



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: December 2, 2021	REQUESTS:
Item #: P21-314	The applicant is submitting an administrative adjustment for the quantity of ADA Parking Stalls required for the property located at 245 N Glenwood St., legally known as LOT 7, BLK. 1, ORIGINAL TOWNSITE OF JACKSON PIDN: 22-41-16-28-4-06-016
Planner: Katelyn Page	For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.
Phone: 733-0440 ext. 1302	
Email: kpage@jacksonwy.gov	
Owner Frank & Rhonda Paniszczyk 19030 Kimber Creek Ln Cypress, TX 77429	
Applicant Krikor Architecture, LLC PO Box 4659 Jackson, WY 83001	
Please respond by: November 29, 2021 (with Comments)	

Owner

Frank & Rhonda Paniszczyk
19030 Kimber Creek Ln
Cypress, TX 77429

Applicant

Krikor Architecture, LLC
PO Box 4659
Jackson, WY 83001

The applicant is submitting an administrative adjustment for the quantity of ADA Parking Stalls required for the property located at 245 N Glenwood St., legally known as LOT 7, BLK. 1, ORIGINAL TOWNSITE OF JACKSON PIDN: 22-41-16-28-4-06-016

For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Design Review

Subdivision/Development Option

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification

Amendments to the LDRs

LDR Text Amendment

Map Amendment

Miscellaneous

Other: _____

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

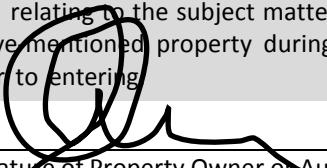
Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

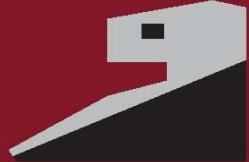

Signature of Property Owner or Authorized Applicant/Agent

Date _____

Name Printed _____

Title _____

November 30, 2021



TOJ Planning Department c/o Katelyn Page
PO Box 1687
Jackson, WY 83001
307.733.0520

RE: Proposed Commercial Remodel
245 N Glenwood Street
Jackson, Wyoming

Dear Katelyn,

This application is being submitted to request that an Administrative Adjustment be applied to the 245 N Glenwood Street Addition / Remodel Project in regards to the quantity of ADA Parking Stalls required. Regulations require two while the proposed project is requesting that only one ADA Van Parking Stall be allowed.

Based on the number of general parking stalls on the parcel, one ADA Van Parking Stall is required. Based on the number of R-1 Short Term Rental Units being proposed, one needs to be fully ADA Accessible and one needs to be ADA Type 'B' Adaptable. The Accessible unit requires one more ADA Parking Stall in addition to the one general site parking requirement. The Adaptable unit does not require any additional parking beyond the general site parking requirement.

Please offer an Administrative Adjustment and allow the one proposed ADA Van Parking Stall to meet all the requirements for this project.

Best Regards,

Gregory Mason, AIA, LEED AP
KRIKOR Architecture, L.L.C.



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that RHONDA PANISZCZYN is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 245 NORTH GLENWOOD STREET

Legal Description: LOT 7, BLOCK 1, ORIGINAL TOWNSITE OF JACKSON

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: KRIKOR ARCHITECTURE, LLC GREGORY MASON

Mailing address of Applicant/agent: POB 4659 JACKSON, WY 83001

Email address of Applicant/agent: KRIKORARCH@GMAIL.COM

Phone Number of Applicant/agent: 307.413.6874

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

Demolition Permit Other (describe) ADMINISTRATIVE ADJUSTMENT

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Rhonda Paniszczyn
Property Owner Signature

Manager

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Texas)

) SS.

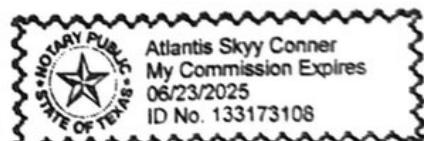
COUNTY OF Harris)

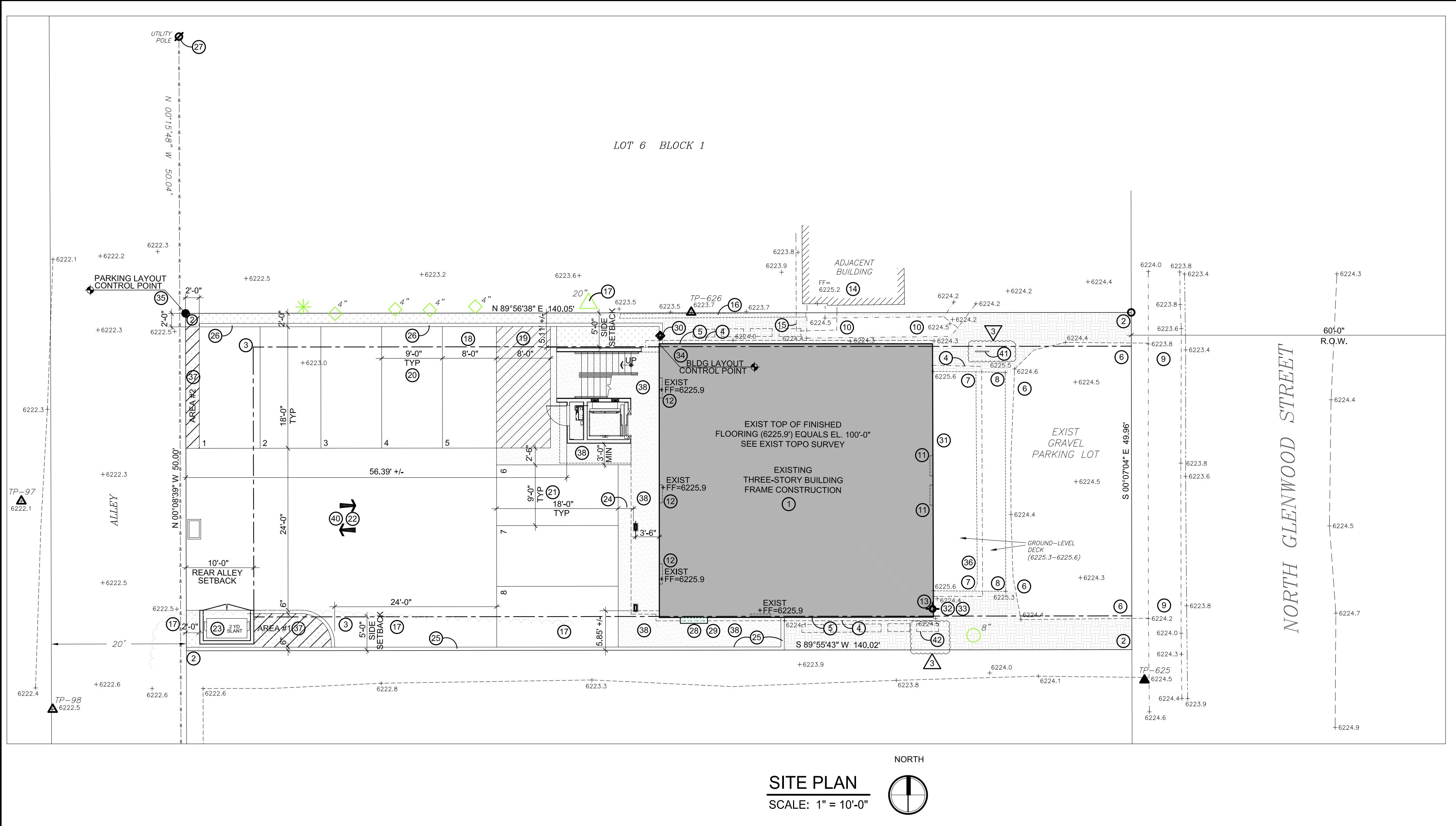
)

The foregoing instrument was acknowledged before me by Atlantis Conner this 2nd day of Dec 2, 2021. WITNESS my hand and official seal.

Atlantis Conner
Notary Public

My commission expires:





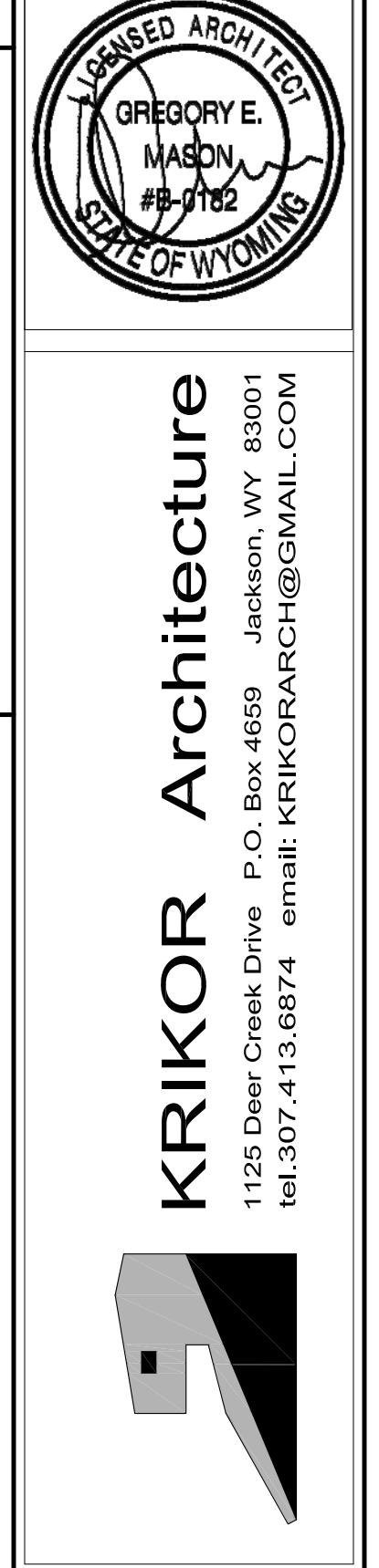
DRAWING INDEX

A001 TITLE SHEET & PROPOSED SITE PLAN
A002 EXISTING TOPO SURVEY SITE PLAN
C1.1 LANDSCAPE PLAN
C1.2 SITE DEMOLITION PLAN
C2.0 SITE DEMOLITION MANAGEMENT PLAN
C3.0 GRADING & EROSION CONTROL PLAN
C3.1 SITE DETAILS
D1 DEMOLITION FLOOR PLANS
D2 DEMOLITION EXTERIOR ELEVATIONS
A100 CRAWL SPACE FLOOR PLAN
A101 FIRST FLOOR PLAN - DIMENSIONS
A102 FIRST FLOOR PLAN - SETBACK
A103 SECOND FLOOR PLAN
A104 THIRD FLOOR PLAN
A105 ROOF
A106 EXTERIOR ELEVATIONS
A201 EXTERIOR ELEVATIONS
A300 BUILDING CROSS SECTIONS AND DETAILS
A301 BUILDING CROSS SECTIONS AND DETAILS
A302 BUILDING CROSS SECTIONS
S0.0 GENERAL STRUCTURAL NOTES
S1.0 FOUNDATION PLAN
S1.1 FOUNDATION DETAILS
S2.0 FOUNDATION DETAILS
S2.1 FOUNDATION DETAILS
S3.0A SECOND FLOOR FRAMING PLAN
S3.0B THIRD FLOOR FRAMING PLAN
S3.0C THIRD FLOOR CEILING FRAMING PLAN
S3.0D ROOF FRAMING PLAN
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M000 MECHANICAL COVER SHEET
M001 MECHANICAL SCHEDULES
M002 MECHANICAL SPECIFICATIONS
M003 MECHANICAL SITE PLANS
MD110 HVAC DEMOLITION PLAN - FIRST FLOOR
MD120 HVAC DEMOLITION PLAN - SECOND FLOOR
MD130 HVAC DEMOLITION PLAN - THIRD FLOOR
M110 HVAC DUCTWORK PLAN - CRAWL SPACE
M110 HVAC DUCTWORK PLAN - FIRST FLOOR
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M130 HVAC DUCTWORK PLAN - THIRD FLOOR
M5001 MECHANICAL SITE PLAN
MECHANICAL DETAILS
E000 ELECTRICAL GENERAL NOTES AND SYMBOL LEGEND
E001 ELECTRICAL SPECIFICATIONS
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E210 LIGHTING PLAN - FIRST FLOOR
E220 LIGHTING PLAN - SECOND FLOOR
E230 LIGHTING PLAN - THIRD FLOOR
E310 POWER PLAN - FIRST FLOOR
E320 POWER PLAN - SECOND FLOOR
E330 POWER PLAN - THIRD FLOOR
E400 HVAC POWER PLAN - CRAWL SPACE
E410 HVAC POWER PLAN - FIRST FLOOR
E420 HVAC POWER PLAN - SECOND FLOOR
E430 HVAC POWER PLAN - THIRD FLOOR
E510 SCAFFOLDING, DRAWDRAILS AND SCHEDULES
ED110 POWER DEMOLITION PLAN - FIRST FLOOR
ED120 POWER DEMOLITION PLAN - SECOND FLOOR
ED130 POWER DEMOLITION PLAN - THIRD FLOOR
P000 PLUMBING LEGEND AND GENERAL NOTES
P001 PLUMBING DEMOLITION PLAN - FIRST FLOOR
P010 PLUMBING DEMOLITION PLAN - SECOND FLOOR
P020 PLUMBING DEMOLITION PLAN - THIRD FLOOR
P100 WASTE & VENT PLAN - CRAWL SPACE
P110 WASTE & VENT PLAN - FIRST FLOOR
P120 WASTE & VENT PLAN - SECOND FLOOR
P130 WASTE & VENT PLAN - THIRD FLOOR
P200 WATER PLAN - CRAWL SPACE
P210 WATER PLAN - FIRST FLOOR
P220 WATER PLAN - SECOND FLOOR
P230 WATER PLAN - THIRD FLOOR
P300 PLUMBING DETAILS

VICINITY MAP



KRIKOR Architecture
1125 Deer Creek Drive, P.O. Box 4659 Jackson, WY 83001
tel. 307.413.6874 email: KRIKORARCH@GMAIL.COM



JACKSON HOLE REALTY PARTNERS, LLC
245 North Glenwood Street
Jackson, Wyoming

COVER SHEET & SITE PLAN FOR PROPOSED HOUSING REMODEL			
REVISIONS	1 TOJ DRC SUBMITTAL	6.9.21	
	2 TOJ BLDG PERMIT RESUBMITTAL	10.20.21	
	3 TOJ BLDG PERMIT RESUBMITTAL	11.30.21	
date	10.20.21		

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE 2021 INTERNATIONAL BUILDING CODE (IBC), NFPA AND ANY LOCAL CODES AND ORDINANCES APPLICABLE.
- UNLESS OTHERWISE NOTED ALL PLAN DIMENSIONS ARE TAKEN TO ROUGH FRAMING OS TO FACE OF STUD WALL.
- EXISTING FIRE SPRINKLER AND FIRE ALARM SYSTEM TO REMAIN AND BE MODIFIED BASED ON PROJECT REMODEL DESIGN WITH BE A DEFERRED SUBMITTAL BY THE GC.
- CONCEALED SPACES WITHIN NFPA 13 PROJECTED BLDGS HAVING COMBUSTIBLE MATERIAL SH. CONC. BY NFPA 13 AND MAX. REQUIREMENT 903.3.1.1 AND 903.3.1.2
- EXTERIOR LIGHT FIXTURES TO COMPLY WITH SECTION 8.3.1 OF THE TOJ LAND USE DEVELOPMENT REGULATIONS.
- CROSS REFERENCE ALL DRAWINGS FOR COMPLETE INFORMATION ABOUT PROJECT.
- BLDG DIMENSION LOCATIONS OFF PROPERTY LINE ARE APPROXIMATE, VERIFY PLACEMENT W/ SURVEYOR

SITE DATA

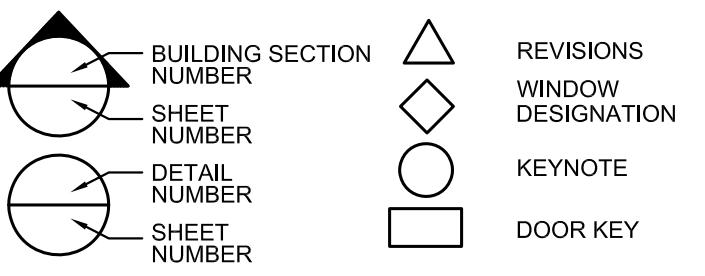
245 NORTH GLENWOOD STREET
LOT 7, BLOCK 1, ORIGINAL TOWNSITE OF JACKSON
PIDN: 22-41-16-28-4-06-016
SITE PLAN TAKEN FROM SURVEY BY
ON SIGHT LAND SURVEYORS-JOB: 22-100-1-7A DATED 10.12.21
(307) 734-6131
ZONING: CR-2 COMMERCIAL RESIDENTIAL-2
SITE AREA: 6969 SF. (.16 ACRES)
SITE TOPOGRAPHY: 0'-2'
SETBACK REQUIREMENTS
STREET: 0' TO 10' REAR: 10' SIDES: 5'
HEIGHT LIMITATIONS
ROOF SLOPE GREATER THAN OR EQUAL TO 5:12 - MAX 46'-0"
CODES UTILIZED: 2021 IBC
DESIGN CRITERIA UTILIZED: SEE STRUCT. AND MEP DWGS
TYPE OF CONSTRUCTION: V-A
BLDG OCCUPANCY CLASSIFICATION:
EXISTING FIRST FLOOR: MERCANTILE GROUP M
PROPOSED SECOND AND THIRD FLOORS:
GROUP R-1 SHORT TERM RENTAL



ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	JST	JOIST
ARCH	ARCHITECT	MAX	MAXIMUM
BBH	BASEBOARD HEATER	MECH	MECHANICAL
BRD	BOARD	MIN	MINIMUM
BLK/G	BLOCKING	MTL	METAL
BM	BEAM	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF....	OC	ON CENTER
CHNL	CHANNEL	PL	PLATE
CLG	CHANNEL	PLMBG	PLUMBING
C.	CENTERLINE	PL	PLUS OR MINUS
CMU	CONCRETE MASONRY UNIT	P.T.	PRESSURE TREATED
COL	COLUMN	RAD	RADIUS
CONC	CONCRETE	REINF	REINFORCEMENT (ING)
DBI	DOUBLE	RN	ROOM
DIM	DIMENSION(S)	SCHED	SCHEDULE
DWGS	DRAWINGS	SHT	SHEET
DTL	DETAIL	SHT MTL	SHRINK METAL
DN	DOWN	SIM	SIMILAR
EL	ELEVATION HEIGHT	STL	STEEL
ELEV	ELEVATION DRAWING	STRUCT	STRUCTURAL
ELEC	ELECTRIC	SUSP	SUSPENDED
FIN	FINISHED FLOOR	TEMP	TEMPERED
FLR	FLOOR	TSG	TONGUE AND GROOVE
FDN	FOUNDATION	T.O.	TO
FRM/G	FRAMING	TYP	TYPICAL
FTG	FOOTING	VERT	VERTICAL
G.C.	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GLB	GLUE LAMINATED BEAM	WP	WEATHERPROOF
G.L.	GLUE LAMINATED MEMBER	U.O.N.	UNLESS OTHERWISE NOTED
GYP	GYPSUM WALL BOARD		
HDR	HEADER		
HORIZ	HORIZONTAL		
HTR	HEATER		
INSUL	INSULATION		
INT	INTERIOR		

KEY LEGEND



A001
1 TOJ DRC SUBMITTAL
2 TOJ BLDG PERMIT RESUBMITTAL
3 TOJ BLDG PERMIT RESUBMITTAL
date 10.20.21
REVISIONS
A001

GRID NORTH

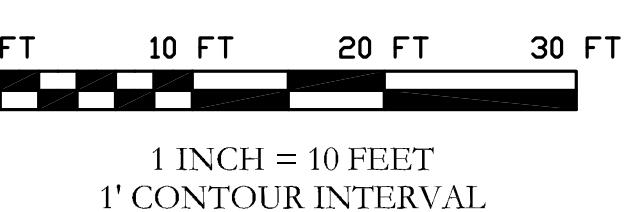
ON SIGHT



LAND SURVEYORS

On Sight Land Surveyors, Inc.
Teton County Control Network
2001

GRAPHIC SCALE



MURKIN, GLEN WOOD, EDITOR

NOTES:

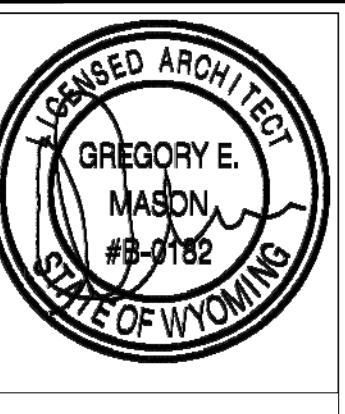
(1) ELEVATIONS ARE NAVD88 BASED ON THE TETON COUNTY CONTROL NETWORK

(2) THE BUILDING FOOTPRINT AS SHOWN REPRESENTS FIELD MEASUREMENTS MAPPED AS PART OF THIS SURVEY AND IS NOT INTENDED TO REPRESENT ARCHITECTURAL DIMENSIONS.

*TOPOGRAPHIC MAP
PREPARED FOR
JACKSON HOLE REALTY PARTNERS, LLC*

SHOWING
LOT 7 BLOCK 1
ORIGINAL TOWN OF JACKSON
PLAT NO. 100
TETON COUNTY, WYOMING

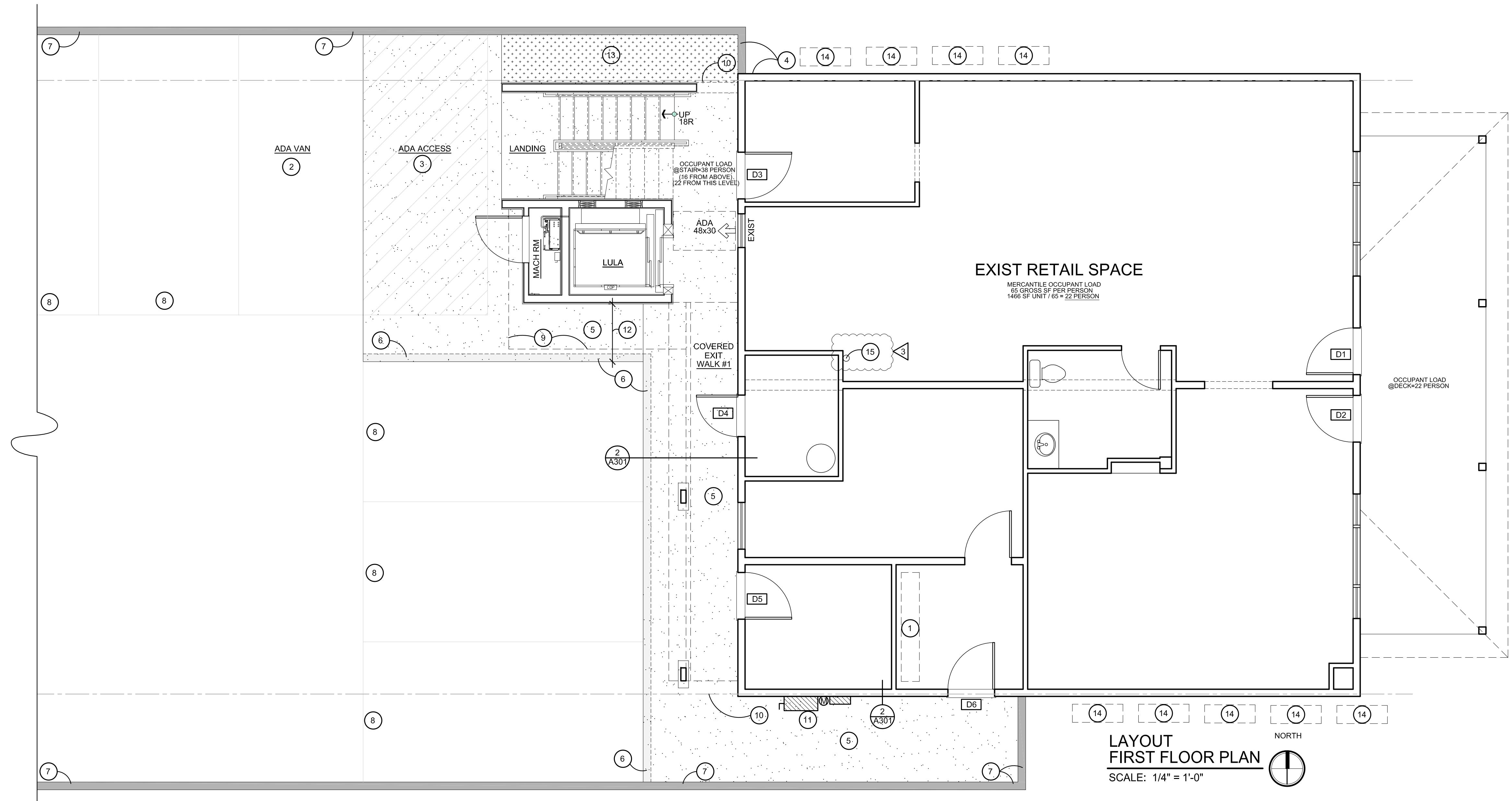
The logo for On Sight Land Surveyors, Inc. features the word "On Sight" in a large, bold, black serif font. The "O" in "On" is replaced by a stylized "S" that is partially cut out, revealing a smaller "S" inside. Below "On Sight" is the company name "LAND SURVEYORS, INC." in a smaller, bold, black sans-serif font.



KRIKOR Architecture
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001
tel.307.413.6874 email: KRIKORARCH@GMAIL.COM

11125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001
tel.307.413.6874 email: KRIKORARCH@GMAIL.COM

FOR
JACKSON HOLE REALTY PARTNERS, LLC
245 North Glenwood Street
Jackson Wyoming



PLAN KEY NOTES

- EXIST LOCATION OF FIRE SPRINKLER RISER TO REMAIN. RECONFIGURATION AND REMODEL OF SYSTEM TO BE A DEFERRED SUBMITTAL BY SUBCONTRACTOR
- ADA VAN PARKING STALL W/ POST MOUNTED SIGN
- ADA PARKING ACCESS AREA W/ GROUND SURFACE PAINTED DIAGONAL STRIPING
- EXIST UNDERGROUND GAS AND REGULATOR TO THIS LOCATION TO REMAIN. NO GAS PROVIDED TO BUILDING INTERIOR. RELOCATE UTILITY AS NECESSARY TO ALLOW FOR NEW CONC. RAISED CURB WALL AND FOOTING
- NEW CONC. WALK SURFACE - SEE CIVIL
- NEW CONC. WALK SURFACE W/ TURN DN EDGE CURB WALL - SEE CIVIL
- T.O. CURB WALL RAISED 6" ABOVE ADJACENT PARKING / WALKWAY SURFACE - SEE CIVIL
- STANDARD PARKING STALL - SEE CIVIL
- LINE OF CANOPY O.H. ABOVE - SEE STRUCT.
- APPROX. LOCATION OF 5' TOJ SIDE YARD SETBACK LINE - SEE EXIST TOPO SURVEY
- NEW UNDERGROUND POWER, PANELS AND METERS TO THIS LOCATION - SEE ELEC.
- MINIMUM 3'-0" CLEAR WALKWAY FROM FACE OF FINISHED WALL TO ADJACENT PARKING STALL
- LANDSCAPED AREA - SEE LANDSCAPE PLAN
- A/C CONDENSING UNITS IN SETBACK, MAX 4' HEIGHT - SEE MECH DWGS
VERIFY EXACT LOCATION BASED ON EXIST FIELD CONDITIONS
- (1) 2A10BC PORTABLE FIRE EXTINGUISHER SHALL BE PLACED IN ACCORDANCE W/ IFC 906.

REVISIONS

REVISIONS			
1	TOJ DRC SUBMITTAL	6.9.21	
2	TOJ BLDG PERMIT SUBMITTAL	10.15.21	
3	TOJ BLDG PERMIT RESUBMITTAL	11.30.21	

date 10.15.21

A102



PLAN KEY NOTES

- EXISTING ROOF BELOW
- EXIST DOOR TO REMAIN. NEW DECK RAISED UP TO THRESHOLD TO CREATE MAX 1/4" MAX RISE FROM EXTERIOR T.O. FINISHED DECKING TO MEET ADA REQUIREMENTS.
- EXIST FINISHED FLOOR ELEVATION PER EXIST TOPOGRAPHIC SURVEY
- 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF WALL. HEIGHT 2-10" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL. LOCATE ON BOTH SIDES OF STAIR RUN
- TYPICAL 12" HANDRAIL EXTENSION FROM OUTSIDE FACE OF LAST TREAD
- WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS INSTALL PARALLEL W/ SLOPE OF STRINGER. HEIGHT 3-6" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL
- 1-HOUR FIRE RATED & ACOUSTIC FLOOR / CEILING ASSEMBLY. PROVIDE (2) 5/8" TYPE-X GYP BOARD AT UNDERSIDE OF ENTIRE EXISTING CEILING
- LINE OF DECK ABOVE
- LINE OF STIR LANDING ABOVE
- SYMMETRY ELEVATOR (877.375.1428) - LULA ELEVATOR SYSTEM AND MACHINE ROOM. PROVIDE DIMENSIONS, INSTALL AND STANDARD FINISHES PER MANUFACTURER REQUIREMENTS. NO "ELEVATOR RECALL" PROVIDED - VERIFY W/ AUTHORITY HAVING JURISDICTION AND MANUFACTURER.
- NEW INTERIOR NON-LOAD BEARING PARTITION WALL
- NEW STEEL COLUMN - SEE STRUCT.
- LULA CAB FLOOR FLUSH W/ T.O. NEW FINISHED DECKING
- ROOF CANOPY BELOW - SEE STRUCT.
- DROPPED BEAM DECK SUPPORT ABOVE - SEE STRUCT.
- APPROX. LOCATION OF 5' T.O. SIDE YARD SETBACK LINE - SEE EXIST TOPO SURVEY
- FINISHED OUTSIDE FACE OF NEW WALL TO CLEAR SIDE YARD SETBACK LINE
- ONLY THIS GRID LINE AT OUTSIDE FACE OF EXIST WALL SHEATHING
- CLOSE UP EXISTING WALL OPNG AND PATCH TO MATCH EXISTING
- TREX TRANSCEND GROOVED EDGE 1" (.94") COMPOSITE WOOD SPACING MAX 3/16". MEETS CAL FIRE LISTING 8110-2052:2004 TEST PROTOCOL SFM 12-7A-4A OVER PRESSURE IMPREGNATED FIRE RETARDANT P.T. x8 DECK JOIST - SEE STRUCT.
- ELEC. WALL PANEL LOCATION W/ 36" x 36" CLR FLOOR AREA - SEE ELEC. DWGS
- DOUBLE HANG ROD AND SHELF
- SINGLE HANG ROD AND SHELF
- BUILT-IN WOOD SLAB SEAT @ 24" A.F.F. W/ TWO DRAWERS BELOW
- NEW ADA DOOR IN EXIST DOOR LOCATION. NEW DECK RAISED UP TO THRESHOLD TO CREATE MAX 1/4" MAX RISE FROM EXTERIOR T.O. FINISHED DECKING TO MEET ADA REQUIREMENTS.
- WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS INSTALL HEIGHT AT 3' ABOVE FINISHED DECK SURFACE
- DROPPED SOFFIT ENCLOSURE FOR DRYER DUCT TO EXTERIOR WALL
- 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF FACE OF SLOPED GUARDRAIL. HEIGHT 2-10" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL. LOCATE ON BOTH SIDES OF STAIR RUN
- CONTINUOUS 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF FACE OF SLOPED GUARDRAIL END POST. HEIGHT 2-10" MEASURED VERTICALLY ABOVE FINISHED LANDING SURFACE
- ADA TOILET W/ FLUSH HANDLE ON APPROACH SIDE
- STUD FRAMING AND GYPSUM ON SOUND WALL TO REMAIN CONTINUOUS AT PERPENDICULAR NON-SOUND WALL INTERSECTIONS. NON-SOUND WALL FRAMING AND GYPSUM TO BUTT INTO FACE LAYER OF SOUND WALL GYPSUM
- VERIFY EXISTING WALL ASSEMBLY FOR SOUND ATTENUATION SYSTEM
- 5 SHELVES
- SEE DETAIL 2/A302 FOR TYPICAL ACCESSIBLE BATHROOM DETAILS. ADJUST AS REQUIRED BASED ON PLUMBING FIXTURE SPECIFIED - SEE PLUMB. DWGS
- ADA KITCHEN: TOP OF COUNTER SURFACE 34" MAX ABOVE FINISHED FLOOR. PROVIDE KNEE SPACE UNDER KITCHEN SINK. SEE DETAIL 2/A302 FOR TYPICAL ACCESSIBLE UNDER SINK CLEARANCE DETAILS. ALL APPLIANCES IN UNIT ARE BY OWNER AND TO BE ADA COMPLIANT. PROVIDE A CLEAR FLOOR SPACE OF 30x48 INCHES PARALLEL OR PERPENDICULAR TO THE FRONT OF THE SINK, DISHWASHER, COOKTOP, OVEN AND REFRIGERATOR. THESE SPACES SHALL BE CENTERED ON THE FIXTURE OR APPLIANCE AND MAY OVERLAP.
- KITCHEN CABINET DESIGN AND APPLIANCE SELECTION BY OWNER. VERIFY FINAL MEP LAYOUT BASED ON FINAL OWNER PROVISIONS.
- TEMPERED SHOWER GLASS, DOOR AND FRAMELESS HARDWARE
- 2-8" x 3-0" SHOWER PAN
- (1) 1A10BC PORTABLE FIRE EXTINGUISHER SHALL BE PLACED IN ACCORDANCE W/ IFC 906. PROVIDE LABEL ON OUTSIDE OF CLOSET DOOR THAT THERE IS A "FIRE EXTINGUISHER INSIDE"
- PROVIDE SOLID WOOD BLOCKING IN WALL FOR FUTURE ADA GRAB BAR INSTALL

GENERAL CONTRACTOR (GC) TO VERIFY ALL EXISTING AND PROPOSED BUILDING AND SITE DIMENSIONS IN FIELD TO CONFIRM DESIGN INTENT. IF DIMENSIONS VARY AND CONFLICT W/ PROPOSED DESIGN, GC TO NOTIFY ARCHITECT FOR DIRECTION.

LULA MACHINE ROOM AND ELEVATOR SYSTEM DIMENSIONS AND UTILITIES TO BE AS PER MANUFACTURER SPECIFICATIONS

NOTE: (EERO) AT WINDOWS AND DOORS MEANS EMERGENCY ESCAPE AND RESCUE OPENING AND SHALL COMPLY WITH 2020 IBC SECTION 1030

ALL SECOND FLOOR OPERABLE WINDOWS TO HAVE A WINDOW OPENING CONTROL DEVICE (WOD) FOR FALL PREVENTION. ALL WINDOWS NOTED AS EERO TO HAVE WOOD DEVICE W/ EMERGENCY ESCAPE RELEASE MECHANISM CONFORMING WITH ASTM 2090-10

REVISIONS

1	TOJ DRC SUBMITTAL	6.9.21
2	TOJ BLDG PERMIT SUBMITTAL	10.15.21
3	TOJ BLDG PERMIT RESUBMITTAL	11.30.21

date 10.15.21



KRIKOR Architecture

1125 Deer Creek Drive, P.O. Box 4659 Jackson, WY 83001 email: KRIKORARCHI@GMAIL.COM

PROPOSED HOUSING REMODEL
FOR
JACKSON HOLE REALTY PARTNERS, LLC
245 North Glenwood Street

THIRD FLOOR PLAN

FOR

REVISIONS	1 TOJ DRC SUBMITTAL	6.9.21
2 TOJ BLDG PERMIT SUBMITTAL	10.15.21	
3 TOJ BLDG PERMIT RESUBMITTAL	11.30.21	

date 10.15.21

3

A104

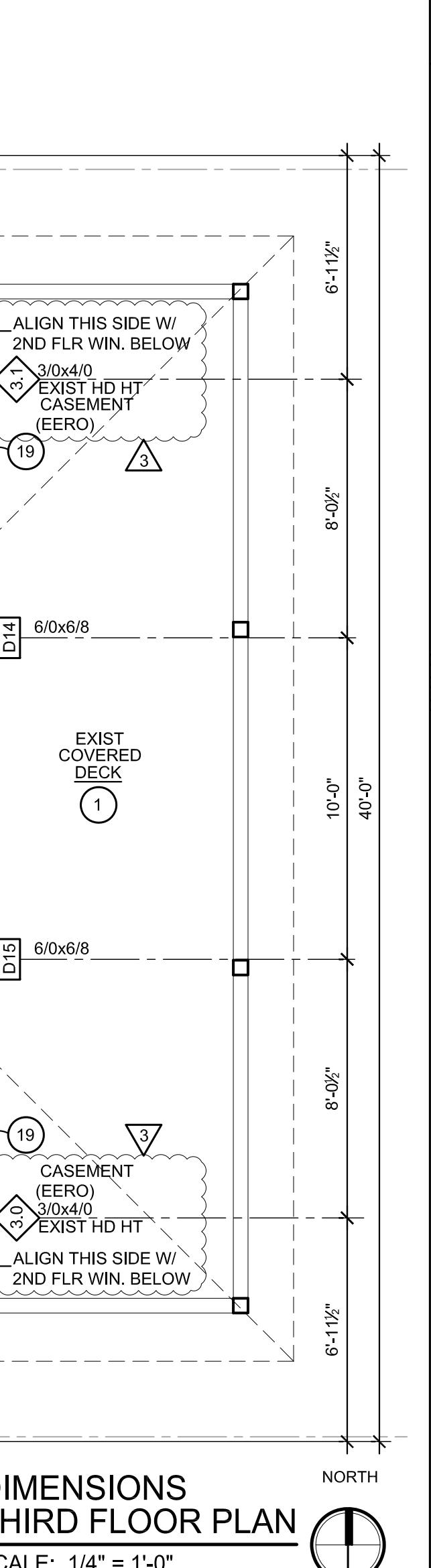
PLAN KEY NOTES

- EXISTING COVERED DECK W/ ACCESS FROM TWO ROOMS
- NEW DOOR OPENING. NEW DECK RAISED UP TO THRESHOLD TO CREATE MAX 1/4" MAX RISE FROM EXTERIOR T.O. FINISHED DECKING TO MEET ADA REQUIREMENTS.
- EXIST FINISHED FLOOR ELEVATION PER EXIST TOPOGRAPHIC SURVEY
- 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF WALL. HEIGHT 2-10" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL. LOCATE ON BOTH SIDES OF STAIR RUN
- TYPICAL 12" HANDRAIL EXTENSION FROM OUTSIDE FACE OF LAST TREAD
- WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS. INSTALL PARALLEL W/ SLOPE OF STRINGER. HEIGHT 3-6" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL
- 1-HOUR FIRE RATED & ACOUSTIC FLOOR / CEILING ASSEMBLY. PROVIDE (2) 5/8" TYPE-X GYP BOARD AT UNDERSIDE OF ENTIRE EXISTING CEILING
- LINE OF FLAT SOFFIT ABOVE
- 30x54 CEILING ACCESS W/ PULL DOWN LADDER. COVER W/ FINISH TO MATCH SURROUNDING SOFFIT AREA
- SYMMETRY ELEVATOR (877.375.1428) - LULA ELEVATOR SYSTEM AND MACHINE ROOM. PROVIDE DIMENSIONS, INSTALL AND STANDARD FINISHES PER MANUFACTURER REQUIREMENTS. NO "ELEVATOR RECALL" PROVIDED - VERIFY W/ AUTHORITY HAVING JURISDICTION AND MANUFACTURER.
- NEW INTERIOR NON-LOAD BEARING PARTITION WALL
- NEW STEEL COLUMN - SEE STRUCT.
- LULA CAB FLOOR FLUSH W/ T.O. NEW FINISHED DECKING
- ROOF CANOPY BELOW - SEE STRUCT.
- FLUSH ROOF BEAM SUPPORT ABOVE - SEE STRUCT.
- APPROX. LOCATION OF 5' TO SIDE YARD SETBACK LINE - SEE EXIST TOPO SURVEY
- FINISHED OUTSIDE FACE OF NEW WALL TO CLEAR SIDE YARD SETBACK LINE
- ONLY THIS GRID LINE AT OUTSIDE FACE OF EXIST WALL SHEATHING
- CLOSE UP EXISTING WALL OPNG AND PATCH TO MATCH EXISTING
- TREX TRANSCEND GROOVED EDGE 1-1/4" COMPOSITE WOOD DECKING W/ CONCEALED FASTENER CLIPS - EDGE TO EDGE GAP SPACING MAX 3/16". MEETS CAL FIRE LISTING 8110-2052/2004 TEST PROTOCOL SFM 12-7A-4A. OVER PRESSURE IMPREGNATED FIRE RETARDANT P.T. 2x8 DECK JOIST - SEE STRUCT.
- ELEC. WALL PANEL LOCATION W/ 36" x 36" CLR FLOOR AREA - SEE ELEC. DWGS
- DOUBLE HANG ROD AND SHELF
- SINGLE HANG ROD AND SHELF
- WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS. INSTALL HEIGHT AT 3-6" ABOVE FINISHED DECK SURFACE
- NEW ADA DOOR IN EXIST DOOR LOCATION. NEW DECK RAISED UP TO THRESHOLD TO CREATE MAX 1/4" MAX RISE FROM EXTERIOR T.O. FINISHED DECKING TO MEET ADA REQUIREMENTS.
- EXISTING RIDGE LINE
- 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF FACE OF SLOPED GUARDRAIL. HEIGHT 2-10" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL. LOCATE ON BOTH SIDES OF STAIR RUN
- CONTINUOUS 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF FACE OF SLOPED GUARDRAIL END POST. HEIGHT 2-10" MEASURED VERTICALLY ABOVE FINISHED LANDING SURFACE
- PROVIDE REQUIRED ACCESS INTO CONCEALED SPACE ABOVE
- STUD FRAMING AND GYPSUM ON SOUND WALL TO REMAIN CONTINUOUS AT PERPENDICULAR NON-SOUND WALL INTERSECTIONS. NON-SOUND WALL FRAMING AND GYPSUM TO BUTT INTO FACE LAYER OF SOUND WALL GYPSUM
- PORTION OF EXIST WALL TO REMAIN - SEE DEMO PLAN
- 2x6 WALL FUR OUT FROM CONTINUOUS SOUND WALL FOR RECESSED WASHER VALVE BOX AND DRYER DUCT BOX
- SEE DETAIL 2/A302 FOR TYPICAL ACCESSIBLE BATHROOM DETAILS. ADJUST AS REQUIRED BASED ON PLUMBING FIXTURE SPECIFIED - SEE PLUMA. DWGS
- ADA KITCHEN: TOP OF COUNTER SURFACE 34" MAX ABOVE FINISHED FLOOR. PROVIDE KNEE SPACE UNDER KITCHEN SINK. SEE DETAIL 2/A302 FOR TYPICAL ACCESSIBLE UNDER SINK CLEARANCE DETAILS. ALL APPLIANCES IN UNIT ARE BY OWNER AND TO BE ADA COMPLIANT. PROVIDE A CLEAR FLOOR SPACE OF 30x48 INCHES PARALLEL OR PERPENDICULAR TO THE FRONT OF THE SINK. DISHWASHER, COOKTOP, OVEN AND REFRIGERATOR. THESE SPACES SHALL BE CENTERED ON THE FIXTURE OR APPLIANCE AND MAY OVERLAP.
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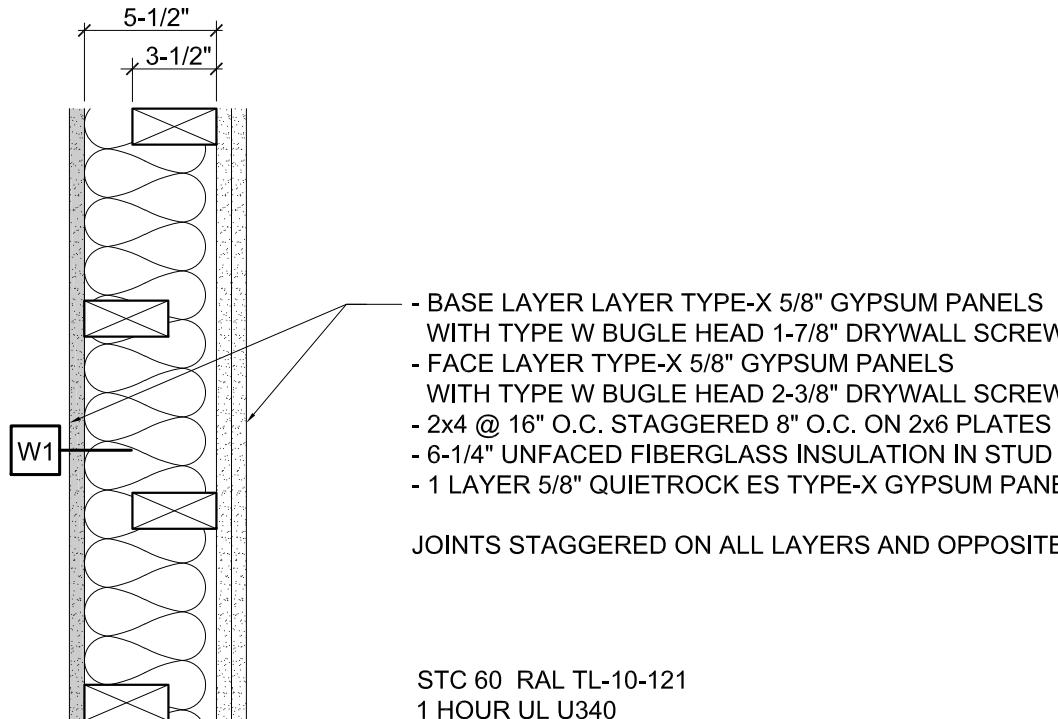
NOTE: (EERO) AT WINDOWS AND DOORS MEANS EMERGENCY ESCAPE AND RESCUE OPENING AND SHALL COMPLY WITH 2020 IBC SECTION 1030



DIMENSIONS
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

LAYOUT
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRE AND SOUND ASSEMBLIES



STC 60 RAL TL-10-121
1 HOUR UL U340

WALL ASSEMBLY - W1

SCALE: 1-1/2" = 1'-0"

- BASE LAYER 5/8" QUIETROCK 530 TYPE-X GYPSUM PANEL WITH TYPES S 1-5/8" DRYWALL SCREWS @ 12" O.C. IN THE PERIMETER AND 8" O.C. IN THE FIELD
- FACE LAYER 5/8" QUIETROCK 530 TYPE-X GYPSUM PANEL WITH TYPES S 1-5/8" DRYWALL SCREWS @ 12" O.C. IN THE PERIMETER AND 8" O.C. IN THE FIELD
- 2x4 @ 16" O.C. STAGGERED 8" O.C. ON 2x6 PLATES
- 6-1/4" UNFACED FIBERGLASS INSULATION IN STUD SPACE
- 1 LAYER 5/8" QUIETROCK ES TYPE-X GYPSUM PANEL

JOINTS STAGGERED ON ALL LAYERS AND OPPOSITE SIDES

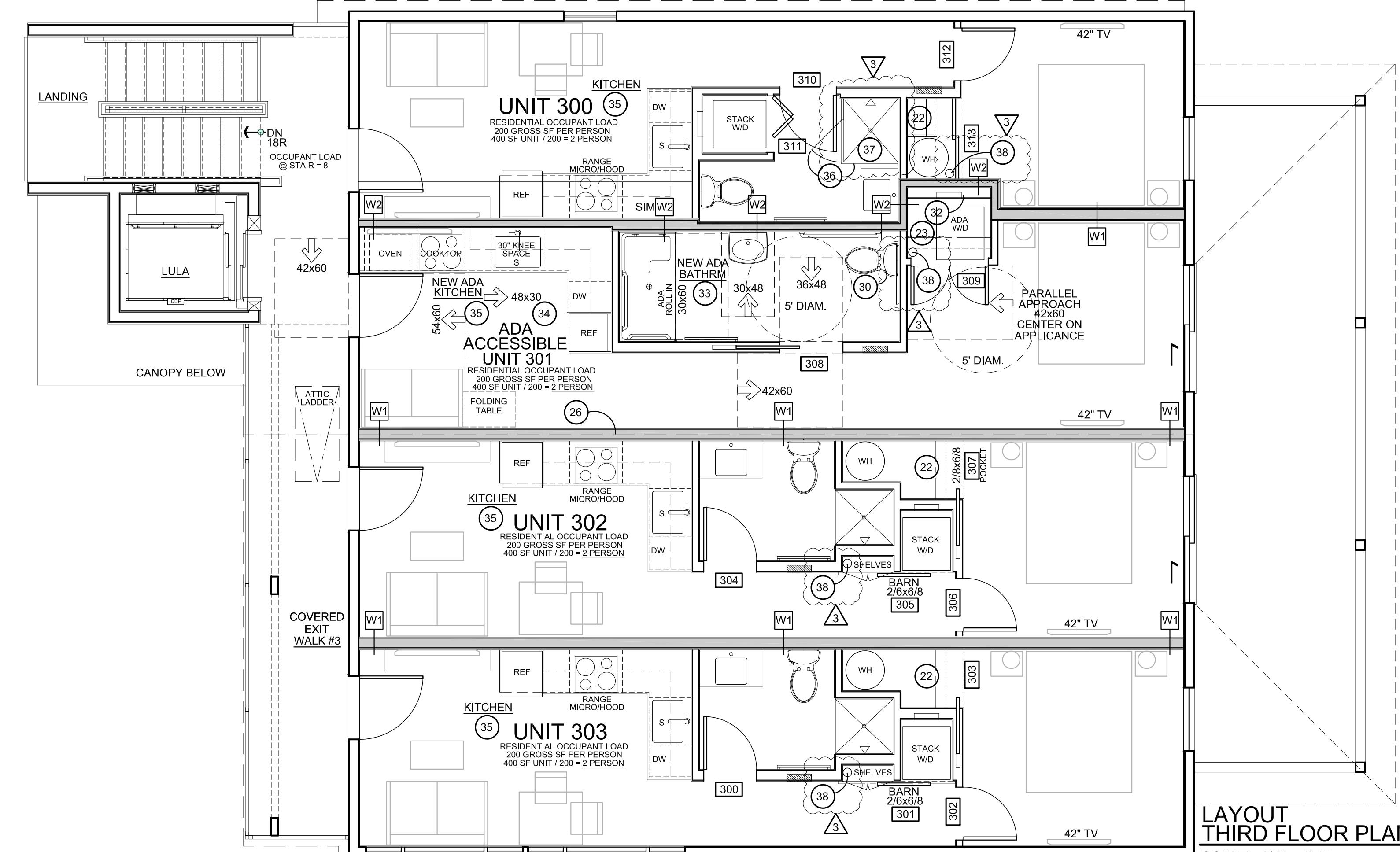
STC 57 NRCC TLA-04-035
1 HOUR UL U309

WALL ASSEMBLY - W2

SCALE: 1-1/2" = 1'-0"

- BASE LAYER 5/8" QUIETROCK 530 TYPE-X GYPSUM PANEL WITH TYPES S 1-5/8" DRYWALL SCREWS @ 12" O.C. IN THE PERIMETER AND 8" O.C. IN THE FIELD
- FACE LAYER 5/8" QUIETROCK 530 TYPE-X GYPSUM PANEL WITH TYPES S 1-5/8" DRYWALL SCREWS @ 12" O.C. IN THE PERIMETER AND 8" O.C. IN THE FIELD
- 2x4 WOOD STUDS @ 16" O.C. (2x8 AT SIM)
- 3-1/2" UNFACED FIBERGLASS INSULATION IN STUD SPACE
- BASE LAYER 5/8" QUIETROCK 530 TYPE-X GYPSUM PANEL WITH TYPES S 1-5/8" DRYWALL SCREWS @ 12" O.C. IN THE PERIMETER AND 8" O.C. IN THE FIELD

JOINTS STAGGERED ON ALL LAYERS AND OPPOSITE SIDES



LAYOUT
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"