TOWN OF JACKSON
PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson
- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County
- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County
- ☐ Planning Division
- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming
- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies
- ☐ Army Corp of Engineers

Utility Providers
- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts
- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 6, 2021

Item #: P21-317

Planner: Katelyn Page

Phone: 733-0440 ext. 1302

Email: kpage@jacksonwy.gov

Owner/Applicant:
Allen Symonds & Kathleen Lohse
PO Box 1009
Jackson, WY 83001

Agent:
Nelson Engineering – Braden Olson

REQUESTS:

The applicant is submitting a request for a Grading Pre-Application for the property located at 235 E Kelly Ave., legally known as LOT 5, BLK. 3, KELLY ADDITION, PIDN: 22-41-16-34-2-25-003

For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.

Please respond by: December 13, 2021 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov

PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave.
P.O. Box 1687
Jackson, WY 83001

ph: (307) 733-0440 fax:
www.townofjackson.com

For Office Use Only

Fees Paid_____ Time & Date Received _____

Application # _____ _____

Please note: *Applications received after 3 PM will be process the next business day.*

APPLICABILITY. *This application should be used when applying for a* ***Pre-application Conference.*** *The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.*

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: 235 E Kelly Ave - Symonds Residence

Physical Address: 235 E Kelly Ave

Lot, Subdivision: Lot 5 Block 3 Kelly Addition PIDN: 22-41-16-34-2-25-003

PROPERTY OWNER.

Name: Allen G & Lohse Kathleen Symonds Phone: _____

Mailing Address: PO Box 1009, Jackson WY ZIP: 83001

E-mail: allen.g.symonds@gmail.com

APPLICANT/AGENT.

Name, Agency: NA Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT. Please include Braden Olson from Nelson Engineering when scheduling the pre app meeting. bolson@nelsonengineering.net

X Property Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. *For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.*

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. *Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.*

_____Physical Development Permit
_____Use Permit
_____Development Option or Subdivision Permit
_____Interpretations of the LDRs
_____Amendments to the LDRs
_____Relief from the LDRs
_____Environmental Analysis

This pre-application conference is:
X_____Required
_____Optional
_____For an Environmental Analysis
X_____For grading

SUBMITTAL REQUIREMENTS. *Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide* ***one electronic copy*** *(via email to planning@jacksonwy.gov) of the submittal packet.*

Have you attached the following?

X_____**Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

NA_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF.

X_____**Narrative Project Description.** Please attach a short narrative description of the project that addresses:
- X_____Existing property conditions (buildings, uses, natural resources, etc)
- X_____Character and magnitude of proposed physical development or use
- NA_____Intended development options or subdivision proposal (if applicable)
- NA_____Proposed amendments to the LDRs (if applicable)

X_____**Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
- X_____Property boundaries
- X_____Existing and proposed physical development and the location of any uses not requiring physical development
- NA_____Proposed parcel or lot lines (if applicable)
- NA_____Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

X_____**Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

X_____**Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Owner or Authorized Applicant/Agent	Date: 11/30/21
Name Printed: Allen Symonds	Title: Owner

6 December 2021

Town of Jackson
Planning & Building Department-Planning Division
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

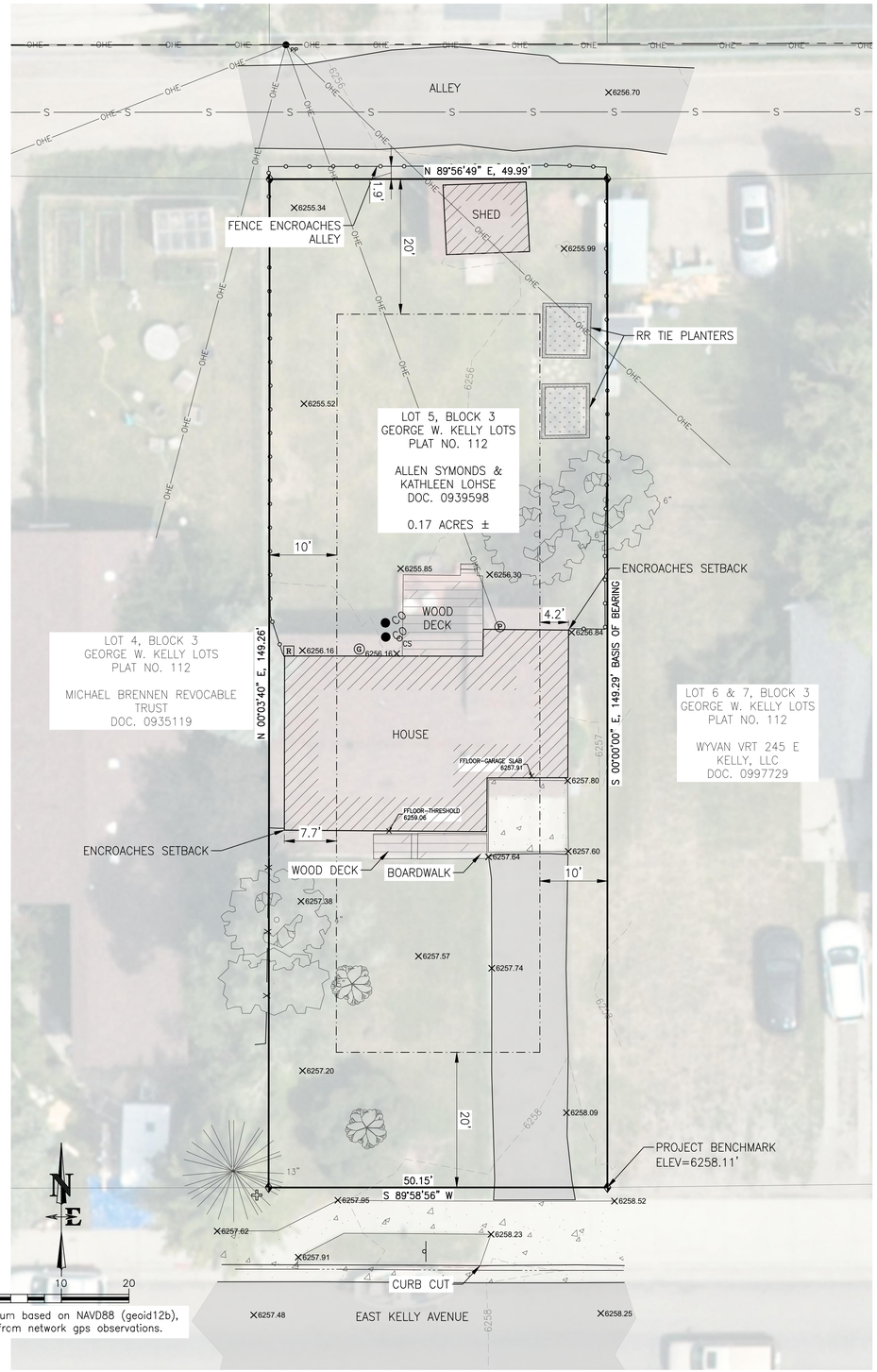
To Whom it May Concern,

The Attached PAP is for new residential construction located at 235 E Kelly Ave., Jackson WY. In accordance with the site plan attached, there is an existing residence with associated parking and utilities. Proposed development includes demolition of the existing structure and construction of a new residence with new utilities and curbcut. The proposed development is shown on the same attached site plan. Please don't hesitate to contact me with project inquiries.

Sincerely,

Braden Olson, PE
Nelson Engineering

Office: 307.733.2087
Email: bolson@nelsonengineering.net



NOTE:
THE MAP WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT AND IS SUBJECT TO ANY OTHER EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY, AND CONDITIONS OF SIGHT AND/OR OF RECORD INCLUDING, BUT NOT LIMITED, TO THOSE SHOWN HEREON.

LEGEND

- = PROPERTY LINE
- = ADJACENT PROPERTY LINE (RECORD-TC GIS)
- = PRIMARY STRUCTURE SETBACK LINE
- = CURB LINE (TBC/FLOWLINE)
- = FENCE LINE – WOOD
- = FENCE LINE – CHAIN LINK
- = OVERHEAD POWER
- = SANITARY SEWER LINE
- = FOUND REBAR & CAP – PLS #3831
- = CURB STOP
- = GAS METER
- = ELECTRIC METER
- = POWER POLE
- = SIGN (SPEED LIMIT)
- = SEWER CLEANOUT
- = SEWER MANHOLE
- = RADON FAN
- = STEEL FENCE POST
- = BUSH
- = COTTONWOOD TREE W/D.B.H.
- = PINE TREE W/D.B.H.
- = DECIDUOUS TREE W/D.B.H.
- = BUILDING
- = CONCRETE
- = ASPHALT
- = WOOD DECK/BOARDWALK
- = GARDEN

ZONE NM-2 T.O.J.
PRIMARY BUILDING SETBACKS

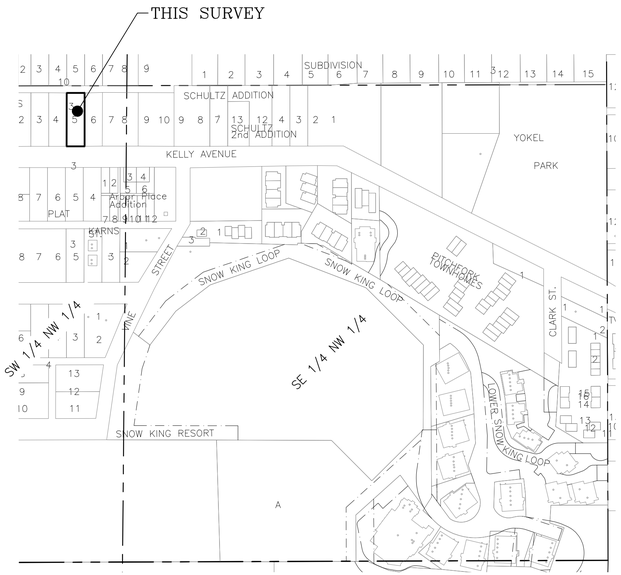
20 FEET – PRIMARY STREET
10 FEET – SECONDARY STREET
10 FEET – SIDE INTERIOR
20 FEET – REAR

ACCESSORY STRUCTURE SETBACKS

30 FEET – PRIMARY STREET
10 FEET – SECONDARY STREET
5 FEET – SIDE INTERIOR
5 FEET – REAR
10 FEET – REAR ALLEY

SITE DEVELOPMENT SETBACKS

SAME AS PRIMARY BUILDING – PRIMARY/SECONDARY STREET
5 FEET – SIDE INTERIOR



VICINITY MAP
SE1/4 NW 1/4,
PT. SW 1/4 NW 1/4,
SECTION 34
T41N, R116W, 6TH P.M.
TOWN OF JACKSON
TETON COUNTY, WY
0 200 400'

DATE	10/28/2021	REV.
SURVEYED	WV	
ENGINEERED	–	
DRAWN	WV	
CHECKED	SK	
APPROVED	LR	

NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

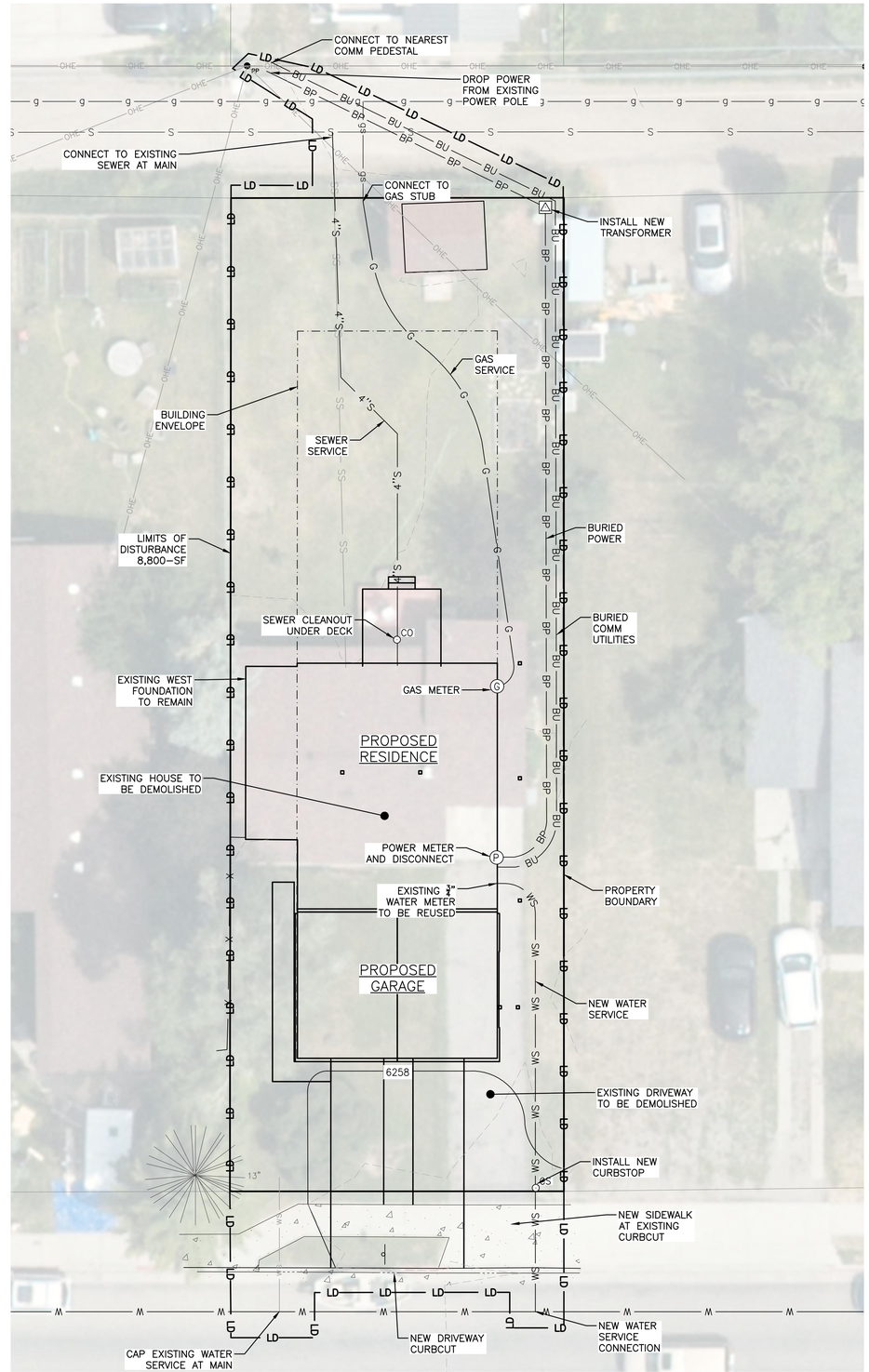
DRAWING TITLE
EXISTING SITE PLAN

JOB TITLE
LOHSE SYMONDS RESIDENCE
235 E KELLY AVE
JACKSON, WY

DRAWING NO 1

JOB NO 21-475-01

S:\Proj\2021\475-01 (235 E. Kelly - Allen Symonds - Surveying)\4 Drawing\21-475-01 EXISTING.dwg (EXISTING SITE PLAN) - Dec 03 2021 03:36:49 pm PLOTTED BY: olson DWG FORMAT: 23.0



PRE APP SITE PLAN

SCALE: 1" = 20' (12X18)

0 10 20

N

12-6-21_PRE-APP SITE PLAN
NOT FOR CONSTRUCTION

		REV.
DATE	6 DEC 2021	
SURVEYED	NELSON ENG.	
ENGINEERED	BO	
DRAWN	BO	
CHECKED	BO	
APPROVED	BO	

NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE
PRE-APPLICATION SITE PLAN

JOB TITLE
LOHSE SYMONDS RESIDENCE
235 E KELLY AVE
JACKSON, WY

DRAWING NO 2

JOB NO 21-475-02

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Lohse Symonds Residence

235 E Kelly Ave, Jackson

General Conditions

1. This project shall comply with the 2021 International residential Building Code and all addended Teton County Building Codes. Any building official, contractor, subcontractor or tradesperson noting discrepancies shall notify the Architect immediately upon discovery.

2. Contractor shall coordinate all required inspections by county building and fire departments, hud, state electrical inspectors or any other governing authorities as necessary.

3. Contractor shall obtain and arrange payment for all temporary utilities necessary for construction, including temporary septic facilities. A job phone must be maintained on site for the duration of construction (cellular phones are acceptable) and the number shall be made available to the Architect and Owner.

4. All construction debris is to be stockpiled and contained neatly on site until disposal. which shall be done at the county landfill or recycling facility only. On-site refuse burning will be done only with the approval by owner, Teton County Fire Dept. and subdivision homeowners association.

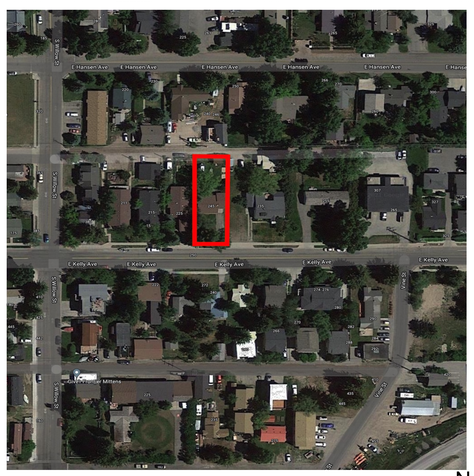
5. Contractor shall inform Architect of any and all owner requested changes or directives following owner/contractor conversations. Contractor shall not proceed with requested changes without review from the Architect and written change orders.

6. Except in interior elevations, and unless otherwise noted, all dimensions are given to face of rough framing, centerline of columns, or face of concrete walls. Interior Elevation dimensions are given to face of finish material. Given dimensions take precedent over scale. The contractor shall take extra caution to coordinate dimensions of structural drawings with Architectural drawings prior to construction, verify discrepancies with Architect.

7. Contractor shall provide proper storage for all building materials in accordance with manufactures recommendations.

8. All substitutions are to be approved by the architect along with written requests. Contractor shall provide all information regarding the substitution in question including cost, availability, and reason for substitution.

9. Contractor shall provide samples of all finish and stain colors for approval by Owner/Architect prior to application. This includes interior and exterior stains, paints, sheetrock textures, chemically applied metal patinas, stone veneer materials, and masonry techniques.



Vicinity
NTS

N

Project Narrative
The project at 235 E Kelly involves partial removal of the existing one story 780 sq ft residential structure and all of the existing 264 sq ft garage. The remaining 198 sq ft structure which is permitted to remain outside the current setbacks will be added to with a new residential structure and new garage within the current setbacks.

Site Development
Site Area = .17 ac (7500 sq. ft.)
Allowabel Maximum Floor Area =
7500 sq ft x .3 = 2250 sq ft
Proposed Floor Area: 2246 sq ft
Driveway + Walkway: 711.4 sq ft
Proposed Impervious Surface: (Footprint + Porches+Drive+Walks) = 3081.4 sq ft
Required LSR = 7500 x .45 = 3375 sq ft
Existing Plantings exceed the required 1 plant unit per lot.

Floor Area Calculations

Existing Main Hab. Floor Area Remaining	198 sq ft
Proposed New Main Hab. Floor Area	1117 sq ft
Proposed New Upper Hab. Floor Area	931 sq ft
Total Proposed Floor Area	2246 sq ft

Proposed Garage: 662 sq ft
Proposed below grade Hab. Floor Area: 1233 sq ft

Total New Floor Area all inclusive 4141 sq ft

Index of Drawings

		Issued
A-00	COVER SHEET	☐
A-1	Site Plans	☐
A-2	1st FLOOR PLAN	☐
A-3	2nd FLOOR PLAN	☐
A-4	BASEMENT PLAN	☐
A-5	ATTIC PLAN	☐
A-6	N ELEVATION	☐
A-7	E ELEVATION	☐
A-8	S ELEVATION	☐
A-9	W ELEVATION	☐
A-10	SECTIONS	☐
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A-12	SECTIONS	☐
A-13	SECTIONS	☐
A-14	SECTIONS	☐
A-15	SECTIONS	☐
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A-18	3D SW	☐
A-19	3D SE	☐
A-20	3D NE	☐
A-21	3D NW	☐
A-22	Details	☐
A-23	Enlarged 1st Floor Plan	☐
A-24	Enlarged 2nd Floor Plan	☐
A-25	Enlarged Basement Floor Plan	☐
A-26	Door Schedules	☐
A-27	Window Schedule	☐

Project Information

Owner:
Dr Kathleen Lohse & Mr Allen Symonds
PO Box 1009,
Jackson, WY, 83001

Location:
Lot # 5, Block 3, George W. Kelly Lots
Plat No. 112

Legal Description:
PIDN: 22-41-16-34-2-25-003

Architectural Design:
A Green Studios
PO Box 1009
Jackson, WY 83001
PH: 970-618-6676
agreenstudio@gmail.com

Structural Engineer:
Carla Hansen
Nelson Engineering
PO Box 1559
Jackson, WY 83001
PH: 307-733-2087

Civil Engineer:
Braden Olson
Nelson Engineering
PO Box 1559
Jackson, WY 83001
PH: 307-733-2087

Mechanical Engineer:
Justin Potosian
PO Box 4594
Jackson, WY 83001
PH:307699-1110

Contractor:

Code Information
Applicable Codes:

2021 IRC	2021 IFC
2021 IPC	2021 IMC
2021 IFGC	2021 IWUIC
2021 IECC	2021 IEC- NFPA 70

Constrution Type V-N
Zoning NM-2
Flood Zone N/A

Setbacks: Primary Street: 20' Side: 10' Rear: 20'

Max Height: 39' Above Finish Grade (6:12 Roof Pitch)

Frost Depth: 36" below grade

See Structural Drawings for Snow, Wind and Seismic Design Info.

A Green Studio

PO Box 1009
Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
Jackson, 83001

A Green Studio

235 E Kelly Ave
Jackson WY 83001

MARK	DATE	DESCRIPTION

PROJECT NO: 01
MODEL FILE: 235 E Kelly B46.pln
DRAWN BY: Allen Symonds
COPYRIGHT:

SHEET TITLE
COVER SHEET

A-00

SHEET 1 OF 30

/Users/allen/Documents/Architecture/235 E Kelly/235 E Kelly B46.pln

LEGEND

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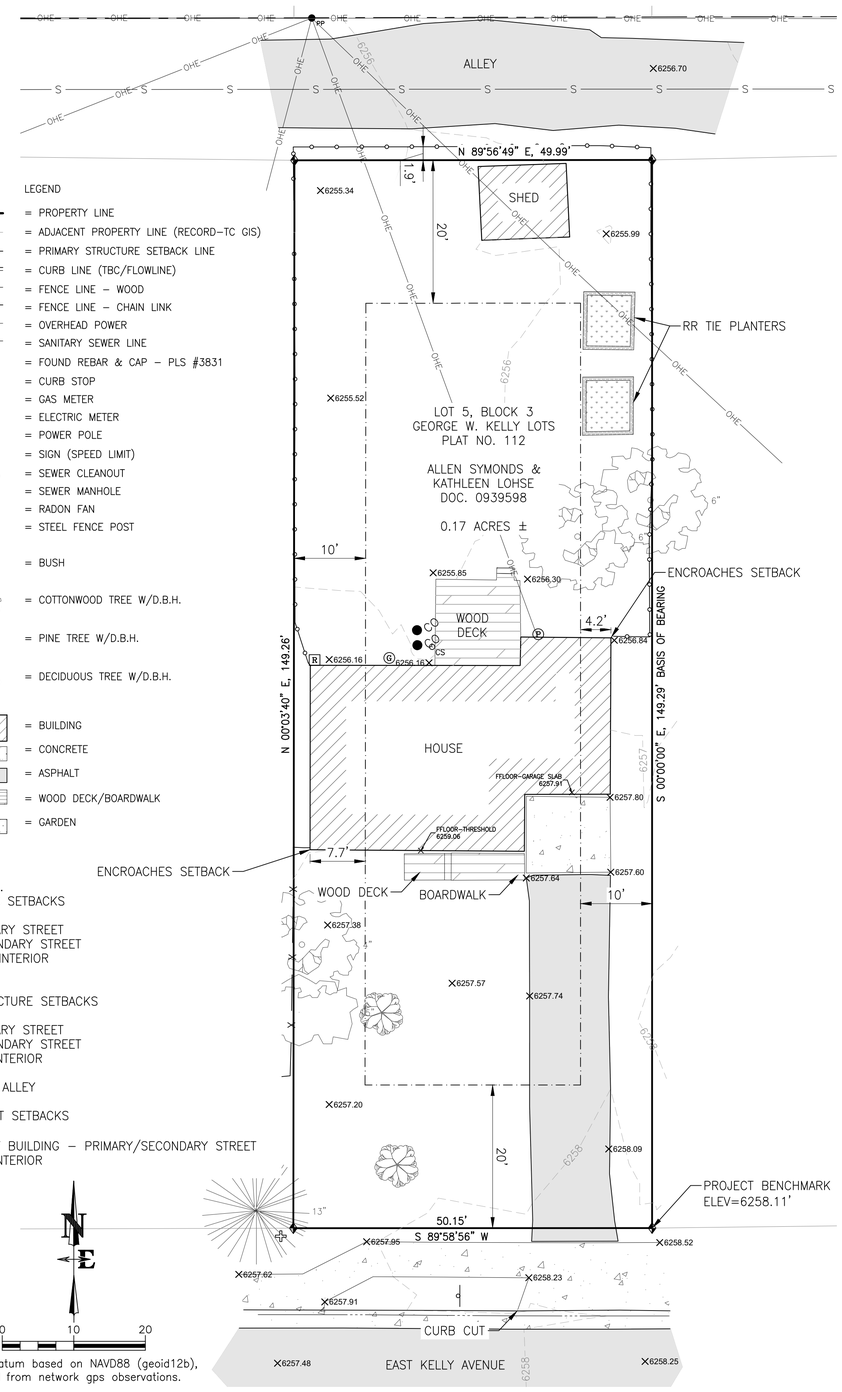

1 Existing Site Plan
SCALE: 1" = 10'

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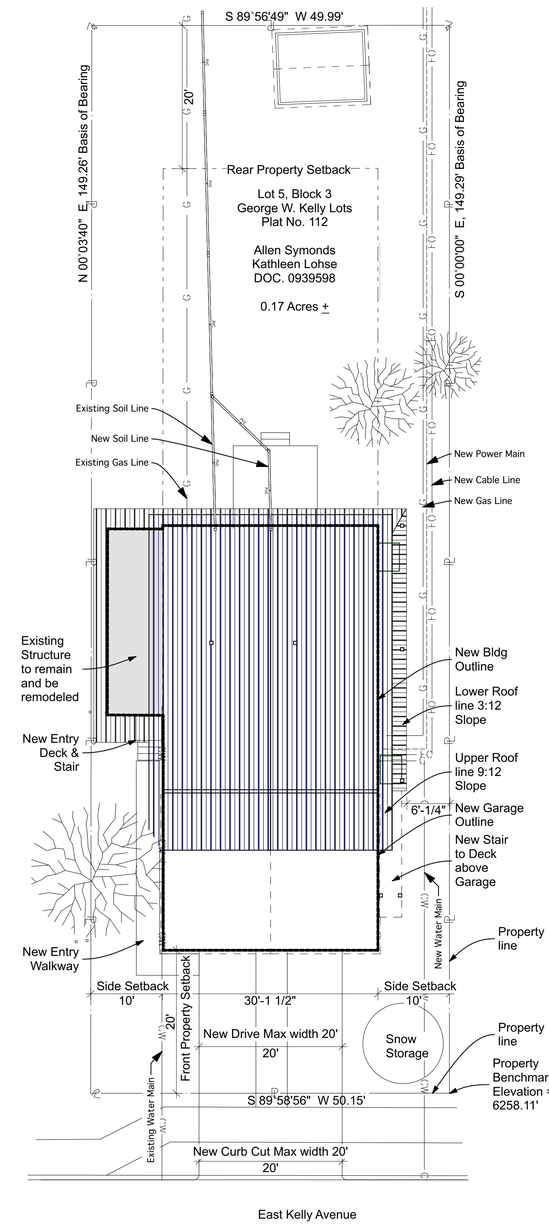

2 New Site Plan
SCALE: 1" = 10'

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PO Box 1009
Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
Jackson, 83001

A Green Studio

235 E Kelly Ave
Jackson WY 83001

MARK	DATE	DESCRIPTION

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Site Plans

A-1

SHEET 2 OF 30

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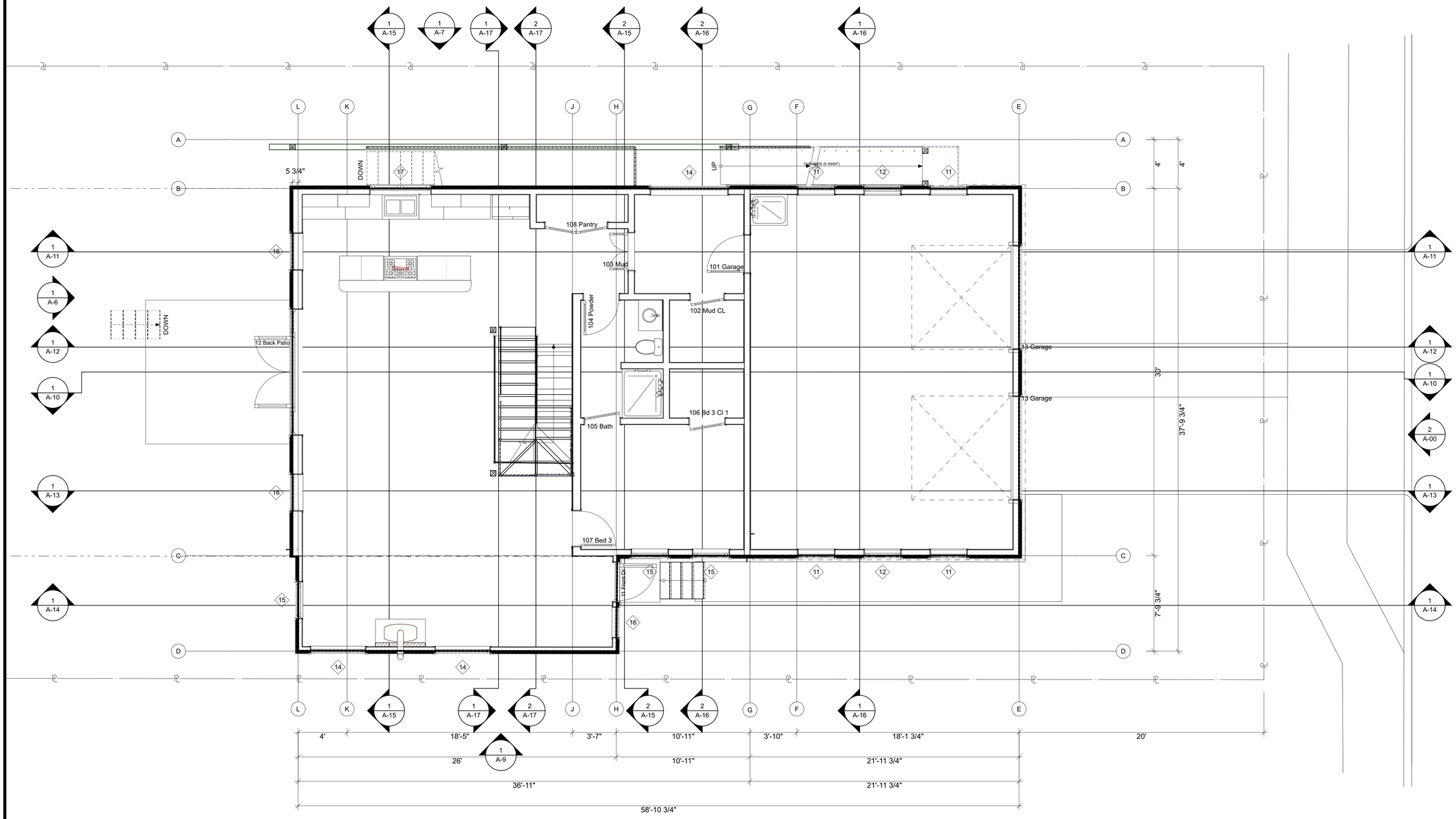

1 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

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Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
Jackson, 83001

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235 E Kelly Ave
Jackson WY 83001

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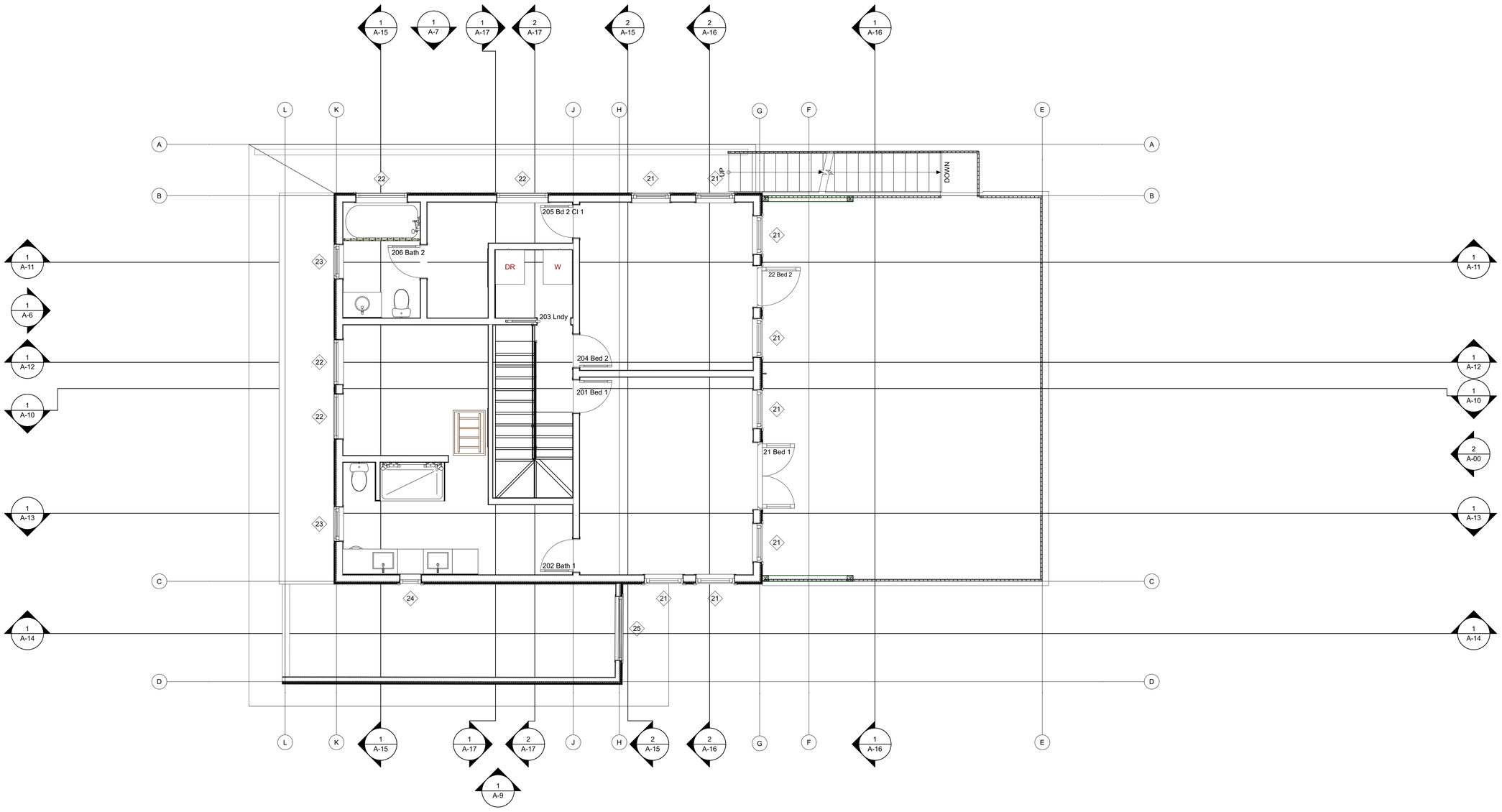
1st FLOOR PLAN

A-2

SHEET 3 OF 30



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1 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
Jackson, 83001

A Green Studio

235 E Kelly Ave
Jackson WY 83001

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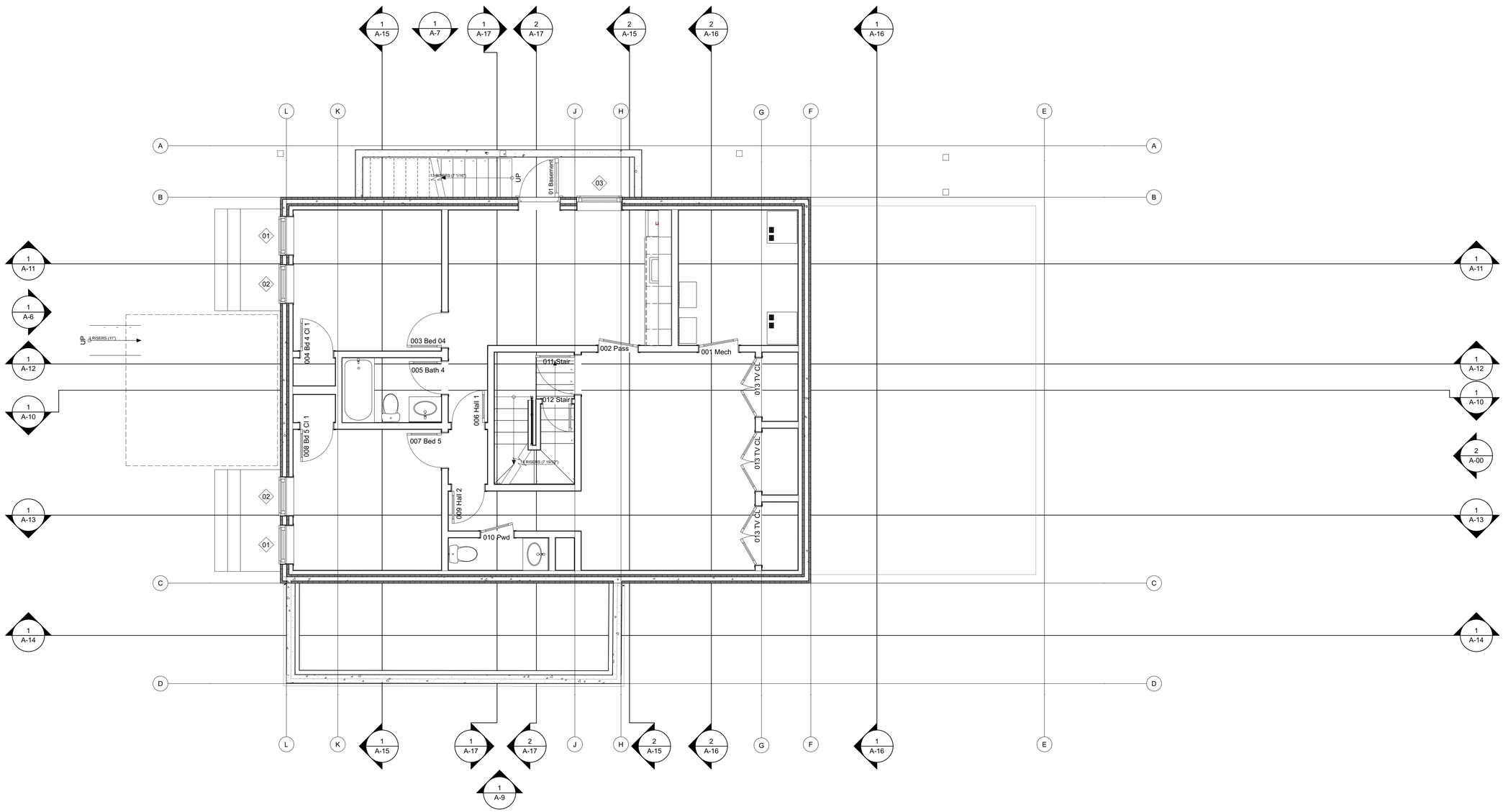
SHEET TITLE

2nd FLOOR PLAN

A-3

SHEET 4 OF 30



1 Basement
SCALE: 1/4" = 1'-0"

0 2' 4' 8'

N

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A Green Studio

PO Box 1009
Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
Jackson, 83001

A Green Studio

235 E Kelly Ave
Jackson WY 83001

MARK	DATE	DESCRIPTION

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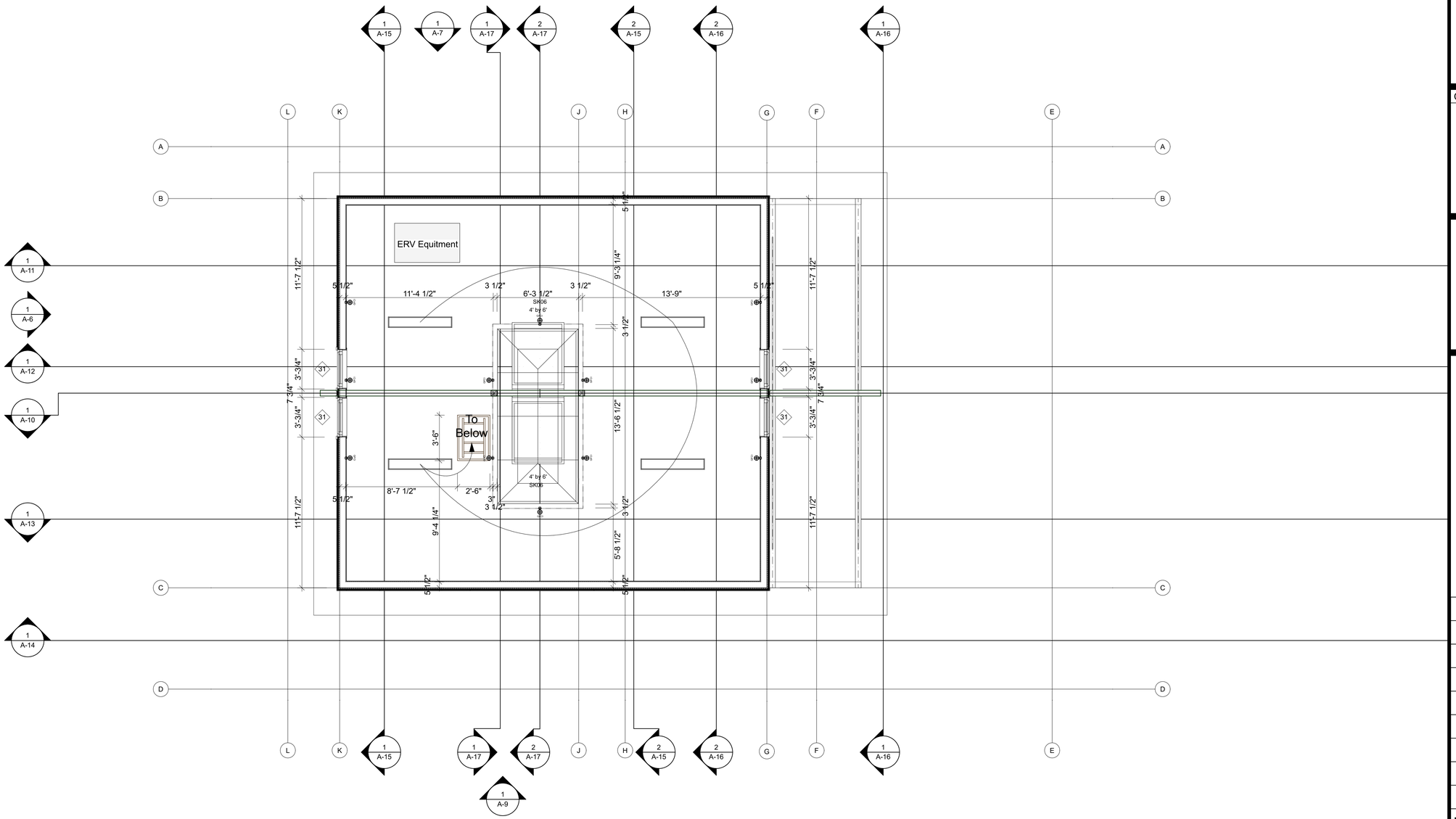
SHEET TITLE

BASEMENT PLAN

A-4

SHEET 5 OF 30



1 Attic Plan

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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A Green Studio

PO Box 1009
Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
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A Green Studio

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Jackson WY 83001

MARK	DATE	DESCRIPTION

PROJECT NO: 01

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235 E Kelly B46.pln

DRAWN BY: Allen Symonds

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SHEET TITLE

ATTIC PLAN

A-5

SHEET 6 OF 30

1 NORTH MAIN ELEVATION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

A Green Studio

PO Box 1009
Jackson, 83001

CONSULTANTS

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235 E Kelly Ave
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SHEET TITLE

N ELEVATION

A-6

SHEET 7 OF 30

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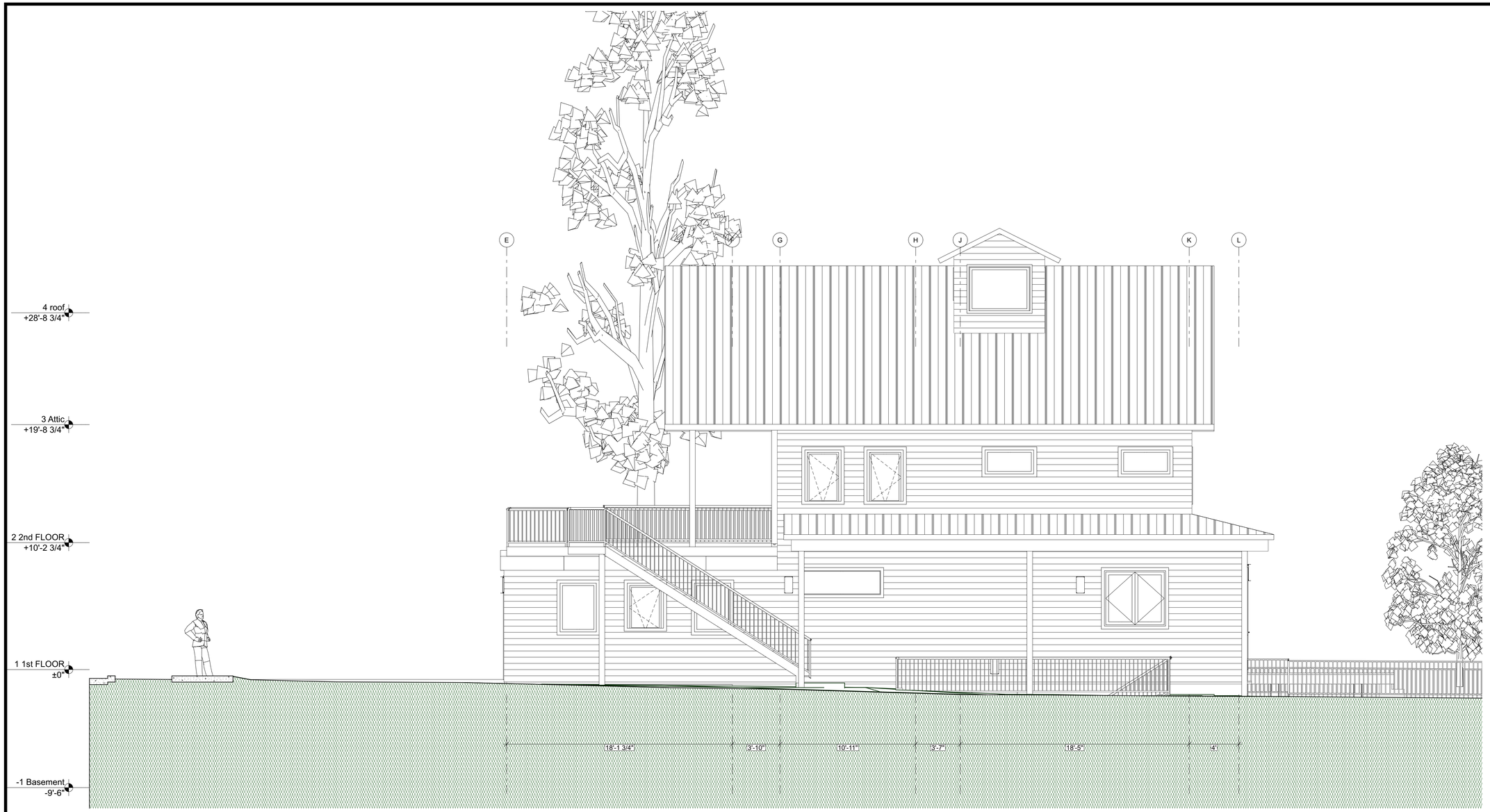

1 EAST ELEVATION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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E ELEVATION

A-7

SHEET 8 OF 30

1 SOUTH MAIN ELEVATION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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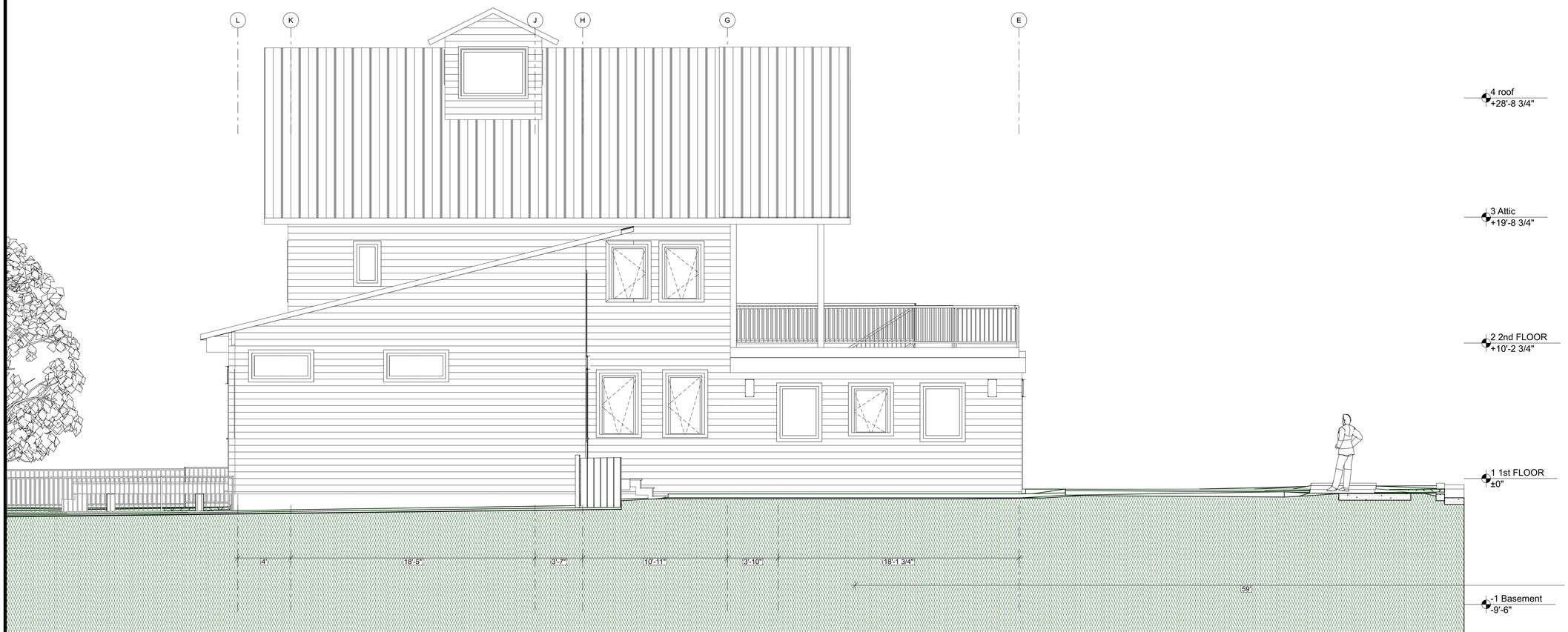
S ELEVATION

A-8

SHEET 9 OF 30



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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W ELEVATION

A-9

SHEET 10 OF 30

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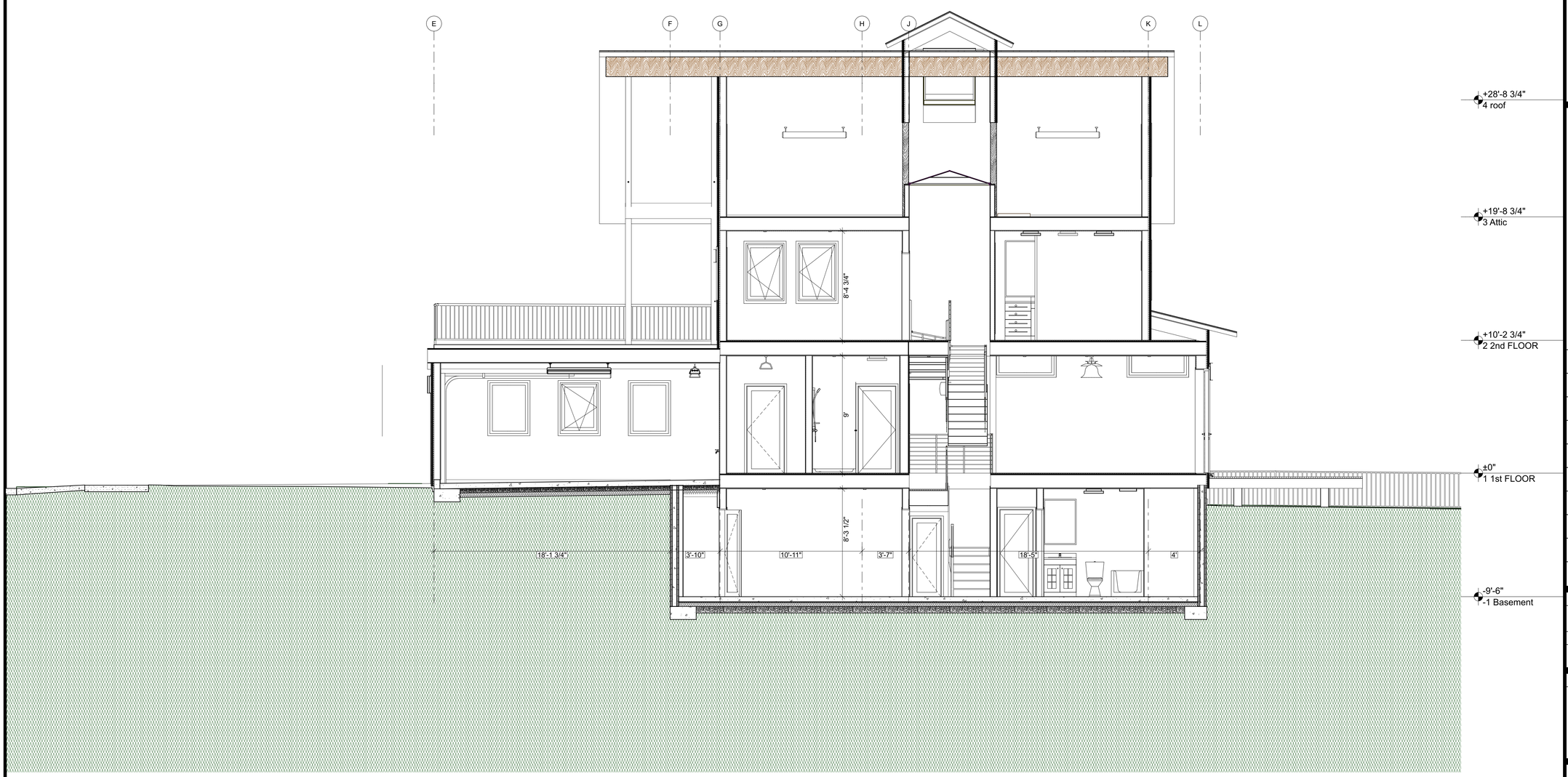

1 Stair LW
SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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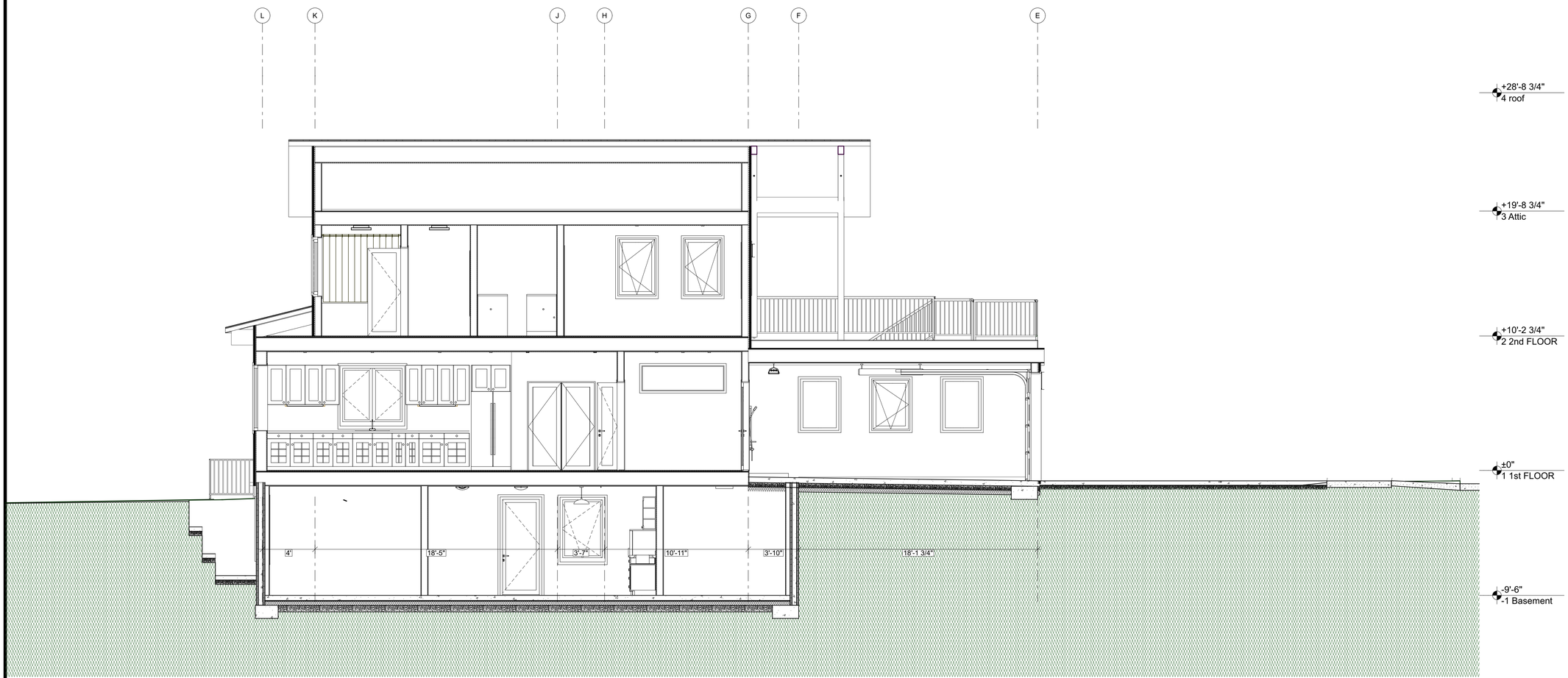
SECTIONS

A-10

SHEET 11 OF 30



1 KITCHEN E SECTION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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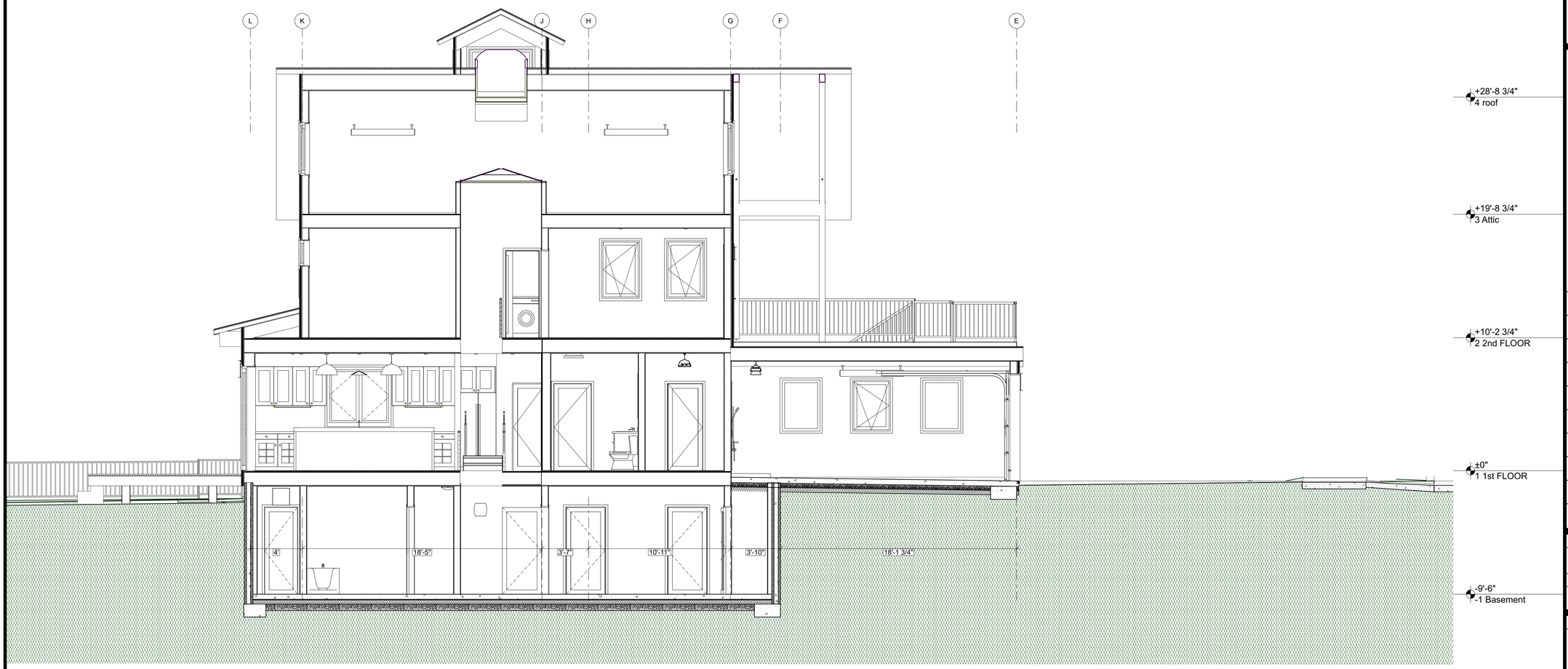
SECTIONS

A-11

SHEET 12 OF 30



1 Dining Bath LE
SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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A-12

SHEET 13 OF 30

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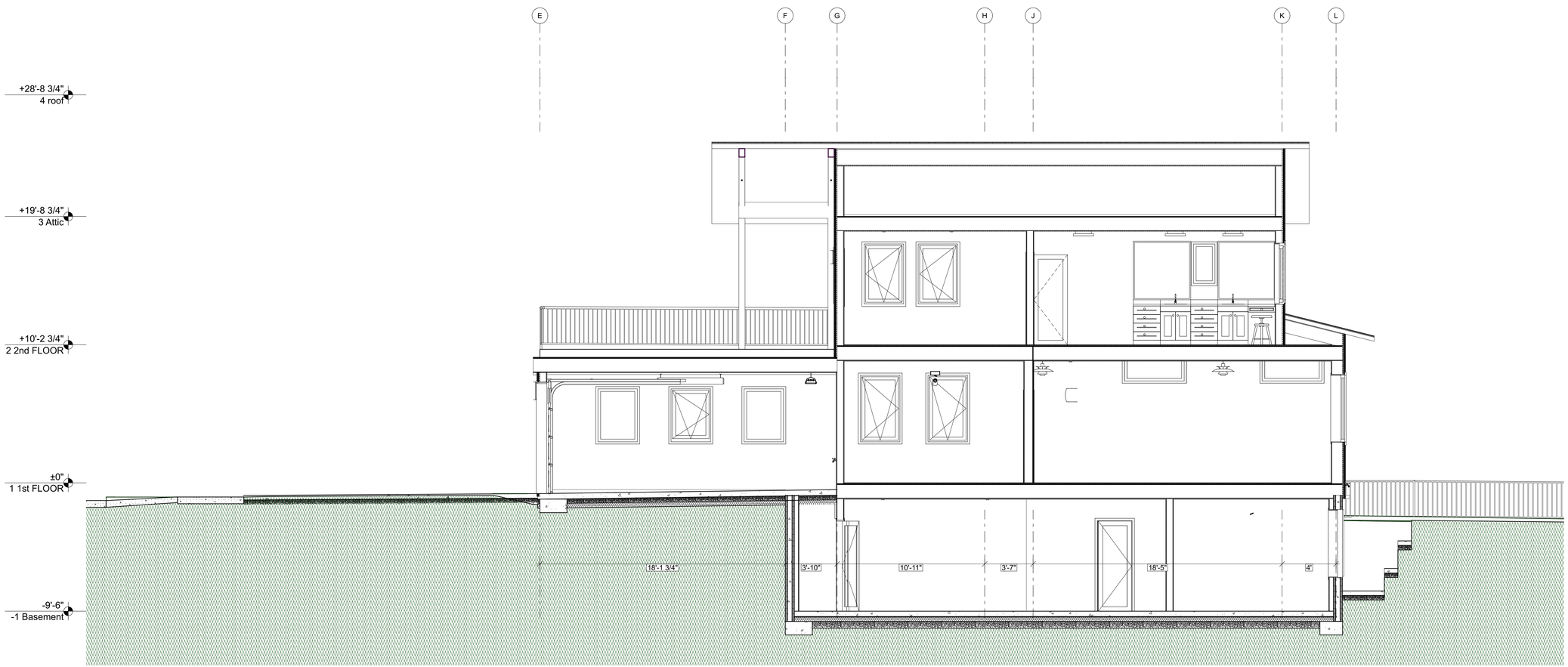

1 Living Bed LW

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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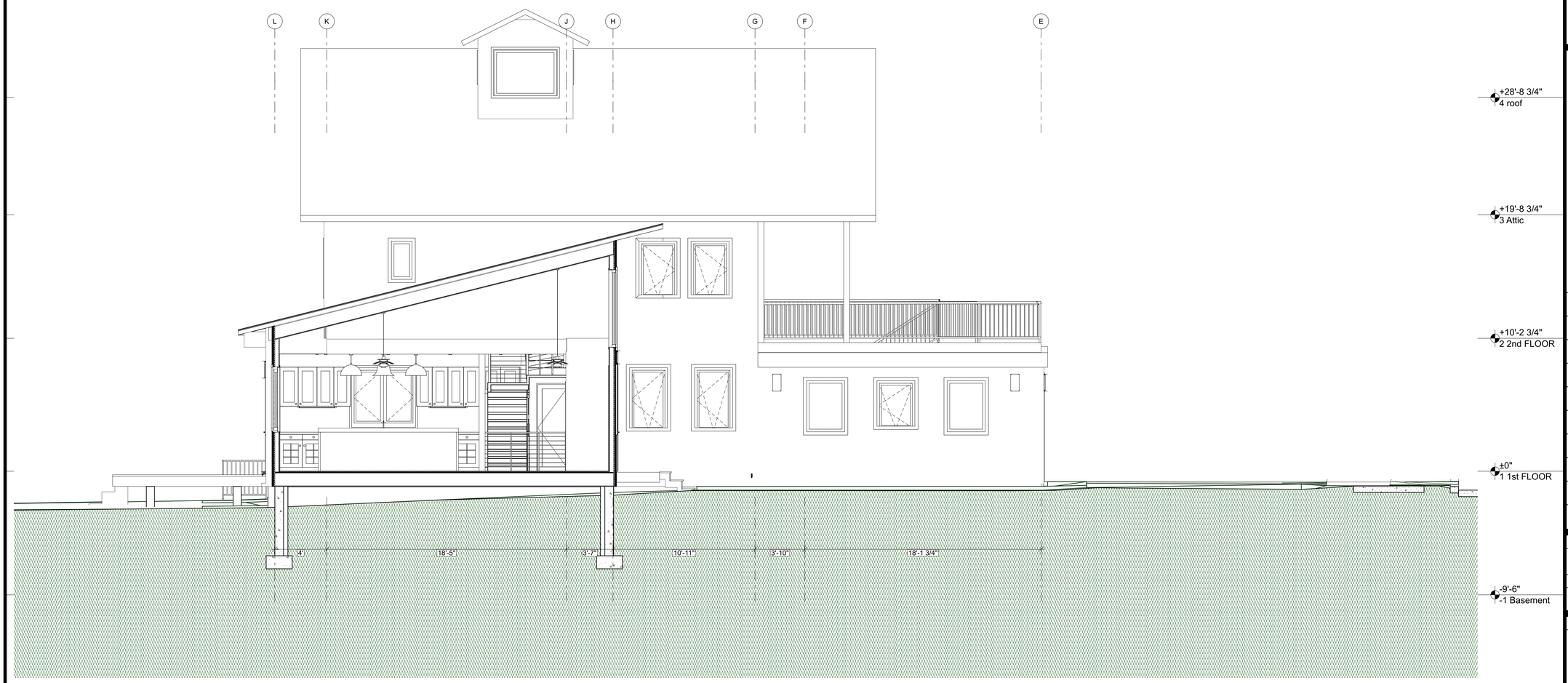
SECTIONS

A-13

SHEET 14 OF 30



1 Living LE
SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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SECTIONS

A-14

SHEET 15 OF 30

1 LIVING N C
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

2 Bed Office C
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

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SECTIONS

A-15

SHEET 16 OF 30

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1 Garage C
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

2 Mud Bed C
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

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SECTIONS

A-16

SHEET 17 OF 30

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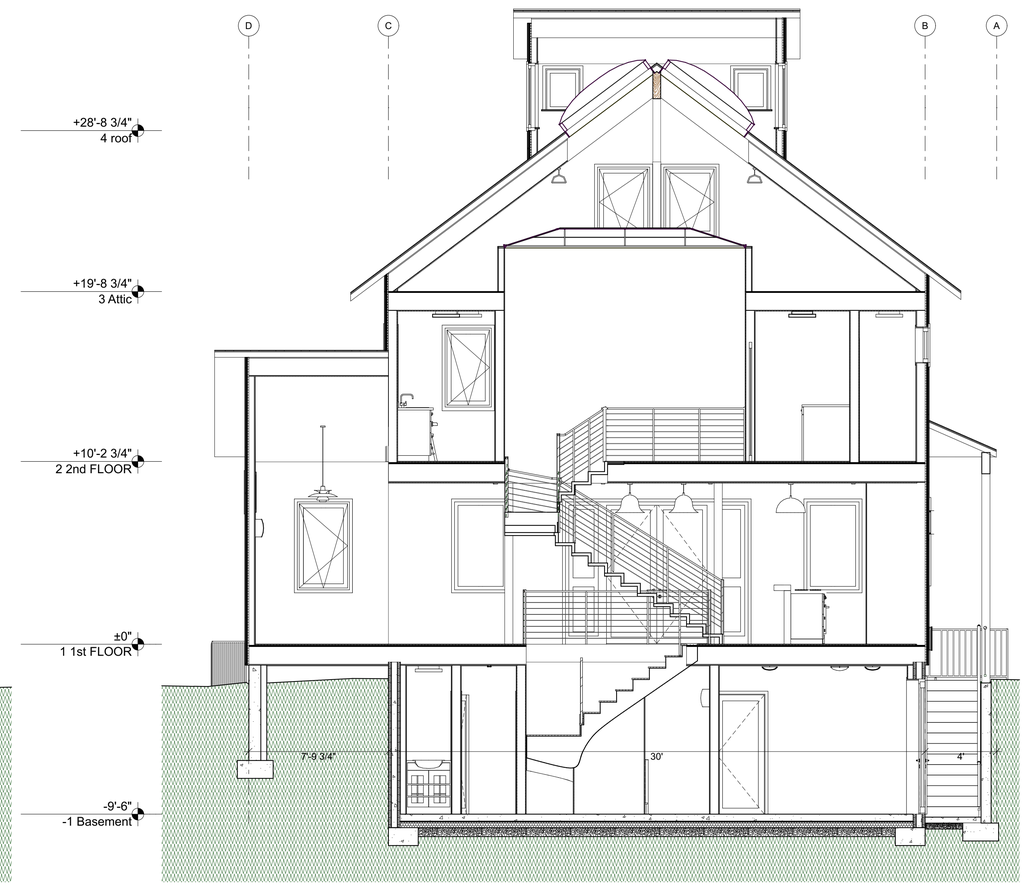
1 STAIR S SECTION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'



2 STAIR N SECTION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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SECTIONS

A-17

SHEET 18 OF 30

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1 3D SW
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

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SHEET TITLE
3D SW

A-18

SHEET 19 OF 30

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1 3D SE
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

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3D SE

A-19

SHEET 20 OF 30

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1 3D NE
SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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3D NE

A-20

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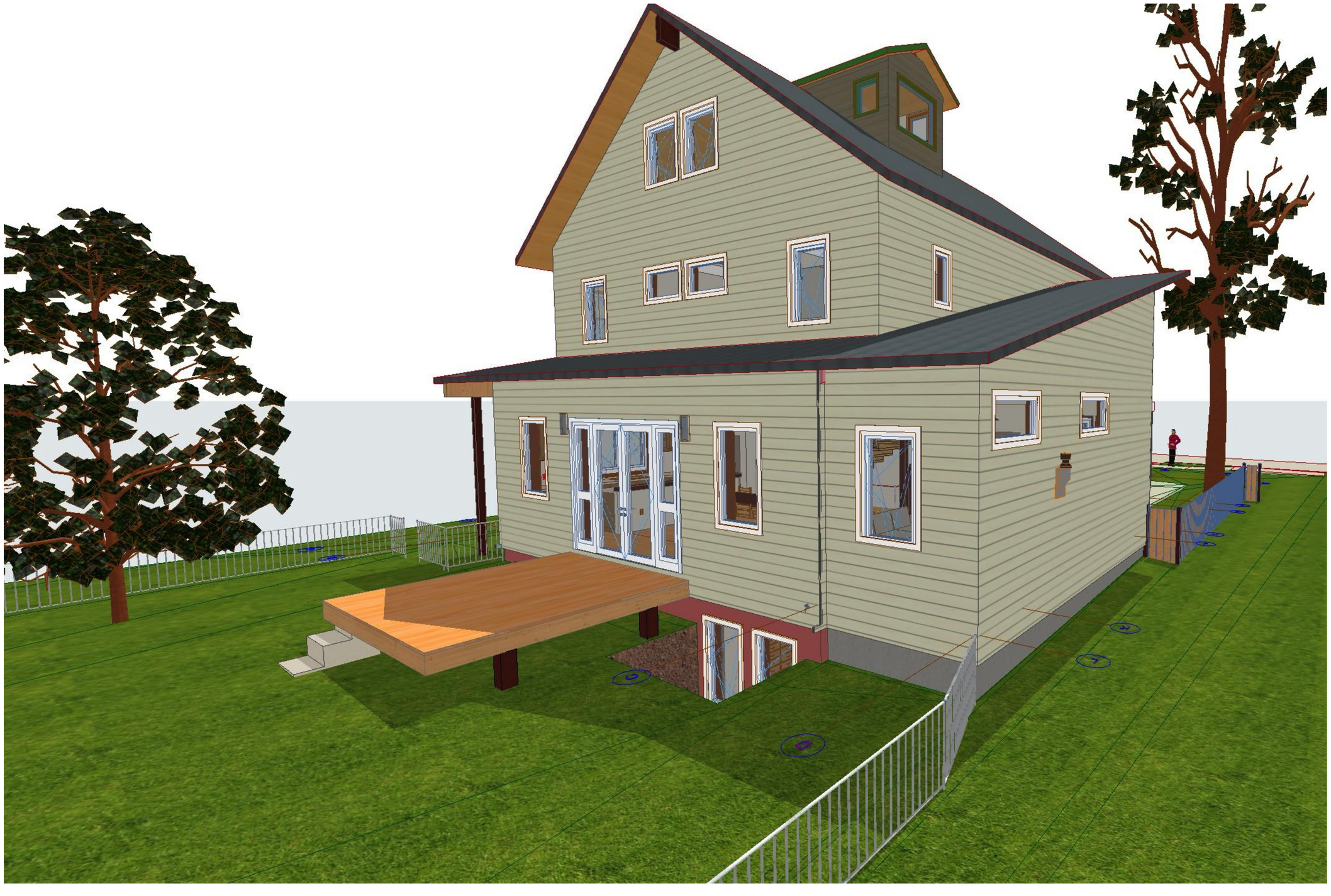

1 3D NW
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

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3D NW

A-21

SHEET 22 OF 30

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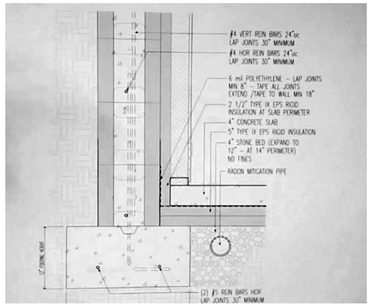

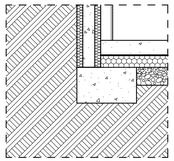

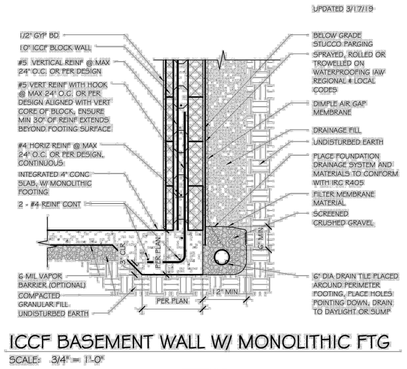

Figure 5.6

.
Can we do a foundation detail that is a combination of what is on the right and what is on the left?
I would like to pour a heated slab on grade with passive radon caputre below it and build walls above with 8" ICCF block walls from Perfect Block. I have not had time to draw excatly what I want but wanted to start the conversation.

1 DETAIL
SCALE: 1/2" = 1'-0"

0 1' 2' 4'

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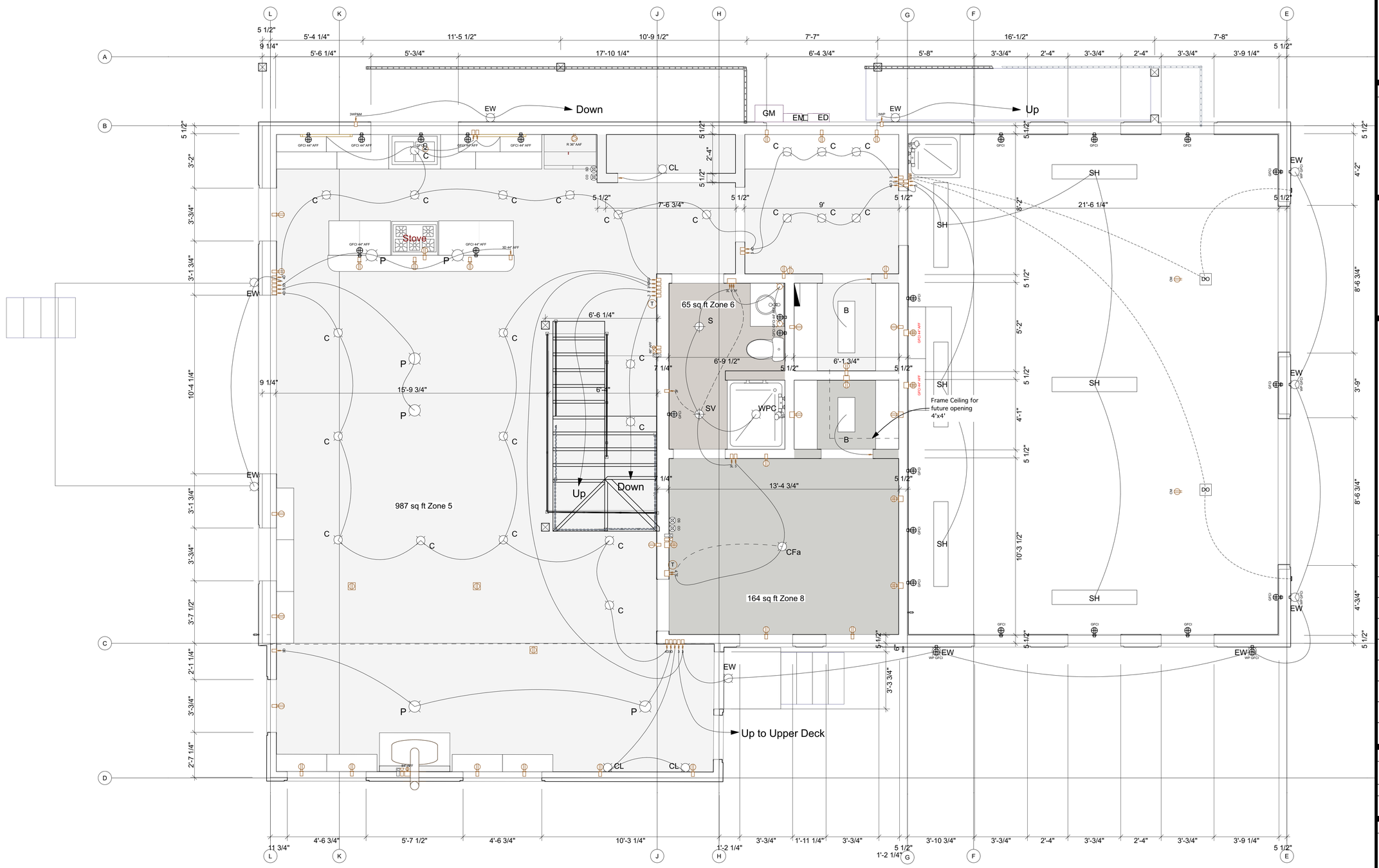
Details

A-22

SHEET 23 OF 30



1 1st FLOOR

SCALE: 3/8" = 1'-0"

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Enlarged 1st Floor Plan

A-23

SHEET 24 OF 30

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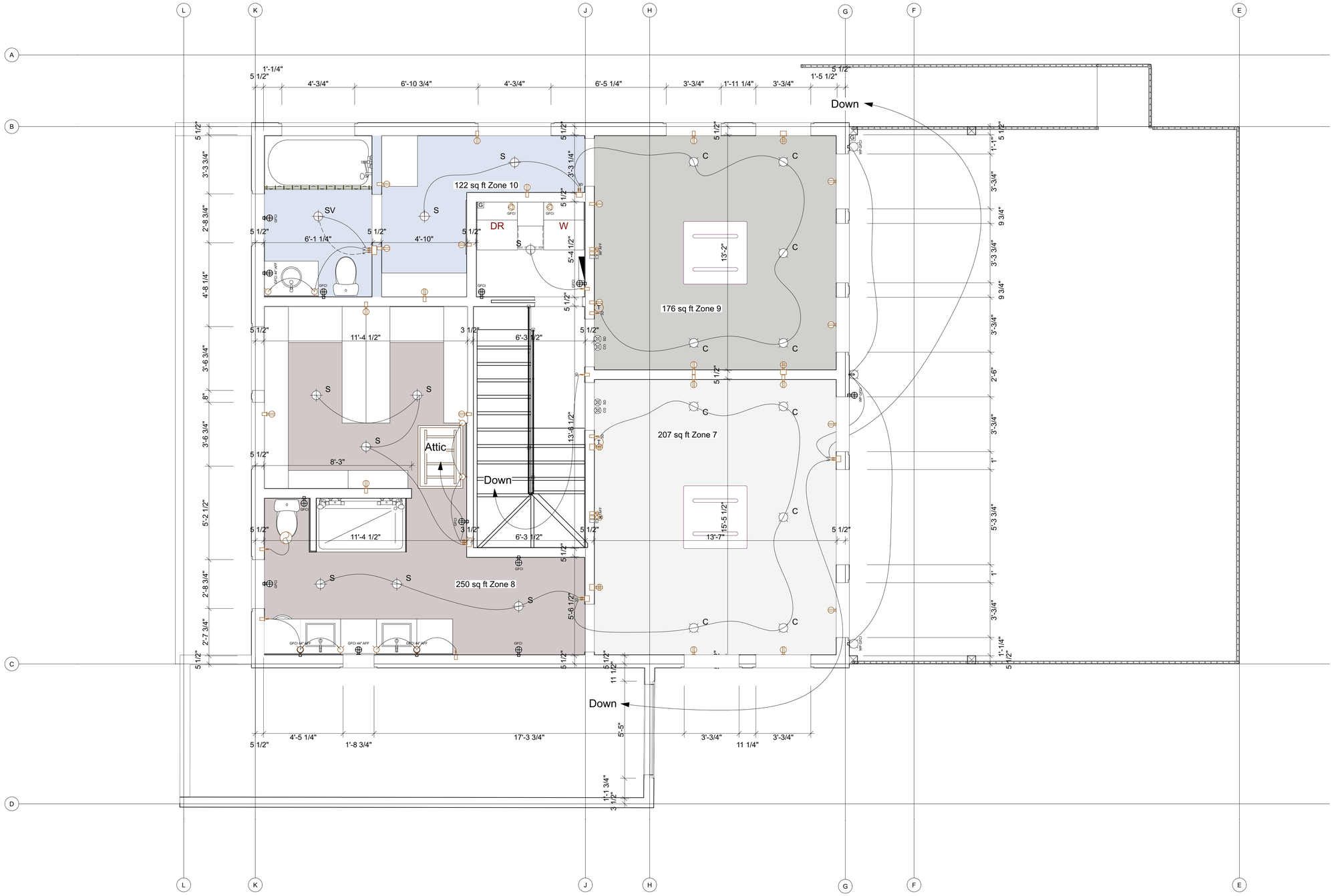

1 2nd FLOOR

SCALE: 3/8" = 1'-0"

0 2' 4' 6'

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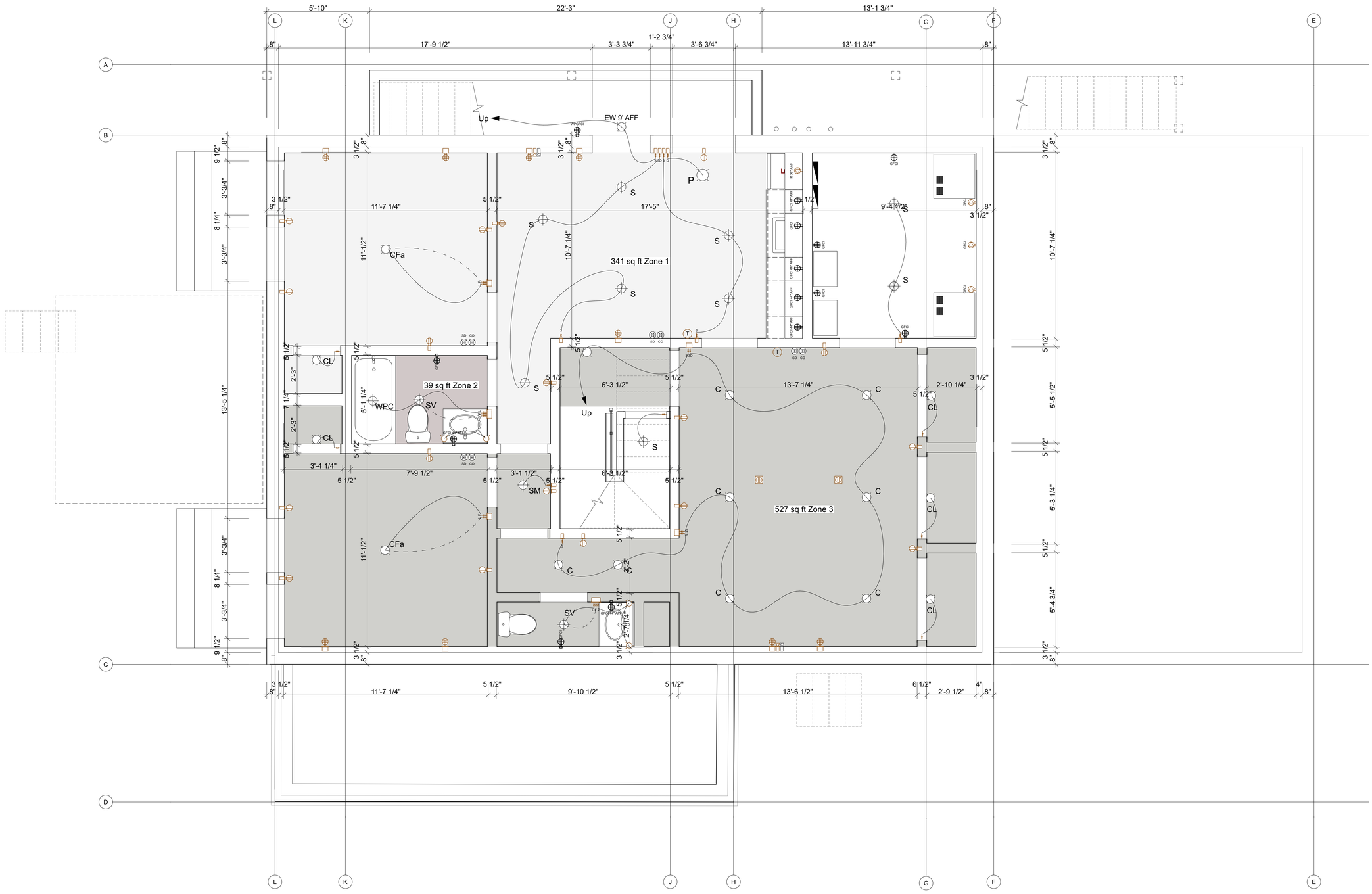
Enlarged 2nd Floor Plan

A-24

SHEET 25 OF 30



1 Basement

SCALE: 3/8" = 1'-0"

0 2' 4' 6'

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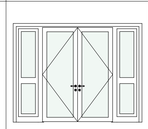
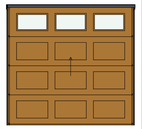
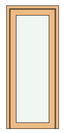
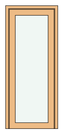
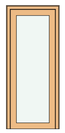
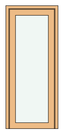
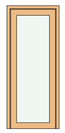
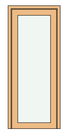
Enlarged Basement Floor Plan

A-25

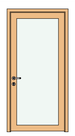
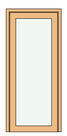
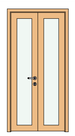
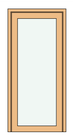
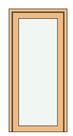
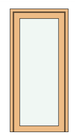
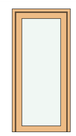
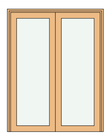
SHEET 26 OF 30

DOOR						
Element ID	01 Basement	11 Front Dr	12 Back Patio	13 Garage	21 Bed 1	22 Bed 2
Position	Exterior	Exterior	Exterior	Exterior	Exterior	Exterior
VIEW						
DIMS:Unit Size	3'×7'-4 3/4"	3'×7'-10 1/2"	5'-10"×7'-10 1/2"	8'-6"×8'-3"	5'×6'-10 3/4"	3'×6'-10 3/4"
Manufacturer				Undefined		
TYPE	No Grid	No Grid	No Grid	Style 3	No Grid	No Grid
U-value	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined
Hardware Set						
Note/Remark		3' Sidelight leaf 1'-6" Transom	2' Sidelight leaf 1'-6" Transom			

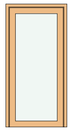
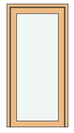
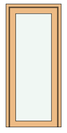
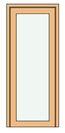
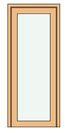
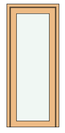
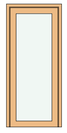
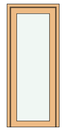
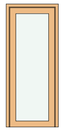
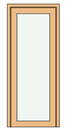
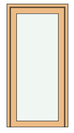
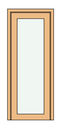
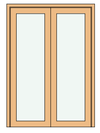
Door Types All Ext

Door Types Second Fl Int						
Element ID	201 Bed 1	202 Bath 1	203 Lndy	204 Bed 2	205 Bd 2 Cl 1	206 Bath 2
Position	Interior	Interior	Interior	Interior	Interior	Interior
VIEW						
DIMS	2'-6"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"
Manufacturer	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined
TYPE	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid
U-value	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined
Hardware Set						
Note/Remark						

Door Types Second Fl Int

Door Types First Fl Int								
Element ID	101 Garage	102 Mud CL	103 Mud	104 Powder	105 Bath	106 Bd 3 Cl 1	107 Bed 3	108 Pantry
Position	Interior	Interior	Interior	Interior	Interior	Interior	Interior	Interior
VIEW								
DIMS	3'×6'-8"	2'-8"×6'-8"	3'×6'-8"	2'-10"×6'-8"	2'-10"×6'-8"	2'-10"×6'-8"	2'-10"×6'-8"	5'×6'-8"
Manufacturer	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined
TYPE	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid
U-value	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined
Hardware Set								
Note/Remark								

Door Types First Fl Int

Door Types Legend Int														
Element ID	001 Mech	002 Pass	003 Bed 04	004 Bd 4 Cl 1	005 Bath 4	006 Hall 1	007 Bed 5	008 Bd 5 Cl 1	009 Hall 2	010 Pwd	011 Stair	012 Stair	013 TV CL	
Position	Interior	Interior	Interior	Interior	Interior	Interior	Interior	Interior	Interior	Interior	Interior	Interior	Interior	
VIEW														
DIMS	3'×6'-8"	3'×6'-8"	2'-8"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"	2'-8"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"	2'-6"×6'-8"	3'×6'-8"	2'-2"×6'	4'-6"×6'-8"	
Manufacturer	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	
TYPE	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	No Grid	
U-value	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	Undefined	
Hardware Set														
Note/Remark														
Quantity	1	1	1	1	1	1	1	1	1	1	1	1	3	15

Door Types Basement Int

A Green Studio

PO Box 1009
Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
Jackson, 83001

A Green Studio

235 E Kelly Ave
Jackson WY 83001

MARK	DATE	DESCRIPTION

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SHEET TITLE

Door Schedules

A-26

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WINDOW SCHEDULE

STORY	ID	RO SIZE	Opening Surface Area	UNIT SIZE	MODEL	MANUFACTURER	FRAME MAT.	OPERABLE	HW SET	REMARKS
Basement	01	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			True		Turn - Tilt
Basement	01	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			True		Turn - Tilt
Basement	02	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			True		Turn - Tilt
Basement	02	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			True		Turn - Tilt
Basement	03	3'-6 3/4"×5'-1/2"	17.92	3'-6"×5'	Undefined			True		Turn - Tilt Tempered
1st FLOOR	11	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			False		Fixed
1st FLOOR	11	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			False		Fixed
1st FLOOR	11	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			False		Fixed
1st FLOOR	11	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			False		Fixed
1st FLOOR	12	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt
1st FLOOR	12	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt
1st FLOOR	14	4'-6 3/4"×2'-1/2"	9.27	4'-6"×2'	Undefined			False		Fixed
1st FLOOR	14	4'-6 3/4"×2'-1/2"	9.27	4'-6"×2'	Undefined			False		Fixed
1st FLOOR	14	6'-4 3/4"×2'-1/2"	12.99	6'-4"×2'	Undefined			False		Fixed
1st FLOOR	15	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			True		Turn - Tilt
1st FLOOR	15	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			True		Turn - Tilt
1st FLOOR	15	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			True		Turn - Tilt
1st FLOOR	16	2'-6 3/4"×5'-1/2"	12.89	2'-6"×5'	Undefined			False		Fixed
1st FLOOR	16	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			False		Fixed
1st FLOOR	16	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			False		Fixed
1st FLOOR	16	3'-3/4"×5'-1/2"	15.41	3'×5'	Undefined			False		Fixed
1st FLOOR	17	5'-3/4"×4'-8 1/2"	23.78	5'×4'-8"	Undefined			True		Casement
2nd FLOOR	21	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt Tempered
2nd FLOOR	21	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt Tempered
2nd FLOOR	21	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt Tempered
2nd FLOOR	21	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt Tempered
2nd FLOOR	21	3'-3/4"×4'-6 1/2"	13.88	3'×4'-6"	Undefined			True		Turn - Tilt
2nd FLOOR	21	3'-3/4"×4'-6 1/2"	13.88	3'×4'-6"	Undefined			True		Turn - Tilt
2nd FLOOR	21	3'-3/4"×4'-6 1/2"	13.88	3'×4'-6"	Undefined			True		Turn - Tilt
2nd FLOOR	21	3'-3/4"×4'-6 1/2"	13.88	3'×4'-6"	Undefined			True		Turn - Tilt
2nd FLOOR	22	3'-6 3/4"×2'-1/2"	7.24	3'-6"×2'	Undefined			False		Fixed Tempered
2nd FLOOR	22	3'-6 3/4"×2'-1/2"	7.24	3'-6"×2'	Undefined			False		Fixed
2nd FLOOR	22	4'-3/4"×2'-1/2"	8.25	4'×2'	Undefined			False		Fixed
2nd FLOOR	22	4'-3/4"×2'-1/2"	8.25	4'×2'	Undefined			False		Fixed
2nd FLOOR	23	2'-8 3/4"×4'-6 1/2"	12.37	2'-8"×4'-6"	Undefined			True		Turn - Tilt
2nd FLOOR	23	2'-8 3/4"×4'-6 1/2"	12.37	2'-8"×4'-6"	Undefined			True		Turn - Tilt
2nd FLOOR	24	1'-8 3/4"×3'-1/2"	5.24	1'-8"×3'	Undefined			False		Fixed
2nd FLOOR	25	5'-1/2"×6'-1/4"	32.61	5'×6'	Undefined			False		Fixed
Attic	31	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt
Attic	31	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt
Attic	31	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt
Attic	31	3'-3/4"×4'-1/2"	12.35	3'×4'	Undefined			True		Turn - Tilt
roof	42	2'-1/2"×2'-6 1/4"	5.15	2'×2'-6"	Undefined	Undefined		False		Fixed
roof	42	2'-1/2"×2'-6 1/4"	5.15	2'×2'-6"	Undefined	Undefined		False		Fixed
roof	42	2'-1/2"×2'-6 1/4"	5.15	2'×2'-6"	Undefined	Undefined		False		Fixed
roof	42	2'-1/2"×2'-6 1/4"	5.15	2'×2'-6"	Undefined	Undefined		False		Fixed
roof	43	5'-1/2"×3'-9 1/4"	19.01	5'×3'-9"	Undefined	Undefined		False		Fixed
roof	43	5'-1/2"×3'-9 1/4"	19.01	5'×3'-9"	Undefined	Undefined		False		Fixed
			605.42 ft²							

Window Schedule Detailed

A Green Studio

PO Box 1009
Jackson, 83001

CONSULTANTS

Lohse Symonds

235 E Kelly Ave
Jackson, 83001

A Green Studio

235 E Kelly Ave
Jackson WY 83001

MARK	DATE	DESCRIPTION

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Window Schedule

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