



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

### Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Housing Department

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: June 6, 2022	<b>REQUESTS:</b>  The applicant is submitting a request for a Development Plan for a 15-unit housing complex for the property located at 80 E. Karns, legally known as LOTS 1 & 2, BLK. 6, MEADOWLAND PIDNs: 22-41-16-34-2-38-001  For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.
Item #: P22-144	
Planner: Katelyn Page  Phone: 733-0440 ext. 1302  Email: <a href="mailto:kpage@jacksonwy.gov">kpage@jacksonwy.gov</a>	
<b>Owner:</b> Teton County Hospital District PO Box 428 Jackson, WY 83001  <b>Applicant:</b> Aaron Cleveland, Dynia Architects PO Box 4356 Jackson, WY 83001	
<b>Please respond by: June 20, 2022 (Sufficiency) June 27, 2022 (with Comments)</b>	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[alangley@jacksonwy.gov](mailto:alangley@jacksonwy.gov)



## **Development Plan Application**

### **80 E Karns Ave St. John's Medical Center Employee Housing**



#### **Contact List:**

##### **Owner**

Teton County Hospital District  
St. John's Medical Center  
PO Box 428  
Jackson, WY 83001  
307.739.4996

##### **Architect**

Dynia Architects  
PO Box 4356  
Jackson, WY 83001  
307.733.3766

##### **Civil Engineer**

Summit Consulting Group  
PO Box 6482  
Jackson, WY 83002  
307.413.4399

##### **Landscape Architect**

Cairn Landscape Architects  
PO Box 8281  
Jackson, WY 83002  
307.264.0939

##### **Mechanical Engineer**

JTEC, Inc.  
PO Box 4594  
Jackson, WY 83001  
307.699.1110

##### **Contractor**

Shaw Construction  
460 South Cache  
Jackson, WY 83001  
307.733.8401





**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

**For Office Use Only**

Fees Paid \_\_\_\_\_ Date & Time Received \_\_\_\_\_  
Application #s \_\_\_\_\_

**Please note:** Applications received after 3 PM will be processed the next business day.

**PROJECT.**

Name/Description: \_\_\_\_\_  
Physical Address: \_\_\_\_\_  
Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

**PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner \_\_\_\_\_ Applicant/Agent

**TYPE OF APPLICATION.** Please check all that apply; review the type of application at [www.townofjackson/200/Planning](http://www.townofjackson/200/Planning)

**Use Permit**

\_\_\_\_\_ Basic Use  
\_\_\_\_\_ Conditional Use  
\_\_\_\_\_ Special Use

**Relief from the LDRs**

\_\_\_\_\_ Administrative Adjustment  
\_\_\_\_\_ Variance  
\_\_\_\_\_ Beneficial Use Determination  
\_\_\_\_\_ Appeal of an Admin. Decision

**Physical Development**

\_\_\_\_\_ Sketch Plan  
\_\_\_\_\_ Development Plan  
\_\_\_\_\_ Design Review

**Subdivision/Development Option**

\_\_\_\_\_ Subdivision Plat  
\_\_\_\_\_ Boundary Adjustment (replat)  
\_\_\_\_\_ Boundary Adjustment (no plat)  
\_\_\_\_\_ Development Option Plan

**Interpretations**

\_\_\_\_\_ Formal Interpretation  
\_\_\_\_\_ Zoning Compliance Verification

**Amendments to the LDRs**

\_\_\_\_\_ LDR Text Amendment  
\_\_\_\_\_ Map Amendment

**Miscellaneous**

\_\_\_\_\_ Other: \_\_\_\_\_  
\_\_\_\_\_ Environmental Analysis



**PRE-SUBMITTAL STEPS.** To see if pre-submittal steps apply to you, go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: \_\_\_\_\_ Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for submittal requirements.

Have you attached the following?

\_\_\_\_\_ **Application Fee.** Fees are cumulative. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for the fees.

\_\_\_\_\_ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

\_\_\_\_\_ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) under the relevant application type.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

*Aaron Cleveland*

\_\_\_\_\_  
Signature of Property Owner or Authorized Applicant/Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name Printed

\_\_\_\_\_  
Title





Town of Jackson  
 150 E Pearl Avenue  
 PO Box 1687, Jackson, WY 83001  
 P: (307)733-3932 F: (307)739-0919  
 www.jacksonwy.gov

Date: April 15, 2022

# **LETTER OF AUTHORIZATION** **NAMING APPLICANT AS OWNER'S AGENT**

**PRINT** full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual : John Kren, CFO, COO - St. John's Medical Center

Being duly sworn, deposes and says that St. John's Medical Center is the owner in fee of the premises located at:  
Name of property owner as listed on deed

Address of Premises: 80 E. Karns Avenue

Legal Description: Lots 1& 2, Blk 6, Meadowland - PN 22-41-16-34-2-38-001

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Dynia Architects - Aaron Cleveland, aia

Mailing address of Applicant/agent: PO Box 4356, Jackson, WY 83002

Email address of Applicant/agent: info@dynia.com, aaron@dynia.com

Phone Number of Applicant/agent: 307-733-3766

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☒ Development/Subdivision Plat Permit Application    ☒ Building Permit Application  
☐ Public Right of Way Permit    ☒ Grading and Erosion Control Permit    ☐ Business License Application  
☐ Demolition Permit    ☐ Other (describe) \_\_\_\_\_

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

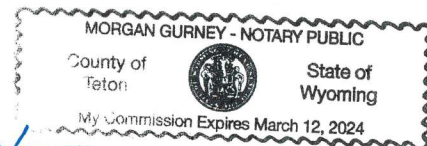
CFO/COO  
 Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Wyoming )  
 ) SS.  
 COUNTY OF Teton )

The foregoing instrument was acknowledged before me by John Kren this 15<sup>th</sup> day of April, 2022. WITNESS my hand and official seal.

Morgan Gurney  
 Notary Public

My commission expires: 3/12/2024





## **Project Overview**

### **Background & Context**

The proposed project is a 15-unit, residential complex located at 80 E Karns Ave, which is the corner of E Karns Ave and S King Street, Lot 1 & 2. The site is currently owned by Teton County Hospital District (DBA St. John's Medical Center). There are no buildings or structures currently on the site. Prior to the site being empty, a single-family home and mobile home occupied Lot 1 & 2. The empty lot is 100 feet by 150 feet and is relatively flat with alley access. The gross site area is 15,000 square feet and is zoned as NH-1 (Neighborhood High Density).

### **Proposed Project**

The proposed building is 3 stories with an overall building height of 35'-0". The project includes a basement level that consists of additional storage space for tenant use. There will be 20 parking spaces available on the lot including one ADA accessible space and ten "tuck under" parking spaces. This provides one space for every studio unit and 1.5 spaces for every two-bedroom unit, meeting the town's parking requirements. The project consists of two different unit types, (5) studios (~465 sf) and (10) two bedrooms (~1,015 sf). Each unit includes large sliding glass doors and access to private outdoor space through either a balcony or ground floor patio.

The exterior landscape softens the building's relationship with the adjacent streets through the deliberate placement of trees and greenery. The scale of the project is articulated through the façade. Alternating units slightly project from the facade, differentiating them from the overall form to convey a series of smaller rowhouses as opposed to a single monolithic scheme. The building features exterior materials that are contextual to urban Jackson. The upper massing is clad in charcoal corrugated metal and silver aluminum accents meant to reflect the sky. These materials sit over a base of vertical cedar siding. This vertical cedar helps relate to the landscaping and incorporate natural materials into the pedestrian experience.

Access to the site is via an alley off S. King St. That alley spans from S. King St. to S. Cache St and provides access from the south end of the site. The proposed project includes adding sidewalks to the site that help connect it to the urban context of the area. This also includes adding driveway crossings to driveways and alleys.

### **Findings for Approval**

- 1. Is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.***

This project falls within the Comprehensive Plan District 3: Town Residential Core – 3.2 Core Residential which is a transitional subarea. Per the Comprehensive Plan, "redevelopment, revitalization and reinvestment are highly desired in this subarea...the future character of this subarea will include some increased density and larger buildings..." The 80 E Karns Ave proposed project brings a reinvestment in the area via new development and incorporates increased density through the development of 15 residential units on a site that previously only had a single-family home and mobile home. Additionally, per the Comprehensive Plan, "the dominant building mass



should be located near the street...parking should be minimized and screened from view as much as possible." This proposed development fronts King St. and creates a pedestrian street wall that currently does not exist. This helps to strengthen the urban corridor of this subarea. Parking is located on the opposite side of the building and is partially located under the cantilevered building mass. This minimizes the appearance of the parking from the street, and any exposed parking is then screened with trees and plantings. Through these design moves our project **complies** with the desired future character described in the Jackson/Teton County Comprehensive Plan.

**2. *Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable.***

The proposed project falls outside of the Natural Resource Overlay and Scenic Resource Overlay making these standards and objectives **not applicable** to this project.

**3. *Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMS facilities.***

This project brings much needed workforce housing to the town for St. John's Medical Center. The water and wastewater systems have been designed to not overburden Town of Jackson utilities. Flow calculations can be found in this package. This project brings a modest number of units that will not overstress parks, schools, police, fire, and EMS facilities. In fact, the project brings staff to the town to help support the EMS facilities. Through these means the project **complies** with this approval point.

**4. *Complies with the Town of Jackson Design Guidelines, if applicable.***

This project received formal approval from the Design Review Committee (DRC) and the design package in this Development Plan incorporates the recommendation of "privacy screening for the ground level units along King Street." The project **complies** with the Town Design Guidelines as supported by the DRC.

**5. *Complies with all relevant standards of these LDRs and other Town Ordinances.***

This project **complies** with all applicable Land Development Regulations. The project conforms to all the required building setbacks in NH-1 (Neighborhood High Density 1), as well as meeting the required overall building height (35'-0") and landscape surface ratio. Our landscape plan and site plan included in this package graphically illustrate the project's conformance to these LDR requirements.

**6. *Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.***

The project **complies** and is in substantial conformance with all standards or conditions of prior permits and approvals. Care has been taken to incorporate the DRC's recommendation that was included in their approval.



DEVELOPMENT DIMENSIONAL LIMITATIONS			
Requirements	Required	Proposed	Compliance
<b>Building Setbacks (Sec. 9.4.8)(9.4.10.B)</b>			
Primary Street (min)	20'-0"	20'-0"	Complies
Secondary Street (min)	10'-0"	11'-1"	Complies
Side Interior (min)	10'-0"	13'-1"	Complies
Rear (min)	0'-0"	13'-0"	Complies
<b>Landscaping (Div. 5.5)</b>			
Landscape surface ratio (min)	.21(3,150sqft) & 70% in front 1/3 of lot (2,205 sqft)	.28(4,305 sqft) & 2,255 sqft in front 1/3	Complies
Plant units (min)	1/1,000 sf of landscape area + 1/12 parking spaces	174 plant units (meets and exceeds min.)	Complies
<b>Driveway Setbacks</b>			
Primary Street (min)	20'-0"	21'-9"	Complies
Secondary Steet (min)	10'-0"	37'-6"	Complies
Side Interior (min)	1'-0"	2'-5"	Complies
Rear (min)	5'-0"	N/A	N/A
Rear alley (min)	0'-0"	0'-0"	Complies
<b>Primary Building Height (Sec. 9.4.9)</b>			
Height (max): roof pitch < 3/12	3 stories, not to exceed 35'	35'-0"	Complies
<b>Scale of Development (Sec. 9.4.13)</b>			
Floor area ratio (FAR max)	.40	.37(restricted)+ .49(unrestricted)	Complies via workforce housing bonus (Sec. 7.8.4)
<b>Parking (Div. 6.2)</b>			
Parking (1/DU 0-1 bedrooms(500 sf max); otherwise 1.5/DU)	20 spaces	20 spaces	Complies



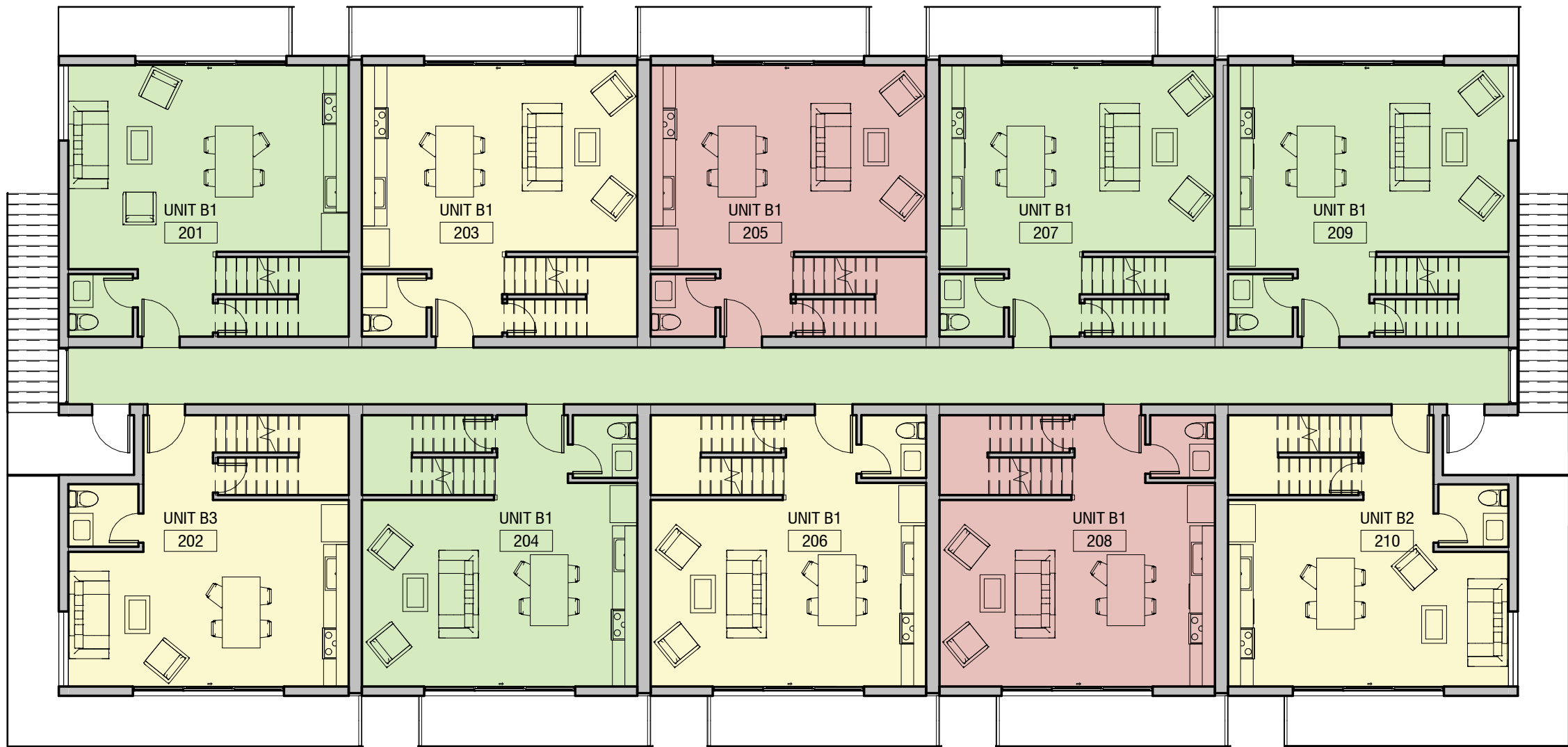
UNIT MATRIX		
UNIT	COUNT	PERCENTAGE
1 BEDROOM	4	27
2 BEDROOM	8	53
WORKFORCE RESTRICTED	3	20
	15	

FINAL FAR BREAKDOWN	
GREEN = BASE FAR 6,000 SF ALLOWED	
(2) 1-BEDROOM UNITS (934 SF)	
(4) 2-BEDROOM UNITS (4,064 SF)	
CIRCULATION - 2ND FLOOR CORRIDOR (625 SF)	
TOTAL BASE FLOOR AREA = 5,623 SF PROVIDED	
TOTAL BONUS FAR PROVIDED = 7,468 SF	
YELLOW = 2:1 WORKFORCE MARKET	
(2) 1-BEDROOM UNITS (934 SF)	
(4) 2-BEDROOM UNITS (4,033 SF)	
TOTAL FLOOR AREA = 4,967 SF	
RED = 2:1 WORKFORCE RESTRICTED	
(1) 1-BEDROOM UNIT (465 SF)	
(2) 2-BEDROOM UNITS (2,036 SF)	
TOTAL FLOOR AREA: 2,501 SF	
TOTAL FAR PROVIDED = 13,091 SF	



③ Level 03  
3/32" = 1'-0"

FAR - LEVEL 2 + 3						
FAR	LEVEL	AREA TYPE	NAME	AREA	MULTIPLIER	TOTAL AREA
BASE						
BASE	LEVEL 2+3	2 BEDROOM	UNIT B1	1017 SF	1	1017 SF
BASE	LEVEL 2+3	2 BEDROOM	UNIT B1	1016 SF	1	1016 SF
BASE	LEVEL 2+3	2 BEDROOM	UNIT B1	1016 SF	1	1016 SF
BASE	LEVEL 2+3	2 BEDROOM	UNIT B1	1015 SF	1	1015 SF
2 BEDROOM : 4						4064 SF
BASE	LEVEL 2	CIRCULATION	CORRIDOR	625 SF	1	625 SF
CIRCULATION: 1						625 SF
BASE						4689 SF
WORKFORCE MARKET						
WORKFORCE MARKET	LEVEL 2+3	2 BEDROOM	UNIT B2	1007 SF	1	1007 SF
WORKFORCE MARKET	LEVEL 2+3	2 BEDROOM	UNIT B3	1015 SF	1	1015 SF
WORKFORCE MARKET	LEVEL 2+3	2 BEDROOM	UNIT B1	1018 SF	1	1018 SF
WORKFORCE MARKET	LEVEL 2+3	2 BEDROOM	UNIT B1	993 SF	1	993 SF
2 BEDROOM : 4						4033 SF
WORKFORCE MARKET						4033 SF
WORKFORCE RESTRICTED						
WORKFORCE RESTRICTED	LEVEL 2+3	2 BEDROOM	UNIT B1	1017 SF	1	1017 SF
WORKFORCE RESTRICTED	LEVEL 2+3	2 BEDROOM	UNIT B1	1019 SF	1	1019 SF
2 BEDROOM : 2						2036 SF
WORKFORCE RESTRICTED						2036 SF



② LEVEL 2  
3/32" = 1'-0"

FAR - LEVEL 1						
FAR	LEVEL	AREA TYPE	NAME	AREA	MULTIPLIER	TOTAL AREA
BASE						
BASE	LEVEL 1	1 BEDROOM	UNIT A	466 SF	1	466 SF
BASE	LEVEL 1	1 BEDROOM	UNIT A	468 SF	1	468 SF
1 BEDROOM: 2						934 SF
BASE						934 SF
WORKFORCE MARKET						
WORKFORCE MARKET	LEVEL 1	1 BEDROOM	UNIT A	468 SF	1	468 SF
WORKFORCE MARKET	LEVEL 1	1 BEDROOM	UNIT A	466 SF	1	466 SF
1 BEDROOM: 2						934 SF
WORKFORCE MARKET						934 SF
WORKFORCE RESTRICTED						
WORKFORCE RESTRICTED	LEVEL 1	1 BEDROOM	UNIT A	465 SF	1	465 SF
1 BEDROOM: 1						465 SF
WORKFORCE RESTRICTED						465 SF



① Level 01  
3/32" = 1'-0"

DYNIA

www.dynia.com

3501 Wazee St Ste. 212  
Denver CO, 80216

Karns Apartment Building

80 E KARNS AVE.  
JACKSON, WY 83001

Project Number: 2023  
Issue: DRC Submittal  
Date: 04/15/2022  
Drawn By: AJC  
Checked By: AJC

Revisions:  
# Rev. Date:

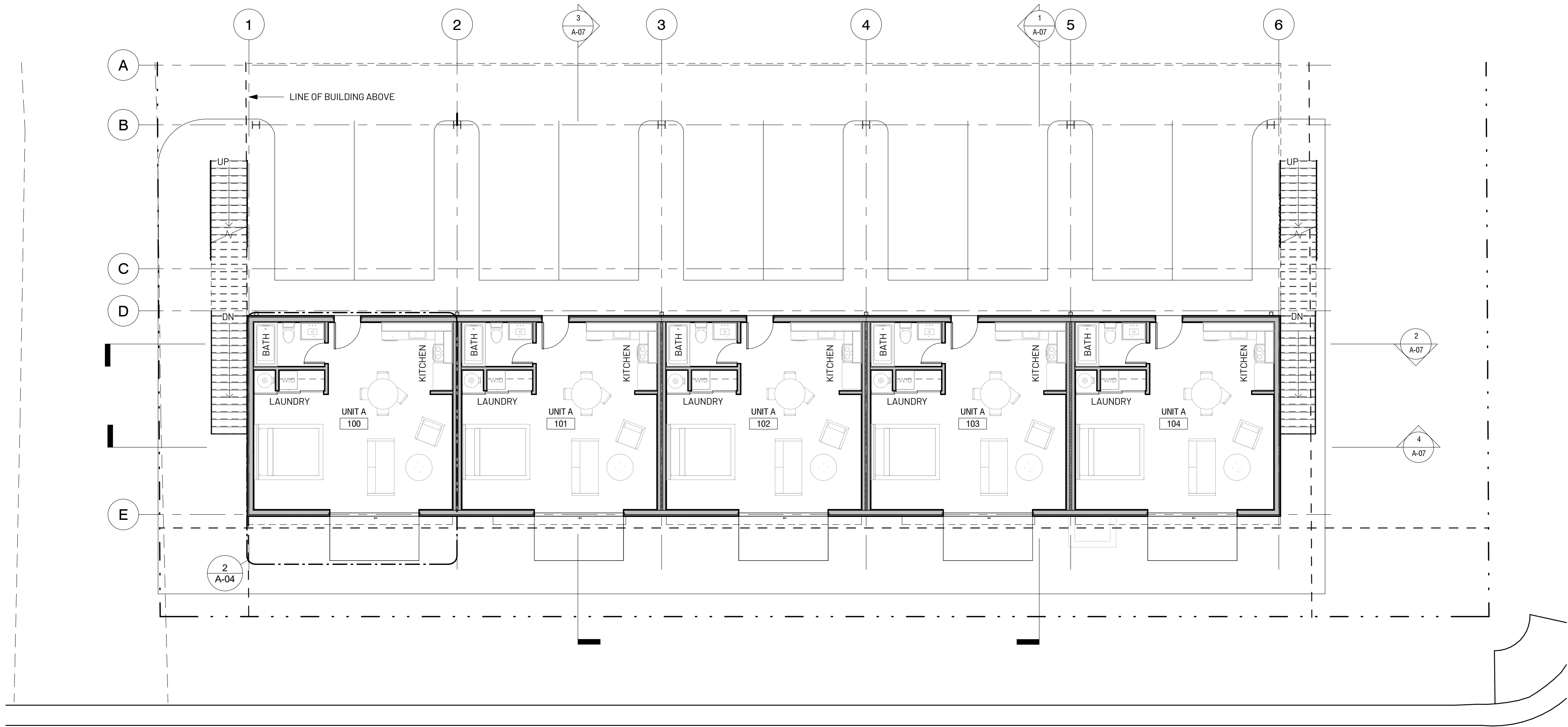
Sheet title:  
FAR BREAKDOWN

A-01

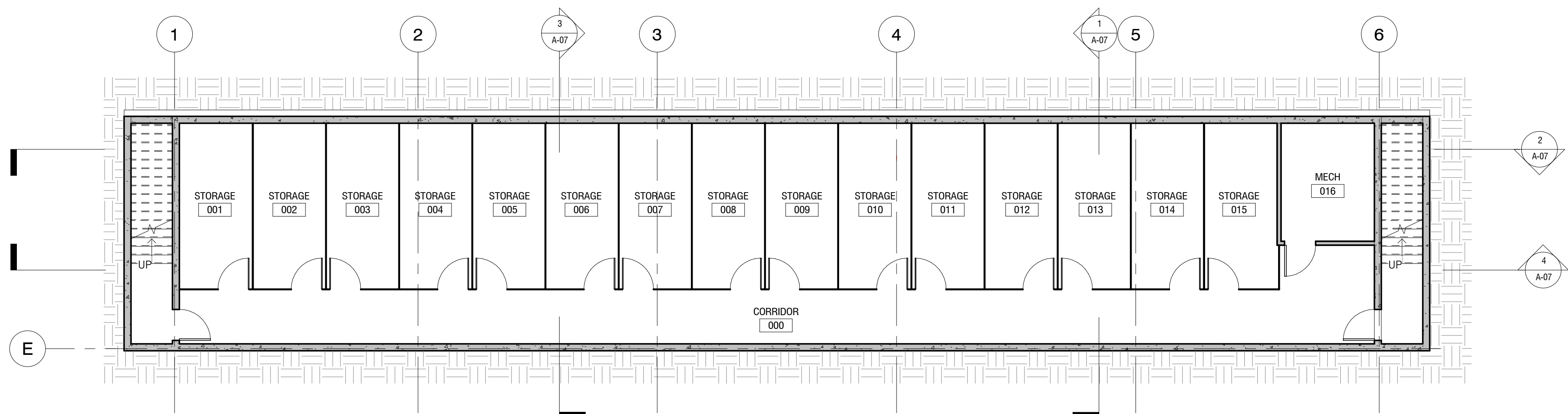
© 2022 Dynia Architects

All rights reserved. No portion of these instruments of service or the designs depicted therein may be reproduced, distributed, transmitted, displayed, or published in any form or by any means, electronic or mechanical, without prior written permission from Dynia Architects. Any unauthorized use of these materials is strictly prohibited. Without prejudice, visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



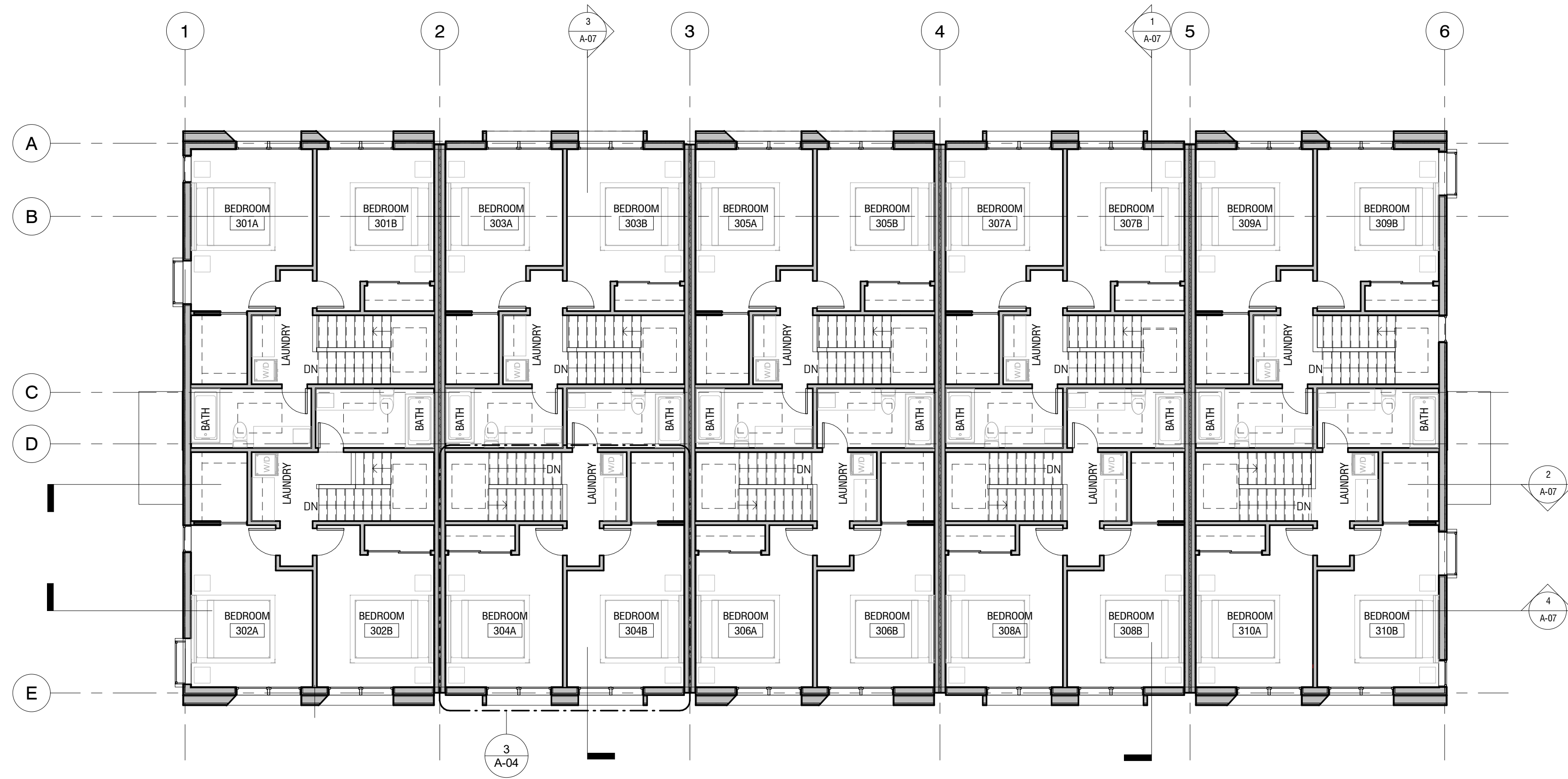


② DP Level 01  
1/8" = 1'-0"

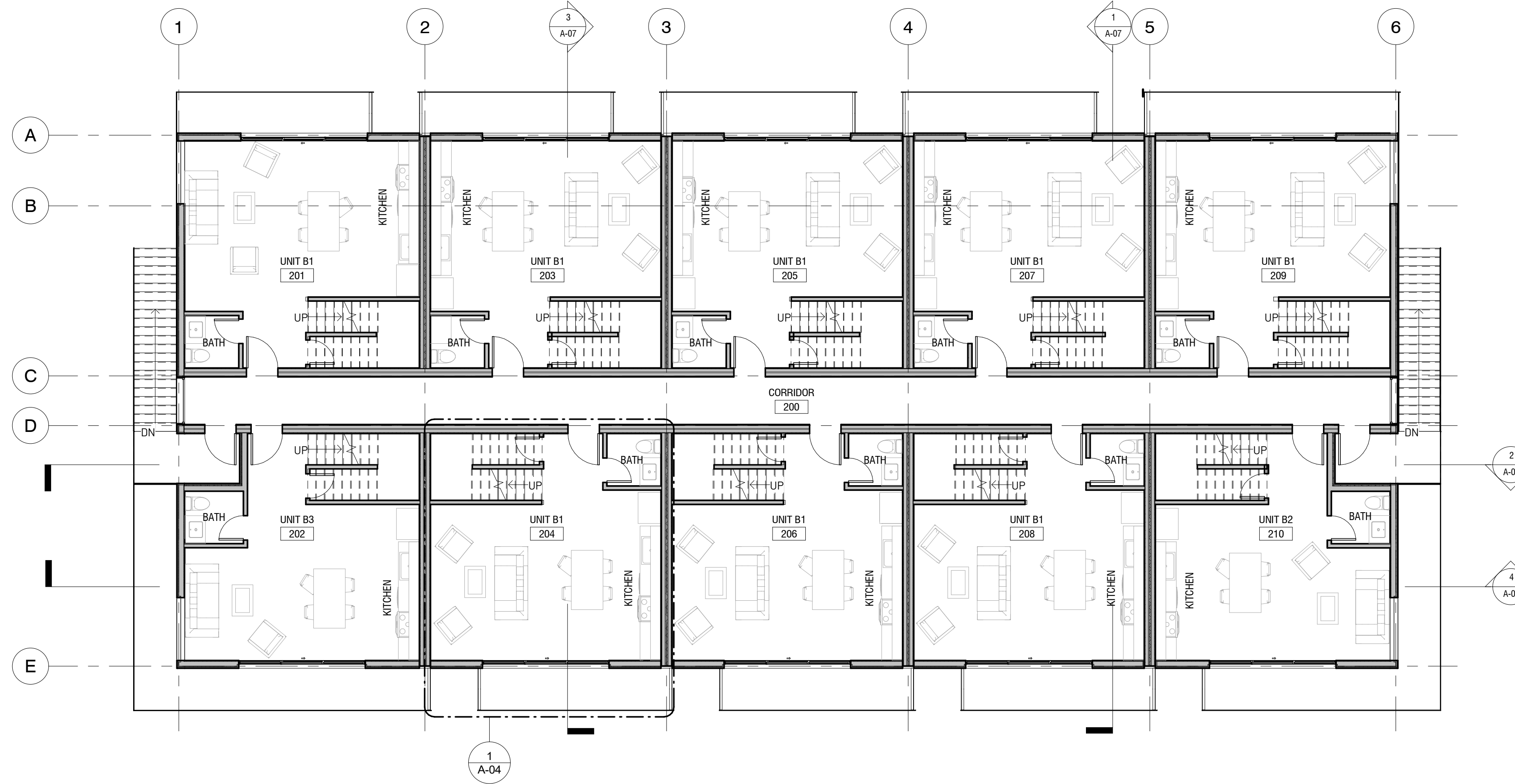


① DP BASEMENT  
1/8" = 1'-0"



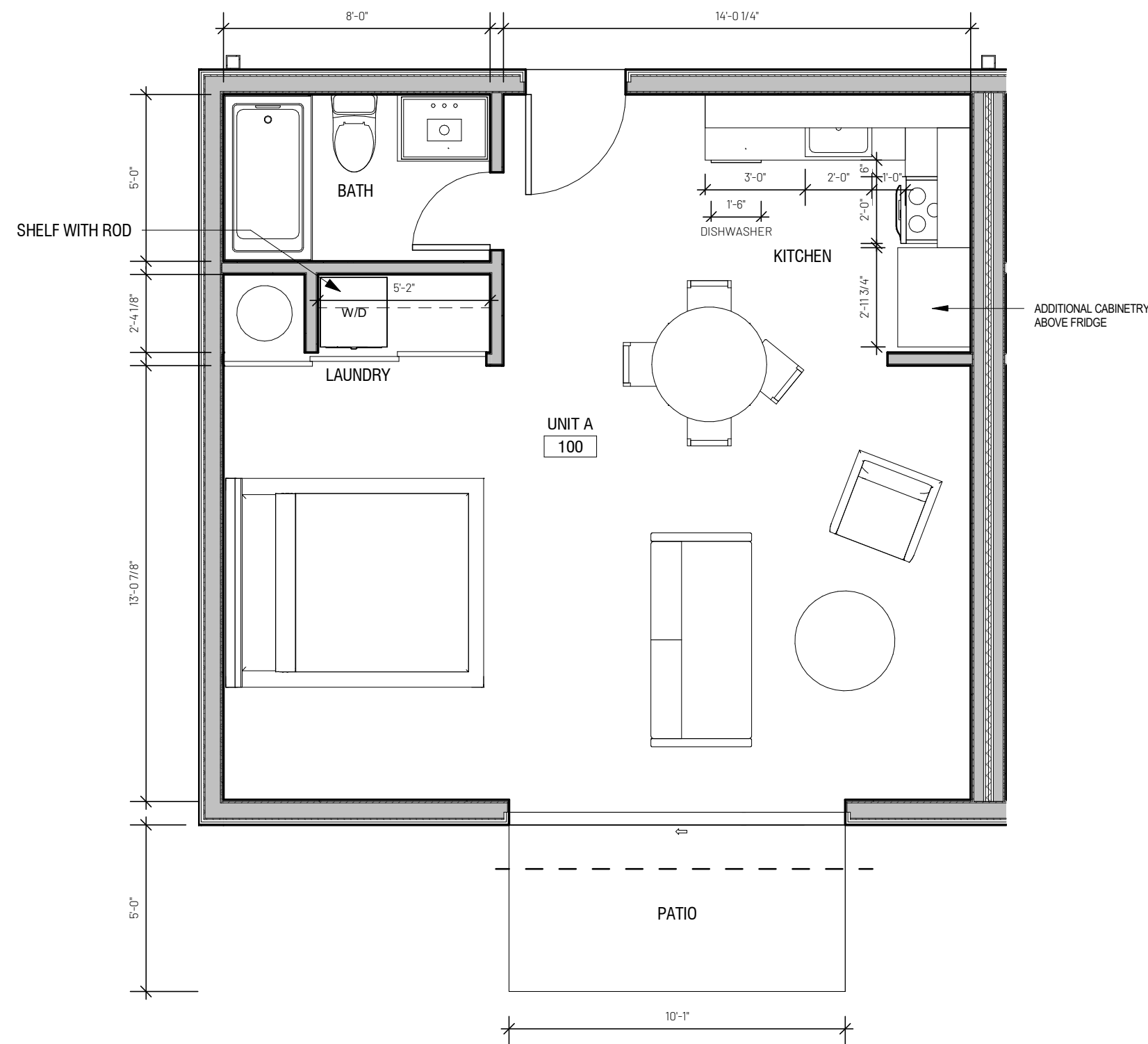


② DP Level 03  
1/8" = 1'-0"



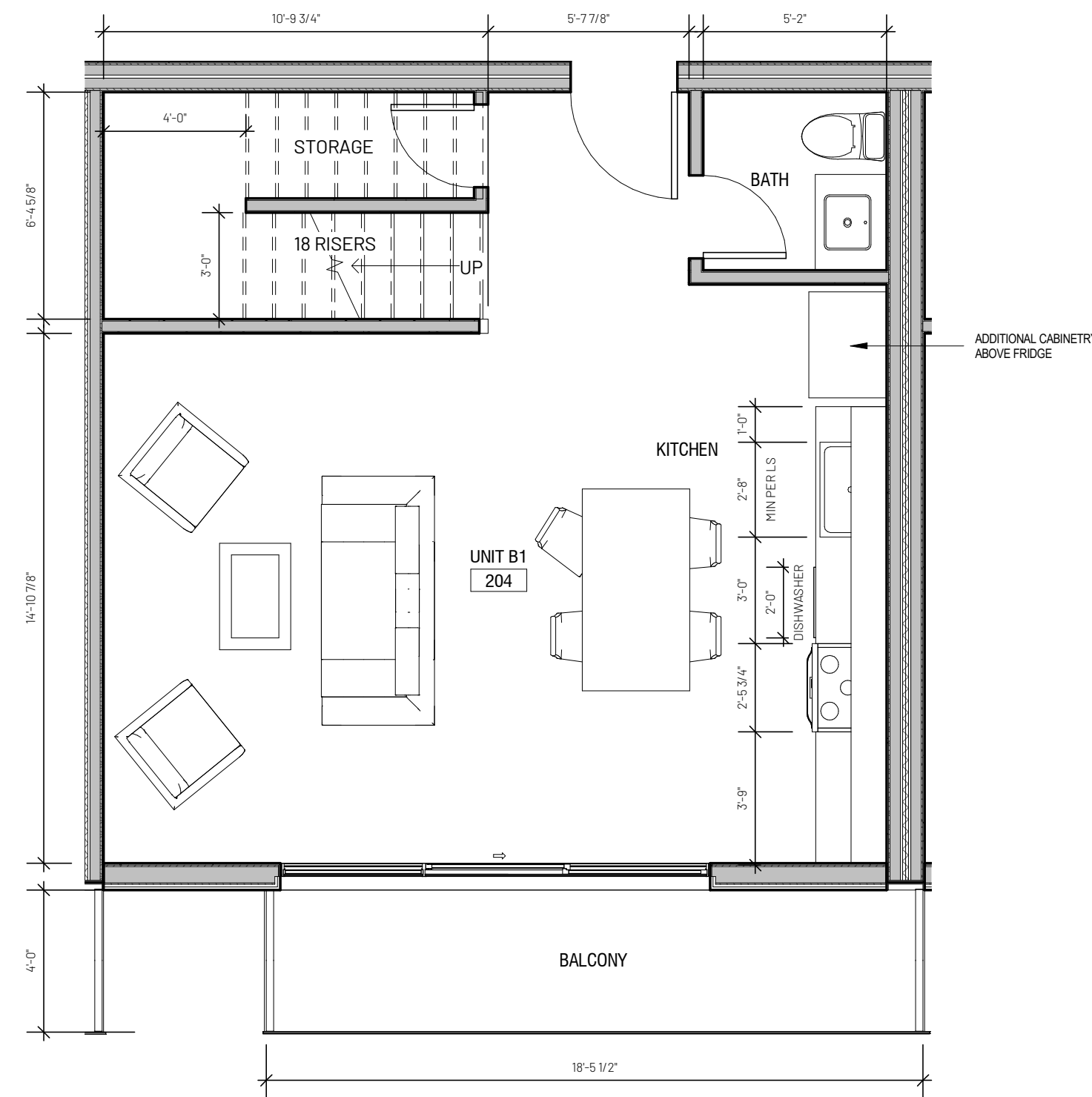
① DP Level 02  
1/8" = 1'-0"





② UNIT TYPE 'A'  
1/4" = 1'-0"

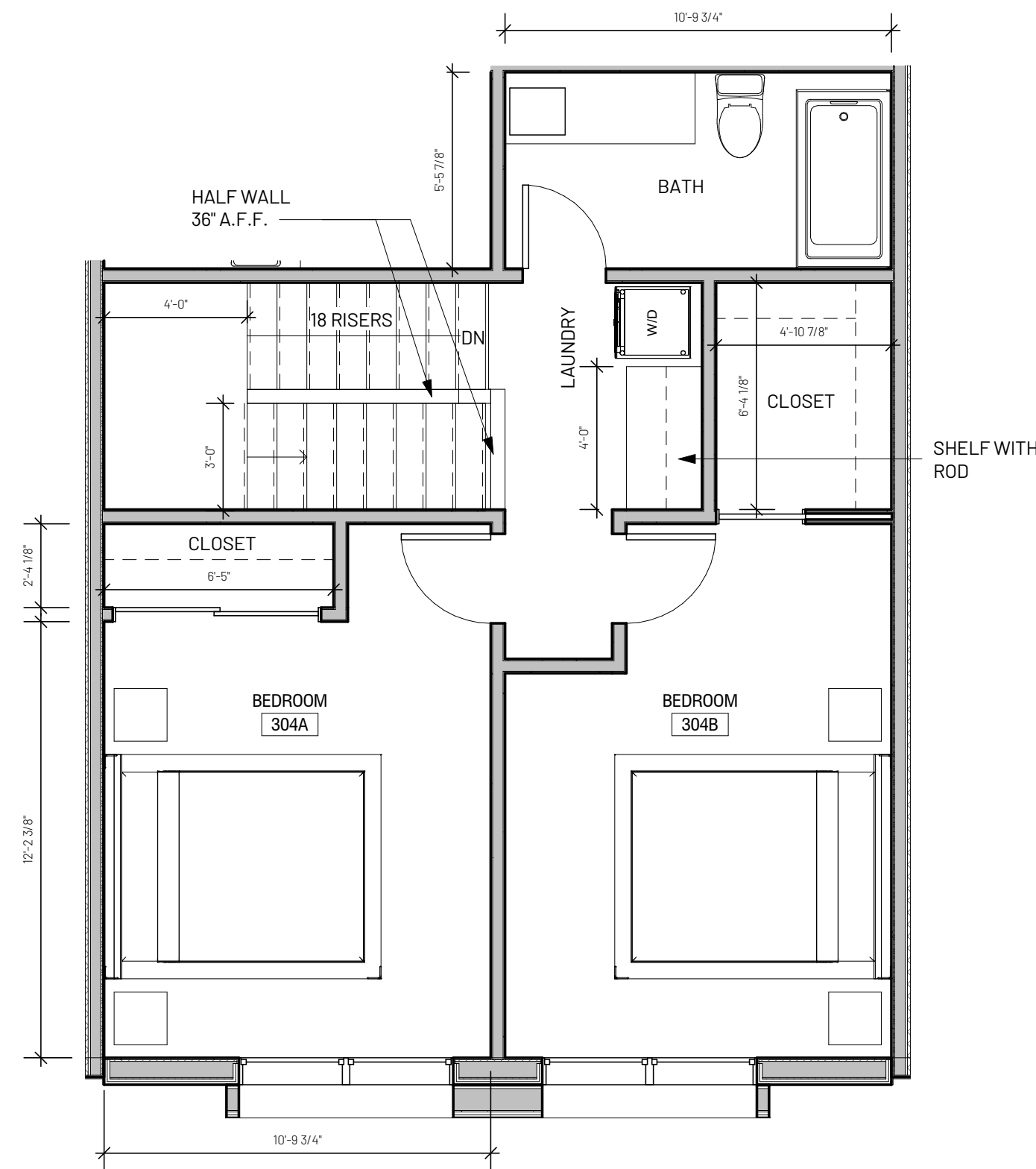
STUDIO UNIT FIRST LEVEL



① UNIT TYPE 'B2' SECOND FLOOR  
1/4" = 1'-0"

TWO BR UNIT SECOND AND THIRD LEVEL

NOTE: BALCONY SIZE CAN VARY BASED ON UNIT LOCATION IN BUILDING. REFER TO PLANS



③ UNIT TYPE 'B1' THIRD FLOOR  
1/4" = 1'-0"

DYNIA

www.dynia.com

3501 Wazee St Ste. 212  
Denver CO, 80216

Karns Apartment Building

80 E KARNs AVE.  
JACKSON, WY 83001

Project Number: 2023  
Issue: DRC Submittal  
Date: 04/15/2022  
Drawn By: SRN  
Checked By: AJC

Revisions:  
# Rev. Date:

Sheet title:

UNIT PLANS

A-04

© 2022 Dynia Architects

All rights reserved. No portion of these documents, of service or the design depicted therein may be reproduced, distributed, transmitted, displayed, or published in any form or by any means, electronic or mechanical, without prior written permission from Dynia Architects. Any unauthorized use of these materials is strictly prohibited. Without prejudice, visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



## Karns Apartment Building

80 E KARNS AVE.  
JACKSON, WY 83001

Project Number: 2023  
Issue: DRC Submittal  
Date: 04/15/2022  
Drawn By: SRN  
Checked By: AJC

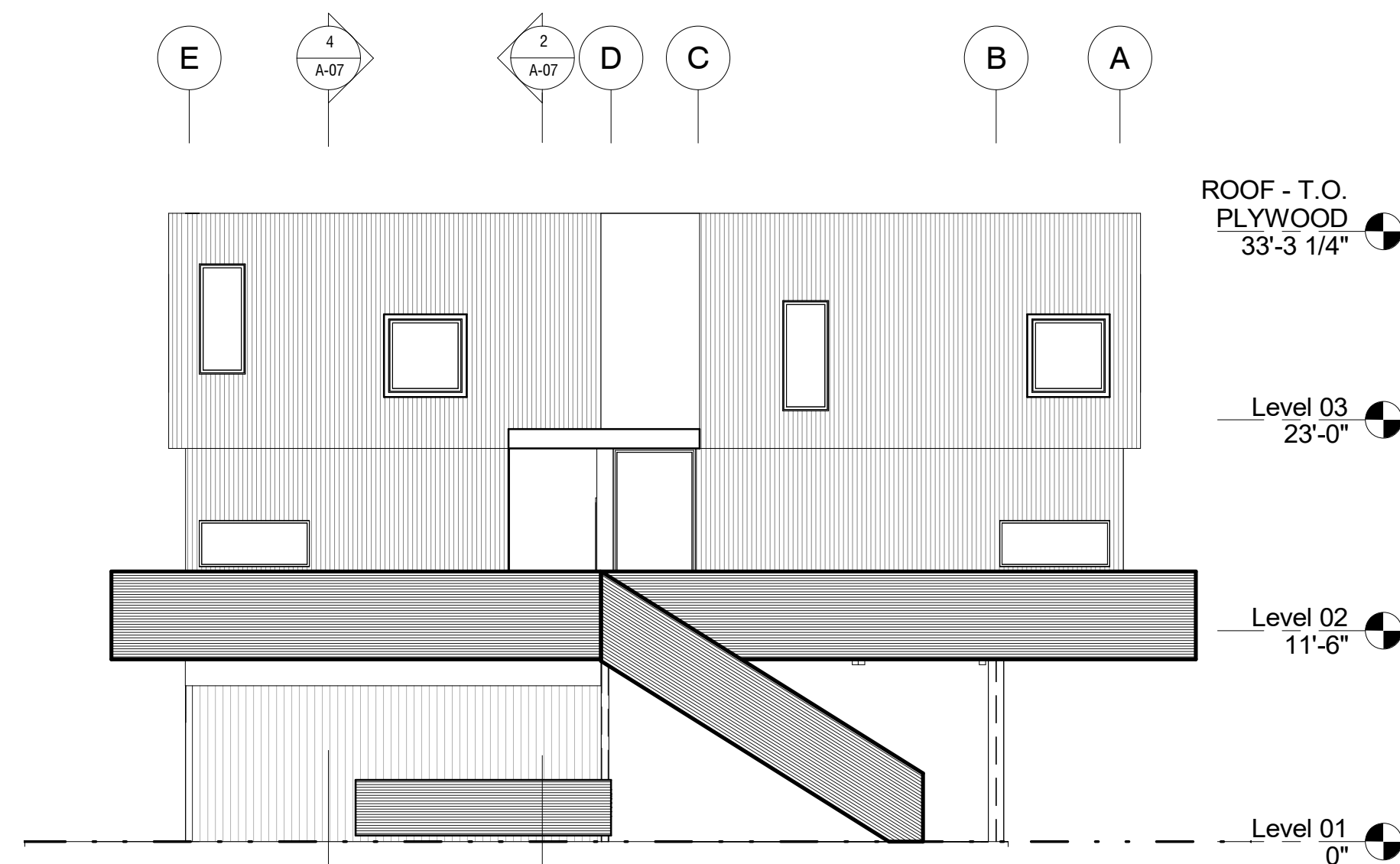
Revisions:  
# Rev. Date:

Sheet title:

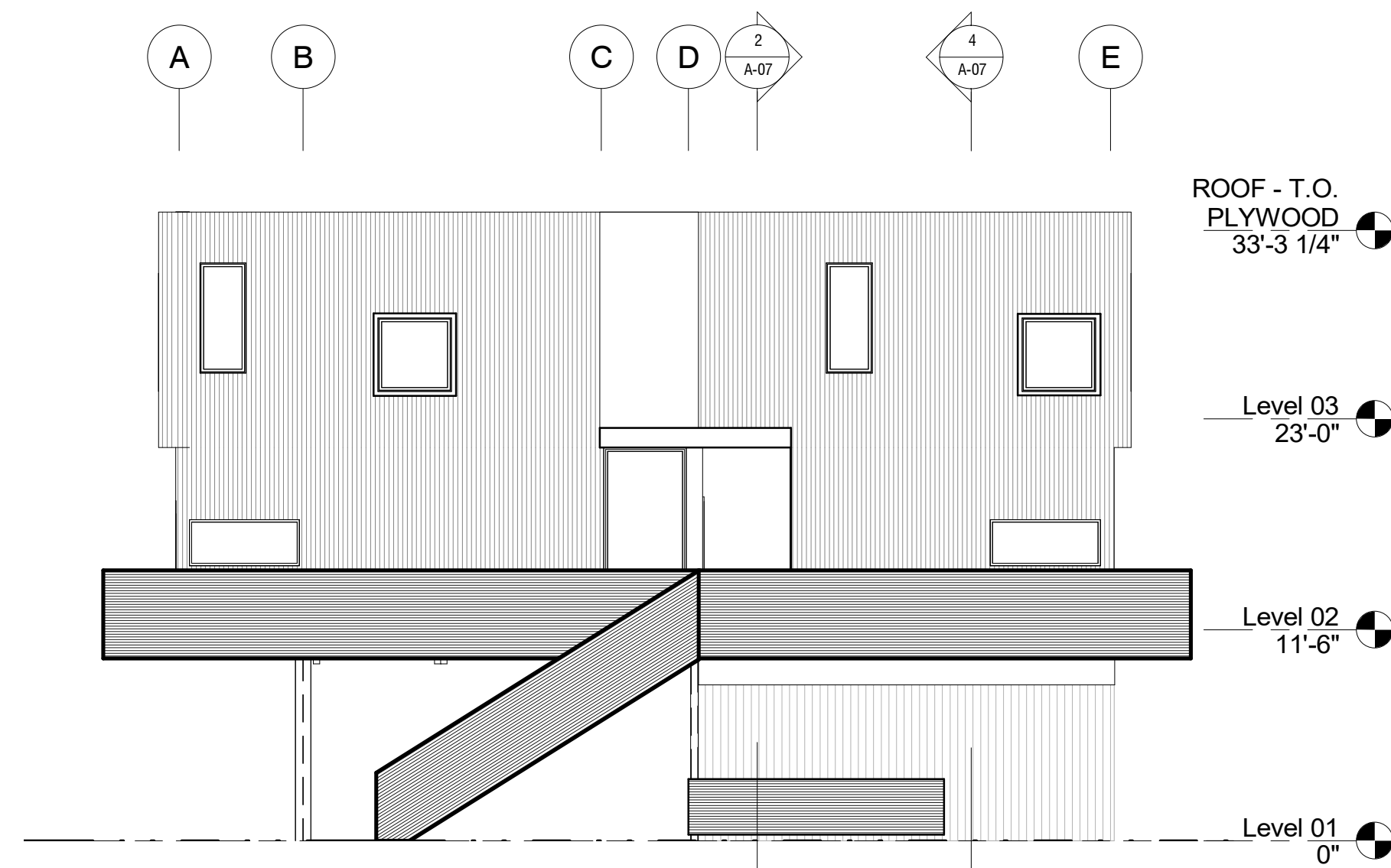
ELEVATIONS

# A-05

© 2022 Dynia Architects



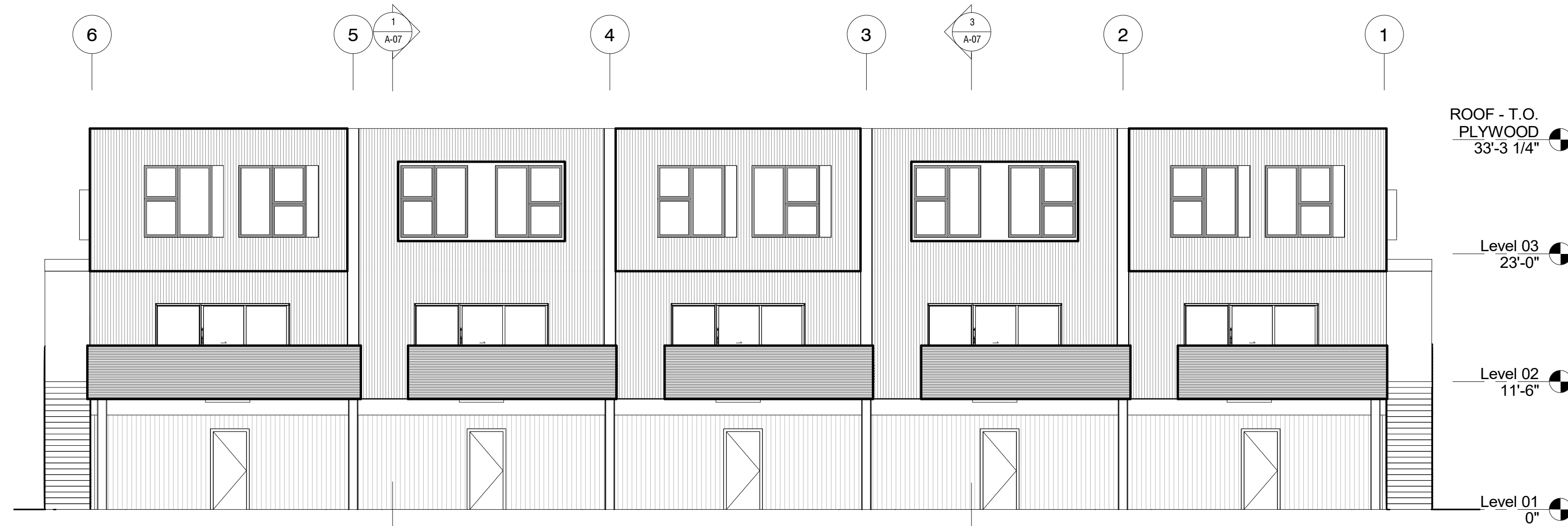
① N Elevation  
1/8" = 1'-0"



② S Elevation  
1/8" = 1'-0"

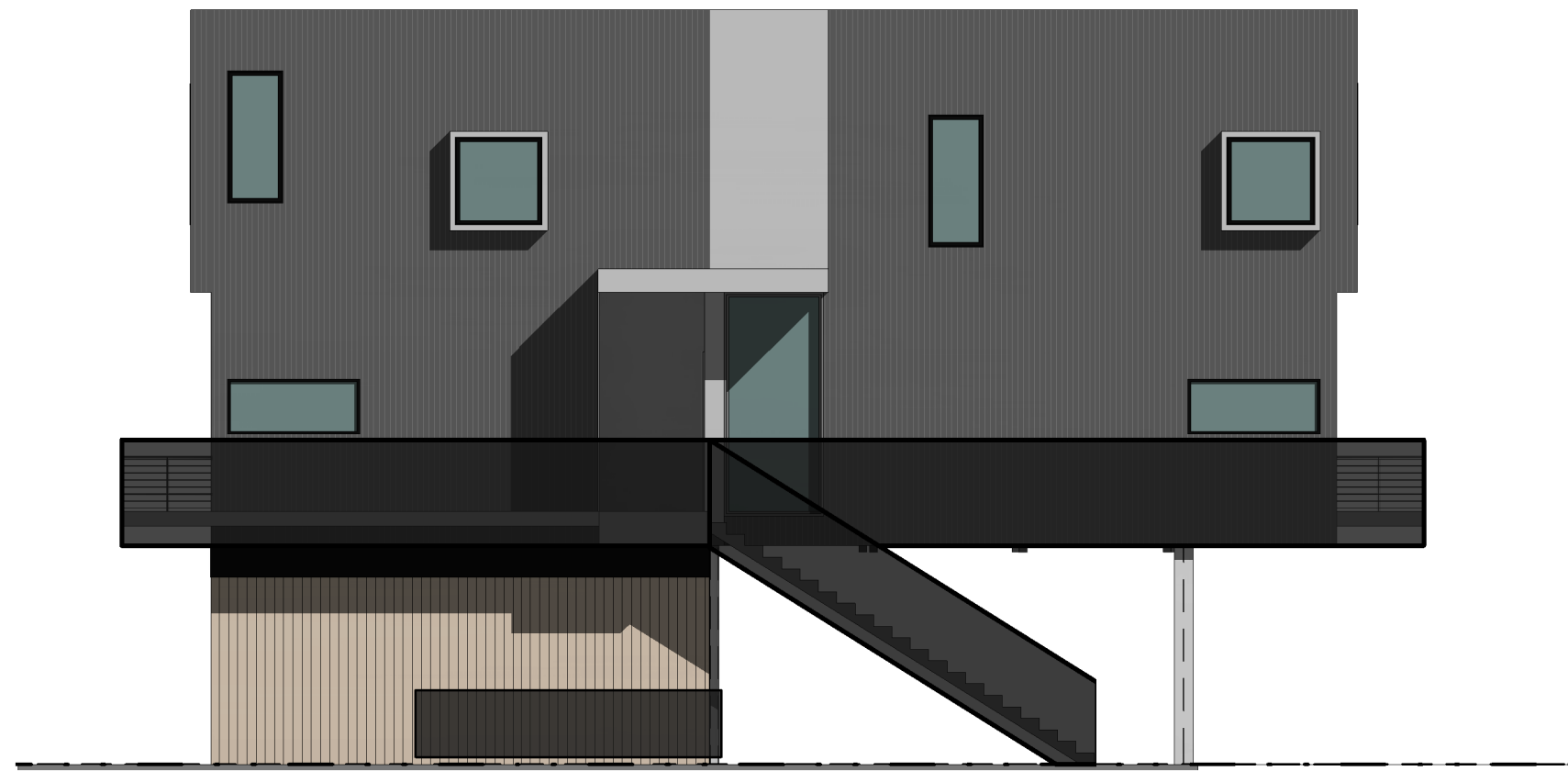


③ E Elevation  
1/8" = 1'-0"

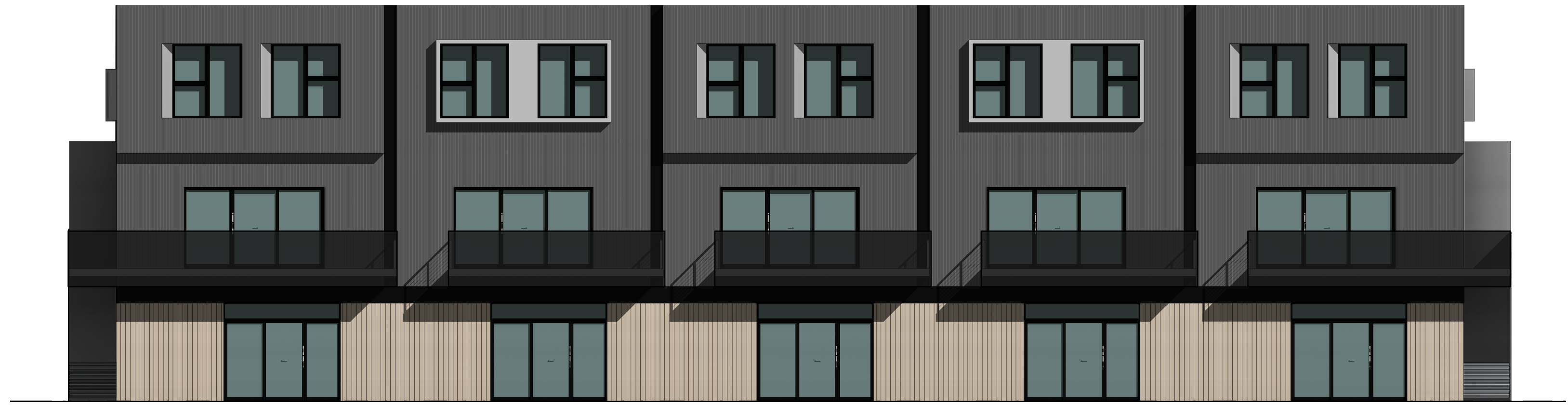


④ W Elevation  
1/8" = 1'-0"

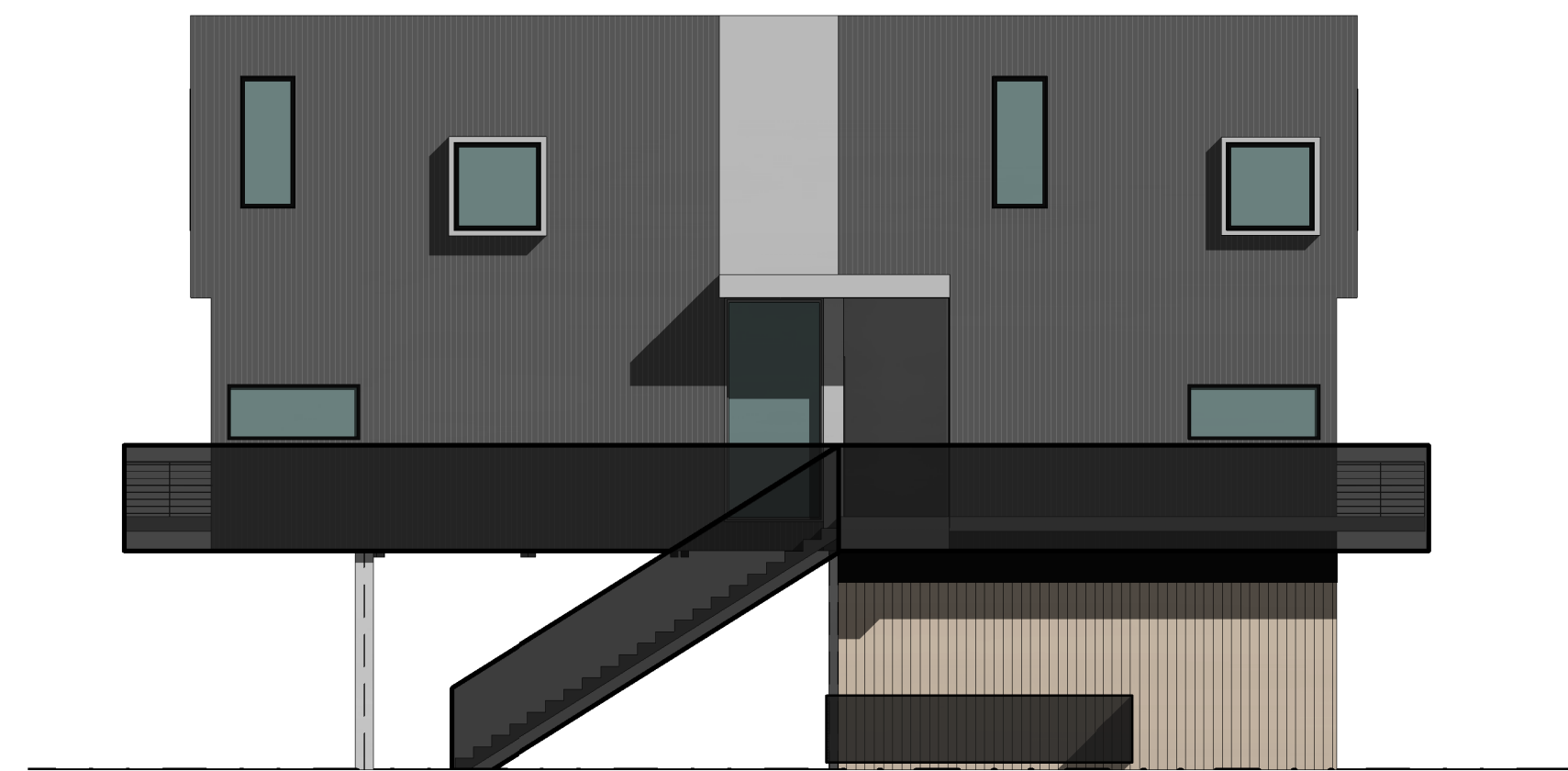




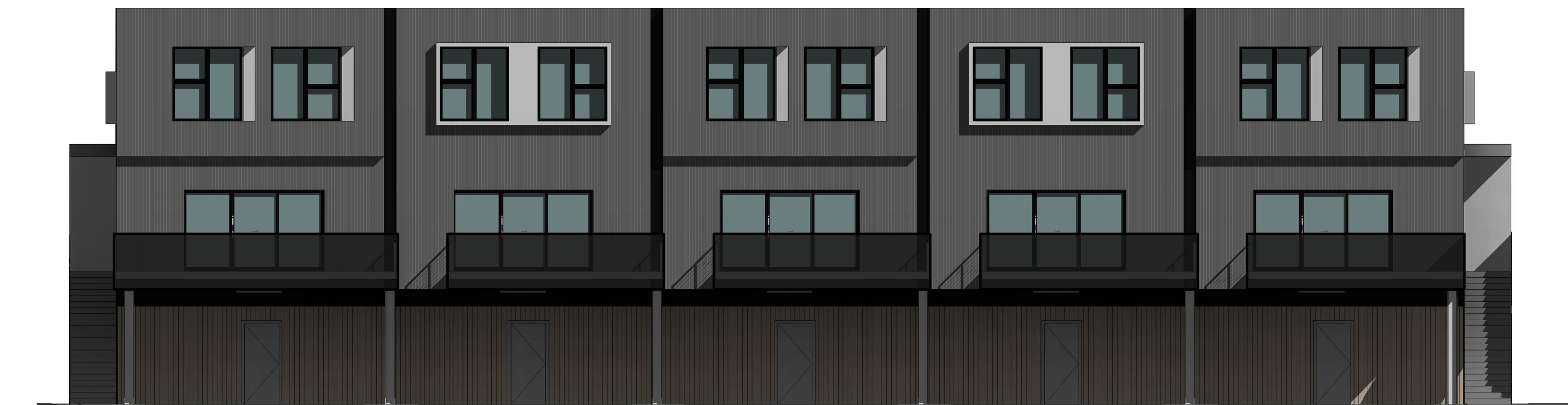
④ DP ELEVATION NORTH  
1/8" = 1'-0"



③ DP ELEVATION EAST  
1/8" = 1'-0"



② DP ELEVATION SOUTH  
1/8" = 1'-0"



① DP ELEVATION WEST  
1/8" = 1'-0"



## Karns Apartment Building

80 E KARNS AVE.  
JACKSON, WY 83001

Project Number: 2023  
Issue: DRC Submittal  
Date: 04/15/2022  
Drawn By: SRN  
Checked By: AJC

Revisions:  
# Rev. Date:

Sheet Title:

SECTIONS

# A-07

© 2022 Dynia Architects

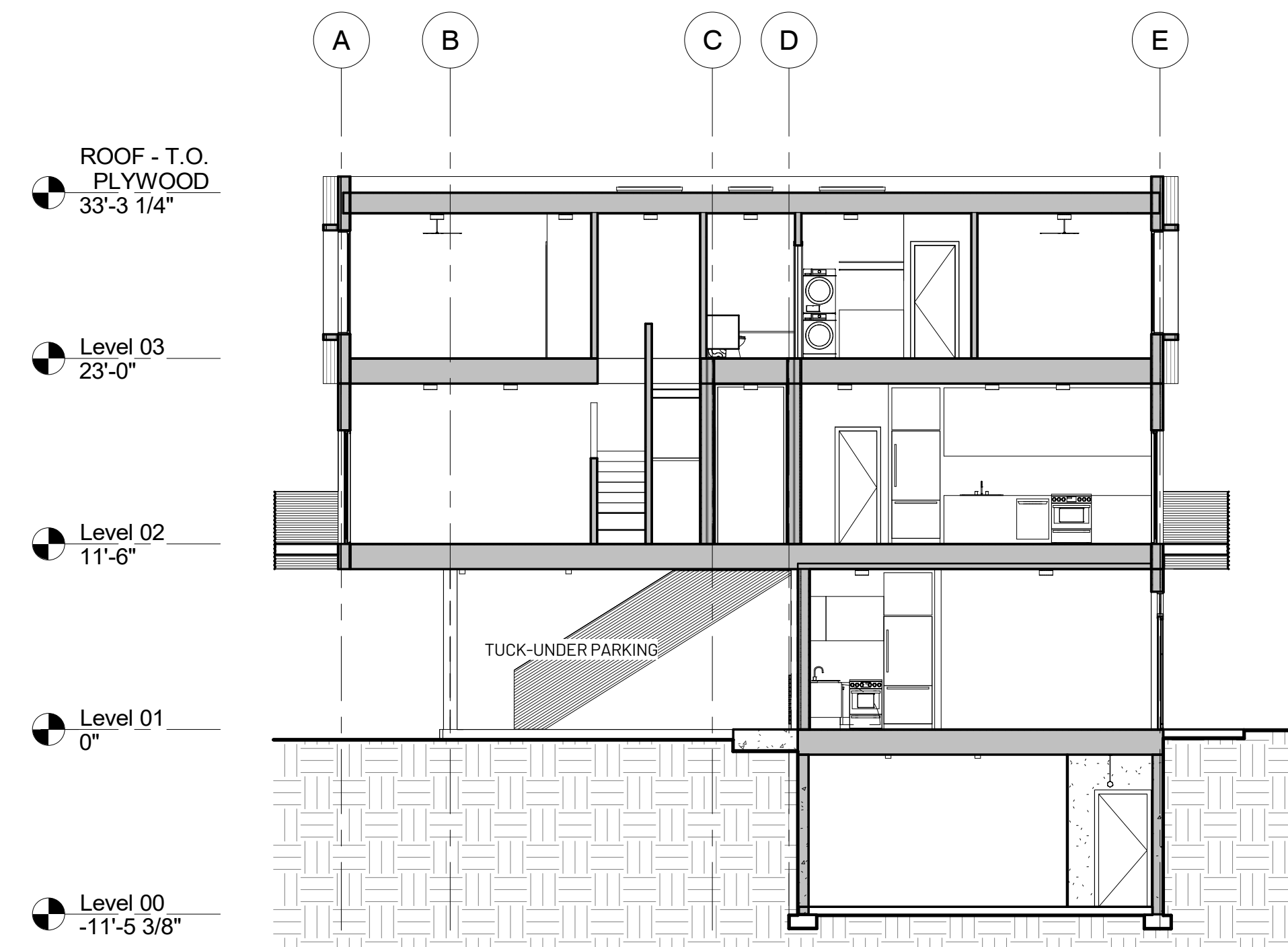
All rights reserved. No portion of these instruments of service or the designs depicted therein may be reproduced, distributed, transmitted, displayed, or published in any form or by any means, electronic or mechanical, without prior written permission from Dynia Architects. Any unauthorized use of these materials is strictly prohibited. Without prejudice, visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



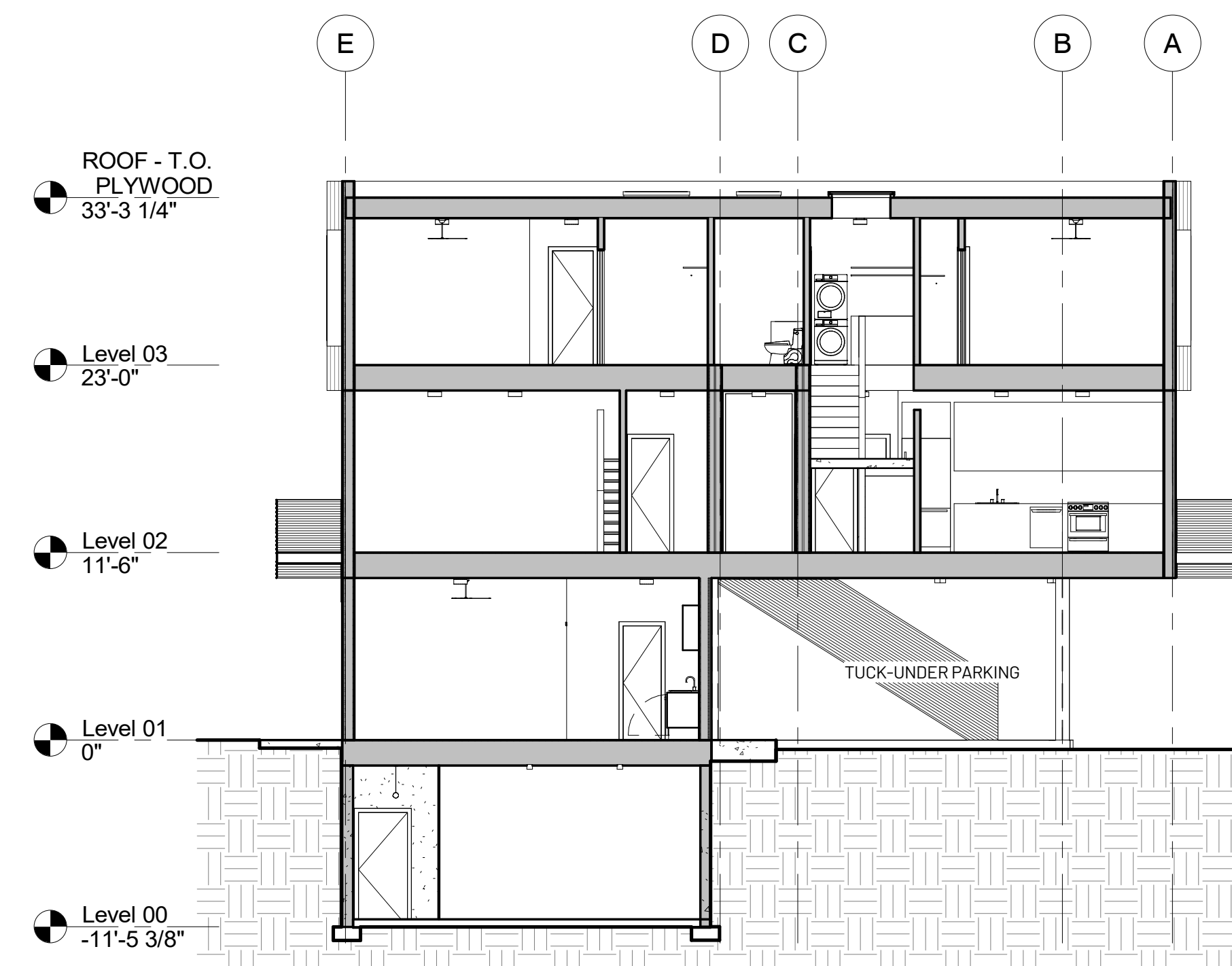
④ DP SECTION 1  
1/8" = 1'-0"



② DP SECTION 2  
1/8" = 1'-0"



③ DP SECTION 3  
1/8" = 1'-0"



① DP SECTION 4  
1/8" = 1'-0"





View from E Karns Ave (parking side)



View from E Karns Ave and S King St.





## Jackson/Teton County Affordable Housing Checklist - Housing Mitigation Plan (LDR Division 6.3.6)

Every development application must include a Housing Mitigation Plan for sufficiency. Every Housing Mitigation Plan is required to contain the following information:

### Applicability (LDR 6.3.6.A.3.a)

1. Does your development qualify for an exemption from a housing mitigation requirement? Yes ☐ No ☒  
If yes, explain and refer to the proper LDR \_\_\_\_\_  
\_\_\_\_\_
2. Are there credits associated with your development? Yes ☒ No ☐ If yes, explain where the existing credits came from, provide the calculation, and refer to the proper LDR. \_\_\_\_\_  
Existing credits came from the single family home previously on the site.  
\_\_\_\_\_  
\_\_\_\_\_

### Calculation of Requirement (LDR 6.3.6.A.3.b)

3. Does your development require or are you otherwise requesting approval of an Independent Calculation (LDR section 6.3.3.B)? Yes ☐ No ☒  
If yes, provide the calculation according to 6.3.3.B.2 along with impact analysis, verifiable local information, industry specific rather than business specific data, etc. The Planning Department is available to help with this calculation prior to submittal of your application. Attach as a separate sheet.

☐ I have attached a separate sheet with the calculation and supporting data for my Independent Calculation

**Housing Mitigation Requirements Calculator.** If no to 1 and 3 above, calculate your development's requirement, using the Housing Mitigation Requirements Calculator. The calculator can be found at this link: [www.jacksonwy.gov/200/Planning](http://www.jacksonwy.gov/200/Planning) Attach a copy of the first page of the calculator showing the calculations and requirements with your Housing Mitigation Plan. The Planning Department is available to help with this calculation prior to submittal of your application.

- ☒ I have attached a copy of the first page of the Housing Mitigation Requirements Calculator which includes my requirement and unit types.



**Type of Affordable Housing Provided – Standard Restrictions.** (LDR 6.3.4)

4. How many ownership or rental units are you proposing in which income ranges with how many bedrooms?  
Please complete the matrix below:

Bedrooms	0 – 50%	50% - 80%	80% - 120%	Workforce	Ownership or Rental
1-bedroom				3	2
2-bedroom				6	4
3-bedroom					

**Special Restriction.** The Special Restriction is a contract between The Board of County Commissioners or the Town Council and the owner of real property developed or designated to satisfy the development requirements. The Special Restrictions will be recorded on the property. Appropriate restriction templates can be obtained from the Jackson/Teton County Affordable Housing Department or at this link:  
[www.tetonwyo.org/1856/Deed-Restriction-Templates](http://www.tetonwyo.org/1856/Deed-Restriction-Templates) .

☐ I have attached a draft of the Standard Restrictions for each unit.

**Livability Standards** (LDR 6.3.4.D and E) (Rules and Regs Section 2-3). Restricted housing must comply with the Livability Standards in the Jackson/Teton County Housing Department Rules and Regulations. The Livability Standards include amount of cabinetry/counter space, storage, closets, room sizes, appliances, laundry facilities, bathrooms, etc. The Rules and Regulations can be found at this link:  
[www.tetonwyo.org/1332/Housing-Rules-and-Regulations](http://www.tetonwyo.org/1332/Housing-Rules-and-Regulations) .

☒ I have reviewed the Livability Standards and understand the requirements. I have/will contact the Housing Department for approval of my units early in the design process to get their approval prior to submitting for building permit.

**Method for Providing Required Housing** (LDR 6.3.5):

One or a combination of the below methods may be proposed to satisfy your housing requirement. They are listed in the order of preference/priority. Highest priority must be used unless it is demonstrated that a higher priority is impracticable (LDR 6.3.5.C)

1. Construction of new units either on-site or off-site (LDR 6.3.5.D.1).
2. Conveyance of land for affordable/workforce housing (LDR 6.3.5.D.2).
3. Utilization of a banked affordable or workforce housing unit (LDR 6.3.5.D.3).
4. Restriction of an existing residential units as an affordable/workforce housing unit (LDR 6.3.5.D.4).
5. Payment of an in-lieu fee (LDR 6.3.5.D.5).

☐ I have attached a detailed explanation of my proposed method of providing Required Housing.

**Phasing Plan** (LDR 6.3.5.A.3). Restricted Housing Units shall be ready for occupancy no later than the free market portion of the development is occupied. If the free market portion is to be developed in phases, then the Restricted Housing Units shall be developed prior to or in proportion to the free market portion.

☐ I have attached a detailed description of my phasing plan as it pertains to Affordable/Workforce units.



Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tennant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Detached Single-Family Unit (Unrestricted)	$0.000017 * sf + (Exp(-15.49 + 1.59 * Ln(sf))) / 2.176$		1800	1	0.044
Mobile Home	exempt				0.000

Existing Workforce Housing Credit0.044

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Apartment (Unrestricted)	$0.000017 * sf + (Exp(-14.17 + 1.59 * Ln(sf))) / 2.176$	1	468	2	0.027
Apartment (Unrestricted)	$0.000017 * sf + (Exp(-14.17 + 1.59 * Ln(sf))) / 2.176$	2	1016	4	0.147
Workforce Housing Bonus Unit	exempt			9	0.000

Affordable Workforce Housing Required:0.131 unitsFee-in-Lieu Amount:\$35,608.01

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).





## Livability Standards Questionnaire

### Housing Mitigation Plan

Development Name \_\_\_\_\_

Physical Address \_\_\_\_\_

Owner Name \_\_\_\_\_

Owner Phone \_\_\_\_\_ E-mail \_\_\_\_\_

Applicant/Agent Name \_\_\_\_\_

Applicant/Agent Phone \_\_\_\_\_ E-mail \_\_\_\_\_

Primary Contact: \_\_\_\_\_ Owner \_\_\_\_\_ Applicant/Agent

**Please complete this form for each unit type. Complete each question that applies to your application. If it doesn't apply mark N/A in the blank.**

#### Unit Type:

Number of bedrooms \_\_\_\_\_ Square Feet \_\_\_\_\_ Ownership ☐ Rental ☐

#### Kitchen

Lineal feet of base cabinets \_\_\_\_\_ Lineal Feet of upper cabinets \_\_\_\_\_

Continuous Lineal feet of countertops \_\_\_\_\_ Countertop Material \_\_\_\_\_

Sink width \_\_\_\_\_ Range/Oven width \_\_\_\_\_ Refrigerator cubic feet \_\_\_\_\_

Dishwasher width \_\_\_\_\_ Garbage Disposal? Yes ☐ No ☐

List other appliances provided \_\_\_\_\_

List Warranties on appliances (years): Range/Oven \_\_\_\_\_ Refrigerator \_\_\_\_\_ Dishwasher \_\_\_\_\_

Garbage Disposal \_\_\_\_\_ Other \_\_\_\_\_

#### Bathrooms

Number of bathrooms \_ Does at least one bathroom contain the following?

Toilet ☐ Bathtub ☐ Shower ☐ Sink ☐



Bathroom must contain a minimum of four square feet of storage. Describe how bathroom storage is being provided \_\_\_\_\_  
\_\_\_\_\_

### Closets and Storage Areas

Does each bedroom have a closet? Yes ☐ No ☐

Does each bedroom closet contain a shelf and rod? Yes ☐ No ☐

Bedroom closet width: bedroom 1 \_\_\_\_\_ bedroom 2 \_\_\_\_\_ bedroom 3 \_\_\_\_\_

Bedroom closet height: bedroom 1 \_\_\_\_\_ bedroom 2 \_\_\_\_\_ bedroom 3 \_\_\_\_\_

Does the entryway have a closet? Yes ☐ No ☐ If no, describe how adequate storage for coats, shoes/boots is being provided \_\_\_\_\_  
\_\_\_\_\_

Linen closet width: Linen closet 1 \_\_\_\_\_ Linen closet 2 \_\_\_\_\_

Additional storage square feet \_\_\_\_\_

Describe how additional storage requirement is being met \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Closet door type (doors not required on interior storage) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Are all closets a minimum of 26 inches deep? Yes ☐ No ☐

### Floor Coverings

Describe floor covering material:

Living room \_\_\_\_\_ Bedroom(s) \_\_\_\_\_

Kitchen \_\_\_\_\_ Bathroom(s) \_\_\_\_\_

Warranty for each flooring type \_\_\_\_\_  
\_\_\_\_\_

### Room Sizes and Shape

Provide Measurement from the narrowest part of the room; length x width.

Kitchen \_\_\_\_\_ Dining \_\_\_\_\_

Bedroom 1 \_\_\_\_\_ Bedroom 2 \_\_\_\_\_ Bedroom 3 \_\_\_\_\_

Functional Furniture Placement diagram attached? Yes ☐ No ☐



### Windows/Noise Mitigation

Does each living area and bedroom have a window that can be opened? Yes ☐ No ☐

For units that share walls with other residential or non-residential spaces, please describe noise mitigation being provided. \_\_\_\_\_

What is the Sound Transmission Class (STC) rating on all windows? \_\_\_\_\_

Are blinds being provided? Yes ☐ No ☐ If yes, on which windows and what type? \_\_\_\_\_

### Laundry

Are washer/dryer hookups being provided (required in ownership units)? Yes ☐ No ☐

### Heating and Hot Water

Warranty on furnace, boiler, or hot water heater (5 year minimum) \_\_\_\_\_

Size of hot water heater \_\_\_\_\_

### Other Design Features

The following features are encouraged and may be used in the place of other requirements with approval from the Housing Department:

Describe any built in storage such as drawers under beds, stairs, etc. \_\_\_\_\_

Describe creative shelving \_\_\_\_\_

Describe laundry area \_\_\_\_\_

Describe extra storage for recreational equipment \_\_\_\_\_

Describe extra cabinetry \_\_\_\_\_

Describe extra closets \_\_\_\_\_

Please attach additional pages if needed.





## Livability Standards Questionnaire

### Housing Mitigation Plan

Development Name \_\_\_\_\_

Physical Address \_\_\_\_\_

Owner Name \_\_\_\_\_

Owner Phone \_\_\_\_\_ E-mail \_\_\_\_\_

Applicant/Agent Name \_\_\_\_\_

Applicant/Agent Phone \_\_\_\_\_ E-mail \_\_\_\_\_

Primary Contact: \_\_\_\_\_ Owner \_\_\_\_\_ Applicant/Agent

**Please complete this form for each unit type. Complete each question that applies to your application. If it doesn't apply mark N/A in the blank.**

#### Unit Type:

Number of bedrooms \_\_\_\_\_ Square Feet \_\_\_\_\_ Ownership ☐ Rental ☐

#### Kitchen

Lineal feet of base cabinets \_\_\_\_\_ Lineal Feet of upper cabinets \_\_\_\_\_

Continuous Lineal feet of countertops \_\_\_\_\_ Countertop Material \_\_\_\_\_

Sink width \_\_\_\_\_ Range/Oven width \_\_\_\_\_ Refrigerator cubic feet \_\_\_\_\_

Dishwasher width \_\_\_\_\_ Garbage Disposal? Yes ☐ No ☐

List other appliances provided \_\_\_\_\_

List Warranties on appliances (years): Range/Oven \_\_\_\_\_ Refrigerator \_\_\_\_\_ Dishwasher \_\_\_\_\_

Garbage Disposal \_\_\_\_\_ Other \_\_\_\_\_

#### Bathrooms

Number of bathrooms \_\_\_\_\_ Does at least one bathroom contain the following?

Toilet ☐ Bathtub ☐ Shower ☐ Sink ☐



Bathroom must contain a minimum of four square feet of storage. Describe how bathroom storage is being provided \_\_\_\_\_

### Closets and Storage Areas

Does each bedroom have a closet? Yes ☐ No ☐

Does each bedroom closet contain a shelf and rod? Yes ☐ No ☐

Bedroom closet width: bedroom 1 \_\_\_\_\_ bedroom 2 \_\_\_\_\_ bedroom 3 \_\_\_\_\_

Bedroom closet height: bedroom 1 \_\_\_\_\_ bedroom 2 \_\_\_\_\_ bedroom 3 \_\_\_\_\_

Does the entryway have a closet? Yes ☐ No ☐ If no, describe how adequate storage for coats, shoes/boots is being provided \_\_\_\_\_

Linen closet width: Linen closet 1 \_\_\_\_\_ Linen closet 2 \_\_\_\_\_

Additional storage square feet \_\_\_\_\_

Describe how additional storage requirement is being met \_\_\_\_\_

Closet door type (doors not required on interior storage) \_\_\_\_\_

Are all closets a minimum of 26 inches deep? Yes ☐ No ☐

### Floor Coverings

Describe floor covering material:

Living room \_\_\_\_\_ Bedroom(s) \_\_\_\_\_

Kitchen \_\_\_\_\_ Bathroom(s) \_\_\_\_\_

Warranty for each flooring type \_\_\_\_\_

### Room Sizes and Shape

Provide Measurement from the narrowest part of the room; length x width.

Kitchen \_\_\_\_\_ Dining \_\_\_\_\_

Bedroom 1 \_\_\_\_\_ Bedroom 2 \_\_\_\_\_ Bedroom 3 \_\_\_\_\_

Functional Furniture Placement diagram attached? Yes ☐ No ☐



### Windows/Noise Mitigation

Does each living area and bedroom have a window that can be opened? Yes ☐ No ☐

For units that share walls with other residential or non-residential spaces, please describe noise mitigation being provided. \_\_\_\_\_

What is the Sound Transmission Class (STC) rating on all windows? \_\_\_\_\_

Are blinds being provided? Yes ☐ No ☐ If yes, on which windows and what type? \_\_\_\_\_

### Laundry

Are washer/dryer hookups being provided (required in ownership units)? Yes ☐ No ☐

### Heating and Hot Water

Warranty on furnace, boiler, or hot water heater (5 year minimum) \_\_\_\_\_

Size of hot water heater \_\_\_\_\_

### Other Design Features

The following features are encouraged and may be used in the place of other requirements with approval from the Housing Department:

Describe any built in storage such as drawers under beds, stairs, etc. \_\_\_\_\_

Describe creative shelving \_\_\_\_\_

Describe laundry area \_\_\_\_\_

Describe extra storage for recreational equipment \_\_\_\_\_

Describe extra cabinetry \_\_\_\_\_

Describe extra closets \_\_\_\_\_

Please attach additional pages if needed.



May 19, 2022

## **Construction Management Plan: 80 E. Karns, WY 83001**

### Project Scope:

The 80 E. Karns project will consist of building a three-story 13,000 square foot 15-unit apartment complex. Apartments will consist of both 1- and 2-bedroom residences, final height of building will be 35' 0". The estimated start of construction activities is October 2022 with an anticipated project duration of 15 months, and an expected completion in December of 2023. This construction management and staging plan will cover the project from mobilization to Certificate of Occupancy. All of the construction activities will be delegated to the site only apart from the domestic water tie-in at E. Karns Av., and the Sanitary Sewer tie-in at the alley. Both of these activities are expected to take a total of 3 days each.

### Public Impact:

Shaw will coordinate with Town of Jackson (TOJ) to identify the properties and businesses most impacted by the construction to create an email contact list, to provide information as the project schedule and work. This list is attached at the end of this submission and includes the TOJ Engineering Division. Shaw will work to minimize any effect on adjacent properties by maintaining proactive communication including giving a minimum 48-hour notice of any closures and after-hours work. The owner and Shaw are aware that the right-of-way (R.O.W.) is a shared public use area, including community special events, town capital improvement projects, and will coordinate with TOJ and neighbors to accommodate these events. During domestic water tie-in along E. Karns Ave., pedestrian traffic will be rerouted to opposite side of street with temporary signage at intersections and property boundaries. The inconvenience to pedestrian traffic will be minimal as these areas already lack proper sidewalks. Building lot size is anticipated to handle construction parking without encroachment onto the surrounding streets.

### Construction Parking:

Shaw shall implement a clear and self-enforcing construction parking plan that does not use/or encumber downtown on-street and/or public parking lot parking spaces. Employee or Contractor parking within the time restricted parking zones, the Home Ranch, East Deloney, Miller Park and/or the Parking Garage lots is not allowed. The lot at 80 E. Karns will be utilized for parking of Contractors and Shaw Employees. Contractor will encourage carpooling and bus riding, and when possible, provide shuttles into the project. See attached site logistics plan for subcontractor parking availability and lay-down/staging locations.



Site Logistics, General Staging Plan:

The attached site logistics plan indicates the location of the site office, construction parking and staging as well as concrete washout and restrooms. Throughout the entirety of the project, lay-down and staging as well as construction parking will be maintained on site. Enclosed containers may be utilized to store construction materials on site.

The entire site will be surrounded by temporary metal construction fence with fabric screen. The fence will be placed at the edge of the curb and gutter on Karns and King Streets and the south and west property lines of the site. Construction vehicle access will be provided on the south side from the alley with a locked gate. All vehicle gates will include vehicle tracking control pads as needed and a skid steer with sweeper attachment will be utilized to maintain clean roads. Throughout all stages, trucks arriving or leaving site will utilize the town truck route.

Construction work hours, unless by special exception, will be Monday-Friday 7AM-7PM and 8AM-5PM during weekends and holidays.

Stages of Construction:

1. *Site Prep:* This stage includes the rough lot grading, foundation, and stormwater excavation as well as any required utility trenching to bring utilities to the site or exposure of existing utilities. The stabilized construction entrance to site will be on the south side of the lot from the alley.
2. *Concrete & Vertical Construction Stage:* This stage includes the cast-in-place concrete foundation and vertical framing and construction. During this stage, a mobile crane will be utilized to place roof trusses. Picks are not allowed adjacent to areas open to public unless they are within a fenced construction area. Cranes will be operated by certified operator and follow industry and OSHA standards. Vehicle entrance will be from the south at the alley.
3. *Site Work & Finishes Stage:* This stage includes the site work (sidewalk, curb, and gutter, asphalt paving and landscaping) as well as exterior and interior finishes.

Parking, Street, and Alley Encroachments:

Due to the lot size and lay of the building, it is anticipated that site logistics for this project will not require portions of the adjacent street travel lanes, public alley, and parking spaces to be occupied by construction equipment or staging at different times during the project. During the intermittent alley encroachment Shaw will coordinate with Town officials and adjacent property owners to minimize the impact for any of these encroachment activities and will ensure all Town rules and permitting procedures are properly followed. All staging and storing of materials on site, will be located free and clear of all public utility fixtures with clear and unobstructed access to all public fire & life safety systems. All necessary permits will be obtained prior to any closures, including a traffic control plan.



**Shaw Wyoming**  
460 South Cache  
Jackson, WY 83001  
**TEL:** 303-733-8401



Stormwater Management:

All on site stormwater will be routed to the stormwater detention area/Sediment Basin (SB) as shown on the Site Logistics Plan. Stormwater inlets in the streets will be protected with Wattle Dikes (WD). BMPs such as silt fence (SF), Vehicle Tracking Control Pad (VTC), and Concrete Washout Area (CWA) will be implemented. All stormwater will be contained to the site with no runoff or outfalls. Temporary toilets will be properly bedded and staked. Gas, diesel, and oils will be stored in proper containment vessels.

Snow Removal:

Snow removal within the property will be collected and relocated to the storm water detention basin. Any snow that accumulates along property margins, will be removed after city plows have been through and the snow has accumulated enough to restrict the site access. Shaw will have the snow removed as needed in the alley as it is plowed in coordination with the TOJ plowing efforts to keep our fencing areas clear and accessible for either on street parking or access to the job site. Site barriers shall not interfere with Town snow removal.



**Shaw Wyoming**  
460 South Cache  
Jackson, WY 83001  
**TEL:** 303-733-8401



Neighborhood Contact List

Business/Property Name

Contact Name

Phone

Email

67 Snow King Ave.

60 E. Karns Ave.

65 E. Karns Ave.

75 E. Karns Ave.

110 E. Karns Ave.

Snow King Motel

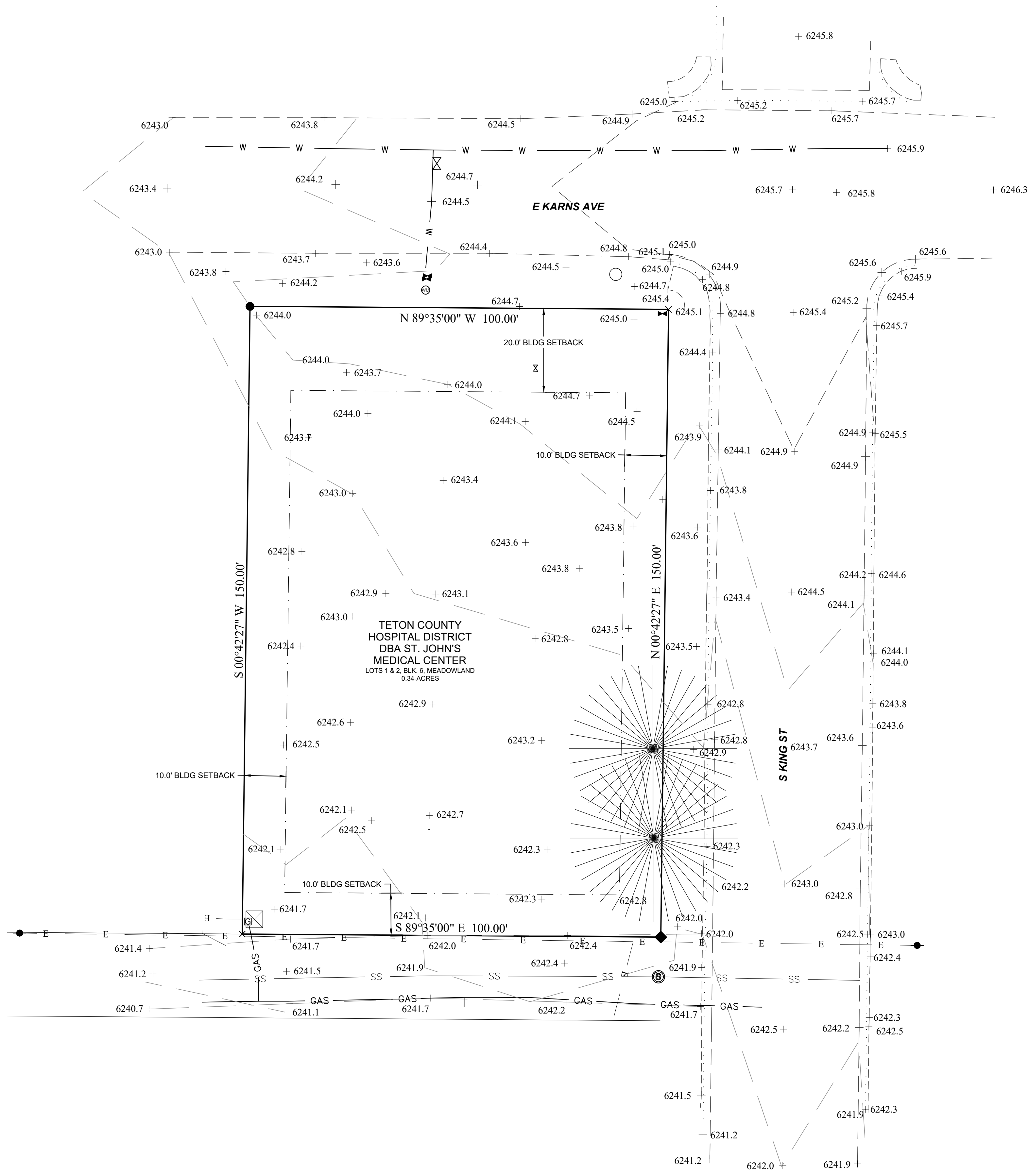
Town of Jackson

[townengineering@jacksonwy.gov](mailto:townengineering@jacksonwy.gov)









GENERAL NOTES:

- PARCELS CONTAIN 0.34 ACRES+/- AND IS IDENTIFIED PER TETON COUNTY WYOMING TAX RECORDS AS PARCEL NUMBER 22-41-16-34-2-38-001.
- SITE DATA:
  - GROSS SITE AREA = 0.34 AC
  - PRIMARY BUILDING SETBACKS:
    - STREET: 20-FT
    - SIDE INTERIOR: 10-FT
    - REAR: 10-FT
  - FLOOR AREA PER NEIGHBORHOOD HIGH DENSITY 1 (NH-1) ZONE:
    - MAX ALLOWED FLOOR AREA: REF LDR SECTION 7.8.4
  - SITE DEVELOPMENT:
    - MAX ALLOWED SITE DEVELOPMENT: 0.21 OR 3,150-SQFT OF WHICH 70% MUST OCCUR WITHIN FRONT  $\frac{1}{3}$  OF THE LOT
- REFER TO GEOTECHNICAL ENGINEERING REPORT FROM SCG, DATED 8/12/20 FOR EXISTING SUBSURFACE CONDITIONS, FOUNDATION DESIGN CRITERIA AND CONSTRUCTION RECOMMENDATIONS. TEST PIT LOCATIONS ARE SHOWN ON THIS SHEET.

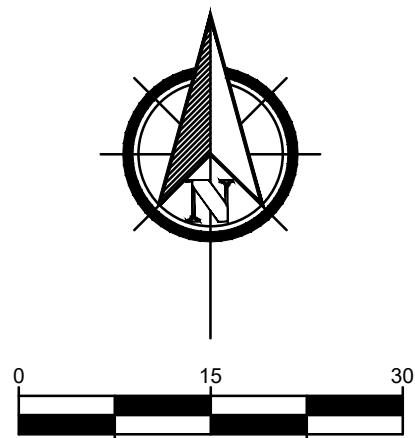
LEGEND

SOME LINE TYPES MAY NOT APPEAR ON MAP

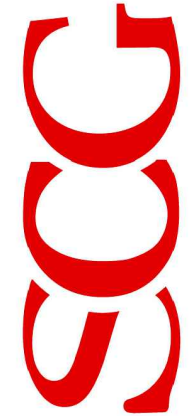
- BOUNDARY LINE
- ADJOINING BOUNDARY LINE
- E OVERHEAD POWER LINE
- PWR UNDERGROUND POWER LINE
- GAS UNDERGROUND GAS
- COMM UNDERGROUND TELECOMMUNICATIONS
- W UNDERGROUND WATER
- SS SANITARY SEWER LINE
- EDGE OF GRAVEL
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- EDGE OF WATER
- FLOW LINE
- MAJOR CONTOUR 5-FT
- MINOR CONTOUR 1-FT

SURVEY NOTES

- FIELD WORK WAS PERFORMED ON OCTOBER 24, 2020 AND MAY NOT REFLECT CHANGES AFTER THAT DATE.
- UNDERGROUND UTILITIES MAPPED AS SHOWN HEREON WERE MARKED BY WYOMING DIG LINE 811. BADGER AERIAL MAPPING AND SURVEYING DOES NOT ASSUME LIABILITY FOR MARKING BY OTHERS.
- BOUNDARY INFORMATION SHOWN IS TAKEN FROM MEADOWLAND ADDITION TO THE TOWN OF JACKSON, PLAT NO. 127 RECORDED IN THE OFFICE OF THE CLERK, TETON COUNTY WYOMING.
- THE BASIS OF BEARING IS GRIND NORTH WYOMING WEST STATE PLANE NAD 83 SCALED TO GROUND.
- VERTICAL DATUM IS NAVD88.



Summit  
Consulting  
Group



Civil + Geotechnical Engineering,  
Geology, Groundwater,  
and Construction Administration  
P.O. Box 6482 • 2100 Wilson Road  
Jackson, WY 83002 • Jackson, WY 83001  
www.scgengineering.com • 307.413.4399

PROJECT TITLE:  
80 E KARNIS HOUSING  
LOT 1&2 BLK 6 MEADOWLAND  
80 E KARNIS AVE  
TOWN OF JACKSON, WY

DRAWING TITLE:  
EXISTING CONDITIONS  
SITE PLAN

REV.	DESCRIPTION:	BY:	DATE:
A	FOR DEVELOPMENT PLAN	RS	5/26/22

CHECKED BY: RS  
PROJECT NO. 245-20-1

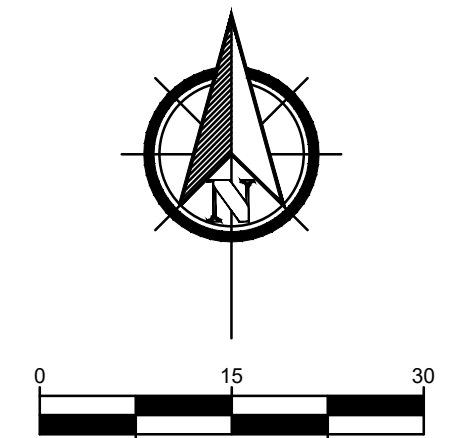
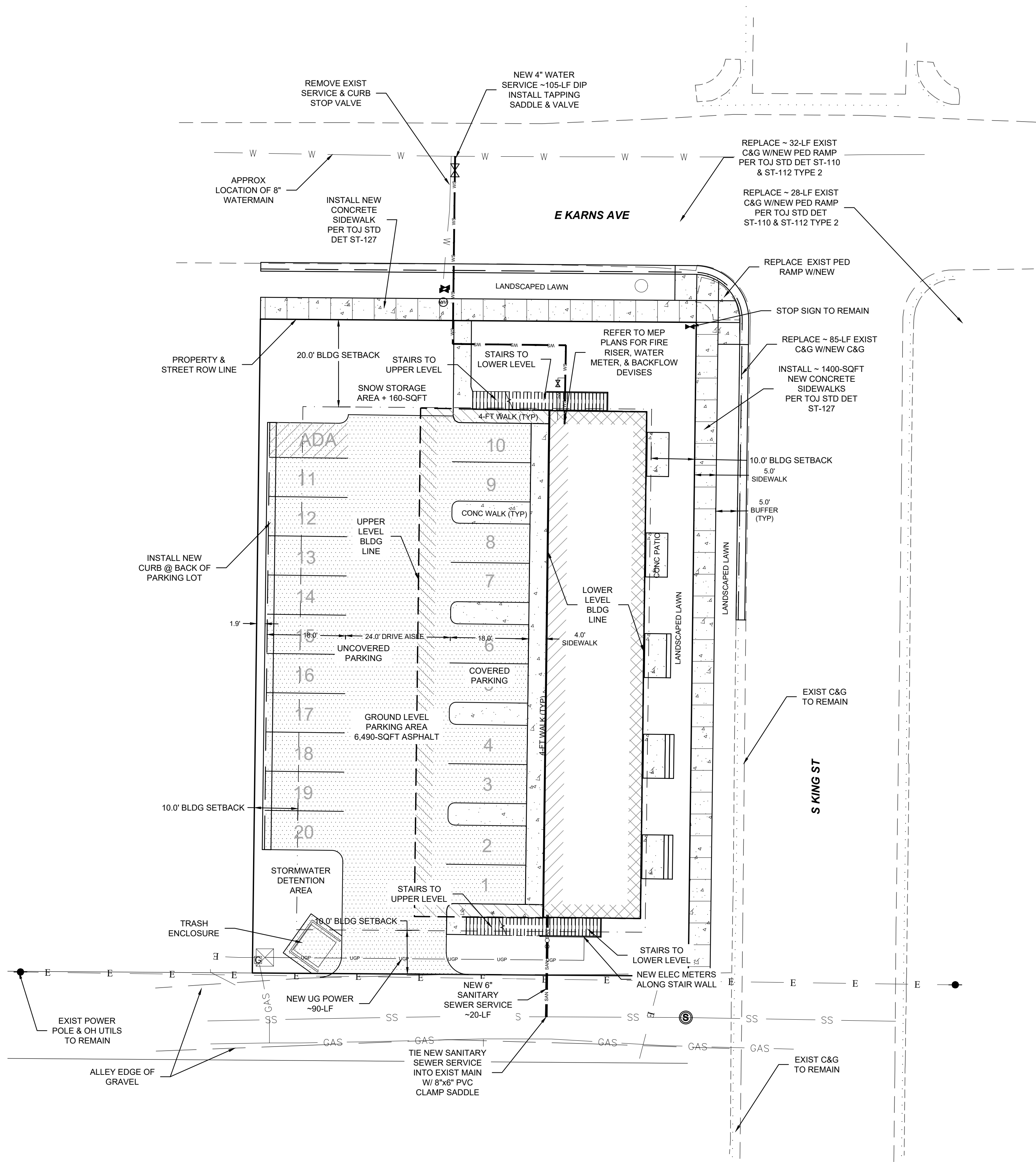
SCALE:  
1"=15'  
(24"x36" SHEET)

SHEET NO.  
C1



GENERAL PROJECT NOTES:

1. THE PROJECT WORK SHALL CONFORM TO THE SPECIFICATIONS DEFINED WITHIN THESE DRAWINGS ALONG WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) AND FEDERAL REGULATIONS.
2. CONTRACTOR WILL COMPLY WITH ALL STATE AND FEDERAL REGULATIONS, INCLUDING BUT NOT LIMITED TO THE OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
3. CONTRACTOR IS TO KEEP CURRENT STAMPED PLANS AND TOWN OF JACKSON GRADING & EROSION CONTROL PERMIT ON JOBSITE AT ALL TIMES.
4. ALL WORK PERFORMED IS SUBJECT TO INSPECTION BY ENGINEER TO ENSURE COMPLIANCE WITH THE PROJECT SPECIFICATIONS AND THESE CONSTRUCTION DRAWINGS.
5. SUMMIT CONSULTING GROUP IS NOT RESPONSIBLE FOR WORK COMPLETED WITHOUT THE SUPERVISION OF THE PROJECT ENGINEER OR AUTHORIZED AGENT.
6. SUMMIT CONSULTING GROUP IS NOT RESPONSIBLE FOR WORK NOT SPECIFIED IN THESE CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ANY EXISTING PUBLIC AND PRIVATE UTILITIES. EXISTING UTILITIES HAVE BEEN LOCATED ON THE PLANS USING THE BEST AVAILABLE INFORMATION AND THROUGH FIELD SURVEY. CALL 811 FOR LOCATES.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE CONFINEMENT OF THE WORK TO THE LIMITS SHOWN ON THE DRAWINGS. ANY ADJACENT AREAS THAT ARE DISTURBED WILL BE RESTORED TO THE ORIGINAL CONDITION AS DIRECTED BY THE ENGINEER OR GOVERNING BODY.
9. THE CONTRACTOR IS RESPONSIBLE FOR RESETTling ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR BY NEGLIGENCE ON THE PART OF CONTRACTOR.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS DISCOVERED WITHIN THE DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF THE WORK SHOWN. REVISIONS OR CORRECTIONS TO THE DRAWINGS MUST BE ACCEPTED AND APPROVED BY THE ENGINEER IN WRITING BEFORE THE AFFECTED WORK IS STARTED. FIELD CHANGES MADE WITHOUT WRITTEN CONSENT FROM THE ENGINEER WILL BE SUBJECT TO REJECTION AND REPLACEMENT IN ACCORDANCE TO THESE GENERAL SPECIFICATIONS.
11. REFER TO ARCHITECTURAL PLANS AND DETAILS BY DYNIA ARCHITECTS.
12. FINAL LANDSCAPE AND IRRIGATION PLAN BY CAIRN LANDSCAPE ARCHITECTS.
13. CERTIFICATE OF PLACEMENT REQUIRED FOR ALL STRUCTURES.
14. CONTRACTOR SHALL PREVENT TRACKING OF DIRT/MUD ONTO THE STREET.
15. REFER TO GEOTECHNICAL INVESTIGATION REPORT BY SCG, 8/12/2020.
16. INSTALL CONSTRUCTION FENCING AROUND PERIMETER OF PROPERTY WITH ACCESS GATE(S) IN ACCORDANCE WITH APPROVED CONSTRUCTION MANAGEMENT PLAN.
17. REFER TO CONSTRUCTION MANAGEMENT PLAN BY SHAW CONSTRUCTION FOR THE LOCATIONS OF MATERIAL AND EQUIPMENT STORAGE AND SOIL STOCKPILE LOCATIONS.
18. CONTRACTOR TO SUBMIT A CONSTRUCTION-STAGING NARRATIVE TO TOJ ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.
19. SITE DEVELOPMENT:
  - 19.1. ALLOWABLE = 3,150-SQFT
    - 19.1.1. 70% IN FRONT  $\frac{1}{3}$  OF LOT = 2,205-SQFT
  - 19.2. PROPOSED = 4,305-SQFT > 3,150-SQFT
    - 19.2.1. IN FRONT  $\frac{1}{3}$  OF LOT = 2,255-SQFT > 2,205-SQFT
20. SCHEDULE OF LAND DISTURBING ACTIVITIES:
  - 20.1. EXCAVATE BUILDING FOUNDATION & INSTALL UTILITIES: AUGUST 2022
  - 20.2. CONSTRUCT BUILDING: : SEPT2022 - OCTOBER 2023
  - 20.3. FINAL SITE LANDSCAPING AND STABILIZATION: APRIL 2024



Summit Consulting Group

SCG

Civil + Geotechnical Engineering,  
Geology, Groundwater,  
and Construction Administration  
P.O. Box 6482 • 2100 Wilson Road  
Jackson, WY 83002 • Jackson, WY 83001  
www.scgengineering.com • 307.413.4399

PROJECT TITLE:  
80 E KARN'S HOUSING  
LOT 1&2 BLK 6 MEADOWLAND  
80 E KARN'S AVE  
TOWN OF JACKSON, WY

DRAWING TITLE:  
PROPOSED CONDITIONS  
SITE PLAN

DESCRIPTION:  
FOR DEVELOPMENT PERMIT

REV. A

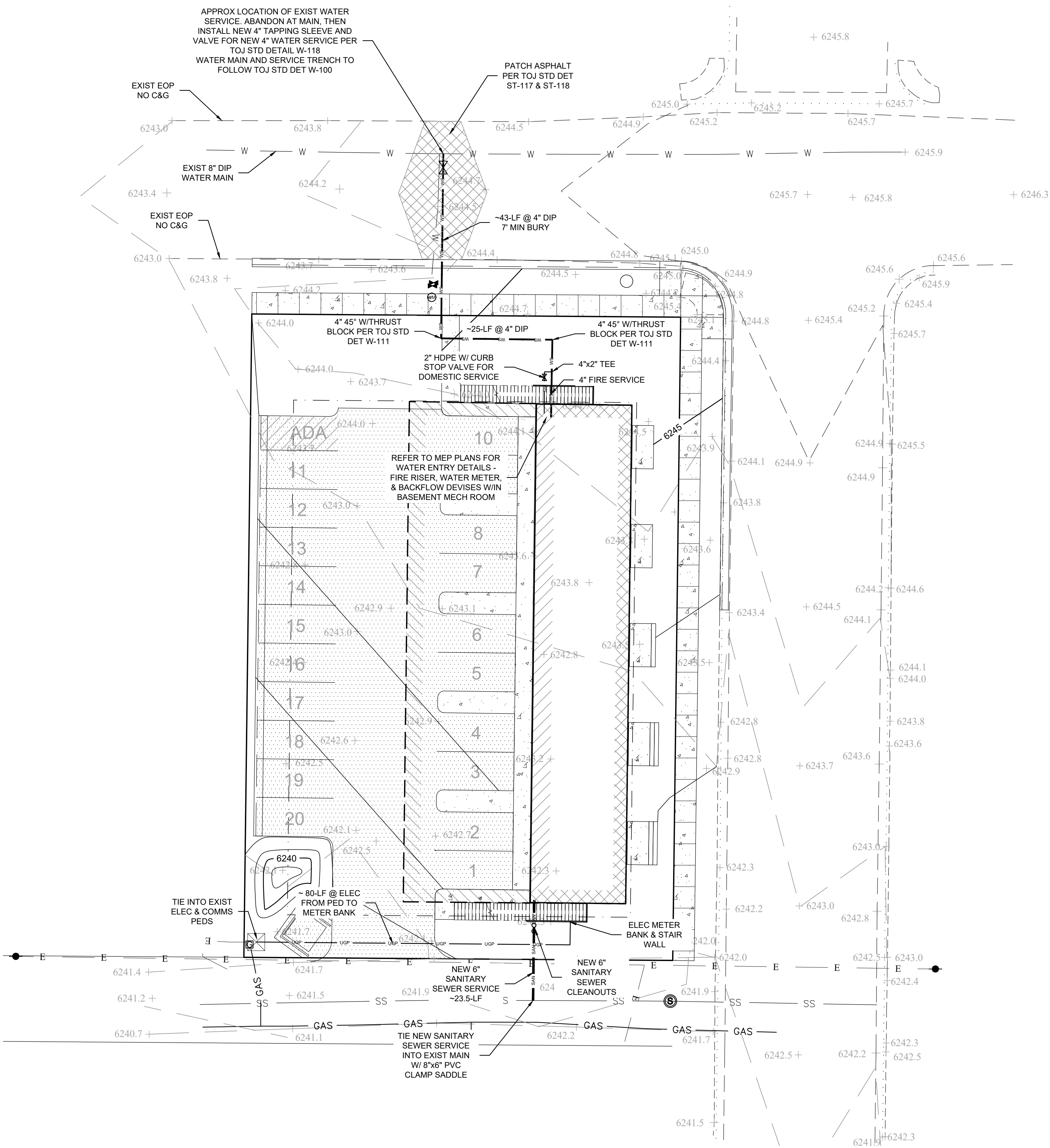
CHECKED BY: RS  
PROJECT NO. 245-20-1

SCALE:  
1"=15'  
(24"x36" SHEET)

SHEET NO.  
C2

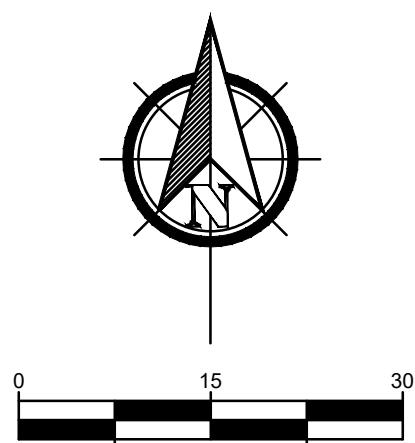
DATE: 5/26/22  
BY: RS





## UTILITY NOTES:

- ALL PROPOSED UTILITIES SHOW WITHIN THE PROPERTY BOUNDARY WILL BE PRIVATELY OWNED AND MAINTAINED.
- THE WATER AND SEWER UTILITY WORK SHALL COMPLY WITH APPLICABLE TOJ UTILITY STANDARDS AND MATERIAL AND INSTALLATION SPECIFICATIONS. TOWN OF JACKSON UTILITY STANDARDS ARE AVAILABLE AT:  
<https://www.jacksonwy.gov/DocumentCenter/View/82/Construction-Standards-PDF?bidId=>
- TRENCHING:
  - ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND EXISTING ASPHALT SHALL CONFORM TO APPLICABLE TOJ SPECIFICATIONS AND STANDARD DETAILS SUCH AS ST-117 & ST-118.
- WATER SERVICE:
  - EXISTING WATER SERVICE MUST BE REMOVED AND CAPPED AT THE MAIN AT TIME OF SITE DEMOLITION AND DURING INSTALL OF NEW SERVICE.
  - 4-INCH DIAMETER DUCTILE IRON PIPE SHALL CONFORM TO THE PROVISIONS OF AWWA SPECIFICATIONS C-151PRESSURE CLASS 350. PIPE JOINTS SHALL BE "PUSH-ON" JOINTS CONFORMING TO AWWA SPECIFICATIONS C-111
  - 2-INCH DOMESTIC WATER SERVICE LINE SHALL BE 250 PSI(MIN) POLY PIPE, MUST BE COPPER PIPE SIZE.
  - 2-INCH CURB STOP VALVE SHALL BE A MUELLER MINNEAPOLIS PATTERN H-10287 OR APPROVED EQUAL.
  - BUILDING SHALL HAVE A SINGLE 2-INCH WATER METER.
  - PROPOSED SERVICES TO EACH UNIT AS SHOWN ON MEP PLANS
  - ALL WORK AND MATERIALS SHALL CONFORM TO APPLICABLE TOJ SPECIFICATIONS AND STANDARD DETAILS SUCH AS W-100, W-106, W-110, W-111, W-113, W-116 & W-118.
  - INSTALL BACKFLOW PREVENTION DEVICES OF DOMESTIC, FIRE AND IRRIGATION SERVICES PER DETAIL PROVIDED BY MEP.
  - REFER TO MEP FOR WATER ENTRY AND METER DETAILS
- SANITARY SEWER SERVICE:
  - SHALL BE 6-INCH DIAMETER SDR35 PIPE AND FITTINGS
  - ALL WORK AND MATERIALS SHALL CONFORM TO APPLICABLE TOJ SPECIFICATIONS AND STANDARD DETAILS SUCH AS SS-100, SS-111 & SS-114.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, SPECIFICALLY THE LOCATION OF THE EXISTING SEWER SERVICE CONNECTION WITHIN THE ALLEY.
- CONTRACTOR TO OBTAIN PERMIT FROM THE TOWN OF JACKSON PRIOR TO COMMENCEMENT OF WORK WITHIN THE PUBLIC RIGHT-OF-WAY OR UTILITY EASEMENT.**  
<https://www.jacksonwy.gov/DocumentCenter/View/156/Public-Right-of-Way-Permit-PDF>
- INSTALL COMMUNICATION UTILITIES IN JOINT TRENCH WITH POWER PER PROVIDER INSTRUCTIONS.
- SCG TO INSPECT THE WATER AND SEWER SERVICES PRIOR TO BACKFILLING.



Summit  
Consulting  
Group

SCG

Civil + Geotechnical Engineering,  
Geology, Groundwater,  
and Construction Administration  
P.O. Box 6482 • 2100 Wilson Road  
Jackson, WY 83002 • Jackson, WY 83001  
[www.scgengineering.com](http://www.scgengineering.com) • 307.413.4399

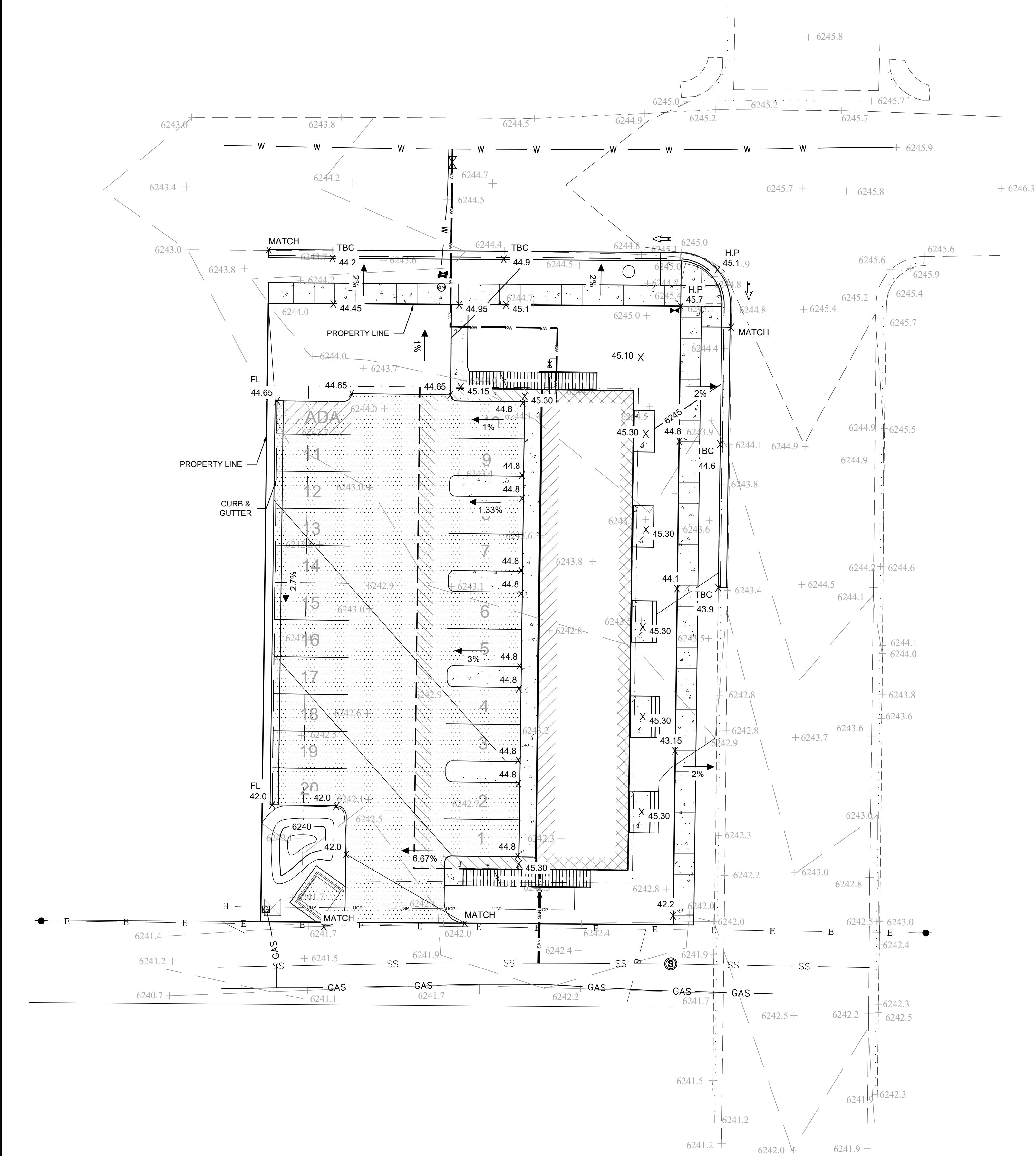
PROJECT TITLE:  
80 E KARNS HOUSING  
LOT 1&2 BLK 6 MEADOWLAND  
80 E KARNS AVE  
TOWN OF JACKSON, WY

DRAWING TITLE:  
PROPOSED UTILITY  
SITE PLAN

REV.	DESCRIPTION:	DATE:	BY:
A	FOR DEVELOPMENT PERMIT	5/26/22	RS

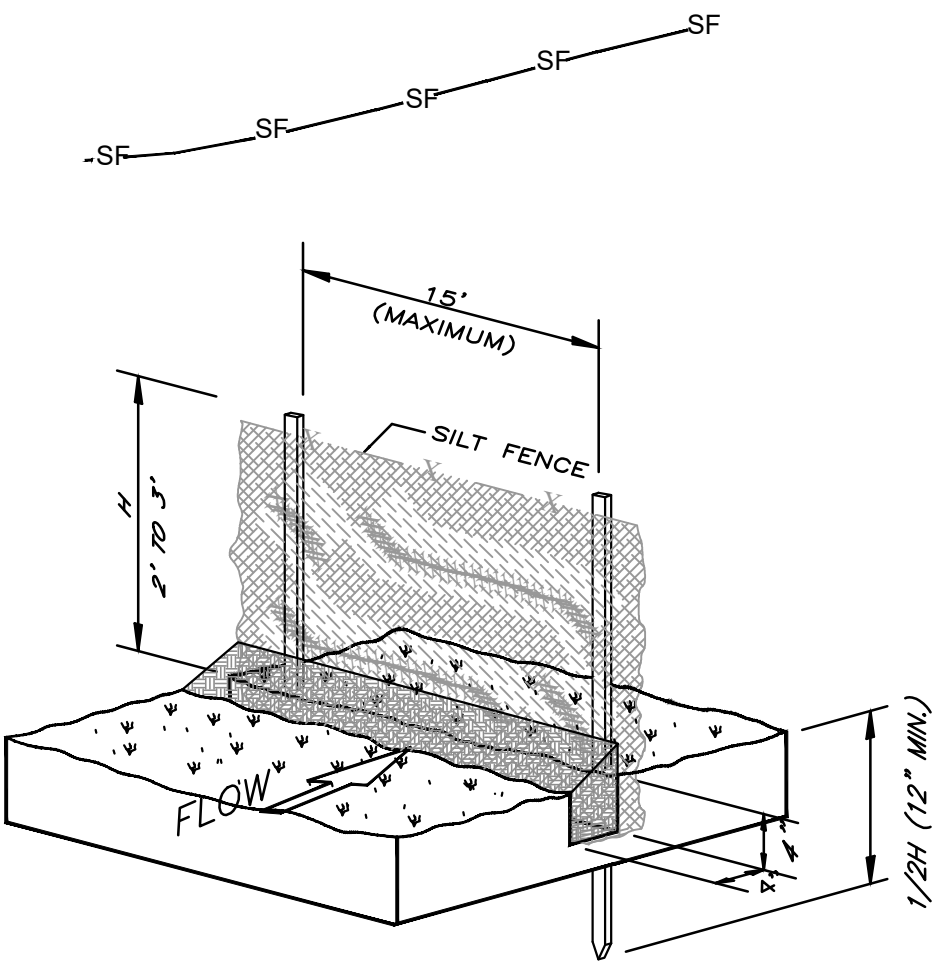
CHECKED BY: RS  
PROJECT NO. 245-20-1  
SCALE:  
1"=15'  
(24"x36" SHEET)  
SHEET NO.  
C3



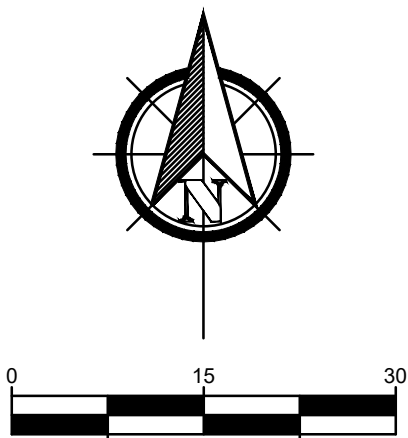


- GENERAL NOTES:**
1. REFER TO GEOTECHNICAL INVESTIGATION REPORT BY SCG, 8/13/2020, FOR EARTHWORK RELATED RECOMMENDATIONS AND SPECIFICATIONS.
  2. INSTALL CONSTRUCTION FENCING AROUND PERIMETER OF PROPERTY WITH ACCESS GATE(S) IN ACCORDANCE WITH APPROVED CONSTRUCTION MANAGEMENT PLAN.
  3. EROSION CONTROL MEASURE TO INCLUDE PERIMETER SILT FENCE OR STRAW WADDLES . SILT FENCE/STRAW WADDLES, NOT SHOWN FOR CLARITY, SHALL ENCOMPASS ENTIRE PERIMETER OF LIMITS OF DISTURBANCE. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF SILT FENCE AND THE TIMELY REMOVAL OF SEDIMENTS AND MATERIAL THAT MAY TRANSPORT BEYOND THE LIMITS OF DISTURBANCE. CONTRACTOR TO CONDUCT AND DOCUMENT MONITORING AND INSPECTIONS IN ACCORDANCE WITH THE GENERAL PERMIT.
  4. REFER TO CONSTRUCTION MANAGEMENT PLAN (BY OTHERS) FOR THE LOCATIONS OF MATERIAL AND EQUIPMENT STORAGE AND SOIL STOCKPILE LOCATIONS. CONSTRUCTION EQUIPMENT PARKING AREAS AND TEMPORARY TOPSOIL/DIRT STOCKPILE AREAS WILL VARY WITHIN THE LIMITS OF DISTURBANCE (PROPERTY BOUNDARIES) AND BASED UPON PHASED CONSTRUCTION SCHEDULE AND SEQUENCING. IN ALL CASES, MATERIAL WILL EITHER BE REMOVED FROM THE SITE OR THE STOCKPILE LOCATIONS WILL BE WITHIN THE PROPERTY.
  5. AREA OF DISTURBANCE WITHIN PROPERTY BOUNDARY = 0.31-ACRE
  6. CONCRETE WASHOUT IN AREAS WITHIN THE PROPERTY BOUNDARY, RECOMMENDED WITHIN PARKING AREA, WHERE DISCHARGE DOES NOT REACH PUBLIC RIGHT-OF-WAY AND STORM SEWER SYSTEMS.
  7. CONTRACTOR SHALL MEET WYDEQ NPDES REQUIREMENTS FOR SMALL CONSTRUCTION ACTIVITIES.
  8. SCG MUST INSPECT AND CERTIFY FINAL GRADING CONFIGURATION PRIOR TO FINAL TOJ INSPECTION.
  9. STORMWATER RUNOFF DOES NOT DRAIN DIRECTLY INTO TOJ STORM SEWER COLLECTION SYSTEM. ALL RUNOFF WILL SURFACE FLOW ACROSS LANDSCAPING AND DESIGNATED DETENTION BASINS.

- RECLAMATION SPECIFICATIONS:**
1. MINIMAL SITE GRADING PROPOSED DUE TO RELATIVELY FLAT LOT.
  2. ALL DISTURBED AREAS WILL BE LANDSCAPED WITH SOD, TREES, SHRUBS AND IRRIGATED.
- 3. SURFACE PREPARATION**
- 3.1. TOPSOIL SHALL BE UNIFORMLY SPREAD ON PREPARED SURFACES PRIOR TO SOD PLACEMENT. HARD PACKED OR CAKED TOPSOIL SHALL BE SCARIFIED PRIOR TO PLACEMENT.
- 4. FINAL SURFACE STABILIZATION**
- 4.1. STORMWATER SHEET RUNOFF DETENTION STABILIZATION AND SOIL PROTECTION WILL BE PROVIDED BY SOD AND EXTENSIVE LANDSCAPING.
  - 4.2. INSTALL PERMANENT IRRIGATION SYSTEMS TO MAINTAIN GROWTH.
- 5. WEED & PEST MANAGEMENT STRATEGIES**
- 5.1. CONTRACTOR TO COMPLY WITH THESE LAND DEVELOPMENT REGULATIONS:
    - 5.1.1. WYOMING SEED LAW
    - 5.1.2. WYOMING NURSERY STOCK LAW
    - 5.1.3. INVASIVE SPECIES MANAGEMENT
  - 5.2. PRE-CONSTRUCTION PLAN (BY CONTRACTOR):
    - 5.2.1. CONTACT TETON COUNTY WEED & PEST TO PREPARE AN INVASIVE SPECIES MANAGEMENT PLAN. IF CONSTRUCTION BEGINS PRIOR TO THE GROWING SEASON, KNOWN INFESTATIONS WILL BE ADDRESSED UNDER THE ACTIVE CONSTRUCTION PHASE.
    - 5.2.3. IF CONSTRUCTION BEGINS DURING THE GROWING SEASON, TREAT ALL KNOWN INFESTATIONS AT LEAST TWO WEEKS PRIOR TO CONSTRUCTION.
  - 5.3. ACTIVE CONSTRUCTION:
    - 5.3.1. CLEAN ALL CONSTRUCTION EQUIPMENT PRIOR TO ENTERING THE SITE TO PREVENT INTRODUCING INVASIVE SPECIES.
    - 5.3.2. KEEP ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE UNDER ACTIVE MANAGEMENT.
    - 5.3.3. ROUTINELY CHECK AND TREAT SOIL STOCKPILES FOR INVASIVE SPECIES.
    - 5.3.4. MINIMIZE DISTURBANCE OF AREAS INFESTED WITH INVASIVE SPECIES AS POSSIBLE.
  - 5.4. POST-CONSTRUCTION:
    - 5.4.1. CONDUCT REVEGETATION IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT INVASIVE SPECIES FROM ESTABLISHING IN DISTURBED AREAS.
    - 5.4.2. USE DEALERS LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE AND CERTIFIED WEED FREE SEEDS AND PLANTING MATERIALS.
    - 5.4.3. CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL ARE RECOMMENDED.
    - 5.4.4. SCHEDULE A POST-CONSTRUCTION INVASIVE SPECIES INVENTORY WITH TCWP



SILT FENCE DETAIL



Summit Consulting Group

SCG

Civil + Geotechnical Engineering,  
Geology, Groundwater,  
and Construction Administration  
P.O. Box 6482 • 2100 Wilson Road  
Jackson, WY 83002 • Jackson, WY 83001  
www.scgengineering.com • 307.413.4399

PROJECT TITLE:  
80 E KARNS HOUSING  
LOT 1&2 BLK 6 MEADOWLAND  
80 E KARNS AVE  
TOWN OF JACKSON, WY

DRAWING TITLE:  
PROPOSED GRADING  
PLAN

DATE:  
5/26/22

BY:  
RS

DESCRIPTION:  
FOR DEVELOPMENT PERMIT

REV:  
A

CHECKED BY:  
RS

PROJECT NO.  
245-20-1

SCALE:  
1"=15'  
(24"x36" SHEET)

SHEET NO.  
C4



1. General Project Information: The project consists of two old town lots, but currently known as 80 E Karns Avenue. Past uses on the property include a mix of single-family residences (rentals).

The properties are within the Town of Jackson (TOJ) corporate limits and can be served with TOJ public water and sewer infrastructure. Lower Valley Energy (LVE) will service the property with power and natural gas.

2. Construction Sequencing: Summer/fall 2022 work includes mass site grading in preparation for the building foundation. Vertical construction starts fall 2022 and likely concludes fall of 2023. **Need to confirm with Shaw.**
3. EA: The project is not within the scenic resource overlay (SRO) nor the natural resource overlay (NRO), therefore, no EA required.
4. Site Access: The property will be accessed directly off of the alley, which is along the southern property boundary. The access driveway is 24-feet wide and terminate at the northern end of the parking lot. The driveways will include all-weather type surfaces that are capable of supporting fire apparatus. A fire apparatus can reach the building from along Karn or King.

There are minor improvements proposed along King and Karns. Karns will have curb and gutter installed. At the intersection, a new ADA ramp will be installed per TOJ standards. Detached 5-ft wide sidewalks will be installed along both streets. The alley will remain unpaved. The driveway and parking areas will remain private.

5. Parking: There are a total of 20 parking stalls. Parking is located along both sides of the access driveway. The eastern parking is beneath the upper level of the apartment building. The western parking spaces are open above. All parking spaces are reserved for tenants.
6. Traffic Analysis: No necessary.
7. Potable Water Supply: The domestic, irrigation and fire water will be supplied via the TOJ's existing public distribution system. The TOJ's existing 8-inch diameter water main is located within the Karns Avenue right-of-way. It is proposed that 4-inch diameter service lines will be extended from the TOJ water main to the building for the purposes of domestic, fire and irrigation supply. Once on the property, the water service lines can remain in private ownership by the developer/owner. Demand calculations will be provided at the of permit, however, existing system improvements are not anticipated.

A standpipe will be added to the building on the lower level to provide connections for the fire department.



8. Sanitary Sewer Systems: An existing sanitary sewer collection network is located in the alley along the south end of the property. It is expected that the existing network has adequate capacity to convey the flows from this project. A wastewater demand analysis will be provided at the time of permit. There are no proposed plans to extend the network beyond the project limits.
9. Storm Sewer: There are no existing TOJ storm sewer system near the property. Within the property, the stormwater system will sheet flow across the parking lot and routed to a detention basin located in the southwest corner of the property. A subterranean infiltration-type detention system may be installed to allow the stormwater to percolate back into the soil stratum. The stormwater system within the property will remain private.
10. Power, Gas and Communication Utilities: The electrical power is provided by LVE. source location for the tie-in will be at the existing vault located in the southwest corner of the property. The service line will feed a meter bank along the southern staircase. There will be one meter per apartment unit.

A single natural gas main is located in the alley right-of-way. Connection may be made to this main to provide natural gas to the building. The demand is expected to be light as all units are serviced by electricity and gas would be utilized for cooking grills, fire pits, etc.

11. Snow Storage: The main snow storage area for the driveway and parking areas are proposed at the northern end of the access driveway.
12. Grading & Erosion Control: The bulk of the site grading will include excavation to provide the space for the subterranean basement storage level. The basement will encompass a small portion of the building footprint. The proposed grading will match the adjacent properties without the addition of retaining structures. New detached sidewalks will be installed along Karns and King.
13. Geotechnical Engineering Information: A geotechnical engineering report has been provided by SCG in the fall of 2020. In general, the native soils beneath the project include dense alluvial fan deposits. These deposits were identified from at the surface and up to 11-feet below existing grade. The deposits are remarked as a dense mix of sand, gravel and cobble. The stony flood-plain deposits are the target foundation bearing soil. No groundwater is anticipated.



Job Name:

Created By:

Date:

2021 IPC

80 E Karn

JGT

5.10.22

LOAD VALUES ASSIGNED TO FIXTURES

FIXTURE	OCCUPANCY	TYPE OF SUPPLY CONTROL	WATER SUPPLY FIXTURE UNITS WSFU	DRAINAGE FIXTURE UNITS DFU	Number of Fixtures	TOTAL WSFU	Total DFU
Bathroom Group	Private	Flush Tank	3.6	5	15	54	75
Bathroom Group	Private	Flushometer Valve	8	6		0	0
Bathtub	Private	Faucet	1.4	2	0	0	0
Bathtub	Public	Faucet	4	2		0	0
Bidet	Private	Faucet	2	1		0	0
Combination fixture	Private	Faucet	3	2		0	0
Dishwashing machine	Private	Automatic	1.4	2	15	21	30
Drinking fountain	Offices, etc.	3/8" Valve	0.25	0.5		0	0
Kitchen Sink	Private	Faucet	1.4	2	15	21	30
Kitchen Sink	Hotel, restaurant	Faucet	4	3		0	0
Laundry trays(1 to 3)	Private	Faucet	1.4	2		0	0
Lavatory	Private	Faucet	0.7	1	10	7	10
Lavatory	Public	Faucet	2	1		0	0
Service Sink	Offices, etc.	Faucet	3	2		0	0
Shower head	Public	Mixing Valve	4	3		0	0
Shower head	Private	Mixing Valve	1.4	2	0	0	0
Urinal	Public	1" flushometer valve	10	4		0	0
Urinal	Public	3/4" flushometer valve	5	2		0	0
Urinal	Public	Flush tank	3	3		0	0
Washing machine(8lb)	Private	Automatic	1.4	2	15	21	30
Washing machine (8lb)	Public	Automatic	3	2		0	0
Washing machine(15lb)	Public	Automatic	4	3		0	0
Water closet	Private	Flushometer Valve	6	4	10	60	40
Water closet	Private	Flush Tank	2.2	3	0	0	0
Water closet	Public	Flushometer Valve	10	4		0	0
Water closet	Public	Flush Tank	5	3		0	0
Water closet	Private or Public	Flushometer Tank	2	3		0	0

	WSFU	DFU
Total For Building	184	215

ESTIMATED PEAK WATER SUPPLY DEMAND PER IPC TABLE E103.3

65 GPM



Utility Study  
WATER / SEWER DEMANDS

BY: JT

Date: 5.13.22

Average Day Demand <sup>1</sup>	125	gpd
Maximum Day Demand <sup>1</sup>	340	gpd
Peak Hour Factor <sup>3</sup>	4	PHF

WATER DEMAND						
	Occupancy Per Unit <sup>4</sup>	Number of Units <sup>4</sup>	Total Occupancy	Average TOTAL, gpd	Maximum TOTAL, gpd	PEAK HOUR, gpm
Unit - 2 Bedroom	2	10	20	2,500	6,800	18.9
Unit - 1 Bedroom	1	5	5	625	1,700	4.7
Subtotal Housing				3,125	8,500	23.6
	Quantity	Unit	Average inch/day	Average TOTAL, gpd	Maximum TOTAL, gpd	PEAK HOUR, gpm
Irrigation System	1,500	SF	0.25	234	468	1.3
Subtotal Irrigation				234	468	1.3
TOTAL WATER DEMAND				3,359	8,968	25

Maximum Day Demand <sup>2</sup>	150	gpd
Average Daily Demand <sup>2</sup>	60%	gpd
Peak Hour Factor <sup>3</sup>	4	PHF

SANITARY SEWER DEMAND						
	Bedrooms Per Unit	Number of Units <sup>4</sup>	Total Bedrooms	Average TOTAL, gpd	Maximum TOTAL, gpd	PEAK HOUR, gpm
Unit - 2 Bedroom	2	10	20	1800	3000	8.3
Unit - 1 Bedroom	1	5	5	450	750	2.1
TOTAL SANITARY SEWER DEMAND				2,250	3,750	10

Note:

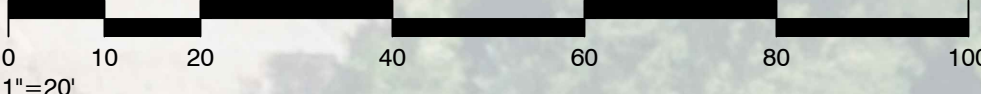
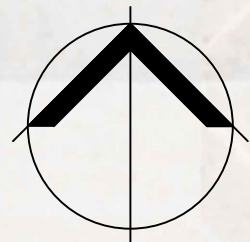
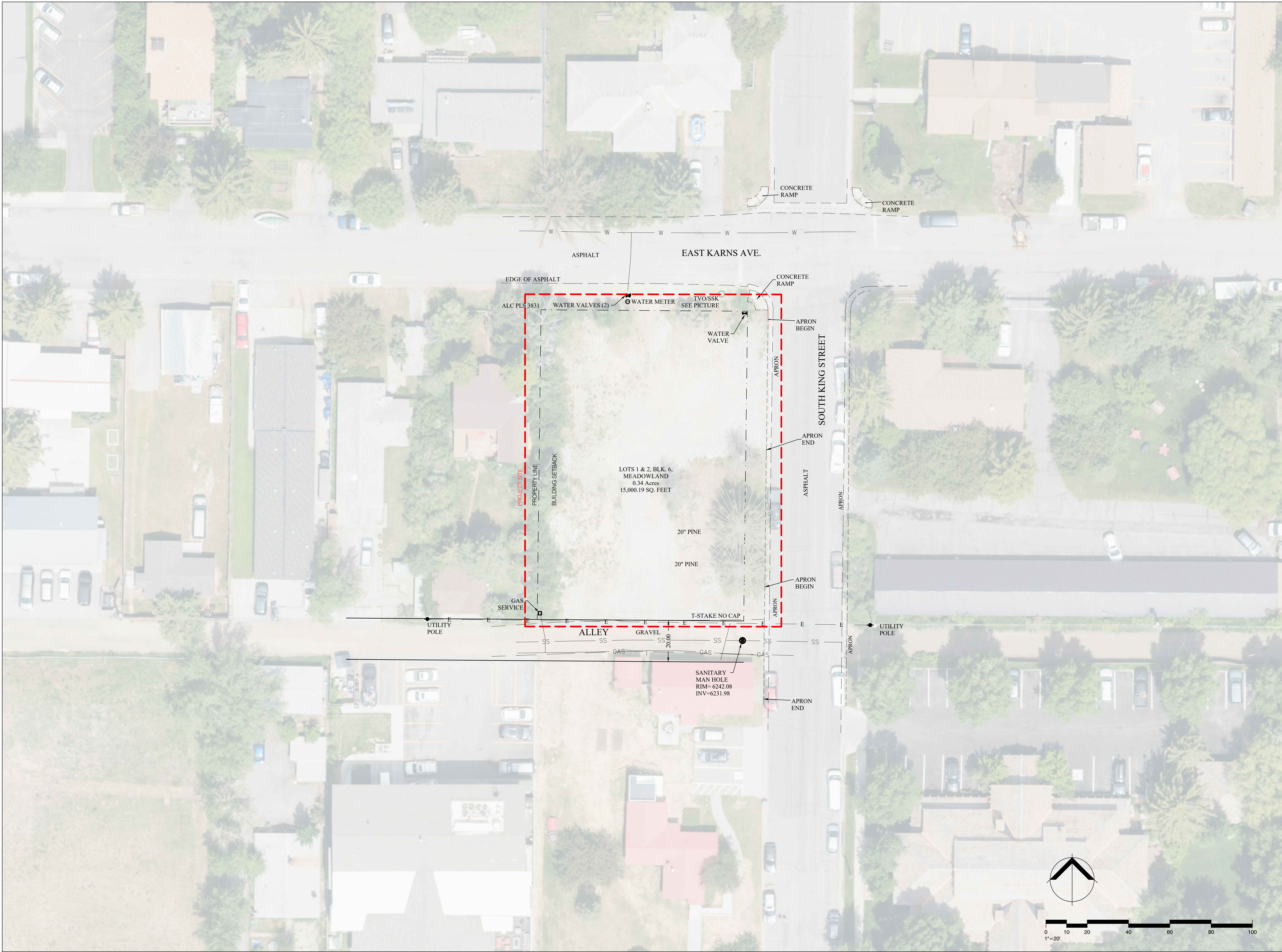
<sup>1</sup> Water Demand based on daily rates from the WYDEQ CH 12, Section 8

<sup>2</sup> Sewer Demand based on daily flow rates from the WYDEQ CH 25, Section 3, Table 1

<sup>3</sup> Peak Hour Factor based on busiest hour occurring during the busiest quarter of the day

<sup>4</sup> Occupancy/Bedroom count based on current development program





Karns Apartment Building

80 Karns Ave  
Jackson, WY  
83001

Project Number:	2023
Issue:	Development Plan
Date:	05.26.2022
Drawn By:	MHA
Checked By:	HNF
Revisions:	
# Rev.	Date:

Sheet title:  
Existing Conditions

A04





DYNIA

www.dynia.com

3501 Wazee St Ste. 212  
Denver CO, 80216



Karns Apartment Building

80 Karns Ave  
Jackson, WY  
83001

Project Number: 2023  
Issue: Development Plan  
Date: 05.26.2022  
Drawn By: MHA  
Checked By: HNF

Revisions:  
# Rev. Date:

Sheet title:  
Site Plan in Context

A05

© 2022 Dynia Architects

All rights reserved. No portion of these instruments of service or the designs depicted therein may be reproduced, distributed, transmitted, displayed, or published in any form or by any means, electronic or mechanical, without prior written permission from Dynia Architects. Any unauthorized use of these materials is strictly prohibited. Without prejudice, visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



LEGEND

A

APARTMENT BUILDING

B

PARKING LOT ENTRANCE

C

PARKING LOT

D

RESIDENT PATIOS

E

MAIN BICYCLE PARKING AREA

F

PARKLET W/ LAWN, SHRUBS AND BENCHES

G

DUMPSTER LOCATION

H

SCREENING

I

BENCH

J

STREET TREES @ 25' O.C. IN LAWN

K

SIDEWALK

L

TREES IN PERENNIAL BEDS

M

TREES AND SHRUBS IN NATIVE GRASSES

N

BIKE RACKS

O

PARKING ISLANDS W/ RIVER COBBLE

P

RIVER COBBLE DRAINAGE STRIPS

Q

PERENNIAL GARDENS



DYNIA

www.dynia.com

3501 Wazee St Ste. 212  
Denver CO, 80216

CAIRN

LANDSCAPE

ARCHITECTS

DESIGN • RECREATION • ECOSYSTEM

1001 13th Street • 10th Floor • Denver, CO 80202

Karns Apartment Building

80 Karns Ave  
Jackson, WY  
83001

Project Number: 2023

Issue: Development Plan

Date: 05.26.2022

Drawn By: MHA

Checked By: HNF

Revisions:

# Rev. Date:

Sheet title:

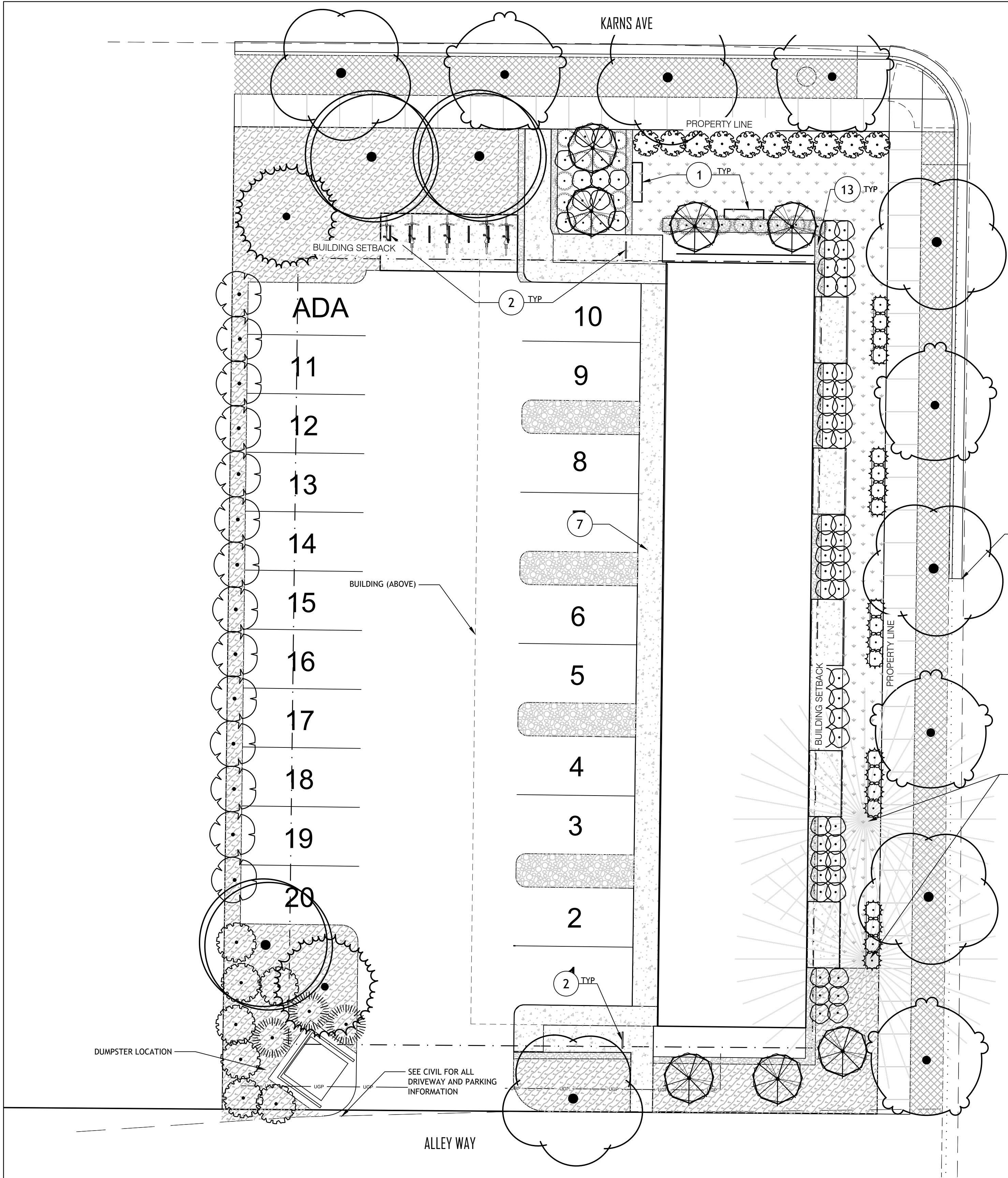
Site Plan

A06

© 2022 Dynia Architects

All rights reserved. No portion of these instruments of service or the designs depicted therein may be reproduced, distributed, transmitted, displayed, or published in any form or by any means, electronic or mechanical, without prior written permission from Dynia Architects. Any unauthorized use of these materials is strictly prohibited. Without prejudice, visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.





PLANTING & IRRIGATION NOTES

1. Refer to Civil Engineer's utility plan. If site conditions vary from what is shown, contact the Landscape Architect and Civil Engineer for direction before proceeding.
2. Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site conditions, contact the Landscape Architect for direction before proceeding.
3. Excavation near underground utilities shall be done carefully and, if necessary, by hand. The Contractor is fully responsible for this work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the Owner.
4. Obtain approval of finish grading from Landscape Architect prior to installing any plant material. The finish grades of planting areas and lawns shall be 1/2 inches below adjacent edging or paving. Confirm mulch depth and whether lawns are to be seed or sod. Once finish grade has been approved, no vehicle or human traffic will be allowed into approved areas other than that necessary for planting to prevent topsoil compaction.
5. Confirm all plant counts and square footages. Quantities shown are provided as Owner information only. If quantities indicated in the plant list differ from symbols shown on the plans, then the plans shall govern the plant count.
6. Contractor to supplement existing native surface topsoil as necessary. Obtain supplemental weed free topsoil displaced from naturally well-drained construction or mining sites where topsoil occurs at least 4 inches deep. Do not obtain from agricultural lands, bogs, or marshes.
7. For areas to receive sod or seed and/or to produce planting soil for areas indicated on details, amend suitable topsoil with organic compost to a ratio of 1 part compost to 4 parts topsoil by volume.
8. Compost mulch shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5-6.0; moisture content 35 to 55 percent by weight; 100 percent passing through 1-inch sieve; soluble salt content of 2 to 5 decilemers/m; not to exceed 0.5 percent inert contaminants and free of substances toxic to planting; organic matter content 50 to 60 percent of dry weight. Source: Glacier Gold Compost or approved equal.
9. The Landscape Architect shall review all plant materials at the source or nursery or by photographs provided by Contractor prior to shipment. The Landscape Architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site. All landscaping material shall comply with Wyoming Nursery Stock Law.
10. All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
11. Irrigation system is to be design build by Contractor. All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller. All trees, shrubs, and perennials shall be drip irrigated and all turf areas shall be irrigated with a spray or rotor system. Contractor shall demonstrate full system coverage prior to acceptance and before plant material installation. Contractor shall provide a reproducible as-built drawing of installed irrigation system at conclusion of project. Irrigation system will have backflow preventer device installed at water source per Town of Jackson Standards.
12. The irrigation system shall be operational prior to plant installation or temporary irrigation measures shall be provided in the interim. The method of temporary irrigation shall be approved by the Landscape Architect prior to plant material installation.
13. No pruning of existing or newly planted trees or shrubs shall be allowed without the direction and approval of the Landscape Architect.

14. For ball & burlap trees, remove burlap from top 1/3 of rootball and entire wire basket as tree pits are backfilled.
15. All installed trees shall be staked. The Landscape Architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
16. During construction and prior to final acceptance, Contractor shall observe the project site for the growth of noxious weeds. Contractor shall report the growth of noxious weeds to the Teton County Weed and Pest District Office. Contractor and Owner shall implement a weed control program to control noxious weeds.
17. After an area has been planted, no human or vehicle traffic other than that required for plant maintenance will be allowed inside said area to prevent plant damage. Contractor will be responsible for replacing all damaged plant material from planting until project completion. Note that this note does not affect any plant warranty offered by the landscape contractor.
18. All seed shall comply with Wyoming Seed Law. Seed shall be purchased from a licensed supplier by the Wyoming Department of Agriculture. Sources of seed and landscaping material shall be verified as not containing noxious weeds or exotic species.
19. Planting period for seed and sod shall be immediately after finish grading and irrigation installation are accepted but no later than September 30 for sod.
20. All disturbed areas not receiving other treatment are to receive native sod. Contractor to verify exact amount in field. Field verification takes precedence over quantity listed.

PLANT UNIT SUMMARY AND BOND REQUIREMENTS

All landscaping will comply with Div. 5.5 of Town of Jackson LDRs. The landscape material shown meets & exceeds the (3) Plant Unit requirement. A bond for the (3) Plant Unit requirement and irrigation will be provided before the Building Permit is issued. The bond amount will be as follows:

(3) Plant Unit Required  
Average Value of (1) Plant Unit = \$2,600.00  
Approximate Cost to Irrigate (1) Plant Unit = \$2,300.00  
Total Cost of Plant Unit & Irrigation = \$4,900.00  
Total Cost x 125% for Bond Amount = \$18,375.00

All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller - See Planting & Irrigation Notes

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Betula nigra	River Birch	3" Cal.	B&B	3
	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	3" Cal.		5
	Picea pungens	Colorado Spruce	14"	B&B	2
	Populus tremula 'Erecta'	European Columnar Aspen	3" Cal.	B&B	7
	Populus tremuloides	Quaking Aspen	3" Cal.		6
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Crataegus douglasii	Douglas Hawthorn	6"	B&B	3
	Prunus virginiana	Chokecherry	8"	B&B	7
	Sorbaria sorbifolia	Ash Leaf Spirea	10 gal.		10
	Syringa vulgaris	Common Lilac	6"	B&B	14
PERENNIALS AND GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Perennials and Grasses	Exact Species TBD -Calamagrostis x acutiflora 'Karl Forester' -Nepeta faassenii -Helichotrichon sempervirens -Deschampsia cespitosa -Salvia pratensis -Hemerocallis 'Purple d'Oro'	1 gal.		117
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Drought Resistant Turf or Meadow Sod Exact sod type TBD		sod		1,310 sf
	Drought Resistant Turf Duraturf or Approved Equal from Pocatello Sod		sod		981 sf
	Native Meadow Sod		sod		2,052 sf

INVASIVE SPECIES MANAGEMENT PLAN

PROJECT OWNER: TETON COUNTY HOSPITAL DISTRICT DBA ST. JOHN'S MEDICAL CENTER  
ADDRESS: 80 W. KARNS AVE.  
GEC PERMIT: GEC 2022-\_\_\_\_\_  
Contact Teton County Weed and Pest (TCWP) no less than 3 weeks prior to construction so they may complete an Invasive species inventory of the site.

Inventory Completed By: \_\_\_\_\_  
Invasive Species Inventoried:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

Pre-Construction Management Strategies:

\*applicable to construction beginning after May 1 and before November 15\*

1. Known infestations will be treated at least two weeks prior to construction using methods listed below.

Active Construction Management Strategies:

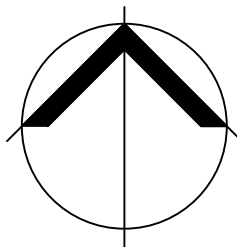
1. All construction equipment will be cleaned prior to entering the site.
2. Soil stockpiles will be routinely checked and treated for invasive species.
3. Disturbance outside of the construction zone and in areas where invasive species are present will be minimized.
4. All areas outside of the construction zone will be kept on active management using the methods listed below. This area will be monitored and treated at least twice each growing season.

Post-Construction Management Strategies:

1. Revegetation will occur immediately after construction is complete to prevent the establishment of invasive species in the disturbed areas.
2. Nursery stock will be used in accordance with W.S. 11-9-101 109 (Wyoming Nursery Stock Law), accompanied by a valid health certificate, and acquired through a dealer licensed by the Wyoming Department of Agriculture. Seeds will be used in accordance with W.S. 11-12-101 125 (Wyoming Seed Law), certified weed free, and acquired through a dealer licensed by the Wyoming Department of Agriculture.
3. Certified weed free straw, gravel, and soil will be utilized as possible.
4. TCWP will be contacted to create a post-construction inventory.

Management Strategies by Species:

1. The following document is incorporated by reference:  
[http://www.tcweed.org/wp-content/uploads/2017/04/Control-Options-Table\\_2017.pdf](http://www.tcweed.org/wp-content/uploads/2017/04/Control-Options-Table_2017.pdf)
2. These management strategies shall be employed for all invasive species inventoried on the site.



DYNIA

www.dynia.com

3501 Wazee St Ste. 212  
Denver CO, 80216



Karns Apartment Building

80 Karns Ave  
Jackson, WY  
83001

Project Number: 2023  
Issue: Development Plan  
Date: 05.26.2022  
Drawn By: MHA  
Checked By: HNF  
Revisions: # Rev. Date:

Sheet title:  
Planting Plan

A07

© 2022 Dynia Architects

All rights reserved. No portion of these instruments of service or the designs depicted therein may be reproduced, distributed, transmitted, displayed, or published in any form or by any means, electronic or mechanical, without prior written permission from Dynia Architects. Any unauthorized use of these materials is strictly prohibited. Without prejudice, visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.