



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☐ Parks and Recreation
- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: February 28, 2022</p> <p>Item #: P22-044</p> <p>Planner: Tyler Valentine</p> <p>Phone: 733-0440 ext. 1305</p> <p>Email: tvalentine@jacksonwy.gov</p> <p>Owner Town of Jackson PO Box 1687 Jackson, WY 83001</p> <p>Applicant Ward Blake Architects PO Box 10399 Jackson, WY 83002</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for a Pre-Application Conference to change use of the existing temporary Fire Station No. 1 to the Exhibit Hall/Assembly space at 305 W Snow King Ave., legally known as PT. SE1/4NE1/4, SEC. 33, TWP. 41, RNG. 116 (RODEO GROUNDS INCLUDES MATEOSKY PARK) PIDN: 22-41-16-33-1-00-024</p> <p>For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.</p>
<p>Please respond by: March 21, 2022 (with Comments)</p>	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title



Town of Jackson
 150 E Pearl Avenue
 PO Box 1687, Jackson, WY 83001
 P: (307)733-3932 F: (307)739-0919
 www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual : _____

Being duly sworn, deposes and says that Town of Jackson is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 305 W Snow King Avenue

Legal Description: PT. SE1/4NE1/4, SEC. 33, TWP. 41, RNG. 116 (RODEO GROUNDS INCLUDES MATEOSKY PARK)

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Mitch Blake/ Ward + Blake Architects

Mailing address of Applicant/agent: P.O. Box 10399, Jackson, WY 83002

Email address of Applicant/agent: mitchblake@wardblake.com

Phone Number of Applicant/agent: 307-733-6867

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☐ Development/Subdivision Plat Permit Application ☒ Building Permit Application
- ☐ Public Right of Way Permit ☒ Grading and Erosion Control Permit ☐ Business License Application
- ☐ Demolition Permit ☒ Other (describe) Pre-App. Conf. & Conditional Use Permit

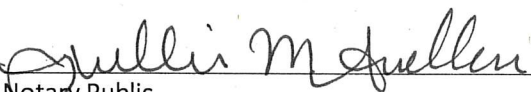
Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.


 Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Wyoming)
) SS.
 COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Roxanne Robinson this 17th day of February 2022. WITNESS my hand and official seal.


 Notary Public

My commission expires: \$ 224



Fairgrounds Community Center

305 W. Snow King Avenue, Jackson, Wyoming



Narrative:

This project is requesting a change of use for the existing Temporary Fire Station No. 1 located on the Fairgrounds property adjacent to the Rodeo Grounds and Grassy Arena. Teton County would like to replace the space now being used by the Fire Department with Exhibit/ Assembly space to replace the up coming loss of the Exhibit Hall located at the eastern end of the 400 W. Snow King Avenue property. With the change of use the building will become the Fairgrounds Community Center.

The building is surrounded by the other developments on the Fairgrounds property (i.e. Rodeo Grounds, Grassy Arena, parking, and Mateosky Park baseball field. The site is zoned Public Semi-Public and is flanked by Neighborhood High Density – 1 on the north and east, Public/ Semi-Public & Neighborhood Medium Density – 1 on the south, and Karn’s Meadow (NL-1) on the west. The adjacent areas on the site at the perimeter of the building is used for multiple events and is flexible in nature. Various pen components, sheds, equipment, etc. used for the Fair, Rodeo, and other functions are frequently set up, taken down, and stored on site in a variety of locations.

The County is proposing to leave the existing building intact with minimal changes to the exterior of the building and relatively minor revisions to the interior of the building. The basic components needed for the change of use are already in place and only require some relatively simple modifications to provide required restroom facilities and storage for the Exhibit Hall/ Assembly uses that will be served. The new Fairgrounds Community Center will be used as an Exhibit Hall during Fair Week to display entries and as a venue to be leased for private and community events. In addition, it will be used for 4H meetings, Fair Board meetings, and other local clubs/ entities who need a gathering place.

The shared nature of the site with the Rodeo Grounds, Fair activities, and baseball field at periodic times during the year create varying demands for parking at the facility. During Fair Week the building will be used and scheduled as part of the Fair and will not create any additional parking demand on the site. Events that may or may not coincide with the Rodeo can be scheduled and or limited in size to avoid parking conflicts. The immediate area available for parking near the building can support 314 parking spaces based on the layout indicated on our drawings and the maximum parking required for the building change of use, if based on a Restaurant/ Dining designation, is 172 parking spaces. This amounts to approximately 54% of the immediately available parking area and does not account for the large area of additional parking available at the west end of the site or on street parking. We feel that the parking requirements for the new Fairgrounds Community Center would be adequately accommodated by the existing parking available on site.

We are optimistic that the change of use is compatible with the existing conditions of the Fairgrounds Property and believe we meet the requirements of the Town of Jackson LDR’s, International Building Code, and other related code issues.

GENERAL NOTES
1) THIS PROJECT SHALL COMPLY WITH THE CURRENT VERSION OF THE INTERNATIONAL RESIDENTIAL CODE, AND / OR THE INTERNATIONAL BUILDING CODE. THE CURRENT VERSION OF THE TOWN OR COUNTY COMPREHENSIVE PLAN, AND ANY OTHER AUTHORITY HAVING JURISDICTION. THE CONTRACTOR, SUBCONTRACTOR, OR TRADES PERSON SHALL NOTIFY THE ARCHITECT (IN WRITTEN FORM) SEVEN DAYS PRIOR TO BID OF ANY CODE VIOLATIONS. FAILURE TO DO SO DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES.
2) CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY THE BUILDING AND FIRE DEPARTMENTS AND ANY OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
3) CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES, INCLUDING ELECTRICITY NECESSARY FOR CONSTRUCTION AND TEMPORARY SEPTIC FACILITIES, WHICH SHALL BE MAINTAINED ON SITE FOR THE DURATION OF CONSTRUCTION.
4) ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT THE COUNTY LANDFILL OR RECYCLING FACILITY ONLY. NO DEBRIS ARE TO BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES. PUBLIC ROADS SHALL BE MAINTAINED AND REMAIN FREE OF MUD OR DUST, EQUIPMENT AND MATERIAL.
5) CONTRACTOR SHALL INFORM ARCHITECT OF ANY AND ALL OWNER (OR OWNERS REPRESENTATIVE) REQUESTED CHANGE OR DIRECTIVES FOLLOWING OWNER (OR OWNERS REPRESENTATIVE) / CONTRACTOR CONVERSATIONS. CONTRACTOR SHALL NOT PROCEED WITH OWNER (OR OWNERS REPRESENTATIVE) REQUESTED CHANGES OR DIRECTIVES WITHOUT PRIOR REVIEW FROM THE ARCHITECT.
6) GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL TAKE EXTRA CAUTION AND REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION. ALL DRAWINGS ARE THE CONTRACT DOCUMENTS. NOTIFY ARCHITECTS OF ANY DISCREPANCIES PRIOR TO BID.
7) CONTRACTOR SHALL STORE ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
8) CONTRACTOR SHALL CONTROL DUST AND NOISE DURING CONSTRUCTION TO GREATEST EXTENT POSSIBLE.
9) EXAMINATION OF BIDDING CONTRACT A. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND EACH BIDDER TO THOROUGHLY EXAMINE ALL OF THE BIDDING DOCUMENTS, AND NOT LATER THAN SEVEN DAYS PRIOR TO THE BID DATE, SHALL MAKE A WRITTEN REQUEST TO THE ARCHITECT FOR INTERPRETATION OR CORRECTION OF ANY DISCREPANCIES, AMBIGUITIES, INCONSISTENCIES, OR ERRORS THEREIN. THE ARCHITECT WILL ISSUE AN INTERPRETATION OR CORRECTION AS AN ADDENDUM OR WRITTEN DIRECTIVE. ONLY A WRITTEN INTERPRETATION OR CORRECTION BY ADDENDUM SHALL BE BINDING. IF DISCREPANCIES, AMBIGUITIES, INCONSISTENCIES, OR ERRORS ARE NOT COVERED BY ADDENDUM OR WRITTEN DIRECTIVE, CONTRACTOR SHALL INCLUDE IN HIS BID, LABOR MATERIALS AND METHODS OF CONSTRUCTION RESULTING IN HIGHER COSTS. AFTER AWARD OF CONTRACT, NO ALLOWANCE OR EXTRA COMPENSATION WILL BE MADE ON BEHALF OF THE CONTRACTOR DUE TO HIS FAILURE TO MAKE THE WRITTEN REQUESTS AS DESCRIBED ABOVE. B. FAILURE TO REQUEST CLARIFICATION DURING THE BID PERIOD OF ANY INADEQUACY, OMISSION, DISCREPANCY, OR CONFLICT DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES. THE SIGNING OF THE CONTRACT WILL BE CONSIDERED AS IMPLICITLY DENOTING THAT THE CONTRACTOR HAS A THOROUGH COMPREHENSION OF THE FULL INTENT AND SCOPE OF THE BIDDING CONTRACT.
10) ALIGN ALL VISIBLE EQUIPMENT (WHICH INCLUDES BUT IS NOT LIMITED TO, DIFFUSERS, OUTLETS, LIGHTS, SWITCHES, SMOKE DETECTORS, THERMOSTATS, FIRE PROTECTION, ETC.) EQUALLY BETWEEN OR DIRECTLY WITH ARCHITECTURAL FEATURES (WINDOWS, DOORS, ETC.) AND OTHER VISIBLE EQUIPMENT. REFRAME OR ADJUST STRUCTURAL FRAMING AS REQUIRED (CONTACT ARCHITECT PRIOR TO ADJUSTING FRAMING) (FOR POSSIBLE ADDITIONAL STRUCTURAL REQUIREMENTS). VERIFY ALL LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN INSTALLATIONS OF ANY SYSTEM OR EQUIPMENT. ANY ADJUSTMENTS IN THE FIELD PER ARCHITECT'S DIRECTION MAY BE REQUIRED AND SHALL BE INCLUDED IN THE BID.
11) ALL SUBMITTAL AND SHOP DRAWINGS SHALL BE 11" X 17" OR SMALLER FORMAT.
12) THE CONTRACTOR SHALL CONDUCT PRE-CONSTRUCTION AND/OR PRE-INSTALLATION MEETINGS BASED ON THE CONSTRUCTION SCHEDULE TO REVIEW THE REQUIREMENTS OF THE CONTRACT, DETERMINE (AND POSSIBLY ADJUST) SEQUENCING, POSSIBLY ADJUST TRADE LOCATIONS AND TO RESOLVE ANY CONFLICTS OR CODE ISSUES. IT IS THE RESPONSIBILITY OF ALL TRADES INVOLVED TO HAVE KEY PERSONNEL PRESENT AT THESE MEETINGS. IF A TRADE IS NOT PRESENT AND ADDITIONAL WORK AND MATERIAL IS REQ'D OF THE TRADE, BASED ON INFORMATION DISCUSSED (THAT WAS UNFORESEEN BY THOSE PRESENT), THE TRADE WILL BEAR THESE COSTS WITHIN THEIR BID.

2018 INTERNATIONAL RESIDENTIAL CODE NOTES

THE BUILDING SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 INTERNATIONAL BUILDING CODE (WHEN APPLICABLE). THE GENERAL CONTRACTOR SHALL VERIFY THE BUILDING CONSTRUCTION CONFORMS TO CODE. IN PARTICULAR, THE FOLLOWING ITEMS SHALL CONFORM TO THE REFERRED SECTION OF THE CODE.
1) ALL OUTDOOR INTAKE & EXHAUST OPENINGS SHALL CONFORM TO SECTION R303.5
2) ALL STAIRWAY (INTERIOR & EXTERIOR) ILLUMINATION SHALL CONFORM TO SECTION R303.7-R303.8
3) ALL GLAZING SHALL CONFORM TO SECTION R308
4) ALL BASEMENT (WITH HABITABLE SPACE) & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE. EMERGENCY ESCAPE & RESCUE OPENING CONFORMING TO SECTION R310.
5) ALL STAIR RISER SHALL NOT EXCEED 7 3/4" AND ALL TREADS SHALL NOT BE LESS THAN 10". REFER TO SECTION R311.7 FOR ALL STAIRWAY REQ'MENTS.
6) ALL HANDRAILS SHALL CONFORM TO SECTION R311.7.8
7) ALL GUARDS (GUARD RAILS) SHALL BE MIN. 36" REFER TO SECTIONS R312
8) SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS. - IN EACH SLEEPING ROOM - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWL SPACES & UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS W/OUT LEVELS & W/O AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJ. LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN 1 FULL STORY BELOW UPPER LEVEL. - ALL ALARMS SHALL BE INTERCONNECTED (WHEN ONE ALARMS THEY ALL ALARM). REFER TO SECTION R314.
9) ALL FOAM PLASTIC AND ALL INSULATION SHALL CONFORM TO SECTIONS R316. REFER AND CONFORM TO APPENDIX F FOR RADON CONTROL METHODS AND REQUIREMENTS

SITE SPECIFICATIONS

- 1) FINAL BUILDING STAKING AND ALL REQUIRED SURVEYING TO BE PERFORMED BY COMPETENT SURVEYOR AT CONTRACTOR'S EXPENSE.
- 2) CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY PROBLEMS WITH EXISTING SOIL CONDITIONS AS MAY BE ENCOUNTERED DURING THE CONSTRUCTION OF THIS PROJECT (PRIMARILY DURING EXCAVATION).
- 3) CONTRACTOR SHALL RESTORE ALL EXISTING LANDSCAPING WHICH IS DAMAGED DUE TO CONSTRUCTION.
- 4) CONTRACTOR SHALL COORDINATE AND SUPERVISE TRENCHING AND INSTALLATION OF ALL UTILITIES AND SERVICES TO AND FROM BUILDING. GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, INSTALLATION, AND BACK FILLING OF EACH UTILITY AS APPLICABLE TO PROJECT. SUCH COORDINATION SHALL INCLUDE GENERAL CONTRACTOR'S REASONABLE EFFORTS TO COMBINE AS MANY DIFFERENT UTILITIES IN COMMON TRENCHES AS PRACTICALITIES AND GOOD PRACTICE PERMIT.
- 5) EXCAVATION SHALL REVIEW & COMPLY TO ALL REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY ENGINEER
- 6) REMOVAL OF EXISTING TREES & BUSHES ON SITE, AND ANY OTHER ORGANIC MATERIAL CLEARED FOR PURPOSES OF CONSTRUCTION, IS THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL GET OWNER'S APPROVAL BEFORE REMOVING TREES, BUSHES OR ANY OTHER VEGETATION.
- 7) ALL EXCAVATED FILL AND DEMOLITION DEBRIS IS TO BE STOCKPILED IN THE CONSTRUCTION STAGING AREA ONLY.



VICINITY MAP

Fair Grounds Community Center

305 WEST SNOW KING AVENUE,
JACKSON WYOMING

OWNER: TOWN OF JACKSON

ZONING DISTRICT	P/SP
BUILDING OCCUPANCY/USE	A-3 & B
LOT AREA	545806.8 SQ. FT - 12.53 AC.
TYPE	ASSEMBLY WITHOUT FIXED SEATS & OFFICES
TYPE OF CONSTRUCTION	VB
FIRE SPRINKLER	YES
EXISTING NO. OF STORIES	1
PROPOSED NO. OF STORIES	1
ALLOWABLE BUILDING HEIGHT	30'
ACTUAL BUILDING HEIGHT	22'-5 1/2"

NEW BUILDING AREA CALCULATIONS

EXISTING FLOOR AREA:	15,306 SF
PROPOSED FLOOR AREA:	15,306 SF
TOTAL AREA:	15,306 SF

SITE AREA:

TOTAL = 544806.8 SQ. FT.

TOTAL SITE DEVELOPMENT:

DEVELOPED:	
BUILDING:	15,306 SF
TOTAL = 15,306 SF	

CODES UTILIZED

2018 INTERNATIONAL BUILDING CODE (STRUCTURAL)
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2017 NATIONAL ELECTRIC CODE
2012 INTERNATIONAL ENERGY CODE
TETON COUNTY COMPREHENSIVE PLAN

LANDSCAPING CONFORMING TO DIVISION 4100 OF THE TETON COUNTY LDR'S

EXTERIOR & SITE LIGHTING

SEE ELEVATIONS FOR MOUNTING HEIGHTS AND LOCATIONS
SEE FLOOR PLAN FOR LOCATIONS
SEE LIGHT SCHEDULE FOR FIXTURE DESCRIPTIONS



200 East Broadway
P.O. Box 10399
Jackson, Wyoming 83002
(307) 733-6867
fax (307) 733-4741
www.wardblakearchitects.com

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Fair Grounds Community Center
305 WEST SNOW KING AVENUE,
JACKSON WYOMING

+ STRUCTURAL
ENGINEERS

+ MECHANICAL
ENGINEERS

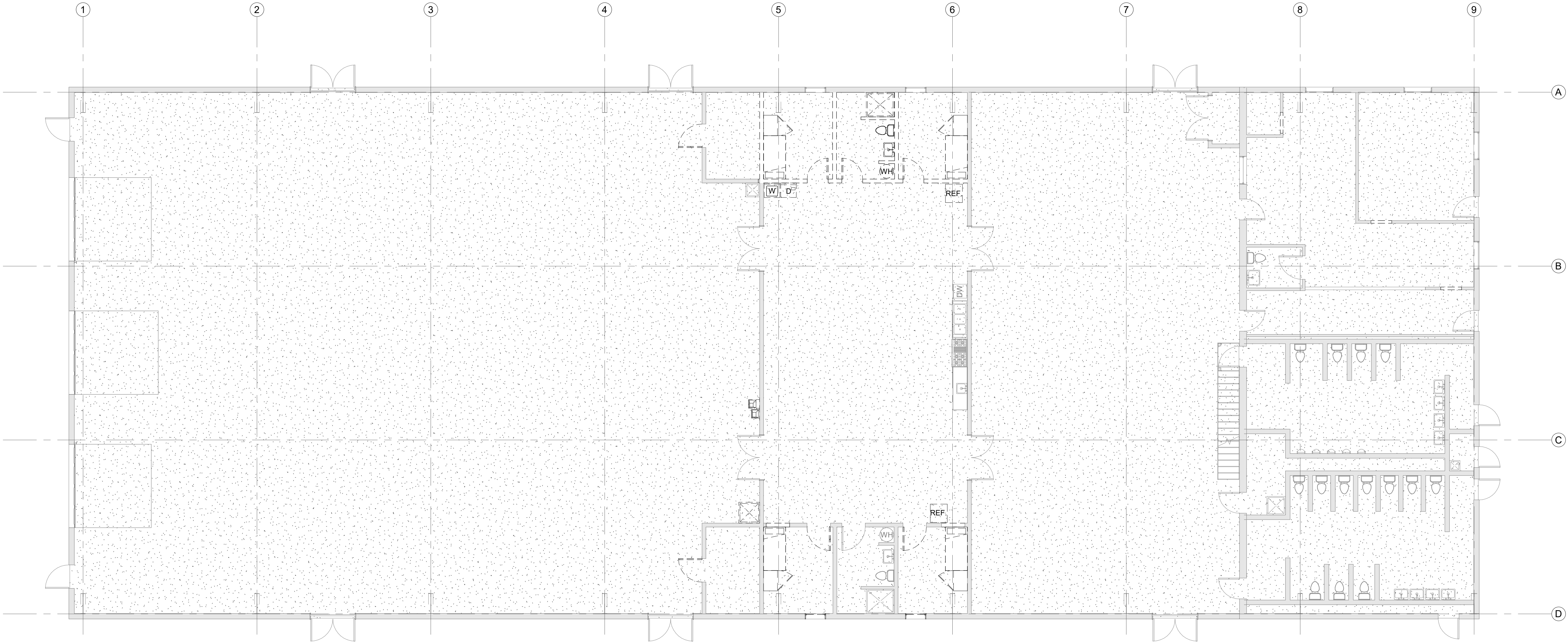
+ LANDSCAPE
ARCHITECTS

REVISIONS:

DATE: 1/21/22
PROJECT NO: Project
Number

CS

COVER SHEET



DEMO FLOOR PLAN

1/8" = 1'-0"

Fair Grounds Community Center

305 WEST SNOW KING AVENUE,
JACKSON WYOMING

+ STRUCTURAL
ENGINEERS

+ MECHANICAL
ENGINEERS

+ LANDSCAPE
ARCHITECTS

REVISIONS:

DATE: 1/21/22
PROJECT NOProject
Number

A0.1

DEMO FLOOR PLAN

Fair Grounds Community Center

305 WEST SNOW KING AVENUE,
JACKSON WYOMING

+ STRUCTURAL
ENGINEERS

+ MECHANICAL
ENGINEERS

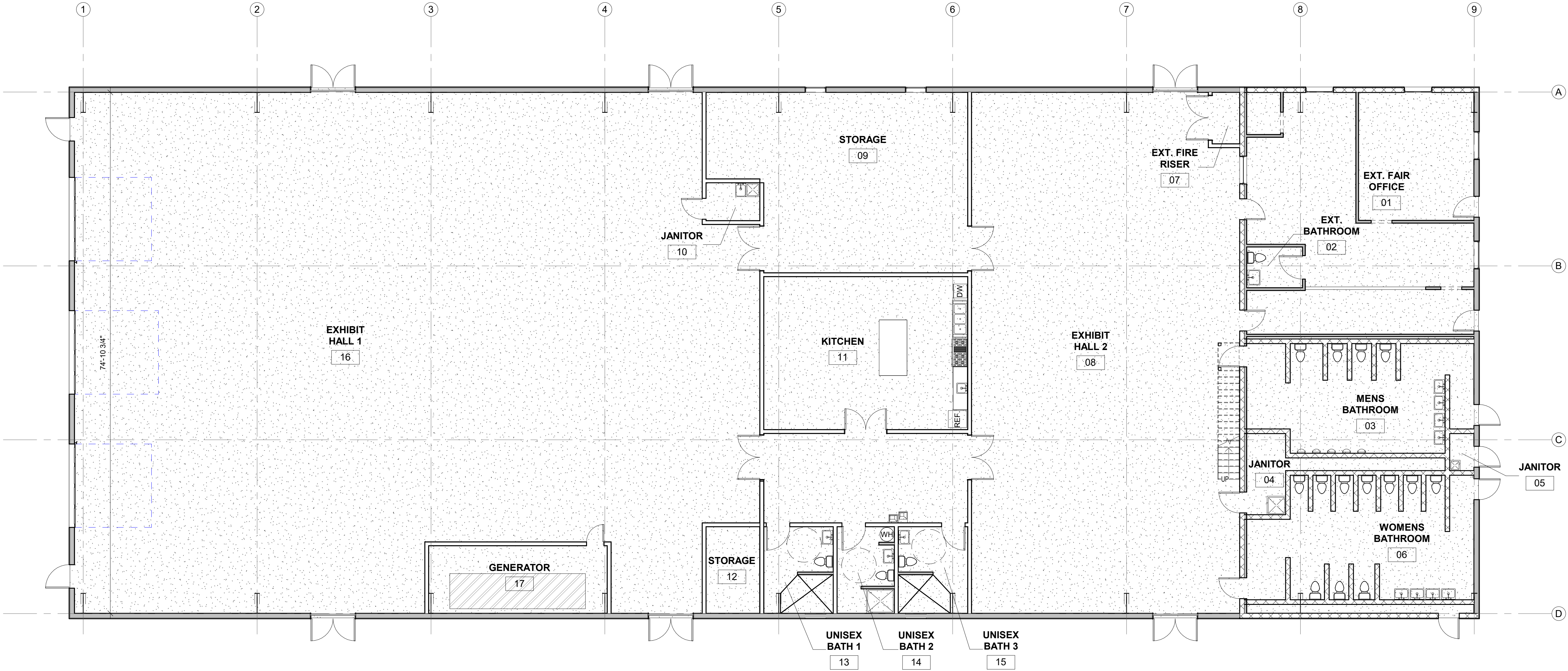
+ LANDSCAPE
ARCHITECTS

REVISIONS:

DATE: 1/21/22
PROJECT NOProject
Number

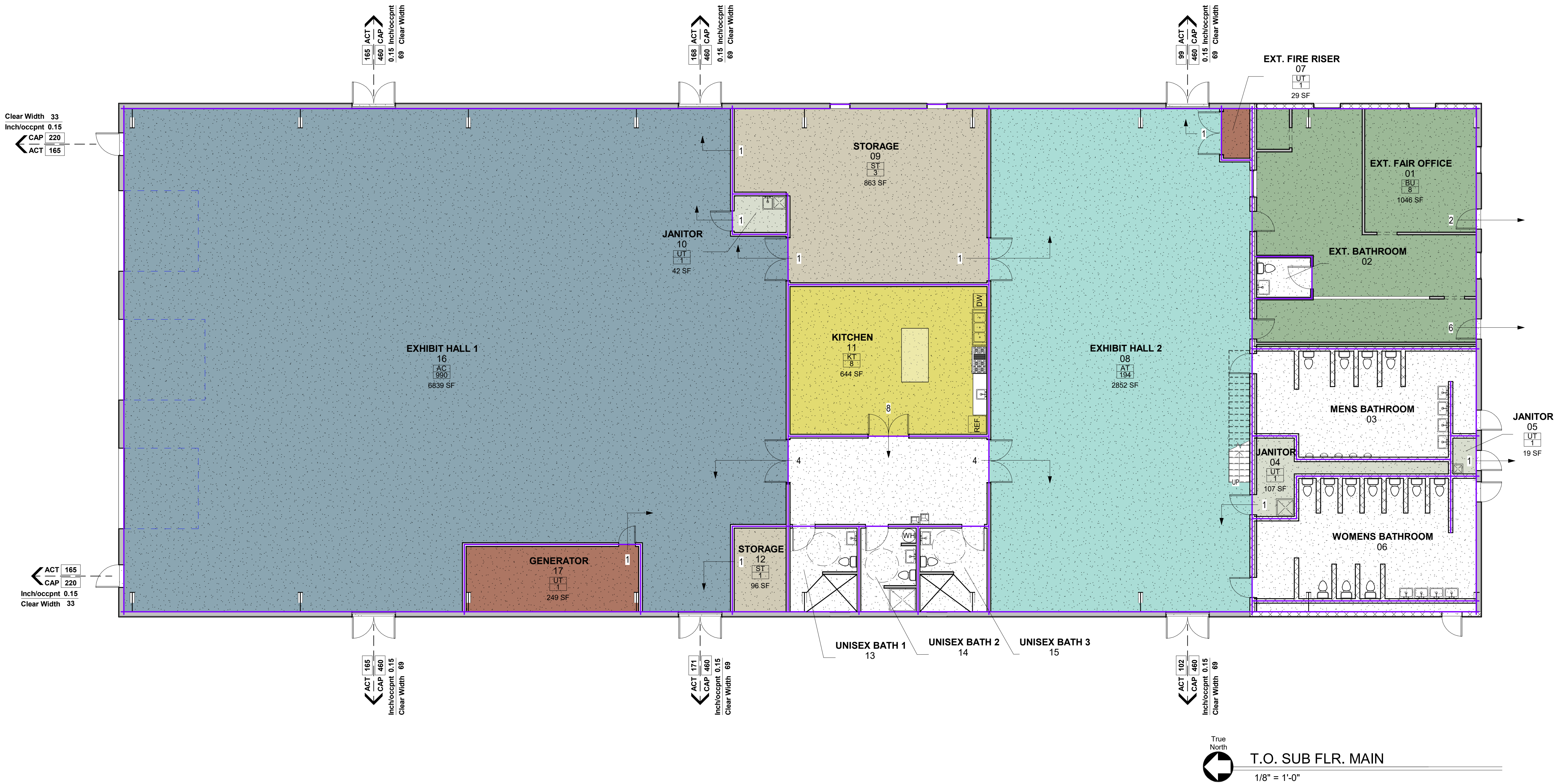
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FIRST FLOOR PLAN



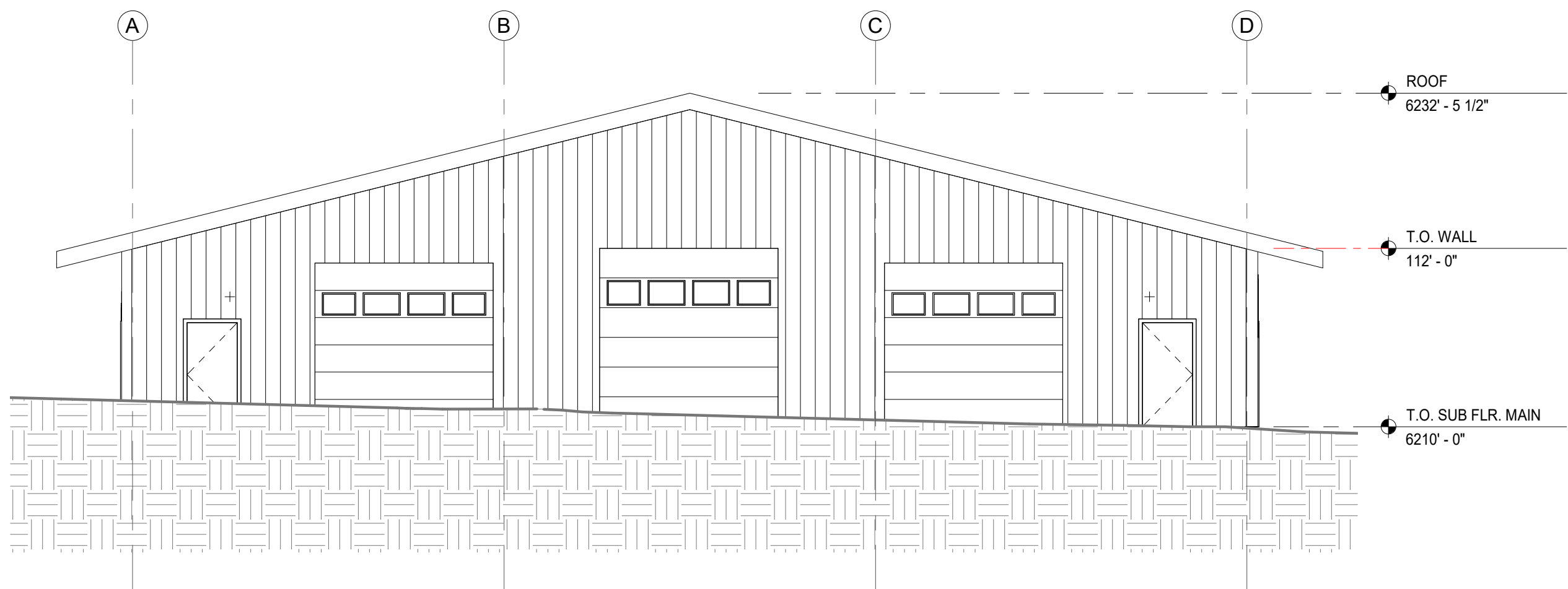
FIRST FLOOR PLAN

1/8" = 1'-0"



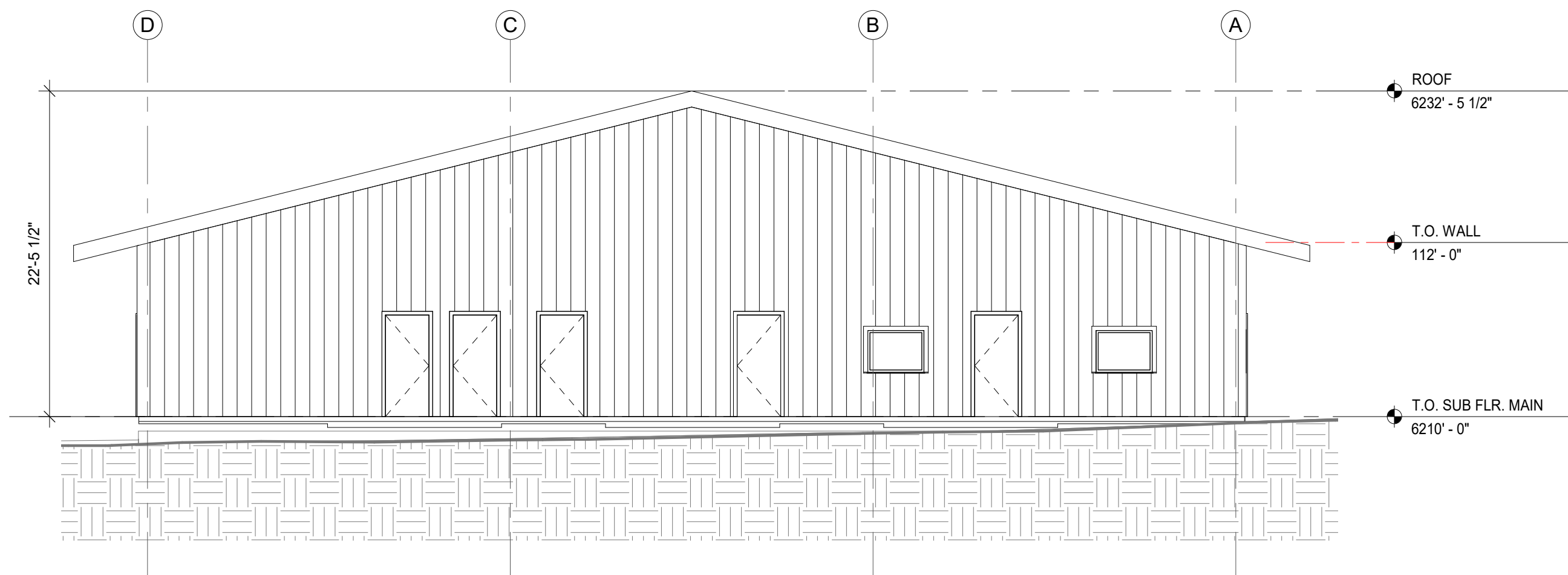
ROOM OCCUPANT LOADS		
AC	ASSEMBLY CHAIRS ONLY - NOT FIXED	7 S.F. NET
AT	ASSEMBLY WITH TABLES AND CHAIRS	15 S.F. NET
BU	BUSINESS AREAS	100 S.F. GROSS
KT	KITCHEN	200 S.F. GROSS
ST	STORAGE	300 S.F. GROSS
UT	UTILITY (MECH/ELEC/TECH)	300 S.F. GROSS
XX	FUNCTION OF SPACE (REFER TO ROOM OCCUPANT LOADS ABOVE)	
XX	OCCUPANT LOAD PER FLOOR AREA (FOR EXIT & PLUMBING FIXTURE CALC.)	
XX	GROSS SF	

PLUMBING FIXTURE COUNTS												
USER GROUP	NUMBER OF USERS	USER PER GENDER	WATER CLOSETS		LAVATORIES		SHOWERS		DRINKING FTNS.		SERVICE SINKS	
			REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
ASSEMBLY (TYPE A-3)	1184 (BASED ON CODE OCCUPANCY)	592 M	5 (1 PER 125)	2 W.C. 4 UR	4 (1 PER 200)	4	NA	NA	3 (1 PER 500)	3	1	3
		592 F	10 (1 PER 65)	10 W.C.	4 (1 PER 200)	4	NA	NA				
BUSINESS USE	8 (BASED ON CODE OCCUPANCY)	4 M	1 (1 PER 50)	1 W.C. 1 UR	1 (1 PER 40)	1	NA	NA				
		4 F	1 (1 PER 50)	1 W.C.	1 (1 PER 40)	1	NA	NA				
KITCHEN USE	8 (BASED ON CODE OCCUPANCY)	4 M	1 (1 PER 75)	1 W.C.	1 (1 PER 200)	1	NA	NA				
		4 F	1 (1 PER 75)	1 W.C.	1 (1 PER 200)	1	NA	NA				
STORAGE USE	5 (BASED ON CODE OCCUPANCY)	3 M	1 (1 PER 100)	1 W.C.	1 (1 PER 100)	1	NA	NA				
		3 F	1 (1 PER 100)	1 W.C.	1 (1 PER 100)	1	NA	NA				
FAMILY TOILET ROOM/ UNISEX: ASSEMBLY AREAS - 1 REQUIRED, 3 PROVIDED												



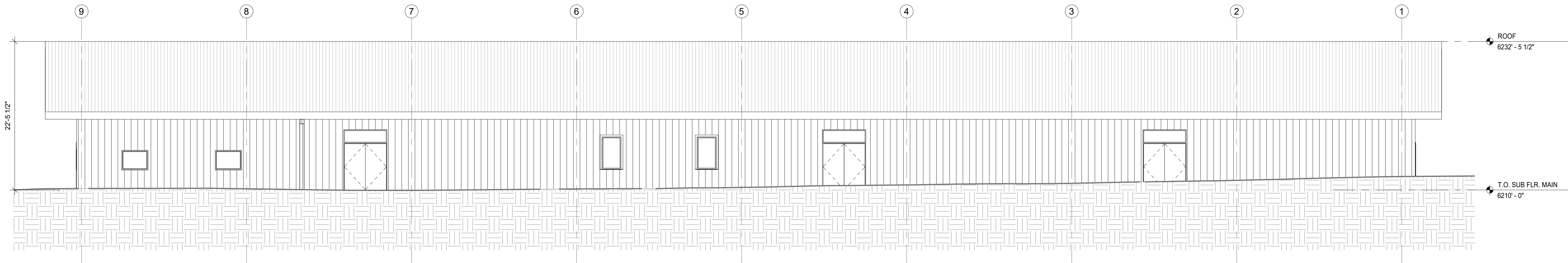
NORTH ELEVATION

1/8" = 1'-0"



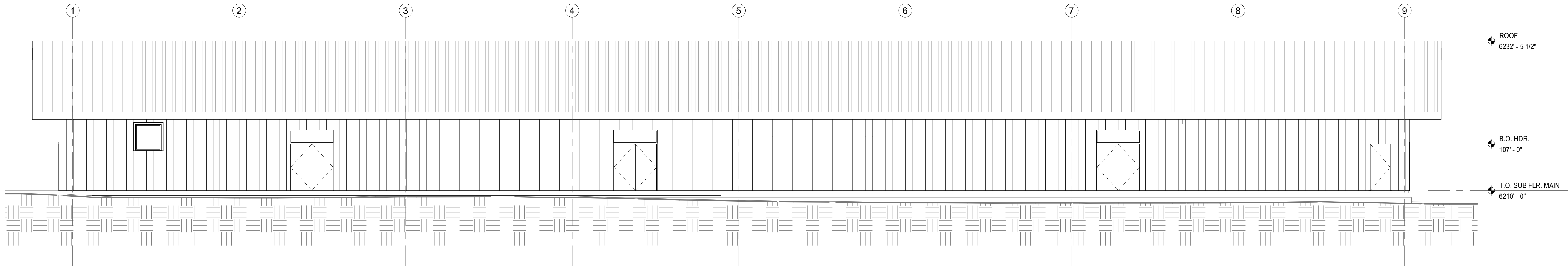
SOUTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

Fair Grounds Community Center

305 WEST SNOW KING AVENUE,
JACKSON WYOMING

+ STRUCTURAL
ENGINEERS

+ MECHANICAL
ENGINEERS

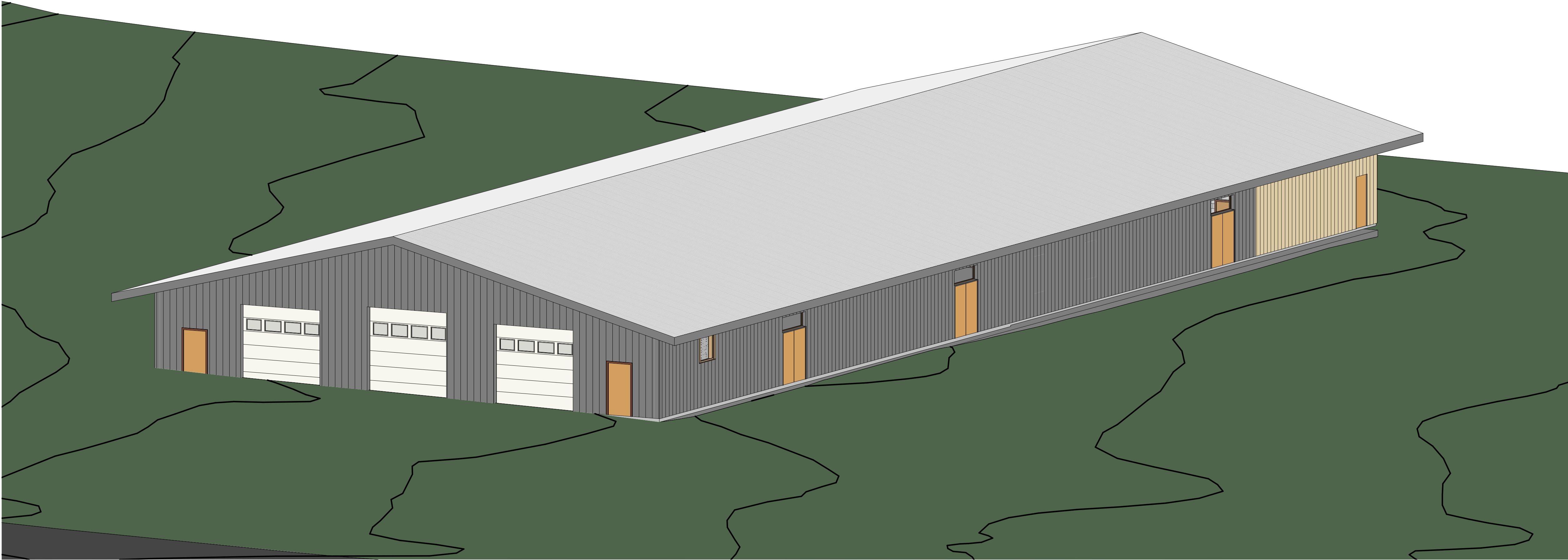
+ LANDSCAPE
ARCHITECTS

REVISIONS:

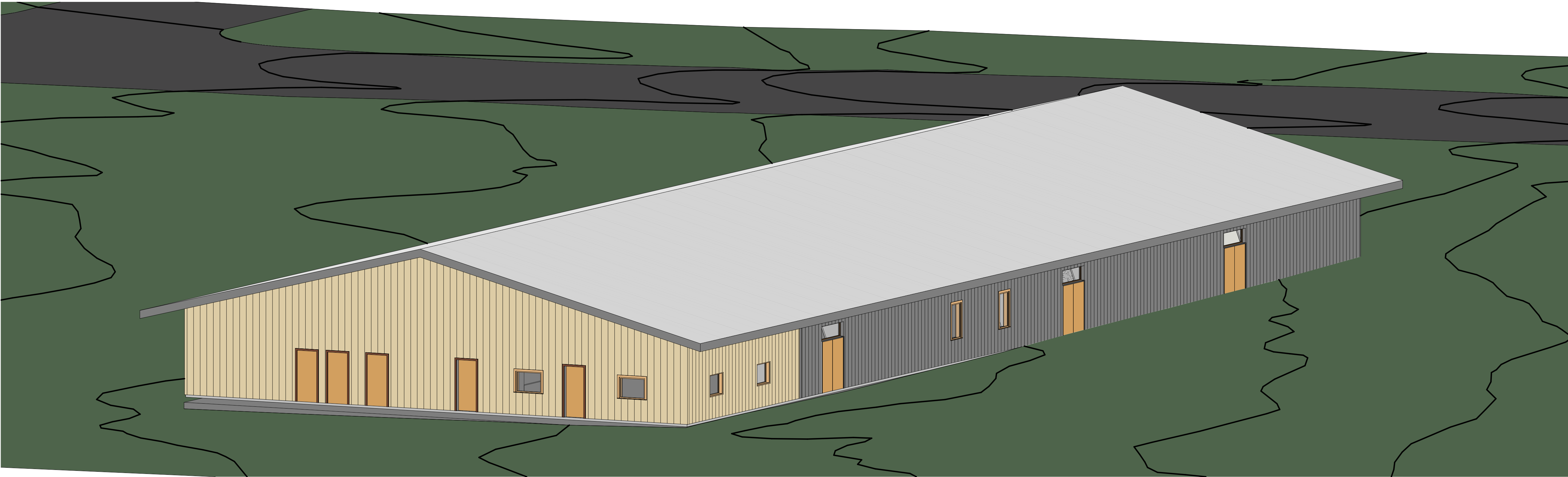
DATE: 1/21/22
PROJECT NOProject
Number

A3.1

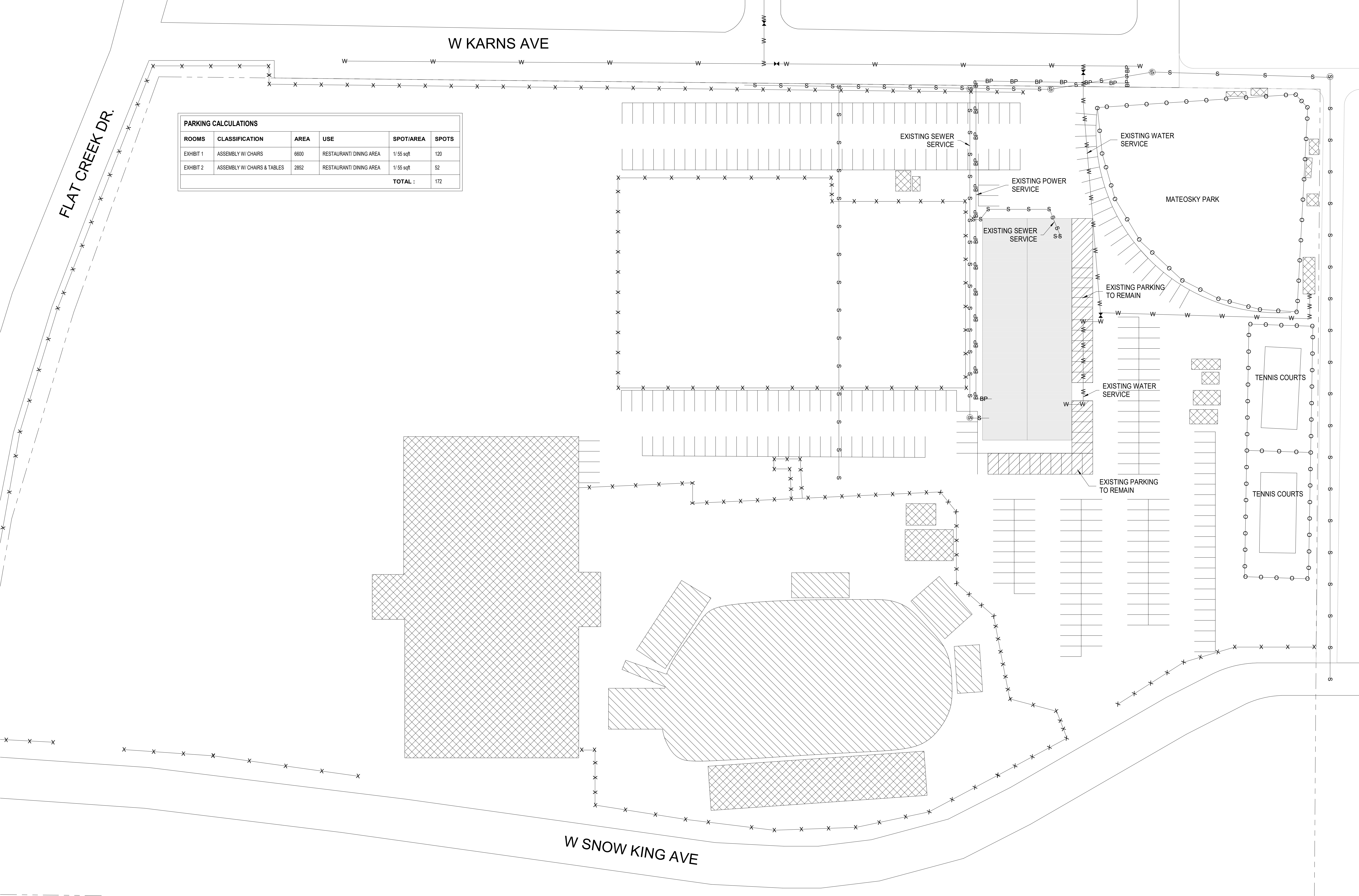
PERSPECTIVES



NORTHWEST 3D VIEW



SOUTHEAST 3D VIEW



PARKING CALCULATIONS					
ROOMS	CLASSIFICATION	AREA	USE	SPOT/AREA	SPOTS
EXHIBIT 1	ASSEMBLY W/ CHAIRS	6600	RESTAURANT/ DINING AREA	1/ 55 sqft	120
EXHIBIT 2	ASSEMBLY W/ CHAIRS & TABLES	2852	RESTAURANT/ DINING AREA	1/ 55 sqft	52
TOTAL :					172



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Fair Grounds Community Center

305 WEST SNOW KING AVENUE,
JACKSON WYOMING

+ STRUCTURAL
ENGINEERS

+ MECHANICAL
ENGINEERS

+ LANDSCAPE
ARCHITECTS

REVISIONS:

DATE: 1/21/22
PROJECT NOProject
Number

SP1.1

SITE PLAN



SITE PLAN

1" = 40'-0"



PARKING CALCULATIONS					
ROOMS	CLASSIFICATION	AREA	USE	SPOT/AREA	SPOTS
EXHIBIT 1	ASSEMBLY W/ CHAIRS	6600	RESTAURANT/ DINING AREA	1/ 55 sqft	120
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ARCHITECTS

REVISIONS:

DATE: 1/21/22
PROJECT NOProject
Number

SP1.2

SITE PLAN



SITE PLAN
1" = 40'-0"