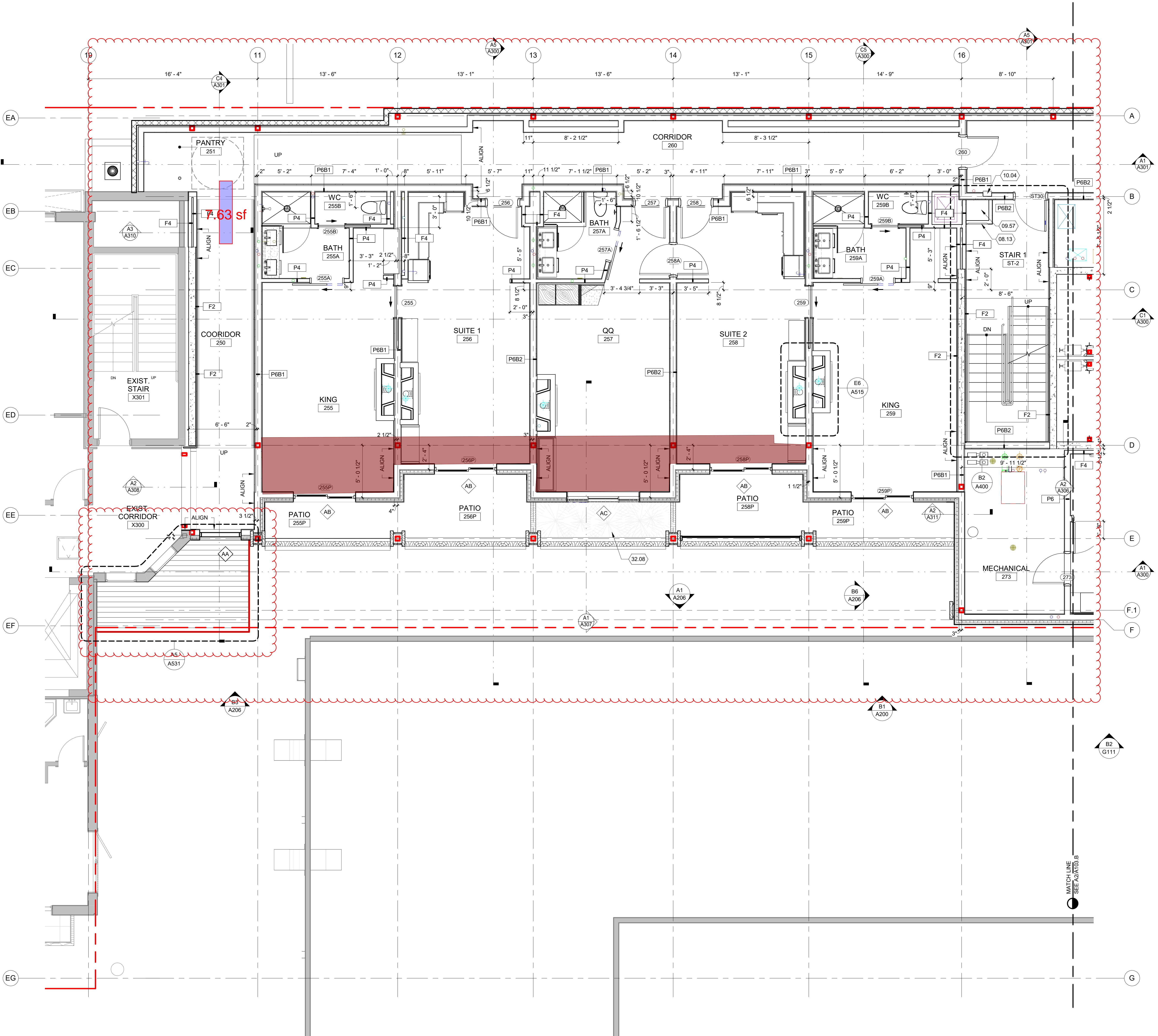
PROJECT NUMBER: 18015

**FLOOR PLAN - SECOND FLOOR (WEST)**

A103.A

**REFERENCE NOTES**

08.13 2'-0" X 2'-0" ACCESS HATCH  
09.57 FIRE RISER ENCLOSURE  
10.04 FIRE EXTINGUISHER CABINET  
32.08 PLANTING AREA. SEE LANDSCAPE DRAWINGS



**A1** SECOND FLOOR (WEST)

SCALE: 1/4" = 1'-0"  
Re: ID-108 FOR ADDITIONAL INFORMATION

**GENERAL FLOOR PLAN NOTES**

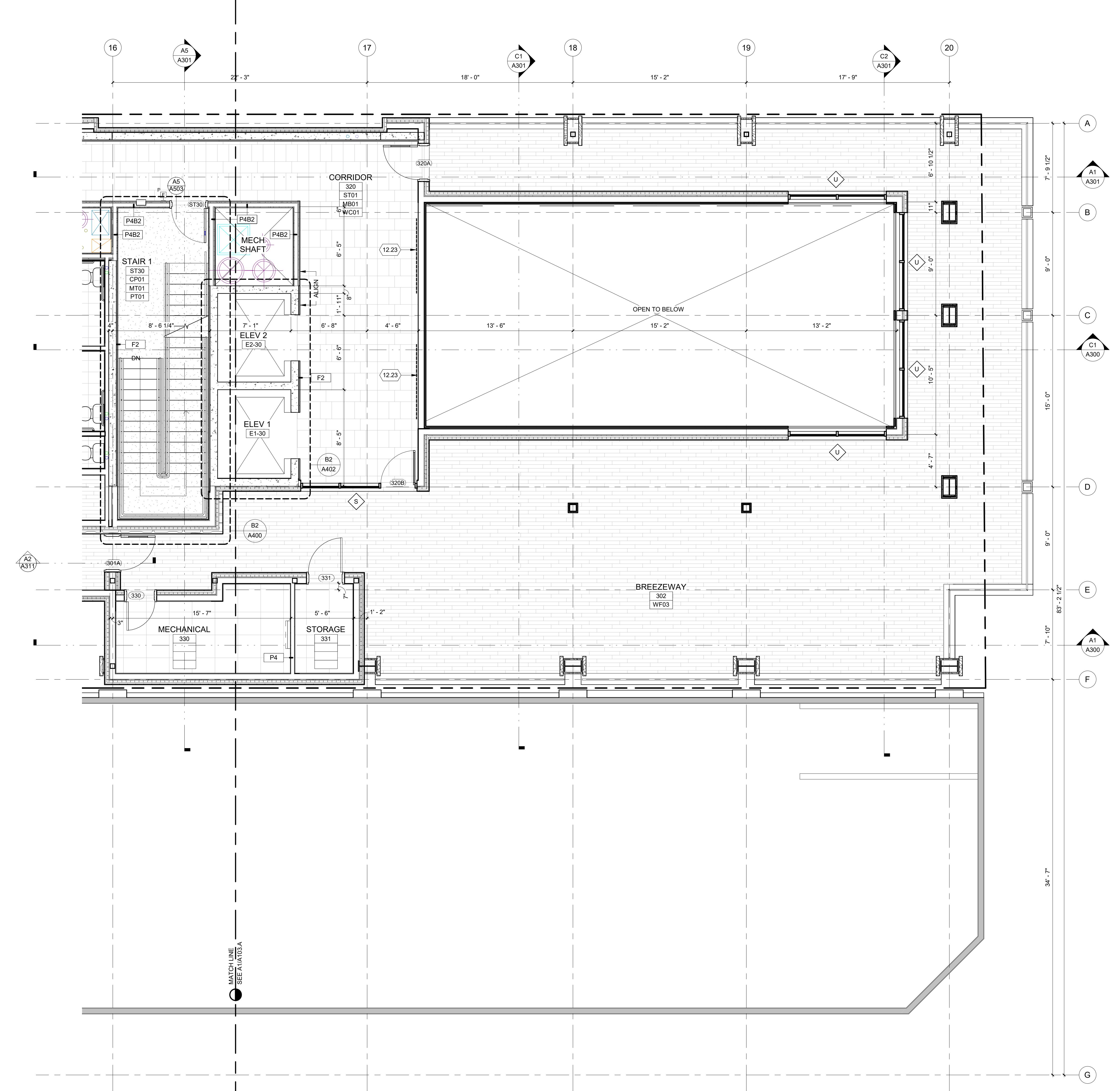
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DOCUMENTS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF NEW STUDS, EXCEPT WHERE NOTED AS TO FACE OF EXISTING CONSTRUCTION U.N.O.
- DIMENSIONS MARKED AS CLEAR (CLR) ARE TO FINISH FACE OF ASSEMBLY.
- CONTRACTOR SHALL FOLLOW EXISTING GRID LOCATIONS AND DIMENSIONS.
- SEE SHEET 4700 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
- ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
- INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' ON CENTER FOR GYPSUM BOARD WALL EXPANSION GREATER THAN 30' U.A.C.
- DASHED AND GREY LINework IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE. CONTRACTOR TO COORDINATE WORK WITH OWNERS REPRESENTATIVE.
- SEE ELECTRICAL FOR LIGHTING DETAILS.
- MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY. FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
- SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
- ALL PARTITIONS ARE P4 U.N.O.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE G.C.
- CONTRACTORS AND SUB-CONTRACTORS MUST ALLOW FOR VARIANCES.
- THE INFORMATION USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION INDICATED, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PATIOS, ROOFS, CEILINGS, AND/OR FLOORS WHERE DEMOLITION HAS OCCURRED, PREPARE SURFACES TO ACCEPT NEW FINISHES WHERE EXISTING DEFORMITIES OCCUR, REPAIR AS NOTED OR AS ADVISED BY MANUFACTURER OF NEW FINISH MATERIAL.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- ALSO REFER TO D100 SHEETS FOR FLOOR PLAN INFORMATION.



EXP 12-31-2020

DATE REVISION

REFERENCE NOTES  
12.23 ARTWORK: PROVIDE BACKING,  
OWNER FURNISHED AND INSTALLED



1/9/2020 11:19:48 AM

**GENERAL FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, FACE OF CONCRETE OR EXPOSED FACE OF EXISTING CONSTRUCTION U.N.O.
2. FINISH FACE OF ASSEMBLY IS TO EXISTING GRID LOCATIONS AND DIMENSIONS.
3. SEE SHEET A412 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
4. ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
5. INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30" U.N.O. IN STUD WALL EXPANSES GREATER THAN 30" U.N.O.
6. DASHED AND GREY LINWORK IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE. CONTRACTOR SHALL COORDINATE WORK WITH OWNERS REPRESENTATIVE.
7. SEE GUESTROOM PLANS FOR GUESTROOM INFORMATION.
8. SEE LIGHTING PLANS FOR LIGHTING DETAILS.
9. MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY - FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINA L DETAILS WITH ARCHITECT.
10. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
11. ALL PARTITIONS ARE P4 U.N.O.
12. ALL MEASUREMENTS SHALL BE VERIFIED BY THE GC.
13. CONTRACTORS AND SUB-CONTRACTORS MUST VERIFY FOR VARIANCES.

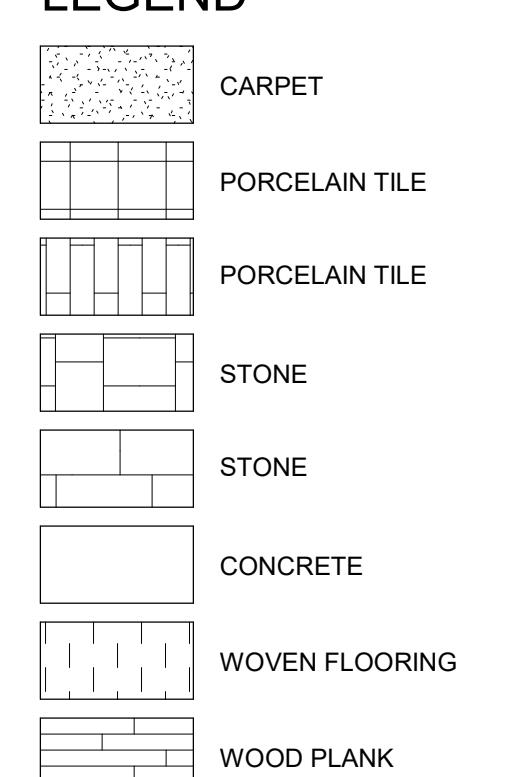
**SYMBOL LEGEND**



**FINISH LEGEND**

Room name	101	WHEN ROOM IS NOT ELEVATED, ALL FINISHES ARE SHOWN IN THE TAG
	F	WHEN ROOM IS ELEVATED, FLOOR FINISH SHOWN ON TAG
	B	SEE ELEVATIONS FOR ADDITIONAL VERTICAL FINISHES
Room name	101	
	F	F = FLOOR FINISH B = BASE FINISH W = WALL FINISH
		NF = NO FLOOR FINISH # = FINISHES VARY, SEE INTERIOR ELEVATIONS
		SEE FINISH LEGEND FOR FINISHES

**FLOOR FINISH HATCH LEGEND**



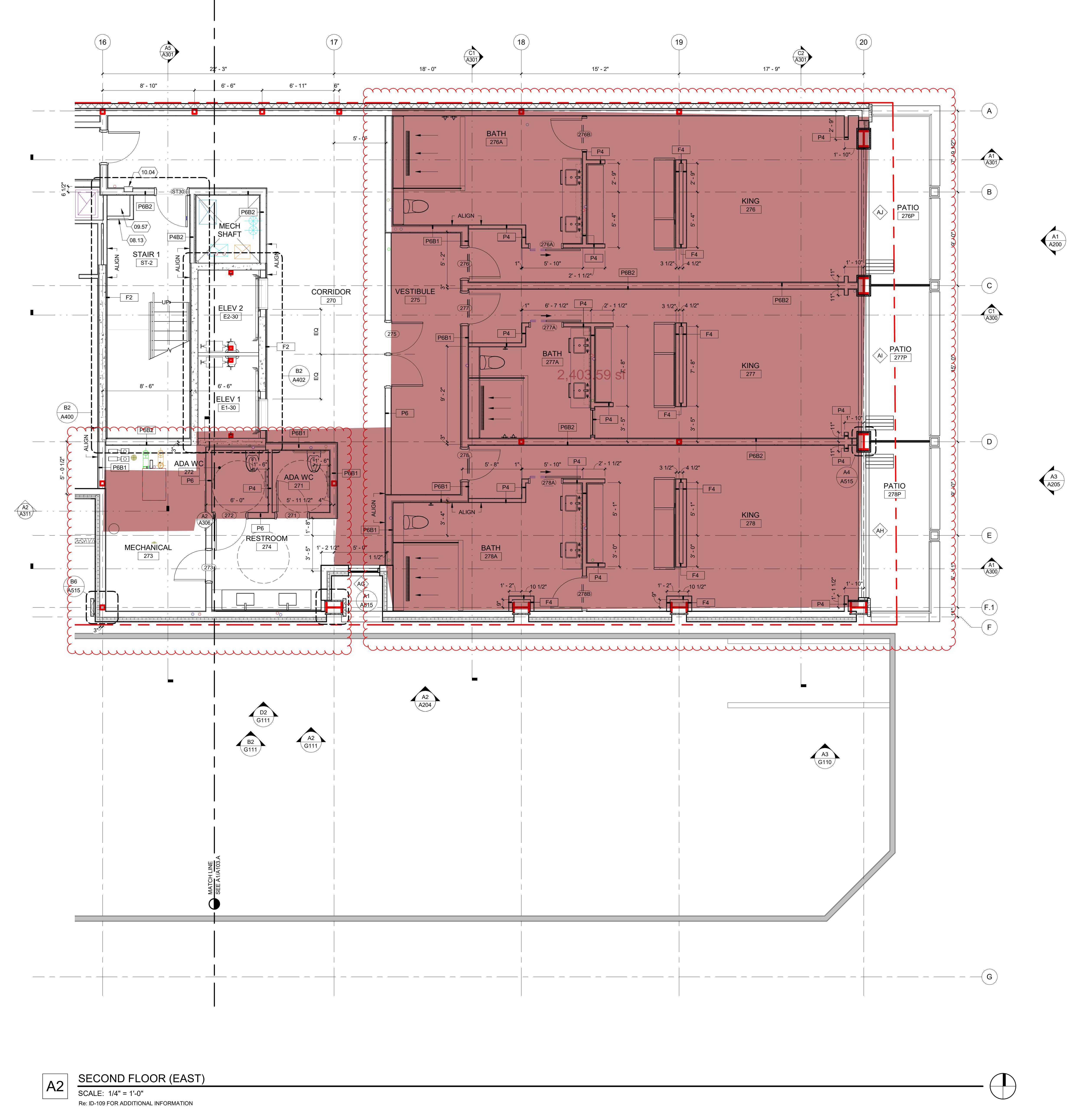
PROJECT NUMBER 18015  
**FLOOR PLAN - SECOND FLOOR (EAST)**

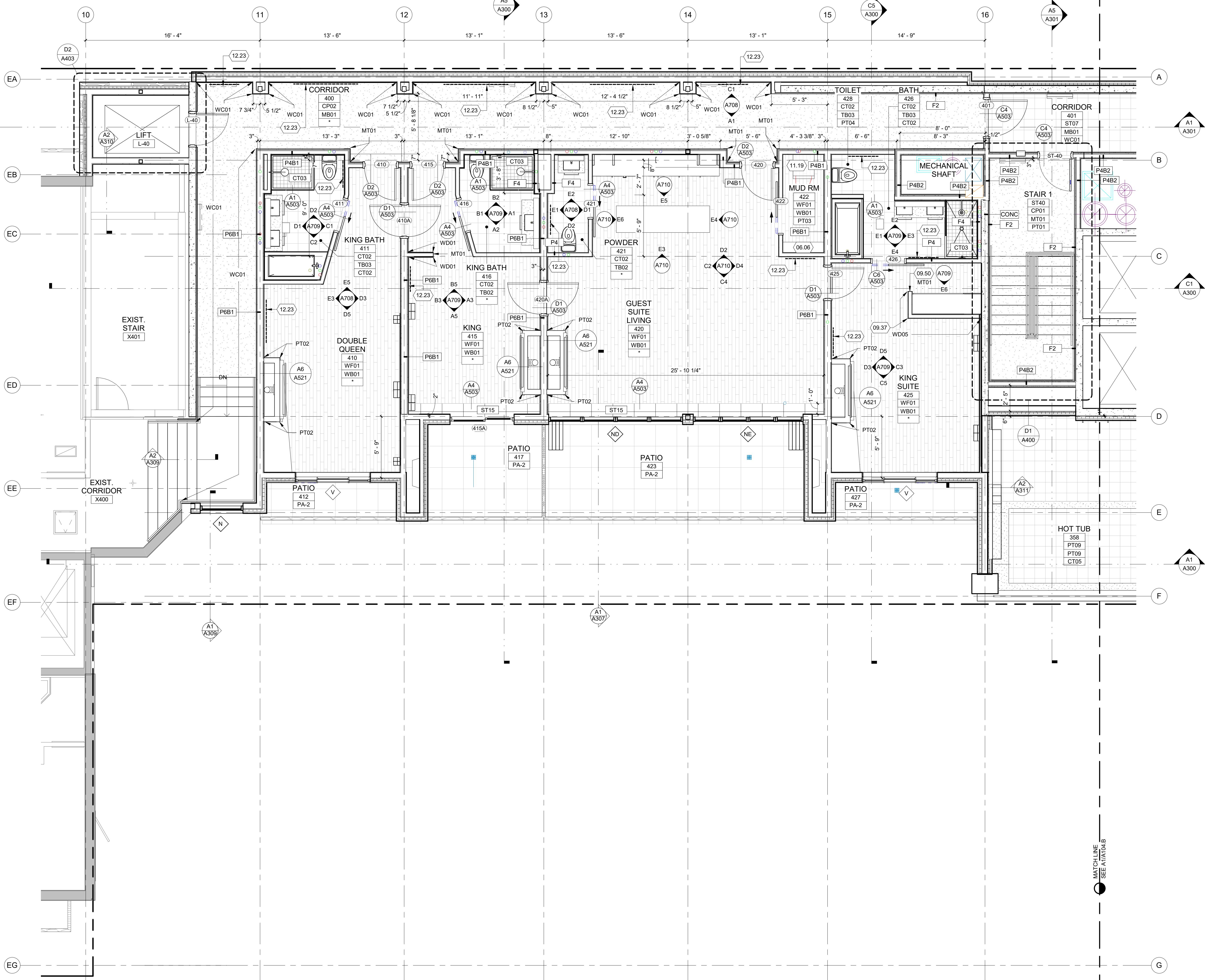
A103.B



**REFERENCE NOTES**

08.13 2'-0" X 2'-0" ACCESS HATCH  
09.57 FIRE RISER ENCLOSURE  
10.04 FIRE EXTINGUISHER CABINET





**A1** ROOF DECK (WEST)  
SCALE: 1/4" = 1'-0"

**REFERENCE NOTES**

06.06 CLOSET SYSTEM: COMBINATION CLOSET ROD AND END CAPS  
09.37 ALL WOOD CLAD CORNERS TO BE MITER CUT AND END MATCHED  
09.50 METAL END CAP: MATCH EXISTING  
11.19 ELECTRIC WASHER/DRYER UNIT  
12.23 ARTWORK: PROVIDE BACKING, OWNER FURNISHED AND INSTALLED

**GENERAL FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, NOT EXISTING CONSTRUCTION U.N.O.
2. A. DIMENSIONS MARKED AS CLEAR (CLR.) ARE TO FINISH FACE OF ASSEMBLY.
3. B. COORDINATE ALL WALLS TO EXISTING GRID LOCATIONS AND DIMENSIONS.
4. C. SEE SHEET A412 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
5. D. ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
6. E. INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30" C.C. (FOR GYPSUM BOARD WALL EXPANSION GROWTH).
7. F. DASHED AND GREY LINework IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE. CONTRACTOR TO COORDINATE WORK WITH OWNER'S REPRESENTATIVE.
8. G. SEE GUESTROOM PLANS FOR GUESTROOM INFORMATION.
9. H. SEE ELECTRICAL AND LIGHTING DRAWINGS.
10. I. INSTALL FLOOR DECKING FOR PURPOSES ONLY - FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
11. J. SEE PLUMBING SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
12. K. ALL PARTITIONS ARE P4 U.N.O.
13. L. CONTRACTORS AND SUB-CONTRACTORS MUST VERIFY FOR VARIANCES.

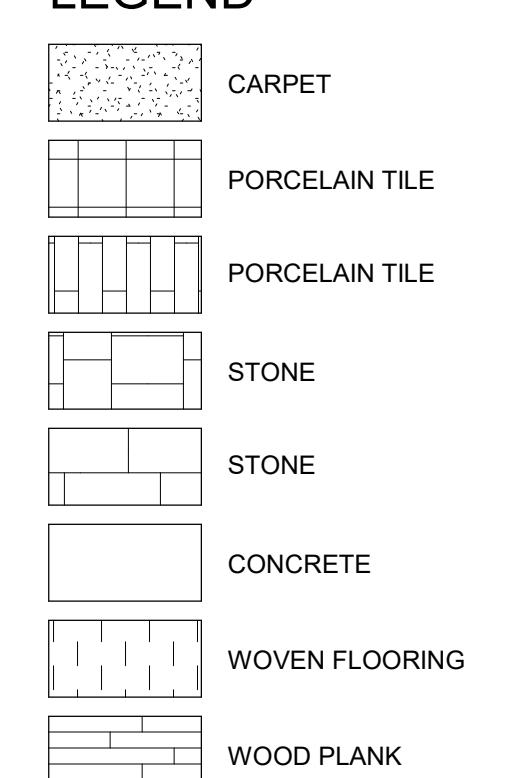
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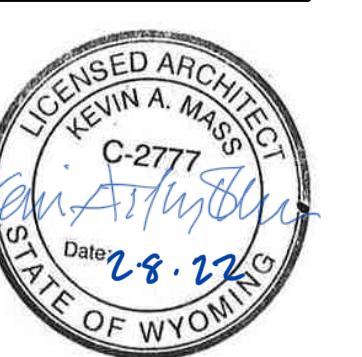


**FINISH LEGEND**

Room name		WHEN ROOM IS NOT ELEVATED, ALL FINISHES ARE SHOWN IN THE TAG
101		
F		WHEN ROOM IS ELEVATED, FLOOR FINISH SHOWN ON TAG
B		SEE ELEVATIONS FOR ADDITIONAL VERTICAL FINISHES
W		
Room name		
101	F	F = FLOOR FINISH B = BASE FINISH W = WALL FINISH
		NF = NO FINISH * = FINISHES VARY, SEE INTERIOR ELEVATIONS
		SEE FINISH LEGEND FOR FINISHES

**FLOOR FINISH HATCH LEGEND**

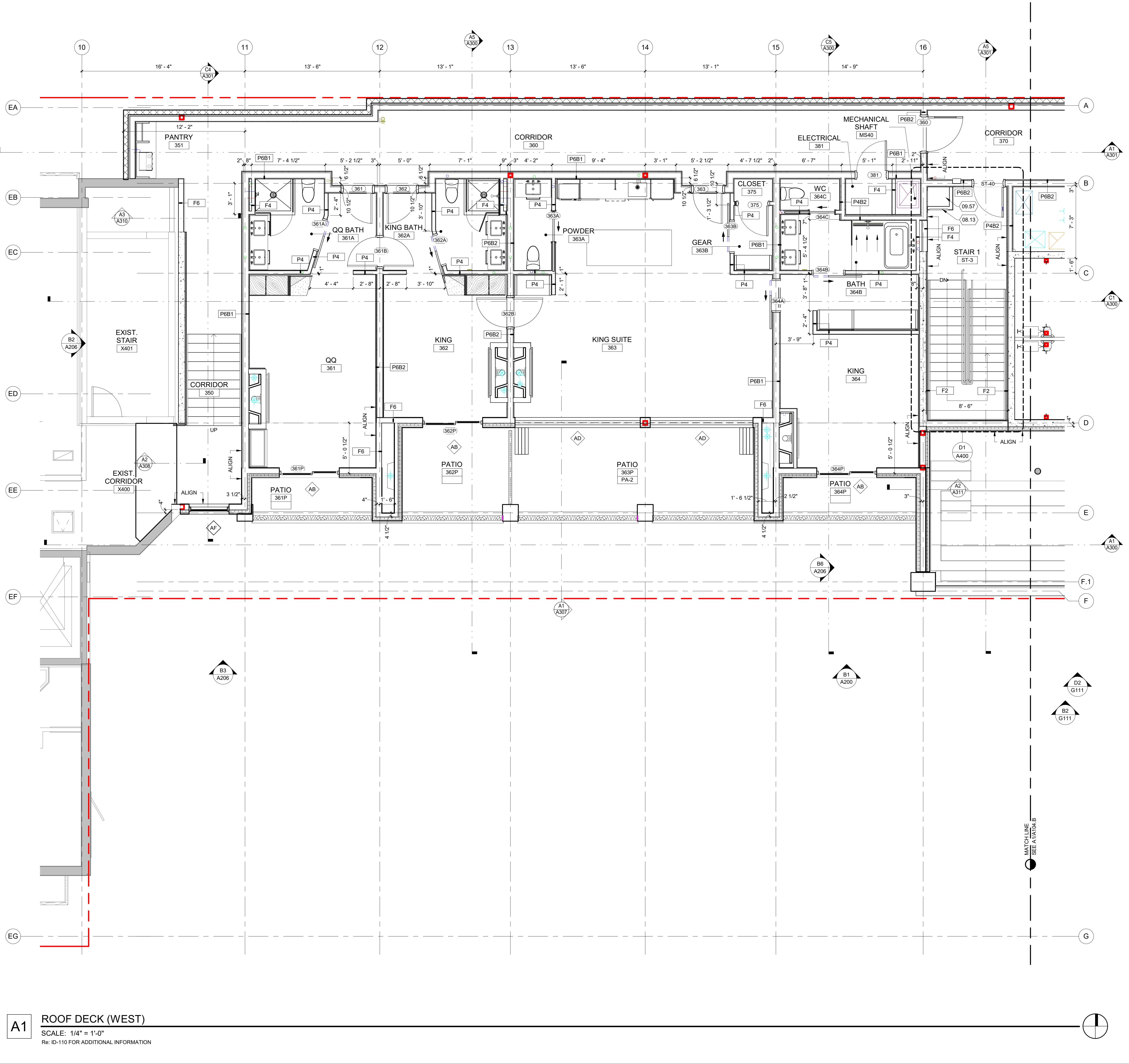




DATE 1/22/2022

REVISION 0

REFERENCE NOTES  
08.13 2'-0" X 2'-0" ACCESS HATCH  
09.57 FIRE RISER ENCLOSURE



**FLOOR PLAN - ROOF DECK (WEST)**

A104.A



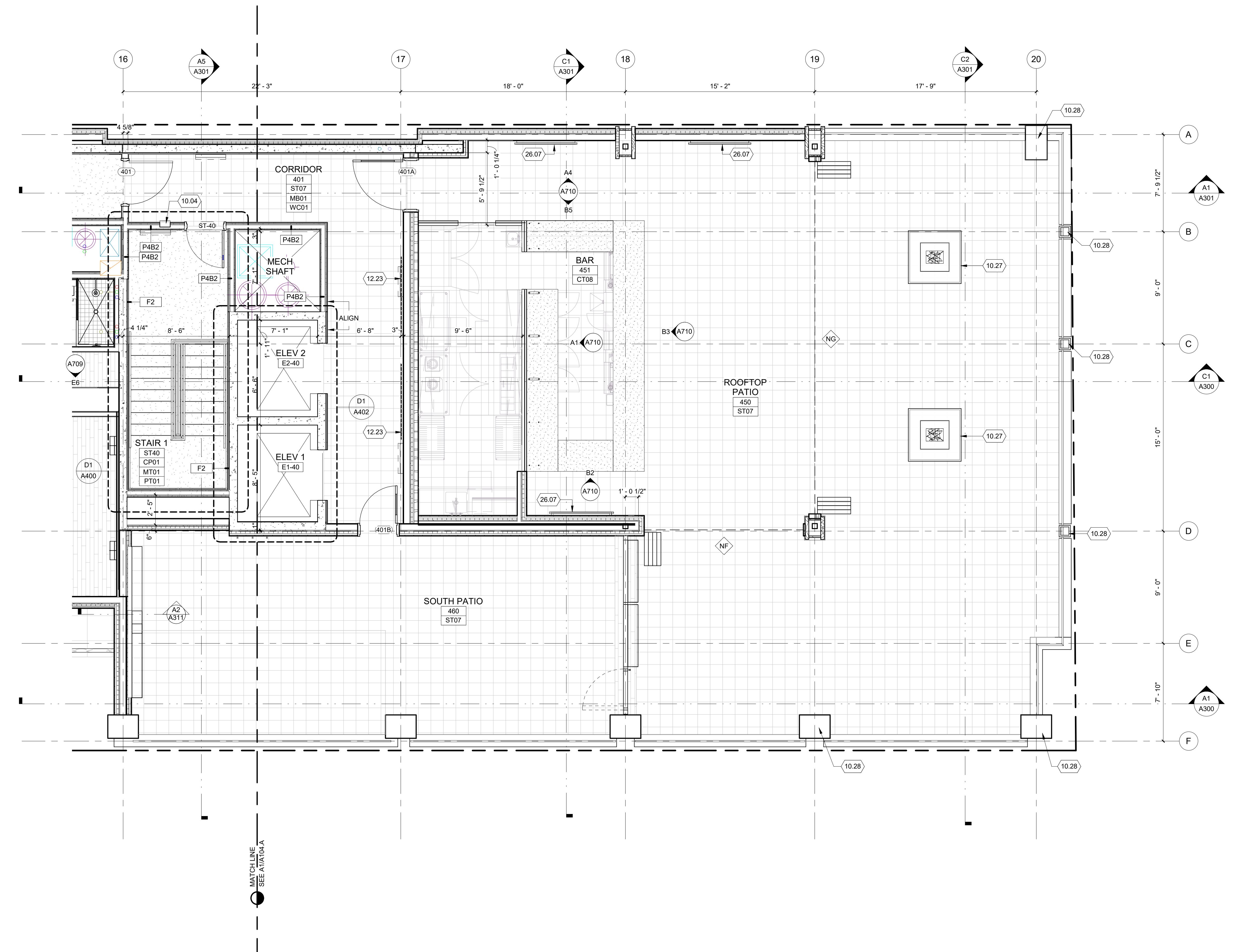
Date: 1-10-20

EXP 12-31-2020

DATE REVISION

**REFERENCE NOTES**

10.04 FIRE EXTINGUISHER CABINET  
10.27 GAS FIRE TABLE: PROVIDE AND COORDINATE GAS LINE, OFCI  
10.28 GROUGHT FIRE LINE: PROVIDE AND COORDINATE GAS LINE, OFCI  
12.23 ARTWORK: PROVIDE BACKING, OWNER FURNISHED AND INSTALLED  
26.07 TELEVISION: PROVIDE BACKING, OWNER FURNISHED AND INSTALLED



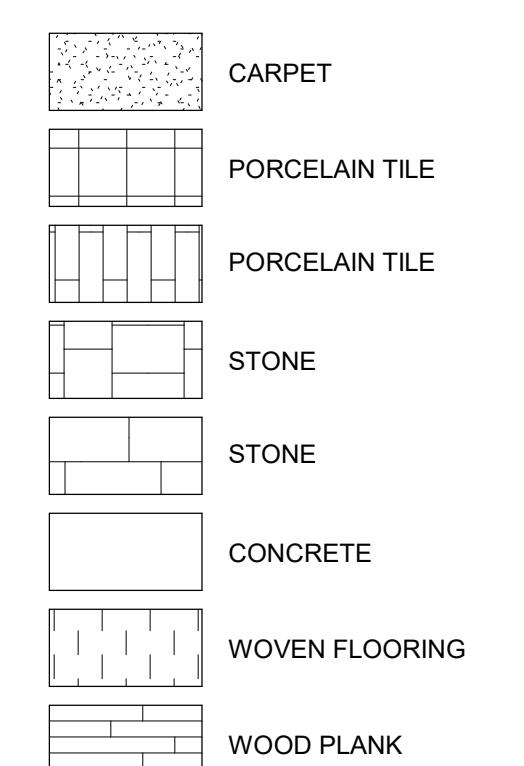
**SYMBOL LEGEND**



**FINISH LEGEND**

Room name	101	WHEN ROOM IS NOT ELEVATED, ALL FINISHES ARE SHOWN IN THE TAG
	F	WHEN ROOM IS ELEVATED, FLOOR FINISH SHOWN ON TAG
	B	SEE ELEVATIONS FOR ADDITIONAL VERTICAL FINISHES
	W	
Room name	101	
	F	F = FLOOR FINISH
	B	B = BASE FINISH
	W	W = WALL FINISH
		• = FINISHES VARY, SEE INTERIOR ELEVATIONS
		SEE FINISH LEGEND FOR FINISHES

**FLOOR FINISH HATCH LEGEND**



PROJECT NUMBER 18015  
**FLOOR PLAN - ROOF DECK (EAST)**

**A1** ROOF DECK (EAST)  
SCALE: 1/4" = 1'-0"

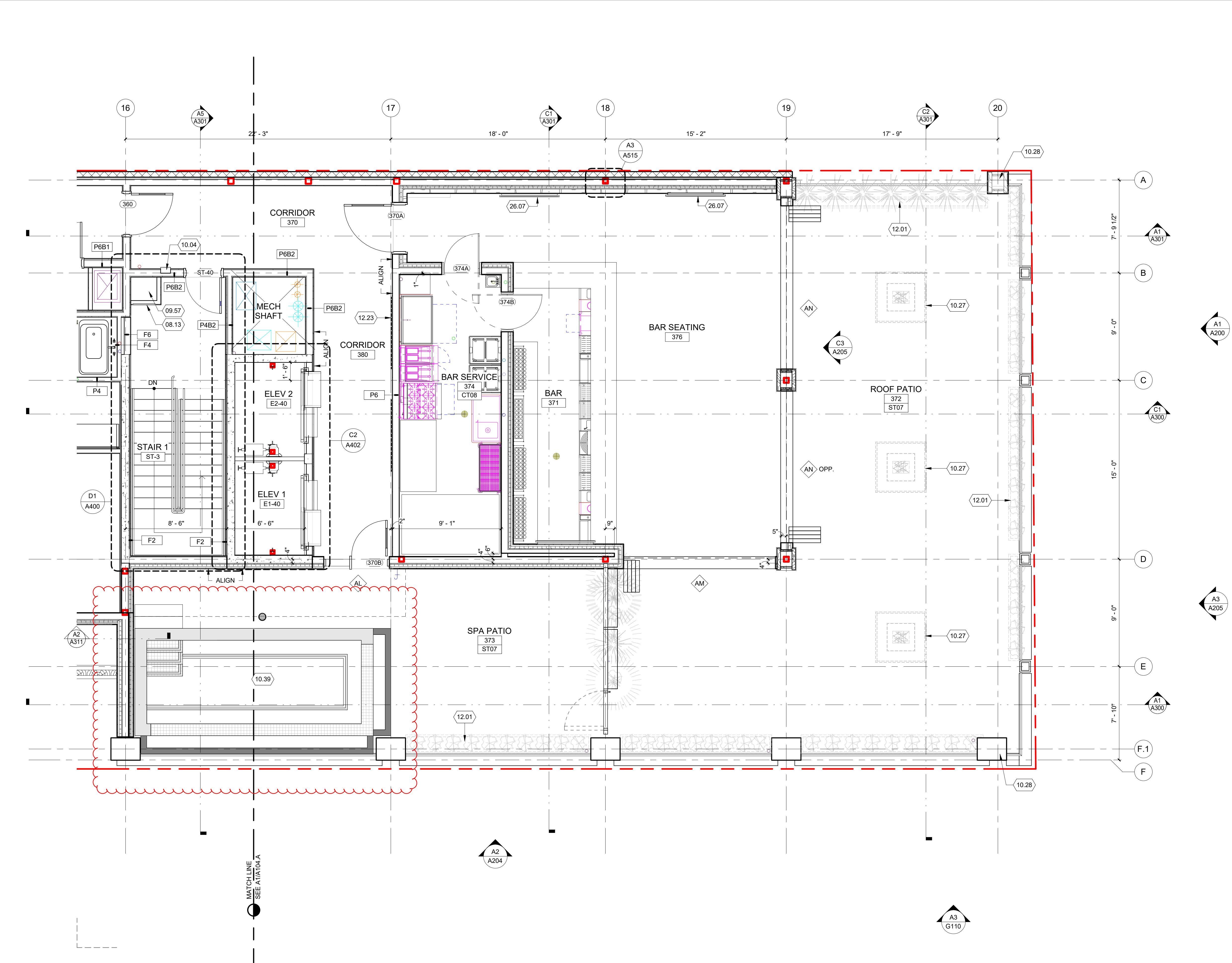


**REFERENCE NOTES**

08.13 2'-0" X 2'-0" ACCESS HATCH  
09.57 FIRE RISER ENCLOSURE  
10.04 FIRE EXTINGUISHER CABINET  
10.27 GAS FIRE TABLE; PROVIDE AND COORDINATE  
10.28 GAS LIGHT FIXTURE; PROVIDE AND  
COORDINATE GAS LINE, OFCI  
10.39 HOT TUB RE: HOT TUB DRAWINGS  
12.01 FURNITURE, PROVIDED BY OWNER  
12.23 ARTWORK; PROVIDE BACKING  
26.07 TELEVISION; PROVIDE BACKING, OWNER  
FURNISHED AND INSTALLED

**GENERAL FLOOR PLAN NOTES**

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DOCUMENTS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF NEW STUDS, EXCEPT WHERE NOTED AS TO EXISTING CONSTRUCTION U.N.O.
- DIMENSIONS MARKED AS CLEAR (CLR) ARE TO FINISH FACE OF ASSEMBLY.
- CONTRACTOR SHALL MARK EXISTING GRID LOCATIONS AND DIMENSIONS.
- SEE SHEET A700 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
- ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
- INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' ON C.O. (FOR GYPSUM BOARD WALL EXPANSION GREATER THAN 30') U.A.C.
- DASHED AND GREY LINework IS OWNER SUPPLIED INSTALLED EQUIPMENT AND FURNITURE.
- CONTRACTOR SHALL COORDINATE WORK WITH OWNERS REPRESENTATIVE.
- SEE ELECTRICAL FOR LIGHTING DETAILS.
- MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY. FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
- SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
- ALL PARTITIONS ARE P4 U.N.O.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE G.C.
- CONTRACTORS AND SUB-CONTRACTORS MUST ALLOW FOR VARIANCES.
- THE INFORMATION USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION INDICATED, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PARTITIONS, CEILINGS, AND/OR FLOORS WHERE DEMOLITION HAS OCCURRED, PREPARE SURFACES TO ACCEPT NEW FINISHES WHERE EXISTING DEFORMITIES OCCUR, REPAIR AS NOTED OR AS DIRECTED BY MANUFACTURER OF NEW FINISH MATERIAL.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- ALSO REFER TO ID100 SHEETS FOR FLOOR PLAN INFORMATION.





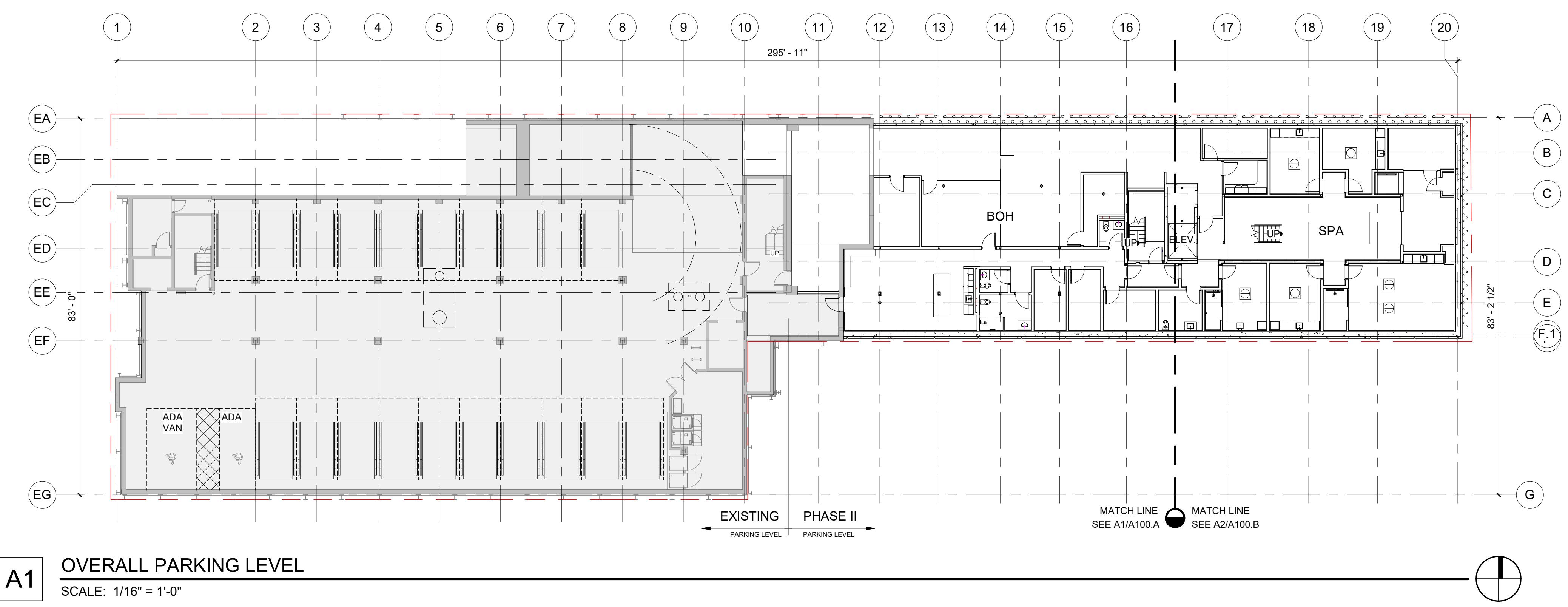
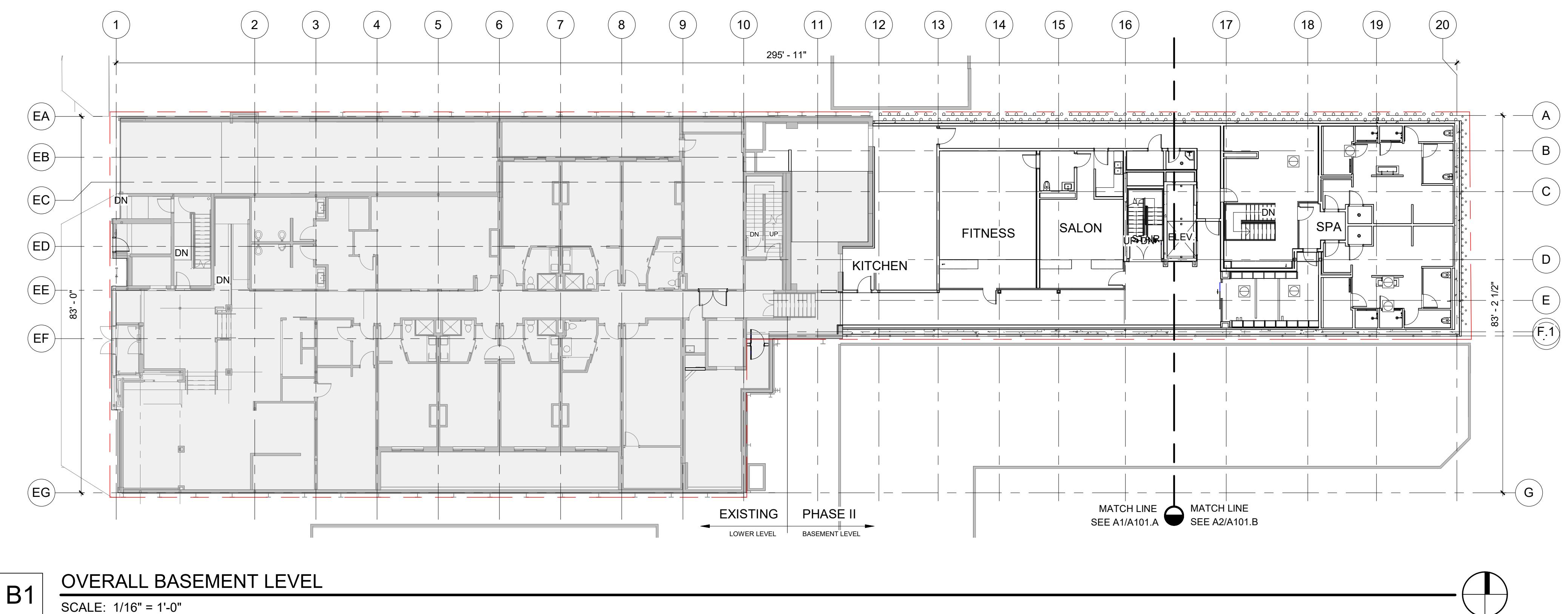
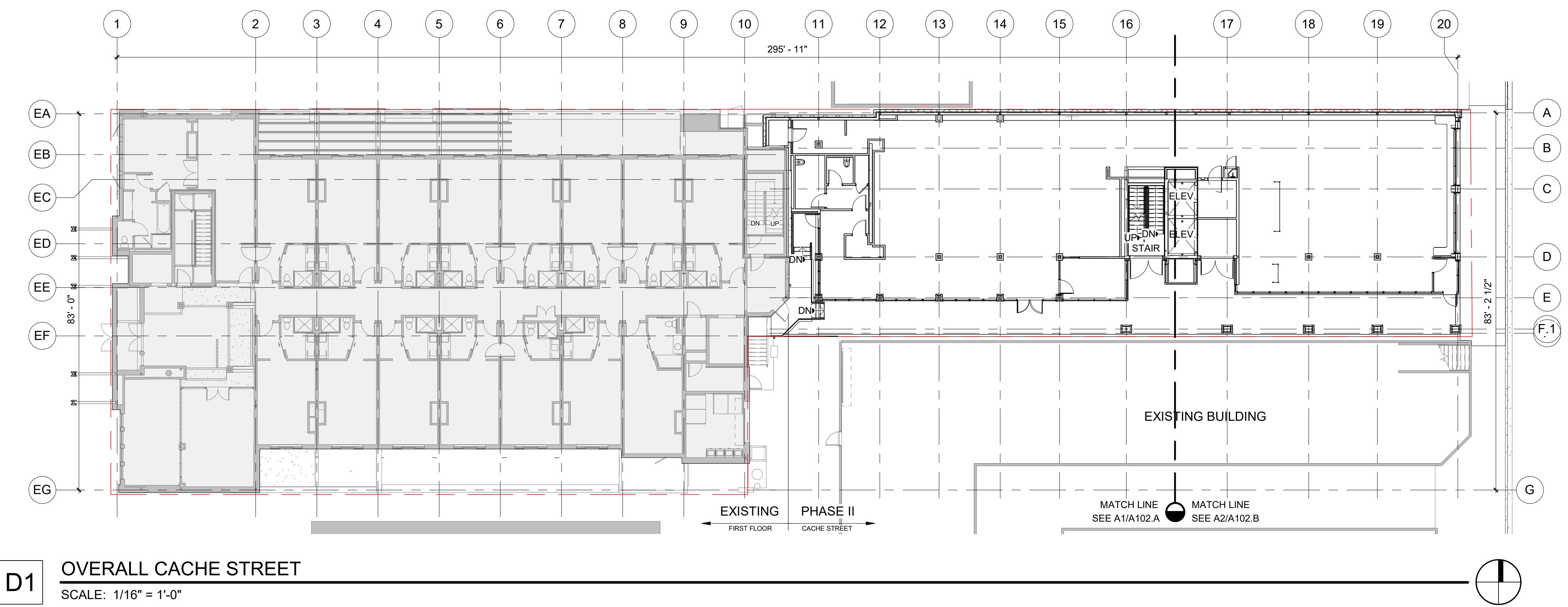
PROJECT NUMBER 18015  
OVERALL FLOOR PLANS

A000

GENERAL NOTES

1. SEE AD101 FOR DEMOLITION PLANS

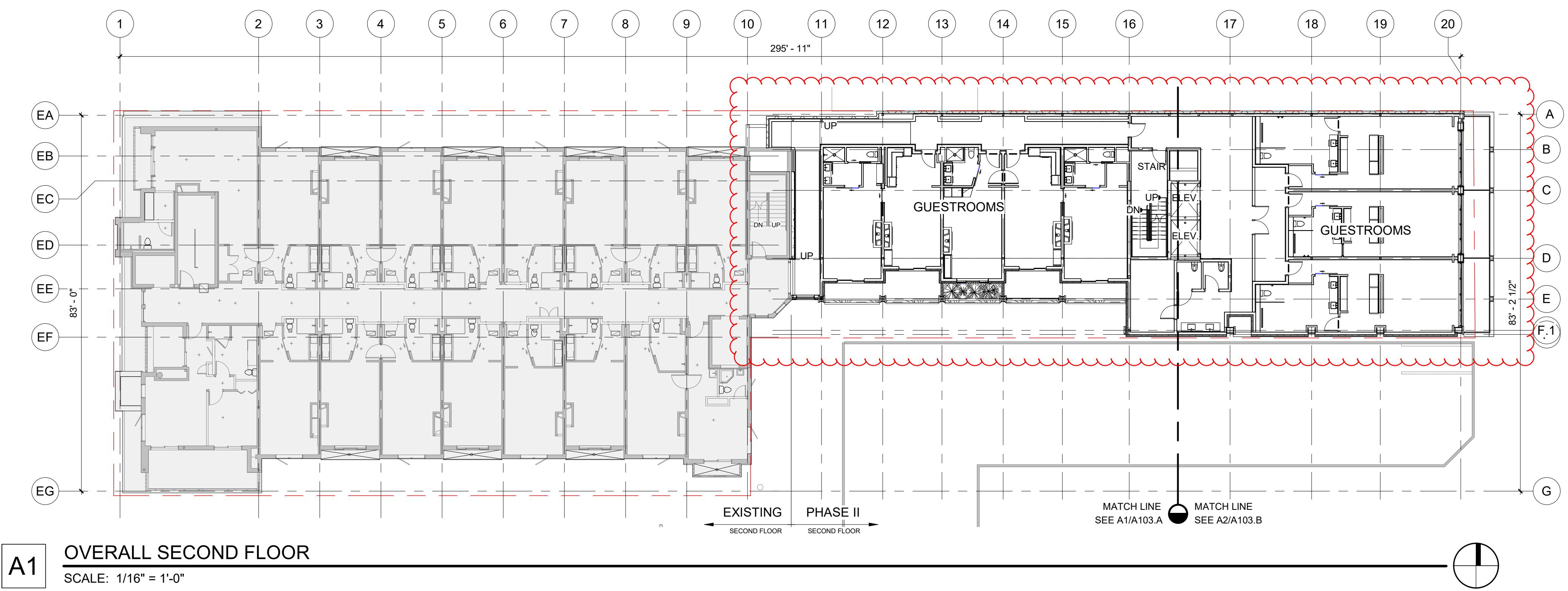
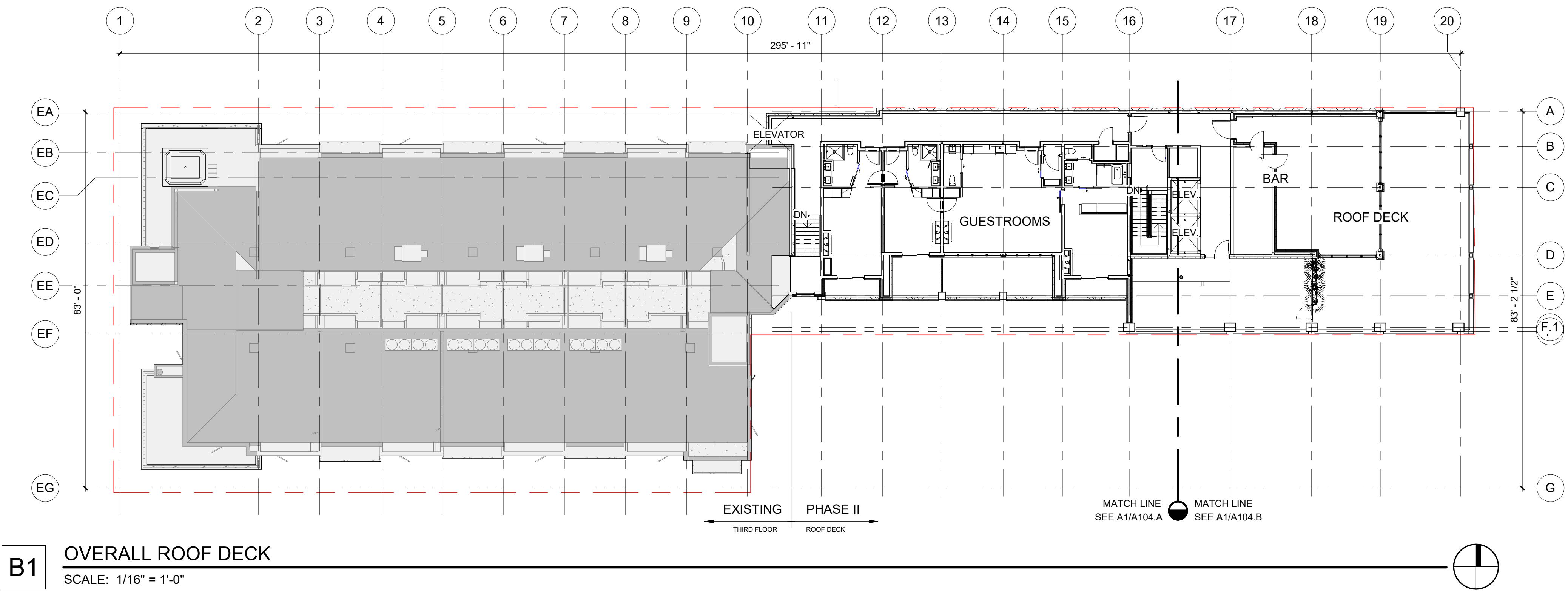
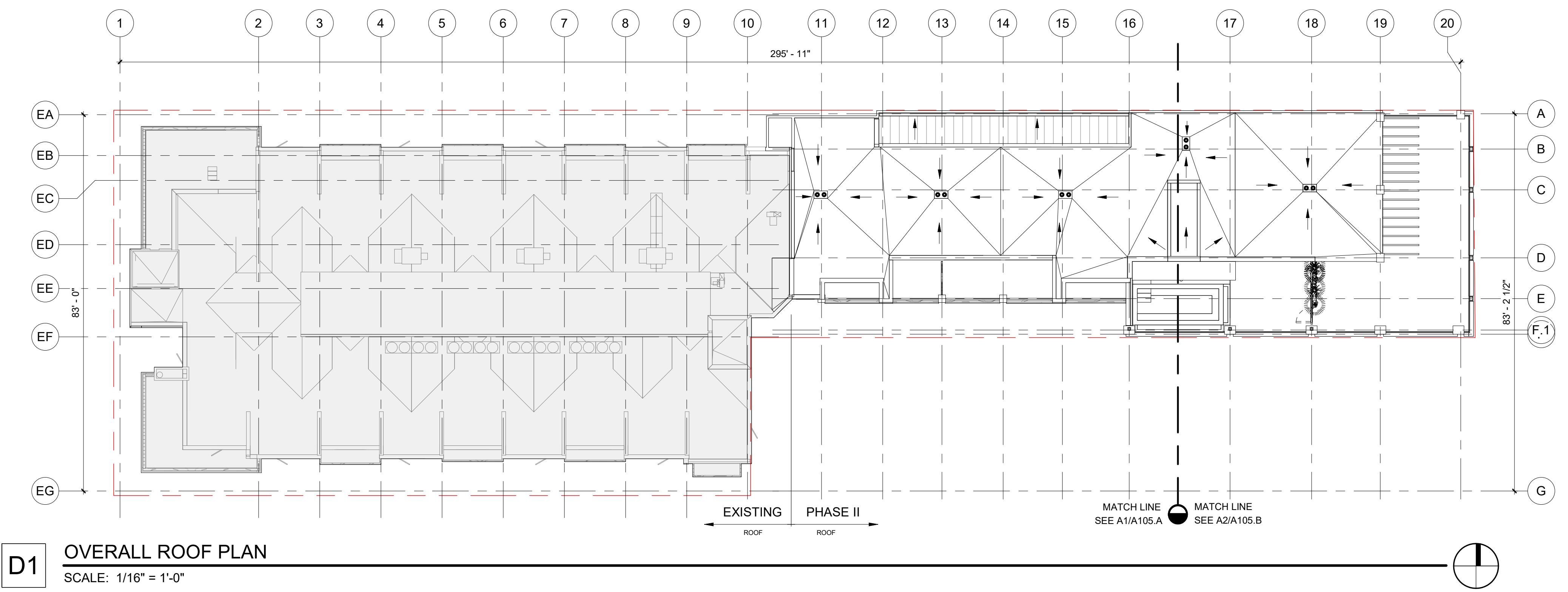
DATE REVISION





PROJECT NUMBER 18015  
OVERALL FLOOR PLANS

A001



GENERAL NOTES

1. SEE AD101 FOR DEMOLITION PLANS

DATE REVISION

2

28/2/2022 11:51:50 AM

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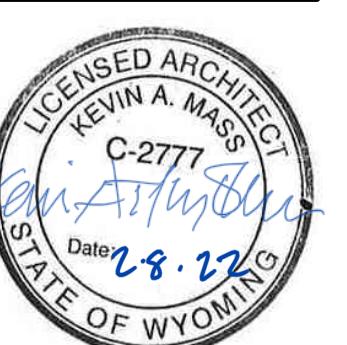
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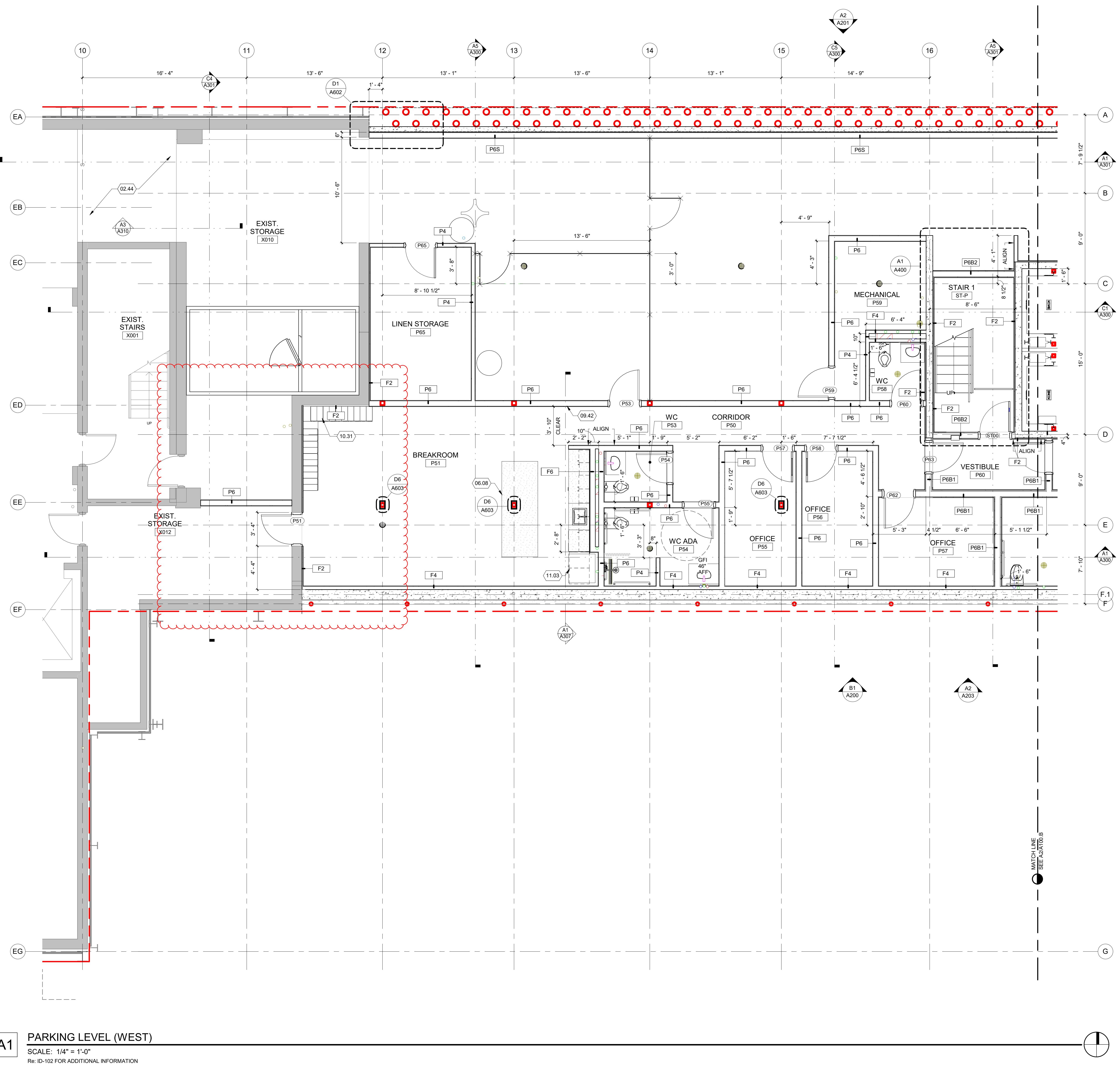
DATE: 28.12.2021

REVISION:

PROJECT NUMBER: 18015

**REFERENCE NOTES**

02.44 EXISTING RAMP TO REMAIN, FIELD VERIFY  
06.08 COUNTERTOP ISLAND  
09.42 ALIGN FINISH TO OPPOSITE WALL  
10.31 LOCKERS  
11.03 REFRIGERATOR



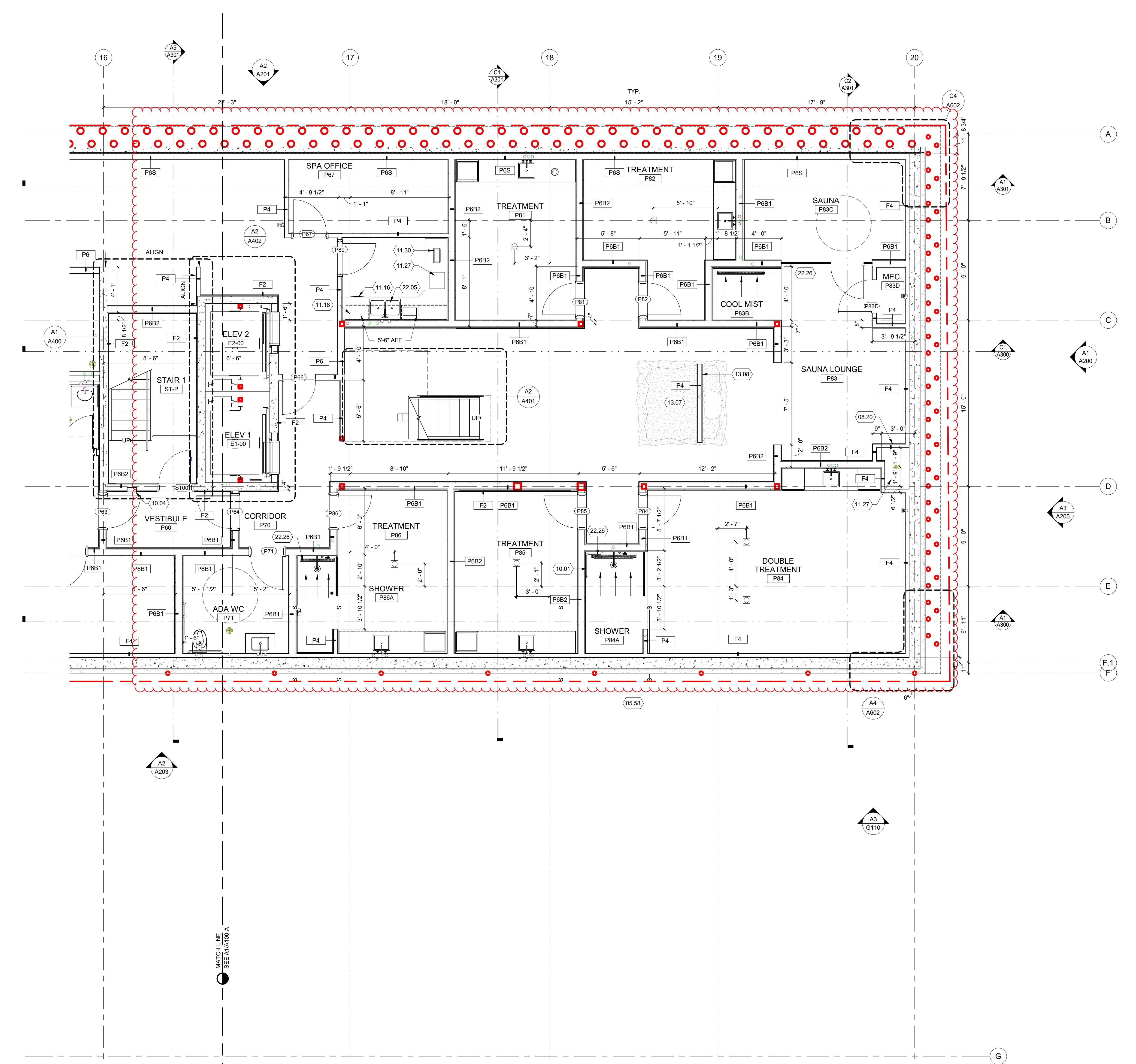
**FLOOR PLAN - PARKING LEVEL (WEST)**

A100.A



**REFERENCE NOTES**

06.07 CABINET, RE: INTERIOR CABINET DETAILS  
08.20 MECHANICAL ACCESS PANEL  
10.01 GRAB BARS, PROVIDE BACKING; REFER TO PLUMBING MOUNTING HEIGHTS  
10.04 FIRE EXTINGUISHER CABINET  
11.16 DISHWASHER  
11.18 MICROWAVE  
11.27 SPA EQUIPMENT  
11.29 SAUNA HEAT UNIT, BY OTHERS  
11.30 OWNER SUPPLIED COMPUTER WORKSTATION  
13.07 CUSTOM WATER FEATURE (FUTURE WORK)  
13.09 DOWNTOWNSIDE, REFER TO DOWNTOWNSIDE  
13.09.01 TIER GARDEN BY OTHERS  
22.05 LAVATORY, REFER TO PLUMBING DRAWINGS  
22.21 FAUCET, RE: PLUMBING DRAWINGS  
22.26 LINEAR SHOWER DRAIN, RE: PLUMBING DRAWINGS



**A2** PARKING LEVEL (EAST)  
SCALE: 1/4" = 1'-0"  
Re: ID-103 FOR ADDITIONAL INFORMATION

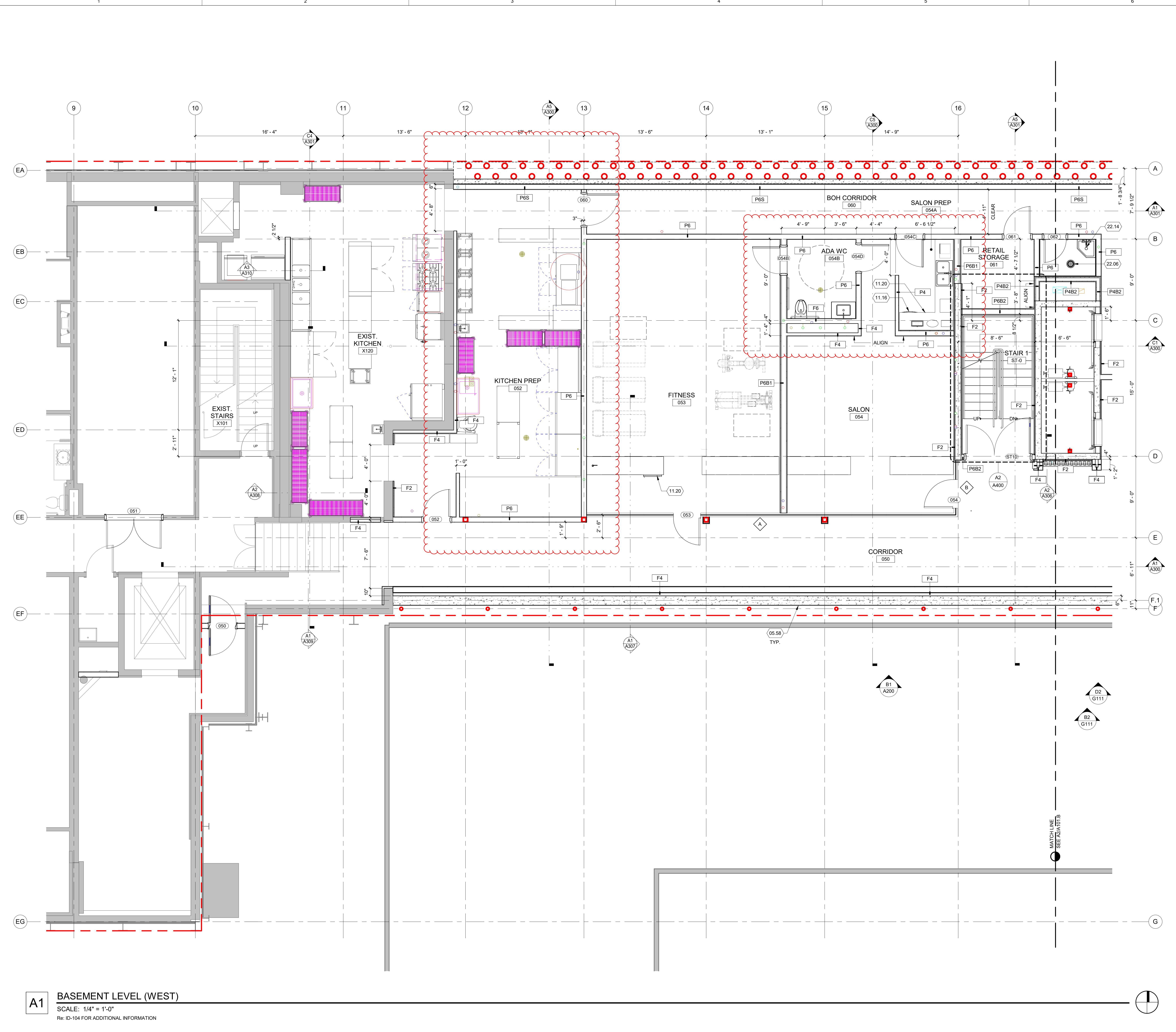


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REVISION: 1

PROJECT NUMBER: 18015

**REFERENCE NOTES**

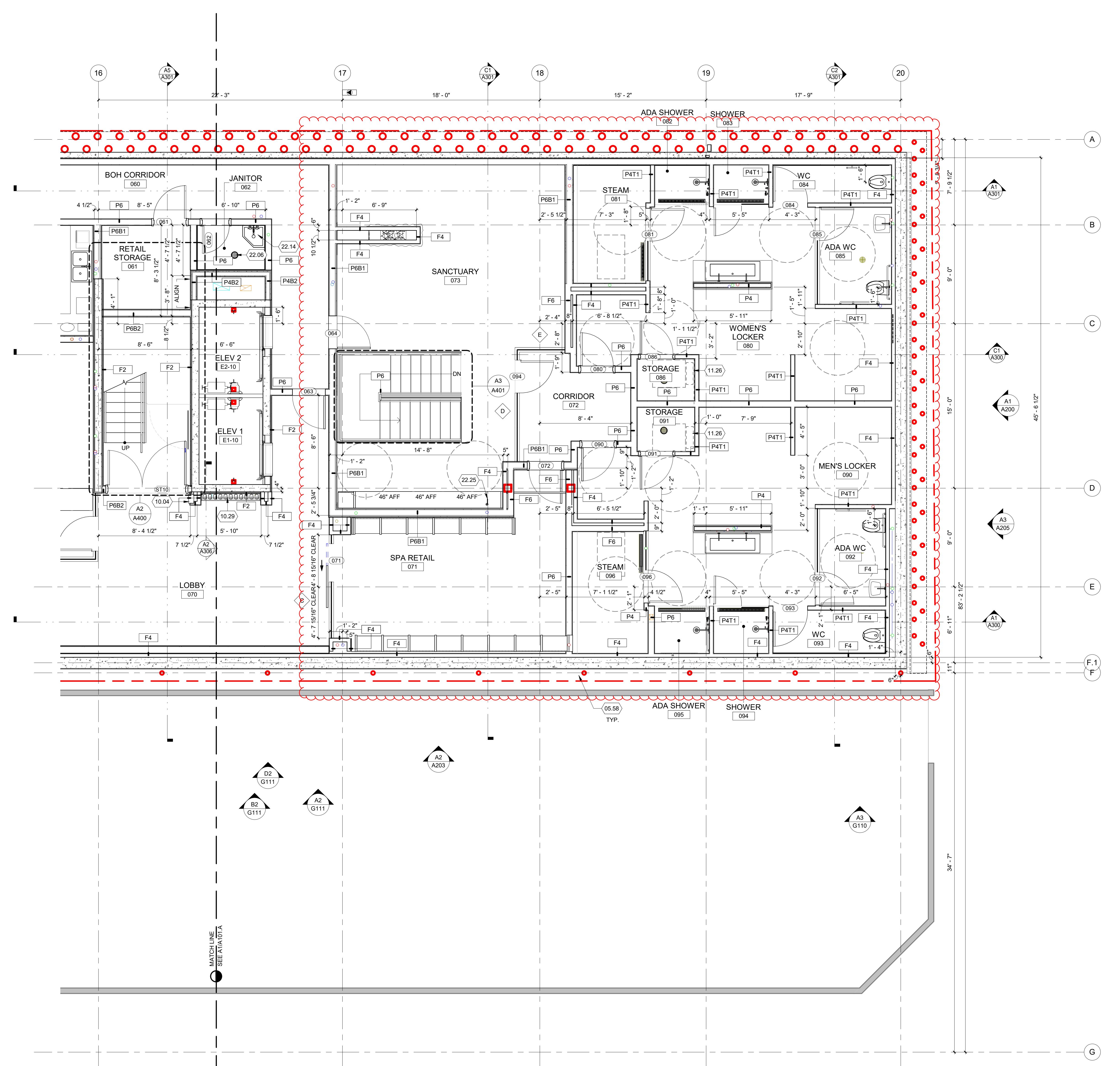
05.58 PILE BY SHORING CONTRACTOR  
11.16 DISHWASHER  
11.20 REFRIGERATOR  
11.25 WATER DISPENSER  
22.06 FLOOR DRAIN, RE: PLUMBING DRAWINGS  
22.14 SERVICE SINK  
22.27 PEDICURE FOOT SINK, PROVIDE PLUMBING





**REFERENCE NOTES**

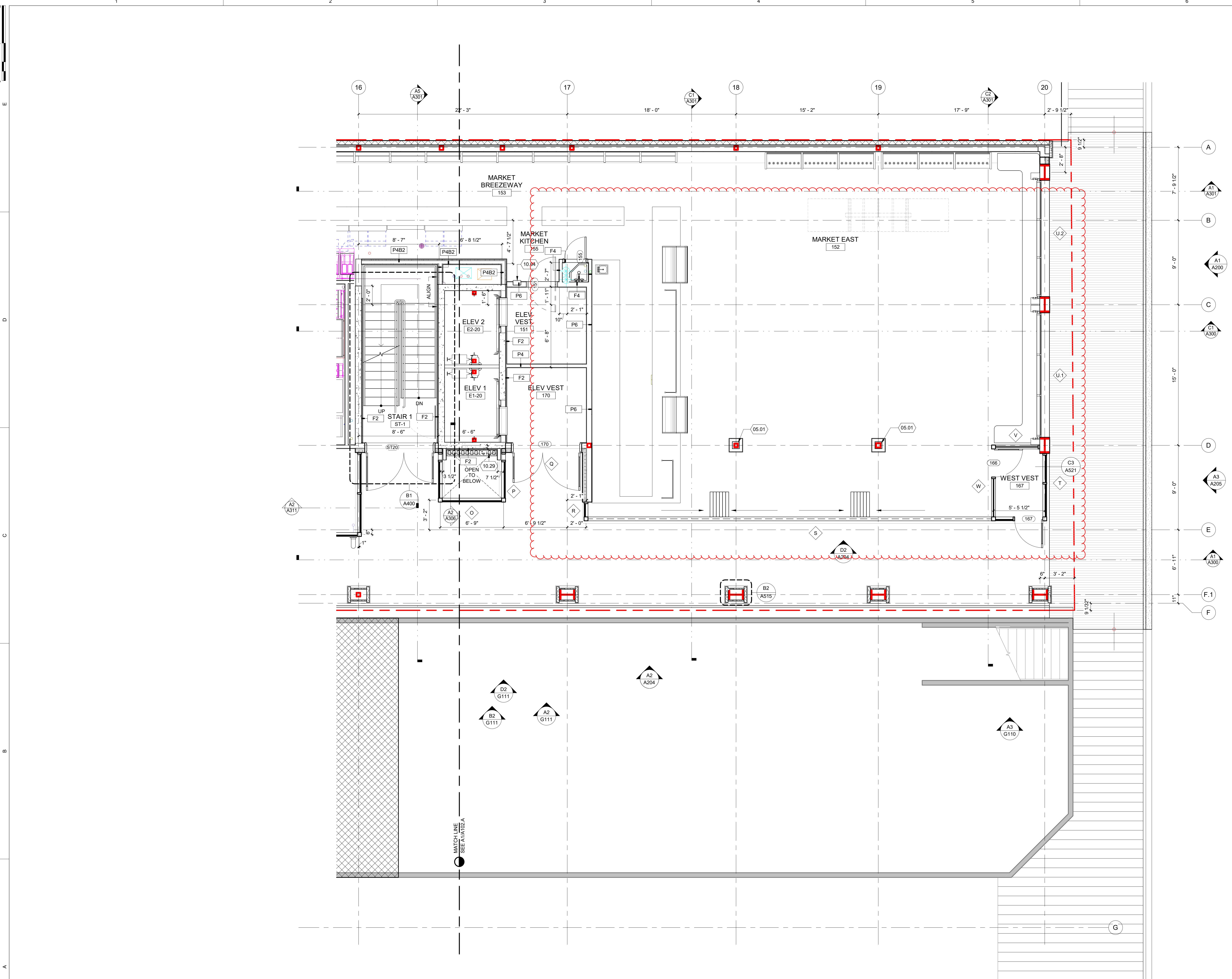
05.58 PIPE BY SHORING CONTRACTOR  
10.04 FIRE EXTINGUISHER CABINET  
10.29 PRE-FAB GREEN WALL; PROVIDE POWER AND  
WATER CONNECTION  
11.26 STEAM CONTROL PANEL  
22.06 FLOOR DRAIN; RE: PLUMBING DRAWINGS  
22.14 SERVICE SINK  
22.25 PRE-FAB FOUNTAIN; PROVIDE PLUMBING  
26.03 FLOOR OUTLET BOX



**A2** BASEMENT LEVEL (EAST)  
SCALE: 1/4" = 1'-0"  
Re: ID-105 FOR ADDITIONAL INFORMATION

**GENERAL FLOOR PLAN NOTES**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DOCUMENTS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, EXCEPT WHERE NOTED AS TO EXISTING FACE OF EXISTING CONSTRUCTION U.N.O.
3. DIMENSIONS MARKED AS CLEAR (CLR.) ARE TO FINISH FACE OF ASSEMBLY.
4. CONTRACTOR SHALL MARK EXISTING GRID LOCATIONS AND DIMENSIONS.
5. SEE SHEET A700 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
6. ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
7. INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' OVER (FOOT) GYPSUM BOARD WALL EXPANSES GREATER THAN 30' U.A.C.
8. DASHED AND GREY LINework IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE. CONTRACTOR SHALL COORDINATE WORK WITH OWNERS REPRESENTATIVE.
9. SEE ELECTRICAL FOR LIGHTING DETAILS
10. MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY. FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
11. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
12. ALL PARTITIONS ARE P4 U.N.O.
13. ALL DIMENSIONS SHALL BE VERIFIED BY THE G.C.
14. CONTRACTORS AND SUB-CONTRACTORS MUST ALLOW FOR VARIANCES.
15. THE INFORMATION USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION INDICATED, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
16. PARTITIONS, CEILINGS, AND/OR FLOORS WHERE DEMOLITION HAS OCCURRED, PREPARE SURFACES TO ACCEPT NEW FINISHES WHERE EXISTING DEMOLISHED OCCUR, REPAIR AS NOTED OR REPAIR TO MANUFACTURER OF NEW FINISH MATERIAL.
17. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
18. ALSO REFER TO BP10 SHEETS FOR FLOOR PLAN INFORMATION.



## REFERENCE NOTES

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135 N CACHE ST.  
JACKSON WY  
BP2 ARCHITECTURAL &

135 N CACHE ST.  
JACKSON WY  
BP2 ARCHITECTURAL & MEP 02/08/22

**FFKR** ARCHITECTURE

# GENERAL FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO FACE OF NEW STUDS, FACE OF CONCRETE OR EXPOSED FACE OF EXISTING CONSTRUCTION U.N.O.

DIMENSIONS MARKED AS CLEAR (CLR.) ARE TO FINISH FACE OF ASSEMBLY.

CONTRACTOR TO VERIFY ALL EXISTING GRID LOCATIONS AND DIMENSIONS.

SEE SHEET A700 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.

ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.

INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' O.C. (FOR GYPSUM BOARD WALL EXPANSES GREATER THAN 30') U.N.O.

DASHED AND GREY LINWORK IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE.

CONTRACTOR TO COORDINATE WORK WITH OWNERS REPRESENTATIVE.

SEE ELECTRICAL FOR LIGHTING DETAILS

. MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY - FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.

. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.

. ALL PARTITIONS ARE P4 U.N.O.

. ALL DIMESIONS SHALL BE VERIFIED BY THE G.C.

. CONTRACTORS AND SUB-CONTRACTORS MUST ALLOW FOR VARIENCES.

. THE WORD "ALIGN" AS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION INDICATED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

. PATCH ALL WALLS, CEILINGS, AND/OR FLOORS WHERE DEMOLITION HAS OCCURRED. PREPARE SURFACES TO ACCEPT NEW FINISHES. WHERE EXISTING DEFORMITIES OCCUR, REPAIR AS NOTED OR AS REQUIRED BY MANUFACTURER OF NEW FINISH MATERIAL.

. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION.

. ALSO REFER TO ID100 SHEETS FOR FLOOR PLAN INFORMATION



JECT NUMBER 18015

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1/2020

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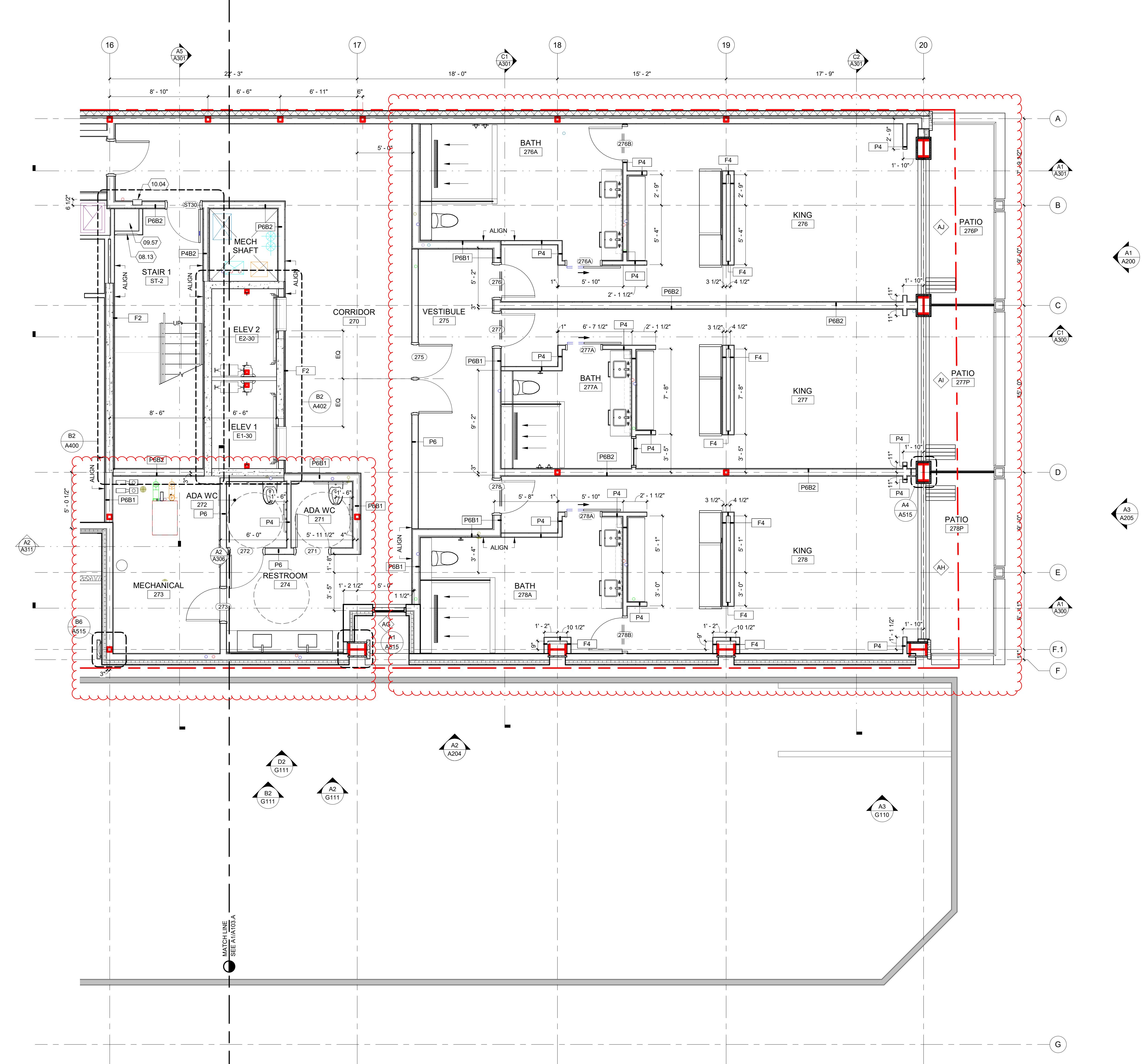
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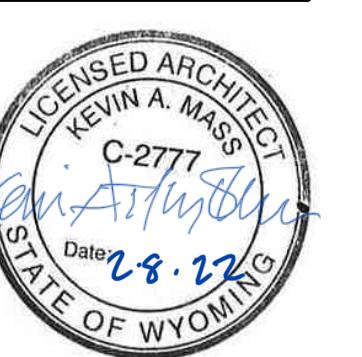
REFERENCE NOTES  
08.13 2'-0" X 2'-0" ACCESS HATCH  
09.57 FIRE RISER ENCLOSURE  
10.04 FIRE EXTINGUISHER CABINET



**A2** SECOND FLOOR (EAST)  
SCALE: 1/4" = 1'0"  
Re: ID-109 FOR ADDITIONAL INFORMATION

**GENERAL FLOOR PLAN NOTES**

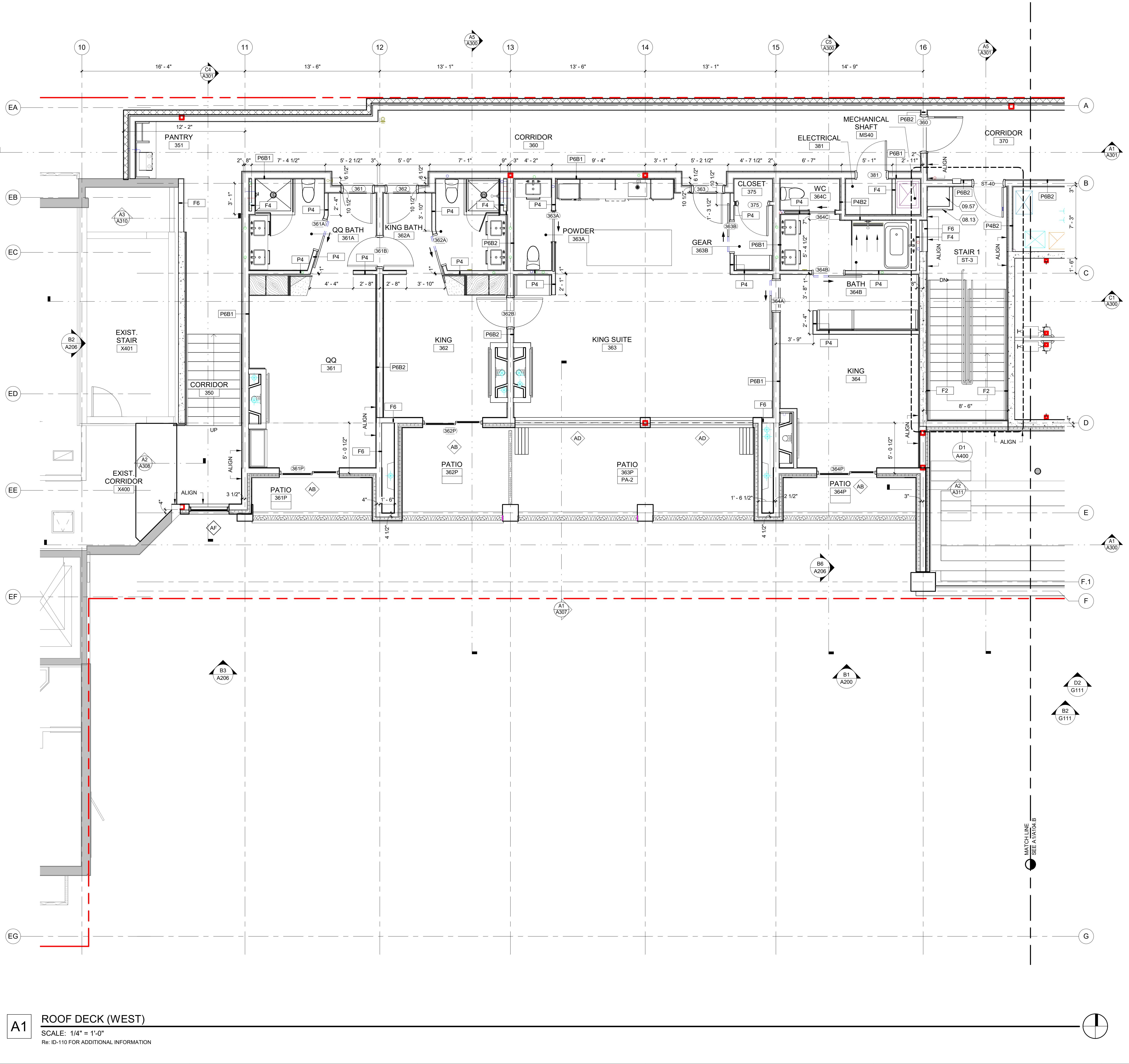
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DOCUMENTS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS ARE TO FACE OF NEW STUDS, EXCEPT WHERE NOTED AS TO THE FACE OF EXISTING CONSTRUCTION U.N.O.
3. DIMENSIONS MARKED AS CLEAR (CLR.) ARE TO FINISH FACE OF ASSEMBLY.
4. CONTRACTOR SHALL FOLLOW EXISTING GRID LOCATIONS AND DIMENSIONS.
5. SEE SHEET A700 FOR ALL ADA AND OTHER FIXTURE MOUNTING STANDARDS AND CLEARANCE REQUIREMENTS.
6. ALL DOOR JAMBS IN STUD WALLS ARE TO BE 4" CLEAR FROM CORNER OF ADJACENT WALL, U.N.O.
7. INSTALL GYPSUM BOARD CONTROL JOINTS EVERY 30' OVER (FOR GYPSUM BOARD WALL EXPANSION GREATER THAN 30') U.N.O.
8. DASHED AND GREY LINework IS OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FURNITURE. CONTRACTOR TO COORDINATE WORK WITH OWNERS REPRESENTATIVE.
9. SEE ELECTRICAL FOR LIGHTING DETAILS.
10. MILLWORK IS FOR DESIGN INTENT PURPOSES ONLY. FABRICATOR SHALL PRODUCE SHOP DRAWINGS AND COORDINATE FINAL DETAILS WITH ARCHITECT.
11. SEE FOOD SERVICE FOR KITCHEN EQUIPMENT INFORMATION.
12. ALL PARTITIONS ARE P4 U.N.O.
13. ALL DIMENSIONS SHALL BE VERIFIED BY THE G.C.
14. CONTRACTORS AND SUB-CONTRACTORS MUST ALLOW FOR VARIANCES.
15. THE EXISTING CONDITIONS USED IN THESE DOCUMENTS SHALL SUPERSEDE DIMENSIONAL INFORMATION INDICATED, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
16. PARTITIONS, CEILINGS, AND/OR FLOORS WHERE DEMOLITION HAS OCCURRED, PREPARE SURFACES TO ACCEPT NEW FINISHES WHERE EXISTING DEFECTS OCCUR, REPAIR AS NOTED OR AS DIRECTED BY MANUFACTURER OF NEW FINISH MATERIAL.
17. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
18. ALSO REFER TO D100 SHEETS FOR FLOOR PLAN INFORMATION.



DATE 1/22/2022

REVISION 0

REFERENCE NOTES  
08.13 2'-0" X 2'-0" ACCESS HATCH  
09.57 FIRE RISER ENCLOSURE



**FLOOR PLAN - ROOF DECK (WEST)**

A104.A





## REFERENCE NOTES

- 05.13 METAL SIDING
- 05.17 STEEL EDGE TRIM
- 06.12 HORIZONTAL WOOD TIMBER SIDING
- 07.13 METAL CAP FLASHING
- 08.03 DOOR, REFER TO DOOR SCHEDULE

135 N CACHE ST.  
JACKSON WY  
BP2 ARCHITECTURAL &

135 N CACHE ST.  
JACKSON WY  
BP2 ARCHITECTURAL & MEP 02/08/22

**FFKR** ARCHITECTURE



DATE

PROJECT NUMBER 18015

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# EXTERIOR ELEVATIONS


A203

**A2** **SOUTH ELEVATION - A**  
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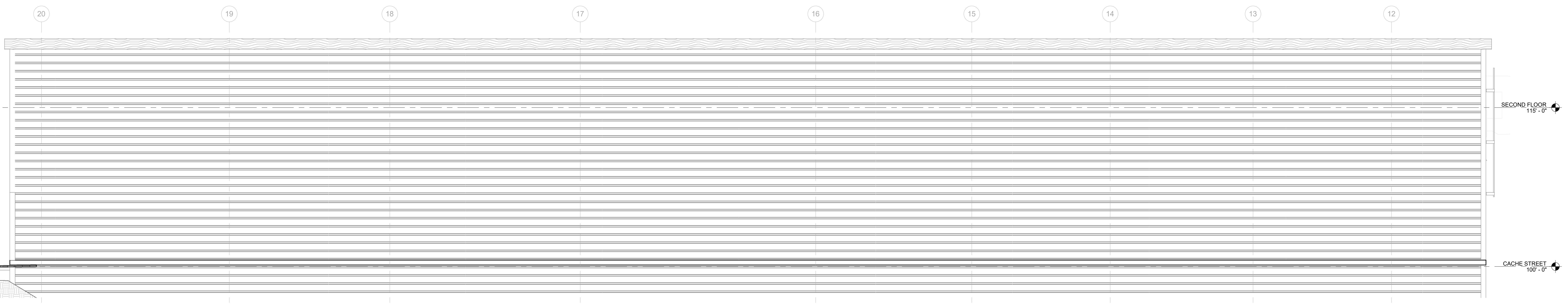
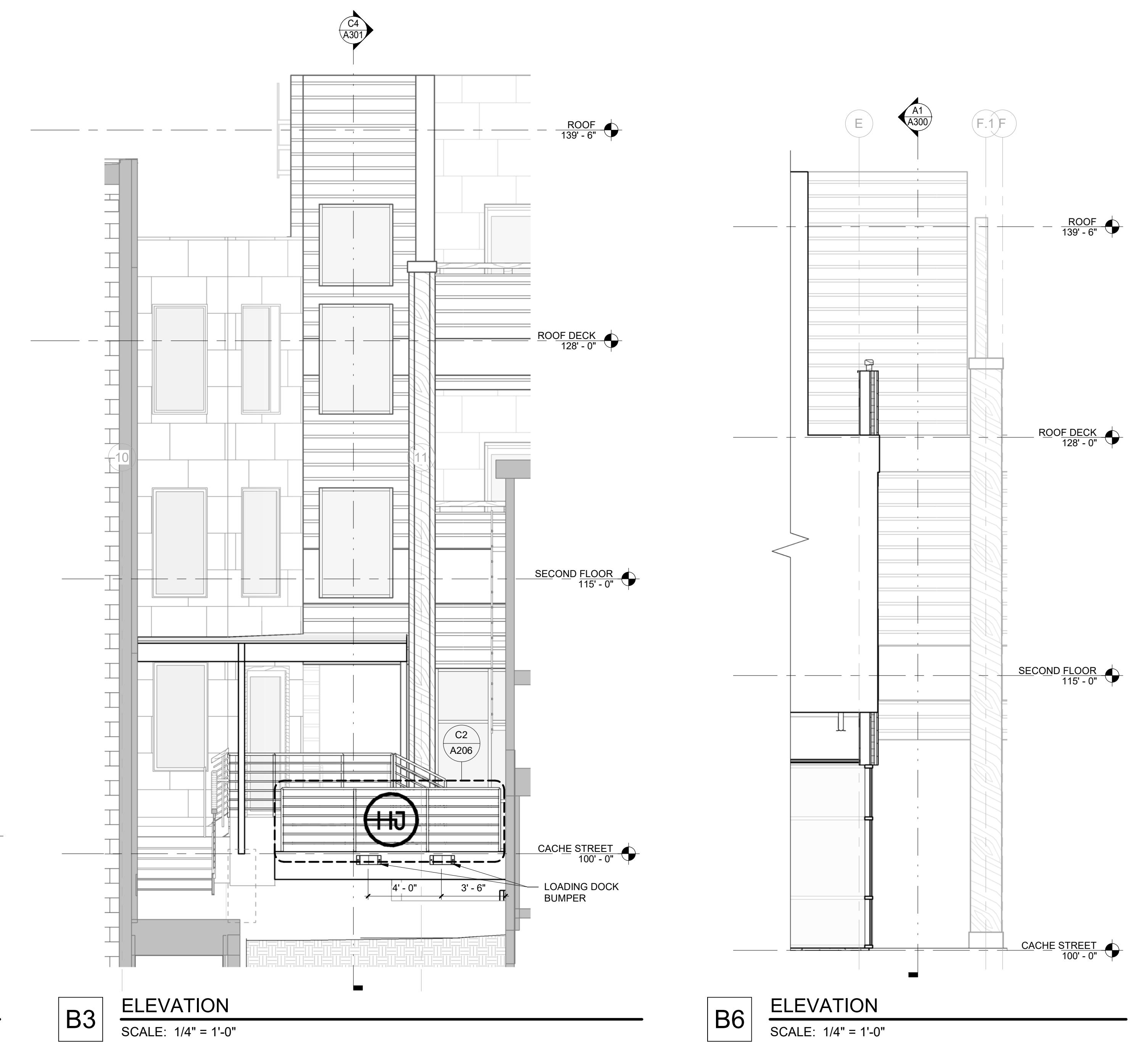
DATE: 28.12.22

PROJECT NUMBER: 18015

EXTERIOR ELEVATIONS

A206

REFERENCE NOTES



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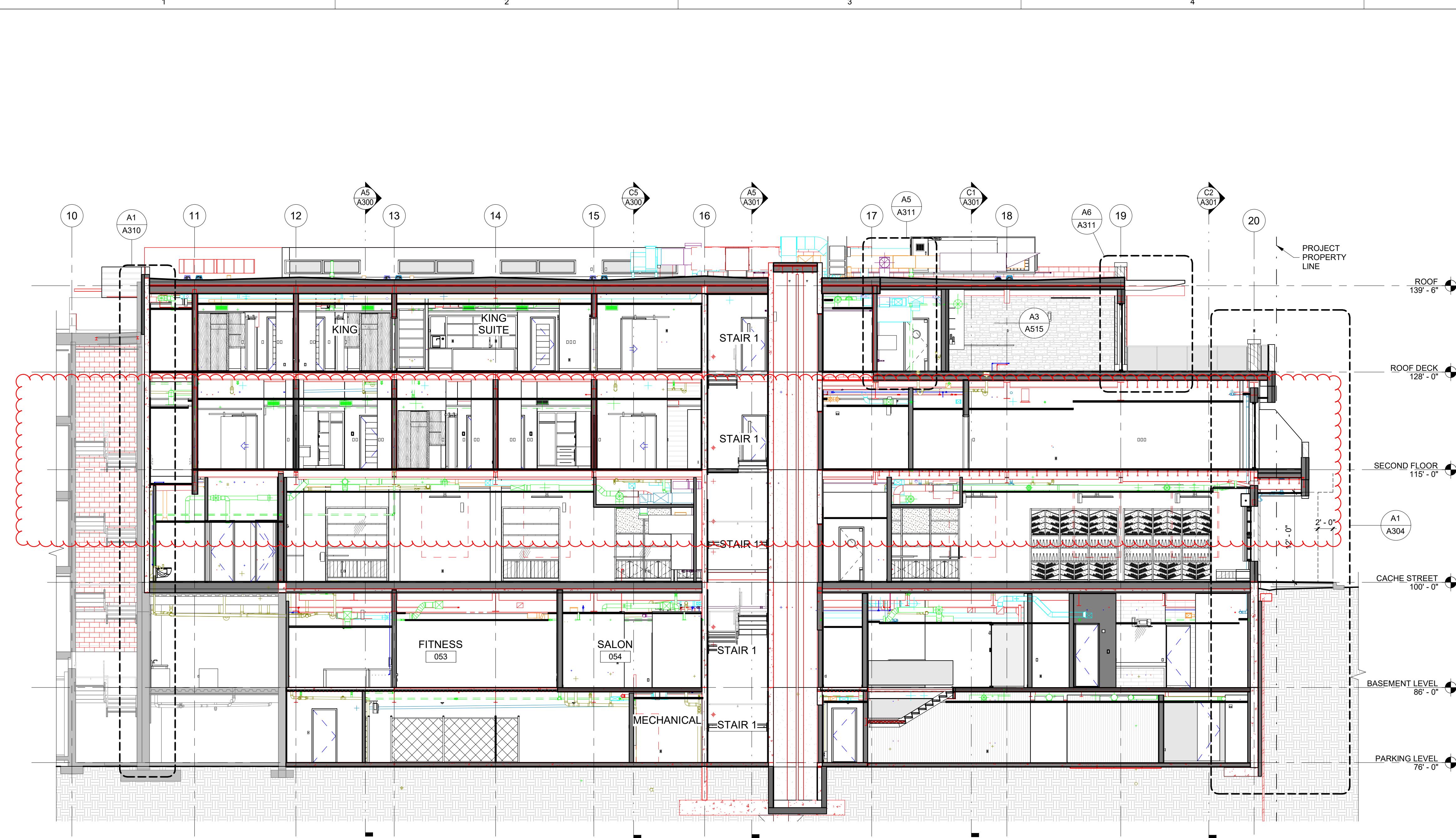
DATE 1/22/2022

REVISION 0

PROJECT NUMBER 18015

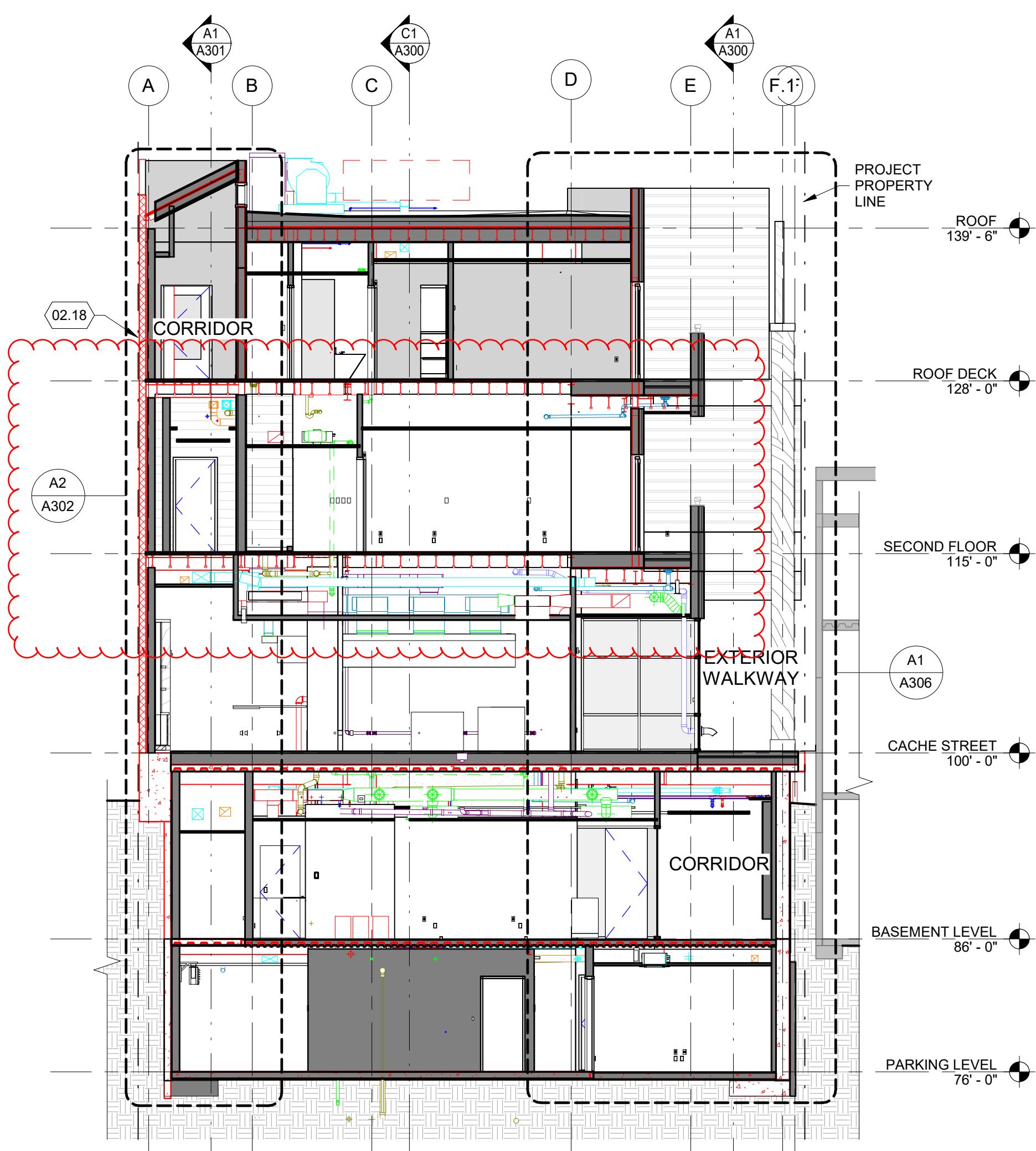
BUILDING  
SECTIONS

A300



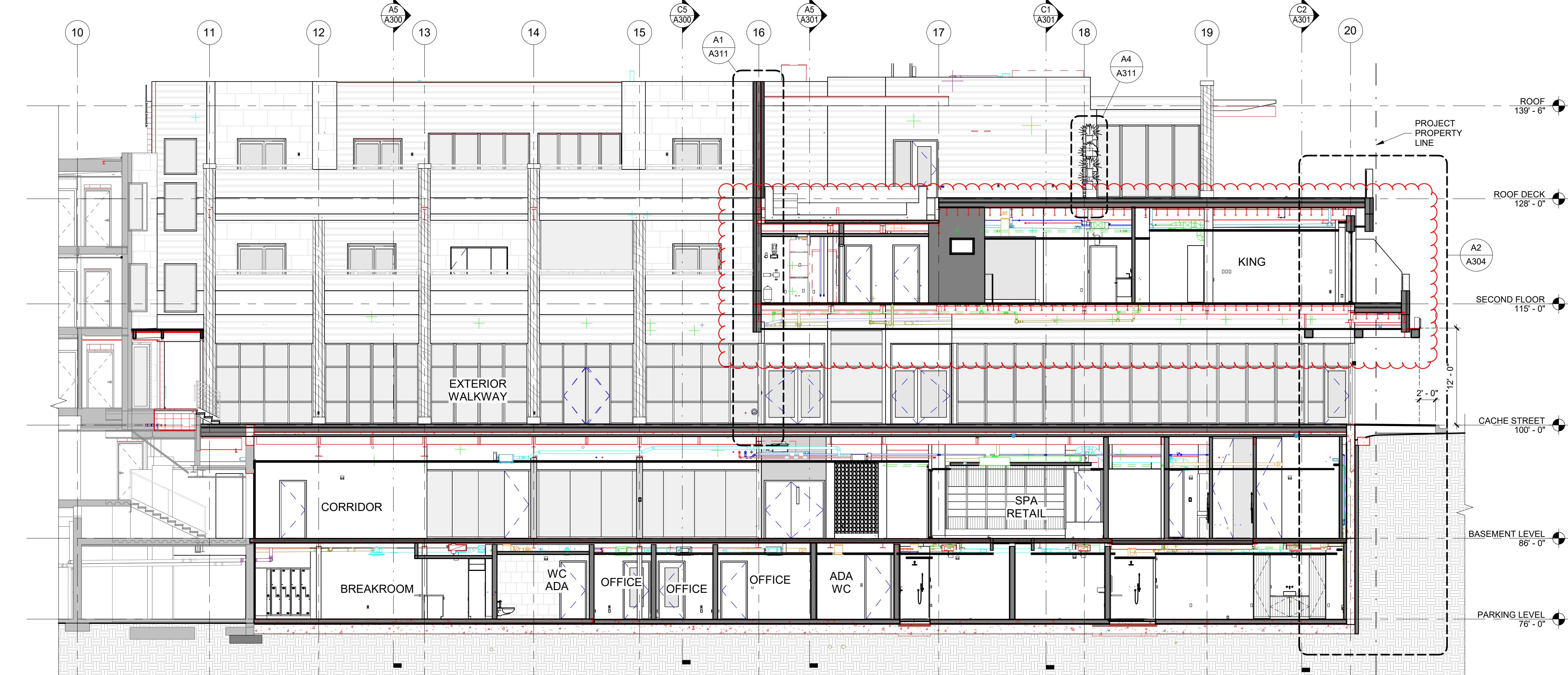
**C1** BUILDING SECTION 07

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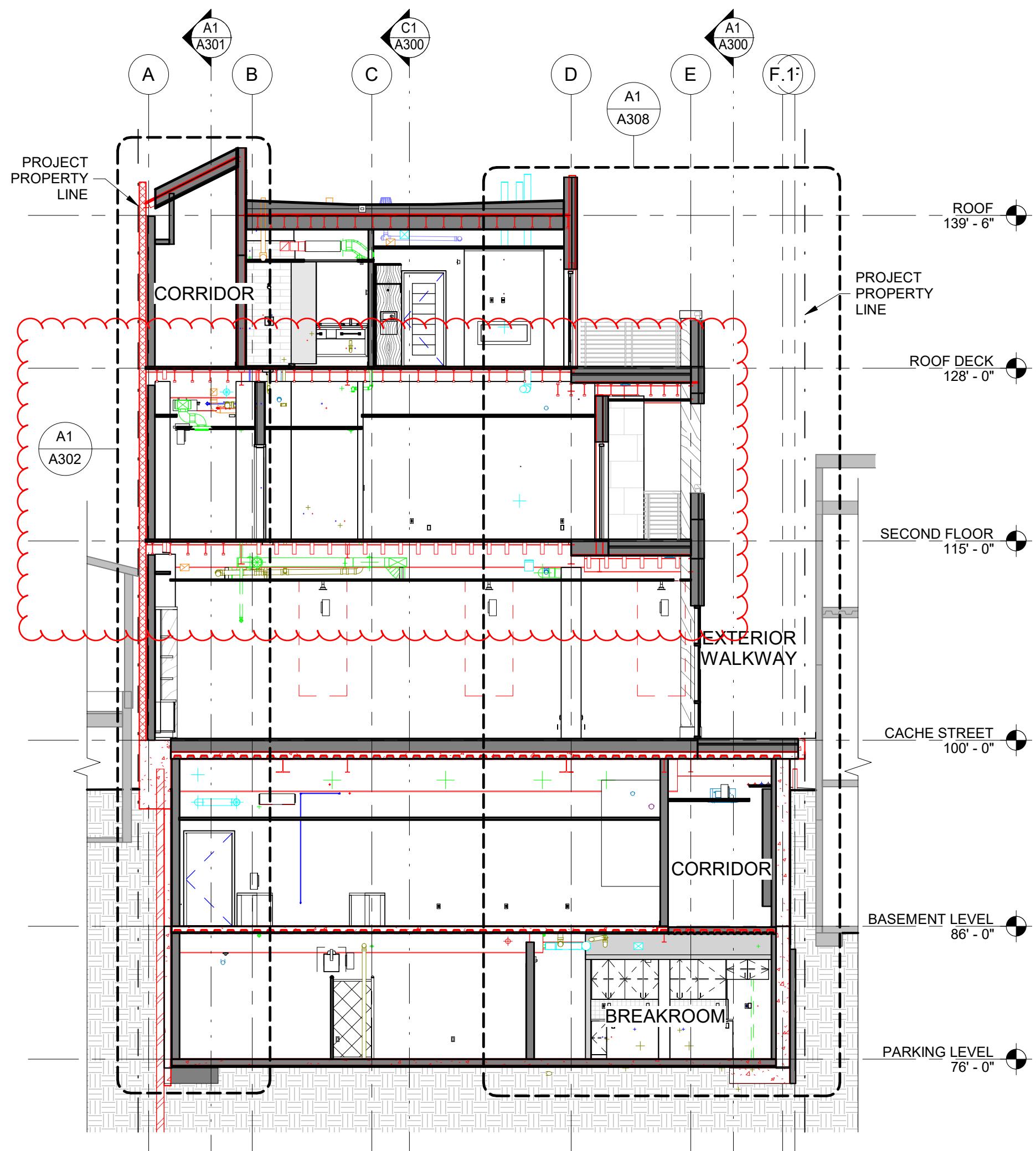
**C5** BUILDING SECTION 02

SCALE: 1/8" = 1'-0"



**A1** BUILDING SECTION 06

SCALE: 1/8" = 1'-0"



**A5** BUILDING SECTION 01

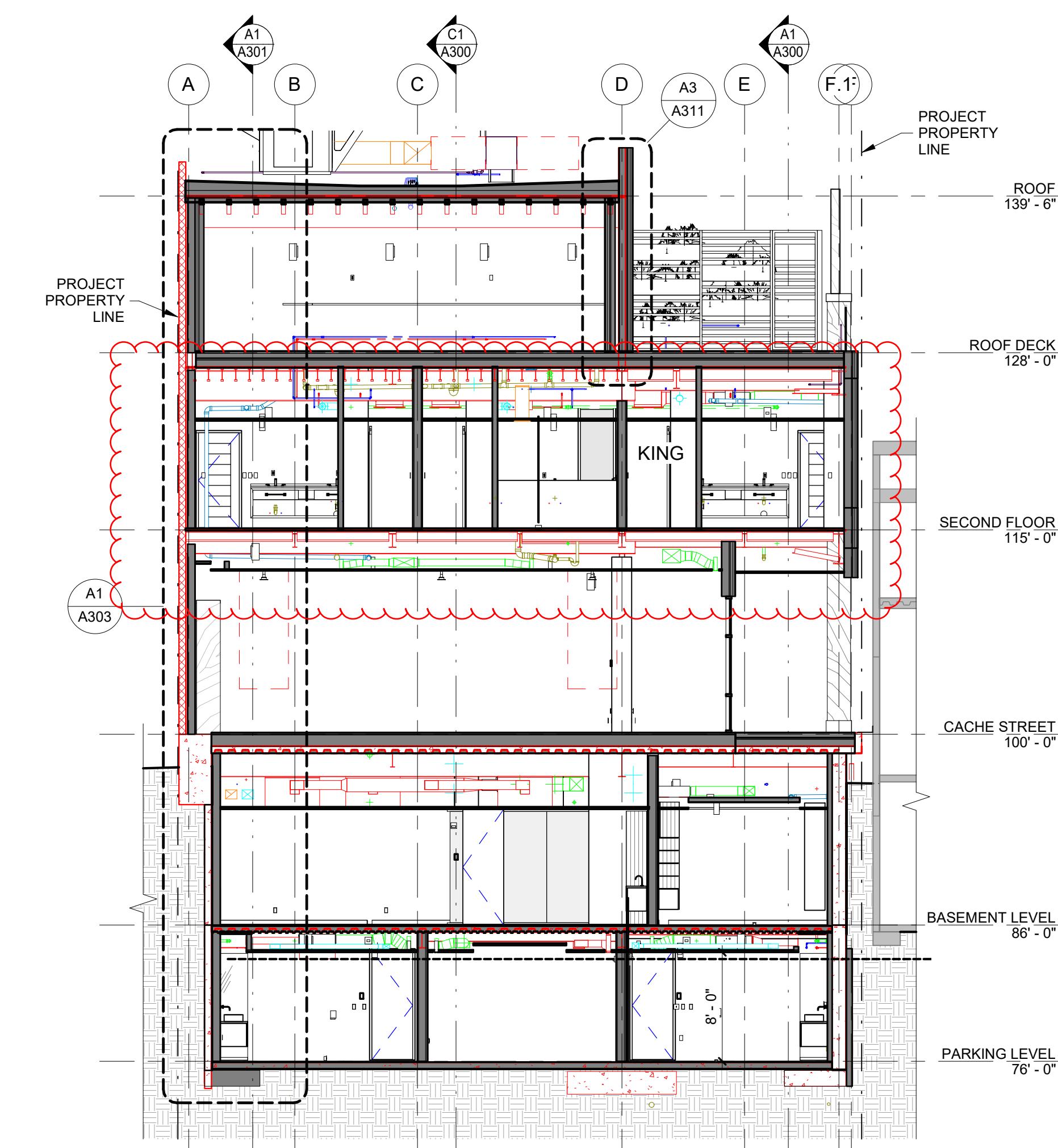
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PROJECT NUMBER 18015

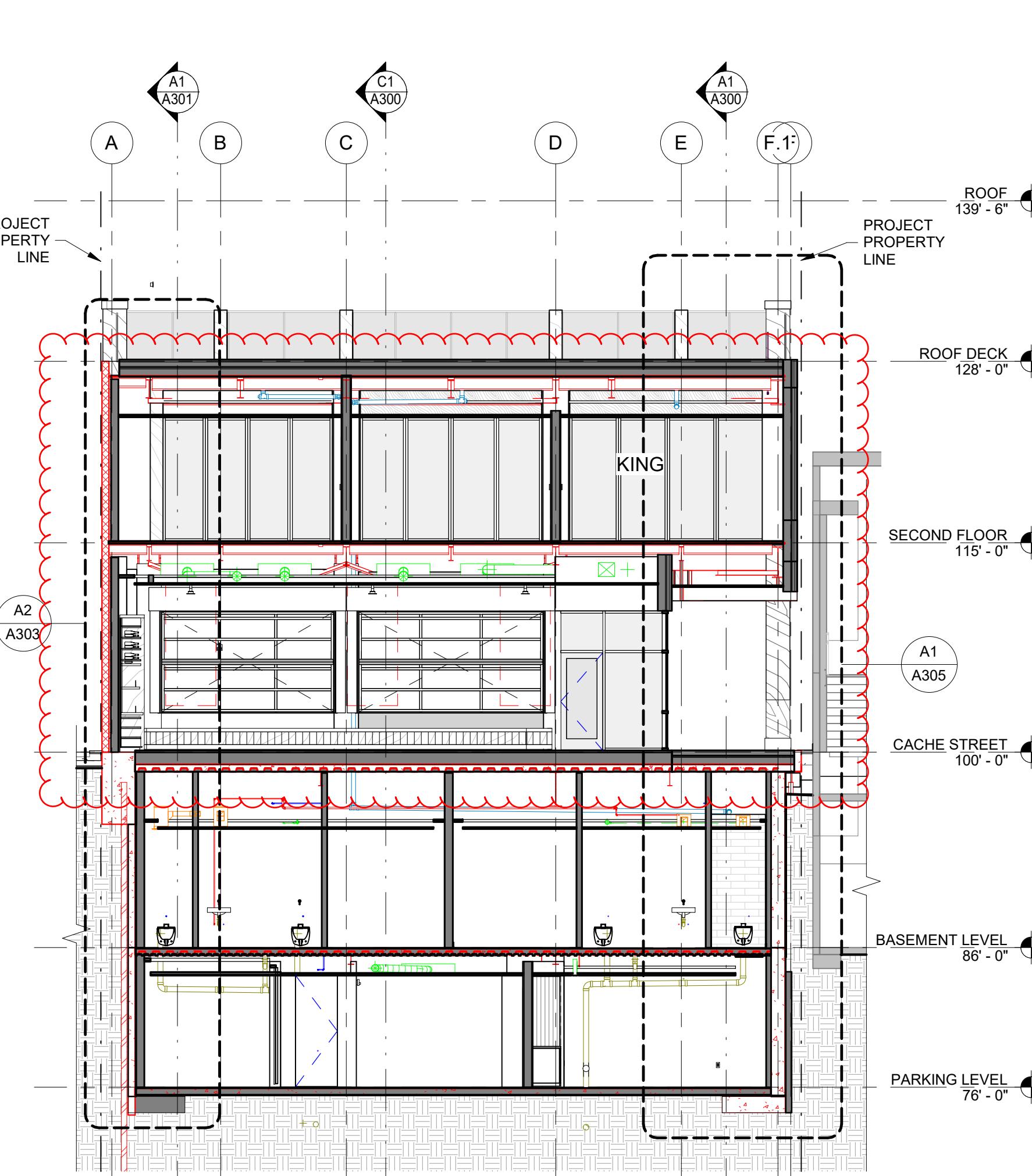
BUILDING SECTIONS

A301



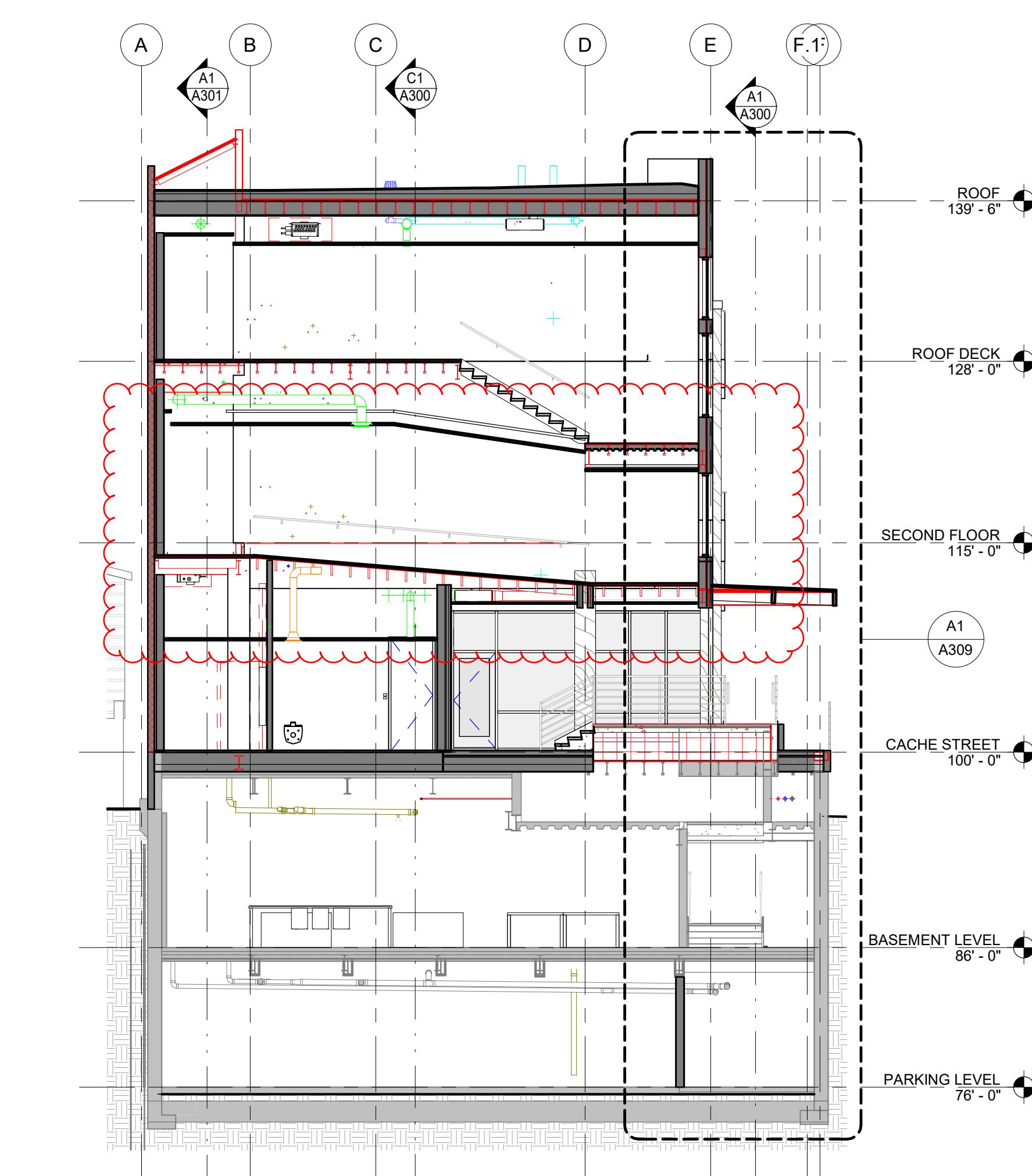
**C1** BUILDING SECTION 04

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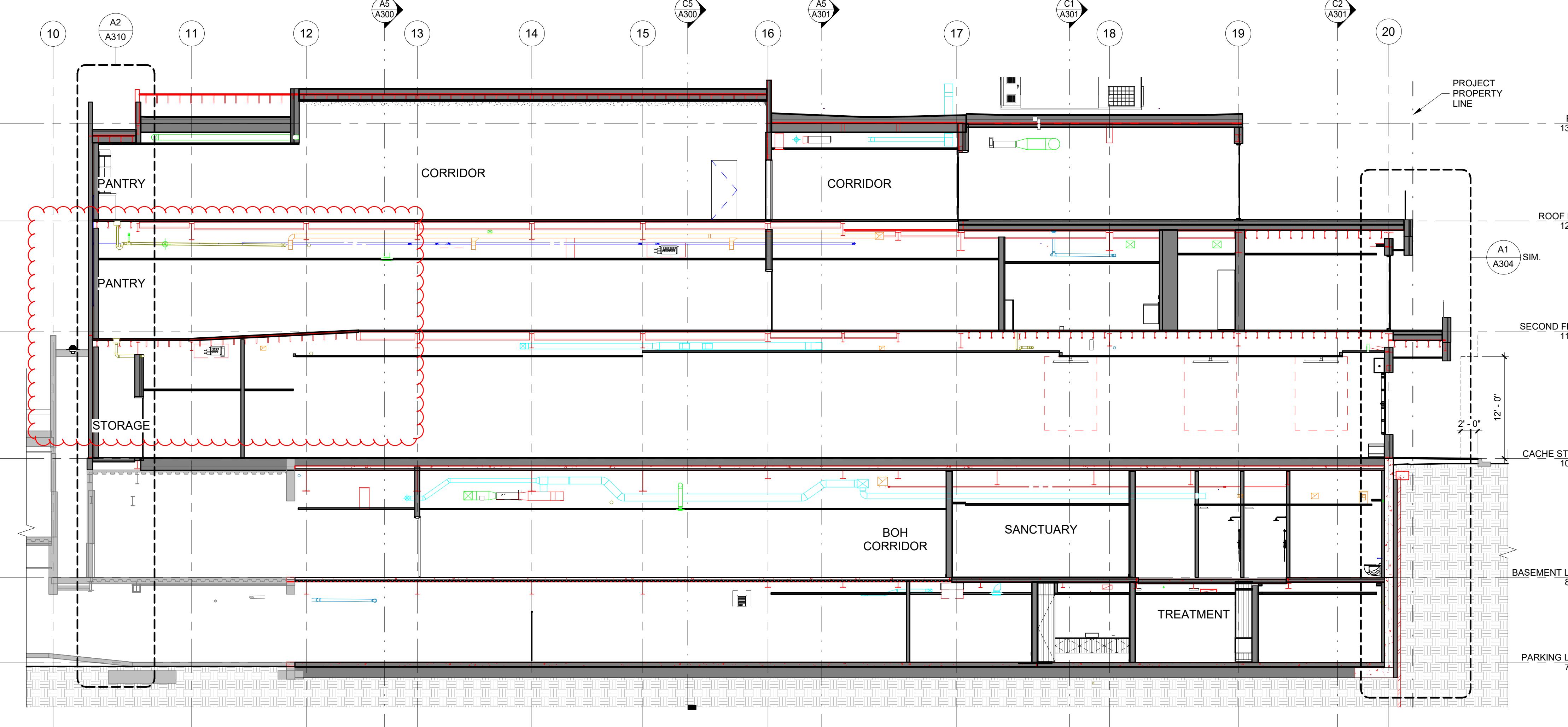
**C2** BUILDING SECTION 05

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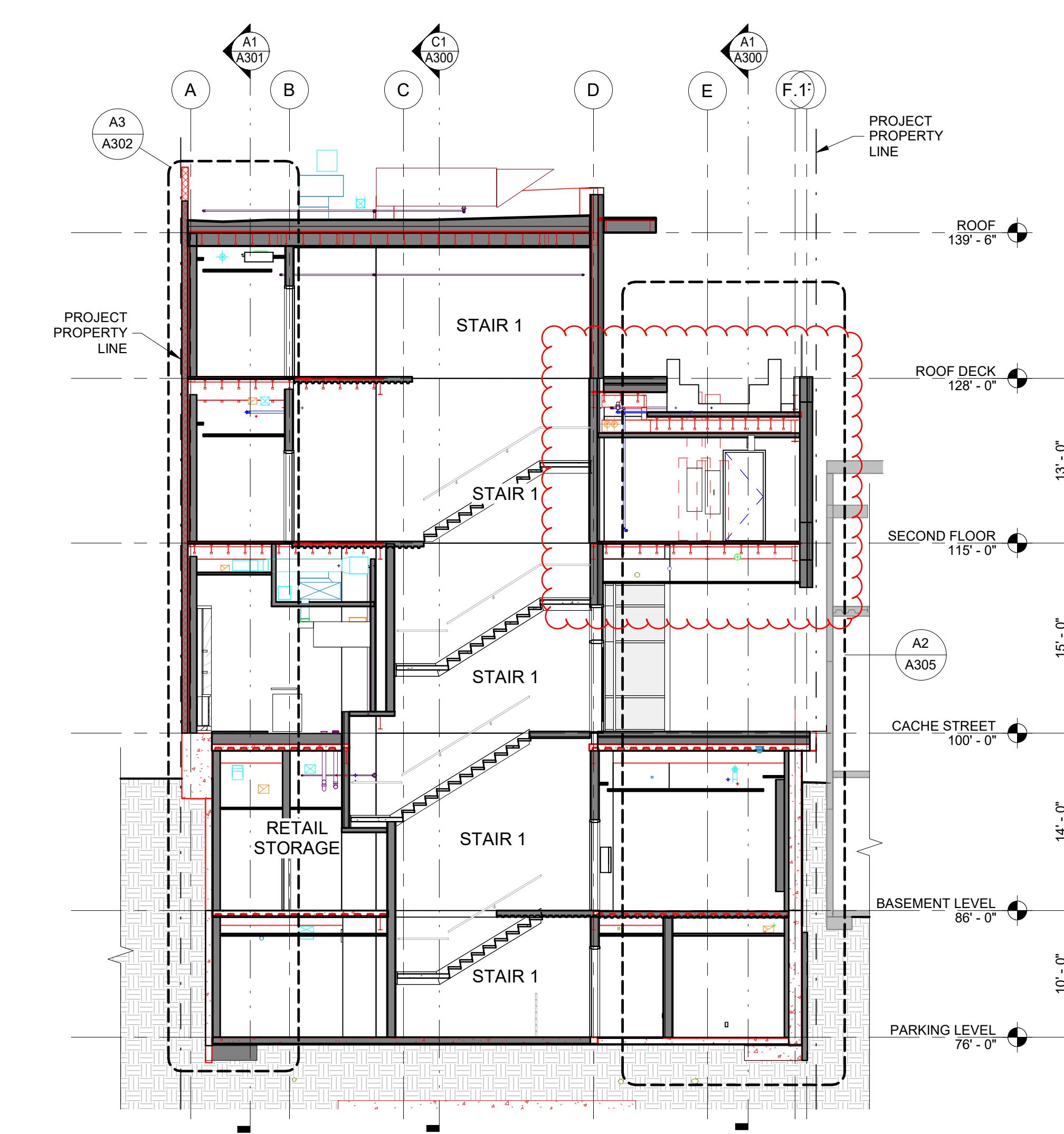
**C4** BUILDING SECTION 09

SCALE: 1/8" = 1'-0"



**A1** BUILDING SECTION 08

SCALE: 1/8" = 1'-0"



**A5** BUILDING SECTION 03

SCALE: 1/8" = 1'-0"

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