



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Housing Department

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: March 4, 2022	REQUESTS:
Item #: P22-050	The applicant is submitting a request for a Grading Pre-Application for the property located at 1020 Budge Dr., legally known as LOT 3, HILLSIDE SUBDIVISION PIDNs: 22-41-16-32-1-03-003
Planner: Tyler Valentine	For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Phone: 733-0440 ext. 1305	
Email: <a href="mailto:tvalentine@jacksonwy.gov">tvalentine@jacksonwy.gov</a>	
Owner: Merrill Hermanson & Joshua Pope PO Box 2664 Jackson, WY 83001	
Applicant: Chris Jaubert – A43 Architecture PO Box 4055 Jackson, WY 83001	
Please respond by: March 14, 2022 (with Comments)	

**Owner:**

Merrill Hermanson & Joshua Pope  
PO Box 2664  
Jackson, WY 83001

**Applicant:**

Chris Jaubert – A43 Architecture  
PO Box 4055  
Jackson, WY 83001

**Please respond by: March 14, 2022 (with Comments)**

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[blenz@jacksonwy.gov](mailto:blenz@jacksonwy.gov)



**PRE-APPLICATION CONFERENCE REQUEST (PAP)**  
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:  
P.O. Box 1687 [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

***For Office Use Only***

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

***Please note:*** Applications received after 3 PM will be processed the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

**PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_

PIDN: \_\_\_\_\_

**PROPERTY OWNER.**

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name, Agency: \_\_\_\_\_

Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

Property Owner

Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit  
 Use Permit  
 Development Option or Subdivision Permit  
 Interpretations of the LDRs  
 Amendments to the LDRs  
 Relief from the LDRs  
 Environmental Analysis

**This pre-application conference is:**  
 Required  
 Optional  
 For an Environmental Analysis  
 For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to [planning@jacksonwy.gov](mailto:planning@jacksonwy.gov)) of the submittal packet.

Have you attached the following?

**Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

**Narrative Project Description.** Please attach a short narrative description of the project that addresses:  
 Existing property conditions (buildings, uses, natural resources, etc)  
 Character and magnitude of proposed physical development or use  
 Intended development options or subdivision proposal (if applicable)  
 Proposed amendments to the LDRs (if applicable)

**Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:  
 Property boundaries  
 Existing and proposed physical development and the location of any uses not requiring physical development  
 Proposed parcel or lot lines (if applicable)  
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

**Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

**Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Owner or Authorized Applicant/Agent

Name Printed

Date

Title

## LETTER OF AUTHORIZATION

Merrill Hermanson & Josh Pope

“Owner” whose address is: 1020 Budge Dr.

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

, as the owner of property  
more specifically legally described as: LOT 3, HILLSIDE SUBD. PIN 22-41-16-32-1-03-003

(If too lengthy, attach description)

**HEREBY AUTHORIZES** Chris Jaubert - A43 Architecture as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title:

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

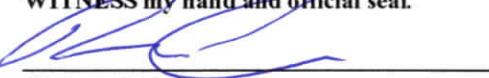
)

COUNTY OF Teton

)  
)

The foregoing instrument was acknowledged before me by Josh Pope this 24<sup>th</sup> day of November, 2021.

WITNESS my hand and official seal.

  
(Notary Public)

My commission expires: 5/1/2024

(Seal)





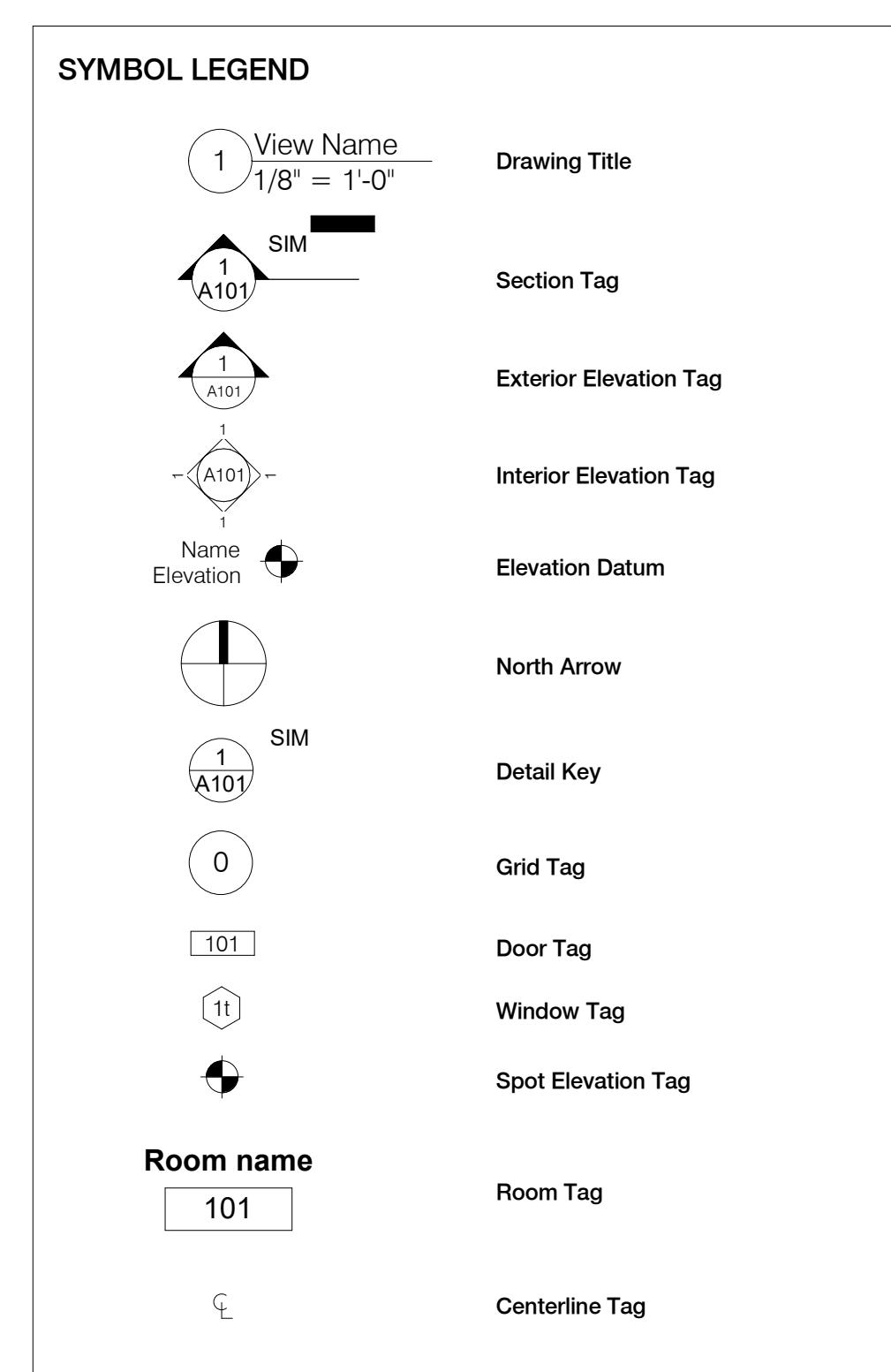
## **Hermanson-Pope Residence – Remodel/Addition**

### **1020 Budge Drive**

#### **Project Narrative**

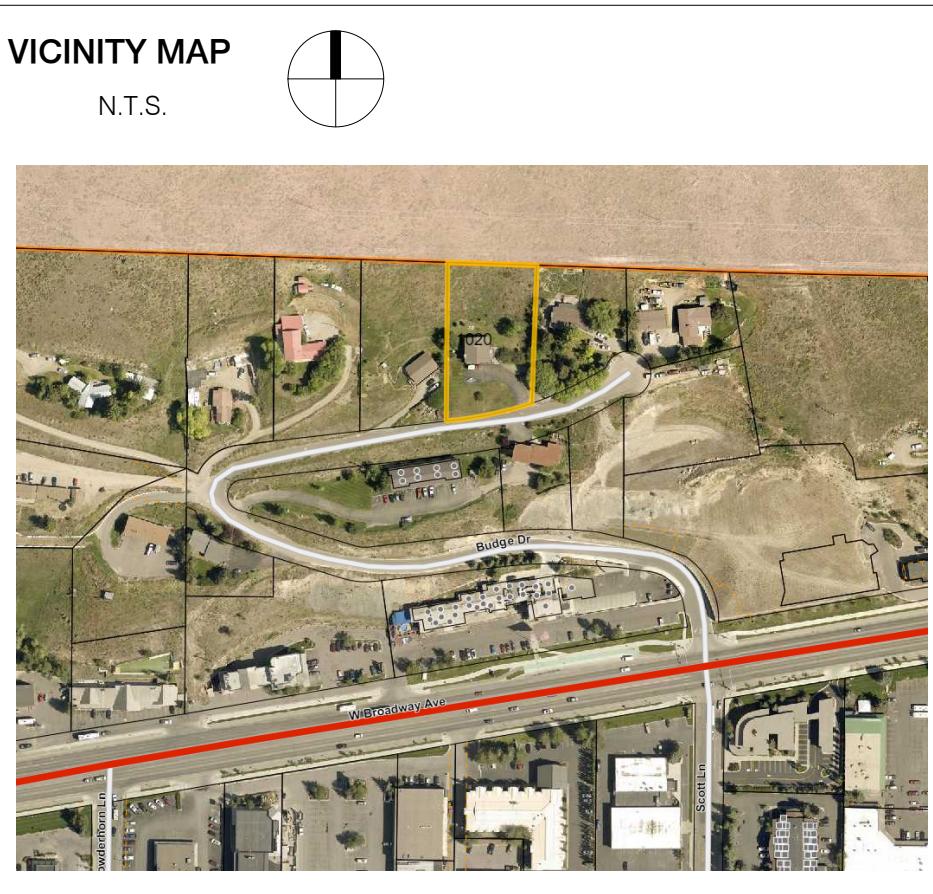
The existing single-family residence is located on a sloped site in the NL-3 zone. The project consists of a 1,261sf addition that will include a new entry to the existing home as well as an attached junior suite with a new primary suite above. At the same time, we will be replacing the wood deck on the South of the home and adding a new deck on the back of the addition.

ABBREVIATIONS			
ADJ.	Adjustable/ Adjacent	MAX.	Maximum
A.F.F.	Above Finish Floor	MECH.	Mechanical
ALT.	Alternate	MEMB.W.P.	Membrane Waterproofing
ALUM.	Aluminum	MFR.	Manufacturer
APPROX.	Approximate	MIN.	Minimum
ARCH.	Architectural/Architect	MISC.	Miscellaneous
BD.	Board	M.O.	Masonry Opening
BLDG.	Building	MTL.	Metal
B.M.	Bench Mark	M.E.	Match Existing
B.O.	Bottom Of	(N)	New
BRG.	Bearing	NEC.	Necessary
BSMT.	Basement	N.I.C.	Not in Contact
BTM.	Bottom	NOM.	Nominal
CAB.	Cabinet	N.T.S.	Not to Scale
CLG.	Ceiling	O.A.F.	Overall Frame
CLO.	Closet	O.C.	On Center
C.M.	Construction Manager	O.D.	Outside Diameter
C.M.U.	Concrete Masonry Unit	OPNG.	Opening
COL.	Column	OPP.	Opposite
CONC.	Concrete	OPP.H.	Opposite Hand
CONST.	Construction Joint	ORIG.	Original
CONT.	Contractor	PL.	Plate
COORD.	Coordinate	P.LAM.	Plastic Laminate
C.T.	Ceramic Tile	PLAS.	Plaster
CTR	Center	PLYWD.	Plywood
C.W.	Cold Water	PREFAB.	Prefabricated
DBL.	Double	PTD.	Painted
DET.	Detail	RAD.	Radius
DIA.	Diameter	R.D.	Roof Drain
DIM.	Dimension	REGMDN.	Recommendation
DISP.	Dispenser/Disposal	REF.	Reference
DN.	Down	REINF.	Reinforcing
D.P.	Dampproofing	REQ'D	Required
DWG.	Drawing	REV.	Revisions
EA.	Each	RM.	Room
E.C.	Electrical Contractor	R.O.	Rough Opening
EL.	Elevation	RTG.	Rating
ELEC.	Electrical/ Electric	S.C.	Solid Core
ELEV.	Elevator/ Elevator	SCHED.	Schedule
EO.	Established by Owner	SECT.	Section
EQUIP.	Equipment	S.F.	Square Feet
EXIST. or (E)	Existing	SHT.	Sheet
EXT.	Exterior	SHTG.	Sheathing
F.D.	Floor Drain	SIM.	Similar
FDN.	Foundation	SPECs.	Specifications
F.E.	Fire Extinguisher	SO.	Square
FIN.	Finish	S.S.	Stainless Steel
FLR.	Floor	STL.	Steel
F.O.S.	Feet of Stud	STOR.	Storage
FR.	Frame	STRUCT.	Structural
FT.	Feet/Foot	SUSP.	Suspended
FTG.	Footing	S.S.D.	See Structural Drawings
FURR.	Furring	S.A.T.	S.A.T.
GA.	Gauge	S.E.M.S.	See Exterior Material Schedule
GALV.	Galvanized	TEL.	Telephone
G.C.	General Contractor	TEMP.	Tempered
GYP. BD.	Gypsum Board	T.O.	Top
H.B.	Hose Bibb	TOL.	Toilet
H/C	Handicapped	TRTD.	Treated
H.C.	Hollow Core	T.S.	Tube Steel
H.M.	Hollow Metal	TYP.	Typical
HORZ.	Horizontal	U.G.	Underground
HT.	Height	UL.	Underwriters Laboratory
H.W.	Hot Water	UNEXC.	Unexcavated
I.D.	Inside Diameter	UNFIN.	Unfinished
IN.	Inch/Inches	U.O.N.	Unless Otherwise Noted
INSUL.	Insulation	VERT.	Vertical
INT.	Interior	V.I.F.	Verify In Field
INV.	Invert	V.T.R.	Vent Through Roof
JAN.	Janitor	W/	With
JT.	Joint	W.C.	Water Closet
LOC.	Location	W.D.	Wood
		WIN.	Window
		W.P.	Waterproof
		W.W.F.	Welded Wire Fabric
		W.R.B.	Weatherproof Building Wrap



**GENERAL CONSTRUCTION NOTES:**

- This project shall comply with the current adopted International Residential Code, IMC, IFC, International Urban/ Wildland Interface Code and the currently adopted National Electric Code, the CCR's of the subdivision which the project is located and the current Town of Jackson Comprehensive Plan and Land Development Regulations, including all amendments. Any building official, subcontractor or trades person noting discrepancies shall notify Architect immediately upon their discovery.
- Contractor shall coordinate all required inspections by Town of Jackson Building and Fire Departments, local electrical inspector and other governing authorities.
- Contractor shall obtain and pay for all temporary utilities, including electricity necessary for construction and temporary septic facilities, which shall be maintained on site for duration of construction. A job phone must be maintained on site for duration of construction and the phone number will be made available to the architect.
- All construction debris to be stockpiled neatly on site until disposal, which shall be done at county landfill or recycling facility only. No debris is to be disposed of in local waste collection facilities.
- Contractor shall inform Architect of any and all Owner requested changes or directives following Owner/Contractor conversations. Contractor shall not proceed with Owner requested changes or directives without prior review from the Architect and written Change Order.
- Except at Interior Elevations, and unless otherwise noted, all dimensions are given to face of rough framing, centerlines of columns, or faces of concrete and C.M.U. wall. Interior Elevation dimensions are given to face of finish material. Given dimensions take precedence over scale. Contractor shall take extra caution to coordinate dimensions of structural drawings with architectural drawings prior to construction. Verify discrepancies with Architect.
- Contractor shall provide storage for all building materials in accordance with manufacturers recommendations.
- Solid wood blocking, insulation or other firestop material is to be provided between stories, between top story and roof space, between stair stringers at top and bottom, between studs along stair runs and at all other places that could afford the passage of flame, as required by the IRC.
- G.C. to provide samples of all finishes and stain colors for approval by architect / owner. This includes interior and exterior stains, interior paint, sheetrock textures, etc. - see Project Manual.
- Provide 4" diameter, schedule 30 P.V.C pipe labeled "radon vent", continuous from crawl space gravel bed to rain cap terminus above roof. Radon vents shall be placed so that the a future fan may be installed if necessary, provide receptacle in attic near pipe.
- All pipe that extends through the roof shall be terminated 16" min. above the roof.
- Contractor to verify the existing radon mitigation, if any, upon beginning of work and extend to the new crawlspace areas.
- The contractor, subcontractor, supplier or other hired entity shall align all visible products / equipment (which includes but is not limited to, outlets, lights, switches, smoke detectors, thermostats, AV devices, diffusers, fire protection, etc.) equally between or directly with architectural elements (windows, doors, beams, columns etc.) and other visible products / equipment. Adjust structural framing as required (contact architect prior to adjusting framing for possible structural requirements). Verify all locations with architect prior to rough-in installations of any system or equipment, any adjustments in the field per architect's direction may be required and shall be included in the project costs.



PROJECT INFORMATION	
Project Description:	Hermanson-Pope Residence
	Job #21302
	1020 Budge Drive, Jackson, WY 83001
	Lot 3 Hillside Subdivision
Project Owner:	Merrill & Josh Pope
	PO Box 2664
	Jackson, WY 83001
Project Architect:	Chris Jaubert
	Atelier 43, LLC
	3970 Hawthorne Ln.
	Wilson, WY 83014
	307.200.1790
Contractor:	West Fork Construction, LLC
	PO Box 10021
	Jackson, WY 83002

DRAWING LIST	
Sheet No.	Sheet Name
GENERAL	COVER SCHEDULES
G1.0	WALL, FLOOR, AND ROOF TYPES
G1.1	EXISTING CONDITIONS AND SLOPES
G1.2	PROPOSED SITE CONDITIONS
CIVIL	EXISTING CONDITIONS AND SLOPES
C1.0	PROPOSED SITE CONDITIONS
C1.2	EXISTING CONDITIONS AND SLOPES
ARCHITECTURAL	LOWER FLOOR PLAN - DEMO
A1.1	UPPER FLOOR PLAN - DEMO
A1.2	ROOF PLAN - DEMO
A1.3	FOUNDATION PLAN
A2.0	LOWER FLOOR PLAN
A2.1	UPPER FLOOR PLAN
A2.2	ROOF PLAN
A2.3	BUILDING ELEVATIONS
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
A4.1	WALL SECTIONS / DETAILS
A4.2	WALL SECTIONS / DETAILS
A5.1	WALL SECTIONS / DETAILS
A5.2	WALL SECTIONS / DETAILS
A5.3	WALL SECTIONS / DETAILS
A7.1	INTERIOR ELEVATIONS, GENERAL NOTES, DETAILS
A8.1	LIGHTING PLANS
A8.2	LIGHTING PLANS
STRUCTURAL	GENERAL STRUCTURAL NOTES I
S000	GENERAL STRUCTURAL NOTES II
S001	TYPICAL CONCRETE DETAILS
S010	TYPICAL WOOD DETAILS
S011	TYPICAL WOOD DETAILS
S012	TYPICAL WOOD DETAILS
S013	TYPICAL WOOD DETAILS
S014	TYPICAL WOOD DETAILS
S015	TYPICAL WOOD DETAILS
S100	FOUNDATION PLAN
S101	LOWER LEVEL FRAMING PLAN
S102	UPPER LEVEL FRAMING PLAN
S103	ROOF FRAMING PLAN
S500	FOUNDATION DETAILS
S800	WOOD DETAILS
S801	WOOD DETAILS

SITE CALCULATIONS	
<b>Site Information</b>	
Gross Site Area:	0.91 ac (39,639.6 sf)
Adjusted Site Area:	same
Zoning:	NL-3
Zoning Overlay:	N/A
<b>Zoning Summary:</b>	
Minimum LSP:	0.45 (17837.82 sf)
Floor Area Ratio (FAR)	0.4 (15,855.84 sf)
Min. Street Yard	20 feet
Min. Side Yard	10 feet
Min. Rear Yard	25 feet
Max. Height	28 feet
Parking Spots Required	2
<b>Floor Area of Existing Structure</b>	
First Floor	445 sf
Second Floor	1,447 sf
Garage	946 sf
Total	2,839 sf
<b>Floor Area of Proposed Structure</b>	
First Floor	1,123 sf
Second Floor	2,031 sf
Garage	946 sf
Total	4,100 sf
<b>Gross - above grade</b>	4,100 sf
<b>Floor Area Ratio</b>	(3,942 sf / 39,639.6 sf) = 0.10
Per Town of Jackson LDRs- Existing vegetation meets criteria for Plant Units per lot	

 **Generated by REScheck-Web Software**  
**Compliance Certificate**

**Project** Hermanson Pope Residence

Energy Code: **2021 IECC**  
Location: **Jackson, Wyoming**  
Construction Type: **Single-family Addition**  
Project Type: **Orientation: Bldg. faces 177 deg. from North**  
Climate Zone: **7 (9847 HDD)**  
Permit Date: **Permit Number:**

Construction Site: **1020 Budge Drive Jackson, WY 83001**  
Owner/Agent: **Chris Jaubert Atelier 43, LLC P.O. Box 4055 Jackson, WY 83001 307.249.8650 chris@a43design.com**

Designer/Contractor:

Drawing Title: **COVER**

Mechanic: **Windswpt West Galen Park PO Box 2251 Jackson, WY 83001 307.639.2452**

Project: **Hermanson-Pope Residence Nathan McRae 108 W Babcock St. Bozeman, MT 89715 406.562.9801**

G1.0

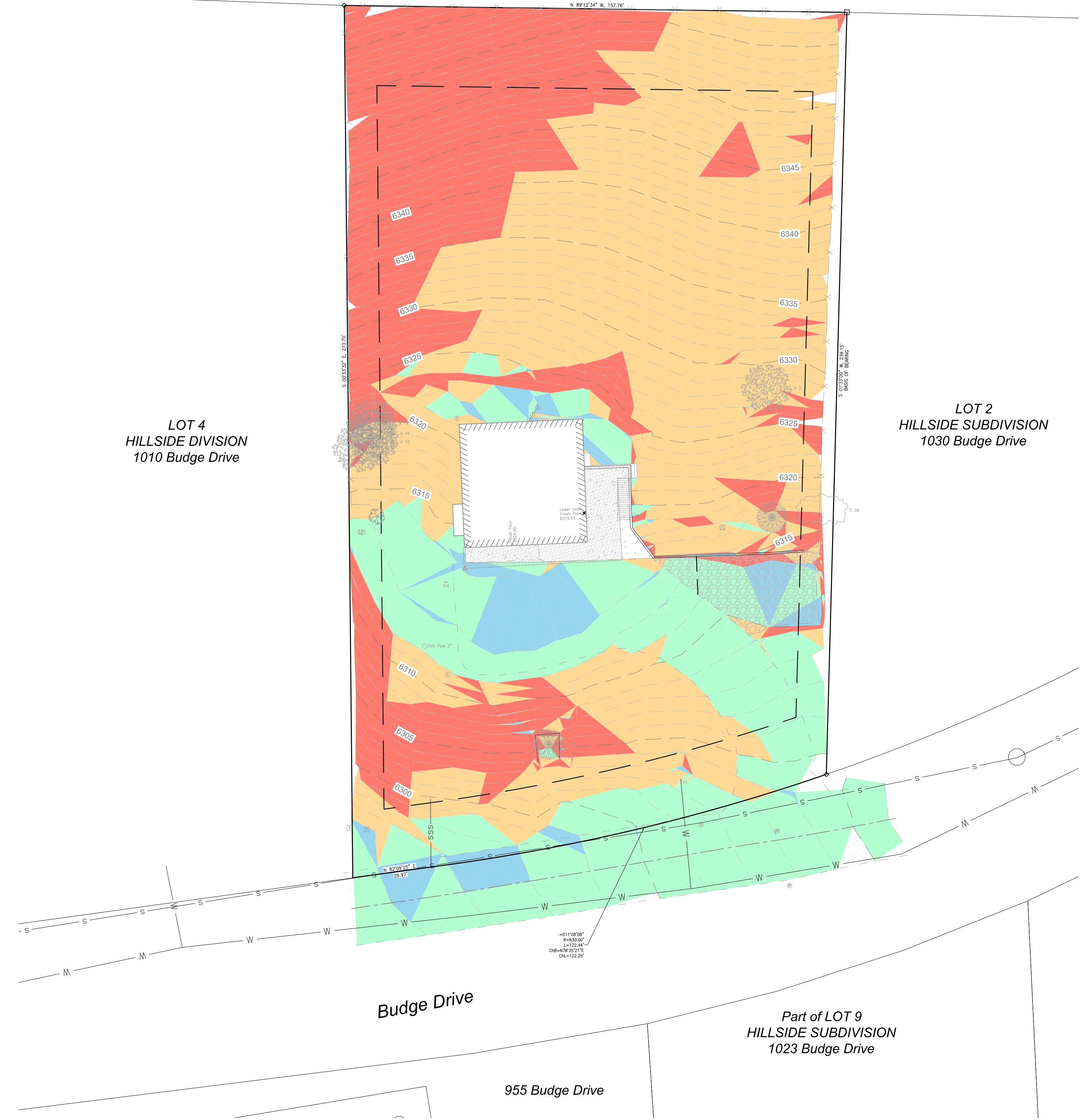
**Compliance: Passes using UA trade-off**  
Compliance: **7.9% Better Than Code** Maximum UA: **152** Your UA: **140**  
The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

1. Preliminary and final building staking to be verified in field by Architect prior to excavation.
2. Final building staking and all required surveying to be performed by licensed surveyor at contractor's expense
3. Contractor to notify architect of any problems with existing soil conditions or high water table immediately upon discovery. (Primarily during excavation)
4. All necessary pit run or road base material, imported for the construction of driveway, shall be figured into the cost of the general construction contract. Excess fill excavated for the house foundation, and not used for sloped grade at building perimeter as shown at building sections and site plan, may be used in the construction of the driveway. The unit cost of any additional imported pit run as may be required to provide berms for driveways shall be clearly indicated in the proposal / contract as a potential additional cost.
5. Contractor is responsible for providing, coordinating and supervising the trenching of utilities and services to and from building. Coordination shall include contractor's reasonable efforts to combine as many different utilities in common trenches as practicalities and good practice permit.
6. All site materials shall be compacted in 6" to 8" lifts, unless otherwise noted, to prevent settling of finish grade, walks, driveways, terraces, etc.
7. Removal of existing trees and other organic material cleared for the purpose of construction is the responsibility of the contractor.
8. Excavated top soil is to be retained and used as final ground cover. All disturbed areas, including rough grading at building perimeter and utility trenches are to be covered with top soil. Top soil shall be defined as min 4" deep, free of debris, waste, frozen material, vegetation or other deleterious matter and containing not more than 10% sand, gravel, clay or rocks - none of which may be larger than 1" in any direction.
9. Contractor to provide finish grading to match spot elevations as shown in floor plan. Finish grade is to be smooth even surface with raked finish to blend naturally with undisturbed existing grade.
10. Minimum slope away from house shall be 1/8" per foot.
11. Finish landscaping (including seeding and planting of new trees) is not part of this contract.
12. Cutting and patching of roadways to provide hookup are the responsibility of the General Contractor.
13. Location of all utilities to be verified with Architect. Gravel drive and parking to be constructed of min 4" of 3/4" crushed gravel over min 6" of road base (pit run or fill excavated from the site may be used if of proper composition). Elevate above surrounding grade and crown to provide positive drainage.
-

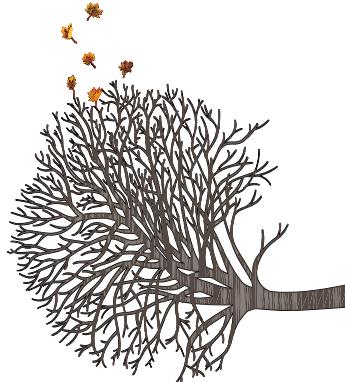
## STATE OF WYOMING

LOT 4  
*HILLSIDE DIVISION*  
1010 Budge Drive



LEGEND

- = PROPERTY LINE
- = SETBACK LINE
- = CENTERLINE OF ROAD
- = FENCE LINE
- = RETAINING WALL
- = SANITARY SEWER LINE (PER TOWN OF JACKSON GIS)
- = WATER LINE (PER TOWN OF JACKSON GIS)

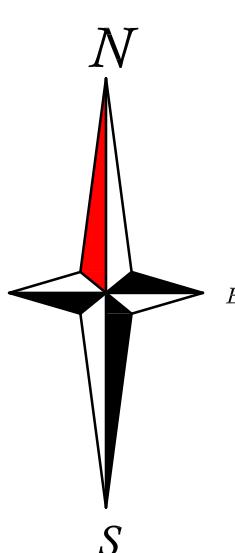


An illustration of a tree with a dense, sprawling canopy of thin branches. The tree is oriented horizontally, with its trunk and branches curving to the right. Five orange autumn leaves are shown falling from the upper left, drifting towards the right, which is the direction the tree is leaning. The background is plain white.

Project Title:  
**HERMANSON-POPE ADDITION**  
**MERRIL AND JOSHUA POPE**  
**22-41-16-32-1-03-003**  
**1020 BUDGE DRIVE**  
**TOWN OF JACKSON**

# EXISTING CONDITIONS AND SLOPES PRE-APPLICATION CONFERENCE REQUEST PLAN SET

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0%	5%	
2	5%	15%	
3	15%	30%	
4	30%	26511%	



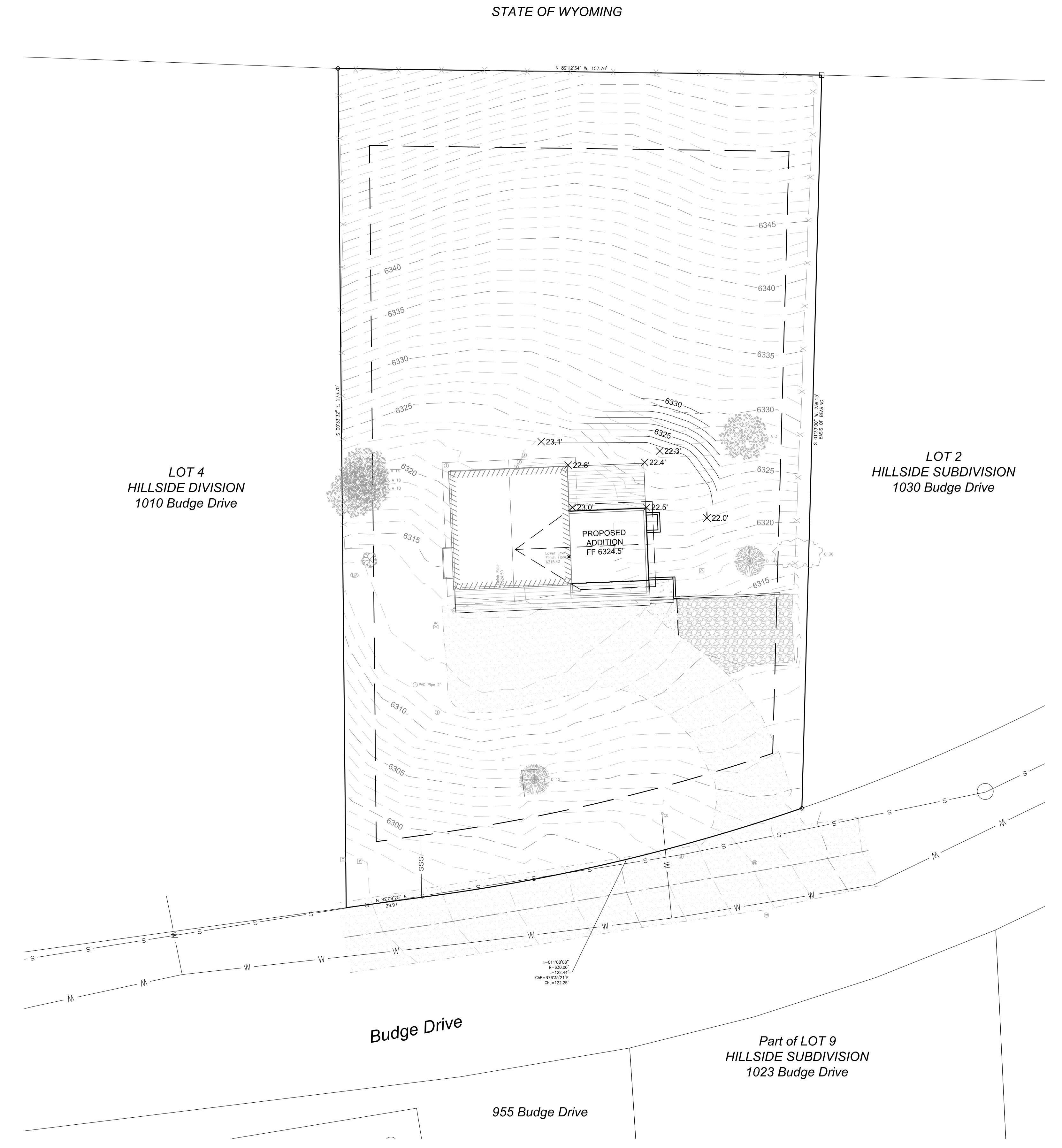
# PRELIMINARY

SUBJECT TO CHANGES AND UPDATES

0 20' 40' 60'

SCALE: 1" = 20'  
FOR SHEETS SIZED 24X36

Date: 03/03/2022



PRELIMINARY  
SUBJECT TO CHANGES AND UPDATES

0 20' 40' 60'  
SCALE: 1" = 20'  
FOR SHEETS SIZED 24X36

C 1.2  
Date: 03/03/2022

Project Title: HERMANSON-POPE ADDITION  
MERRIL AND JOSHUA POPE  
22-41-16-32-1-03-003  
1020 BUDGE DRIVE  
TOWN OF JACKSON

Sheet Title: PRE-APPLICATION  
CONFERENCE REQUEST  
PLAN SET

Ver: PRE-APP 03/03/22  
Ver:  
Ver:  
Ver:  
Ver:

Project: 22001  
Ver:  
Ver:  
Ver:  
Ver:

LIGHTING FIXTURES SCHEDULE:

Type	Mark	Description	Manufacturer	Series / Model	Lamp	Type Comments
A		Recessed Can	Juno	IC1LED G4 09LM 27K 90CRI	LED	14 WWH Trim
B		Surface Mount Vanity Light	TBD	TBD	TBD	
C		Wet Rated Recessed Can	Juno	IC1LED G4 09LM 27K 90CRI	LED	4101 WH Trim
D		Exterior Sconce	Modern Forms	MFMP122257	LED	Wet Location Rated

APPLIANCE SCHEDULE:

Type	Mark	Description	Manufacturer	Model	Size	Comments
A-1		French Door Bottom Freezer Refrigerator	Kenmore	73029	35 7/8" x 33 3/4"	
A-2		Combination Washer/Electric Dryer	GE	GUD27ESSMW	26 3/4" x 30 7/8" x 75 7/8"	
A-3		Electric Water Heater	Rheem	XE80T10H45U0	80 Gallon	

PLUMBING FIXTURE SCHEDULE:

Type	Mark	Description	Manufacturer	Model	Size	Comments
P-1		Toilet	Kohler	K-31621-0		
P-2		Bathtub	Kohler	K-847-0	66" x 32"	
P-3		Rain Shower Head	Kohler	K-3689-CP		
P-4		Shower Kit	Kohler	K-22181-CP		
P-5		Vanity Sink	Kohler	K-2882-0	19 13/16" x 15 5/8"	
P-6		Vanity Sink Faucet	Kohler	K-23255-4-CP		
P-7		Kitchen Sink	Kohler	K-5871-5UA3-0	33" x 22"	
P-8		Kitchen Sink Faucet	Kohler	K-24982-CP		
P-9		Bar Sink	Kohler	K-3325-NA	23" x 17 1/2"	
P-10		Bar Sink Faucet	Kohler	K-7505-CP		

MECHANICAL EQUIPMENT SCHEDULE:

Mark	Description	Manufacturer	Model	Fuel Type	Design Size	Comments
ST-1	Heat & Glo Gas Burning Fireplace - COSMO 32 LP as Specified	Heat & Glo	SLR32	LP		

WINDOW SCHEDULE:

Mark	Manufacturer	Model	Unit Size			Comments
			Width	Height	Head Height	
A	T.B.D.	Standard Casement Operating Window Unit	2' - 6"	4' - 0"	7' - 0"	
B	T.B.D.	Standard Fixed Window Unit	4' - 0"	4' - 0"	7' - 0"	
C	T.B.D.	Standard Casement Operating Window Unit	2' - 0"	4' - 0"	<varies>	
D	T.B.D.	Standard Casement Operating Window Unit	3' - 0"	3' - 6"	7' - 0"	
E	T.B.D.	Standard Fixed Window Unit	1' - 9 3/4"	5' - 6"	6' - 10 1/4"	V.I.F.
F	T.B.D.	Standard Fixed Window Unit	4' - 10 1/2"	5' - 6"	6' - 10 1/4"	V.I.F.

WINDOW NOTES:

1. All windows brand to be determined
2. All windows to be .32 u-value or better
3. Exterior finish color to be determined
4. Interior finish wood to be determined
5. Interior trim to be painted wood - see details
6. Header height to be determined
7. GC to provide samples to confirm color selection. See exterior elevations for operation.
8. All windows to be manufactured for high altitude use.
9. Verify all egress windows
10. Verify all tempered windows

-all windows located within 24" horizontally of doors and less than 60" AFF  
-all windows with net glazing area that is greater than 9 square feet and is less than 18" AFF unless uninterrupted by structural horizontal members from 34" to 38" AFF.  
-in all tub and shower enclosures.  
-in any window located at a stairway landing enclosure and any window located within 60" of the top or bottom of a stairway if the bottom of the glazing is less than 60" AFF.  
-in all doors.

DOOR SCHEDULE:

Door Number	Width	Height	Door Type	Function	Comments
101	3' - 0"	6' - 8"	Swing Solid Panel Door	Exterior	
102	3' - 0"	6' - 8"	Swing Solid Panel Door	Interior	
104	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
105	3' - 0"	6' - 8"	Cased Opening	Interior	
106	2' - 6"	6' - 8"	Bifold Door	Interior	
107	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
108	5' - 0"	6' - 8"	Bifold Door	Interior	
109	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
110	2' - 6"	7' - 0"	Pocket Door	Interior	
111	3' - 0"	6' - 8"	Swing Solid Panel Door	Exterior	
201	6' - 0"	6' - 8"	Lift and Slide	Exterior	
202	4' - 0"	7' - 0"	Solid Panel Barn Door	Interior	
203	2' - 6"	7' - 0"	Swing Solid Panel Door	Interior	
204	2' - 4"	7' - 0"	Pocket Door	Interior	
205	6' - 0"	6' - 8"	Lift and Slide	Exterior	
206	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
207	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
208	2' - 6"	6' - 8"	Solid glass shower door	Interior	

DOOR NOTES:

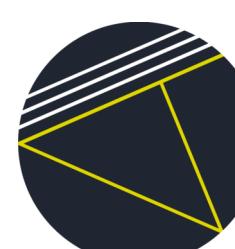
1. Exterior entry doors to be same brand/ series as windows.
2. Door hardware to be determined
3. Lever handle, hinges, and door stop material to be determined
4. All closet doors to be 1 3/8" thick, solid core, birch veneer, flat panel
5. Verify all tempered glass

Date: 2022-04-04  
Drawing Title: SCHEDULES

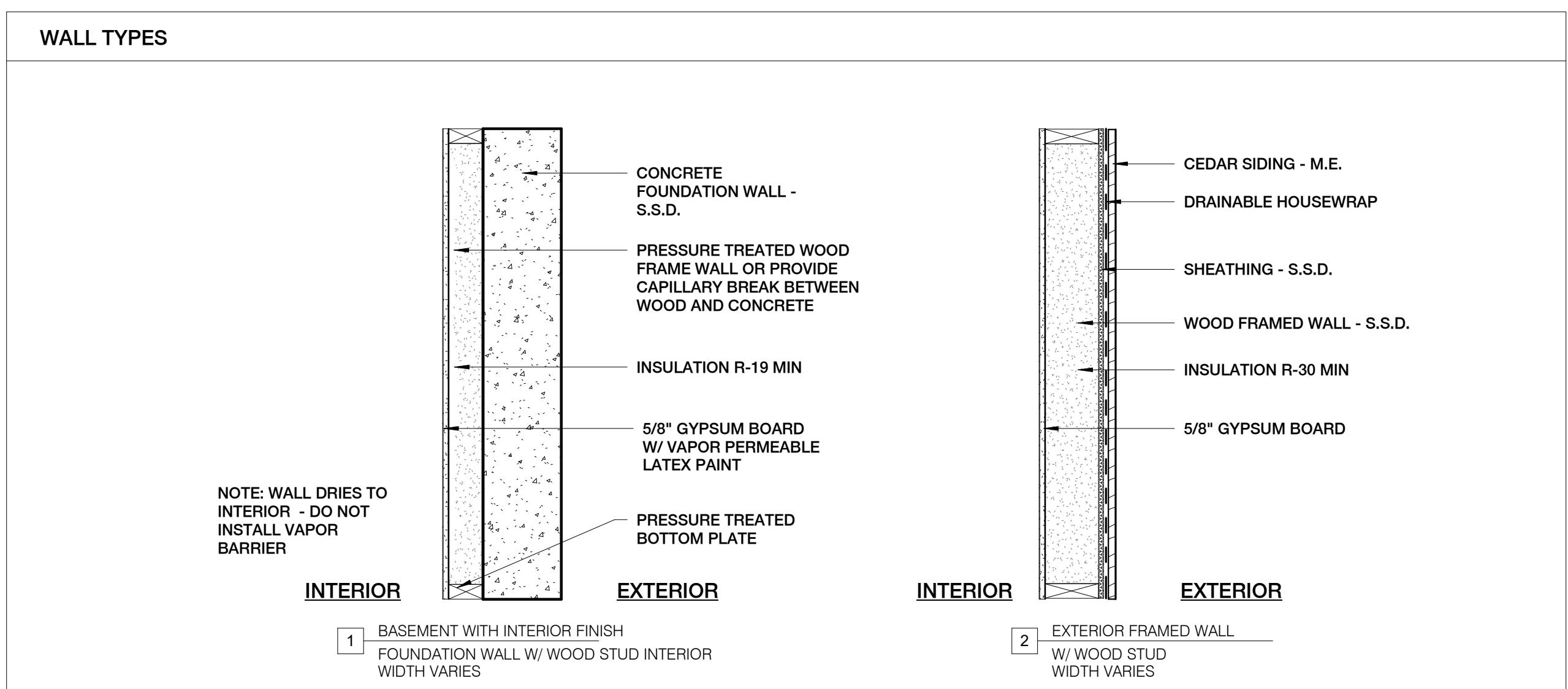
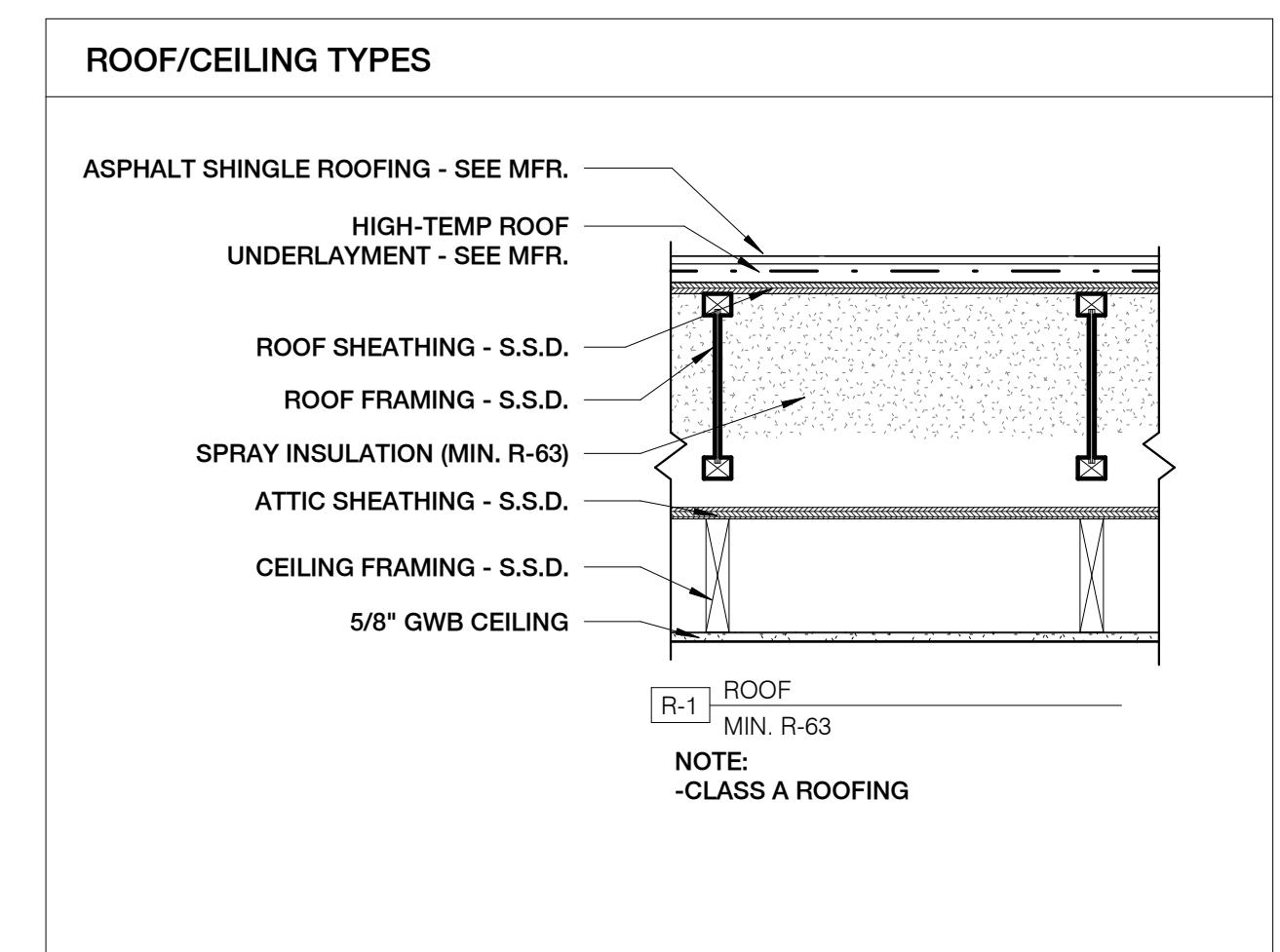
Mechanic: Civil: Windswept West  
Galen Park  
PO Box 2251  
Jackson, WY 83001  
307-639-2492

Client: Merrill & Josh Pope  
Project: Hernandez-Pope Residence  
Atelier 48, LLC  
1020 Budge Drive, Jackson,  
WY 83001

Struct: INEG Corp.  
Nathan McRae  
108 W Babcock St  
Bozeman, MT 89715  
406-582-3901

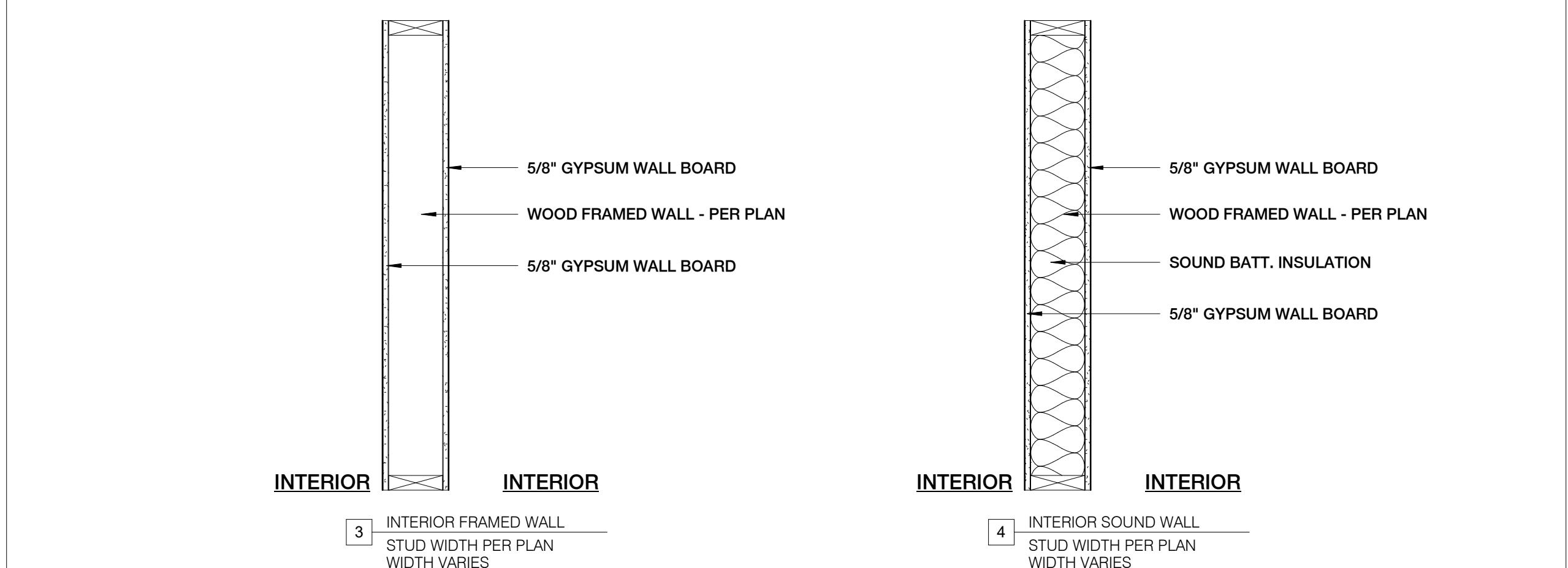


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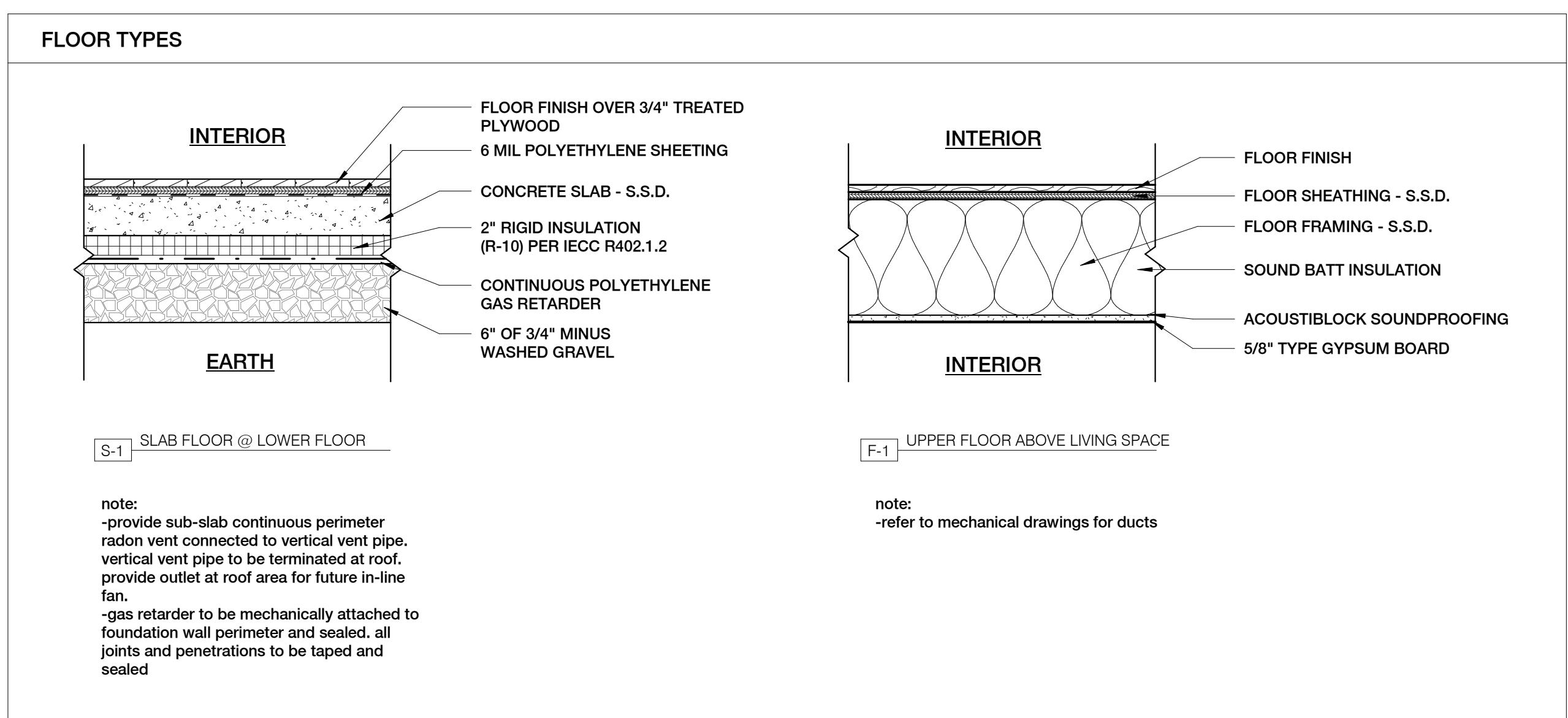


Drawing Title: WALL, FLOOR, AND ROOF TYPES  
Date: 2022.03.04

Mechanic: Windswept West  
Galen Park  
Jackson, WY 83001  
307-699-2452



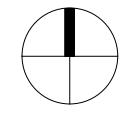
Client: Nathan McRindle  
Atelier 43, LLC  
1020 Budge Drive, Jackson,  
WY 83001  
Office: 63 Mercier Ave  
Jackson, WY 83001  
Phone: 307-245-8950



Project: Hermanson-Pope Residence  
Atelier 43, LLC  
1020 Budge Drive, Jackson,  
WY 83001  
Office: 63 Mercier Ave  
Jackson, WY 83001  
Phone: 307-245-8950



G1.2



Date: 03.04.2022

Drawing Title: LOWER FLOOR PLAN - DEMO

Mechanicat:

Civil: Windswept West  
Galen Park  
Jackson, MI 49201

Client: Merrill &amp; Josh Pope

Project: Hermanson+Pope Residence  
1020 Budde Drive, Jackson,  
MI 49201Struct: IMEG Corp.  
Nathan McElrath  
Bozeman, MT 59715  
406.562.9901

Architect: Atelier 43, LLC

mail: PO Box 4055

Jackson, MI 49201

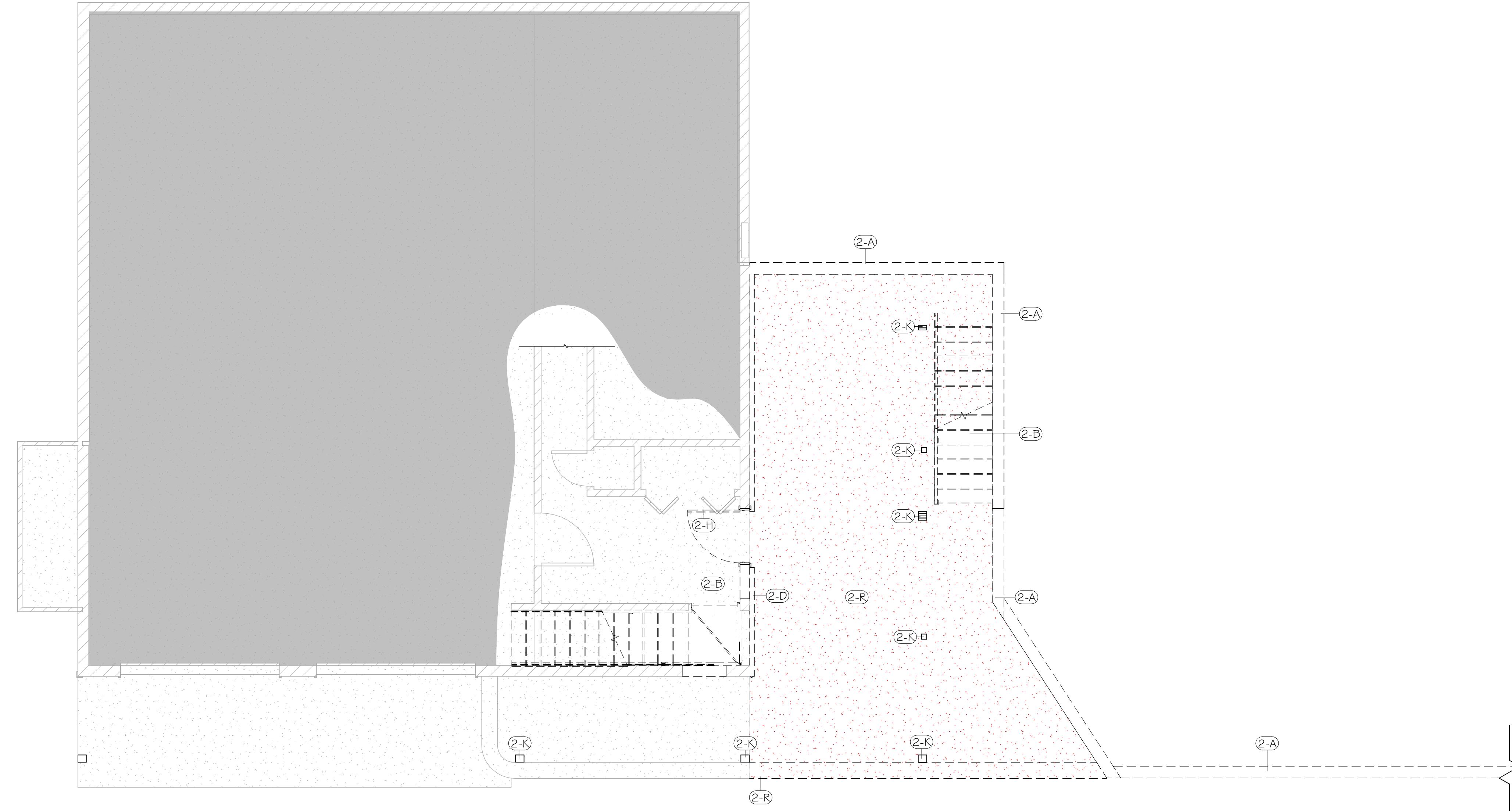
office: 63 Merrill Ave

Jackson, MI 49201

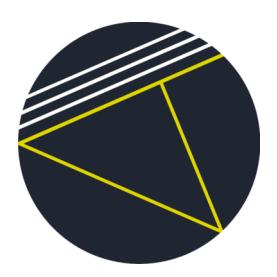
phone: 307.245.8950

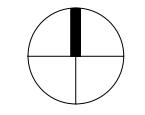
A1.1

Key Value	Keynote Text
2-A	DEMO WALL
2-B	DEMO STAIR
2-C	DEMO FLOORING
2-D	DEMO STONE VENEER
2-E	DEMO SIDING
2-F	DEMO DECK
2-G	DEMO PLUMBING FIXTURES
2-H	DEMO DOOR
2-J	DEMO WINDOW
2-K	DEMO FRAMING
2-L	DEMO COUNTERTOP
2-M	DEMO ROOFING
2-N	DEMO ROOF FRAMING
2-P	DEMO APPLIANCES
2-Q	DEMO FASCIA
2-R	DEMO SLAB



1 LOWER FLOOR PLAN - DEMO  
1/4" = 1'-0"





Date: 03/04/2022

Drawing Title: UPPER FLOOR PLAN - DEMO

Mechanicid:

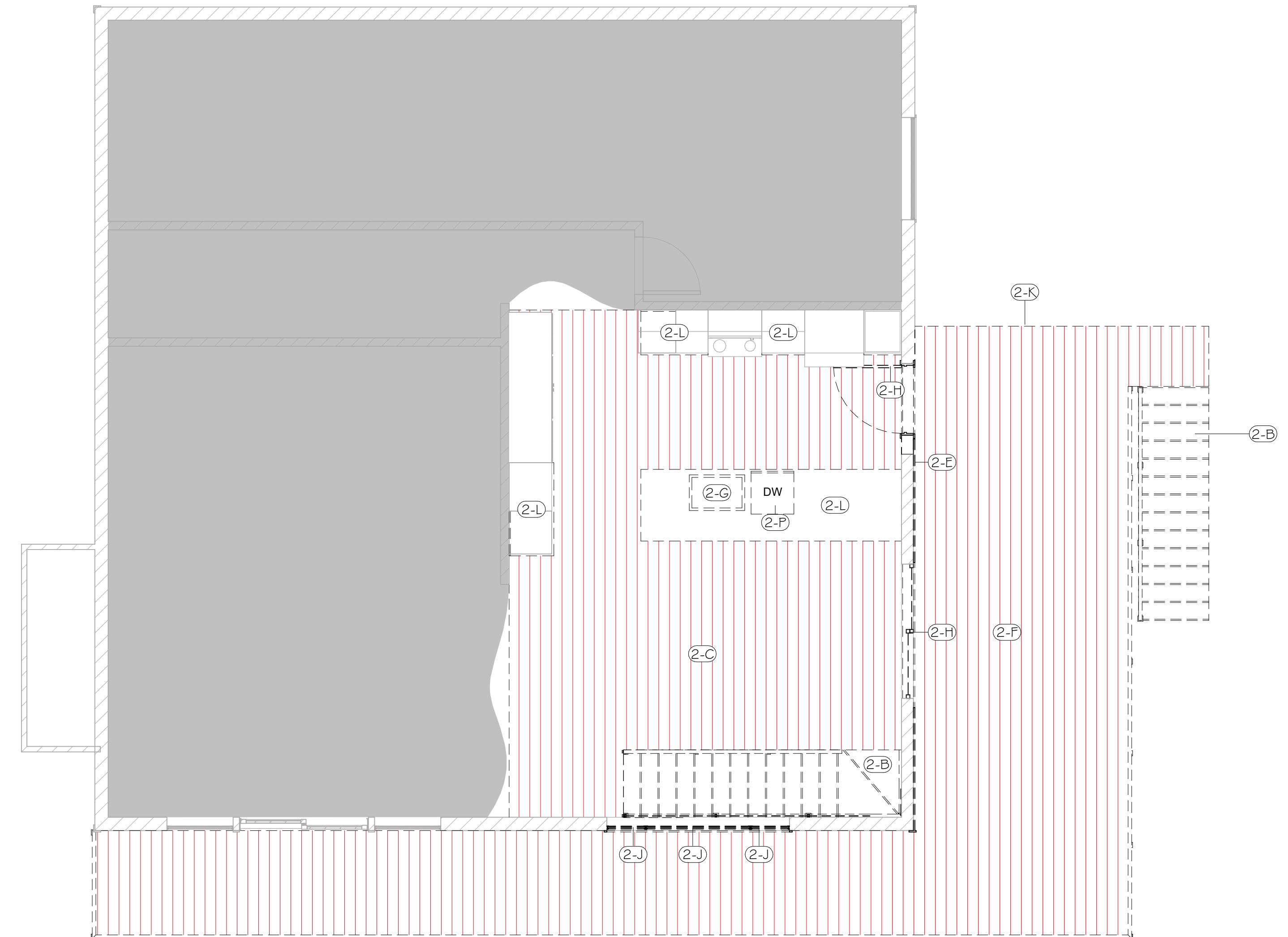
Civil: Windswept West  
Galen Park  
Bozeman, MT 59715  
406.589.2452

Client: Merrill &amp; Josh Pope

Project: Hermanson-Pope Residence  
1020 Budde Drive, Jackson,  
WY 83001Architect: Atelier 43, LLC  
Attn: PO Box 4055  
mail: Jackson, WY 83001  
office: 63 Merrill Ave  
Jackson, WY 83001  
phone: 307.245.8950

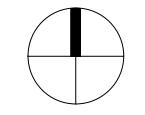
A1.2

Key Value	Keynote Text
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2-B	DEMO STAIR
2-C	DEMO FLOORING
2-D	DEMO STONE VENEER
2-E	DEMO SIDING
2-F	DEMO DECK
2-G	DEMO PLUMBING FIXTURES
2-H	DEMO DOOR
2-J	DEMO WINDOW
2-K	DEMO FRAMING
2-L	DEMO COUNTERTOP
2-M	DEMO ROOFING
2-N	DEMO ROOF FRAMING
2-P	DEMO APPLIANCES
2-Q	DEMO FASCIA
2-R	DEMO SLAB



1 UPPER FLOOR PLAN - DEMO  
1/4" = 1'-0"





Key Value	Keynote Text
2-A	DEMO WALL
2-B	DEMO STAIR
2-C	DEMO FLOORING
2-D	DEMO STONE VENEER
2-E	DEMO SIDING
2-F	DEMO DECK
2-G	DEMO PLUMBING FIXTURES
2-H	DEMO DOOR
2-J	DEMO WINDOW
2-K	DEMO FRAMING
2-L	DEMO COUNTERTOP
2-M	DEMO ROOFING
2-N	DEMO ROOF FRAMING
2-P	DEMO APPLIANCES
2-Q	DEMO FASCIA
2-R	DEMO SLAB

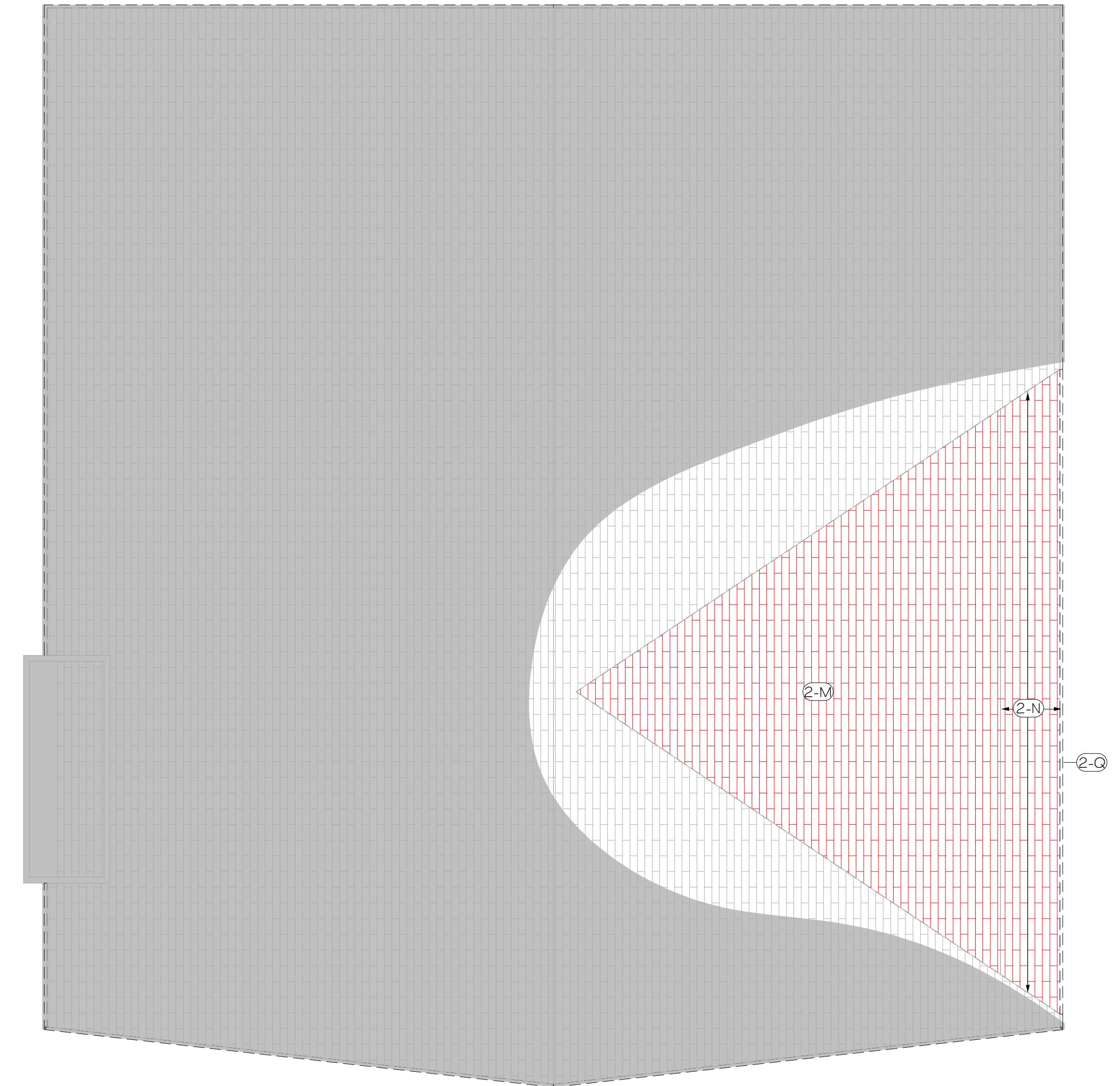
Date: 2022-03-04

Drawing Title: ROOF PLAN - DEMO

Mechanicat:

Civil: Windswept West  
Galen Park  
PO Box 2251  
Jackson, WY 83001  
307-699-2452

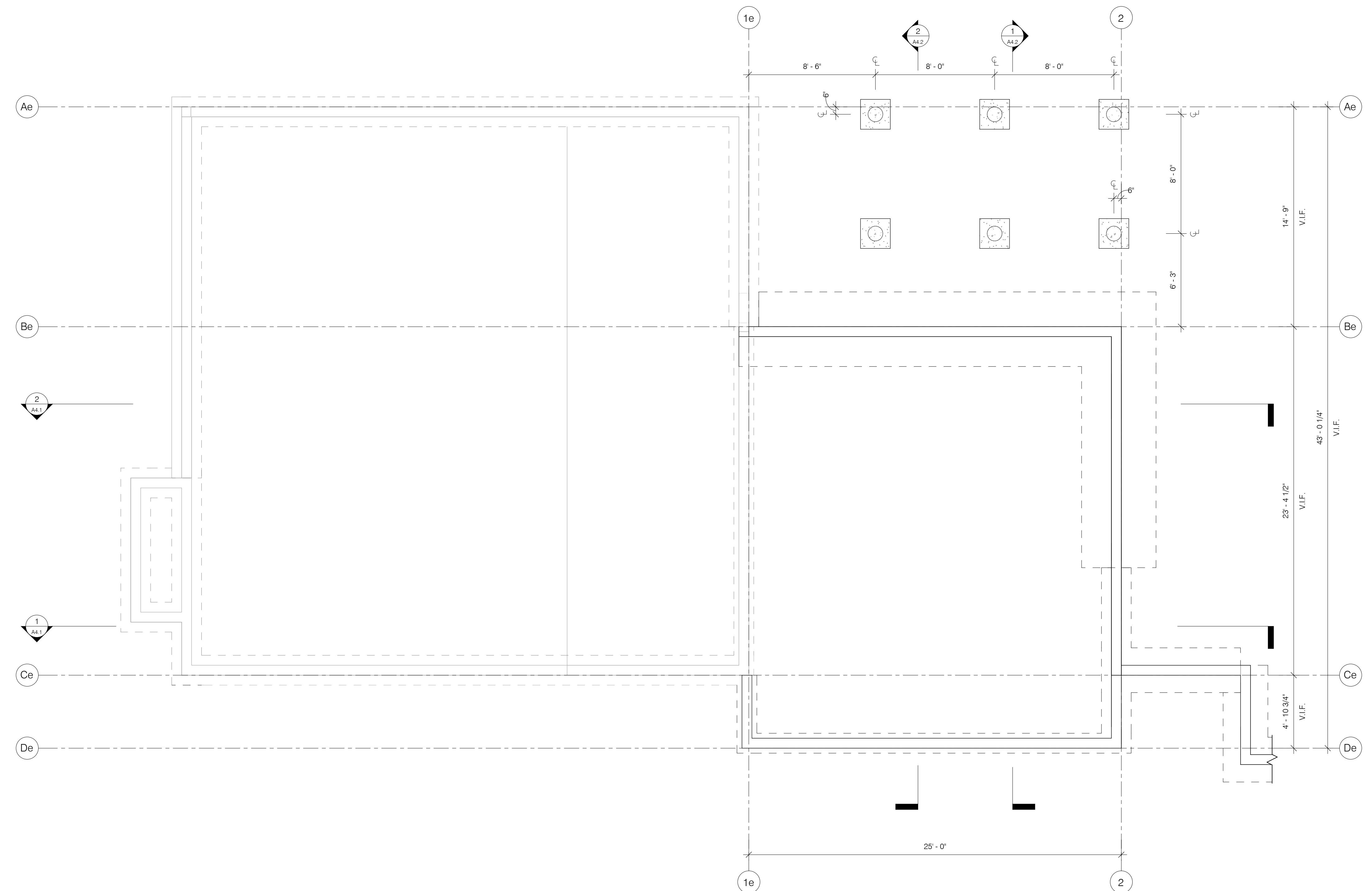
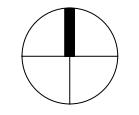
Client: Merrill &amp; Josh Pope

Project: Hermanson-Pope Residence  
1020 Budger Drive, Jackson,  
WY 83001Architect: Atelier 43, LLC  
Atelier 43, LLC  
PO Box 4055  
mail Jackson, WY 83001  
office 63 Merrill Ave  
Jackson, WY 83001  
phone 307-245-89501 ROOF PLAN - DEMO  
1/4" = 1'-0"

A1.3

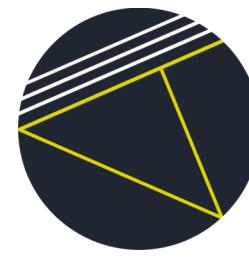
## **GENERAL PLAN NOTES:**

- All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.



# 1 FOUNDATION PLAN - PROPOSED

1/4" = 1'-0"



A2.0

**Date**  
2022.03.04

# Drawing Title

## FOUNDATION PLAN

**Mechanical:**  
Windswept West  
Galen Parke  
PO Box 2281  
Laramie, WY 82001

**Civil:** Windswept West  
Galen Parke  
PO Box 2281  
Jackson, WY 83001  
307.699.2492

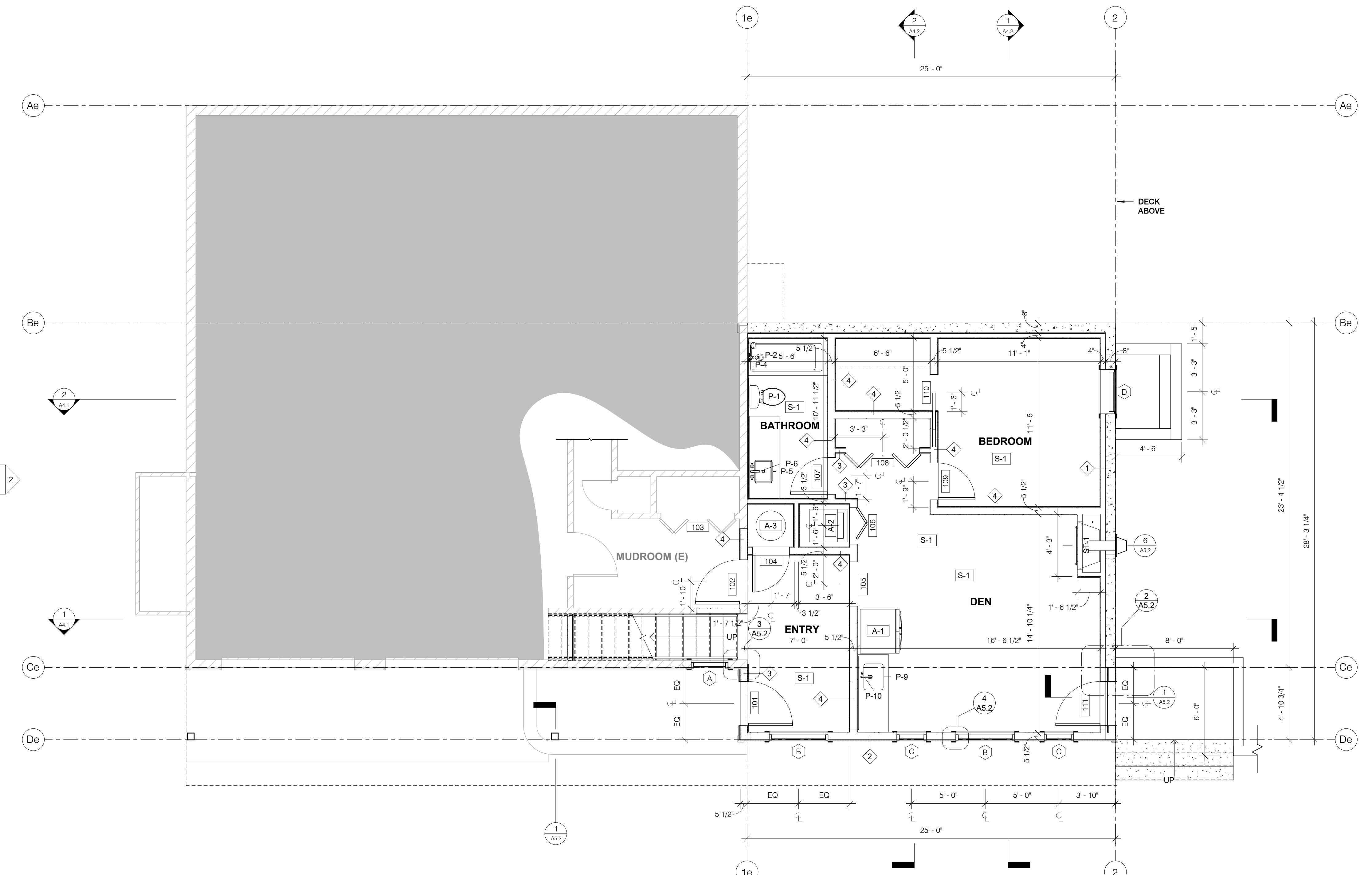
**Structural:** EGG Corp.  
Matthew McBride  
8 W Babcock St  
Billings, MT 59175  
406.582.9901

**Architect:** Atelier 43, LLC  
mail PO Box 4055  
Jackson, WY 83001  
office 65 Mercill Ave  
Jackson, WY 83001

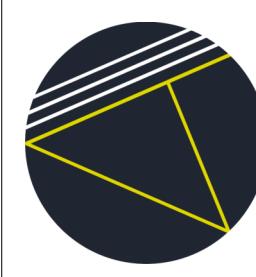
**Client:** Merrill & Josh Pope  
Hermanson-Pope Residence  
1020 Budge Drive, Jackson,  
WY 83001

**GENERAL PLAN NOTES:**

1. All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.



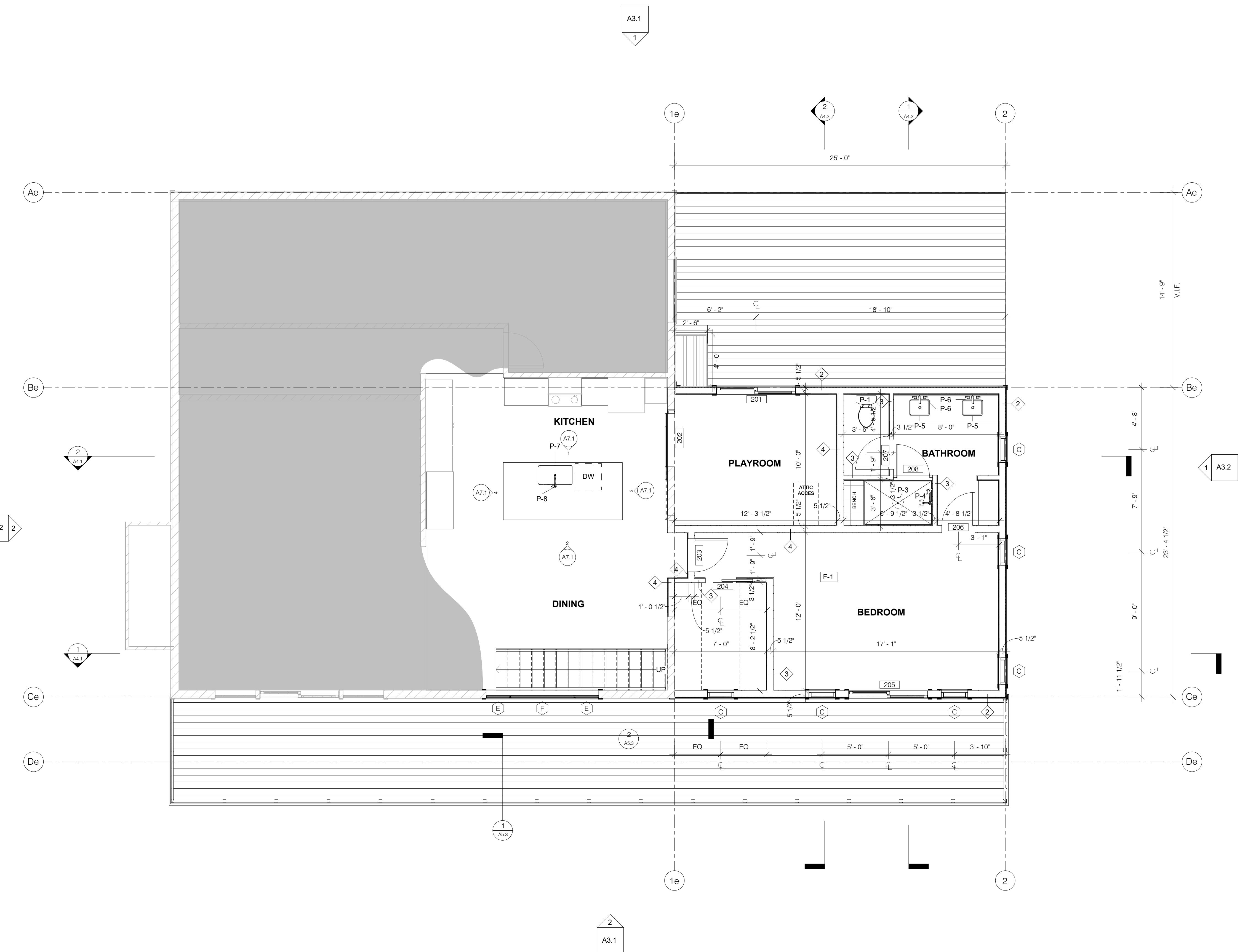
1 LOWER FLOOR PLAN - PROPOSED  
1/4" = 1'-0"



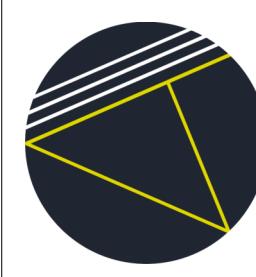
A2.1

**GENERAL PLAN NOTES:**

1. All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.



1 UPPER FLOOR PLAN - PROPOSED  
1/4" = 1'-0"



A2.2

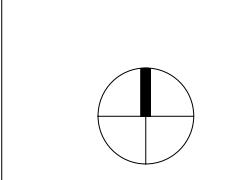
Drawing Title: UPPER FLOOR PLAN  
Date: 2022.03.04

Client: Merrill & Josh Pope  
Struct: WIndswept West  
Galen Park  
Bozeman, MT 59715  
406.562.3901

Architect: Atelier 43, LLC  
Project: Hermanson-Pope Residence  
1020 Budge Drive, Jackson,  
WY 83001  
mail: PO Box 4055  
office: 63 Merrill Ave  
phone: 307.249.8950

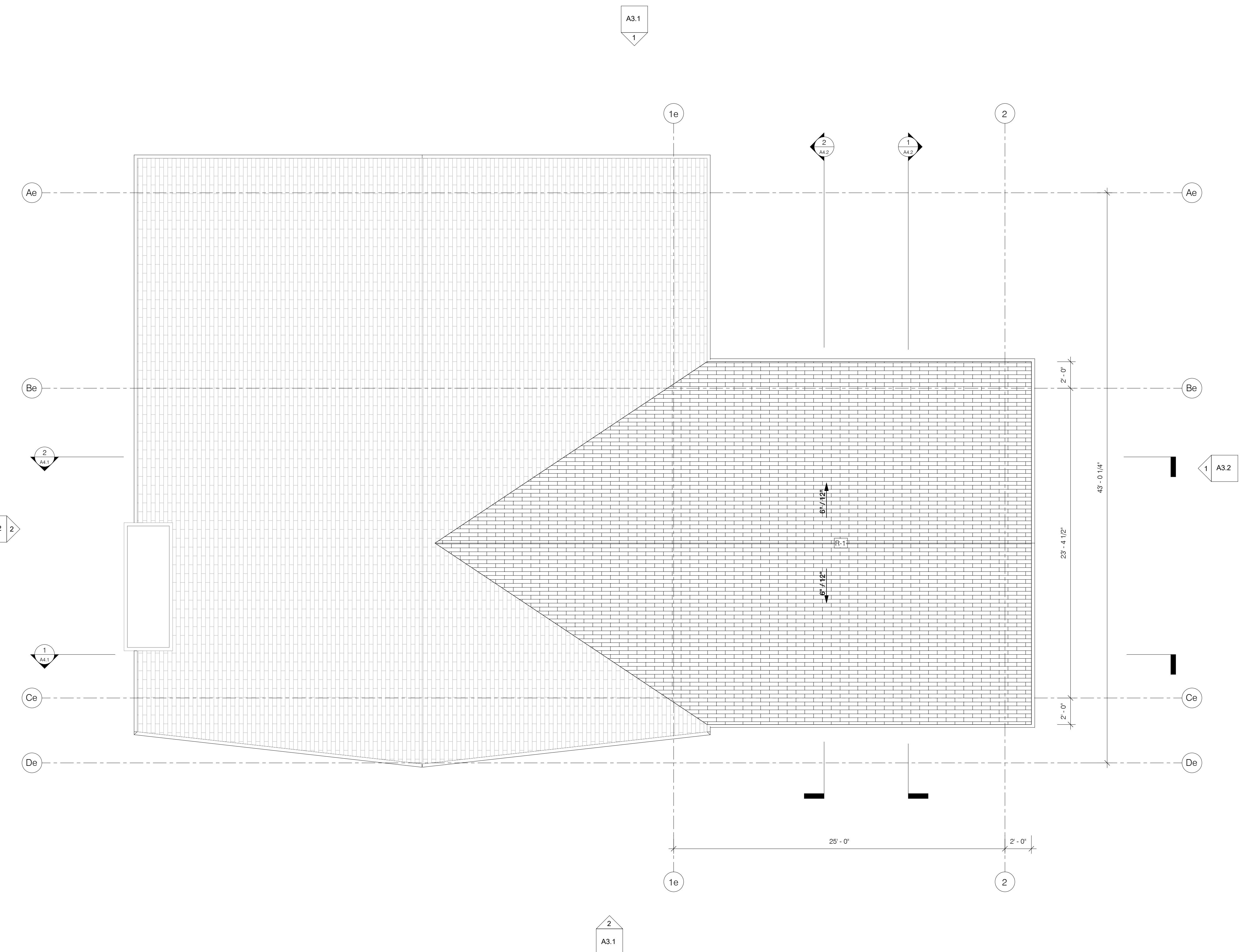
Architect: Atelier 43, LLC  
Project: Hermanson-Pope Residence  
1020 Budge Drive, Jackson,  
WY 83001  
mail: PO Box 4055  
office: 63 Merrill Ave  
phone: 307.249.8950

Drawing Title: UPPER FLOOR PLAN  
Date: 2022.03.04

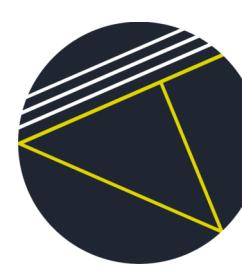


**GENERAL PLAN NOTES:**

1. All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.



1 ROOF PLAN - PROPOSED  
1/4" = 1'-0"



A2.3

## MATERIAL SCHEDULE:

- 1 ASPHALT SHINGLE ROOFING
- 2 HORIZONTAL CEDAR SIDING
- 3 CAST-IN-PLACE CONCRETE
- 4 TRIM
- 5 DECKING
- 6 TIMBER FRAMING
- 7 WOOD FASCIA
- 8 STEEL GUARDRAIL PAINTED

NOTE: MATCH EXISTING ON ALL EXT. FINISHES.

Date: 2022.03.04

Drawing Title: BUILDING ELEVATIONS

Mechanicat:

Civil: Windswept West  
Galen Park  
PO Box 2251  
Jackson, WY 83001  
307.699.2452

Struct: INEG Corp.  
Nathan McIndoe  
Bozeman, MT 59715  
406.582.9901

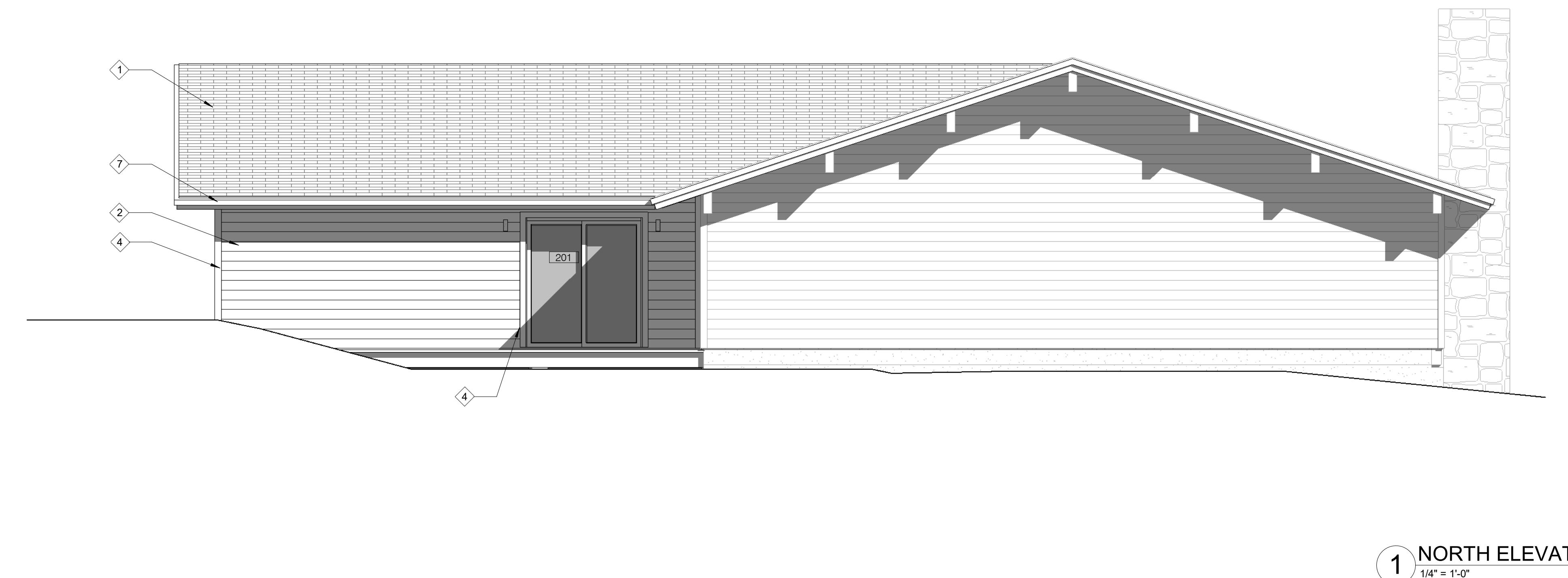
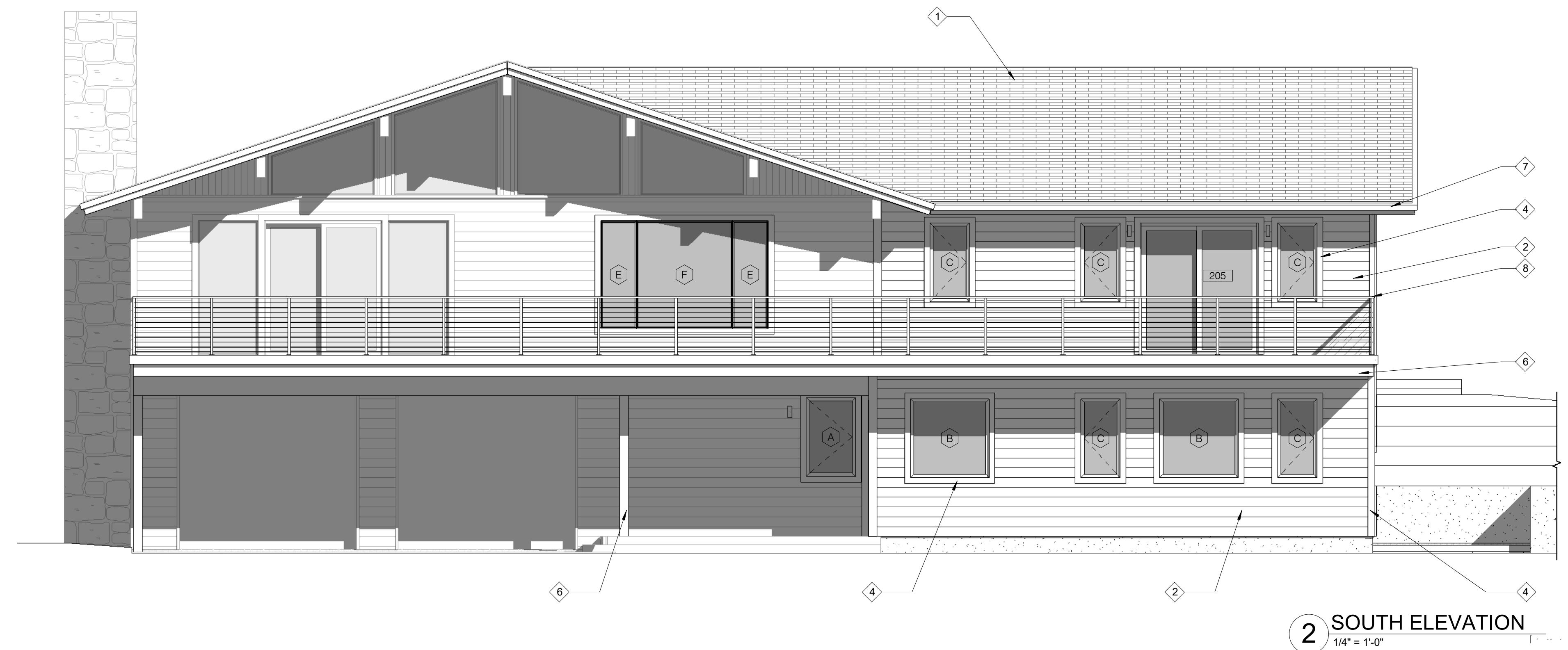
Client: Merrill & Josh Pope

Project: Hermanson-Pope Residence  
Hermanson Bridge Drive, Jackson,  
WY 83001

Architect: Atelier 43, LLC  
Atelier 43, LLC  
PO Box 4055  
mail Jackson, WY 83001  
office 63 Merrill Ave  
Jackson, WY 83001  
phone 307.245.8950



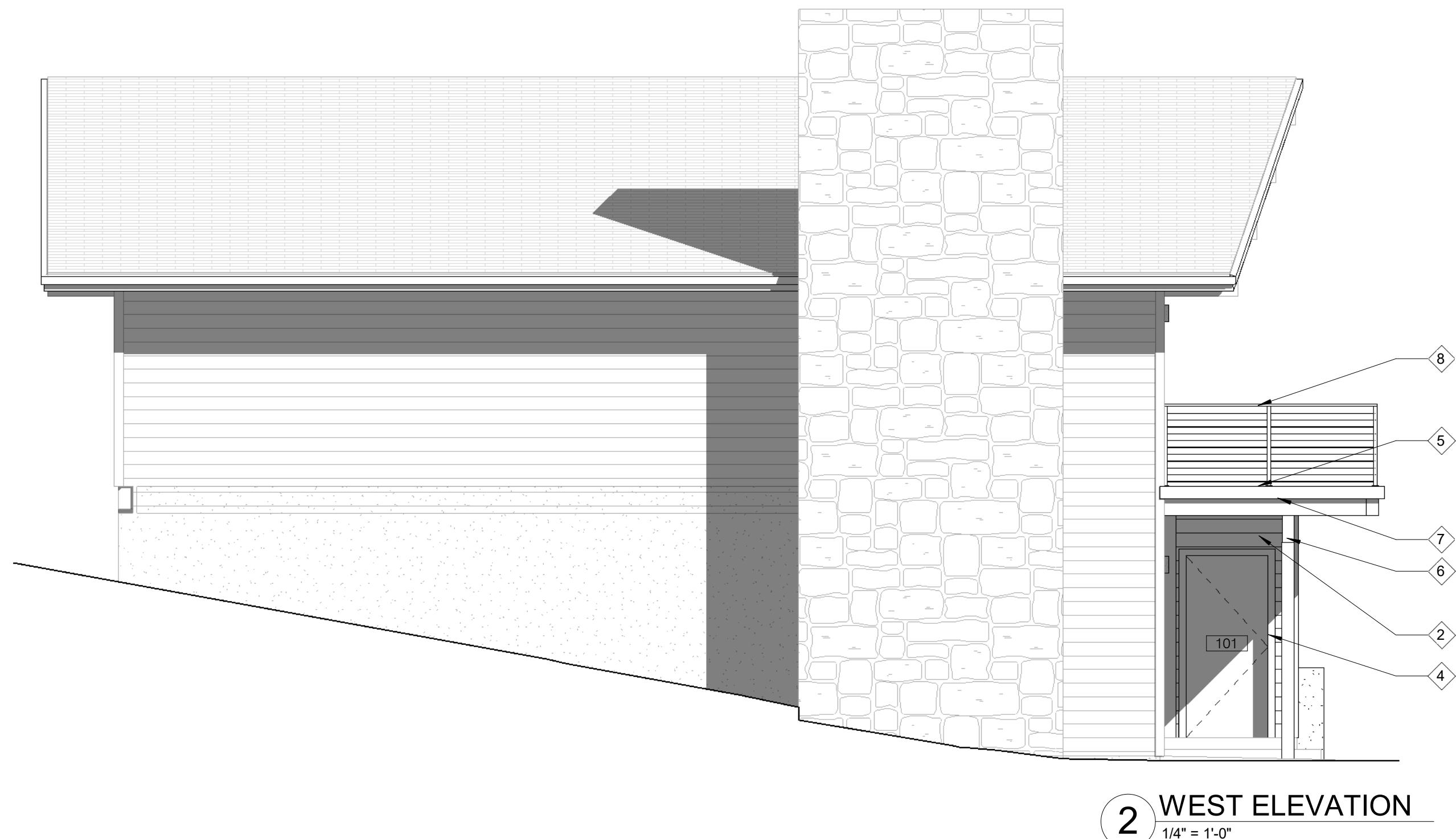
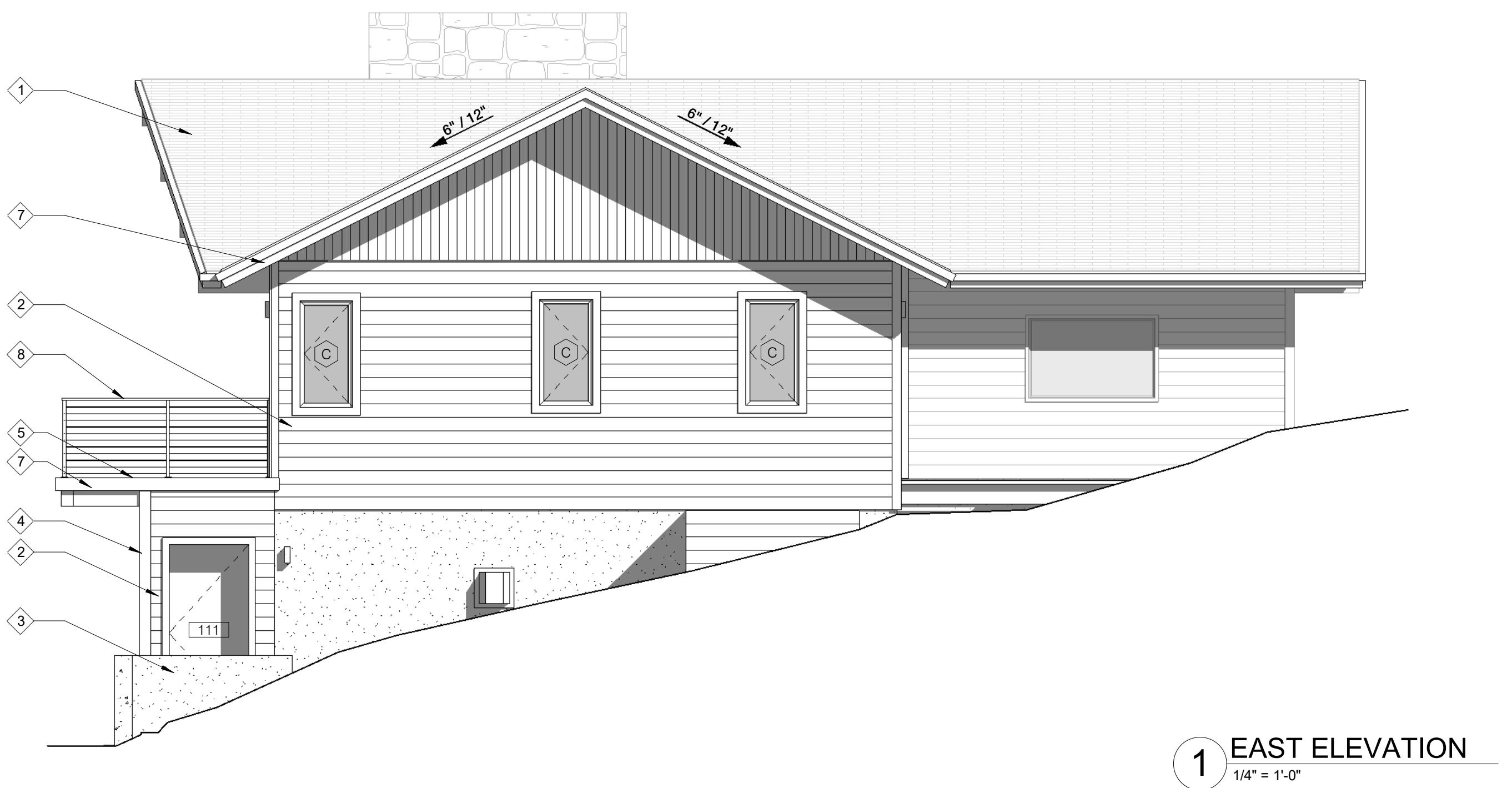
A3.1



## MATERIAL SCHEDULE:

- 1 ASPHALT SHINGLE ROOFING
- 2 HORIZONTAL CEDAR SIDING
- 3 CAST-IN-PLACE CONCRETE
- 4 TRIM
- 5 DECKING
- 6 TIMBER FRAMING
- 7 WOOD FASCIA
- 8 STEEL GUARDRAIL PAINTED

NOTE: M.E. ON ALL EXT. FINISHES.



Date: 2022.03.04

Drawing Title: BUILDING ELEVATIONS

Mechanicat:

Civil: Windswept West  
Galen Park  
PO Box 2251  
Jackson, WY 83001  
307.699.2492

Client: Merrill &amp; Josh Pope

Project: Hermanson+Pope Residence  
1020 Budge Drive, Jackson,  
WY 83001Struct: IMEG Corp.  
Nathan McRae  
Bozeman, MT 59715  
406.582.9901Architect: Atelier 43, LLC  
Atelier 43, LLC  
PO Box 4055  
Jackson, WY  
83001

Mechanicat: Merrill &amp; Josh Pope

Civil: Hermanson+Pope Residence  
1020 Budge Drive, Jackson,  
WY 83001

Client: Atelier 43, LLC

Project: Hermanson+Pope Residence  
1020 Budge Drive, Jackson,  
WY 83001Struct: IMEG Corp.  
Nathan McRae  
Bozeman, MT 59715  
406.582.9901