



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: January 24, 2022	REQUESTS:
Item #: P22-012	The applicant is submitting a request for a Grading Pre-Application for the property located at 770 E Kelly Ave., legally known as LOT 82, FERRIN 13TH ADDITION, PIDN: 22-41-16-34-1-92-001&002
Planner: Katelyn Page	For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Phone: 733-0440 ext. 1302	
Email: kpage@jacksonwy.gov	
Owner: Ostrom & Barbara Enders 274 Old Black Point Rd Niantic, CT 06357	
Applicant: Northworks – Sasha Carney PO Box 4027 Jackson, WY 83001	
Please respond by: January 31, 2022 (with Comments)	

REQUESTS:

The applicant is submitting a request for a Grading Pre-Application for the property located at 770 E Kelly Ave., legally known as LOT 82, FERRIN 13TH ADDITION, PIDN: 22-41-16-34-1-92-001&002

For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.

Owner:

Ostrom & Barbara Enders
274 Old Black Point Rd
Niantic, CT 06357

Applicant:

Northworks – Sasha Carney
PO Box 4027
Jackson, WY 83001

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Please include Braden Olson from Nelson Engineering when scheduling the pre app meeting. bolson@nelsonengineering.net

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable) **New plat included***
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title

WARRANTY DEED

770 Wyoming LLC, a Delaware limited liability company, GRANTOR(S), of 270 E WESTMINSTER STE 300, Lake Forest, IL 60045, for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, receipt of which is hereby acknowledged, CONVEY(S) AND WARRANT(S) TO Barbara P. Enders and Ostrom Enders II, wife and husband, tenants by the entirety, GRANTEE(S), whose address is 274 Old Black Point Road, Niantic, CT 06357, the following described real estate, situated in the County of Teton, State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

See attached Exhibit A

Together and including all improvements thereon, and all appurtenances and hereditaments thereunto belonging. Subject to general taxes for the year of closing, local improvement districts, guaranteed revenues to utility companies, building and zoning regulations, city, county and state subdivision and zoning laws, easements, restrictive covenants, and reservations of record.

WITNESS the due execution and delivery of this Warranty Deed this 12
day of January, 2022.

770 Wyoming LLC, a Delaware limited liability
company

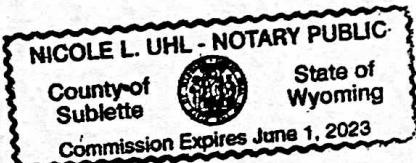
By: Amberley Baker
Amberley Baker, Authorized Signer

STATE OF Wyoming)
COUNTY OF Teton) ss.
)

The foregoing instrument was acknowledged before me by Amberley Baker,
Authorized Signer for 770 Wyoming LLC, a Delaware limited liability company, this
12 day of January, 2022.

WITNESS my hand and official seal.

(SEAL)



Signature of Notarial Officer

Title and Rank

My Commission Expires _____

EXHIBIT "A"
LEGAL DESCRIPTION

Lot 82 of Ferrin Thirteenth Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on January 12, 2022 as Plat No. 1435.

PIDN: 22-41-16-34-1-92-002 (Parent Parcel - Lot 70), 22-41-16-34-1-92-001 (Parent Parcel - Lot 69)

WARRANTY DEED

Read and Approved

DocuSigned by:

Barbara P. Enders
F7B60FA495A640A
FOC4D64BE89C46C

770 Wyoming LLC, a Delaware limited liability company, GRANTOR(S), of 270 E WESTMINSTER STE 300, Lake Forest, IL 60045, for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, receipt of which is hereby acknowledged, CONVEY(S) AND WARRANT(S) TO Barbara P. Enders and Ostrom Enders II, wife and husband, tenants by the entirety, GRANTEE(S), whose address is 274 Old Black Point Road, Niantic, CT 06357, the following described real estate, situated in the County of Teton, State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

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WITNESS the due execution and delivery of this Warranty Deed this _____
day of January, 2022.

770 Wyoming LLC, a Delaware limited liability
company

By: _____
Amberley Baker, Authorized Signer

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me by Amberley Baker,
Authorized Signer for 770 Wyoming LLC, a Delaware limited liability company, this
____ day of January, 2022.

WITNESS my hand and official seal.

(SEAL)

Signature of Notarial Officer

Title and Rank

My Commission Expires _____

Order Number: W-26614

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24 January 2022

Town of Jackson
Planning & Building Department-Planning Division
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

To Whom it May Concern,

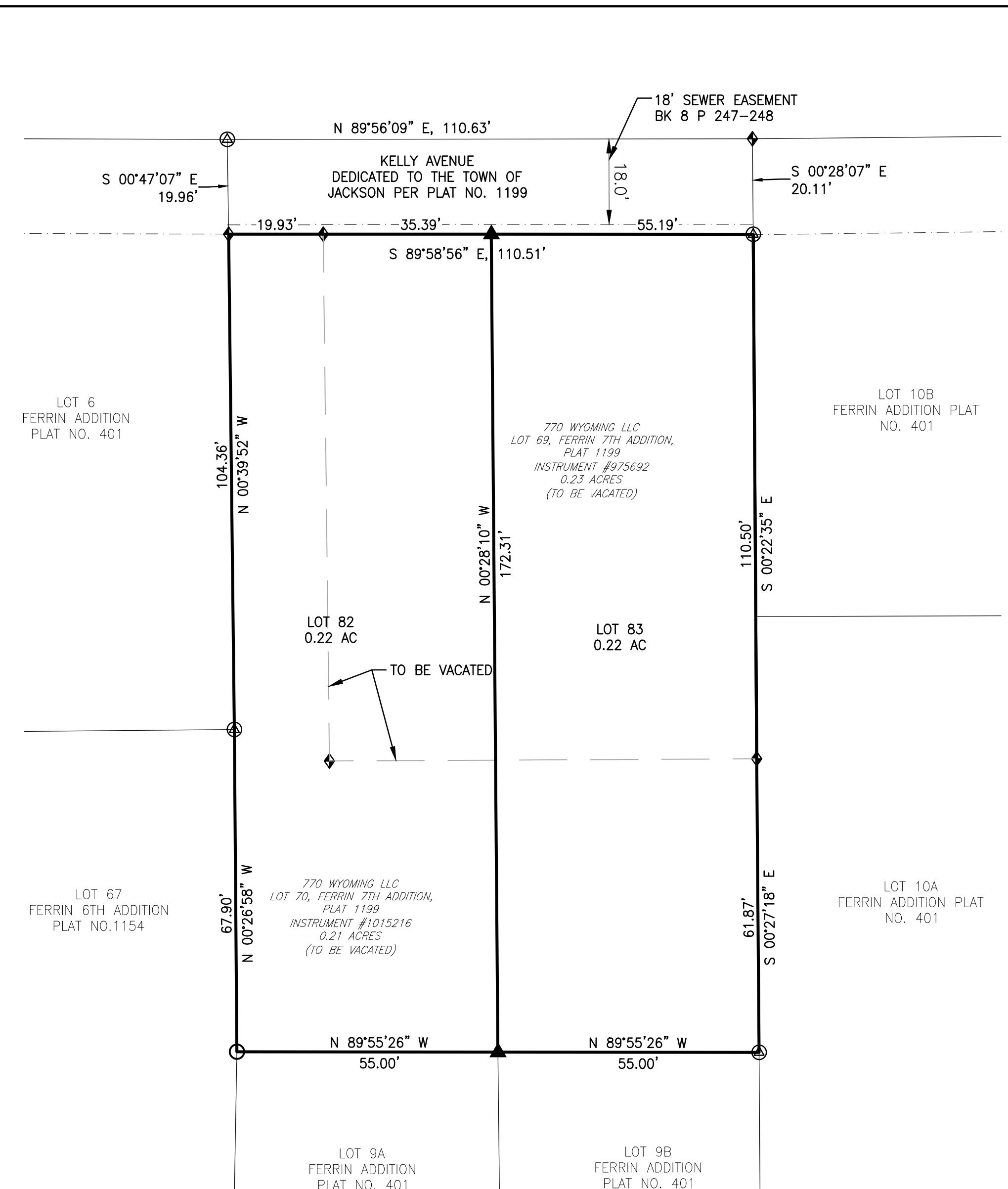
The Attached PAP is for new residential construction located at 770 & 774 E Kelly Ave., Jackson WY. In accordance with the site plan attached (drawing No. 1), there is an existing residence with associated parking and utilities. Proposed development shown on drawing No. 2 includes demolition of the existing structures and construction of a new residence with new utilities and driveway. New property boundaries have been approved and provided on drawing No. 3. Please don't hesitate to contact me with project inquiries.

Sincerely,



Braden Olson, PE
Nelson Engineering

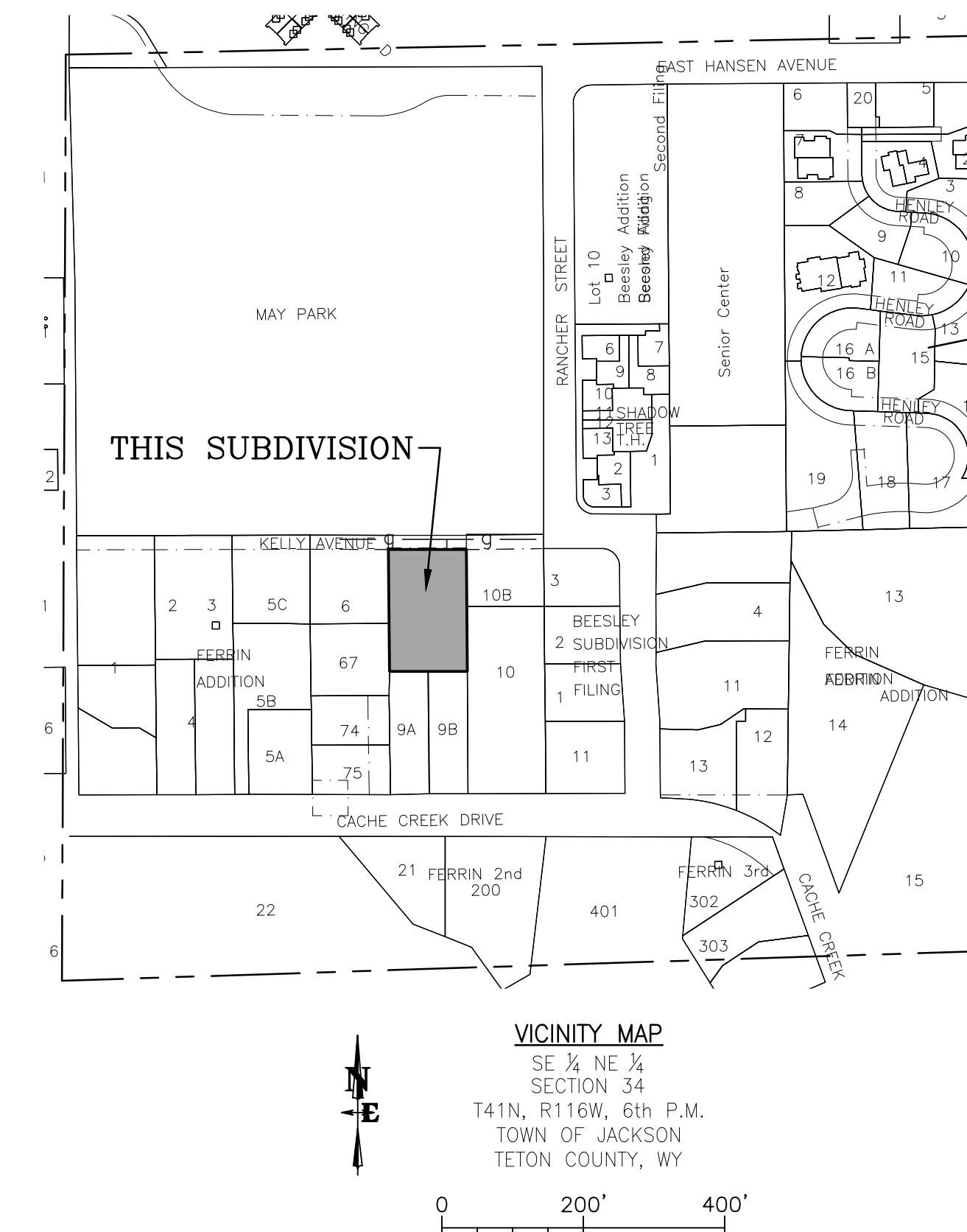
Office: 307.733.2087
Email: bolson@nelsonengineering.net



CERTIFICATE OF OWNERS

State of Wyoming)
County of Teton)ss.
The undersigned owners and proprietors of the lands shown hereon hereby certify;
That the foregoing subdivision of land as shown hereon and described in the Certificate of Surveyor hereon is with their free consent and in accordance with the desires of the undersigned owners and proprietors;
That the name of the subdivision shall be FERRIN THIRTEENTH ADDITION TO THE TOWN OF JACKSON;
That access to the subdivision is from Kelly Avenue;
That Lots 69 and 70 of Ferrin Seventh Addition to the Town of Jackson, Plat no. 1199, records of Teton County, is hereby vacated in accordance with the Town of Jackson Land Development Regulations, Article VII and Sections 34-12-106 through 110, Wyoming Statutes, 1977, as amended, and the Teton County Clerk is respectfully requested to write "vacated" across said lots, they being reconfigured as shown hereon;
That this subdivision is subject to all matters delineated on Ferrin Seventh Addition to the Town of Jackson, Plat no. 1199, records of the Office of the Clerk of Teton County;
That this subdivision is subject to all matters delineated on Ferrin Addition to the Town of Jackson, Plat no. 401, records of the Office of the Clerk of Teton County;
That this subdivision is subject to a blanket Right-of-Way Easement as described in Book 10 Mixed Records Page 283 of record in the office of the County Clerk at the time of this recording;
That access to sewer and water facilities, including pipelines, manholes, meters and valves, is hereby granted to the Town of Jackson;
That access across the driveways located within this subdivision is hereby granted to emergency vehicles including ambulances, firefighting vehicles, and police vehicles;
That Seller does not warrant to Purchaser that he shall have any rights to the natural flow of any stream within or adjacent to the subdivision;
That Wyoming Law does not recognize any riparian rights to the continued natural flow of a stream or river to persons living on the banks of the stream or river;
That all rights under and by virtue of the homestead exemption laws of the State of Wyoming are hereby waived and released;
That this subdivision is subject to any other easements, restrictions, reservations, rights-of-way, and conditions of right and/or record including, but not limited, to those shown hereon;

Signed by separate affidavit



LEGEND

- = PARCEL PROPERTY LINE
- = VACATED LOT LINE
- = EXISTING EASEMENT
- = ADJOINING PROPERTY LINE
- ◎ = FOUND 5/8" Ø REBAR WITH CAP "NELSON ENGR PE&LS 578"
- ♦ = FOUND 5/8" Ø REBAR WITH CAP "NELSON ENGR PLS 4270"
- = FOUND 5/8" Ø REBAR
- ▲ = SET 5/8" Ø REBAR WITH CAP "NELSON ENGR PLS 15442"

NOTES:

THIS SUBDIVISION SHALL NOT BE SUBJECT TO FURTHER DIVISIONS, EXCEPT AS PERMITTED BY THE TOWN OF JACKSON

AT TIME OF PLAT WATER AND SEWER SERVICES TO LOTS 82 AND 83 ARE NOT INSTALLED

SELLER DOES NOT WARRANT TO PURCHASER THAT HE HAS ANY RIGHTS TO THE NATURAL FLOW OF ANY STREAM WITHIN OR ADJACENT TO THE SUBDIVISION.

WYOMING LAW DOES NOT RECOGNIZE ANY RIPARIAN RIGHTS TO THE CONTINUED NATURAL FLOW OF A STREAM OR RIVER TO PERSONS LIVING ON THE BANKS OF THE STREAM OR RIVER.

THE SURFACE ESTATE OF THE LAND TO BE SUBDIVIDED IS SUBJECT TO FULL AND EFFECTIVE DEVELOPMENT OF THE MINERAL ESTATE.

CERTIFICATE OF APPROVAL

State of Wyoming
County of Teton)ss
Town of Jackson)

The foregoing Subdivision, Ferrin Thirteenth Addition to the Town of Jackson, was approved at the regular meeting of the Jackson Town Council on the _____ day of _____, 2021 in accordance with Section 15-1-415 Wyoming Statutes.

Attest: Town of Jackson

Town Clerk Hailey Morton Levinson, Mayor

Brian T. Lenz, Town Engineer Paul Anthony, Planning Director

The foregoing instrument was acknowledged before me by Hailey Morton Levinson, Mayor, this _____ day of _____, 2022.

Witness my hand and official seal.

Notary Public My commission expires: _____

The foregoing instrument was acknowledged before me by _____, Clerk this _____ day of _____, 2022.

Witness my hand and official seal.

Notary Public My commission expires: _____

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Number of Lots: 2
Lot 82 = 0.22 acres
Lot 83 = 0.22 acres

Total Project Acreage: 0.44 acres

Owner(s) and Subdivider(s): Surveyor:

770 Wyoming, LLC
270 E. Westminster, Suite 300
Lake Forest, IL 60045
847-234-1123

Nelson Engineering
P.O. Box 1599
Jackson, Wyoming, 83001
307-733-2087

Notary Public My commission expires: _____

The foregoing instrument was acknowledged before me by _____, Clerk this _____ day of _____, 2022.

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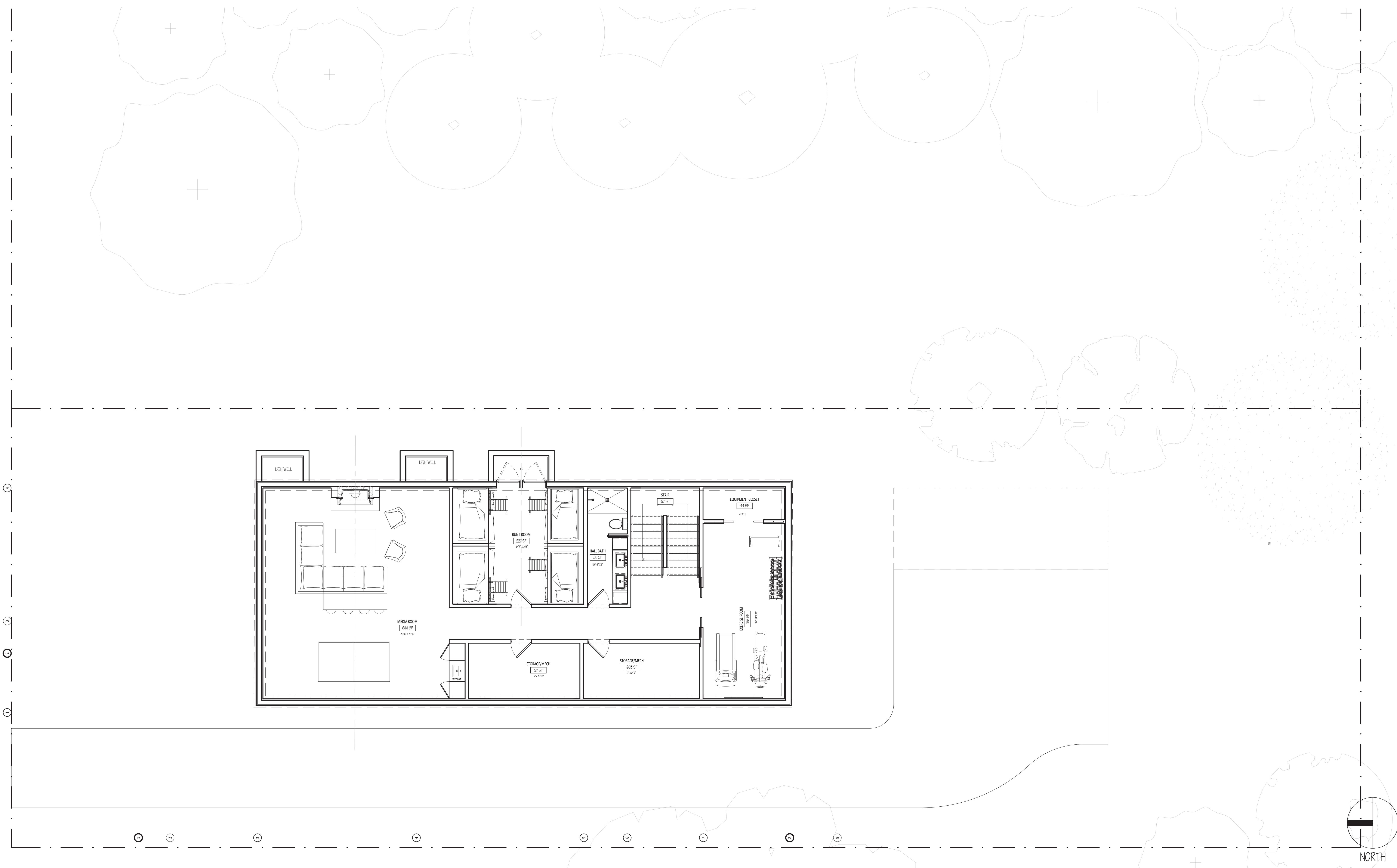
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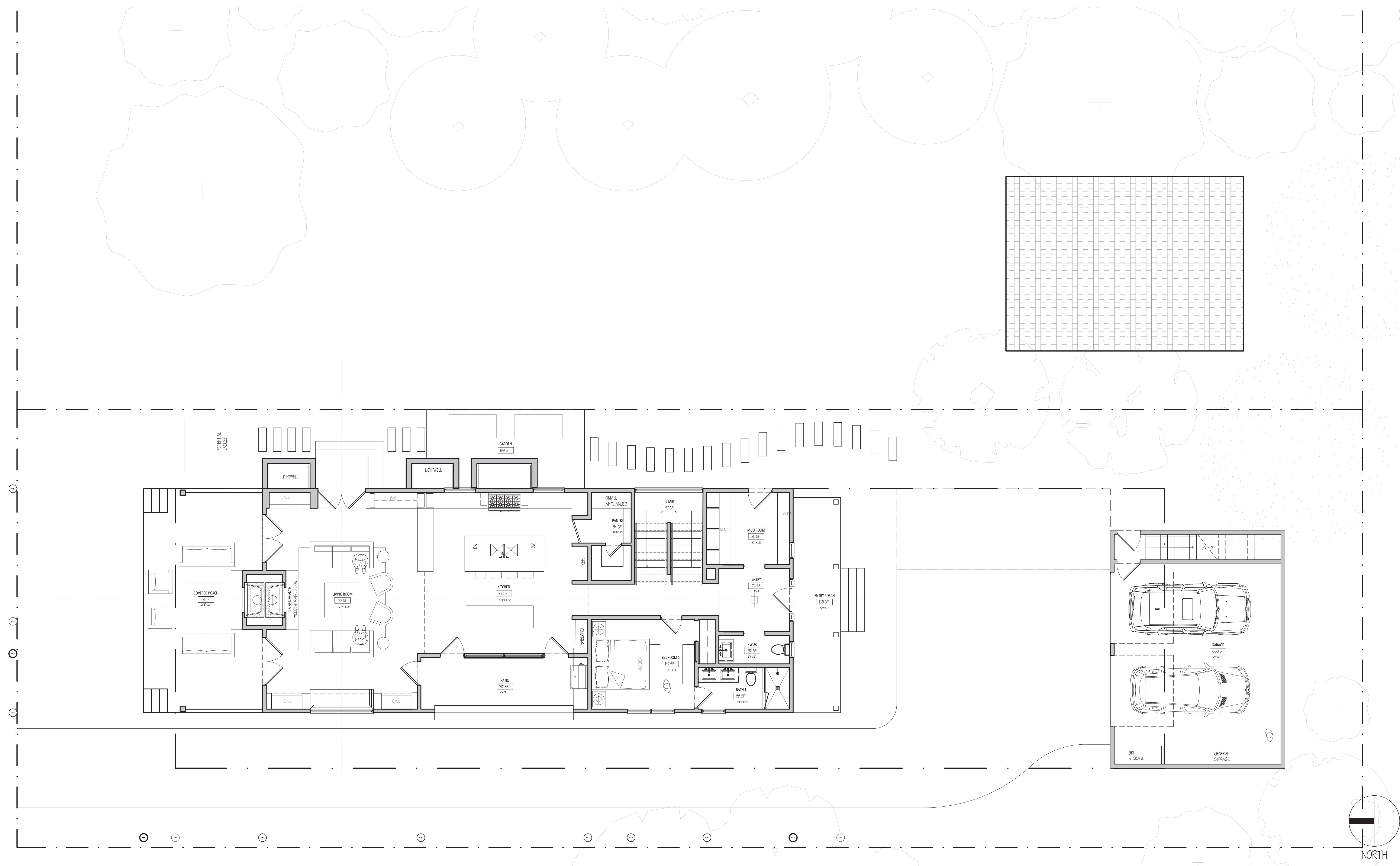
770 E KELLY RESIDENCE

PROPOSED PLAN - BASEMENT

NORTHWORKS

$$1' - 0'' = 3/16''$$

11.03.2021



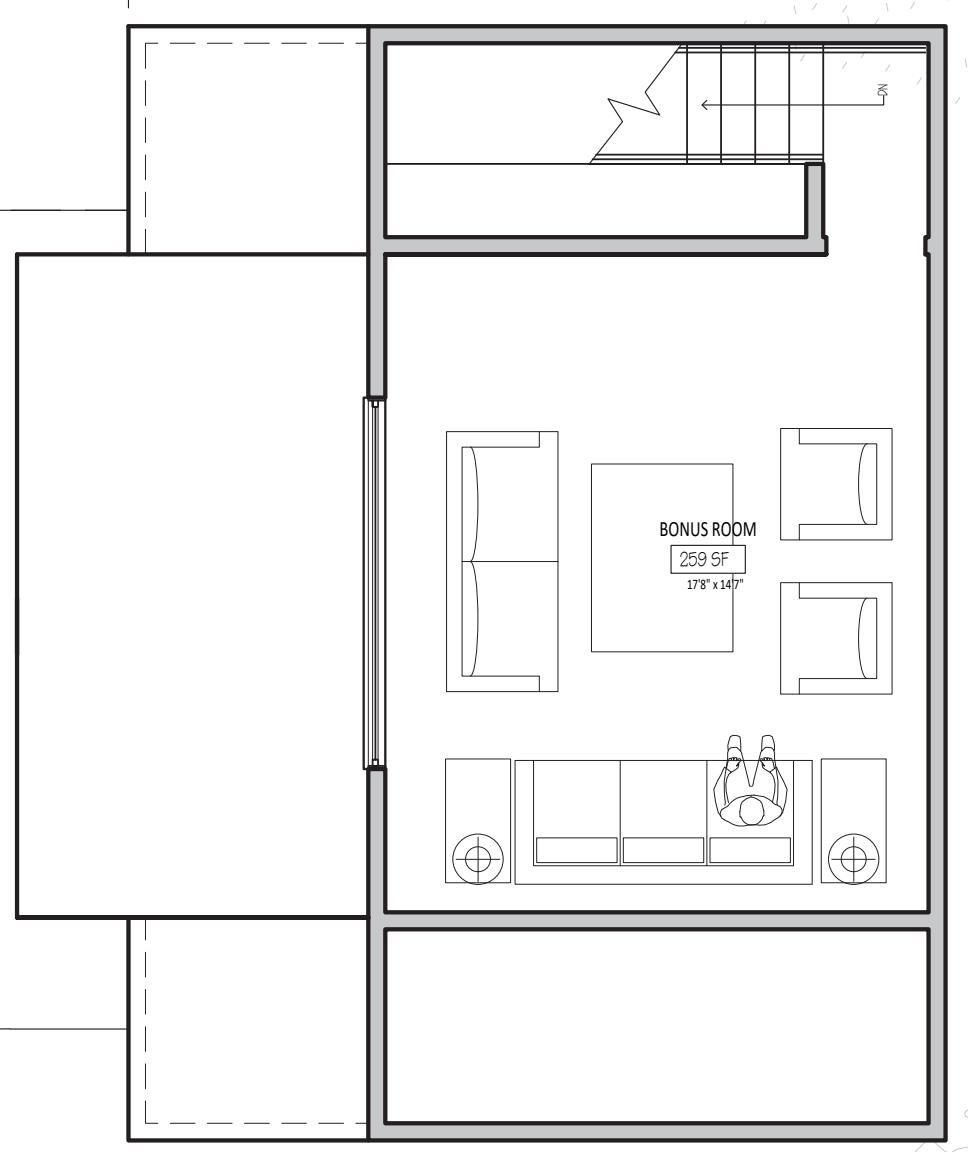
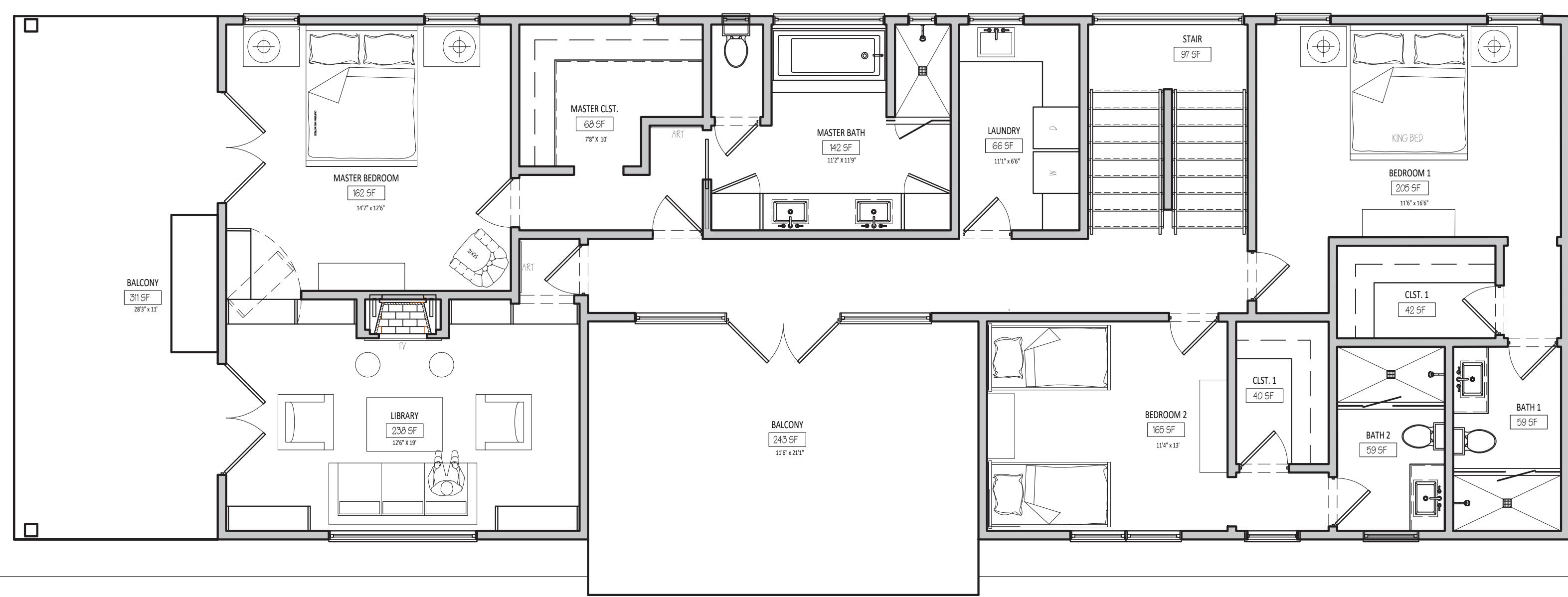
770 E KELLY RESIDENCE

PROPOSED PLAN - MAIN LEVEL

NORTHWORKS

$$1' - 0'' = 3/16''$$

11.03.2021





770 E KELLY RESIDENCE

INTERIOR RENDERING - LIVING ROOM VIEW

NORTHWORKS

11.03.2021



770 E KELLY RESIDENCE

INTERIOR RENDERING - KITCHEN VIEW

NORTHWORKS

11.03.2021



770 E KELLY RESIDENCE

INTERIOR RENDERING - VIEW FROM HALL

NORTHWORKS

11.03.2021



770 E KELLY RESIDENCE

INTERIOR RENDERING - LIBRARY VIEW

NORTHWORKS

11.03.2021



770 E KELLY RESIDENCE

EXTERIOR RENDERING - FRONT

NORTHWORKS

11.03.2021



770 E KELLY RESIDENCE

EXTERIOR RENDERING - BACK/ENTRY

NORTHWORKS

11.03.2021



770 E KELLY RESIDENCE

EXTERIOR RENDERING - BIRDS EYE VIEW

NORTHWORKS

11.03.2021