



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: December 16, 2021	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 625,645,675 Powderhorn Ln. legally known as LOTS 4, 5, 6 POWDERHORN HOUSING PIDN: 22-41-16-32-4-43-004, 005, 006 For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P21-331	
Planner: Tyler Valentine	
Phone: 733-0440 ext. 1305	
Email: tvalentine@jacksonwy.gov	
Owner: Powderhorn Housing LLC PO Box 290 Teton Village, WY 83025	
Applicant: same	
Please respond by: December 23, 2021 (with Comments)	

Owner:

Powderhorn Housing LLC
PO Box 290
Teton Village, WY 83025

Applicant:

same

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov

December 16, 2021

Town of Jackson Planning Department
150 E. Pearl St.
Jackson, WY 83001
Via Email (planning@jacksonwy.gov)

RE: JHMR Powderhorn Housing Phase II

To Whom it May Concern:

The attached grading PAP application and supporting documentation pertain to the second phase of the Jackson Hole Mountain Resort (JHMR) Powderhorn employee housing development. This development was originally approved for a total of six buildings. Phase 1, consisting of three buildings, was completed in 2014 and fully occupied shortly thereafter. Last year it was decided to pursue the second and final Phase of Powderhorn due to the critical need for affordable employee housing. Phase 2 also consists of three buildings, albeit with relatively smaller footprints, within the remaining developable area of the Powderhorn Housing Addition, available northwest of Phase 1.

JHMR submitted an application for a Development Permit for the second phase of Powderhorn the first week of March 2020. Approval of the development plan by the Town of Jackson (TOJ) was finally granted in August of 2020, and JHMR has now decided to apply for building permits associated with all three structures. As the proposed development applies to this grading PAP request, related construction will include:

- Extensions of water, sewer, and other utility infrastructure to serve the three new buildings
- Refinement of site grading and drainage elements originally proposed in Phase 1, including storm water collection and retention
- Site landscaping and installation of various hardscapes, including multiple sidewalks, building entry points, and a new parking area

Drawings depicting the proposed development and modifications to the property are attached, and include an existing site plan and proposed overview drawings of the utilities and grading. Please review the PAP application and drawings at your earliest convenience, and schedule a PAP meeting as soon as possible. Any effort on the part of the TOJ to expedite the grading PAP would be greatly appreciated. If there are any questions or concerns, please do not hesitate to contact Ty S. Ross with Nelson Engineering.

Thanks,



Ty S. Ross, P.E.
Nelson Engineering
(307) 733-2087
tross@nelsonengineering.net



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: JHMR Powderhorn Housing Phase II

Physical Address: 625, 645, 675 Powderhorn Lane, Jackson, WY 83001

Lot, Subdivision: Powderhorn Housing Addition PIDN: 22-41-16-32-4-43-004 thru 007

PROPERTY OWNER.

Name: Powderhorn Housing LLC (JHMR) Phone: (307) 739-2701
Mailing Address: P.O. Box 290 Teton Village, WY ZIP: 83025
E-mail: bill.schreiber@jacksonhole.com

APPLICANT/AGENT.

Name, Agency: Same as Owner Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: N/A Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit

This pre-application conference is:

Use Permit

Required

Development Option or Subdivision Permit

Optional

Interpretations of the LDRs

For an Environmental Analysis

Amendments to the LDRs

For grading

Relief from the LDRs

Environmental Analysis

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Narrative Project Description. Please attach a short narrative description of the project that addresses:

Existing property conditions (buildings, uses, natural resources, etc)

Character and magnitude of proposed physical development or use

Intended development options or subdivision proposal (if applicable)

Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

Property boundaries

Existing and proposed physical development and the location of any uses not requiring physical development

Proposed parcel or lot lines (if applicable)

Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Mary Kate Buckley

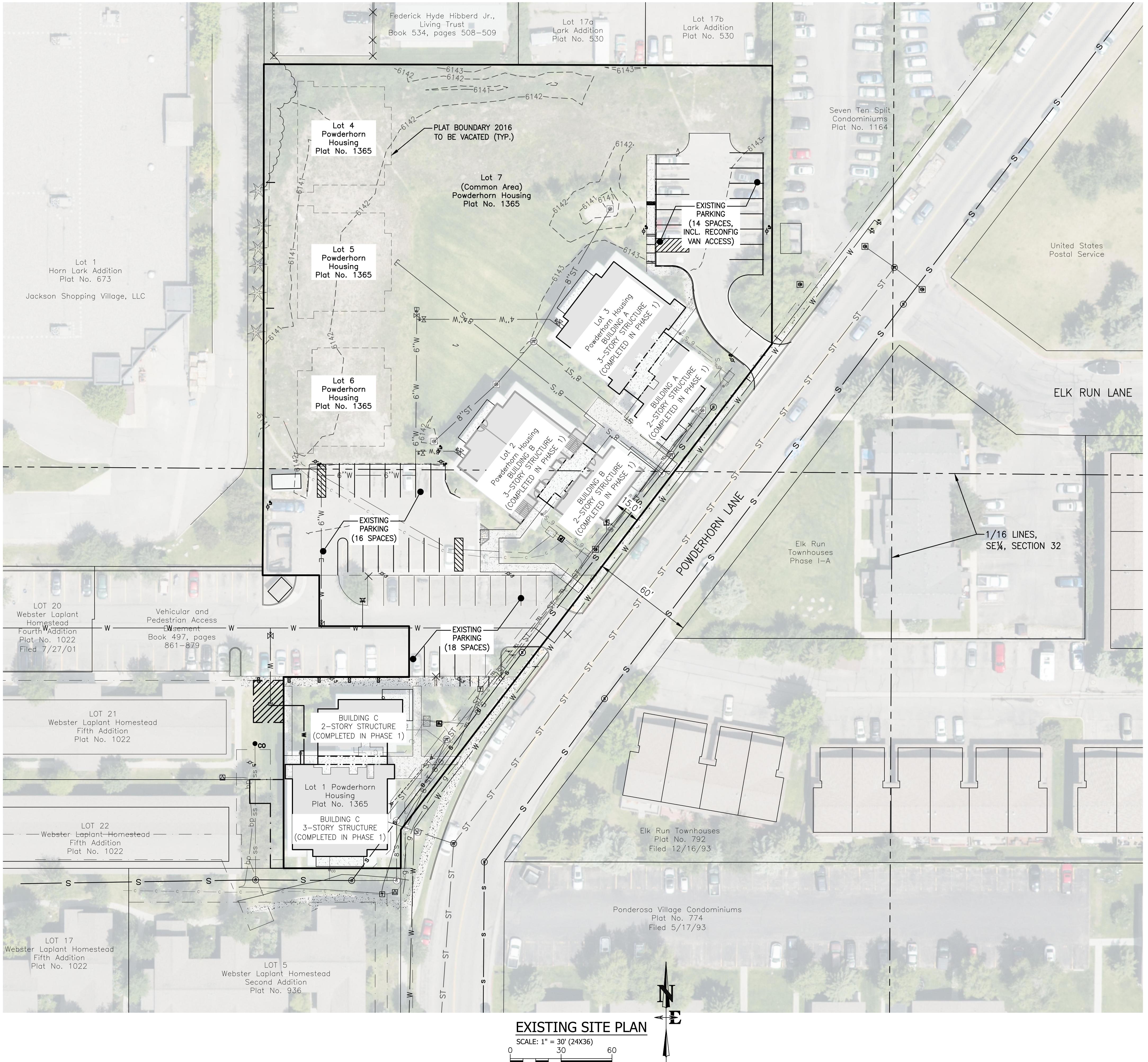
Name Printed

12-16-21

Date

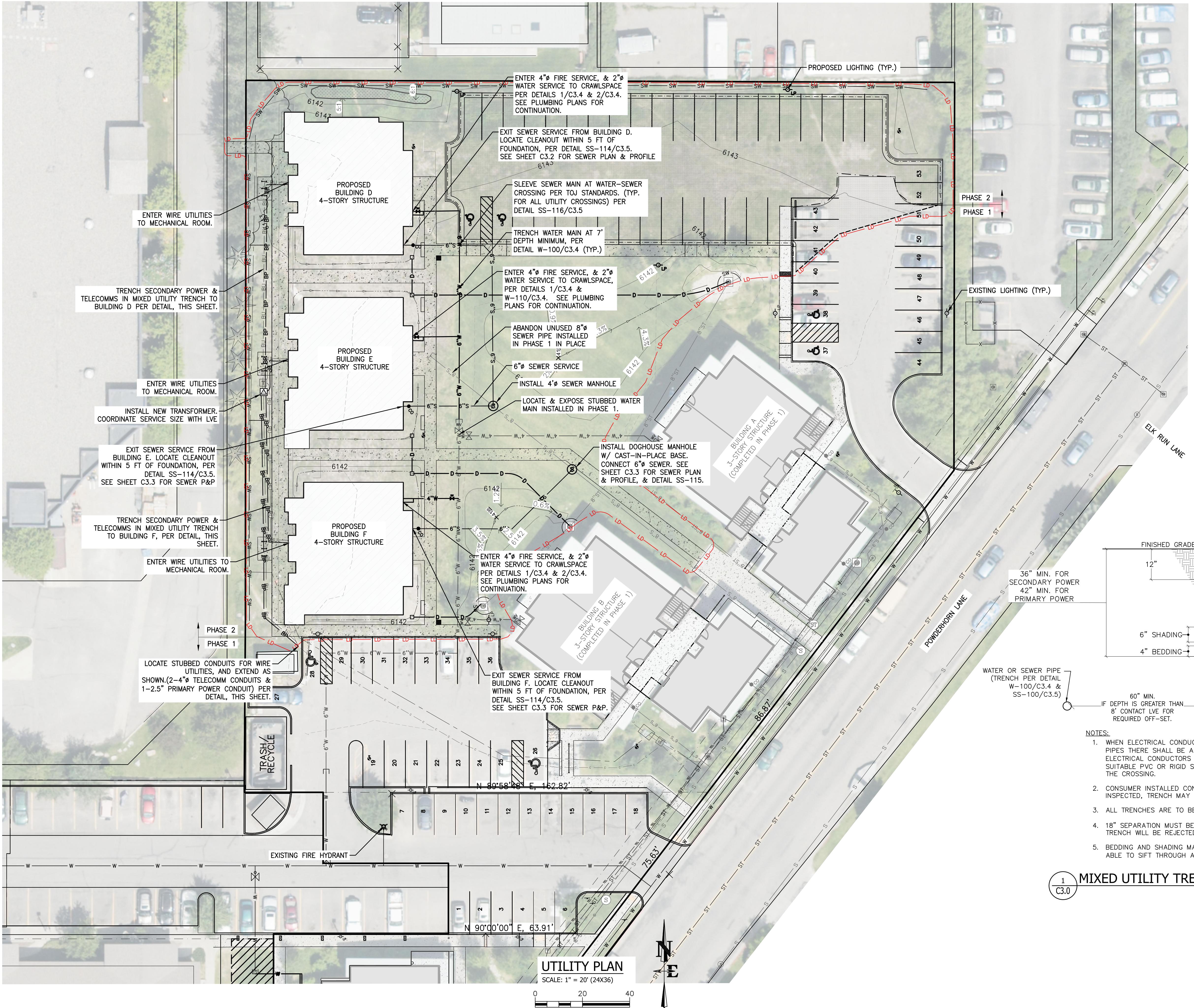
Director-President

Title

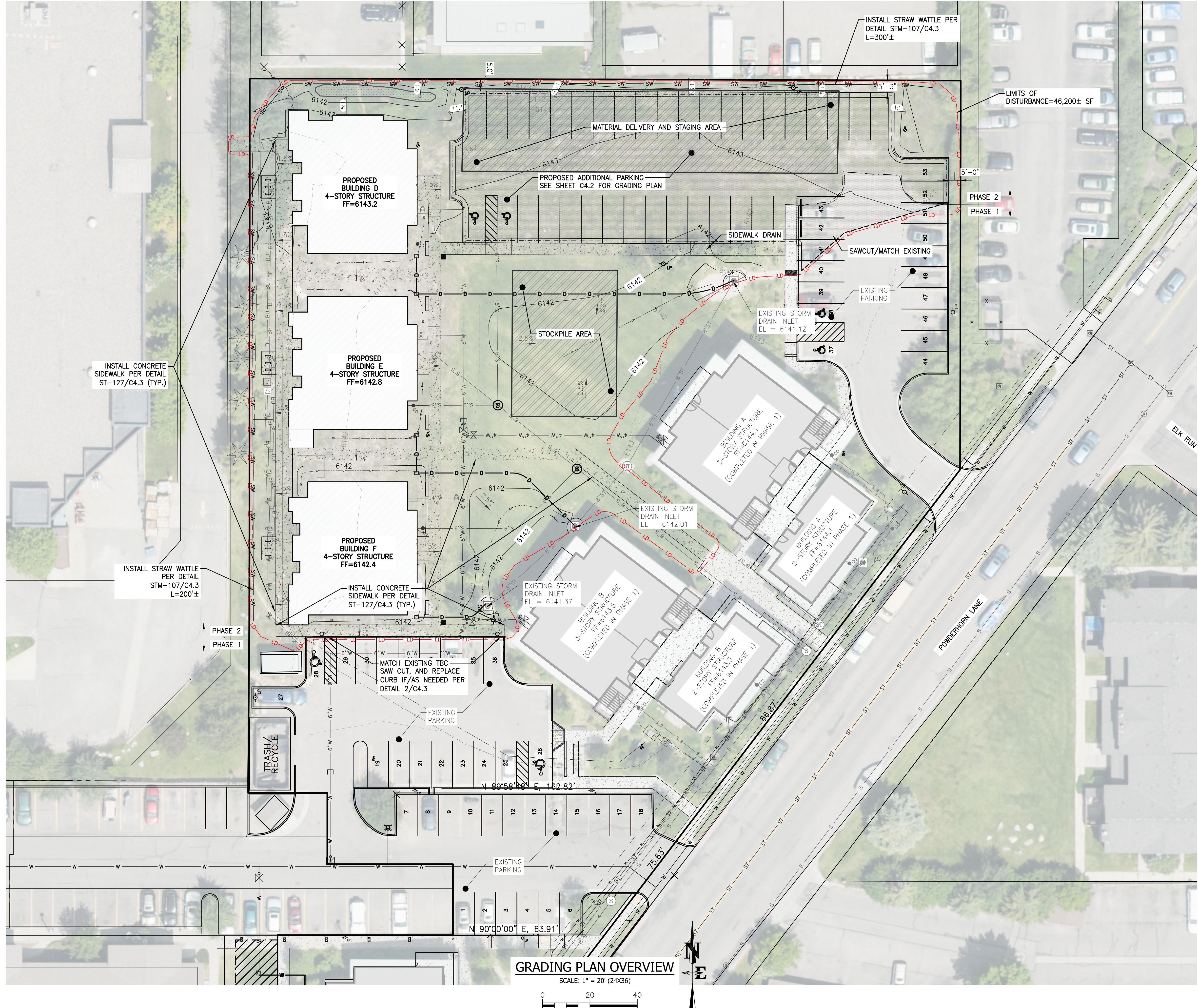


DRAWING NO	JOB TITLE	EXISTING SITE PLAN	DRAWING TITLE	DATE	REV.
C1.1	JHMR EMPLOYEE HOUSING PHASE II	EXISTING SITE PLAN	EXISTING SITE PLAN	12/15/2021	NE
JOB NO	625, 645, & 675 POWDERHORN LANE			ENGINEERED	TSR
20-051-01	TETON COUNTY, WY			DRAWN	DB/AL
				CHECKED	TSR
				APPROVED	TSR

NELSON
ENGINEERING
P.O. BOX 1599, JACKSON, WYOMING (307) 733-2087



DRAWING NO		JOB TITLE		DRAWING TITLE	
C:30		JHMIR EMPLOYEE HOUSING PHASE II		UTILITY PLAN -OVERVIEW	
JOB NO		635, 645, & 675 POWDERHORN LANE		TETON COUNTY, WY	
20-051-01		207		733-2087	
DRAFTED		SIGNED		APPROVED	
TSR		TSR		TSR	



JOB TITLE	DRAWING NO	TITLE	DRAWING		REV.
			DATE	REV.	
JHMIR EMPLOYEE HOUSING PHASE II	C4.0	12/15/2021			
625, 645, & 675 POWDERHORN LANE	20-0051-01	SURVEYED	NE		
TETON COUNTY, WY		ENGINEERED	DD/TSR		
TETON COUNTY, WY		DRAWN	DB/AL		
TETON COUNTY, WY		CHECKED	TSR		
TETON COUNTY, WY		APPROVED	TSR		
GRADING PLAN- OVERVIEW					
NELSON ENGINEERING					
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087					