



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Joint Housing Dept

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: August 29, 2022

Item #: P22-155

Planner: Katelyn Page

Phone: 733-0440 ext. 1302

Email: [kpage@jacksonwy.gov](mailto:kpage@jacksonwy.gov)

**Owner**

Phenix Rising LLC  
PO Box 7782  
Jackson, WY 83002

**Applicant**

Melinda Dorion  
PO Box 7650  
Jackson, WY 83002

**REQUESTS:**

The applicant is submitting a REVISED request for a Basic Use Permit for change of use from Service to Retail for the property located at 800 W Broadway Ave. legally known as UNIT 5, GRAND TETON PLAZA CONDO PIDN: 22-41-16-33-2-01-005

For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.

**Please respond by: September 12, 2022 (with Comments)**

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[alangley@jacksonwy.gov](mailto:alangley@jacksonwy.gov)



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

***For Office Use Only***

Fees Paid \_\_\_\_\_

Date & Time Received \_\_\_\_\_

Application #s \_\_\_\_\_

***Please note: Applications received after 3 PM will be processed the next business day.***

**PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

**PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner \_\_\_\_\_ Applicant/Agent

**TYPE OF APPLICATION.** Please check all that apply; review the type of application at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning)

**Use Permit**

Basic Use

Conditional Use

Special Use

**Relief from the LDRs**

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

**Physical Development**

Sketch Plan

Development Plan

Design Review

**Subdivision/Development Option**

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

**Interpretations**

Formal Interpretation

Zoning Compliance Verification

**Amendments to the LDRs**

LDR Text Amendment

Map Amendment

**Miscellaneous**

Other: \_\_\_\_\_

Environmental Analysis

**PRE-SUBMITTAL STEPS.** To see if pre-submittal steps apply to you, go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: \_\_\_\_\_ Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for submittal requirements.

Have you attached the following?

**Application Fee.** Fees are cumulative. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for the fees.

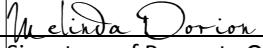
**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

**Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) under the relevant application type.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Verified by pdfFiller

  
\_\_\_\_\_  
Signature of Property Owner or Authorized Applicant/Agent  
06/16/2022

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name Printed

\_\_\_\_\_  
Title



TOWN OF JACKSON  
150 E Pearl Avenue  
PO Box 1687, Jackson, WY 83001  
P: (307)733-3932 F: (307)739-0919  
www.jacksonwy.gov

Date:

**LETTER OF AUTHORIZATION**  
NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual: Matthew Ryan

Being duly sworn, deposes and says that Phenix Rising LLC is the owner in fee of the premises located at:  
Name of property owner as listed on deed

Address of Premises: 800 Broadway Ave Jackson WY 83001

Legal Description: Unit 5 of Grand Teton Plaza Condominiums Plat No 440  
Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Melinda Dorion

Mailing address of Applicant/agent: Po Box 7650 Jackson WY 83002

Email address of Applicant/agent: melinda.shirk@gmail.com

Phone Number of Applicant/agent: 307-690-4957

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application       Building Permit Application

Public Right of Way Permit     Grading and Erosion Control Permit     Business License Application

Demolition Permit       Other (describe) Change of Use Permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Matthew Ryan  
Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Wyoming      )  
                                    ) SS.  
COUNTY OF Teton      )

The foregoing instrument was acknowledged before me by Matthew Ryan this 15<sup>th</sup> day of May 2022. WITNESS my hand and official seal.

Jeffrey Carlyle  
Notary Public

My commission expires:

JEFFREY CARLYLE  
NOTARY PUBLIC  
STATE OF WY COUNTY OF TETON  
COMMISSION EXP 2/23/2025



Professional Engineers & Land Surveyors

JACKSON, WY | BUFFALO, WY | VICTOR, ID

NELSONENGINEERING.NET

August 16<sup>th</sup>, 2022

TC/22-242

Town of Jackson  
Planning and Building Department  
P.O. Box 1687  
Jackson, WY 83001

ATTN: Katelyn Page, Associate Planner  
SUBJECT: Grand Teton Plaza Shared Parking Plan Amendment (Unit 5/Elevated Living)

Dear Katelyn:

Attached is an amendment to the Grand Teton Plaza Shared Parking Plan/Table as requested per your review stated in "P22-155 Dept. Reviews". This submittal was required due to a change in use as listed in the submitted Basic Use Permit (P22-155) and as required per the original shared parking agreement with the Grand Teton Plaza HOA and Town of Jackson. An updated "Parking Analysis Table" is enclosed to show changes in unit square footage and parking demand for Elevated Design. The data given in the table has not significantly changed from the previously provided information from past change in uses for other businesses other than that which pertains to 800 W. Broadway Ave., owned by Chateau Des Alpine, LLC, formerly O-Ryan's Cleaners.

As the "Parking Analysis Table" shows, the peak demand figure reaches 195.9 spaces, which is still significantly less than the available 227 parking spaces at the plaza, (site plan enclosed). Therefore, it is the conclusion of this amendment that there is adequate parking in the Grand Teton Plaza and First Interstate Bank Parking Lots for the current tenants including Elevated Design.

If you have any questions, or require additional information or clarification to that which is presented, please feel free to contact me at (307) 733-2087.

Sincerely,

*Taylor R. Cook*

Taylor R. Cook, LEED, MCRP  
Project Manager  
Encl.

**Grand Teton Plaza Shared Parking Plan**  
As Amended 8/16/22 (per accompanying Nelson Engineering letter)

Parking Spaces per 1000sf Amount or Size / Unit Amount or Size / Unit Peak Parking Demand	Boot Barn		Jackson Hole Health and Fitness <sup>1</sup>		Plaza Liquors		Eleanor's Again Bar and Grill		Stone Drug		Hong Kong Buffet		Pursue <sup>2</sup>		Jackson Parlour (Service) <sup>2</sup>		Earth Elements Interior Design (Retail), Formerly Knobe's Radio Shack <sup>3</sup>		Elevated Design (Formerly O'Ryan's Cleaners)		First Interstate Bank (Drive-through and Walk-in)		First Interstate Bank (Bank Loan Center)		
	3.16		4		3.16				3.16				4		3		3.16		3.16		3		3		
	7695	GFA sf	1193	aerobics sf	2872	GFA sf	2703	GFA sf	6890	GFA sf	3477	GFA sf	667	exercise sf	1650	GFA sf	8238	GFA sf	2660	GFA sf	5000	GFA sf	13921	GFA sf	
	na		52	ea	na		42	seats	na		74	seats	29	ea	na				810	(Loft) GFA sf	na		na		
	24.3		38.1		9.1		14.0		21.8		24.6		21.2		5.0		26.0		5.9		15.0		41.8		
	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Total Demand		
5:00 AM	0%	0	14%	5.3	0%	0	0%	0	0%	0	14%	3.0	0%	0	0%	0	0%	0	0%	0	0%	0	0%	8.3	
6:00 AM	0%	0	60%	22.8	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	0%	0	0%	0	0%	44.1	
7:00 AM	0%	0	47%	17.9	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	0%	0	0%	0	19%	47.0	
8:00 AM	0%	0	71%	27.0	0%	0	0%	0	0%	0	27%	5.7	0%	0	0%	0	0%	0	0%	0	0%	0	64%	71.5	
9:00 AM	30%	7.3	47%	17.9	80%	7.3	0%	0	35%	7.6	0%	0	50%	10.6	50%	2.5	50%	13.0	45%	2.7	80%	12.0	91%	38.0	118.8
10:00 AM	55%	13.4	45%	17.1	80%	7.3	0%	0	35%	7.6	85%	20.9	14%	3.0	50%	2.5	50%	13.0	51%	3.0	100%	15.0	99%	41.3	144.1
11:00 AM	75%	18.2	64%	24.4	80%	7.3	0%	0	35%	7.6	92%	22.6	14%	3.0	50%	2.5	75%	19.5	67%	4.0	100%	15.0	99%	41.3	165.4
12:00 PM	90%	21.9	58%	22.1	80%	7.3	0%	0	35%	7.6	100%	24.6	100%	21.2	100%	5.0	75%	19.5	72%	4.2	100%	15.0	98%	40.9	189.3
1:00 PM	100%	24.3	47%	17.9	100%	9.1	0%	0	61%	13.3	90%	22.1	100%	21.2	100%	5.0	90%	23.4	70%	4.1	100%	15.0	96%	40.1	195.5
2:00 PM	100%	24.3	32%	12.2	100%	9.1	0%	0	51%	11.1	53%	13.0	27%	5.7	100%	5.0	90%	23.4	75%	4.4	100%	15.0	100%	41.8	165.0
3:00 PM	100%	24.3	40%	15.2	100%	9.1	0%	0	86%	18.7	42%	10.3	14%	3.0	100%	5.0	75%	19.5	72%	4.2	80%	12.0	99%	41.3	162.7
4:00 PM	95%	23.1	66%	25.1	80%	7.3	22%	3.1	58%	12.6	42%	10.3	75%	15.9	50%	2.5	90%	23.4	71%	4.2	80%	12.0	90%	37.6	177.1
5:00 PM	85%	20.7	100%	38.1	80%	7.3	60%	8.4	65%	14.2	76%	18.7	100%	21.2	50%	2.5	75%	19.5	70%	4.1	80%	12.0	58%	24.2	190.8
6:00 PM	80%	19.5	65%	24.7	80%	7.3	94%	13.2	100%	21.8	83%	20.4	100%	21.2	0%	0	0%	0	10%	0.6	0%	0	0%	0	128.6
7:00 PM	75%	18.2	42%	16.0	80%	7.3	100%	14.0	84%	18.3	63%	15.5	27%	5.7	0%	0	0%	0	10%	0.59	0%	0	0%	0	95.6
8:00 PM	65%	15.8	12%	4.6	80%	7.3	81%	11.3	68%	14.8	66%	16.2	10%	2.1	0%	0	0%	0	10%	0.59	0%	0	0%	0	72.7
9:00 PM	0%	0	6%	2.3	80%	7.3	84%	11.8	35%	7.6	63%	15.5	10%	2.1	0%	0	0%	0	0%	0	0%	0	0%	0	46.5
10:00 PM	0%	0	0%	0	0%	0	0%	0	35%	7.6	48%	11.8	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	20.5
11:00 PM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	1.1
12:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4
1:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4
2:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2
3:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2
4:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4

Total Spaces Available:

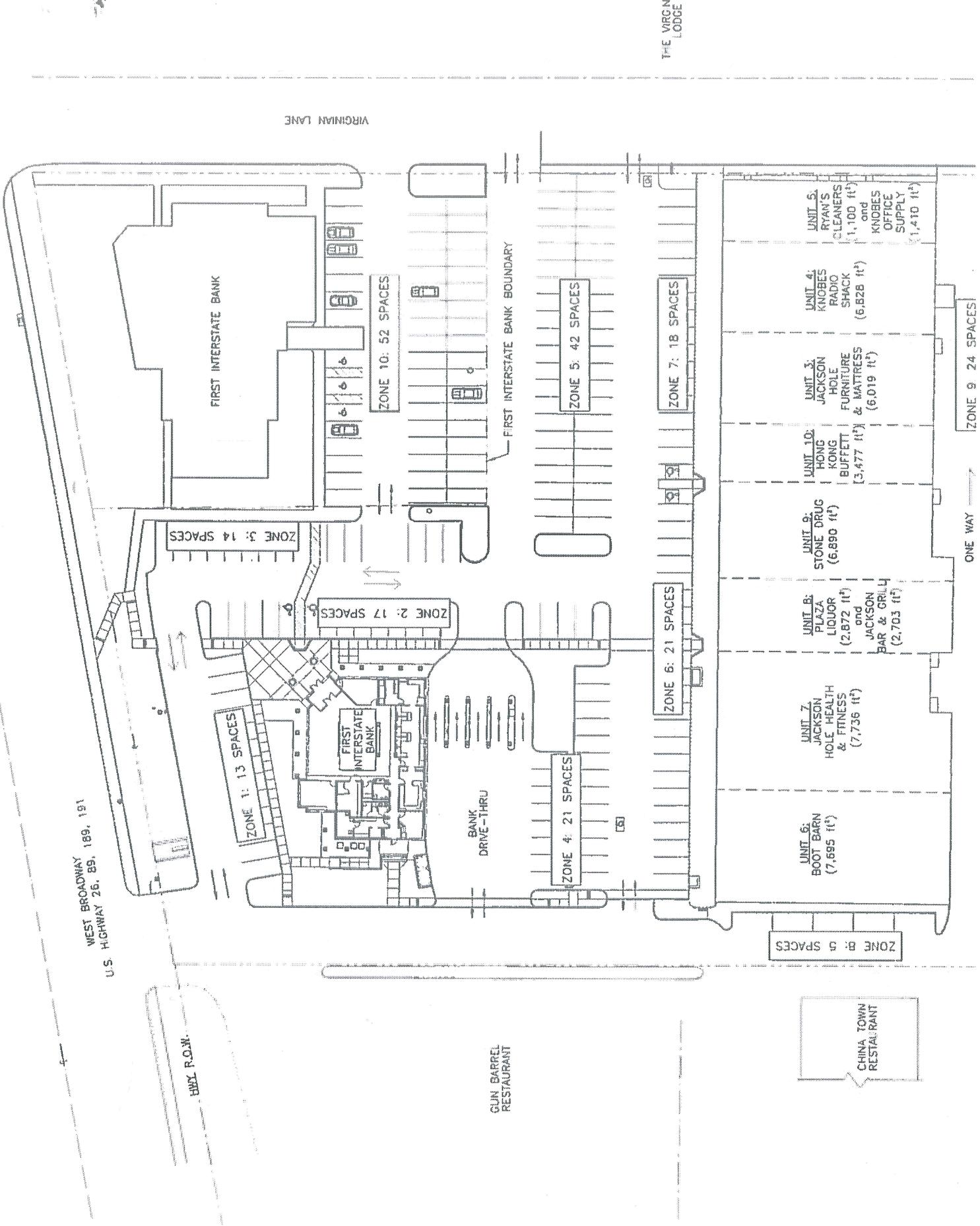
227

Notes:

1) 52 machines, machine utilization rate 64%, 1193sf other activity, 4 spaces per 1000sf, 2 saunas. Peak Parking Demand =  $(52 \times 0.64) + (1193 \times 4 \text{ spaces}/1000 \text{ sf}) = 38.1 \text{ spaces}$

2) 820 West Broadway, formerly the location of Jackson Hole Mattress and Furniture, has been remodeled and split into two spaces: Space 1 houses Pursue boutique fitness studio with 3850sf on the main floor and 29 machines, machine utilization rate of 64%, and 1000sf of loft exercise space at 4 spaces per 1000sf, Peak Parking Demand =  $(29 \times 0.64) + (667 \times 4 \text{ spaces}/1000 \text{ sf}) = 21.2 \text{ spaces}$ , 24-hour gym access is included; and Space 2 is Jackson Parlour (Salon) with 1650sf on the main floor.

3) Retail Space Formerly Knobe's Radio Shack, area corrected from 6019sf to 6828sf as numbers for Jackson Hole Mattress and Knobe's Radio Shack were previously transposed; this space is now Earth Elements, an interior design store.



# NELSON ENGINEERING since 1964

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DD/19-172-01

January 29, 2020

Town of Jackson  
Planning and Building Department  
P.O. Box 1687  
Jackson, WY 83001

ATTN: Tyler Valentine, Associate Planner  
SUBJECT: Grand Teton Plaza Shared Parking Plan Amendment

Dear Tyler:

Attached is an amendment to the Grand Teton Plaza Shared Parking Plan. This submittal was required due to a change in tenants for one of the two spaces located at 820 W. Broadway Ave and supersedes the submittal of June 19, 2019, as more information regarding the new tenant's operation has been provided to Nelson Engineering and the Town of Jackson. An update to the "Alternative #5/Town Recommendation" table is enclosed. The data given in the table has not changed from the previously provided information other than that which pertains to 820 W. Broadway Ave., owned by Teton Plaza Holdings, LLC and the correction of minor errors/typos; the data is now also consistently presented to the 10<sup>th</sup> decimal place.

820 W. Broadway, owned by Teton Plaza Holdings, LLC, formerly the location for Jackson Hole Mattress and Furniture was remodeled and split into two spaces in 2016: Space 2 is home to Jackson Parlour with 1650sf on the main floor, and Space 1 previously housed TGT Sticker with 3850sf on the main floor and 1000sf of loft space but is now rented to Pursue Boutique Fitness Studio. The studio/equipment space is located on the main floor, which includes two bathrooms, and the loft space is split into two uses: 667sf of yoga space and 333sf of mechanical closet and storage space. One employee is onsite approximately 10 hours per week and instructors come and go according to class schedules.

Per the amendment to Alternative #5/Town Recommendation table, the peak demand figure has increased from 186.2 spaces, required to meet the total demand, to 194.3 spaces, still significantly less than the available 227 parking spaces at the plaza, which remain the same (site plan enclosed). Therefore, it is the conclusion of this amendment that there is adequate parking in the Grand Teton Plaza and First Interstate Bank Parking Lots for the current tenants including Pursue.

If you have any questions, or require additional information or clarification to that which is presented, please feel free to contact me at (307) 733-2087.

Sincerely,



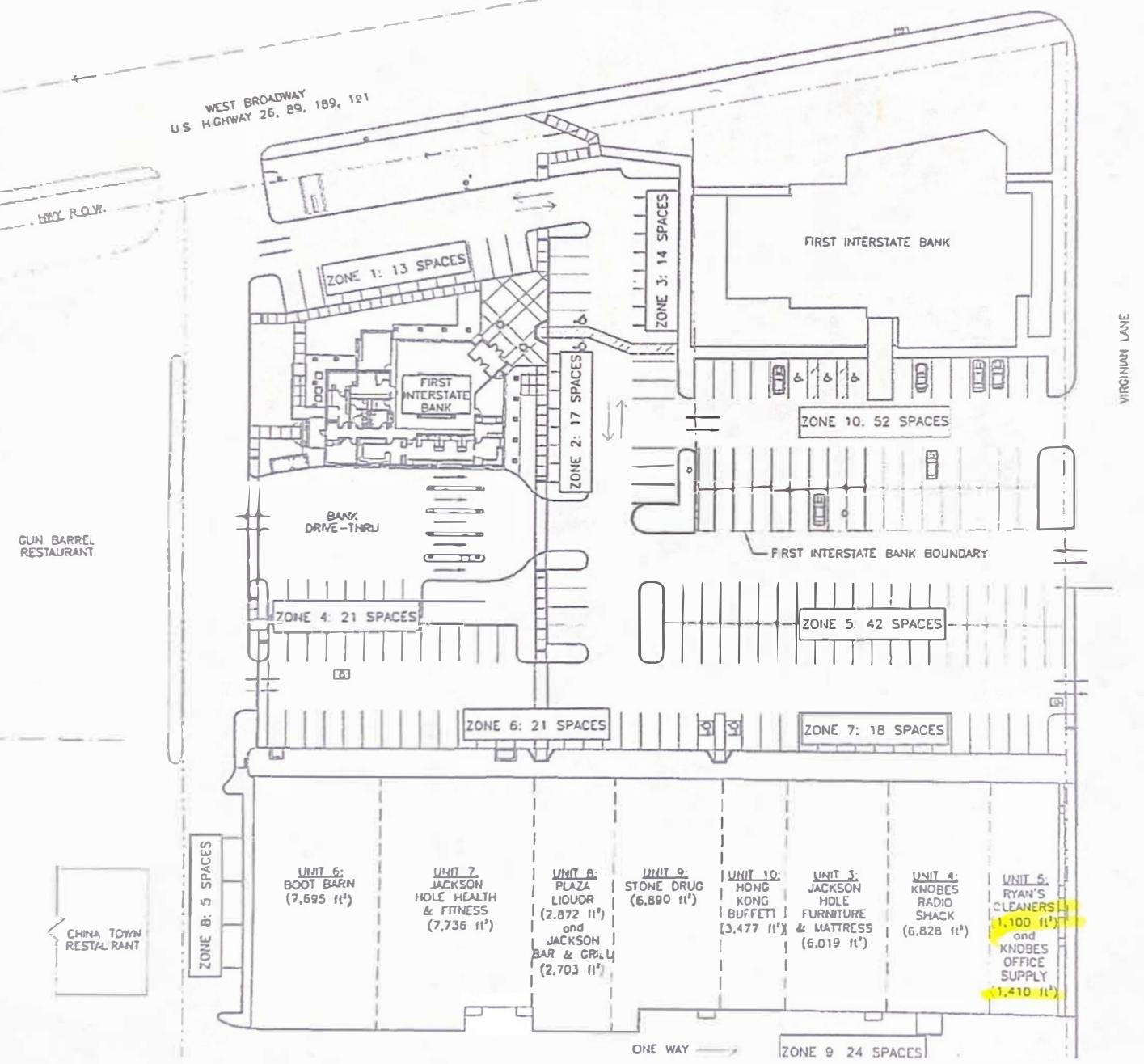
Dave Dufault, P.E.  
Civil Engineer

Encl.

cc. w/ encl. Teton Plaza Holdings, LLC

ph 307.733.2087 | fx 307.733.4179 | PO Box 1599 | 430 South Cache | Jackson, Wyoming 83001





Grand Teton Plaza Shared Parking Plan  
As Amended 1/29/20

		Jackson Hole Health and Fitness <sup>1</sup>		Plaza Liquors		Eleanor's Again Bar and Grill		Stone Drug		Hong Kong Buffet		Pursue <sup>2</sup>		Jackson Parlour (Service) <sup>2</sup>		Earth Elements Interior Design (Retail), Formerly Knobe's Radio Shack <sup>3</sup>		O'Ryan Cleaners		First Interstate Bank (Drive-through and Walk-in)		First Interstate Bank (Bank Loan Center)			
Parking Spaces per 1000sf		3.16		4		3.16		3.16		4		3		3.16		3.16		3		3					
Amount or Size / Unit	Amount or Size / Unit	7695	GFA sf	1193	aerobics sf	2872	GFA sf	2703	GFA sf	6850	GFA sf	3477	GFA sf	667	exercise sf	1650	GFA sf	8238	GFA sf	1100	GFA sf	5000	GFA sf		
Peak Parking Demand		na		52	ea	na		42	seats	na		74	seats	29	ea	na	na	na	na	na	na	na	na		
		24.3		38.1		9.1		14.0		21.8		24.6		21.2		5.0		26.0		3.5		15.0		41.8	
Hourly Variations	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Total Demand		
5:00 AM	0%	0	14%	5.3	0%	0	0%	0	0%	0	0%	0	14%	3.0	0%	0	0%	0	0%	0	0%	0	0%	8.3	
6:00 AM	0%	0	60%	22.8	0%	0	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	0%	0	0%	44.1	
7:00 AM	0%	0	47%	17.9	0%	0	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	19%	7.9	47.0		
8:00 AM	0%	0	71%	27.0	0%	0	0%	0	0%	0	0%	0	27%	5.7	0%	0	0%	0	16%	0.6	80%	12.0	64%	26.7	
9:00 AM	30%	7.3	47%	17.9	80%	7.3	0%	0	35%	7.6	0%	0	50%	10.6	50%	2.5	50%	13.0	55%	1.9	80%	12.0	91%	38.0	
10:00 AM	55%	13.4	45%	17.1	0%	0	35%	7.6	85%	20.9	14%	3.0	50%	2.5	50%	13.0	57%	2.0	100%	15.0	99%	41.3	143.1		
11:00 AM	75%	18.2	64%	24.4	80%	7.3	0%	0	35%	7.6	92%	22.6	14%	3.0	50%	2.5	75%	19.5	84%	2.9	100%	15.0	99%	41.3	164.3
12:00 PM	90%	21.9	58%	22.1	80%	7.3	0%	0	35%	7.6	100%	24.6	100%	21.2	100%	5.0	75%	19.5	84%	2.9	100%	15.0	98%	40.9	188.0
1:00 PM	100%	24.3	47%	17.9	100%	9.1	0%	0	61%	13.3	90%	22.1	100%	21.2	100%	5.0	90%	23.4	83%	2.9	100%	15.0	96%	40.1	194.3
2:00 PM	100%	24.3	32%	12.2	100%	9.1	0%	0	51%	11.1	53%	13.0	27%	5.7	100%	5.0	90%	23.4	94%	3.3	100%	15.0	100%	41.8	163.9
3:00 PM	100%	24.3	40%	15.2	100%	9.1	0%	0	86%	18.7	42%	10.3	14%	3.0	100%	5.0	75%	19.5	90%	3.1	80%	12.0	99%	41.3	161.6
4:00 PM	95%	23.1	66%	25.1	80%	7.3	23%	3.1	58%	12.6	42%	10.3	75%	15.9	50%	2.5	90%	23.4	81%	2.8	80%	12.0	90%	37.6	175.7
5:00 PM	85%	20.7	100%	38.1	80%	7.3	60%	8.4	65%	14.2	76%	18.7	100%	21.2	50%	2.5	75%	19.5	93%	3.2	80%	12.0	58%	24.2	189.9
6:00 PM	80%	19.5	65%	24.7	80%	7.3	94%	13.2	100%	21.8	83%	20.4	100%	21.2	0%	0	0%	0	100%	3.5	0%	0	0%	0	131.5
7:00 PM	75%	18.2	42%	16.0	80%	7.3	100%	14.0	84%	18.3	63%	15.5	27%	5.7	0%	0	0%	0	0%	0	0%	0	0%	0	95.0
8:00 PM	65%	15.8	12%	4.6	80%	7.3	81%	11.3	68%	14.8	66%	16.2	10%	2.1	0%	0	0%	0	0%	0	0%	0	0%	0	72.1
9:00 PM	0%	0	8%	2.3	80%	7.3	84%	11.8	35%	7.6	63%	15.5	10%	2.1	0%	0	0%	0	0%	0	0%	0	0%	0	46.5
10:00 PM	0%	0	0%	0	0%	0	0%	0	35%	7.6	48%	11.8	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	20.5
11:00 PM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	1.1
12:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4
1:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4
2:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2
3:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2
4:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4

Total Spaces Available: 227

Notes:  
1) 52 machines, machine utilization rate 64%, 1193sf other activity, 4 spaces per 1000sf, 2 saunas. Peak Parking Demand =  $(52 \times 0.64) \div (1193 \text{sf} \times 4 \text{ spaces per 1000sf}) = 38.1 \text{ spaces}$   
2) 820 West Broadway, formerly the location of Jackson Hole Mattress and Furniture, has been remodeled and split into two spaces: Space 1 houses Pursue boutique fitness studio with 3850sf on the main floor and 29 machines, machine utilization rate of 64%, and 1000sf of loft exercise space at 4 spaces per 1000sf, Peak Parking Demand =  $(29 \times 0.64) \div (667 \text{sf} \times 4 \text{ spaces per 1000sf}) = 21.2 \text{ spaces}$ , 24-hour gym access is included, and Space 2 is Jackson Parlour (Salon) with 1650sf on the main floor.  
3) Retail Space Formerly Knobe's Radio Shack, area corrected from 6019sf to 6828sf as numbers for Jackson Hole Mattress and Knobe's Radio Shack were previously transposed; this space is now Earth Elements, an interior design store.

GRAND TETON PLAZA  
PARKING ALLOCATION AGREEMENT

This agreement is made and entered into to be effective as of the 14<sup>th</sup> day of May, 2001, by and between CPR, LTD, a Wyoming corporation, Jack L. Stone and JoAnn Stone, Elizabeth W. McCabe, as Trustee of The Elizabeth W. McCabe Revocable Trust dated February 28, 1995 and as Amended and Restated on August 15, 1998 and any Amendments thereto, Thomas S. Yearsley and Ruth M. Hawkins.

WITNESSETH

WHEREAS, the Owners, at the request of the Town of Jackson resulting from an application for an increase in the number of exercise stations in the Jackson Hole Athletic Club occupying a portion of Unit 1, have commissioned and have completed a Parking Study by Morrison-Maierle Inc. of Helena, Montana, to confirm the availability of parking for existing and assumed commercial use of the Condominium Units owned by each of the above named Owners; and

WHEREAS, the Parking Study is concluded and reflects the fact that it is the determination, finding and opinion of the consultants that there is adequate parking in the Grand Teton Plaza parking lot to service the banking facilities constructed and to be operated by First Interstate Bank, plus sufficient capacity to handle an assumed retail use of each of the units specifically including the lofts constructed by individual Unit Owners within their individual units and the athletic club and restaurant uses based upon thirty (30) exercise stations for the athletic club and seventy six (76) seats for the restaurant all as more particularly set forth in the Parking Study done by Morrison-Maierle Inc. and dated January 26th, 2001; and

WHEREAS, the parties have the 30<sup>th</sup> day of June, 2000, entered into an agreement for Amendment of Declaration of Condominium for Grand Teton Plaza whereby parking spaces in the common area of the condominium development are to be initially allocated to the Unit Owners based on a pro rata square footage allocation; and

WHEREAS, as a result of uses with greater parking demand than ordinary retail uses and the construction of lofts within a number of the units, the Owners of Units 1, 2, 3, and 4 have currently exceeded the pro rata allocation of parking spaces allowable to them; and

WHEREAS, the Parking Study reflects that, based upon the analysis contained therein, there is sufficient parking available for additional uses over and above the assumed full retail use for Units 3, 4, and 5 and portions of Units 1 and 2 dedicated to retail use; and

WHEREAS, the parties wish to enter into an agreement that will allow a further allocation of spaces for expansion or replacement of existing businesses while remaining within the overall parking lot capacity in accordance with the January 26th, 2001 Parking Study; and

WHEREAS, the parties wish to establish a reasonable charge for allocation of spaces to a business that are in excess of the basic allocation of 3.23 spaces per 1000 square feet of ground floor and loft area as set forth in the Parking Study;

NOW THEREFORE, it is hereby agreed by and between the parties as follows:

1. The existing and assumed uses as contained in Table 13 of the January 26th, 2001 Parking Study reduced by thirteen (13) restaurant seats for the business known as Hong Kong Buffet and twelve (12) exercise stations or pieces of exercise equipment for the Jackson Hole Athletic Club, plus utilization of all loft areas within each of the individual units as presently constructed as of the date of this agreement assumed to be utilized at the full retail parking figure of 3.23 spaces per one thousand square feet, is the minimum number of spaces that each Unit Owner shall be authorized to utilize for so long as those businesses continue. Parking that is not assigned to one of the specific Unit Owners shall thereafter be designated as "Pool Spaces". "Pool Spaces" shall be, as used in this agreement, those spaces available based on the Parking Study or any future Parking Study undertaken by the Owners jointly or any Owner individually that are over and above the 3.23 spaces per one thousand square feet of ground floor and loft space, 74 Restaurant seats and 30 Athletic Club exercise stations, which are the grandfathered uses of the parties.

2. The parties agree that the Parking Study reflects that there are up to 15 "Pool Spaces" available over and above the current "grandfathered" assumed needs of the units with their existing businesses. Any reduction in uses by any of the Tenants/Owners down to the amount to which they would be entitled based on an assumption of 3.23 spaces per one thousand square feet of ground floor and loft space shall also become "Pool Spaces".

3. "Pool Spaces" may be utilized by an individual Unit Owner for expansion of existing businesses or other owners or tenant businesses or loft space provided that approval of such utilization of such Pool Spaces is obtained in advance, in writing from the Owners Association.

4. The procedure for allocation of Pool Spaces shall be as follows:

a. An applicant shall apply to the Owners Association in writing for utilization of Pool Spaces. The application shall reference the January 26th, 2001 Parking Study as the basis for determining the availability of parking and shall show the availability of spaces based upon the Parking Study.

b. The application for use shall be for a period of time not longer than the initial term of any proposed lease for facilities, which will utilize the parking.

c. The request will not become effective unless it shall have been approved in writing by Owners as follows:

i. In the event the request for utilization of Pool Spaces is greater than the number of Pool Spaces multiplied by the percentage ownership Common Elements owned by that Unit Owner then one hundred percent (100%) of the total ownership interests in the common facilities must approve.

ii. In the event the requested number of Pool Spaces is less than the number of Pool Spaces multiplied by the percentage ownership of the applicant then approval shall require only a simple majority vote of the ownership interests.

iii. At the termination of the initial term of the lease for which Pool Parking Units are allocated, the Owner of the unit may request a renewal of the allocation, but that Owner shall have no preferential right to renewal and competing applications for utilization of those spaces shall be given equal consideration for approval. Nothing in this paragraph shall however be deemed or construed to prohibit the renewal of such allocation if Owners of the requisite ownership interests as set forth above approve.

d. Each successful applicant shall agree that in consideration of the use of the pool Spaces the applicant will pay an additional assessment equal to the total budget of the Owners Association divided by one hundred forty four (144) parking spaces and multiplied by the number of Pool Parking Spaces approved for use of that applicant. This assessment will be an annual assessment payable during each year of the term of the lease.

5. Each member of the Grand Teton Plaza Owners Association shall be entitled to enforce the terms and provisions of this agreement. Enforcement may specifically include extraordinary remedies such as injunctive relief, including affirmative injunctions requiring cessation of uses attendant with and dependent upon "Pool Space" allocations, which have been terminated or have expired with the initial term of the lease.

6. This agreement shall be enforceable as a contract by any party to the agreement against any other party and by or against any successor in interest of any party hereto in the ownership of one of the Grand Teton Plaza Condominium Units. A Memorandum of this agreement shall be recorded in the real property records of Teton County, Wyoming with respect to each of the individual condominium units and this agreement shall be deemed and construed to be a covenant running with the land and airspace interests unless and until it shall be

modified or revoked by a document in writing signed by all of the Owners of Condominium Units and recorded in the Office of the Teton County Clerk, Teton County, Wyoming.

7. In any enforcement action brought pursuant to this agreement and covenant, the prevailing party shall be entitled to recover, in addition to all other relief granted, a reasonable sum as and for attorney's fees and costs incurred.

IN WITNESS WHEREOF, the parties have hereunto set their hands to be effective as of the day and year first above written.

Unit No 1. Owner

CPR LTD, a Wyoming corporation

By: Elizabeth W. McCabe <sup>PLC</sup>  
Hs: John L. Stone  
V. PRES.

Unit No 2. Owner

Jack L. Stone  
Jack L. Stone  
Jo Ann Stone  
Jo Ann Stone

Unit No 3. Owner

Elizabeth W. McCabe  
Elizabeth W. McCabe, as Trustee of  
The Elizabeth W. McCabe Revocable  
Trust dated February 28, 1995 and as  
Amended and Restated on August 15,  
1998 and any Amendments thereto.

Unit No 4. Owner & Mortgagee:

Thomas S. Yearsley  
Thomas S. Yearsley

GRAND TETON PLAZA  
PARKING ALLOCATION AGREEMENT

Unit No 5, Owner & Mortgagee:

Ruth M. Hawkins  
Ruth M. Hawkins

STATE OF Wyoming )  
COUNTY OF Teton ) ss.

The foregoing instrument was acknowledged before me by Peter L. Cook,  
as Vice President of CPR LTD, a Wyoming corporation this  
19th day of June, 2001.

Witness my hand and official seal.

Lisa M. Paddleford  
Notary Public

My Commission Expires: 12/2004



STATE OF Wyoming )  
COUNTY OF Lincoln ) ss.

The foregoing instrument was acknowledged before me by Jack L. Stone  
and JoAnn Stone this 4 day of June, 2001.

Witness my hand and official seal.

Jared B. Gleue  
Notary Public

My Commission Expires: 10/24/04



STATE OF WYOMING )  
COUNTY OF TETON ) ss.



The foregoing instrument was acknowledged before me by Elizabeth W. McCabe, as Trustee of the Elizabeth W. McCabe Revocable Trust, dated February 28, 1995 and as Amended and Restated on August 15, 1998 and any Amendments thereto this 19th day of July, 2001.

Witness my hand and official seal.

Elizabeth E. Finkelson  
Notary Public

My Commission Expires: June 3, 2002

STATE OF Wyoming )  
COUNTY OF Park ) ss.



The foregoing instrument was acknowledged before me by Thomas S. Yearsley this 9th day of June, 2001.

Witness my hand and official seal.

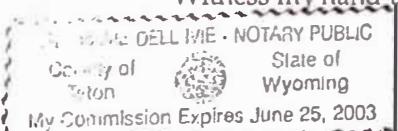
Celeste A. Dannemiller  
Notary Public

My Commission Expires:

STATE OF Wyoming )  
COUNTY OF Teton ) ss.

The foregoing instrument was acknowledged before me by Ruth M. Hawkins this 26 day of June, 2001.

Witness my hand and official seal.

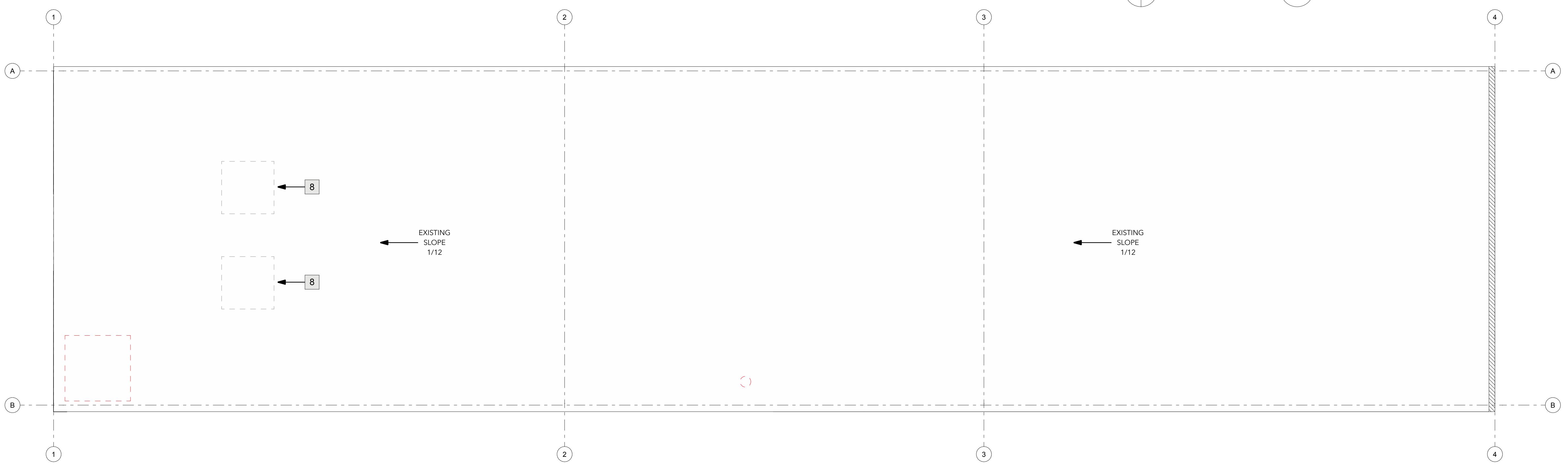
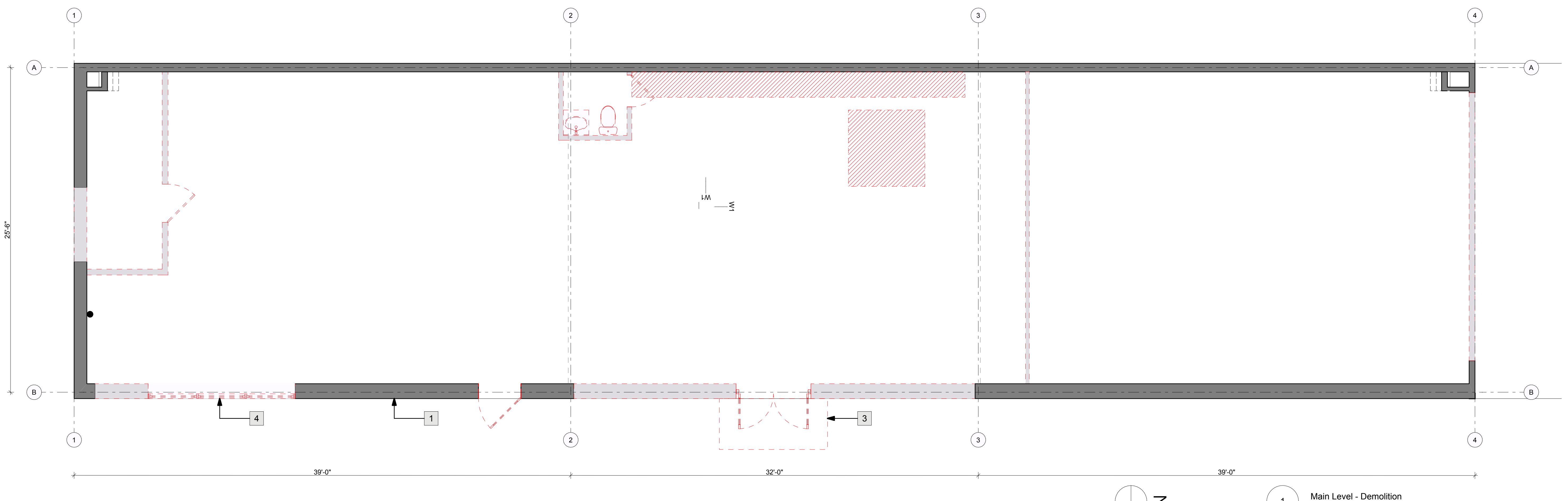


Stephanie Dell Irie  
Notary Public

My Commission Expires: June 25, 2003

# Elevated LIVING

800 WEST BROADWAY  
ELEVATED LIVING  
Application to Change BUP fro Service to Retail

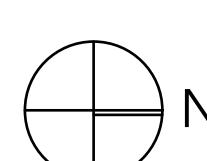


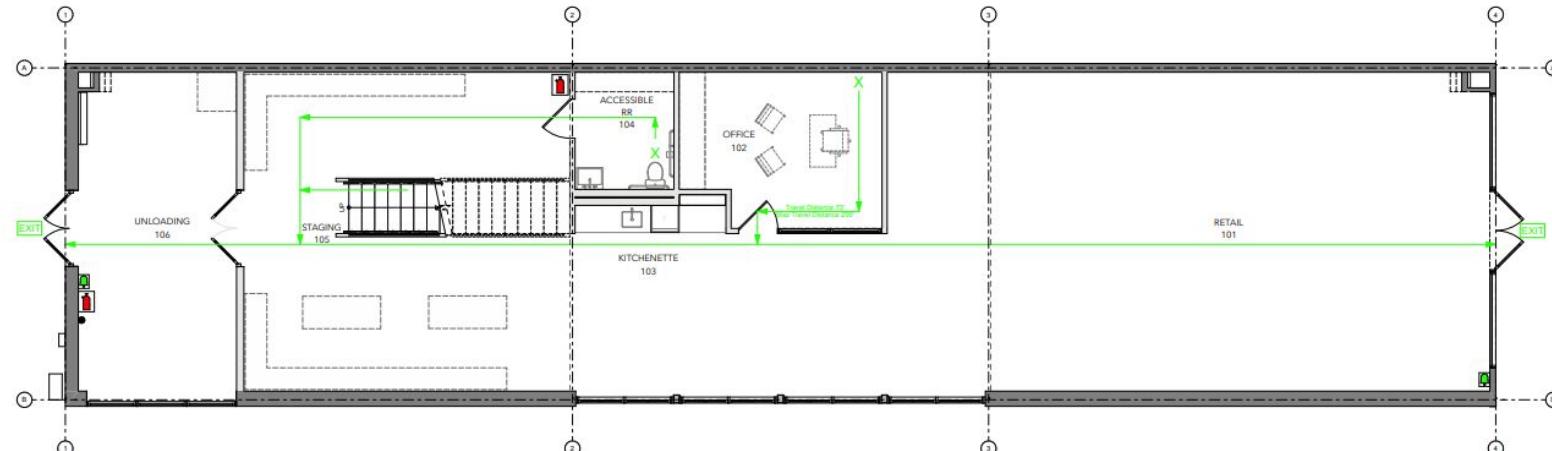
## DEMO PLAN KEY NOTES

- 1 Remove Existing Louvers, Patch and Repair Exterior to Match Existing Siding, Typ.
- 2 Relocate Condensing Unit Per Mechanical Drawings, Patch and Repair Roof as Required, Match Existing
- 3 Existing Exterior Canopy to be Removed
- 4 Window to be Relocated Per Arch. Plan, Alert Architect of Any Issues

## DEMOLITION LEGEND

- WALLS TO BE DEMOLISHED
- DOORS TO BE DEMOLISHED
- CONCRETE FLOOR CURB TO BE DEMOLISHED AND INFILLED FLUSH TO MATCH EXISTING
- ROOF TOP UNITS TO BE DEMOLISHED





FARMER PAYNE  
ARCHITECTS

200 Riverfront Plaza, Suite A  
1-800-222-0888  
301 10th Avenue, Suite 200  
1-800-222-0888  
910 Pennsylvania Avenue, Suite 101  
1-800-222-0888

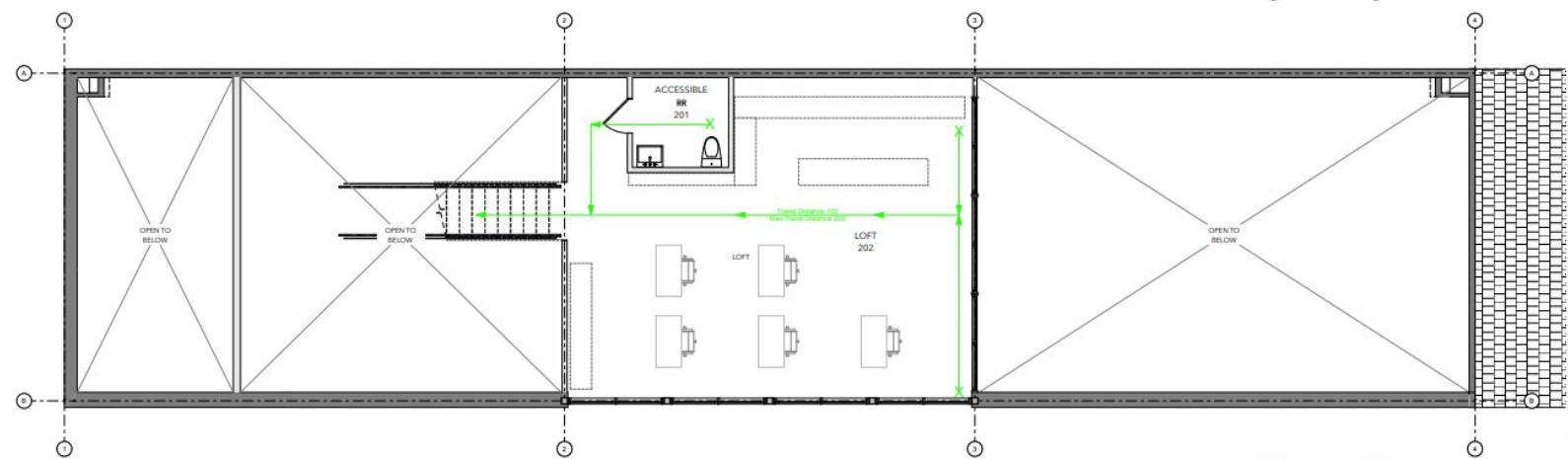
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ARCHITECT STAMP



PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WV 25001



DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: GM  
ISSUE: GM  
Permit Set: 08/18/22

EGRESS PLAN KEY NOTES

EGRESS LEGEND

2 Upper Level Egress

**Description of Use Narrative:**  
**Elevated Living by Stockton and Shirk Interior Design Business Narrative**

Elevated Living by Stockton and Shirk Interior Designs's is a high - end boutique furniture and interior design showroom. The business transitioned from Cabin Fever into Pamela Stockton Interiors and now 35 years later, has grown into Elevated Living. The firm is currently located at 745 West Broadway. With the opportunity to own our own commercial space in Teton County, we are relocating to 800 West Broadway. The business objective is to serve homeowners w/ quality design services. The new showroom will feature furniture vignettes and home accessories for  $\frac{2}{3}$  of the space. The remaining  $\frac{1}{3}$  will be designated to a sample library for custom upholstery and fabrication. The primary objective of the company is Interior Design focused. This requires team members to work offsite on location rather than from a traditional office. The retail location will allow potential and existing clients the opportunity to purchase furniture without waiting on long lead time items.

## **Housing Mitigation Plan : Elevated Living**

Previous Use:

Service @ 2,650 SF. Credit based on Calculator is 0.572

Proposed use:

Retail @ 3470 SF. Credit based on Calculator is 0.749

Affordable Workforce Housing Required

810 SF Add.

Fee in Lieu Amount

\$48,105.13

## Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates.

These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

### Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

#### Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
retail	0.000216*sf		2650	1	0.572

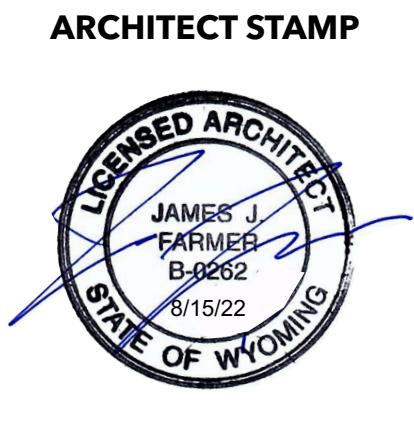
Existing Workforce Housing Credit 0.572

#### Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
retail	0.000216*sf		3470	1	0.749

Affordable Workforce Housing Required: 0.177 units Fee-in-Lieu Amount: \$ 48,105.13



**PERMIT SET**

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001

# Elevated Living

## 800 W Broadway

### Jackson, WY 83001

#### PROJECT DIRECTORY

Architect: **Farmer Payne Architects**  
Jamie Farmer, Principal, AIA, LEED AP  
260 W Broadway, Suite A  
Jackson, WY 83001  
t: 307.264.0080  
e: jamie@farmerpaynearchitects.com

Contractor: **Timothy J Raver Construction**  
Timothy Raver  
PO Box 2315  
Jackson, WY 83001  
t: 307.733.4675  
e: timothyraver@yahoo.com

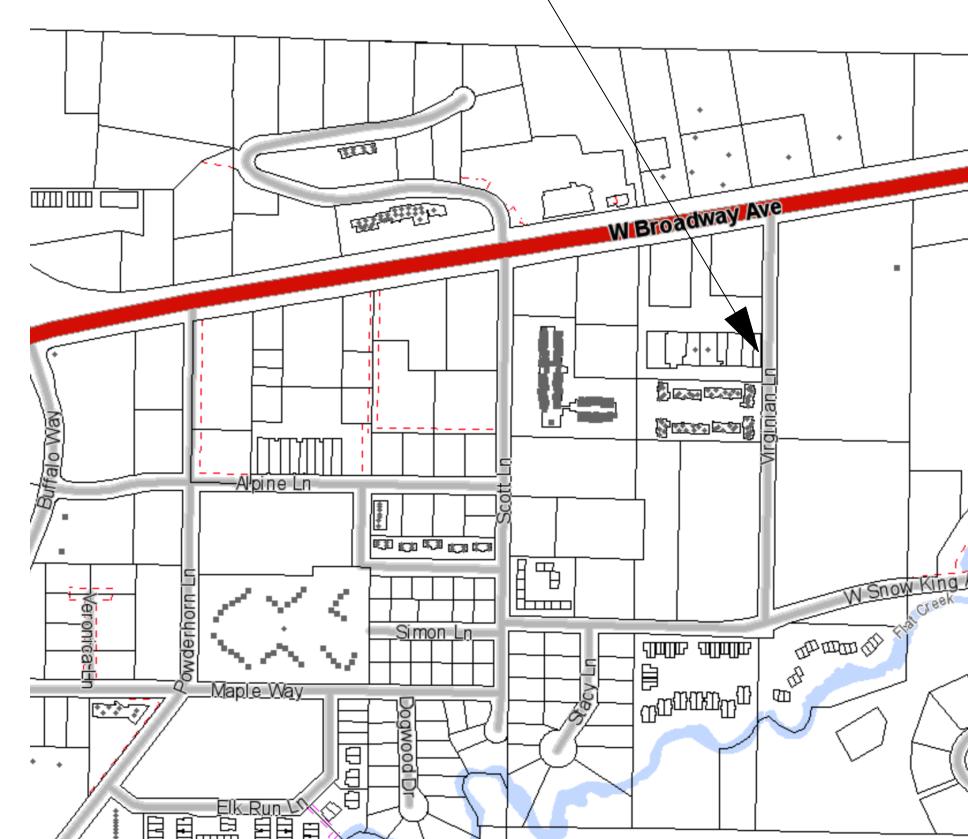
Mechanical/Electrical Engineer: **Musgrove Engineering**  
Jeremy Bradley  
234 S Whisperwood Way  
Boise, ID 83709  
t: 208.384.0585  
e: jeremyb@musgrovepa.com

Structural Engineer: **Krivenon Structural Engineers**  
Matt Krivenon  
1004 Division St, 3rd Floor  
Billings, MT 59101  
t: 406.259.1184  
e: matt@krivenon.com

#### PROJECT LOCATION

800 W Broadway  
Jackson, WY 83001

#### VICINITY MAP



OCCUPANCY CALCULATIONS (Table 1004.5)				
Room Name	Area	Occupancy	Occupant Load Factor	Occupant Load
<b>Main Level</b>				
Retail	1,559 SF	B	150 gross	11
Office	174 SF	B	150 gross	2
Accessible RR	53 SF	B	150 gross	Building component / Accessory Area
Kitchenette	23 SF	B	150 gross	1
Staging	525 SF	B	150 gross	4
Unloading	313 SF	B	150 gross	3
<b>Upper Level</b>				
Loft	724 SF	B	150 gross	5
RR	52 SF	B	150 gross	Building component / Accessory Area

#### CODE ANALYSIS

2021 International Building Code  
Occupancy: Group B (IBC 2021 Table 504.3a, 504.4a,b, 506.2a,b)  
Construction Type: VB (IBC 2021 Table 601)  
Number of Stories: 1 Story with Loft

Building Height: N/A  
Zoning: CR-3  
Occupant Load Ground Level: 21  
Occupant Load Upper Level: 05  
Total Occupant Load: 26  
Parking Spaces: No Change

No Proposed Fire Suppression (NOT REQUIRED)

#### SQUARE FOOTAGE TABULATIONS

**EXISTING FLOOR AREA**  
Ground Level: 2,650 SF  
Gross: 2,650 SF  
**PROPOSED REMODEL:**  
Ground Level: 2,650 SF  
Proposed Addition (Loft): 810 SF  
Gross: 3,460 SF

#### FIRE RATINGS & SEPARATION

##### Per Table 601

Structural Frame: 0 hr  
Roof: 0 hr  
  
Floor Construction:  
Exterior Walls (Bearing): 0 hr  
Exterior Walls (Non-bearing): 0 hr  
Interior Walls (Bearing): 0 hr  
Interior Walls (Non-bearing): 0 hr

VB Construction is that type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by the code.

The adjacent tenant is also classified as B use. The demising wall is not required to be fire rated per table 508.4.

#### GENERAL NOTES

01. The structural, mechanical and electrical drawings are supplementary to the architectural drawings. It shall be the responsibility of the contractor to check with the architectural drawings before the installation of structural, mechanical, electrical, and plumbing work. Any discrepancy between the architectural drawings and the consulting engineers drawings, shall be brought to the architects attention for clarification prior to installation of said work. Any work installed in conflict with the architectural drawings shall be corrected by the contractor at his expense and at no additional expense to the owner of architect.

02. Contractor shall verify all conditions and dimensions at job site prior to bidding and start of construction. If discrepancies are found, the architect shall be noted for clarification before commencing work.

03. All symbols and abbreviations used on the drawings are considered to be construction standards. If the contractor has questions regarding some, or their exact meaning, the architect shall be notified for clarification.

04. All work shall conform to the requirements of the most current edition of the International Residential Code. The most current adopted version NFPA 101 Life Safety Code, National Electric Code, The Uniform Plumbing Code, The Uniform Mechanical Code, and all other governing authorities having jurisdiction.

05. Contractor shall submit shop drawings for windows, doors, millwork, cabinetry, structural steel, trusses, etc. Contractor shall submit samples for all finishes. All submittals shall be approved by architect before installed.

06. All dimensions are to face of concrete, face of column or center line, face of concrete block walls and face of studs unless otherwise noted.

07. Offset studs where required so that finish wall surface will be flush.

08. All exterior walls are 2x6 and all interior walls are 2x4 unless otherwise noted or dimensioned.

09. Ceiling height dimensions are to structural or framing surfaces. Coordinate finishes with interior finish schedule.

10. Gypsum boards shall extend 6" above ceiling at all column cores and walls, unless noted otherwise.

11. Install metal corner beads at all exposed wallboard edges. Install casing beads wherever wallboard, plaster, etc. abuts a dissimilar finish material and provide sealant as required.

12. Extend perimeter walls of core to structure above insulate.

13. Plenum spaces shall be airtight and sealed.

14. Contractors shall verify size and locations of all mechanical equipment pads and bases as well as power and water or drain installations with equipment manufacturer's before proceeding with the work. Changes to accommodate field conditions or substitutions shall be made without additional charge to owner.

15. Ducts penetrating stud walls or shaft walls be provided with necessary frames, bracing and sealant around the opening.

16. Contractor shall provide and install all stiffeners, bracing, back-up plates and supporting brackets required for the installation of all wall mounted or suspended mechanical, electrical or miscellaneous equipment.

17. Contact between dissimilar metal shall be protected.

18. Contractor responsible for structural foundation, mechanical, electrical, and plumbing. Architects mechanical, electrical, and plumbing drawings are schematic and only meant for design intent.

19. Roofing system shall bear U.L. listing as a class "A" system. All manufactured materials used shall bear the appropriate U.L. label.

20. Contractor shall verify all concrete and masonry openings in the field prior to the fabrication of doors and frames.

21. Air leakage at exterior doors shall be limited by the following:

- a. All doors shall be provided with a seal or astragal
- b. Doors mounted on either the inside or outside of an exterior wall shall have a minimum of one-inch lap at each jamb.
- c. Doors requiring vertical track or guides shall use a continuous mounting angle, sealed in accordance with "G" listed here.
- d. Doors mounted between the jambs shall have a continuous seal or baffle at each jamb.
- e. Meeting rails or sections doors and meeting stiles or rails of biparting doors shall be provided with a seal, astragal or baffle.
- f. Swinging and revolving doors shall be weather-stripped at the head, sill and jamb.
- g. Open exterior joints around window and door frames, between wall and foundations, between wall and roof, between wall panels, at penetrations of utility services through walls, floors and roofs and all other openings in the exterior envelope shall be sealed, caulked, gasketed, or weather-stripped to limit air leakage.

22. All door sizes shown on door schedule are opening sizes. Allowance for thresholds etc. shall be taken off door. All doors and frames shall be reinforced where required for closers, stops and hardware.

#### SITE CONDITIONS

01. The general contractor shall coordinate with the architect and civil engineer for the final building location, and driveway layout.

02. The general contractor shall dispose of all excess excavated material.

03. The general contractor shall maintain the site throughout the course of the project by:  
Repairing all earth related scarring such as ruts caused by equipment, spills, etc.;  
Repairing or replacing all scarred, broken, or tress damaged by equipment movement.;  
Exercise routine weekly removal of all refuse or other discarded material.

04. The general contractor responsible for the coordination and installation of all necessary site utilities including but not limited to power, telephone, water, sewer, gas, cable, etc. The general contractor shall fill in and compact all trenches cut to install utilities on the site. The general contractor shall verify the location of all meters, cans, tanks, lines, etc., with the architect.+

05. The general contractor shall retain any removed topsoil for the finish grading, of which 6" shall be topsoil. All disturbed soil shall be finish graded and machine raked to achieve a uniform surface. This finish grade shall be free of rock and debris greater than 3/4" diameter, twigs, sticks, and other non-soil material and shall taper away from building.

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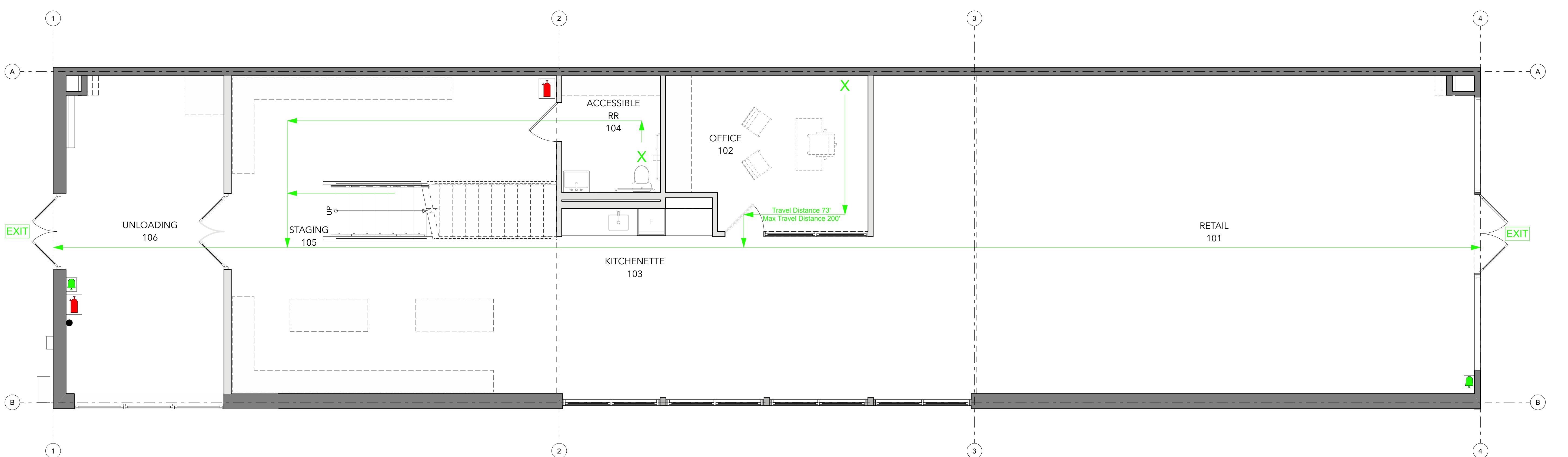
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**DATE:** 8/18/22  
**PROJECT #:** JH2205  
**DRAWN:** KM  
**ISSUE:** Permit Set: 08/18/22



1

Main SCAL

Egress  
= 1'-0"

This architectural cross-section diagram illustrates a building's vertical layout across four levels, labeled 1 through 4. The structure features a central vertical circulation core with a staircase. The levels are connected by a series of stairs and landings. The diagram shows various rooms and their connections:

- Level 1:** A room on the left is labeled "OPEN TO BELOW".
- Level 2:** A room on the left is labeled "OPEN TO BELOW".
- Level 3:** A room is labeled "ACCESSIBLE RR 201". A green arrow points from this room to a green "X" mark on the floor above. A green line also indicates a "Travel Distance 103' Max Travel Distance 200'".
- Level 4:** A room is labeled "LOFT 202". A green arrow points from this room to a green "X" mark on the floor above.
- Level 1 (Bottom):** A room on the left is labeled "OPEN TO BELOW".
- Level 2 (Bottom):** A room on the left is labeled "OPEN TO BELOW".
- Level 3 (Bottom):** A room is labeled "LOFT".
- Level 4 (Bottom):** A room is labeled "LOFT".

The diagram also shows a series of vertical dashed lines representing walls or partitions, and a series of diagonal lines representing structural or glazing elements. Circular callouts labeled A, B, 1, 2, 3, and 4 are positioned around the perimeter of the building, likely indicating specific points of interest or reference.

2

Upper  
SCAL

- Egress  
= 1'-0"

## EGRESS PLAN KEY NOTES

1 Install classification A fire extinguisher at indicated location (75' radius)

#### EGRESS LEGEND

EXIT

EXIT

 FIRE EXTINGUISHER

 YOU ARE HERE

 EMERGENCY EXIT ROUTE

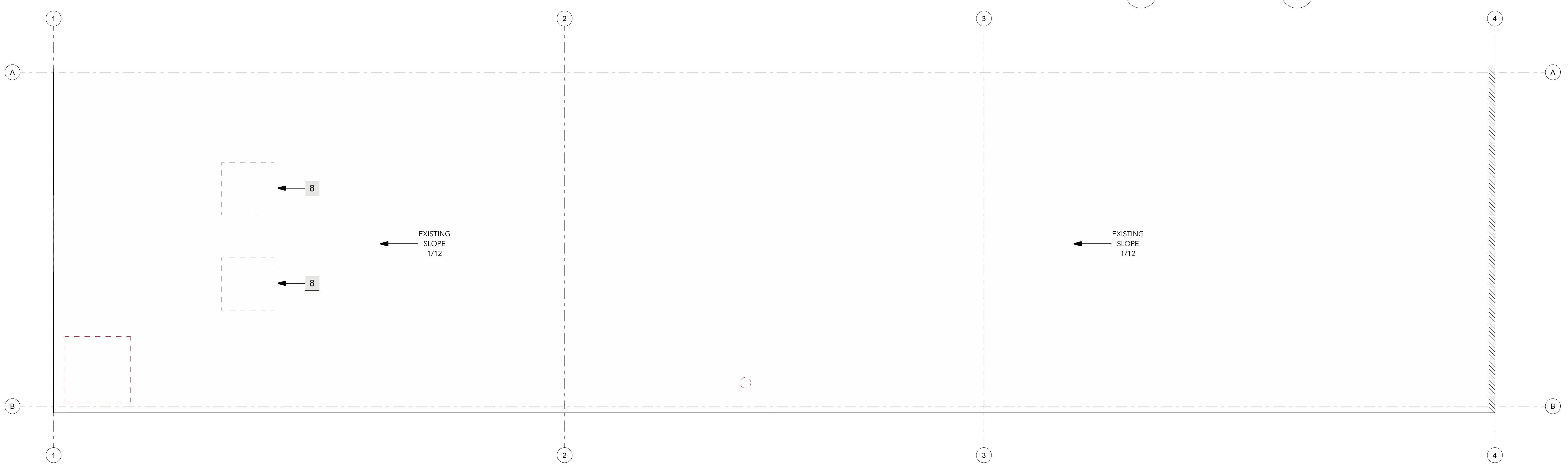
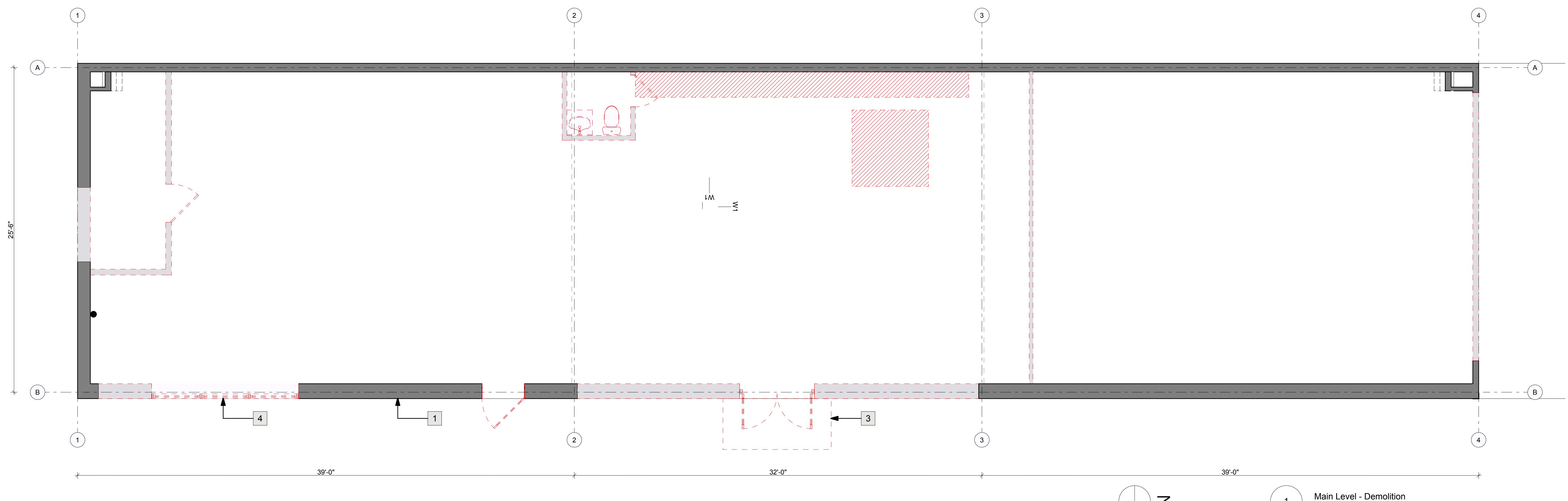
 PULL STATION

# E L E V A T E D L I V I N G

800 W Broadway  
Jackson WY 83001

Set:	08/18/22
CT #:	JH2205
N:	KM

# A101

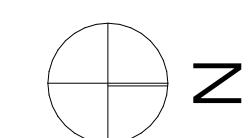
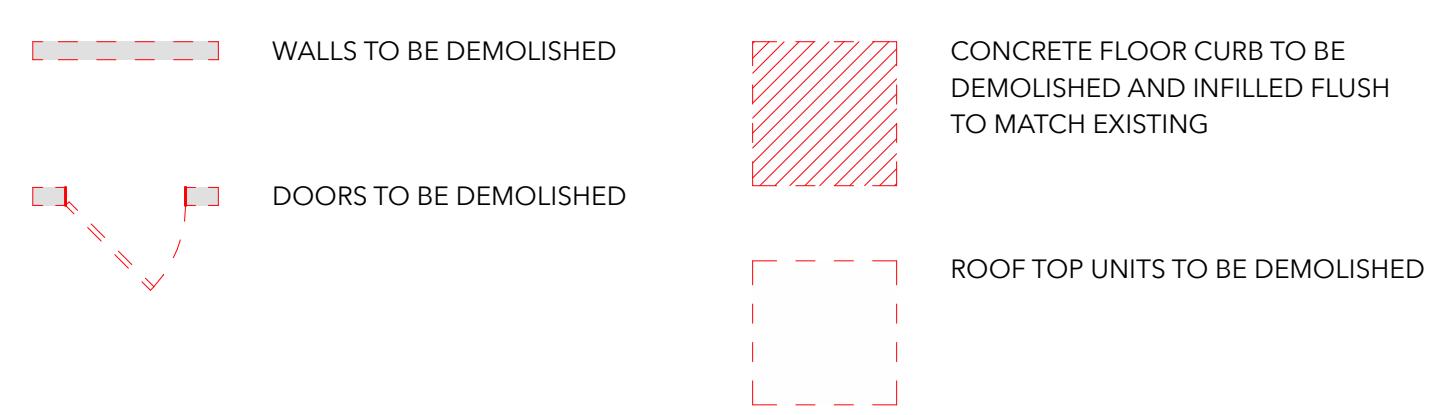


## DEMO PLAN KEY NOTES

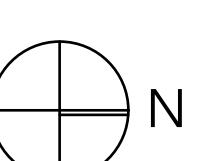
- 1 Remove Existing Louvers, Patch and Repair Exterior to Match Existing Siding, Typ.
- 2 Relocate Condensing Unit Per Mechanical Drawings, Patch and Repair Roof as Required, Match Existing
- 3 Existing Exterior Canopy to be Removed
- 4 Window to be Relocated Per Arch. Plan, Alert Architect of Any Issues

## DEMOLITION LEGEND

- WALLS TO BE DEMOLISHED
- DOORS TO BE DEMOLISHED
- ROOF TOP UNITS TO BE DEMOLISHED



2 Roof Level - Demolition  
SCALE: 1/4" = 1'-0"



**Jackson Hole**  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

**Sun Valley**  
351 N Hwy 75, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

**Louisiana**  
910 Piron Street, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING G

800 W Broadway  
Jackson WY 83001



EXISTING EAST ELEVATION



EXISTING SOUTH AND EAST FACADES



EXISTING NORTH AND EAST FACADES



EXISTING NORTH ELEVATION



EXISTING FRONT TENANT ENTRY (NORTH ELEVATION)

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PROJECT #: JH2205  
DRAWN: KM  
ISSUE:

Permit Set: 08/18/22

v5 © FARMERPAYNEARCHITECTS

**A103**

Existing Exterior Conditions

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T.208.214.5155

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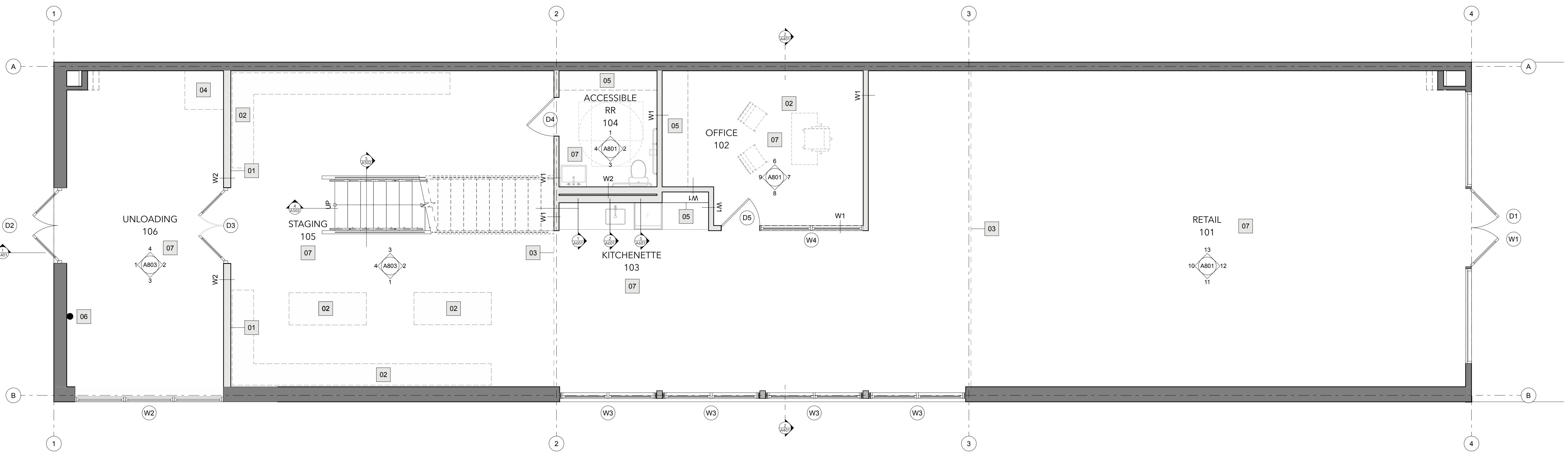
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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001



1 Main Level - Noted  
SCALE: 1/4" = 1'-0"

## NOTED PLAN KEY NOTES

- 01 Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02 Furniture, by Owner. Typical.
- 03 Edge of loft above
- 04 Service Sink
- 05 Shelving, by Owner. Provide Blocking as Required
- 06 Existing Radon Pipe to Remain
- 07 Floor Finish by Owner, Typ.
- 08 Mech. Equip. See Mech. Drawings

## WALL LEGEND

W1		2x4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
W2		2x6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
		Existing Wall

## GENERAL PLAN NOTES

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
03. All interior partitions are framed with 2x4 wood studs unless noted/dimensioned otherwise.
04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
06. Where shown, furniture is for reference only and not in contract.
07. Field verify code-required minimum head height clearance.
08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

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A201

Main Level - Noted

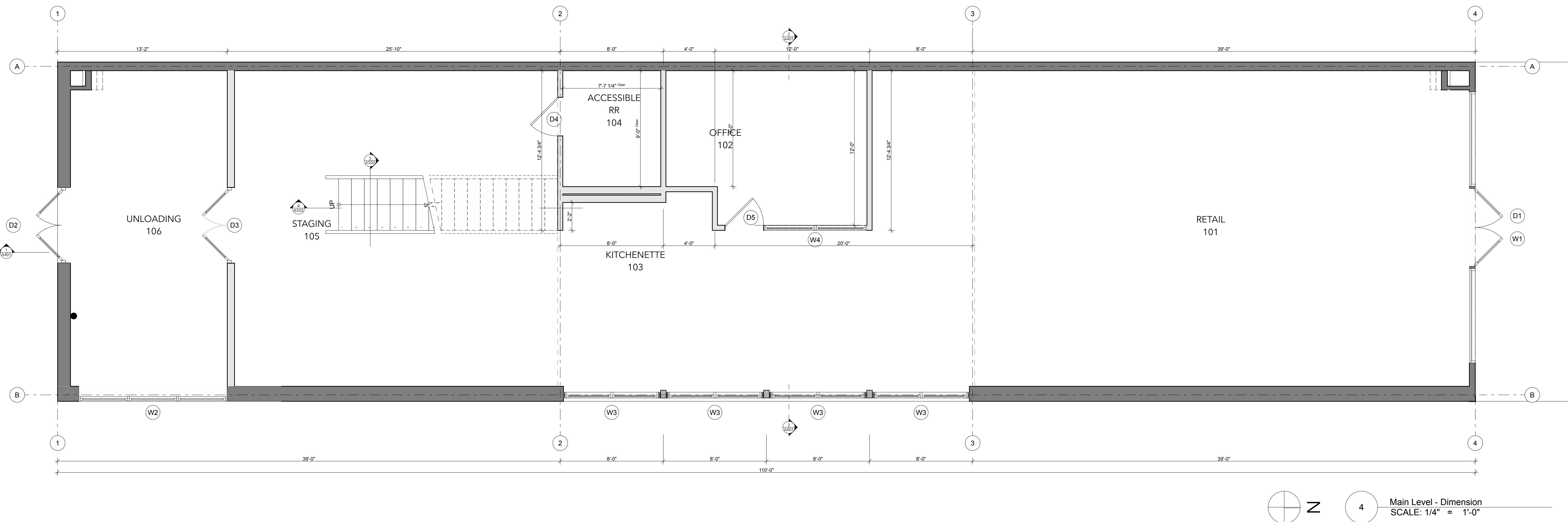
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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001



## NOTED PLAN KEY NOTES

- 01 Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02 Furniture, by Owner. Typical.
- 03 Edge of loft above
- 04 Service Sink
- 05 Shelving, by Owner. Provide Blocking as Required
- 06 Existing Radon Pipe to Remain
- 07 Floor Finish by Owner, Typ.
- 08 Mech. Equip. See Mech. Drawings

## WALL LEGEND

W1		2X4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
W2		2X6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
		Existing Wall

## GENERAL PLAN NOTES

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08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

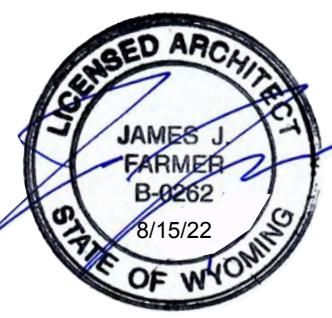
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DRAWN:	KM
ISSUE:	
Permit Set:	08/18/22

**A202**

Main Level - Dim

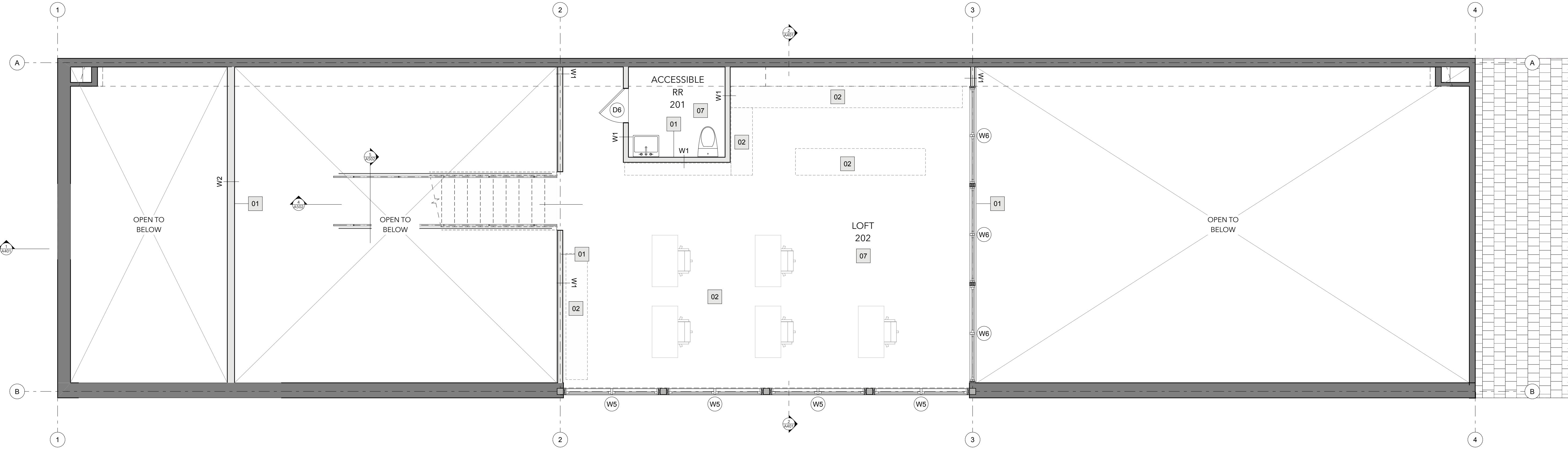
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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001



1 Upper Level - Noted  
SCALE: 1/4" = 1'-0"

## NOTED PLAN KEY NOTES

- 01 Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02 Furniture, by Owner. Typical.
- 03 Edge of loft above
- 04 Service Sink
- 05 Shelving, by Owner. Provide Blocking as Required
- 06 Existing Radon Pipe to Remain
- 07 Floor Finish by Owner, Typ.
- 08 Mech. Equip. See Mech. Drawings

## WALL LEGEND

W1		2x4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
W2		2x6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
		Existing Wall

## GENERAL PLAN NOTES

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05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
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07. Field verify code-required minimum head height clearance.
08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

DATE: 8/18/22

PROJECT #: JH2205

DRAWN: KM

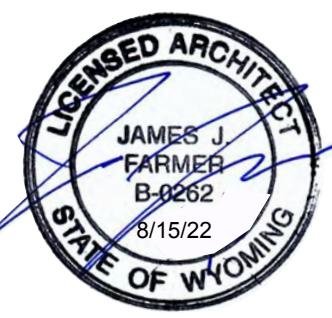
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Permit Set: 08/18/22

**A203**  
Upper Level - Noted

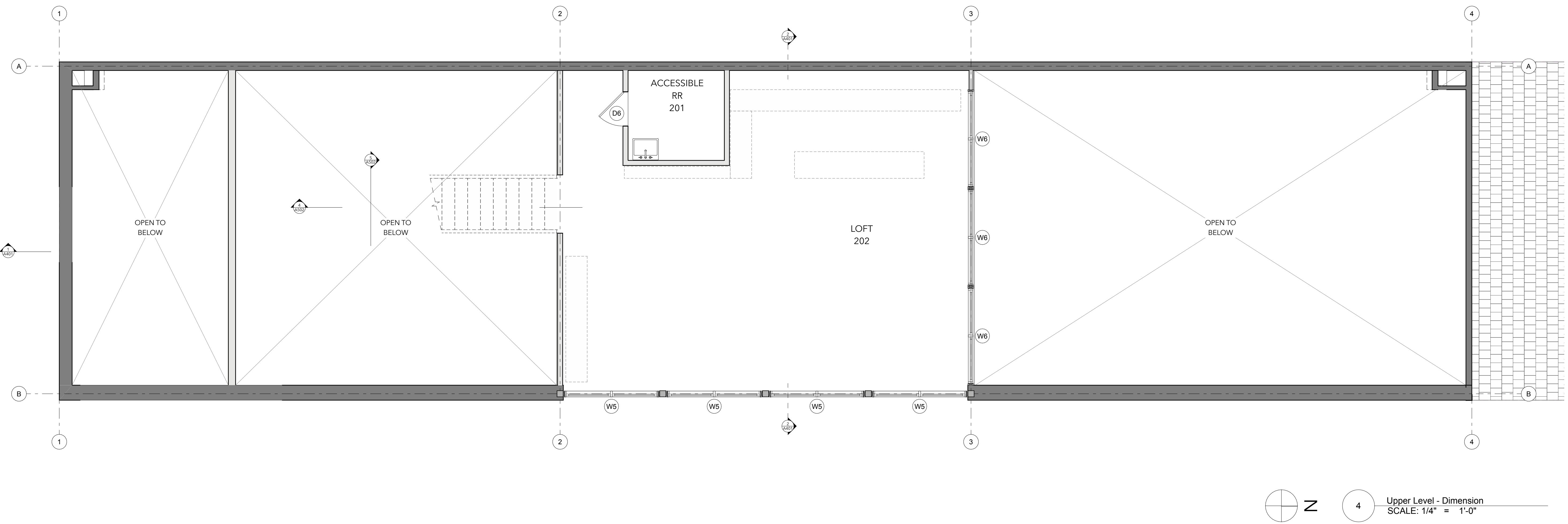
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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001



## NOTED PLAN KEY NOTES

- 01 Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02 Furniture, by Owner. Typical.
- 03 Edge of loft above
- 04 Service Sink
- 05 Shelving, by Owner. Provide Blocking as Required
- 06 Existing Radon Pipe to Remain
- 07 Floor Finish by Owner, Typ.
- 08 Mech. Equip. See Mech. Drawings

## WALL LEGEND

W1		2x4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
W2		2x6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
		Existing Wall

## GENERAL PLAN NOTES

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
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05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
06. Where shown, furniture is for reference only and not in contract.
07. Field verify code-required minimum head height clearance.
08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

DATE: 8/18/22

PROJECT #: JH2205

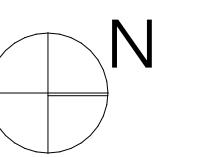
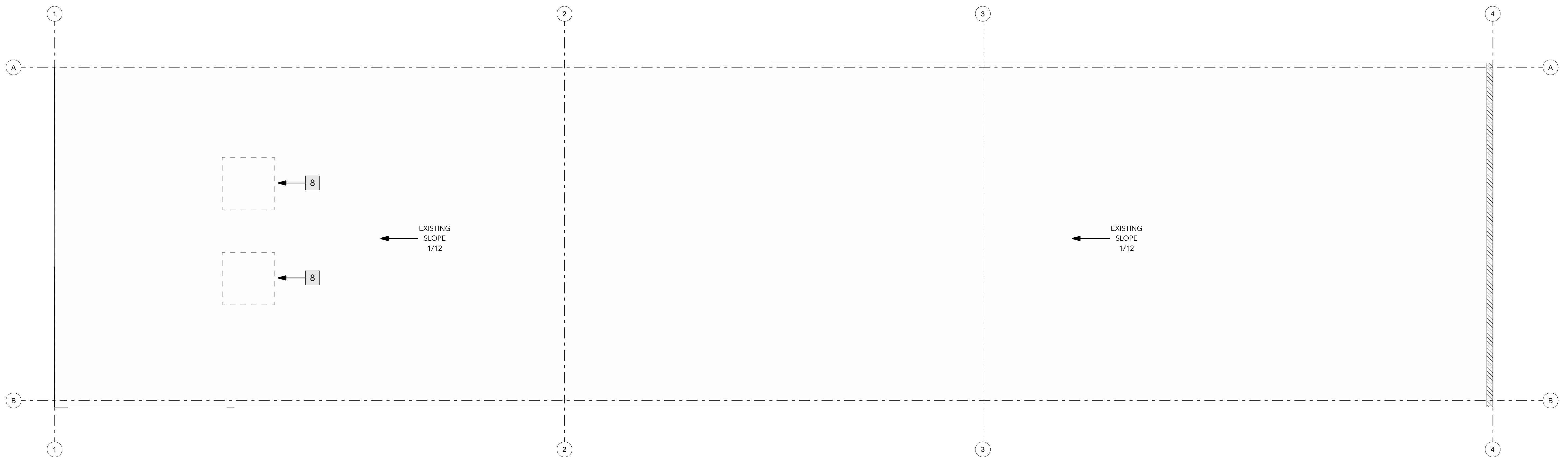
DRAWN: KM

ISSUE:

Permit Set: 08/18/22

A204

Upper Level - Dim



1 Roof Plan - Noted  
SCALE: 1/4" = 1'-0"

1 Roof Plan - Noted  
SCALE: 1/4" = 1'-0"

## NOTED PLAN KEY NOTES

- 01 Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02 Furniture, by Owner. Typical.
- 03 Edge of loft above
- 04 Service Sink
- 05 Shelving, by Owner. Provide Blocking as Required
- 06 Existing Radon Pipe to Remain
- 07 Floor Finish by Owner, Typ.
- 08 Mech. Equip. See Mech. Drawings

DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	Permit Set: 08/18/22

**A205**  
Roof Plan

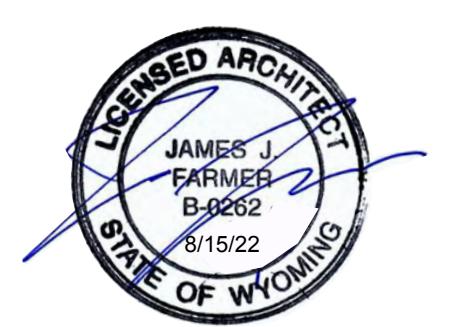
Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T:307.264.0080

Sun Valley  
351 N Hwy 21, Suite 204  
Ketchum, ID 83340  
T:208.214.5155

Louisiana  
910 Poydras Street, Suite 410  
Shreveport, LA 71106  
T:318.383.3100

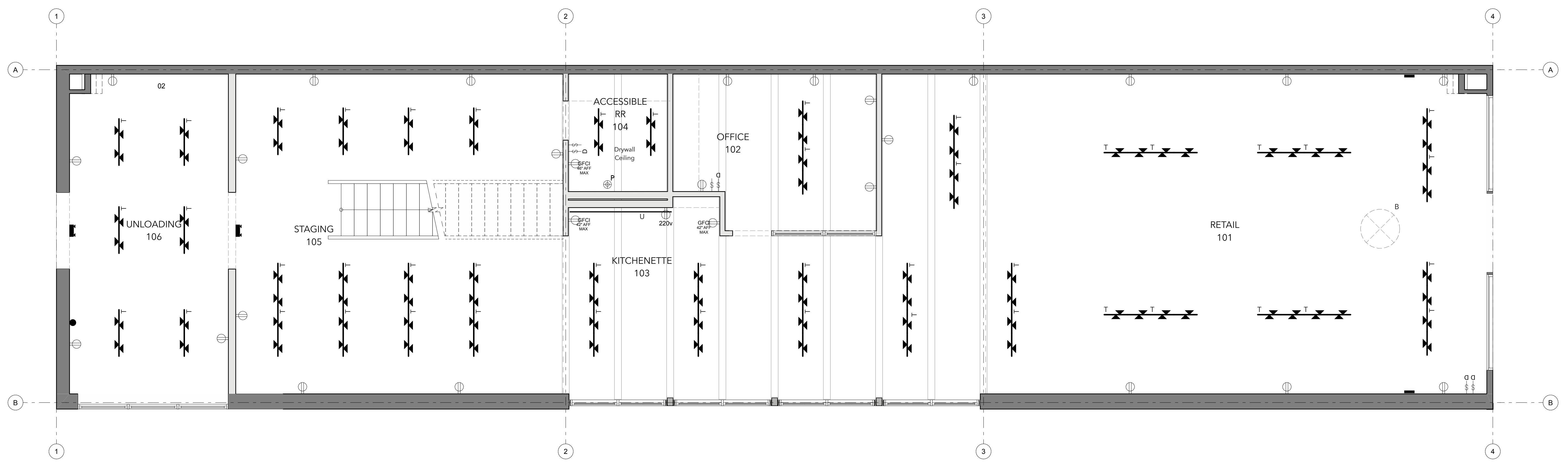
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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001



1 Main Level - RCP  
SCALE: 1/4" = 1'-0"

## ELECTRICAL LEGEND

- ∅ Wall Mount Up-Light Sconce
- ∅ Surface Mounted Fixture
- ∅ Surface Mounted Waterproof Fixture
- ∅ Recessed Can Fixture
- ∅ Directional Recessed Can Fixture
- Track Lighting
- Emergency Egress Lighting
- ∅ Occupancy Sensor
- ∅ Smoke Detector
- ∅ Exhaust Fan
- ∅ Thermostat
- ∅ Coax/TVI/Data
- ∅ Standard Duplex Outlet
- ∅ Standard Quad Outlet
- ∅ 240 V Outlet
- ∅ Ground Fault Interrupt Duplex Outlet
- ∅ Exterior Rated Duplex Outlet
- ∅ Floor Outlet
- ∅ Single Pole Switch
- ∅ Single Pole Dimmer Switch
- ∅ Three Pole Switch
- ∅ Four Pole Switch
- Decorative Fixture
- Undercabinet Light
- ∅ Pendant

## ELECTRICAL NOTES

01. Provide fire alarms and smoke detectors in accordance with IBC 2012 Sec. 907.
02. Switching/lighting controls to be coordinated on site with Owner, Contractor and Architect.
03. Provide emergency egress lighting confirming to IBC 2021 Sec. 1006.
04. Confirm placement of fixtures and receptacles with Owner before installing.
05. Contractor to install receptacles and controls in accordance with applicable codes per Authority Having Jurisdiction.
06. Drywall ceiling in restrooms.

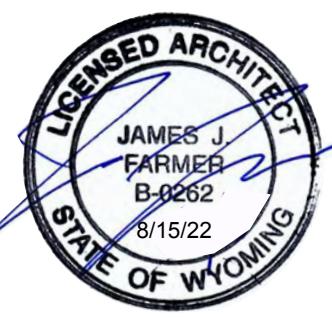
DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/22

**A206**

Main Level - RCP

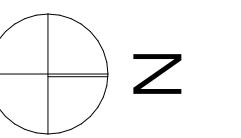
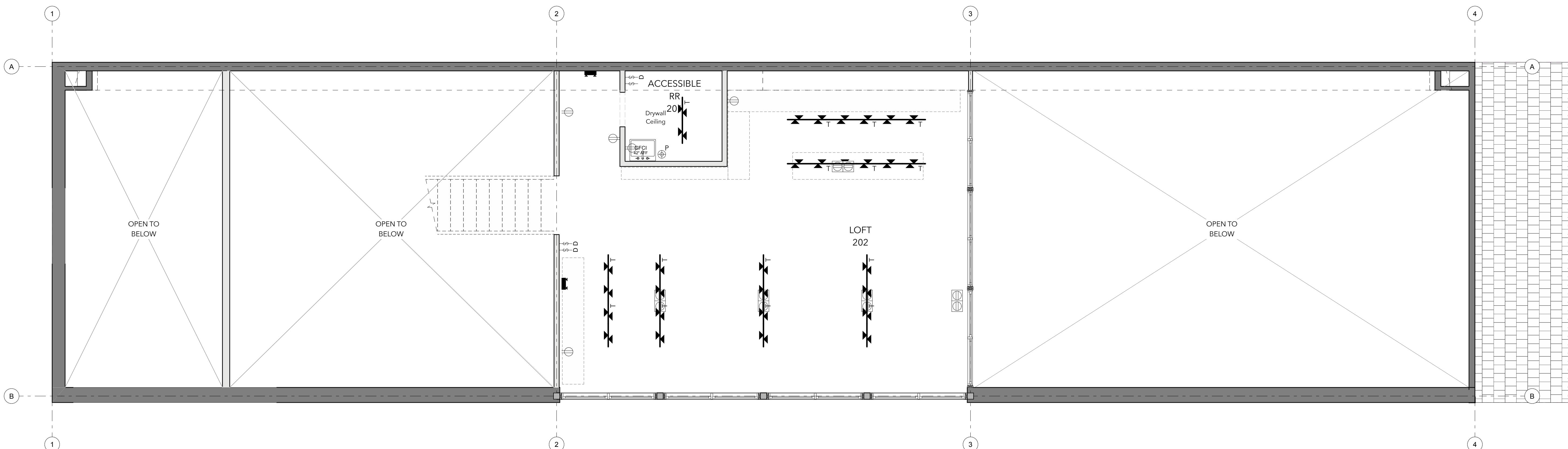
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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001



1  
Upper Level - RCP  
SCALE: 1/4" = 1'-0"

## ELECTRICAL LEGEND

- ⌚ Wall Mount Up-Light Sconce
- ⌚ Surface Mounted Fixture
- ⌚ Surface Mounted Waterproof Fixture
- ⌚ Recessed Can Fixture
- ⌚ Directional Recessed Can Fixture
- Track Lighting
- ─ Emergency Egress Lighting
- ⌚ Occupancy Sensor
- ⌚ Smoke Detector
- ⌚ Exhaust Fan
- ⌚ Thermostat
- ⌚ Coax/TV/Data
- ⌚ Standard Duplex Outlet
- ⌚ Standard Quad Outlet
- ⌚ 240 V Outlet
- ⌚ Ground Fault Interrupt Duplex Outlet
- ⌚ Exterior Rated Duplex Outlet
- ⌚ Floor Outlet
- ⌚ Single Pole Switch
- ⌚ Single Pole Dimmer Switch
- ⌚ Three Pole Switch
- ⌚ Four Pole Switch
- ⌚ Decorative Fixture
- Undercabinet Light
- ⌚ Pendant

## ELECTRICAL NOTES

01. Provide fire alarms and smoke detectors in accordance with IBC 2012 Sec. 907.
02. Switching/lighting controls to be coordinated on site with Owner, Contractor and Architect.
03. Provide emergency egress lighting confirming to IBC 2021 Sec. 1006.
04. Confirm placement of fixtures and receptacles with Owner before installing.
05. Contractor to install receptacles and controls in accordance with applicable codes per Authority Having Jurisdiction.
06. Drywall ceiling in restrooms.

DATE: 8/18/22

PROJECT #: JH2205

DRAWN: KM

ISSUE:

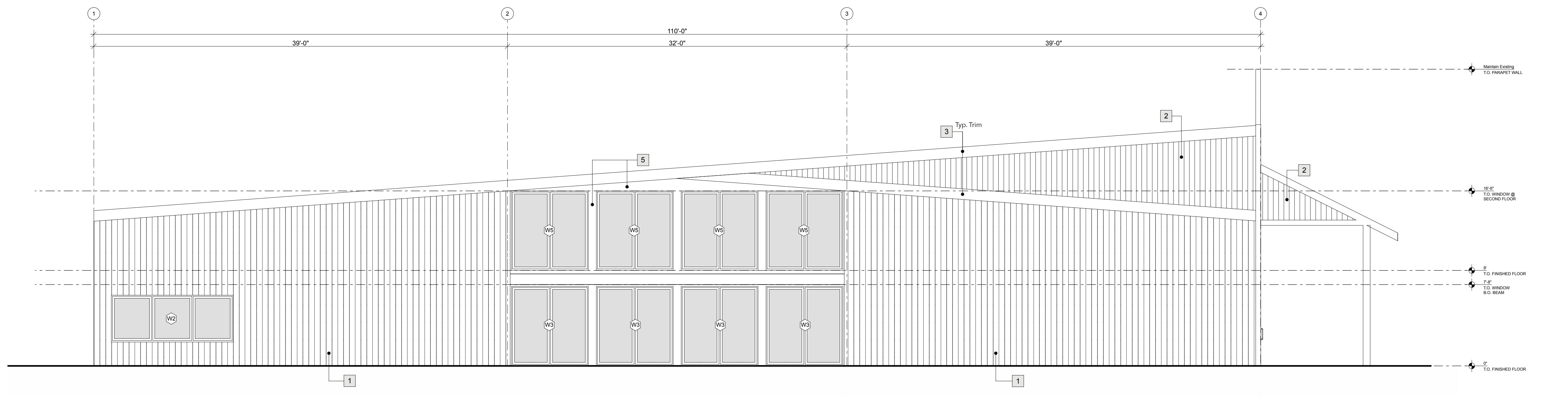
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Jackson, WY 83001  
T.307.264.0080

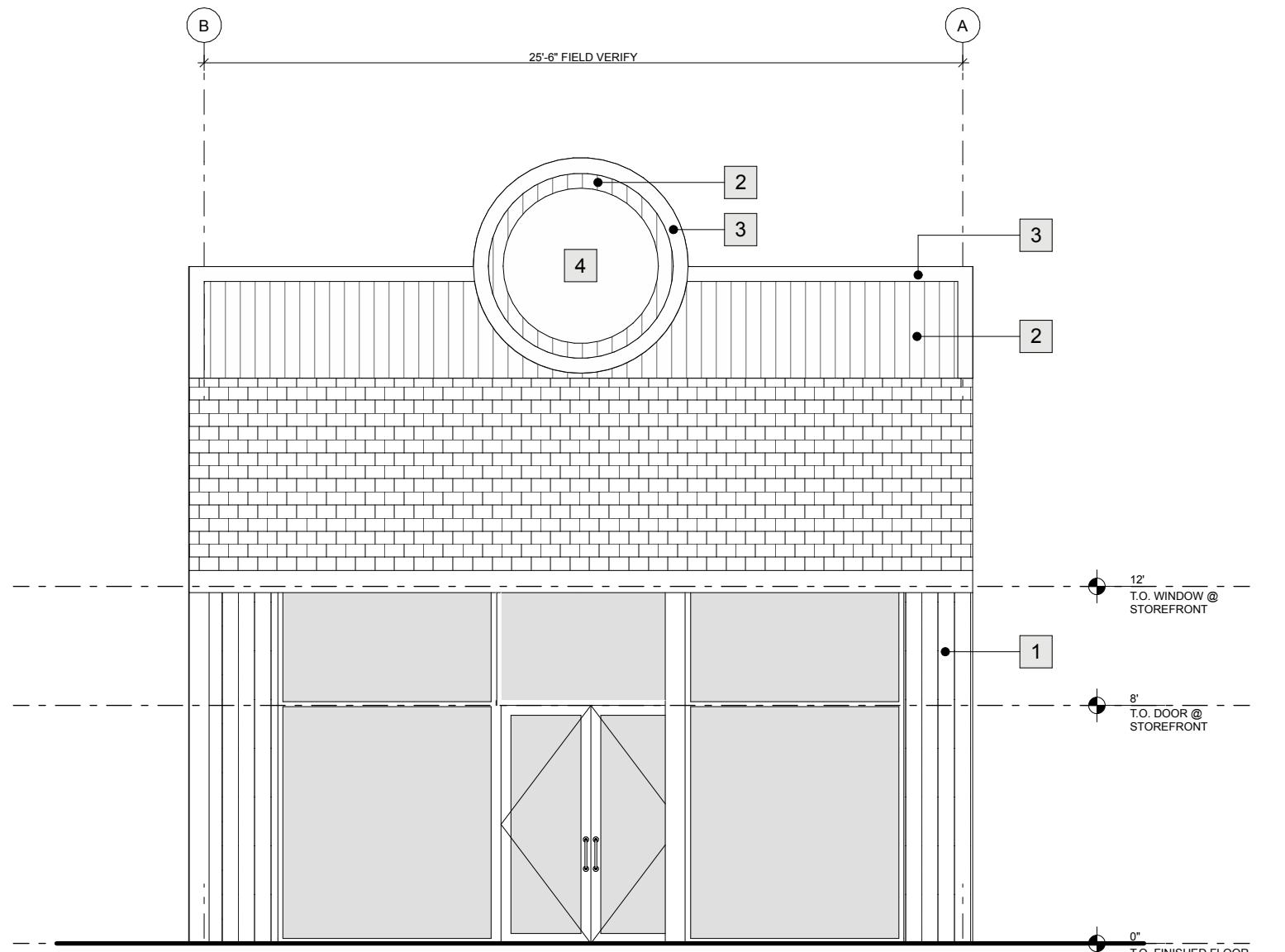
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Ketchum, ID 83340  
T.208.214.5155

**Louisiana**  
910 Poydras Street, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

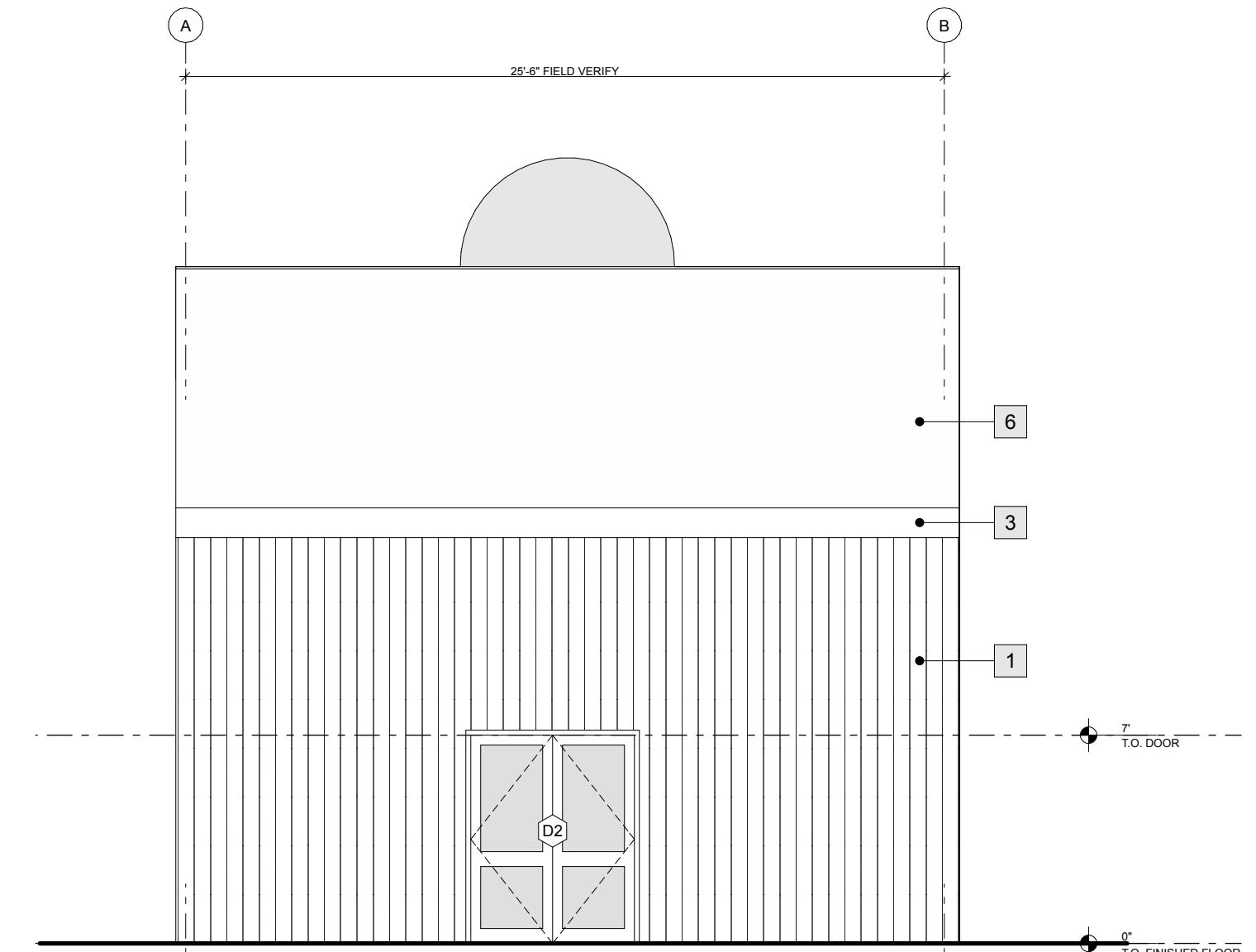
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**ARCHITECT STAMP****PERMIT SET**

1 East Elevation  
SCALE: 3/16" = 1'-0"



2 North Elevation  
SCALE: 3/16" = 1'-0"



3 South Elevation  
SCALE: 3/16" = 1'-0"

**ELEVATED LIVING G**

800 W Broadway  
Jackson WY 83001

**ELEVATION KEY NOTES**

- 1 Existing siding, Paint Color by Owner
- 2 Existing siding, Paint Color by Owner
- 3 Existing siding, Paint Color by Owner
- 4 Elevated Living Sign With Logo
- 5 Metal, See Detail
- 6 Existing Roof to Remain

DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: KM

ISSUE:  
Permit Set: 08/18/22

**A301**  
Exterior Elevations

**Jackson Hole**  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

**Sun Valley**  
351 N Hwy 75, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

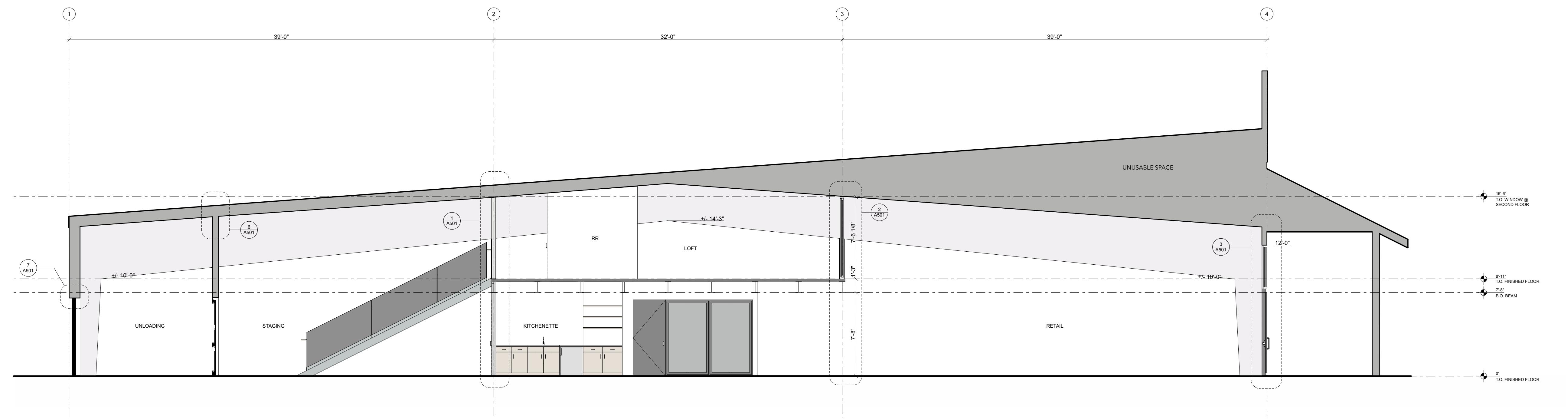
**Louisiana**  
910 Poydras Street, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

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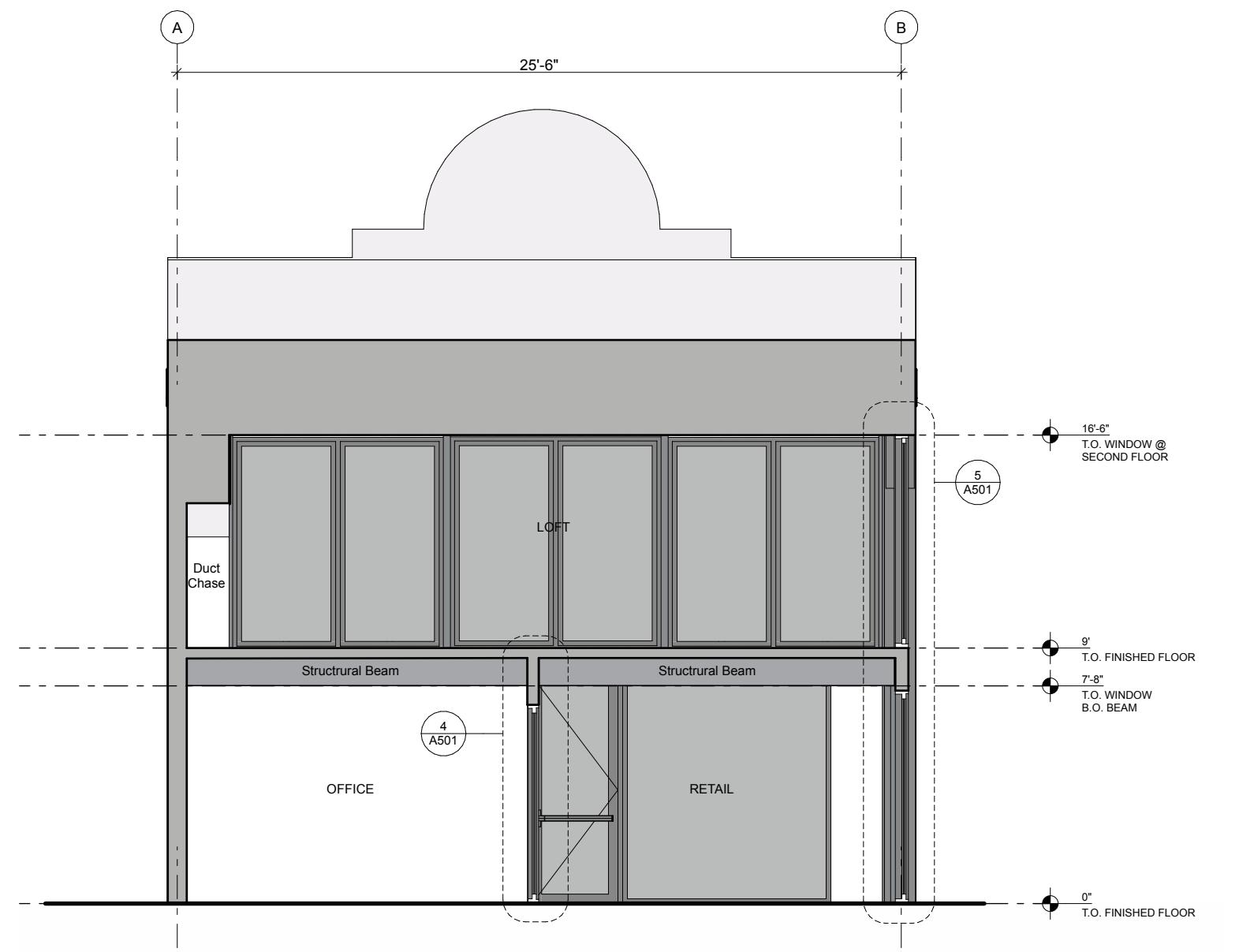
## ARCHITECT STAMP



## PERMIT SET



1 Building Section - East / West  
SCALE: 3/16" = 1'-0"



2 Building Section - North / South  
SCALE: 3/16" = 1'-0"

## ELEVATED LIVING

800 W Broadway  
Jackson WY 83001

DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/22

**A401**  
Building Sections

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## ARCHITECT STAMP

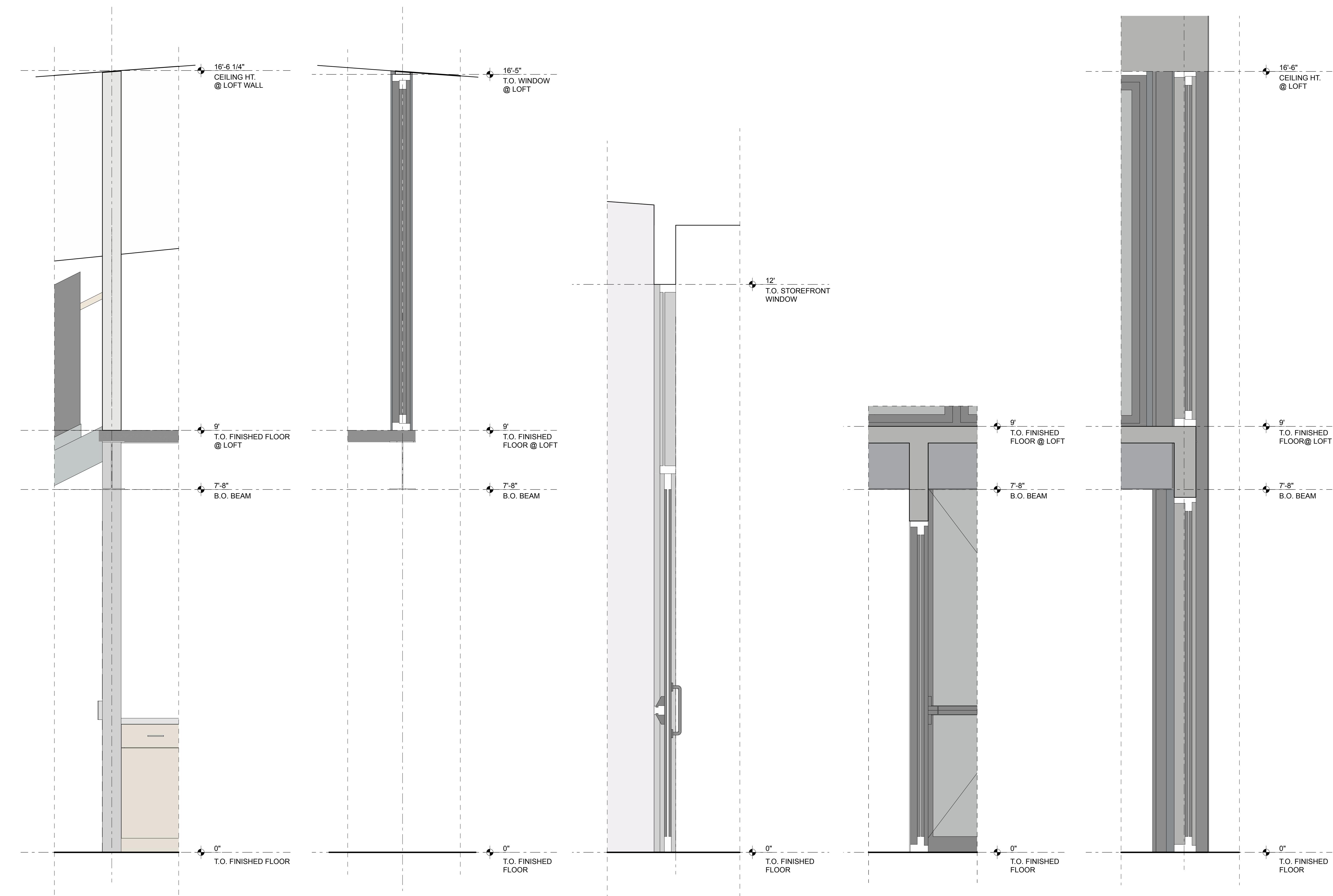


## PERMIT SET

## ELEVATED LIVING

800 W Broadway  
Jackson WY 83001

DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: KM  
ISSUE: Permit Set: 08/18/22



**A501**  
Wall Sections

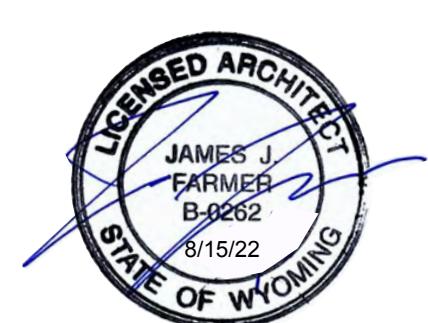
Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.324.0080

Sun Valley  
351 N Hwy 21, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

Louisiana  
910 Piron Street, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

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## ARCHITECT STAMP



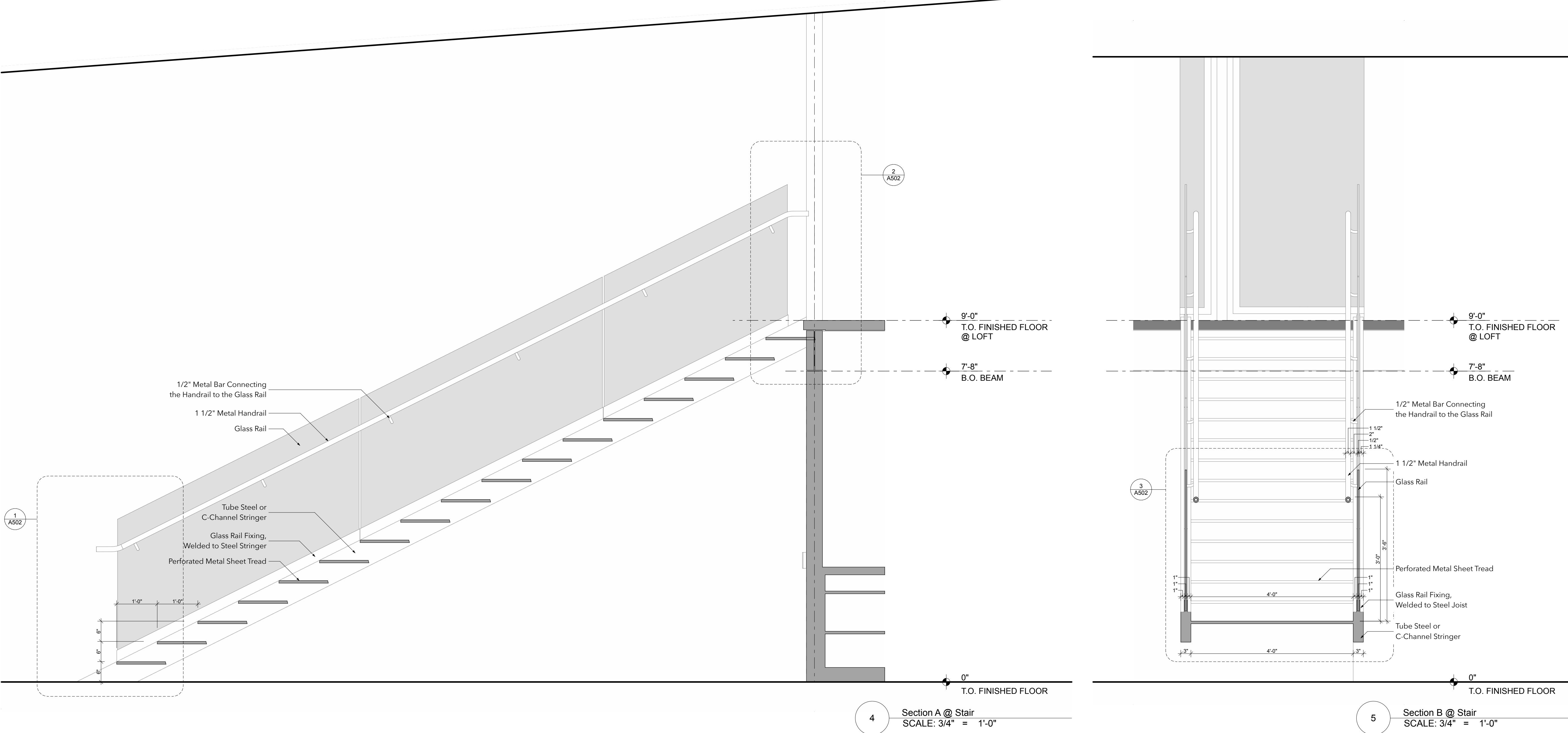
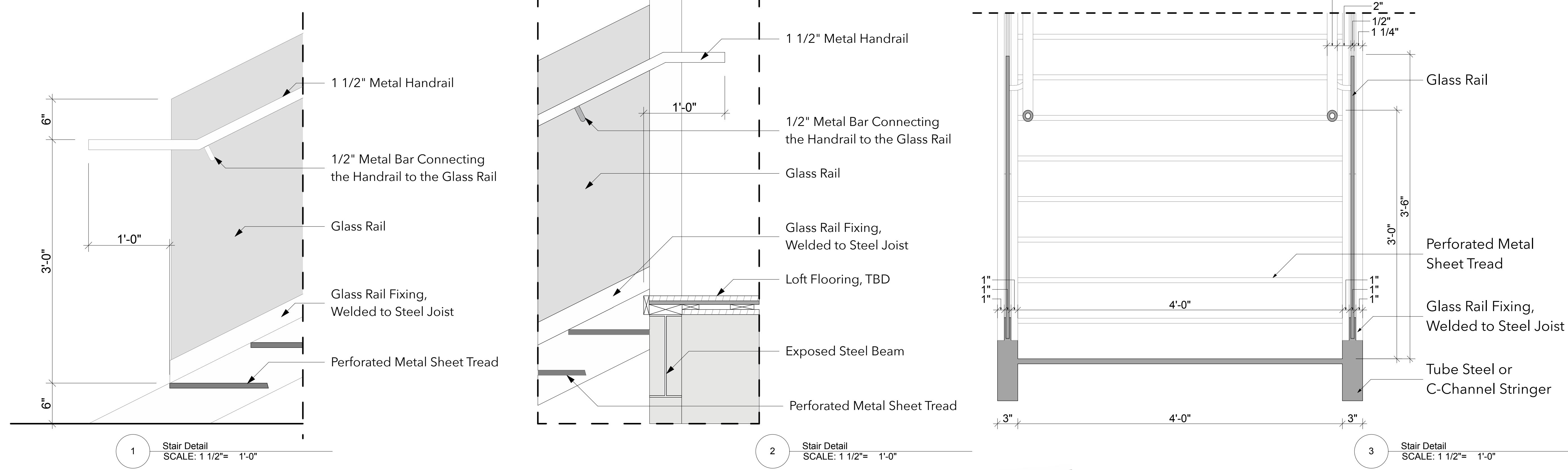
## PERMIT SET

## ELEVATED LIVING

800 W Broadway  
Jackson WY 83001

DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: KM  
ISSUE: Permit Set: 08/18/22

A502  
Wall Sections



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## ARCHITECT STAMP



## PERMIT SET

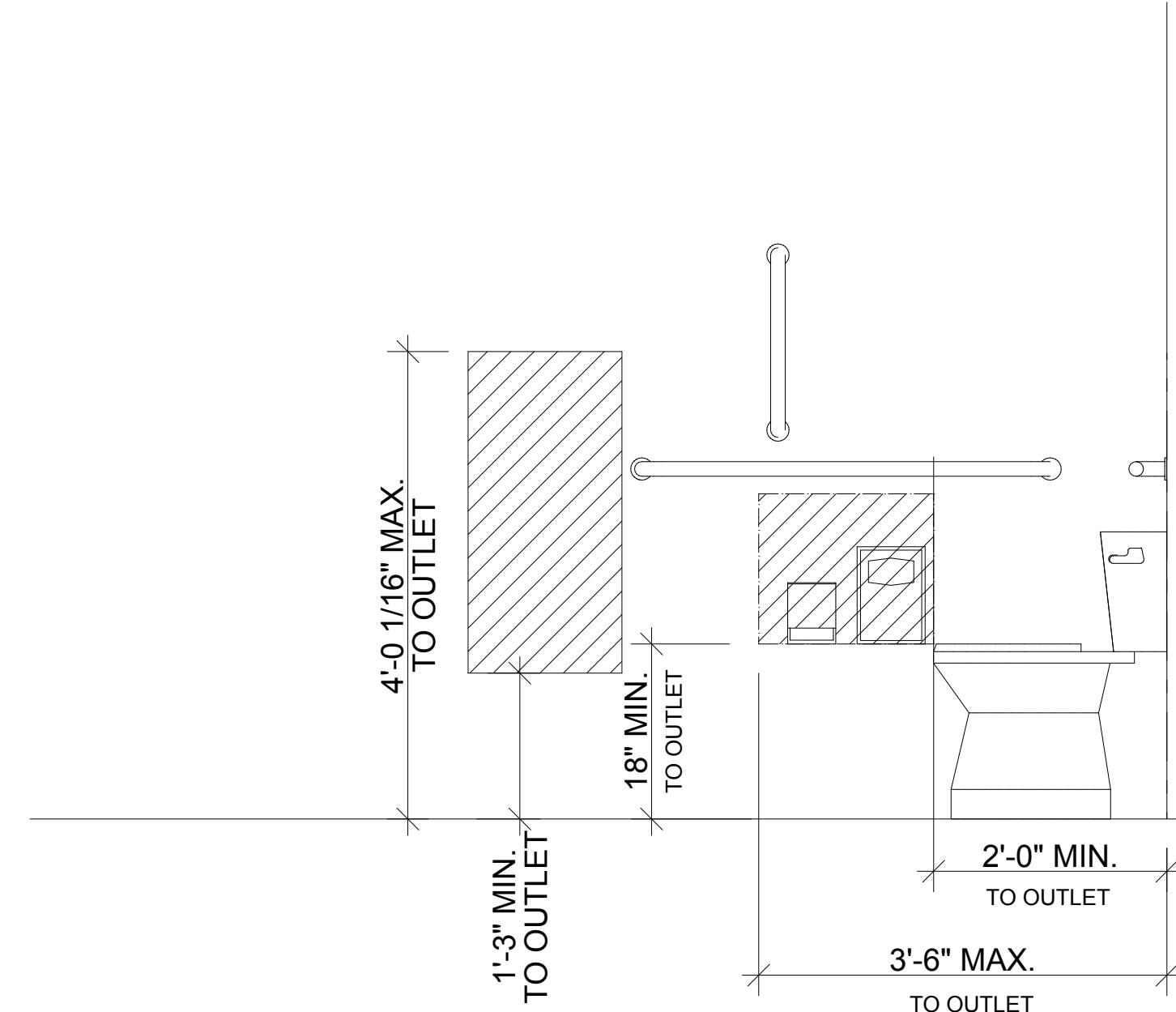
## ELEVATED LIVING

800 W Broadway  
Jackson WY 83001

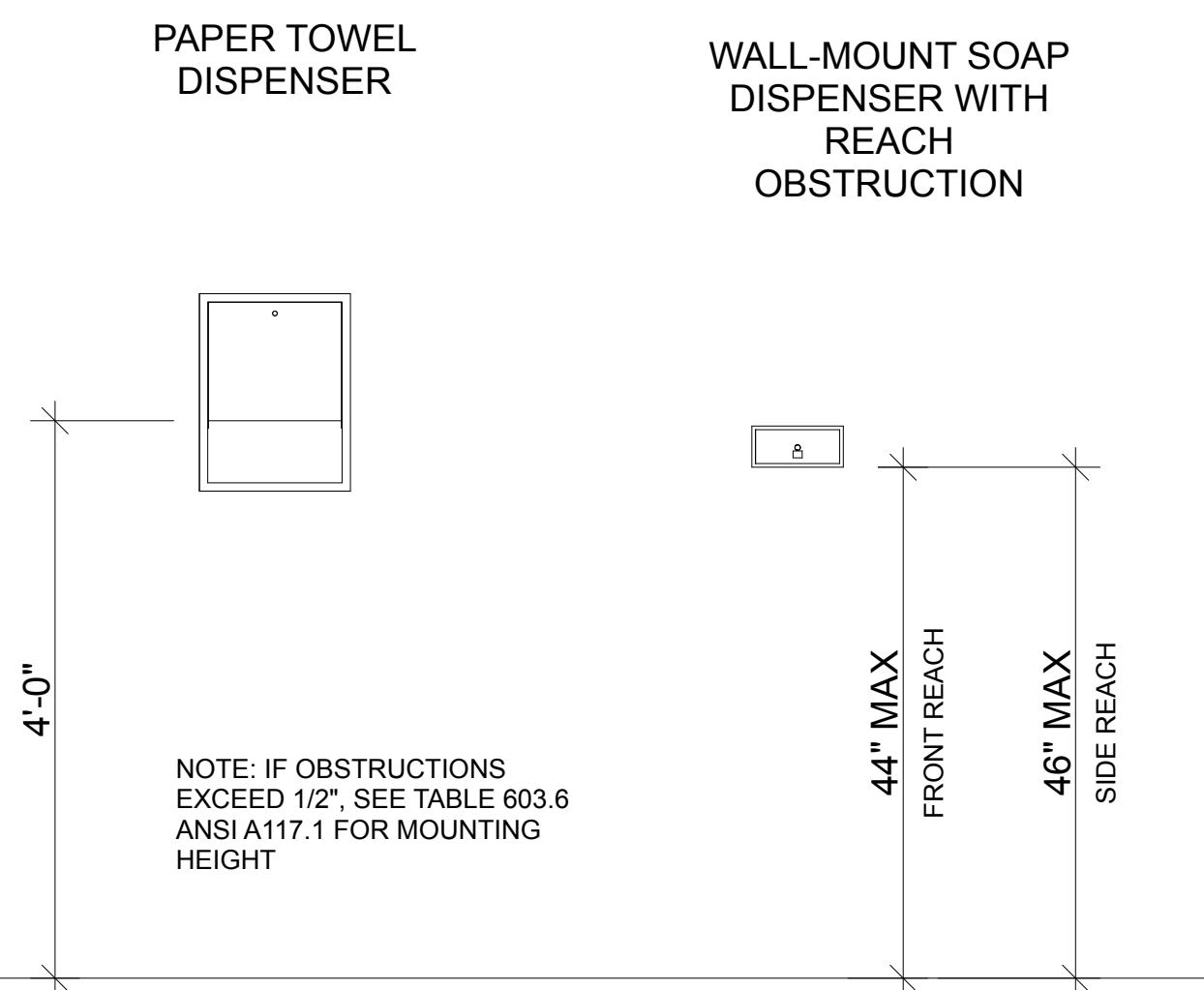
DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: KM  
ISSUE: Permit Set: 08/18/22

**A503**  
Wall Sections

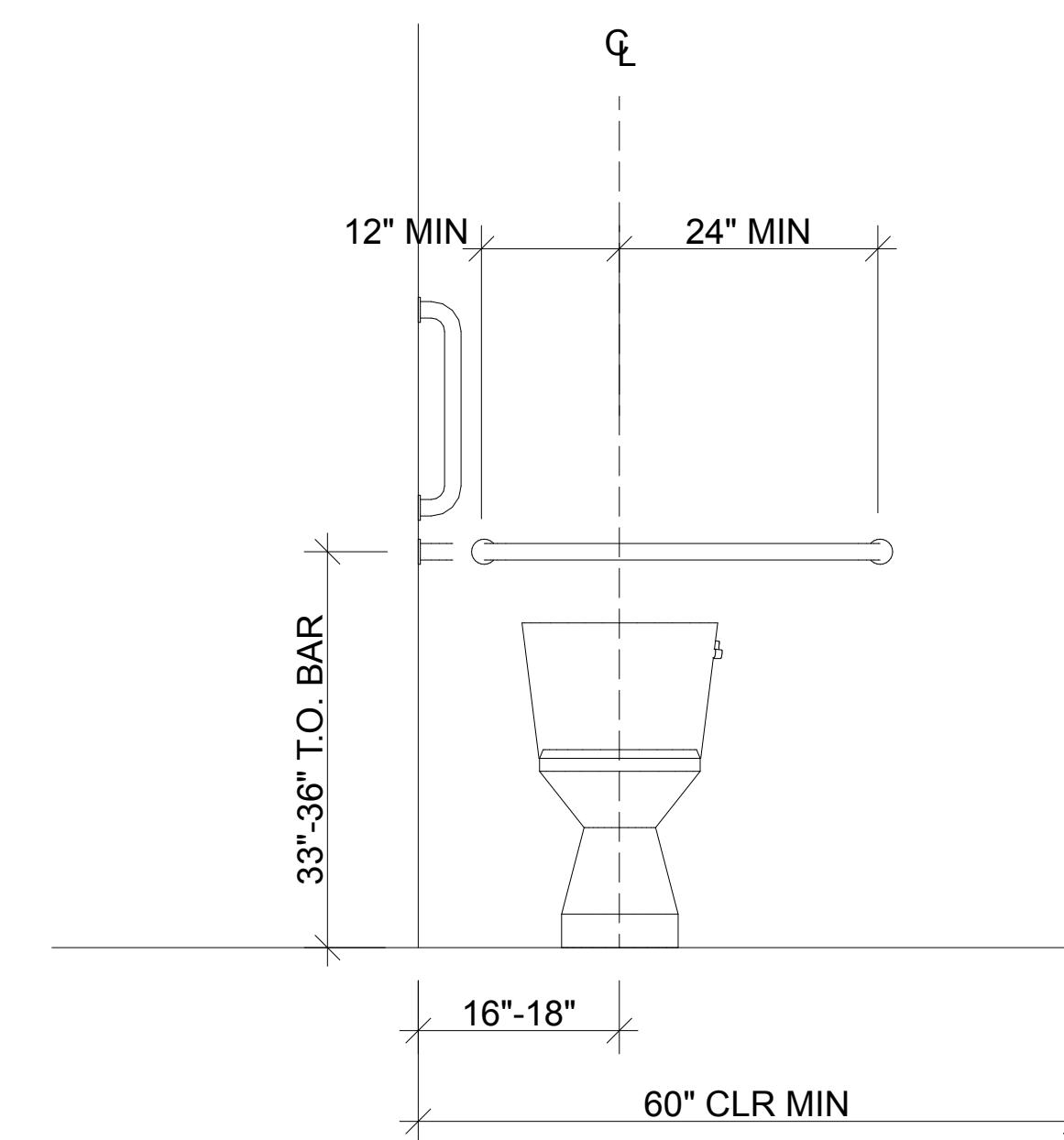
## SEAT COVER DISPENSER &amp; SANITARY NAPKIN HOLDER



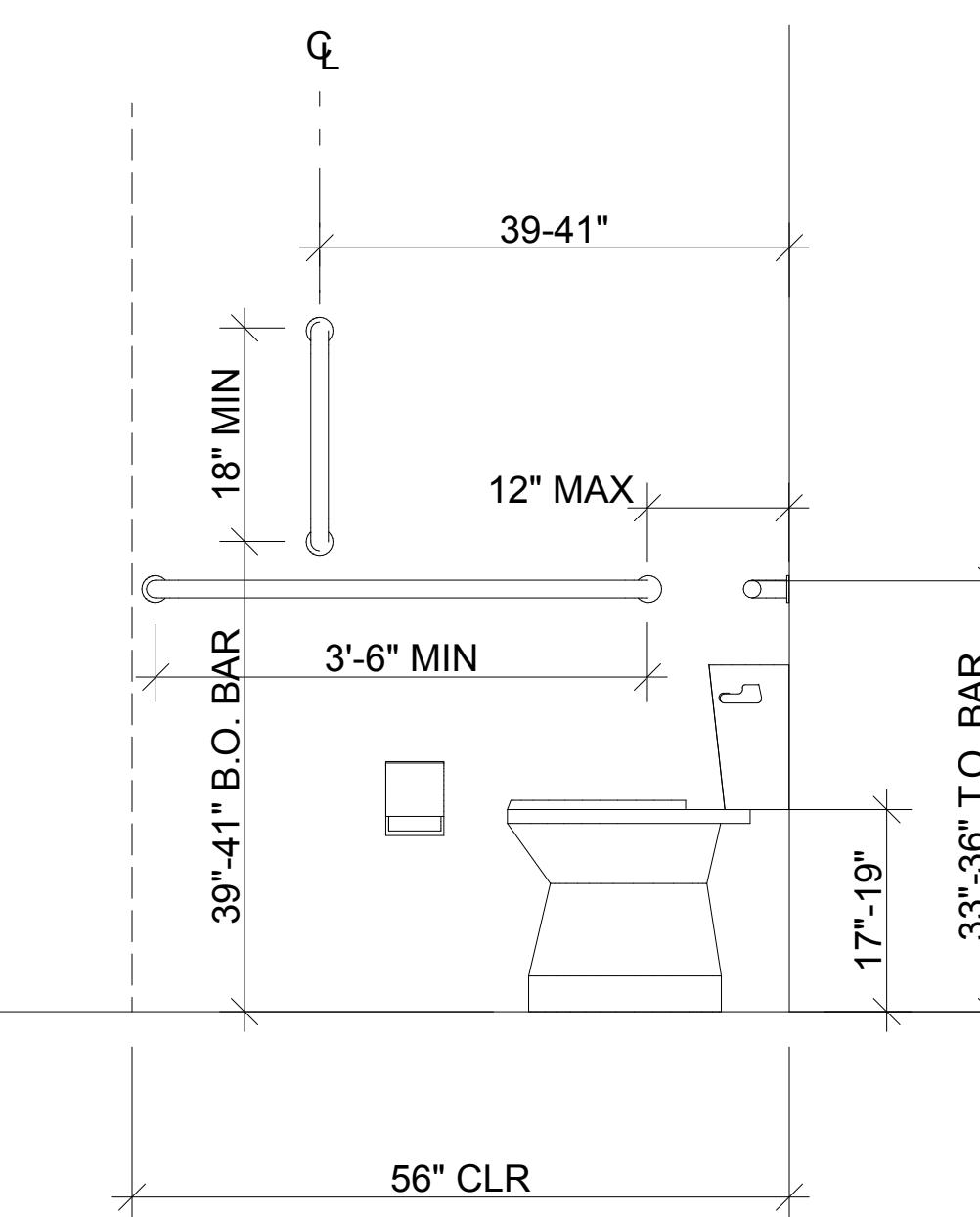
## TYPICAL TOILET/LAVATORY ACCESSORIES



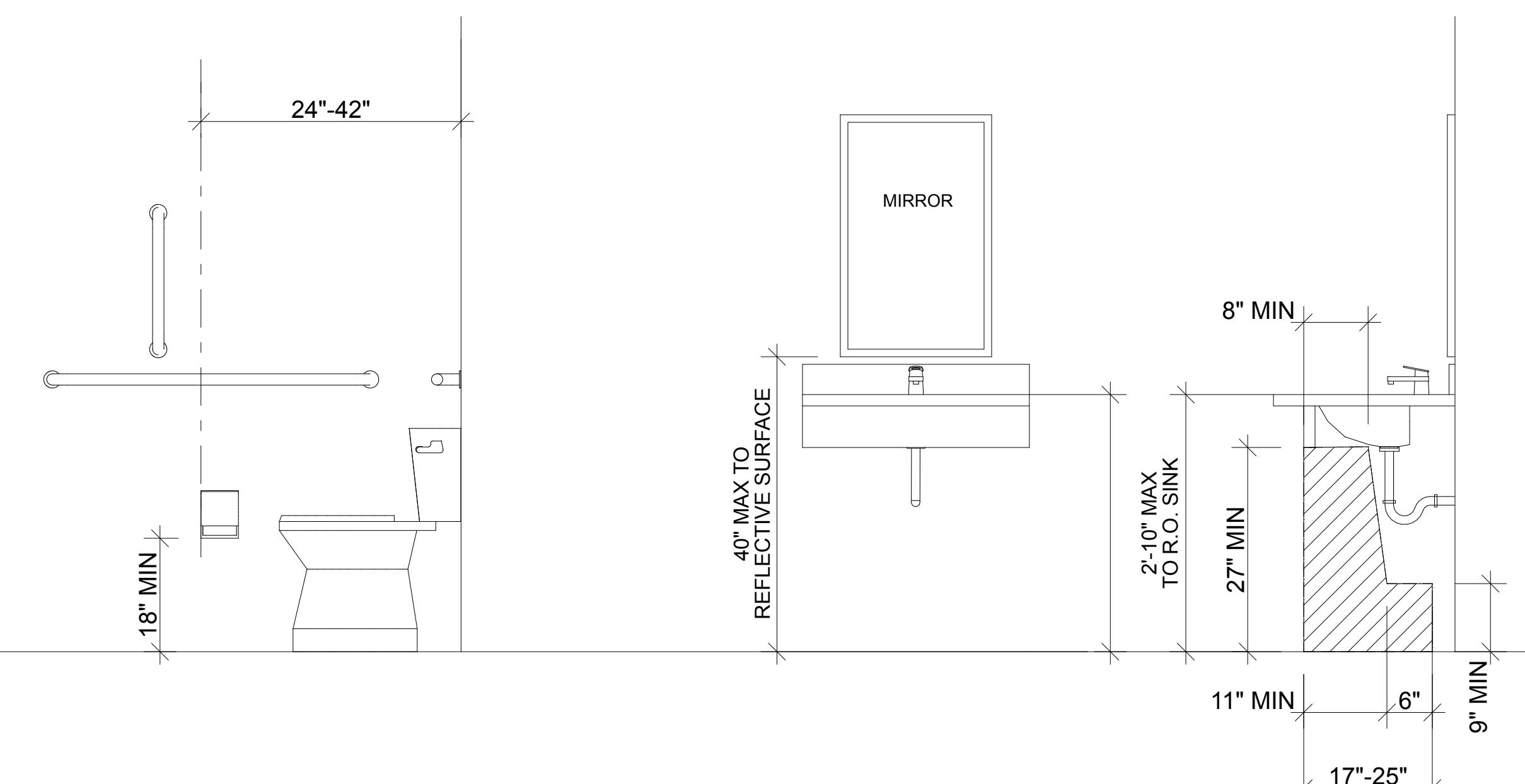
## ACCESSIBLE TOILET &amp; GRAB BARS



## TOILET PAPER HOLDER



## ACCESSIBLE LAVATORY &amp; MIRROR



NOTE: DIMENSIONS ARE FROM FINISHED SURFACES.  
PROVIDE ADA FLOOR CLEARANCE AREA AS REQUIRED AT EACH FIXTURE

1 ADA Restroom Details  
SCALE: 3/4" = 1'-0"

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## ARCHITECT STAMP



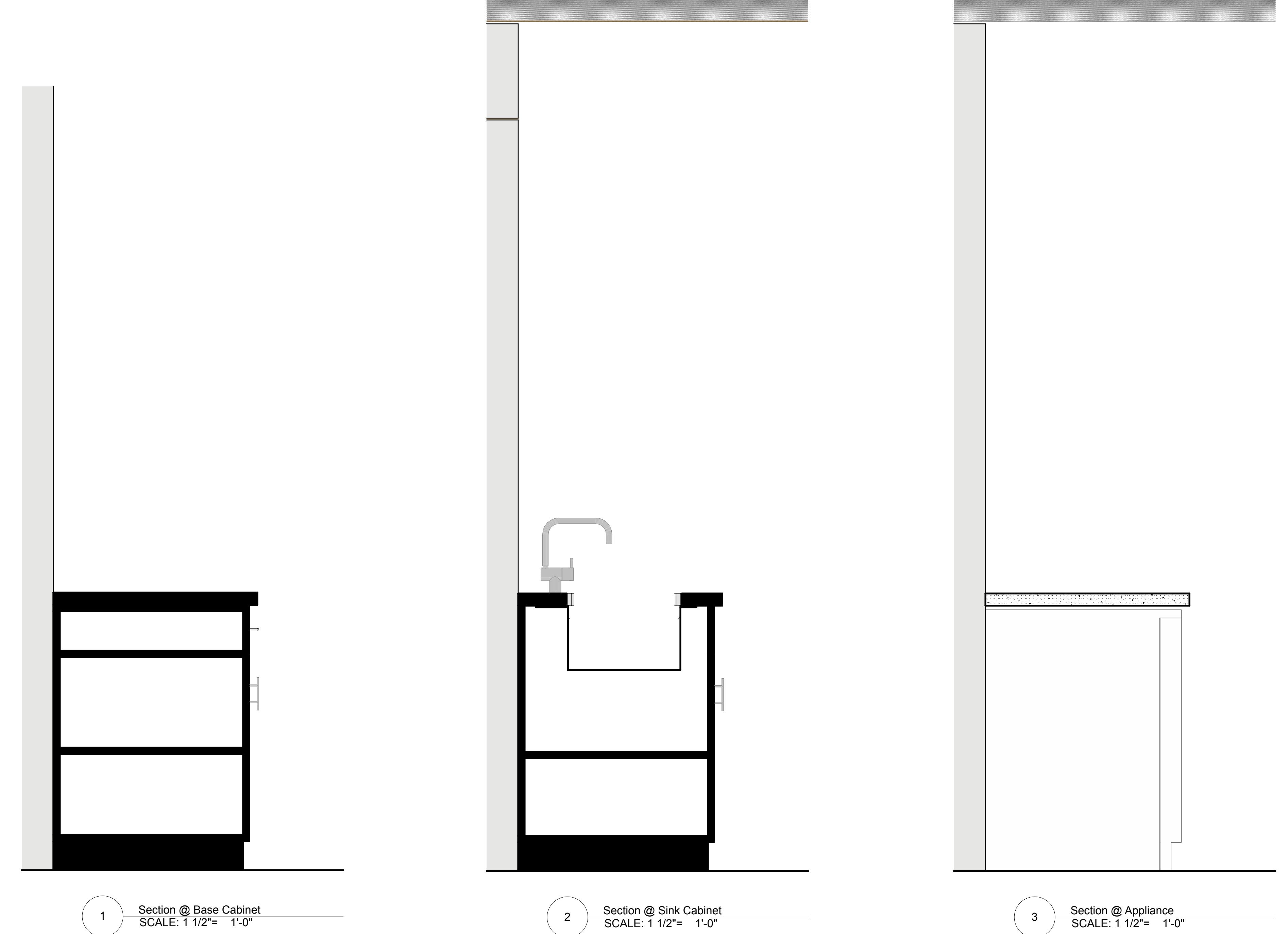
## PERMIT SET

ELEVATED LIVING G

800 W Broadway  
Jackson WY 83001

DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/22

**A601**  
Details



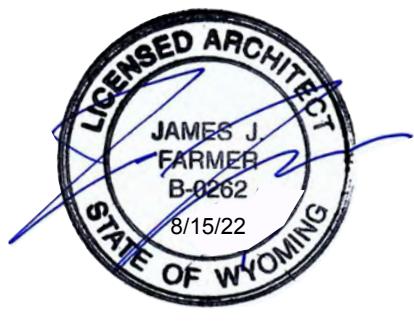
**Jackson Hole**  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.364.0080

**Sun Valley**  
351 North Main Street, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

**Louisiana**  
910 Piron Street, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

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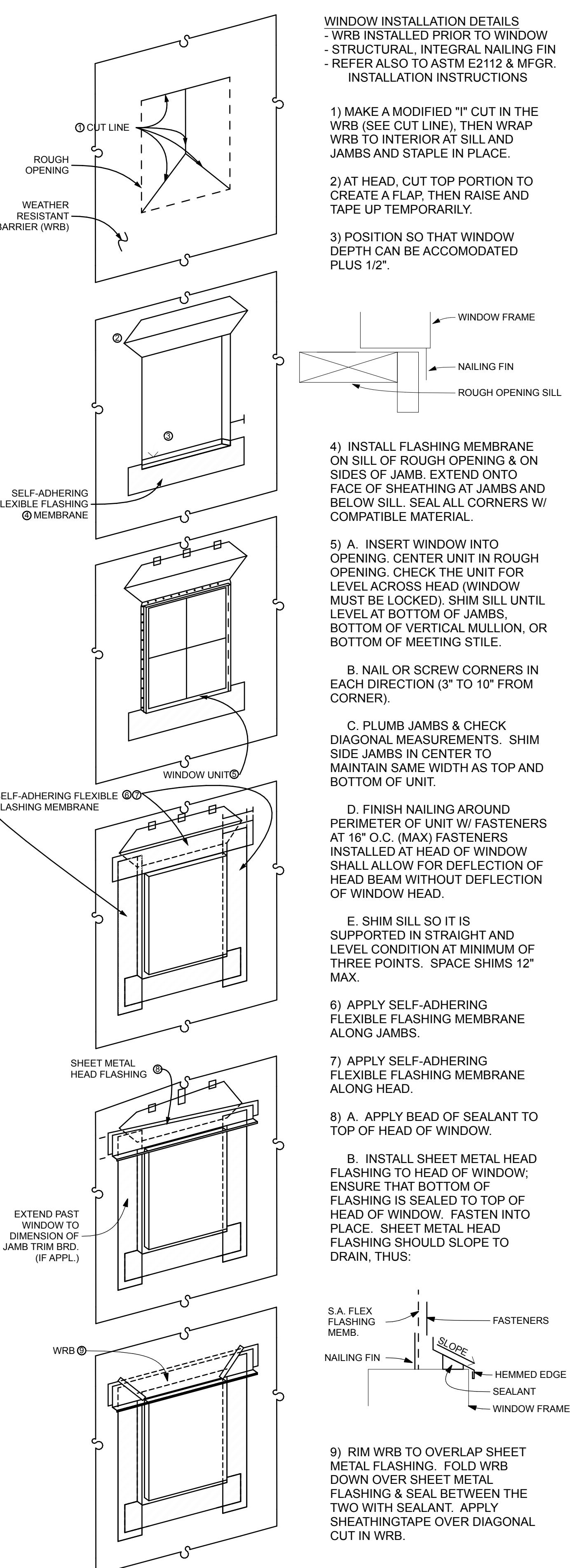
## ARCHITECT STAMP



## PERMIT SET

**ELEVATED LIVING**  
800 W Broadway  
Jackson WY 83001

DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: KM  
ISSUE: 08/18/22



WINDOW SCHEDULE											
ID	Quan...	Type	Room #	Location	W x H	Sill Height	Head	Jam	Sill	Manufacturer	Notes/Remarks
W1	1	Fixed	101	RETAIL	7'-4" x 12'-0"	0"					STOREFRONT
W2	1	Fixed	106	UNLOADING	11'-6" x 4'-5"	2'-3"					
W3	4	Fixed	101	RETAIL	7'-3" x 7'-6"	0"					Existing window to be relocated. See Architectural Plan.
W4	1	Fixed	102	OFFICE	8'-0" x 7'-0"	0"					
W5	4	Fixed	202	LOFT	7'-3" x 7'-6"	0"					
W6	1	Fixed	202	LOFT	7'-4 1/2" x 7'-6"	-1"					

## EXTERIOR DOOR AND WINDOW NOTES

01. Frame Size and location of each window is depicted from the top of subfloor. Doors and Windows are to be located at subfloor 10'-0" at main level. Intent is to align T.O. Window Units w/ T.O. Exterior Doors in all cases. Head height indicates rough opening height for window/door. SEE WINDOW DOOR DETAIL FOR MORE INFORMATION. A. Door Height on schedule indicates legnth size and unit size, please consult architect for any questions.

02. Manufacturer shall submit shop drawings, tabulations, and rough opening sizes to Owner for review.

03. Verify exterior cladding color with Owner.

04. All glazing shall be Low-E 2 sealed insulating glass unless noted otherwise. Where required by code, glazing shall be tempered.

05. All window/door type elevations are drawn as viewed from the exterior.

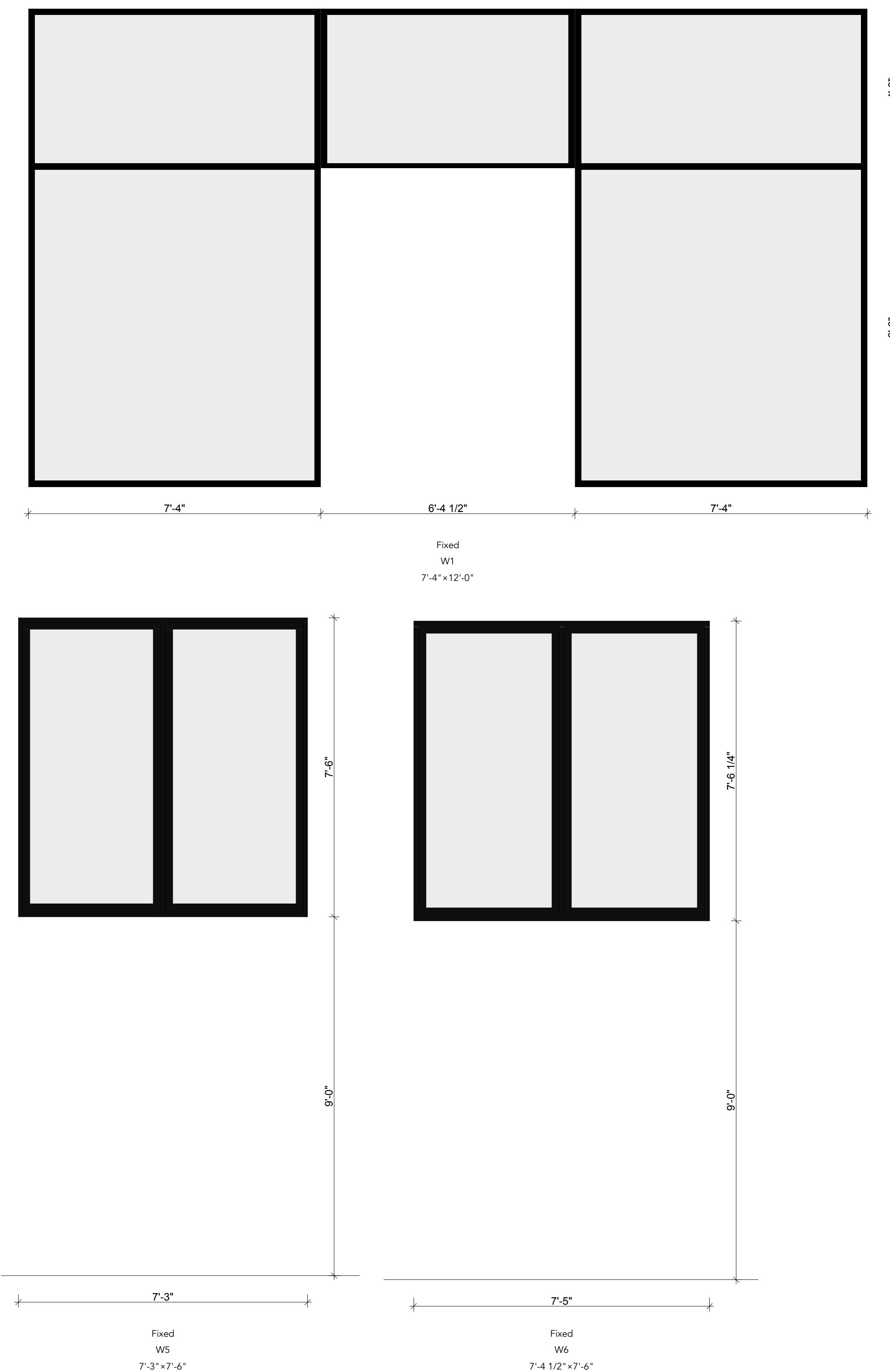
06. Window/Door hardware to be determined.

## INTERIOR DOOR NOTES

01. Frame Size and location of each window is depicted from the top of subfloor. Doors and Windows are to be located at subfloor 10'-0" at main level. Intent is to align Interior Doors with T.O. Window Units or T.O. Exterior Doors in most cases. Head height indicates mounting height for window/door. SEE INTERIOR DOOR DETAILS FOR MORE INFORMATION.

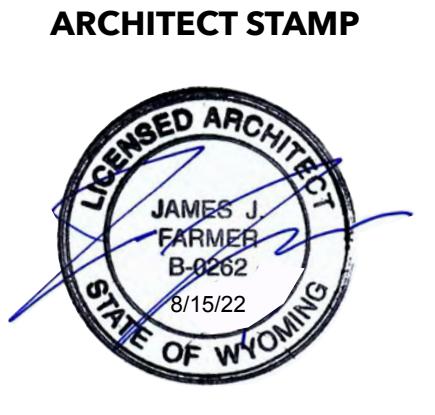
02. Manufacturer shall submit shop drawings, tabulations, and rough opening sizes to Owner for review.

03. See Door Elevation for information on look and style of door.



Jackson Hole	260 West Broadway, Suite A
	Jackson, WY 83001
Sun Valley	351 North Main Street, Suite 204
	Ketchum, ID 83340
Louisiana	3108 Parchment Street, Suite 410
	Shreveport, LA 71106
	T.318.383.3100

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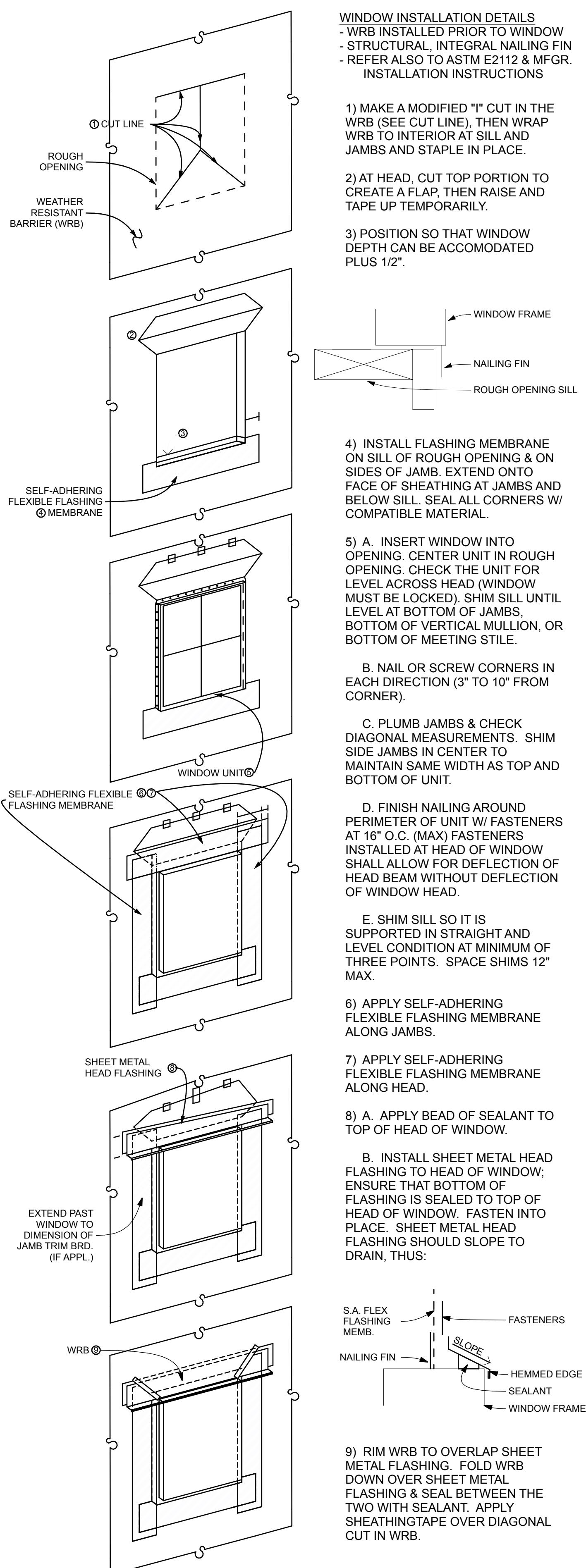


## PERMIT SET

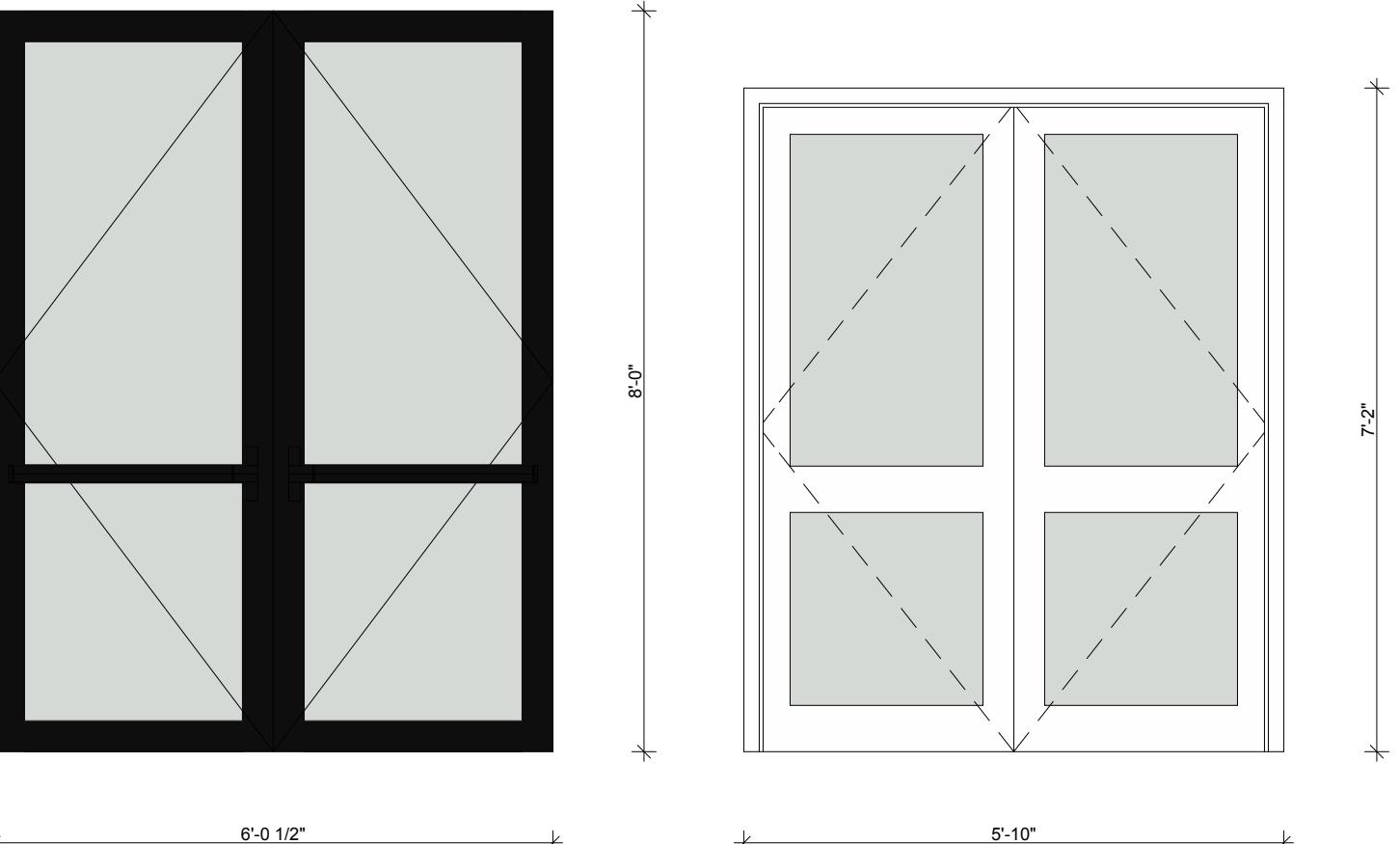
## ELEVATED LIVING

800 W Broadway  
Jackson WY 83001

DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: KM  
ISSUE: Permit Set: 08/18/22

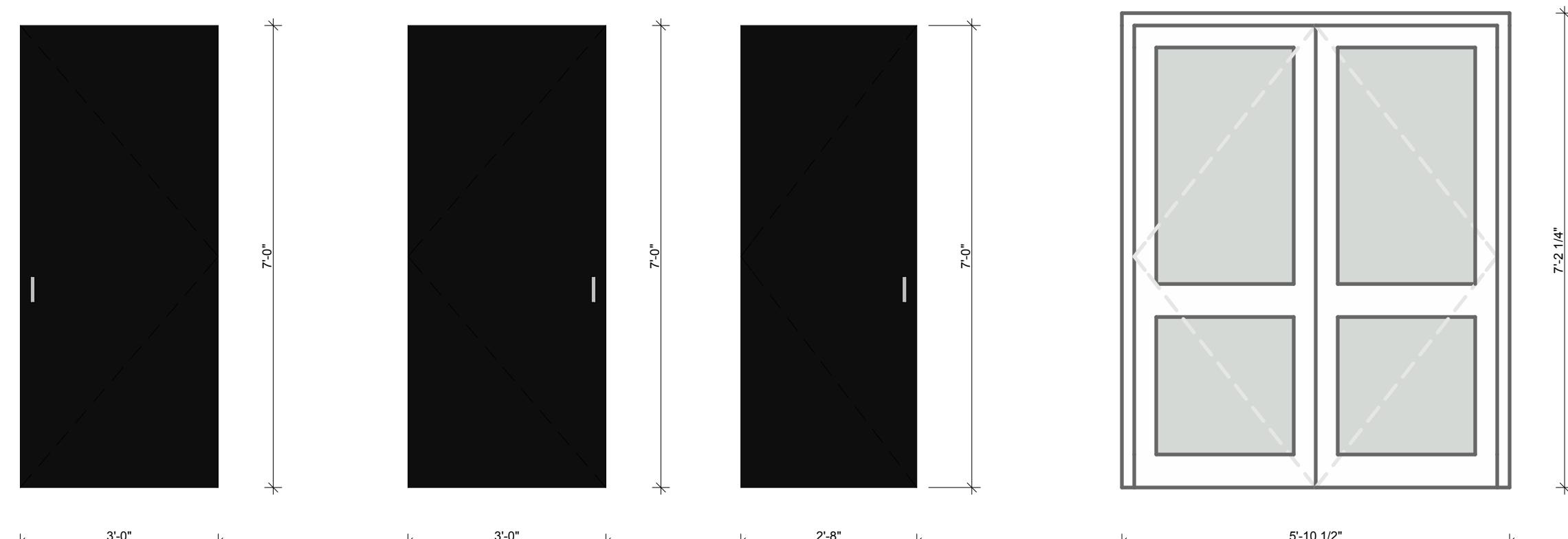


EXTERIOR DOOR SCHEDULE										
ID	Type	Room #	Location	W x H	Head	Jam	Sill	Hardware	Manufacturer	Notes/Remarks
D1	Outswing Double Door			6'-0 1/2" x 8'-0"				Undefined	Defined	
D2	Outswing Double Door			5'-6" x 7'-0"				Defined	Defined	Relocated existing door



Outswing Double Door  
D1  
6'-0 1/2" x 8'-0"  
Outswing Double Door  
D2  
5'-6" x 7'-0"

INTERIOR DOOR SCHEDULE										
ID	Type	Room #	Location	W x H	Head	Jam	Sill	Hardware	Manufacturer	Notes/Remarks
D3	Outswing Double Door			5'-6" x 7'-0"				Defined	Defined	
D4	Outswing Door			3'-0" x 7'-0"				Defined	Defined	
D5	Inswing Door			3'-0" x 7'-0"				Defined	Defined	
D6	Outswing Door			2'-8" x 7'-0"				Defined	Defined	



Inswing Door  
D5  
3'-0" x 7'-0"  
Outswing Door  
D4  
3'-0" x 7'-0"  
Outswing Door  
D6  
2'-8" x 7'-0"  
Outswing Double Door  
D3  
5'-6" x 7'-0"

## EXTERIOR DOOR AND WINDOW NOTES

- Frame Size and location of each window is depicted from the top of subfloor. Doors and Windows are to be located 101" from 101" at main level. Intent is to align T.O. Window Units w/ T.O. Exterior Doors in most cases. Head height indicates rough opening height for window/door. For more information, see Door Height on schedule indicates leaf size and not unit size, please consult architect for any questions.
- Manufacturer shall submit shop drawings, tabulations, and verified in field rough opening sizes to Owner for review.
- See Door Elevation for information on look and style of door.
- Verify exterior cladding color with Owner.
- All glazing shall be Low-E 2 sealed insulating glass unless noted otherwise. Where required by code, glazing shall be tempered.
- All window/door type elevations are drawn as viewed from the exterior.
- Window/Door hardware to be determined.

## INTERIOR DOOR NOTES

- Frame Size and location of each window is depicted from the top of subfloor. Doors and Windows are to be located 101" from 101" at main level. Intent is to align T.O. Window Units w/ T.O. Exterior Doors in most cases. Head height indicates rough opening height for window/door. For more information, see Door Height on schedule indicates leaf size and not unit size, please consult architect for any questions.
- Manufacturer shall submit shop drawings, tabulations, and verified in field rough opening sizes to Owner for review.
- See Door Elevation for information on look and style of door.

A702

Door Schedules/Elevations

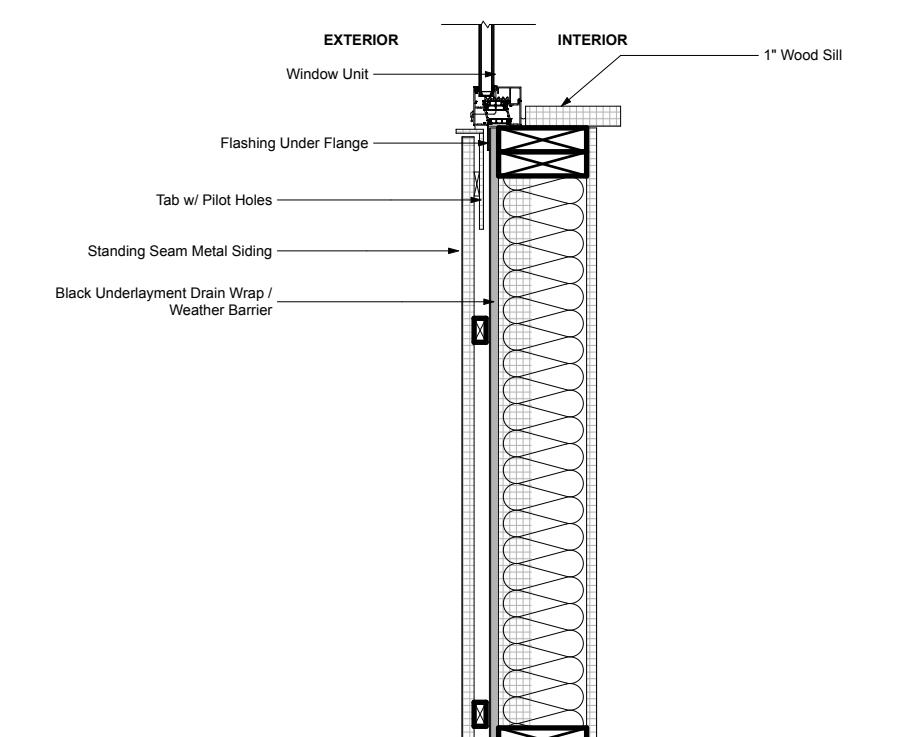
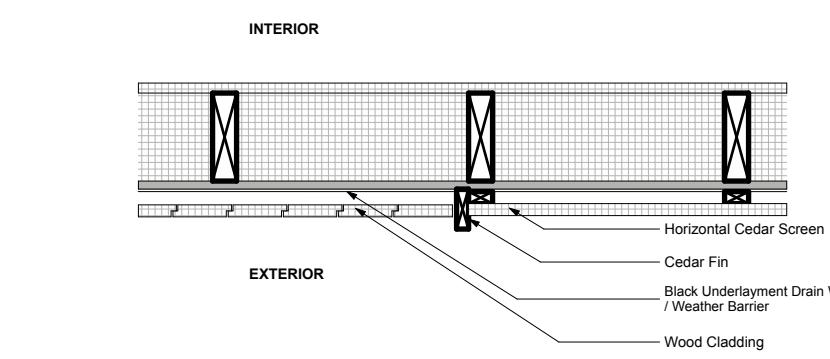
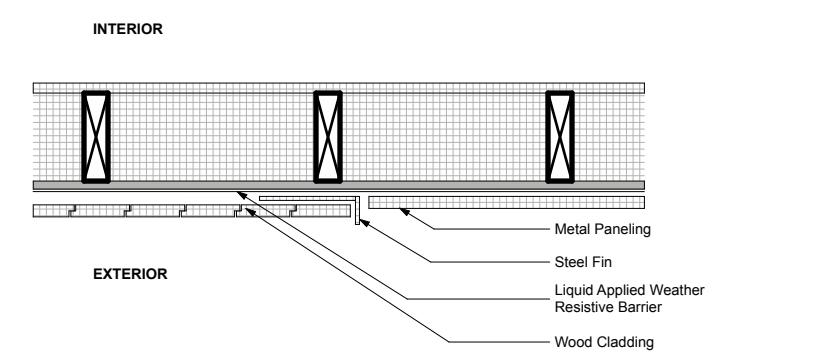
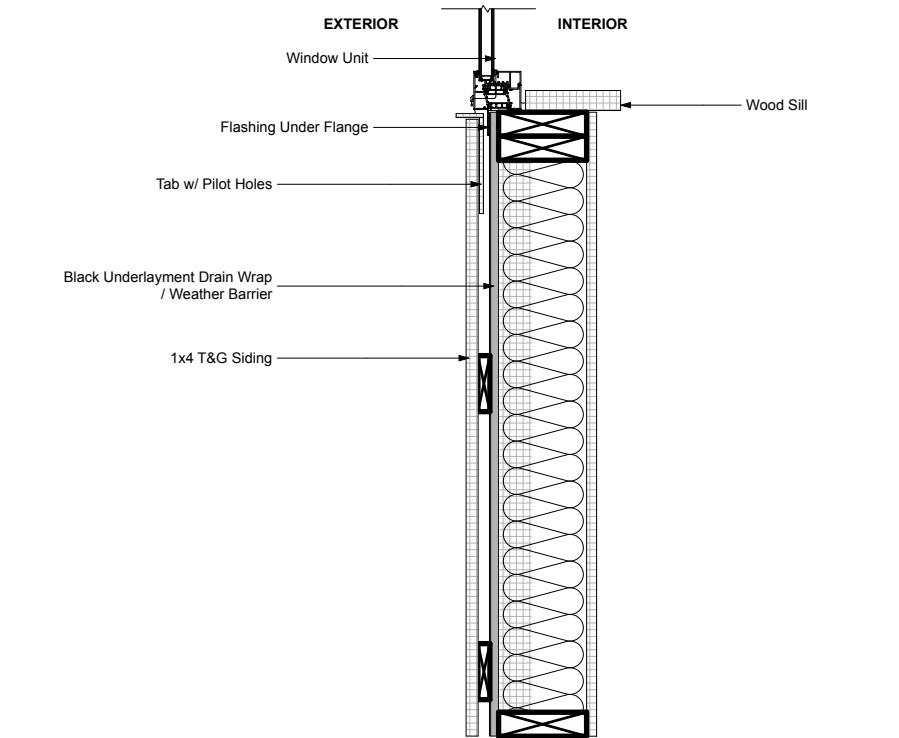
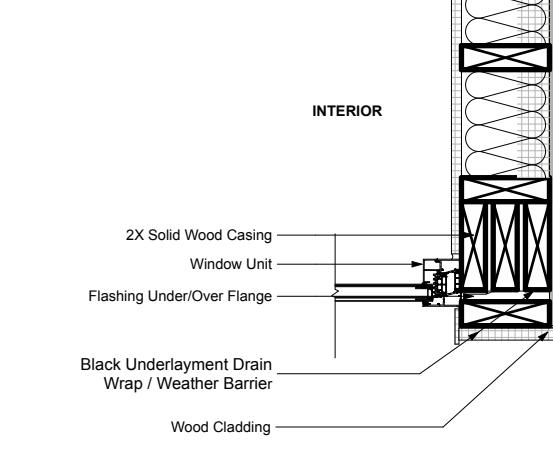
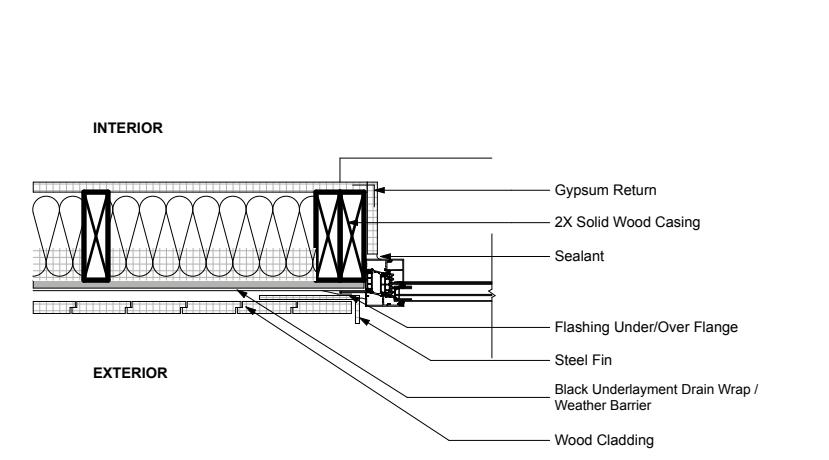
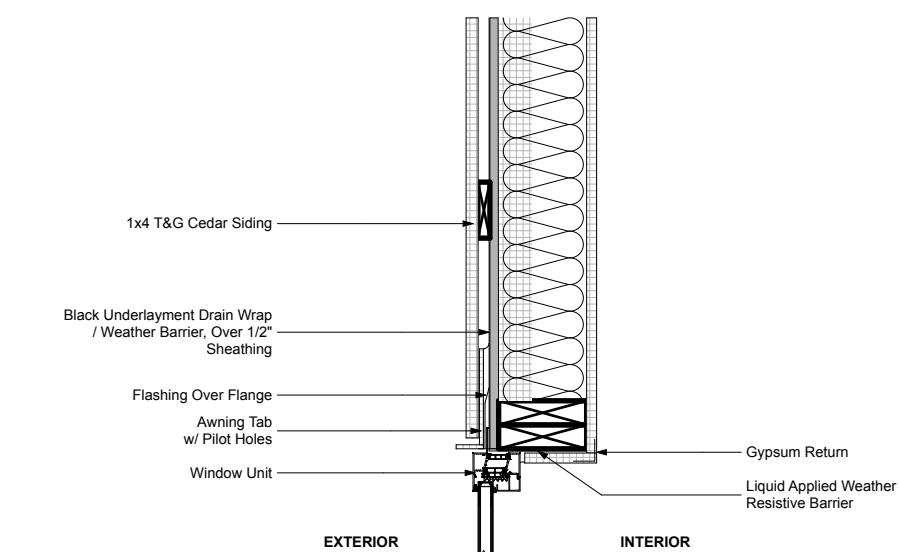
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## ARCHITECT STAMP

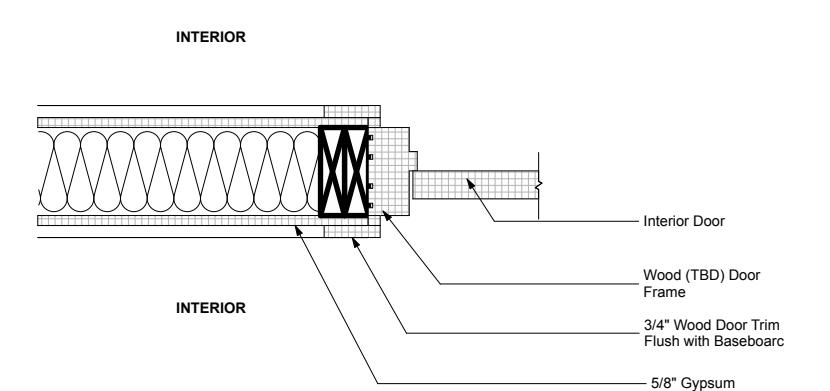


## PERMIT SET

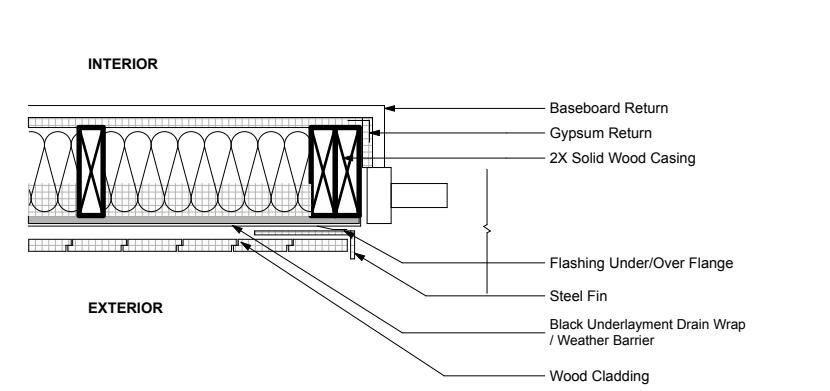
## ELEVATED LIVING G

800 W Broadway  
Jackson WY 83001

INTERIOR DOOR JAMB DETAIL



EXTERIOR DOOR JAMB DETAIL

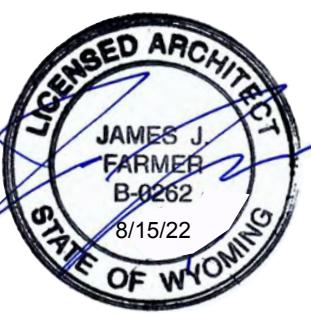


1  
Window/Door Flashing  
SCALE: 1" = 1'-0"

DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	Permit Set: 08/18/22

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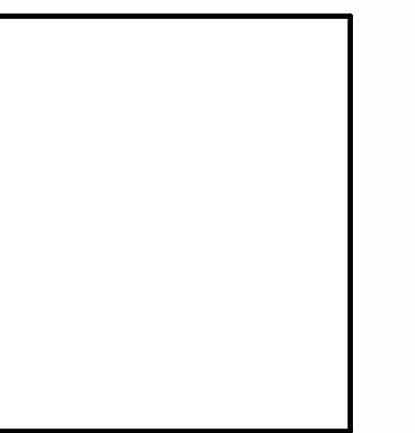
## ELEVATED LIVING G

800 W Broadway  
Jackson WY 83001

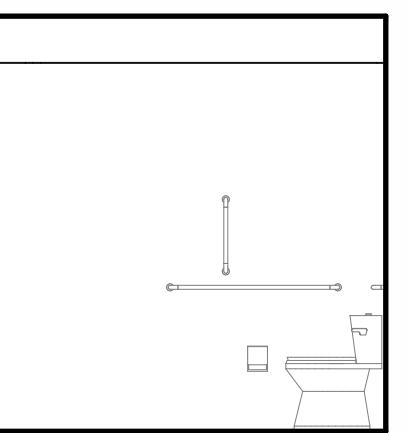
## MATERIAL KEY NOTES

- CL1 Exposed existing ceiling. Paint finish to match P1
- FL1 Existing floor
- FL2 Wood floor, provided by Owner. Level floor as required.
- BT1 Base trim, provided by Owner.
- CA1 Cabinet, provided by Owner.
- HR1 Aluminum clad window/door, Painted to Match Steel
- P1 Paint, color selection by Owner.
- P2 Paint, color selection by Owner.
- WT1 Wall tile, selection by Owner.

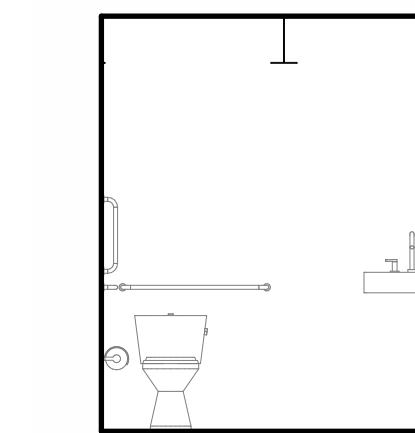
NOTE: ALL FINISHES TO BE APPROVED BY ARCHITECT  
THRU SUBMITTALS / SAMPLES, G.C. TO VERIFY  
WITH ARCHITECT BEFORE INSTALL, TYP.



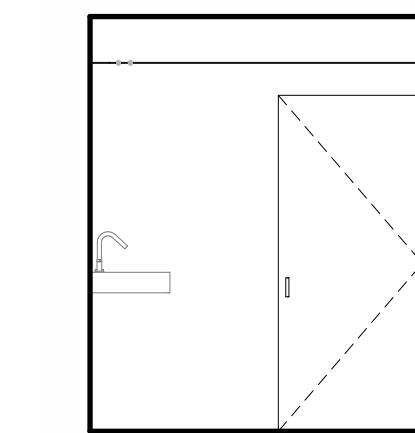
1 Accessible RR - West  
SCALE: 1/4" = 1'-0"



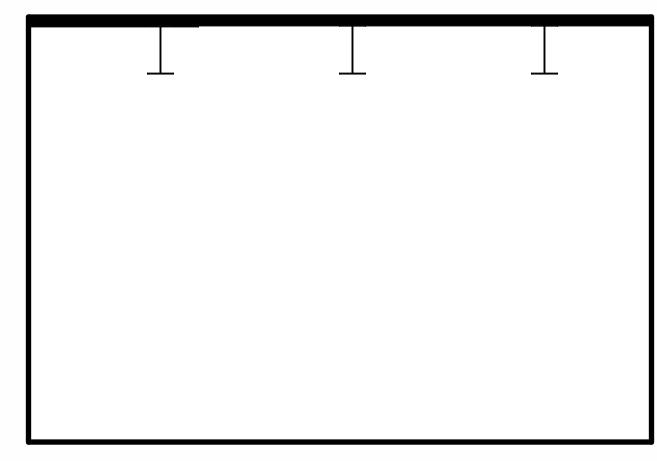
2 Accessible RR - North  
SCALE: 1/4" = 1'-0"



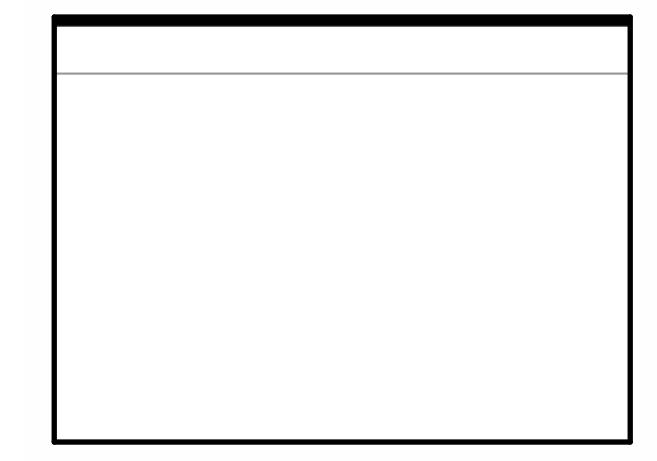
3 Accessible RR - East  
SCALE: 1/4" = 1'-0"



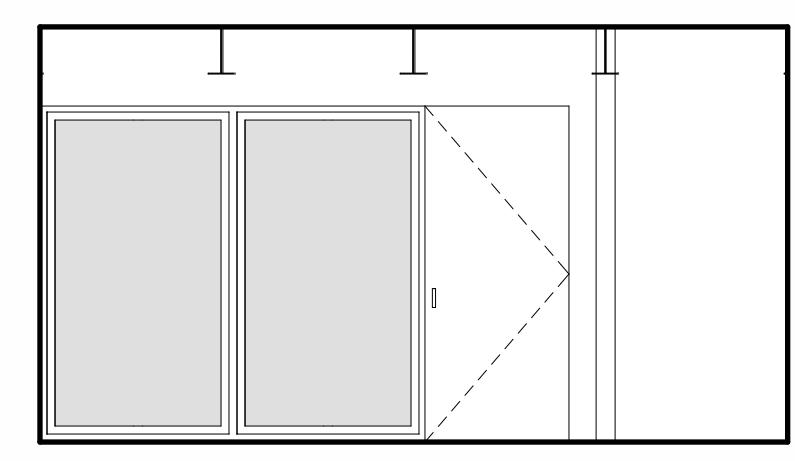
4 Accessible RR - South  
SCALE: 1/4" = 1'-0"



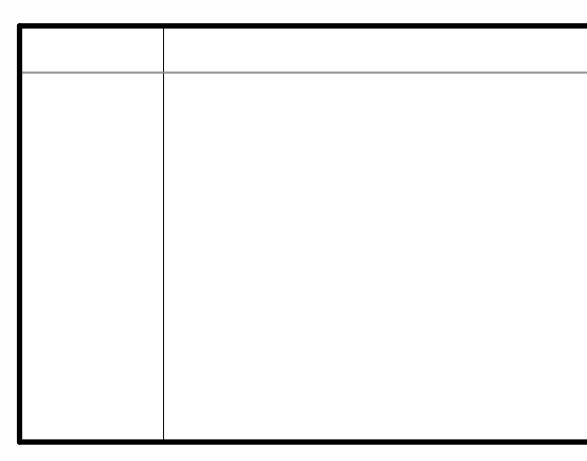
6 Office - West  
SCALE: 1/4" = 1'-0"



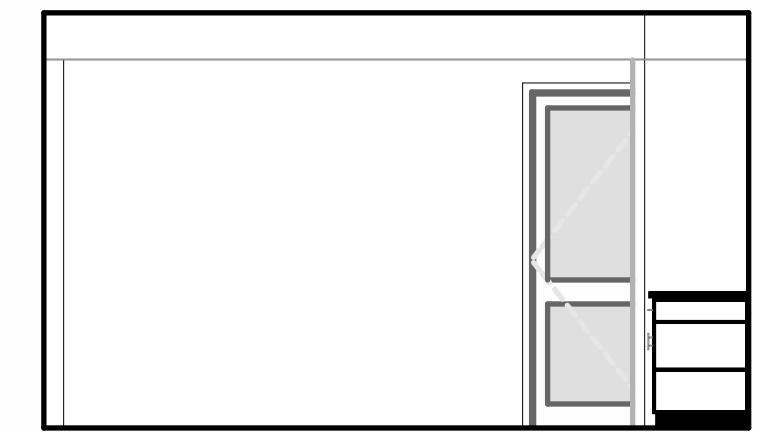
7 Office - North  
SCALE: 1/4" = 1'-0"



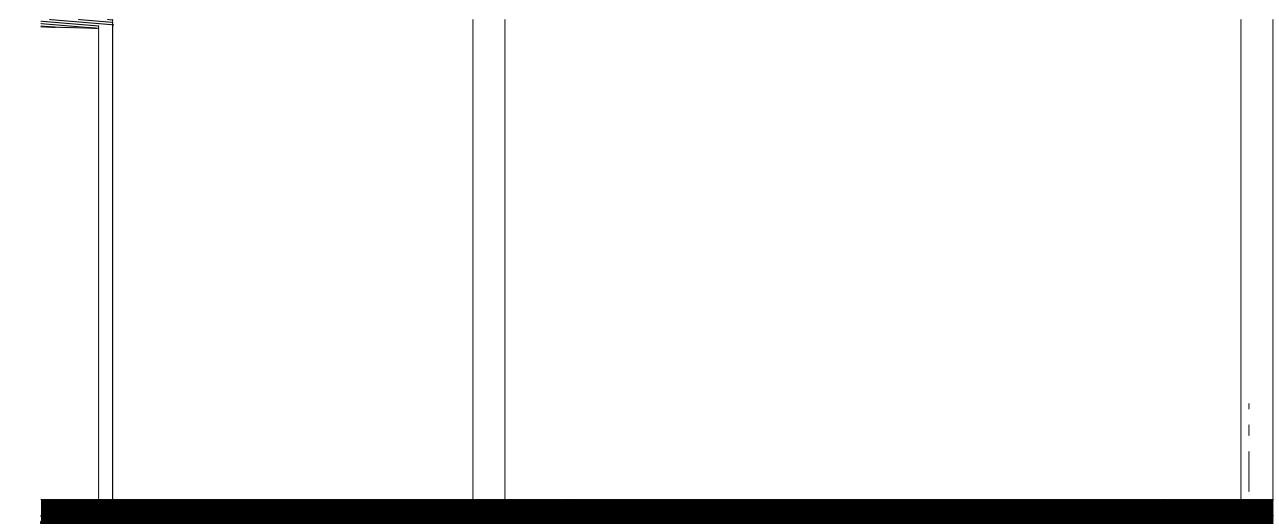
8 Office - East  
SCALE: 1/4" = 1'-0"



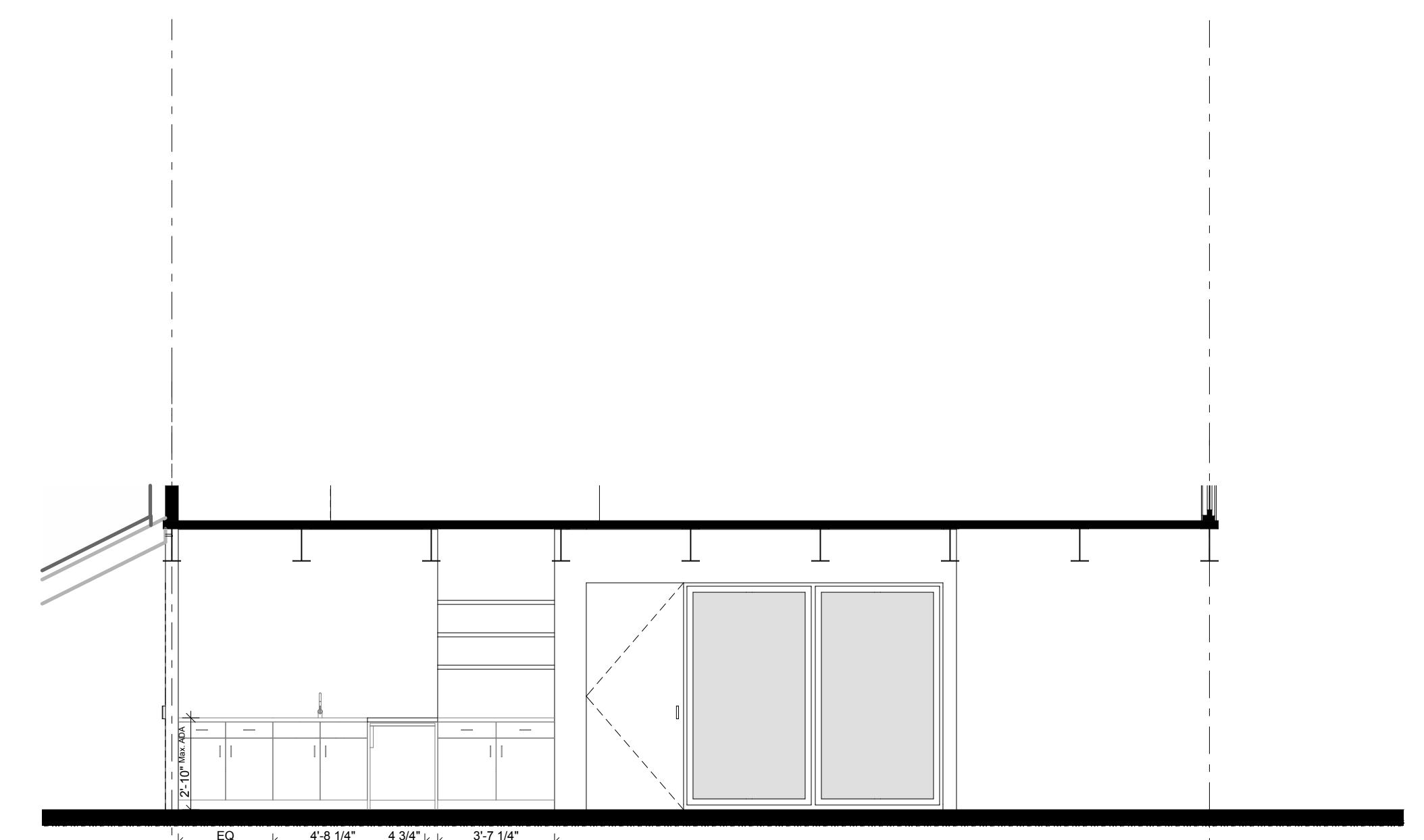
9 Office - South  
SCALE: 1/4" = 1'-0"



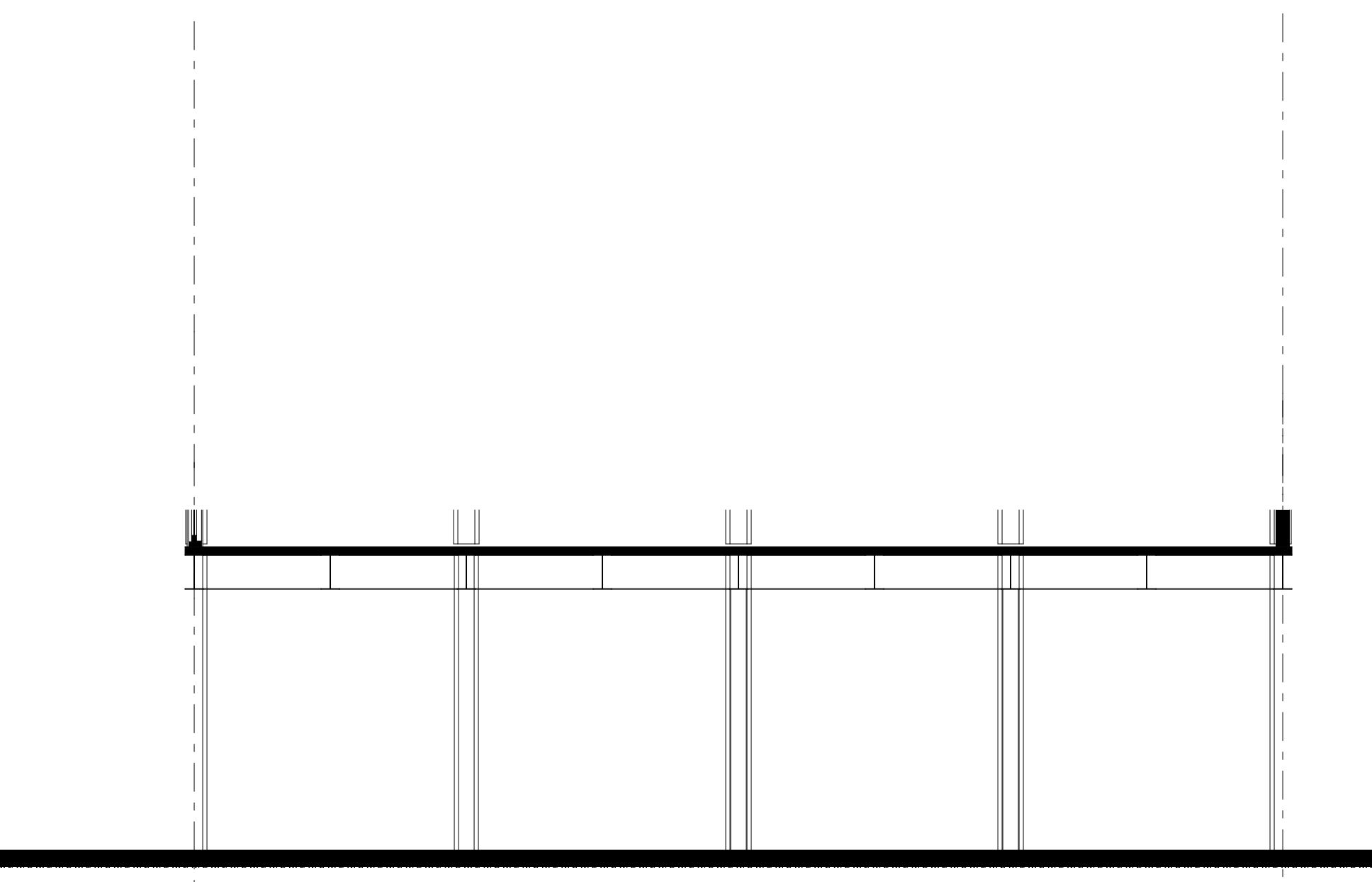
10 Retail  
SCALE: 1/4" = 1'-0"



12 Retail (2)  
SCALE: 1/4" = 1'-0"



13 Retail (3)  
SCALE: 1/4" = 1'-0"



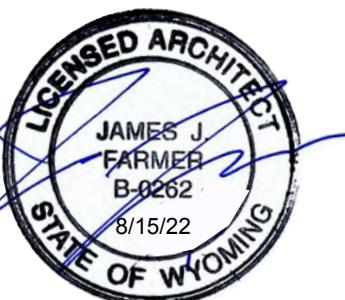
11 Retail (1)  
SCALE: 1/4" = 1'-0"

DATE: 8/18/22  
PROJECT #: JH2205  
DRAWN: KM  
ISSUE:  
Permit Set: 08/18/22

**A801**  
Interior Elevations

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## ARCHITECT STAMP



## PERMIT SET

ELEVATED LIVING G  
800 W Broadway  
Jackson WY 83001

DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/22

**A802**  
Interior Elevations

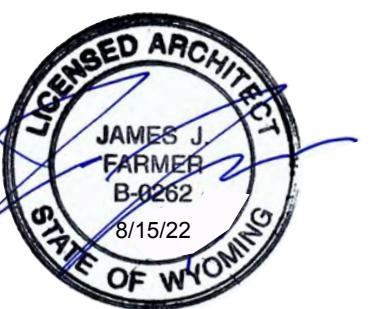
**Jackson Hole**  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

**Sun Valley**  
351 North Main Street, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

**Louisiana**  
910 Piron Street, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

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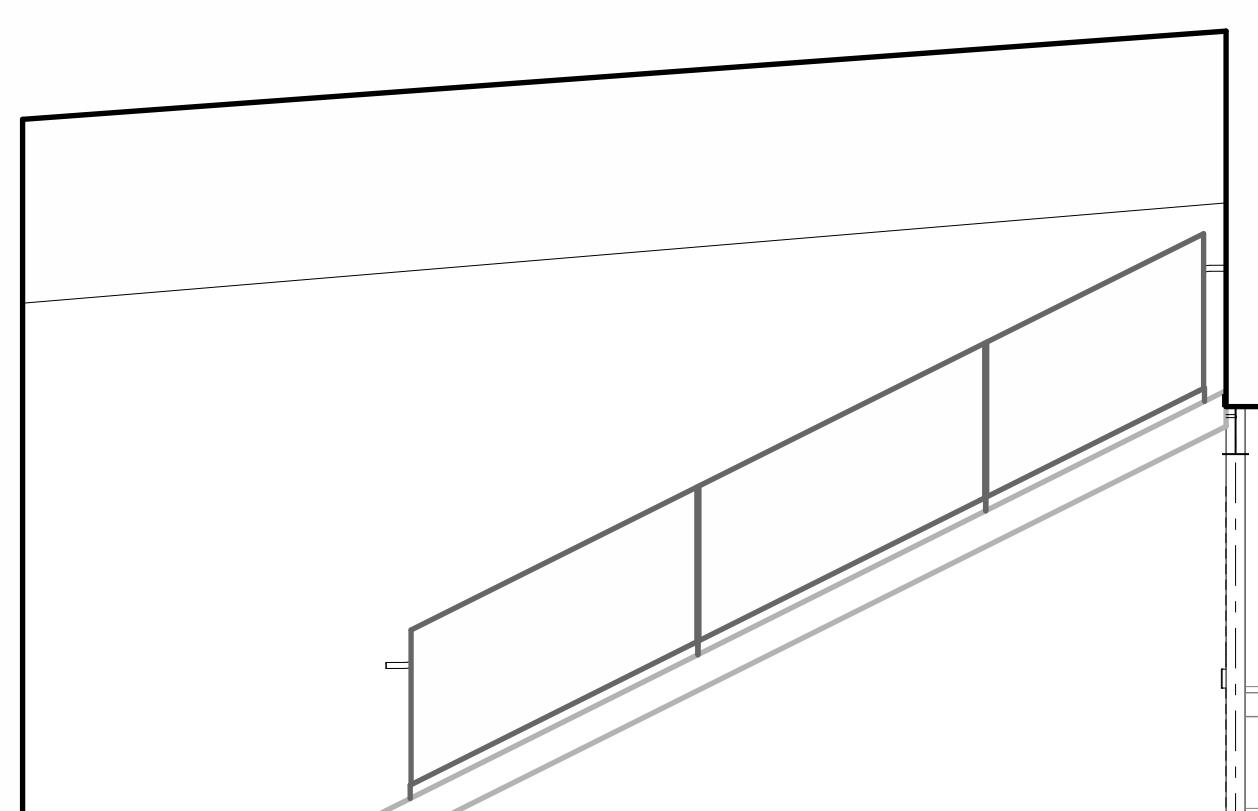
## ARCHITECT STAMP



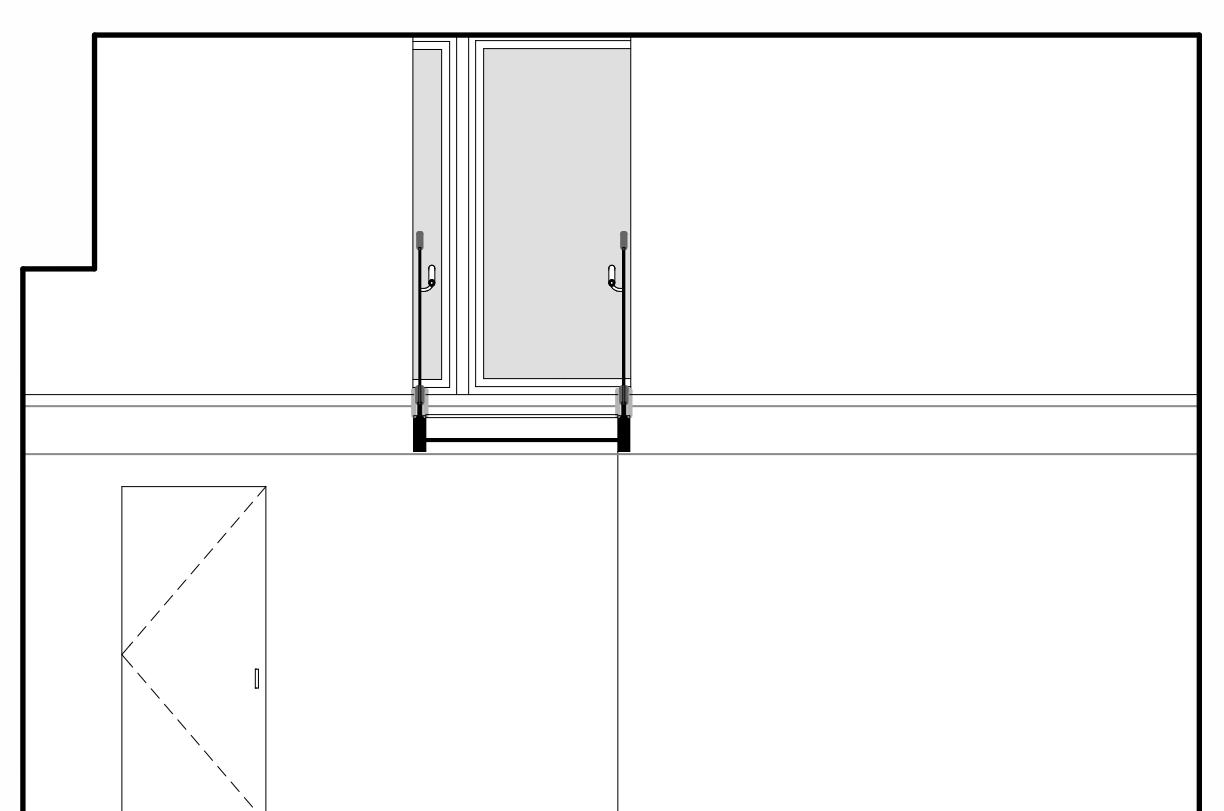
## PERMIT SET

## ELEVATED LIVING G

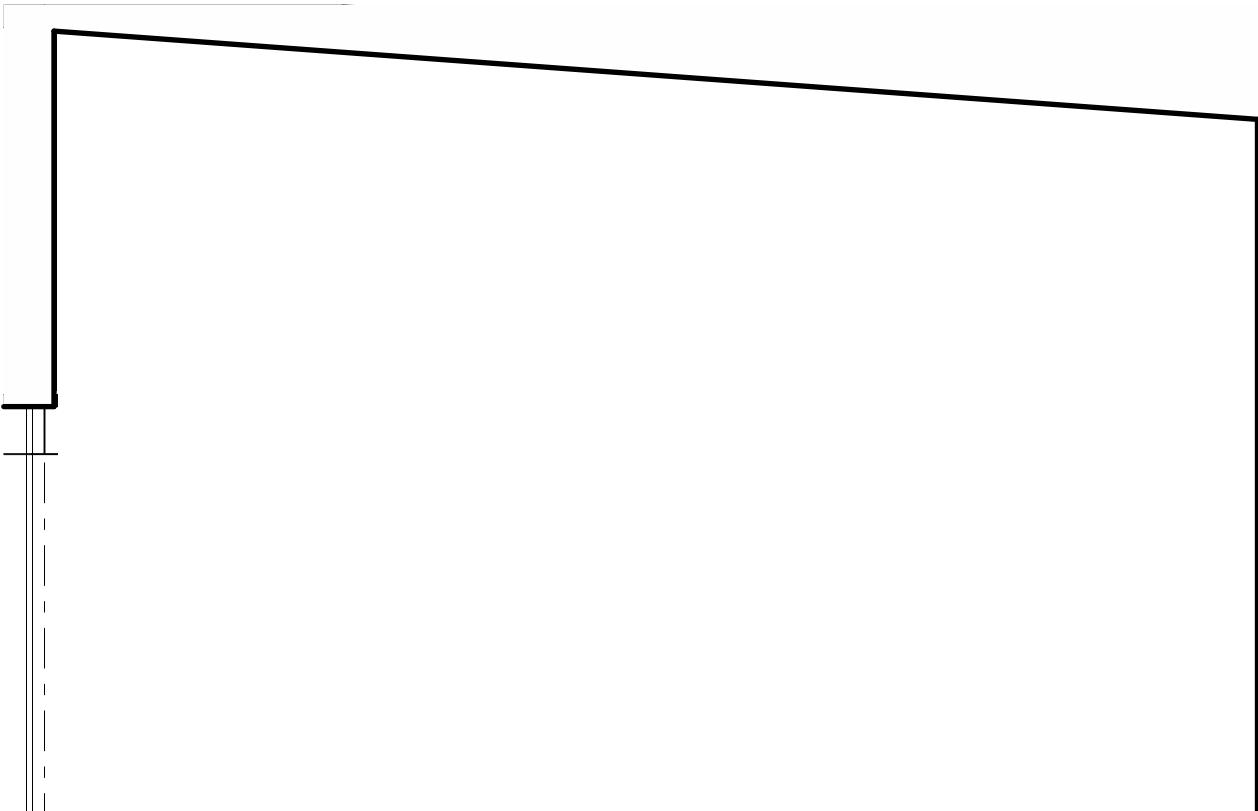
800 W Broadway  
Jackson WY 83001



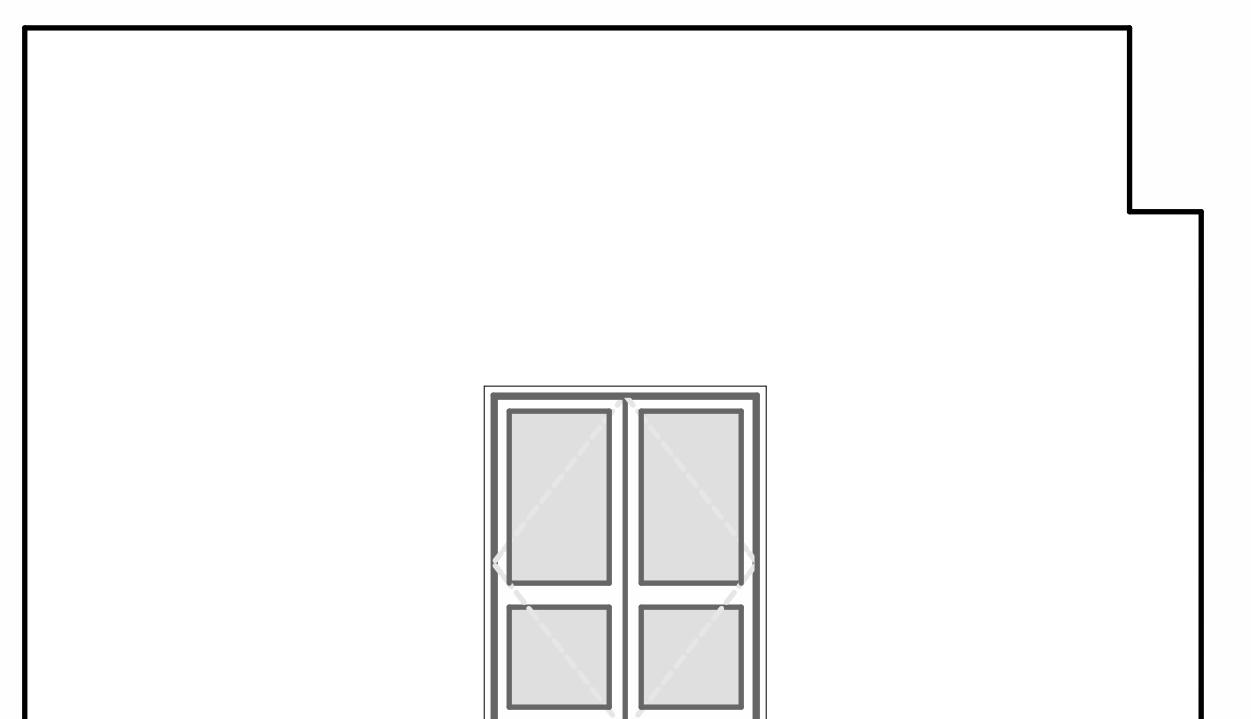
3 Staging - West  
SCALE: 1/4" = 1'-0"



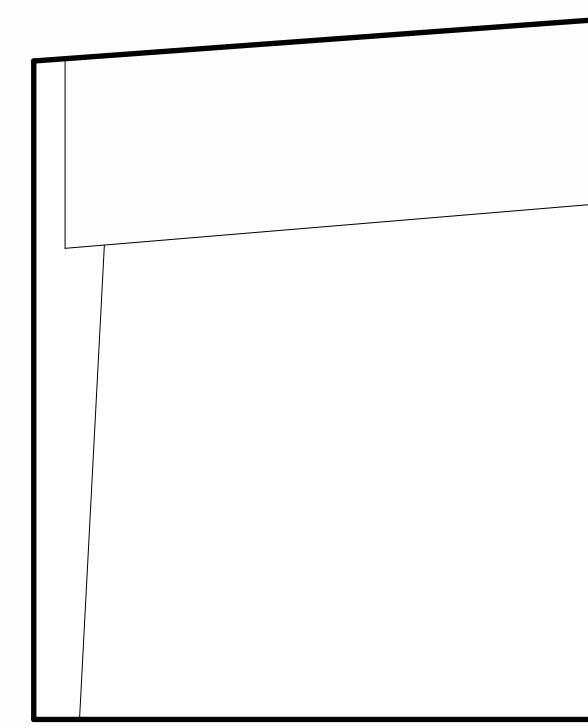
2 Staging - North  
SCALE: 1/4" = 1'-0"



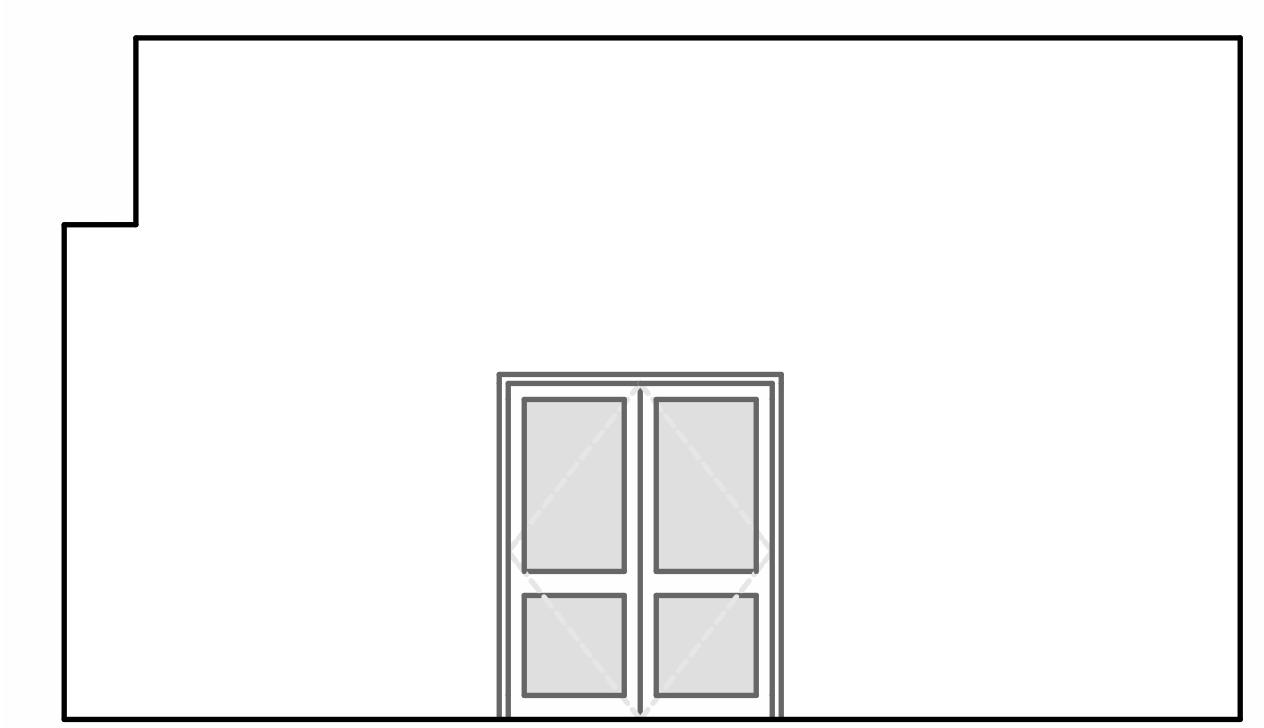
1 Staging - East  
SCALE: 1/4" = 1'-0"



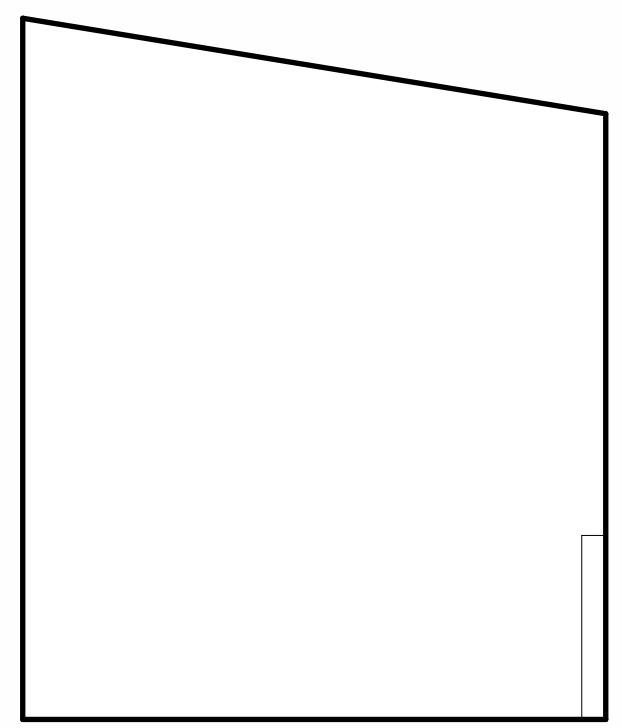
4 Staging - South  
SCALE: 1/4" = 1'-0"



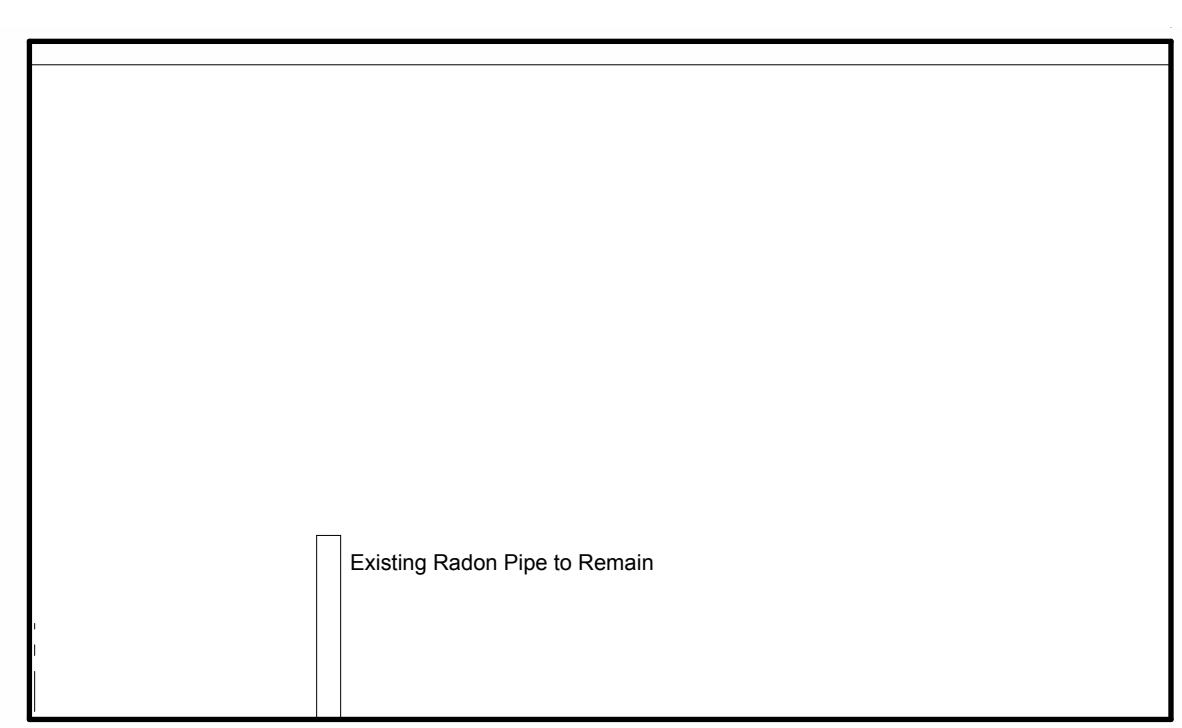
4 Unloading - West  
SCALE: 1/4" = 1'-0"



2 Unloading - North  
SCALE: 1/4" = 1'-0"



3 Unloading - East  
SCALE: 1/4" = 1'-0"



1 Unloading - South  
SCALE: 1/4" = 1'-0"

DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/22

**A803**

Interior Elevations

Elevated Living  
800 W Broadway Ave  
Grand Teton Plaza Condo #5  
Jackson, WY

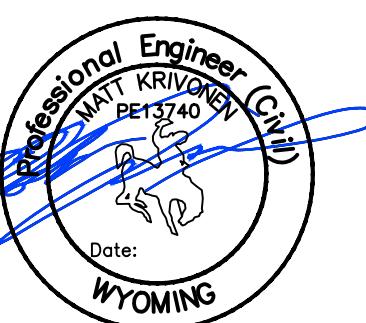
# Grand Teton Plaza Condo #5 Jackson, WY

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SHEET DESCRIPTION:  
Foundation Plan

61.0



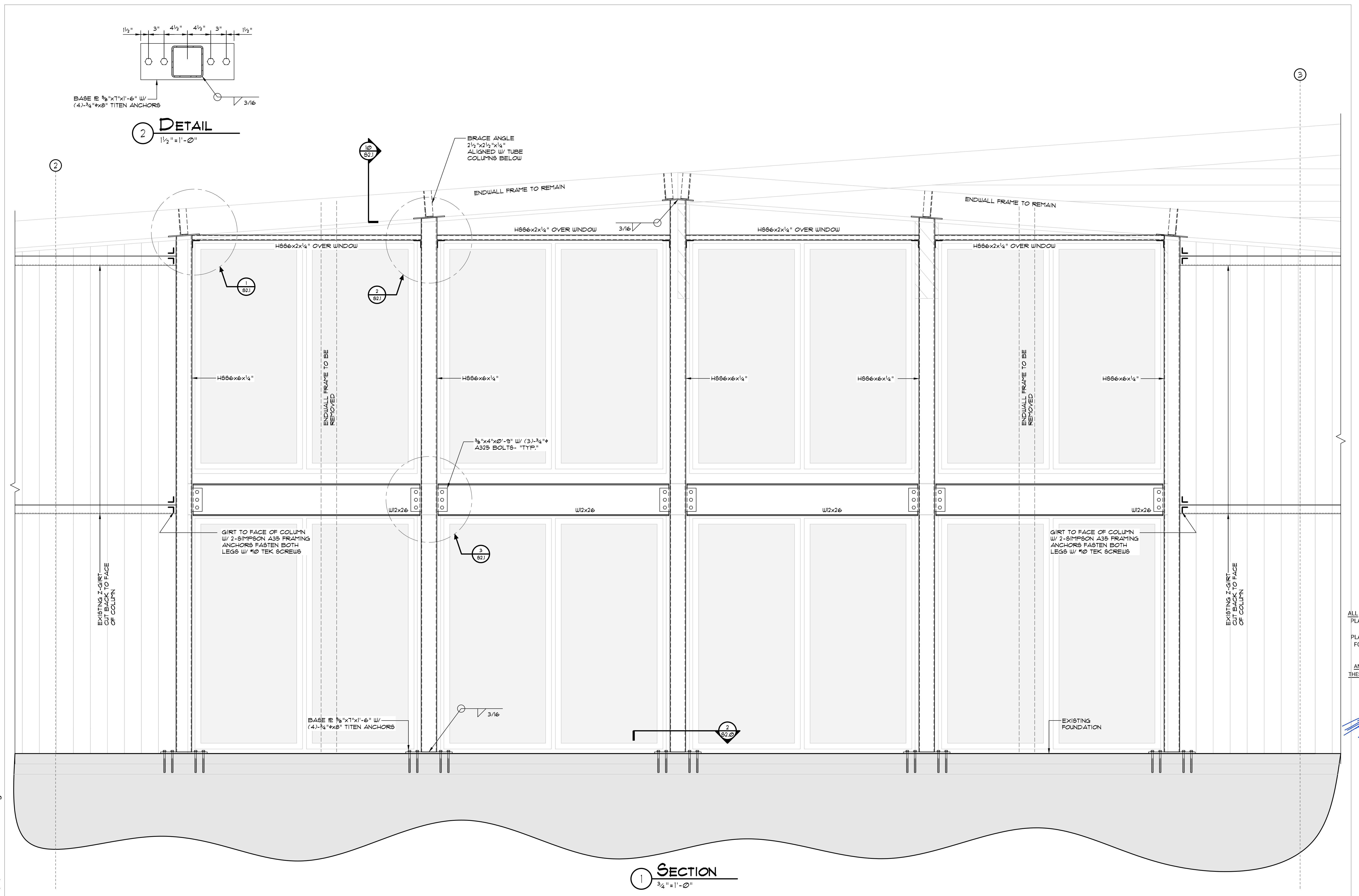
# 1 FOUNDATION PLAN

-  - DENOTE LOCATION OF 3'-6" #x12" FOOTING W/ (4)-#4 EA. WAY
-  - DENOTE LOCATION OF 4'-6" #x12" FOOTING W/ (5)-#4 EA. WAY
-  - DENOTE LOCATION OF 2'-6" #x12" UN-REINFORCED FOOTING

8/1/22 222161-S1.0.dwg

printed scale: 1/4" = 1'-0"

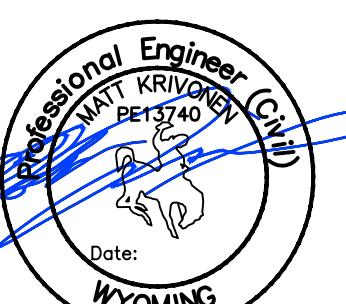
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SHEET DESCRIPTION:  
Section &  
Detail Views

CADD DRAFTER: KZ  
ENGINEER: MK  
SCALE: 1/4" = 1'-0"  
DATE: 8.1.2022  
JOB NUMBER: 22161  
SHEET:  
S2.1

## STRUCTURAL NOTES

### GOVERNING CODES

INTERNATIONAL BUILDING CODE, 2018 EDITION  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION, 9TH EDITION  
AMERICAN CONCRETE INSTITUTE, 318-14  
AMERICAN SOCIETY OF CIVIL ENGINEERS, 7-16  
AMERICAN WELDING SOCIETY D1.1 (U.O.N.)

### DESIGN CRITERIA

SNOW LOAD:  $P_f = 88$  PSF + DRIFTING,  $P_g = 125$  PSF  $C_0 = 1.0$ ,  $I = 1.0$ ,  $C_1 = 1.0$   
WIND LOAD:  $V_{ut} = 115$  MPH,  $V_{asd} = 90$  MPH,  $C_0 = 19$  PSF, RISK CATEGORY = 2, NET UPLIFT = 10 PSF  
SEISMIC:  $S_{se} = 1.15$

DESIGN CATEGORY "D":  $I_0 = 1.0$ ,  $S_0 = 1.187$ ,  $S_1 = 0.401$   
RESISTIVE SYSTEM-WOOD SHEATHING  
SEISMIC DESIGN FACTORS:  $S_{Ms} = 1.424$ ,  $S_{M1} = 0.601$ ,  $S_{D1} = 0.401$ ,  $R = 6$ ,  $C_0 = 0.022$   
SIMPLIFIED BASE SHEAR METHOD: LIVE LOAD FACTOR = 1  
FLOOR LOAD: 50PSF OFFICE LIVE MEZZ. LOAD  
FOUNDATION: ASSUMED BEARING ON MATERIAL SPECIFIED W/ ASSOCIATED CAPACITY IN GEOTECHNICAL REPORT

### SPECIAL INSPECTION

STATEMENT OF SPECIAL INSPECTIONS:  
- SPECIAL INSPECTIONS AND STRUCTURAL TESTING SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED BY THE OWNER FOR THE ITEMS IDENTIFIED IN THIS SECTION AND IN OTHER AREAS OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, UNLESS WAIVED BY THE BUILDING OFFICIAL (SEE IBC CHAPTER 17).  
- THE NAMES AND CREDENTIALS OF THE SPECIAL INSPECTORS TO BE USED SHALL BE SUBMITTED TO THE BUILDING OFFICE FOR APPROVAL. SPECIAL INSPECTORS FOR THIS PROJECT INCLUDE:

SPECIAL INSPECTION OF BOLTED CONNECTIONS & CONCRETE FOUNDATION WILL BE REQUIRED PER 2018 IBC REQUIREMENTS.

- DUTIES OF THE SPECIAL INSPECTOR:  
- THE SPECIAL INSPECTOR SHALL REVIEW ALL WORK LISTED BELOW FOR CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AND THE 2018 IBC.  
- THE SPECIAL INSPECTOR SHALL FURNISH SPECIAL INSPECTION REPORTS TO THE EOR, CONTRACTOR, OWNER AND BUILDING OFFICIAL ON A WEEKLY BASIS, OR MORE FREQUENTLY AS REQUIRED BY THE BUILDING OFFICIAL. ALL ITEMS NOT IN COMPLIANCE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, AND IF UNCORRECTED, TO THE EOR AND THE BUILDING OFFICIAL.  
- CORRECTIONS HAVE BEEN MADE BY THE CONTRACTOR, THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT TO THE BUILDING OFFICIAL STATING THAT THE WORK REQUIRE SPECIAL INSPECTION WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AS WELL AS THE APPLICABLE WORKMANSHIP PROVISIONS OF 2018 IBC.

- DUTIES OF THE CONTRACTOR:  
- THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK. IN ACCORDANCE WITH IBC 1704.4, THE STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED WITHIN THIS "STATEMENT OF SPECIAL INSPECTIONS".

- THE CONTRACTOR SHALL NOTIFY THE RESPONSIBLE SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST ONE WORKING DAY (24 HOURS MINIMUM) BEFORE SUCH INSPECTION IS REQUIRED.  
- ALL WORK REQUIRING SPECIAL INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL IT HAS BEEN OBSERVED BY THE SPECIAL INSPECTOR.

- PLEASE SEE THE "SPECIAL INSPECTION SCHEDULE" FOR THE TYPES, EXTENTS AND FREQUENCY OF SPECIFIC ITEMS REQUIRING SPECIAL INSPECTIONS AND STRUCTURAL TESTS AS PART OF THIS PROJECT.

### SPECIAL INSPECTION SCHEDULE

AREAS REQUIRING SPECIAL INSPECTION	FREQUENCY	COMMENTS
FABRICATORS (IBC 1704.2.5)	CONTINUOUS	

SOILS (IBC 1705.6)		IF FABRICATOR IS APPROVED, ON-SITE INSPECTION IS NOT REQUIRED BUT A CERTIFICATE OF COMPLETION MUST BE PROVIDED TO THE B.O. (IBC 1704.2.5.)
VERIFY APPROPRIATE MATERIALS BELOW FOOTINGS	●	PRIOR TO PLACEMENT OF CONCRETE.
EXCAVATION EXTEND TO PROPER DEPTH & MATERIALS	●	PRIOR TO PLACEMENT OF COMPACTED FILL OR CONCRETE.
CLASSIFICATION & TESTING OF FILL MATERIALS	●	CHECK CLASSIFICATION & GRADATIONS AT EACH LIFT, BUT NOT LESS THAN ONCE FOR EACH 10,000 ft <sup>3</sup> OF SURFACE AREA.

VERIFY PROPER FILL MATERIALS, LIFT THICKNESSES & IN-PLACE DENSITIES	●	
---	---	--

VERIFY PROPERLY PREPARED SITE & SUBGRADE	●	PRIOR TO PLACEMENT OF CONCRETE.
--	---	---------------------------------

CONCRETE CONSTRUCTION (IBC 1705.3)		
------------------------------------	--	--

REINFORCING STEEL PLACEMENT	●	VERIFY SIZE, CLEARANCES, SPACERS AND PROPER TIES.
-----------------------------	---	---

EMBEDDED BOLTS OR PLATES	●	VERIFY DESIGN MEETS STRENGTH & EXPOSURE REQUIREMENTS LISTED ON APPROVED PLANS.
--------------------------	---	--

VERIFY REQUIRED DESIGN MIX	●	INCLUDES SAMPLING FOR ABS, SLUMP, STRENGTH & TEMPERATURE TECHNIQUES.
----------------------------	---	--

CONCRETE PLACEMENT/SAMPLING	●	IN ACCORDANCE WITH APPROVED IBC-ES REPORT. PERIODIC INSPECTIONS ALLOWED IF STATED IN ES REPORT.
-----------------------------	---	---

INSPECT FORWARK	●	VERIFY PROPER SPLICING AT ROOT, CLEANNESS OF STEEL SURFACES, TACK WELD QUALITY & LOCATION.
-----------------	---	--

POST-INSTALLED ANCHORS	●	VERIFY PROPER SCREW ATTACHMENT, BOLTING & ANCHORING OF SHEAR WALLS, BRACES & HOLLOWNS HAVING A FASTER SPACING OF $\leq 4$ ft.
------------------------	---	---

COLD-FORMED STEEL CONSTRUCTION (IBC 1705.11.3)		
--	--	--

COMPONENTS OF WIND & SEISMIC FORCE RESISTANCE	●	VERIFY PROPER SCREW ATTACHMENT, BOLTING & ANCHORING OF SHEAR WALLS, BRACES & HOLLOWNS HAVING A FASTER SPACING OF $\leq 4$ ft.
---	---	---

OTHER THAN STRUCTURAL STEEL (IBC 1705.2.)		
---	--	--

STEEL ROOF & FLOOR DECK	●	IDENTIFICATION MARKINGS PER APPLICABLE ASTM STANDARD
-------------------------	---	--

ROOF & FLOOR WELDS	●	VERIFY THAT WELDS CONFORM TO AWS D1.3.
--------------------	---	--

VERIFICATION OF WELDABILITY (EXCEPT A706 BAR)	●	VERIFY MATERIAL IS ABLE TO CONFORM TO AWS D1.4.
---	---	---

STRUCTURAL STEEL CONSTRUCTION (IBC 1705.2, 1705.11, 1705.12)		
--	--	--

PRIOR TO WELDING (TABLE N4-1, AISC 360-10)	●	
--	---	--

MATERIAL IDENTIFICATION	●	VERIFY TYPE & GRADE OF MATERIAL.
-------------------------	---	----------------------------------

WELDER IDENTIFICATION	●	VERIFY THERE IS A SYSTEM IN PLACE TO IDENTIFY THE WELDER WHO HAS WELDED A JOINT ON MEMBER.
-----------------------	---	--

FIT-UP GROOVE WELDS	●	VERIFY JOINT PREPARATION, DIMENSIONS, CLEANLINESS, TACKING & BACKING.
---------------------	---	---

ACCESS HOLES	●	VERIFY CONFORMATION & FINISH.
--------------	---	-------------------------------

FIT-UP FILLET WELDS	●	VERIFY CONFORMATION & FINISH AT ROOT, CLEANNESS OF STEEL SURFACES, TACK WELD QUALITY & LOCATION.
---------------------	---	--

DURING WELDING (TABLE N5-4, AISC 360-10)		
--	--	--

USE OF QUALIFIED INSPECTORS	●	VERIFY THAT WELDERS ARE APPROPRIATELY QUALIFIED.
-----------------------------	---	--

COLD & HAND WELDING OF REINFORCING CONSUMABLES	●	VERIFY PACKAGING & EXPOSURE CONTROL.
--	---	--------------------------------------

CRACKED TACK WELDS	●	VERIFY WELDING IS NOT OVER A CRACKED TACK WELD.
--------------------	---	---

ENVIRONMENTAL CONDITIONS	●	VERIFY WIND SPEED IS WITHIN LIMITS AS WELL AS PRECIPITATION & TEMPERATURE.
--------------------------	---	--

WPS FOLLOWED	●	VERIFY WELDING PROCEDURES, WELDING POSITION, WELDING MATERIALS, SHIELDING GAS TYPE, FLOW RATE, PREHEAT APPLIED, INTERPASS TEMPERATURE MAINTAINED, & PROPER POSITION
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WELDING TECHNIQUES	●	VERIFY INTERPASS & FINAL CLEANING, EACH PASS IS WITHIN PROFILE LIMITATION, & QUALITY OF EACH PASS.
--------------------	---	--

AFTER WELDING (TABLE N5-3, AISC 360-10)	●	VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED.
---	---	---

WELD CLEANSE	●	
--------------	---	--

SIZE, LENGTH & LOCATION OF WELDS	●	VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED.
----------------------------------	---	---

WELDING VISUAL ACCEPTANCE CRITERIA	●	
------------------------------------	---	--

ARC STRIKES	●	
-------------	---	--

K-AREA	●	
--------	---	--

BARKING & WELDING TABS REMOVED	●	
--------------------------------	---	--

REINFORCING ACTIVITIES	●	
------------------------	---	--

DOCUMENT ACCEPTANCE/REJECTION OF WELD	●	
---------------------------------------	---	--

NONDESTRUCTIVE TESTING (TABLE N5-5, AISC 360-10)	●	
--	---	--

CJP WELDS (RISK CAT. II)	●	VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED.
--------------------------	---	---

ACCESS HOLES (FLANGE $> 2$ ')	●	
-------------------------------	---	--

WELDED JOINTS SUBJECT TO FATIGUE	●	
----------------------------------	---	--

OTHER STEEL INSPECTIONS (TABLE N5-7, AISC 360-10; TABLES 38-1 AND 38-1, AISC 341-10)		
--	--	--

STRUCTURAL STEEL DETAILS		
--------------------------	--	--

ANCHOR RODS/EMBEDS SUPPORTING STRUCTURAL STEEL		
--	--	--

REDUCED BEAM SECTIONS (RBS)		
-----------------------------	--	--

PROTECTED ZONES	●	VERIFY VERITY THAT NO HOLES OR UNAPPROVED ATTACHMENTS ARE MADE WITHIN THE PROTECTED ZONE (SEE TABLE 38-1 OF AISC 341).
-----------------	---	--

### GENERAL NOTES

- CONTRACTOR SHALL COORDINATE OPENINGS & IMBEDDED ITEMS NOTED ON CONSTRUCTION DOCUMENTS WITH APPROPRIATE TRADE.  
- ALL SHOP DRAWINGS OF ALL STRUCTURAL COMPONENTS SHALL BE REVIEWED BY ARCHITECT / ENGINEER PRIOR TO FABRICATION.  
- STRUCTURAL COMPONENTS SHALL BE TEMPORARILY BRACED IN A MANNER TO RESIST EARTHQUAKE, WIND, SNOW, & LATERAL EARTH LOADS OR COMBINATION THEREOF UNTIL PLYWOOD ROOF DIAPHRAGM, PLYWOOD SHEATHED SHEAR WALLS, OR FLOOR FRAMING ARE IN PLACE & SECURED PROPERLY.  
- ANY PROFESSIONAL THIRD PARTY REVIEW TO BE APPROVED BY "KRIVONEN STRUCTURAL ENGINEERS" PRIOR TO REVIEW.  
- THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH DRAWINGS AND SPECIFICATIONS FROM ALL OTHER DISCIPLINES. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SPACES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURE.

- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK & CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY, & INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES, AND SEQUENCE OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

- THE DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ENGINEER.

- LOADING APPLIED TO THE STRUCTURE DURING THE PROCESS CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL MEMBERS. THESE LOADINGS ARE SPECIFIED IN THE "DESIGN CRITERIA" PORTION OF THESE NOTES. DO NOT APPLY ANY CONSTRUCTION LOADS UNTIL STRUCTURAL FRAMING IS PROPERLY CONNECTED TOGETHER AND UNTIL ALL CONCRETE IS PLACED AND CURED.

- SHOP DRAWINGS AND OTHER ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL. THE ENGINEER'S REVIEW IS TO BE FOR CONFORMITY WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE RELEVANT CONTRACT DOCUMENTS. THE ENGINEER'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW, CHECK, AND COORDINATE THE SHOP DRAWINGS PRIOR TO SUBMISSION. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR THE ERRORS & OMISSIONS ASSOCIATED WITH THE PREPARATION OF THE SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, DIMENSIONS, ETC.

### CONCRETE

- ALL CONCRETE SHALL BE READY MIXED AND SUPPLIED IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. NO WATER SHALL BE ADDED TO MIX AT JOB SITE.

- MINIMUM COVER REQUIREMENTS:  
CAST AGAINST EARTH = 3"

FORMED WALLS = 1 1/2"

TOP OF SLAB = 1"

CHEFER A: EXPOSED CORNERS 3/4" UNLESS NOTED  
OPENING IN CONCRETE WALLS OF 2'-0" OR GREATER IN EITHER DIRECTION SHALL HAVE 2 - #4 BARS ALL SIDES & SHALL EXTEND 24" BEYOND OPENING.

- COLD WEATHER CONCRETING GUIDELINES TO BE FOLLOWED IN COLD TEMPERATURES.

- FLYASH TYPE "F" OR TYPE "C" MAY BE USED TO REPLACE NO MORE THAN 10% OF THE CEMENT CONTENT.

- 4" SLUMP MAX. 5-7% AIR ENTRAINED FOR ALL FOUNDATIONS & EXTERIOR SLABS.

- MAX AGGREGATE SIZE OF 1/2" UNLESS NOTED OTHERWISE.

MATERIALS:  
ANCHOR BOLTS: ASTM F1554 BOLTS  
CONCRETE SLABS (INTERIOR): 3500 PSI AT 28 DAYS  
CONCRETE SLABS (EXTERIOR): 4000 PSI AT 28 DAYS  
ELSEWHERE: 3000 PSI AT 28 DAYS

## STRUCTURAL NOTES (CONT.)

### STRUCTURAL STEEL (CONT.)

#### SCREW FASTENER SCHEDULE

CONNECTION	ATTACHMENT
JOIST TO SILL	(3)-#8 TEK
BEARING TRIMMER JOIST, EACH END.	(2)-#8 TEK
SOLE TRACK TO JOIST, TOP OR BLOCKING	#10 TEK @ 16" O.C.
TOP TRACK TO STUD	(2)-#10 TEK
STUD TO BOTTOM TRACK	(3)-#10 TEK
DOUBLE STUDS, FACE SCREW	#10 TEK @ 24" O.C.
TOP TRACK, LAPS AND INTERSECTIONS	(2)-#10 TEK
ROOF JOISTS TO TRACK	(3)-#10 TEK
ROOF JOISTS, LAPS OVER PARTITIONS	(3)-#10 TEK
ROOF JOISTS TO PARALLEL RAFTERS	(3)-#10 TEK
BUILT-UP CORNER STUDS	#10 TEK @ 24" O.C.
BUILT-UP CORNER BEAMS	#10 TEK @ 32" O.C.
5/8" (40/20) CDX PLYWOOD ROOF SHEATHING	#8 TEK @ 6" O.C. @ PANEL EDGES
(LAY PLYWOOD IN STAGGERED CONFIGURATIONS AT PANEL EDGE WITH 1 - PLYCLIP BETWEEN EACH SUPPORT)	#8 TEK @ 12" O.C. @ INTERMEDIATE FRAMING
7/16" GRADE 2-M-W OSB	#8 TEK @ 6" O.C. @ PANEL EDGES
(BLOCK ALL OSB PANEL JOINTS W/2x4 BLOCKING)	#8 TEK @ 12" O.C. @ INTERMEDIATE FRAMING
29ga. PREPAINTED METAL SKIN AS REQUIRED	#10 CADMIUM PLATED SCREWS W/ NEOPRENE WASHERS - 2 PER FLAT, AT BOUNDARIES & 1 PER FLUTE AT INTERMEDIATE SUPPORTS WITH 1/2" MIN. PENETRATION INTO WOOD FRAMING 12" O.C. MAX. SPACING REQUIREMENT @ UNSUPPORTED EDGES

### MASONRY

- MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENT OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530).
- HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM C-90, GRADE N-1 AND BE MADE WITH LIGHTWEIGHT AGGREGATE. THE MINIMUM PRISM COMPRESSIVE STRENGTH (F/M) SHALL BE 1550 PSF AT 28 DAYS. AS DETERMINED BY THE UNIT STRENGTH METHOD OF ACI 530.
- FILL ALL BOND BEAMS AND REINFORCED CELLS SOLID WITH GROUT. GROUT SHALL CONFORM TO ASTM C-476 AND SHALL OBTAIN A MIN. 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A-615, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE HOOKED OR BENT. PROVIDE A MINIMUM LAP OF 48 BAR DIAMETERS AT ALL SPLICES, UNLESS INDICATED OTHERWISE.
- UNLESS OTHERWISE INDICATED, ALL WALLS SHALL BE LAID IN RUNNING BOND. BOND CORNERS AND INTERSECTIONS OF LOAD BEARING WALLS.
- PROVIDE BOND DOWELS FROM FOUNDATIONS TO MATCH VERTICAL REINFORCING SIZE AND SPACING.
- PROVIDE HORIZONTAL BOND BEAMS WITH CONTINUOUS REINFORCING AS INDICATED. DISCONTINUE ALL HORIZONTAL REINFORCING AT CONTROL JOINTS EXCEPT FOR THE BOND BEAMS AT BEARING ELEVATIONS.
- PROVIDE STANDARD 9 GAUGE HORIZONTAL JOINT REINFORCING AT 16" O.C. IN ALL WALLS. PROVIDE TRUSS TYPE JOINT REINFORCING FOR ALL CONCRETE MASONRY. UNLESS NOTED OTHERWISE, STOP ALL HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.
- PROVIDE CMU JOINTS AS INDICATED SUCH THAT THE MAXIMUM SPACING BETWEEN CONTROL JOINTS DOES NOT EXCEED 3x THE WALL HEIGHT, OR 40'-0"
- THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY WALL BRACING DURING CONSTRUCTION.

#### MATERIALS:

CMU - GRADE "N-1" (special inspection required): Fm = 1500 PSI  
GROUT: 8000 PSI  
MORTAR - TYPE "S": 1800 PSI

### PEMB (PREFABRICATED METAL BUILDINGS)

#### DESIGN CRITERIA:

- DESIGN LOADING - FOUNDATION DESIGN IS BASED ON REACTIONS PROVIDED BY THE METAL BUILDING MANUFACTURER. THESE REACTIONS ARE ASSUMED TO HAVE BEEN DERIVED USING IBC 2018 LOADING REQUIREMENTS. (CONTRACTOR VERIFY)
- SOILS - ASSUMED 1500 PSF ON NATIVE SOILS (CONTRACTOR VERIFY)
- CONTRACTOR SHALL COORDINATE OPENINGS & IMBEDDED ITEMS NOTED ON CONSTRUCTION DOCUMENTS WITH APPROPRIATE TRADE.
- ALL SHOP DRAWINGS OF ALL STRUCTURAL COMPONENTS SHALL BE REVIEWED BY ARCHITECT PRIOR TO FABRICATION.
- STRUCTURAL COMPONENTS SHALL BE TEMPORARILY BRACED IN A MANNER TO RESIST EARTHQUAKE, WIND, SNOW, & LATERAL EARTH LOADS OR COMBINATION THEREOF UNTIL ROOF DIAPHRAGM, WALL DIAPHRAGM, OR FLOOR FRAMING ARE IN PLACE & SECURED PROPERLY.
- SPECIAL INSPECTION OF CONCRETE FOUNDATION WILL BE REQUIRED PER IBC REQUIREMENTS AND/OR LOCAL CODE REQUIREMENTS.
- ANCHOR BOLT SIZING AND PLACEMENT SHALL BE PER METAL BUILDING FABRICATORS SPECIFICATIONS. CONTRACTOR TO VERIFY & COORDINATE ALL DIMENSIONS WITH THOSE INDICATED ON DRAWINGS PROVIDED WITH METAL BUILDING.

#### MATERIALS:

ANCHOR BOLTS - GRADE & SIZE PER METAL BUILDING MANUFACTURER (SEE DRAWINGS FOR EMBEDMENT)

#### PREFABRICATED METAL BUILDING:

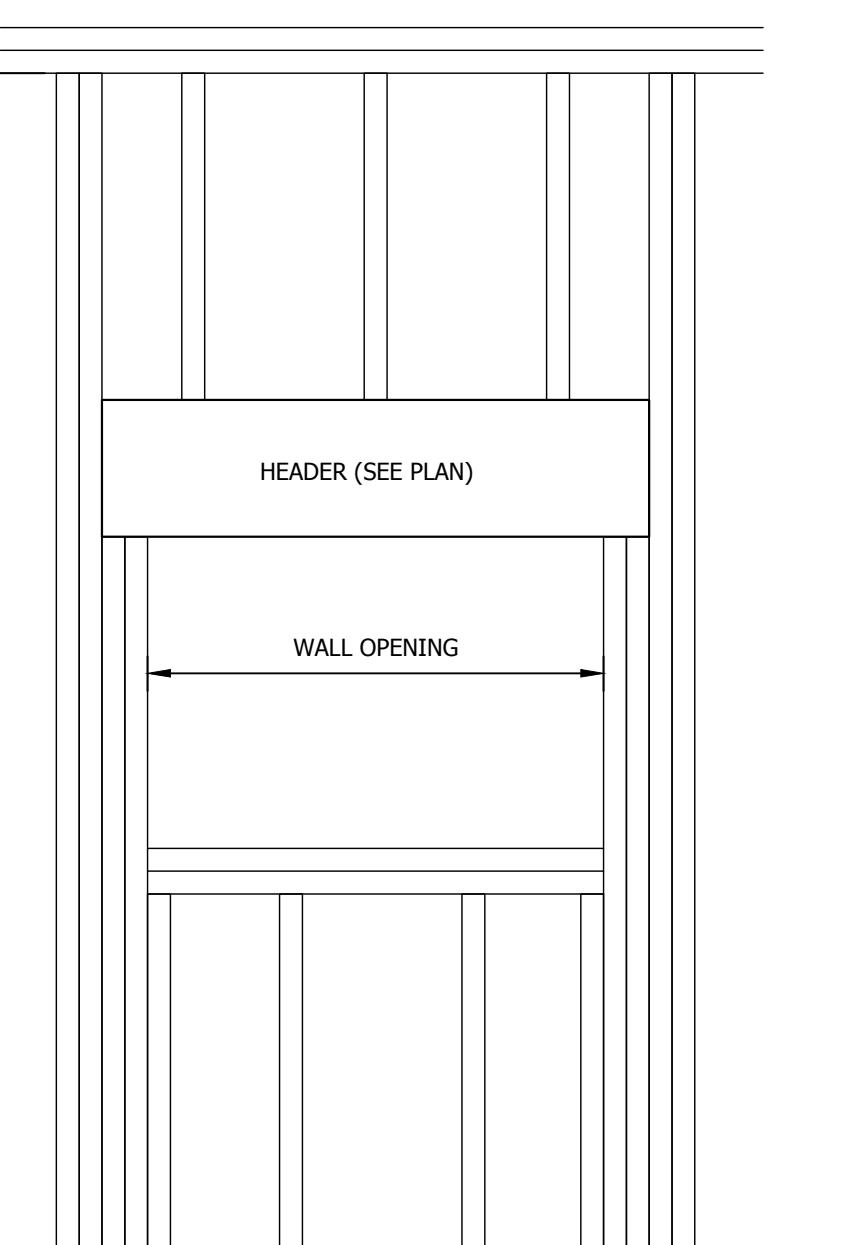
THE DRAWINGS & DESIGN CONTAINED HEREIN PERTAIN TO FOUNDATIONS ONLY. THE SERVICES PROVIDED TO THE CLIENT BY KRIVONEN STRUCTURAL ENGINEERS APPLY ONLY TO FOUNDATION DESIGN & ANALYSIS. KRIVONEN STRUCTURAL ENGINEERS IS NOT ACTING NOR HAS BEEN CONTRACTED AS THE "ENGINEER OF RECORD" FOR THE OVERALL PROJECT OR THE PRE-ENGINEERED METAL BUILDING DESIGN.

### BEARING STUD SCHEDULE

EXTERIOR WALL OPENING JAMB FRAMING						
VALUE = # BEARING TRIMMER STUDS / # OF FULL HEIGHT KING STUDS						
WALL HEIGHT	9'-0"	10'-0"	11'-0"	12'-0"		
3'-0"	1	1	1	1	1	2
4'-0"	1	1	1	1	2	1
5'-0"	1	1	1	2	1	2
6'-0"	2	2	2	2	2	2
7'-0"	2	2	2	2	2	2
8'-0"	2	2	2	2	2	3
9'-0"	2	2	2	2	3	2
10'-0"	3	2	3	2	3	3
11'-0"	3	2	3	3	3	4
12'-0"	3	2	3	3	3	4

TABLE VALUES ASSUME:

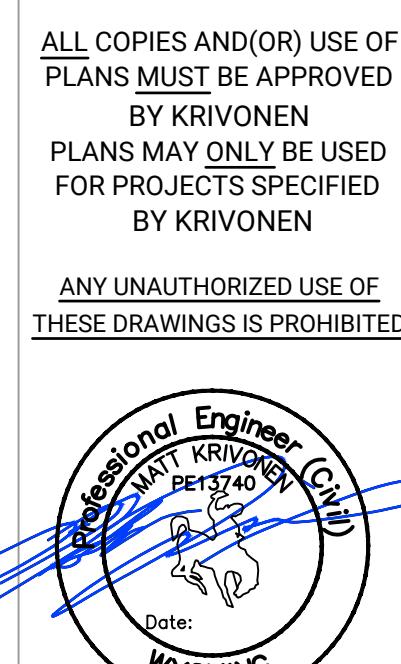
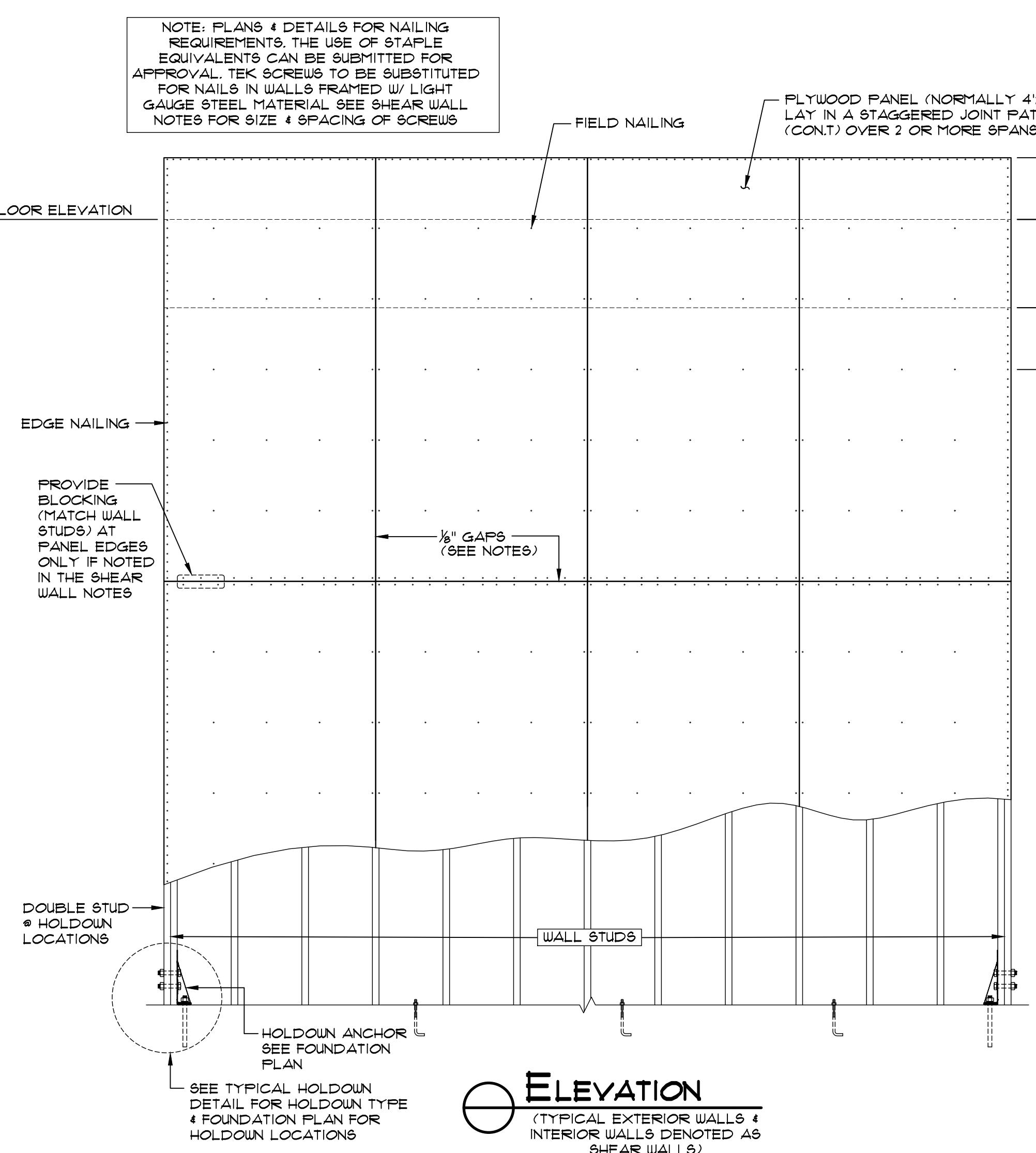
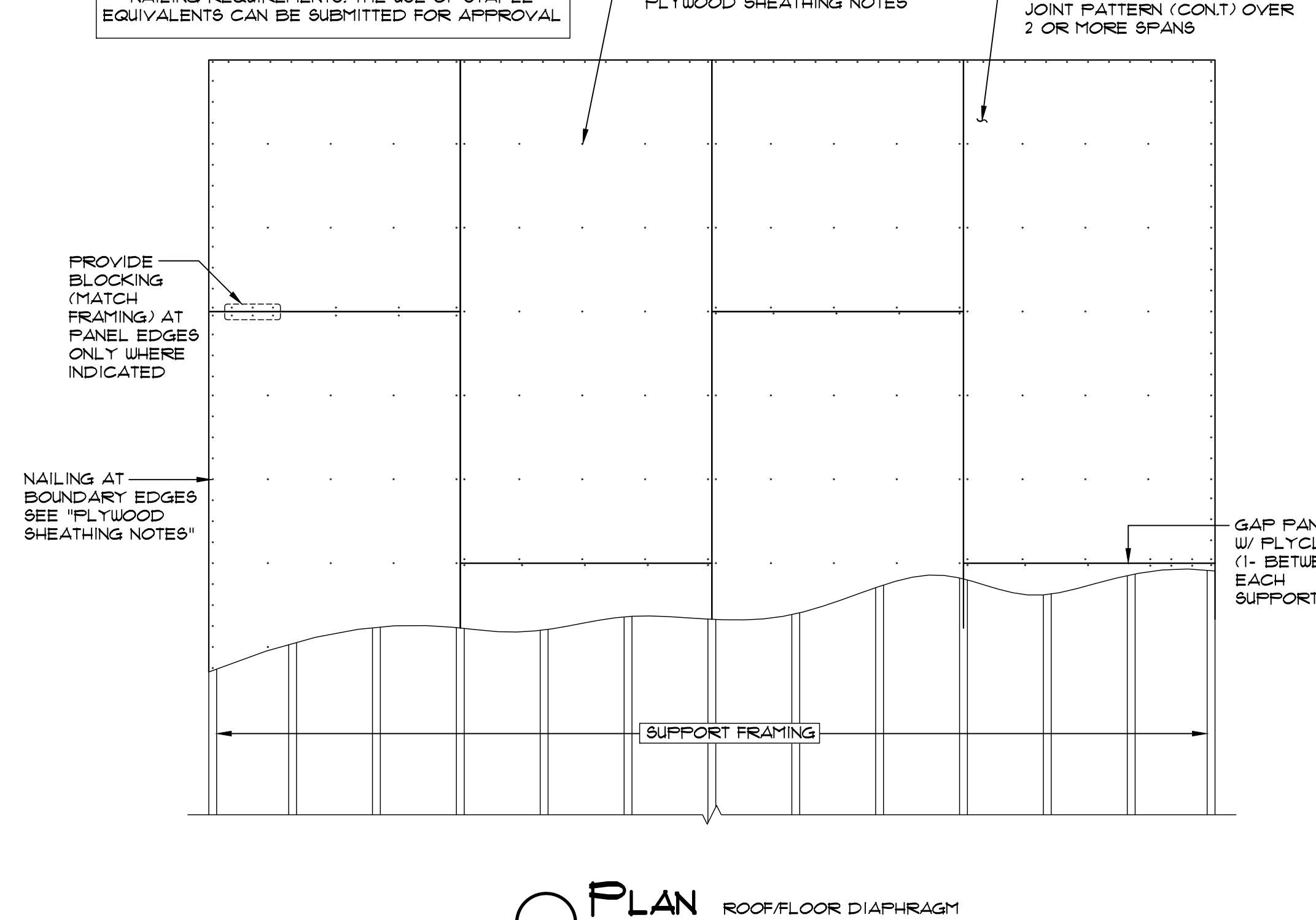
- TABLE VALUES ASSUME 30 PSF SNOW LOAD AND 115 MPH EXP. "C" ULT. WIND PRESSURE.
- FRAMING #2 H.F. OR BETTER
- WALL BEARING ROOF TRUSSES (ONLY) SPANNING 50'-0" OR LESS WITH 2'-0" EAVES.
- FRAMING SPECIFIED IN TABLE ONLY TO BE USED IF INFORMATION IS NOT SHOWN ON PLANS.
- JAMB FRAMING STUDS TO BE STITCHED TOGETHER W/ SIMPSON SDWS SCREWS @ 12" O.C. WITH LENGTH NECESSARY TO ENGAGE ALL MEMBERS.



NOTE: SEE "PLYWOOD SHEATHING NOTES" FOR NAILING REQUIREMENTS. THE USE OF STAPLE EQUIVALENTS CAN BE SUBMITTED FOR APPROVAL.

NAILING AT INTERMEDIATE SUPPORTS (FIELD NAILING) - SEE PLYWOOD SHEATHING NOTES

PLYWOOD PANEL (NORMALLY 4'x8') LAY IN A STAGGERED JOINT PATTERN (CONT) OVER 2 OR MORE SPANS



SHEET DESCRIPTION:  
Structural Notes

CADD DRAFTER: KZ  
ENGINEER: MK  
SCALE: 1/4" = 1'-0"  
DATE: 8.1.2022  
JOB NUMBER: 22161

Sheet:

S3.1

MECHANICAL ABBREVIATIONS	
A/C or AC	AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS
BTU	BRITISH THERMAL UNITS
BTUH	BTUS PER HOUR
CA	COMBUSTION AIR
CC	COOLING COIL
CFM	AIR FLOW RATE (CUBIC FEET PER MINUTE)
CHWR	CHILLED WATER RETURN
CHWS	CHILLED WATER SUPPLY
CLG	CEILING
CW	COLD WATER
DEG or °	DEGREE
DIAM or Ø	DIAMETER
DB	DRY BULB
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EER	ENERGY EFFICIENCY RATIO
ESP	EXTERNAL STATIC PRESSURE
EWT	ENTERING WATER TEMPERATURE
FCO	FLOOR CLEANOUT
FD	FIRE DAMPER
FIA	FULL LOAD AMPS
FIR	FLOOR
FPM	FEET PER MINUTE
FT	FEET
GA	GAUGE
GCO	GRADE CLEANOUT
GPM	WATER FLOW RATE (GALLONS PER MINUTE)
HC	HEATING COIL
HP	HORSE POWER
HVAC	HEATING, VENTILATING, AIR CONDITIONING
HW	HOT WATER
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
IBC	INTERNATIONAL BUILDING CODE
IEEC	INTERNATIONAL ENERGY CONSERVATION CODE
IFC	INTERNATIONAL FIRE CODE
IFGC	INTERNATIONAL FUEL GAS CODE
IMC	INTERNATIONAL MECHANICAL CODE
IPC	INTERNATIONAL PLUMBING CODE
SA	SUPPLY AIR
SEER	SEASONAL ENERGY EFFICIENCY RATIO
SFD	COMBINATION SMOKE/FIRE DAMPER
SP	STATIC PRESSURE
SYM	SYMBOL
T & P	TEMPERATURE AND PRESSURE
TEMP	TEMPERATURE
TYP	Typical
UMC	UNIFORM MECHANICAL CODE
UPC	UNIFORM PLUMBING CODE
URL	URINAL
W/	WITH
WB	WET-BULB
WC	WATER CLOSET
WCO	WALL CLEANOUT
WH	WATER HEATER

NOTE: THIS IS A STANDARD LIST OF COMMONLY USED MECHANICAL ABBREVIATIONS. SOME OF THE ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.

MECHANICAL GENERAL NOTES	
1.	ALL MECHANICAL EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC) LATEST EDITION, AND ALL LOCAL & STATE CODES.
2.	ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST ADOPTED PLUMBING CODE, AND ALL LOCAL & STATE CODES.
3.	ALL MECHANICAL AND PLUMBING EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
4.	MECHANICAL CONTRACTORS SHALL RECEIVE PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER BEFORE MAKING CUTS THROUGH ANY STRUCTURAL MEMBER.
5.	MECHANICAL CONTRACTORS SHALL COORDINATE INSTALLATION WITH CONSTRUCTION SUPERVISOR AND WITH ALL OTHER TRADES TO AVOID CONFLICTS.
6.	THE MECHANICAL CONTRACTORS SHALL VERIFY MOTOR VOLTAGES WITH THE ELECTRICAL DRAWINGS BEFORE ORDERING MOTORIZED EQUIPMENT AND CONTROLS.
7.	SEE MECHANICAL SCHEDULE SHEET FOR SCHEDULED CAPACITIES OF ALL MECHANICAL EQUIPMENT AND MATERIALS SPECIFIED.
8.	DOMESTIC WATER SERVICE IS PROVIDED WITH A DOUBLE CHECK BACKFLOW PREVENTER.
9.	ALL MECHANICAL EQUIPMENT TO BE PROPOSED MUST BE ON THE APPROVED LIST PRIOR TO SUBMITTALS. ALL APPROVED MANUFACTURERS MUST BE CAPABLE OF MEETING THE REQUIREMENTS OF THE SPECIFIED EQUIPMENT.
10.	RUNOUT AND HOOKUP SIZES TO INDIVIDUAL PLUMBING FIXTURE CAN BE FOUND ON THE PLUMBING FIXTURE SCHEDULE.
11.	PROVIDE REMOTE CEILING ACCESS BALANCE DAMPERS WITH CONCEALED CHROME PLATE COVERS FOR BALANCE DAMPERS LOCATED ABOVE HARD CEILINGS.
12.	PAINT ALL VTR'S, FLUES, EXHAUST CAPS, AND OTHER MECHANICAL ITEMS ON THE ROOF TO MATCH THE ROOF COLOR.
13.	INSULATED FLEXIBLE DUCTWORK MAY BE USED FOR RUNOUTS TO GRILLES AND DIFFUSERS, IN LENGTHS OF 6'0" OR LESS.
14.	Maintain minimum of 10'-0" distance between all fresh air intakes and exhaust or gas flue discharges.
15.	THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL BACKFLOW DEVICES TO BE INSPECTED BY A CERTIFIED BACKFLOW TECHNICIAN BEFORE THE USE OF THE BUILDING POTABLE WATER SYSTEM.
16.	LOCATE ACCESS HATCHES SO AS TO PROVIDE OPTIMUM SERVICEABILITY TO EQUIPMENT AND/OR VALVING. SEE ARCHITECTURAL SPECIFICATION FOR TYPE AND COLOR. COORDINATE LOCATION WITH STRUCTURAL & LIGHTING.
17.	WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.
18.	THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VERIFICATION OF EXISTING JOB CONDITIONS PRIOR TO BID. NO ADDITIONAL COST SHALL BE AWARDED TO THE SUCCESSFUL CONTRACTOR (OR THEIR SUBCONTRACTORS) AFTER BIDS HAVE BEEN SUBMITTED AND CONTRACTS AWARDED FOR FAILURE TO VERIFY EXISTING FIELD CONDITIONS. DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR ALTERNATIVE METHODS OF INSTALLATION PRIOR TO THE BIDDING OF THIS PROJECT.
19.	UNLESS OTHERWISE NOTED ALL EXISTING MECHANICAL EQUIPMENT, PIPING, ETC. TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR UNDER THIS CONTRACT. THE OWNER SHALL RETAIN THE RIGHT TO KEEP ANY REMOVED ITEMS.
20.	ALL DOMESTIC COLD AND HOT WATER LINES IN THE AREA OF WORK WHICH ARE NO LONGER IN USE DUE TO THIS PROJECT SHALL BE REMOVED BACK TO THE MAINS AND CAPPED.
21.	HOLDS IN EXISTING WALL OR FLOORS SHALL BE PATCHED TO MATCH EXISTING WHERE PIPING, DUCTWORK, ETC. WERE REMOVED OR ADDED DURING THIS PROJECT.
22.	DAMAGE TO THE EXISTING FACILITY DURING THE CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

MECHANICAL AND PLUMBING DRAWINGS LEGEND	
	FLEXIBLE DUCTWORK
	DUCTWORK
	DUCTWORK BREAK
	DUCTWORK OR PIPING RISE
	CONCENTRIC SQUARE TO ROUND TRANSITION
	MOTORIZED DAMPER
	MANUAL VOLUME DAMPER
	SPIN-IN FITTING W/ AIR EXTRACTOR AND HAND DAMPER
	HIGH EFFICIENCY FITTING W/ HAND DAMPER
	AIRFLOW
	SWITCH
	THERMOSTAT
	HUMIDISTAT
	TEMPERATURE SENSOR
	CARBON DIOXIDE SENSOR
	CARBON MONOXIDE SENSOR
	NITROUS OXIDE SENSOR
	DUCT SMOKE DETECTOR
	COMBINATION SMOKE/FIRE DAMPER
	FIRE DAMPER
	SMOKE DAMPER
	EQUIPMENT CALLOUT
	TURNING VAVES
	INTAKE OR EXHAUST
	DIRECTION OF AIRFLOW
	SUPPLY DIFFUSER
	RETURN GRILLE
	EXHAUST GRILLE
	FLOOR GRILLE
	CEILING EXHAUST FAN
	TEMPERATURE GAUGE
	PRESSURE GAUGE (LIQUID FILLED W/ ISOLATION VALVE)
	TEMPERATURE SENSOR (DUCT OR PIPING)
	FLOW SWITCH
	STAINLESS STEEL BRAIDED FLEX CONNECTION
	ELASTOMETRIC FLEX CONNECTOR
	SUCTION DIFFUSER
	Y TYPE STRAINER (1/2" OR LARGER PROVIDED W/ BLOW DOWN VALVE)
	FLOW DIRECTION
	DEMOLITION / EQUIPMENT TO BE REMOVED
	NEW TO EXISTING CONNECTION POINT
	EXISTING
	FUTURE
	NEW
	REDUCED PRESSURE BACKFLOW PREVENTER
	DOUBLE CHECK BACKFLOW PREVENTER
	UNION
	AIR VENT
	TRIPLE DUTY VALVE
	FLEXIBLE DUCTWORK
	DUCTWORK
	DUCTWORK BREAK
	DUCTWORK OR PIPING RISE
	CONCENTRIC SQUARE TO ROUND TRANSITION
	MOTORIZED DAMPER
	MANUAL VOLUME DAMPER
	SPIN-IN FITTING W/ AIR EXTRACTOR AND HAND DAMPER
	HIGH EFFICIENCY FITTING W/ HAND DAMPER
	AIRFLOW
	THREE WAY CONTROL VALVE
	TWO WAY CONTROL VALVE
	PRESSURE REDUCING VALVE
	GATE VALVE
	REDUCER
	GLOBE VALVE
	BALL VALVE
	BUTTERFLY VALVE
	BALANCE VALVE
	CHECK VALVE
	FLOOR CLEANOUT
	WALL CLEANOUT
	GRADE CLEANOUT
	WATER HAMMER ARRESTOR
	FLOOR DRAIN
	FLOOR SINK
	GAS PRESSURE REGULATOR W/ GAS COCK
	PRESSURE RELIEF VALVE
	VENT-THROUGH-ROOF
	VENT
	SOIL, WASTE, OR SANITARY SEWER
	ACID WASTE LINE
	ACID VENT LINE
	STORM DRAIN
	ROOF DRAIN LINE
	OVERFLOW DRAIN LINE
	CONDENSATE DRAIN LINE
	DOMESTIC COLD WATER (CW)
	DOMESTIC HOT WATER (HW)
	DOMESTIC HOT WATER RETURN (HWR)
	TEMPERED WATER (TW)
	MPG MEDIUM PRESSURE NATURAL GAS
	LPG LOW PRESSURE NATURAL GAS
	FIRE SPRINKLER LINE
	GEOTHERMAL WATER SUPPLY
	GEOTHERMAL WATER RETURN
	CHILLED WATER SUPPLY
	CHILLED WATER RETURN
	CONDENSER WATER SUPPLY
	CONDENSER WATER RETURN
	HEATING WATER SUPPLY
	HEATING WATER RETURN
	LIQUID REFRIGERANT LINE
	SUCTION REFRIGERANT LINE
	SLOPE PIPE IN DIRECTION OF ARROW
	PIPE ANCHOR
	PIPE GUIDE
	CAP

NOTE: THIS IS A LIST OF COMMONLY USED MECHANICAL AND PLUMBING SYMBOLS. SOME OF THE SYMBOLS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.

ENERGY CODE COMPLIANCE	
A.	COMPLIANCE WITH THE LATEST ADOPTED EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE IS REQUIRED FOR THIS PROJECT. THESE NOTES COVER MANDATORY REQUIREMENTS OF THE CODE. ADDITIONAL REQUIREMENTS ARE NOTED ON THE DRAWINGS AND IN THE SPECIFICATIONS.
B.	MINIMUM REQUIREMENTS FOR SUPPLY AND RETURN DUCTWORK INSULATION:
1.	R-6: DUCTS LOCATED IN UNCONDITIONED SPACES (SPACE NEITHER HEATED NOR COOLED SUCH AS ABOVE CEILING SPACES, WALL SPACES, DUCT CHASES, SOFFITS, ATTICS, CRAWL SPACES, UNHEATED BASEMENTS, AND UNHEATED GARAGES).
2.	R-12: DUCTS LOCATED OUTSIDE OF THE BUILDING'S INSULATION ENVELOPE (SUCH AS ABOVE THE ATTIC INSULATION).
TYPICAL INSULATION THICKNESS REQUIRED TO MEET THESE REQUIREMENTS:	
1.	DUCT WRAP: R-6 = 1-1/2" R-12 = 4"
2.	DUCT LINER: R-6 = 1-1/2" R-12 = 3"
C.	CONTRACTOR SHALL VERIFY WITH THE MANUFACTURER, THE R-VALUES OF THE ACTUAL INSULATION USED. R-VALUES SHALL BE INSTALLED VALUES.
D.	WHERE DUCTS USED FOR COOLING ARE EXTERNALLY INSULATED, THE INSULATION SHALL BE COVERED WITH A VAPOR RETARDER HAVING A MAXIMUM PERMEANCE OF 0.05 PERM OR ALUMINUM FOIL HAVING A MINIMUM THICKNESS OF 2 MILS. INSULATION HAVING A PERMEANCE OF 0.05 PERM OR LESS SHALL NOT BE REQUIRED TO BE COVERED. ALL JOINTS AND SEAMS SHALL BE SEALED TO MAINTAIN THE CONTINUITY OF THE VAPOR RETARDER.
E.	ALL DUCT JOINTS, SEAMS, AND CONNECTIONS SHALL BE FASTENED AND SEALED WITH WELDS, GASKETS, ADHESIVES, MASTIC-PLUS-EMBEDDED-FABRIC SYSTEMS, OR TAPE. TAPE AND MASTICS SHALL BE LISTED AND LABELED PER UL181A OR UL181B. DUCT TAPE IS NOT PERMITTED AS A SEALANT ON ANY METAL DUCTS. DUCT CONNECTIONS TO FLANGES OR EQUIPMENT SHALL BE SEALED AND MECHANICALLY FASTENED.
F.	MINIMUM REQUIREMENTS (THICKNESS) FOR PIPING INSULATION SHALL BE AS FOLLOWS:
FLUID	NOMINAL PIPE DIAMETER 1/2" TO < 1 1/2" 1 1/2" TO < 4" 4" AND ABOVE
1.	REFRIGERANT SEE SPECIFICATIONS
THE ABOVE INSULATION IS BASED ON HAVING A CONDUCTIVITY NOT EXCEDING 0.27 BTU-INCH/HOUR-FT <sup>2</sup> F.	
G.	DOMESTIC HOT WATER PIPING SYSTEMS SHALL BE INSULATED WITH 1" INSULATION HAVING A CONDUCTIVITY NOT EXCEDING 0.27 BTU-INCH/HOUR-FT <sup>2</sup> F.
H.	DOMESTIC WATER HEATERS WHICH ARE NOT PROVIDED WITH INTEGRAL HEAT TRAPS AND SERVE NONCIRCULATING SYSTEMS SHALL BE PROVIDED WITH HEAT TRAPS ON THE SUPPLY AND DISCHARGE PIPING AT THE WATER HEATER.
I.	DOMESTIC HOT WATER SYSTEMS WITH RECIRCULATION PUMPS OR ELECTRIC HEAT TRACE SHALL BE CONTROLLED WITH 7-DAY TIME CLOCKS.
J.	AN OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE O&M MANUAL SHALL CONTAIN THE FOLLOWING INFORMATION AS A MINIMUM:
1.	EQUIPMENT CAPACITY (INPUT & OUTPUT).
2.	EQUIPMENT OPERATING AND MAINTENANCE INSTRUCTIONS.
3.</td	







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ENGINEERING, P.A.  
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208.384.0585  
645 West 25th Street  
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208.523.2862  
Project No. 22-250

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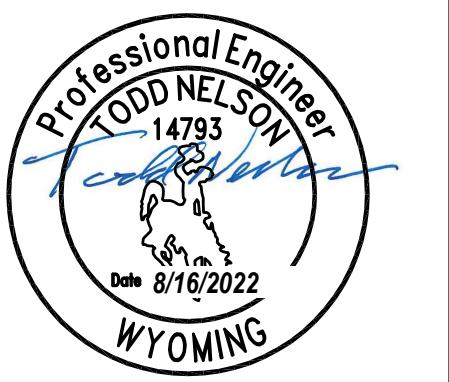
Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

Sun Valley  
351 N Leadville Ave, Suite 204  
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T.208.214.5155

Louisiana  
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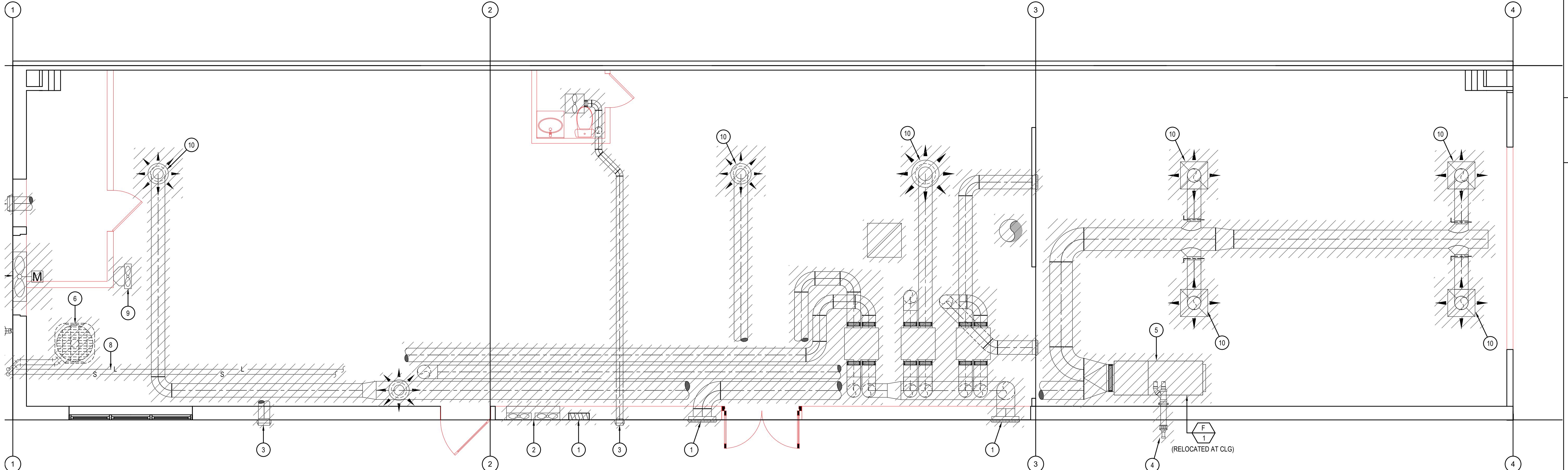
DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: MQ/TDN  
ISSUE:

**M100**  
MAIN LEVEL  
HVAC DEMO PLAN

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. REMOVE EXISTING WALL LOUVER ON EXTERIOR WALL AND CONNECTED DUCTWORK. PATCH EXTERIOR WALL TO MATCH SURROUNDING WALL SURFACE.
2. REMOVE EXISTING WALL FAN. PATCH EXTERIOR WALL TO MATCH SURROUNDING WALL SURFACE.
3. REMOVE EXTERIOR WALL CAP AND CONNECTED DUCTWORK. PATCH EXTERIOR WALL TO MATCH SURROUNDING WALL SURFACE.
4. REMOVE CONCENTRIC WALL VENT FOR EXISTING GAS FURNACE THAT IS TO BE RELOCATED.
5. EXISTING GAS-FIRED FURNACE IS TO BE RELOCATED. SEE SHEET M200 FOR NEW LOCATION.
6. EXISTING CONDENSING UNIT ON ROOF IS TO BE RELOCATED TO GET A MINIMUM 10-FEET WORKING SPACE AROUND EQUIPMENT TO EDGE OF ROOF. SEE SHEET M200 FOR NEW LOCATION. SEE ARCH FOR REPAIR.
7. REMOVE (2) AND RELOCATE (1) ENERGY RECOVERY UNIT. REMOVE ALL CONNECTED DUCTWORK AND DIFFUSERS SERVING THESE UNITS.
8. REMOVE EXISTING REFRIGERANT LINES BETWEEN CONDENSING UNIT ON ROOF AND FURNACE IN THE CEILING SPACE.
9. EXISTING WALL MOUNTED FAN IS TO BE REMOVED.
10. EXISTING DIFFUSER AND CONNECTED DUCTWORK IS TO BE REMOVED.
11. EXISTING RADON EXHAUST FAN LOCATED OUTSIDE THE BUILDING IS TO REMAIN AND MADE OPERATIONAL.



1 Main Level HVAC Demo Plan

SCALE: 1/4" = 1'-0"

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. SUPPLY DUCT ROUTED IN LOFT FLOOR JOIST SPACE.
2. RISE 3.5X10 EXHAUST DUCT UP TO THE ROOF STRUCTURE. SEE SHEET M201 FOR CONTINUATION..
3. 6-INCH DIAMETER SUPPLY DUCT UP TO MAIN SUPPLY DUCT. SEE SHEET M201 FOR CONTINUATION.
4. 8-INCH SPIRAL SUPPLY DUCT UP TO MAIN SUPPLY DUCT. SEE SHEET M201 FOR CONTINUATION.
5. TRANSFER AIR DUCT ROUTED IN LOFT FLOOR JOIST SPACE.
6. CABINET FAN WITH FLEXIBLE CONNECTION AT OUTLET. ROUTE 6-INCH DIAMETER EXHAUST DUCT TO A 6-INCH SEIHO KX SERIES ALUMINUM GRILLE WITH INSECT SCREEN. CONFIRM EXACT LOCATION OF THIS EXHAUST GRILLE WITH THE ARCHITECT.



MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.384.0585  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2862  
www.musgrovepa.com  
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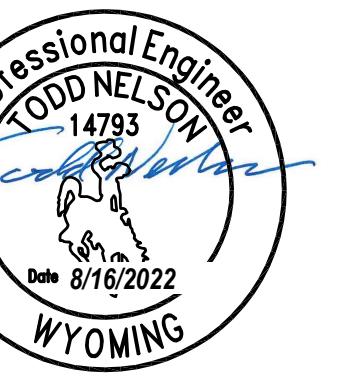
Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

Sun Valley  
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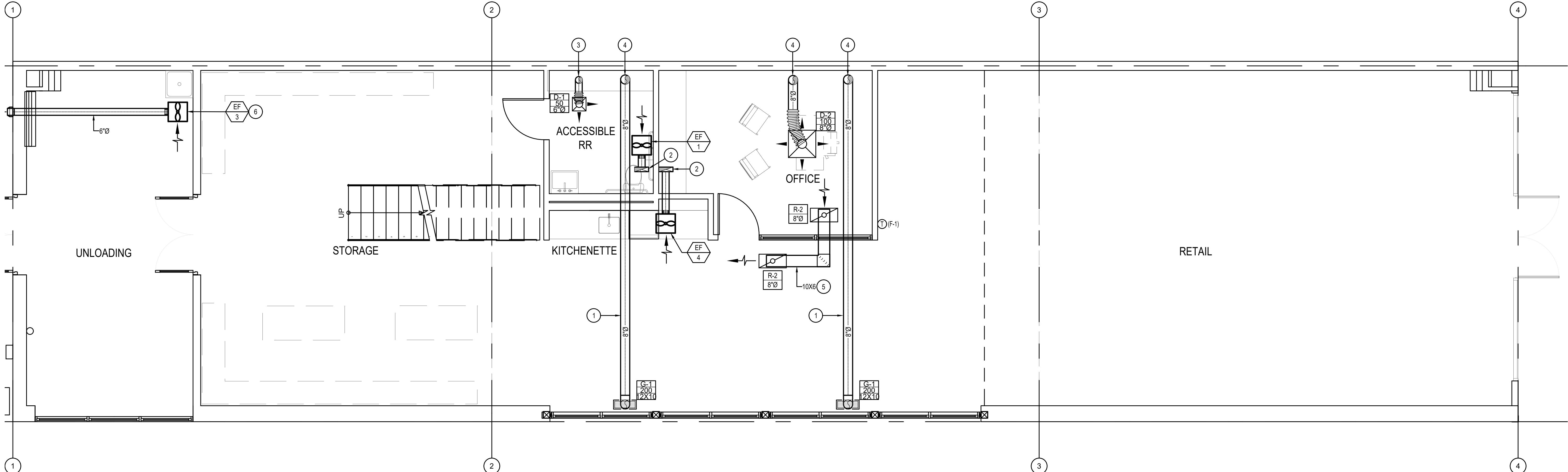


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800 W Broadway  
Jackson WY 83001

DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: MQ/TDN  
ISSUE:

**M200**  
Main Level HVAC PLAN



1 Main Level HVAC Plan  
SCALE: 1/4" = 1'-0"

## KEYED NOTES:



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GINEERING, P.A.**  
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Boise, ID 83709  
208.384.0585

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45 West 25th Street  
Idaho Falls, ID 83402  
208.523.2862

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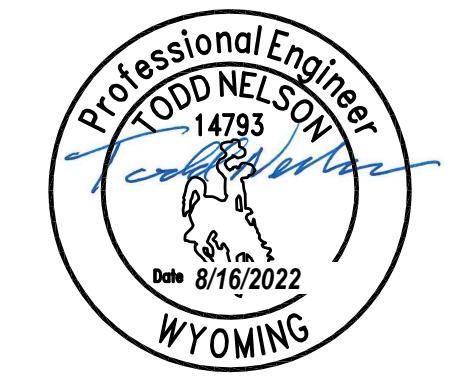
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Project No. 22-250

1. SUPPLY DUCT ROUTED BELOW EXISTING GIRDER BEAM. CONFIRM EXACT ROUTING WITH ARCHITECT AND TENANT.
2. SPIRAL SUPPLY DUCT ROUTED HIGH EXPOSED AT LOFT CEILING. CONFIRM EXACT ROUTING WITH ARCHITECT AND TENANT. DUCT SHALL BE PAINTED TO MATCH CEILING COLOR.
3. DROP 16-INCH DIAMETER SUPPLY DUCT DOWN BELOW THE GIRDER BEAM.
4. CONNECT 10-INCH DIAMETER TEMPERED OUTSIDE AIR DUCT WITH RETURN DUCT ON FURNACE (F-1). PROVIDE A MANUAL BALANCE DAMPER AND SET TO 270 CFM OUTSIDE AIR.
5. CONNECT 8-INCH DIAMETER TEMPERED OUTSIDE AIR DUCT WITH RETURN DUCT ON FURNACE (F-2). PROVIDE A MANUAL BALANCE DAMPER AND SET TO 150 CFM OUTSIDE AIR.
6. FURNACE SUSPENDED FROM THE ROOF STRUCTURE. PROVIDE REQUIRED ACCESS CLEARANCE TO FURNACE. SEE HORIZONTAL FURNACE DETAIL ON SHEET M400.
7. ROUTE 6-INCH DIAMETER EXHAUST DUCT UP THRU ROOF AND TERMINATE WITH ROOF VENT CAP. ROOF VENT SHALL EXTEND UP 6-INCHES HIGHER THAN THE ANTICIPATED SNOW ACCUMULATION LEVEL FOR JACKSON WYOMING.
8. COORDINATE DUCTWORK INSTALLATION AND REQUIRED CLEARANCES WITH DOOR AND WINDOW INSTALLATIONS.
9. PROVIDE DUCT HEATER MANUFACTURER'S RECOMMENDED CLEARANCES IN FRONT AND AFTER ELECTRIC HEATER.
10. CONCENTRIC VENTS FOR FURNACES OUT THE EXTERIOR WALL.

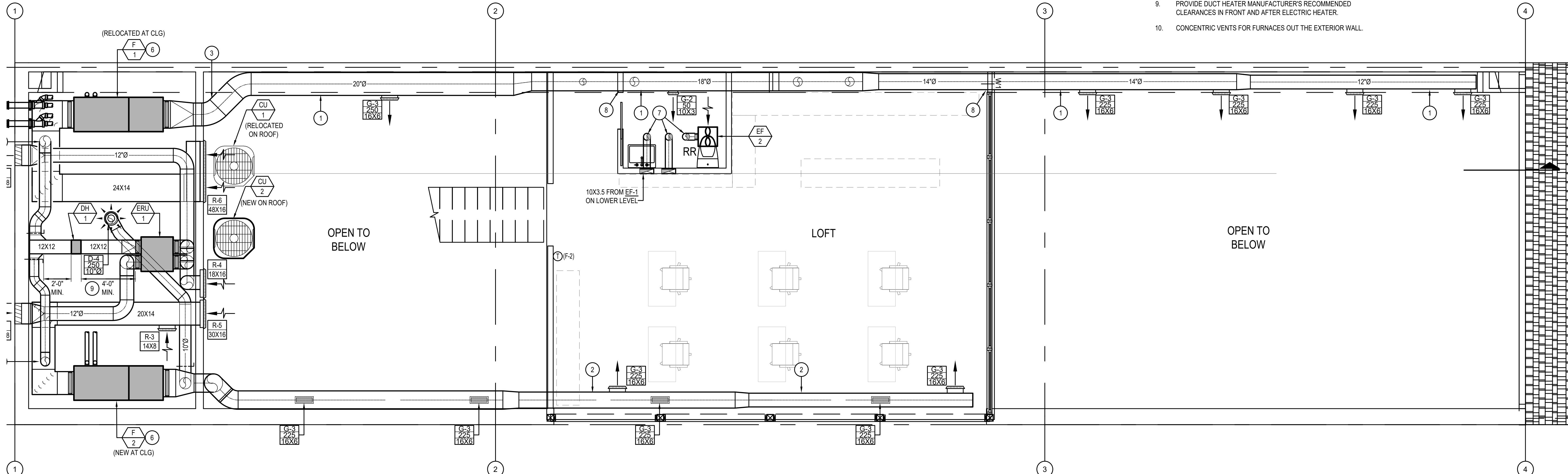
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1

# Upper Level HVAC Plan

SCALE: 1/4" = 1'-0"

TE:	8/15/22
JECT #:	JH2205
AWN:	MQ/TDN
IE:	

# M201

UPPER LEVEL  
HVAC PLAN



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3. Whisperwood Way  
Boise, ID 83709  
208.384.0585

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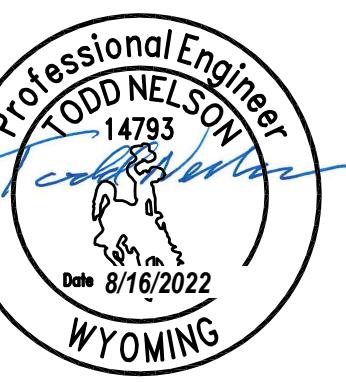
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ARCHITECTS

**Jackson Hole**  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

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351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

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## **PERMIT SET**

LLVAN LIDL VILLAGE  
800 W Broadway  
Jackson WY 83001

DATE:	8/15/22
OBJECT #:	JH2205
AWN:	MQ/TDN
IE:	

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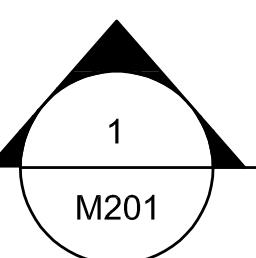
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# M300

## Mechanical Section

© FARMER RAYNE ARCHITECTS



## Mechanical Section

SCALE: 1/4" = 1'-0"

This architectural roof plan illustrates the layout of a building's roof, featuring various HVAC components, structural elements, and interior spaces. The roof has a slope of approximately 12°.

**Key Components and Labels:**

- 1 (Top Left):** A central unit is labeled with a hexagon containing "CU 1". A callout notes: "(RELOCATED AT ROOF) SITE BUILT CURB CONNECTED WITH THE ROOF STRUCTURE. ALL EXISTING ROOF WARRANTIES MUST BE MAINTAINED WITH THIS ROOF WORK. SEE ROOFTOP CONDENSING UNIT PLATFORM DETAIL, SHEET M400." A 10-inch diameter ECT duct is shown above the unit.
- 2 (Top Center):** A callout for a "NEW EXHAUST VENT TERMINAL (TYPICAL OF 3)" is shown, with a dimension of "6' MINIMUM ABV SNOW". A note states: "SEE VENT & FLUE SNOW PROTECTION SLEEVE DETAIL ON SHEET P300."
- 3 (Top Right):** A vertical callout on the right edge is labeled "UNUSABLE SPACE".
- 4 (Far Right):** A vertical callout on the far right edge is labeled "12'".
- Structural and HVAC Labels:**
  - Provide clearance for maintenance.
  - ECT 10-INCH DIAMETER TEMPERED DE AIR DUCT WITH RETURN DUCT RNACE (F-1). PROVIDE A MANUAL ICE DAMPER AND SET TO 270 CFM.
  - 12"Ø
  - 20"Ø
  - R-6 48X16
  - G-3 250 16X6
  - 6"Ø (RELOCATED AT CLG) UNLOADING
  - EF 3
  - 7'-6" MIN. CLEAR
  - STAGING
  - 18"Ø
  - G-2 50 10X3
  - LOFT
  - 8"Ø
  - 14'0"
  - 14'0"
  - G-3 225 16X6
  - G-3 225 16X6
  - G-3 225 16X6
  - G-3 225 16X6
  - KITCHENETTE
  - +/-. 14'-3"

# M300

## Mechanical Section



RETURN & EXHAUST GRILLE SCHEDULE				
SYMBOL	NOMINAL SIZE	NECK / RUNOUT SIZE	CFM RANGE	REMARKS
R-1 6"Ø	8X8	6"Ø	0-80	1, 2, 3, 4, 5, 6, 7
R-2 8"Ø	10X10	8"Ø	80-180	1, 2, 3, 4, 5, 6, 7
R-3 14X8	14X8	14X8	180-300	1, 2, 3, 4, 5, 6, 7
R-4 18X16	18X16	18X16	300-650	1, 2, 3, 4, 5, 6, 7
R-5 30X16	30X16	30X16	1000-1200	1, 2, 3, 4, 5, 6, 7
R-6 48X16	48X16	48X16	1800-2000	1, 2, 3, 4, 5, 6, 7

## REMARKS:

1. ALTERNATE MANUFACTURERS: ANEMOSTAT, CARNES, PRICE, NAILOR, METAL-AIRE, TUTTLE & BAILEY, KRUEGER, J&J REGISTER, AND UNITED ENERTECH.
2. HIGH WALL GRILLE SIZES BASED ON TITUS MODEL 355 RL, STEEL BAR GRILLE, FIXED BLADES, 1/2" SPACING, 35° DEFLECTION, ADJUSTABLE OPPOSED BLADE DAMPER.
3. SIZES BASED ON A MAXIMUM NC LEVEL OF 25.
4. ALL GRILLES LOCATED IN LAY-IN CEILING AREAS SHALL HAVE BORDER #3, UNLESS OTHERWISE INDICATED. ALL GRILLES LOCATED IN HARD CEILING AREAS SHALL HAVE BORDER #1, UNLESS OTHERWISE INDICATED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF VARIOUS CEILING TYPES. SHEET METAL DUCTWORK VISIBLE BEHIND GRILLE SHALL BE PAINTED FLAT BLACK.
5. ALL OF THE GRILLES SHOWN IN THIS SCHEDULE MAY NOT BE USED. REFERENCE THE HVAC PLAN FOR GRILLE CALL-OUTS AND THE QUANTITY OF EACH SIZE REQUIRED.
6. WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.
7. COLOR TO BE SELECTED BY ARCHITECT.

DIFFUSER SCHEDULE				
SYMBOL	NOMINAL SIZE	NECK / RUNOUT SIZE	CFM RANGE	REMARKS
D-1 6"Ø	6X6	6"Ø	0-90	1, 2, 3, 4, 5, 6, 7, 8
D-2 8"Ø	8X9	8"Ø	90-200	1, 2, 3, 4, 5, 6, 7, 8
D-3 10"Ø	12X12	10"Ø	200-350	1, 2, 3, 4, 5, 6, 7, 8
D-4 10"Ø	10"Ø	10"Ø	200-350	1, 3, 5, 6, 7, 8, 9

## REMARKS:

1. ALTERNATE MANUFACTURERS: ANEMOSTAT, J&J REGISTER, NAILOR, METAL-AIRE, TUTTLE & BAILEY, KRUEGER, PRICE, AND UNITED ENERTECH.
2. SIZES BASED ON TITUS MODEL TDC SERIES.
3. SIZES BASED ON A MAXIMUM NC LEVEL OF 25.
4. ALL DIFFUSERS LOCATED IN LAY-IN CEILING AREAS SHALL BE BORDER TYPE 3 AND BE MOUNTED IN MANUFACTURER PROVIDED 24"X24" PANELS. ALL DIFFUSERS LOCATED IN HARD CEILING AREAS SHALL BE BORDER TYPE 6 (BEVELED) SURFACE MOUNTED. SEE ARCHITECTURAL PLANS FOR LOCATIONS OF VARIOUS CEILING TYPES.
5. SEE HVAC FLOOR PLANS FOR DIRECTIONAL THROW REQUIREMENTS FOR EACH DIFFUSER.
6. ALL OF THE DIFFUSERS SHOWN IN THIS SCHEDULE MAY NOT BE USED. REFERENCE THE HVAC PLAN FOR DIFFUSER CALL-OUTS AND THE QUANTITY OF EACH SIZE REQUIRED.
7. WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.
8. COLOR TO BE SELECTED BY ARCHITECT.
9. SIZES BASED ON TITUS MODEL TMRA, TYPE 3, ROUND CEILING DIFFUSER, STEEL CONSTRUCTION.

SUPPLY GRILLE SCHEDULE				
SYMBOL	NOMINAL SIZE	NECK / RUNOUT SIZE	CFM RANGE	REMARKS
G-1 12X10	12X10	10"Ø	0-300	1, 2, 4, 5, 6
G-2 10X3	10X3	10X3	0-70	1, 3, 4, 5, 6
G-3 16X6	16X6	16X6	0-250	1, 3, 4, 5, 6

## REMARKS:

1. APPROVED MANUFACTURERS: ANEMOSTAT, J&J REGISTER, TUTTLE & BAILEY, NAILOR, METAL-AIRE, KRUEGER, PRICE, AND UNITED ENERTECH.
2. WALL GRILLE SIZES BASED ON TITUS MODEL 272F, DOUBLE DEFLECTION ADJUSTABLE BLADES, 3/4" SPACING, WHITE FINISH.
3. CURVE SPIRAL DUCT MOUNTED GRILLE, SIZES BASED ON TITUS MODEL S300FL, DOUBLE DEFLECTION, 3/4" BLADE SPACING, INDIVIDUALLY ADJUSTABLE BLADES, AIR EXTRACTOR, WHITE FINISH AND GRILLE SHALL MATCH CURVE OF DUCTWORK.
4. SIZES BASED ON A MAXIMUM NC LEVEL OF 25.
5. ALL OF THE GRILLES SHOWN IN THIS SCHEDULE MAY NOT BE USED. REFERENCE THE HVAC PLAN FOR GRILLE CALL-OUTS AND THE QUANTITY OF EACH SIZE REQUIRED.
6. WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.

SPLIT SYSTEM AIR CONDITIONING UNIT SCHEDULE (90%+ GAS)																			
SYMBOL	UNIT TYPE	NOMINAL TONS	SUPPLY FAN			COOLING CAPACITY AT 95° OSA, 80° EDB, 62° EWB			GAS HEATING CAPACITY			ELECTRICAL FOR CONDENSING UNIT			OSA CFM	MIN. SEER	FURNACE OPERATING WEIGHT (LBS)	MANUFACTURER AND MODEL	REMARKS
			CFM	ESP	HP	V/I	TOTAL MBH	SENSIBLE MBH	INPUT MBH	OUTPUT MBH	MCA	MOCP	V/I						
F-1, CU-1	MULTIPOISE	5	1800	.6"	.75	120/10	54.0	51.0	80	75	--	--	--	270	16.0	250	COMFORTMAKER N9MSB08021200, FURNACE COMFORTMAKER ENH4X8UL24A1 COOLING COIL	2, 5	
F-2, CU-2	MULTIPOISE	3	1800	.6"	.75	120/10	33.98	32.74	80	78	19.8	35	208/1	150	16.0	200	CARRIER 59SP5A080E17-16 FURNACE CARRIER 24ACBT-36-31 CONDENSING UNIT	1, 2, 3, 4	

## REMARKS:

1. APPROVED ALTERNATE MANUFACTURERS: BRYANT, TRANE, LENNOX, AND YORK.
2. PROVIDE UNIT WITH SEVEN-DAY PROGRAMMABLE AUTO-CHANGEOVER WITH 5 DEGREE DEADBAND, ADAPTIVE INTELLIGENT AUTOMATIC START CONTROL, 3 STAGE HEAT, 2 STAGE COOLING THERMOSTAT HONEYWELL VISIONPRO MODEL TH8321R1001. THERMOSTAT SHALL BE POWERED BY A 24VAC WIRE CONNECTION.
3. PROVIDE UNIT WITH MATCHING COOLING COIL, FIELD INSTALLED HARD START FOR SINGLE PHASE UNITS, SHORT CYCLING DEVICE, CRANKCASE HEATER, EXPANSION VALVE, HIGH/LOW PRESSURE SWITCH, NEUTRALIZING KIT - 3/4" LINE SIZE, LOW AMBIENT CONTROLS (TO 0°F) & CONCENTRIC VENT KIT. SET FAN MOTOR ON FURNACE TO MAINTAIN A CONSTANT SPEED.
4. PROVIDE UNIT WITH MANUFACTURER'S LINE SET, SIZED BY MANUFACTURER, AND TAMPER PROOF PORT CAPS.
5. THIS IS AN EXISTING UNIT THAT IS TO BE RELOCATED.

<b>FARMER PAYNE</b>
ARCHITECTS
Jackson Hole 260 West Broadway, Suite A Jackson, WY 83001 T.307.264.0090
Sun Valley 351 N Leadville Ave, Suite 204 Ketchum, ID 83340 T.208.214.5155
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## PERMIT SET

**ELEVATED LIVING**  
800 W Broadway  
Jackson WY 83001

DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: MQ/TDN  
ISSUE:  
M500  
HVAC Schedules  
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ENERGY RECOVERY UNIT SCHEDULE																
SYMBOL	SUPPLY FAN			EXHAUST FAN			ELECTRICAL			TEMP EFF%	TOTAL EFF% WINTER/SUMMER	WEIGHT (LBS)	DUCT HEATER		MANUFACTURER AND MODEL	REMARKS
	CFM	ESP	AMPS	CFM	ESP	AMPS	TOTAL AMPS	WATTS	V/I				KW	V/I		
ERU-1	420	0.5	2.7	420	0.5	2.7	5.5	--	120/1	--	--	185	--	--	FANTECH MODEL SHR 6904.	1, 2, 3, 4

## REMARKS:

1. THIS IS AN EXISTING UNIT TO BE RELOCATED.

LOUVER SCHEDULE															
SYMBOL	SERVICE		TYPE	NOMINAL SIZE		MINIMUM FREE AREA (SQ.FT.)		FINISH							



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234 S. Whisperwood Way  
Boise, ID 83709  
208.384.0585  
645 West 25th Street  
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208.523.2862  
www.musgrovepa.com  
Project No. 22-250

FARMER PAYNE  
ARCHITECTS

Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

Sun Valley  
351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

Louisiana  
910 Pierrmont Rd, Suite 410  
Shreveport, LA 71106  
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ISSUE:

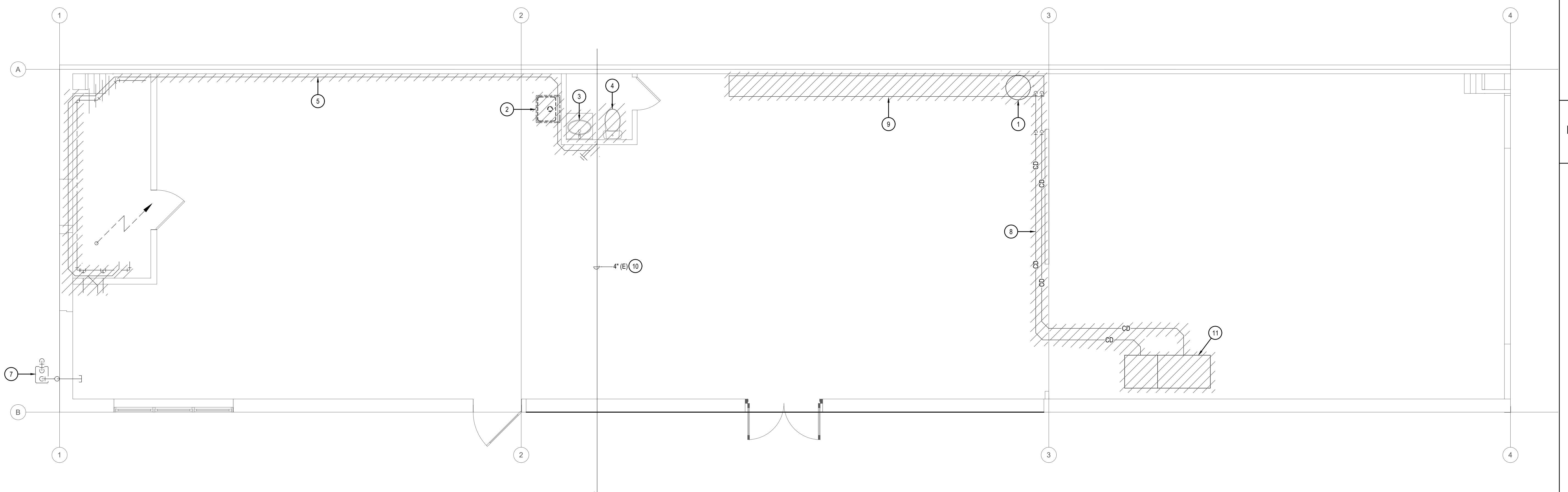
**P100**  
MAIN LEVEL  
PLUMBING DEMO PLAN

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## KEYED NOTES:

(#) SYMBOL USED FOR NOTE CALLOUT.

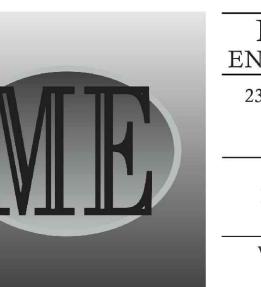
1. REMOVE EXISTING ELECTRIC WATER HEATER AND CONNECTED WATER PIPING.
2. EXISTING SINK AND CONNECTED WASTE, VENT AND WATER LINES ARE TO BE REMOVED.
3. EXISTING LAVATORY AND CONNECTED WASTE, VENT AND WATER LINES ARE TO BE REMOVED.
4. EXISTING WATER CLOSET AND CONNECTED WASTE, VENT AND WATER LINES ARE TO BE REMOVED.
5. EXISTING WASTE LINE EXPOSED ON FACE OF WALL IS TO BE REMOVED.
6. EXISTING WASTE AND WATER LINES ARE TO BE REMOVED.
7. EXISTING GAS METER. CONFIRM REQUIREMENTS OF GAS METER WITH LOCAL GAS COMPANY TO PROVIDE A DELIVERY PRESSURE OF 2 PSI TO THE BUILDING.
8. CONDENSATE DRAIN PIPING ROUTED HIGH ON WALL AND THEN DROP DOWN TO FLOOR TRENCH DRAIN IS TO BE REMOVED.
9. EXISTING TRENCH DRAIN IS TO BE REMOVED. PATCH FLOOR TO MATCH SURROUNDING FLOOR SURFACE.
10. CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF THIS EXISTING WASTE LINE PRIOR TO DOING ANY SAW CUTTING FOR NEW PLUMBING FIXTURES.
11. EXISTING HORIZONTAL GAS-FIRED FURNACE LOCATED ABOVE THE CEILING IS TO BE RELOCATED.



1

Main Level Plumbing Demo Plan

SCALE: 1/4" = 1'-0"



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645 West 25th Street  
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Project No. 22-250

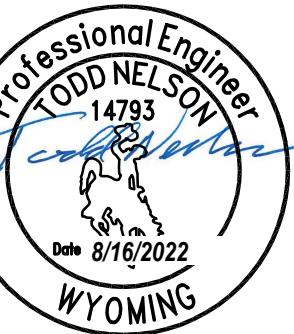
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Jackson, WY 83001  
T.307.264.0080

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351 N Leadville Ave, Suite 204  
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910 Pierrmont Rd, Suite 410  
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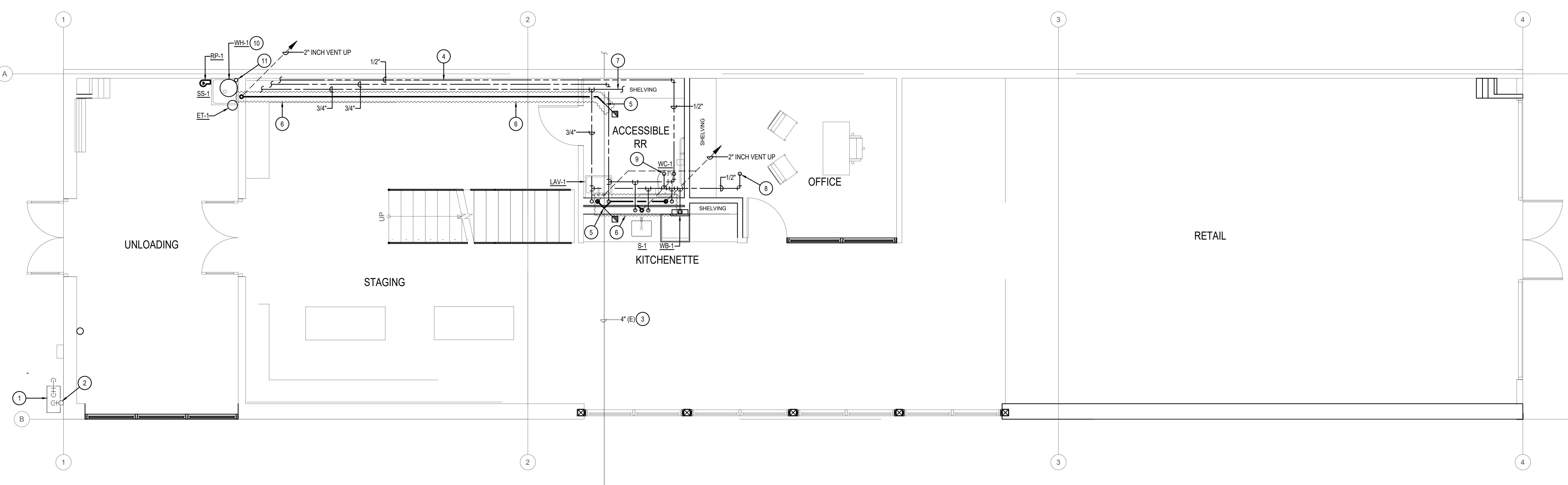
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ELEVATED LIVING

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Jackson WY 83001

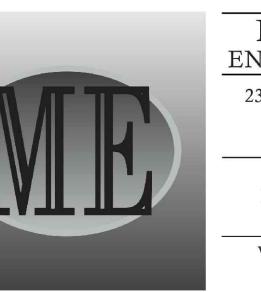
DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: MQ/TDN  
ISSUE:



1 Main Level Plumbing Plan  
SCALE: 1/4" = 1'-0"

P200

Main Level Plumbing Plan



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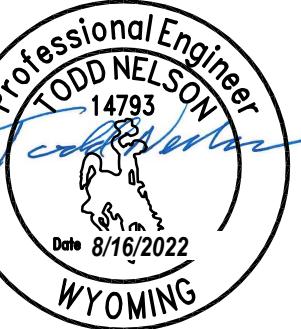
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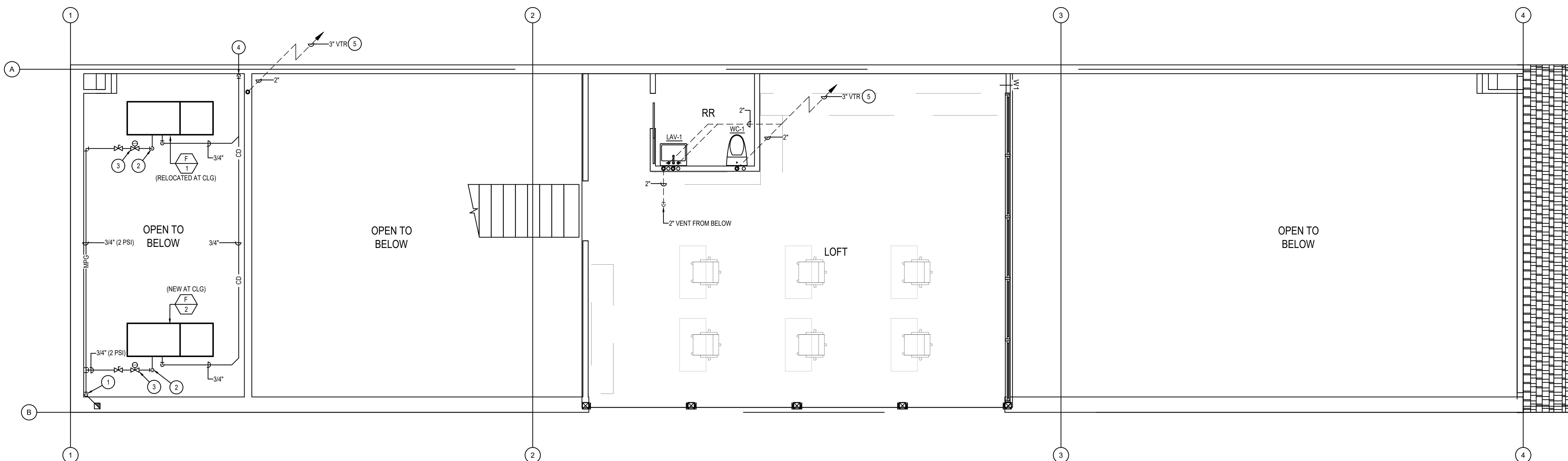


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800 W Broadway

Jackson WY 83001



1

Upper Level Plumbing Plan

SCALE: 1/4" = 1'-0"

DATE: 8/15/22  
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ISSUE:

P201

Upper Level Plumbing Plan



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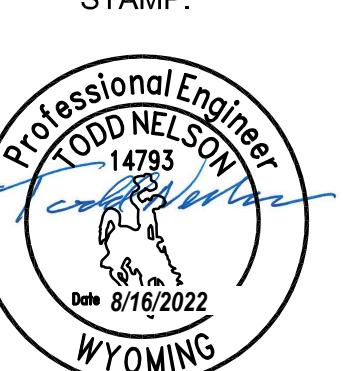
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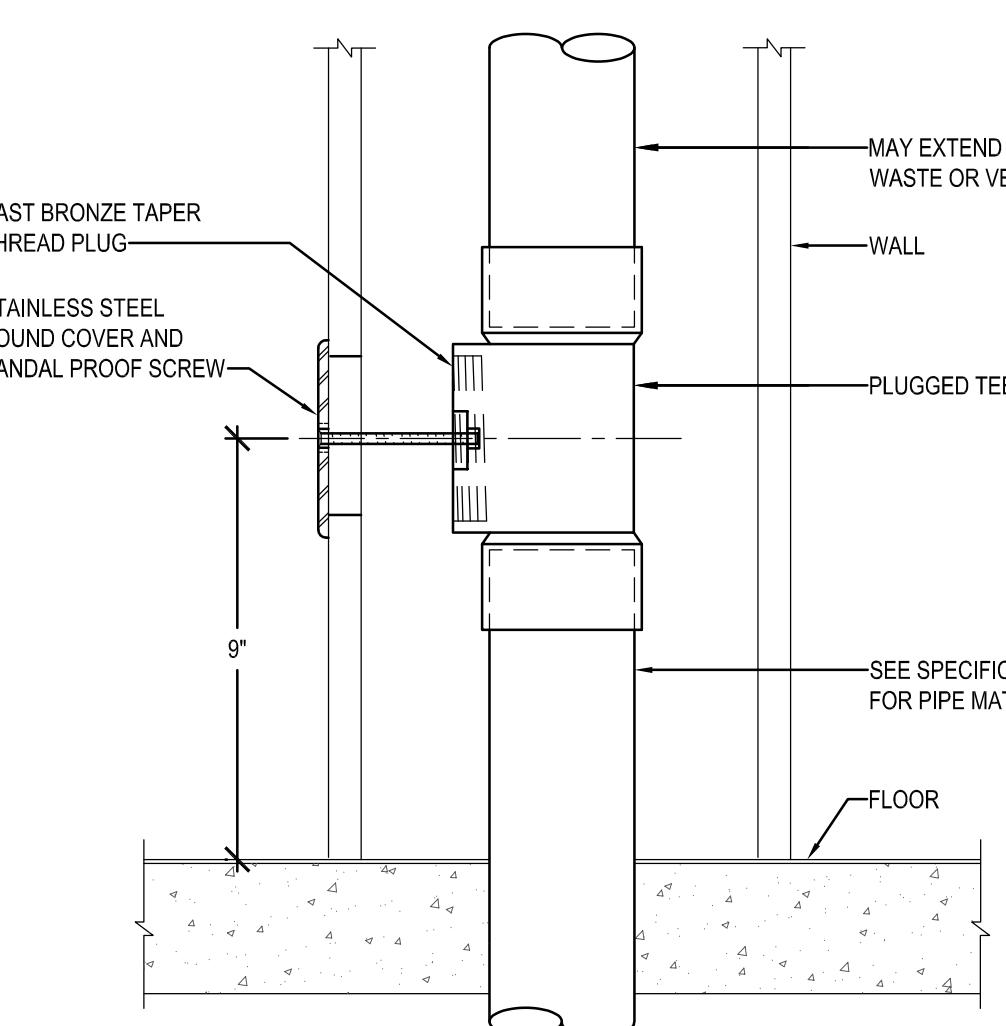
ELEVATED LIVING

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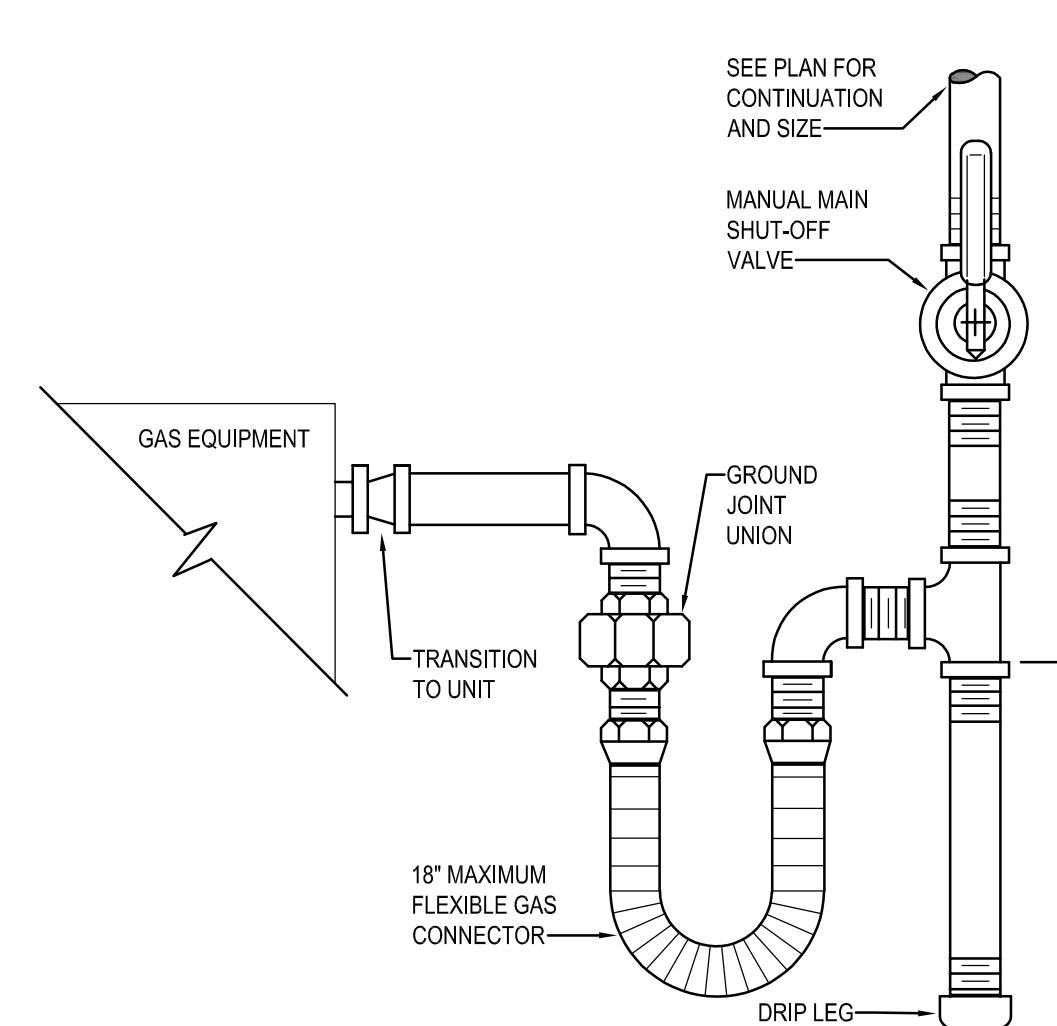
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PROJECT #: JH205  
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ISSUE:

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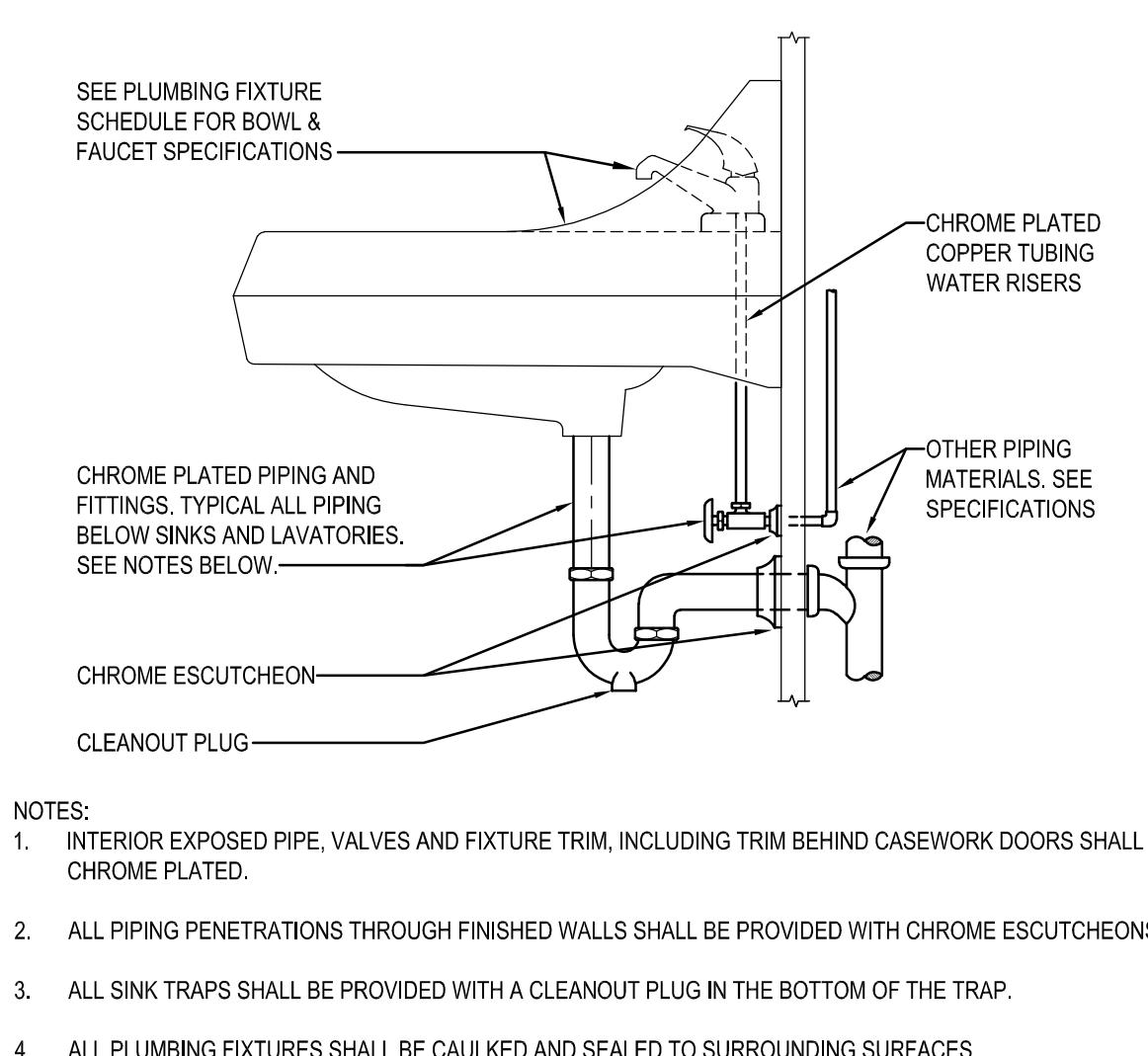
**P300**  
Plumbing Details



1 WALL CLEANOUT (WCO) DETAIL  
NOT TO SCALE



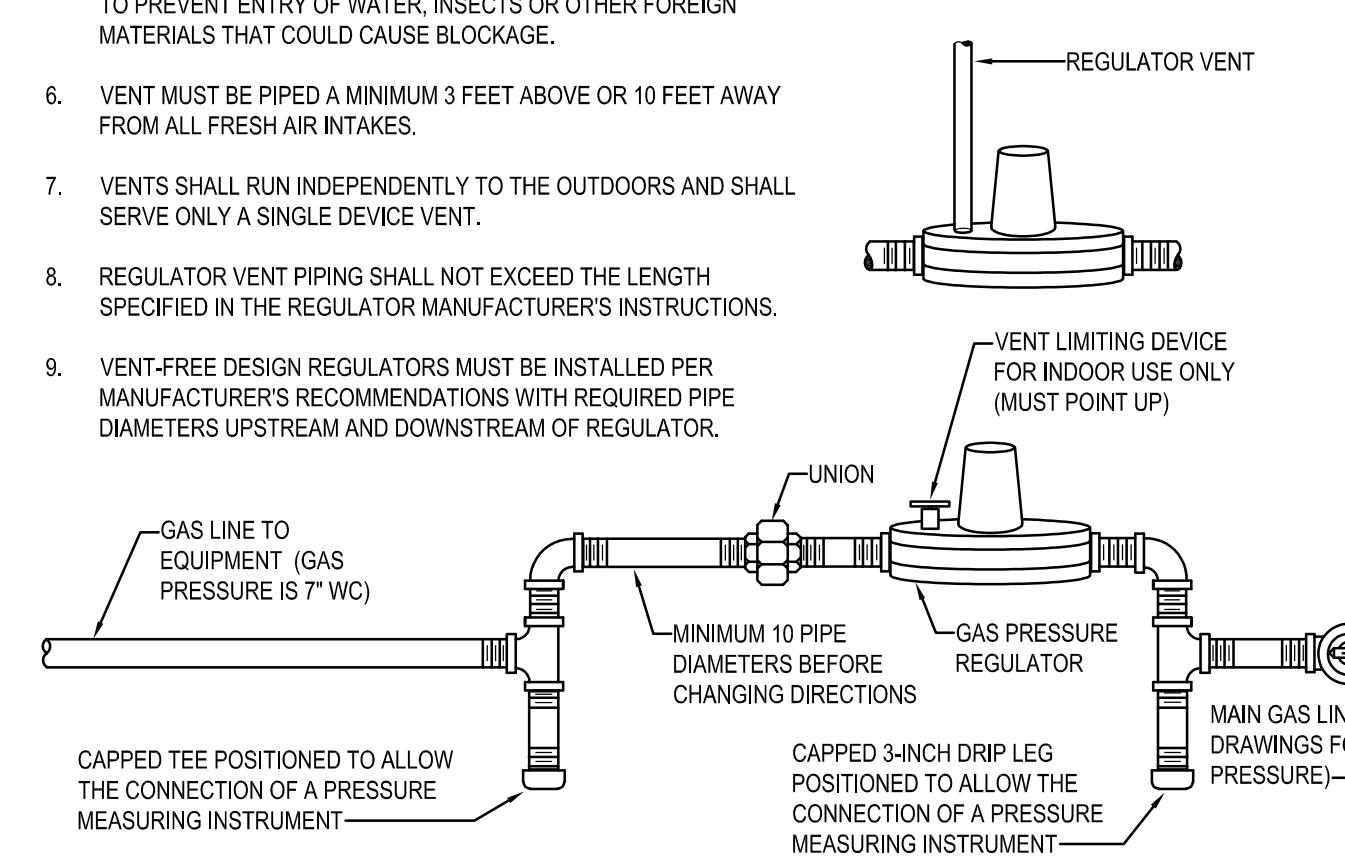
2 GAS EQUIPMENT CONNECTION DETAIL  
NOT TO SCALE



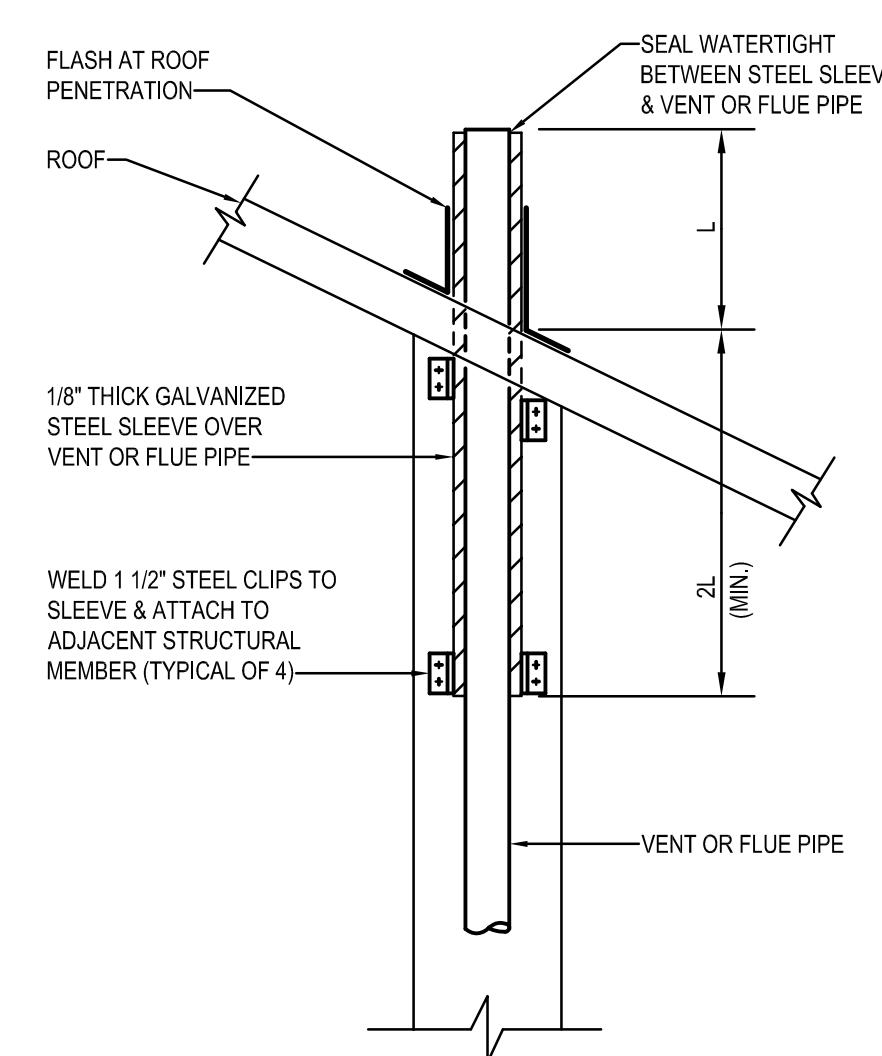
3 SINK/LAVATORY TAILPIECE & TRAP DETAIL  
NOT TO SCALE

NOTES:

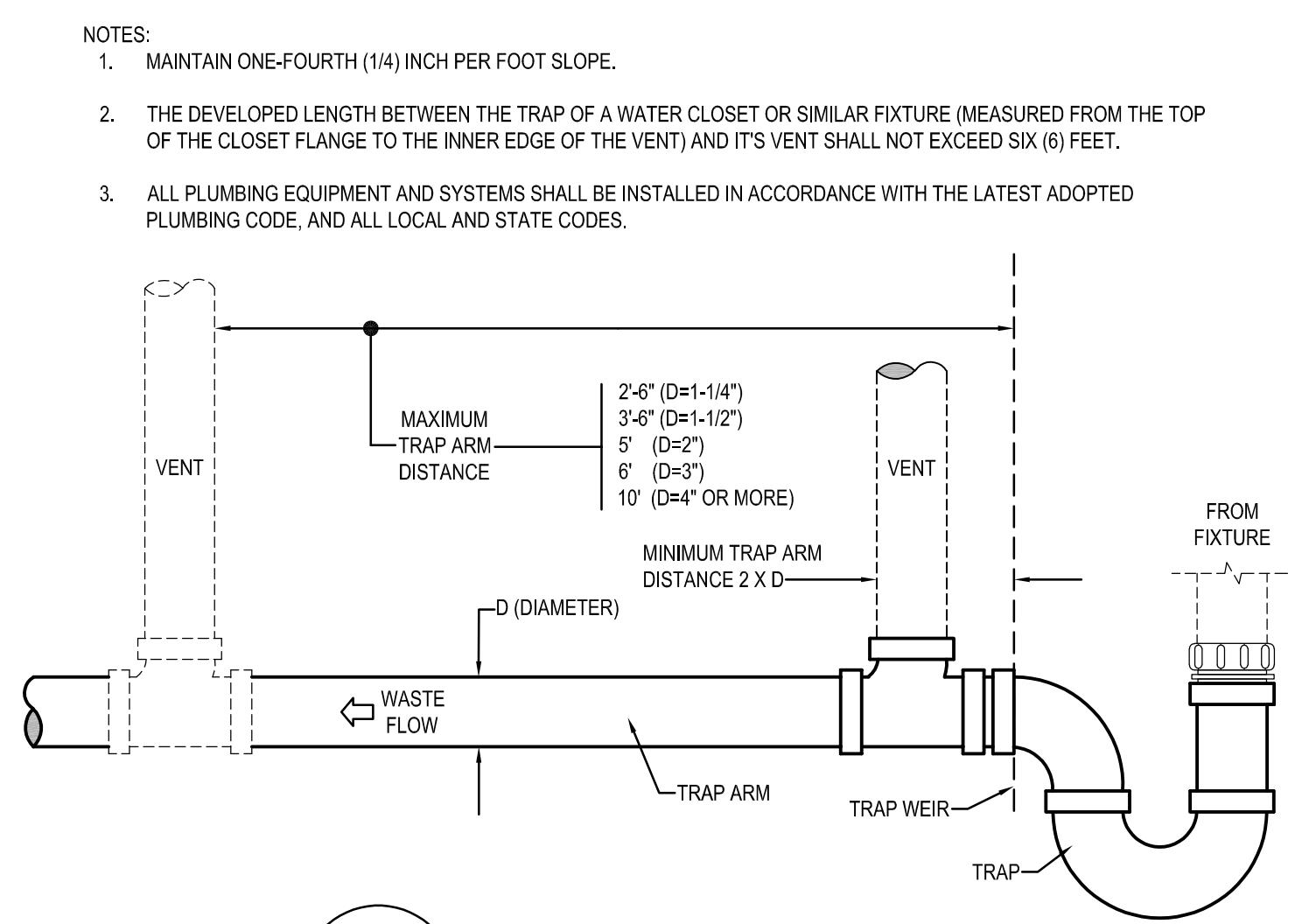
1. VENT REGULATORS PER MANUFACTURER'S AND LOCAL GAS COMPANY'S REQUIREMENTS.
2. DO NOT REDUCE THE VENT PIPE SIZE FROM THE REGULATOR.
3. TO LIMIT THE CONSEQUENCES OF RAIN, SNOW OR DEBRIS GETTING INTO THE VENT, ALWAYS TURN THE OUTLET OF THE VENT DOWN AND ABOVE POTENTIAL WATER OR SNOW LINES.
4. PROVIDE A BUG SCREEN ON THE VENT OUTLET TO DETER INSECTS FROM NESTING IN THE LINE. NEVER PAINT OVER THE BUG SCREEN.
5. A VENT LINE PROTECTOR MAY BE USED IN OUTDOOR APPLICATIONS TO PREVENT ENTRY OF WATER, INSECTS OR OTHER FOREIGN MATERIALS THAT COULD CAUSE BLOCKAGE.
6. VENT MUST BE PIPED A MINIMUM 3 FEET ABOVE OR 10 FEET AWAY FROM ALL FRESH AIR INTAKES.
7. VENTS SHALL RUN INDEPENDENTLY TO THE OUTDOORS AND SHALL SERVE ONLY A SINGLE DEVICE VENT.
8. REGULATOR VENT PIPING SHALL NOT EXCEED THE LENGTH SPECIFIED IN THE REGULATOR MANUFACTURER'S INSTRUCTIONS.
9. VENT-FREE DESIGN REGULATORS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH REQUIRED PIPE DIAMETERS UPSTREAM AND DOWNSTREAM OF REGULATOR.



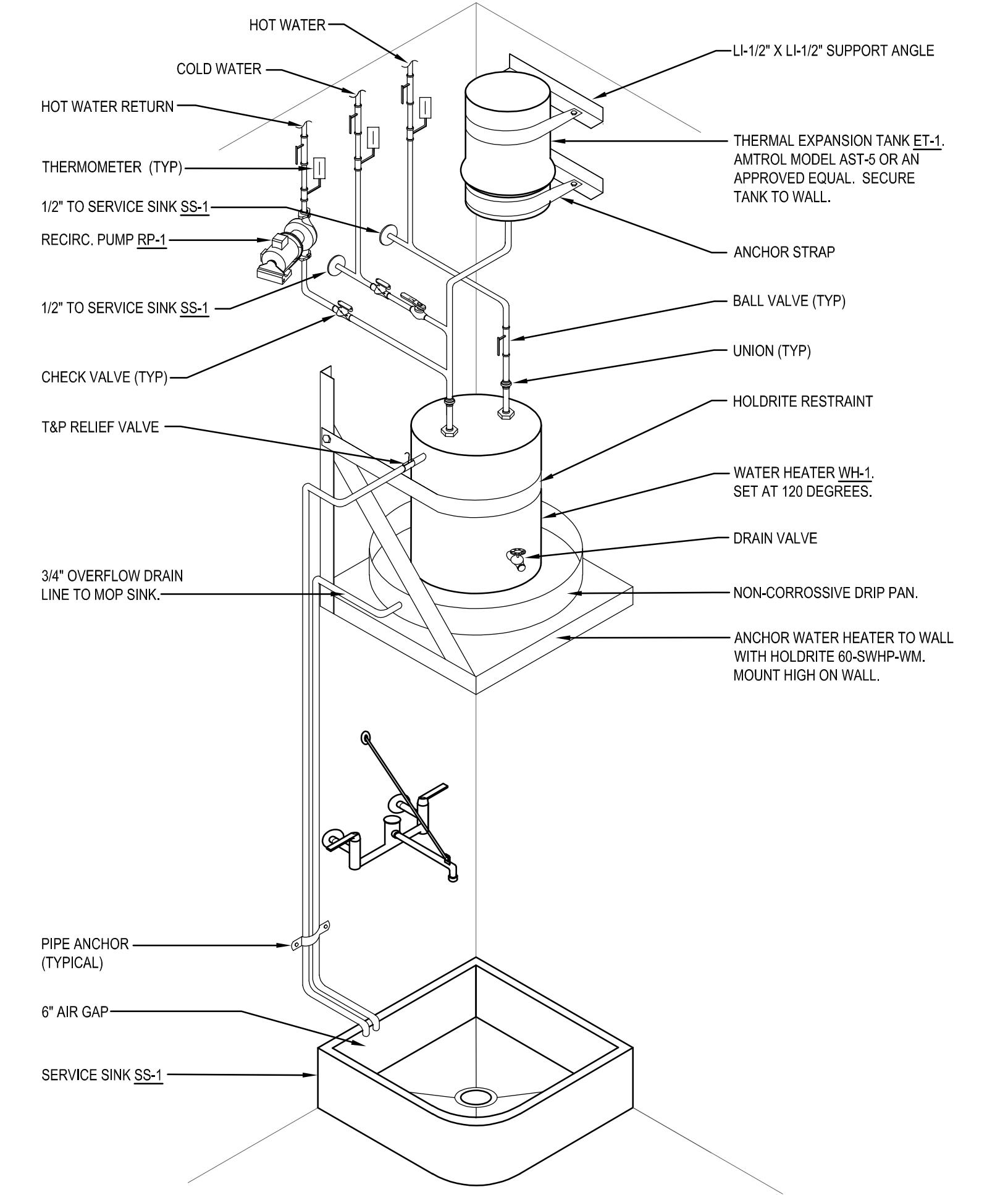
4 GAS PRESSURE REGULATOR DETAIL  
NOT TO SCALE



5 VENT & FLUE SNOW PROTECTION SLEEVE DETAIL  
NOT TO SCALE



6 TRAP ARM DETAIL  
NOT TO SCALE



7 SERVICE SINK DETAIL  
NOT TO SCALE

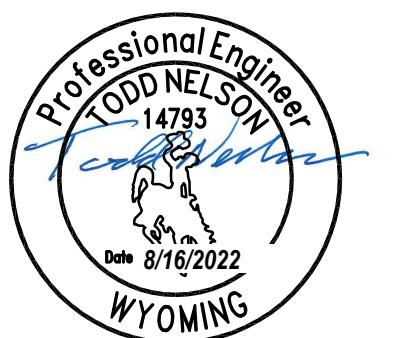


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Jackson Hole  
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Jackson WY 83001

DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: MQ/TDN  
ISSUE:

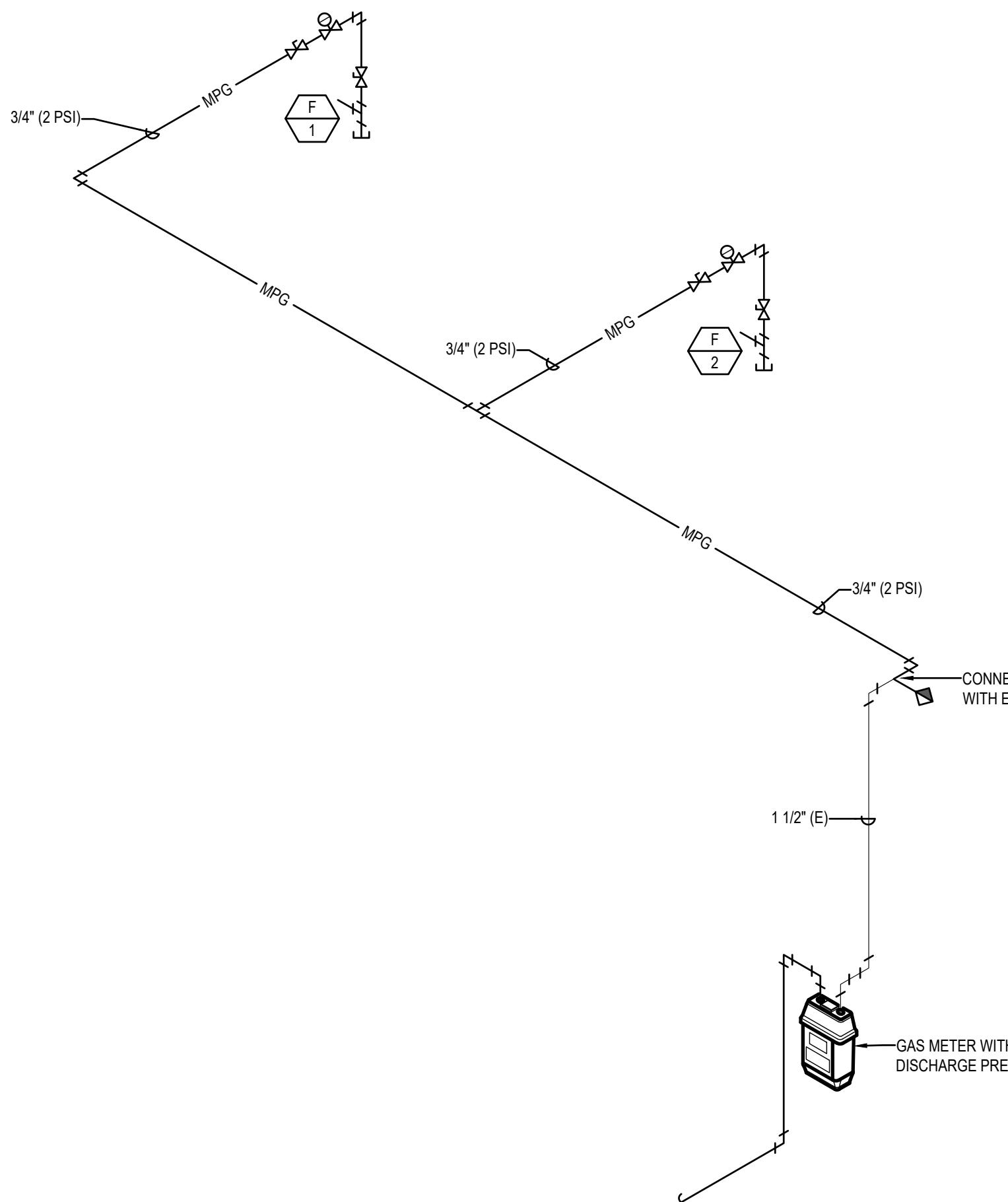
**P400**  
Plumbing Schedules  
& Details

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### GAS SIZING CHART

SYMBOL	INPUT (MBH)	RUNOUT SIZE (2PSI) (INCHES)	EQUIPMENT CONNECTION SIZES (7" WC) (INCHES)
F-1	80	1/2	1/2
F-2	80	1/2	1/2
TOTAL	160	EQUIVALENT LENGTH = 50 FT PRESSURE = 2 PSI MAIN SIZE = 1/2"	

NOTE: GAS SIZES TO EQUIPMENT ARE AS NOTED IN SCHEDULE ABOVE. ROUTE NOTED (2PSI) GAS LINE TO GAS EQUIPMENT. PROVIDE GAS COCK AND PRESSURE REGULATOR (2 PSI-7" WC) SIZED FOR GAS LOAD AT EACH PIECE OF EQUIPMENT. VENT TO ATMOSPHERE PER MANUFACTURERS RECOMMENDATIONS. ROUTE NOTED (7" WC) GAS LINE TO GAS FIRED EQUIPMENT WITH GAS COCK AND FLEX CONNECTOR AT UNIT. SEE GAS CONNECTION DETAILS ON SHEET P200.



1

Gas Piping Riser Diagram

SCALE: 1/4" = 1'-0"

### PLUMBING FIXTURE SCHEDULE

SYMBOL	Fixture Description	Connection Size					Manufacturer / Model Number / Description / Additional Comments
		WASTE	VENT	TRAP	CW	HW	
D-1	DISPOSER	2	1 1/2	1 1/2	--	--	INSINK ERATOR MODEL BADGER 1: 1/3 HORSEPOWER, 120 VOLTS, 6.7 AMPS, CONTROLLED BY WALL SWITCH. PROVIDE WITH PRE-WIRED POWER CORD.
FCO	FLOOR CLEANOUT	SEE PLANS	--	--	--	--	JAY R. SMITH 4020 SERIES WITH ADJUSTABLE, ROUND NICKEL BRONZE TOP AND ABS PLUG.
LAV-1	MOTION SENSOR LAVATORY (WALL MOUNTED) (BATTERY OPERATED) (ADA COMPLIANT)	1 1/2	1 1/2	1 1/4	1/2	1/2	KOHLER KINGSTON MODEL K-2005, WITH GRID STRAINER, SLOAN OPTIMA PLUS MODEL EAF-350 BATTERY POWERED FAUCET WITH 4" TRIM PLATE AND WATTS SERIES LFUSG-B LEAD-FREE, THERMOSTATIC MIXING VALVE, ASSE STANDARD 1070 LISTED, BRONZE BODY, INTEGRAL CHECK VALVES, AND SELECTABLE TEMPERATURE RANGE FROM 80°F TO 120°F. PROVIDE WITH JAY R. SMITH FIGURE NUMBER 0700-Z SUPPORT WITH CONCEALED ARMS. PROVIDE WITH LS-1 LAV SHIELD.
LS-1	LAVATORY SHIELD (WALL MOUNTED SHIELD FOR CONCEALING PIPING, VALVES, AND INSTANTANEOUS WATER HEATERS)	--	--	--	--	--	TRUEBRO "LAV SHIELD" ADA COMPLIANT, TOTAL ENCLOSURE, SINGLE-PIECE CONSTRUCTION, SLOAN OPTISHIELD ETF-528 OR APPROVED EQUAL.
RP-1	RECIRCULATION PUMP (HOT WATER RETURN SYSTEM) (SMALL SYSTEM)	--	--	--	--	3/4	BELL AND GOSSETT BRONZE MODEL NBF-10SLW, 115 VOLTS, 0.46 AMPS, 55 WATTS, AND SHALL PROVIDE 4 GPM AT 7 FEET HEAD. INCLUDE 7-DAY PROGRAMMABLE ELECTRONIC TIME CLOCK WITH BATTERY BACKUP, INTERMATIC MODEL GM40AVE-RD28 APPROVED ALTERNATE: ARMSTRONG, TACO, GRUNDFOS.
S-1	SINK - SINGLE COMPARTMENT (17" X 20" X 6 1/2") (ADA COMPLIANT)	2	1 1/2	1 1/2	1/2	1/2	ELKAY LUSTERTONE MODEL LRAD172065: 6-1/2" DEEP, STAINLESS STEEL SINK. PROVIDE AND INSTALL ELKAY MODEL LK3001CR SINGLE LEVER CHROME FAUCET WITH SWING SPOUT AND HOSE SPRAY. ELKAY MODEL LK3 STAINLESS STEEL STRAINER BASKET AND TAILPIECE, AND WATTS SERIES LFUSG-B LEAD-FREE, THERMOSTATIC MIXING VALVE, ASSE STANDARD 1070 LISTED, BRONZE BODY, INTEGRAL CHECK VALVES, AND SELECTABLE TEMPERATURE RANGE FROM 80°F TO 120°F.
SS-1	SERVICE SINK (24" X 24" X 10") (FLOOR MOUNTED)	3	2	3	1/2	1/2	ACORN TERRAZZO-WARE MODEL TRH-242410: PROVIDE AND INSTALL WITH MODEL KFC CHROME UTILITY FAUCET, STAINLESS STEEL BUMPER GUARD, DRAIN GASKET, 36" HOSE AND WALL HANGER, MOP HANGER, AND (2) STAINLESS STEEL WALL GUARDS. MOUNT FAUCET 36" AFF.
WB-1	WALL BOX (WATER SUPPLY TO ICE MAKER)	--	--	--	1/2	--	OATEY FIREMASTER MODEL 39121 WITH FACEPLATE AND ADJUSTABLE METAL SUPPORT BRACKETS. FIRE-RATED, LOW LEAD, OR APPROVED EQUAL.
WC-1	WATER CLOSET (17-1/2" SEAT HEIGHT) (FLUSH TANK) (FLOOR MOUNTED) (COMFORT HEIGHT / ADA)	4	2	INT.	1/2	--	KOHLER CIMARRON MODEL K-5310 (LEFT LEVER) / K-5310-RA (RIGHT LEVER), FLOOR MOUNTED, GRAVITY FLUSH TANK WITH ELONGATED BOWL, 1.28 GPF. KOHLER LUSTRA MODEL K-4650 ELONGATED, OPEN FRONT SEAT WITH CHECK HINGE AND NO COVER.
WC0	WALL CLEANOUT	SEE PLANS	--	--	--	--	JAY R. SMITH 4472T SERIES WITH CAST BRONZE TAPER THREAD PLUG, STAINLESS STEEL ROUND COVER, AND A STAINLESS STEEL VANDAL PROOF SCREW.
WH-1	WATER HEATER (20 GALLON LOWBOY MODEL) (208V-10 ELECTRIC)	--	--	--	SEE PLANS	SEE PLANS	BRADFORD WHITE MODEL LE120L-3, NON-SIMULTANEOUS DUAL ELEMENTS, (2) 4.5 KW, 208V/10, 18" DIAMETER, 25" TALL, WITH SIDE CONNECTIONS. PROVIDE WITH WALL BRACKET SUPPORT SIZED FOR WEIGHT, SEISMIC STRAPS, AND DRAIN PAN. PROVIDE WATER HEATER WITH HEAT TRAP.

NOTES:

1. ALL ADA COMPLIANT FIXTURES MUST COMPLY WITH ICC/ANSI A117.1. SEE ARCHITECTURAL PLANS FOR HANDICAPPED FIXTURE DESIGNATIONS, LOCATIONS, CLEARANCES, AND MOUNTING HEIGHTS.
2. ALL EXPOSED HW PIPING, CW PIPING, AND DRAIN LINES BENEATH ALL LAVATORIES AND ALL ADA COMPLIANT SINKS MUST BE INSULATED TO PREVENT INJURY. REFER TO ARCHITECTURAL PLANS. INSULATE WITH MOLDED CLOSED CELL VINYL INSULATION - TRUEBRO, PLUMBEREX, OR EQUAL.

**P400**  
Plumbing Schedules  
& Details

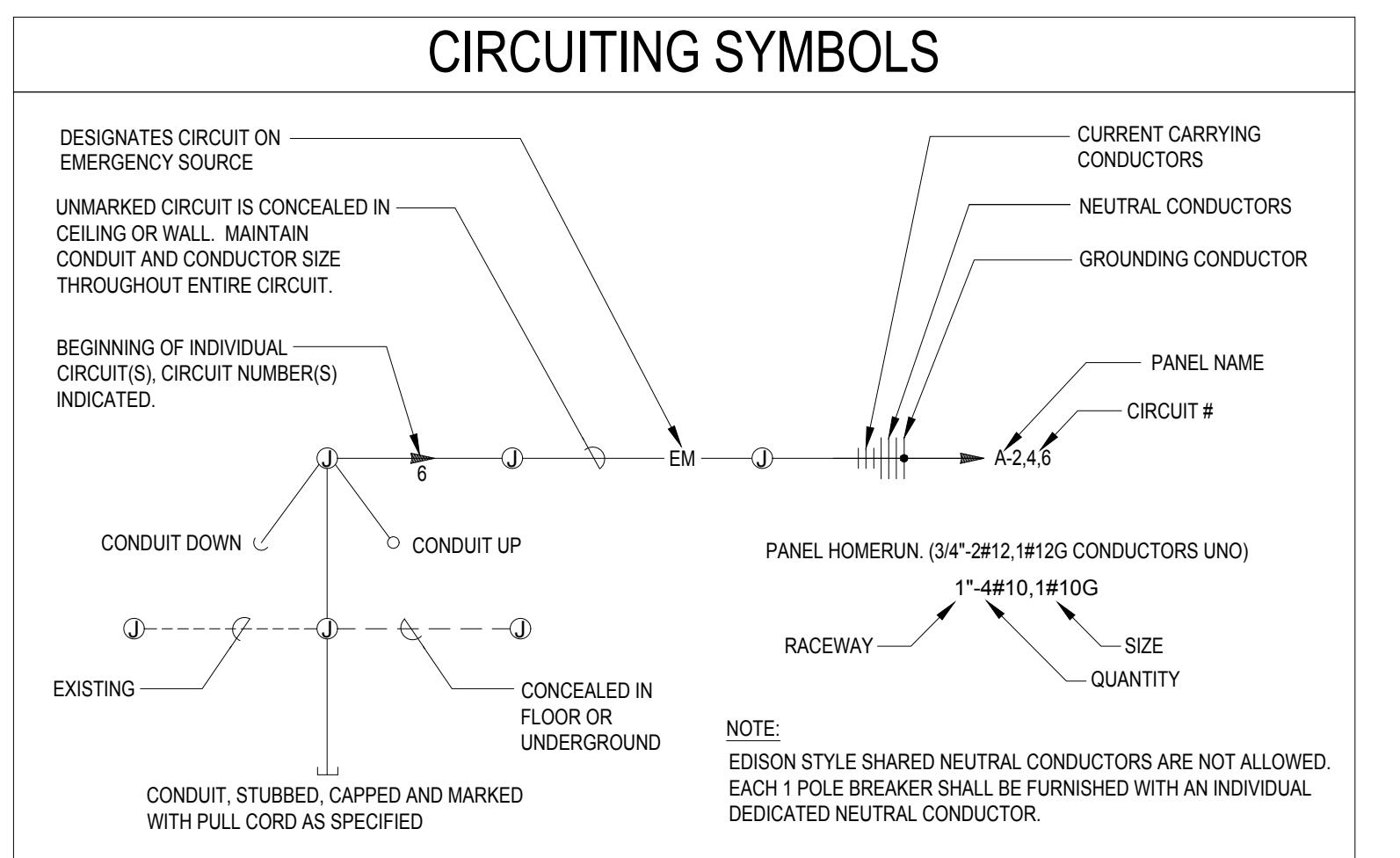
## ELECTRICAL LEGEND - LIGHTING

REFERENCE FIXTURE SCHEDULE FOR MOUNTING TYPE, MOUNTING HEIGHT, AND FIXTURE TYPE.	
Double Face Exit Sign, Ceiling Mounted, Provide Unswitched Conductor.	
Wall Mounted Double Face Exit Sign Provide Unswitched Conductor. Mount at +8'-0" UNO.	
Single Face Exit Sign, Ceiling Mounted Provide Unswitched Conductor.	
Wall Mounted Single Face Exit Sign Provide Unswitched Conductor. Mount at +8'-0" UNO.	
Arrow indicates direction to be shown on sign.	
1x1 Light Fixture.	
1x1 Light Fixture, Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
Track Light	
1x4 Light Fixture.	
1x4 Light Fixture, Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
2x4 Light Fixture.	
2x4 Light Fixture, Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
2x2 Light Fixture.	
2x2 Light Fixture, Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
Direct/Indirect Light Fixture. See Schedule for Length.	
Direct/Indirect Light Fixture. See Schedule for Length. Provide Emergency Battery Backup Connected to an Unswitched Conductor	
Strip Light Fixture. See Schedule for Length.	
Strip Light Fixture. See Schedule for Length. Provide Emergency Battery Backup Connected to an Unswitched Conductor	
Wall Mounted Light Fixture.	
Wall Mounted Light Fixture, Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
Recessed Light Fixture	
Recessed Light Fixture. Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
Round Light Fixture	
Round Emergency Light Fixture. Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
Wall Mounted Light Fixture.	
Wall Mounted Emergency Light Fixture. Provide Emergency Battery Backup Connected to an Unswitched Conductor.	
Pole Light 1 Head with Pole	
Time Clock	
Photo Control Cell Located 12" Above Roof Facing North.	
Occupancy Sensor. Provide Relays and Power Packs as Required.	
LED Driver	
Emergency Egress Lighting with Out Fixture Heads. Connect to an Unswitched Conductor.	
Emergency Egress Lighting. Connect to an Unswitched Conductor.	
Wall Mounted Single Face Exit Sign with Emergency Egress Lighting. Provide Unswitched Conductor. Mount at +8'-0" UNO.	
Ceiling Mounted Single Face Exit Sign with Emergency Egress Lighting. Provide Unswitched Conductor.	
Ceiling Mounted Double Face Exit Sign with Emergency Egress Lighting. Provide Unswitched Conductor.	
XXX	Indicates fixture type. Refer to fixture schedule.
Exterior Wall Pack	
Emergency Exterior Wall Pack. Provide Emergency Battery Backup Connected to an Unswitched Conductor	

## DEVICES

S*	SWITCH, TYPE AS INDICATED. +46" AFF
2	DOUBLE POLE
3	3-WAY
4	4-WAY
K	KEYED
P	PILOT LIGHT
D	DIMMER
HP	HORSEPOWER RATED
TO	THERMAL OVERLOAD
LV	LOW VOLTAGE
OS	OCCUPANCY SENSOR
OR	LOW VOLTAGE, MOMENTARY OVERRIDE
VS	VACANCY SENSOR
a	SUPERSCRIPT INDICATES LIGHTS TO BE SWITCHED TOGETHER
\$	DUAL LEVEL SWITCHING, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY.
\$	DUAL LEVEL SWITCHING WITH OCCUPANCY SENSOR, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY.
\$S	OCCUPANCY SENSOR WITH MANUAL DIMMING, SET FOR 50% AUTOMATIC ON AUTOMATIC OFF, WITH MANUAL DIMMING.
○	SINGLE CONVENIENCE OUTLET, +18" AFF UNO
○	FLOOR MOUNT SINGLE CONVENIENCE OUTLET
○	DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
○	FLOOR MOUNT DUPLEX CONVENIENCE OUTLET
○	EMERGENCY DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
○	SWITCHED DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
○	FLOOR MOUNTED SWITCHED DUPLEX CONVENIENCE OUTLET
○	USB DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
○	USB FOURPLEX CONVENIENCE OUTLET, +18" AFF UNO
○	FOURPLEX CONVENIENCE OUTLET, +18" AFF UNO
○	FLOOR MOUNT FOURPLEX CONVENIENCE OUTLET
▲	CONNECTION POINT TO EQUIPMENT SPECIFIED, ELECTRICAL CONTRACTOR TO SUPPLY RACEWAY AND CONDUCTORS AND MAKE FINAL CONNECTION TO EQUIPMENT UNDER THIS SECTION. UNO
△	FLOOR MOUNTED CONNECTION POINT, SEE NOTE ABOVE FOR REQUIREMENTS
○	FLOOR MOUNTED JUNCTION BOX
○	JUNCTION BOX
○	WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO
○HC	WALL MOUNTED PUSH BUTTON, HANDICAPPED MOUNT AT SWITCH HEIGHT UNO
○	WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO
○	MOTOR STARTER/CONTACTOR, SIZE/POLES NEMA 1 UNO AS INDICATED AS INDICATED, NEMA 1 UNO
○	COMBINATION STARTER AND DISCONNECT, SIZE/POLES, STARTER SIZE AS INDICATED, NEMA 1 UNO
F	FUSED DISCONNECT SWITCH, SIZE/POLES, FUSE SIZES AS INDICATED, NEMA 1 UNO
○	NON-FUSED DISCONNECT SIZE/POLES AS INDICATED, NEMA 1 UNO
T (unit #)	THERMOSTAT, +46" AFF PROVIDE CONDUIT, J-BOX, CONDUCTORS AS REQUIRED TO CONTROL ASSOCIATED UNITS. UNO COORDINATE WITH DIVISION 15.
H (unit #)	HUMIDISTAT, +46" AFF PROVIDE CONDUIT, J-BOX, CONDUCTORS AS REQUIRED TO CONTROL ASSOCIATED UNITS.
○	POWER POLE - DUAL CHANNEL
REB	RECESSED ENTERTAINMENT BOX
T	TRANSFORMER
○	PANELBOARD. SEE SCHEDULE FOR TYPE.
○	EQUIPMENT CABINET, SURFACE MOUNTED
○	EQUIPMENT CABINET FLUSH MOUNTED
○	SURFACE MULTI-OUTLET RACEWAY
# #	MECHANICAL EQUIPMENT CALL OUT
#	KITCHEN EQUIPMENT CALL OUT

## CIRCUITING SYMBOLS



## ONE LINE

DELTA WYE TRANSFORMER UNO	
#	PANEL NAME VOLTAGE PHASE
##A	CIRCUIT BREAKER, SIZE AND POLES INDICATED
##A	FUSE, SIZE AND TYPE INDICATED, PROVIDE FUSE FOR EACH POLE
##A	INTERRUPTER SWITCH, SIZE AND POLES INDICATED
##A	FUSED SWITCH, SIZE/POLES AND FUSE SIZE INDICATED
##A	DRAW OUT CIRCUIT BREAKER, SIZE AND POLES INDICATED
##A	INDIVIDUAL BREAKER WITH SHUNT TRIP, SIZE AND POLES INDICATED. NEMA 1 UNO
##A	INDIVIDUAL BREAKER, SIZE AND POLES INDICATED. NEMA 1 UNO
GFP	GROUND FAULT PROTECTION
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
LSIGR	ADJUSTABLE BREAKER SETTINGS (PER SPECIFICATIONS): 1'L LONG TIME 1'S SHORT TIME 1'I INSTANTANEOUS 1'G GROUND FAULT 1'R ENERGY REDUCING MAINTENANCE SWITCH W/STATUS INDICATOR
J-BOX	JUNCTION BOX
KA	KILOAMP
KVA	KILO VOLT-AMP
KW	KILOWATT
KWH	KILOWATT HOUR
LCP	LIGHTING CONTROL PANEL
MB	MAIN BREAKER
MBR	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MLO	MOTOR LOAD CENTER
MMC	MODULAR METERING CENTER
MH	METAL HALIDE
MSB	MAIN SWITCH BOARD
MTG	Mounting
N	NEUTRAL
(N)	NEW
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRICAL CODE
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OH	OVERHEAD
OS	OCCUPANCY SENSOR
P	POLES
PC	PHOTO-CONTROL
PVC	POLYVINYL CHLORIDE
PWR	POWER
RE:	REFERENCE
REC (R)	RECEPTACLE RELOCATED
SF	SQUARE FEET
TBD	TO BE DETERMINED
TDR	TIME DELAY RELAY
TK	TOE KICK
TSP	TWISTED SHIELDED PAIR
TRT	TRIPLE TUBE
TTB	TELEPHONE TERMINAL BOARD
(TYP.)	TYPICAL
UC	UNDERCABINET
UG	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
V	VOLT
VA	VOLT-AMPERE
W	WATT
WG	WIRE GUARD
WP	WEATHER PROOF/NEMA 3R
PROVIDED/ PROVIDED BY INSTALLED/ INSTALLED BY	PROVIDE AND INSTALL / PROVIDED AND INSTALLED BY / PROVIDE AND INSTALL
NOTE: THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL SYMBOLS. SOME OF THE SYMBOLS SHOWN MAY NOT HAVE BEEN USED IN THIS DRAWING PACKAGE.	

## ELECTRICAL ABBREVIATIONS

A	AMPERES
AC	6" ABOVE BACKSPLASH
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AF	AMP FRAME
AIC	AMPS INTERRUPTING CAPACITY
AT	AMP TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
BD	BOTTOM OF DECK
BS	BOTTOM OF STRUCTURE
C	CEILING MOUNTED
C	CONDUIT
CB	CIRCUIT BREAKER
CF	COMPACT FLUORESCENT
CKT	CIRCUIT
CO	CONDUIT ONLY, PROVIDE PULL-LINE
CT	CURRENT TRANSFORMER
CTL	CONTROL
DC	DIRECT CURRENT
(D)	DEMOLITION
DEMO	DEMOLITION
DET	DETAIL
DTT	DOUBLE TWIN TUBE
DEMO:	
E	EMERGENCY
(E)	EXISTING
EC	ELECTRICAL CONTRACTOR
EL	EMERGENCY LIGHT
F	FUSE
(F)	FUTURE
FACP	FIRE ALARM CONTROL PANEL
G/GND	GROUND
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFI	GROUND FAULT INTERRUPTER
HH	HAND HOLE
HID	HIGH INTENSITY DISCHARGE
HOA	HIGH OFF-AUTO
HPS	HIGH PRESSURE SODIUM
HVAC	HEATING, VENTILATION, & AIR CONDITIONING
IG	ISOLATED GROUND
IPCO	IDAHO POWER COMPANY
J-BOX	JUNCTION BOX
KA	KILOAMP
KVA	KILO VOLT-AMP
KW	KILOWATT
KWH	KILOWATT HOUR
LCP	LIGHTING CONTROL PANEL
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MBR	MAIN CIRCUIT BREAKER
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NTS	NOT TO SCALE
OH	OVERHEAD
OS	OCCUPANCY SENSOR
P	POLES
PC	PHOTO-CONTROL
PVC	POLYVINYL CHLORIDE
PWR	POWER
RE:	REFERENCE
REC (R)	RECEPTACLE RELOCATED
SF	SQUARE FEET
TBD	TO BE DETERMINED
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TTB	TELEPHONE TERMINAL BOARD
(TYP.)	TYPICAL
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U.N.O.	UNLESS NOTED OTHERWISE
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PROVIDED/ PROVIDED BY INSTALLED/ INSTALLED BY	PROVIDE AND INSTALL / PROVIDED AND INSTALLED BY / PROVIDE AND INSTALL
NOTE: THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL ABBREVIATIONS. SOME OF THE ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.	

## ELECTRICAL GENERAL NOTES

- A. THESE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE; THEREFORE, THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL EQUIPMENT AND DEVICE LOCATIONS WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DIVISIONS PRIOR TO ROUGH-IN. REFER TO AND COORDINATE WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL WORK THAT IS REQUIRED BY THE ELECTRICAL CONTRACTOR.
- B. ALL CONDUIT AND JUNCTION BOXES ARE TO BE CONCEALED UNLESS LOCATED WITHIN DEDICATED ELECTRICAL OR MECHANICAL ROOMS. USE OF SURFACE MOUNTED RACEWAYS IN ALL OTHER SPACES MUST BE APPROVED BY THE ARCHITECT FOR EACH LOCATION, WHERE SURFACE RACEWAYS ARE APPROVED, UTILIZE WIREMOLD, OR APPROVED EQUAL SURFACE MOUNTED RACEWAYS PAINTED TO MATCH SURROUNDING WALLS.
- C. REFER TO ARCHITECTURAL ELEVATIONS FOR OUTLET HEIGHTS WHERE THE SPECIFIC OUTLET HEIGHT IS NOT INDICATED. REFER TO THE ELECTRICAL LEGEND FOR THE DEFAULT OUTLET HEIGHT WHEN NOT INDICATED ON ELEVATIONS OR ON AT THE DEVICES.
- D. PROVIDE PULL-LINE IN ALL EMPTY CONDUITS.
- E. TERMINATE ALL LOW-VOLTAGE CONDUITS WITH INSULATED THROAT BUSHING.
- F. MECHANICAL EQUIPMENT INDICATED IS SHOWN IN AN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- G. THE ELECTRICAL DEMOLITION DRAWING(S) PROVIDED ARE INTENDED TO ASSIST THE ELECTRICAL CONTRACTOR IN ESTABLISHING AREAS REQUIRING DISCONNECTION, REMOVAL, OR RELOCATION OF ELECTRICAL EQUIPMENT, OUTLETS, WIRING, DEVICES, FIXTURES, ETC.

## DEMOLITION SYMBOL NOTES:

- ① INDICATES EXISTING DEVICE TO REMAIN.
- ② ③ INDICATES DEVICE TO BE RELOCATED.
- ④ INDICATES FIXTURE DEVICE TO BE REPLACED IN PLACE. CIRCUITING AND CONDUIT TO REMAIN INTACT. PROTECT DURING CONSTRUCTION.
- ⑤ INDICATES ITEMS TO BE REMOVED.

REUSE CONDUITS OR RACEWAY AS IT FITS THE INTENT OF THE PROJECT.



MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.384.0585  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2862  
www.musgrovepa.com  
Project No. 22-250

FARMER PAYNE  
ARCHITECTS  
Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

Sun Valley  
351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

Louisiana  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
T.318.383.7106

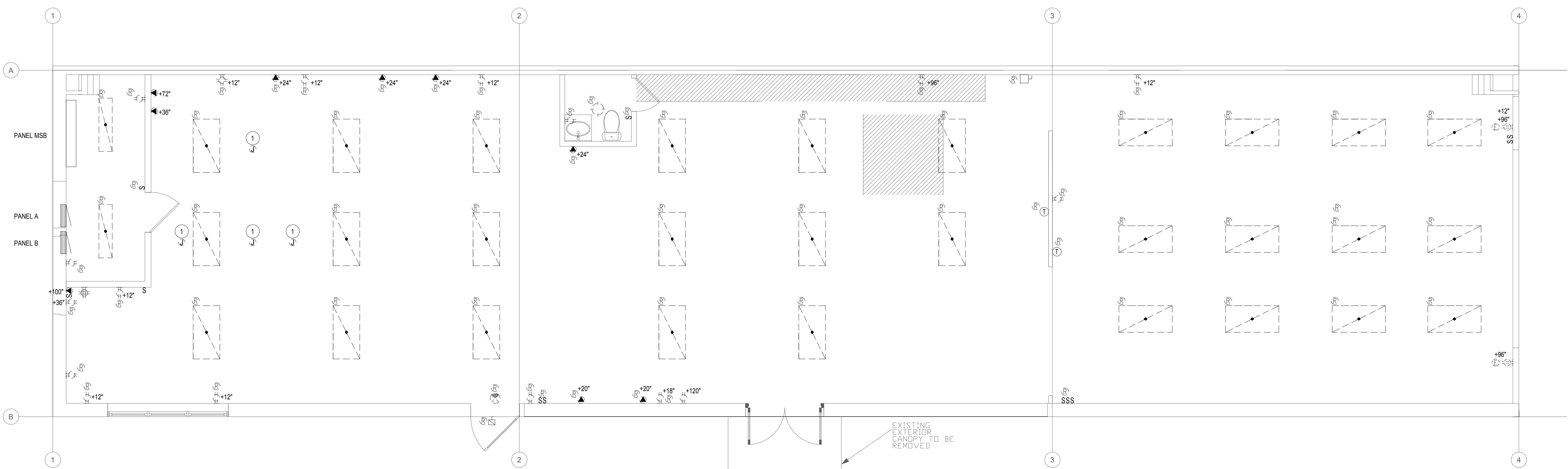
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## PERMIT SET

ELEVATED LIVING  
800 W Broadway  
Jackson WY 83001

DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: JB/MNB  
ISSUE:



1

### Main Level Electrical Demolition Plan

SCALE: 1/4" = 1'-0"

**E100**

ELECTRICAL DEMO PLAN



MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.384.0585  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2862  
www.musgrovepa.com  
Project No. 22-250

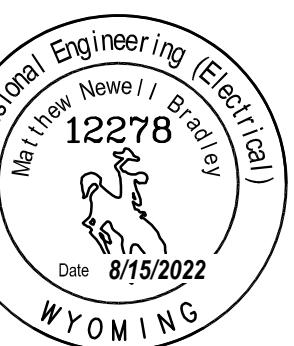
Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

Sun Valley  
351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

Louisiana  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

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STAMP:



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Jackson WY 83001

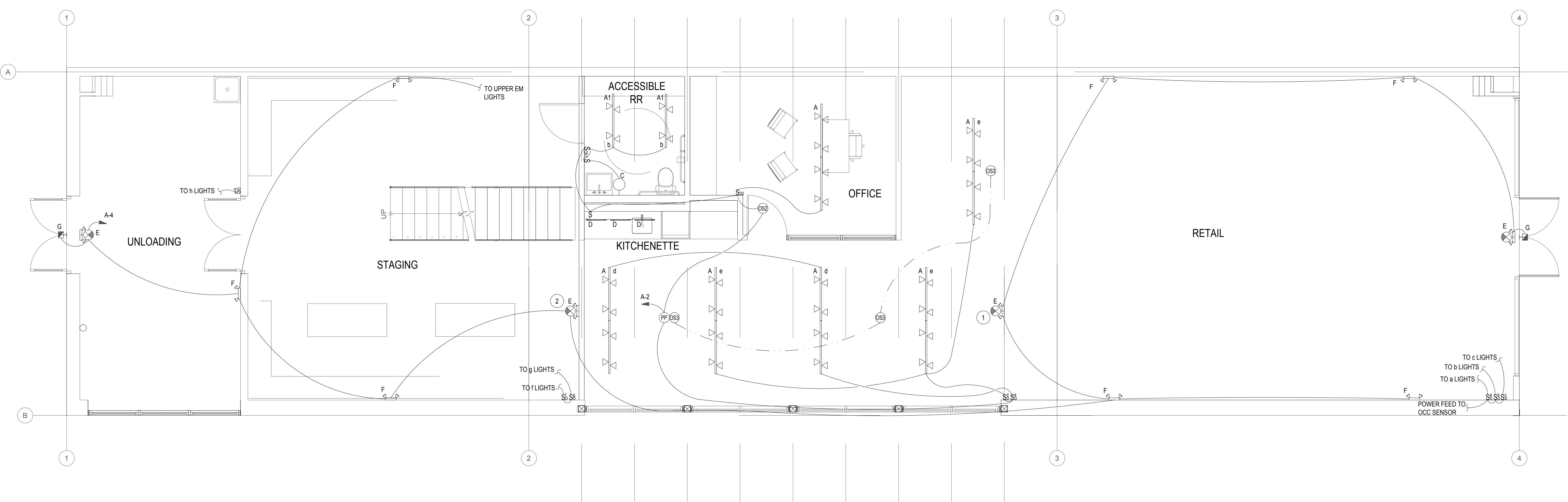
DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: JB/MNB  
ISSUE:

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. MOUNT COMBINATION EMERGENCY/EXIT LIGHT ON THE EDGE OF THE CEILING.

SWITCH AND OCCUPANCY SENSOR LEGEND	
S <sub>01</sub>	OCCUPANCY SENSOR - WALL MOUNT, DUAL TECHNOLOGY, LINE VOLTAGE, SINGLE POLE, COLOR BY OWNER. SENSOR SWITCH WSX-PDT-VLP-X
S <sub>02</sub>	OCCUPANCY SENSOR - CEILING MOUNT, DUAL TECHNOLOGY, LINE VOLTAGE, SMALL MOTION. SENSOR SWITCH CMR-PDT-9.
S <sub>03</sub>	OCCUPANCY SENSOR - CEILING MOUNT, DUAL TECHNOLOGY, LOW VOLTAGE, SMALL MOTION SENSOR SWITCH CM-PDT-9 OR EQUAL
S <sub>04</sub>	OCCUPANCY SENSOR - CEILING MOUNT, DUAL TECHNOLOGY, LOW VOLTAGE, SMALL MOTION SENSOR SWITCH CM-PDT-6 OR EQUAL (HIGH BAY)
PP	POWER PACK - 120 VOLT, 15 VDC SENSOR SWITCH PP20 OR EQUAL
S <sub>01</sub>	DIMMING SWITCH - WALL MOUNT, 120/277V, LED, ON/OFF/SLIDE DIMMER SWITCH SYNERGY ISD-BC-120/277V-WH
S <sub>02</sub>	DIMMING SWITCH - WALL MOUNT, 120V, LED PHASE DIMMING, ON/OFF/SLIDE DIMMER SWITCH, WHITE SYNERGY ISD-400-ELV-120-WH
S <sub>03</sub>	EXTERIOR LIGHTING PHOTOCELL - 120V, 1000 VA LOAD. DSW124-1-2-A-U
XX=VERIFY COLOR WITH ARCHITECT PRIOR TO ORDER	
EQUAL PRODUCTS FROM WATTSTOPPER, LUTRON, LEGRAND, AND EATON WILL BE ACCEPTED	



1 Main Level Lighting Plan

SCALE: 1/4" = 1'-0"

E200

Main Level Lighting Plan

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. PROVIDE POWER TO THE LIGHTS IN THE RESTROOM FROM THE RESTROOM RECEPTACLE CIRCUIT.



MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.384.0585  
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ARCHITECTS  
Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080  
Sun Valley  
351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155  
Louisiana  
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Shreveport, LA 71106  
T.318.383.3100

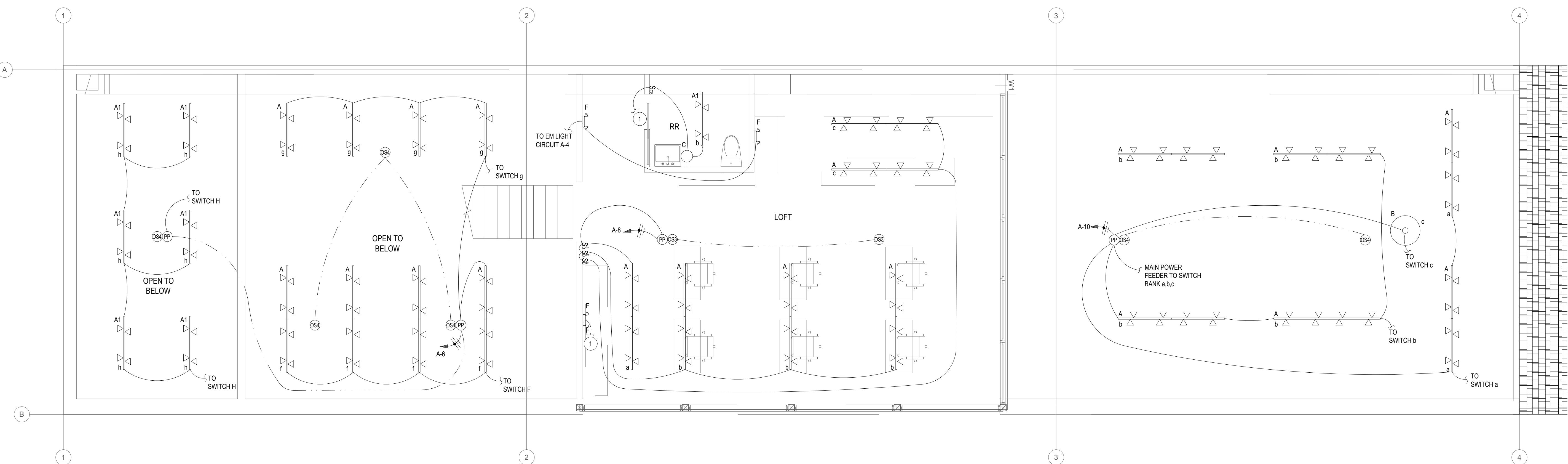
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Jackson WY 83001

DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: JB/MNB  
ISSUE:



1

Upper Level Lighting Plan

SCALE: 1/4" = 1'-0"

**E201**  
Upper Level Lighting Plan

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. MOUNT RECEPTACLE 12" ABOVE WINDOW.



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Project No. 22-250

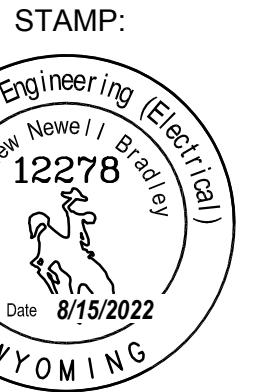
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Jackson Hole  
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Jackson, WY 83001  
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351 N Leadville Ave, Suite 204  
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T.208.214.5155

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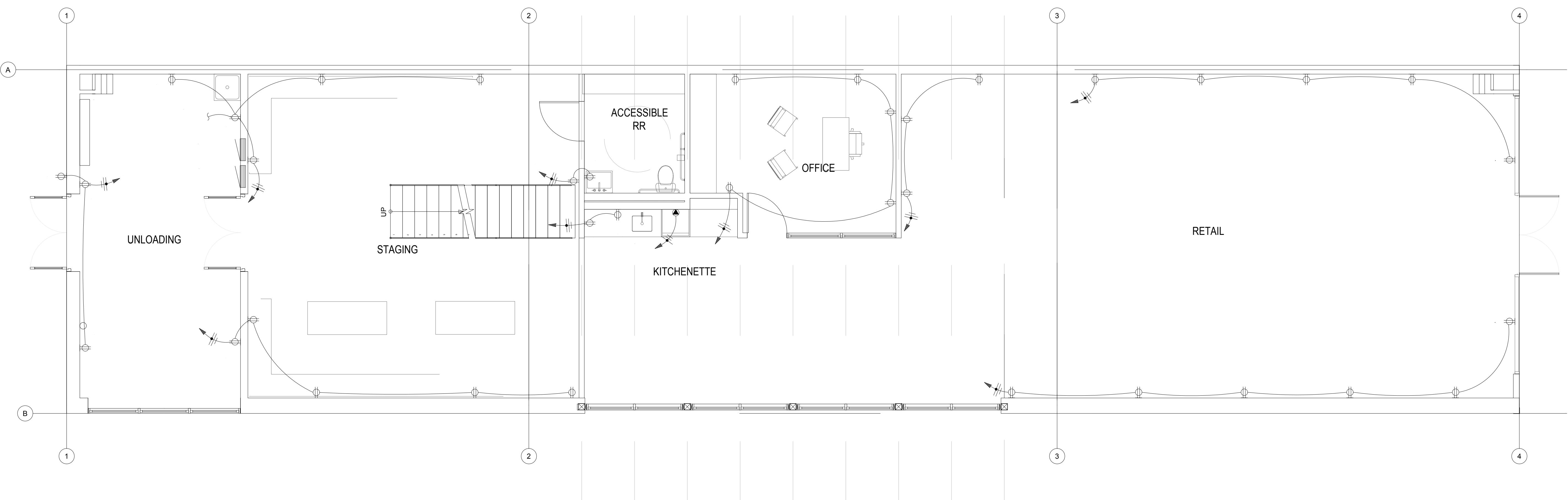
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DATE: 8/15/22  
PROJECT #: JH2205  
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ISSUE:



1 Main Level Power Plan

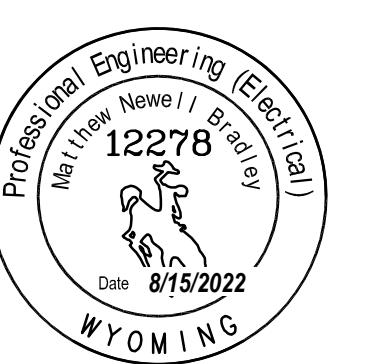
SCALE: 1/4" = 1'-0"

**E300**  
Main Level Lighting Plan



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STAMP:



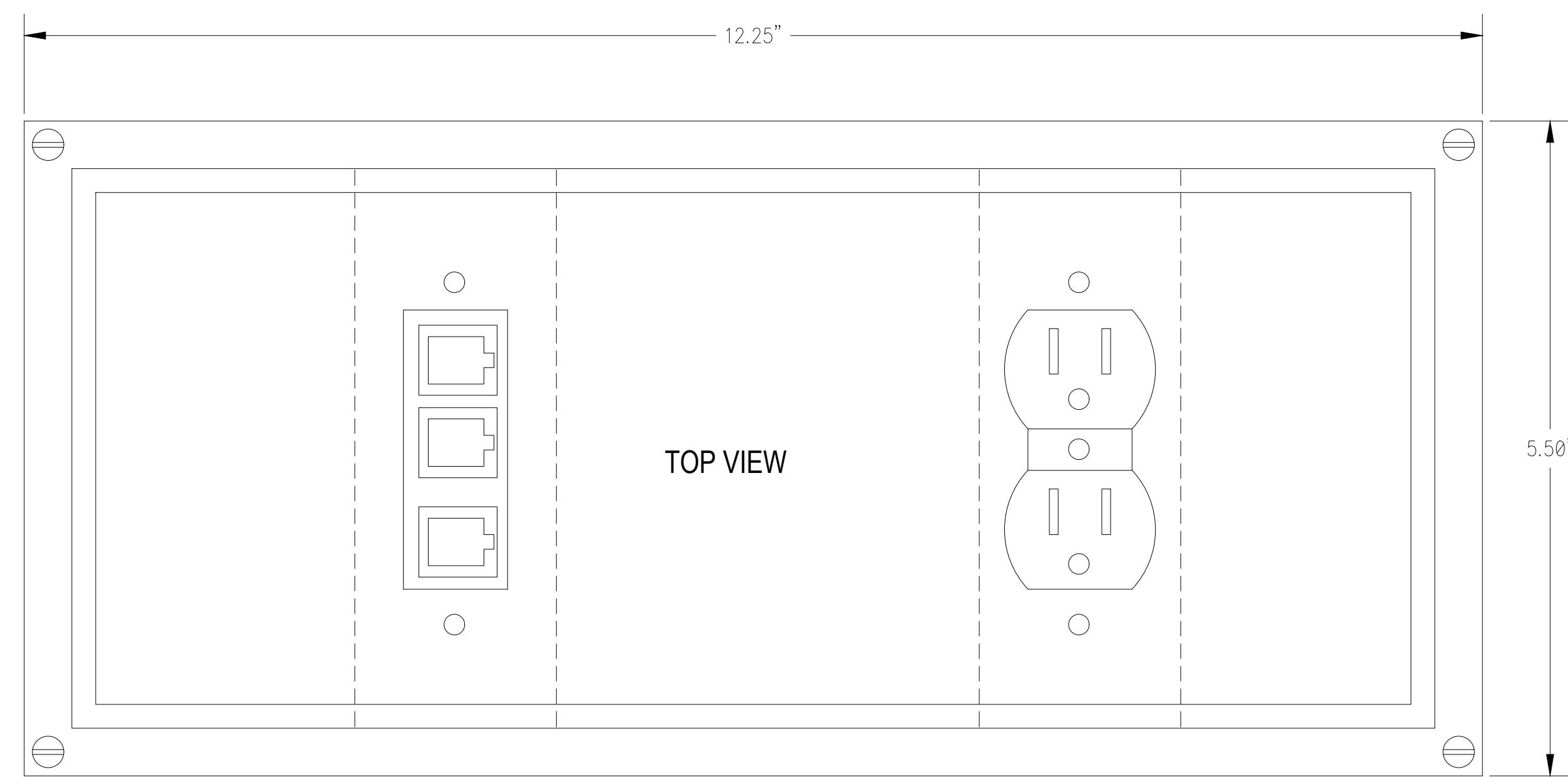
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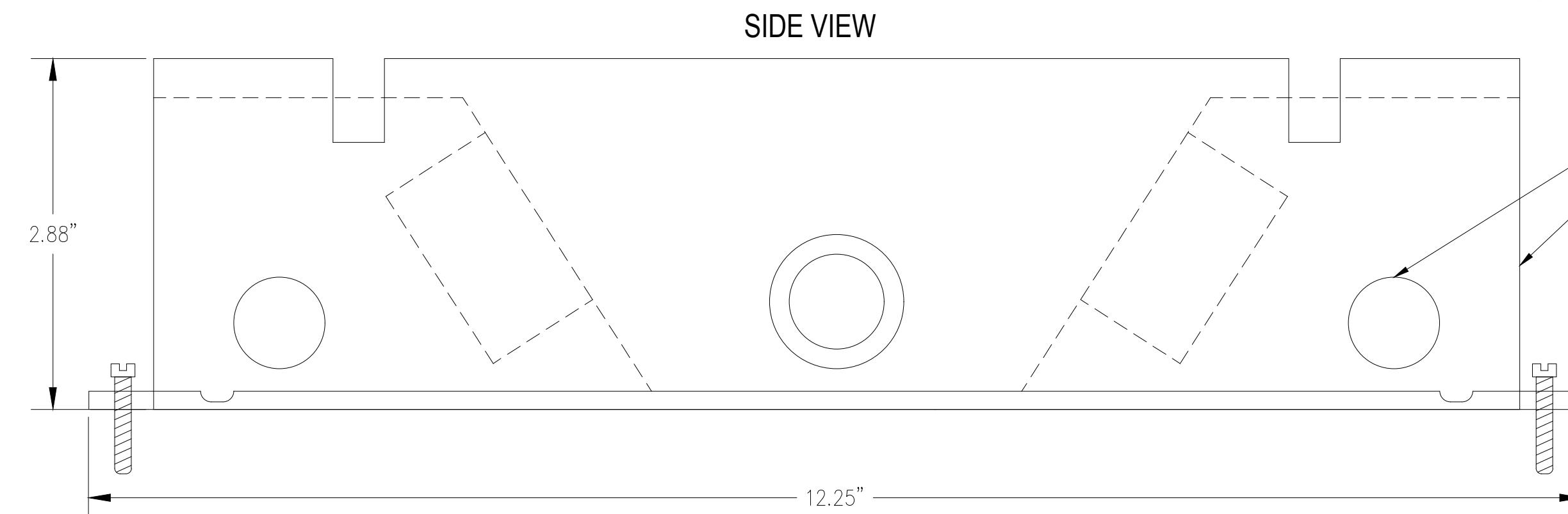
DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: JB/MNB

ISSUE:

**E301**  
Upper Level Power Plan



TOP VIEW



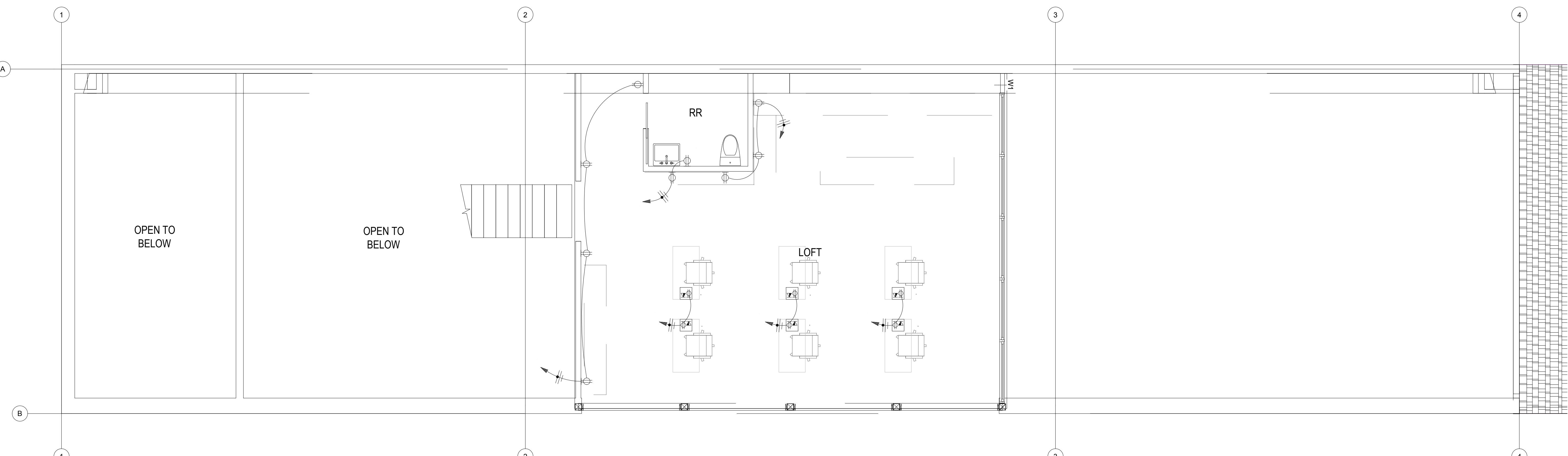
SIDE VIEW

COMBINATION CONCRETE FLOOR DATA/POWER FLOOR BOX DETAIL

SCALE: NTS

NOTES:

- ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL CONCRETE RECESSED FLOOR BOXES: HUBBELL #3SFBS (FLOOR BOX) WITH SFBCGYA (GREY FLUSH COVER) AND, (1) DUPLEX RECEPTACLE - HUBBELL #HBL5362, OR EQUAL (1) DUPLEX RECEPTACLE SERVICE PLATE - HUBBELL #3SFBRP, (1) DATA/COMM SERVICE PLATE - HUBBELL #3SFBD, WITH HBL317SGY SIX PORT PLATE



1 Upper Level Power Plan

SCALE: 1/4" = 1'-0"

**KEYED NOTES:**

# SYMBOL USED FOR NOTE CALLOUT.

- SEE FLOOR BOX DETAIL THIS DRAWING

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. THE EXHAUST FAN IN THE BATHROOM IS CONNECTED TO THE BATHROOM LIGHTS WITH CONTROL FROM THE OCCUPANCY SENSOR.



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www.musgrovepa.com  
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ARCHITECTS

Jackson Hole	260 West Broadway, Suite A Jackson, WY 83001 T.307.264.0080
Sun Valley	351 N Leadville Ave, Suite 204 Ketchum, ID 83340 T.208.214.5155
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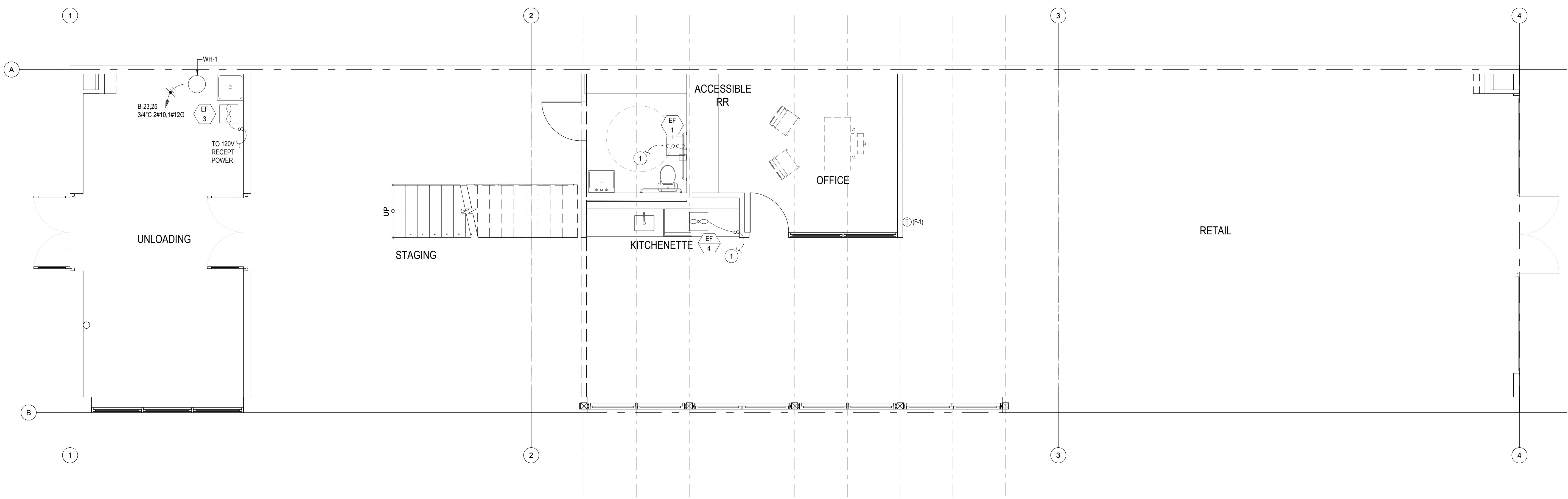
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ISSUE:



1

## Main Level Mechanical Power Plan

SCALE: 1/4" = 1'-0"

**E400**  
Main Level Mechanical  
Power Plan

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. NOT USED

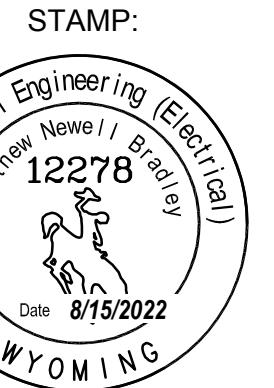


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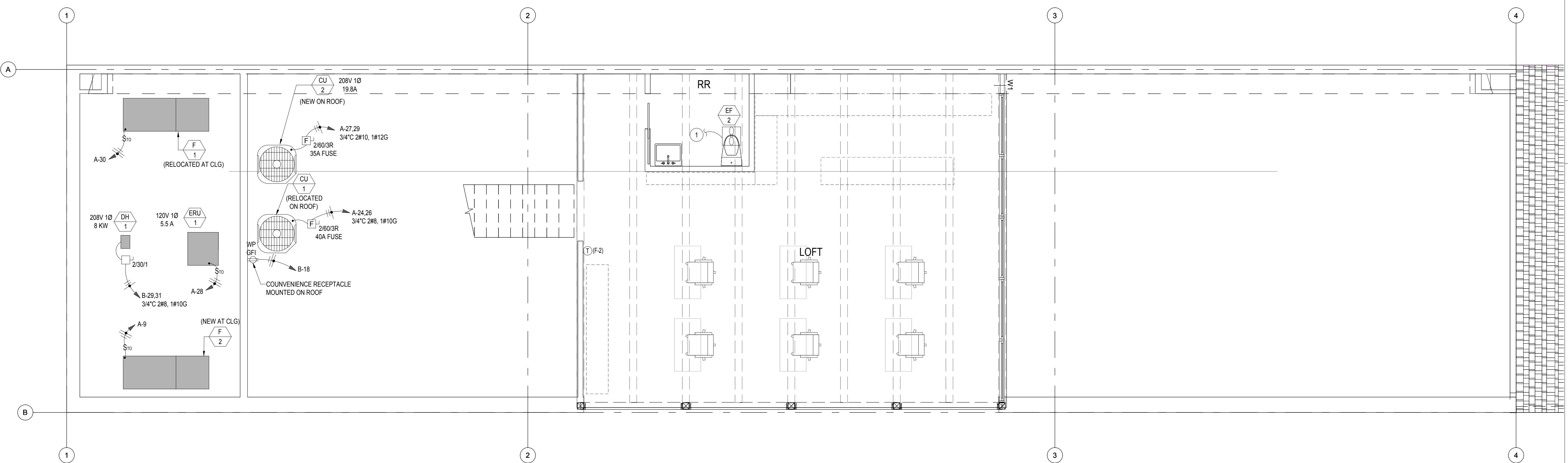
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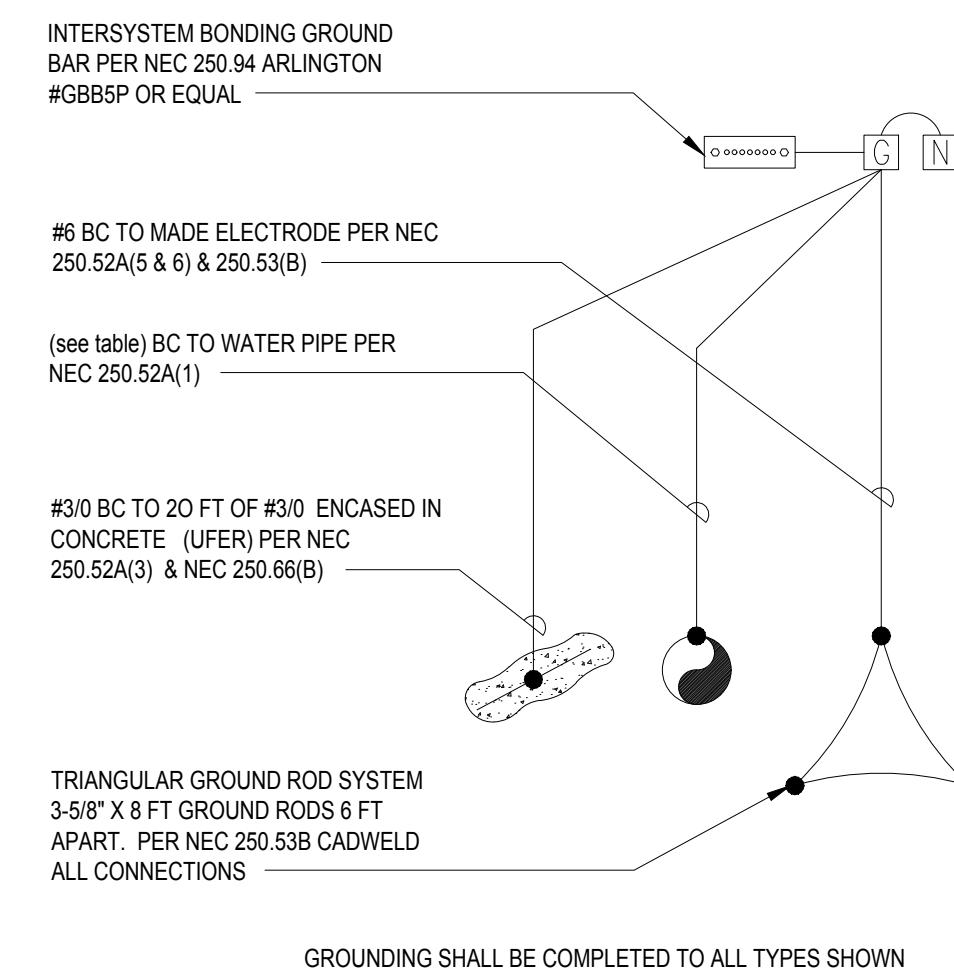
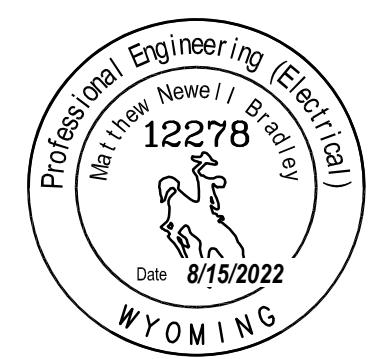
1

Upper Level Mechanical Power Plan

SCALE: 1/4" = 1'-0"

DATE: 8/15/22  
PROJECT #: JH2205  
DRAWN: JB/MNB  
ISSUE:

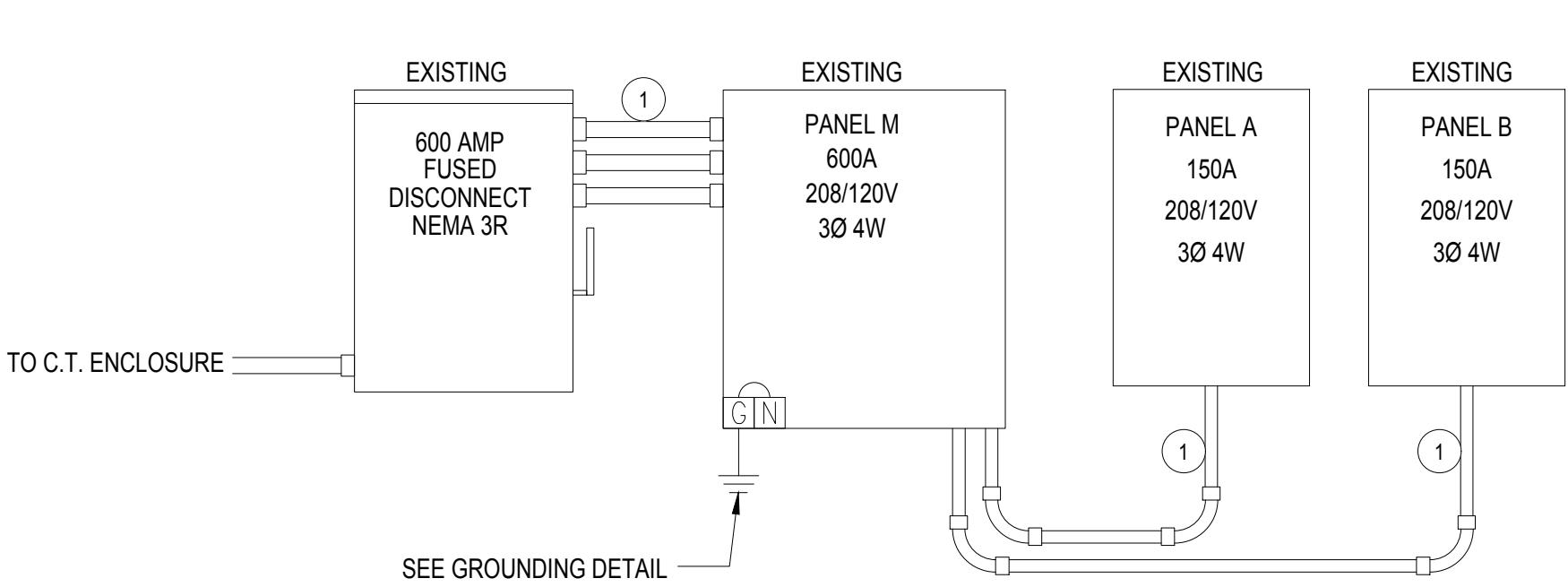
**E401**  
Upper Level Mechanical  
Power Plan

GROUNDING DETAIL  
NTS

NOTE:  
ALL CODE REFERENCES FROM NEC  
2020 EDITION

SIZE OF LARGEST UNGROUNDED SERVICE-ENTRANCE CONDUCTOR (AWG/KCMIL)	SIZE OF GROUNDING ELECTRODE CONDUCTOR (AWG/KCMIL)	MAX SERVICE SIZE
2 OR SMALLER	8	100A
1 OR 1/0	6	150A
2/0 OR 3/0	4	200A
OVER 3/0 THROUGH 350	2	300A
OVER 350 THROUGH 600	1/0	400A
OVER 600 THROUGH 1100	2/0	500A
OVER 1100	3/0	1000A

FOR OVER 1100 KCMIL ALSO REFER TO NEC PARAGRAPH 250.24(C)(1) GROUNDED CONDUCTOR SHALL NOT BE SMALLER THAN 12-1/2% OF THE AREA OF THE LARGEST SERVICE CONDUCTOR

POWER RISER  
SCALE: NTS

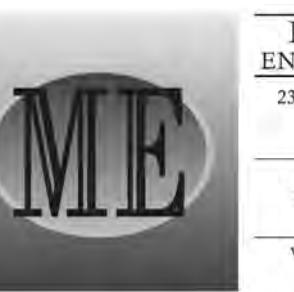
800 W. BROADWAY, JACKSON WY.					
CURRENT BUILDING ELECTRICAL SERVICE IS 600 AMP 208V THREE PHASE					
METER PANEL A PEAK USAGE ON 06/26/21	112.48 KW	312.4 AMPS			
PER NEC 220.87: 312.4 AMPS * 1.25		390.55 AMPS			
600-390.55 = 209.4AMPS AVAILABLE ON THE SERVICE FOR ADDITIONAL LOADING FOR THE REMODEL.					
THE EXISTING 600 AMP 208V 3 PHASE ELECTRICAL SERVICE IS MORE THAN ADEQUATE FOR THE REMODEL FOR CONVERTING A CLEANING BUSINESS INTO NORMAL OFFICE SPACE.					

## EXISTING PANEL M TO REMAIN

PANEL M (EXISTING)			Project: 22-250 800 W. BROADWAY									
VOLTAGE: 208/120V			DIMENSION: PER NEC			LOCATION: STORAGE			PER NEC			
PANEL AMP RATING: 600A WITH 600A CB			MOUNTING: FLUSH			NEMA ENCLOSURE: 1			NEMA ENCLOSURE: 1			
WIRES: 4	PHASE: 3	FEED: TOP	TYPE: SQUARE D I-LINE				LOAD DESCRIPTION				LOAD DESCRIPTION	
LOAD DESCRIPTION	PH	LOAD WATT	BKR	CKT NO	LOAD	CKT NO	BKR	LOAD	PH	LOAD	CKT NO	BKR
BLANK	A			1	0					A	BLANK	
	B				0					B		
	C				0					C		3 POLE
BLANK	A			3	0					A	BLANK	
	B				0					B		
	C				0					C		3 POLE
BLANK	A			5	0					A	BLANK	
	B				0					B	HEAT TAPE	
	C				0					C		2 POLE
BOILER	A			350	0					A	PANEL A	
	B				0					B		
	C				0					C		3 POLE
MAIN BREAKER	A			600	9	0				A	PANEL B	
	B				0					B		
	C				0					C		3 POLE
FEEDER BREAKER	TOTAL LOAD PER PHASE-WATTS			0	0	0	FEED FROM: SERVICE DISCONNECT					
RATING: 600A	TOTAL LOAD PER PHASE-AMPS			0	0	0	PANEL AIC RATING: 10,000					
WIRE SIZE: 2 RUNS OF 4-350 KCMIL CU & 1#1 CU GND	0.00 0.00 0.00			0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	CONDUIT SIZE: 2-3 1/2" C					

## EXISTING PANEL A TO BE RELOCATED AND REUSED

PANEL: A			PROJECT: 22-250 800 W. BROADWAY (EXISTING CONDITIONS)																		
VOLTAGE: 208 / 120 V			3 PH	4 WIRE	LOAD CENTER			AMPERE RATING: 150A			WITH 150A	MLO	MOUNTING: SURFACE								
BASIS OF DESIGN PANEL TYPE			LOAD CENTER			NEMA ENCLOSURE TYPE			1			PANEL AIC RATING: 10,000 AIC									
CKT NOTES:																					
1. GFCI FOR PERSONNEL PROTECTION (5mA) 2. GFEI FOR EQUIPMENT PROTECTION (30mA) 3. AFCI COMBINATION STYLE BREAKER 4. EXISTING BREAKER																					
CKT	DESCRIPTION	CKT NOTE	LOAD VA	LOAD AMPS	AMPS/ POLES	LOAD (VA)	A	B	C	AMPS/ POLES	LOAD VA	CKT NOTE	DESCRIPTION								
30	BOILER CONTROL	4	0.0	20	1	0				20	2	4	DRYER								
28	BACK RM. FRONT EXT LIGHTS	4	0.0	20	1	0				**	* 0.0	4	***								
26	A.C.	4	0.0	40	2	0				20	2	4	CHICAGO IRON								
24	***	4	0.0	**	*	0				**	* 0.0	4	***								
22	N. LIGHTS #1	4	0.0	20	1	0				20	3	4	COMPRESSOR								
20	N. LIGHTS #2, EM LIGHTS	4	0.0	20	1	0				**	* 0.0	4	***								
18	S. LIGHTS #1	4	0.0	20	1	0				30	3	4	DRY CLEANING MACHINE								
16	S. LIGHTS #2	4	0.0	20	1	0				**	* 0.0	4	***								
14	SEWING STATION OUTLETS #1	4	0.0	20	1	0				**	* 0.0										



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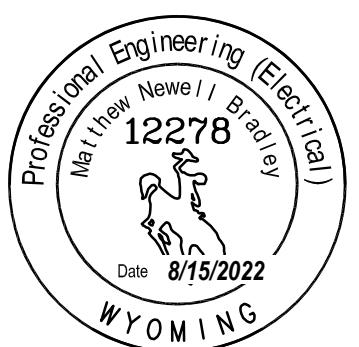
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PANEL: A			PROJECT: 22-250 800 W. BROADWAY (REVISED)																								
VOLTAGE: 208 / 120 V			3 PH			4 WIRE			AMPERE RATING: 150A			WITH 150A MLO			MOUNTING: SURFACE												
BASIS OF DESIGN PANEL TYPE			LOAD CENTER			NEMA ENCLOSURE TYPE			1			PANEL AIC RATING: 10000 AIC															
CKT NOTES:																											
1. GFCI FOR PERSONNEL PROTECTION (5mA) 5. NEW CIRCUIT BREAKER 2. GFEI FOR EQUIPMENT PROTECTION (30mA) 6. RELOCATE FROM EXIST PANEL B 3. AFCI COMBINATION STYLE BREAKER 4. EXISTING BREAKER																											
REMARKS:																											
CKT	DESCRIPTION	CKT NOTE	LOAD VA	LOAD AMPS	AMPS/ POLES	LOAD (VA)	A	B	C	AMPS/ POLES	LOAD VA	CKT NOTE	DESCRIPTION	CKT													
30	FURNACE F-1 (EXISTING)	4	1656	13.8	20 1	3715.2				35 2	19.8	2059	5	CU-2	29												
28	ERU-1	5	660	5.5	20 1		2719.2			** *	19.8	2059	5	***	27												
26	CU-1 (RELOCATED EXISTING)	4	3120	30.0	40 2			5370		30 2	21.6	2250	6	WATER HEATER	25												
24	***	4	3120	30.0	** *	5370				** *	21.6	2250	6	***	23												
22	REC - OFFICE	4	900	7.5	20 1		4900			50 2	36.5	4000	1	RANGE	21												
20	REC - KITCHENETTE COUNTER	4	360	3.0	20 1			4360		** *	36.5	4000	1	***	19												
18	REC - LOWER RR. HALL	4	360	3.0	20 1	360				20 1	0.0			BLANK	17												
16	REC - STAGING W.	4	900	7.5	20 1		900			30 3	0.0			SPARE	15												
14	REC - STAGING E	4	720	6.0	20 1			720		** *	0.0			***	13												
12	REC - UNLOADING	4	540	4.5	25 1	540				** *	0.0			***	11												
10	LTS - FRONT RETAIL AREA	4	828	6.9	20 1		2004			20 1	9.8	1176	1	FURNACE F-2	9												
8	LTS - LOFT	4	624	5.2	20 1			1524		20 1	7.5	900	5	REC - RETAIL EAST WALL	7												
6	LTS - STAGING/STORAGE	4	936	7.8	20 1	936				20 1	0.0			SPARE	5												
4	LTS - EM AND EXTERIOR/EM	4	732	6.1	20 1		1452			20 1	6.0	720	5	REC - RETAIL WEST	3												
2	LTS - CENTER AREA	4	130	1.1	20 1					670	20 1	4.5	540	5	REC - RETAIL/OFFICE WALL	1											
10921.2 11975.2 12644.0 VA 91.0 99.8 105.4 AMPS 35540 TOTAL VA																											

PANEL: B			PROJECT: 22-250 800 W. BROADWAY (REVISED)																								
VOLTAGE: 208 / 120 V			3 PH			4 WIRE			AMPERE RATING: 150A			WITH 150A MLO			MOUNTING: SURFACE												
BASIS OF DESIGN PANEL TYPE			LOAD CENTER			NEMA ENCLOSURE TYPE			1			PANEL AIC RATING: 10000 AIC															
CKT NOTES:																											
1. GFCI FOR PERSONNEL PROTECTION (5mA) 5. NEW CIRCUIT BREAKER 2. GFEI FOR EQUIPMENT PROTECTION (30mA) 3. AFCI COMBINATION STYLE BREAKER 4. EXISTING BREAKER																											
REMARKS:																											
CKT	DESCRIPTION	CKT NOTE	LOAD VA	LOAD AMPS	AMPS/ POLES	LOAD (VA)	A	B	C	AMPS/ POLES	LOAD VA	CKT NOTE	DESCRIPTION	CKT													
30	SPARE	4	0.0	20 2	4					20 1	0.0		4	SPARE	29												
28	***	4	0.0	** *	4					20 1	0.0		4	SPARE	27												
26	SPARE	4	0.0	20 1		2254				30 2	21.6	2250	4	WATER HEATER	25												
24	SPARE	4	0.0	20 1		2254				** *	21.6	2250	4	***	23												
22	SPARE	4	0.0	20 2		4004				50 2	36.5	4000	5	8 KW DUCT HEATER FOR ERU-1	21												
20	***	4	0.0	*** *	4					4004	** *	4000	5	***	19												
18	REC - ROOF		0.0	20 1	0					30 2	0.0		4	SPARE	17												
16	REC - LOFT SWALL	720	6.0	20 1		720				4	20 2	0.0		4	***	15											
14	SPARE	4	0.0	20 2			4			20 2	0.0		4	SPARE	13												
12	***	4	0.0	** *	4					** *	0.0		4	***	11												
10	REC - LOFT FLOOR DESKS	5	0.0	20 1		5				20 2	0.0		4	SPARE	9												
8	REC - LOFT FLOOR DESKS	5	0.0	20 1		5				5	** *	0.0		4	***	7											
6	REC - LOFT FLOOR DESKS	5	0.0	20 1	5					20 3	0.0		4	SPARE	5												

