



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☐ Parks and Recreation
- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: August 29, 2022

Item #: P22-155

Planner: Katelyn Page

Phone: 733-0440 ext. 1302

Email: kpage@jacksonwy.gov

Owner

Phenix Rising LLC
PO Box 7782
Jackson, WY 83002

Applicant

Melinda Dorion
PO Box 7650
Jackson, WY 83002

REQUESTS:

The applicant is submitting a REVISED request for a Basic Use Permit for change of use from Service to Retail for the property located at 800 W Broadway Ave. legally known as UNIT 5, GRAND TETON PLAZA CONDO PIDN: 22-41-16-33-2-01-005

For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by: September 12, 2022 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____
Physical Address: _____
Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

_____ Basic Use
_____ Conditional Use
_____ Special Use

Relief from the LDRs

_____ Administrative Adjustment
_____ Variance
_____ Beneficial Use Determination
_____ Appeal of an Admin. Decision

Physical Development

_____ Sketch Plan
_____ Development Plan
_____ Design Review

Subdivision/Development Option

_____ Subdivision Plat
_____ Boundary Adjustment (replat)
_____ Boundary Adjustment (no plat)
_____ Development Option Plan

Interpretations

_____ Formal Interpretation
_____ Zoning Compliance Verification

Amendments to the LDRs

_____ LDR Text Amendment
_____ Map Amendment

Miscellaneous

_____ Other: _____
_____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

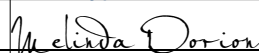
_____ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION
NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual: Matthew Ryan

Being duly sworn, deposes and says that Phenix Rising LLC is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 800 Broadway Ave Jackson WY 83001

Legal Description: Unit 5 of Grand Teton Plaza Condominiums Plat No 440

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Melinda Dorion

Mailing address of Applicant/agent: PO Box 7650 Jackson WY 83002

Email address of Applicant/agent: melinda.shirk@gmail.com

Phone Number of Applicant/agent: 307-690-4957

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☐ Development/Subdivision Plat Permit Application ☒ Building Permit Application
☐ Public Right of Way Permit ☐ Grading and Erosion Control Permit ☒ Business License Application
☐ Demolition Permit ☒ Other (describe) Change of Use Permit

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

[Signature]
Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Wyoming)
) SS.
COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Matthew Ryan this 15th day of May 2022. WITNESS my hand and official seal.

[Signature]
Notary Public

My commission expires:

JEFFREY CARLYLE
NOTARY PUBLIC
STATE OF WY COUNTY OF TETON
COMMISSION EXP 2/23/2025

August 16th, 2022

TC/22-242

Town of Jackson
Planning and Building Department
P.O. Box 1687
Jackson, WY 83001

ATTN: Katelyn Page, Associate Planner
SUBJECT: Grand Teton Plaza Shared Parking Plan Amendment (Unit 5/Elevated Living)

Dear Katelyn:

Attached is an amendment to the Grand Teton Plaza Shared Parking Plan/Table as requested per your review stated in "P22-155 Dept. Reviews". This submittal was required due to a change in use as listed in the submitted Basic Use Permit (P22-155) and as required per the original shared parking agreement with the Grand Teton Plaza HOA and Town of Jackson. An updated "Parking Analysis Table" is enclosed to show changes in unit square footage and parking demand for Elevated Design. The data given in the table has not significantly changed from the previously provided information from past change in uses for other businesses other than that which pertains to 800 W. Broadway Ave., owned by Chateau Des Alpine, LLC, formerly O-Ryan's Cleaners.

As the "Parking Analysis Table" shows, the peak demand figure reaches 195.9 spaces, which is still significantly less than the available 227 parking spaces at the plaza, (site plan enclosed). Therefore, it is the conclusion of this amendment that there is adequate parking in the Grand Teton Plaza and First Interstate Bank Parking Lots for the current tenants including Elevated Design.

If you have any questions, or require additional information or clarification to that which is presented, please feel free to contact me at (307) 733-2087.

Sincerely,

Taylor R. Cook

Taylor R. Cook, LEED, MCRP
Project Manager
Encl.

Grand Teton Plaza Shared Parking Plan
As Amended 8/16/22 (per accompanying Nelson Engineering letter)

Parking Spaces per 1000sf
Amount or Size / Unit
Amount or Size / Unit
Peak Parking Demand

sf	Boot Barn		Jackson Hole Health and Fitness ¹		Plaza Liquors		Eleanor's Again Bar and Grill		Stone Drug		Hong Kong Buffet		Pursue ²		Jackson Parlour (Service) ²		Earth Elements Interior Design (Retail), Formerly Knobe's Radio Shack ³		Elevated Design (Formerly O'Ryan's Cleaners)		First Interstate Bank (Drive-through and Walk-in)		First Interstate Bank (Bank Loan Center)			
	3.16		4		3.16				3.16				4		3		3.16		3.16		3		3			
	7695	GFA sf	1193	aerobics sf	2872	GFA sf	2703	GFA sf	6890	GFA sf	3477	GFA sf	667	exercise sf	1650	GFA sf	8238	GFA sf	2660	GFA sf	5000	GFA sf	13921	GFA sf		
	na		52	ea	na		42	seats	na		74	seats	29	ea	na				810	(Loft) GFA s	na		na			
	24.3		38.1		9.1		14.0		21.8		24.6		21.2		5.0		26.0		5.9		15.0		41.8			
	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Total Demand	
5:00 AM	0%	0	14%	5.3	0%	0	0%	0	0%	0	0%	0	14%	3.0	0%	0	0%	0	0%	0	0%	0	0%	0	8.3	
6:00 AM	0%	0	60%	22.8	0%	0	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	0%	0	0%	0	44.1	
7:00 AM	0%	0	47%	17.9	0%	0	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	0%	0	19%	7.9	47.0	
8:00 AM	0%	0	71%	27.0	0%	0	0%	0	0%	0	0%	0	27%	5.7	0%	0	0%	0	0%	0.0	80%	12.0	64%	26.7	71.5	
9:00 AM	30%	7.3	47%	17.9	80%	7.3	0%	0	35%	7.6	0%	0	50%	10.6	50%	2.5	50%	13.0	45%	2.7	80%	12.0	91%	38.0	118.8	
10:00 AM	55%	13.4	45%	17.1	80%	7.3	0%	0	35%	7.6	85%	20.9	14%	3.0	50%	2.5	50%	13.0	51%	3.0	100%	15.0	99%	41.3	144.1	
11:00 AM	75%	18.2	64%	24.4	80%	7.3	0%	0	35%	7.6	92%	22.6	14%	3.0	50%	2.5	75%	19.5	67%	4.0	100%	15.0	99%	41.3	165.4	
12:00 PM	90%	21.9	58%	22.1	80%	7.3	0%	0	35%	7.6	100%	24.6	100%	21.2	100%	5.0	75%	19.5	72%	4.2	100%	15.0	98%	40.9	189.3	
1:00 PM	100%	24.3	47%	17.9	100%	9.1	0%	0	61%	13.3	90%	22.1	100%	21.2	100%	5.0	90%	23.4	70%	4.1	100%	15.0	96%	40.1	195.5	
2:00 PM	100%	24.3	32%	12.2	100%	9.1	0%	0	51%	11.1	53%	13.0	27%	5.7	100%	5.0	90%	23.4	75%	4.4	100%	15.0	100%	41.8	165.0	
3:00 PM	100%	24.3	40%	15.2	100%	9.1	0%	0	86%	18.7	42%	10.3	14%	3.0	100%	5.0	75%	19.5	72%	4.2	80%	12.0	99%	41.3	162.7	
4:00 PM	95%	23.1	66%	25.1	80%	7.3	22%	3.1	58%	12.6	42%	10.3	75%	15.9	50%	2.5	90%	23.4	71%	4.2	80%	12.0	90%	37.6	177.1	
5:00 PM	85%	20.7	100%	38.1	80%	7.3	60%	8.4	65%	14.2	76%	18.7	100%	21.2	50%	2.5	75%	19.5	70%	4.1	80%	12.0	58%	24.2	190.8	
6:00 PM	80%	19.5	65%	24.7	80%	7.3	94%	13.2	100%	21.8	83%	20.4	100%	21.2	0%	0	0%	0	10%	0.6	0%	0	0%	0	128.6	
7:00 PM	75%	18.2	42%	16.0	80%	7.3	100%	14.0	84%	18.3	63%	15.5	27%	5.7	0%	0	0%	0	10%	0.59	0%	0	0%	0	95.6	
8:00 PM	65%	15.8	12%	4.6	80%	7.3	81%	11.3	68%	14.8	66%	16.2	10%	2.1	0%	0	0%	0	10%	0.59	0%	0	0%	0	72.7	
9:00 PM	0%	0	6%	2.3	80%	7.3	84%	11.8	35%	7.6	63%	15.5	10%	2.1	0%	0	0%	0	0%	0	0%	0	0%	0	46.5	
10:00 PM	0%	0	0%	0	0%	0	0%	0	35%	7.6	48%	11.8	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	20.5	
11:00 PM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	1.1	
12:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4	
1:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4	
2:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2	
3:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2	
4:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4	
Total Spaces Available:																								227		

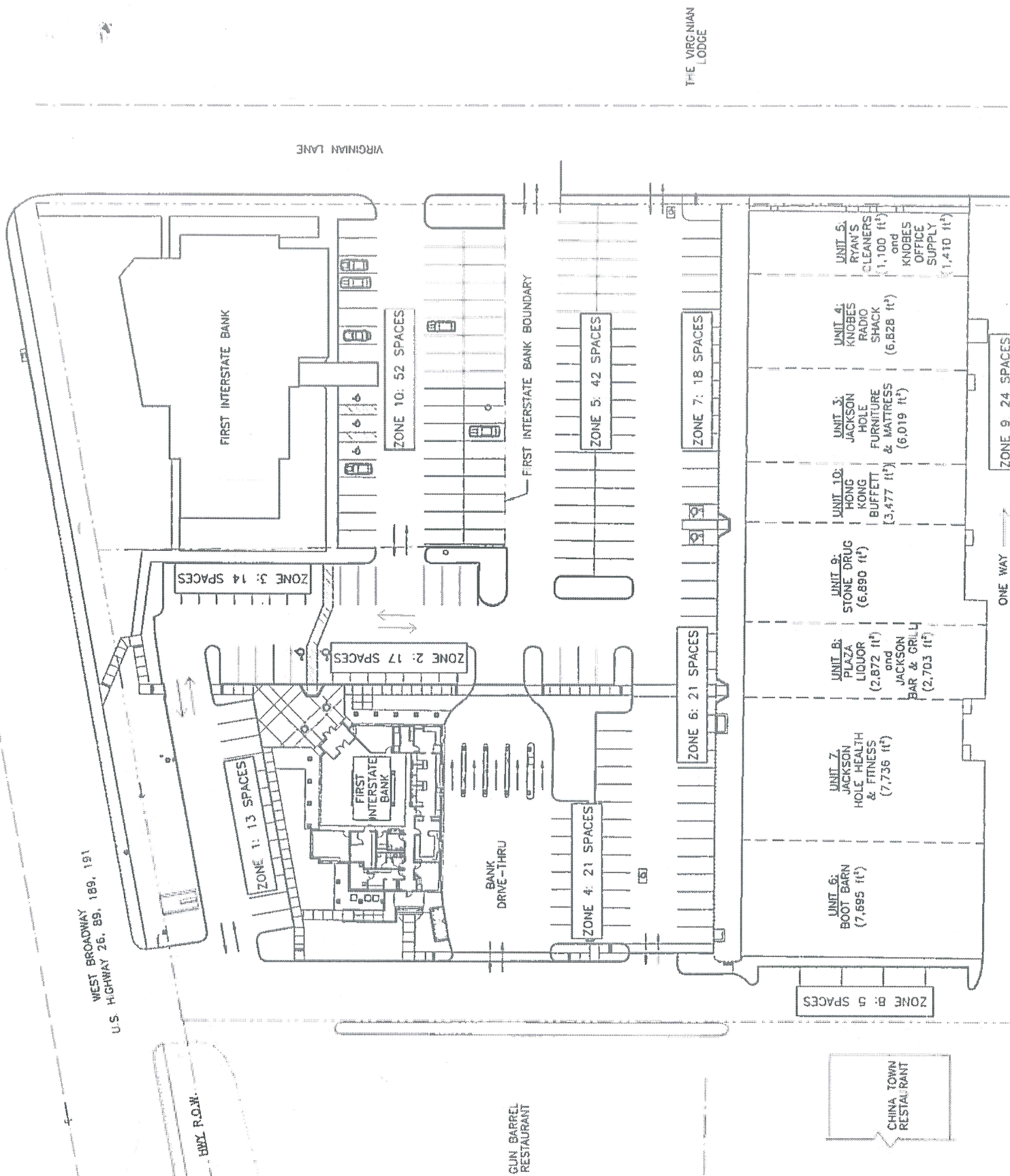
Total Spaces Available: 227

Notes:

1) 52 machines, machine utilization rate 64%, 1193sf other activity, 4 spaces per 1000sf, 2 saunas. Peak Parking Demand = (52*0.64)+(1193sf*4spaces/1000sf) = 38.1 spaces

2) 820 West Broadway, formerly the location of Jackson Hole Mattress and Furniture, has been remodeled and split into two spaces: Space 1 houses Pursue boutique fitness studio with 3850sf on the main floor and 29 machines, machine utilization rate of 64%, and 1000sf of loft exercise space at 4 spaces per 1000sf, Peak Parking Demand = (29*0.64)+(667sf*4spaces/1000sf) = 21.2 spaces, 24-hour gym access is included; and Space 2 is Jackson Parlour (Salon) with 1650sf on the main floor.

3) Retail Space Formerly Knobe's Radio Shack, area corrected from 6019sf to 6828sf as numbers for Jackson Hole Mattress and Knobe's Radio Shack were previously transposed; this space is now Earth Elements, an interior design store.



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DD/19-172-01

January 29, 2020

Town of Jackson
Planning and Building Department
P.O. Box 1687
Jackson, WY 83001

ATTN: Tyler Valentine, Associate Planner
SUBJECT: Grand Teton Plaza Shared Parking Plan Amendment

Dear Tyler:

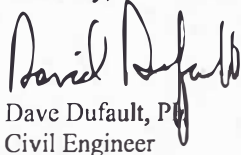
Attached is an amendment to the Grand Teton Plaza Shared Parking Plan. This submittal was required due to a change in tenants for one of the two spaces located at 820 W. Broadway Ave and supersedes the submittal of June 19, 2019, as more information regarding the new tenant's operation has been provided to Nelson Engineering and the Town of Jackson. An update to the "Alternative #5/Town Recommendation" table is enclosed. The data given in the table has not changed from the previously provided information other than that which pertains to 820 W. Broadway Ave., owned by Teton Plaza Holdings, LLC and the correction of minor errors/typo; the data is now also consistently presented to the 10th decimal place.

820 W. Broadway, owned by Teton Plaza Holdings, LLC, formerly the location for Jackson Hole Mattress and Furniture was remodeled and split into two spaces in 2016: Space 2 is home to Jackson Parlour with 1650sf on the main floor, and Space 1 previously housed TGT Sticker with 3850sf on the main floor and 1000sf of loft space but is now rented to Pursue Boutique Fitness Studio. The studio/equipment space is located on the main floor, which includes two bathrooms, and the loft space is split into two uses: 667sf of yoga space and 333sf of mechanical closet and storage space. One employee is onsite approximately 10 hours per week and instructors come and go according to class schedules.

Per the amendment to Alternative #5/Town Recommendation table, the peak demand figure has increased from 186.2 spaces, required to meet the total demand, to 194.3 spaces, still significantly less than the available 227 parking spaces at the plaza, which remain the same (site plan enclosed). Therefore, it is the conclusion of this amendment that there is adequate parking in the Grand Teton Plaza and First Interstate Bank Parking Lots for the current tenants including Pursue.

If you have any questions, or require additional information or clarification to that which is presented, please feel free to contact me at (307) 733-2087.

Sincerely,


Dave Dufault, PE
Civil Engineer

Encl.

cc. w/ encl. Teton Plaza Holdings, LLC

ph 307.733.2087 | fx 307.733.4179 | PO Box 1599 | 430 South Cache | Jackson, Wyoming 83001



WEST BROADWAY
U.S. HIGHWAY 26, 89, 189, 191

WAY R.O.W.

GUN BARREL
RESTAURANT

CHINA TOWN
RESTAURANT

ZONE 8: 5 SPACES

UNIT 6:
BOOT BARN
(7,695 sq ft)

UNIT 7:
JACKSON
HOLE HEALTH
& FITNESS
(7,736 sq ft)

UNIT 8:
PLAZA
LIQUOR
(2,872 sq ft)
and
JACKSON
BAR & GRILL
(2,703 sq ft)

UNIT 9:
STONE DRUG
(6,890 sq ft)

UNIT 10:
HONG
KONG
BUFFET
(3,477 sq ft)

UNIT 3:
JACKSON
HOLE
FURNITURE
& MATTRESS
(6,019 sq ft)

UNIT 4:
KNOBES
RADIO
SHACK
(6,828 sq ft)

UNIT 5:
RYAN'S
CLEANERS
(1,100 sq ft)
and
KNOBES
OFFICE
SUPPLY
(1,410 sq ft)

ONE WAY

ZONE 9: 24 SPACES

ZONE 1: 13 SPACES

FIRST INTERSTATE BANK

BANK
DRIVE-THRU

ZONE 4: 21 SPACES

ZONE 2: 17 SPACES

ZONE 3: 14 SPACES

ZONE 10: 52 SPACES

FIRST INTERSTATE BANK BOUNDARY

ZONE 5: 42 SPACES

ZONE 6: 21 SPACES

ZONE 7: 18 SPACES

FIRST INTERSTATE BANK

VIRGINIAN LANE

THE VIRGINIAN
LODGE

N

Grand Teton Plaza Shared Parking Plan
As Amended 1/29/20

Parking Spaces per 1000sf
Amount or Size / Unit
Amount or Size / Unit
Peak Parking Demand

	Boot Barn		Jackson Hole Health and Fitness ¹		Plaza Liquors		Eleanor's Again Bar and Grill		Stone Drug		Hong Kong Buffet		Pursue ²		Jackson Parlour (Service) ³		Earth Elements Interior Design (Retail), Formerly Knobe's Radio Shack ³		O'Ryan Cleaners		First Interstate Bank (Drive-through and Walk-In)		First Interstate Bank (Bank Loan Center)		
	3.16		4		3.16				3.16				4		3		3.16		3.16		3		3		
	7695	GFA sf	1193	aerobics sf	2872	GFA sf	2703	GFA sf	6890	GFA sf	3477	GFA sf	667	exercise sf	1650	GFA sf	8238	GFA sf	1100	GFA sf	5000	GFA sf	13921	GFA sf	
	na		52	ea	na		42	seats	na		74	seats	29	ea	na		na		na		na		na		
	24.3		38.1		9.1		14.0		21.8		24.6		21.2		5.0		26.0		3.5		15.0		41.8		
	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Hourly Variation	Peak Hourly Demand	Total Demand
5:00 AM	0%	0	14%	5.3	0%	0	0%	0	0%	0	0%	0	14%	3.0	0%	0	0%	0	0%	0	0%	0	0%	0	8.3
6:00 AM	0%	0	60%	22.8	0%	0	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	0%	0	0%	0	44.1
7:00 AM	0%	0	47%	17.9	0%	0	0%	0	0%	0	0%	0	100%	21.2	0%	0	0%	0	0%	0	0%	0	19%	7.9	47.0
8:00 AM	0%	0	71%	27.0	0%	0	0%	0	0%	0	0%	0	27%	5.7	0%	0	0%	0	16%	0.6	80%	12.0	64%	26.7	72.0
9:00 AM	30%	7.3	47%	17.9	80%	7.3	0%	0	35%	7.6	0%	0	50%	10.6	50%	2.5	50%	13.0	55%	1.9	80%	12.0	91%	38.0	118.1
10:00 AM	55%	13.4	45%	17.1	80%	7.3	0%	0	35%	7.6	85%	20.9	14%	3.0	50%	2.5	50%	13.0	57%	2.0	100%	15.0	99%	41.3	143.1
11:00 AM	75%	18.2	64%	24.4	80%	7.3	0%	0	35%	7.6	92%	22.6	14%	3.0	50%	2.5	75%	19.5	84%	2.9	100%	15.0	99%	41.3	164.3
12:00 PM	90%	21.9	58%	22.1	80%	7.3	0%	0	35%	7.6	100%	24.6	100%	21.2	100%	5.0	75%	19.5	84%	2.9	100%	15.0	98%	40.9	188.0
1:00 PM	100%	24.3	47%	17.9	100%	9.1	0%	0	61%	13.3	90%	22.1	100%	21.2	100%	5.0	90%	23.4	83%	2.9	100%	15.0	96%	40.1	194.3
2:00 PM	100%	24.3	32%	12.2	100%	9.1	0%	0	51%	11.1	53%	13.0	27%	5.7	100%	5.0	90%	23.4	94%	3.3	100%	15.0	100%	41.8	163.9
3:00 PM	100%	24.3	40%	15.2	100%	9.1	0%	0	86%	18.7	42%	10.3	14%	3.0	100%	5.0	75%	19.5	90%	3.1	80%	12.0	99%	41.3	161.6
4:00 PM	95%	23.1	66%	25.1	80%	7.3	22%	3.1	58%	12.6	42%	10.3	75%	15.9	50%	2.5	90%	23.4	81%	2.8	80%	12.0	90%	37.6	175.7
5:00 PM	85%	20.7	100%	38.1	80%	7.3	60%	8.4	65%	14.2	76%	18.7	100%	21.2	50%	2.5	75%	19.5	93%	3.2	80%	12.0	58%	24.2	189.9
6:00 PM	80%	19.5	65%	24.7	80%	7.3	94%	13.2	100%	21.8	83%	20.4	100%	21.2	0%	0	0%	0	100%	3.5	0%	0	0%	0	131.5
7:00 PM	75%	18.2	42%	16.0	80%	7.3	100%	14.0	84%	18.3	63%	15.5	27%	5.7	0%	0	0%	0	0%	0	0%	0	0%	0	95.0
8:00 PM	65%	15.8	12%	4.6	80%	7.3	81%	11.3	68%	14.8	66%	16.2	10%	2.1	0%	0	0%	0	0%	0	0%	0	0%	0	72.1
9:00 PM	0%	0	8%	2.3	80%	7.3	84%	11.8	35%	7.6	63%	15.5	10%	2.1	0%	0	0%	0	0%	0	0%	0	0%	0	46.5
10:00 PM	0%	0	0%	0	0%	0	0%	0	35%	7.6	48%	11.8	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	20.5
11:00 PM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	5%	1.1	0%	0	0%	0	0%	0	0%	0	0%	0	1.1
12:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4
1:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4
2:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2
3:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	1%	0.2	0%	0	0%	0	0%	0	0%	0	0%	0	0.2
4:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	2%	0.4	0%	0	0%	0	0%	0	0%	0	0%	0	0.4
Total Spaces Available:																									227

- Notes:
- 1) 52 machines, machine utilization rate 64%, 1193sf other activity, 4 spaces per 1000sf, 2 saunas. Peak Parking Demand = $(52 \times 0.64) + (1193 \times 4 \text{ spaces} / 1000\text{sf}) = 38.1 \text{ spaces}$
 - 2) 820 West Broadway, formerly the location of Jackson Hole Mattress and Furniture, has been remodeled and split into two spaces: Space 1 houses Pursue boutique fitness studio with 3850sf on the main floor and 29 machines, machine utilization rate of 64%, and 1000sf of loft exercise space at 4 spaces per 1000sf, Peak Parking Demand = $(29 \times 0.64) + (667 \times 4 \text{ spaces} / 1000\text{sf}) = 21.2 \text{ spaces}$, 24-hour gym access is included; and Space 2 is Jackson Parlour (Salon) with 1650sf on the main floor.
 - 3) Retail Space Formerly Knobe's Radio Shack, area corrected from 6019sf to 6828sf as numbers for Jackson Hole Mattress and Knobe's Radio Shack were previously transposed; this space is now Earth Elements, an interior design store

GRAND TETON PLAZA
PARKING ALLOCATION AGREEMENT

This agreement is made and entered into to be effective as of the 11-1-01 day of May, 2001, by and between CPR, LTD, a Wyoming corporation, Jack L. Stone and JoAnn Stone, Elizabeth W. McCabe, as Trustee of The Elizabeth W. McCabe Revocable Trust dated February 28, 1995 and as Amended and Restated on August 15, 1998 and any Amendments thereto, Thomas S. Yearsley and Ruth M. Hawkins.

WITNESSETH

WHEREAS, the Owners, at the request of the Town of Jackson resulting from an application for an increase in the number of exercise stations in the Jackson Hole Athletic Club occupying a portion of Unit 1, have commissioned and have completed a Parking Study by Morrison-Maierle Inc. of Helena, Montana, to confirm the availability of parking for existing and assumed commercial use of the Condominium Units owned by each of the above named Owners; and

WHEREAS, the Parking Study is concluded and reflects the fact that it is the determination, finding and opinion of the consultants that there is adequate parking in the Grand Teton Plaza parking lot to service the banking facilities constructed and to be operated by First Interstate Bank, plus sufficient capacity to handle an assumed retail use of each of the units specifically including the lofts constructed by individual Unit Owners within their individual units and the athletic club and restaurant uses based upon thirty (30) exercise stations for the athletic club and seventy six (76) seats for the restaurant all as more particularly set forth in the Parking Study done by Morrison-Maierle Inc. and dated January 26th, 2001; and

WHEREAS, the parties have the 30th day of June, 2000, entered into an agreement for Amendment of Declaration of Condominium for Grand Teton Plaza whereby parking spaces in the common area of the condominium development are to be initially allocated to the Unit Owners based on a pro rata square footage allocation; and

WHEREAS, as a result of uses with greater parking demand than ordinary retail uses and the construction of lofts within a number of the units, the Owners of Units 1, 2, 3, and 4 have currently exceeded the pro rata allocation of parking spaces allowable to them; and

WHEREAS, the Parking Study reflects that, based upon the analysis contained therein, there is sufficient parking available for additional uses over and above the assumed full retail use for Units 3, 4, and 5 and portions of Units 1 and 2 dedicated to retail use; and

WHEREAS, the parties wish to enter into an agreement that will allow a further allocation of spaces for expansion or replacement of existing businesses while remaining within the overall parking lot capacity in accordance with the January 26th, 2001 Parking Study; and

WHEREAS, the parties wish to establish a reasonable charge for allocation of spaces to a business that are in excess of the basic allocation of 3.23 spaces per 1000 square feet of ground floor and loft area as set forth in the Parking Study;

NOW THEREFORE, it is hereby agreed by and between the parties as follows:

1. The existing and assumed uses as contained in Table 13 of the January 26th, 2001 Parking Study reduced by thirteen (13) restaurant seats for the business known as Hong Kong Buffet and twelve (12) exercise stations or pieces of exercise equipment for the Jackson Hole Athletic Club, plus utilization of all loft areas within each of the individual units as presently constructed as of the date of this agreement assumed to be utilized at the full retail parking figure of 3.23 spaces per one thousand square feet, is the minimum number of spaces that each Unit Owner shall be authorized to utilize for so long as those businesses continue. Parking that is not assigned to one of the specific Unit Owners shall thereafter be designated as "Pool Spaces". "Pool Spaces" shall be, as used in this agreement, those spaces available based on the Parking Study or any future Parking Study undertaken by the Owners jointly or any Owner individually that are over and above the 3.23 spaces per one thousand square feet of ground floor and loft space, 74 Restaurant seats and 30 Athletic Club exercise stations, which are the grandfathered uses of the parties.

2. The parties agree that the Parking Study reflects that there are up to 15 "Pool Spaces" available over and above the current "grandfathered" assumed needs of the units with their existing businesses. Any reduction in uses by any of the Tenants/Owners down to the amount to which they would be entitled based on an assumption of 3.23 spaces per one thousand square feet of ground floor and loft space shall also become "Pool Spaces".

3. "Pool Spaces" may be utilized by an individual Unit Owner for expansion of existing businesses or other owners or tenant businesses or loft space provided that approval of such utilization of such Pool Spaces is obtained in advance, in writing from the Owners Association.

4. The procedure for allocation of Pool Spaces shall be as follows:

a. An applicant shall apply to the Owners Association in writing for utilization of Pool Spaces. The application shall reference the January 26th, 2001 Parking Study as the basis for determining the availability of parking and shall show the availability of spaces based upon the Parking Study.

b. The application for use shall be for a period of time not longer than the initial term of any proposed lease for facilities, which will utilize the parking.

c. The request will not become effective unless it shall have been approved in writing by Owners as follows:

i. In the event the request for utilization of Pool Spaces is greater than the number of Pool Spaces multiplied by the percentage ownership Common Elements owned by that Unit Owner then one hundred percent (100%) of the total ownership interests in the common facilities must approve.

ii. In the event the requested number of Pool Spaces is less than the number of Pool Spaces multiplied by the percentage ownership of the applicant then approval shall require only a simple majority vote of the ownership interests.

iii. At the termination of the initial term of the lease for which Pool Parking Units are allocated, the Owner of the unit may request a renewal of the allocation, but that Owner shall have no preferential right to renewal and competing applications for utilization of those spaces shall be given equal consideration for approval. Nothing in this paragraph shall however be deemed or construed to prohibit the renewal of such allocation if Owners of the requisite ownership interests as set forth above approve.

d. Each successful applicant shall agree that in consideration of the use of the pool Spaces the applicant will pay an additional assessment equal to the total budget of the Owners Association divided by one hundred forty four (144) parking spaces and multiplied by the number of Pool Parking Spaces approved for use of that applicant. This assessment will be an annual assessment payable during each year of the term of the lease.

5. Each member of the Grand Teton Plaza Owners Association shall be entitled to enforce the terms and provisions of this agreement. Enforcement may specifically include extraordinary remedies such as injunctive relief, including affirmative injunctions requiring cessation of uses attendant with and dependent upon "Pool Space" allocations, which have been terminated or have expired with the initial term of the lease.

6. This agreement shall be enforceable as a contract by any party to the agreement against any other party and by or against any successor in interest of any party hereto in the ownership of one of the Grand Teton Plaza Condominium Units. A Memorandum of this agreement shall be recorded in the real property records of Teton County, Wyoming with respect to each of the individual condominium units and this agreement shall be deemed and construed to be a covenant running with the land and airspace interests unless and until it shall be

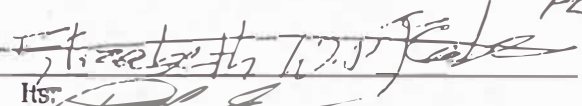

modified or revoked by a document in writing signed by all of the Owners of Condominium Units and recorded in the Office of the Teton County Clerk, Teton County, Wyoming.

7. In any enforcement action brought pursuant to this agreement and covenant, the prevailing party shall be entitled to recover, in addition to all other relief granted, a reasonable sum as and for attorney's fees and costs incurred.

IN WITNESS WHEREOF, the parties have hereunto set their hands to be effective as of the day and year first above written.

Unit No 1. Owner

CPR LTD, a Wyoming corporation

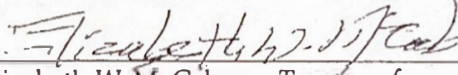
By:  ^{PLC}
Its: 
V. PRES.

Unit No 2. Owner

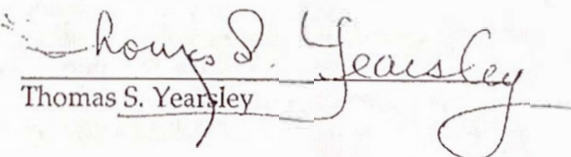

Jack L. Stone


Jo Ann Stone

Unit No 3. Owner


Elizabeth W. McCabe, as Trustee of
The Elizabeth W. McCabe Revocable
Trust dated February 28, 1995 and as
Amended and Restated on August 15,
1998 and any Amendments thereto.

Unit No 4. Owner & Mortgagee:


Thomas S. Yearley

Unit No 5. Owner & Mortgagee:

Ruth M. Hawkins
Ruth M. Hawkins

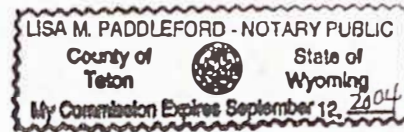
STATE OF Wyoming)
COUNTY OF Teton) ss.

The foregoing instrument was acknowledged before me by Debra L. Cook
as Vice President of CPR LTD, a Wyoming corporation this
16th day of June, 2001.

Witness my hand and official seal.

Lisa M. Paddleford
Notary Public

My Commission Expires: 9/12/2004



STATE OF Wyoming)
COUNTY OF Lincoln) ss.

The foregoing instrument was acknowledged before me by Jack L. Stone
and JoAnn Stone this 4 day of June, 2001.

Witness my hand and official seal.

Jared B. Gleue
Notary Public

My Commission Expires: 10/24/04



STATE OF WYOMING)
) ss.
COUNTY OF TETON)



The foregoing instrument was acknowledged before me by Elizabeth W. McCabe, as Trustee of the Elizabeth W. McCabe Revocable Trust, dated February 28, 1995 and as Amended and Restated on August 15, 1998 and any Amendments thereto this 19th day of July, 2001.

Witness my hand and official seal.

Barbara E. Finkelson
Notary Public

My Commission Expires: June 3, 2002

STATE OF Wyoming)
) ss.
COUNTY OF Park)



The foregoing instrument was acknowledged before me by Thomas S. Yearsley this 24th day of June, 2001.

Witness my hand and official seal.

Celeste A. Dannemiller
Notary Public

My Commission Expires:

STATE OF Wyoming)
) ss.
COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Ruth M. Hawkins this 26th day of June, 2001.

Witness my hand and official seal.



Stephanie Dell'Ime
Notary Public

My Commission Expires: June 25, 2003



800 WEST BROADWAY

ELEVATED LIVING

Application to Change BUP fro Service to Retail

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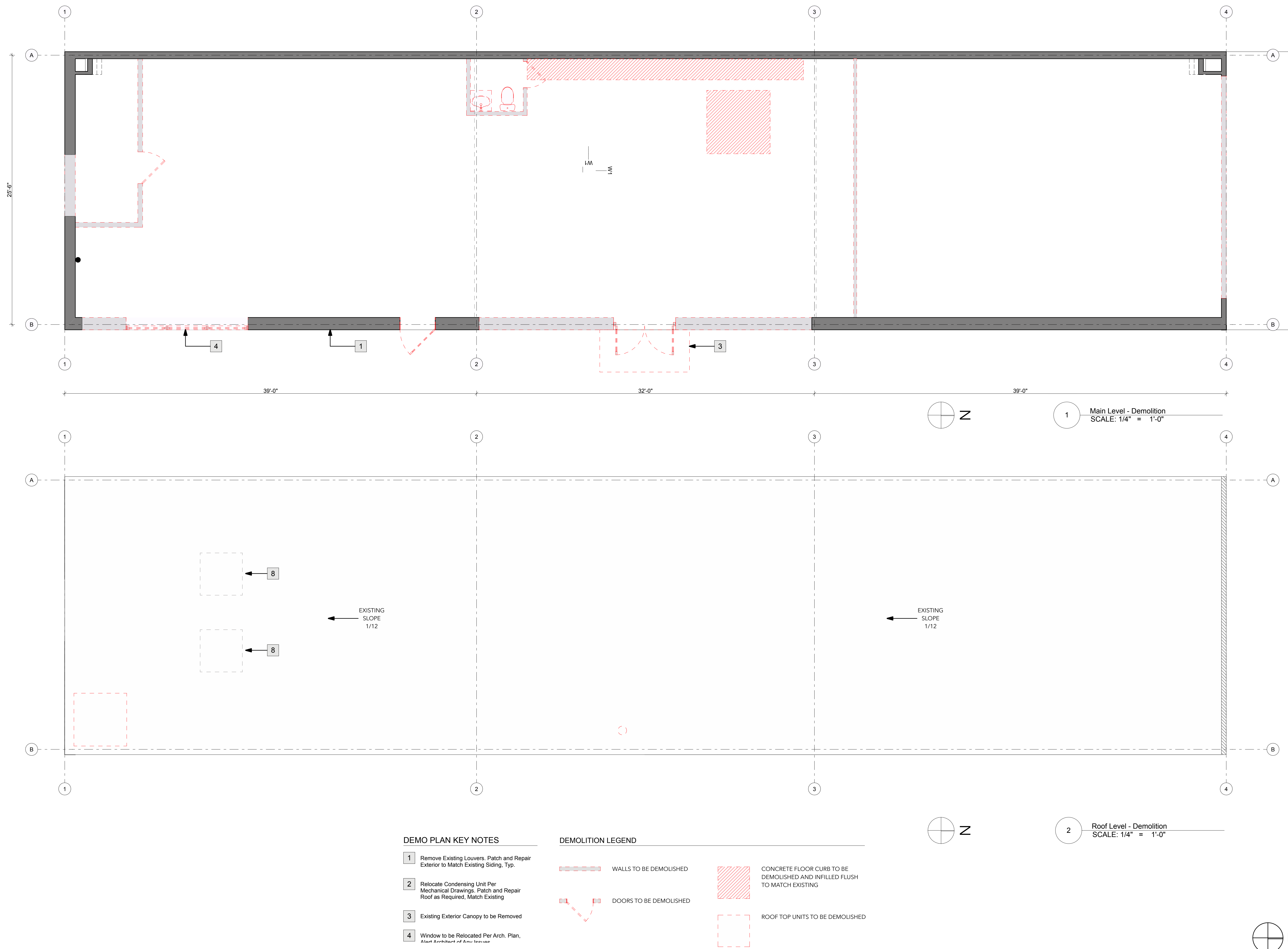
ELEVATED LIVING

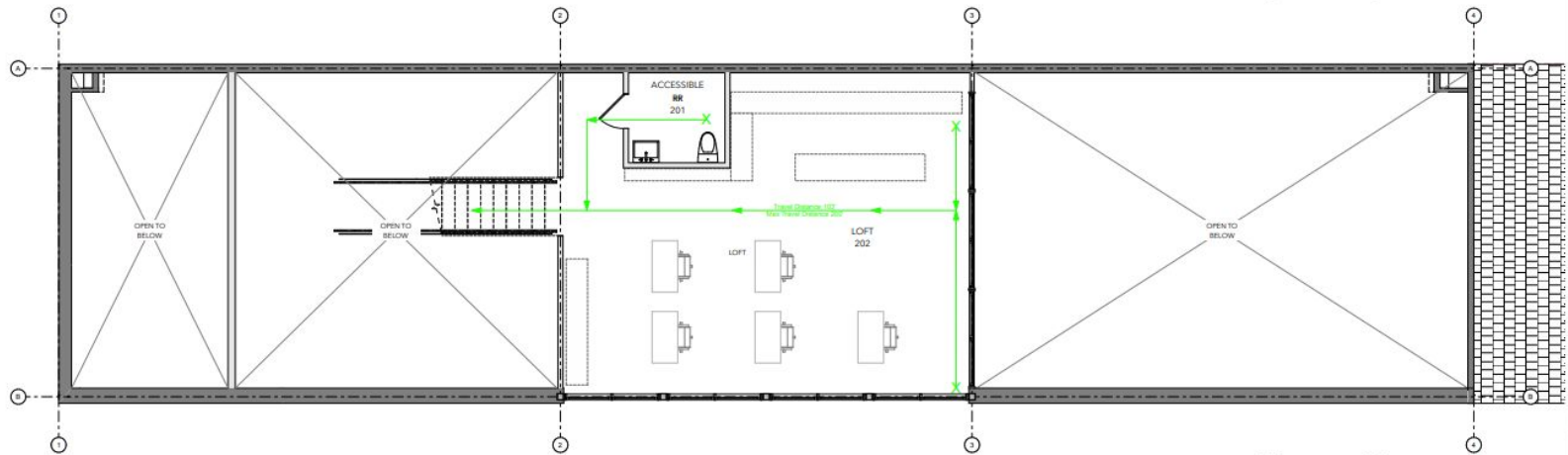
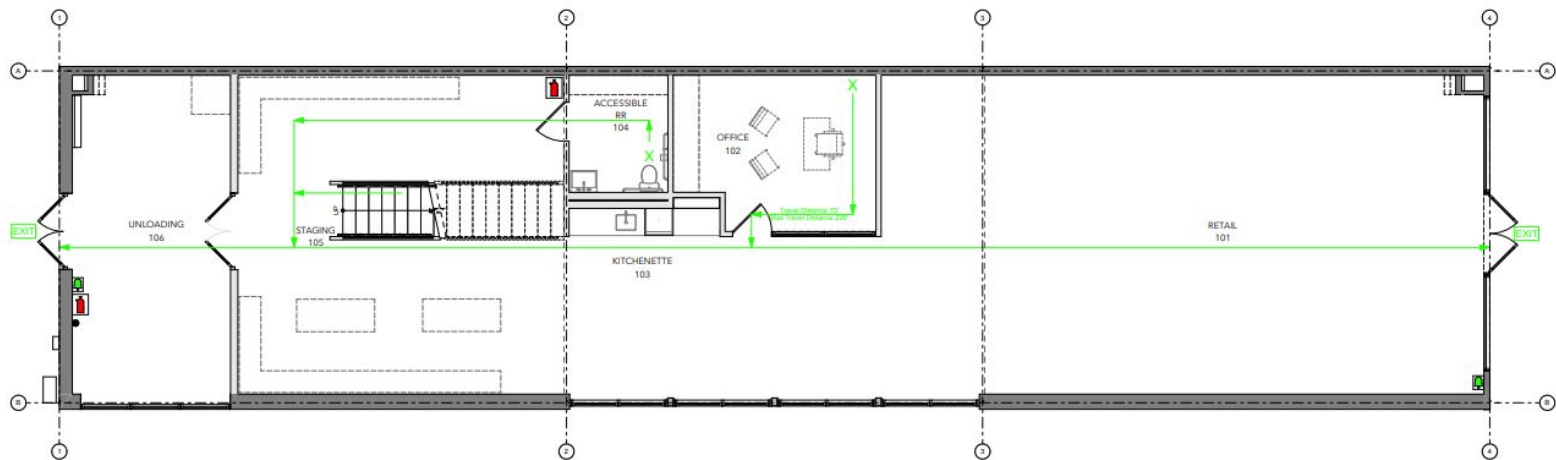
800 W Broadway
Jackson WY 83001

DATE:	8/18/2024
PROJECT #:	JH2203
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/2024

A102

Demolition Plans





EGRESS PLAN KEY NOTES

EGRESS LEGEND

1 Main Level - Egress
SCALE: 1/4" = 1'-0"

2 Upper Level - Egress
SCALE: 1/4" = 1'-0"

FARMERPAYNE

ARCHITECTS

Design Team
 2020 Farmer Payne Architects, LLC
 10/20/2020

Rev Notes
 001 10/20/2020
 002 10/20/2020
 003 10/20/2020

Location
 9100 Parkview Blvd, Suite 101
 Jackson, MS 39209
 601.978.1111

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ARCHITECT STAMP

PERMIT SET

ELEVATED LIVING

800 W Broadway

Jackson WY 83001

DATE: 08/18/22

PROJECT #: 210205

DRAWN: 634

ISSUE:

Permit Set: 08/18/22

Description of Use Narrative:
Elevated Living by Stockton and Shirk Interior Design Business Narrative

Elevated Living by Stockton and Shirk Interior Designs's is a high - end boutique furniture and interior design showroom. The business transitioned from Cabin Fever into Pamela Stockton Interiors and now 35 years later, has grown into Elevated Living. The firm is currently located at 745 West Broadway. With the opportunity to own our own commercial space in Teton County, we are relocating to 800 West Broadway. The business objective is to serve homeowners w/ quality design services. The new showroom will feature furniture vignettes and home accessories for $\frac{2}{3}$ of the space. The remaining $\frac{1}{3}$ will be designated to a sample library for custom upholstery and fabrication. The primary objective of the company is Interior Design focused. This requires team members to work offsite on location rather than from a traditional office. The retail location will allow potential and existing clients the opportunity to purchase furniture without waiting on long lead time items.

Housing Mitigation Plan : Elevated Living

Previous Use:

Service @ 2,650 SF. Credit based on Calculator is 0.572

Proposed use:

Retail @ 3470 SF. Credit based on Calculator is 0.749

Affordable Workforce Housing Required

810 SF Add.

Fee in Lieu Amount

\$48,105.13

Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates.

These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
retail	0.000216*sf		2650	1	0.572

Existing Workforce Housing Credit 0.572

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
retail	0.000216*sf		3470	1	0.749

Affordable Workforce Housing Required: 0.177 units

Fee-in-Lieu Amount: \$ 48,105.13

Elevated Living

800 W Broadway

Jackson, WY 83001

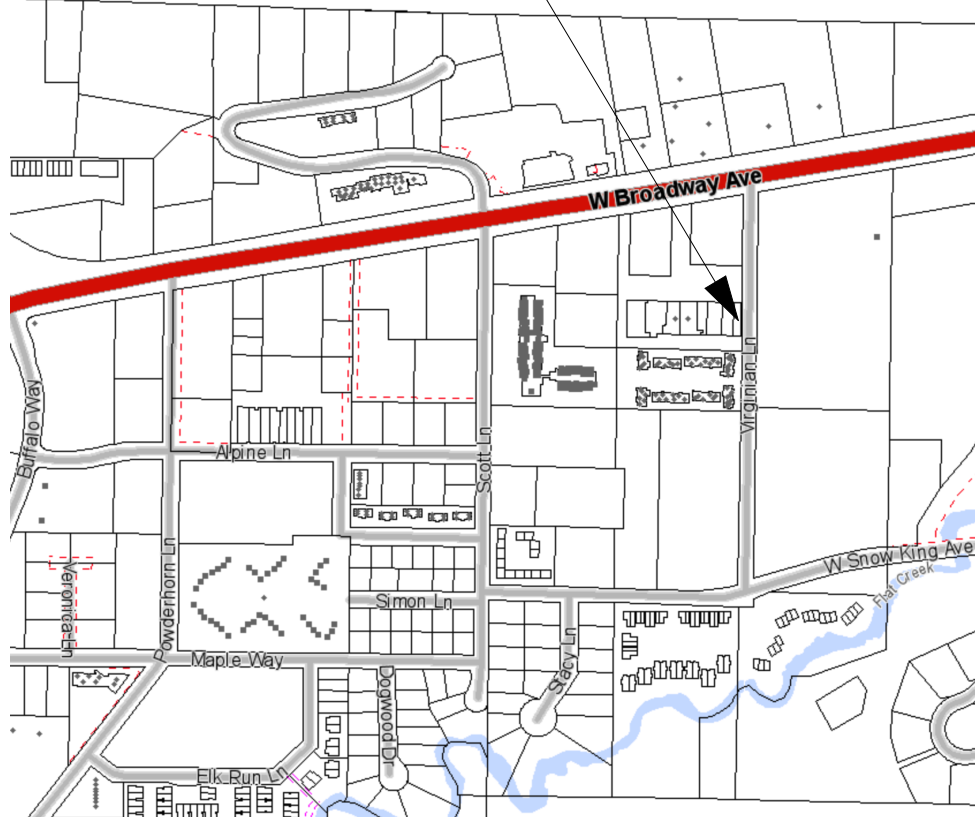
PROJECT DIRECTORY

Architect:	Farmer Payne Architects Jamie Farmer, Principal, AIA, LEED AP 260 W Broadway, Suite A Jackson, WY 83001 t: 307.264.0080 e: jamie@farmerpaynearchitects.com
Contractor:	Timothy J Raver Construction Timothy Raver PO Box 2315 Jackson, WY 83001 t: 307.733.4675 e: timothyraver@yahoo.com
Mechanical/Electrical Engineer:	Musgrove Engineering Jeremy Bradley 234 S Whisperwood Way Boise, ID 83709 t: 208.384.0585 e: jeremyb@musgrovepa.com
Structural Engineer:	Krивonen Structural Engineers Matt Krivonen 1004 Division St, 3rd Floor Billings, MT 59101 t: 406.259.1184 e: matt@krivonen.com

PROJECT LOCATION

800 W Broadway
Jackson, WY 83001

VICINITY MAP



OCCUPANCY CALCULATIONS (Table 1004.5)				
Room Name	Area	Occupancy	Occupant Load Factor	Occupant Load
Main Level				
Retail	1,559 SF	B	150 gross	11
Office	174 SF	B	150 gross	2
Accessible RR	53 SF	B	150 gross	Building component / Accessory Area
Kitchenette	23 SF	B	150 gross	1
Staging	525 SF	B	150 gross	4
Unloading	313 SF	B	150 gross	3
Upper Level				
Loft	724 SF	B	150 gross	5
RR	52 SF	B	150 gross	Building component / Accessory Area

CODE ANALYSIS

2021 International Building Code	
Occupancy:	Group B (IBC 2021 Table 504.3a, 504.4a,b, 506.2a,b)
Construction Type:	VB (IBC 2021 Table 601)
Number of Stories:	1 Story with Loft
Building Height:	N/A
Zoning:	CR-3
Occupant Load Ground Level:	21
Occupant Load Upper Level:	05
Total Occupant Load:	26
Parking Spaces:	No Change
No Proposed Fire Suppression (NOT REQUIRED)	

SQUARE FOOTAGE TABULATIONS

EXISTING FLOOR AREA	
Ground Level:	2,650 SF
Gross:	2,650 SF
PROPOSED REMODEL:	
Ground Level:	2,650 SF
Proposed Addition (Loft):	810 SF
Gross:	3,460 SF

FIRE RATINGS & SEPARATION

Per Table Table 601	
Structural Frame:	0 hr
Roof:	0 hr
Floor Construction:	
Exterior Walls (Bearing):	0 hr
Exterior Walls (Non-bearing):	0 hr
Interior Walls (Bearing):	0 hr
Interior Walls (Non-bearing):	0 hr
VB Construction is that type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by the code.	
The adjacent tenant is also classified as B use. The demising wall is not required to be fire rated per table 508.4.	
12. Extend perimeter walls of core to structure above insulate.	
13. Plenum spaces shall be airtight and sealed.	
14. Contractors shall verify size and locations of all mechanical equipment pads and bases as well as power and water or drain installations with equipment manufacturer's before proceeding with the work. Changes to accommodate filed conditions or substitutions shall be made without additional charge to owner.	
15. Ducts penetrating stud walls or shaft walls be provided with necessary frames, bracing and sealant around the opening.	
16. Contractor shall provide and install all stiffeners, bracing, back-up plates and supporting brackets required for the installation of all wall mounted or suspended mechanical, electrical or miscellaneous equipment.	
17. Contact between dissimilar metal shall be protected	
18. Contractor responsible for structural foundation, mechanical, electrical, and plumbing. Architects mechanical, electrical, and plumbing drawings are schematic and only meant for design intent.	
19. Roofing system shall bear U.L. listing as a class "A" system. All manufactured materials used shall bear the appropriate U.L. label.	
20. Contractor shall verify all concrete and masonry openings in the field prior to the fabrication of doors and frames.	
21. Air leakage at exterior doors shall be limited by the following: a. All doors shall be provided with a seal or astragal b. Doors mounted on either the inside or outside of an exterior wall shall have a minimum of one-inch lap at each jamb. c. Doors requiring vertical track or guides shall use a continuous mounting angle, sealed in accordance with "G" listed here. d. Doors mounted between the jambs shall have a continuous seal or baffle at each jamb. e. Meeting rails or sections doors and meeting stiles or rails of biparting doors shall be provided with a seal, astragal or baffle. f. Swinging and revolving doors shall be weather-stripped at the head, sill and jamb. g. Open exterior joints around window and door frames , between wall and foundations, between wall and roof, between wall panels, at penetrations of utility services through walls, floors and roofs and all other openings in the exterior envelope shall be sealed, caulked, gasketed, or weather-stripped to limit air leakage.	
22. All door sizes shown on door schedule are opening sizes. Allowance for thresholds etc. shall be taken off door. All doors and frames shall be reinforced where required for closers, stops and hardware.	

GENERAL NOTES

01. The structural, mechanical and electrical drawings are supplementary to the architectural drawings. It shall be the responsibility of the contractor to check with the architectural drawings before the installation of structural, mechanical, electrical, and plumbing work. Any discrepancy between the architectural drawings and the consulting engineers drawings, shall be brought to the architects attention for clarification prior to installation of said work. Any work installed in conflict with the architectural drawings shall be corrected by the contractor at his expense and at no additional expense to the owner of architect.
02. Contractor shall verify all conditions and dimensions at job site prior to bidding and start of construction. If discrepancies are found, the architect shall be noted for clarification before commencing work.
03. All symbols and abbreviations used on the drawings are considered to be construction standards. If the contractor has questions regarding some, or their exact meaning, the architect shall be notified for clarification.
04. All work shall conform to the requirements of the most current edition of the International Residential Code. The most current adopted version NFPA 101 Life Safety Code, National Electric Code, The Uniform Plumbing Code, The Uniform Mechanical Code, and all other governing authorities having jurisdiction.
05. Contractor shall submit shop drawings for windows, doors, millwork, cabinetry, structural steel, trusses, etc. Contractor shall submit samples for all finishes. All submittals shall be approved be architect before installed.
06. All dimensions are to face of concrete, face of column or center line, face of concrete block walls and face of studs unless otherwise noted.
07. Offset studs where required so that finish wall surface will be flush.
08. All exterior walls are 2x6 and all interior walls are 2x4 unless otherwise noted or dimensioned.
09. Ceiling height dimensions are to structural or framing surfaces. Coordinate finishes with interior finish schedule.
10. Gypsum boards shall extend 6" above ceiling at all column cores and walls, unless noted otherwise.
11. Install metal corner beads at all exposed wallboard edges. Install casing beads wherever wallboard, plaster, etc. abuts a dissimilar finish material and provide sealant as required.
12. Extend perimeter walls of core to structure above insulate.
13. Plenum spaces shall be airtight and sealed.
14. Contractors shall verify size and locations of all mechanical equipment pads and bases as well as power and water or drain installations with equipment manufacturer's before proceeding with the work. Changes to accommodate filed conditions or substitutions shall be made without additional charge to owner.
15. Ducts penetrating stud walls or shaft walls be provided with necessary frames, bracing and sealant around the opening.
16. Contractor shall provide and install all stiffeners, bracing, back-up plates and supporting brackets required for the installation of all wall mounted or suspended mechanical, electrical or miscellaneous equipment.
17. Contact between dissimilar metal shall be protected
18. Contractor responsible for structural foundation, mechanical, electrical, and plumbing. Architects mechanical, electrical, and plumbing drawings are schematic and only meant for design intent.
19. Roofing system shall bear U.L. listing as a class "A" system. All manufactured materials used shall bear the appropriate U.L. label.
20. Contractor shall verify all concrete and masonry openings in the field prior to the fabrication of doors and frames.
21. Air leakage at exterior doors shall be limited by the following: a. All doors shall be provided with a seal or astragal b. Doors mounted on either the inside or outside of an exterior wall shall have a minimum of one-inch lap at each jamb. c. Doors requiring vertical track or guides shall use a continuous mounting angle, sealed in accordance with "G" listed here. d. Doors mounted between the jambs shall have a continuous seal or baffle at each jamb. e. Meeting rails or sections doors and meeting stiles or rails of biparting doors shall be provided with a seal, astragal or baffle. f. Swinging and revolving doors shall be weather-stripped at the head, sill and jamb. g. Open exterior joints around window and door frames , between wall and foundations, between wall and roof, between wall panels, at penetrations of utility services through walls, floors and roofs and all other openings in the exterior envelope shall be sealed, caulked, gasketed, or weather-stripped to limit air leakage.
22. All door sizes shown on door schedule are opening sizes. Allowance for thresholds etc. shall be taken off door. All doors and frames shall be reinforced where required for closers, stops and hardware.

SITE CONDITIONS

01. The general contractor shall coordinate with the architect and civil engineer for the final building location, and driveway layout.
02. The general contractor shall dispose of all excess excavated material
03. The general contractor shall maintain the site throughout the course of the project by: Repairing all earth related scarring such as ruts caused by equipment, spills, etc.; Repairing or replacing all scarred, broken, or tress damaged by equipment movement.; Exercise routine weekly removal of all refuse or other discarded material.
04. The general contractor responsible for the coordination and installation of all necessary site utilities including but not limited to power, telephone, water, sewer, gas, cable, etc. The general contractor shall fill in and compact all trenches cut to install utilities on the site. The general contractor shall verify the location of all meters, cans, tanks, lines, etc., with the architect.+
05. The general contractor shall retain any removed topsoil for the finish grading, of which 6" shall be topsoil. All disturbed soil shall be finish graded and machine raked to achieve a uniform surface. This finish grade shall be free of rock and debris greater than 3/4" diameter, twigs, sticks, and other non-soil material and shall taper away from building.

CONDITIONS

01. It is the intent of these plans and specifications to describe a complete and finished project other than items marked "N.I.C." (not in contract).
02. The general contractor and subcontractor(s) shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work.
03. The general contractor shall be responsible for the performance of all construction personnel on the site.
04. Code: All codes having jurisdiction shall be observed strictly in the construction or the project, including all applicable state, city and county building, zoning, electrical, mechanical, plumbing and fire codes. The general contractor shall verify all code requirements before commencement of construction and bring any discrepancies between code requirements and the construction documents to the attention of the architect.
05. Cleanup: The general contractor shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint over-spray, etc. All fixtures, equipment, glazing, floors, etc. shall be left clean and ready for occupancy upon completion of the project.
06. The general contractor shall obtain all required building permits and agency approvals. The general contractor shall provide the owner with copies of permits, licenses, certifications, inspection reports, receipts for payment, and all similar documents.
07. The presence of the architect on the job site does not imply approval of any work. The general contractor must call specific items to the attention of the architect if he wishes to obtain the architects approval.
08. The general contractor shall submit all proposed substitutions in writing to the architect for approval with samples, cost analysis, and sufficient information for evaluation. If a revision or substitution is made without the architect's written approval that does not conform to the contract documents, it will relieve the architect of any liability from the resulting aesthetic effect, subsequent failure, property damage, or personal injury.
09. The general contractor shall perform a high quality, professional work. The work of each trade shall meet or exceed all quality

PLUMBING FIXTURE CALCULATIONS

REQUIRED:		PROVIDED:	
Men:	WC - 13 @ 1 per 25 = 0.52 or 1 LAV - 13 @ 1 per 40 = 0.35 or 1	Single-User Toilet:	1
Women:	WC - 13 @ 1 per 25 = 0.52 or 1 LAV - 13 @ 1 per 40 = 0.35 or 1	ADA Unisex:	1
		Service Sink:	1
		Drinking Fountain:	0 (Water will be provided directly to Customer)
ADA Single-User Toilet:	1		
Service Sink:	1		
Drinking Fountain:	26 @ 1 per 100 = .26 or 1		

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E502	Com Check

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LICENSED ARCHITECT

JAMES J. FARMER

B-9062

8/15/22

STATE OF WYOMING

PERMIT SET

ELEVATED LIVING

800 W Broadway
Jackson WY 83001

DATE:

8/18/22

PROJECT #:

JH2205

DRAWN:

KM

ISSUE:

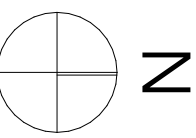
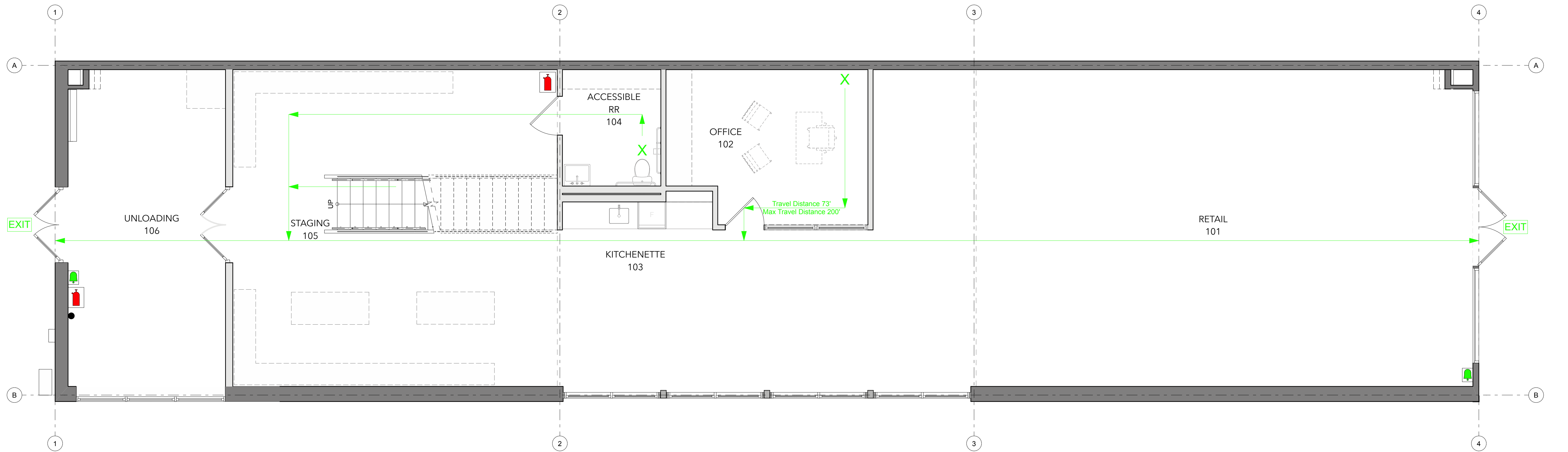
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A100

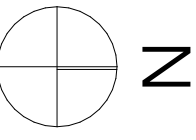
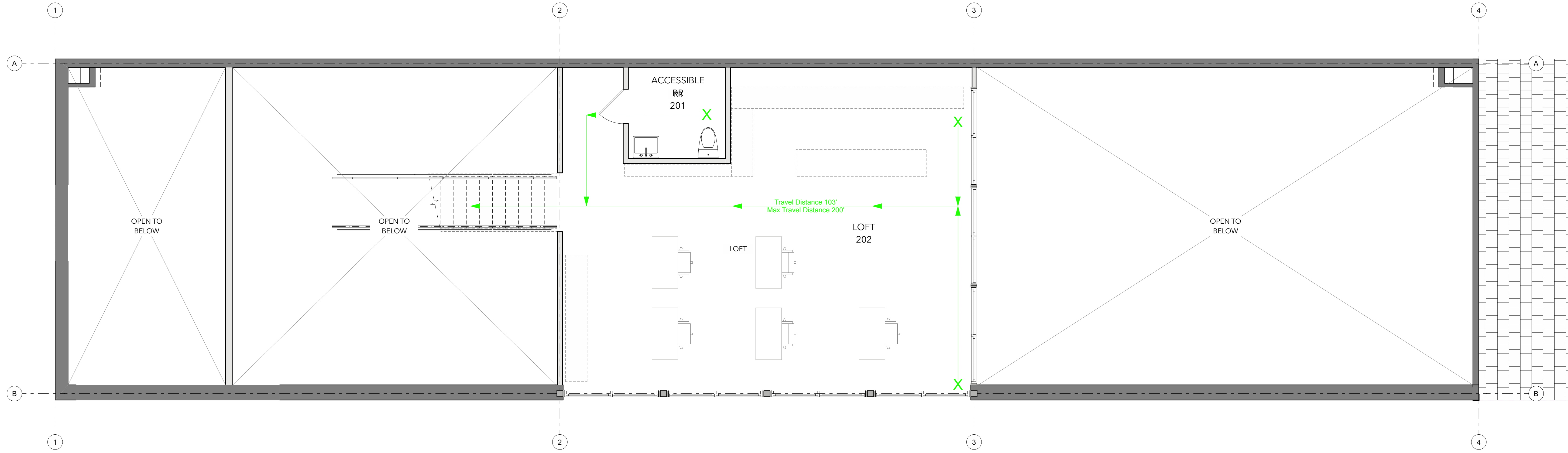
General Notes & Drawing
Index

V5

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1 Main Level - Egress
SCALE: 1/4" = 1'-0"



2 Upper Level - Egress
SCALE: 1/4" = 1'-0"

EGRESS PLAN KEY NOTES

- 1 Install classification A fire extinguisher at indicated location (75' radius).

EGRESS LEGEND

- EXIT
FIRE EXTINGUISHER
YOU ARE HERE
EMERGENCY EXIT ROUTE
PULL STATION

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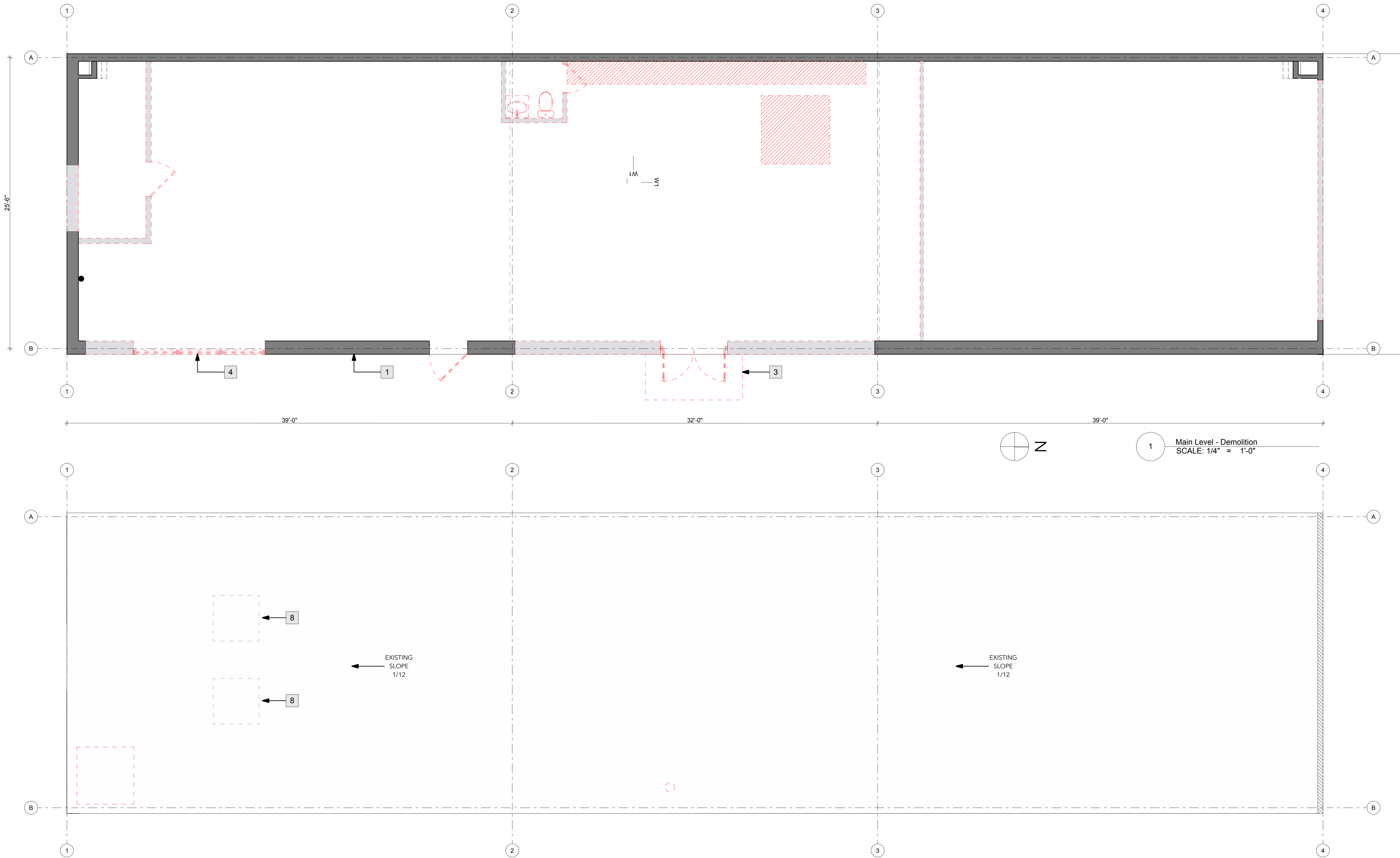
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A101
Egress Plan

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DEMO PLAN KEY NOTES

- 1 Remove Existing Louvers. Patch and Repair Exterior to Match Existing Siding, Typ.
- 2 Relocate Condensing Unit Per Mechanical Drawings. Patch and Repair Roof as Required, Match Existing
- 3 Existing Exterior Canopy to be Removed
- 4 Window to be Relocated Per Arch. Plan, Alert Architect of Any Issues

DEMOLITION LEGEND

- WALLS TO BE DEMOLISHED
- DOORS TO BE DEMOLISHED
- CONCRETE FLOOR CURB TO BE DEMOLISHED AND INFILLED FLUSH TO MATCH EXISTING
- ROOF TOP UNITS TO BE DEMOLISHED

1 Main Level - Demolition
SCALE: 1/4" = 1'-0"

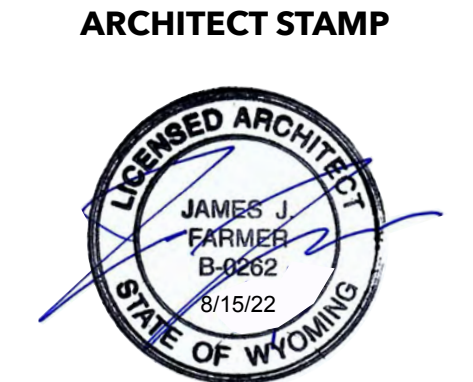
2 Roof Level - Demolition
SCALE: 1/4" = 1'-0"

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EXISTING EAST ELEVATION



EXISTING SOUTH AND EAST FACADES



EXISTING NORTH AND EAST FACADES



EXISTING NORTH ELEVATION



EXISTING FRONT TENANT ENTRY (NORTH ELEVATION)

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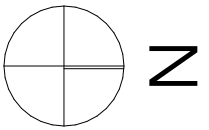
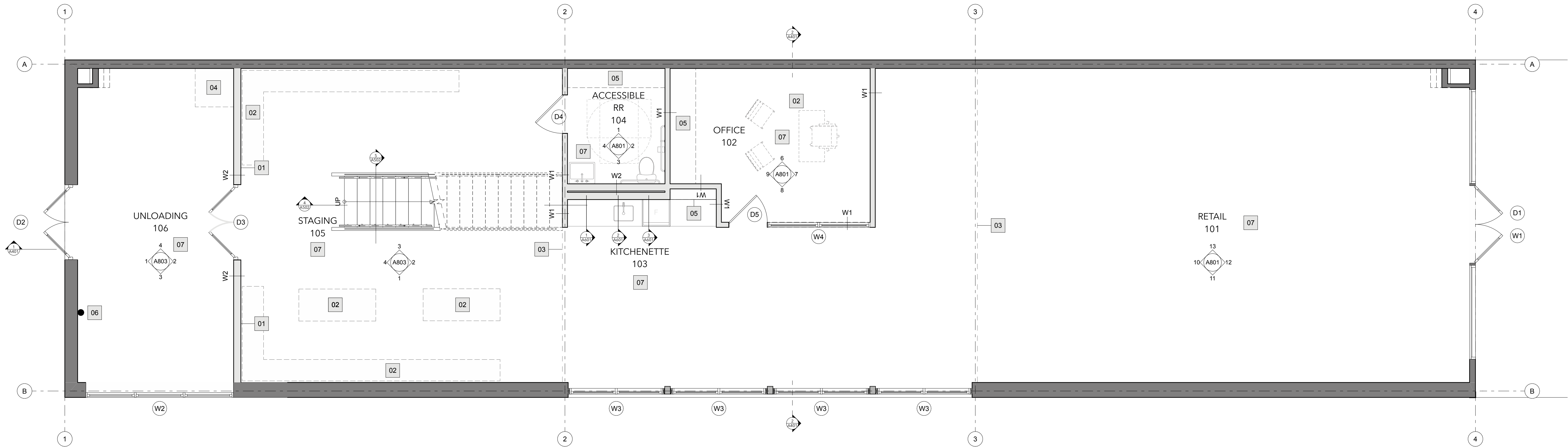
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1 Main Level - Noted
SCALE: 1/4" = 1'-0"

NOTED PLAN KEY NOTES

- 01 Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02 Furniture, by Owner. Typical.
- 03 Edge of loft above
- 04 Service Sink
- 05 Shelving, by Owner. Provide Blocking as Required
- 06 Existing Radon Pipe to Remain
- 07 Floor Finish by Owner, Typ.
- 08 Mech. Equip. See Mech. Drawings

WALL LEGEND

- W1 2x4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
- W2 2x6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
- Existing Wall

GENERAL PLAN NOTES

- 01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- 02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
- 03. All interior partitions are framed with 2x4 wood studs unless noted/dimensioned otherwise.
- 04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- 05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
- 06. Where shown, furniture is for reference only and not in contract.
- 07. Field verify code-required minimum head height clearance.
- 08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

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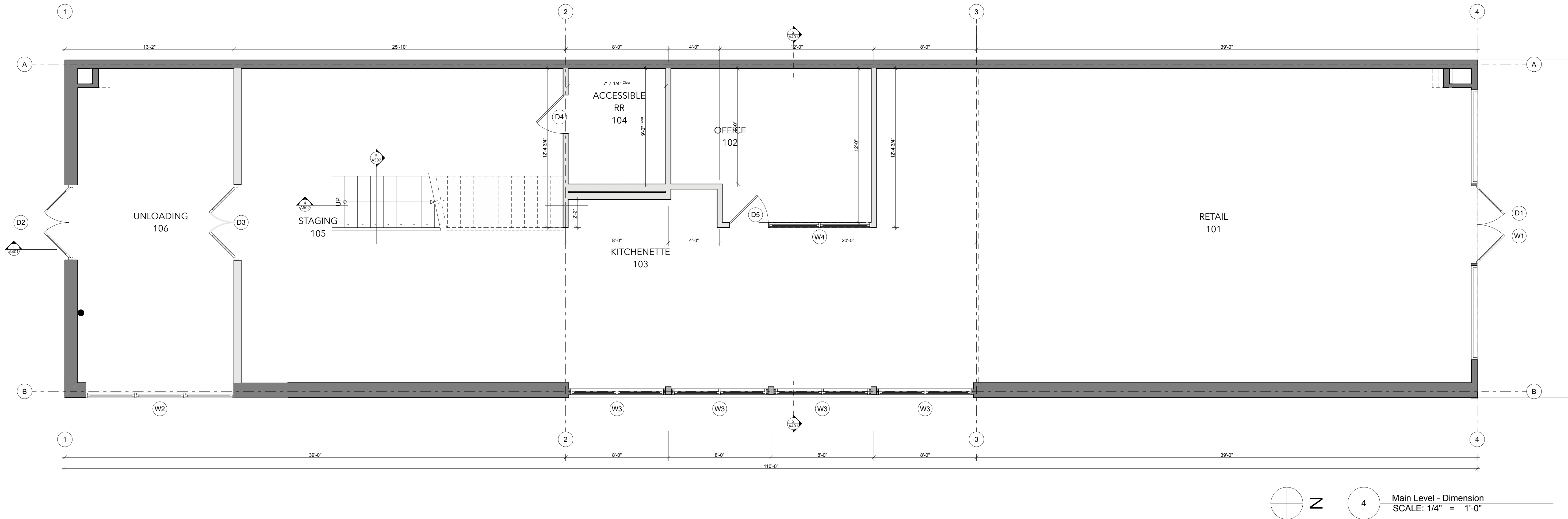


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A201
Main Level - Noted



NOTED PLAN KEY NOTES

- 01
- Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02
- Furniture, by Owner. Typical.
- 03
- Edge of loft above
- 04
- Service Sink
- 05
- Shelving, by Owner. Provide Blocking as Required
- 06
- Existing Radon Pipe to Remain
- 07
- Floor Finish by Owner, Typ.
- 08
- Mech. Equip. See Mech. Drawings

WALL LEGEND

- W1

2x4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
- W2

2x6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
- Existing Wall

GENERAL PLAN NOTES

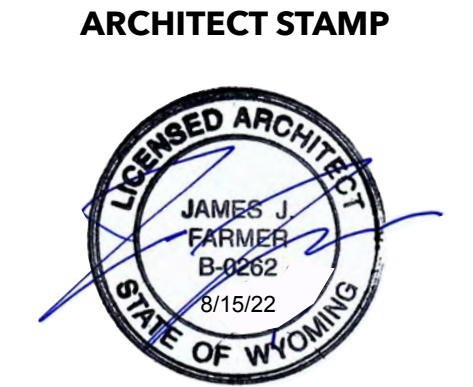
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06. Where shown, furniture is for reference only and not in contract.
07. Field verify code-required minimum head height clearance.
08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

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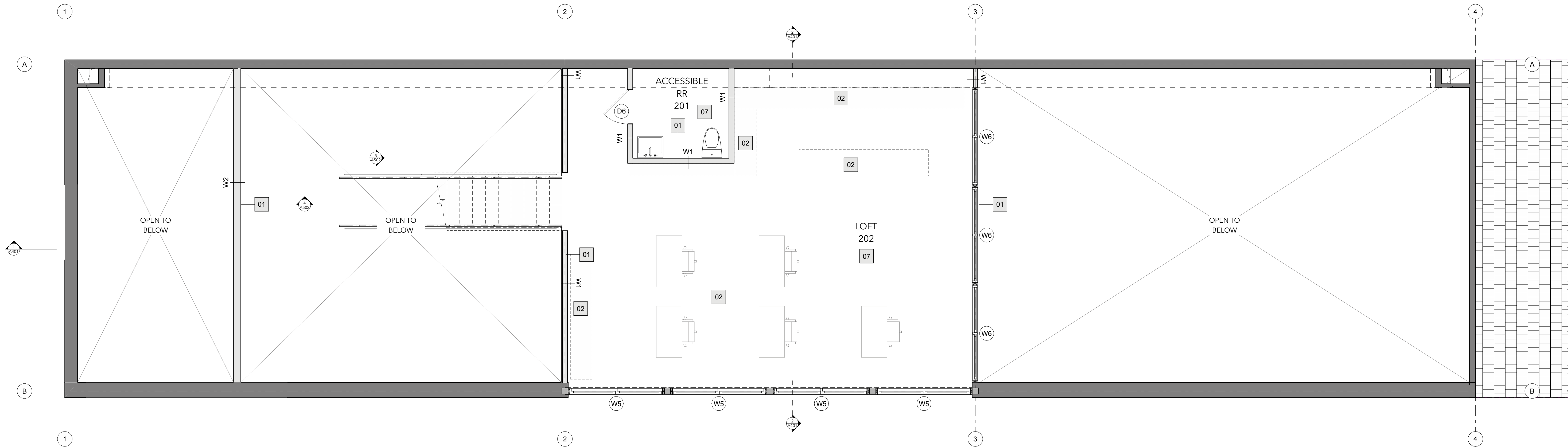
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PROJECT #:	JH2205
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/22

A202

Main Level - Dim



1 Upper Level - Noted
SCALE: 1/4" = 1'-0"

NOTED PLAN KEY NOTES

- 01 Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition.
- 02 Furniture, by Owner. Typical.
- 03 Edge of loft above
- 04 Service Sink
- 05 Shelving, by Owner, Provide Blocking as Required
- 06 Existing Radon Pipe to Remain
- 07 Floor Finish by Owner, Typ.
- 08 Mech. Equip. See Mech. Drawings

WALL LEGEND

- W1 2X4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
- W2 2X6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides
- Existing Wall

GENERAL PLAN NOTES

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- 05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
- 06. Where shown, furniture is for reference only and not in contract.
- 07. Field verify code-required minimum head height clearance.
- 08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

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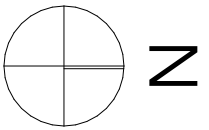
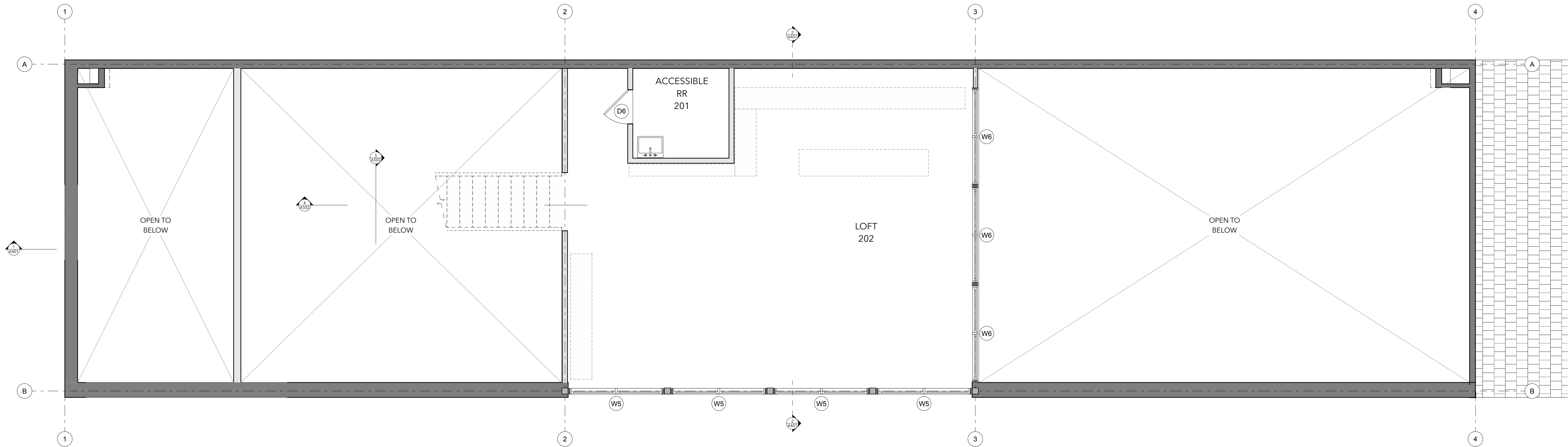
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A203

Upper Level - Noted



4 Upper Level - Dimension
SCALE: 1/4" = 1'-0"

NOTED PLAN KEY NOTES

- | | |
|----|--|
| 01 | Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition. |
| 02 | Furniture, by Owner. Typical. |
| 03 | Edge of loft above |
| 04 | Service Sink |
| 05 | Shelving, by Owner. Provide Blocking as Required |
| 06 | Existing Radon Pipe to Remain |
| 07 | Floor Finish by Owner, Typ. |
| 08 | Mech. Equip. See Mech. Drawings |

WALL LEGEND

- | | | |
|----|--|--|
| W1 | | 2x4 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides |
| W2 | | 2x6 Wood Studs @ 16" O.C. w/ Sound Batt Insulation and 5/8" Gypsum Board on both sides |
| | | Existing Wall |

GENERAL PLAN NOTES

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
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05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
06. Where shown, furniture is for reference only and not in contract.
07. Field verify code-required minimum head height clearance.
08. Provide blocking at grab bars, and wall-hung cabinetry, and wall-anchored shelving units. Confirm cabinetry and shelving locations with Owner.

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PROJECT #: JH2205

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A204

Upper Level - Dim

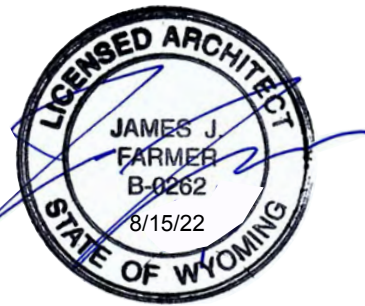
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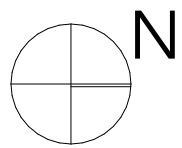
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DATE:	8/18/22
PROJECT #:	JH2205
DRAWN:	KM

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A205

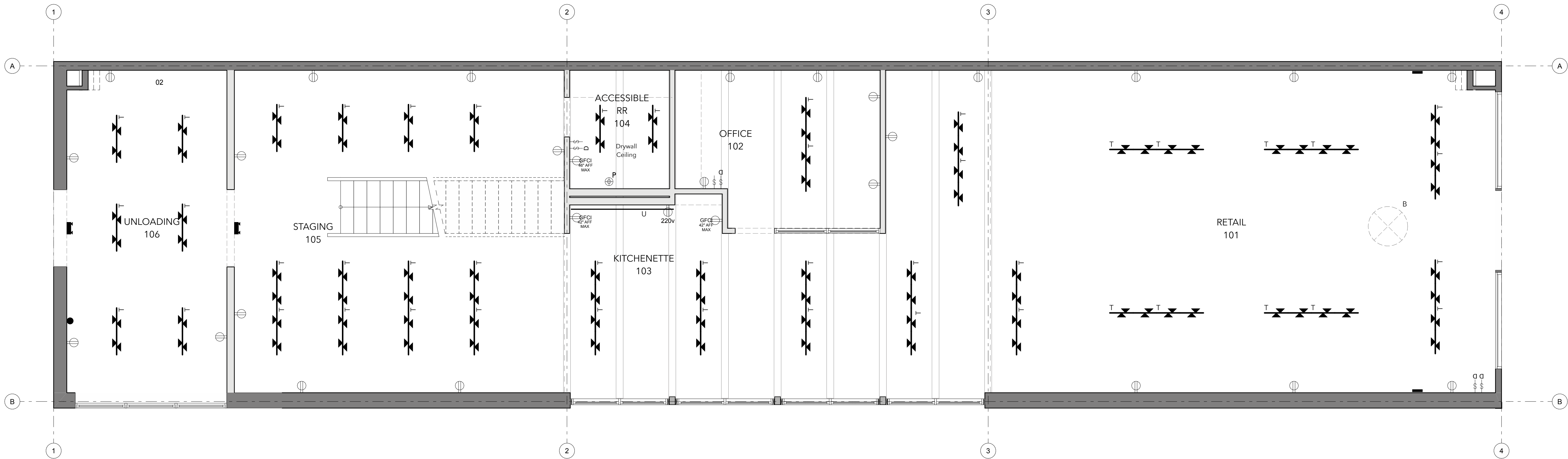
Roof Plan



1) Roof Plan - Noted
SCALE: 1/4" = 1'-0"

NOTED PLAN KEY NOTES

- | | |
|----|--|
| 01 | Full-height wall. Secure and Brace to structure above. Patch and repair ceiling to match existing condition. |
| 02 | Furniture, by Owner. Typical. |
| 03 | Edge of loft above |
| 04 | Service Sink |
| 05 | Shelving, by Owner. Provide Blocking as Required |
| 06 | Existing Radon Pipe to Remain |
| 07 | Floor Finish by Owner. Typ. |
| 08 | Mech. Equip. See Mech. Drawings |



1 Main Level - RCP
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- Wall Mount Up-Light Sconce
- Surface Mounted Fixture
- Surface Mounted Waterproof Fixture
- Recessed Can Fixture
- Directional Recessed Can Fixture
- Track Lighting
- Emergency Egress Lighting
- Occupancy Sensor
- Smoke Detector
- Exhaust Fan
- Thermostat
- Coax/TV/Data
- Standard Duplex Outlet
- Standard Quad Outlet
- 240 V Outlet
- Ground Fault Interrupt Duplex Outlet
- Exterior Rated Duplex Outlet
- Floor Outlet
- Single Pole Switch
- Single Pole Dimmer Switch
- Three Pole Switch
- Four Pole Switch
- Decorative Fixture
- Undercabinet Light
- Pendant

ELECTRICAL NOTES

- Provide fire alarms and smoke detectors in accordance with IBC 2012 Sec. 907.
- Switching/lighting controls to be coordinated on site with Owner, Contractor and Architect.
- Provide emergency egress lighting confirming to IBC 2021 Sec. 1006.
- Confirm placement of fixtures and receptacles with Owner before installing.
- Contractor to install receptacles and controls in accordance with applicable codes per Authority Having Jurisdiction.
- Drywall ceiling in restrooms.

FARMERPAYNE

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LICENSED ARCHITECT

JAMES J. FARMER

B-9062

8/15/22

STATE OF WYOMING

PERMIT SET

ELEVATED LIVING

800 W Broadway
Jackson WY 83001

DATE: 8/18/22

PROJECT #: JH2205

DRAWN: KM

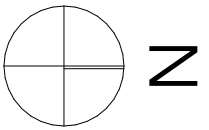
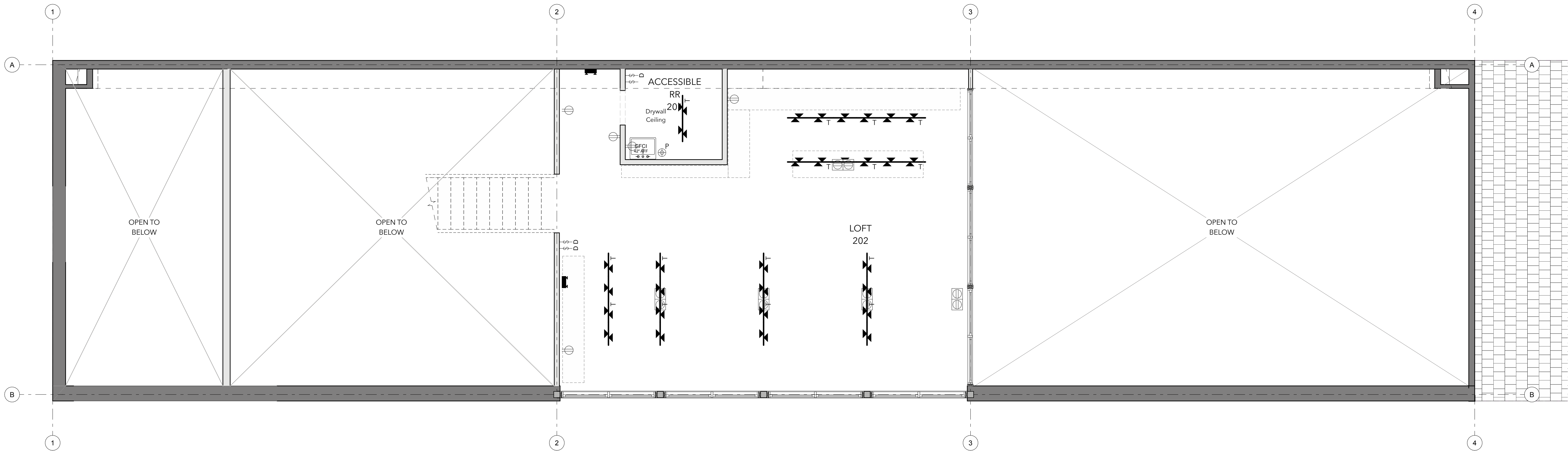
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A206

Main Level - RCP

V5

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1 Upper Level - RCP
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- Wall Mount Up-Light Sconce
- Surface Mounted Fixture
- Surface Mounted Waterproof Fixture
- Recessed Can Fixture
- Directional Recessed Can Fixture
- Track Lighting
- Emergency Egress Lighting
- Occupancy Sensor
- Smoke Detector
- Exhaust Fan
- Thermostat
- Coax/TV/Data
- Standard Duplex Outlet
- Standard Quad Outlet
- 240 V Outlet
- Ground Fault Interrupt Duplex Outlet
- Exterior Rated Duplex Outlet
- Floor Outlet
- Single Pole Switch
- Single Pole Dimmer Switch
- Three Pole Switch
- Four Pole Switch
- Decorative Fixture
- Undercabinet Light
- Pendant

ELECTRICAL NOTES

- Provide fire alarms and smoke detectors in accordance with IBC 2012 Sec. 907.
- Switching/lighting controls to be coordinated on site with Owner, Contractor and Architect.
- Provide emergency egress lighting conforming to IBC 2021 Sec. 1006.
- Confirm placement of fixtures and receptacles with Owner before installing.
- Contractor to install receptacles and controls in accordance with applicable codes per Authority Having Jurisdiction.
- Drywall ceiling in restrooms.

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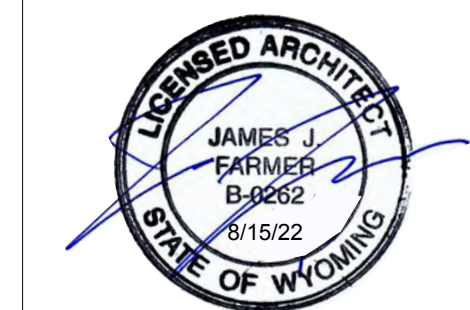
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A207

Upper Level - RCP

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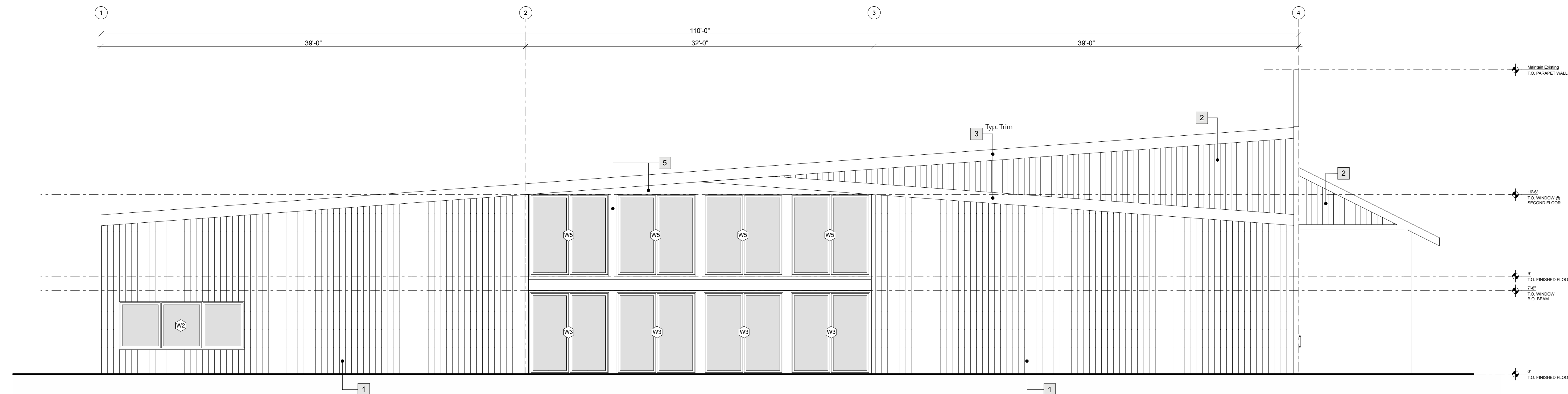
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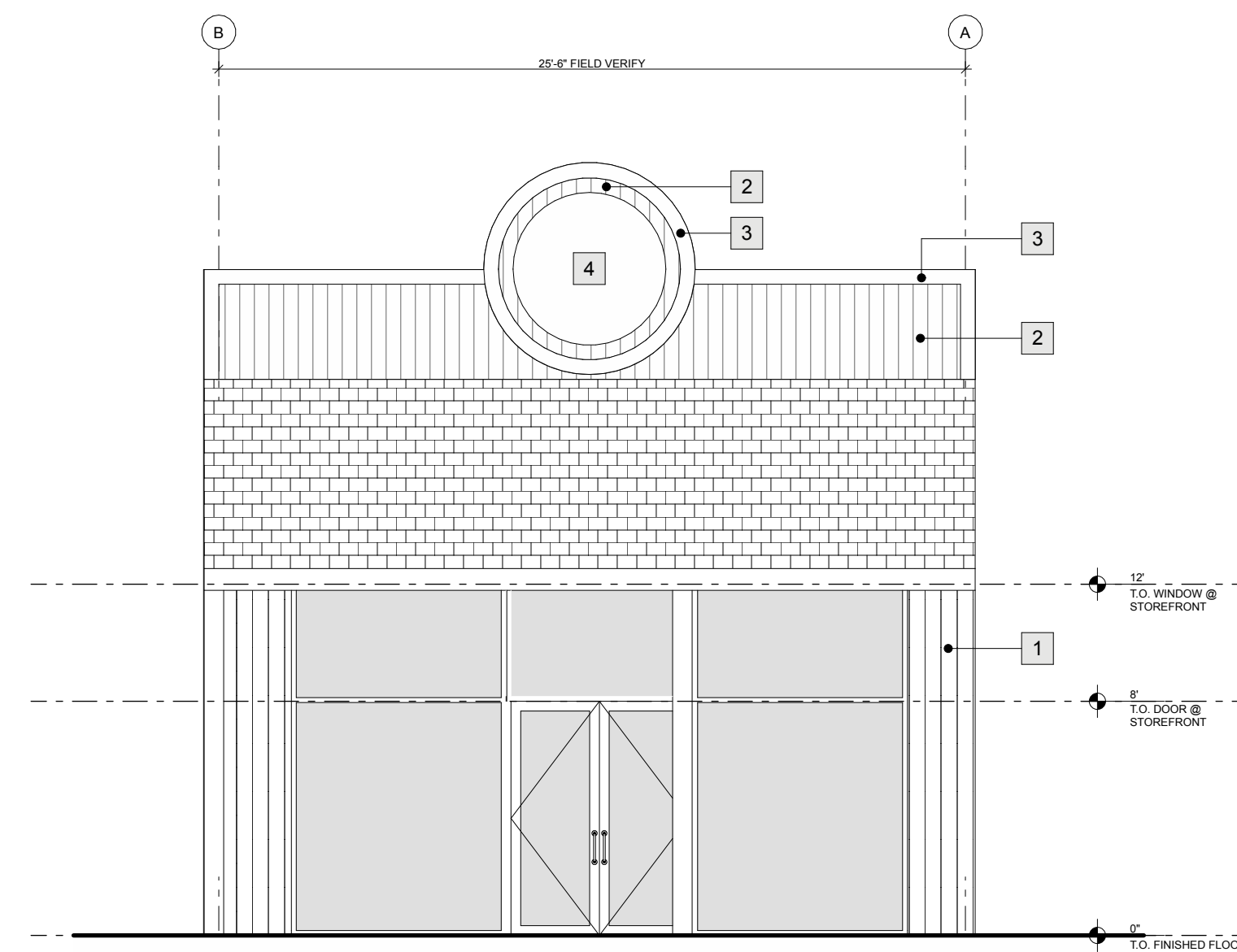
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PROJECT #:	JH2203
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/2024

A301

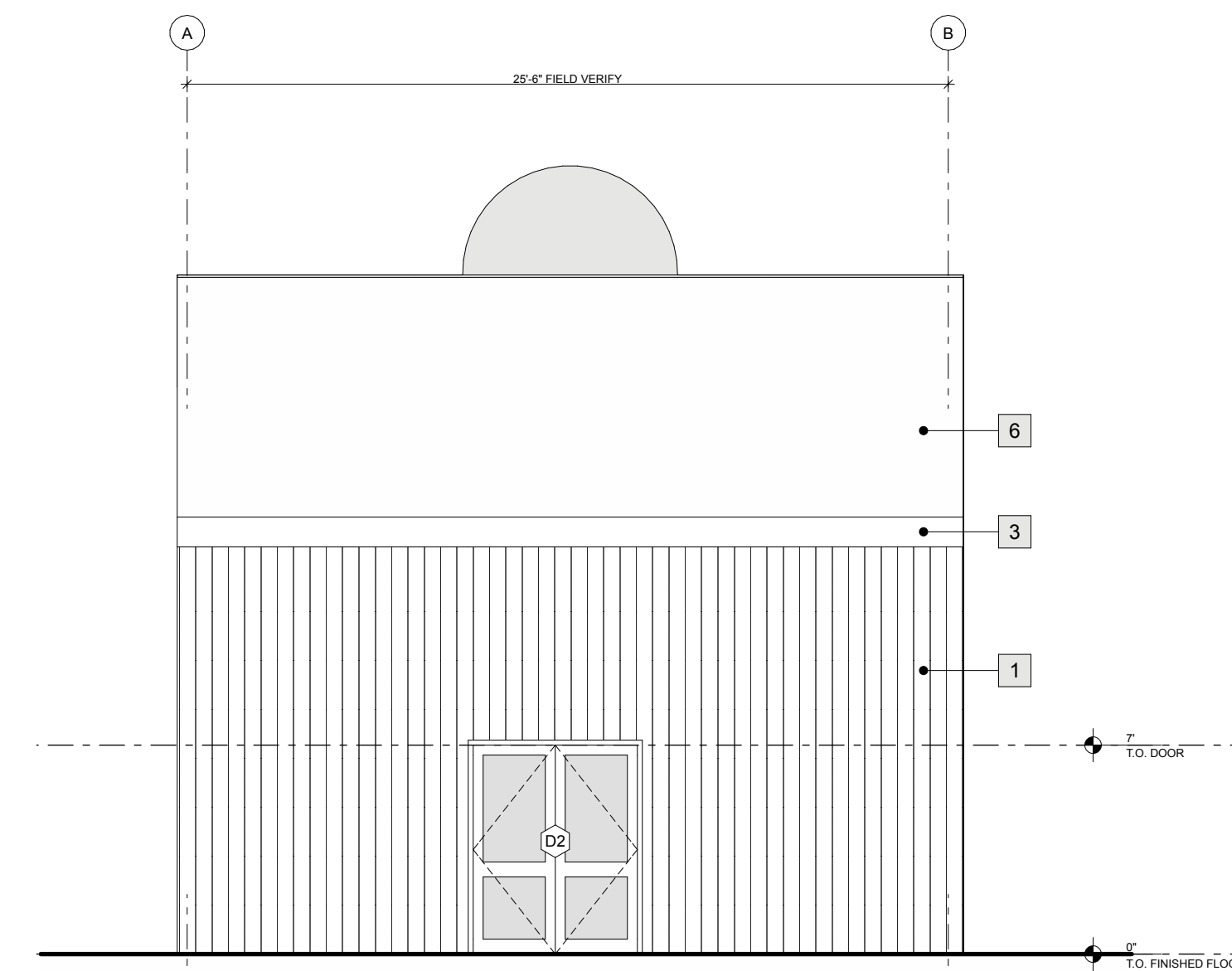
Exterior Elevations



1 East Elevation
SCALE: 3/16" = 1'-0"



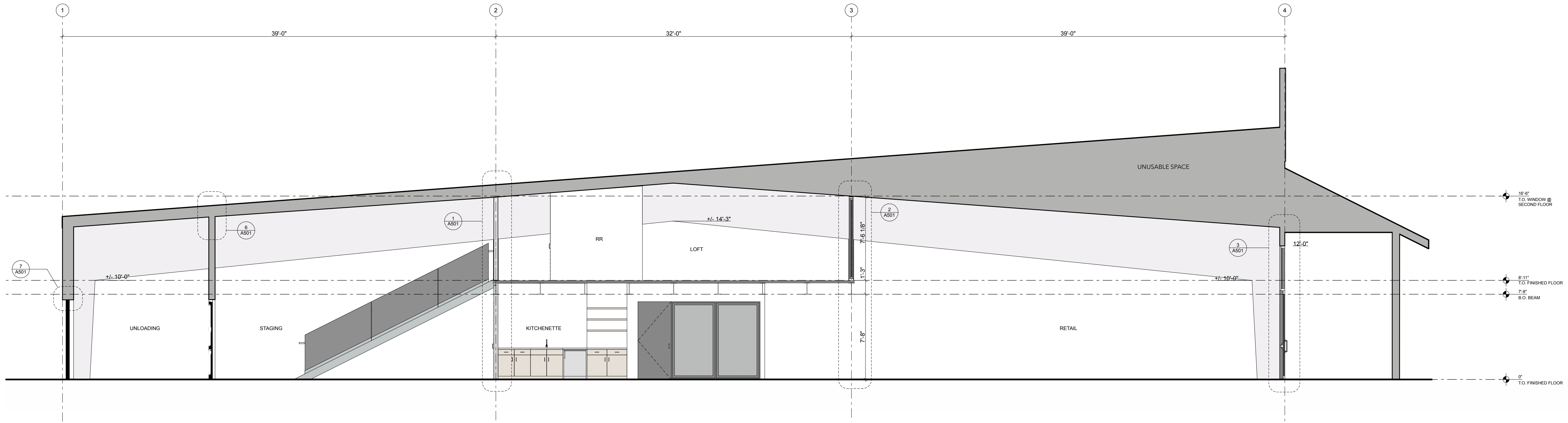
2 North Elevation
SCALE: 3/16" = 1'-0"



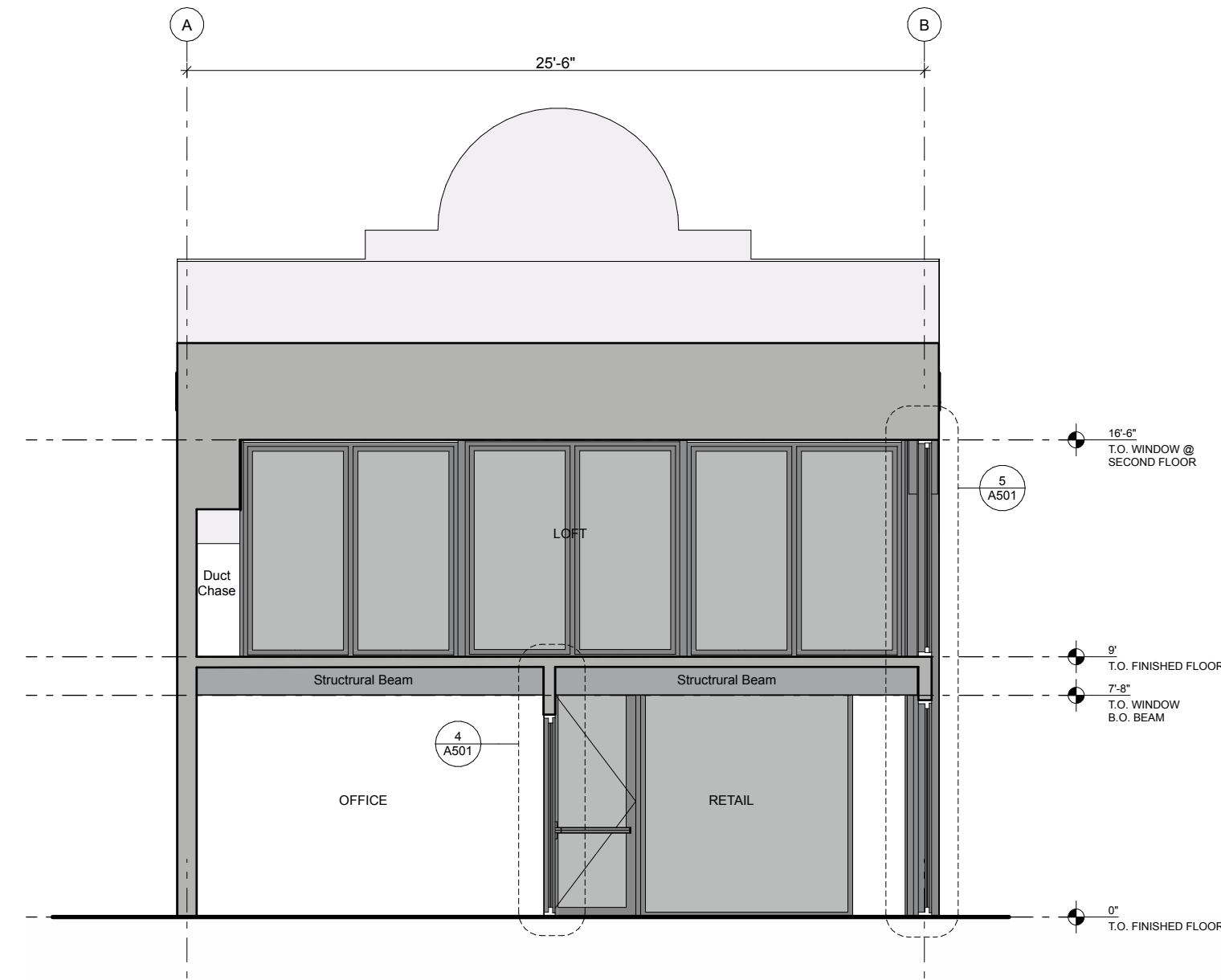
3 South Elevation
SCALE: 3/16" = 1'-0"

ELEVATION KEY NOTES

- 1 Existing siding, Paint Color by Owner
- 2 Existing siding, Paint Color by Owner
- 3 Existing siding, Paint Color by Owner
- 4 Elevated Living Sign With Logo
- 5 Metal, See Detail
- 6 Existing Roof to Remain



1 Building Section - East / West
SCALE: 3/16" = 1'-0"



2 Building Section - North / South
SCALE: 3/16" = 1'-0"

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JAMES J. FARMER

B-90262

8/15/22

STATE OF WYOMING

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Jackson WY 83001

DATE: 8/18/22

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DRAWN: KM

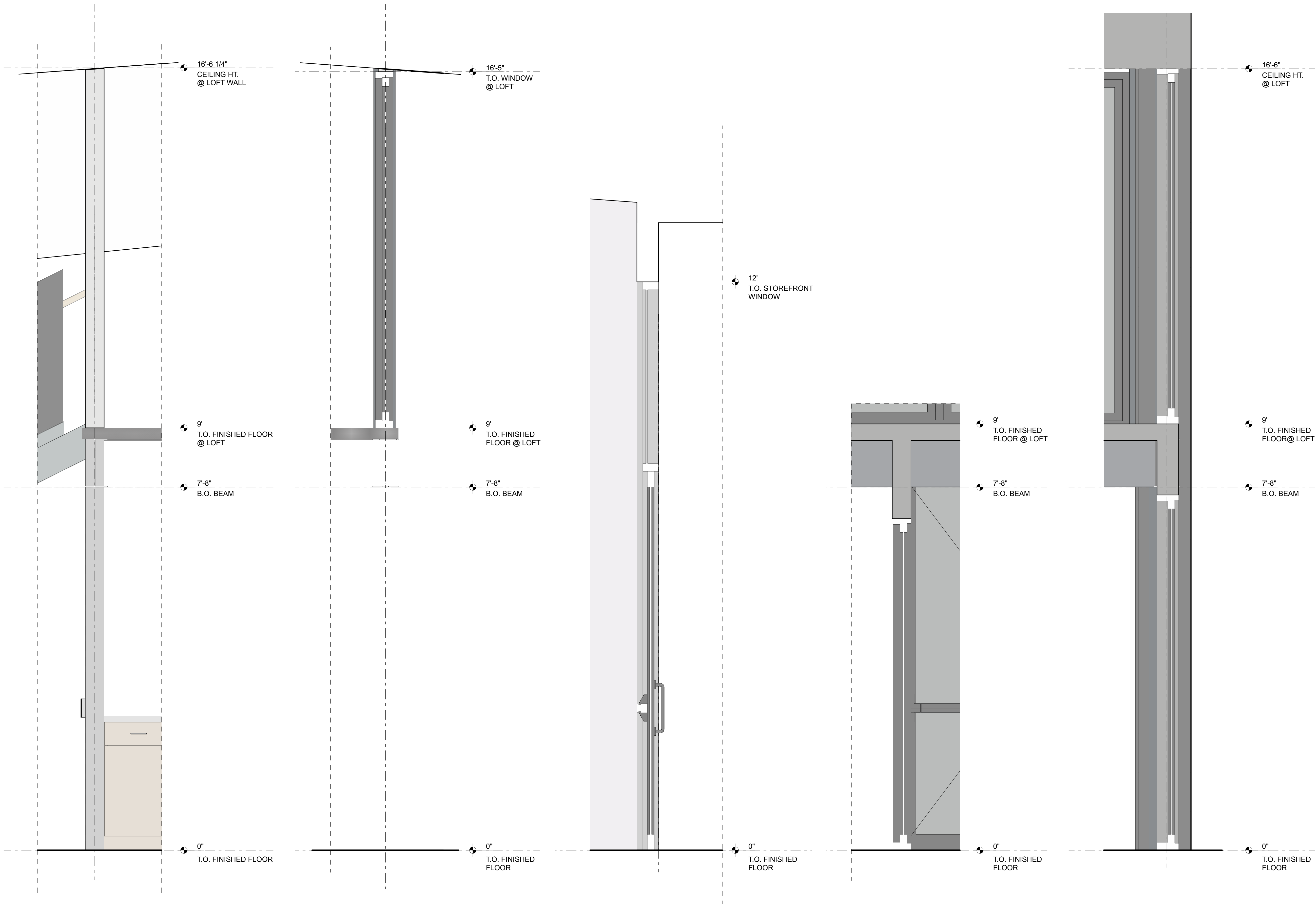
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A401

Building Sections

V5 © FARMERPAYNEARCHITECTS



1 WALL SECTION A
SCALE: 1" = 1'-0"

2 WALL SECTION B
SCALE: 1" = 1'-0"

3 WALL SECTION C
SCALE: 1" = 1'-0"

4 WALL SECTION D
SCALE: 1" = 1'-0"

5 WALL SECTION E
SCALE: 1" = 1'-0"

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B-9062

8/15/22

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800 W Broadway

Jackson WY 83001

DATE: 8/18/22

PROJECT #: JH2205

DRAWN: KM

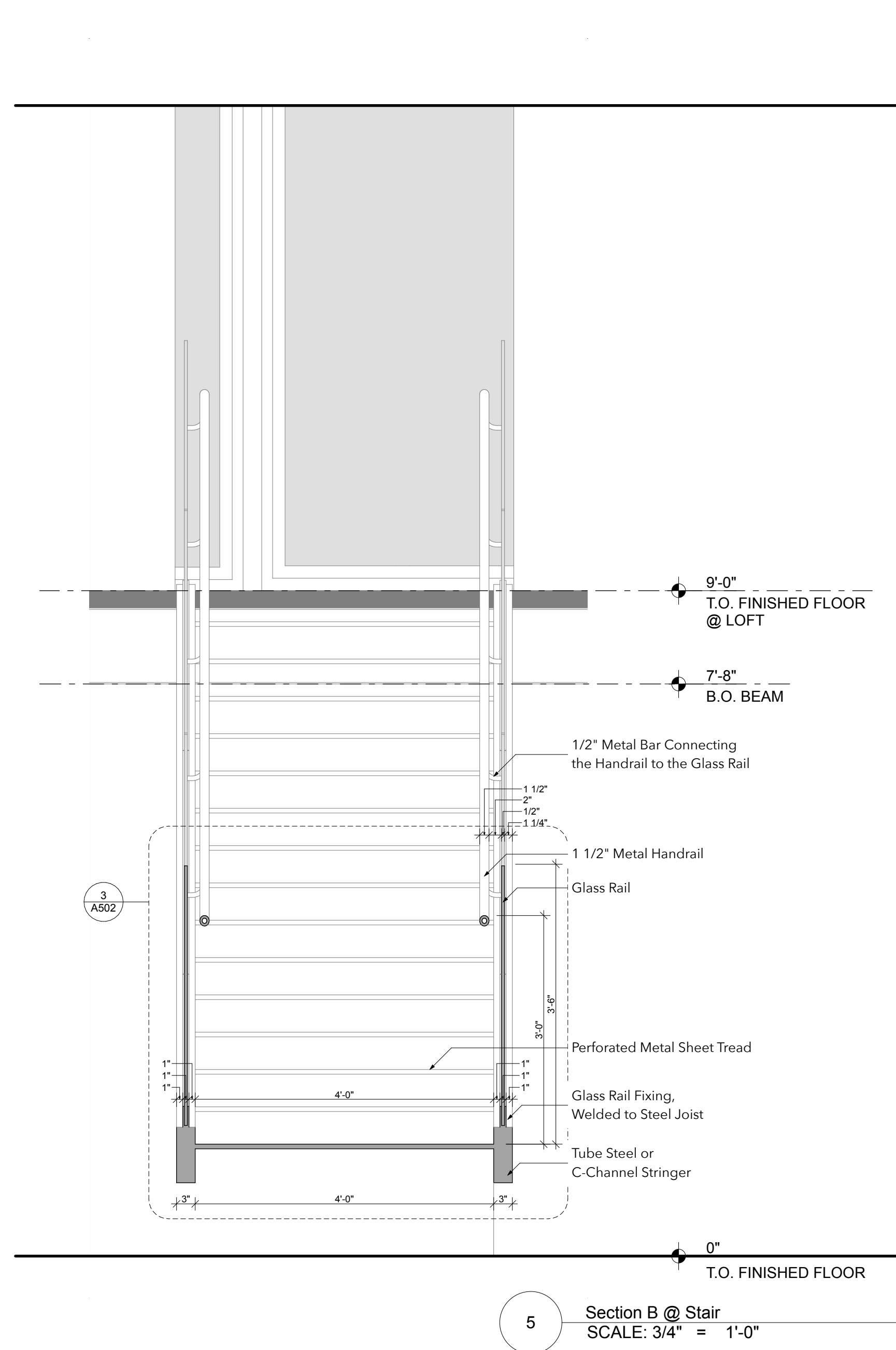
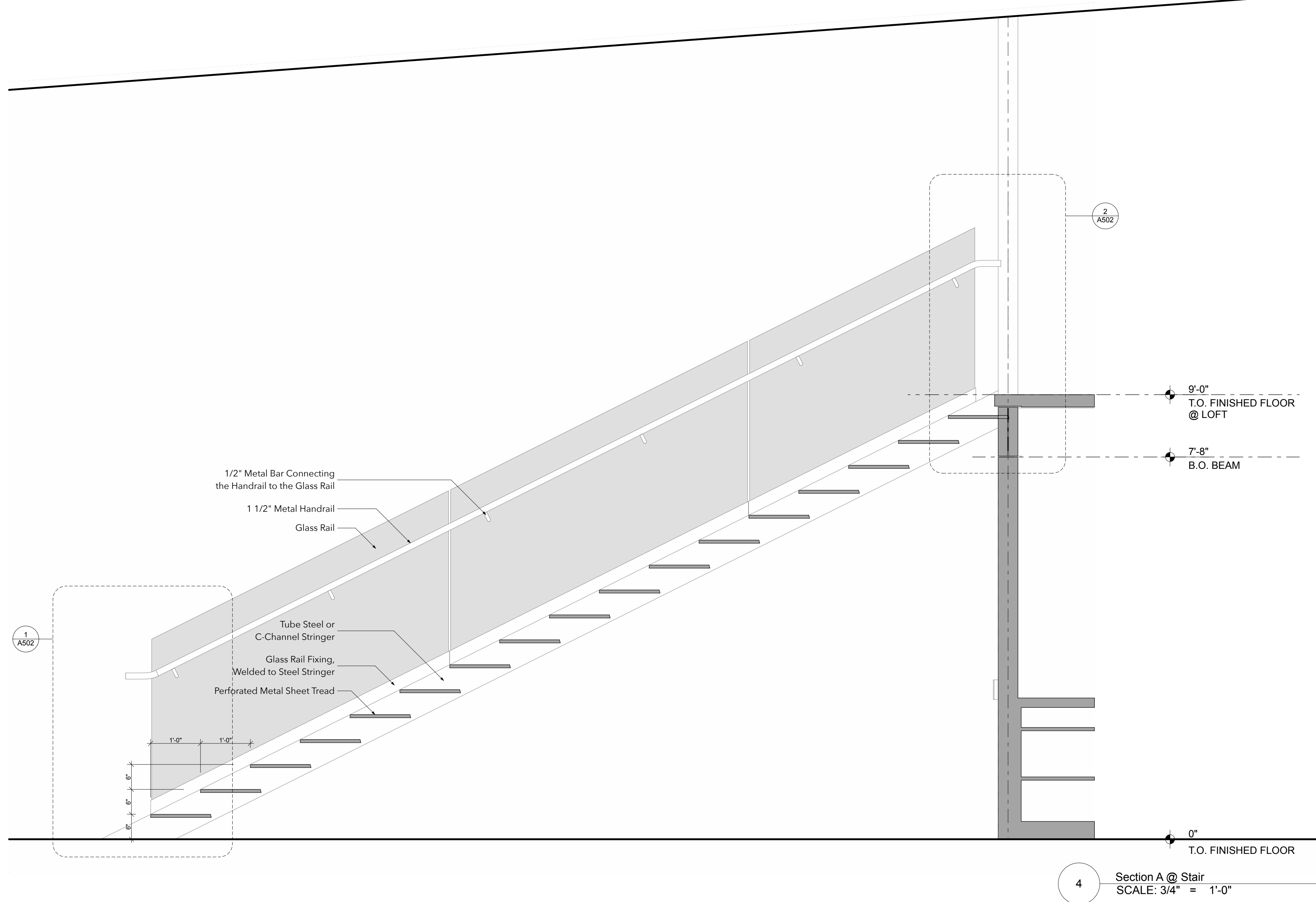
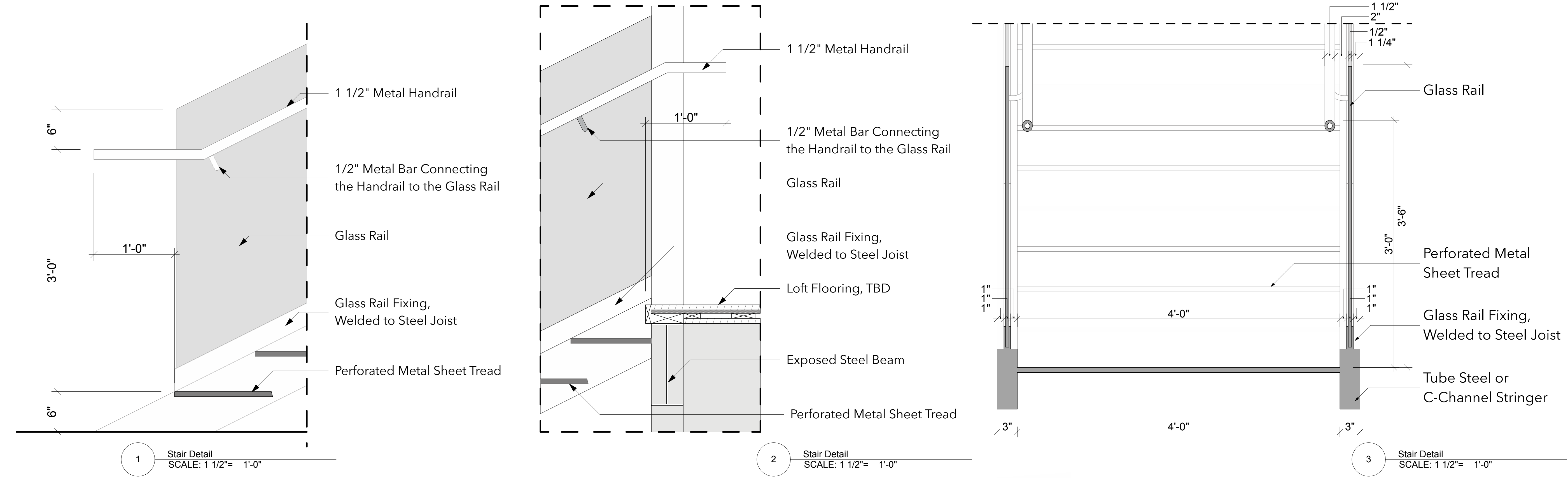
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A501

Wall Sections

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FARMER
B-9062
8/15/22

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A502

Wall Sections

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ELEVATED LIVING

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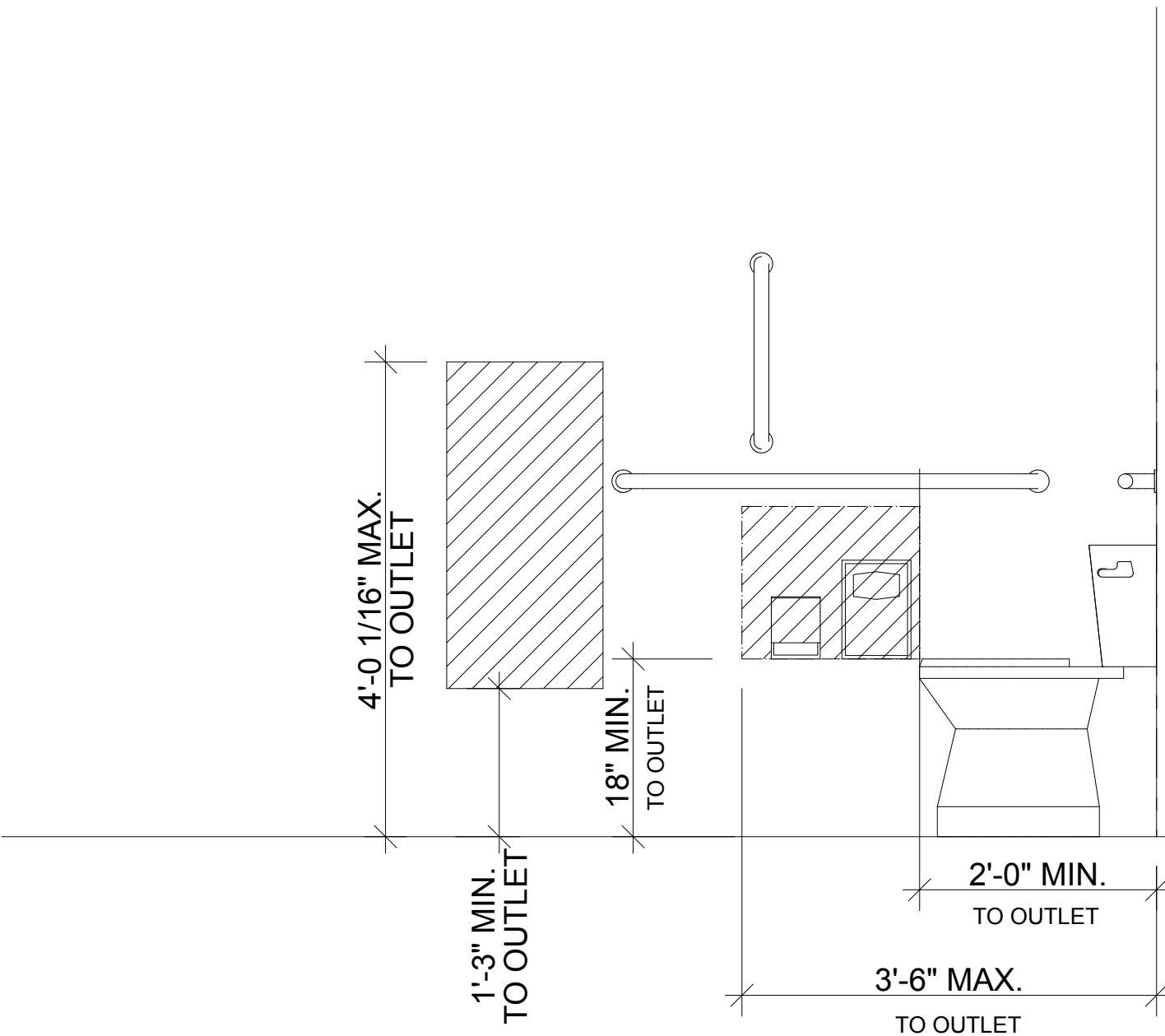
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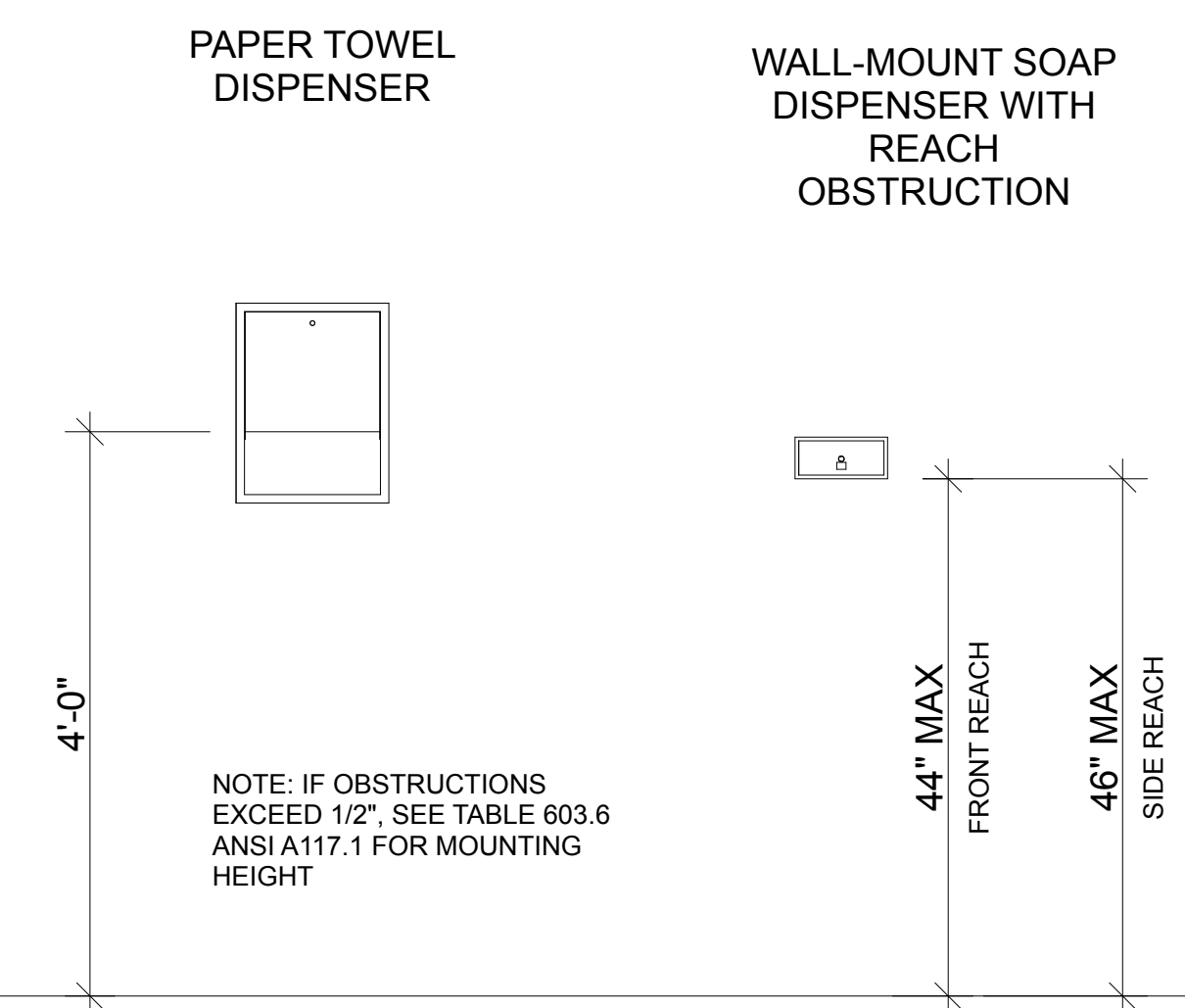
A503

Wall Sections

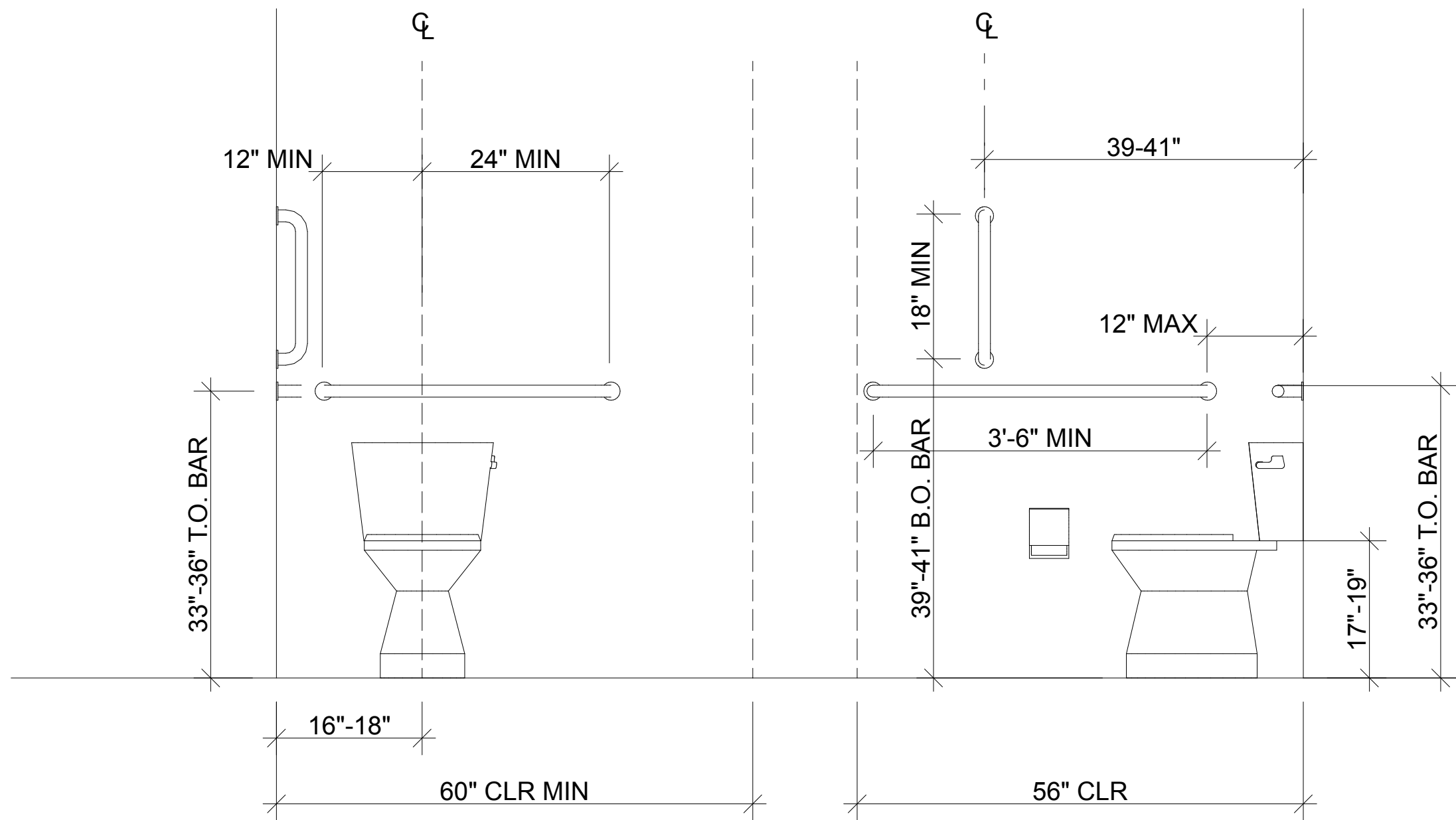
SEAT COVER DISPENSER & SANITARY NAPKIN HOLDER



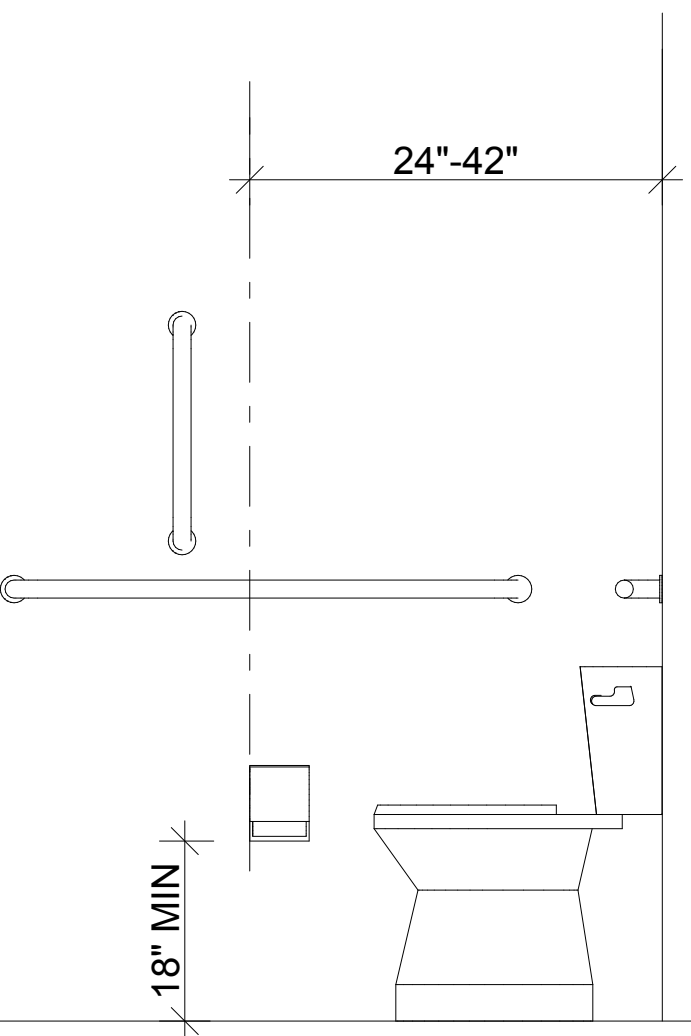
TYPICAL TOILET/LAVATORY ACCESSORIES



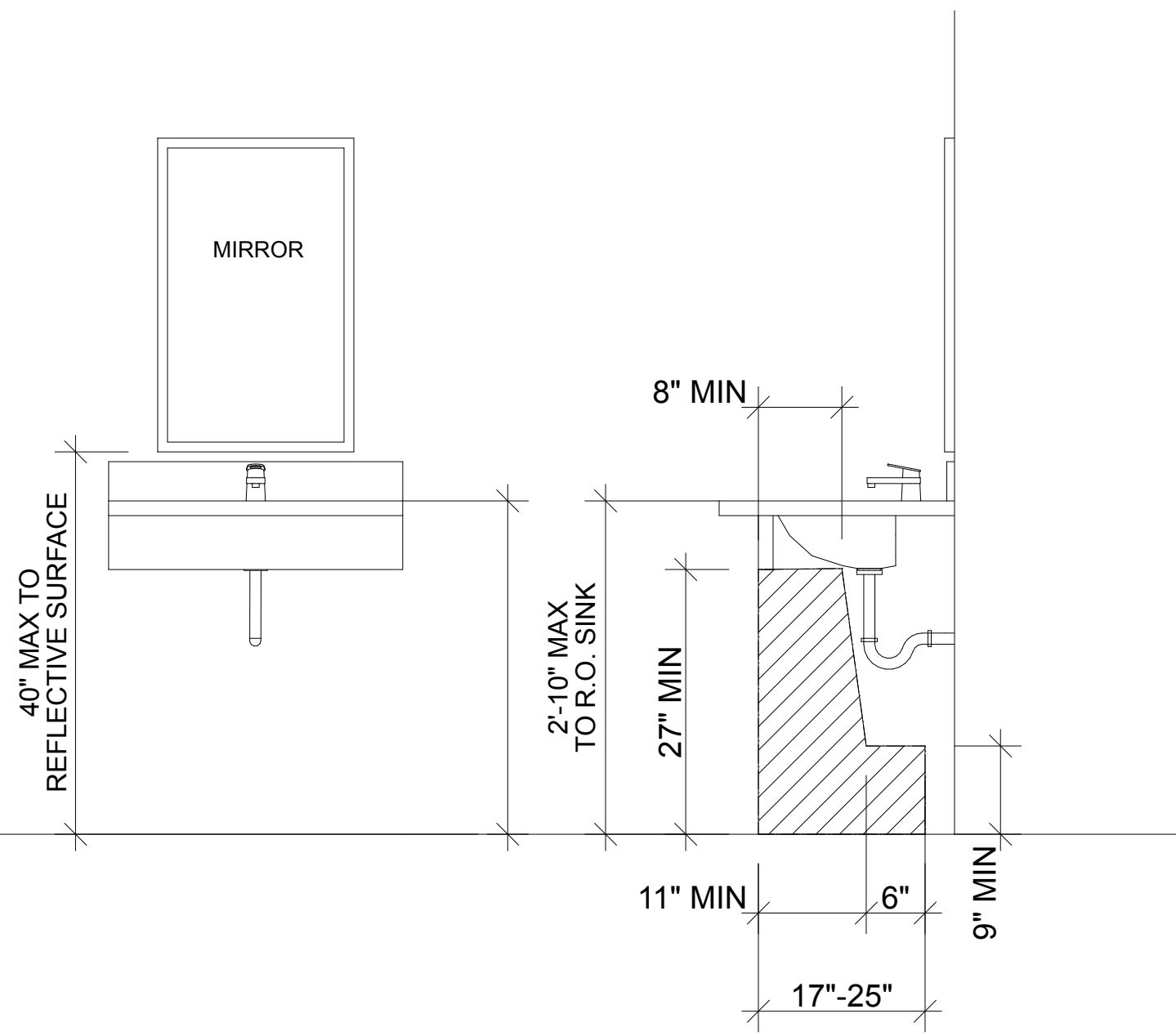
ACCESSIBLE TOILET & GRAB BARS



TOILET PAPER HOLDER



ACCESSIBLE LAVATORY & MIRROR



NOTE: DIMENSIONS ARE FROM FINISHED SURFACES. PROVIDE ADA FLOOR CLEARANCE AREA AS REQUIRED AT EACH FIXTURE

FARMERPAYNE

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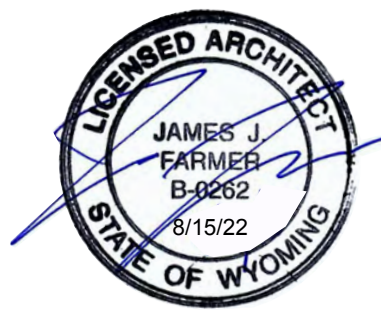
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A601

Details

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1

Section @ Base Cabinet

SCALE: 1 1/2"= 1'-0"

2

Section @ Sink Cabinet

SCALE: 1 1/2"= 1'-0"

3

Section @ Appliance

SCALE: 1 1/2"= 1'-0"

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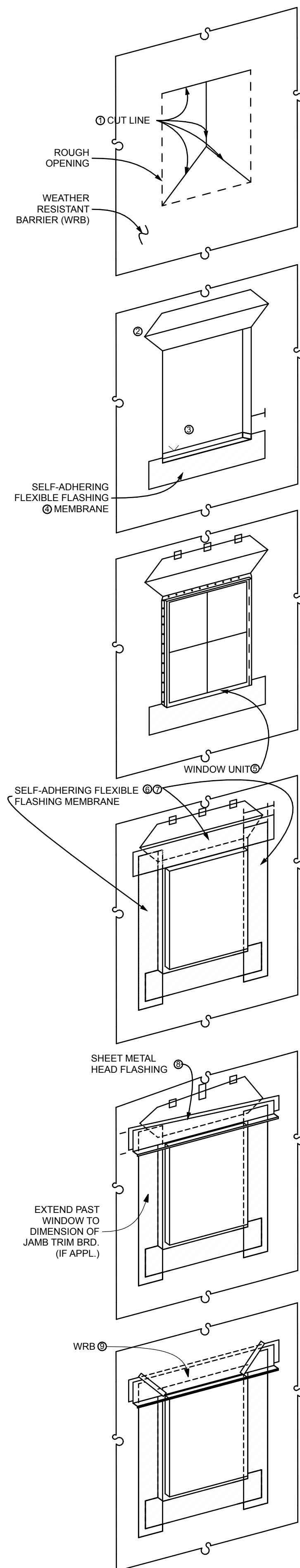
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800 W Broadway
Jackson WY 83001

DATE:	8/18/2024
PROJECT #:	JH2203
DRAWN:	KM
ISSUE:	
Permit Set:	08/18/2024

A701

Window Schedules
Elevations



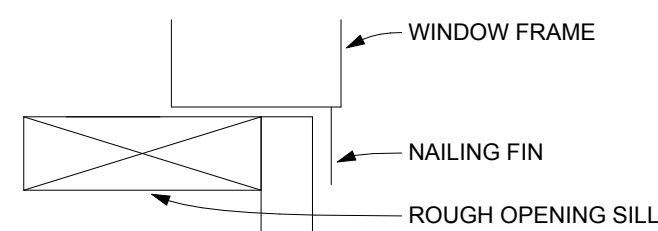
WINDOW INSTALLATION DETAILS

- WRB INSTALLED PRIOR TO WINDOW
 - STRUCTURAL, INTEGRAL NAILING FIN
 - REFER ALSO TO ASTM E2112 & MFRG.
- INSTALLATION INSTRUCTIONS

- 1) MAKE A MODIFIED "I" CUT IN THE WRB (SEE CUT LINE), THEN WRAP WRB TO INTERIOR AT SILL AND JAMBS AND STAPLE IN PLACE.

- 2) AT HEAD, CUT TOP PORTION TO
CREATE A FLAP, THEN RAISE AND
TAPE UP TEMPORARILY.

- 3) POSITION SO THAT WINDOW DEPTH CAN BE ACCOMMODATED PLUS 1/2".



- 4) INSTALL FLASHING MEMBRANE ON SILL OF ROUGH OPENING & ON SIDES OF JAMB. EXTEND ONTO FACE OF SHEATHING AT JAMBS AND BELOW SILL. SEAL ALL CORNERS W/ COMPATIBLE MATERIAL.

- 5) A. INSERT WINDOW INTO OPENING. CENTER UNIT IN ROUGH OPENING. CHECK THE UNIT FOR LEVEL ACROSS HEAD (WINDOW MUST BE LOCKED). SHIM SILL UNTIL LEVEL AT BOTTOM OF JAMBS, BOTTOM OF VERTICAL MULLION, OR BOTTOM OF MEETING STILE.

- B. NAIL OR SCREW CORNERS IN EACH DIRECTION (3" TO 10" FROM CORNER).

- C. PLUMB JAMBS & CHECK
DIAGONAL MEASUREMENTS. SHIM
SIDE JAMBS IN CENTER TO
MAINTAIN SAME WIDTH AS TOP AND
BOTTOM OF UNIT.

- D. FINISH NAILING AROUND PERIMETER OF UNIT W/ FASTENERS AT 16" O.C. (MAX) FASTENERS INSTALLED AT HEAD OF WINDOW SHALL ALLOW FOR DEFLECTION OF HEAD BEAM WITHOUT DEFLECTION OF WINDOW HEAD.

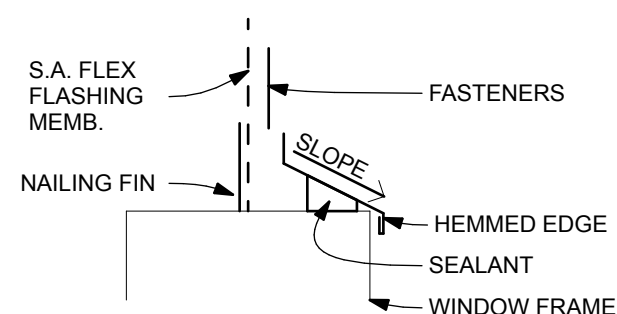
- E. SHIM SILL SO IT IS SUPPORTED IN STRAIGHT AND LEVEL CONDITION AT MINIMUM OF THREE POINTS. SPACE SHIMS 12" MAX.

- 6) APPLY SELF-ADHERING FLEXIBLE FLASHING MEMBRANE ALONG JAMBS.

- 7) APPLY SELF-ADHERING FLEXIBLE FLASHING MEMBRANE ALONG HEAD.

- 8) A. APPLY BEAD OF SEALANT TO TOP OF HEAD OF WINDOW.

- B. INSTALL SHEET METAL HEAD FLASHING TO HEAD OF WINDOW; ENSURE THAT BOTTOM OF FLASHING IS SEALED TO TOP OF HEAD OF WINDOW. FASTEN INTO PLACE. SHEET METAL HEAD FLASHING SHOULD SLOPE TO DRAIN, THUS:



- 9) RIM WRB TO OVERLAP SHEET METAL FLASHING. FOLD WRB DOWN OVER SHEET METAL FLASHING & SEAL BETWEEN THE TWO WITH SEALANT. APPLY SHEATHINGTAPE OVER DIAGONAL CUT IN WRB.

WINDOW SCHEDULE											
ID	Quan...	Type	Room #	Location	W x H	Sill Height	Head	Jam	Sill	Manufacturer	Notes/Remarks
W1	1	Fixed	101	RETAIL	7'-4"x12'-0"	0"				Undefined	STOREFRONT
W2	1	Fixed	106	UNLOADING	11'-6"x4'-5"	2'-3"				Undefined	Existing window to be relocated. See Architectural Plan.
W3	4	Fixed	101	RETAIL	7'-3"x7'-6"	0"				Undefined	
W4	1	Fixed	102	OFFICE	8'-0"x7'-6"	0"				Undefined	
W5	4	Fixed	202	LOFT	7'-3"x7'-6"	0"				Undefined	
W6	1	Fixed	202	LOFT	7'-4 1/2"x7'-6"	-1"				Undefined	

EXTERIOR DOOR AND WINDOW NOTES

01. Frame Size and location of each window is depicted from the top of subfloor (Doors and Windows numbering 100) Subfloor E.L.+101'-0" at main level. Intent is to align T.O. Window Units w/ T.O. Exterior Doors in all cases. Head height indicates rough opening height for window/door, SEE WINDOW/DOOR DETAIL FOR MORE INFORMATION. Also Door Height on schedule indicates leaf size and not unit size, please consult architect for any questions.

02. Manufacturer shall submit shop drawings, tabulations, and rough opening sizes to Owner for review.

03. Verify exterior cladding color with Owner.

04. All glazing shall be Low-E 2 sealed insulating glass unless noted otherwise. Where required by code, glazing shall be tempered.

05. All window/door type elevations are drawn as viewed from the exterior.

06. Window/Door hardware to be determined.

INTERIOR DOOR NOTES

01. Frame Size and location of each window is depicted from the top of subfloor (Doors and Windows numbering 100) subloor El.=101'-0" at main level. Intent is to align Interior Doors with T.O. Window Units or T.O. Exterior Doors in most cases. Head height indicates mounting height for window/door, SEE INTERIOR DOOR DETAILS FOR MORE INFORMATION.

02. Manufacturer shall submit shop drawings, tabulations, and verified in field rough opening sizes to Owner for review.

03. See Door Elevation for information on look and style of door.

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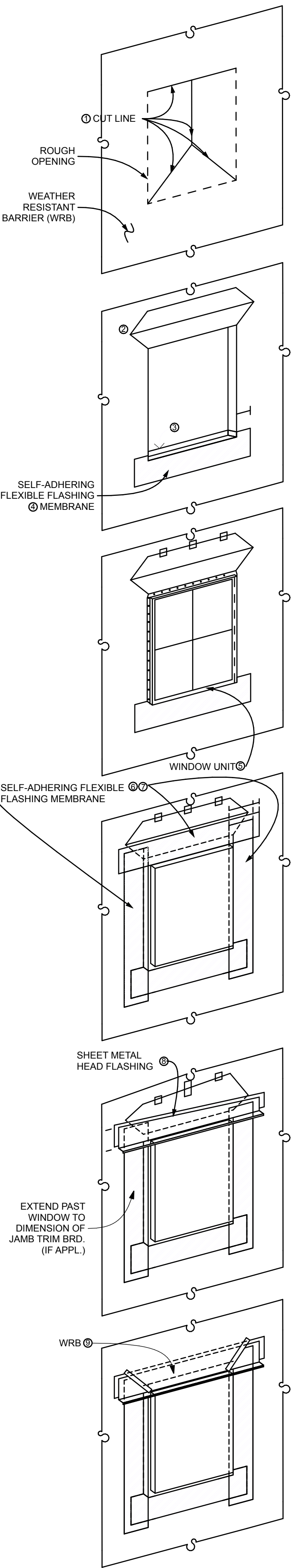


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ELEVATED LIVING
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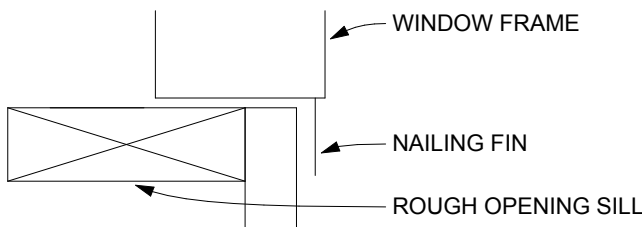
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PROJECT #: JH2205
DRAWN: KM
ISSUE:
Permit Set: 08/18/22

A702
Door Schedules/Elevations



WINDOW INSTALLATION DETAILS
- WRB INSTALLED PRIOR TO WINDOW
- STRUCTURAL, INTEGRAL NAILING FIN
- REFER ALSO TO ASTM E2112 & MFG.
INSTALLATION INSTRUCTIONS

- 1) MAKE A MODIFIED "I" CUT IN THE WRB (SEE CUT LINE), THEN WRAP WRB TO INTERIOR AT SILL AND JAMBS AND STAPLE IN PLACE.
- 2) AT HEAD, CUT TOP PORTION TO CREATE A FLAP, THEN RAISE AND TAPE UP TEMPORARILY.
- 3) POSITION SO THAT WINDOW DEPTH CAN BE ACCOMMODATED PLUS 1/2".



- 4) INSTALL FLASHING MEMBRANE ON SILL OF ROUGH OPENING & ON SIDES OF JAMB. EXTEND ONTO FACE OF SHEATHING AT JAMBS AND BELOW SILL. SEAL ALL CORNERS W/ COMPATIBLE MATERIAL.

- 5) A. INSERT WINDOW INTO OPENING. CENTER UNIT IN ROUGH OPENING. CHECK THE UNIT FOR LEVEL ACROSS HEAD (WINDOW MUST BE LOCKED). SHIM SILL UNTIL LEVEL AT BOTTOM OF JAMBS. BOTTOM OF VERTICAL MULLION, OR BOTTOM OF MEETING STILE.

- B. NAIL OR SCREW CORNERS IN EACH DIRECTION (3" TO 10" FROM CORNER).

- C. PLUMB JAMBS & CHECK DIAGONAL MEASUREMENTS. SHIM SIDE JAMBS IN CENTER TO MAINTAIN SAME WIDTH AS TOP AND BOTTOM OF UNIT.

- D. FINISH NAILING AROUND PERIMETER OF UNIT W/ FASTENERS AT 16" O.C. (MAX) FASTENERS INSTALLED AT HEAD OF WINDOW SHALL ALLOW FOR DEFLECTION OF HEAD BEAM WITHOUT DEFLECTION OF WINDOW HEAD.

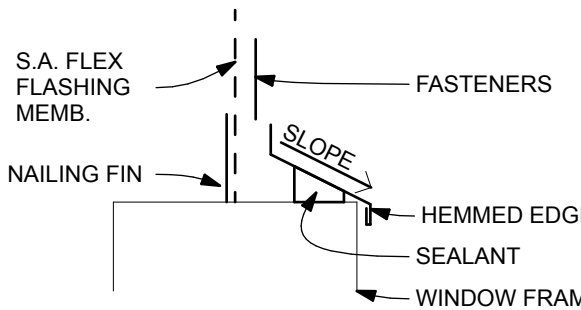
- E. SHIM SILL SO IT IS SUPPORTED IN STRAIGHT AND LEVEL CONDITION AT MINIMUM OF THREE POINTS. SPACE SHIMS 12" MAX.

- 6) APPLY SELF-ADHERING FLEXIBLE FLASHING MEMBRANE ALONG JAMBS.

- 7) APPLY SELF-ADHERING FLEXIBLE FLASHING MEMBRANE ALONG HEAD.

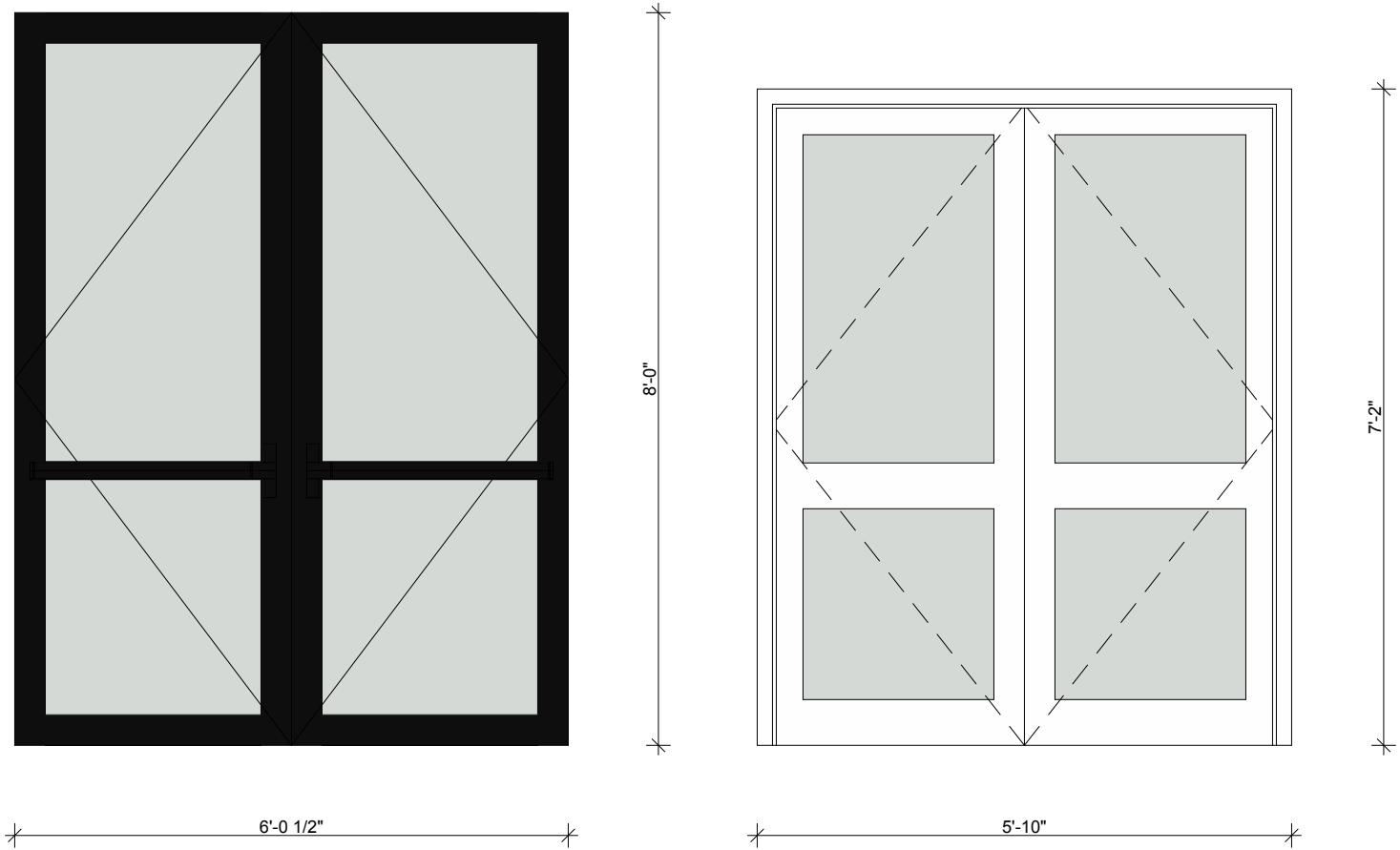
- 8) A. APPLY BEAD OF SEALANT TO TOP OF HEAD OF WINDOW.

- B. INSTALL SHEET METAL HEAD FLASHING TO HEAD OF WINDOW; ENSURE THAT BOTTOM OF FLASHING IS SEALED TO TOP OF HEAD OF WINDOW. FASTEN INTO PLACE. SHEET METAL HEAD FLASHING SHOULD SLOPE TO DRAIN, THUS:



- 9) RIM WRB TO OVERLAP SHEET METAL FLASHING. FOLD WRB DOWN OVER SHEET METAL FLASHING & SEAL BETWEEN THE TWO WITH SEALANT. APPLY SHEATHING TAPE OVER DIAGONAL CUT IN WRB.

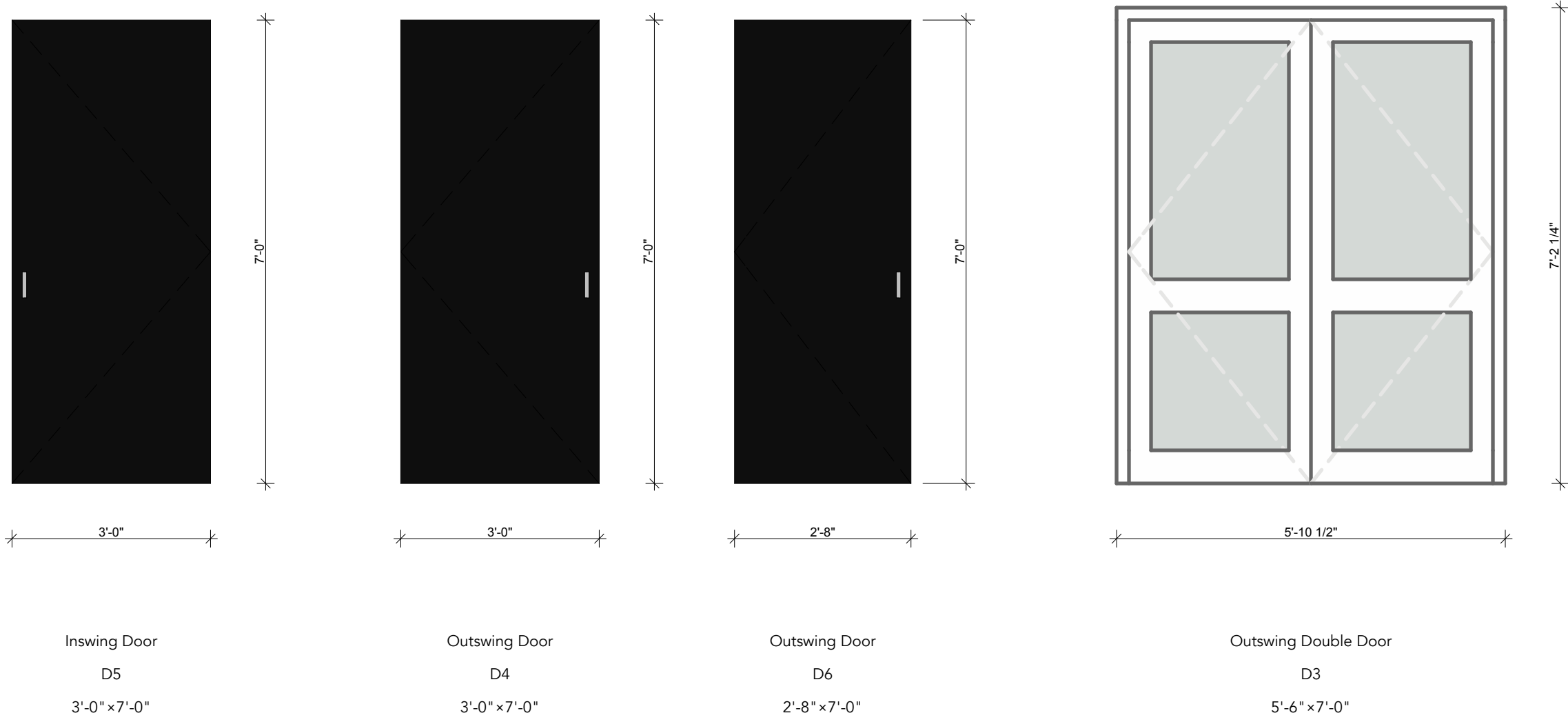
EXTERIOR DOOR SCHEDULE										
ID	Type	Room #	Location	W x H	Head	Jam	Sill	Hardware	Manufacturer	Notes/Remarks
D1	Outswing Double Door			6'-0 1/2" x 8'-0"					Undefined	
D2	Outswing Double Door			5'-6" x 7'-0"					Undefined	Relocated existing door



Outswing Double Door
D1
6'-0 1/2" x 8'-0"

Outswing Double Door
D2
5'-6" x 7'-0"

INTERIOR DOOR SCHEDULE										
ID	Type	Room #	Location	W x H	Head	Jam	Sill	Hardware	Manufacturer	Notes/Remarks
D3	Outswing Double Door			5'-6" x 7'-0"				Undefined	Undefined	
D4	Outswing Door			3'-0" x 7'-0"				Undefined	Undefined	
D5	Inswing Door			3'-0" x 7'-0"				Undefined	Undefined	
D6	Outswing Door			2'-8" x 7'-0"				Undefined	Undefined	



Inswing Door
D5
3'-0" x 7'-0"

Outswing Door
D4
3'-0" x 7'-0"

Outswing Door
D6
2'-8" x 7'-0"

Outswing Double Door
D3
5'-6" x 7'-0"

EXTERIOR DOOR AND WINDOW NOTES

01. Frame Size and location of each window is depicted from the top of subfloor (Doors and Windows numbering 100) Subfloor EI=101'-0" at main level. Intent is to align T.O. Window Units w/ T.O. Exterior Doors in all cases. Head height indicates rough opening height for window/door. SEE WINDOW/DOOR DETAIL FOR MORE INFORMATION. Also Door Height on schedule indicates leaf size and not unit size, please consult architect for any questions.
02. Manufacturer shall submit shop drawings, tabulations, and verified in field rough opening sizes to Owner for review.
03. Verify exterior cladding color with Owner.
04. All glazing shall be Low-E 2 sealed insulating glass unless noted otherwise. Where required by code, glazing shall be tempered.
05. All window/door type elevations are drawn as viewed from the exterior.
06. Window/Door hardware to be determined.

INTERIOR DOOR NOTES

01. Frame Size and location of each window is depicted from the top of subfloor (Doors and Windows numbering 100) subfloor EI=101'-0" at main level. Intent is to align Interior Doors with T.O. Window Units or T.O. Exterior Doors in most cases. Head height indicates mounting height for window/door. SEE INTERIOR DOOR DETAILS FOR MORE INFORMATION.
02. Manufacturer shall submit shop drawings, tabulations, and verified in field rough opening sizes to Owner for review.
03. See Door Elevation for information on look and style of door.

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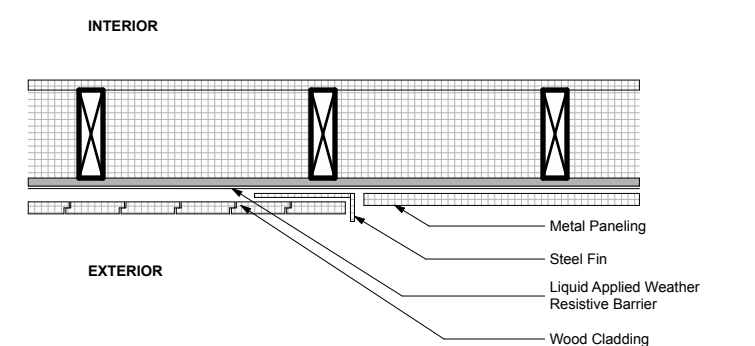
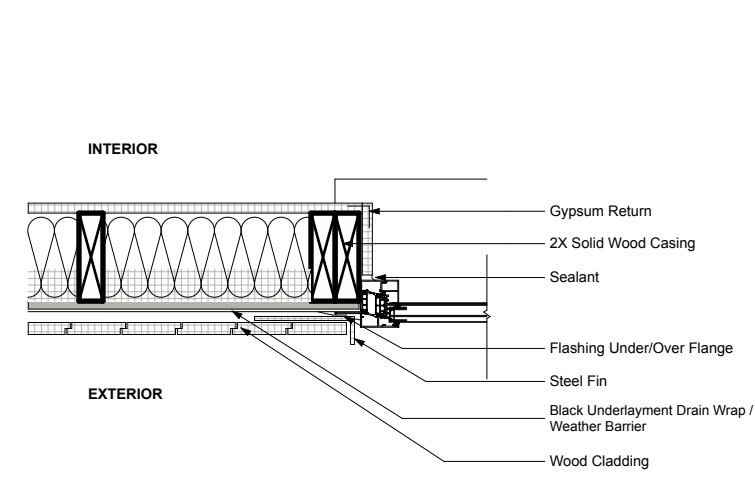
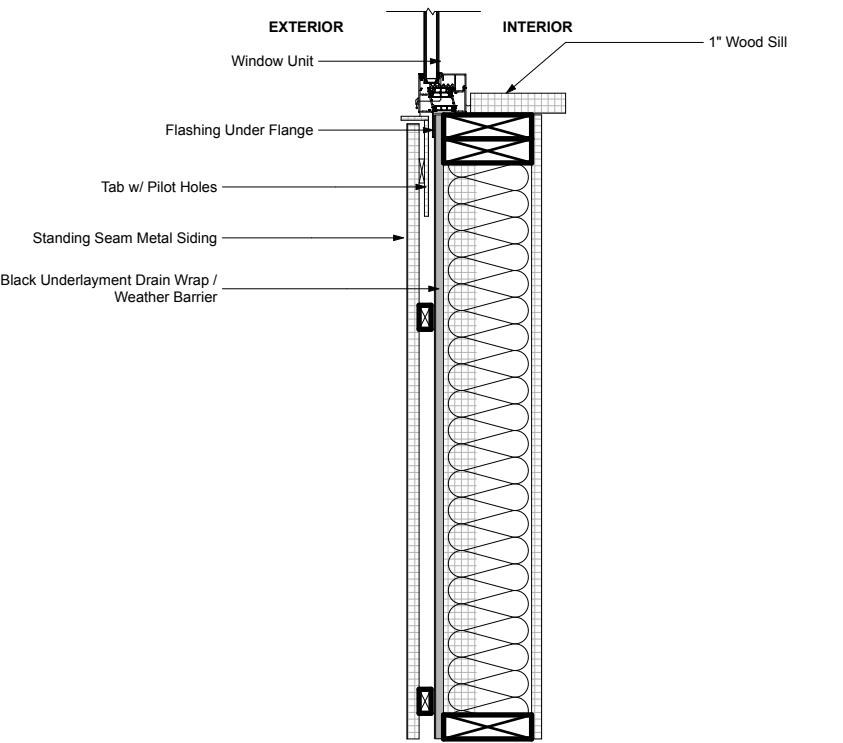
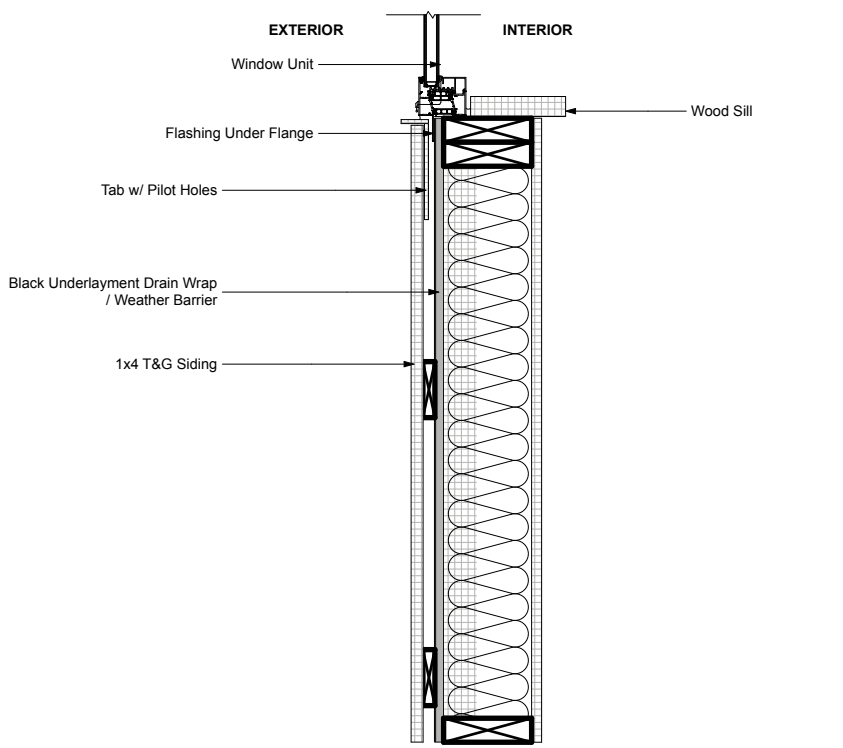
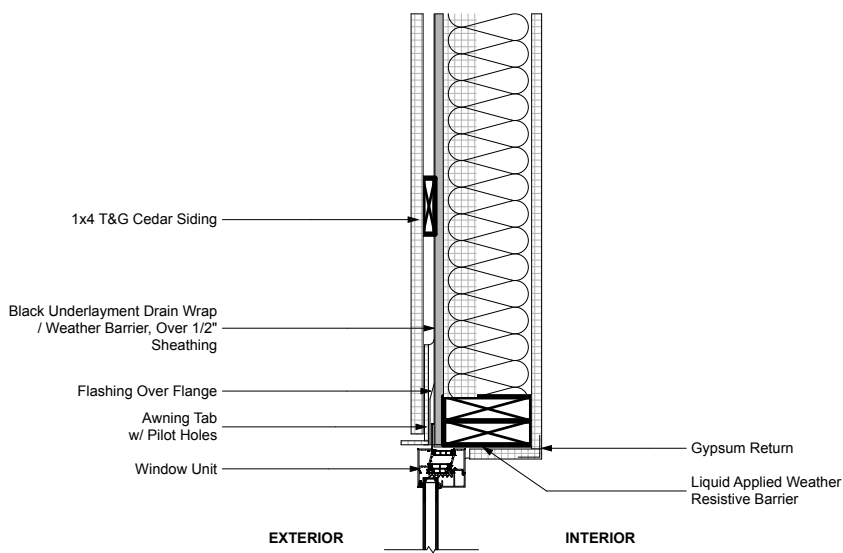
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ELEVATED LIVING

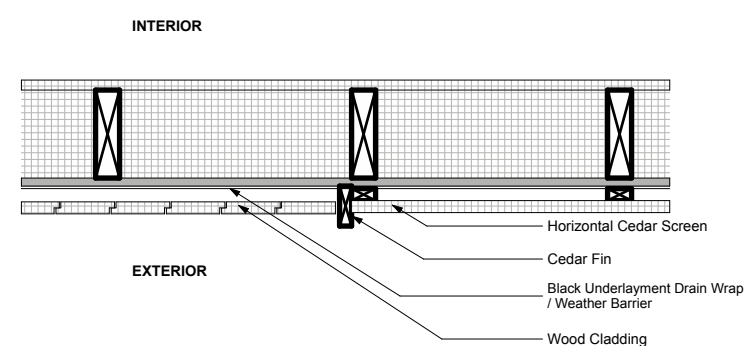
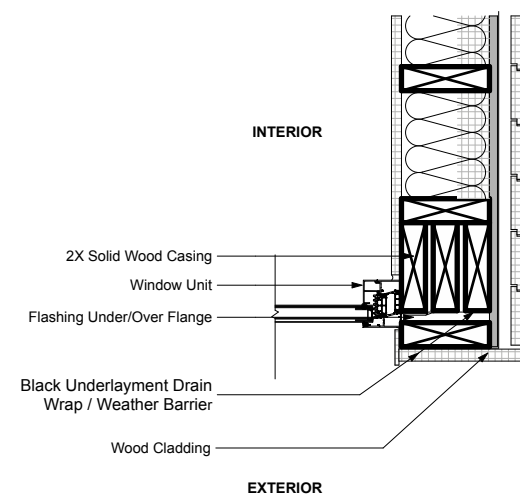
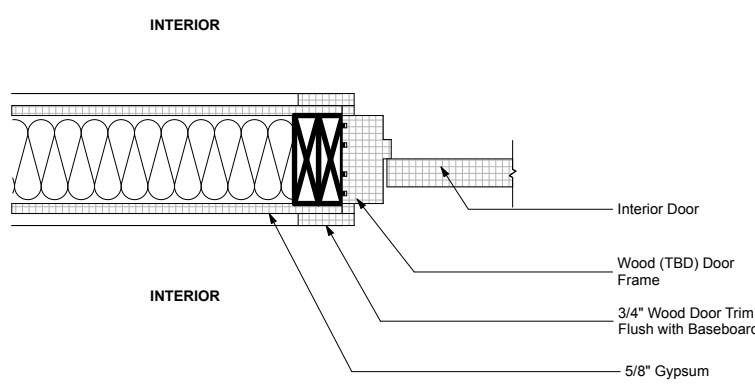
800 W Broadway
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DATE: 8/18/22
PROJECT #: JH2205
DRAWN: KM
ISSUE:
Permit Set: 08/18/22

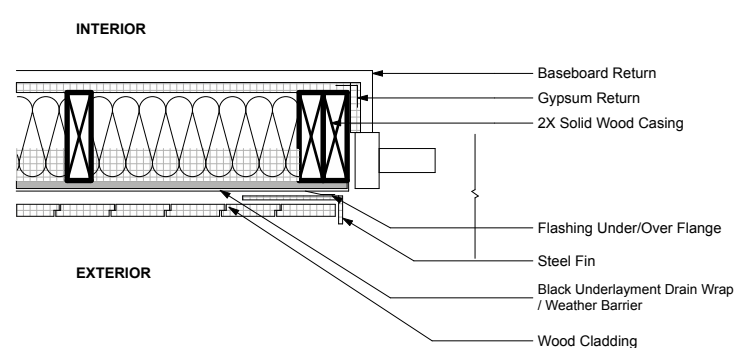
A703
Details



INTERIOR DOOR JAMB DETAIL



EXTERIOR DOOR JAMB DETAIL

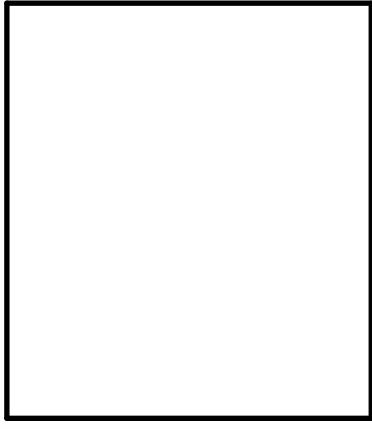


1 Window/Door Flashing
SCALE: 1" = 1'-0"

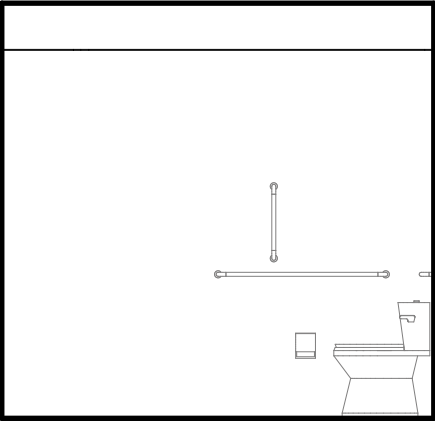
MATERIAL KEY NOTES

- CL1
- Exposed existing ceiling. Paint finish to match P1
- FL1
- Existing floor
- FL2
- Wood floor, provided by Owner. Level floor as required.
- BT1
- Base trim, provided by Owner.
- CA1
- Cabinet, provided by Owner.
- HR1
- Aluminum clad window/door, Painted to Match Steel
- P1
- Paint, color selection by Owner.
- P2
- Paint, color selection by Owner.
- WT1
- Wall tile, selection by Owner.

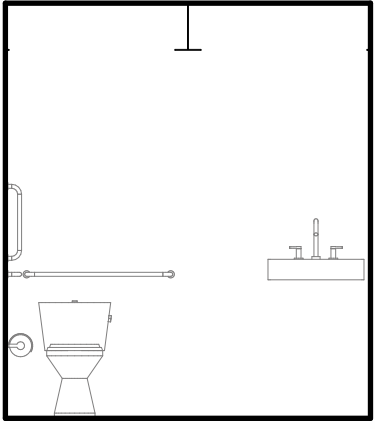
NOTE: ALL FINISHES TO BE APPROVED BY ARCHITECT THRU SUBMITTALS / SAMPLES, G.C. TO VERIFY WITH ARCHITECT BEFORE INSTALL, TYP.



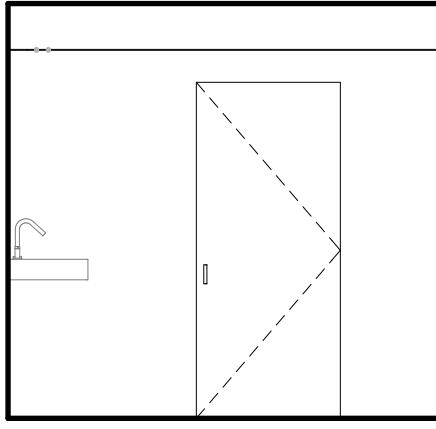
1 Accessible RR - West
SCALE: 1/4" = 1'-0"



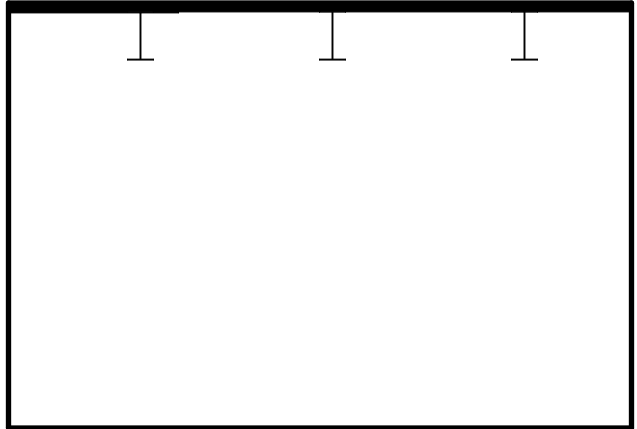
2 Accessible RR - North
SCALE: 1/4" = 1'-0"



3 Accessible RR - East
SCALE: 1/4" = 1'-0"



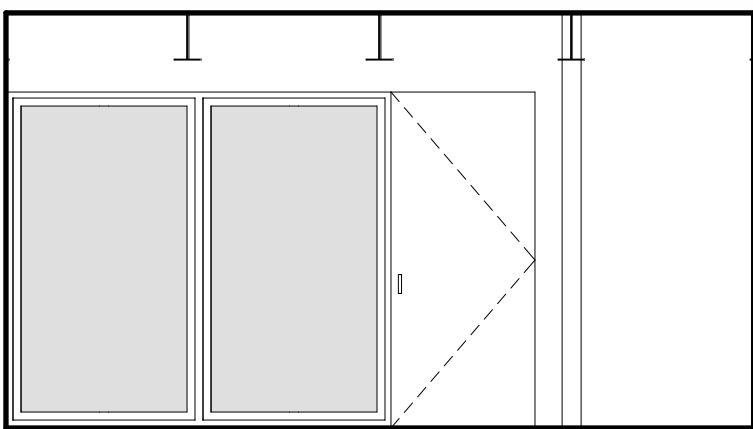
4 Accessible RR - South
SCALE: 1/4" = 1'-0"



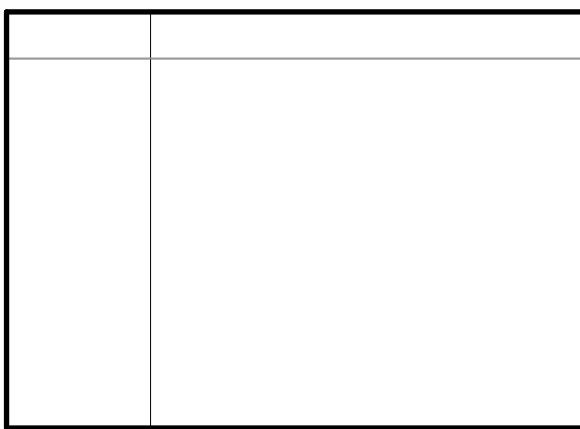
6 Office - West
SCALE: 1/4" = 1'-0"



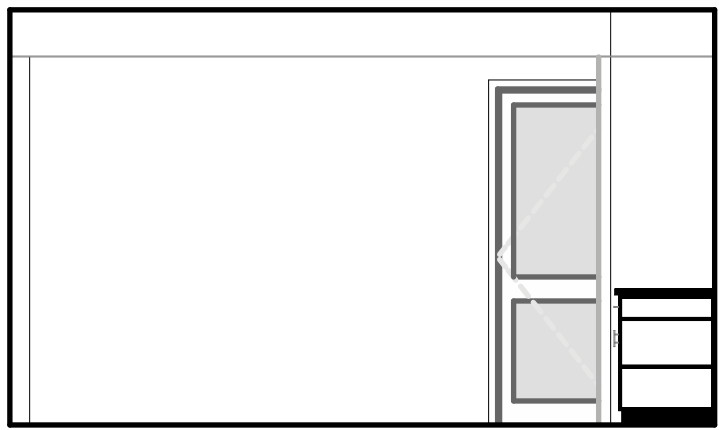
7 Office - North
SCALE: 1/4" = 1'-0"



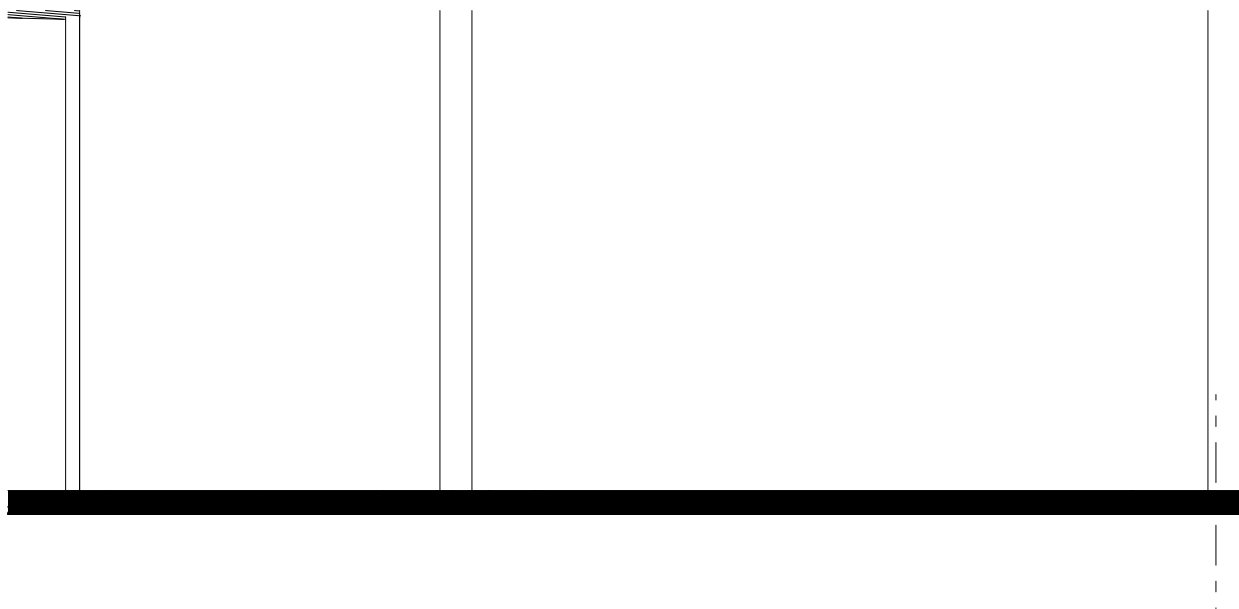
8 Office - East
SCALE: 1/4" = 1'-0"



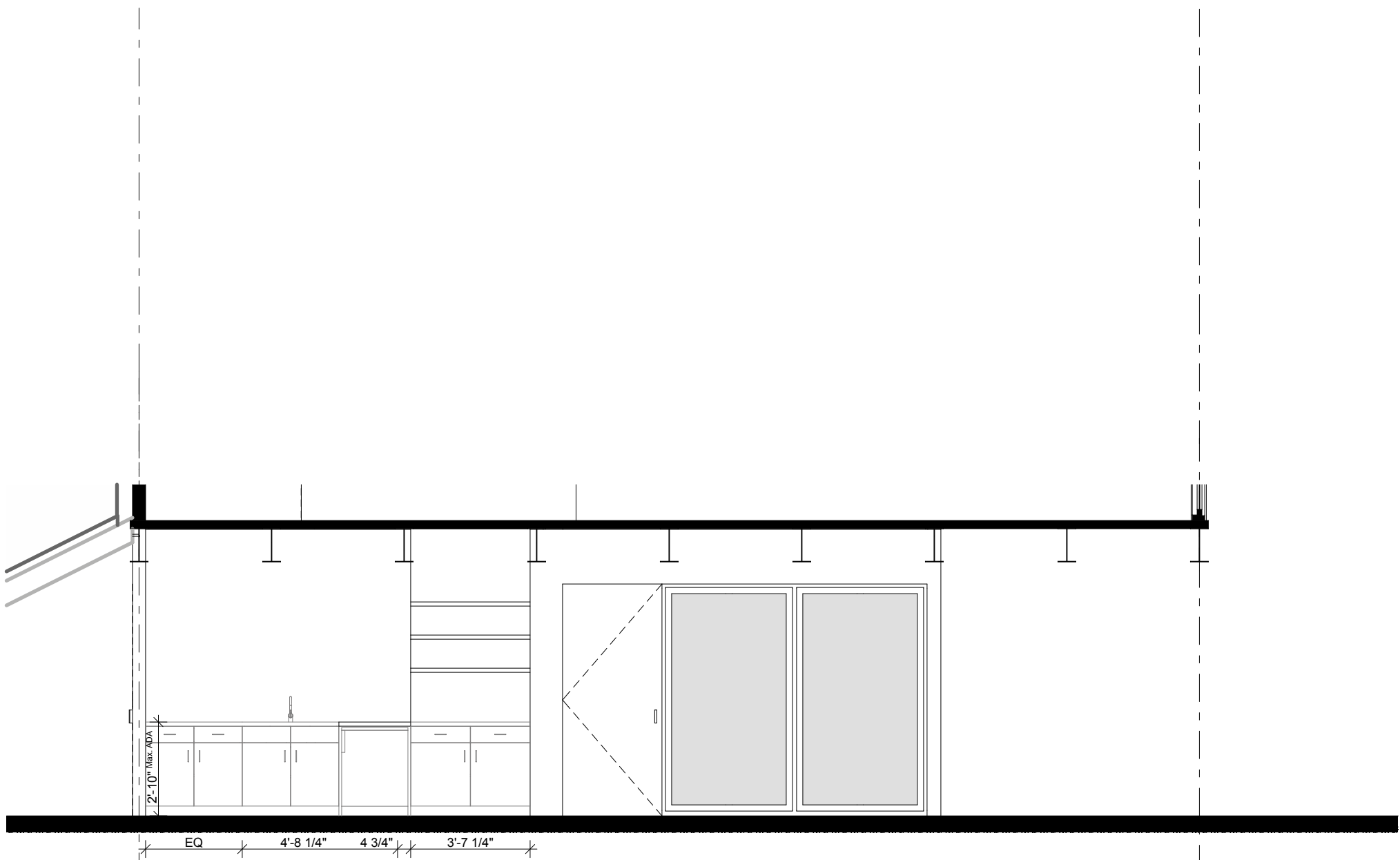
9 Office - South
SCALE: 1/4" = 1'-0"



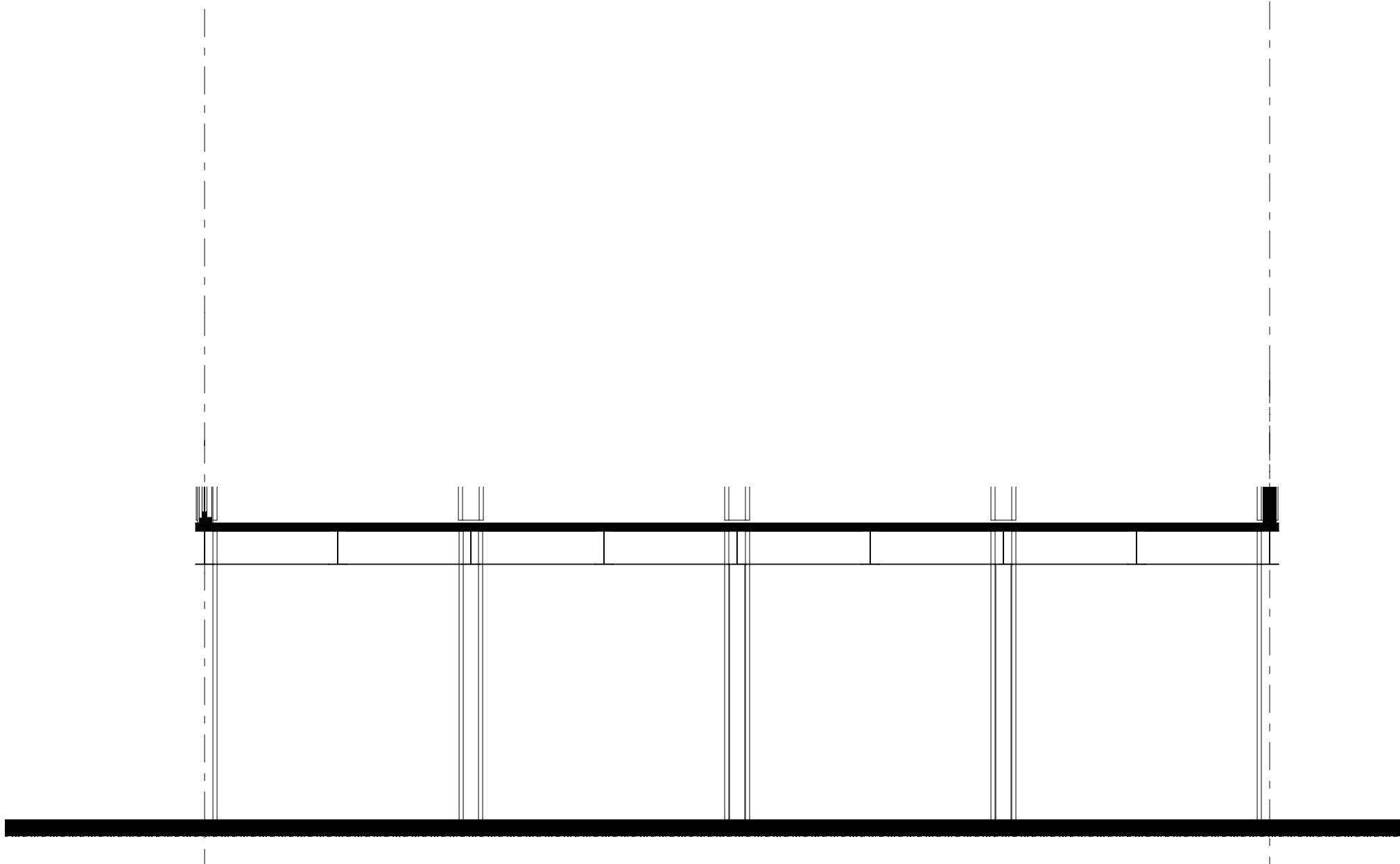
10 Retail
SCALE: 1/4" = 1'-0"



12 Retail (2)
SCALE: 1/4" = 1'-0"



13 Retail (3)
SCALE: 1/4" = 1'-0"



11 Retail (1)
SCALE: 1/4" = 1'-0"

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DATE: 8/18/22
PROJECT #: JH2205
DRAWN: KM
ISSUE: Permit Set: 08/18/22

A801
Interior Elevations

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LICENSED ARCHITECT

JAMES J. FARMER

B-9062

8/15/22

STATE OF WYOMING

PERMIT SET

ELEVATED LIVING

800 W Broadway

Jackson WY 83001

DATE: 8/18/22

PROJECT #: JH2205

DRAWN: KM

ISSUE:

Permit Set: 08/18/22

A802

Interior Elevations

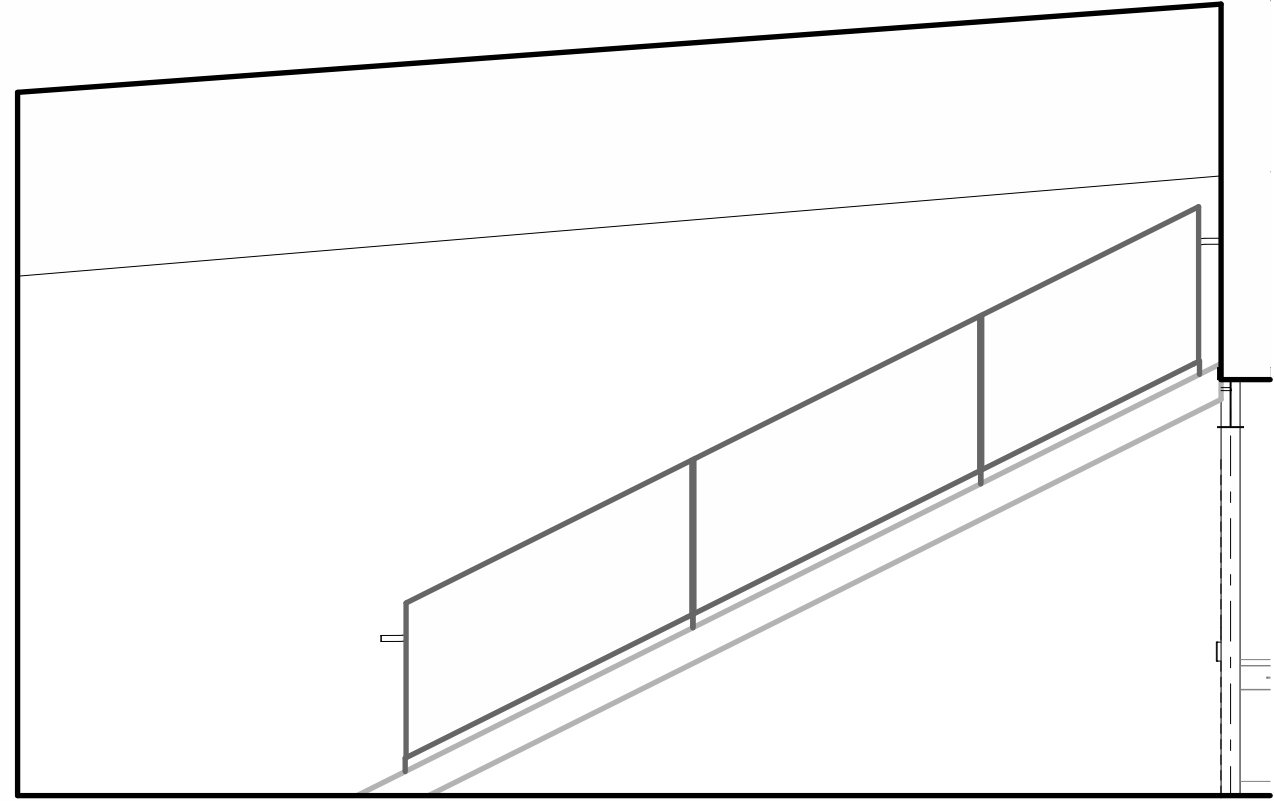
V5© FARMERPAYNEARCHITECTS

1 Retail
SCALE: 1/4" = 1'-0"

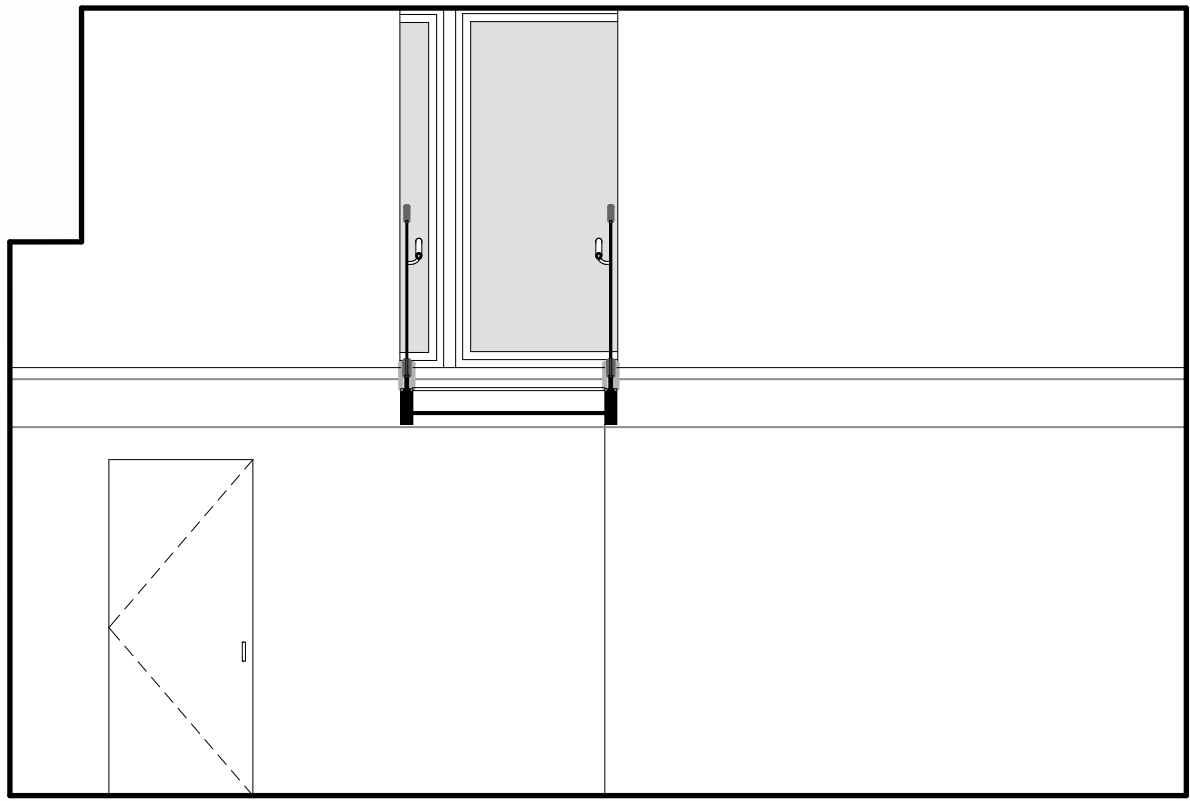
3 Retail (2)
SCALE: 1/4" = 1'-0"

2 Retail (1)
SCALE: 1/4" = 1'-0"

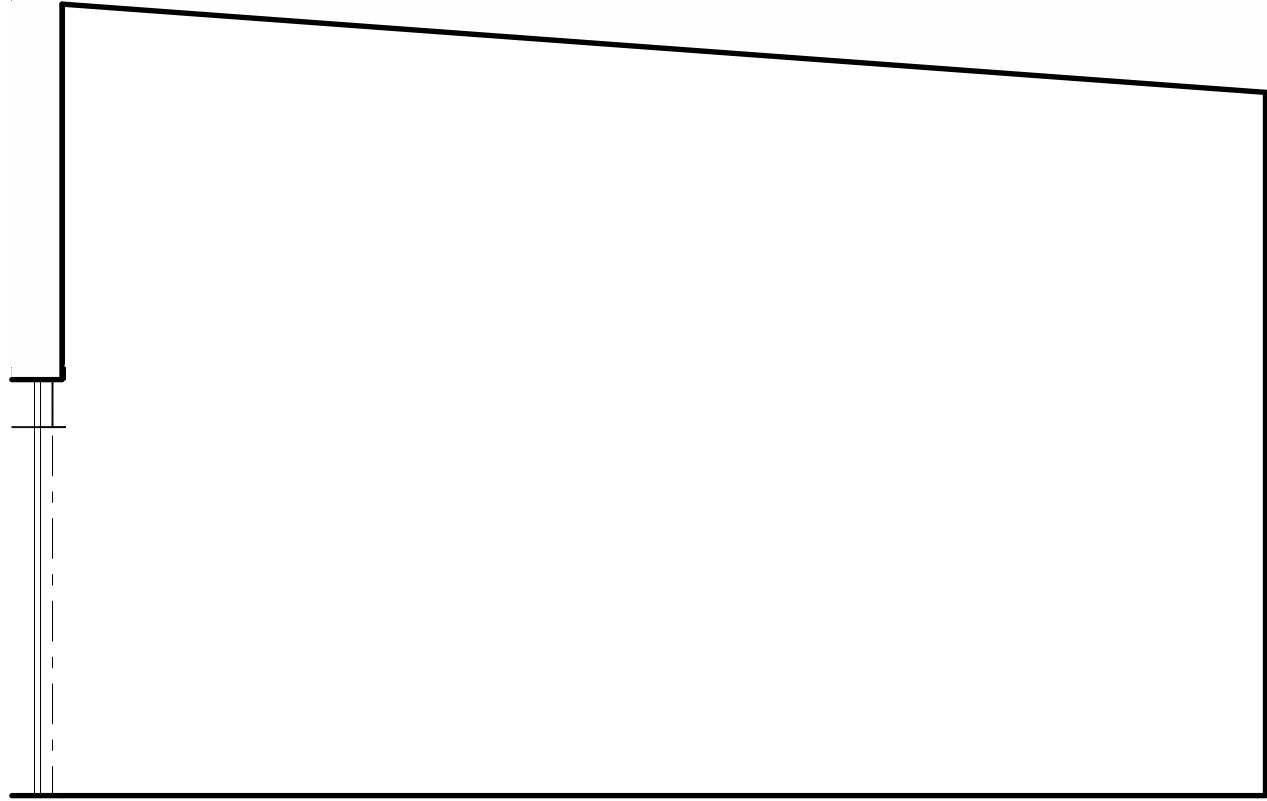
4 Retail (3)
SCALE: 1/4" = 1'-0"



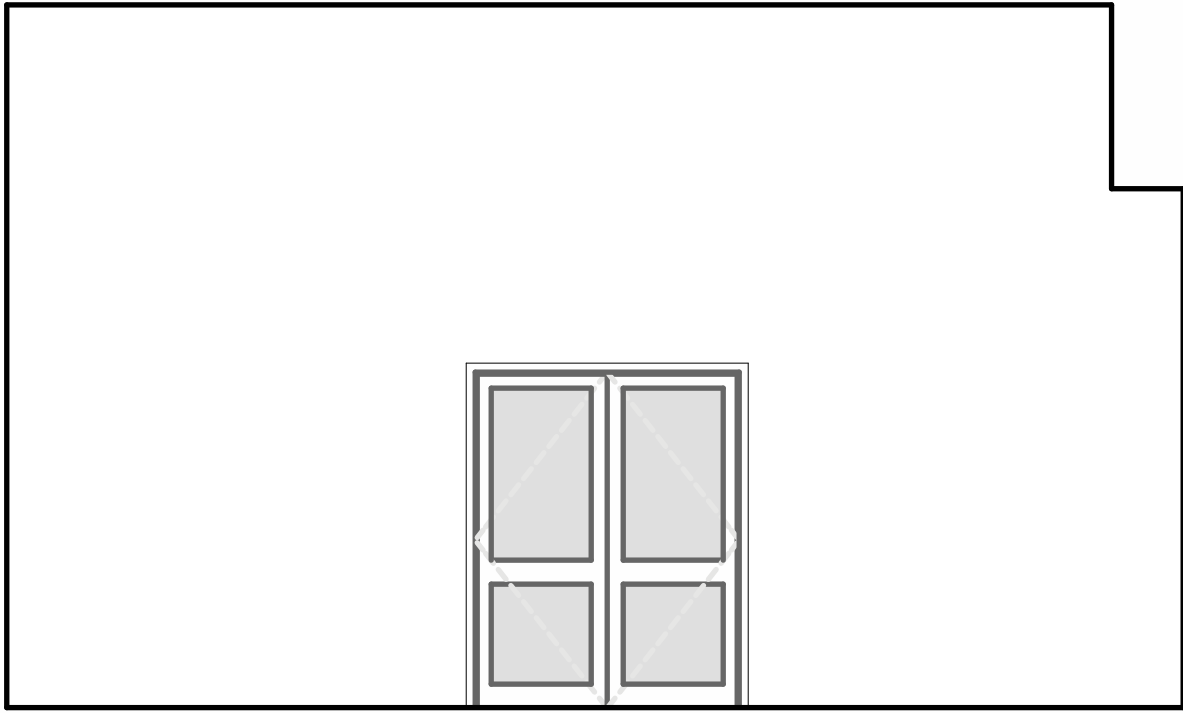
3 Staging - West
SCALE: 1/4" = 1'-0"



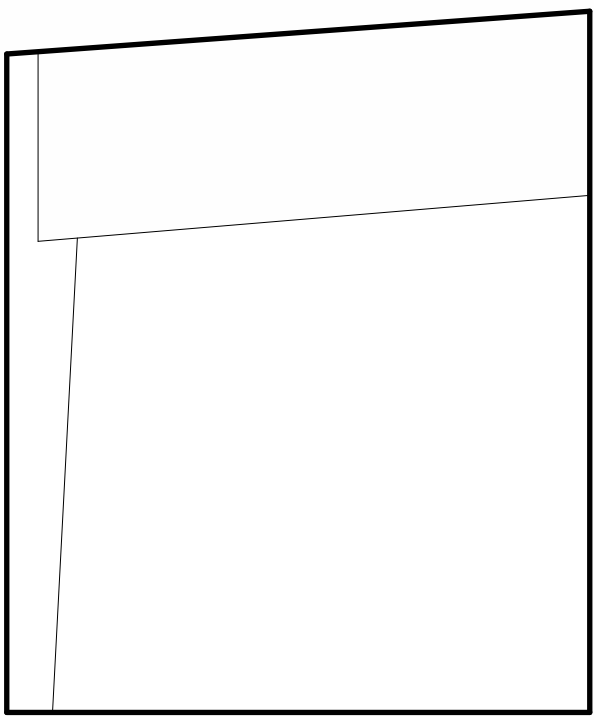
2 Staging - North
SCALE: 1/4" = 1'-0"



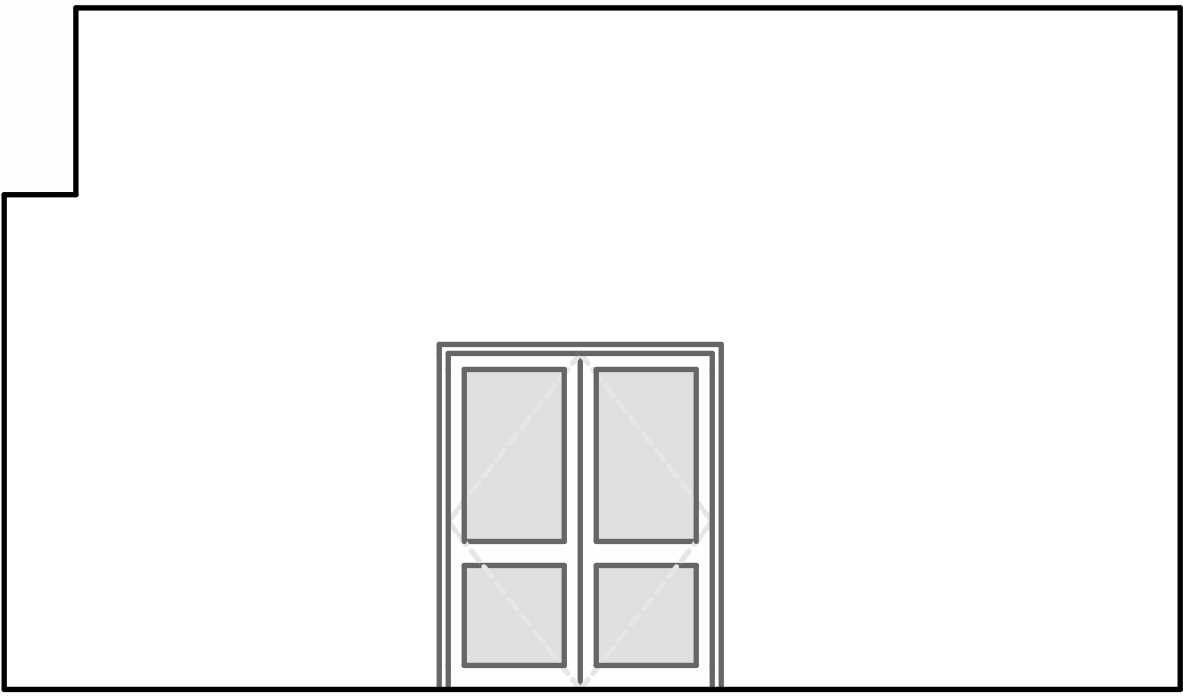
1 Staging - East
SCALE: 1/4" = 1'-0"



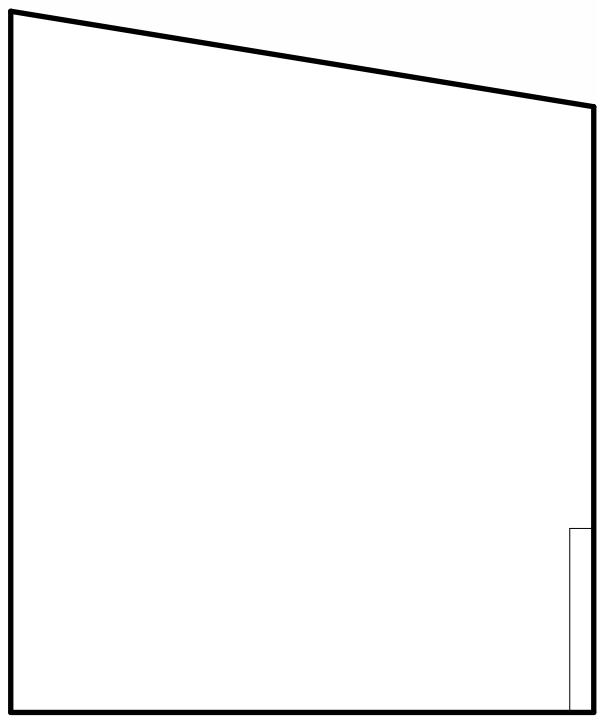
4 Staging - South
SCALE: 1/4" = 1'-0"



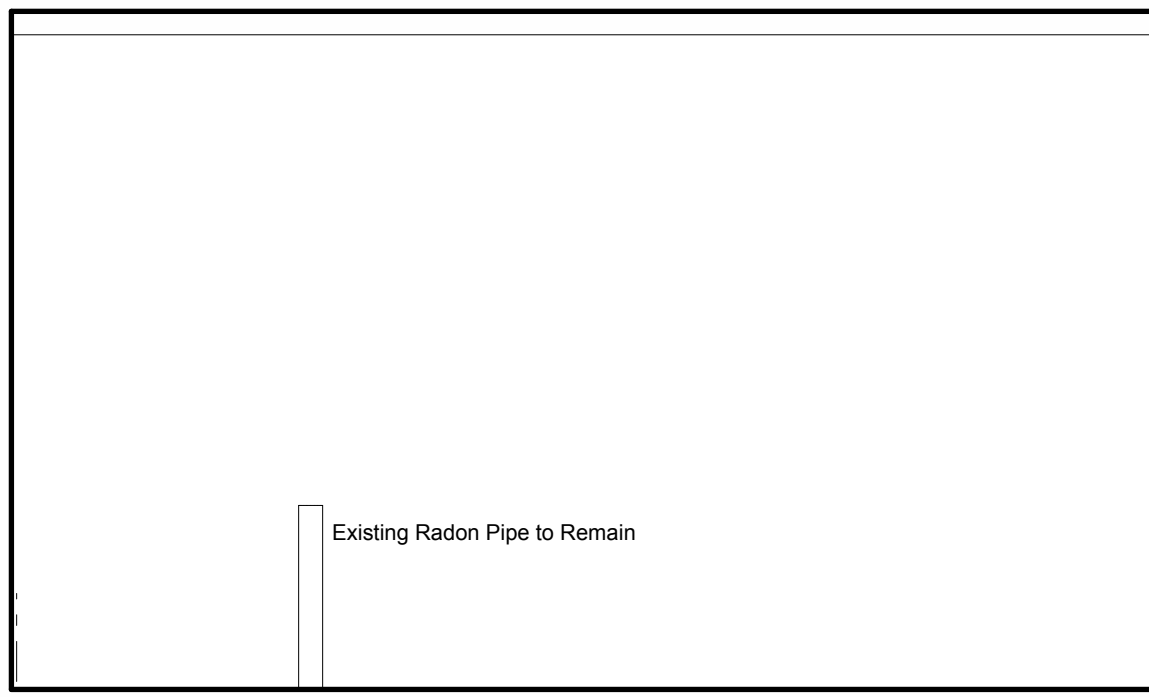
4 Unloading - West
SCALE: 1/4" = 1'-0"



2 Unloading - North
SCALE: 1/4" = 1'-0"



3 Unloading - East
SCALE: 1/4" = 1'-0"



1 Unloading - South
SCALE: 1/4" = 1'-0"

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B-9022

8/15/22

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PERMIT SET

ELEVATED LIVING

800 W Broadway

Jackson WY 83001

DATE: 8/18/22

PROJECT #: JH2205

DRAWN: KM

ISSUE:

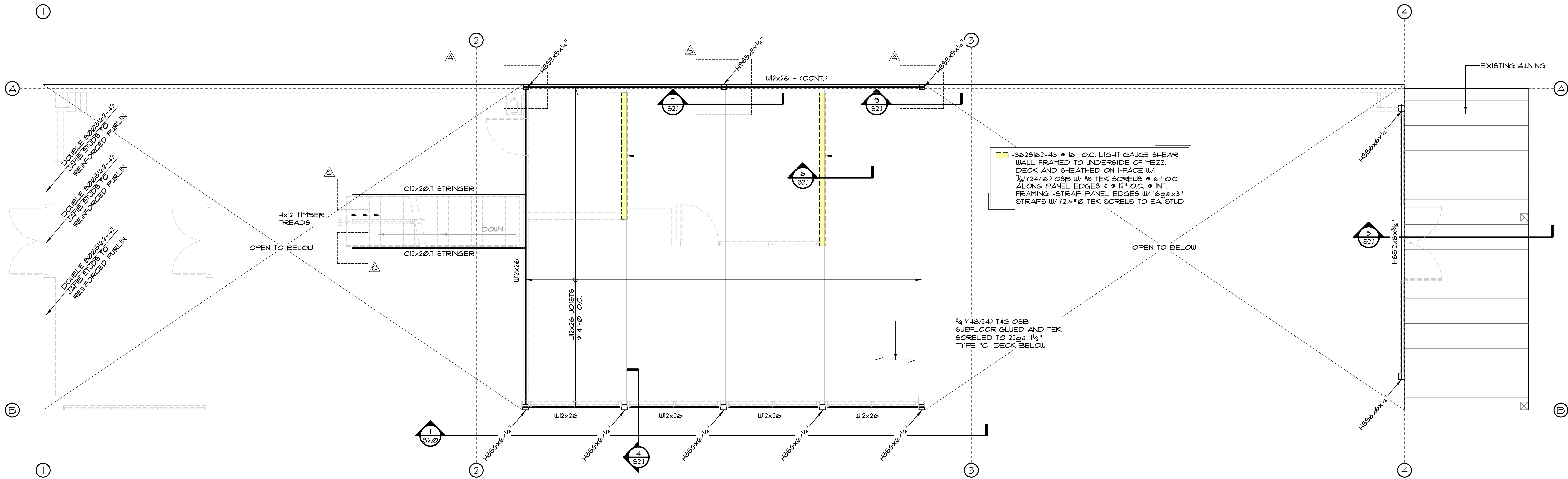
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A803

Interior Elevations

V5

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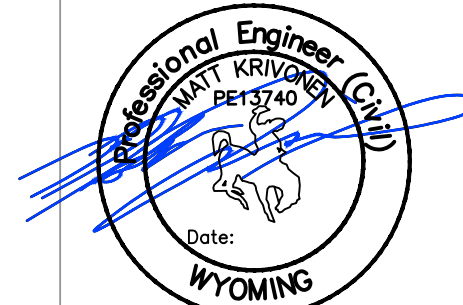
1 FOUNDATION PLAN
1/8" = 1'-0"

- △ - DENOTE LOCATION OF 3'-6" #x12" FOOTING W/ (4) #4 EA. WAY
- △ - DENOTE LOCATION OF 4'-6" #x12" FOOTING W/ (5) #4 EA. WAY
- △ - DENOTE LOCATION OF 2'-6" #x12" UN-REINFORCED FOOTING

Elevated Living
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Grand Teton Plaza Condo #5
Jackson, WY

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SHEET DESCRIPTION:
Foundation Plan

CADD DRAFTER: KZ
ENGINEER: MK
SCALE: 1/4" = 1'-0"
DATE: 8.1.2022
JOB NUMBER: 22161

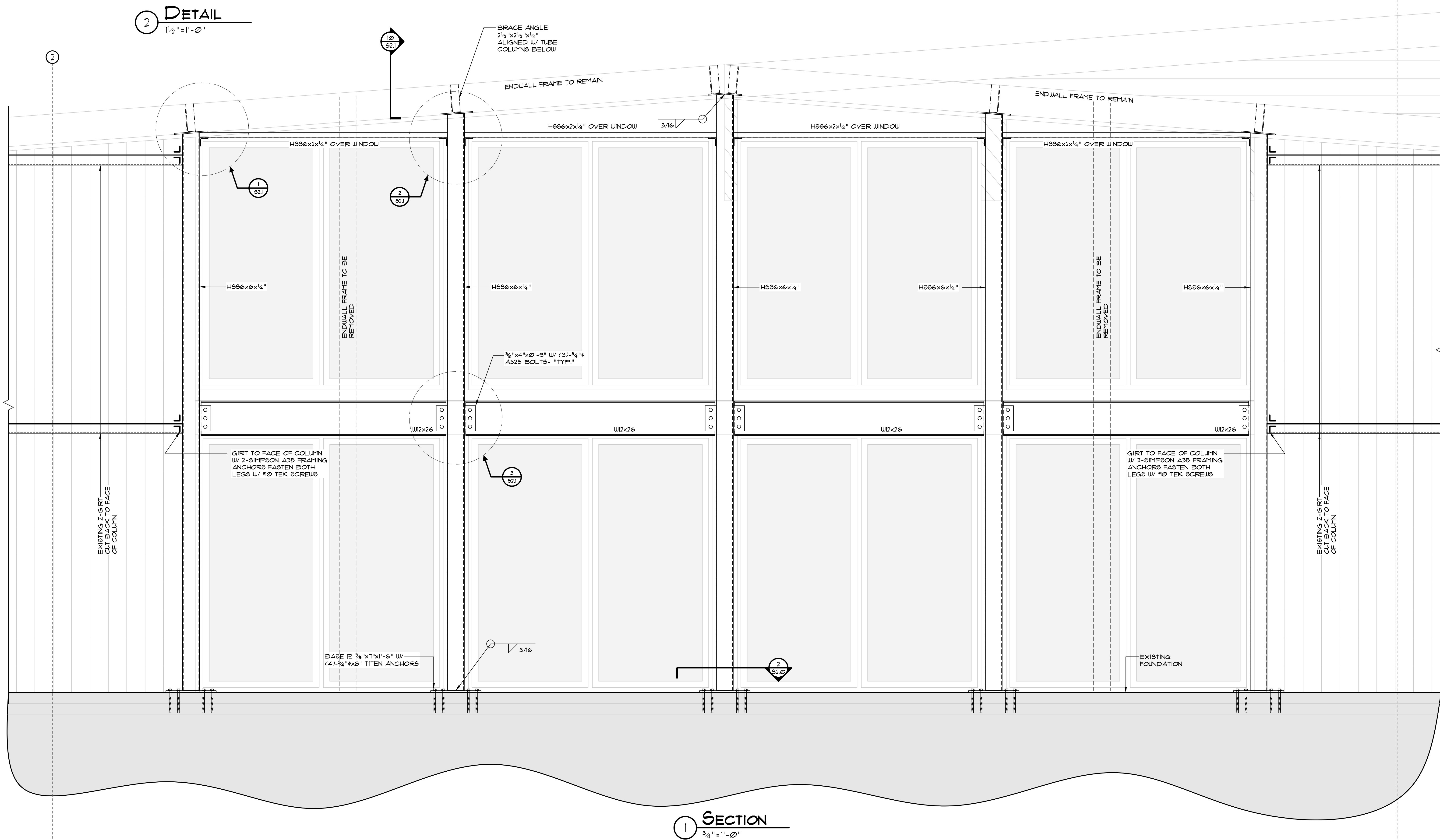
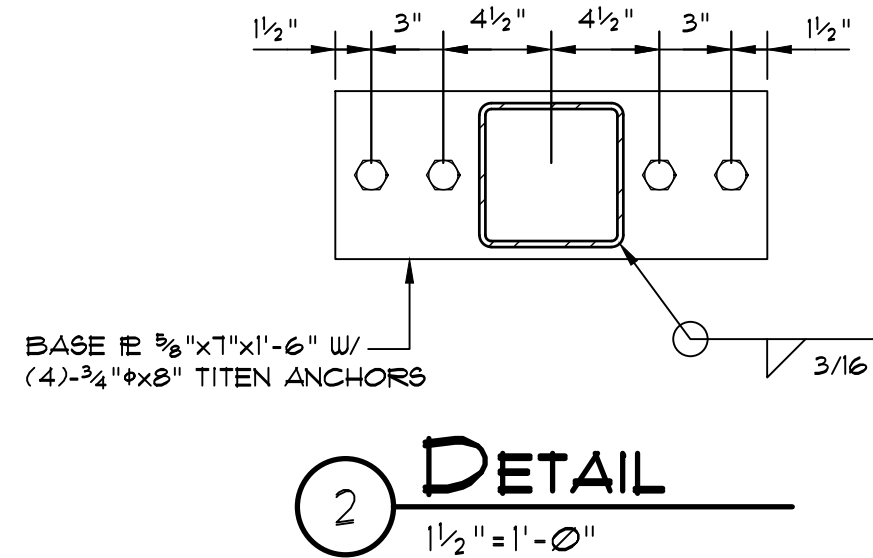
SHEET:

S1.0

8/1/22 22161-S2.0.dwg

printed scale: 1/4" = 1'-0"

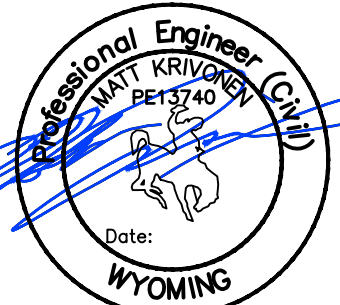
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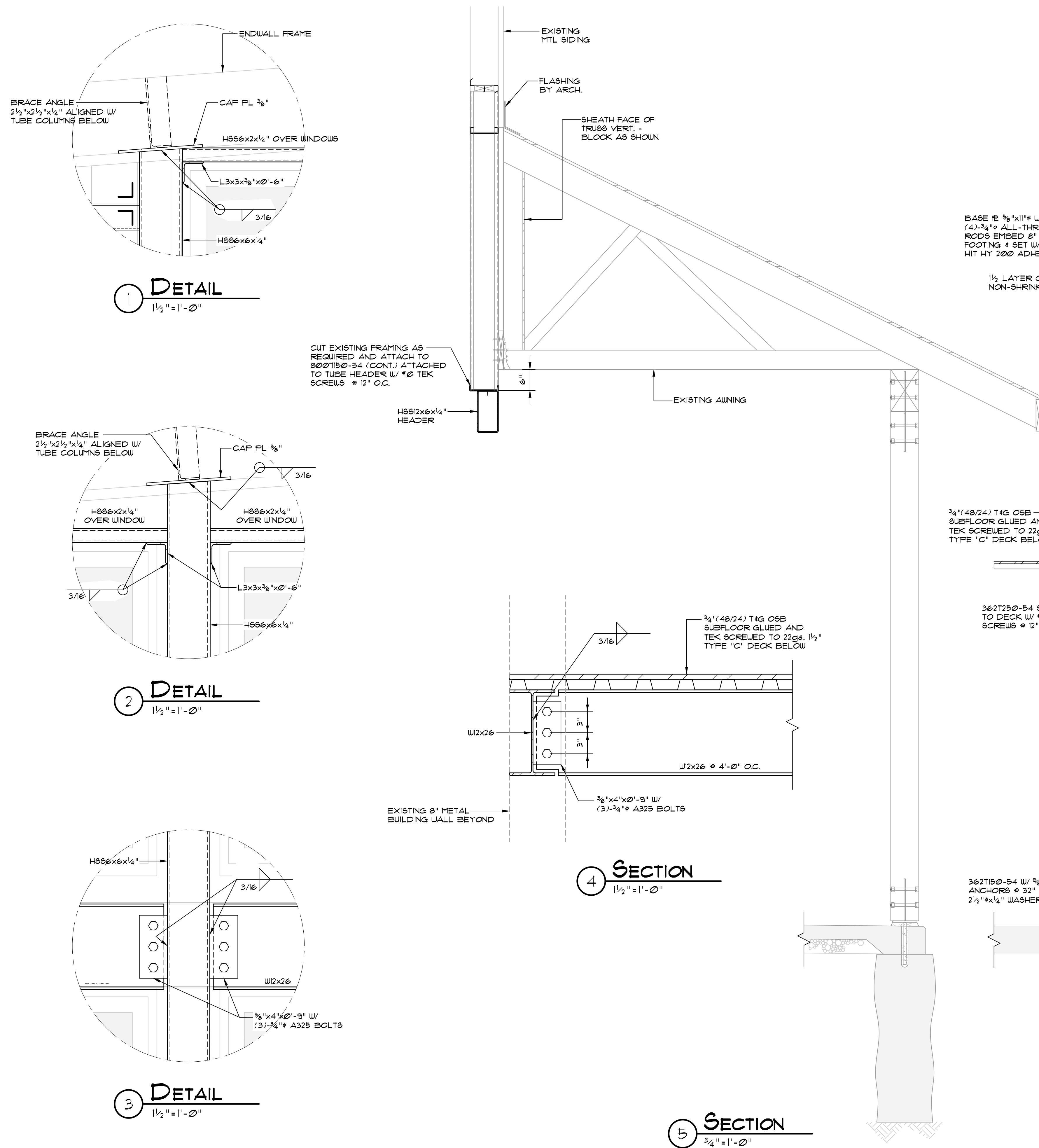
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SHEET DESCRIPTION:
Section &
Detail Views

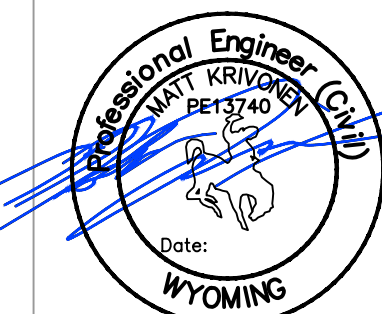
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ENGINEER: MK
SCALE: 1/4" = 1'-0"
DATE: 8.1.2022
JOB NUMBER: 22161

SHEET:
S2.0



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SHEET DESCRIPTION:
 Section &
 Detail Views

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 ENGINEER: MK
 SCALE: 1/4" = 1'-0"
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 JOB NUMBER: 22161

SHEET:

S2.1

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STRUCTURAL NOTES (CONT.)

STRUCTURAL STEEL (CONT.)

SCREW FASTENER SCHEDULE

CONNECTION	ATTACHMENT
JOIST TO SILL .....	.....(3)-#8 TEK
BRIDGING TO JOIST, EACH END.....	.....(2)-#8 TEK
SOLE TRACK TO JOIST OR BLOCKING.....	.....#10 TEK @ 16" O.C.
TOP TRACK TO STUD.....	.....(2)-#10 TEK
STUD TO BOTTOM TRACK.....	.....(2)-#10 TEK
DOUBLE STUDS, FACE SCREW.....	.....#10 TEK @ 24"O.C.
TOP TRACK, LAPS AND INTERSECTIONS.....	.....(2)-#10 TEK
ROOF JOISTS TO TRACK.....	.....(3)-#10 TEK
ROOF JOISTS, LAPS OVER PARTITIONS.....	.....(3)-#10 TEK
ROOF JOISTS TO PARALLEL RAFTERS.....	.....(3)-#10 TEK
BUILT-UP CORNER STUDS.....	.....#10 TEK @ 24"O.C.
BUILT-UP CORNER BEAMS.....	.....#10 TEK @ 32"O.C.
5/8" (40/20) CDX PLYWOOD ROOF SHEATHING.....	.....#8 TEK @ 6" O.C. @ PANEL EDGES (LAY PLYWOOD IN STAGGERED CONFIGURATIONS AT PANEL EDGE WITH 1 - PLYCLIP BETWEEN EACH SUPPORT)
7/16" (GRADE 2-M-W) OSB.....	.....#8 TEK @ 6"O.C. @ PANEL EDGES (BLOCK ALL OSB PANEL JOINTS W/2x4 BLOCKING)
29ga. PREPAINTED METAL SKIN AS REQUIRED.....	.....#10 CADMIUM PLATED SCREWS W/ NEOPRENE WASHERS - 2 PER FLAT AT BOUNDARIES & 1 PER FLUTE AT INTERMEDIATE SUPPORTS WITH 1 1/2" MIN. PENETRATION INTO WOOD FRAMING 12"O.C. MAX. SPACING REQUIREMENT @ UNSUPPORTED EDGES

MASONRY

- MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENT OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 520).
- HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM C-90, GRADE N-1 AND BE MADE WITH LIGHTWEIGHT AGGREGATE. THE MINIMUM PRISM COMPRESSIVE STRENGTH (F/M) SHALL BE 1550 PSF AT 28 DAYS. AS DETERMINED BY THE UNIT STRENGTH METHOD OF ACI 530.
- FILL ALL BOND BEAMS AND REINFORCED CELLS SOLID WITH GROUT. GROUT SHALL CONFORM TO ASTM C-476 AND SHALL OBTAIN A MIN. 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A-615, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE HOOKED OR BENT. PROVIDE A MINIMUM LAP OF 48 BAR DIAMETERS AT ALL SPLICES, UNLESS INDICATED OTHERWISE.
- UNLESS OTHERWISE INDICATED, ALL WALLS SHALL BE LAID IN RUNNING BOND. BOND CORNERS AND INTERSECTIONS OF LOAD BEARING WALLS.
- PROVIDE REBAR DOWELS FROM FOUNDATIONS TO MATCH VERTICAL REINFORCING SIZE AND SPACING.
- PROVIDE HORIZONTAL BOND BEAMS WITH CONTINUOUS REINFORCING AS INDICATED. DISCONTINUE ALL HORIZONTAL REINFORCING AT CONTROL JOINTS EXCEPT FOR THE BOND BEAMS AT BEARING ELEVATIONS.
- PROVIDE STANDARD 9 GAUGE HORIZONTAL JOINT REINFORCING AT 16"O.C. IN ALL WALLS. PROVIDE TRUSS TYPE JOINT REINFORCING FOR ALL CONCRETE MASONRY. UNLESS NOTED OTHERWISE, STOP ALL HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.
- PROVIDE CMU JOINTS AS INDICATED SUCH THAT THE MAXIMUM SPACING BETWEEN CONTROL JOINTS DOES NOT EXCEED 3x THE WALL HEIGHT, OR 40'-0".
- THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY WALL BRACING DURING CONSTRUCTION.

MATERIALS:

CMU - GRADE "N-1" (special inspection required): Fm = 1500 PSI
GROUT: 8000 PSI
MORTAR - TYPE "S": 1800 PSI

PEMB (PREFABRICATED METAL BUILDINGS)

DESIGN CRITERIA:

DESIGN LOADING - FOUNDATION DESIGN IS BASED ON REACTIONS PROVIDED BY THE METAL BUILDING MANUFACTURER. THESE REACTIONS ARE ASSUMED TO HAVE BEEN DERIVED USING IBC 2018 LOADING REQUIREMENTS. (CONTRACTOR VERIFY)
SOILS - ASSUMED 1500 PSF ON NATIVE SOILS (CONTRACTOR VERIFY)

- CONTRACTOR SHALL COORDINATE OPENINGS & IMBEDDED ITEMS NOTED ON CONSTRUCTION DOCUMENTS WITH APPROPRIATE TRADE.
- ALL SHOP DRAWINGS OF ALL STRUCTURAL COMPONENTS SHALL BE REVIEWED BY ARCHITECT PRIOR TO FABRICATION.
- STRUCTURAL COMPONENTS SHALL BE TEMPORARILY BRACED IN A MANNER TO RESIST EARTHQUAKE, WIND, SNOW, & LATERAL EARTH LOADS OR COMBINATION THEREOF UNTIL ROOF DIAPHRAGM, WALL DIAPHRAGM, OR FLOOR FRAMING ARE IN PLACE & SECURED PROPERLY.
- SPECIAL INSPECTION OF CONCRETE FOUNDATION WILL BE REQUIRED PER IBC REQUIREMENTS AND/OR LOCAL CODE REQUIREMENTS.
- ANCHOR BOLT SIZING AND PLACEMENT SHALL BE PER METAL BUILDING FABRICATORS SPECIFICATIONS. CONTRACTOR TO VERIFY & COORDINATE ALL DIMENSIONS WITH THOSE INDICATED ON DRAWINGS PROVIDED WITH METAL BUILDING.

MATERIALS:

ANCHOR BOLTS - GRADE & SIZE PER METAL BUILDING MANUFACTURER (SEE DRAWINGS FOR EMBEDMENT)

PREFABRICATED METAL BUILDING:

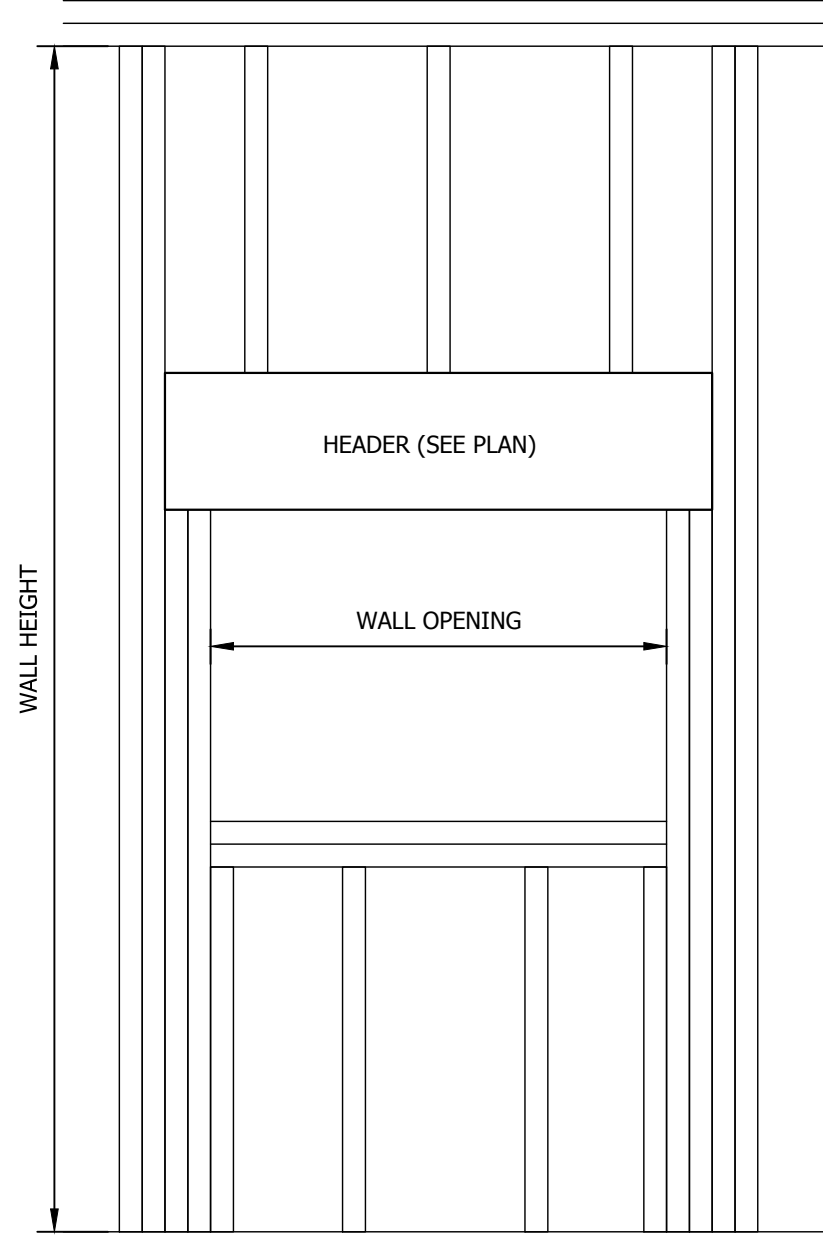
THE DRAWINGS & DESIGN CONTAINED HEREIN PERTAIN TO FOUNDATIONS ONLY. THE SERVICES PROVIDED TO THE CLIENT BY KRIVONEN STRUCTURAL ENGINEERS APPLY ONLY TO FOUNDATION DESIGN & ANALYSIS. KRIVONEN STRUCTURAL ENGINEERS IS NOT ACTING NOR HAS BEEN CONTRACTED AS THE "ENGINEER OF RECORD" FOR THE OVERALL PROJECT OR THE PRE-ENGINEERED METAL BUILDING DESIGN.

BEARING STUD SCHEDULE

EXTERIOR WALL OPENING JAMB FRAMING								
VALUE = # BEARING TRIMMER STUDS / # OF FULL HEIGHT KING STUDS								
WALL HEIGHT	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-0"	15'-0"	16'-0"
WALL OPENING								
3'-0"	1	1	1	1	1	1	1	2
4'-0"	1	1	1	1	1	2	1	2
5'-0"	1	1	1	2	1	2	1	2
6'-0"	2	2	2	2	2	2	2	2
7'-0"	2	2	2	2	2	2	2	2
8'-0"	2	2	2	2	2	2	2	3
9'-0"	2	2	2	2	2	3	2	3
10'-0"	3	2	3	2	3	3	3	3
11'-0"	3	2	3	3	3	3	3	4
12'-0"	3	2	3	3	3	3	3	4

TABLE VALUES ASSUME:

- TABLE VALUES ASSUME 30 PSF SNOW LOAD AND 115 MPH EXP. "C" ULT.
- WIND PRESSURE.
- FRAMING OF #2 H.F. OR BETTER
- WALL BEARING ROOF TRUSSES (ONLY) SPANNING 50'-0" OR LESS WITH 2'-0" EAVES.
- FRAMING SPECIFIED IN TABLE ONLY TO BE USED IF INFORMATION IS NOT SHOWN ON PLANS.
- JAMB FRAMING STUDS TO BE STITCHED TOGETHER W/ SIMPSON SDWS SCREWS @ 12"O.C. WITH LENGTH NECESSARY TO ENGAGE ALL MEMBERS.



NOTE: SEE "PLYWOOD SHEATHING NOTES" FOR NAILING REQUIREMENTS. THE USE OF STAPLE EQUIVALENTS CAN BE SUBMITTED FOR APPROVAL

NAILING AT INTERMEDIATE SUPPORTS (FIELD NAILING) - SEE PLYWOOD SHEATHING NOTES

PLYWOOD PANEL (NORMALLY 4'x8') LAY IN A STAGGERED JOINT PATTERN (CONT.) OVER 2 OR MORE SPANS

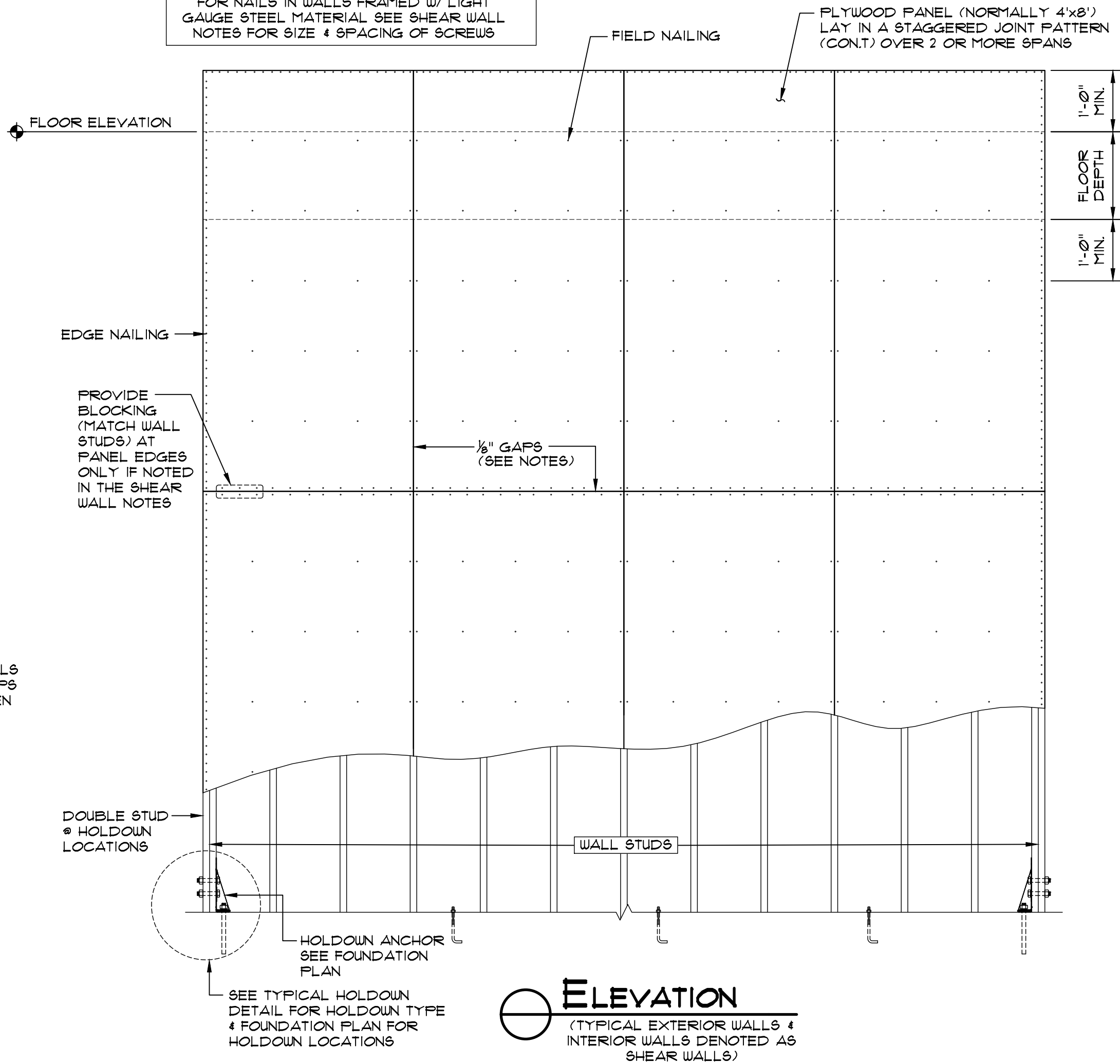
PROVIDE BLOCKING (MATCH WALL FRAMING) AT PANEL EDGES ONLY WHERE INDICATED

NAILING AT BOUNDARY EDGES SEE "PLYWOOD SHEATHING NOTES"

GAP PANELS W/ PLYCLIPS (1- BETWEEN EACH SUPPORT)

PLAN ROOF/FLOOR DIAPHRAGM

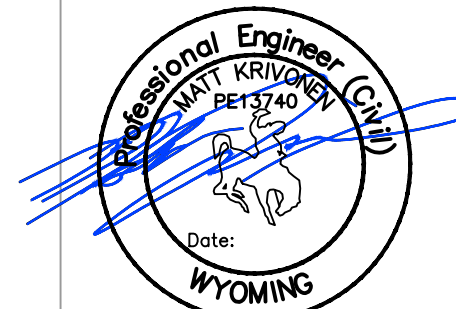
NOTE: PLANS & DETAILS FOR NAILING REQUIREMENTS. THE USE OF STAPLE EQUIVALENTS CAN BE SUBMITTED FOR APPROVAL. TEK SCREWS TO BE SUBSTITUTED FOR NAILS IN WALLS FRAMED W/ LIGHT GAUGE STEEL MATERIAL SEE SHEAR WALL NOTES FOR SIZE & SPACING OF SCREWS



Elevated Living
800 W Broadway Ave
Grand Teton Plaza Condo #5
Jackson, WY

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ANY UNAUTHORIZED USE OF THESE DRAWINGS IS PROHIBITED



SHEET DESCRIPTION:
Structural
Notes

CADD DRAFTER: KZ
ENGINEER: MK
SCALE: 1/4" = 1'-0"
DATE: 8.1.2022
JOB NUMBER: 22161

SHEET:

S3.1

KRIVONEN
STRUCTURAL ENGINEERS

1004 DIVISION ST. 3RD FLOOR BILLINGS, MT 59101 (406) 259-1184 www.krivonen.com

MECHANICAL ABBREVIATIONS			
A/C or AC	AIR CONDITIONING	KW	KILOWATT
AF	ABOVE FINISHED FLOOR	KWH	KILOWATT HOUR
AHU	AIR HANDLING UNIT		
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS	LAT	LEAVING AIR TEMPERATURE
BTU	BRITISH THERMAL UNITS	LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
BTUH	BTUS PER HOUR	LWT	LEAVING WATER TEMPERATURE
CA	COMBUSTION AIR	MAX	MAXIMUM
CC	COOLING COIL	MCA	MINIMUM CIRCUIT AMPS
CFM	AIR FLOW RATE (CUBIC FEET PER MINUTE)	MOC	MAXIMUM OVERCURRENT PROTECTION
CHWR	CHILLED WATER RETURN	MIN	MINIMUM
CHWS	CHILLED WATER SUPPLY		
CLG	CEILING	NC	NOISE CRITERIA
CW	COLD WATER	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
		NTS	NOT TO SCALE
DEG or °	DEGREE		
DIA or Ø	DIAMETER	OSA	OUTSIDE AIR
DB	DRY BULB		
		PD	PRESSURE DROP
EA	EXHAUST AIR	PH or Ø	PHASE
EAT	ENTERING AIR TEMPERATURE	PRV	PRESSURE REDUCING VALVE
EER	ENERGY EFFICIENCY RATIO		
ESP	EXTERNAL STATIC PRESSURE	RA	RETURN AIR
EWT	ENTERING WATER TEMPERATURE	RTU	ROOFTOP UNIT
		RPM	REVOLUTIONS PER MINUTE
FCO	FLOOR CLEANOUT		
FD	FIRE DAMPER	SA	SUPPLY AIR
FLA	FULL LOAD AMPS	SEER	SEASONAL ENERGY EFFICIENCY RATIO
FLR	FLOOR	SFD	COMBINATION SMOKE/FIRE DAMPER
PPM	FEET PER MINUTE	SP	STATIC PRESSURE
FT	FEET	SYM	SYMBOL
		T & P	TEMPERATURE AND PRESSURE
GA	GAUGE	TEMP	TEMPERATURE
GCO	GRADE CLEANOUT	TYP	TYPICAL
GPM	WATER FLOW RATE (GALLONS PER MINUTE)		
HC	HEATING COIL	UMC	UNIFORM MECHANICAL CODE
HP	HORSE POWER	UPC	UNIFORM PLUMBING CODE
HVAC	HEATING, VENTILATING, AIR CONDITIONING	URL	URINAL
HW	HOT WATER		
HWR	HOT WATER RETURN	VTR	VENT THROUGH ROOF
HWS	HOT WATER SUPPLY	V	VOLTS
IBC	INTERNATIONAL BUILDING CODE	W	WITH
IEEC	INTERNATIONAL ENERGY CONSERVATION CODE	WB	WET-BULB
IFC	INTERNATIONAL FIRE CODE	WC	WATER CLOSET
IFGC	INTERNATIONAL FUEL GAS CODE	WCO	WALL CLEANOUT
IMC	INTERNATIONAL MECHANICAL CODE	WH	WATER HEATER
IPC	INTERNATIONAL PLUMBING CODE		
NOTE: THIS IS A STANDARD LIST OF COMMONLY USED MECHANICAL ABBREVIATIONS. SOME OF THE ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.			

MECHANICAL GENERAL NOTES	
1.	ALL MECHANICAL EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC) LATEST EDITION, AND ALL LOCAL & STATE CODES.
2.	ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST ADOPTED PLUMBING CODE, AND ALL LOCAL & STATE CODES.
3.	ALL MECHANICAL AND PLUMBING EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
4.	MECHANICAL CONTRACTORS SHALL RECEIVE PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER BEFORE MAKING CUTS THROUGH ANY STRUCTURAL MEMBER.
5.	MECHANICAL CONTRACTORS SHALL COORDINATE INSTALLATION WITH CONSTRUCTION SUPERVISOR AND WITH ALL OTHER TRADES TO AVOID CONFLICTS.
6.	THE MECHANICAL CONTRACTORS SHALL VERIFY MOTOR VOLTAGES WITH THE ELECTRICAL DRAWINGS BEFORE ORDERING MOTORIZED EQUIPMENT AND CONTROLS.
7.	SEE MECHANICAL SCHEDULE SHEET FOR SCHEDULED CAPACITIES OF ALL MECHANICAL EQUIPMENT AND MATERIALS SPECIFIED.
8.	DOMESTIC WATER SERVICE IS PROVIDED WITH A DOUBLE CHECK BACKFLOW PREVENTER.
9.	ALL MECHANICAL EQUIPMENT TO BE PROPOSED MUST BE ON THE APPROVED LIST PRIOR TO SUBMITTALS. ALL APPROVED MANUFACTURERS MUST BE CAPABLE OF MEETING THE REQUIREMENTS OF THE SPECIFIED EQUIPMENT.
10.	RUNOUT AND HOOKUP SIZES TO INDIVIDUAL PLUMBING FIXTURE CAN BE FOUND ON THE PLUMBING FIXTURE SCHEDULE.
11.	PROVIDE REMOTE CEILING ACCESS BALANCE DAMPERS WITH CONCEALED CHROME PLATE COVERS FOR BALANCE DAMPERS LOCATED ABOVE HARD CEILINGS.
12.	PAINT ALL VTR'S, FLUES, EXHAUST CAPS, AND OTHER MECHANICAL ITEMS ON THE ROOF TO MATCH THE ROOF COLOR.
13.	INSULATED FLEXIBLE DUCTWORK MAY BE USED FOR RUNOUTS TO GRILLES AND DIFFUSERS, IN LENGTHS OF 6'-0" OR LESS.
14.	MAINTAIN MINIMUM OF 10'-0" DISTANCE BETWEEN ALL FRESH AIR INTAKES AND EXHAUST OR GAS FLUE DISCHARGES.
15.	THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL BACKFLOW DEVICES TO BE INSPECTED BY A CERTIFIED BACKFLOW TECHNICIAN BEFORE THE USE OF THE BUILDING POTABLE WATER SYSTEM.
16.	LOCATE ACCESS HATCHES SO AS TO PROVIDE OPTIMUM SERVICEABILITY TO EQUIPMENT AND/OR VALVING. SEE ARCHITECTURAL SPECIFICATION FOR TYPE AND COLOR. COORDINATE LOCATION WITH STRUCTURAL & LIGHTING.
17.	WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.
18.	THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VERIFICATION OF EXISTING JOB CONDITIONS PRIOR TO BID. NO ADDITIONAL COST SHALL BE AWARDED TO THE SUCCESSFUL CONTRACTOR (OR THEIR SUBCONTRACTORS) AFTER BIDS HAVE BEEN SUBMITTED AND CONTRACTS AWARDED FOR FAILURE TO VERIFY EXISTING FIELD CONDITIONS. DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR ALTERNATIVE METHODS OF INSTALLATION PRIOR TO THE BIDDING OF THIS PROJECT.
19.	UNLESS OTHERWISE NOTED ALL EXISTING MECHANICAL EQUIPMENT, PIPING, ETC., TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR UNDER THIS CONTRACT. THE OWNER SHALL RETAIN THE RIGHT TO KEEP ANY REMOVED ITEMS.
20.	ALL DOMESTIC COLD AND HOT WATER LINES IN THE AREA OF WORK WHICH ARE NO LONGER IN USE DUE TO THIS PROJECT SHALL BE REMOVED BACK TO THE MAINS AND CAPPED.
21.	HOLES IN EXISTING WALL OR FLOORS SHALL BE PATCHED TO MATCH EXISTING WHERE PIPING, DUCTWORK, ETC. WERE REMOVED OR ADDED DURING THIS PROJECT.
22.	DAMAGE TO THE EXISTING FACILITY DURING THE CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

MECHANICAL AND PLUMBING DRAWINGS LEGEND	
	FLEXIBLE DUCTWORK
	DUCTWORK
	DUCTWORK BREAK
	DUCTWORK OR PIPING RISE
	CONCENTRIC SQUARE TO ROUND TRANSITION
	MOTORIZED DAMPER
	MANUAL VOLUME DAMPER
	SPIN-IN FITTING W/ AIR EXTRACTOR AND HAND DAMPER
	HIGH EFFICIENCY FITTING W/ HAND DAMPER
	SWITCH
	THERMOSTAT
	HUMIDISTAT
	TEMPERATURE SENSOR
	CARBON DIOXIDE SENSOR
	CARBON MONOXIDE SENSOR
	NITROUS OXIDE SENSOR
	DUCT SMOKE DETECTOR
	COMBINATION SMOKE/FIRE DAMPER
	FIRE DAMPER
	SMOKE DAMPER
	EQUIPMENT CALLOUT
	TURNING VANES
	INTAKE OR EXHAUST
	DIRECTION OF AIRFLOW
	SUPPLY DIFFUSER
	RETURN GRILLE
	EXHAUST GRILLE
	FLOOR GRILLE
	CEILING EXHAUST FAN
	TEMPERATURE GAUGE
	PRESSURE GAUGE (LIQUID FILLED W/ ISOLATION VALVE)
	TEMPERATURE SENSOR (DUCT OR PIPING)
	FLOW SWITCH
	STAINLESS STEEL BRAIDED FLEX CONNECTION
	ELASTOMETRIC FLEX CONNECTOR
	SUCTION DIFFUSER
	Y TYPE STRAINER (1 1/2\"/>
	FLOW DIRECTION
	DEMOLITION / EQUIPMENT TO BE REMOVED
	NEW TO EXISTING CONNECTION POINT
(E)	EXISTING
(F)	FUTURE
(N)	NEW
	REDUCED PRESSURE BACKFLOW PREVENTER
	DOUBLE CHECK BACKFLOW PREVENTER
	UNION
	AIR VENT
	TRIPLE DUTY VALVE
	THREE WAY CONTROL VALVE
	TWO WAY CONTROL VALVE
	PRESSURE REDUCING VALVE
	GATE VALVE
	REDUCER
	GLOBE VALVE
	BALL VALVE
	BUTTERFLY VALVE
	BALANCE VALVE
	CHECK VALVE
	FLOOR CLEANOUT
	WALL CLEANOUT
	GRADE CLEANOUT
	WATER HAMMER ARRESTOR
	FLOOR DRAIN
	FLOOR SINK
	GAS PRESSURE REGULATOR W/ GAS COCK
	PRESSURE RELIEF VALVE
	VENT-THROUGH-ROOF
	VENT
	SOIL, WASTE, OR SANITARY SEWER
	ACID WASTE LINE
	ACID VENT LINE
	STORM DRAIN
	ROOF DRAIN LINE
	OVERFLOW DRAIN LINE
	CONDENSATE DRAIN LINE
	DOMESTIC COLD WATER (CW)
	DOMESTIC HOT WATER (HW)
	DOMESTIC HOT WATER RETURN (HWR)
	TEMPERED WATER (TW)
	MEDIUM PRESSURE NATURAL GAS
	LOW PRESSURE NATURAL GAS
	FIRE SPRINKLER LINE
	GEO THERMAL WATER SUPPLY
	GEO THERMAL WATER RETURN
	CHILLED WATER SUPPLY
	CHILLED WATER RETURN
	CONDENSER WATER SUPPLY
	CONDENSER WATER RETURN
	HEATING WATER SUPPLY
	HEATING WATER RETURN
	LIQUID REFRIGERANT LINE
	SUCTION REFRIGERANT LINE
	SLOPE PIPE IN DIRECTION OF ARROW
	PIPE ANCHOR
	PIPE GUIDE
	CAP
NOTE:	THIS IS A LIST OF COMMONLY USED MECHANICAL AND PLUMBING SYMBOLS. SOME OF THE SYMBOLS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.

ENERGY CODE COMPLIANCE	
A.	COMPLIANCE WITH THE LATEST ADOPTED EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE IS REQUIRED FOR THIS PROJECT. THESE NOTES COVER MANDATORY REQUIREMENTS OF THE CODE. ADDITIONAL REQUIREMENTS ARE NOTED ON THE DRAWINGS AND IN THE SPECIFICATIONS.
B.	MINIMUM REQUIREMENTS FOR SUPPLY AND RETURN DUCTWORK INSULATION: 1. R-6: DUCTS LOCATED IN UNCONDITIONED SPACES (SPACE NEITHER HEATED NOR COOLED SUCH AS ABOVE CEILING SPACES, WALL SPACES, DUCT CHASES, SOFFITS, ATTICS, CRAWL SPACES, UNHEATED BASEMENTS, AND UNHEATED GARAGES). 2. R-12: DUCTS LOCATED OUTSIDE OF THE BUILDING'S INSULATION ENVELOPE (SUCH AS ABOVE THE ATTIC INSULATION). TYPICAL INSULATION THICKNESS REQUIRED TO MEET THESE REQUIREMENTS: 1. DUCT WRAP: R-6 = 1-1/2" R-12 = 4" 2. DUCT LINER: R-6 = 1-1/2" R-12 = 3"
C.	CONTRACTOR SHALL VERIFY WITH THE MANUFACTURER, THE R-VALUES OF THE ACTUAL INSULATION USED. R-VALUES SHALL BE INSTALLED VALUES.
D.	WHERE DUCTS USED FOR COOLING ARE EXTERNALLY INSULATED, THE INSULATION SHALL BE COVERED WITH A VAPOR RETARDER HAVING A MAXIMUM PERMEANCE OF 0.05 PERM OR ALUMINUM FOIL HAVING A MINIMUM THICKNESS OF 2 MILS. INSULATION HAVING A PERMEANCE OF 0.05 PERMS OR LESS SHALL NOT BE REQUIRED TO BE COVERED. ALL JOINTS AND SEAMS SHALL BE SEALED TO MAINTAIN THE CONTINUITY OF THE VAPOR RETARDER.
E.	ALL DUCT JOINTS, SEAMS, AND CONNECTIONS SHALL BE FASTENED AND SEALED WITH WELDS, GASKETS, ADHESIVES, MASTIC-PLUS-EMBEDDED-FABRIC SYSTEMS, OR TAPES. TAPES AND MASTICS SHALL BE LISTED AND LABELED PER UL181A OR UL181B. DUCT TAPE IS NOT PERMITTED AS A SEALANT ON ANY METAL DUCTS. DUCT CONNECTIONS TO FLANGES OR EQUIPMENT SHALL BE SEALED AND MECHANICALLY FASTENED.
F.	MINIMUM REQUIREMENTS (THICKNESS) FOR PIPING INSULATION SHALL BE AS FOLLOWS: FLUID NOMINAL PIPE DIAMETER 1. REFRIGERANT 1/2" TO < 1 1/2" 1 1/2" TO < 4" 4" AND ABOVE SEE SPECIFICATIONS THE ABOVE INSULATION IS BASED ON HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU-INCH/HOUR-FT²-F. G. DOMESTIC HOT WATER PIPING SYSTEMS SHALL BE INSULATED WITH 1" INSULATION HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU-INCH/HOUR-FT²-F. H. DOMESTIC WATER HEATERS WHICH ARE NOT PROVIDED WITH INTEGRAL HEAT TRAPS AND SERVE NONCIRCULATING SYSTEMS SHALL BE PROVIDED WITH HEAT TRAPS ON THE SUPPLY AND DISCHARGE PIPING AT THE WATER HEATER. I. DOMESTIC HOT WATER SYSTEMS WITH RECIRCULATION PUMPS OR ELECTRIC HEAT TRACE SHALL BE CONTROLLED WITH 7-DAY TIME CLOCKS. J. AN OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE O&M MANUAL SHALL CONTAIN THE FOLLOWING INFORMATION AS A MINIMUM: 1. EQUIPMENT CAPACITY (INPUT & OUTPUT). 2. EQUIPMENT OPERATING AND MAINTENANCE INSTRUCTIONS. 3. CONTROL SYSTEM MAINTENANCE AND CALIBRATION INFORMATION, INCLUDING WIRING DIAGRAMS, SCHEMATICS, AND CONTROL SEQUENCES. 4. CONTROL SYSTEM SETPOINTS SHALL BE SHOWN ON CONTROL DRAWINGS, AT CONTROL DEVICES, OR IN PROGRAMMING COMMENT ON DDC SYSTEMS. 5. A COMPLETE WRITTEN NARRATIVE ON HOW EACH MECHANICAL SYSTEM IS INTENDED TO OPERATE.



COMcheck Software Version 4.1.5.5 Mechanical Compliance Certificate

Project Information

Energy Code:	2018 IECC	
Project Title:	Elevated Living	
Location:	Jackson, Wyoming	
Climate Zone:	7	
Project Type:	Alteration	
Construction Site:	Owner/Agent:	Designer/Contractor:
800 W. Broadway	Kiley Maas	Marty Quinowski
Jackson, WY 83001	Farmer Payne Architects	Musgrove Engineering
	260 West Broadway, Suite A	234 S. Whisperwood Way
	Jackson, WY 83001	Boise, ID 83709
	307-264-0080	208-384-0585
	kiley@farmerpaynearchitects.com	martyq@musgrovepa.com

Mechanical Systems List

Quantity	System Type & Description
1	HVAC System 1 (Single Zone): Heating: 1 each - Central Furnace, Gas, Capacity = 75 kBtu/h Proposed Efficiency = 90.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE Cooling: 1 each - Split System, Capacity = 54 kBtu/h, Air-Cooled Condenser, Unknown Economizer Proposed Efficiency = 13.00 SEER, Required Efficiency: 13.00 SEER Fan System: None
1	HVAC System 2 (Single Zone): Heating: 1 each - Central Furnace, Gas, Capacity = 78 kBtu/h Proposed Efficiency = 90.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE Cooling: 1 each - Split System, Capacity = 34 kBtu/h, Air-Cooled Condenser, Unknown Economizer Proposed Efficiency = 16.00 SEER, Required Efficiency: 13.00 SEER Fan System: None
1	HVAC System 3 (Single Zone): Heating: 1 each - Duct Furnace, Electric, Capacity = 27 kBtu/h No minimum efficiency requirement applies Fan System: None
1	Water Heater 1: Electric Storage Water Heater, Capacity: 20 gallons w/ Circulation Pump Proposed Efficiency: 1.65 SL, %/h (if > 12 kW), Required Efficiency: 1.65 SL, %/h (if > 12 kW)

Mechanical Compliance Statement

Compliance Statement: The proposed mechanical alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Marty Quinowski - Designer

Name - Title

Signature

08/3/2022

Date



MUSGROVE
ENGINEERING, P.A.
234 S. Whisperwood Way
Boise, ID 83709
208.384.0585
645 West 25th Street
Idaho Falls, ID 83402
208.533.2862
www.musgrovepa.com
Project No. 22-250

FARMERPAYNE
ARCHITECTS

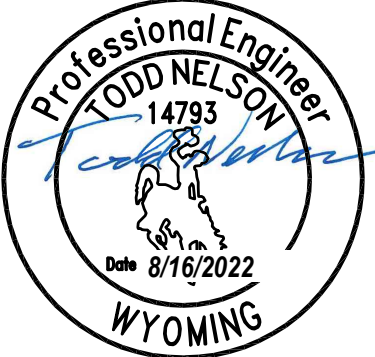
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STAMP:



PERMIT SET

ELEVATED LIVING
800 W Broadway
Jackson WY 83001

DATE: 8/15/22

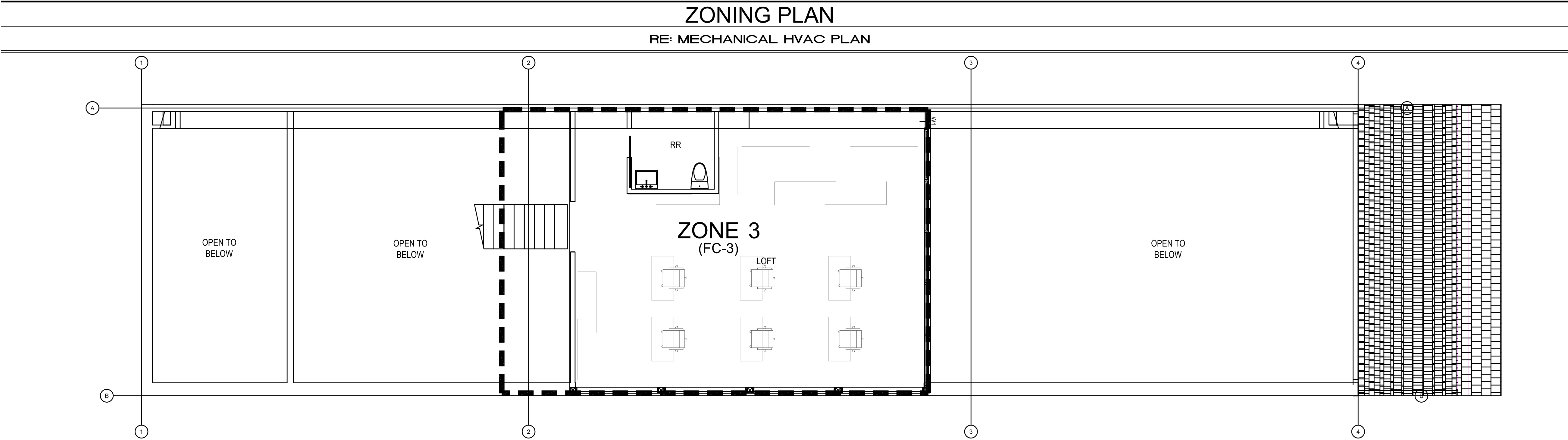
PROJECT #: JH2205

DRAWN: MQ/TDN

ISSUE:

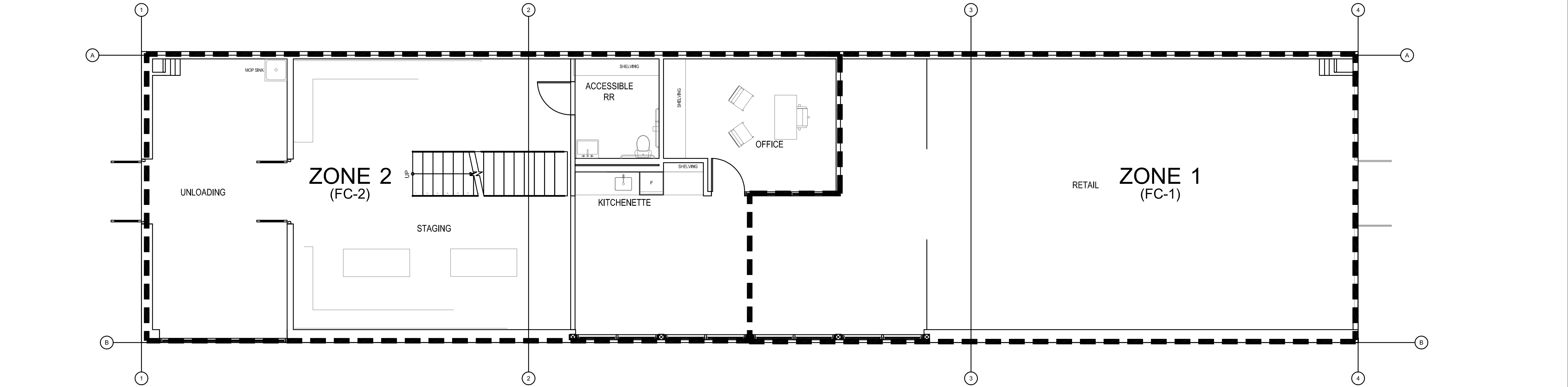
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MECHANICAL
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2 Upper Level Zone Plan

SCALE: 1/4" = 1'-0"



1 Main Level Zone Plan

SCALE: 1/4" = 1'-0"



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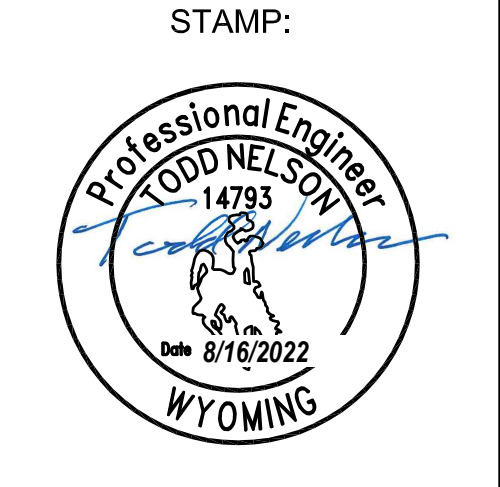
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PERMIT SET

ELEVATED LIVING
800 W Broadway
Jackson WY 83001

DATE:	8/15/22
PROJECT #:	JH2205
DRAWN:	MQ/TDN
ISSUE:	

M001
ZONING PLANS

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SECTION 15100 – MECHANICAL GENERAL PROVISIONS

PART 1 – GENERAL

1.1. SCOPE:

- A. General:
- The Bidding Requirements, Contract Requirements, and the General Requirements of these specifications shall govern all parts of the work Work Included:
 - Install work in accordance with these specifications and the accompanying plans. Furnish all labor, material, and equipment together with all incidental items not specifically shown or specified which are required by good practice to provide the complete mechanical systems as described.
 - The HVAC Contractor(s) and all sub-tier Contractors shall provide installed equipment cut sheets and purchase orders required for utility rebates.

C. Coordination and Site Visits:

- This section of the work requires examination of and reference to all architectural, structural, and electrical drawings for construction conditions that may affect the work. Inspect the building site and existing facilities for verification of existing conditions. Base all measurements from established benchmarks. Any discrepancy between actual measurements and those indicated, which prevents following good practices or the intent of the drawings and specifications, shall be reported to the Architect/Engineer, and work halted until instructions are received from the Architect/Engineer.

1.2. CODES, PERMITS, FEES:

- A. Install all work in accordance with applicable codes and standards. Obtain all required permits, pay all required fees including utility connections or extensions, in connection with this portion of the construction. Obtain all required certificates of inspections for the work.

PART 2 – PRODUCTS

2.1. MATERIALS AND WORKMANSHIP:

- A. Materials:
- All materials and equipment shall be of first quality, new, full size and weight, standard in every respect, and suitable for the space required. Use the same manufacturer for products of similar class or service, such as valves, pumps, controls, and air handlers. Protect all materials against loss, theft, or damage before and after installation.
 - Furnish equipment that will operate under all conditions of load without any sound or vibration that is objectionable in the opinion of the Architect/Engineer. Vibration or noise considered objectionable will be corrected by the Subcontractor at his expense.
 - Furnish and install all necessary foundations, supports, pads, bases, and piers required for all materials and equipment furnished under this contract.
 - Provide all required fire stopping at piping and duct penetrations of fire rated walls, floors, ceilings, and roofs. Fire stopping shall be DOW Corning Fire Stop Sealant 2000 or Fire Stop Foam 2001, or approved equal.

B. Workmanship:

- All materials and equipment shall be installed in a neat and workmanlike manner by competent specialists for each sub-trade. Work shall be installed to the satisfaction of the Architect/Engineer with unsatisfactory work removed and reinstalled to his satisfaction at no extra cost to the Owner.
- Provide all cutting and patching necessary to install the work specified in this section. Patching shall match adjacent surfaces. No structural members shall be cut without the approval of the Architect/Engineer. Provide all sleeves and inserts required before the floors and walls are built.
- Locate all equipment that must be serviced in fully accessible locations. Provide clearance for removal of replacement parts and components, and with necessary couplings or flanges to remove the component for maintenance.

2.2. SUBMITTALS AND SUBSTITUTIONS:

- A. Prebid Approval:
- Manufacturer's trade names and catalog numbers stated herein are intended to indicate the quality of equipment materials desired. All manufacturers not specifically listed require prior approval. Submit catalog data, including specifications for each item, including capacities, ratings, etc., to the Architect/Engineer for his approval at least 10 calendar days prior to bid opening. Notice of such approvals will be published in an addendum. Approval of listed alternate equipment manufacturers is for bidding only. Final approval is to be based on requirements of the plans and specifications.
- B. Submittals:
- Within thirty days after award of this contract, provide six copies of a complete list of all materials and equipment proposed for this project. List shall contain make, type, manufacturer's name, and trade designation of all materials and equipment. Submittal shall also include manufacturer's complete specification for each item, including capacities, ratings, etc., and dimensions as required to check space requirements. Provide six copies of all submittals. The scheduled equipment is the basis of design for capacity, weights, physical size, etc. Alternate manufacturers shall not exceed the weight or physical size. Any changes to the Architectural, Structural, Mechanical, Electrical, and Control systems due to alternate manufacturers shall be the responsibility of the Contractor and Supplier.
 - Approval of submittals shall not relieve the contractor from responsibility for deviations from the plans or specifications, unless he has, in writing, called the Architect's /Engineer's attention to deviations at the time of submission, and obtained his written approval. Approval of submittals does not relieve the contractor from responsibility for errors in shop drawings or literature.
- C. Equipment Requiring Submittals
- Furnaces
 - Condensing Units
 - Exhaust Fans
 - Grilles, Registers, Diffusers
 - Flexible Ductwork
 - Plumbing Fixtures and Trim

PART 3 EXECUTION

3.1. ACCESSIBILITY & SAFETY

- A. Accessibility:
- All equipment which must be serviced or operated shall be located in fully accessible position. Minor changes from the drawings may be made to allow for better accessibility. All changes shall be approved prior to actual installation.
 - Access panels shall be provided if required for accessibility. Subcontractor shall furnish the required panels to the General Contractor and the required location for all access panels. Panels shall be installed by the General Contractor.
- B. Safety:
- Subcontractor shall provide guards for all belt drives and rotating machinery. No water piping shall run immediately over or within a 3-foot plan view clearance of any electrical panel or motor starter. Where piping must be located within these zones, install piping inside a conduit to prevent water access to electrical equipment.

3.2. COORDINATION:

- A. Coordinate all work with the various trades involved to provide a complete and satisfactory installation. The exact details of piping, ductwork, and equipment are not shown. An additional compensation will be made for offsets or relocation required in coordination with other trades.
- B. Alterations required due to improper supervision by the subcontractor shall be made at no extra cost, to the satisfaction of the Architect/Engineer.

3.3. ELECTRICAL:

- A. Electric motors required for equipment specified in this section shall be provided and installed by this subcontractor. Motor starters, disconnects, relays, pilot lights, etc., are in general, to be furnished and installed by the Electrical Contractor.
- B. Starters, relays, controls, etc., which are factory assembled into packaged equipment shall be furnished by the Mechanical Contractor under this section of the specifications.
- C. All motors shall be provided with adequate starting and protective equipment as specified or required. Motor capacity shall be sufficient to operate drive device under all conditions of operation and load without overload. Minimum horsepower shall be as specified.

3.4. EXCAVATION & BACKFILL:

- A. Excavate trenches required for underground piping to proper elevation and grade. Provide trenches with solid bottoms to allow support of piping along entire length with excavation at bells as required for jacking and inspection. Provide repairing of finished surfaces, and all required shoring, bracing, pumping, and protection for safety of persons and property. Observe all Local or State Safety Codes. Verify that elevations of existing utilities will allow for proper grading of piping connecting to existing utilities.
- B. Excavation and Backfill shall be in accordance with the requirements of Division 2 - Sitework, of these specifications.

3.5. IDENTIFICATION AND CODING:

- A. Painting:
- All painting of mechanical equipment, accessories, ductwork, and piping shall be furnished and applied under the Architectural section of the specifications. All painting shall be completed before any identification markings are applied.

B. Equipment:

- Identify all equipment with a black Formica label, with white reveal when engraved. Lettering to be 3/16 inch high minimum. In general, identify equipment as to area served in addition to title and code number of the equipment as taken from the plans.

C. Piping:

- Identify all piping as to the service of the pipe and the direction of flow. The letters shall be 1/2 inch high on piping 1-1/4 inches or smaller, 3/4 inch high on piping 1-1/2 to two inches, 1-1/4 inches high on piping up to six inches, and 2-1/2 inches high on 8 inch piping or larger. Flow arrows shall be at least six inches long. The letters and flow arrows shall be made by precast stainless or oil base paint, one inch high and black, or factory fabricated plastic pipe markers. Piping shall be identified at 25 foot maximum intervals, on long continuous lines; adjacent to each item of equipment; on each riser and junction, and on both sides of all wall and floor penetrations. Underground piping shall be identified with bright colored continuously printed plastic tape of not less than 6" wide by 4 mil thick, manufactured for direct burial service. Install directly above all buried pipe, and 8 to 12 inches below finished grade. All piping shall be labeled per the Uniform Plumbing Code, latest edition.

3.6. TESTING:

- All plumbing piping (drainage, water, gas) shall be tested in accordance with the requirements of the Idaho State Plumbing Code, latest edition.
- Other piping systems shall be tested hydrostatically, to 1.5 times the operating pressure, but not less than 100 psi, for a minimum period of two hours. If the test pressure falls more than 5 percent during the test period, the piping system shall be retested.
- Piping shall be tested before insulation has been installed. Delicate control mechanisms shall be removed during tests to prevent shock damage. The use of chemicals or compounds to stop leaks shall not be permitted.
- A test report shall be submitted for each piping system. Test report forms are part of Specifications Section 15200, or are available from the Engineer.
- Smoke Test: A smoke test shall be performed on the waste and vent system before building occupancy. After all fixtures are permanently connected and traps are filled with water, fill entire drainage and vent system with smoke under pressure of 1.3 kPa (1 inch of water) with a smoke machine. If leaks are detected, they shall be repaired and the smoke test shall be performed again until no leaks are found.

B. Systems:

- All systems, including heating, ventilating, air conditioning, and plumbing systems, shall be tested at the completion of the building to establish that the systems operate as specified and required. Testing shall be performed after air and water balance is completed.
- All controls shall be calibrated accurately and all equipment shall be adjusted for satisfactory operation. Excessive vibration or noise from any system shall be corrected.
- The air conditioning system shall be tested for satisfactory operation when the outside air temperature reaches 80°F or warmer. All other systems shall be tested at building completion. All tests shall be performed in the presence of the Architect/Engineer or his representative.

3.7. BALANCING:

- Prior to final acceptance by the Owners, all air systems shall be balanced to deliver the quantities as specified or directed. The test balance shall be performed by an independent agency specializing in testing, adjusting, and balancing, and is certified by the Testing, Adjusting, and Balancing Bureau (TABB), and the National Environmental Balancing Bureau (NEBB). Total system balance shall be in accordance with TABB.
- Balance contractor's main office shall be located within 50 miles from the project site. Approved balance contractors are Evolve Engineering, NWSEI, Systems Technologies, and Blue-Sky Commissioning. All other contractors must receive prior approval from the Engineer, in writing, before bidding the project.

B. Air Balancing

- Balancing of the air system shall consist of:
 - Adjust all air volumes, including outside air, to the quantities shown, with allowable variation of plus 10, minus 10 percent.
 - Record all system, outside air, zone, diffuser, grille, and register C.F.M. Use volume control devices to regulate air quantities only to the extent that adjustments do not create objectionable air motion or sound levels. Balancing Engineer for zone dampers with the Contractor to set the CFM quantities for zone dampers or zone damper/reliefs.
 - Test and record all system static pressures, inlet and discharge, on all packaged units, fans, and terminal units. Vary total system air quantities by adjustment of fan speeds. Provide drive changes as necessary. Vary branch air quantities by damper regulation.
 - Test and record motor full load amps and nameplate amps.
 - Test and record entering and leaving temperatures at all coils.
 - Adjust all automatically operated dampers, in cooperation with the Mechanical Contractor, to the required settings. Adjust outside air automatic dampers, outside air, return air, and exhaust dampers for design conditions within specified tolerances. Where modulating dampers or economizers are provided, take measurements at full return air, minimum outside air, and 100 percent outside air mode of operation.
 - Adjust diffusers and grilles for proper deflection, throw, and coverage. Eliminate drafts and excessive noise where possible.
 - Mark final positions of all balance dampers and registers and felt pen.
 - Air systems shall be balanced in accordance with standard procedures and recognized practices of the Associated Air Balance Council, and the Testing, Adjusting, and Balancing Bureau.

3.8. CLEANING AND ADJUSTING:

- A. Thoroughly clean all parts of the system at the completion of the work. Flush all water circulating systems with fresh water and then drain. Clean all strainers and refill system. Install new, clean air filters in all systems. Adjust all devices for proper operation and lubricate all equipment as required. Reinspect any painted surfaces. All work shall be finished.
- B. All potable water systems shall be flushed and disinfected after tests are completed. Disinfection shall be in accordance with local municipal and State Plumbing Inspector's criteria. In lieu of such criteria, the following procedure shall be followed for disinfection:
- Completely flush system. Add alkaline or acid (hydrochloric) to bring water pH level to between 7.4 and 7.6.
 - Inject chlorine (liquid, powder, tablet, or gas) throughout the system to obtain 50 to 80 mg/L residual.
 - Bleed water from outlets to ensure distribution and test for residual at a minimum of 15 percent of the outlets.
 - Maintain disinfection in system for 24 hours.
 - If final disinfectant residual tests less than 25 mg/L, repeat treatment.
 - Flush disinfectant from system until residual is equal to that of incoming water, or 1.0 mg/L.
 - Take samples no sooner than 24 hours after flushing from 10 percent of the outlets and the incoming water.

3.9. PROJECT CLOSEOUT:

A. Operations & Maintenance Manual:

- The Contractor shall provide an operations and maintenance manual at least thirty days prior to completion of work. The manual shall be of the three ring binder type, entitled "Operations and Maintenance Manual", with the job name and year of completion also included. The manual shall include, as a minimum:

- Maintenance instructions for all equipment, including lubrication requirements
- Equipment suppliers names, addresses, and telephone numbers.
- Equipment catalog cuts, ratings tables, model numbers, serial numbers.
- Parts numbers for all replaceable parts.
- Air systems balance report as hereinbefore specified.
- Control diagram or drawing or operating sequence.
- Valve tagging chart as hereinbefore specified.
- Filter chart listing unit, calout, size of filters, and quantity of filters.
- Guarantee letter as specified below.
- Any additional information required to enable the Owner to properly maintain the building mechanical system.
- After approval of the Operations and Maintenance Manual by the Architect/Engineer, the Contractor shall furnish two copies of the manual to the Owner.
- Mechanical System Training Period:
 - After the mechanical system is completely installed and operational, the mechanical contractor shall provide a minimum of 2 hours training and instruction time for the building Owner or his representative. During this period, the contractor shall instruct the Owner in the operation and maintenance of all parts of the mechanical system, using the O & M manual where applicable.
 - As-Built Drawings:
 - Provide two sets of blue-line mechanical drawings showing the work as it was actually installed. The drawings shall indicate all departures from the contract drawings, and shall locate all underground utility lines with dimensions from established building lines. Make all notations neat and legible, with red indelible pencil. At the completion of the work, these as-built drawings shall be signed and dated by the Mechanical Contractor, and returned to the Architect/Engineer.

- D. Guarantee:
- All work furnished under this section shall be guaranteed in writing to be free from defective work or materials for a period of one year after acceptance of the contract. All repairs or replacements because of defective materials or workmanship or noncompliance with code shall be provided without additional cost to the Owner. Contractor shall furnish a letter indicating above guarantees with space for date of acceptance and expiration of guarantee. Letter shall be included in O & M Manual.

END OF SECTION 15100

SECTION 15200 – PLUMBING

PART 1 – GENERAL

1.1. SCOPE:

- A. This section covers the work necessary for the plumbing system, complete. The Mechanical General Provisions, Section 15100 are to be included as a part of this section of the specifications.
- 1.2. CODES:
- A. The plumbing system shall be installed in accordance with the Idaho State Plumbing Code, latest edition, International Fuel Gas Code, latest edition, and all local and State Codes.
- 1.3. FIXTURES & EQUIPMENT:

A. General:

- Plumbing fixtures and equipment shall be as listed on the drawings. In addition to those specifically listed, the following manufacturers are approved for bidding only. All other manufacturers require prior approval. Final approval for installation is based on submittal data furnished:
 - Tank Type Water Closets: American Standard, Kohler, Eljer, Mansfield, Toto, Zen, Gerber, and Sloan.
 - Flush Valve Water Closets: American Standard, Kohler, Eljer, Mansfield, Toto, Zum, Briggs, Gerber, and Sloan.
 - Urinals: American Standard, Kohler, Eljer, Mansfield, Toto, Zum, Briggs, Sloan, and Gerber.
 - Vitreous China Sinks: American Standard, Kohler, Eljer, Zum, Mansfield, Crane, Gerber, and Sloan.
 - Stainless Steel Sinks: Elkay, Just.
 - Faucets: American Standard, Kohler, Chicago Faucets, Delta, Moen, Gerber, Gerber, CHG Encore Sanguard, Zum Faucet, Symmonds, Sloan, & AMTC.
 - Valves and Trim: T&B Brass, Dearborn Brass, Brasscraft, Pro-flush
 - Flush Valves: Sloan, Delany, Delta and Zum. Moen (sensor-operated only), & AMTC.
 - Carriers and Drainage Products: Jay R. Smith, Josam (Blucher-Josam), Zum, Wade, Watts, MIFAB, Sioux Chief, Neenah Foundry, Sun Drainage.
 - Toilet Seats: Bemis, Church, Plumtech, Zum, American Standard, & Kohler.
 - Mixing Valves: Symmonds, Leonard, Powers, Watts, Wilkins, Lawler, Stingray, Acon Controls.
 - Fiber/glass: Acrylic Fixtures: Best Bath, Intersan, MAXX, Fiat, Acrylics, Aquas.
 - Drinking Fountains/Electric Water Coolers: Haws, Murdoch, Oasis, Stern Williams, Halsey Taylor.
 - Terrazzo Acrylic Washfountains: Bradley, Acon, Intersan.
 - Acrylic Sinks: Fiat, Acon, Stern Williams, Halsey Taylor.
 - Water Heaters: Rheem, A.O. Smith, PVI, State, Bradford-White, American, Heat Transfer-Phoenix, Rinnai, Bock.
 - Backflow Preventers: Watts, Conbraco, Apollo, Wilkins.
 - Handwash: Josam, Zum, Smith, Acon.
 - Trunk Drains: J.R. Smith, Airt, Strongwell Polycast, ACO, Zum, NDS, Wade, Josam, DuraTrench.
 - Utility Sinks: Fiat, Proflo, Mustee.
- Plumbing Fixture Standards:
 - All plumbing fixtures shall meet or exceed the following standards:
 - ANSI A112.6.1 - Supports for Off-the-Floor Plumbing Fixtures for Public Use.
 - ANSI A112.18.1 - Finished and Rough Brass Plumbing Fixture Fittings.
 - ANSI A112.19.1 - Enameled Floor Plumbing Fixtures.
 - ANSI A112.19.2 - Vitreous China Plumbing Fixtures.
 - ANSI A112.19.3 - Stainless Steel Plumbing Fixtures (Designed for Residential Use).
 - ANSI A112.19.4 - Porcelain Enameled Formed Steel Plumbing Fixtures.
 - ANSI A112.19.5 - Tank for Water-Closet Boxes, Tanks, and Urinals.
 - ANSI 2124.1 - Gel-Coated Glass-Fiber Reinforced Polyester Resin Bathing Units.
 - ANSI 2124.2 - Gel-Coated Glass-Fiber Reinforced Polyester Resin Shower and Receptor and Stall Units.
 - ANSI 2358.1 - Emergency Eye Wash and Shower Equipment.
 - KARI 1001 - Drinking Fountains and Self-Contained Mechanically Refrigerated Drinking Water Coolers.
 - ANSI/ASSE 1001 - Automatic Valve and Air Breaker.
 - ANSI/ASSE 1012 - Backflow Preventers with Immediate Atmospheric Vent.
 - ANSI/ASSE 1011 - Hose Connection Vacuum Breakers.
 - ANSI/ASSE 1010 - Backflow Preventers, Reduced Pressure Principle.
 - ANSI/ASSE 1015 - Backflow Preventers, Double Check Principle.
 - ANSI/ASSE 1019 - Wall Hydrants, Frost Proof Automatic Draining Anti-Backflow Types.
 - ANSI/ASSE 1020 - Pressure Vacuum Breaker.
 - ANSI/ASSE - 152 - Hose Connection, Double Check

2.3. A. General:

- All insulation shall have composite fire and smoke hazard ratings, as tested by ASTM E-84, NFPA 255, and UL 723, not exceeding:

Flame Spread	Smoke Developed
25	50

B. Piping:

- All domestic, potable, and non-potable, hot and cold water lines and rain drains shall be insulated with preformed insulation.
 - Fiberglass insulation with a vapor barrier jacket. Insulation shall have a conductivity not exceeding 0.28 Btu-inch/hour-sq. ft.-°F. Laps and butt joints shall be sealed with pressure sensitive joint sealing tape of the same finish as the insulation jacket to provide a continuous vapor seal. Fittings and valves shall be insulated with PVC fitting covers and fiberglass insulation inserts, or with hydraulic setting insulating cement and four ounce canvas jacket with vapor barrier adhesive.
 - Alternate material for Cross-Linked Polyethylene Tubing (PEX). One piece preformed flexible elastomeric closed cell foam with built-in vapor barrier. Seal laps and butt joints with moisture resistant adhesive to provide a continuous vapor barrier. Insulation shall have a conductivity rating not exceeding 0.27 Btu-inch/hour-sq. ft.-°F.
- Insulation thickness shall be as follows:

System	Pipe Sizes	1/2" and above
Domestic Cold Water (pot. & non-pot.)	1/2"	1/2"
Domestic Hot Water & Recirc. (pot. & non-pot.)	1"	1"
Roof Drain Piping	1/2"	1/2"
Overflow Drain Piping	1/2"	1/2"
- Roof and overflow drain sumps shall be insulated with 1/2" thick fiberglass with a vapor barrier, extending 2" onto adjacent insulation.
- Insulation shall be installed in strict accordance with manufacturer's instructions.
- Insulation shall be continuous through penetrations.
- All insulation shall be installed in a neat and workmanlike manner.

2.4. VALVES AND STRAINERS:

- Ball Valves:
 - Valves 2-inches and smaller shall be cast brass body, chrome-plated brass ball, tetlon seats, and lever handle, 600 psi CWP. Valves shall comply with MSS SP-110. Valves over 2-inches shall be ductile iron or cast steel body, chrome plated steel ball, tetlon seats, and lever handle. Victaulic series 726, Anvil Grubvik, Grinnell, or Shurjoint ball valves are acceptable if grooved piping is used.
- Check Valves:
 - Valves 2-inches and smaller shall be bronze body Y-pattern, ASTM B-62, swing check, bronze disc, 200 psi WOG. Valves shall comply with MSS SP-80. Valves, over 2-inches shall be iron body, ASTM A-126, bronze trim, swing check, renewable disc and seat. Valves shall comply with MSS SP-71.
- Swing check valves with outside lever and spring (not center guided) is to be used on sewage ejector or storm-water sump pumps.
- Pressure Reducing Valves:
 - Valves 2-inches and smaller shall be bronze body, stainless steel and thermoplastic internal parts, fabric reinforced diaphragm, strainer, and single union and.
- Drainers:
 - Strainers shall be cast steel body, Y-pattern, 20-mesh stainless screen.

PART 3 - EXECUTION

3.1. WORKMANSHIP:

- A. General:
- Install all piping, fixtures, equipment, and accessories as shown, and in strict accordance with the plumbing laws, rules, and regulations of the State and/or City. All work shall be done in a neat and orderly fashion, and left in a condition satisfactory to the Architect/Engineer.
- B. Piping:
- All piping shall be run parallel or perpendicular to established building lines. Install piping so as to allow for expansion. Waste and vent piping occurring above floor slab shall be installed true and plumb. Extend vents at least 1 foot above roof, or to the top of the closest adjacent parapet wall, whichever is greater, and provide watertight flashing devices. Excavation and backfill shall be in accordance with Section 15100 of these specifications.
 - Install fixtures true and plumb with building walls. Caulk all plumbing fixtures at joints along walls, countertops, and other intersecting surfaces. Locate fixtures as shown and per manufacturer's instructions. Furnish all required trim for fixtures to provide a complete and workable installation.

3.2. TESTS:

A. General:

- All piping, fixtures, and equipment shall be inspected and approved before concealing or covering. All work shall be done as required by Section 15100 of these specifications, and shall be tested proof before inspection is requested. All tests shall be repeated if required by those making the inspection.
- All potable water systems shall be flushed and disinfected in accordance with Section 15100 of these specifications. Following disinfection, system shall be flushed and water sampled to show compliance with requirements of public health authority having jurisdiction. If tested water does not meet requirements, disinfecting shall be repeated until water quality meets requirements.
- Fixtures and Equipment:
 - Fill all plumbing fixtures with water and check for leaks or retarded flow. Repair as required. Adjust each piece of plumbing equipment as required to insure proper functioning. Leave all fixtures and equipment in first class operating condition.
 - The Plumbing Contractor is responsible for all backflow devices to be inspected by a certified backflow technician before the use of the building potable water system.

END OF SECTION 15200

D. Natural Gas:

- Piping shall be Schedule 40 black steel pipe, ASTM A53. Exposed fittings 2 inches and smaller shall be ANSI/ASME B16.3, screwed, black malleable iron.
- Fittings larger than 2 inches and all underground fittings shall be Schedule 40 steel butt-welded type. Underground piping shall be provided with a polyethylene jacket, ANSI/AWWA C105, or shall be wrapped with double layer, half-lapped, 10 mil polyethylene tape.
- All exterior piping exposed to the weather shall be coated with a rust inhibitor - Rustoleum #866 Pro-Guard Primer - red or gray color - or approved equal.
- Condensate Drain Piping:
 - Exterior to building, or located in plenum: Piping shall be Type L hard drawn copper, ASTM B88 with solder joints. Copper piping shall not be used on 90K condensing type equipment.
 - Interior: Piping shall by Type L hard drawn copper, ASTM B88, with solder joints, grade 95TA, or shall be Schedule 40 PVC. Copper piping shall not be used on 90K condensing type equipment. Provide a neoprene or rubber gasket at all copper piping support hangers to inhibit corrosion.
- Hanger and Supports:
 - Pipe hangers shall be provided to adequately support all piping systems. Hangers shall be vertically adjustable to provide for proper pitch and drainage. Hangers shall allow for expansion and contraction of the piping system. Reference "General Regulations" of the latest edition of the Idaho State Plumbing Code.
 - Hangers for pipe sizes 1/2 to 6 inches shall be adjustable clevis type, or unitrust saddles with all-thread hanger rod.
 - Hangers for hot pipes, sizes 6 inches and over shall be adjustable steel yokes, cast iron roll, double hanger type.
 - Vertical pipes shall be supported with steel riser clamps. Spacing interval requirements per "General Regulations" of the latest edition of the Idaho State Plumbing Code.
 - All insulated piping shall be provided with minimum 18 gauge galvanized insulation shields, 12 inches long, and oversized hangers. Pipe sizes 2 inches and over shall also be provided with 12 inch long calcium silicate hanger rod spacers between the piping and the galvanized insulation shield. Insulating rod sizing and spacing for pipe shall be as follows:

Pipe Size	Minimum Rod Diameter	Maximum Spacing
To 1-1/4 inches	3/8 inch	6 feet
To 2 inches	3/8 inch	10 feet
To 3 inches	1/2 inch	To 3 inches
To 6 inches	5/8 inch	10 feet
8 to 12 inches	7/8 inch	12 feet
PVC & ABS (all sizes)	3/8 inch	4 feet
Cast Iron No-Hub	5/8 inch	5 feet and at joints

- Provide hangers within 12 inches of each horizontal elbow.
- Provide hangers with minimum 1-1/2 inches vertical adjustment.

2.3. A. General:

- All insulation shall have composite fire and smoke hazard ratings, as tested by ASTM E-84, NFPA 255, and UL 723, not exceeding:

Flame Spread	Smoke Developed
25	50

B. Piping:

- All domestic, potable, and non-potable, hot and cold water lines and rain drains shall be insulated with preformed insulation.
 - Fiberglass insulation with a vapor barrier jacket. Insulation shall have a conductivity not exceeding 0.28 Btu-inch/hour-sq. ft.-°F. Laps and butt joints shall be sealed with pressure sensitive joint sealing tape of the same finish as the insulation jacket to provide a continuous vapor seal. Fittings and valves shall be insulated with PVC fitting covers and fiberglass insulation inserts, or with hydraulic setting insulating cement and four ounce canvas jacket with vapor barrier adhesive.
 - Alternate material for Cross-Linked Polyethylene Tubing (PEX). One piece preformed flexible elastomeric closed cell foam with built-in vapor barrier. Seal laps and butt joints with moisture resistant adhesive to provide a continuous vapor barrier. Insulation shall have a conductivity rating not exceeding 0.27 Btu-inch/hour-sq. ft.-°F.
- Insulation thickness shall be as follows:

System	Pipe Sizes	1/2" and above
Domestic Cold Water (pot. & non-pot.)	1/2"	1/2"
Domestic Hot Water & Recirc. (pot. & non-pot.)	1"	1"
Roof Drain Piping	1/2"	1/2"
Overflow Drain Piping	1/2"	1/2"
- Roof and overflow drain sumps shall be insulated with 1/2" thick fiberglass with a vapor barrier, extending 2" onto adjacent insulation.
- Insulation shall be installed in strict accordance with manufacturer's instructions.
- Insulation shall be continuous through penetrations.
- All insulation shall be installed in a neat and workmanlike manner.

2.4. VALVES AND STRAINERS:

- Ball Valves:
 - Valves 2-inches and smaller shall be cast brass body, chrome-plated brass ball, tetlon seats, and lever handle, 600 psi CWP. Valves shall comply with MSS SP-110. Valves over 2-inches shall be ductile iron or cast steel body, chrome plated steel ball, tetlon seats, and lever handle. Victaulic series 726, Anvil Grubvik, Grinnell, or Shurjoint ball valves are acceptable if grooved piping is used.
- Check Valves:
 - Valves 2-inches and smaller shall be bronze body Y-pattern, ASTM B-62, swing check, bronze disc, 200 psi WOG. Valves shall comply with MSS SP-80. Valves, over 2-inches shall be iron body, ASTM A-126, bronze trim, swing check, renewable disc and seat. Valves shall comply with MSS SP-71.
- Swing check valves with outside lever and spring (not center guided) is to be used on sewage ejector or storm-water sump pumps.
- Pressure Reducing Valves:
 - Valves 2-inches and smaller shall be bronze body, stainless steel and thermoplastic internal parts, fabric reinforced diaphragm, strainer, and single union and.
- Drainers:
 - Strainers shall be cast steel body, Y-pattern, 20-mesh stainless screen.

PART 3 - EXECUTION

3.1. WORKMANSHIP:

- A. General:
- Install all piping, fixtures, equipment, and accessories as shown, and in strict accordance with the plumbing laws, rules, and regulations of the State and/or City. All work shall be done in a neat and orderly fashion, and left in a condition satisfactory to the Architect/Engineer.
- B. Piping:
- All piping shall be run parallel or perpendicular to established building lines. Install piping so as to allow for expansion. Waste and vent piping occurring above floor slab shall be installed true and plumb. Extend vents at least 1 foot above roof, or to the top of the closest adjacent parapet wall, whichever is greater, and provide watertight flashing devices. Excavation and backfill shall be in accordance with Section 15100 of these specifications.
 - Install fixtures true and plumb with building walls. Caulk all plumbing fixtures at joints along walls, countertops, and other intersecting surfaces. Locate fixtures as shown and per manufacturer's instructions. Furnish all required trim for fixtures to provide a complete and workable installation.

3.2. TESTS:

A. General:

- All piping, fixtures, and equipment shall be inspected and approved before concealing or covering. All work shall be done as required by Section 15100 of these specifications, and shall be tested proof before inspection is requested. All tests shall be repeated if required by those making the inspection.
- All potable water systems shall be flushed and disinfected in accordance with Section 15100 of these specifications. Following disinfection, system shall be flushed and water sampled to show compliance with requirements of public health authority having jurisdiction. If tested water does not meet requirements, disinfecting shall be repeated until water quality meets requirements.
- Fixtures and Equipment:
 - Fill all plumbing fixtures with water and check for leaks or retarded flow. Repair as required. Adjust each piece of plumbing equipment as required to insure proper functioning. Leave all fixtures and equipment in first class operating condition.
 - The Plumbing Contractor is responsible for all backflow devices to be inspected by a certified backflow technician before the use of the building potable water system.

END OF SECTION 15200

SECTION 15300 – HEATING, VENTILATING, AND AIR CONDITIONING

PART 1 – GENERAL

1.1. SCOPE:

- A. This section covers the work necessary for the heating, ventilating, and air conditioning system, complete. The Mechanical General Provisions, Section 15100, are to be included as a part of this section of the specifications.
- 1.2. CODES & STANDARDS
- The heating, ventilating, and air conditioning system shall be installed in accordance with the latest edition of the following codes and standards:
 - International Mechanical Code (IMC)
 - International Building Code (IBC)
 - American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE)
 - National Fire Protection Association (NFPA)
 - Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA)

PART 2 – PRODUCTS

2.1. AIR HANDLING UNITS AND APPURTENANCES:

A. See plans for requirements.

2.2. EXHAUST FANS

A. See plans for requirements.

2.3. AIR DISTRIBUTION

A. Ductwork:



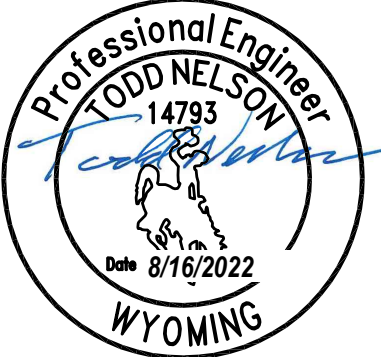
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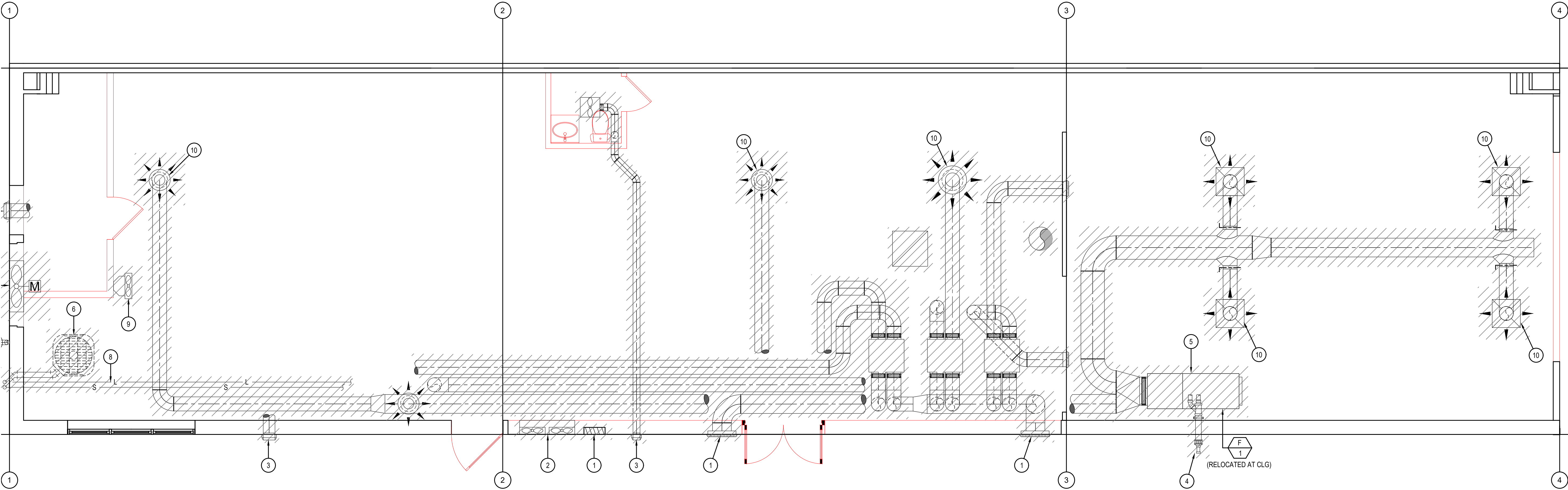
DATE: 8/15/22
PROJECT #: JH2205
DRAWN: MQ/TDN
ISSUE:

M100
MAIN LEVEL
HVAC DEMO PLAN

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KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
1. REMOVE EXISTING WALL LOUVER ON EXTERIOR WALL AND CONNECTED DUCTWORK. PATCH EXTERIOR WALL TO MATCH SURROUNDING WALL SURFACE.
 2. REMOVE EXISTING WALL FAN. PATCH EXTERIOR WALL TO MATCH SURROUNDING WALL SURFACE.
 3. REMOVE EXTERIOR WALL CAP AND CONNECTED DUCTWORK. PATCH EXTERIOR WALL TO MATCH SURROUNDING WALL SURFACE.
 4. REMOVE CONCENTRIC WALL VENT FOR EXISTING GAS FURNACE THAT IS TO BE RELOCATED.
 5. EXISTING GAS-FIRED FURNACE IS TO BE RELOCATED. SEE SHEET M200 FOR NEW LOCATION.
 6. EXISTING CONDENSING UNIT ON ROOF IS TO BE RELOCATED TO GET A MINIMUM 10-FOOT WORKING SPACE AROUND EQUIPMENT TO EDGE OF ROOF. SEE SHEET M200 FOR NEW LOCATION. SEE ARCH FOR REPAIR.
 7. REMOVE (2) AND RELOCATE (1) ENERGY RECOVERY UNIT. REMOVE ALL CONNECTED DUCTWORK AND DIFFUSERS SERVING THESE UNITS.
 8. REMOVE EXISTING REFRIGERANT LINES BETWEEN CONDENSING UNIT ON ROOF AND FURNACE IN THE CEILING SPACE.
 9. EXISTING WALL MOUNTED FAN IS TO BE REMOVED.
 10. EXISTING DIFFUSER AND CONNECTED DUCTWORK IS TO BE REMOVED.
 11. EXISTING RADON EXHAUST FAN LOCATED OUTSIDE THE BUILDING IS TO REMAIN AND MADE OPERATIONAL.



1 Main Level HVAC Demo Plan
SCALE: 1/4" = 1'-0"



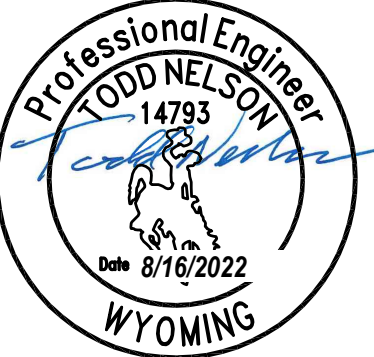
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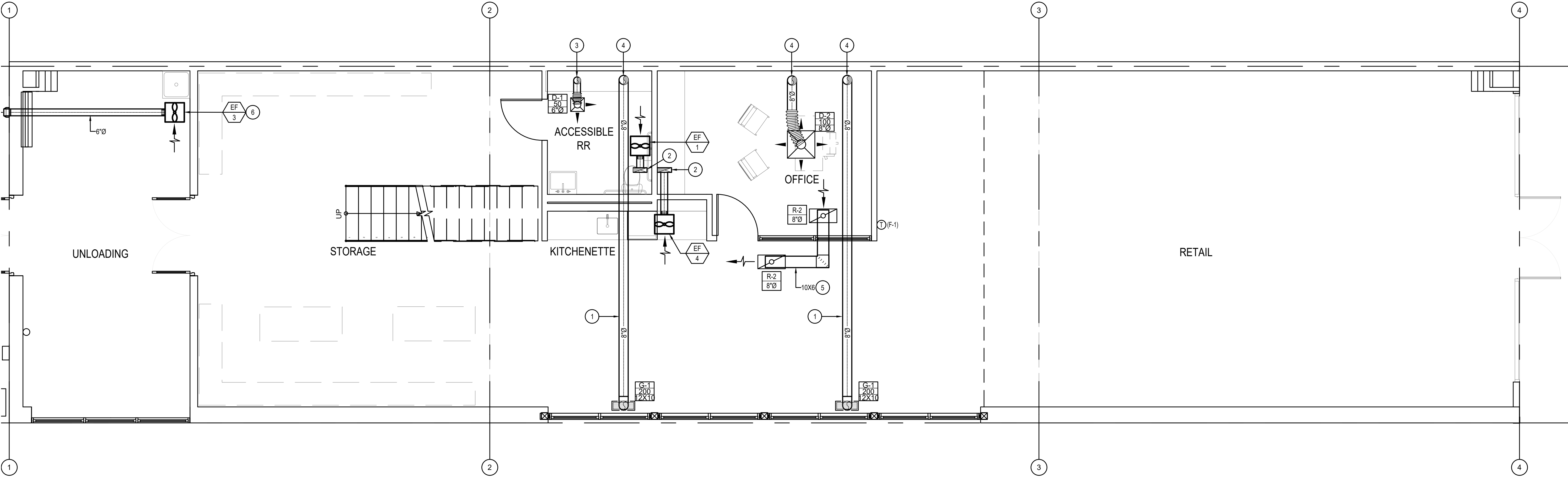
M200

Main Level HVAC PLAN

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KEYED NOTES:

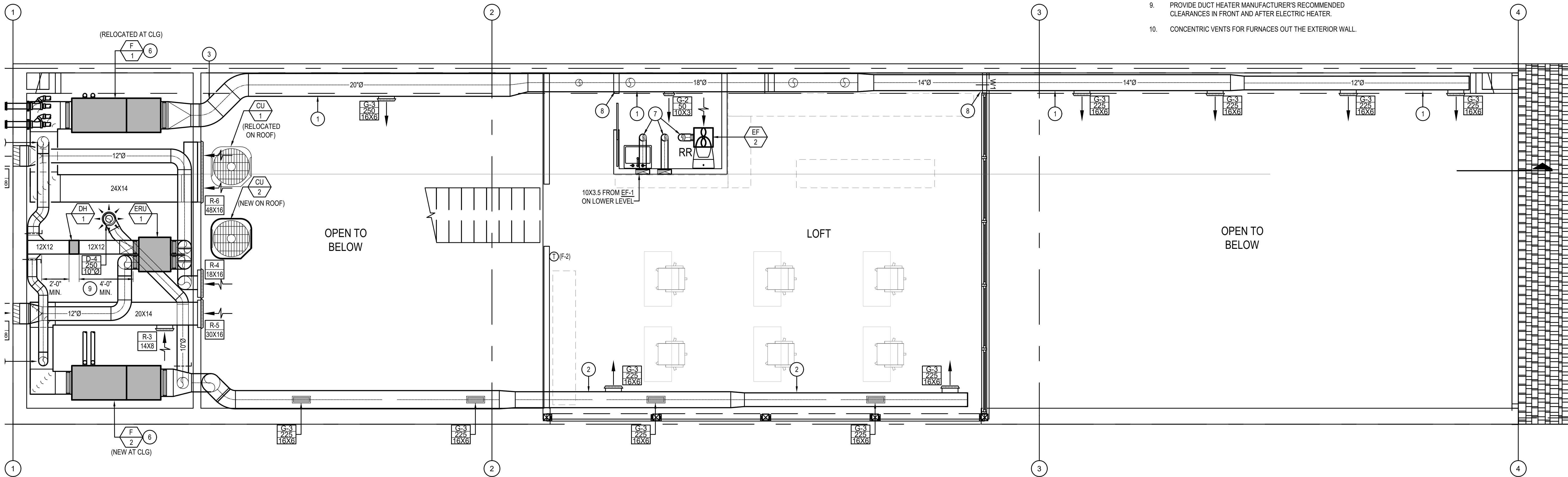
- # SYMBOL USED FOR NOTE CALLOUT.
- SUPPLY DUCT ROUTED IN LOFT FLOOR JOIST SPACE.
 - RISE 3.5X10 EXHAUST DUCT UP TO THE ROOF STRUCTURE. SEE SHEET M201 FOR CONTINUATION.
 - 6-INCH DIAMETER SUPPLY DUCT UP TO MAIN SUPPLY DUCT. SEE SHEET M201 FOR CONTINUATION.
 - 8-INCH SPIRAL SUPPLY DUCT UP TO MAIN SUPPLY DUCT. SEE SHEET M201 FOR CONTINUATION.
 - TRANSFER AIR DUCT ROUTED IN LOFT FLOOR JOIST SPACE.
 - CABINET FAN WITH FLEXIBLE CONNECTION AT OUTLET. ROUTE 6-INCH DIAMETER EXHAUST DUCT TO A 6-INCH SEIHO KX SERIES ALUMINUM GRILLE WITH INSECT SCREEN. CONFIRM EXACT LOCATION OF THIS EXHAUST GRILLE WITH THE ARCHITECT.



1

Main Level HVAC Plan

SCALE: 1/4" = 1'-0"



1 Upper Level HVAC Plan
SCALE: 1/4" = 1'-0"

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
- SUPPLY DUCT ROUTED BELOW EXISTING GIRDER BEAM. CONFIRM EXACT ROUTING WITH ARCHITECT AND TENANT.
 - SPIRAL SUPPLY DUCT ROUTED HIGH EXPOSED AT LOFT CEILING. CONFIRM EXACT ROUTING WITH ARCHITECT AND TENANT. DUCT SHALL BE PAINTED TO MATCH CEILING COLOR.
 - DROP 16-INCH DIAMETER SUPPLY DUCT DOWN BELOW THE GIRDER BEAM.
 - CONNECT 10-INCH DIAMETER TEMPERED OUTSIDE AIR DUCT WITH RETURN DUCT ON FURNACE (F-1). PROVIDE A MANUAL BALANCE DAMPER AND SET TO 270 CFM OUTSIDE AIR.
 - CONNECT 8-INCH DIAMETER TEMPERED OUTSIDE AIR DUCT WITH RETURN DUCT ON FURNACE (F-2). PROVIDE A MANUAL BALANCE DAMPER AND SET TO 150 CFM OUTSIDE AIR.
 - FURNACE SUSPENDED FROM THE ROOF STRUCTURE. PROVIDE REQUIRED ACCESS CLEARANCE TO FURNACE. SEE HORIZONTAL FURNACE DETAIL ON SHEET M400.
 - ROUTE 6-INCH DIAMETER EXHAUST DUCT UP THRU ROOF AND TERMINATE WITH ROOF VENT CAP. ROOF VENT SHALL EXTEND UP 6-INCHES HIGHER THAN THE ANTICIPATED SNOW ACCUMULATION LEVEL FOR JACKSON WYOMING.
 - COORDINATE DUCTWORK INSTALLATION AND REQUIRED CLEARANCES WITH DOOR AND WINDOW INSTALLATIONS.
 - PROVIDE DUCT HEATER MANUFACTURER'S RECOMMENDED CLEARANCES IN FRONT AND AFTER ELECTRIC HEATER.
 - CONCENTRIC VENTS FOR FURNACES OUT THE EXTERIOR WALL.



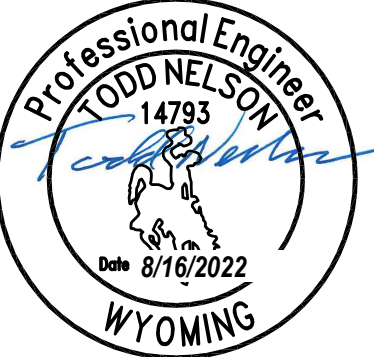
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M201
UPPER LEVEL
HVAC PLAN
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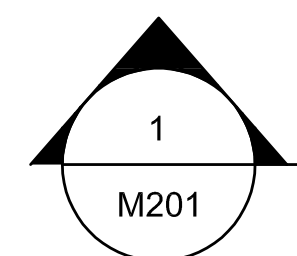
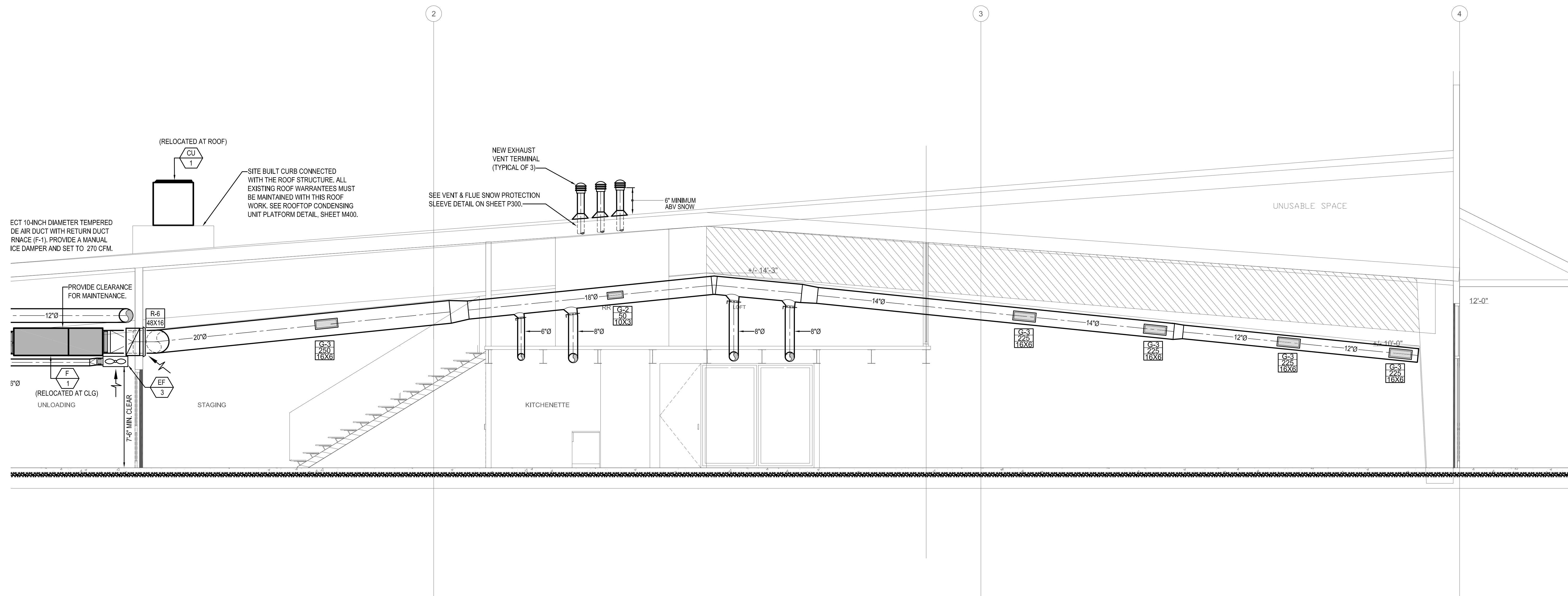
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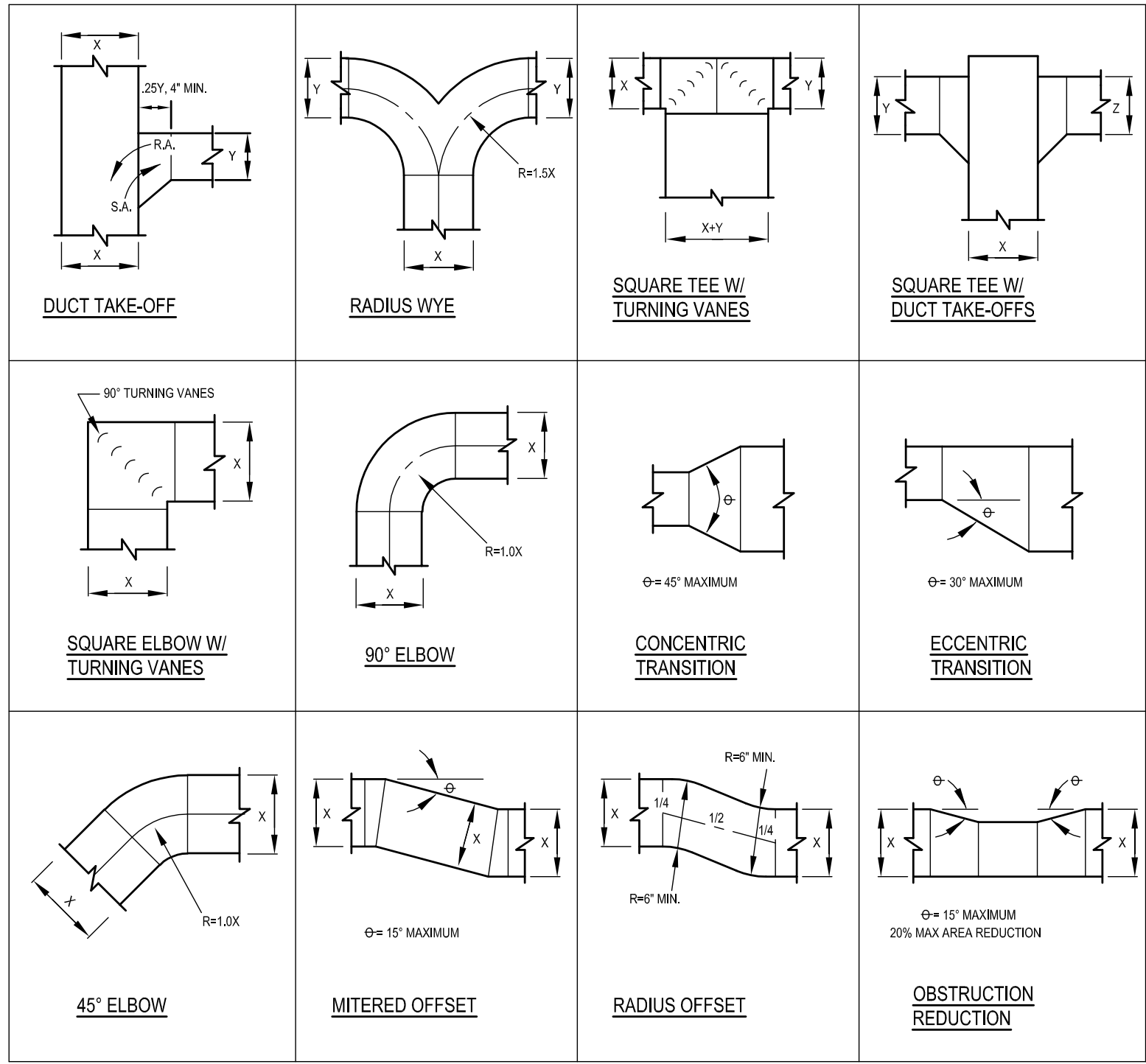
M300
Mechanical Section

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Mechanical Section

SCALE: 1/4" = 1'-0"

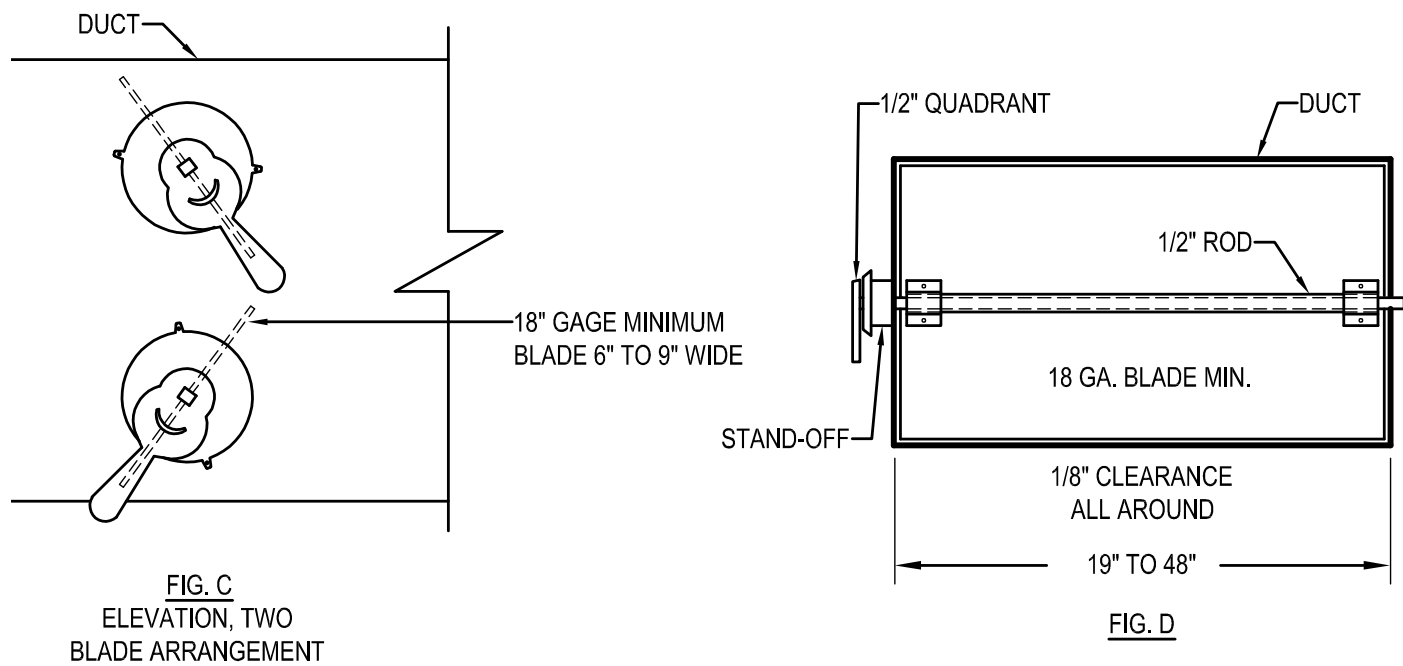
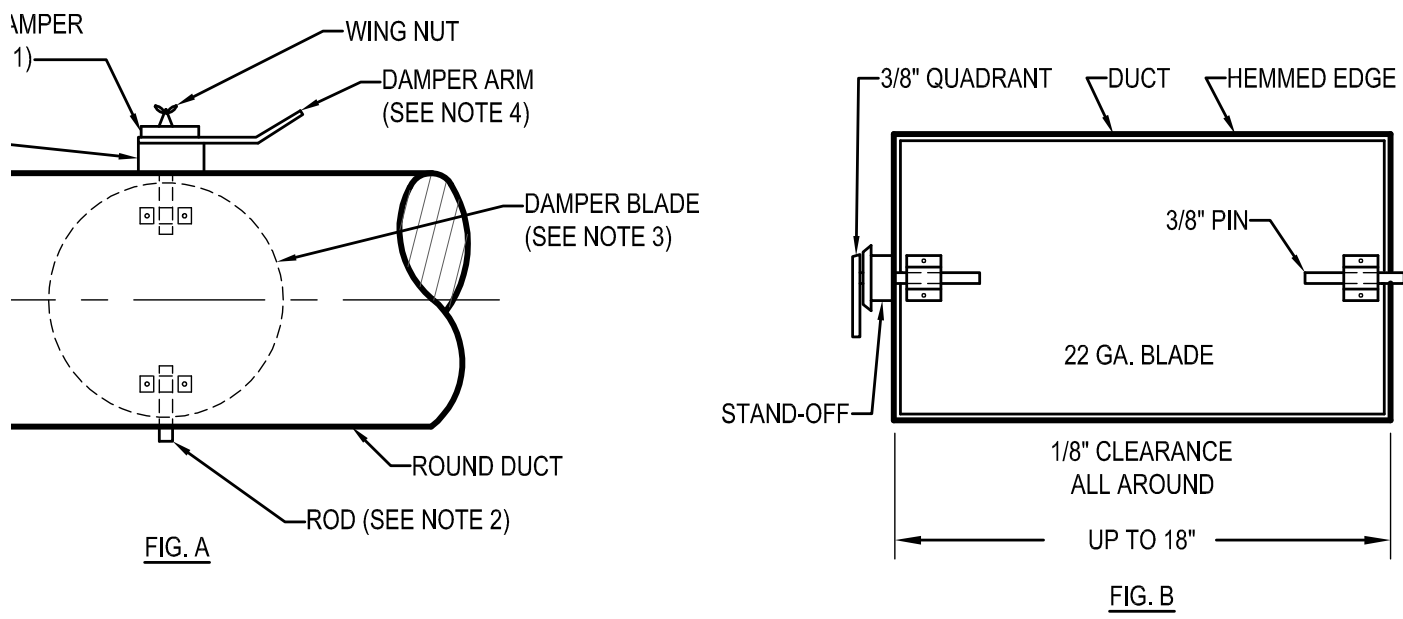


NOTE:
1. ALL DUCTWORK TRANSITIONS SHALL BE CONSTRUCTED AND INSTALLED TO SMACNA, SPECIFICATIONS AND THE ABOVE NOTED STANDARDS. ANY DEVIATIONS SHALL BE COORDINATED WITH THE ENGINEER.

1 RECTANGULAR DUCT FITTING DETAILS

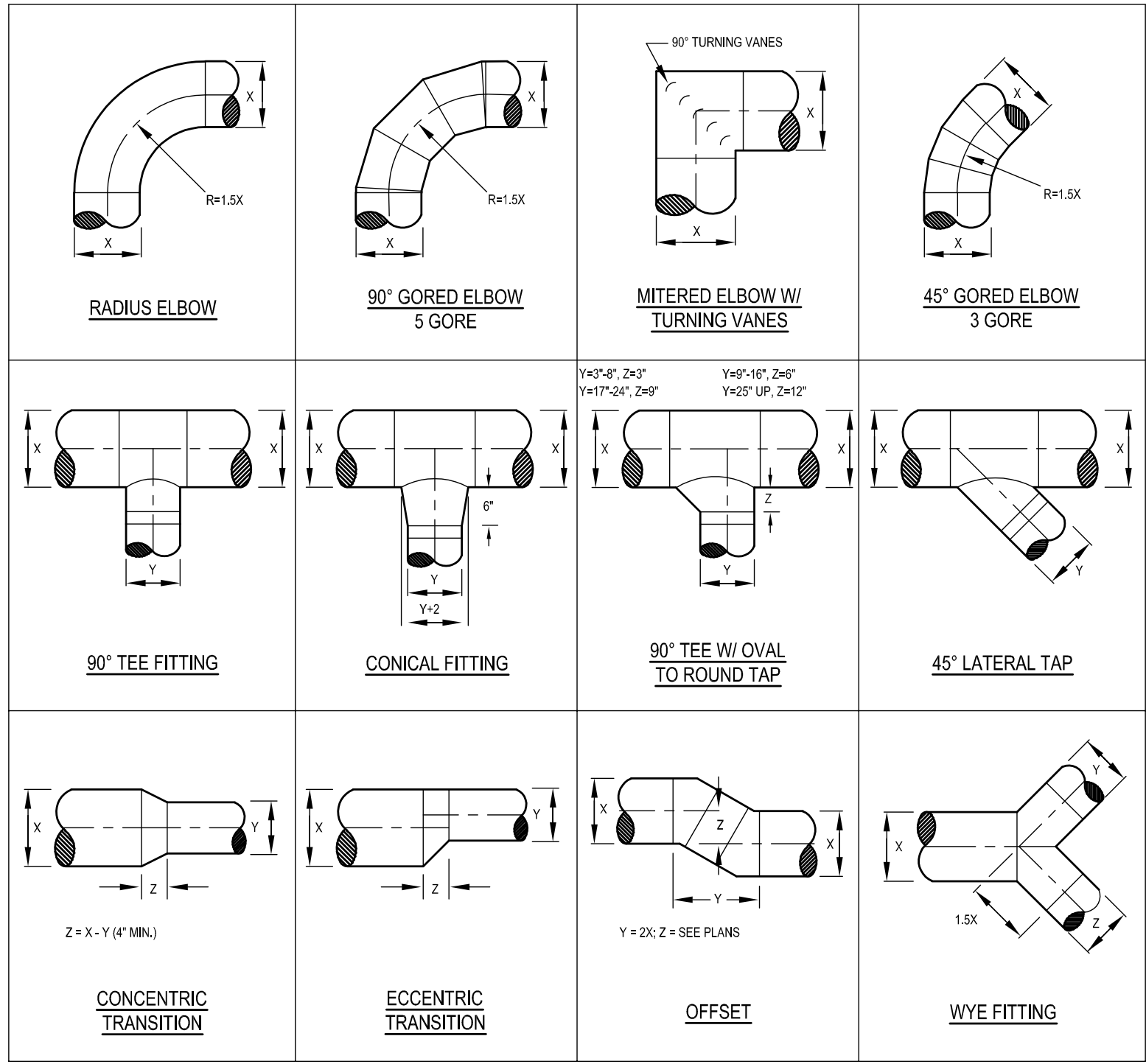
NOT TO SCALE

- NOTES:
- FOR TAKE-OFFS LARGER THAN 12" DIAMETER, USE A FACTORY MANUFACTURED DAMPER. LOUVERS & DAMPERS, INC. MODEL CD-600 WITH A LOCKING HAND QUADRANT OR EQUAL.
 - ROD CONTINUOUS ON 2" W.G. CLASS AND ON ALL DAMPERS OVER 12" DIAMETER.
 - BLADE 22 GAGE MIN., BUT NOT LESS THAN TWO GAGES MORE THAN THE DUCT GAGE.
 - PROVIDE REMOTE CEILING OPERATOR WHERE DAMPER IS INACCESSIBLE.
 - FOR DUCTS OVER 12" HIGH USE MULTIPLE BLADE DAMPERS (SEE FIG. C).
 - ALTERNATE MANUFACTURERS INCLUDE: AMERICAN WARMING, SAFE-AIR/DOWCO, J&J, LOUVERS & DAMPERS, RUSKIN, NAILOR, ARROW UNITED, POTTORFF, & CESCO.
 - PROVIDE STAND-OFF FOR DAMPER ARMS LOCATED W/EXTERNAL INSULATION.



5 BALANCE DAMPER DETAIL

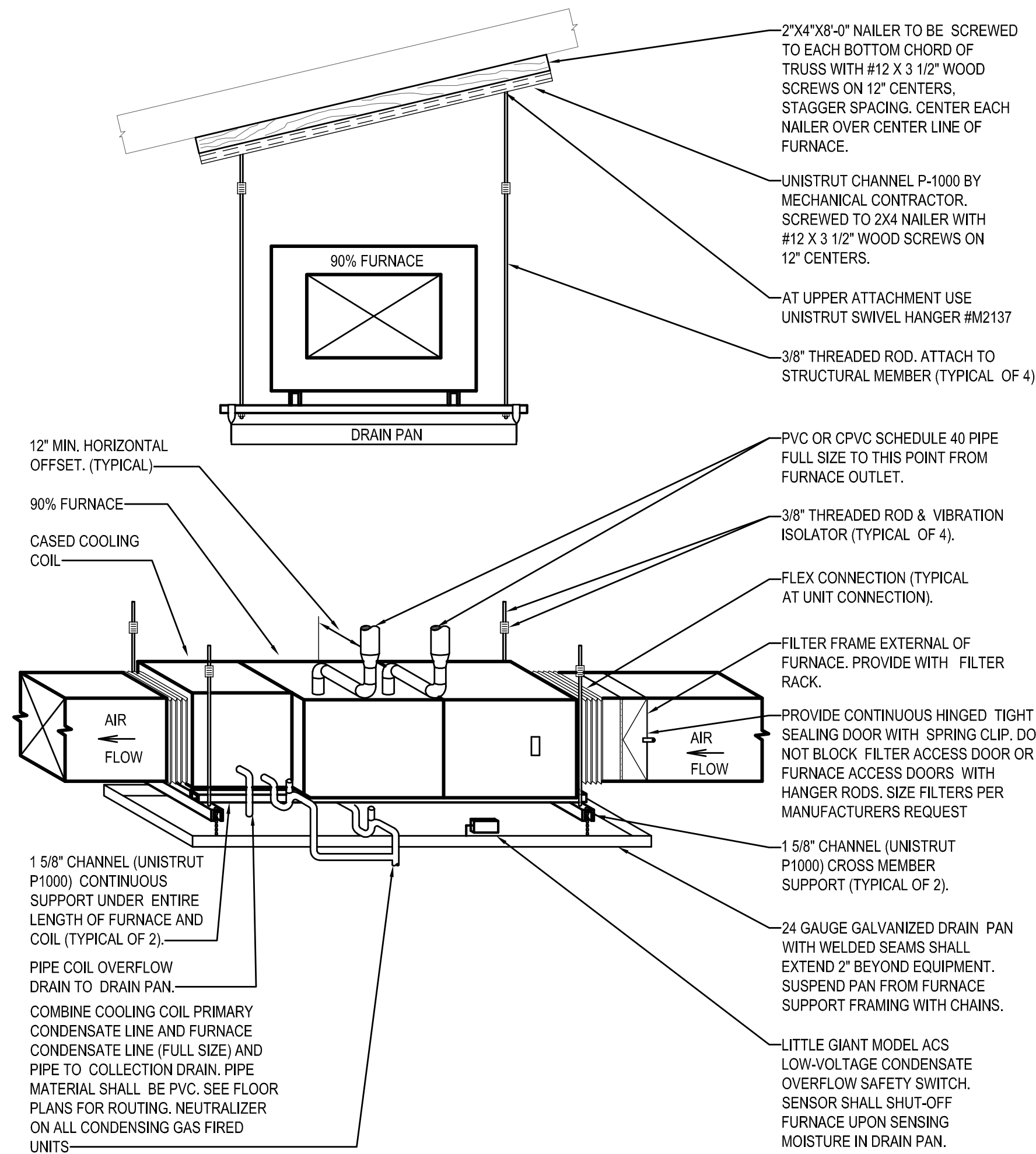
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NOTE:
1. ALL DUCTWORK TRANSITIONS SHALL BE CONSTRUCTED AND INSTALLED TO SMACNA, SPECIFICATIONS, AND THE ABOVE NOTED STANDARDS. ANY DEVIATIONS SHALL BE COORDINATED WITH THE ENGINEER.

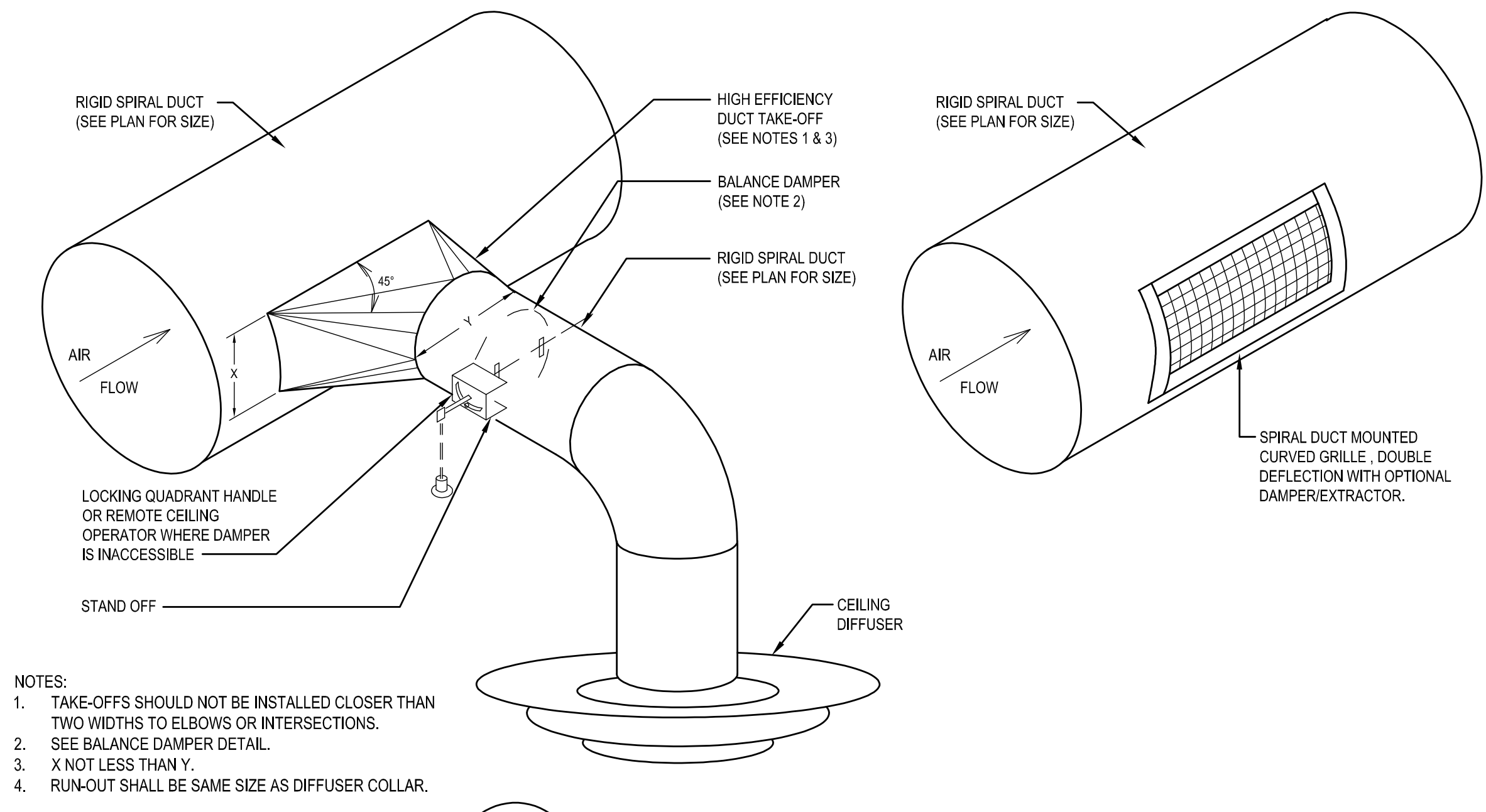
2 ROUND DUCT FITTING DETAILS

NOT TO SCALE



6 90% HORIZONTAL FURNACE DETAIL

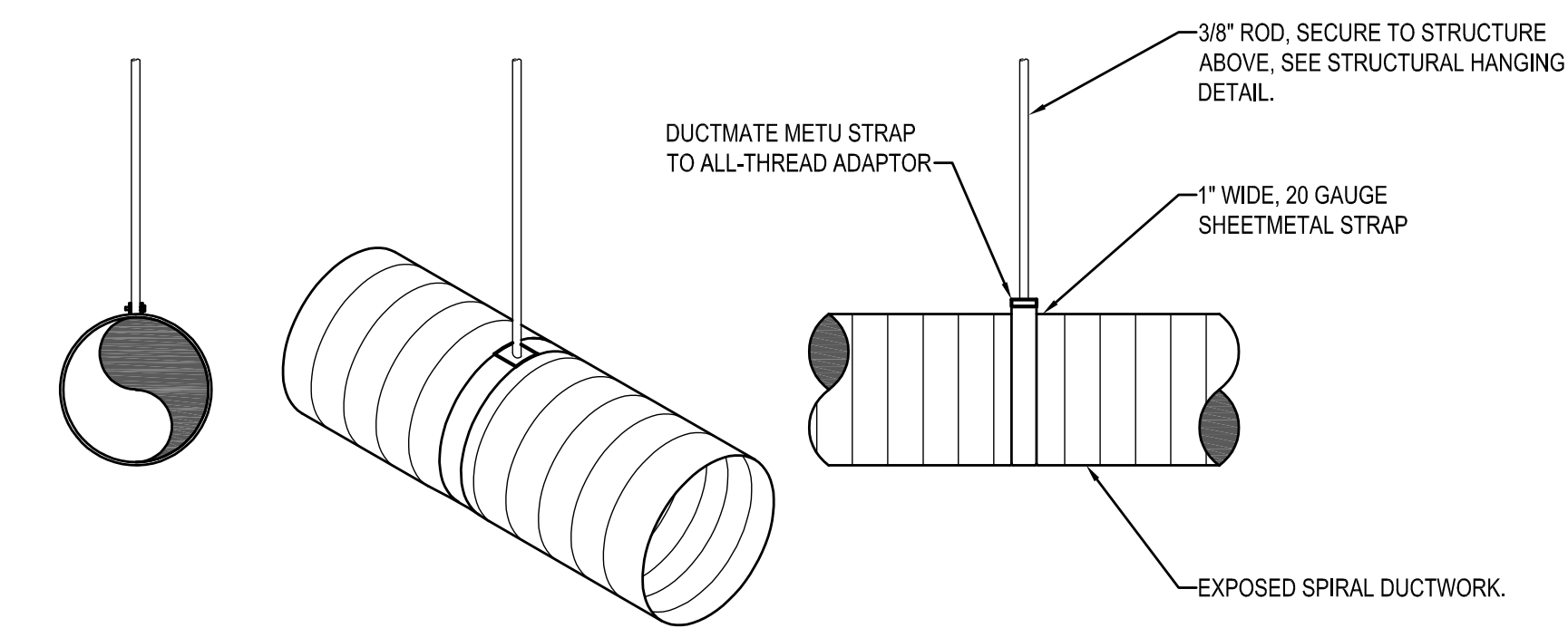
NOT TO SCALE



- NOTES:
- TAKE-OFFS SHOULD NOT BE INSTALLED CLOSER THAN TWO WIDTHS TO ELBOWS OR INTERSECTIONS.
 - SEE BALANCE DAMPER DETAIL.
 - X NOT LESS THAN Y.
 - RUN-OUT SHALL BE SAME SIZE AS DIFFUSER COLLAR.

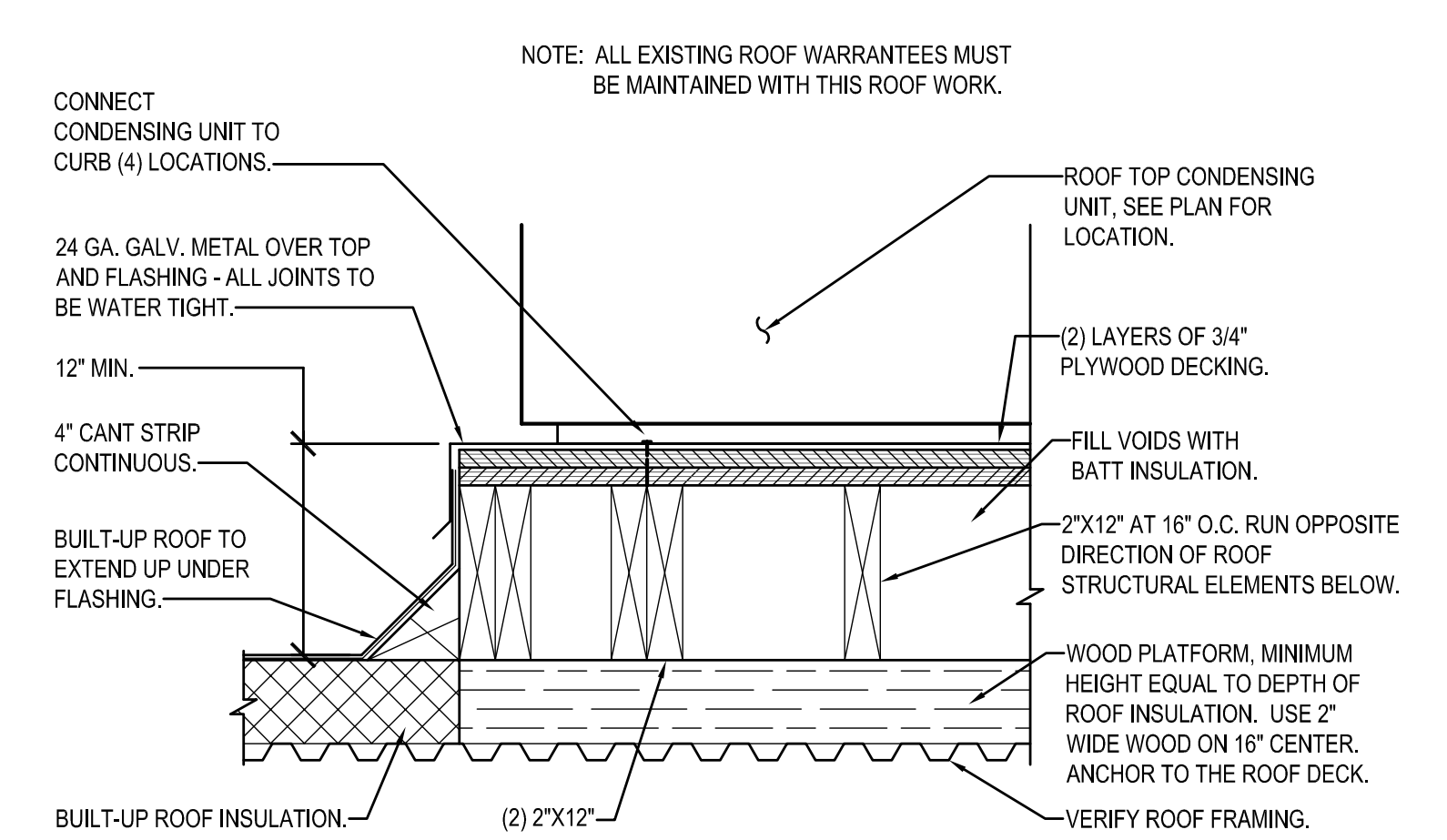
3 SPIRAL DUCT TAKE-OFF DETAIL

NOT TO SCALE



4 EXPOSED SPIRAL DUCT SUPPORT DETAIL

NOT TO SCALE



7 ROOFTOP CONDENSING UNIT PLATFORM DETAIL

NOT TO SCALE (2 TON THRU 5 TON)



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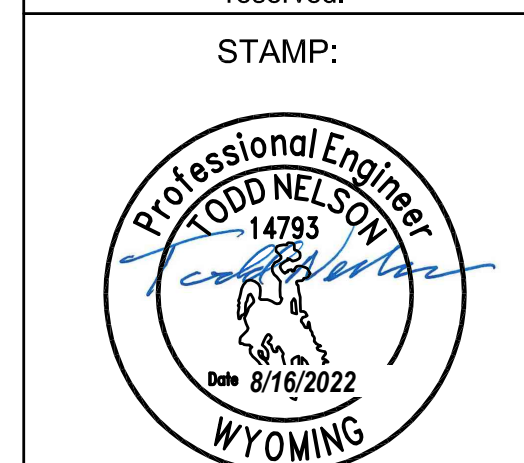
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RETURN & EXHAUST GRILLE SCHEDULE				
SYMBOL	NOMINAL SIZE	NECK / RUNOUT SIZE	CFM RANGE	REMARKS
<div><div>R-1</div><div>6"Ø</div></div>	8X8	6"Ø	0-80	1, 2, 3, 4, 5, 6, 7
<div><div>R-2</div><div>8"Ø</div></div>	10X10	8"Ø	80-180	1, 2, 3, 4, 5, 6, 7
<div><div>R-3</div><div>14X8</div></div>	14X8	14X8	180-300	1, 2, 3, 4, 5, 6, 7
<div><div>R-4</div><div>18X16</div></div>	18X16	18X16	300-650	1, 2, 3, 4, 5, 6, 7
<div><div>R-5</div><div>30X16</div></div>	30X16	30X16	1000-1200	1, 2, 3, 4, 5, 6, 7
<div><div>R-6</div><div>48X16</div></div>	48X16	48X16	1800-2000	1, 2, 3, 4, 5, 6, 7

- REMARKS:
- ALTNRNATE MANUFACTURERS: ANEMOSTAT, CARNES, PRICE, NAILOR, METAL-AIRE, TUTTLE & BAILEY, KRUEGER, J&J REGISTER, AND UNITED ENERTECH.
 - HIGH WALL GRILLE SIZES BASED ON TITUS MODEL 355 RL, STEEL BAR GRILLE, FIXED BLADES, 1/2" SPACING, 35° DEFLECTION, ADJUSTABLE OPPOSED BLADE DAMPER.
 - SIZES BASED ON A MAXIMUM NC LEVEL OF 25.
 - ALL GRILLES LOCATED IN LAY-IN CEILING AREAS SHALL HAVE BORDER #3, UNLESS OTHERWISE INDICATED. ALL GRILLES LOCATED IN HARD CEILING AREAS SHALL HAVE BORDER #1, UNLESS OTHERWISE INDICATED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF VARIOUS CEILING TYPES. SHEET METAL DUCTWORK VISIBLE BEHIND GRILLE SHALL BE PAINTED FLAT BLACK.
 - ALL OF THE GRILLES SHOWN IN THIS SCHEDULE MAY NOT BE USED. REFERENCE THE HVAC PLAN FOR GRILLE CALL-OUTS AND THE QUANTITY OF EACH SIZE REQUIRED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.
 - COLOR TO BE SELECTED BY ARCHITECT.

DIFFUSER SCHEDULE				
SYMBOL	NOMINAL SIZE	NECK / RUNOUT SIZE	CFM RANGE	REMARKS
<div><div>D-1</div><div>CFM</div><div>6"Ø</div></div>	6X6	6"Ø	0 - 90	1, 2, 3, 4, 5, 6, 7, 8
<div><div>D-2</div><div>CFM</div><div>8"Ø</div></div>	9X9	8"Ø	90 - 200	1, 2, 3, 4, 5, 6, 7, 8
<div><div>D-3</div><div>CFM</div><div>10"Ø</div></div>	12X12	10"Ø	200 - 350	1, 2, 3, 4, 5, 6, 7, 8
<div><div>D-4</div><div>CFM</div><div>10"Ø</div></div>	10"Ø	10"Ø	200 - 350	1, 3, 5, 6, 7, 8, 9

- REMARKS:
- ALTERNATE MANUFACTURERS: ANEMOSTAT, J&J REGISTER, NAILOR, METAL-AIRE, TUTTLE & BAILEY, KRUEGER, PRICE, AND UNITED ENERTECH.
 - SIZES BASED ON TITUS MODEL TDC SERIES.
 - SIZES BASED ON A MAXIMUM NC LEVEL OF 25.
 - ALL DIFFUSERS LOCATED IN LAY-IN CEILING AREAS SHALL BE BORDER TYPE 3 AND BE MOUNTED IN MANUFACTURER PROVIDED 24"x24" PANELS. ALL DIFFUSERS LOCATED IN HARD CEILING AREAS SHALL BE BORDER TYPE 6 (BEVELED) SURFACE MOUNTED. SEE ARCHITECTURAL PLANS FOR LOCATIONS OF VARIOUS CEILING TYPES.
 - SEE HVAC FLOOR PLANS FOR DIRECTIONAL THROW REQUIREMENTS FOR EACH DIFFUSER.
 - ALL OF THE DIFFUSERS SHOWN IN THIS SCHEDULE MAY NOT BE USED. REFERENCE THE HVAC PLAN FOR DIFFUSER CALL-OUTS AND THE QUANTITY OF EACH SIZE REQUIRED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.
 - COLOR TO BE SELECTED BY ARCHITECT.
 - SIZES BASED ON TITUS MODEL TMRA, TYPE 3, ROUND CEILING DIFFUSER, STEEL CONSTRUCTION.

SUPPLY GRILLE SCHEDULE				
SYMBOL	NOMINAL SIZE	NECK / RUNOUT SIZE	CFM RANGE	REMARKS
<div><div>S-1</div><div>CFM</div><div>12X10</div></div>	12X10	10"Ø	0-300	1, 2, 4, 5, 6
<div><div>S-2</div><div>CFM</div><div>10X8</div></div>	10X3	10X3	0-70	1, 3, 4, 5, 6
<div><div>S-3</div><div>CFM</div><div>16X6</div></div>	16X6	16X6	0-250	1, 3, 4, 5, 6

- REMARKS:
- APPROVED MANUFACTURERS: ANEMOSTAT, J&J REGISTER, TUTTLE & BAILEY, NAILOR, METAL-AIRE, KRUEGER, PRICE, AND UNITED ENERTECH.
 - WALL GRILLE SIZES BASED ON TITUS MODEL 272F, DOUBLE DEFLECTION ADJUSTABLE BLADES, 3/4" SPACING, WHITE FINISH.
 - CURVE SPIRAL DUCT MOUNTED GRILLE, SIZES BASED ON TITUS MODEL S300FL, DOUBLE DEFLECTION, 3/4" BLADE SPACING, INDIVIDUALLY ADJUSTABLE BLADES, AIR EXTRACTOR, WHITE FINISH AND GRILLE SHALL MATCH CURVE OF DUCTWORK.
 - SIZES BASED ON A MAXIMUM NC LEVEL OF 25.
 - ALL OF THE GRILLES SHOWN IN THIS SCHEDULE MAY NOT BE USED. REFERENCE THE HVAC PLAN FOR GRILLE CALL-OUTS AND THE QUANTITY OF EACH SIZE REQUIRED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THE RUNOUT DUCT SIZE SHOWN ON THE PLANS AND THAT SHOWN IN THE SCHEDULE, ALWAYS USE THE LARGER OF THE TWO DUCT SIZES.

SPLIT SYSTEM AIR CONDITIONING UNIT SCHEDULE (90%+ GAS)																		
SYMBOL	UNIT TYPE	NOMINAL TONS	SUPPLY FAN				COOLING CAPACITY AT 95° OSA, 80° EDB, 62° EWB		GAS HEATING CAPACITY		ELECTRICAL FOR CONDENSING UNIT			OSA CFM	MIN. SEER	FURNACE OPERATING WEIGHT (LBS)	MANUFACTURER AND MODEL	REMARKS
			CFM	ESP	HP	V/Ø	TOTAL MBH	SENSIBLE MBH	INPUT MBH	OUTPUT MBH	MCA	MOCp	V/Ø					
F-1, CU-1	MULTIPOISE	5	1800	.6"	.75	120 / 1Ø	54.0	51.0	80	75	---	---	---	270	16.0	250	COMFORTMAKER N9MSB0802120C FURNACE COMFORTMAKER ENH4X60L24A1 COOLING COIL	2, 5
F-2, CU-2	MULTIPOISE	3	1600	.6"	.75	120 / 1Ø	33.98	32.74	80	78	19.8	35	208/1	150	16.0	200	CARRIER 59SP5A080E17-16 FURNACE CARRIER 24ACB7-36-31 CONDENSING UNIT	1, 2, 3, 4

- REMARKS:
- APPROVED ALTERNATE MANUFACTURERS: BRYANT, TRANE, LENNOX, AND YORK.
 - PROVIDE UNIT WITH SEVEN-DAY PROGRAMMABLE AUTO-CHANGEOVER WITH 5 DEGREE DEADBAND, ADAPTIVE INTELLIGENT AUTOMATIC START CONTROL, 3 STAGE HEAT, 2 STAGE COOLING THERMOSTAT HONEYWELL VISIONPRO MODEL TH8321R1001. THERMOSTAT SHALL BE POWERED BY A 24VAC WIRE CONNECTION.
 - PROVIDE UNIT WITH MATCHING COOLING COIL, FIELD INSTALLED HARD START FOR SINGLE PHASE UNITS, SHORT CYCLING DEVICE, CRANKCASE HEATER, EXPANSION VALVE, HIGH/LOW PRESSURE SWITCH, NEUTRALIZING KIT - 3/4" LINE SIZE, LOW AMBIENT CONTROLS (TO 0°F) & CONCENTRIC VENT KIT. SET FAN MOTOR ON FURNACE TO MAINTAIN A CONSTANT SPEED.
 - PROVIDE UNIT WITH MANUFACTURER'S LINE SET, SIZED BY MANUFACTURER, AND TAMPER PROOF PORT CAPS.
 - THIS IS AN EXISTING UNIT THAT IS TO BE RELOCATED.

ENERGY RECOVERY UNIT SCHEDULE																
SYMBOL	SUPPLY FAN			EXHAUST FAN			ELECTRICAL			TEMP EFF%	TOTAL EFF% WINTER/SUMMER	WEIGHT (LBS)	DUCT HEATER		MANUFACTURER AND MODEL	REMARKS
	CFM	ESP	AMPS	CFM	ESP	AMPS	TOTAL AMPS	WATTS	V/Ø				KW	V/Ø		
ERU-1	420	0.5	2.7	420	0.5	2.7	5.5	--	120/1	--	--	185	--	--	FANTECH MODEL SHR 6904.	1, 2, 3, 4

- REMARKS:
- THIS IS AN EXISTING UNIT TO BE RELOCATED.

LOUVER SCHEDULE							
SYMBOL	SERVICE	TYPE	NOMINAL SIZE	MINIMUM FREE AREA (SQ.FT.)	FINISH	MANUFACTURER AND MODEL	REMARKS
<u>L-1</u>	OUTSIDE AIR	FIXED DRAINABLE	18X18	.87	AAMA 2604	RUSKIN ELF375DX	1, 2, 3
<u>L-2</u>	EXHAUST AIR	FIXED DRAINABLE	18X18	.87	AAMA 2604	RUSKIN ELF375DX	1, 2, 3

- REMARKS:
- APPROVED ALTERNATE MANUFACTURERS: GREENHECK, AMERICAN WARMING, AIROLITE, SAFE-AIR/DOWCO, LOUVERS & DAMPERS, RUSKIN, ARROW UNITED, CESCO, NCA MANUFACTURING, NAILOR, POTTORFF, AND UNITED ENERTECH.
 - COLOR TO BE SELECTED BY ARCHITECT.
 - PROVIDE WITH FLANGED FRAME AND BIRD SCREEN.

ELECTRIC DUCT HEATER SCHEDULE											
SYMBOL	AREA SERVED	UNIT TYPE	DUCT SIZE		CFM RANGE			MINIMUM AIRFLOW (CFM)	MAXIMUM AIRFLOW (CFM)	MANUFACTURER AND MODEL	REMARKS
			WIDTH	HEIGHT	KW	V/Ø	STEPS				
<u>DH-1</u>	OUTSIDE VENTILATION AIR	DUCT-INSERTED OPEN COIL	12	8	8	208V / 1Ø	---	420	420	MARKEL MODEL HF SERIES	1, 2

- REMARKS:
- APPROVED ALTERNATE MANUFACTURERS: REDD-I, VALLEY INDUSTRIES, INDEECO, AND BRASCH.
 - PROVIDE WITH MAGNETIC DE-ENERGIZING CONTACTORS, AUTOMATIC LIMIT THERMOSTAT, CIRCUIT FUSING (IF ABOVE 40 AMPS), FUSED DISCONNECT, AIR PRESSURE SENSOR SWITCH, CONTROL TRANSFORMER,SCR CONTROLS AND INSULATED CONTROL BOX.

EXHAUST FAN SCHEDULE												
SYMBOL	AREA SERVED	UNIT TYPE	BLOWER				ELECTRICAL		MAXIMUM SONES	OPERATING WEIGHT (LBS)	MANUFACTURER AND MODEL	REMARKS
			CFM	ESP	MAXIMUM RPM	DRIVE	WATTS	V/Ø				
<u>EF-1</u>	ACCESSIBLE RESTROOM	CEILING CABINET	80	0.25	1239	DIRECT	16.4	115/1	0.9	15	PANASONIC FV-0511VQ1. PROVIDE ON/OFF WALL SWITCH.	1, 2, 3
<u>EF-2</u>	UPPER LEVEL RESTROOM	CEILING CABINET	80	0.25	1239	DIRECT	16.4	115/1	0.9	15	PANASONIC FV-0511VQ1. PROVIDE ON/OFF WALL SWITCH.	1, 2, 3
<u>EF-3</u>	UNLOADING	CEILING CABINET	110	0.25	1239	DIRECT	16.4	115/1	0.9	15	PANASONIC FV-0511VQ1. PROVIDE ON/OFF WALL SWITCH.	1, 2, 3
<u>EF-4</u>	KITCHENETTE	CEILING CABINET	110	0.25	1239	DIRECT	16.4	115/1	0.9	15	PANASONIC FV-0511VQ1. PROVIDE ON/OFF WALL SWITCH.	1, 2, 3

- REMARKS:
- APPROVED ALTERNATE MANUFACTURERS: GREENHECK, PENNBARRY, TWIN CITY FAN COMPANY, SOLER & PALAU, ACME, AND BARRY BLOWER.
 - PROVIDE UNIT WITH MANUFACTURER'S WALL CAP WITH INTEGRAL BIRD SCREEN, CFM SELECTOR (50, 80, 110 CFM) AND BACKDRAFT DAMPER.
 - CONTROL WITH SEPARATE WALL SWITCH.



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M500

HVAC Schedules

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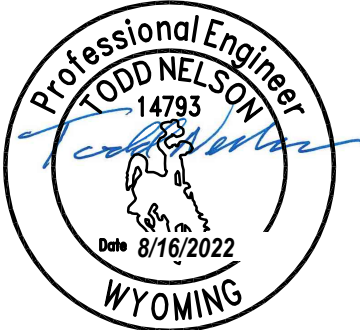
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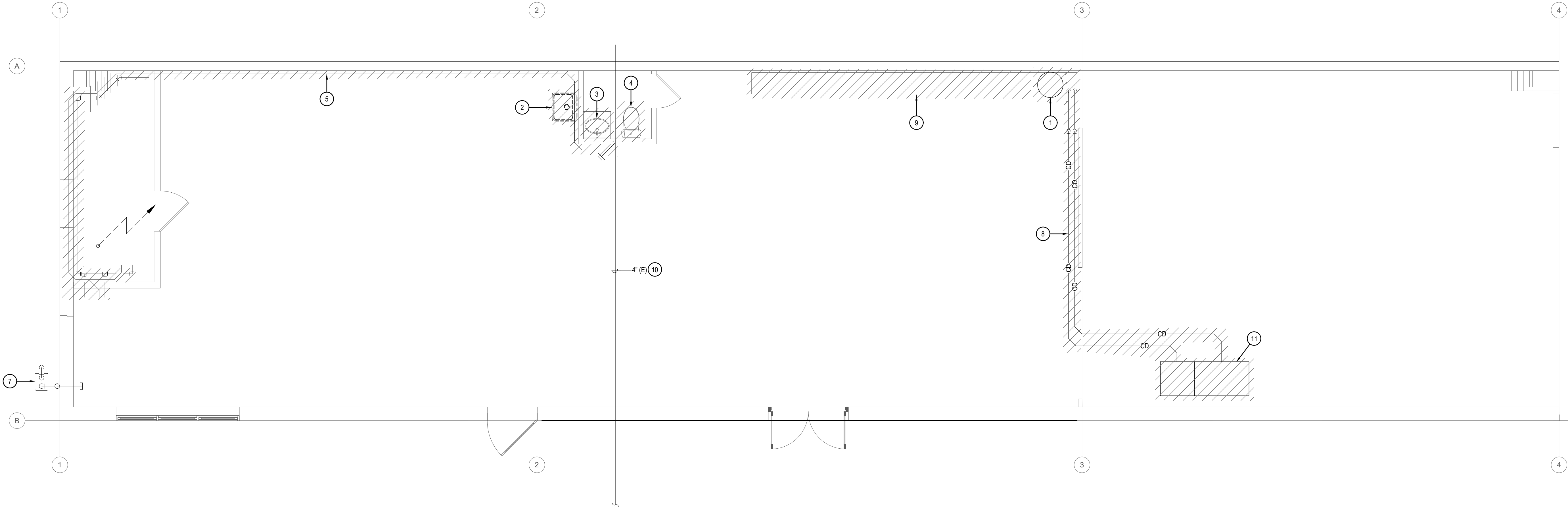
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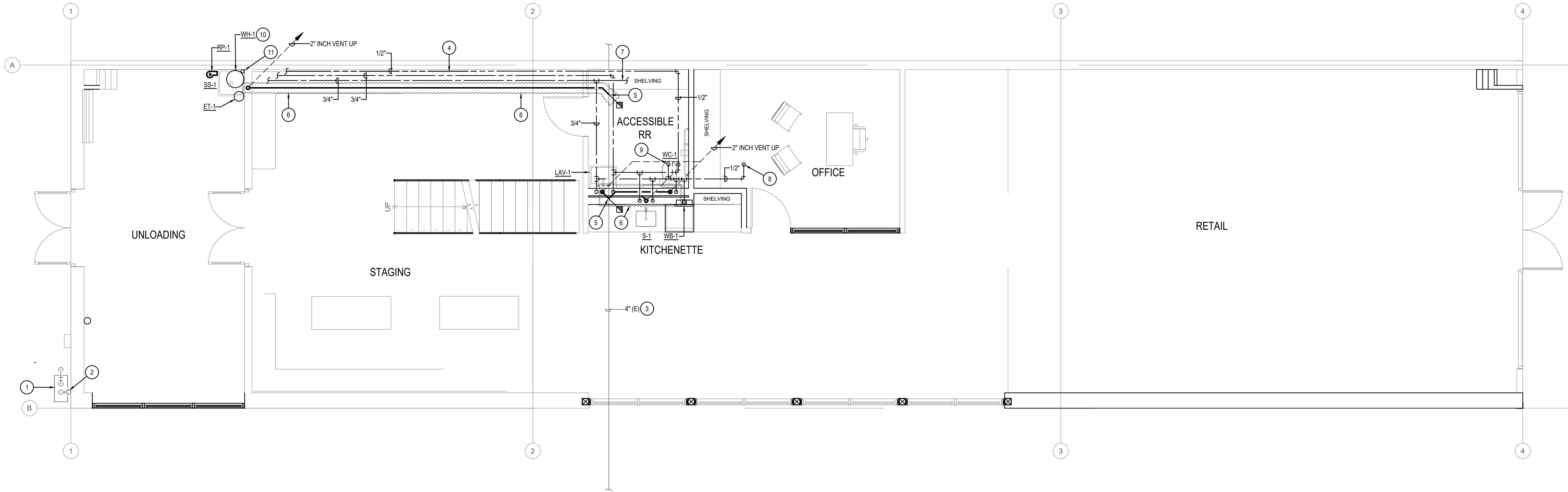
P100
MAIN LEVEL
PLUMBING DEMO PLAN
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KEYED NOTES:

1. REMOVE EXISTING ELECTRIC WATER HEATER AND CONNECTED WATER PIPING.
2. EXISTING SINK AND CONNECTED WASTE, VENT AND WATER LINES ARE TO BE REMOVED.
3. EXISTING LAVATORY AND CONNECTED WASTE, VENT AND WATER LINES ARE TO BE REMOVED.
4. EXISTING WATER CLOSET AND CONNECTED WASTE, VENT AND WATER LINES ARE TO BE REMOVED.
5. EXISTING WASTE LINE EXPOSED ON FACE OF WALL IS TO BE REMOVED.
6. EXISTING WASTE AND WATER LINES ARE TO BE REMOVED.
7. EXISTING GAS METER. CONFIRM REQUIREMENTS OF GAS METER WITH LOCAL GAS COMPANY TO PROVIDE A DELIVERY PRESSURE OF 2 PSI TO THE BUILDING.
8. CONDENSATE DRAIN PIPING ROUTED HIGH ON WALL AND THEN DROP DOWN TO FLOOR TRENCH DRAIN IS TO BE REMOVED.
9. EXISTING TRENCH DRAIN IS TO BE REMOVED. PATCH FLOOR TO MATCH SURROUNDING FLOOR SURFACE.
10. CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF THIS EXISTING WASTE LINE PRIOR TO DOING ANY SAW CUTTING FOR NEW PLUMBING FIXTURES.
11. EXISTING HORIZONTAL GAS-FIRED FURNACE LOCATED ABOVE THE CEILING IS TO BE RELOCATED.



1 Main Level Plumbing Demo Plan
SCALE: 1/4" = 1'-0"



1 Main Level Plumbing Plan
SCALE: 1/4" = 1'-0"

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
- EXISTING GAS METER CAPACITY AND DELIVERY PRESSURE SHALL BE CONFIRMED BY LOCAL GAS PROVIDER. CONTRACTOR SHALL COORDINATE GAS METER REQUIREMENTS WITH THE GAS COMPANY IN JACKSON. CONNECT 7-INCH GAS LINE TO METER. PROVIDE A PIPE SLEEVE AND SEALANT AROUND GAS PIPE PENETRATION THRU EXTERIOR WALL. PAINT ALL GAS PIPING OUTSIDE THE BUILDING TO MATCH THE BUILDING COLOR. (CAPACITY = 160 MBH, DELIVERY PRESSURE AT 2 PSI) MAKE NEW GAS LINE CONNECTION WITH GAS-FIRED FURNACE. SEE GAS CONNECTION DETAIL ON SHEET P300.
 - EXISTING GAS LINE ROUTED UP EXTERIOR FACE OF BUILDING TO SERVE THE TWO GAS-FIRED FURNACES. SEE SHEET P201 FOR CONTINUATION.
 - CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF THIS EXISTING WASTE LINE PRIOR TO DOING ANY SAW CUTTING FOR NEW PLUMBING FIXTURES.
 - 1/2-INCH HOT WATER RETURN LINE BACK TO RECIRCULATION PUMP (RP-1) AT WATER HEATER (WH-1). CONFIRM EXACT ROUTING OF WATER LINES ON FACE OF THIS WALL WITH ARCHITECT/TENANT.
 - CONNECT NEW WASTE LINE WITH EXISTING. FIELD VERIFY EXACT LOCATION AND FLOW DIRECTION OF EXISTING WASTE LINE PRIOR TO MAKING ANY SAW CUTS.
 - SAW CUT AND PATCH CONCRETE FLOOR AS REQUIRED TO INSTALL NEW WASTE LINE TO NEW PLUMBING FIXTURES.
 - 1-INCH TO EXISTING DOMESTIC WATER STUBBED INTO SPACE. FIELD VERIFY EXACT CONNECTION POINT OF NEW WATER LINE WITH EXISTING WATER LINE.
 - 1/2-INCH COLD WATER LINE UP TO THE WATER CLOSET ON THE UPPER LEVEL.
 - 1/2-INCH COLD WATER AND HOT WATER LINES UP TO THE LAVATORY ON THE UPPER LEVEL.
 - WATER HEATER (WH-1) MOUNTED ABOVE THE SERVICE SINK. SEE SERVICE SINK DETAIL ON SHEET P300.
 - 3/4-INCH CONDENSATE DRAIN LINE FROM FURNACES AND COILS ABOVE.

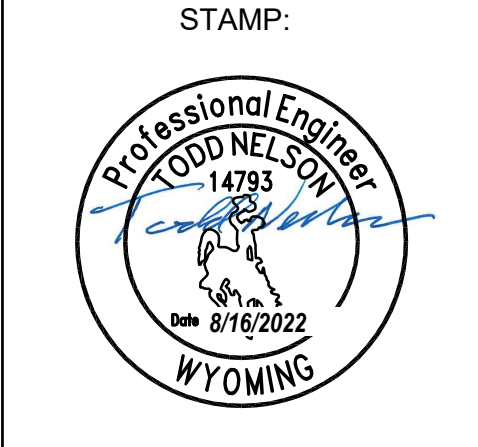


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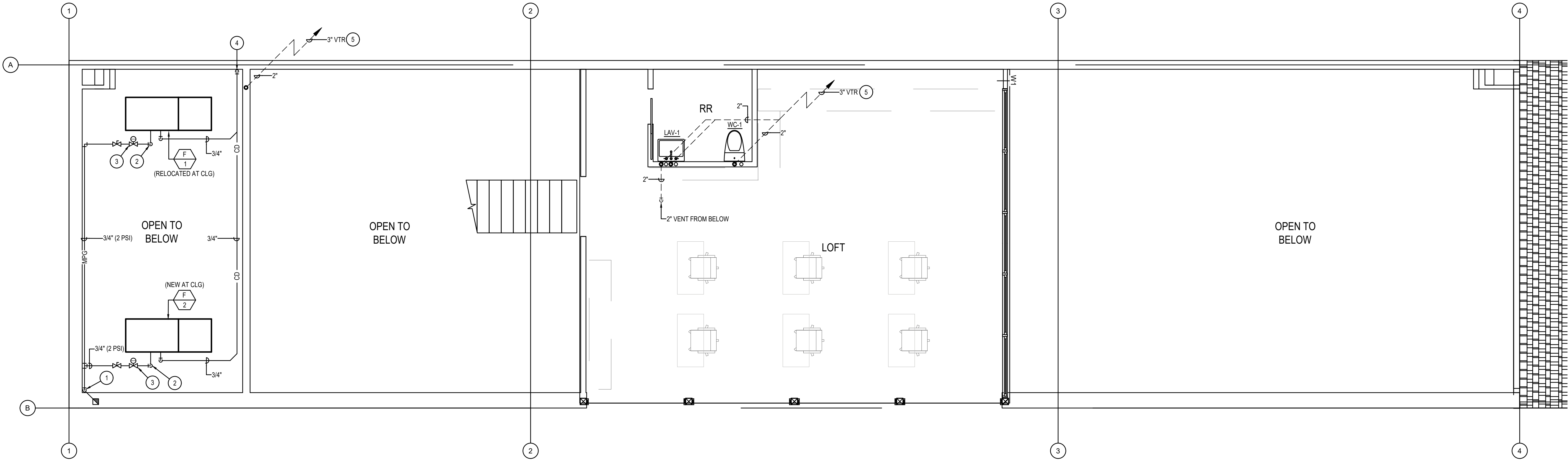


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P200
Main Level Plumbing Plan
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1 Upper Level Plumbing Plan
SCALE: 1/4" = 1'-0"

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
1. MEDIUM PRESSURE GAS LINE (MPG) FROM BELOW. CONNECT NEW GAS LINE WITH EXISTING.
 2. MAKE NEW GAS LINE CONNECTION WITH GAS-FIRED FURNACE. SEE GAS CONNECTION DETAIL ON SHEET P300.
 3. GAS PRESSURE REGULATOR (2 PSI - 7" W.C.). INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEE GAS PRESSURE REGULATOR DETAIL ON SHEET P300.
 4. DROP 3/4-INCH CONDENSATE DRAIN LINE DOWN INDIRECT INTO THE SERVICE SINK (SS-1).
 5. VENT THRU ROOF OR USE EXISTING VENT THRU ROOF IF AVAILABLE. ALL NEW ROOF PENETRATIONS SHALL BE FLASHED AND SEALED TO MAINTAIN ALL EXISTING ROOF WARRANTIES.

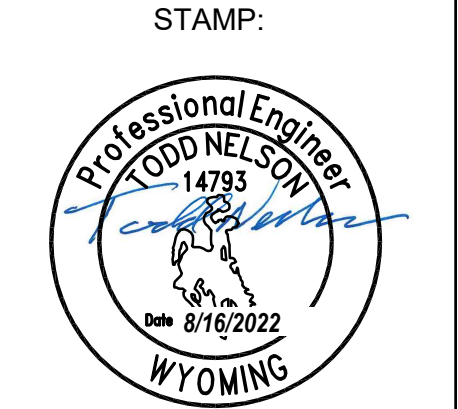


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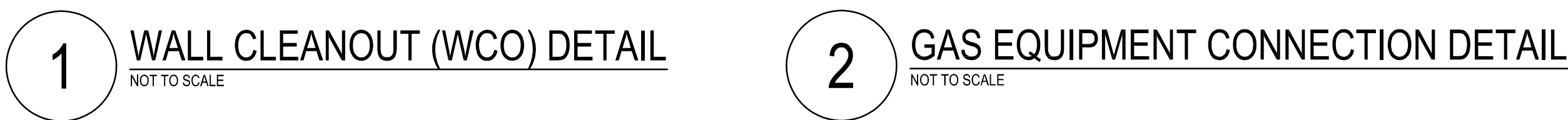


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P201
Upper Level Plumbing Plan
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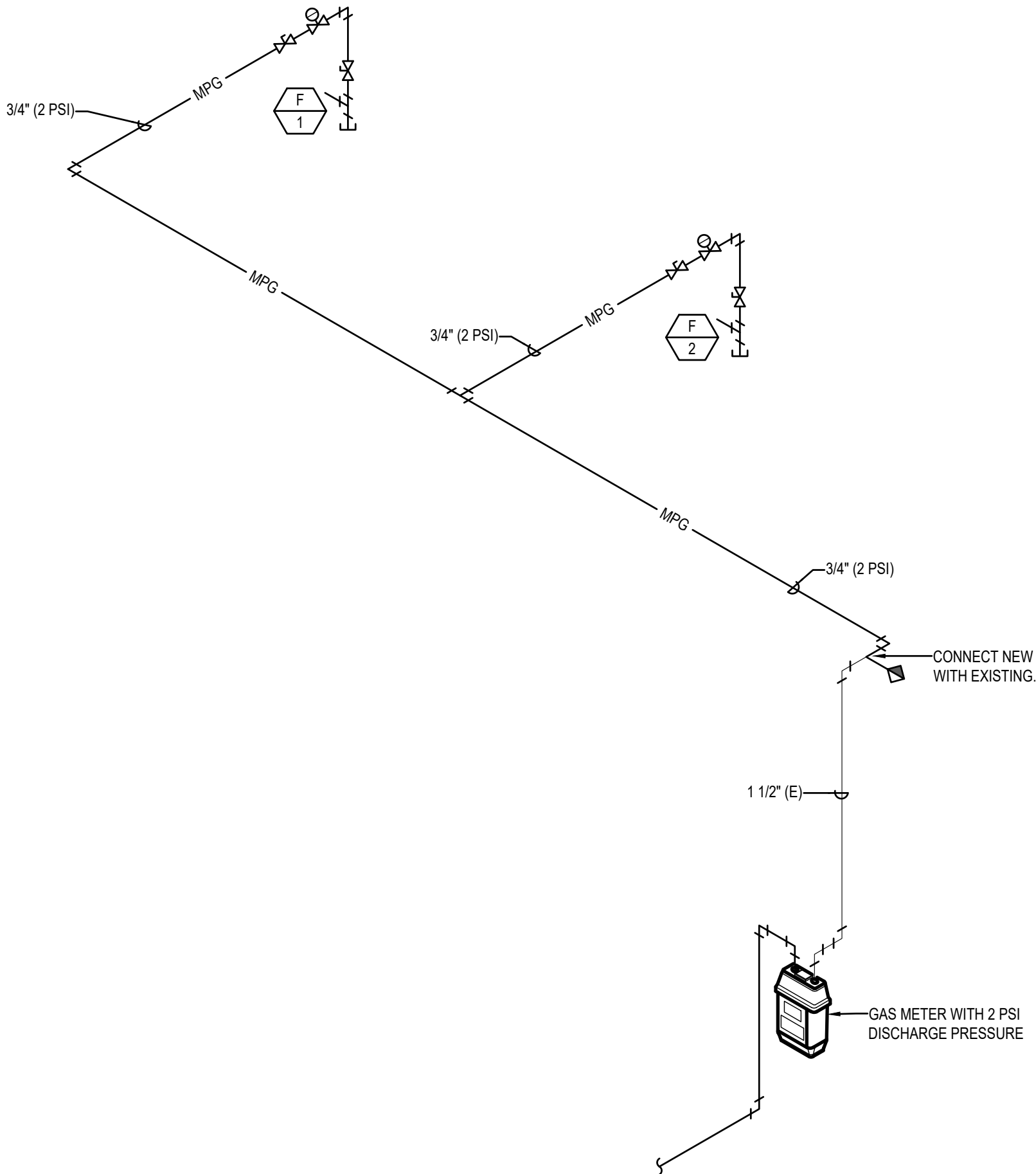
P300

Plumbing Details

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GAS SIZING CHART			
SYMBOL	INPUT (MBH)	RUNOUT SIZE (2PSI) (INCHES)	EQUIPMENT CONNECTION SIZES (7" WC) (INCHES)
F-1	80	1/2	1/2
F-2	80	1/2	1/2
TOTAL	160	EQUIVALENT LENGTH = 50 FT PRESSURE = 2 PSI MAIN SIZE = 1/2"Ø	

NOTE: GAS SIZES TO EQUIPMENT ARE AS NOTED IN SCHEDULE ABOVE. ROUTE NOTED (2PSI) GAS LINE TO GAS EQUIPMENT. PROVIDE GAS COCK AND PRESSURE REGULATOR (2 PSI-7" WC) SIZED FOR GAS LOAD AT EACH PIECE OF EQUIPMENT. VENT TO ATMOSPHERE PER MANUFACTURERS RECOMMENDATIONS. ROUTE NOTED (7" WC) GAS LINE TO GAS FIRED EQUIPMENT WITH GAS COCK AND FLEX CONNECTOR AT UNIT. SEE GAS CONNECTION DETAILS ON SHEET P200.



1 Gas Piping Riser Diagram
SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE							
SYMBOL	FIXTURE DESCRIPTION	CONNECTION SIZE					MANUFACTURER / MODEL NUMBER / DESCRIPTION / ADDITIONAL COMMENTS
		WASTE	VENT	TRAP	CW	HW	
D-1	DISPOSER	2	1 1/2	1 1/2	--	--	INSINK ERATOR MODEL BADGER 1: 1/3 HORSEPOWER, 120 VOLTS, 6.7 AMPS, CONTROLLED BY WALL SWITCH. PROVIDE WITH PRE-WIRED POWER CORD.
FCO	FLOOR CLEANOUT	SEE PLANS	--	--	--	--	JAY R. SMITH 4020 SERIES WITH ADJUSTABLE, ROUND NICKEL BRONZE TOP AND ABS PLUG.
LAV-1	MOTION SENSOR LAVATORY (WALL MOUNTED) (BATTERY OPERATED) (ADA COMPLIANT)	1 1/2	1 1/2	1 1/4	1/2	1/2	KOHLER KINGSTON MODEL K-2005, WITH GRID STRAINER, SLOAN OPTIMA PLUS MODEL EAF-350 BATTERY POWERED FAUCET WITH 4" TRIM PLATE AND WATTS SERIES LFUSG-B LEAD-FREE, THERMOSTATIC MIXING VALVE, ASSE STANDARD 1070 LISTED, BRONZE BODY, INTEGRAL CHECK VALVES, AND SELECTABLE TEMPERATURE RANGE FROM 80°F TO 120°F. PROVIDE WITH JAY R. SMITH FIGURE NUMBER 0700-Z SUPPORT WITH CONCEALED ARMS. PROVIDE WITH LS-1 LAV SHIELD.
LS-1	LAVATORY SHIELD (WALL MOUNTED SHIELD FOR CONCEALING PIPING, VALVES, AND INSTANTANEOUS WATER HEATERS)	--	--	--	--	--	TRUEBRO "LAV SHIELD" ADA COMPLIANT, TOTAL ENCLOSURE. SINGLE-PIECE CONSTRUCTION, SLOAN OPTISHIELD ETF-529, OR APPROVED EQUAL.
RP-1	RECIRCULATION PUMP (HOT WATER RETURN SYSTEM) (SMALL SYSTEM)	--	--	--	--	3/4	BELL AND GOSSETT BRONZE MODEL NBF-10S/LW, 115 VOLT, 0.46 AMPS, 55 WATTS, AND SHALL PROVIDE 4 GPM AT 7 FEET HEAD. INCLUDE 7-DAY PROGRAMMABLE ELECTRONIC TIME CLOCK WITH BATTERY BACKUP, INTERMATIC MODEL GM40AVE-RD89. APPROVED ALTERNATE: ARMSTRONG, TACO, GRUNDFOS.
S-1	SINK - SINGLE COMPARTMENT (17" X 20" X 6 1/2") (ADA COMPLIANT)	2	1 1/2	1 1/2	1/2	1/2	ELKAY LUSTERTONE MODEL LRAD172065: 6-1/2" DEEP, STAINLESS STEEL SINK. PROVIDE AND INSTALL ELKAY MODEL LK3001CR SINGLE LEVER CHROME FAUCET WITH SWING SPOUT AND HOSE SPRAY, ELKAY MODEL LK35 STAINLESS STEEL STRAINER BASKET AND TAILPIECE, AND WATTS SERIES LFUSG-B LEAD-FREE, THERMOSTATIC MIXING VALVE, ASSE STANDARD 1070 LISTED, BRONZE BODY, INTEGRAL CHECK VALVES, AND SELECTABLE TEMPERATURE RANGE FROM 80°F TO 120°F.
SS-1	SERVICE SINK (24" X 24" X 10") (FLOOR MOUNTED)	3	2	3	1/2	1/2	ACORN TERRAZZO-WARE MODEL TRH-242410: PROVIDE AND INSTALL WITH MODEL KFC CHROME UTILITY FAUCET, STAINLESS STEEL BUMPER GUARD, DRAIN GASKET, 36" HOSE AND WALL HANGER, MOP HANGER, AND (2) STAINLESS STEEL WALL GUARDS. MOUNT FAUCET 36" AFF.
WB-1	WALL BOX (WATER SUPPLY TO ICE MAKER)	--	--	--	1/2	--	OATEY FIREMASTER MODEL 39121 WITH FACEPLATE AND ADJUSTABLE METAL SUPPORT BRACKETS. FIRE-RATED, LOW LEAD, OR APPROVED EQUAL.
WC-1	WATER CLOSET (17-1/2" SEAT HEIGHT) (FLUSH TANK) (FLOOR MOUNTED) (COMFORT HEIGHT / ADA)	4	2	INT.	1/2	--	KOHLER CIMARRON MODEL K-5310 (LEFT LEVER) / K-5310-RA (RIGHT LEVER), FLOOR MOUNTED, GRAVITY FLUSH TANK WITH ELONGATED BOWL, 1.28 GPF. KOHLER LUSTRA MODEL K-4650 ELONGATED, OPEN FRONT SEAT WITH CHECK HINGE AND NO COVER.
WCO	WALL CLEANOUT	SEE PLANS	--	--	--	--	JAY R. SMITH 4472T SERIES WITH CAST BRONZE TAPER THREAD PLUG, STAINLESS STEEL ROUND COVER, AND A STAINLESS STEEL VANDAL PROOF SCREW.
WH-1	WATER HEATER (20 GALLON LOWBOY MODEL) (208V-1Ø ELECTRIC)	--	--	--	SEE PLANS	SEE PLANS	BRADFORD WHITE MODEL LE120L3-3, NON-SIMULTANEOUS DUAL ELEMENTS, (2) 4.5 KW, 208V/1Ø, 18" DIAMETER, 25" TALL, WITH SIDE CONNECTIONS. PROVIDE WITH WALL BRACKET SUPPORT SIZED FOR WEIGHT, SEISMIC STRAPS, AND DRAIN PAN. PROVIDE WATER HEATER WITH HEAT TRAP.

NOTES:

- ALL ADA COMPLIANT FIXTURES MUST COMPLY WITH ICC/ANSI A117.1. SEE ARCHITECTURAL PLANS FOR HANDICAPPED FIXTURE DESIGNATIONS, LOCATIONS, CLEARANCES, AND MOUNTING HEIGHTS.
- ALL EXPOSED HW PIPING, CW PIPING, AND DRAIN LINES BENEATH ALL LAVATORIES AND ALL ADA COMPLIANT SINKS MUST BE INSULATED TO PREVENT INJURY. REFER TO ARCHITECTURAL PLANS. INSULATE WITH MOLDED CLOSED CELL VINYL INSULATION - TRUEBRO, PLUMBEREX, OR EQUAL.



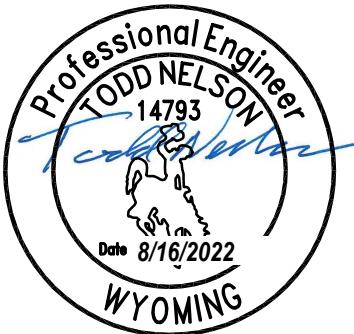
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P400
Plumbing Schedules
& Details

ELECTRICAL LEGEND - LIGHTING

REFERENCE FIXTURE SCHEDULE FOR MOUNTING TYPE, MOUNTING HEIGHT, AND FIXTURE TYPE.	
	DOUBLE FACE EXIT SIGN, CEILING MOUNTED, PROVIDE UNSWITCHED CONDUCTOR.
	WALL MOUNTED DOUBLE FACE EXIT SIGN PROVIDE UNSWITCHED CONDUCTOR. MOUNT AT +8'-0" UNO.
	SINGLE FACE EXIT SIGN, CEILING MOUNTED PROVIDE UNSWITCHED CONDUCTOR.
	WALL MOUNTED SINGLE FACE EXIT SIGN PROVIDE UNSWITCHED CONDUCTOR. MOUNT AT +8'-0" UNO.
	ARROW INDICATES DIRECTION TO BE SHOWN ON SIGN.
	1'X1' LIGHT FIXTURE.
	1'X1' LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	TRACK LIGHT.
	1'X4' LIGHT FIXTURE.
	1'X4' LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	2'X4' LIGHT FIXTURE.
	2'X4' LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	2'X2' LIGHT FIXTURE.
	2'X2' LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	DIRECT/INDIRECT LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH.
	DIRECT/INDIRECT LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	STRIP LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH.
	STRIP LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	WALL MOUNTED LIGHT FIXTURE.
	WALL MOUNTED LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	RECESSED LIGHT FIXTURE.
	RECESSED LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	ROUND LIGHT FIXTURE.
	ROUND EMERGENCY LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	WALL MOUNTED LIGHT FIXTURE.
	WALL MOUNTED EMERGENCY LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.
	POLE LIGHT 1 HEAD WITH POLE.
	TIME CLOCK.
	PHOTO CONTROL CELL LOCATED 12" ABOVE ROOF FACING NORTH.
	OCCUPANCY SENSOR. PROVIDE RELAYS AND POWER PACKS AS REQUIRED.
	LED DRIVER.
	EMERGENCY EGRESS LIGHTING WITH OUT FIXTURE HEADS. CONNECT TO AN UNSWITCHED CONDUCTOR.
	EMERGENCY EGRESS LIGHTING. CONNECT TO AN UNSWITCHED CONDUCTOR.
	WALL MOUNTED SINGLE FACE EXIT SIGN WITH EMERGENCY EGRESS LIGHTING. PROVIDE UNSWITCHED CONDUCTOR. MOUNT AT +8'-0" UNO.
	CEILING MOUNTED. SINGLE FACE EXIT SIGN WITH EMERGENCY EGRESS LIGHTING. PROVIDE UNSWITCHED CONDUCTOR.
	CEILING MOUNTED. DOUBLE FACE EXIT SIGN WITH EMERGENCY EGRESS LIGHTING. PROVIDE UNSWITCHED CONDUCTOR.
XXX	INDICATES FIXTURE TYPE. REFER TO FIXTURE SCHEDULE.
	EXTERIOR WALL PACK.
	EMERGENCY EXTERIOR WALL PACK. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

DEVICES

	SWITCH, TYPE AS INDICATED. +46" AFF
2	DOUBLE POLE
3	3-WAY
4	4-WAY
K	KEYED
P	PILOT LIGHT
D	DIMMER
HP	HORSEPOWER RATED
LV	THERMAL OVERLOAD
OS	OCCUPANCY SENSOR
OR	LOW VOLTAGE, MOMENTARY OVERRIDE
vs	VACANCY SENSOR
a	SUPERSCRIPT INDICATES LIGHTS TO BE SWITCHED TOGETHER
\$	DUAL LEVEL SWITCHING, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY.
\$	DUAL LEVEL SWITCHING WITH OCCUPANCY SENSOR, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY.
\$s	OCCUPANCY SENSOR WITH MANUAL DIMMING, SET FOR 50% AUTOMATIC ON, AUTOMATIC OFF, WITH MANUAL DIMMING.
	SINGLE CONVENIENCE OUTLET, +18" AFF UNO
	FLOOR MOUNT SINGLE CONVENIENCE OUTLET
	DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
	FLOOR MOUNT DUPLEX CONVENIENCE OUTLET
	EMERGENCY DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
	SWITCHED DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
	FLOOR MOUNTED SWITCHED DUPLEX CONVENIENCE OUTLET
	USB DUPLEX CONVENIENCE OUTLET, +18" AFF UNO
	USB FOURPLEX CONVENIENCE OUTLET, +18" AFF UNO
	FOURPLEX CONVENIENCE OUTLET. +18" AFF UNO
	FLOOR MOUNT FOURPLEX CONVENIENCE OUTLET
	CONNECTION POINT TO EQUIPMENT SPECIFIED, ELECTRICAL CONTRACTOR TO SUPPLY RACEWAY AND CONDUCTORS AND MAKE FINAL CONNECTION TO EQUIPMENT UNDER THIS SECTION. UNO
	FLOOR MOUNTED CONNECTION POINT, SEE NOTE ABOVE FOR REQUIREMENTS
	FLOOR MOUNTED JUNCTION BOX
	JUNCTION BOX
	WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO
	WALL MOUNTED PUSH BUTTON, HANDICAPPED MOUNT AT SWITCH HEIGHT UNO
	WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO
	MOTOR STARTER/CONTACTOR, SIZE/POLES NEMA 1 UNO AS INDICATED
	COMBINATION STARTER AND DISCONNECT, SIZE/POLES, STARTER SIZE AS INDICATED, NEMA 1 UNO
	FUSED DISCONNECT SWITCH, SIZE/POLES, FUSE SIZES AS INDICATED, NEMA 1 UNO
	NON-FUSED DISCONNECT SIZE/ POLES AS INDICATED, NEMA 1 UNO
	THERMOSTAT, +46" AFF PROVIDE CONDUIT, J-BOX, CONDUCTORS AS REQUIRED TO CONTROL ASSOCIATED UNITS. UNO COORDINATE WITH DIVISION 15.
	HUMIDISTAT, +46" AFF PROVIDE CONDUIT, J-BOX, CONDUCTORS AS REQUIRED TO CONTROL ASSOCIATED UNITS.
	POWER POLE - DUAL CHANNEL.
	RECESSED ENTERTAINMENT BOX
	TRANSFORMER
	PANELBOARD. SEE SCHEDULE FOR TYPE.
	EQUIPMENT CABINET, SURFACE MOUNTED
	EQUIPMENT CABINET FLUSH MOUNTED
	SURFACE MULTI-OUTLET RACEWAY
	MECHANICAL EQUIPMENT CALL OUT
	KITCHEN EQUIPMENT CALLOUT

ONE LINE

	DELTA WYE TRANSFORMER UNO
	PANEL BOARD, SEE SCHEDULE FOR TYPE AND SIZE
	CIRCUIT BREAKER, SIZE AND POLES INDICATED
	FUSE, SIZE AND TYPE INDICATED, PROVIDE FUSE FOR EACH POLE
	INTERRUPTER SWITCH, SIZE AND POLES INDICATED
	FUSED SWITCH, SIZE/POLES AND FUSE SIZE INDICATED
	DRAW OUT CIRCUIT BREAKER, SIZE AND POLES INDICATED
	INDIVIDUAL BREAKER WITH SHUNT TRIP, SIZE AND POLES INDICATED. NEMA 1 UNO
	INDIVIDUAL BREAKER, SIZE AND POLES INDICATED. NEMA 1 UNO
	GROUND FAULT PROTECTION
	TRANSIENT VOLTAGE SURGE SUPPRESSION
	ADJUSTABLE BREAKER SETTINGS (PER SPECIFICATIONS): 'L'-LONG TIME 'S'-SHORT TIME 'I'-INSTANTANEOUS 'G'-GROUND FAULT 'R'-ENERGY REDUCING MAINTENANCE SWITCH W/STATUS INDICATOR
	GROUND
	SHUNT TRIP COIL
	MOTOR
	DISCONNECT SWITCH, SIZE AND POLES INDICATED. NEMA 1 UNO
	OVERHEAD SERVICE DROP
	GENERATOR SET, MAIN BREAKER SIZE INDICATED
	AUTOMATIC TRANSFER SWITCH (ATS)
	METER AND BASE
	NEUTRAL
	DRY TYPE TRANSFORMER
	PAD MOUNT TRANSFORMER

NOTE:	THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL SYMBOLS. SOME OF THE SYMBOLS SHOWN MAY NOT HAVE BEEN USED IN THIS DRAWING PACKAGE.
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ELECTRICAL ABBREVIATIONS

A	AMPERES
AC	6" ABOVE BACKSPLASH
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AF	AMP FRAME
AIC	AMPS INTERRUPTING CAPACITY
AT	AMP TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
BD	BOTTOM OF DECK
BS	BOTTOM OF STRUCTURE
C	CEILING MOUNTED CONDUIT
CB	CIRCUIT BREAKER
CF	COMPACT FLUORESCENT
CKT	CIRCUIT
CO	CONDUIT ONLY, PROVIDE PULL-LINE
CT	CURRENT TRANSFORMER
CTL	CONTROL
DC	DIRECT CURRENT
(D)	DEMOLITION
DEMO	DEMOLITION
DET	DETAIL
DTT	DOUBLE TWIN TUBE
E	EMERGENCY
(E)	EXISTING
EC	ELECTRICAL CONTRACTOR
EL	EMERGENCY LIGHT
F	FUSE
(F)	FUTURE
FACP	FIRE ALARM CONTROL PANEL
G/GND	GROUND
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFI	GROUND FAULT INTERRUPTER
HH	HAND HOLE
HID	HIGH INTENSITY DISCHARGE
HOA	HAND-OFF-AUTO
HPS	HIGH PRESSURE SODIUM
HVAC	HEATING, VENTILATION, & AIR CONDITIONING
IG	ISOLATED GROUND
IPCO	IDAHO POWER COMPANY
J-BOX	JUNCTION BOX
KA	KILOAMP
KVA	KILO VOLT-AMP
KW	KILOWATT
KWH	KILOWATT HOUR
LCP	LIGHTING CONTROL PANEL
MB	MAIN BREAKER
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MLO	MAIN LUGS ONLY
MMC	MODULAR METERING CENTER
MH	METAL HALIDE
MSB	MAIN SWITCH BOARD
MTG	MOUNTING
N	NEUTRAL
(N)	NEW
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRICAL CODE
NL	NOT IN CONTRACT
NO	NIGHT LIGHT
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OH	OVERHEAD
OS	OCCUPANCY SENSOR
P	POLES
PC	PHOTO-CONTROL
PVC	POLYVINYL CHLORIDE
PWR	POWER
RE	REFERENCE
REC	RECEPTACLE
(R)	RELOCATED
SF	SQUARE FEET
TBD	TO BE DETERMINED
TDR	TIME DELAY RELAY
TK	TOE KICK
TSP	TWISTED SHIELDED PAIR
TRT	TRIPLE TUBE
TTB	TELEPHONE TERMINAL BOARD
(TYP.)	TYPICAL
UC	UNDERCABINET
UG	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
V	VOLT
VA	VOLT-AMPERE
W	WATT
WG	WIRE GUARD
WP	WEATHER PROOF/NEMA 3R
PROVIDED/	PROVIDE AND INSTALL / PROVIDED AND
INSTALL/	INSTALLED BY / PROVIDE AND INSTALL
NOTE:	THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL ABBREVIATIONS. SOME OF THE ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.

ELECTRICAL GENERAL NOTES

A.	THESE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE; THEREFORE, THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL EQUIPMENT AND DEVICE LOCATIONS WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DIVISIONS PRIOR TO ROUGH-IN. REFER TO AND COORDINATE WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL WORK THAT IS REQUIRED BY THE ELECTRICAL CONTRACTOR.
B.	ALL CONDUIT AND JUNCTION BOXES ARE TO BE CONCEALED UNLESS LOCATED WITHIN DEDICATED ELECTRICAL OR MECHANICAL ROOMS. USE OF SURFACE MOUNTED RACEWAYS IN ALL OTHER SPACES MUST BE APPROVED BY THE ARCHITECT FOR EACH LOCATION. WHERE SURFACE RACEWAYS ARE APPROVED, UTILIZE WIREMOLD, OR APPROVED EQUAL, SURFACE MOUNTED RACEWAYS PAINTED TO MATCH SURROUNDING WALLS.
C.	REFER TO ARCHITECTURAL ELEVATIONS FOR OUTLET HEIGHTS WHERE THE SPECIFIC OUTLET HEIGHT IS NOT INDICATED. REFER TO THE ELECTRICAL LOCATION FOR THE DEFAULT OUTLET HEIGHT WHEN NOT INDICATED ON ELEVATIONS OR ON AT THE DEVICES.
D.	PROVIDE PULL-LINE IN ALL EMPTY CONDUITS.
E.	TERMINATE ALL LOW-VOLTAGE CONDUITS WITH INSULATED THROAT BUSHING.
F.	MECHANICAL EQUIPMENT INDICATED IS SHOWN IN AN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
DEMO:	
G.	THE ELECTRICAL DEMOLITION DRAWING(S) PROVIDED ARE INTENDED TO ASSIST THE ELECTRICAL CONTRACTOR IN ESTABLISHING AREAS REQUIRING DISCONNECTION, REMOVAL, OR RELOCATION OF ELECTRICAL EQUIPMENT, OUTLETS, WIRING, DEVICES, FIXTURES, ETC. AND MAY NOT INDICATE ALL DEVICES OR THE FULL EXTENT OF DEMOLITION AND RECONNECTION WHICH MAY BE REQUIRED. THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY EXAMINE ALL REQUIRED DEMOLITION WORK AND INCLUDE ALL LABOR AND INCIDENTALS THAT WILL BE NECESSARY TO PERFORM DEMOLITION RECONNECTION AND TEMPORARY POWER CONNECTIONS IN THE BID.
H.	ALL ELECTRICAL DEVICES AND WALLS INDICATED ON THE ELECTRICAL DEMOLITION DRAWING(S) ARE TO REMAIN UNLESS OTHERWISE NOTED.

COMMUNICATIONS

	JUNCTION BOX FOR FUTURE TELEPHONE/DATA OUTLET. MOUNT AT 18" A.F.F. UNO. PROVIDE SINGLE-GANG MUD RING WITH BLANK COVER PLATE. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE.
	TELEPHONE/DATA OUTLET. MOUNT AT 18" A.F.F. UNO. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING. INSTALL QUANTITY OF DATA (#D) AND TELEPHONE (#T) CABLES INDICATED TO THE NEAREST DATA RACK. PROVIDE (2) DATA CABLES IF A CABLE QUANTITY IS NOT INDICATED.
	FLOOR MOUNTED BOX FOR FUTURE TELEPHONE/DATA OUTLET. JUNCTION BOX WITH SINGLE-GANG MUD RING. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE. PROVIDE BLANK COVER PLATE.
	FLOOR MOUNTED TELEPHONE/DATA OUTLET. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING. INSTALL QUANTITY OF DATA (#D) AND TELEPHONE (#T) CABLES INDICATED TO THE NEAREST DATA RACK. PROVIDE (2) DATA CABLES IF A CABLE QUANTITY IS NOT INDICATED.
	TELEVISION OUTLET, +18" AFF UNO. PROVIDE 1-1/4" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE
	CEILING MOUNTED TELEVISION OUTLET
	TELEPHONE TERMINAL BOARD
	CABLE TRAY, 4" DEEP, WIRE BASKET STYLE, 'XX' INDICATES WIDTH PROVIDE ALL FITTINGS AND SUPPORT HARDWARE REQUIRED



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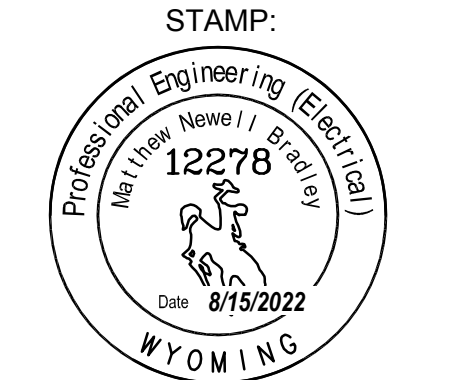


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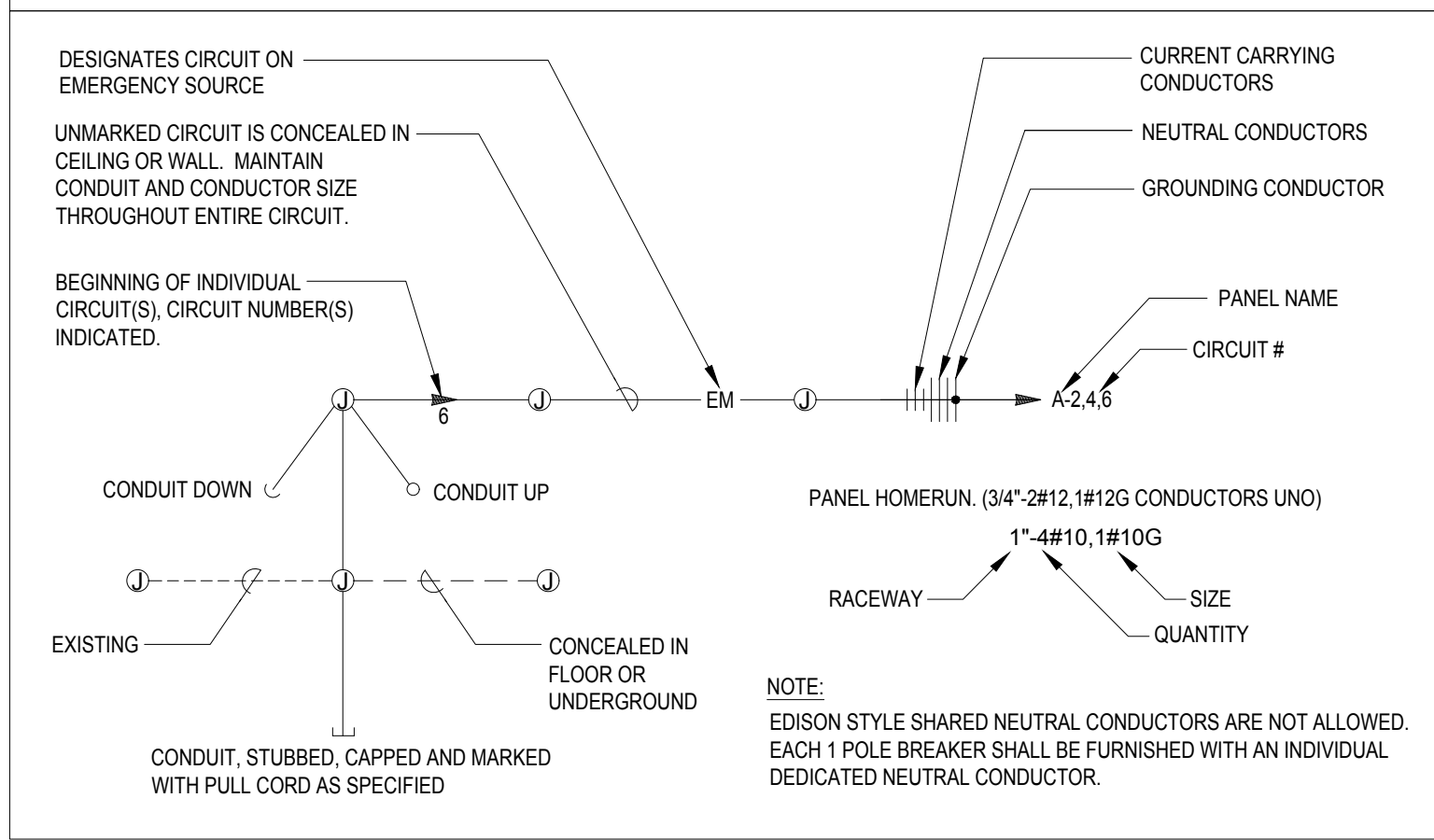
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E000
ELECTRICAL
COVER SHEET

CIRCUITING SYMBOLS



DEMOLITION SYMBOL NOTES:

- 1. (E) INDICATES EXISTING DEVICE TO REMAIN.
- 2. (RL) INDICATES DEVICE TO BE RELOCATED.
- 3. (RP) INDICATES FIXTURE DEVICE TO BE REPLACED IN PLACE. CIRCUITING AND CONDUIT TO REMAIN INTACT. PROTECT DURING CONSTRUCTION.
- 4. (R) INDICATES ITEMS TO BE REMOVED.

REUSE CONDUITS OR RACEWAY AS IT FITS THE INTENT OF THE PROJECT.



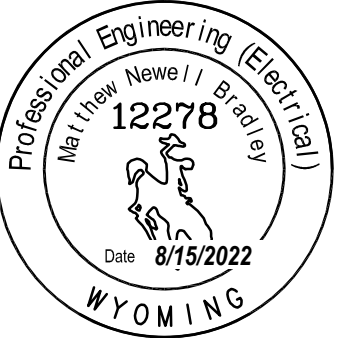
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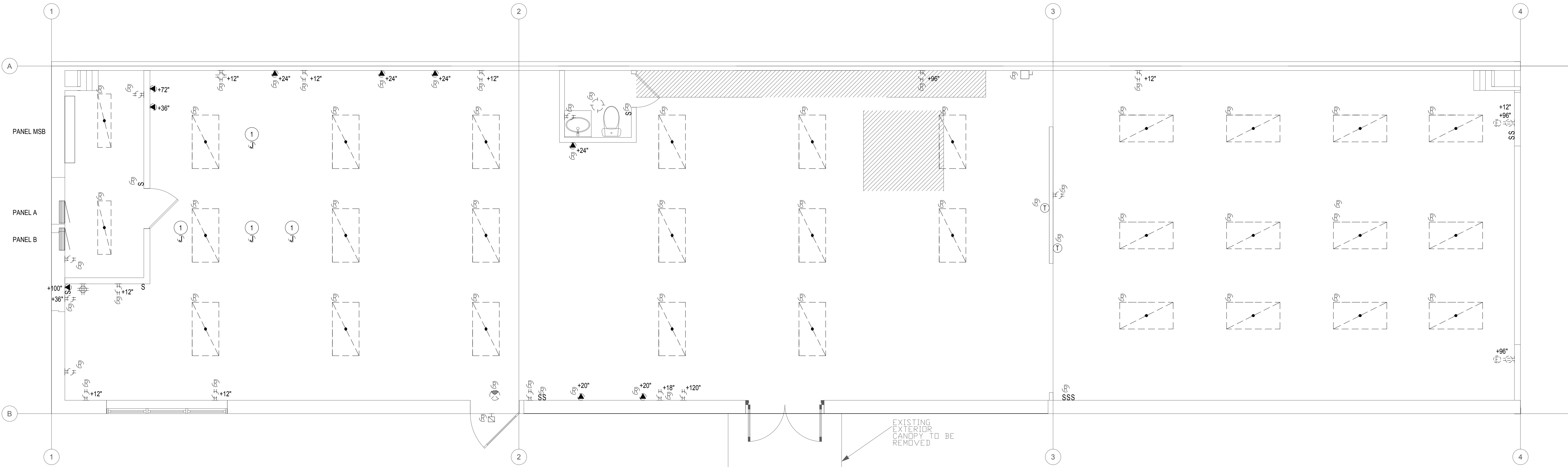
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ELECTRICAL DEMO PLAN

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1 Main Level Electrical Demolition Plan
SCALE: 1/4" = 1'-0"

SWITCH AND OCCUPANCY SENSOR LEGEND	
OS1	OCCUPANCY SENSOR - WALL MOUNT, DUAL TECHNOLOGY, LINE VOLTAGE, SINGLE POLE, COLOR BY OWNER. SENSOR SWITCH WSX-PDT-VLP-X
OS2	OCCUPANCY SENSOR - CEILING MOUNT, DUAL TECHNOLOGY, LINE VOLTAGE, SMALL MOTION. SENSOR SWITCH CMR-PDT-9.
OS3	OCCUPANCY SENSOR - CEILING MOUNT, DUAL TECHNOLOGY, LOW VOLTAGE, SMALL MOTION. SENSOR SWITCH CM-PDT-9 OR EQUAL
OS4	OCCUPANCY SENSOR - CEILING MOUNT, DUAL TECHNOLOGY, LOW VOLTAGE, SMALL MOTION. SENSOR SWITCH CM-PDT-6 OR EQUAL (HIGH BAY)
PP	POWER PACK - 120 VOLT, 15 VDC. SENSOR SWITCH PP20 OR EQUAL
S01	DIMMING SWITCH - WALL MOUNT, 120/277V, LED, ON/OFF/SLIDE DIMMER SWITCH. SYNERGY ISD-BC-120/277V-WH
S02	DIMMING SWITCH - WALL MOUNT, 120V, LED PHASE DIMMING, ON/OFF/SLIDE DIMMER SWITCH, WHITE. SYNERGY ISD-400-ELY-120-WH
OS	EXTERIOR LIGHTING PHOTOCELL - 120V, 1000 VA LOAD. DSW124-1-2-A-U
XX=VERIFY COLOR WITH ARCHITECT PRIOR TO ORDER	
EQUAL PRODUCTS FROM WATTSTOPER, LUTRON, LEGRAND, AND EATON WILL BE ACCEPTED	

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
1. MOUNT COMBINATION EMERGENCY/EXIT LIGHT ON THE EDGE OF THE CEILING.



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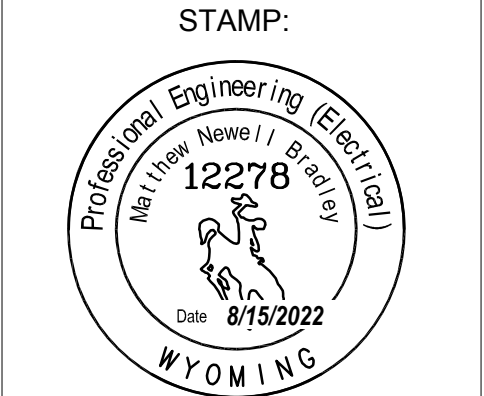
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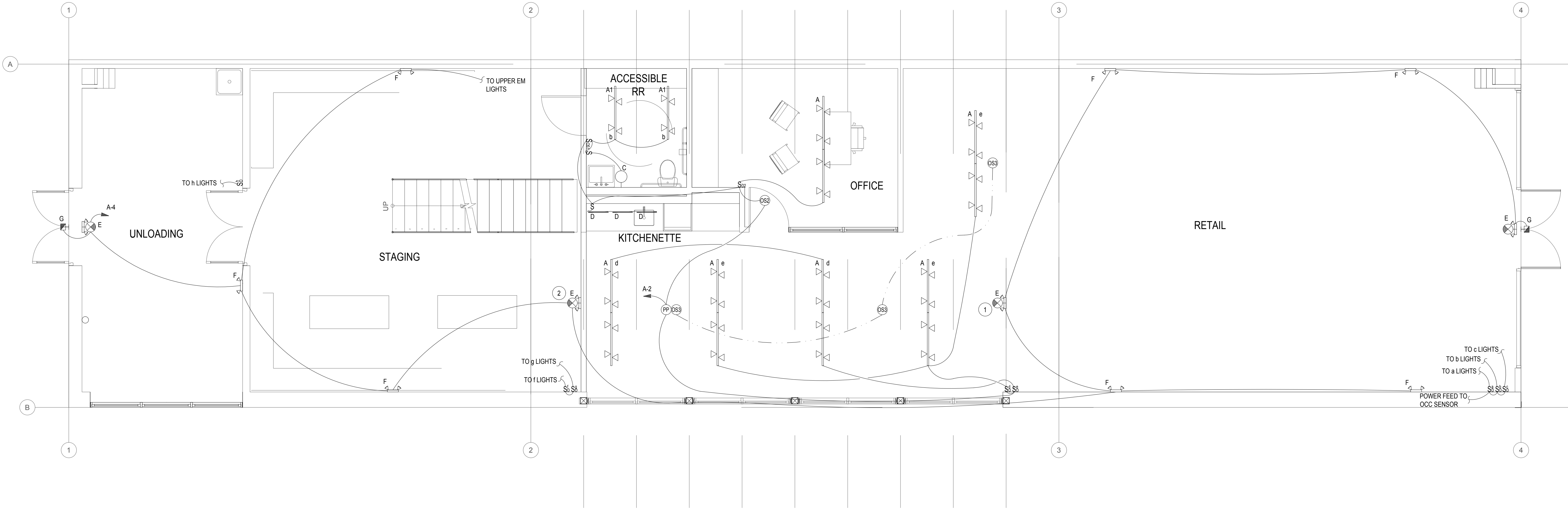
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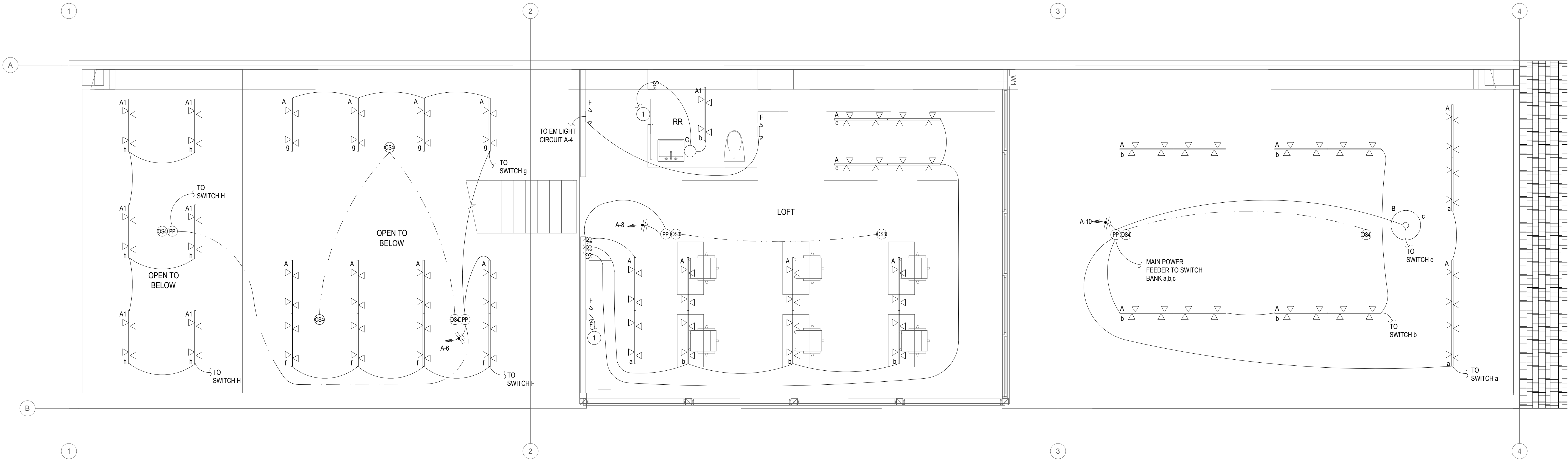
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E200
Main Level Lighting Plan

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1 Main Level Lighting Plan
SCALE: 1/4" = 1'-0"



1 Upper Level Lighting Plan
SCALE: 1/4" = 1'-0"

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
1. PROVIDE POWER TO THE LIGHTS IN THE RESTROOM FROM THE RESTROOM RECEPTACLE CIRCUIT.



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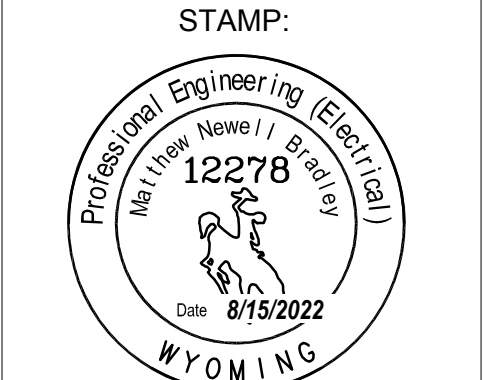


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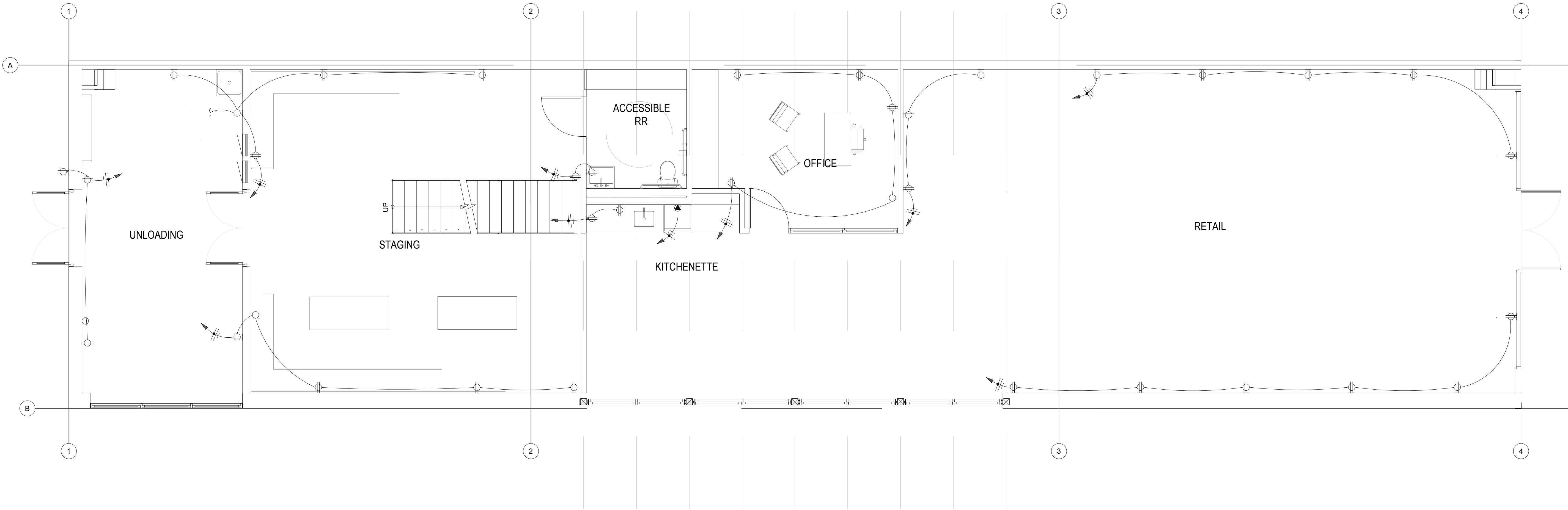
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E201
Upper Level Lighting Plan

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1

Main Level Power Plan

SCALE: 1/4" = 1'-0"

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
1. MOUNT RECEPTACLE 12" ABOVE WINDOW.



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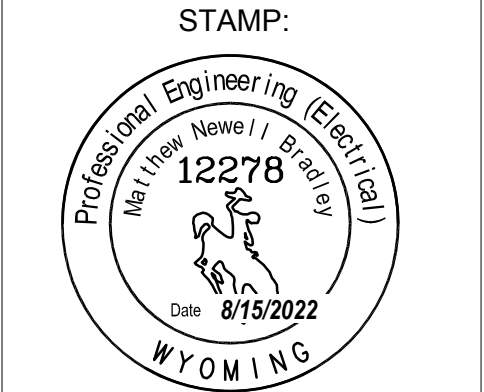


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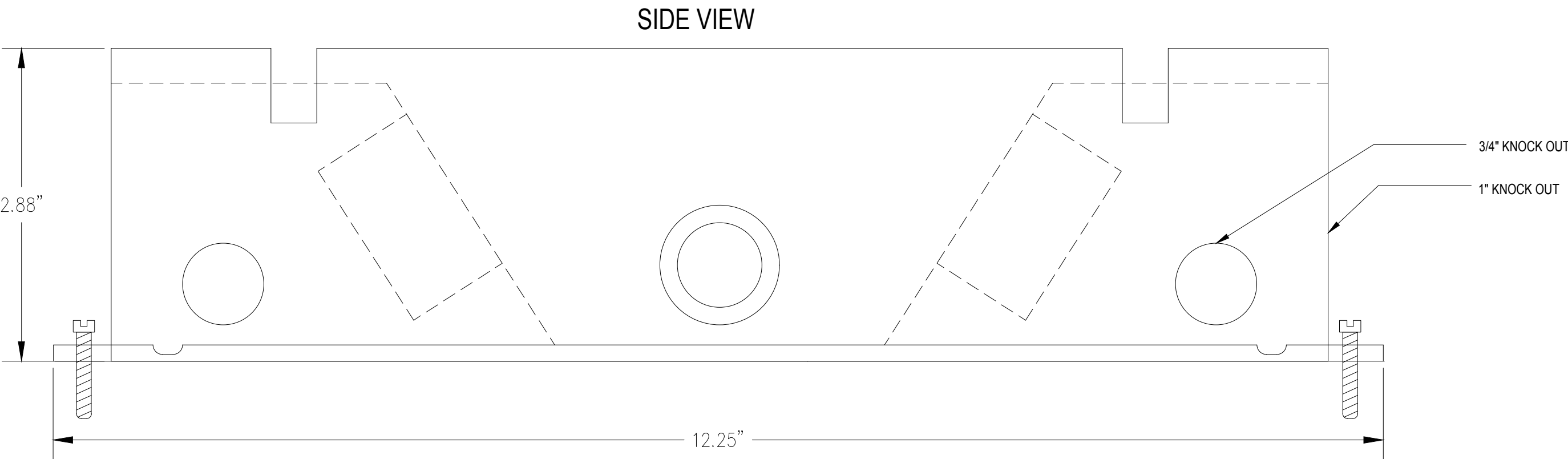
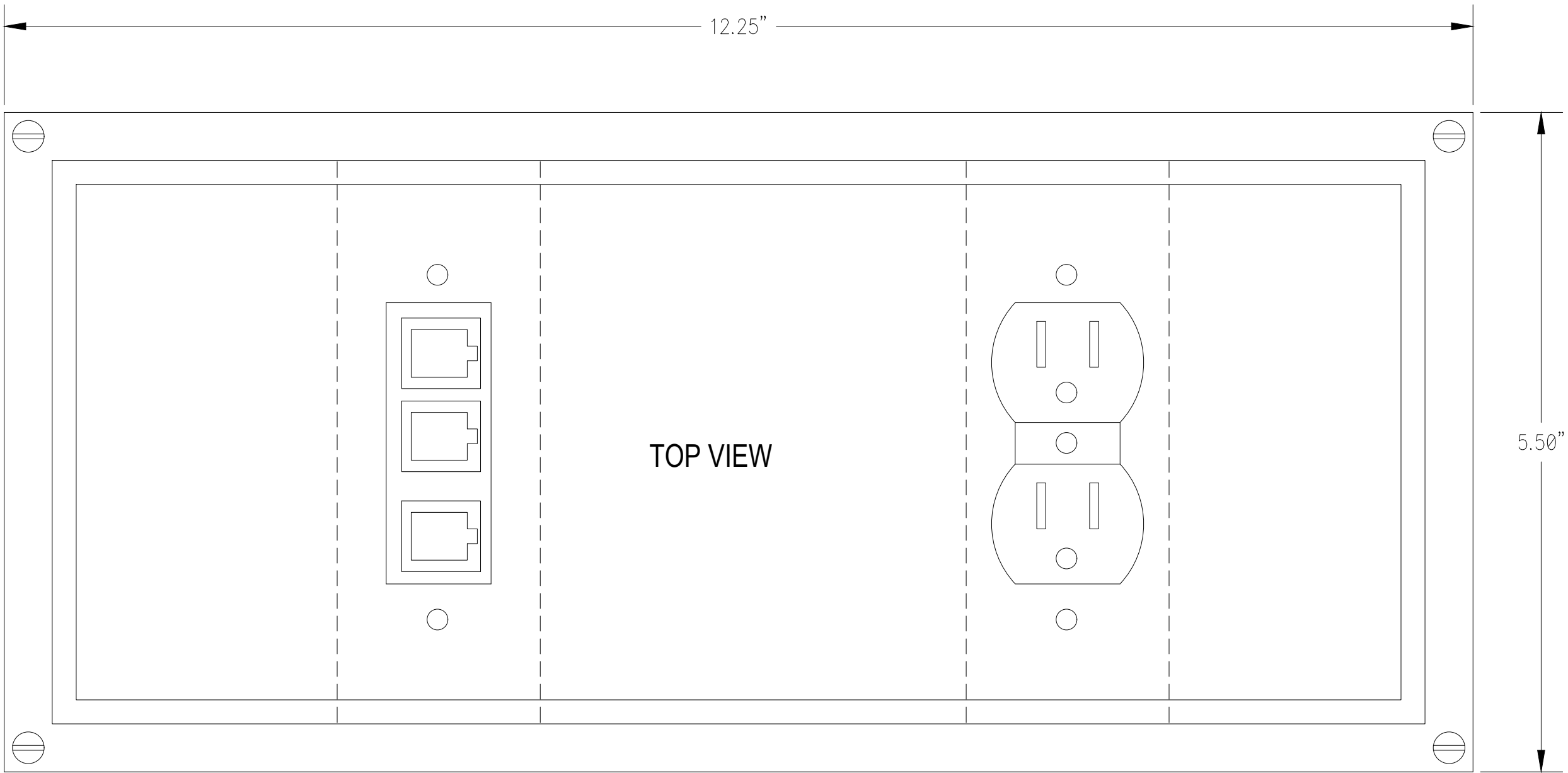
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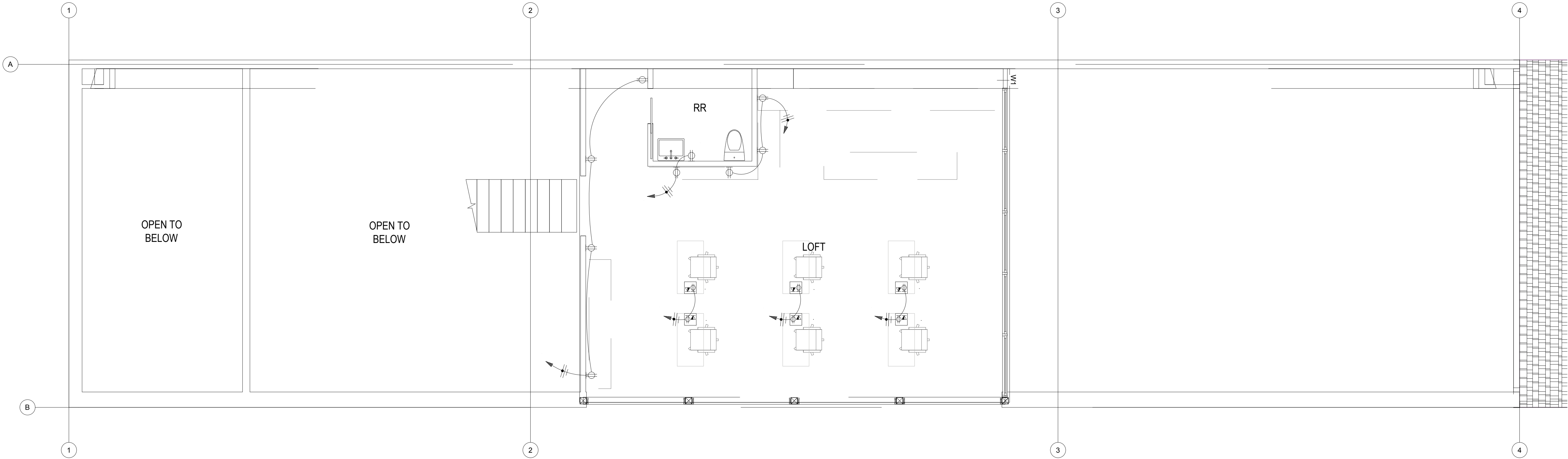


COMBINATION CONCRETE FLOOR DATA/POWER FLOOR BOX DETAIL

SCALE: NTS

NOTES:

- ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL CONCRETE RECESSED FLOOR BOXES:
HUBBELL #3SFBSS (FLOOR BOX) WITH SFBCGYA (GREY FLUSH COVER) AND,
(1) DUPLEX RECEPTACLE - HUBBELL #HBL5362, OR EQUAL
(1) DUPLEX RECEPTACLE SERVICE PLATE - HUBBELL #3SFBRP,
(1) DATA/COMM SERVICE PLATE - HUBBELL #3SFBDS, WITH HBL317SGY SIX PORT PLATE



1

Upper Level Power Plan

SCALE: 1/4" = 1'-0"

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
- SEE FLOOR BOX DETAIL THIS DRAWING



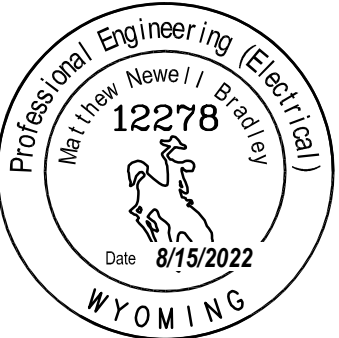
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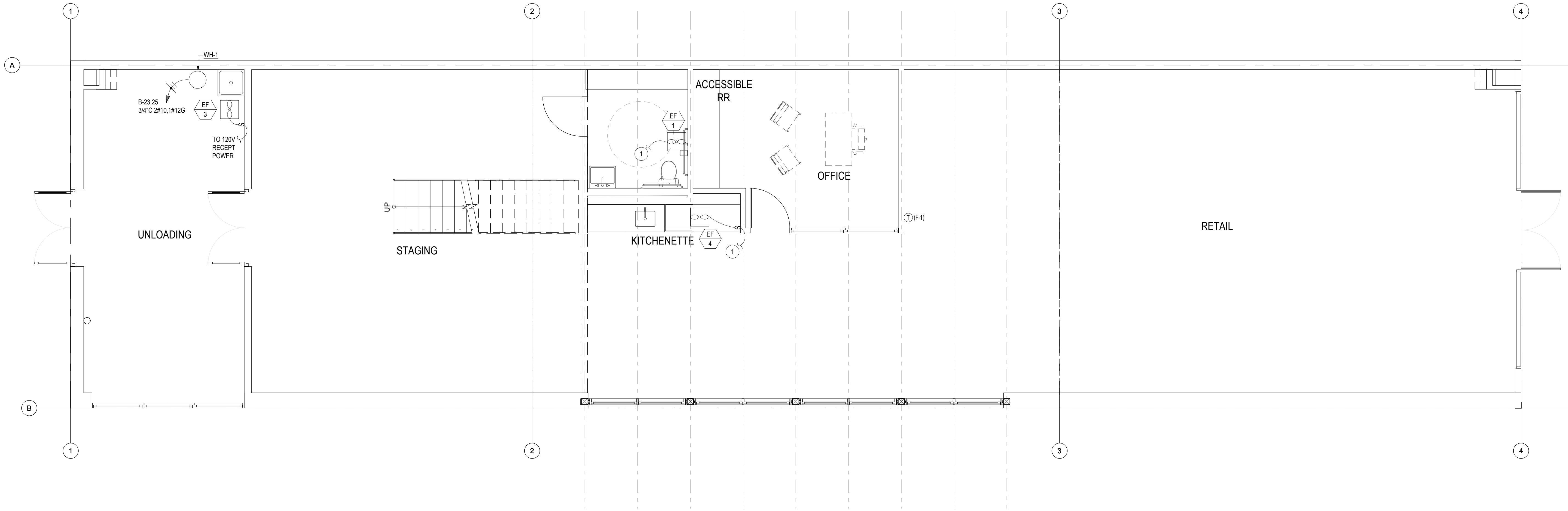
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E301

Upper Level Power Plan



1 Main Level Mechanical Power Plan
SCALE: 1/4" = 1'-0"

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
1. THE EXHAUST FAN IN THE BATHROOM IS CONNECTED TO THE BATHROOM LIGHTS WITH CONTROL FROM THE OCCUPANCY SENSOR.



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645 West 25th Street
Idaho Falls, ID 83402
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Project No. 22-250

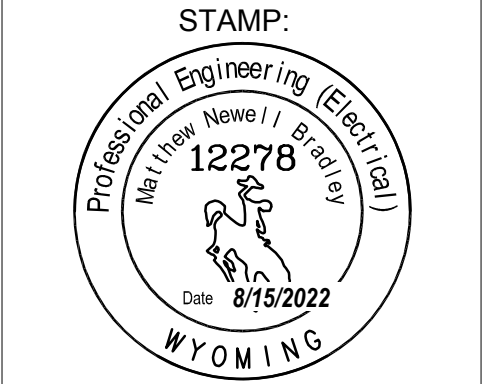


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800 W Broadway
Jackson WY 83001

DATE:	8/15/22
PROJECT #:	JH2205
DRAWN:	JB/MNB
ISSUE:	

E400

Main Level Mechanical
Power Plan

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1. NOT USED



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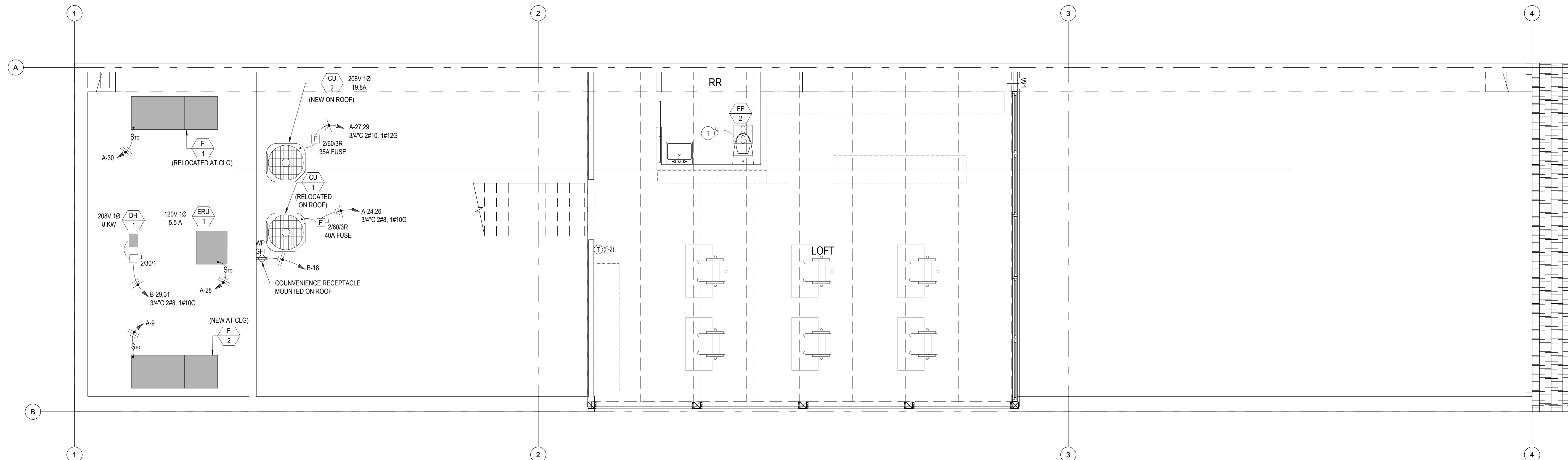


800 W Broadway
Jackson WY 83001

ISSUE:

E401

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1 Upper Level Mechanical Power Plan

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

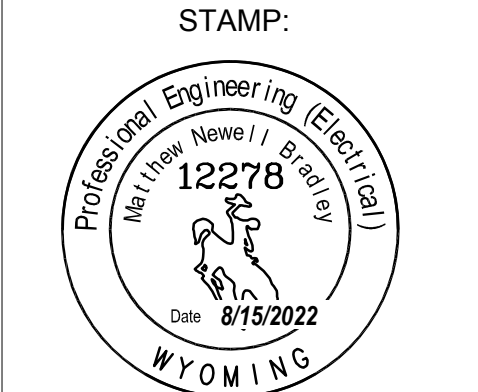


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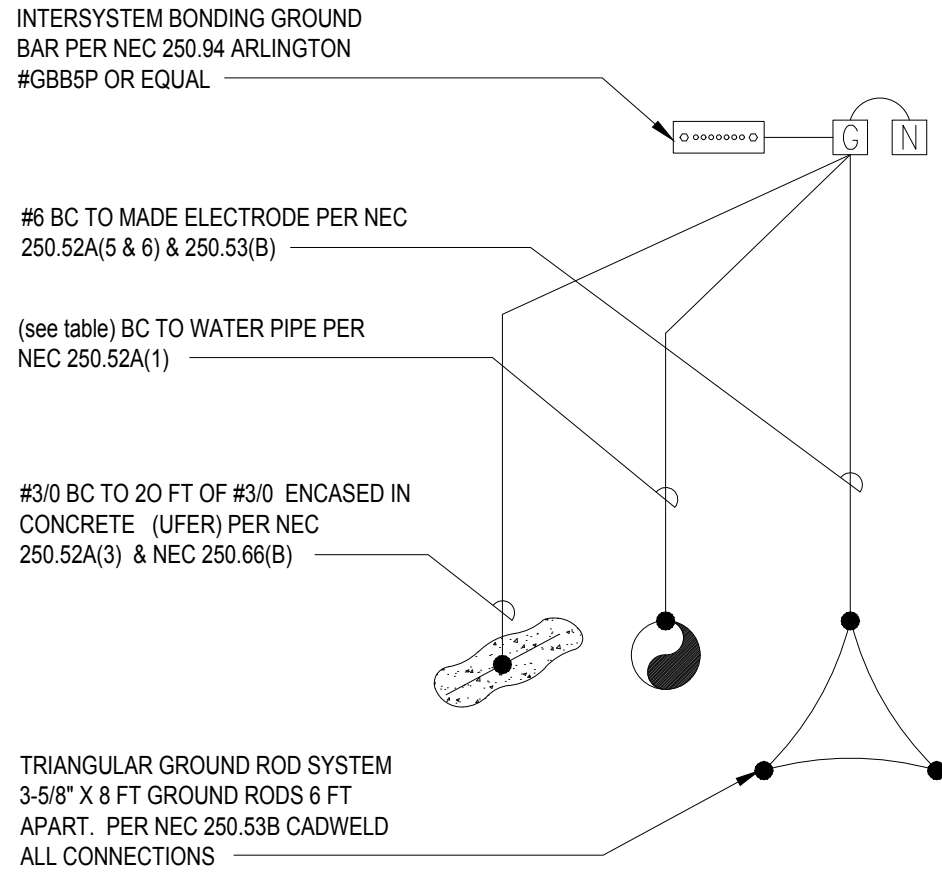


PERMIT SET

ELEVATED LIVING
800 W Broadway
Jackson WY 83001

DATE: 8/15/22
PROJECT #: JH2205
DRAWN: JB/MNB
ISSUE:

E500
Schedules

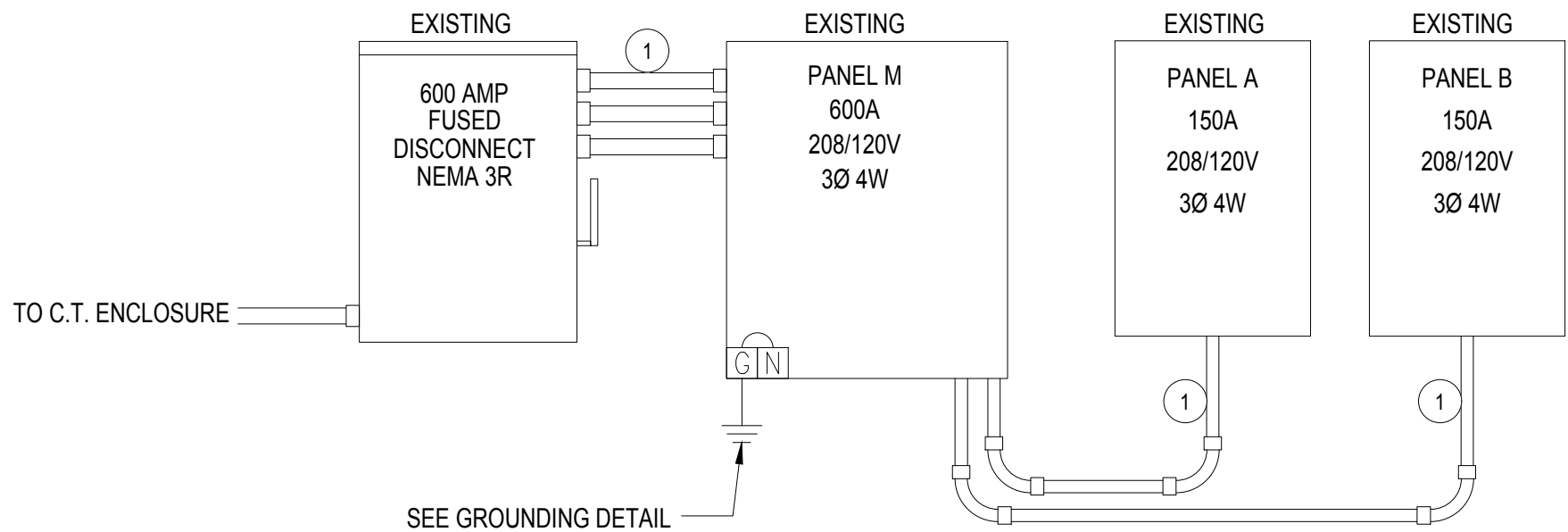


GROUNDING SHALL BE COMPLETED TO ALL TYPES SHOWN

GRONDING DETAIL
NTS

KEYED NOTES:

- # SYMBOL USED FOR NOTE CALLOUT.
- EXISTING FEEDER TO REMAIN
 - EXISTING FEEDER TO BE REVISED.



POWER RISER

SCALE: NTS

800 W. BROADWAY, JACKSON WY.

CURRENT BUILDING ELECTRICAL SERVICE IS 600 AMP 208V THREE PHASE		
METER PANEL A PEAK USAGE ON 06/26/21	112.48 KW	312.4 AMPS
PER NEC 220.87: 312.4 AMPS * 1.25		390.55 AMPS
600-390.55 = 209.4AMPS AVAILABLE ON THE SERVICE FOR ADDITIONAL LOADING FOR THE REMODEL .		
THE EXISTING 600 AMP 208V 3 PHASE ELECTRICAL SERVICE IS MORE THAN ADEQUATE FOR THE REMODEL FOR CONVERTING A CLEANING BUSINESS INTO NORMAL OFFICE SPACE.		

EXISTING PANEL M TO REMAIN

PANEL M (EXISTING)		Project: 22-250 800 W. BROADWAY									
VOLTAGE: 208/120V		DIMENSION: PER NEC		LOCATION:		STORAGE					
PANEL AMP RATING: 600A		WITH 600A CB		MOUNTING: FLUSH		NEMA ENCLOSURE: 1					
WIRES: 4		PHASE: 3		FEED: TOP		TYPE: SQUARE D I-LINE					
LOAD DESCRIPTION	PH	LOAD WATT	BKR AMPS	CKT NO	LOAD		CKT NO	BKR AMPS	LOAD WATT	PH	LOAD DESCRIPTION
					A	B					
BLANK	A				0					A	BLANK
	B			1		0		2		B	
	C						0			C	3 POLE
BLANK	A				0					A	BLANK
	B			3		0		4		B	
	C						0			C	3 POLE
BLANK	A				0					A	BLANK
	B			5		0		6	20	B	HEAT TAPE
	C						0			C	2 POLE
BOILER	A				0					A	PANEL A
	B		350	7		0		8	150	B	
	C						0			C	3 POLE
MAIN BREAKER	A				0					A	PANEL B
	B		600	9		0		10	150	B	
	C						0			C	3 POLE
FEEDER BREAKER		TOTAL LOAD PER PHASE-WATTS		TOTAL LOAD PER PHASE-AMPS		0	0	0	FEED FROM: SERVICE DISCONNECT		
RATING: 600A						0	0	0	PANEL AIC RATING: 10,000		
WIRE SIZE: 2 RUNS OF 4-350 KCMIL CU & 1#1 CU GND						0	0	0	CONDUIT SIZE: 2-3 1/2"C		

EXISTING PANEL A TO BE RELOCATED AND REUSED


PANEL: A		PROJECT: 22-250 800 W. BROADWAY (EXISTING CONDITIONS)												
VOLTAGE: 208 / 120 V		3 PH	4 WIRE	AMPERE RATING: 150A		WITH 150A	MLO	MOUNTING: SURFACE						
BASIS OF DESIGN PANEL TYPE				LOAD CENTER		NEMA ENCLOSURE TYPE 1		PANEL AIC RATING: 10000 AIC						
CKT NOTES:				REMARKS:										
1. GFCI FOR PERSONNEL PROTECTION (5mA)														
2. GFCP FOR EQUIPMENT PROTECTION (30mA)														
3. AFCI COMBINATION STYLE BREAKER														
4. EXISTING BREAKER														
CKT	DESCRIPTION	CKT NOTE	LOAD VA	LOAD AMPS	AMPS/ POLES	LOAD (VA)			AMPS/ POLES	LOAD AMPS	LOAD VA	CKT NOTE	DESCRIPTION	CKT
30	BOILER CONTROL	4		0.0	20 1	0			20 2	0.0		4	DRY ER	29
28	BACK RM. FRONT EXT LIGHTS	4		0.0	20 1		0		** *	0.0		4	***	27
26	AC	4		0.0	40 2			0	20 2	0.0		4	CHICAGO IRON	25
24	***	4		0.0	** *	0			** *	0.0		4	***	23
22	N. LIGHTS #1	4		0.0	20 1		0		20 3	0.0		4	COMPRESSOR	21
20	N. LIGHTS #2, BM LIGHTS	4		0.0	20 1			0	** *	0.0		4	***	19
18	S. LIGHTS #1	4		0.0	20 1	0			** *	0.0		4	***	17
16	S. LIGHTS #2	4		0.0	20 1		0		30 3	0.0		4	DRY CLEANING MACHINE	15
14	SEWING STATION OUTLETS #1	4		0.0	20 1			0	** *	0.0		4	***	13
12	SEWING STATION OUTLETS #2	4		0.0	25 1	0			** *	0.0		4	***	11
10	COMPUTERS	4		0.0	20 1		0		20 3	0.0		4	FIMA SHIRT PRESS	9
8	ERV #1, #2 #3	4		0.0	20 1			0	** *	0.0		4	***	7
6	GAS DRY ER	4		0.0	20 1	0			** *	0.0		4	***	5
4	***	4		0.0	20 1		0		20 2	0.0		4	FIMAS PRESS	3
2	SPARE	4		0.0	20 1			0	** *	0.0		4	***	1
					0.0	0.0	0.0	VA						
					0.0	0.0	0.0	AMPS		0 TOTAL VA				

EXISTING PANEL B TO BE RELOCATED AND REUSED

PANEL: B		PROJECT: 22-250 800 W. BROADWAY (EXISTING CONDITIONS)												
VOLTAGE: 208 / 120 V		3 PH	4 WIRE	AMPERE RATING: 150A		WITH 150A	MLO	MOUNTING: SURFACE						
BASIS OF DESIGN PANEL TYPE		LOAD CENTER		NEMA ENCLOSURE TYPE		1	PANEL AIC RATING: 10000 AIC							
CKT NOTES:				REMARKS:										
1. GFCI FOR PERSONNEL PROTECTION (5mA)														
2. GFCP FOR EQUIPMENT PROTECTION (30mA)														
3. AFCI COMBINATION STYLE BREAKER														
4. EXISTING BREAKER														
CKT	DESCRIPTION	CKT NOTE	LOAD VA	LOAD AMPS	AMPS/ POLES	LOAD (VA)			AMPS/ POLES	LOAD AMPS	LOAD VA	CKT NOTE	DESCRIPTION	CKT
30	EXHAUST FAN	4		0.0	20	2	0		20	1	0.0	4	E. OUTLETS, FRONT CONVEYER (SPLIT 20/30)	29
28	***	4		0.0	**	*		0	20	1	0.0	4	SUSIE (	27
26	FURNACE, INSTA HOT (SPLIT 20/20)	4		0.0	20	1		0	30	2	0.0	4	WASHER WATER HEATERS	25
24	MICROWAVE, COFFEE MAKER (SPLIT 20/20)	4		0.0	20	1	0		**	**	0.0	4	***	23
22	WASHER #3	4		0.0	20	2		0	20	2	0.0	4	IRONING BOARD #1	21
20	***	4		0.0	***	*		0	**	*	0.0	4	***	19
18	BATHROOM	4		0.0	20	1	0		30	2	0.0	4	BATHROOM WATER HEATER	17
16	WEST & MECH OUTLETS	4		0.0	20	1		0	**	**	0.0	4	***	15
14	S.W. FIMAS #1	4		0.0	20	2		0	20	2	0.0	4	WASHER #1	13
12	***	4		0.0	**	*	0		**	*	0.0	4	***	11
10	S.W. FIMAS #2	4		0.0	20	3		0	20	2	0.0	4	WASHER #2	9
8	***	4		0.0	**	*		0	**	*	0.0	4	***	7
6	***	4		0.0	**	*	0		20	3	0.0	4	IRONING BOARD #2	5
4	S.W.FIMAS #3	4		0.0	20	2		0	**	*	0.0	4	***	3
2	***	4		0.0	**	*		0	**	*	0.0	4	***	1
						0.0	0.0	0.0	VA					
						0.0	0.0	0.0	AMPS		0 TOTAL VA			



STAMP:



Professional Engineering (Electrical)
Matthew Newell Bradley
12278
Date 8/15/2022
WYOMING

ELEVATED LIVING
800 W Broadway
Jackson WY 83001

E501

Schedules

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PANEL: B		PROJECT: 22-250 800 W. BROADWAY (REVISED)													
VOLTAGE: 208 / 120 V		3 PH	4 WIRE	AMPERE RATING: 150A			WITH 150A	MLO	MOUNTING: SURFACE						
BASIS OF DESIGN PANEL TYPE		LOAD CENTER		NEMA ENCLOSURE TYPE 1			PANEL AIC RATING: 10000 AIC								
CKT NOTES:		5. NEW CIRCUIT BREAKER		REMARKS:											
1. GFCI FOR PERSONNEL PROTECTION (5mA)															
2. GFCP FOR EQUIPMENT PROTECTION (30mA)															
3. AFCI COMBINATION STYLE BREAKER															
4. EXISTING BREAKER															
CKT	DESCRIPTION	CKT NOTE	LOAD VA	LOAD AMPS	AMPS/ POLES	A	B	C	AMPS/ POLES	LOAD AMPS	LOAD VA	CKT NOTE	DESCRIPTION	CKT	
30	SPARE		4	0.0	20	2	4		20	1	0.0		4	SPARE	29
28	***		4	0.0	**	*		4	20	1	0.0		4	SPARE	27
26	SPARE		4	0.0	20	1		2254	30	2	21.6	2250	4	WATER HEATER	25
24	SPARE		4	0.0	20	1	2254		**	*	21.6	2250	4	***	23
22	SPARE		4	0.0	20	2		4004	50	2	38.5	4000	5	8 KW DUCT HEATER FOR ERU-1	21
20	***		4	0.0	***	*		4004	**	*	38.5	4000	5	***	19
18	REC - ROOF			0.0	20	1	0		30	2	0.0		4	SPARE	17
16	REC - LOFT S WALL		720	6.0	20	1		720	**	*	0.0		4	***	15
14	SPARE		4	0.0	20	2		4	20	2	0.0		4	SPARE	13
12	***		4	0.0	**	*	4		**	*	0.0		4	***	11
10	REC - LOFT FLOOR DESKS		5	0.0	20	1		5	20	2	0.0		4	SPARE	9
8	REC - LOFT FLOOR DESKS		5	0.0	20	1			**	*	0.0		4	***	7
6	REC - LOFT FLOOR DESKS		5	0.0	20	1	5		20	3	0.0		4	SPARE	5
4	REC - LOFT WEST WALL		5	0.0	20	1		5	**	*	0.0		4	***	3
2	REC - LOFT WEST WALL		5	0.0	20	1		5	**	*	0.0		4	***	1
						2267.0	4738.0	6272.0	VA						
						18.9	39.5	52.3	AMPS		13277 TOTAL VA				

[illegible]

ENERGY CODE COMMISSIONING COMPLIANCE NOTES

SECTION 408 SYSTEM COMMISSIONING

IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL BELOW NOTED DOCUMENTS WITHIN 90 DAYS OF CERTIFICATE OF OCCUPANCY:

- A. AS-BUILT DRAWINGS - DRAWINGS SHALL INCLUDE THE LOCATION AND PERFORMANCE DATA OF ALL PIECES OF MECHANICAL EQUIPMENT.
- B. OPERATING AND MAINTENANCE MANUALS - MANUALS SHALL INCLUDE THE FOLLOWING:
- SUBMITTAL DATA ON ALL PIECES OF EQUIPMENT REQUIRING MAINTENANCE.
 - MANUFACTURER'S OPERATIONS AND MAINTENANCE DATA ON ALL PIECES OF EQUIPMENT. ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
 - NAME AND ADDRESS AND PHONE NUMBER OF AT LEAST ONE (1) SERVICE PROVIDED.
 - LIGHTING CONTROL SYSTEMS MAINTENANCE AND CALIBRATION INFORMATION INCLUDING WIRING DIAGRAMS, EQUIPMENT AND SYSTEM SCHEMATICS, AND CONTROL SEQUENCES OF OPERATIONS. DESIRED OR FIELD DETERMINED SETPOINTS SHALL BE PERMANENTLY RECORDED ON CONTROL DRAWINGS AT ALL CONTROL DEVICES, OR FOR DIGITAL CONTROL SYSTEMS, IN THE SYSTEM PROGRAMMING INSTRUCTIONS.
 - A NARRATIVE ON HOW EACH LIGHTING SYSTEM IN INTENDED TO OPERATE, INCLUDING RECOMMENDED SETPOINTS.

C. LIGHTING SYSTEM FUNCTIONAL TESTING REQUIREMENTS

FUNCTIONAL TESTING - ALL AUTOMATIC LIGHTING CONTROL SYSTEM SHALL BE FULLY TESTED TO ENSURE THE CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED, AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.

WHERE OCCUPANT SENSORS, TIME SWITCHES, PROGRAMMABLE CONTROLS, PHOTOSENSORS OR DAYLIGHTING CONTROLS ARE INSTALLED, THE FOLLOWING PROCEDURES SHALL BE PERFORMED:

- CONFIRM THAT THE PLACEMENT, SENSITIVITY AND TIME-OUT ADJUSTMENTS FOR OCCUPANT SENSORS YIELD ACCEPTABLE PERFORMANCE.
- CONFIRM THAT THE TIME SWITCHES AND PROGRAMMABLE SCHEDULE CONTROLS ARE PROGRAMMED TO TURN THE LIGHTS OFF.
- CONFIRM THAT THE PLACEMENT AND SENSITIVITY ADJUSTMENTS FOR PHOTOSENSOR CONTROLS REDUCE ELECTRIC LIGHT BASED ON THE AMOUNT OF USABLE DAYLIGHT IN THE SPACE AS SPECIFIED.

D. FINAL LIGHTING SYSTEM FUNCTIONAL REPORT - A REPORT OF TEST PROCEDURES AND RESULTS IDENTIFIED AS THE "FINAL LIGHTING CONTROL REPORT" SHALL BE DELIVERED TO THE BUILDING OWNER. THE REPORT SHALL INCLUDE THE FOLLOWING:

- LIST OF FUNCTIONAL TESTS USED DURING THE COMMISSIONING PROCESS ON EACH PIECE OF EQUIPMENT.
- RESULTS OF ALL FUNCTIONAL TESTS ON ALL PIECES OF EQUIPMENT.
- LIST OF DEFICIENCIES FOUND AND CORRESPONDING CORRECTIVE MEASURES EITHER IMPLEMENTED OR PROPOSED ON EACH PIECE OF EQUIPMENT.
- LIST OF EQUIPMENT NOT ABLE TO BE FUNCTIONALLY TESTED DUE TO CURRENT CLIMATE CONDITIONS. THESE PIECES OF EQUIPMENT WILL FUNCTIONALLY TESTED ONCE CLIMATE CHANGES ALLOW.

COMcheck Software Version 4.1.5.5
Interior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: Elevated Living
Project Type: New Construction

Construction Site: 800 W Broadway
Jackson, WY 83001
Owner/Agent:
Designer/Contractor: Jeremy Bradley
Musgrove Engineering
645 W 25th St
Idaho Falls, ID 83402
208-522-2852

Additional Efficiency Package(s)

Credits: 1.0 Required 1.0 Proposed
Reduced Lighting Power, 1.0 credit

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B X C)
1-Display/Sales (Retail Sales Area)	2823	1.10	3105
		Total Allowed Watts =	3105

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
1-Display/Sales (Retail Sales Area)				
Track lighting 1: A 8 ft. Track Lights: Wattage based on current limiting device capacity	0	0	1768	1768
Track lighting 2: A 4 ft. Track Lights: Wattage based on current limiting device capacity	0	0	676	676
LED 1: B: Pendant: LED Panel 60W:	1	1	60	60
LED 2: C: Vanity Scones: LED MR 10W:	1	2	10	20
LED 3: D: LED Linear 6W:	1	3	8	24
		Total Proposed Watts =	2548	

Interior Lighting PASSES: Design 18% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

MATTHEW BRADLEY, P.E. 8/16/2022
Name - Title Signature Date

Project Title: Elevated Living Report date: 08/04/22
Data filename: P:\Files\2022\22250\CALCS\ELEC\22250 Electrical_Compliance.cck Page 1 of 8

COMcheck Software Version 4.1.5.5
Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: Elevated Living
Project Type: New Construction
Exterior Lighting Zone: 2 (Neighborhood business district (LZ2))

Construction Site: 800 W Broadway
Jackson, WY 83001
Owner/Agent:
Designer/Contractor: Jeremy Bradley
Musgrove Engineering
645 W 25th St
Idaho Falls, ID 83402
208-522-2852

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
Front Door (Walkway < 10 feet wide)	1 ft of	0.5	Yes	0
Pedestrian and vehicular entrances and exits	1 ft of door	14	Yes	14
		Total Tradable Watts (a) =		14
		Total Allowed Watts =		14
		Total Allowed Supplemental Watts (b) =		400

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.

(b) A supplemental allowance equal to 400 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Front Door (Walkway < 10 feet wide 1 ft of walkway length): Tradable Wattage				
LED 1: LED A Lamp 11W:	1	1	11	11
Pedestrian and vehicular entrances and exits (1 ft of door width): Tradable Wattage				
LED 2: LED A Lamp 11W:	1	1	11	11
		Total Tradable Proposed Watts =	22	

Exterior Lighting PASSES: Design 95% better than code

Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

MATTHEW BRADLEY, P.E. 8/16/2022
Name - Title Signature Date

Project Title: Elevated Living Report date: 08/04/22
Data filename: P:\Files\2022\22250\CALCS\ELEC\22250 Electrical_Compliance.cck Page 2 of 8

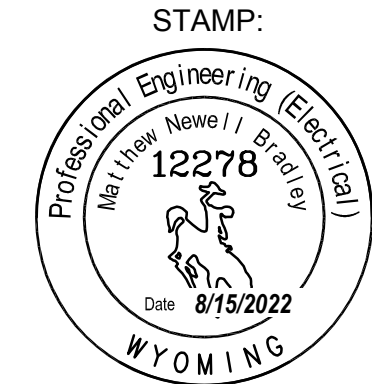


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PERMIT SET

ELEVATED LIVING
800 W Broadway
Jackson WY 83001

DATE: 8/15/22
PROJECT #: JH2205
DRAWN: JB/MNB

ISSUE:

E502
COM CHECK