



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: January 24, 2022	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 770 E Kelly Ave., legally known as LOT 82, FERRIN 13TH ADDITION, PIDN: 22-41-16-34-1-92-001&002 For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P22-012	
Planner: Katelyn Page	
Phone: 733-0440 ext. 1302	
Email: kpage@jacksonwy.gov	
Owner: Ostrom & Barbara Enders 274 Old Black Point Rd Niantic, CT 06357 Applicant: Northworks – Sasha Carney PO Box 4027 Jackson, WY 83001	
Please respond by: January 31, 2022 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Please include Braden Olson from Nelson Engineering when scheduling the pre app meeting. bolson@nelsonengineering.net

_____ Property Owner

_____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable) **New plat included***
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

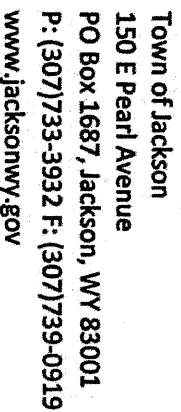
Basha Canney

Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title



LETTER OF AUTHORIZATION

WARRANTY DEED

770 Wyoming LLC, a Delaware limited liability company, GRANTOR(S), of 270 E WESTMINSTER STE 300, Lake Forest, IL 60045, for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, receipt of which is hereby acknowledged, CONVEY(S) AND WARRANT(S) TO Barbara P. Enders and Ostrom Enders II, wife and husband, tenants by the entirety, GRANTEE(S), whose address is 274 Old Black Point Road, Niantic, CT 06357, the following described real estate, situated in the County of Teton, State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

See attached Exhibit A

Together and including all improvements thereon, and all appurtenances and hereditaments thereunto belonging. Subject to general taxes for the year of closing, local improvement districts, guaranteed revenues to utility companies, building and zoning regulations, city, county and state subdivision and zoning laws, easements, restrictive covenants, and reservations of record.

WITNESS the due execution and delivery of this Warranty Deed this 12
day of January, 2022.

770 Wyoming LLC, a Delaware limited liability
company

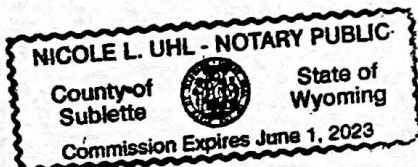
By: Amberley Baker
Amberley Baker, Authorized Signer

STATE OF Wyoming)
COUNTY OF Teton) ss.

The foregoing instrument was acknowledged before me by Amberley Baker,
Authorized Signer for 770 Wyoming LLC, a Delaware limited liability company, this
12 day of January, 2022.

WITNESS my hand and official seal.

(SEAL)



Nicole Uhl
Signature of Notarial Officer

Title and Rank

My Commission Expires _____

Order Number: W-26614

EXHIBIT "A"
LEGAL DESCRIPTION

Lot 82 of Ferrin Thirteenth Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on January 12, 2022 as Plat No. 1435.

PIDN: 22-41-16-34-1-92-002 (Parent Parcel - Lot 70), 22-41-16-34-1-92-001 (Parent Parcel - Lot 69)

WARRANTY DEED

Read and Approved

DocuSigned by:

DocuSigned by:

F7B60F495A640A...

F0C4D64BE89C46C...

770 Wyoming LLC, a Delaware limited liability company, GRANTOR(S), of 270 E WESTMINSTER STE 300, Lake Forest, IL 60045, for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, receipt of which is hereby acknowledged, CONVEY(S) AND WARRANT(S) TO Barbara P. Enders and Ostrom Enders II, wife and husband, tenants by the entirety, GRANTEE(S), whose address is 274 Old Black Point Road, Niantic, CT 06357, the following described real estate, situated in the County of Teton, State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

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WITNESS the due execution and delivery of this Warranty Deed this _____
day of January, 2022.

770 Wyoming LLC, a Delaware limited liability
company

By: _____
Amberley Baker, Authorized Signer

STATE OF _____)
COUNTY OF _____) ss.

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Authorized Signer for 770 Wyoming LLC, a Delaware limited liability company, this
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(SEAL)

Signature of Notarial Officer

Title and Rank

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24 January 2022

Town of Jackson
Planning & Building Department-Planning Division
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

To Whom it May Concern,

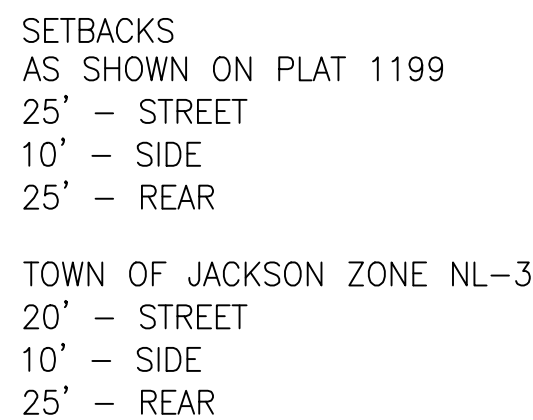
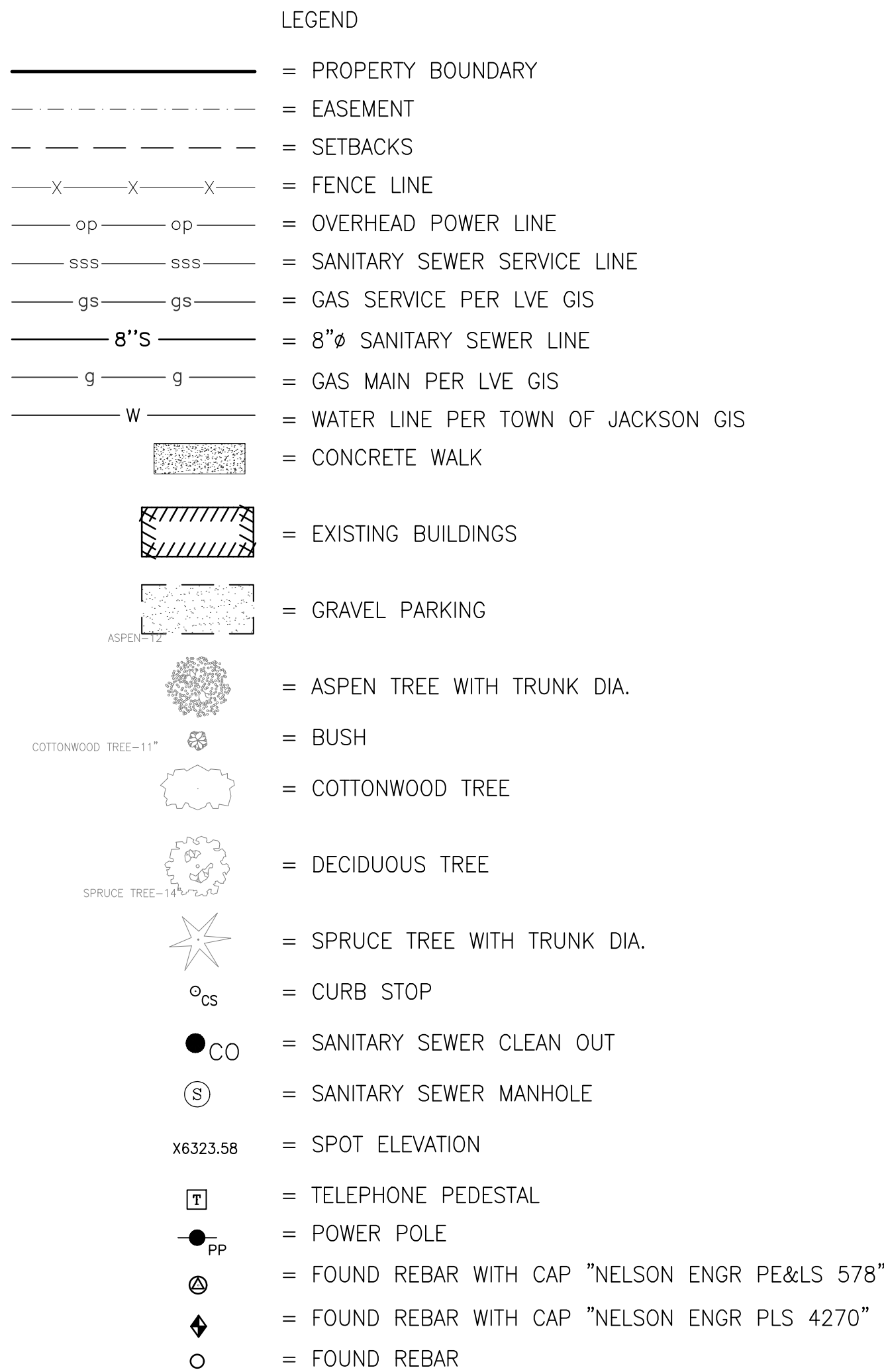
The Attached PAP is for new residential construction located at 770 & 774 E Kelly Ave., Jackson WY. In accordance with the site plan attached (drawing No. 1), there is an existing residence with associated parking and utilities. Proposed development shown on drawing No. 2 includes demolition of the existing structures and construction of a new residence with new utilities and driveway. New property boundaries have been approved and provided on drawing No. 3. Please don't hesitate to contact me with project inquiries.

Sincerely,

A handwritten signature in black ink, appearing to read "Braden Olson".

Braden Olson, PE
Nelson Engineering

Office: 307.733.2087
Email: bolson@nelsonengineering.net

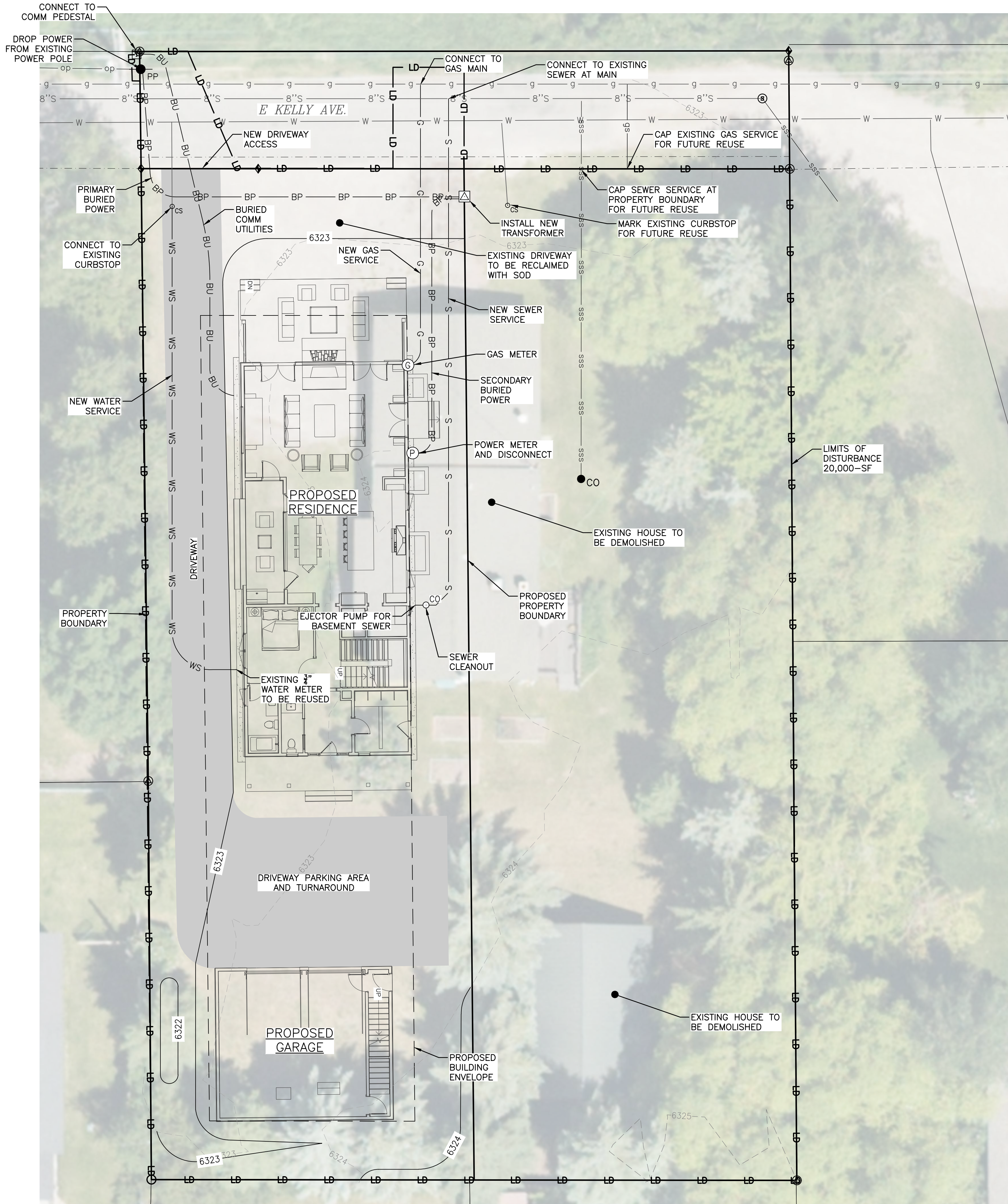


THESE LOTS ARE SUBJECT TO AN APPROVED VARIANCE
ALLOWING FOR A MIN. LOT SIZE OF 0.20 ACRES,
APPROVED ON OCTOBER 4, 2006.

Vertical datum based on NAVD88 (geoid12b)
derived from network gps observations

DRAWING NO 1	JOB TITLE 770 WYOMING LLC	DRAWING TITLE EXISTING SITE PLAN	DATE 7/15/2021	REV.
	JOB NO 21-553-01			
JACKSON, WY 770 & 774 E KELLY AVE 770 WYOMING LLC		NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 733-2067	SURVEYED ENGINEERED DRAWN CHECKED APPROVED	TB SK LR LR

S:\Pre-2021\252-18_0770 E Kelly Ave - Northwoods - Civil\4 Drawings\Civil\215330_Gradings_Designing PRE APP SITE PLAN - Dec 28 2021 12:28:24 pm PLOTTED BY: cdon DWG: 215330-210



PRE APP SITE PLAN
SCALE: 1" = 20' (12X18)



1-3-22_PRE-APP SITE PLAN
NOT FOR CONSTRUCTION

DRAWING NO	JOB TITLE	DRAWING TITLE	REV.				
			DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED
2	770 WYOMING LLC	PRE APP SITE PLAN	3 JAN 2022	NE	BO	BO	BO
JOB NO	21-553-01	770 & 774 E KELLY AVE JACKSON, WY					

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

CERTIFICATE OF OWNERS

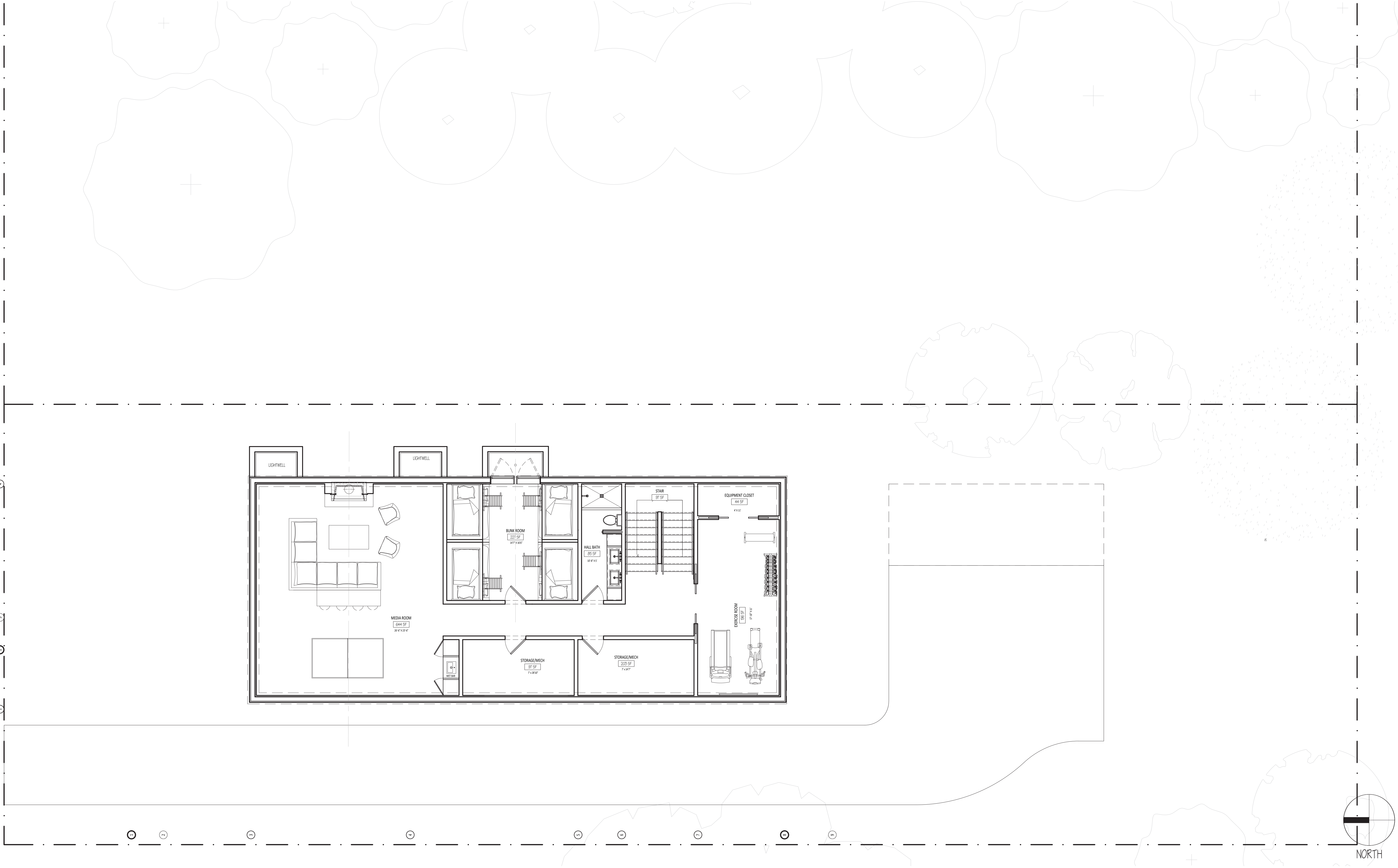
CERTIFICATE OF SURVEYOR
State of Wyoming)

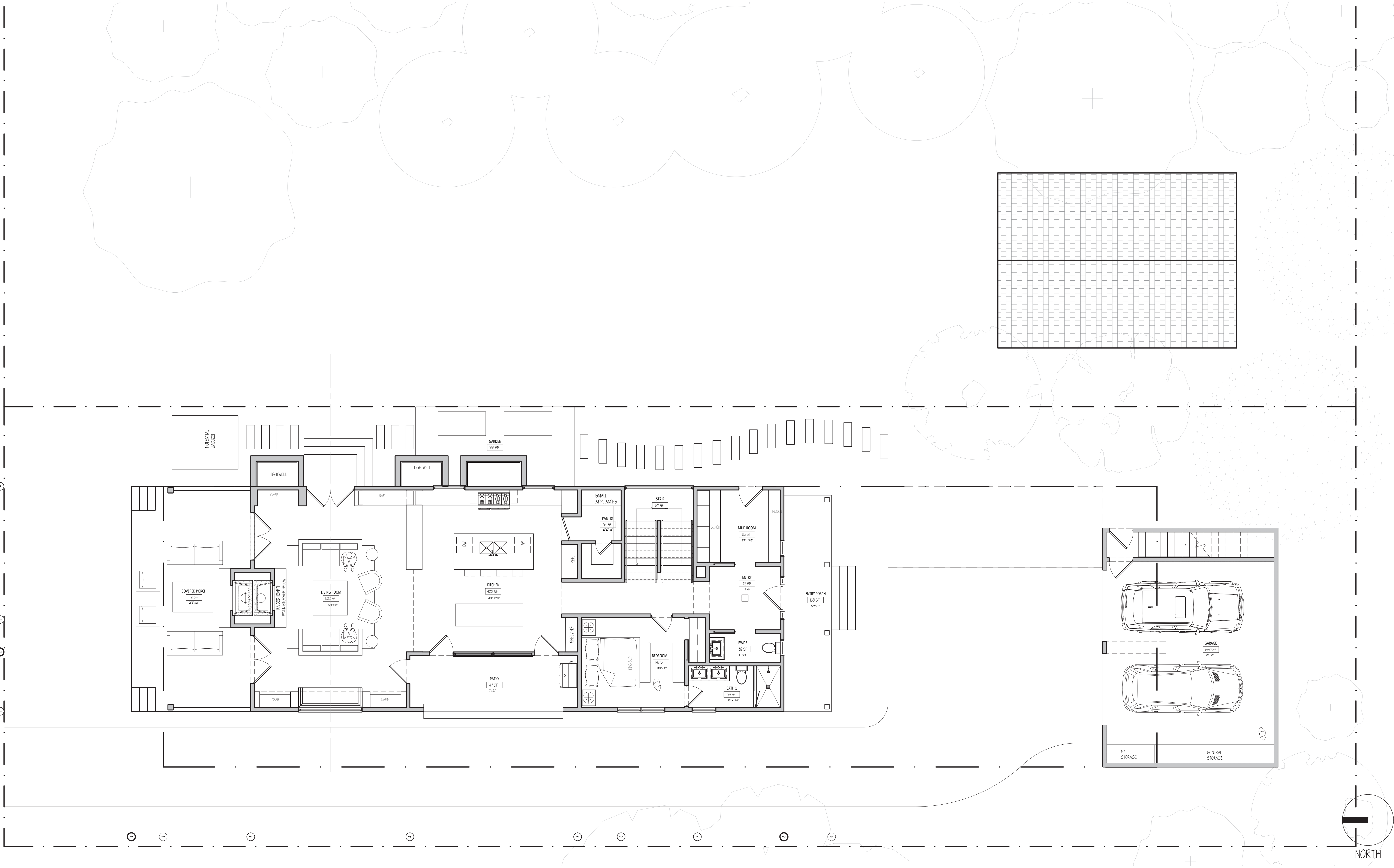
CERTIFICATE OF APPROVAL

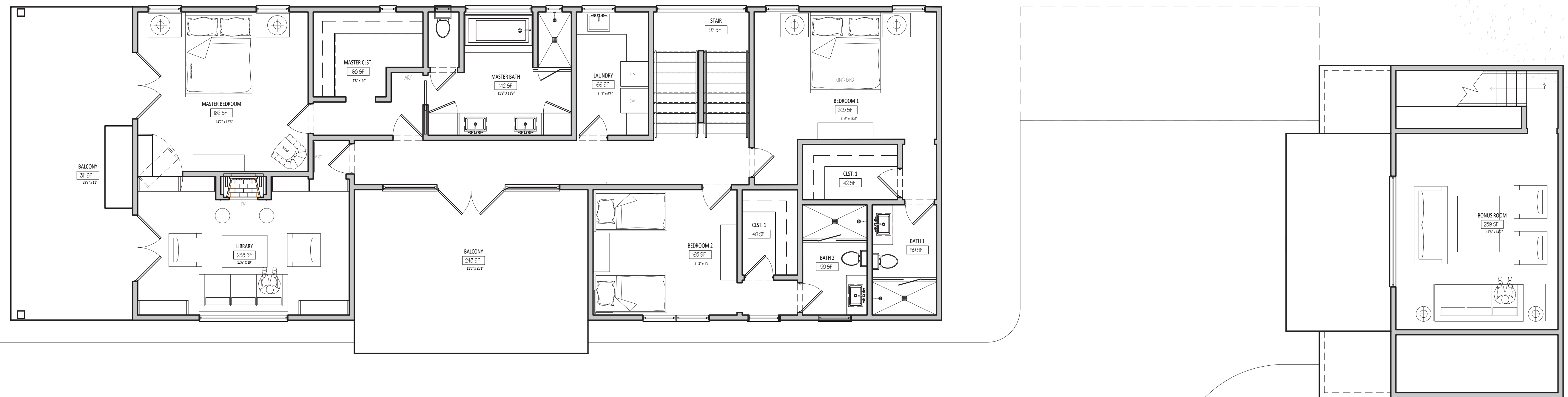
CERTIFICATE OF MORTGAGEE

LEGEND

NOTES:

















770 E KELLY RESIDENCE

EXTERIOR RENDERING - FRONT



770 E KELLY RESIDENCE
EXTERIOR RENDERING - BACK/ENTRY

