



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 16, 2021	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 625,645,675 Powderhorn Ln. legally known as LOTS 4, 5, 6 POWDERHORN HOUSING PIDN: 22-41-16-32-4-43-004, 005, 006 For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P21-331	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Email: tvalentine@jacksonwy.gov	
Owner: Powderhorn Housing LLC PO Box 290 Teton Village, WY 83025 Applicant: same	
Please respond by: December 23, 2021 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov

December 16, 2021

Town of Jackson Planning Department
150 E. Pearl St.
Jackson, WY 83001
Via Email (planning@jacksonwy.gov)

RE: JHMR Powderhorn Housing Phase II

To Whom it May Concern:

The attached grading PAP application and supporting documentation pertain to the second phase of the Jackson Hole Mountain Resort (JHMR) Powderhorn employee housing development. This development was originally approved for a total of six buildings. Phase 1, consisting of three buildings, was completed in 2014 and fully occupied shortly thereafter. Last year it was decided to pursue the second and final Phase of Powderhorn due to the critical need for affordable employee housing. Phase 2 also consists of three buildings, albeit with relatively smaller footprints, within the remaining developable area of the Powderhorn Housing Addition, available northwest of Phase 1.

JHMR submitted an application for a Development Permit for the second phase of Powderhorn the first week of March 2020. Approval of the development plan by the Town of Jackson (TOJ) was finally granted in August of 2020, and JHMR has now decided to apply for building permits associated with all three structures. As the proposed development applies to this grading PAP request, related construction will include:

- Extensions of water, sewer, and other utility infrastructure to serve the three new buildings
- Refinement of site grading and drainage elements originally proposed in Phase 1, including storm water collection and retention
- Site landscaping and installation of various hardscapes, including multiple sidewalks, building entry points, and a new parking area

Drawings depicting the proposed development and modifications to the property are attached, and include an existing site plan and proposed overview drawings of the utilities and grading. Please review the PAP application and drawings at your earliest convenience, and schedule a PAP meeting as soon as possible. Any effort on the part of the TOJ to expedite the grading PAP would be greatly appreciated. If there are any questions or concerns, please do not hesitate to contact Ty S. Ross with Nelson Engineering.

Thanks,



Ty S. Ross, P.E.
Nelson Engineering
(307) 733-2087
tross@nelsonengineering.net



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001 | _____

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: JHMR Powderhorn Housing Phase II

Physical Address: 625, 645, 675 Powderhorn Lane, Jackson, WY 83001

Lot, Subdivision: Powderhorn Housing Addition

PIDN: 22-41-16-32-4-43-004 thru 007

PROPERTY OWNER.

Name: Powderhorn Housing LLC (JHMR)

Phone: (307) 739-2701

Mailing Address: P.O. Box 290 Teton Village, WY

ZIP: 83025

E-mail: bill.schreiber@jacksonhole.com

APPLICANT/AGENT.

Name, Agency: Same as Owner

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

☒ Property Owner

☐ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: N/A Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit

_____ Use Permit

_____ Development Option or Subdivision Permit

_____ Interpretations of the LDRs

_____ Amendments to the LDRs

_____ Relief from the LDRs

_____ Environmental Analysis

This pre-application conference is:

☒ Required

_____ Optional

_____ For an Environmental Analysis

☒ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email to planning@jacksonwy.gov) of the submittal packet.

Have you attached the following?

☒ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

☒ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

☒ Existing property conditions (buildings, uses, natural resources, etc)

☒ Character and magnitude of proposed physical development or use

_____ Intended development options or subdivision proposal (if applicable)

_____ Proposed amendments to the LDRs (if applicable)

☒ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

☒ Property boundaries

☒ Existing and proposed physical development and the location of any uses not requiring physical development

☒ Proposed parcel or lot lines (if applicable)

☒ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

☒ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Mary Kate Buckley

Name Printed

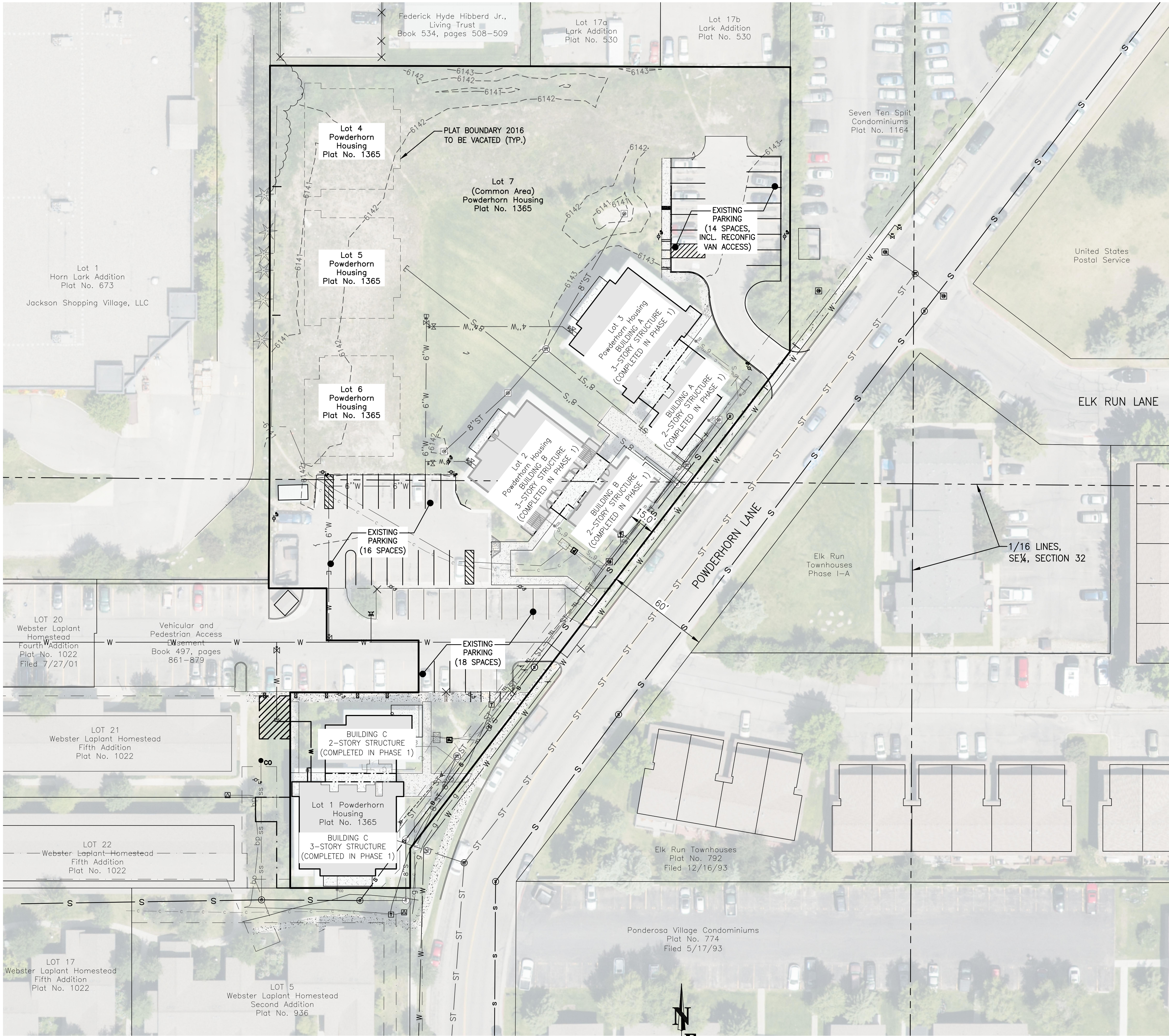
12-16-21

Date

Director-President

Title

S:\P\2020\05-01 JHMR Employee Housing Phase 2\14 Drawings\Survey\2020\11 EXISTING SITE PLAN - Dec 15 2020 09:40:00 am PLOTTED BY Lee DWG FORMAT: C30



**LEGEND
(EXISTING)**

- = SUBJECT PROPERTY LINE
- = ADJACENT PROPERTY LINE
- - - = EASEMENT LINE
- == = CURB
- - - = CENTERLINE OF ROAD
- - - = PLAT TO BE VACATED
- - - = EDGE OF PAVEMENT
- W — = EXISTING WATER MAIN
- ST — = STORM SEWER LINE
- S — = SANITARY SEWER LINE - SIZE AS NOTED
- bp — bp — = BURIED POWER LINE
- bt — bt — = BURIED TELEPHONE LINE
- TV — = CABLE TV LINE
- PT-TV — = POWER, TELEPHONE & TV
- g — g — = GAS LINE
- 6"W — = WATER LINE - SIZE AS NOTED
- = SIDEWALK
- - -6142- - - = CONTOUR LINE
- ⊙ = SANITARY SEWER MANHOLE
- ⊙ = STORM SEWER MANHOLE
- ⊙ = CATCH BASIN
- = SIGN/SIGNPOST
- ⊙ = LIGHT POLE
- ⊙ = FIRE HYDRANT
- ⊙ = GATE VALVE
- ◇ = 164 REBAR AND CAP
- = REBAR NO CAP
- ⊙ = 3881 REBAR AND CAP
- w.c. = 3881 10' WITNESS CORNER
- ⊙ = 164 T-STAKE
- ⊙ = 2612 REBAR AND CAP
- ⊙ = ELECTRIC BOX

The Basis of Bearings shown on this map is Geodetic NORTH, WGS84, developed from GPS observations.

NOTE: SITE ORIGINALLY SURVEYED IN 2013, WITH SUPPLEMENTAL SURVEY OF SPECIFIC AREAS PERFORMED IN 2020.

DRAWING TITLE
EXISTING SITE PLAN

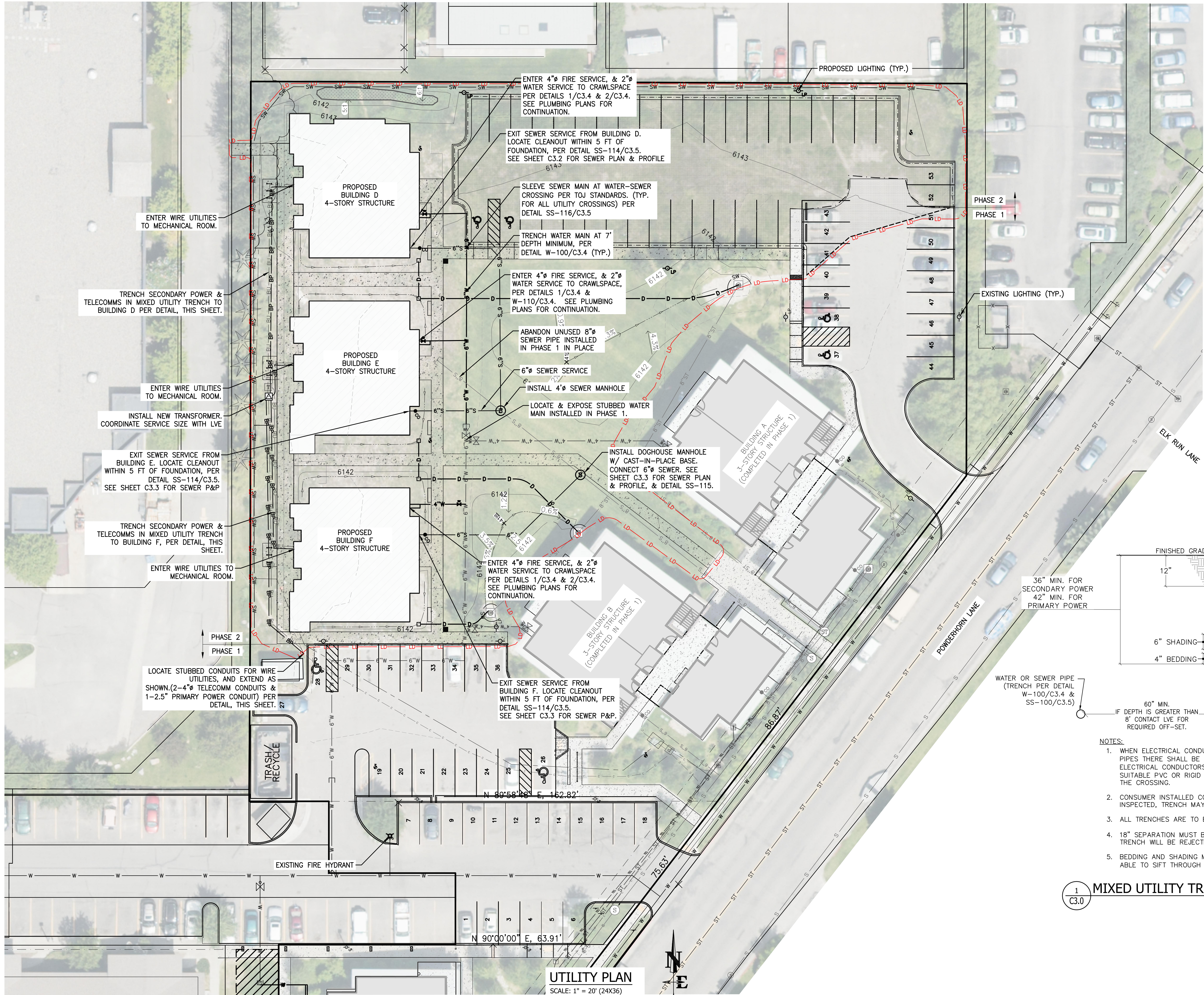
JOB TITLE
JHMR EMPLOYEE HOUSING PHASE II
625, 645, & 675 POWDERHORN LANE
TETON COUNTY, WY

DRAWING NO
C1.1
JOB NO
20-051-01

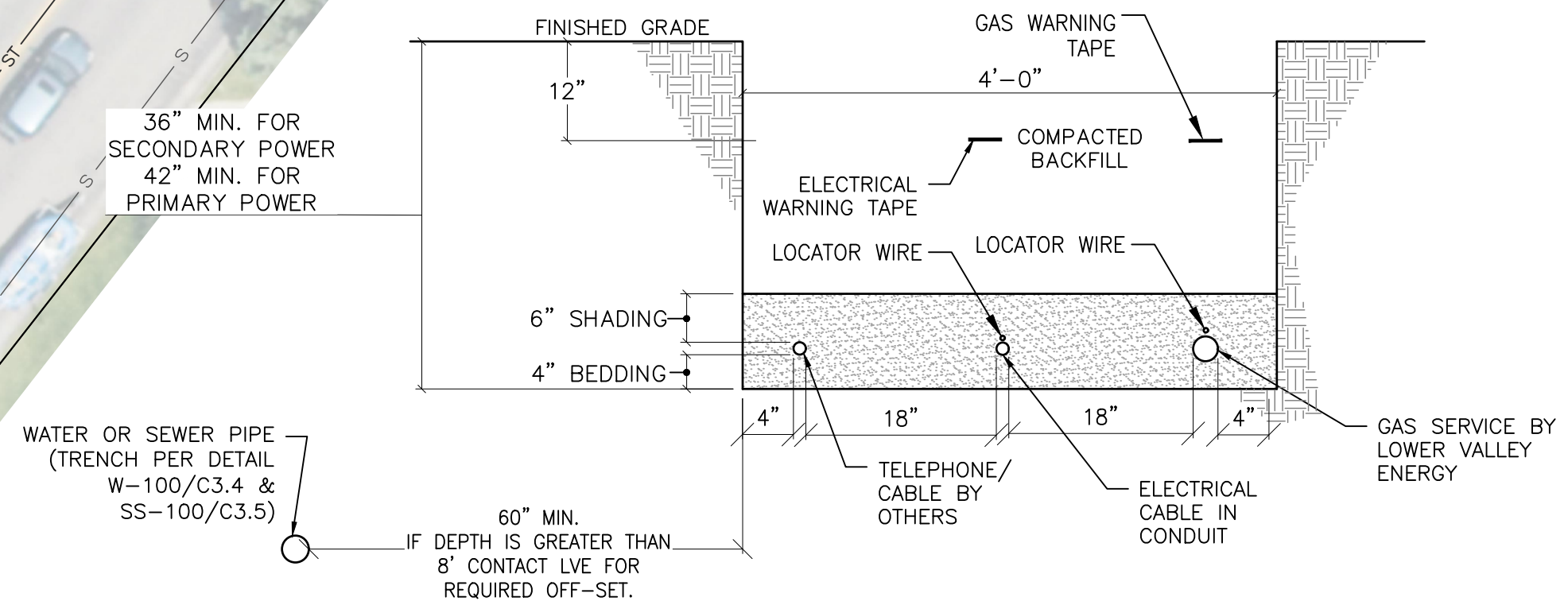
DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED
12/15/2021	NE	DB/TSR	DB/AL	TSR	TSR

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

S:\P\2020\05-01 JHMR Employee Housing Phase 2014 Drawings\Civil\ME DESIGNING C3.0 UTILITY PLAN-REVIEWED-1.dwg Dec 15 2023 09:40:37 am PLotted By Lee DWG FORMAT: 230



- UTILITY CROSSING NOTES:**
- AT WATER AND SEWER CROSSINGS, OR LOCATIONS WHERE HORIZONTAL SEPARATION OF 10', MEASURED EDGE TO EDGE, CANNOT BE MET, ONE OF THE FOLLOWING TREATMENT METHODS SHALL BE EMPLOYED:
 - A.- 6"Ø SEWER PIPE SHALL BE ENCASED IN 10"Ø CASING PIPE.
 - B.- THE CROSSING SHALL BE ENCASED IN CEMENT TREATED, FLOWABLE FILL FROM THE BOTTOM OF THE LOWER PIPE TO A MIN. OF 2" ABOVE THE UPPER PIPE, AND EXTEND FROM ONE SIDE OF THE TRENCH TO THE OTHER.
 - C.- THE SEWER SHALL BE INSTALLED UTILIZING PRESSURE RATED PIPE.
 - TREATMENT SHALL EXTEND A MINIMUM OF 10' ON EITHER SIDE OF THE CROSSING.
 - THE UPPER PIPE AT ANY CROSSING SHALL BE SPECIFICALLY SUPPORTED, EMPLOYING EITHER FREE-DRAINING, SELF COMPACTING TYPE 1 BEDDING, OR FLOWABLE FILL.

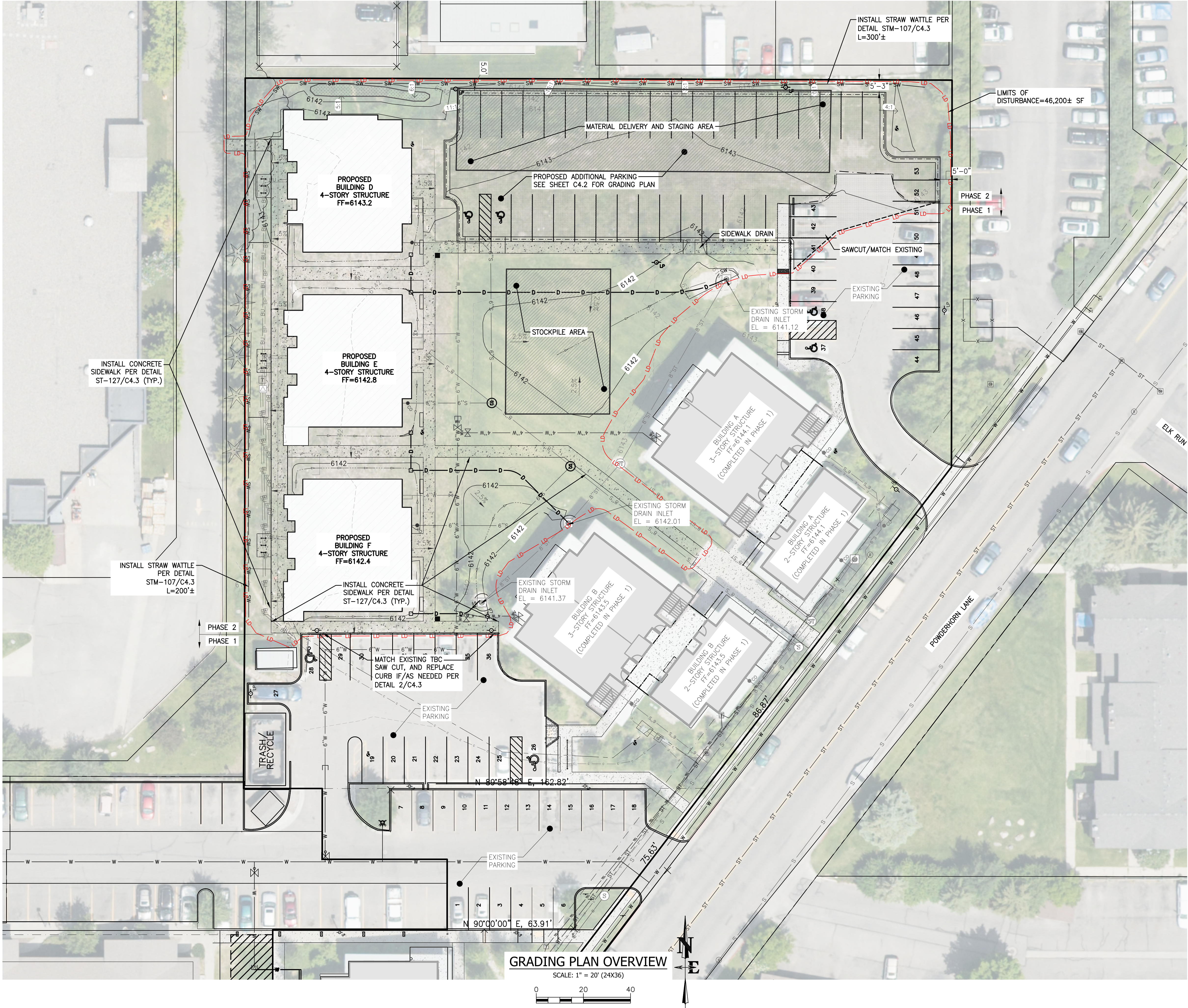


- NOTES:**
- WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
 - CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
 - ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
 - 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
 - BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

MIXED UTILITY TRENCH & SPACING REQUIREMENTS
SCALE: NTS

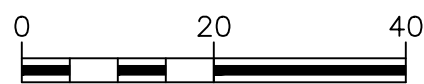
UTILITY PLAN
SCALE: 1" = 20' (24X36)

DRAWING NO C3.0	JOB TITLE JHMR EMPLOYEE HOUSING PHASE II 625, 645, & 675 POWDERHORN LANE TETON COUNTY, WY	DRAWING TITLE UTILITY PLAN-OVERVIEW	DATE					REV.	
	SURVEYED					NE			
JOB NO 20-051-01			ENGINEERED					DD/TSR	
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			CHECKED					TSR	
			APPROVED					TSR	
				NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 733-2087					



GRADING PLAN OVERVIEW

SCALE: 1" = 20' (24X36)



DRAWING NO C4.0	JOB TITLE JHMR EMPLOYEE HOUSING PHASE II 625, 645, & 675 POWDERHORN LANE TETON COUNTY, WY	DRAWING TITLE GRADING PLAN – OVERVIEW	NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 733-2087				
			DATE	SURVEYED	NE	REV.	
JOB NO 20-051-01			ENGINEERED	DD/TSR			
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			CHECKED	TSR			
			APPROVED	TSR			