



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: January 21, 2022	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 1855 High School Rd., legally known as PT. S1/2NE1/4 SEC. 6, TWP. 40, RNG. 116, PIDN: 22-40-16-06-2-00-103 For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P22-010	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Email: tvalentine@jacksonwy.gov	
Owner: State of Wyoming - TCSD PO Box 568 Jackson, WY 83001 Applicant: Teton County Parks & Recreation PO Box 811 Jackson, WY 83001	
Please respond by: January 28, 2022 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to: blenz@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Owner or Authorized Applicant/Agent

Name Printed

Date

Title

1/21/22

DIRECTOR



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: 01/19/2022

LETTER OF AUTHORIZATION NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that Teton County School District is the owner in fee of the premises located at:
Name of property owner as listed on deed

Address of Premises: 1855 High School Rd.

Legal Description: PT S1/2NE1/4, Sec. 6, Twp. 40N, Rg. 116W

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Jackson/Teton County Parks & Recreation

Mailing address of Applicant/agent: P.O. Box 811, Jackson, WY 83001-1727

Email address of Applicant/agent: rrudd@tetoncountywy.gov

Phone Number of Applicant/agent: 307-733-5056

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☐ Development/Subdivision Plat Permit Application ☐ Building Permit Application
- ☐ Public Right of Way Permit ☒ Grading and Erosion Control Permit ☐ Business License Application
- ☐ Demolition Permit ☒ Other (describe) Development Option Plan

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Gillian Chapman
Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

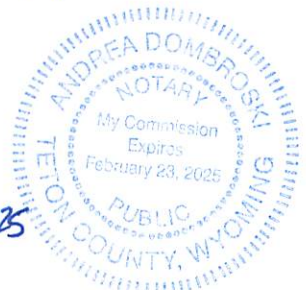
STATE OF Wyoming)
) SS.
COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Gillian Chapman this 19th
day of January, 2022. WITNESS my hand and official seal.

Andrea Dombroski
Notary Public

My commission expires:

February 23, 2025



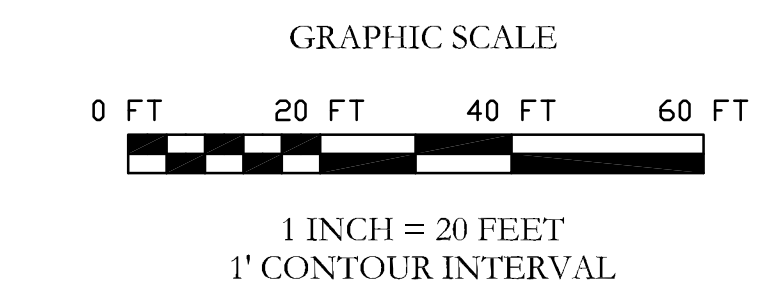
Skate Park Phase 3 Narrative

1/21/2022

The Jackson Hole Skate Park is located between two softball fields at 1374 Gregory Ln, Jackson, WY 83001. The park is very popular with beginner through advanced skateboarders. Due to the park's popularity, there is a need for an expansion to provide more room and obstacles for skaters. This narrative will discuss the existing conditions of the park, and the intended development option, including character and magnitude of the physical development.

The existing Skateboard Park was built in two phases, the first in 2001, and the second in 2006. The first phase provided a lot of terrain for intermediate to expert skaters but was lacking in beginner skating options. The phase two expansion addressed this problem by adding flatter sections and "street" obstacles. The total area of the park is now 14,075 square feet. It is very popular, with there being over 40 skaters in the park at peak times, according to the Jackson Hole Skateboard Coalition. This makes the park very crowded at times, leading to safety concerns.

The intended Development Option will include a skating area expansion of 13,500 square feet around the outside of the existing skate park. The total area will be 27,575 square feet, with the new sections including more flat skate surface, a miniramp, rails, stairs, and boxes. The outer edge of the skate park will be landscaped and there will be new seating options for spectators. There will be modifications to existing irrigation system surrounding the site to accommodate new landscaping and address turf coverage impacted by the finished project. There will be a total of five trees removed for the project: two non-mature deciduous trees, one mature deciduous tree and two non-mature conifer trees. Replacement of these trees will occur with the most site appropriate species and an additional two trees will be planted. The character and use of the skate park will not change with this expansion. The rules and hours of operation of the park will also be unchanged. There currently is no stated limit on capacity, but the expansion will allow more skateboarders to safely use the park at peak times.



NOTE: ELEVATIONS ARE NAVD88 BASED ON THE
TETON COUNTY CONTROL NETWORK

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LEGEND

□ INDICATES A T-SHAPED STEEL STAKE WITH A CHROMED CAP INSCRIBED
"PE&LS 2612" FOUND THIS SURVEY

● INDICATES A 5/8 INCH DIAMETER STEEL REBAR FOUND THIS SURVEY

_____ SUBJECT PROPERTY LINE

_____ ADJACENT PROPERTY LINE

----- EDGE OF PAVEMENT

— · — · — · — · — · — · — · — · — · — EDGE OF CONCRETE

— — — — — *EDGE OF NET SYSTEM FOR BALLFIELDS*

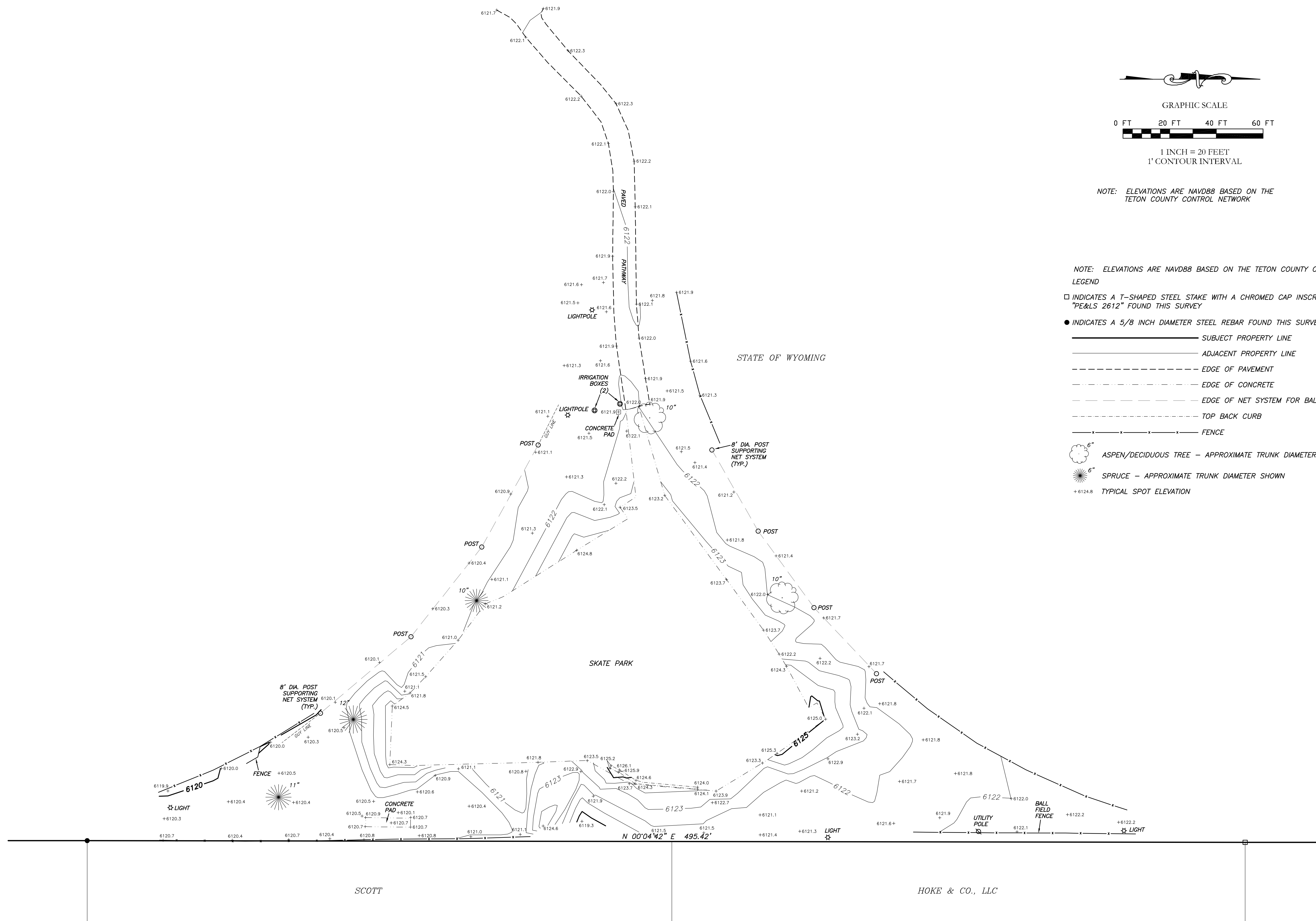
----- TOP BACK CURB

_____x_____x_____x_____x_____ *FENCE*

 6" ASPEN/DECIDUOUS TREE - APPROXIMATE TRUNK DIAMETER SHOWN

 6" SPRUCE - APPROXIMATE TRUNK DIAMETER SHOWN

+6124.8 TYPICAL SPOT ELEVATION



On Sight
LAND SURVEYORS, INC.

155 West Gill Ave.
P.O. Box 12290
Jackson, WY 83002
(307) 734-6131

Project No. 22-SkatePark 22-SkatePark_exp.dwg 11/04/2019 05/06/2020

TOPOGRAPHIC MAP
PREPARED FOR
SKATE PARK
LOCATED WITHIN
S1/2NE1/4 SECTION 6
T40N, R116W, 6TH P.M.
TETON COUNTY, WYOMING

