



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: March 4, 2022	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 1020 Budge Dr., legally known as LOT 3, HILLSIDE SUBDIVISION PIDNs: 22-41-16-32-1-03-003 For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P22-050	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Email: tvalentine@jacksonwy.gov	
Owner: Merrill Hermanson & Joshua Pope PO Box 2664 Jackson, WY 83001 Applicant: Chris Jaubert – A43 Architecture PO Box 4055 Jackson, WY 83001	
Please respond by: March 14, 2022 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to: blenz@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title

LETTER OF AUTHORIZATION

Merrill Hermanson & Josh Pope

,"Owner" whose address is: 1020 Budge Dr.

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

, as the owner of property
more specifically legally described as: LOT 3, HILLSIDE SUBD. PIN 22-41-16-32-1-03-003

(If too lengthy, attach description)

HEREBY AUTHORIZES Chris Jaubert - A43 Architecture

as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title:

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming)

)SS.

COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Josh Pope this 24th day of November, 2021.

WITNESS my hand and official seal.

(Seal)

(Notary Public)

My commission expires: 5/1/2024





Hermanson-Pope Residence – Remodel/Addition 1020 Budge Drive

Project Narrative

The existing single-family residence is located on a sloped site in the NL-3 zone. The project consists of a 1,261sf addition that will include a new entry to the existing home as well as an attached junior suite with a new primary suite above. At the same time, we will be replacing the wood deck on the South of the home and adding a new deck on the back of the addition.

ABBREVIATIONS			
ADJ.	Adjustable/ Adjacent	MAX.	Maximum
A.F.F.	Above Finish Floor	MECH.	Mechanical
ALT.	Alternate	MEMB.W.P.	Membrane Waterproofing
ALUM.	Aluminum	MFR.	Manufacturer
APPROX.	Approximate	MIN.	Minimum
ARCH.	Architectural/Architect	MISC	Miscellaneous
		M.O.	Masonry Opening
BD.	Board	MTL.	Metal
BLDG.	Building	M.E.	Match Existing
B.M.	Bench Mark		
B.O.	Bottom Of	(N)	New
BRG.	Bearing	NEC.	Necessary
BSMT.	Basement	N.I.C.	Not in Contact
BTM.	Bottom	NOM.	Nominal
		N.T.S.	Not to Scale
CAB.	Cabinet		
CLG.	Ceiling	O.A.F.	Overall Frame
CLO.	Closet	O.C.	On Center
C.M.	Construction Manager	O.D.	Outside Diameter
C.M.U.	Concrete Masonry Unit	OPNG.	Opening
COL.	Column	OPP.	Opposite
CONC.	Concrete	OPP.H.	Opposite Hand
CONST.	Construction Joint	ORIG.	Original
CONT.	Continuous		
CONTR.	Contractor	PL.	Plate
COORD.	Coordinate	P.LAM.	Plastic Laminare
C.T.	Ceramic Tile	PLAS.	Plastic
CTR	Center	PLYWD.	Plywood
C.W.	Cold Water	PREFAB.	Prefabricated
		PTD.	Painted
DBL.	Double	RAD.	Radius
DET.	Detail	R.D.	Roof Drain
DIA.	Diameter	RECMND.	Recommendation
DIM.	Dimension	REF.	Reference
DISP.	Dispenser/Disposal	REINF.	Reinforce/ing
DN.	Down	REQ'D	Required
D.P.	Dampproofing	REV.	Revisions
DWG.	Drawing	RM.	Room
		R.O.	Rough Opening
EA.	Each	RTG.	Rating
E.C.	Electrical Contractor		
EL.	Elevation	S.C.	Solid Core
ELEC.	Electrical/ Electric	SCHED.	Schedule
ELEV	Elevator/ Elevation	SECT.	Section
E/O	Equipment by Owner	S.F.	Square Feet
EQ	Equal	SHT.	Sheet
EQUIP.	Equipment	SHTG.	Sheathing
EXIST. or (E)	Existing	SIM.	Similar
EXT.	Exterior	SPECS.	Specifications
		SQ.	Square
F.D.	Floor Drain	S.S.	Stainless Steel
FDN.	Foundation	STL.	Steel
F.E.	Fire Extinguisher	STOR.	Storage
FIN.	Finish	STRUCT.	Structural
FLR.	Floor	SUSP.	Suspended
F.O.S.	Face of Stud	S.S.D.	See Structural Drawings
FR.	Frame	S.A.T.	See Assembly Types
FT.	Fest/Foot	S.E.M.S.	See Exterior Material Schedule
FTG.	Footing		
FURR.	Furring	TEL.	Telephone
		TEMP.	Tempered
GA.	Gauge	T.O.	Top Of
GALV.	Galvanized	TOIL.	Toilet
G.C.	General Contractor	TRTD.	Treated
GYP. BD.	Gypsum Board	T.S.	Tube Steel
		TYP.	Typical
H.B.	Hose Bibb	U.G.	Underground
H/C	Handicapped	U.L.	Underwriters Laboratory
H.C.	Hollow Core	UNEXC.	Unexcavated
H.M.	Hollow Metal	UNFIN.	Unfinished
HORZ.	Horizontal	U.O.N.	Unless Otherwise Noted
HT.	Height		
H.W.	Hot Water		
		VERT.	Vertical
I.D.	Inside Diameter	V.I.F.	Verify In Field
IN.	Inches	V.T.R.	Vent Through Roof
INSUL.	Insulation		
INT.	Interior	W/	With
INV.	Invert	W.C.	Water Closet
		W.D.	Wood
JAN.	Janitor	WIN.	Window
JT.	Joint	W.P.	Waterproof
		W.W.F.	Welded Wire Fabric
LOC.	Location	W.R.B.	Weatherproof Building Wrap

SYMBOL LEGEND	
	Drawing Title
	Section Tag
	Exterior Elevation Tag
	Interior Elevation Tag
	Elevation Datum
	North Arrow
	Detail Key
	Grid Tag
	Door Tag
	Window Tag
	Spot Elevation Tag
	Room Tag
	Centerline Tag

GENERAL CONSTRUCTION NOTES:

- This project shall comply with the current adopted International Residential Code, IMC, IFC, International Urban/ Wildland Interface Code and the currently adopted National Electric Code, the COR's of the subdivision in which the project is located and the current Town of Jackson Comprehensive Plan and Land Development Regulations, including all amendments. Any building official, subcontractor or trades person noting discrepancies shall notify Architect immediately upon their discovery.
- Contractor shall coordinate all required inspections by Town of Jackson Building and Fire Departments, local electrical inspector and other governing authorities.
- Contractor shall obtain and pay for all temporary utilities, including electricity necessary for construction and temporary septic facilities, which shall be maintained on site for duration of construction. A job phone must be maintained on site for duration of construction and the phone number will be made available to the architect.
- All construction debris to be stockpiled neatly on site until disposal, which shall be done at county landfill or recycling facility only. No debris is to be disposed of in local waste collection facilities.
- Contractor shall inform Architect of any and all Owner requested changes or directives following Owner/Contractor conversations. Contractor shall not proceed with Owner requested changes or directives without prior review from the Architect and written Change Order.
- Except at Interior Elevations, and unless otherwise noted, all dimensions are given to face of rough framing, centerline of columns, or face of concrete and C.M.U.wall. Interior Elevation dimensions are given to face of finish material. Given dimensions take precedence over scale. Contractor shall take extra caution to coordinate dimensions of structural drawings with architectural drawings prior to construction. Verify discrepancies with Architect.
- Contractor shall provide storage for all building materials in accordance with manufacturers recommendations.
- Solid wood blocking, insulation or other firestop material is to be provided between stories, between top story and roof space, between stair stringers at top and bottom, between studs along stair runs and at all other places that could afford the passage of flame, as required by the IRC.
- G.C. to provide samples of all finishes and stain colors for approval by architect / owner. This includes interior and exterior stains, interior paint, sheetrock textures, etc.- see Project Manual.
- Provide 4" diameter, schedule 30 P.V.C pipe labeled "radon vent", continuous from crawl space gravel bed to rain cap terminus above roof. Radon vents shall be placed so that the a future fan may be installed if necessary, provide receptacle in attic near pipe. All vent pipes that extend through the roof shall be terminated 16" min. above the roof.
- Contractor to verify the existing radon mitigation, if any, upon beginning of work and extend to the new crawlspace areas.
- The contractor, subcontractor, supplier or other hired entity shall align all visible products / equipment (which includes but is not limited to, outlets, lights, switches, smoke detectors, thermostats, AV devices, diffusers, fire protection, etc.) equally between or directly with architectural elements (windows, doors, beams, columns etc.) and other visible products / equipment. Adjust structural framing as required (contact architect prior to adjusting framing for possible structural requirements). Verify all locations with architect prior to rough-in installations of any system or equipment, any adjustments in the field per architect's direction may be required and shall be included in the project costs.

SITE NOTES:

- Preliminary and final building staking to be verified in field by Architect prior to excavation.
- Final building staking and all required surveying to be performed by licensed surveyor at contractor's expense
- Contractor to notify architect of any problems with existing soil conditions or high water table immediately upon discovery. (Primarily during excavation)
- All necessary pit run or road base material, imported for the construction of driveway, shall be figured into the cost of the general construction contract. Excess fill excavated for the house foundation, and not used for sloped grade at building perimeter as shown at building sections and site plan, may be used in the construction of the driveway. The unit cost of any additional imported pit run as may be required to provide bearing for footings shall be clearly indicated in the proposal / contract as a potential additional cost.
- Contractor is responsible for providing, coordinating and supervising the trenching of utilities and services to and from building. Coordination shall include contractor's reasonable efforts to combine as many different utilities in common trenches as practicalities and good practice permit.
- All site materials shall be compacted in 6" to 8" lifts, unless otherwise noted, to prevent settling of finish grade, walks, driveways, terraces, etc.
- Removal of existing trees and other organic material cleared for the purpose of construction is the responsibility of the contractor.
- Excavated top soil is to be retained and used as final ground cover. All disturbed areas, including rough grading at building perimeter and utility trenches are to be covered with top soil. Top soil shall be defined as min 4" deep, free of debris, waste, frozen material, vegetation or other deleterious matter and containing not more than 10% sand, gravel, clay or rocks - none of which may be larger than 1" in any direction.
- Contractor to provide finish grading to match spot elevations as shown at floor plan. Finish grade to be smooth even surface with raked finish to blend naturally with undisturbed existing grade.
- Minimum slope away from house shall be 1/8" per foot.
- Finish landscaping (including seeding and planting of new trees) is not part of this contract.
- Cutting and patching of roadways to provide hookup are the responsibility of the General Contractor.
- Location of all utilities to be verified with Architect. Gravel drive and parking to be constructed of min 4" of ¾" crushed gravel over min 6" of road base (pit run or fill excavated from the site may be used if of proper composition). Elevate above surrounding grade and crown to provide positive drainage.
- Remove all top soil below drive prior to installation and feather into side of elevated finish drive.
- All excavated fill and demolition debris is to be stockpiled in the areas designated on the site plan.
- See site grading plan for proposed drive and parking area locations and construction specifications.
- See site grading plan for utility specifications for installation.

VICINITY MAP

N.T.S.



SITE CALCULATIONS

Site Information	
Gross Site Area:	0.91 ac (39,639.6 sf)
Adjusted Site Area:	same
Zoning:	NL-3
Zoning Overlay:	N/A
Zoning Summary:	
Minimum LSR	0.45 (17837.82 sf)
Floor Area Ratio (FAR)	0.4 (15,855.84 sf)
Min. Street Yard	20 feet
Min. Side Yard	10 feet
Min. Rear Yard	25 feet
Max. Height	28 feet
Parking Spots Required	2
Floor Area of Existing Structure	
First Floor	445 sf
Second Floor	1,447 sf
Garage	946 sf
Total	2,839 sf
Floor Area of Proposed Structure	
First Floor	1,123 sf
Second Floor	2,031 sf
Garage	946 sf
Total	4,100 sf
Gross - above grade	
	4,100 sf
Floor Area Ratio	
	(3,942 sf / 39,639.6 sf) = 0.10
Per Town of Jackson LDRs- Existing vegetation meets criteria for Plant Units per lot	

PROJECT INFORMATION

Project Description:	Hermanson-Pope Residence Job #21302 1020 Budge Drive, Jackson, WY 83001 Lot 3 Hillside Subdivision
Project Owner:	Merrill & Josh Pope PO Box 2664 Jackson, WY 83001
Project Architect:	Chris Jaubert Atelier 43, LLC 3970 Hawthorne Ln. Wilson, WY 83014 307.200.1790
Contractor:	West Fork Construction, LLC PO Box 10021 Jackson, WY 83002

PROJECT SUMMARY

Work Description: The project consists of the partial renovation of an existing 2,839 sf residence and construction of a new 1,261 sf addition.	
Type VB Construction	
Parking: 2 spaces in garage and 3 spaces outside of the garage	
Sprinklered? - No. The fire area has been limited to 4,100 sf.	
Building Design Criteria:	Seismic Zone D 90lbs psf roof snow load 115 mph/3 second gust wind load
Governing codes:	2021 International Residential Code 2021 International Energy Conservation Code 2021 International Fire Code and International Wildland Urban Interface Code 2021 International Mechanical Code 2021 International Plumbing Code 2021 International Fuel Gas Code 2020 National Electric Code



Project Hermanson Pope Residence

Energy Code:	2021 IECC
Location:	Jackson, Wyoming
Construction Type:	Single-family
Project Type:	Addition
Orientation:	Bldg. faces 177 deg. from North
Climate Zone:	7 (9847 HDD)
Permit Date:	
Permit Number:	

Construction Site:	Owner/Agent:
1020 Budge Drive Jackson, WY 83001	Chris Jaubert Atelier 43, LLC P.O. Box 4055 Jackson, WY 83001 3072498650 chris@a43design.com

Designer/Contractor:

DRAWING LIST

Sheet No.	Sheet Name
GENERAL	COVER
G1.0	SCHEDULES
G1.1	WALL, FLOOR, AND ROOF TYPES
G1.2	
CIVIL	
C1.0	EXISTING CONDITIONS AND SLOPES
C1.2	PROPOSED SITE CONDITIONS
ARCHITECTURAL	
A1.1	LOWER FLOOR PLAN - DEMO
A1.2	UPPER FLOOR PLAN - DEMO
A1.3	ROOF PLAN - DEMO
A2.0	FOUNDATION PLAN
A2.1	LOWER FLOOR PLAN
A2.2	UPPER FLOOR PLAN
A2.3	ROOF PLAN
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A5.1	WALL SECTIONS / DETAILS
A5.2	WALL SECTIONS / DETAILS
A5.3	WALL SECTIONS / DETAILS
A7.1	INTERIOR ELEVATIONS, GENERAL NOTES, DETAILS
A8.1	LIGHTING PLANS
A8.2	LIGHTING PLANS
STRUCTURAL	
S000	GENERAL STURCTURAL NOTES I
S001	GENERAL STURCTURAL NOTES II
S010	TYPICAL CONCRETE DETAILS
S011	TYPICAL CONCRETE DETAILS
S012	TYPICAL WOOD DETAILS
S013	TYPICAL WOOD DETAILS
S014	TYPICAL WOOD DETAILS
S015	TYPICAL WOOD DETAILS
S100	FOUNDATION PLAN
S101	LOWER LEVEL FRAMING PLAN
S102	UPPER LEVEL FRAMING PLAN
S103	ROOF FRAMING PLAN
S500	FOUNDATION DETAILS
S800	WOOD DETAILS
S801	WOOD DETAILS

Date
2022.03.04

Drawing Title
COVER

Mechanical:

Civil:
Windswept West
Galen Parke
PO Box 2261
Jackson, WY 83001
307.669.2492

Structural:
IMEG Corp.
Nathan McBride
108 W Babcock St
Jackson, WY 83015
406.582.9001

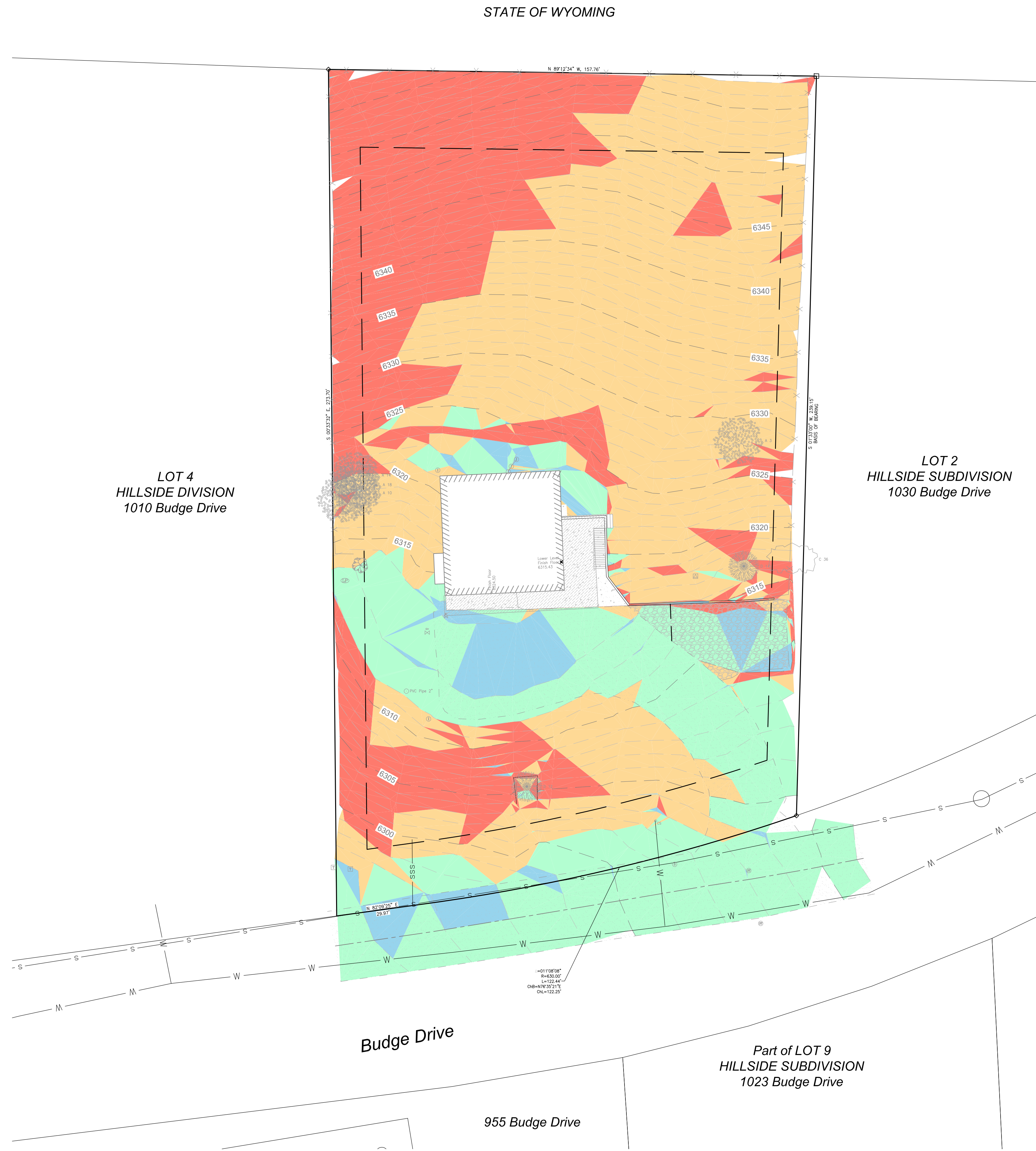
Client:
Merrill & Josh Pope

Project:
Hermanson-Pope Residence
1020 Budge Drive, Jackson, WY 83001

Architect:
Atelier 43, LLC
mail PO Box 4055
Jackson, WY 83001
office Jackson, WY 83001
phone 307.249.8650



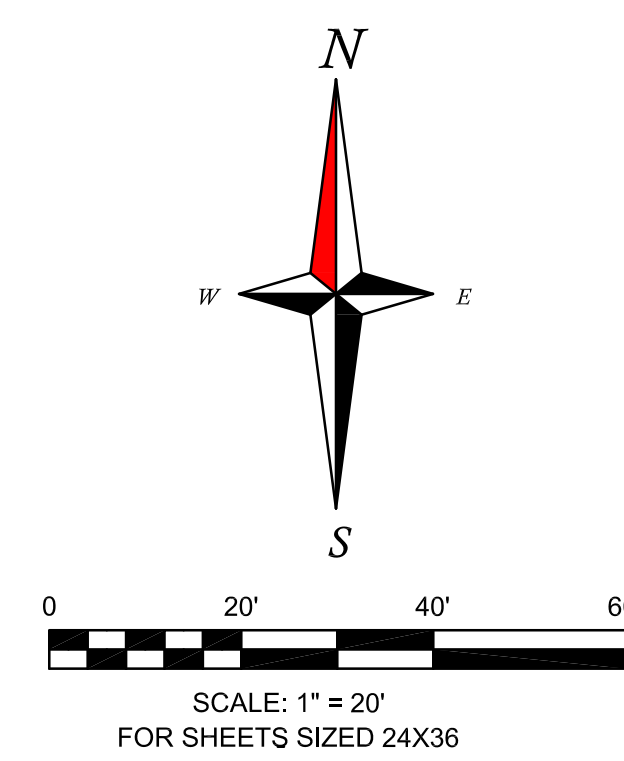
G1.0



- LEGEND
- = PROPERTY LINE
 - — = SETBACK LINE
 - - - - = CENTERLINE OF ROAD
 - x — = FENCE LINE
 - — — = RETAINING WALL
 - s — = SANITARY SEWER LINE (PER TOWN OF JACKSON GIS)
 - w — = WATER LINE (PER TOWN OF JACKSON GIS)
 - [Pattern] = PAVEMENT
 - [Pattern] = DECK
 - [Pattern] = CONCRETE
 - [Pattern] = GRAVEL DRIVE
 - CS = CURB STOP
 - ET = ELECTRIC TRANSFORMER
 - GV = GAS VALVE
 - ICV = IRRIGATION CONTROL VALVE
 - PT = PROPANE TANK
 - PVC = PVC PIPE WITH SIZE
 - SM = STORM SEWER MANHOLE
 - TP = TELEPHONE PEDESTAL
 - WV = WATER VALVE
 - A14 = ASPEN TREE WITH TRUNK SIZE
 - B = BUSH
 - C36 = COTTONWOOD TREE WITH TRUNK SIZE
 - D12 = DECIDUOUS TREE WITH TRUNK SIZE

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0%	5%	Blue
2	5%	15%	Green
3	15%	30%	Yellow
4	30%	26511%	Red

PRELIMINARY
SUBJECT TO CHANGES AND UPDATES



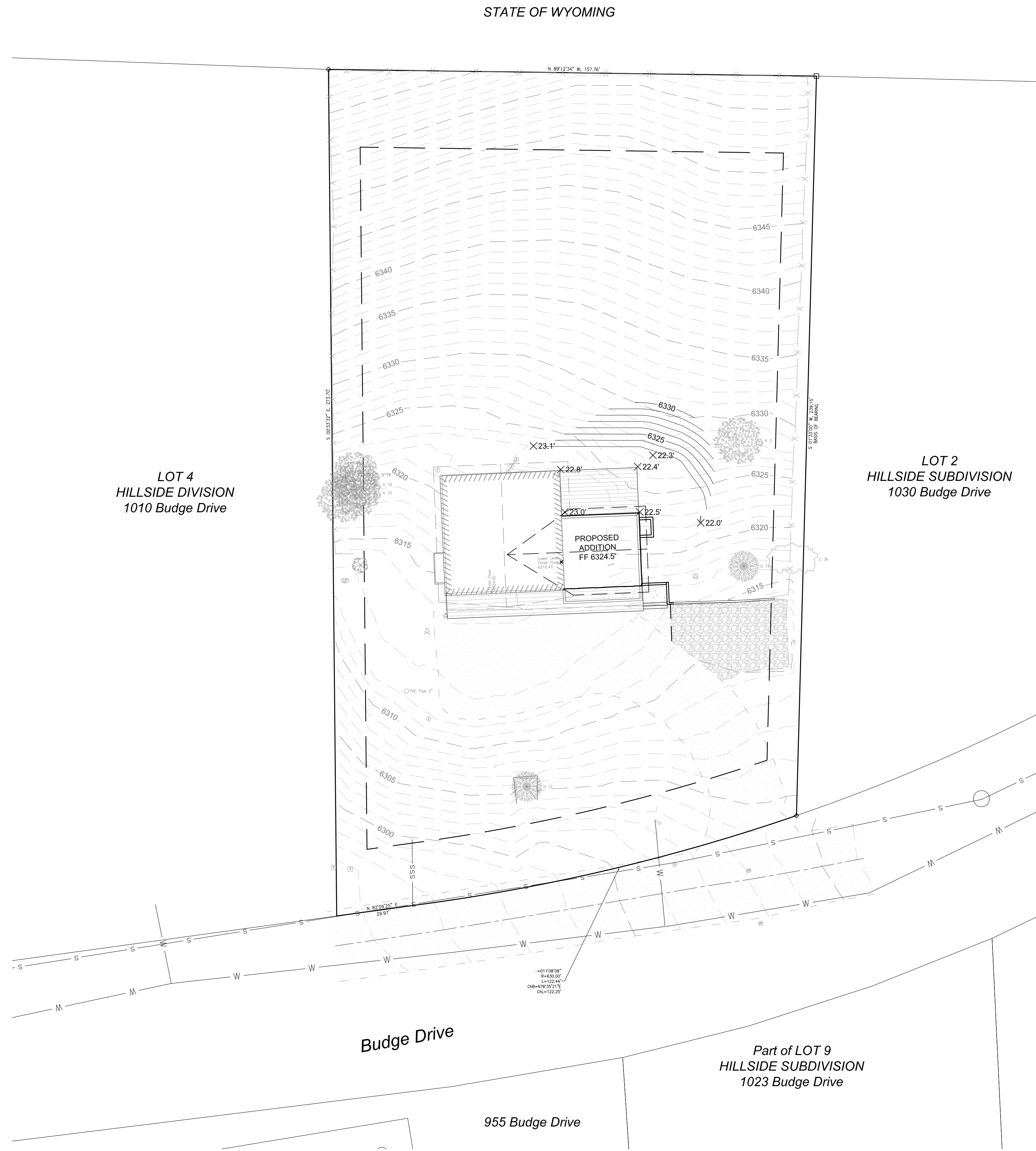
Project Title:
**HERMANSON-POPE ADDITION
MERRIL AND JOSHUA POPE
22-41-16-32-1-03-003
1020 BUDGE DRIVE
TOWN OF JACKSON**

Sheet Title:
**EXISTING CONDITIONS
AND SLOPES
PRE-APPLICATION
CONFERENCE REQUEST
PLAN SET**

Ver: PRE-APP 03/03/22
Ver:
Ver:
Ver:
Ver:
Project: 22001

C 1.0

Date: 03/03/2022



LEGEND	
BUILDING	PROPOSED
DECK	
ROOF LINE	
RETAINING WALL	
SPOT ELEV.	54.2'
MAJOR CONTOUR	6325
MINOR CONTOUR	



Project Title:
HERMANSON-POPE ADDITION
MERRIL AND JOSHUA POPE
22-41-16-32-1-03-003
1020 BUDGE DRIVE
TOWN OF JACKSON

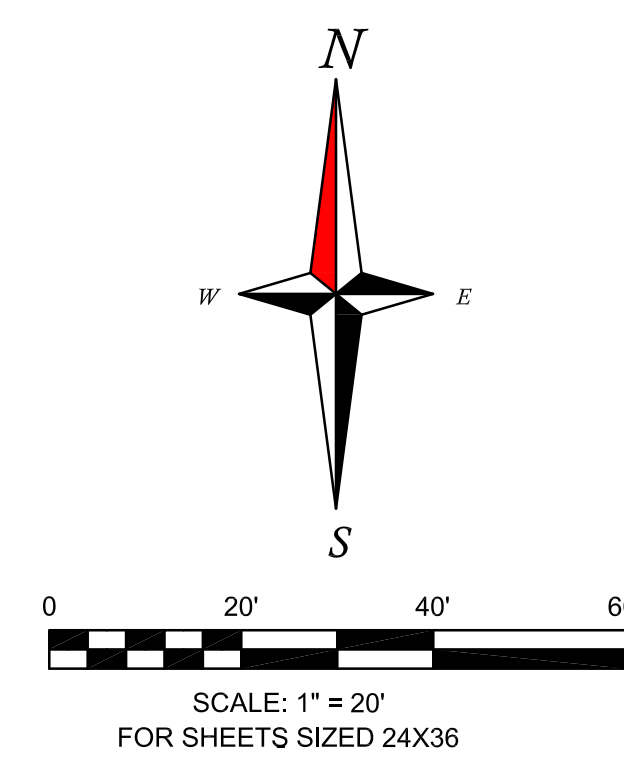
Sheet Title:
PROPOSED SITE CONDITIONS
PRE-APPLICATION
CONFERENCE REQUEST
PLAN SET

Ver:	PRE-APP	03/03/22
Ver:		
Ver:		
Ver:		
Ver:		
Project:	22001	

C 1.2

Date: 03/03/2022

PRELIMINARY
 SUBJECT TO CHANGES AND UPDATES



LIGHTING FIXTURES SCHEDULE:

Type Mark	Description	Manufacturer	Series / Model	Lamp	Type Comments
A	Recessed Can	Juno	IC1LED G4 09LM 27K 90CRI	LED	14 WWH Trim
B	Surface Mount Vanity Light	TBD	TBD	TBD	
C	Wet Rated Recessed Can	Juno	IC1LED G4 09LM 27K 90CRI	LED	4101 WH Trim
D	Exterior Sconce	Modern Forms	MFMP122257	LED	Wet Location Rated

APPLIANCE SCHEDULE:

Type Mark	Description	Manufacturer	Model	Size	Comments
A-1	French Door Bottom Freezer Refrigerator	Kenmore	73029	35 7/8" x 33 3/4"	
A-2	Combination Washer/Electric Dryer	GE	GUD27ESSMWW	26 3/4" x 30 7/8" x 75 7/8"	
A-3	Electric Water Heater	Rheem	XE80T10H45U0	80 Gallon	

PLUMBING FIXTURE SCHEDULE:

Type Mark	Description	Manufacturer	Model	Size	Comments
P-1	Toilet	Kohler	K-31621-0		
P-2	Bathtub	Kohler	K-847-0	66" x 32"	
P-3	Rain Shower Head	Kohler	K-13689-CP		
P-4	Shower Kit	Kohler	K-22181-CP		
P-5	Vanity Sink	Kohler	K-2882-0	19 13/16" x 15 5/8"	
P-6	Vanity Sink Faucet	Kohler	K-23255-4-CP		
P-7	Kitchen Sink	Kohler	K-5871-5UA3-0	33" x 22"	
P-8	Kitchen Sink Faucet	Kohler	K-24982-CP		
P-9	Bar Sink	Kohler	K-3325-NA	23" x 17 1/2"	
P-10	Bar Sink Faucet	Kohler	K-7505-CP		

MECHANICAL EQUIPMENT SCHEDULE:

Mark	Description	Manufacturer	Model	Fuel Type	Design Size	Comments
ST-1	Heat & Glo Gas Burning Fireplace - COSMO 32 LP as Specified	Heat & Glo	SLR32	LP		

WINDOW SCHEDULE:

Mark	Manufacturer	Model	Unit Size		Head Height	Comments
			Width	Height		
A	T.B.D.	Standard Casement Operating Window Unit	2' - 6"	4' - 0"	7' - 0"	
B	T.B.D.	Standard Fixed Window Unit	4' - 0"	4' - 0"	7' - 0"	
C	T.B.D.	Standard Casement Operating Window Unit	2' - 0"	4' - 0"	<varies>	
D	T.B.D.	Standard Casement Operating Window Unit	3' - 0"	3' - 6"	7' - 0"	
E	T.B.D.	Standard Fixed Window Unit	1' - 9 3/4"	5' - 6"	6' - 10 1/4"	V.I.F.
F	T.B.D.	Standard Fixed Window Unit	4' - 10 1/2"	5' - 6"	6' - 10 1/4"	V.I.F.

WINDOW NOTES:

- All windows brand to be determined
- All windows to be .32 u-value or better
- Exterior finish color to be determined
- Interior finish wood to be determined
- Interior trim to be painted wood - see details
- Hardware finish to be determined
- GC to provide sample to confirm color selection. See exterior elevations for operation.
- All windows to be manufactured for high altitude use.
- Verify all egress windows
- Verify all tempered windows-
 - all windows located within 24" horizontally of doors and less than 60" AFF
 - all windows with net glazing area that is greater than 9 square feet and is less than 18" AFF unless uninterrupted by structural horizontal members from 34" to 38" AFF.
 - in all tub and shower enclosures.
 - in any window located at a stairway landing enclosure and any window located within 60" of the top or bottom of a stairway if the bottom of the glazing is less than 60" AFF.
 - in all doors.

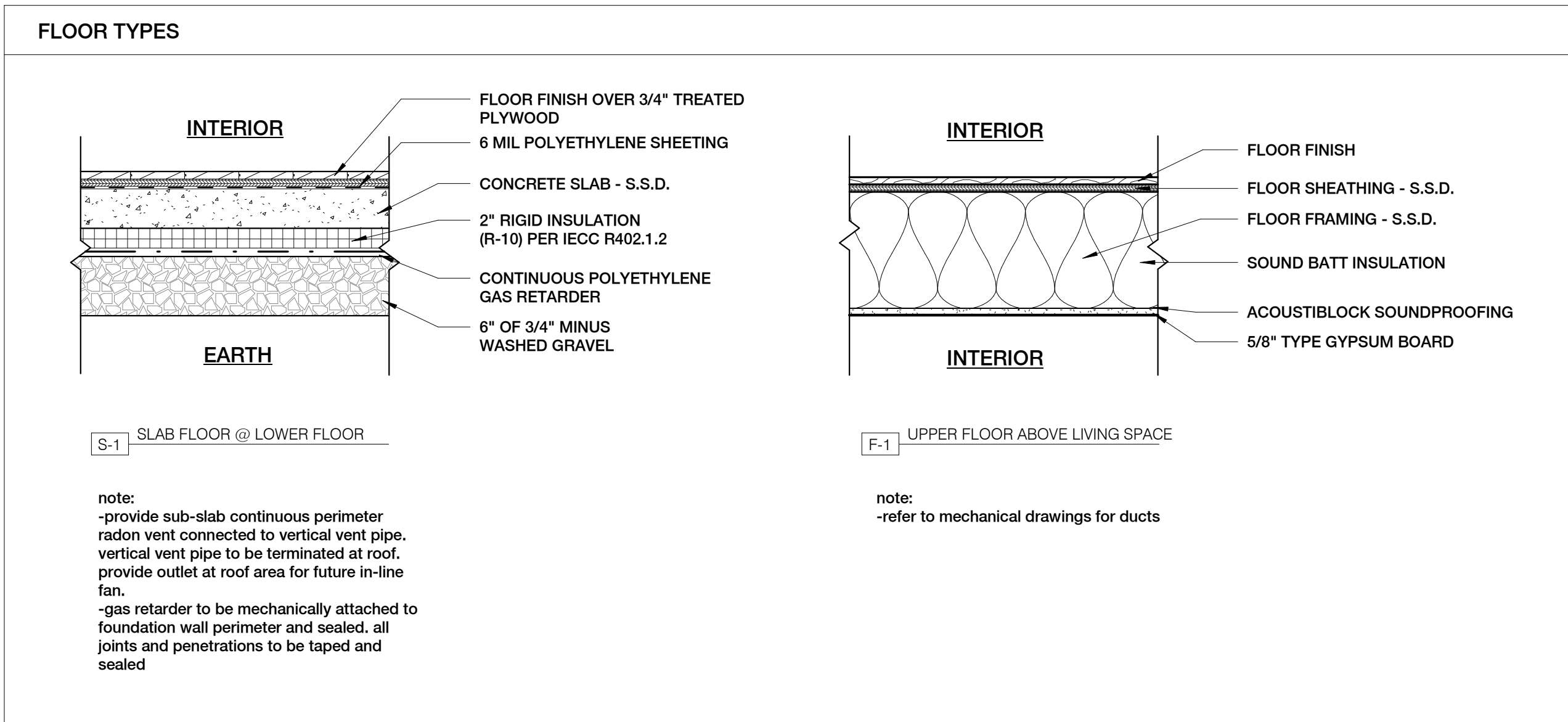
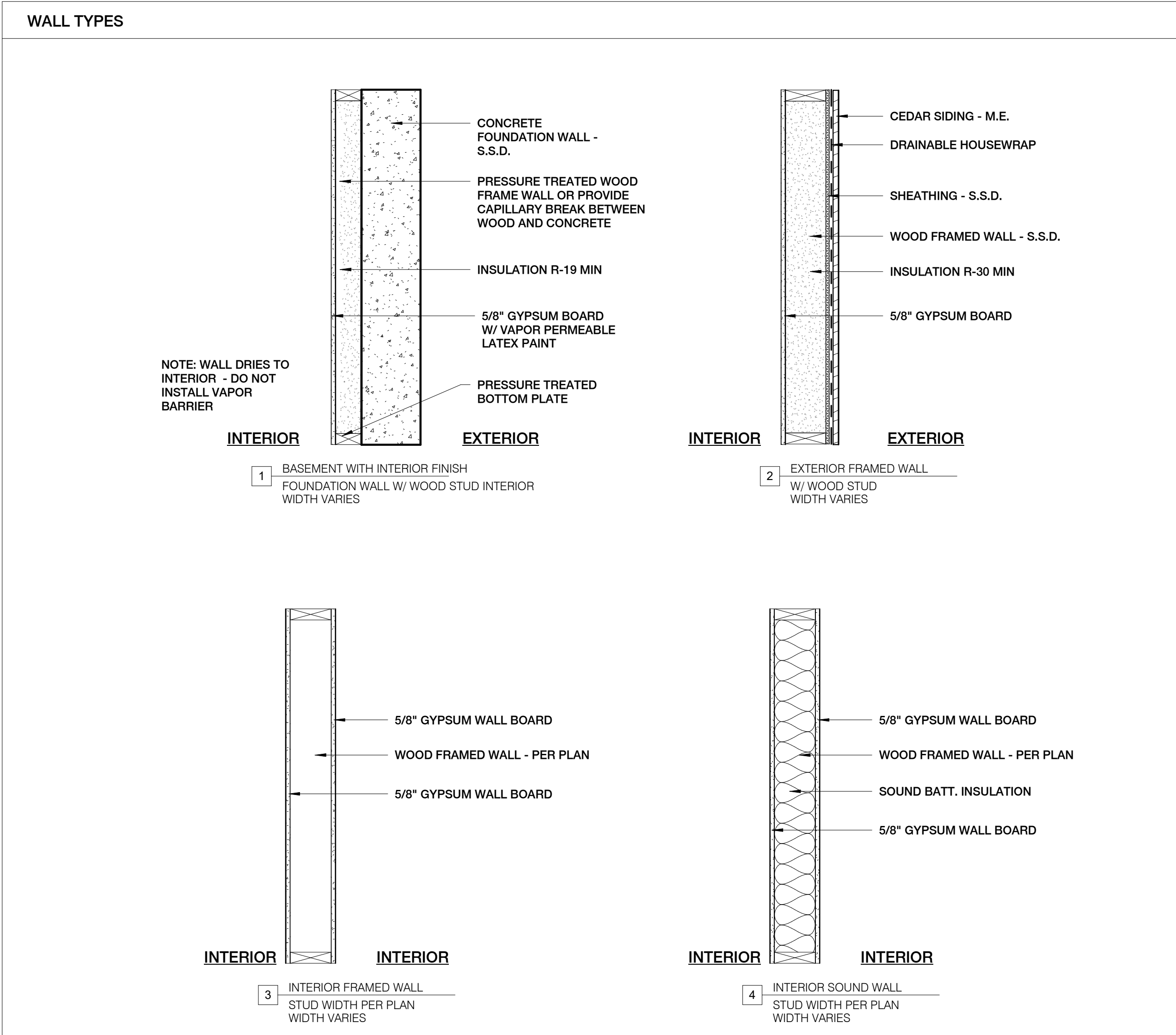
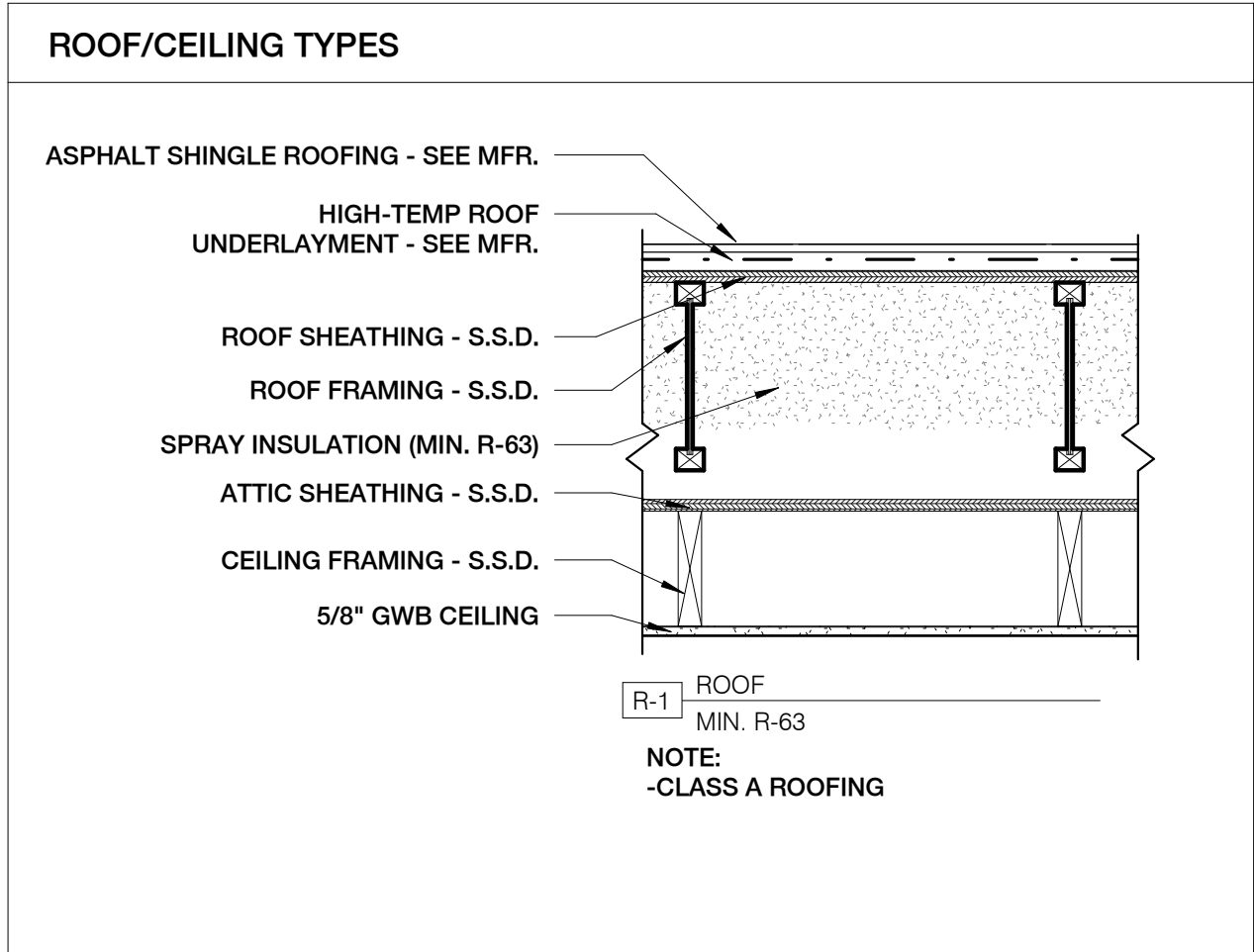
DOOR SCHEDULE:

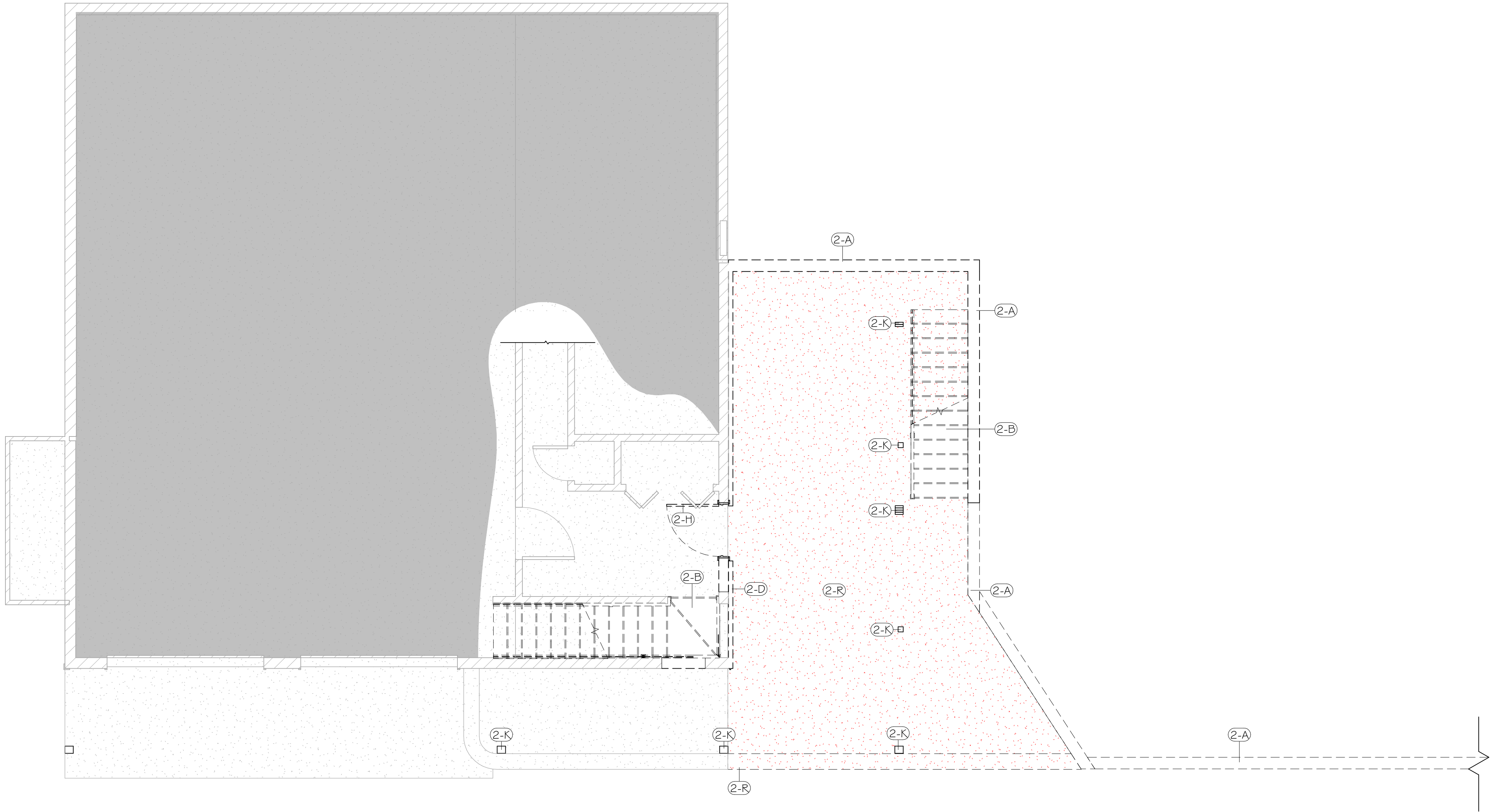
Door Number	Width	Height	Door Type	Function	Comments
101	3' - 0"	6' - 8"	Swing Solid Panel Door	Exterior	
102	3' - 0"	6' - 8"	Swing Solid Panel Door	Interior	
104	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
105	3' - 0"	6' - 8"	Cased Opening	Interior	
106	2' - 6"	6' - 8"	Bifold Door	Interior	
107	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
108	5' - 0"	6' - 8"	Bifold Door	Interior	
109	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
110	2' - 6"	7' - 0"	Pocket Door	Interior	
111	3' - 0"	6' - 8"	Swing Solid Panel Door	Exterior	
201	6' - 0"	6' - 8"	Lift and Slide	Exterior	
202	4' - 0"	7' - 0"	Solid Panel Barn Door	Interior	
203	2' - 6"	7' - 0"	Swing Solid Panel Door	Interior	
204	2' - 4"	7' - 0"	Pocket Door	Interior	
205	6' - 0"	6' - 8"	Lift and Slide	Exterior	
206	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
207	2' - 6"	6' - 8"	Swing Solid Panel Door	Interior	
208	2' - 6"	6' - 8"	Solid glass shower door	Interior	

DOOR NOTES:

- Exterior entry doors to be same brand/ series as windows.
- Door hardware to be determined
- Lever handle, hinges, and door stop material to be determined
- All closet doors to be 1 3/8" thick, solid core, birch veneer, flat panel
- Verify all tempered glass







Key Value	Keynote Text
2-A	DEMO WALL
2-B	DEMO STAIR
2-C	DEMO FLOORING
2-D	DEMO STONE VENEER
2-E	DEMO SIDING
2-F	DEMO DECK
2-G	DEMO PLUMBING FIXTURES
2-H	DEMO DOOR
2-J	DEMO WINDOW
2-K	DEMO FRAMING
2-L	DEMO COUNTERTOP
2-M	DEMO ROOFING
2-N	DEMO ROOF FRAMING
2-P	DEMO APPLIANCES
2-Q	DEMO FASCIA
2-R	DEMO SLAB

1 LOWER FLOOR PLAN - DEMO

1/4" = 1'-0"



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1020 Butte Drive, Jackson,
WY 83001

Client:
Merrill & Josh Pope

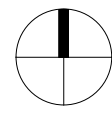
Structural:
IMEG Corp.
Nathan McBride
108 W Babcock St
Jackson, WY 83001
406.582.8001

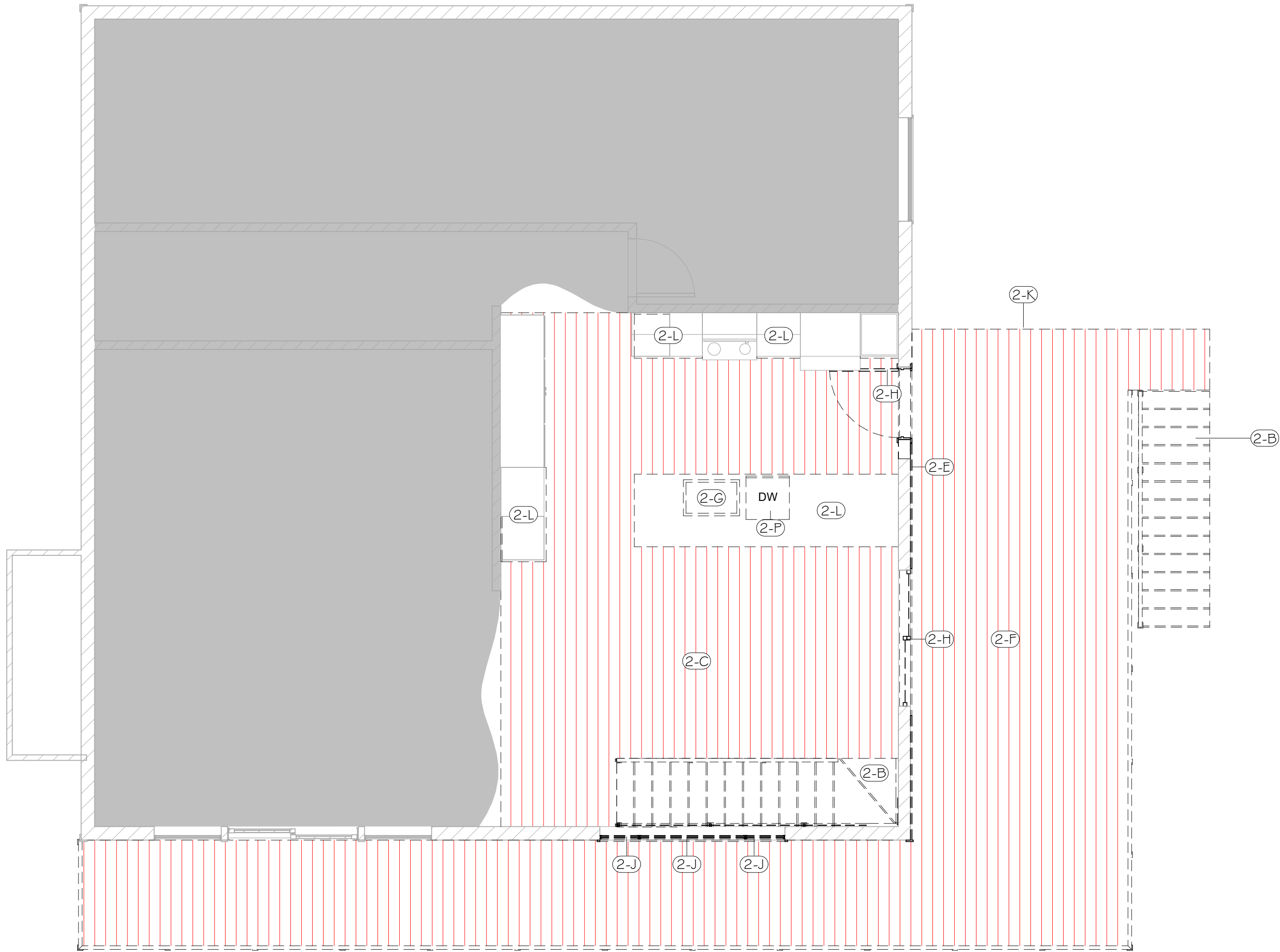
Civil:
Windswept West
Galen Parke
PO Box 2261
Jackson, WY 83001
307.699.2492

Mechanical:

Drawing Title
LOWER FLOOR PLAN -
DEMO

Date
2022.03.04





Key Value	Keynote Text
2-A	DEMO WALL
2-B	DEMO STAIR
2-C	DEMO FLOORING
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2-E	DEMO SIDING
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2-R	DEMO SLAB

1 UPPER FLOOR PLAN - DEMO
1/4" = 1'-0"



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Client:
Merrill & Josh Pope

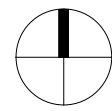
Structural:
IMEG Corp.
Nathan McBride
108 W Babcock St.
Jackson, WY 83001
406.582.8001

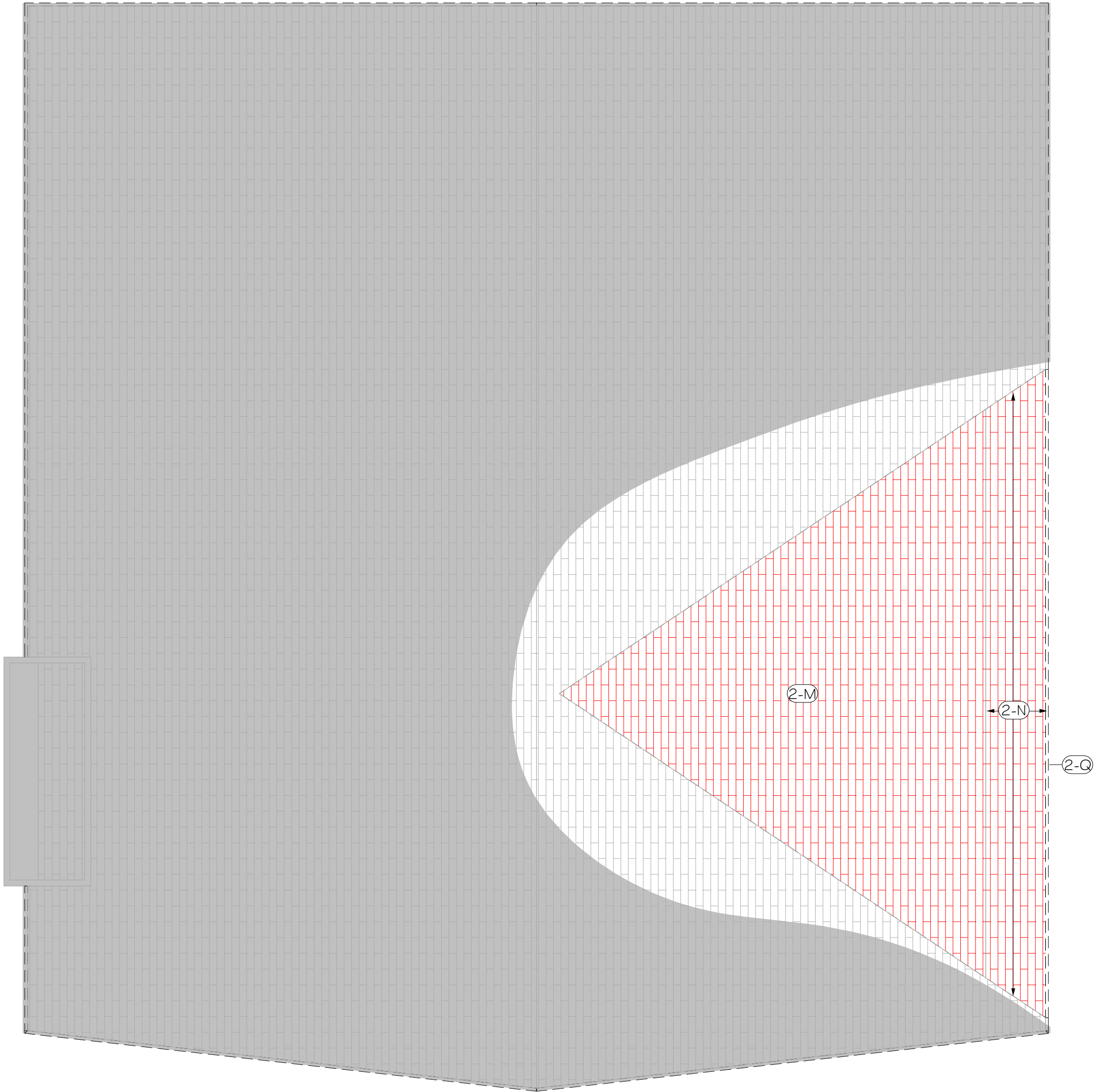
Civil:
Windswept West
Galen Parke
PO Box 2261
Jackson, WY 83001
307.699.2492

Mechanical:

Drawing Title
UPPER FLOOR PLAN -
DEMO

Date
2022.03.04





Key Value	Keynote Text
2-A	DEMO WALL
2-B	DEMO STAIR
2-C	DEMO FLOORING
2-D	DEMO STONE VENEER
2-E	DEMO SIDING
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2-H	DEMO DOOR
2-J	DEMO WINDOW
2-K	DEMO FRAMING
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1 ROOF PLAN - DEMO
1/4" = 1'-0"



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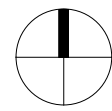
Structural:
IMEG Corp.
Nathan McBride
108 W Babcock St.
Jackson, WY 83001
406.582.8001

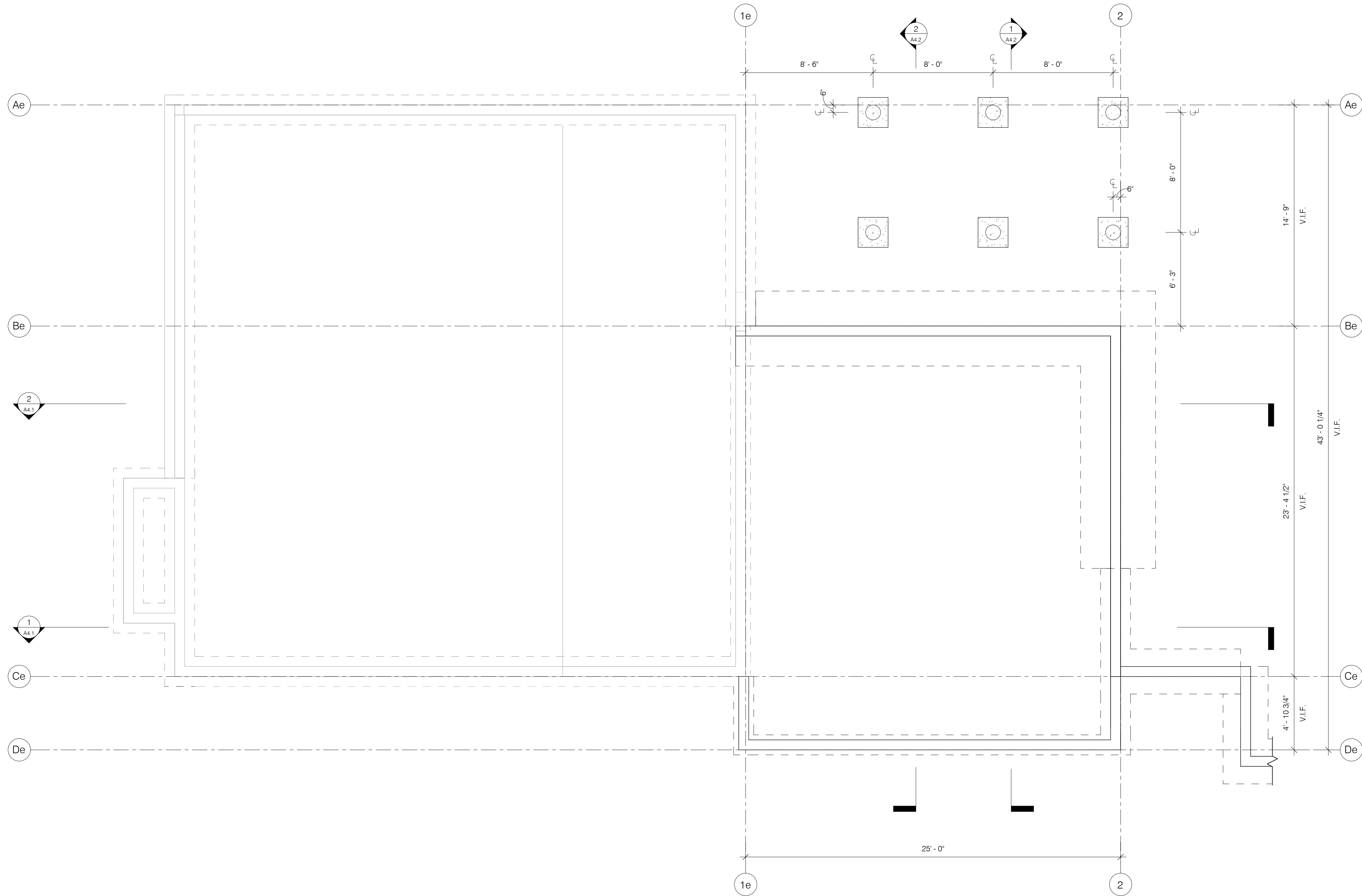
Civil:
Windswept West
Galen Parke
PO Box 2261
Jackson, WY 83001
307.699.2492

Mechanical:

Drawing Title
ROOF PLAN - DEMO

Date
2022.03.04





GENERAL PLAN NOTES:

1. All dimensions are given to face of framing unless otherwise noted. Coordinate discrepancies with the architect.

1 FOUNDATION PLAN - PROPOSED
1/4" = 1'-0"



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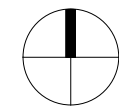
Structural:
IMEG Corp.
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108 W Babcock St.
Jackson, WY 83001
406.582.8001

Civil:
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PO Box 2261
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307.869.2492

Mechanical:

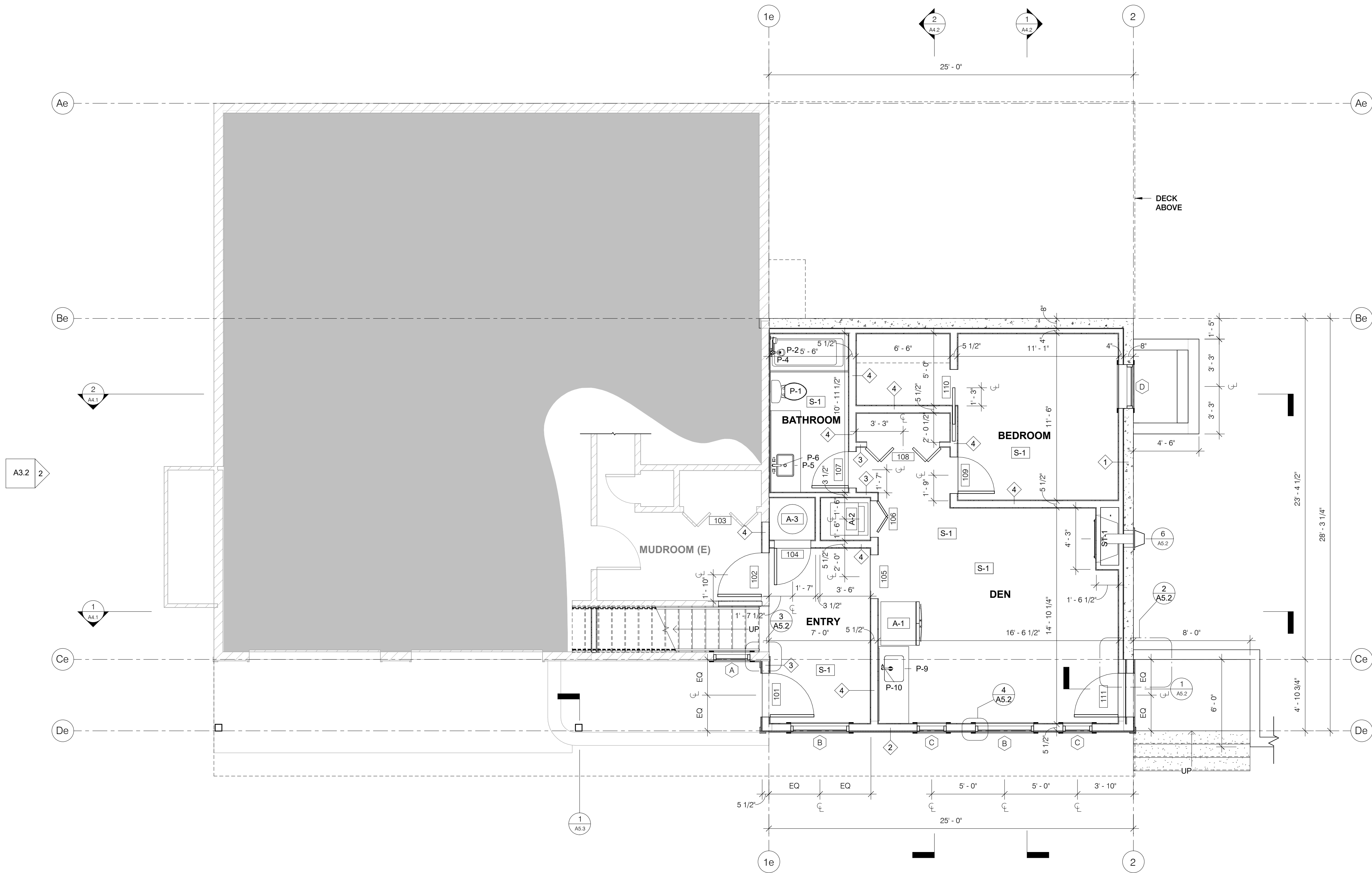
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Date
2022.03.04

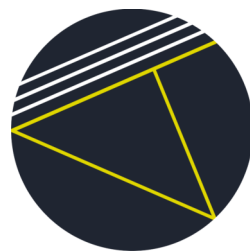


GENERAL PLAN NOTES:

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1 LOWER FLOOR PLAN - PROPOSED
1/4" = 1'-0"



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Client:
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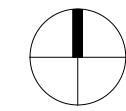
Structural:
IMEG Corp.
Nathan McBride
108 W Babcock St.
Jackson, WY 83001
406.582.8001

Civil:
Windswept West
Galen Parke
PO Box 2261
Jackson, WY 83001
307.699.2492

Mechanical:

Drawing Title
LOWER FLOOR PLAN

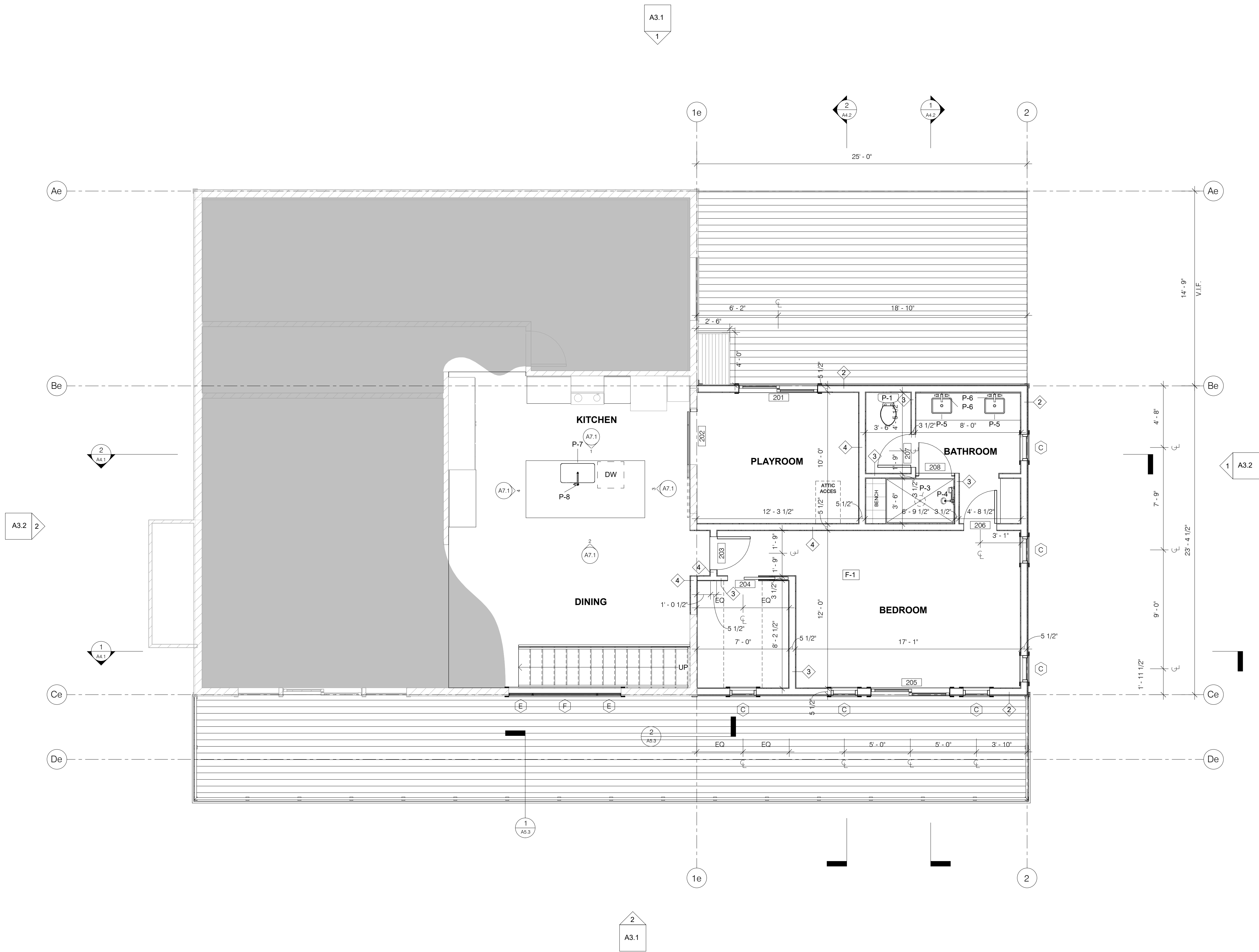
Date
2022.03.04



A2.1

GENERAL PLAN NOTES:

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1 UPPER FLOOR PLAN - PROPOSED
1/4" = 1'-0"



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Nathan McBride
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406.582.8001

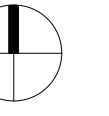
Civil:
Windswept West
Galen Parke
PO Box 2261
Jackson, WY 83001
307.699.2492

Mechanical:

Drawing Title
UPPER FLOOR PLAN

Date
2022.03.04

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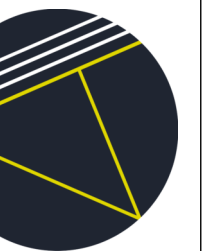
ROOF PLAN

Galen Parke
PO Box 2281
Jackson, WV 26201

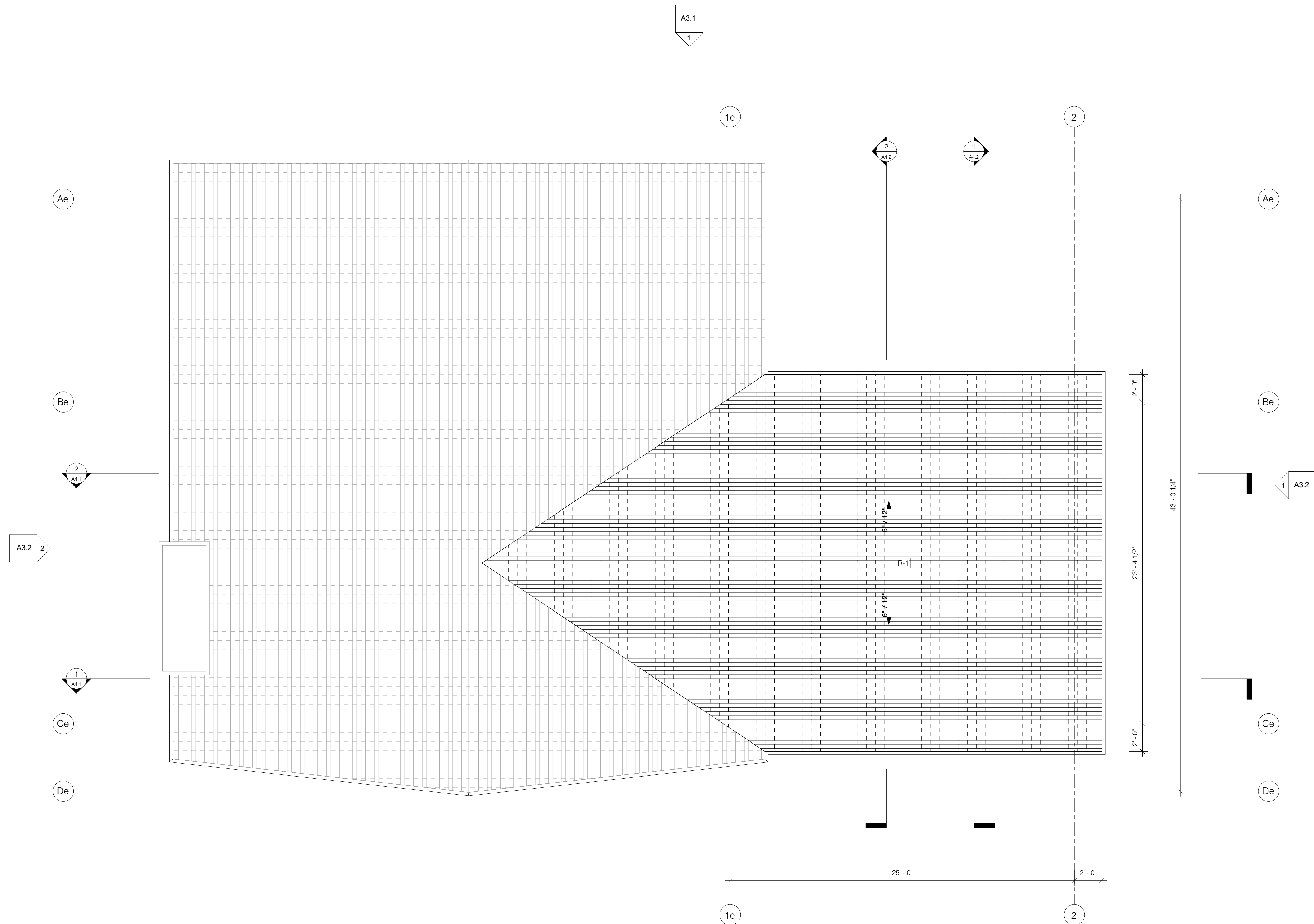
Nathan McBride
108 W Babcock St
Bozeman MT 59715

1020 Budge Drive, Jackson,
WY 83001

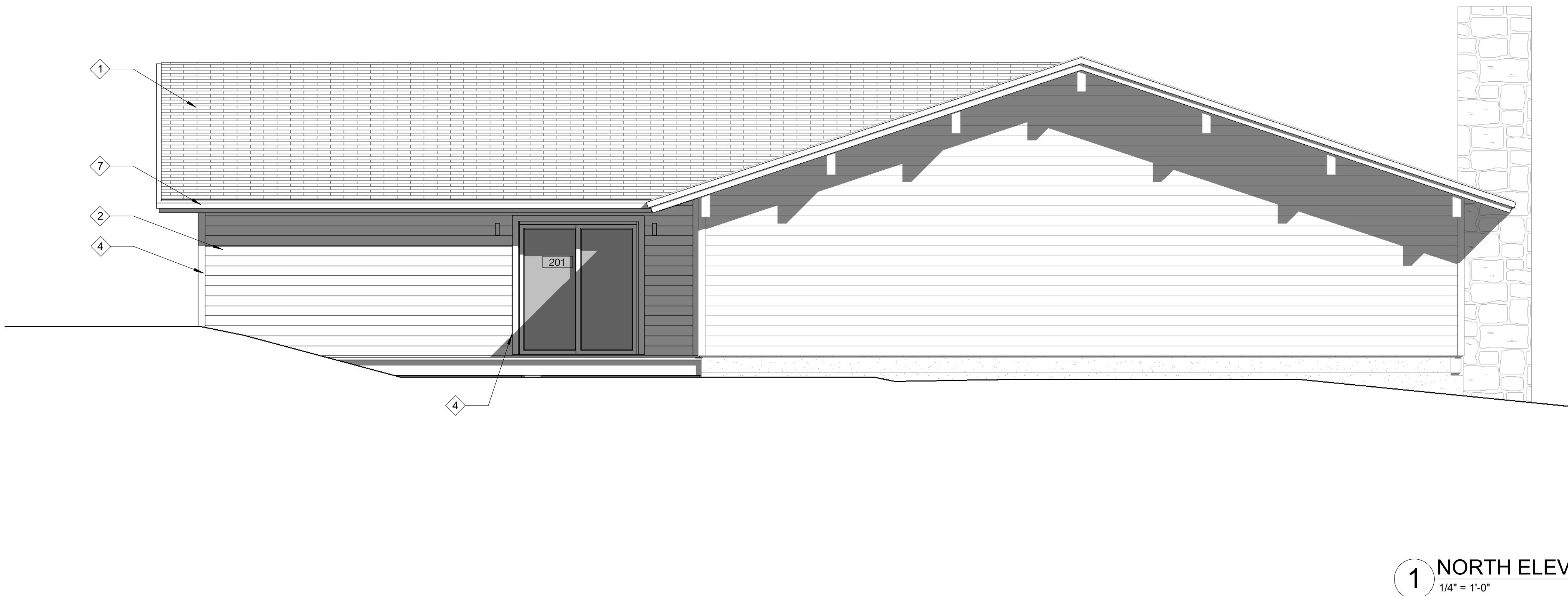
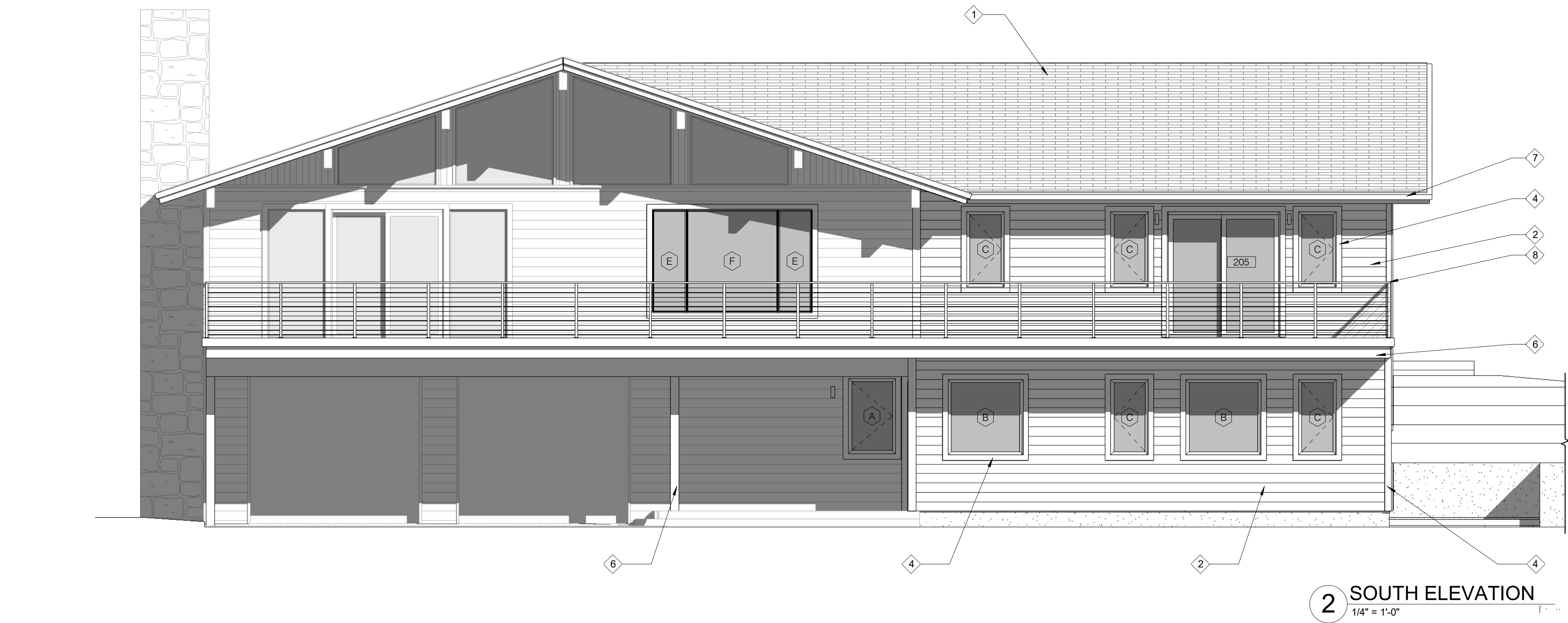
mail PO Box 4055
Jackson, WY 83001
office 65 Mercill Ave



2.3

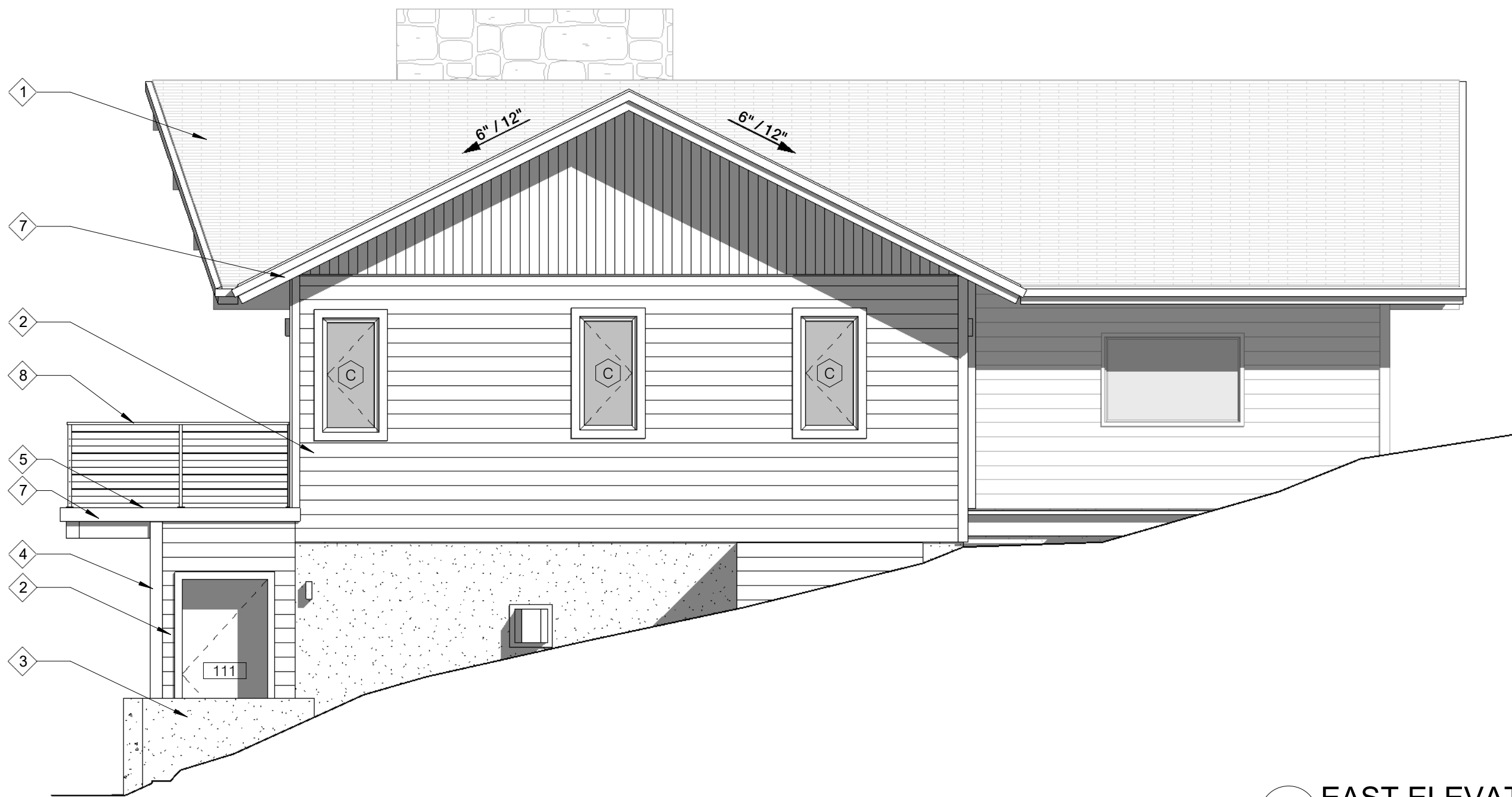


1 ROOF PLAN - PROPOSED
1/4" = 1'-0"



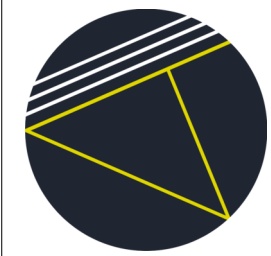
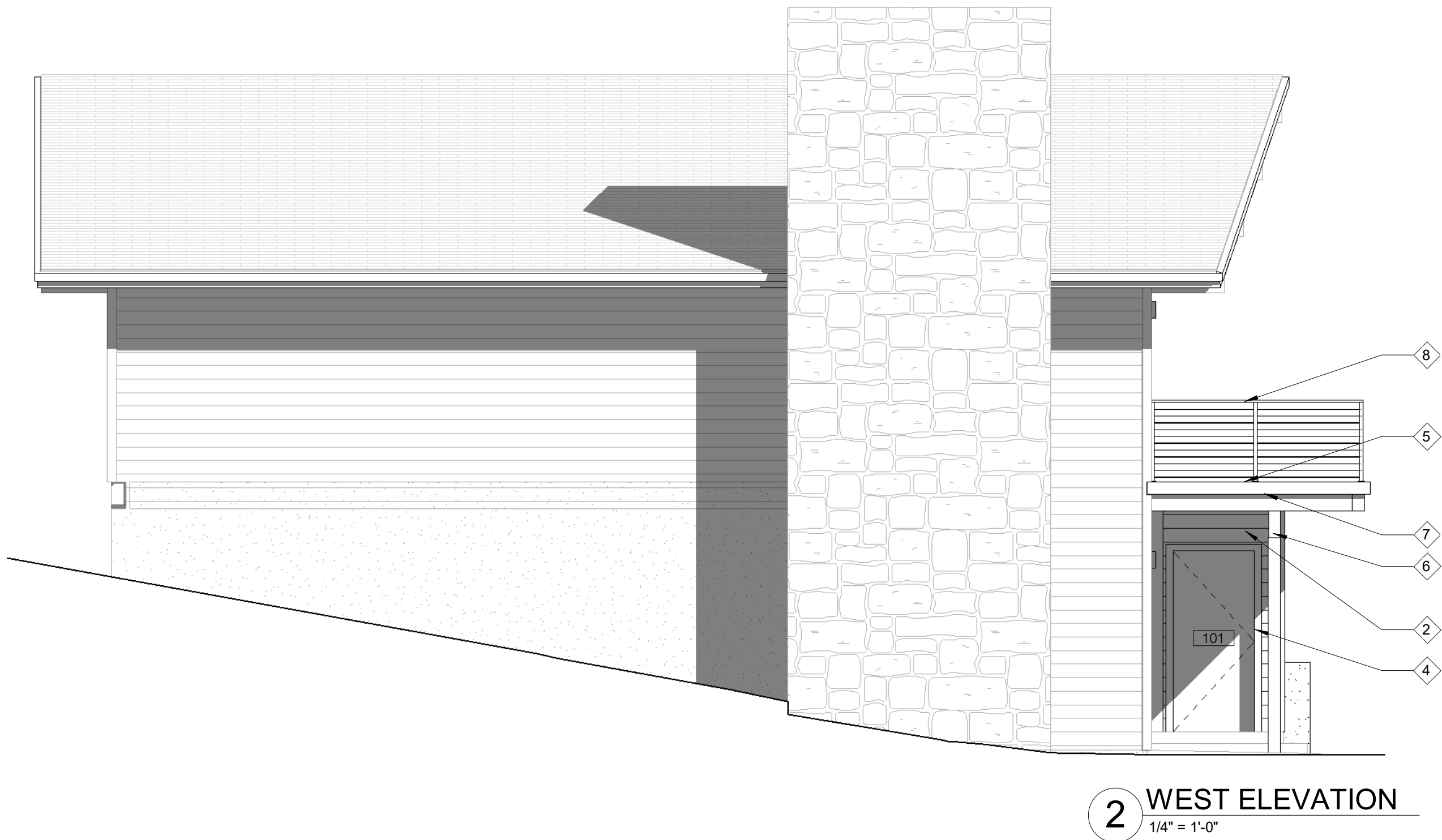
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1	ASPHALT SHINGLE ROOFING
2	HORIZONTAL CEDAR SIDING
3	CAST-IN-PLACE CONCRETE
4	TRIM
5	DECKING
6	TIMBER FRAMING
7	WOOD FASCIA
8	STEEL GUARDRAIL PAINTED

NOTE: MATCH EXISTING ON ALL EXT. FINISHES.



MATERIAL SCHEDULE:	
1	ASPHALT SHINGLE ROOFING
2	HORIZONTAL CEDAR SIDING
3	CAST-IN-PLACE CONCRETE
4	TRIM
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NOTE: M.E. ON ALL EXT. FINISHES.



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307.699.2492

Mechanical:

Drawing Title
BUILDING ELEVATIONS

Date
2022.03.04