



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☐ Parks and Recreation
- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 2, 2021	REQUESTS: The applicant is submitting an administrative adjustment for the quantity of ADA Parking Stalls required for the property located at 245 N Glenwood St., legally known as LOT 7, BLK. 1, ORIGINAL TOWNSITE OF JACKSON PIDN: 22-41-16-28-4-06-016 For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.
Item #: P21-314	
Planner: Katelyn Page Phone: 733-0440 ext. 1302 Email: kpape@jacksonwy.gov	
Owner Frank & Rhonda Paniszczyn 19030 Kimber Creek Ln Cypress, TX 77429 Applicant Krikor Architecture, LLC PO Box 4659 Jackson, WY 83001	
Please respond by: November 29, 2021 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____
Physical Address: _____
Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

_____ Basic Use
_____ Conditional Use
_____ Special Use

Relief from the LDRs

_____ Administrative Adjustment
_____ Variance
_____ Beneficial Use Determination
_____ Appeal of an Admin. Decision

Physical Development

_____ Sketch Plan
_____ Development Plan
_____ Design Review

Subdivision/Development Option

_____ Subdivision Plat
_____ Boundary Adjustment (replat)
_____ Boundary Adjustment (no plat)
_____ Development Option Plan

Interpretations

_____ Formal Interpretation
_____ Zoning Compliance Verification

Amendments to the LDRs

_____ LDR Text Amendment
_____ Map Amendment

Miscellaneous

_____ Other: _____
_____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

_____ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

_____ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title

November 30, 2021

TOJ Planning Department c/o Katelyn Page
PO Box 1687
Jackson, WY 83001
307.733.0520



RE: Proposed Commercial Remodel
245 N Glenwood Street
Jackson, Wyoming

Dear Katelyn,

This application is being submitted to request that an Administrative Adjustment be applied to the 245 N Glenwood Street Addition / Remodel Project in regards to the quantity of ADA Parking Stalls required. Regulations require two while the proposed project is requesting that only one ADA Van Parking Stall be allowed.

Based on the number of general parking stalls on the parcel, one ADA Van Parking Stall is required. Based on the number of R-1 Short Term Rental Units being proposed, one needs to be fully ADA Accessible and one needs to be ADA Type 'B' Adaptable. The Accessible unit requires one more ADA Parking Stall in addition to the one general site parking requirement. The Adaptable unit does not require any additional parking beyond the general site parking requirement.

Please offer an Administrative Adjustment and allow the one proposed ADA Van Parking Stall to meet all the requirements for this project.

Best Regards,

A handwritten signature in black ink, appearing to read 'G. Mason', is positioned above a horizontal line. The signature is fluid and cursive.

Gregory Mason, AIA, LEED AP
KRIKOR Architecture, L.L.C.



Town of Jackson
 150 E Pearl Avenue
 PO Box 1687, Jackson, WY 83001
 P: (307)733-3932 F: (307)739-0919
 www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that RHONDA PANISZCZYN is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 245 NORTH GLENWOOD STREET

Legal Description: LOT 7, BLOCK 1, ORIGINAL TOWNSITE OF JACKSON

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: KRIKOR ARCHITECTURE, LLC GREGORY MASON

Mailing address of Applicant/agent: POB 4659 JACKSON, WY 83001

Email address of Applicant/agent: KRIKORARCH@GMAIL.COM

Phone Number of Applicant/agent: 307.413.6874

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☐ Development/Subdivision Plat Permit Application ☐ Building Permit Application
- ☐ Public Right of Way Permit ☐ Grading and Erosion Control Permit ☐ Business License Application
- ☐ Demolition Permit ☒ Other (describe) ADMINISTRATIVE ADJUSTMENT

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Rhonda Paniszczyn
 Property Owner Signature

Manager

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

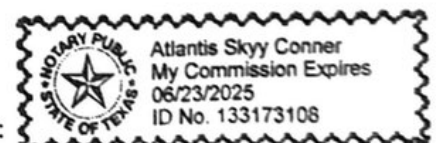
STATE OF Texas)

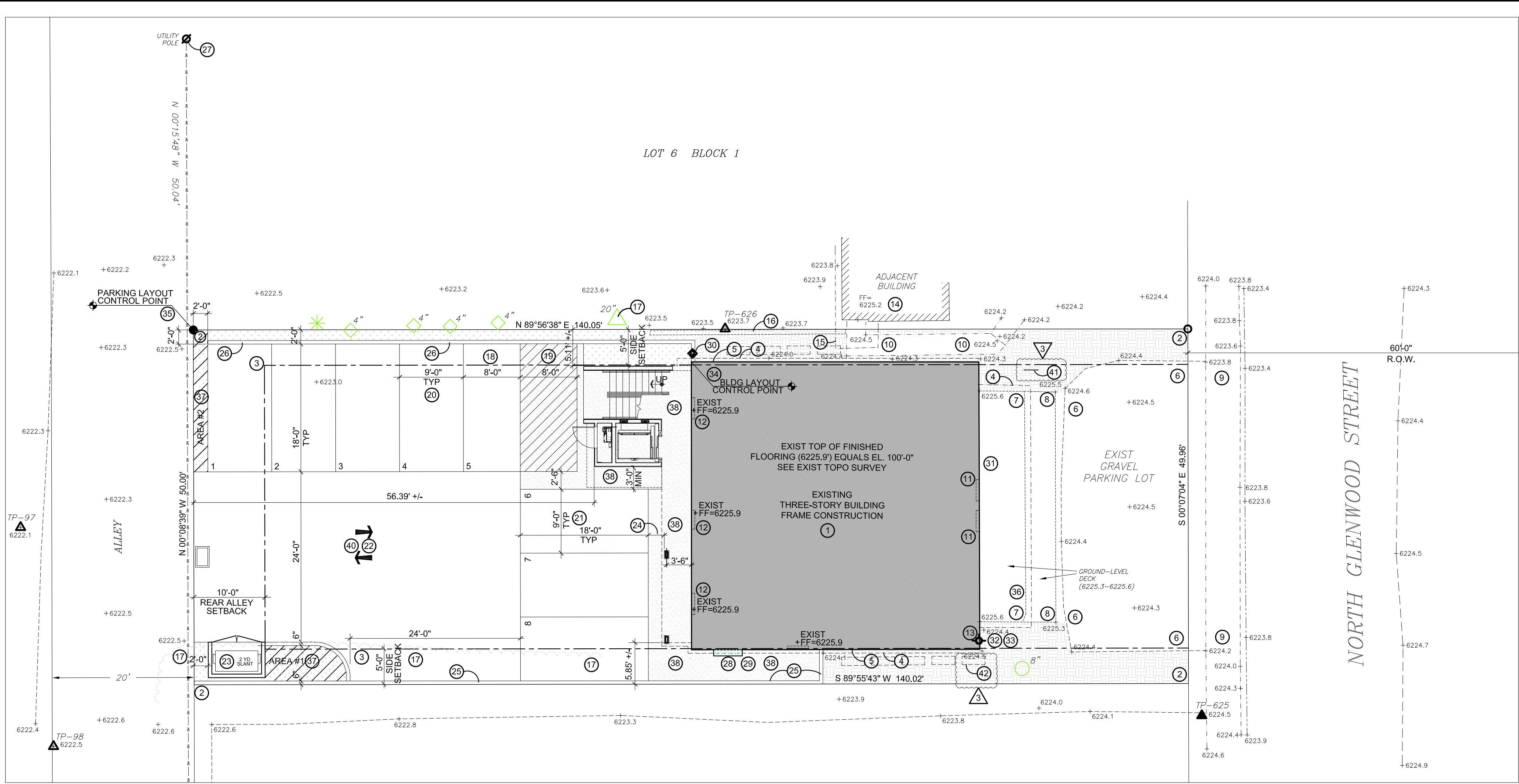
COUNTY OF Harris) SS.

The foregoing instrument was acknowledged before me by Atlantis Conner 2nd this 2nd day of Dec 2, 2021. WITNESS my hand and official seal.

Atlantis Conner
 Notary Public

My commission expires:



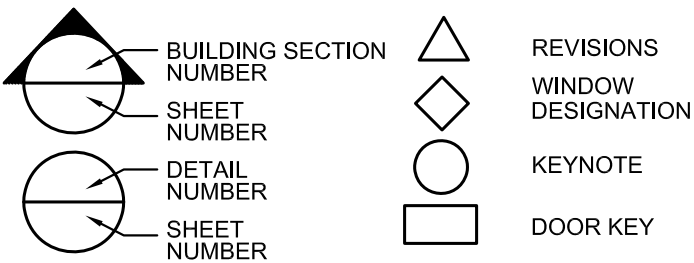


SITE PLAN
SCALE: 1" = 10'-0"

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	JST	JOIST
ARCH	ARCHITECT	MAX	MAXIMUM
BBH	BASEBOARD HEATER	MECH	MECHANICAL
BRD	BOARD	MIN	MINIMUM
BL'K'G	BLOCKING	MTL	METAL
BM	BEAM	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF ...	OC	ON CENTER
CHNL	CHANNEL	PL	PLATE
CLG	CEILING	PLMBG	PLUMBING
CLU	CENTERLINE	±	PLUS OR MINUS
COL	CONCRETE MASONRY UNIT	PLYWD	PLYWD
CONC	CONCRETE	P.T.	PRESSURE TREATED
DBL	DOUBLE	R4D	RADIUS
DIM	DIMENSION(S)	REINF	REINFORCEMENT (ING)
DWGS	DRAWINGS	RM	ROOM
DTL	DETAIL	SCHD	SCHEDULE
DN	DOWN	SHT	SHEET
DN	DOWN	SHT MTL	SHEET METAL
ELEV	ELEVATION HEIGHT	SIM	SIMILAR
ELEC	ELEVATION DRAWING	STL	STEEL
F.F.	FINISHED FLOOR	STRUCT	STRUCTURAL
FIN	FINISH	SUSP	SUSPENDED
FLR	FLOOR	TEMP	TEMPERED
FDN	FOUNDATION	T&G	TONGUE AND GROOVE
FRMG	FRAMING	T.O.	TOP OF
FTG	FOOTING	TYP	TYPICAL
G.C.	GENERAL CONTRACTOR	VERT	VERTICAL
GLB	GLUE LAMINATED BEAM	V.I.F.	VERIFY IN FIELD
G.L.	GLUE LAMINATED MEMBER	WP	WEATHERPROOF
GYP	GYPSONUM WALL BOARD	U.O.N.	UNLESS OTHERWISE NOTED
HDR	HEADER		
HORIZ	HORIZONTAL		
HTR	HEATER		
INSUL	INSULATION		
INT	INTERIOR		

KEY LEGEND



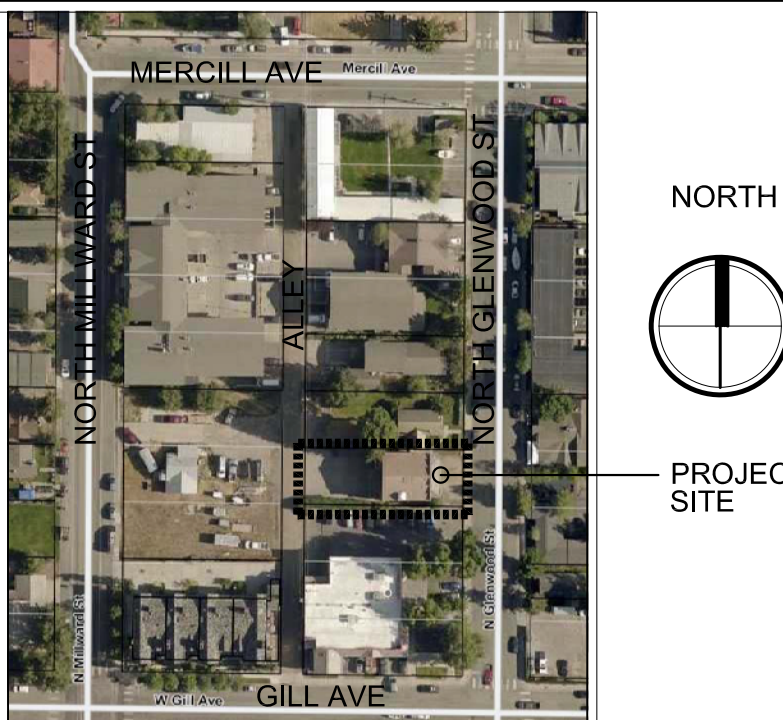
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SITE KEY NOTES

- EXIST THREE STORY WOOD FRAME BLDG
- EXIST GROUND FLOOR: RETAIL
- REMODELED UPPER FLOORS: SHORT TERM RENTAL
- PROPERTY LINE
- BUILDING SETBACK LINE
- LINE OF EXIST ROOF OVERHANG
- LINE OF EXIST EXTERIOR WALL
- EXIST GRAVEL BACK OUT PARKING LOT TO REMAIN W/ (4) PARKING SPACES
- EXIST COVERED GROUND FLR AND THIRD FLR DECKS TO REMAIN
- EXIST AT GRADE DECK EXTENSION TO REMAIN
- EXIST PUBLIC SIDEWALK TO REMAIN
- EXIST CONC. WALKWAY TO REMAIN
- EXIST FRONT MAIN BLDG ENTRY
- EXIST SECONDARY BLDG ENTRY
- EXIST FIRE SPRINKLER CONNECTION (FDC) TO REMAIN.
- PROVIDE ADJACENT WALL MOUNTED KNOX BOX
- EXIST ADJACENT BLDG TO REMAIN
- EXIST ROOF CANOPY ON ADJACENT BLDG TO REMAIN
- EXIST RAILROAD TIES TO REMAIN IN THIS AREA
- TRIM BACK TREE BRANCHES AND SHRUBS THAT ENCR OACH ONTO THIS PROJECT PROPERTY AS REQUIRED TO CREATE CLEARANCE FOR NEW PROPOSED CONSTRUCTION
- ADA VAN PARKING STALL W/ REQUIRED "VAN ACCESSIBLE" SIGN
- ADA ACCESS AISLE W/ PAVEMENT DIAGONAL PIN STRIPING
- TYP 9'x18' PARKING STALL W/ CONC. WHEEL STOP AND 2' BUMPER OVERHANG AREA
- TYP 9'x20' STANDARD PARKING STALL
- TWO-WAY ACCESS AISLE
- NEW 5'x6'x6" HIGH DUMPS TER ENCLOSURE W/ 6" CONC. WALLS PROVIDE METAL PLATE OVER TUBE STL FRAME DOUBLE GATES AND 4" REINFORCED CONC. SLAB ON GRADE
- MIN. 2'-0" CLEAR FROM END OF PARKING STALL TO CONC. PIER
- RAISED CURB WALL ON PROPERTY LINE
- RAISED CURB WALL / WHEEL STOP - SEE CIVIL
- NEW POWER TO BLDG FROM EXISTING POWER POLE
- BURIED POWER, NEW METER, PANEL AND EMERGENCY DISCONNECT INTO BLDG. COORDINATE W/ LOCAL UTILITY FOR MOST EFFICIENT INSTALLATION - SEE CIVIL AND ELEC. DWGS
- BURIED PHONE AND CABLE TV SERVICE LINE FROM EXISTING PEDESTAL INTO BLDG. COORDINATE W/ LOCAL UTILITY FOR MOST EFFICIENT INSTALLATION
- EXIST BURIED NATURAL GAS LINE AND REGULATOR TO BLDG EXTERIOR NO GAS PROPOSED TO INTERIOR OF STRUCTURE
- APPROX. LOCATION OF BURIED SANITARY SEWER LINE W/ CLEAN OUT FROM BLDG TO MAIN IN STREET - SEE CIVIL AND PLUMB. DWGS
- APPROX LOCATION OF EXIST BURIED FROST PROTECTED WATER LINE INTO BLDG FROM MAIN IN STREET W/ - SEE CIVIL AND PLUMB. DWGS
- VERIFY LOCATION OF WATER SHUT OFF VALVE
- BUILDING ADDITION PLACEMENT DERIVED FROM THIS EXIST BLDG CORNER
- PARKING LOT LAYOUT PLACEMENT DERIVED FROM THIS PROPERTY CORNER
- BUILDING STREET ADDRESS LOCATION MOUNTED TO WALL OF BLDG SEE EAST AND WEST EXTERIOR BLDG ELEV. FOR ADDITIONAL INFO
- SNOW STORAGE AREA - SEE CALCULATION THIS SHEET
- NEW CONC. WALK - SEE CIVIL DWGS
- STORM DRAIN - SEE CIVIL DWGS
- NEW ASPHALT PARKING LOT - SEE CIVIL DWGS FOR DRAINAGE PATH
- NEW BIKE RACK FOR TWO BIKES. RACK SHALL ACCOMMODATE U-SHAPED LOOKS. SECURE RACK INTO GROUND
- NEW HVAC CONDENSING UNITS AT GRADE ON SLAB. TOTAL HEIGHT LESS THAN 48" ABOVE GRADE. 9 TOTAL UNITS

VICINITY MAP



LOT 7, BLOCK 1, ORIGINAL TOWNSITE OF JACKSON

245 NORTH GLENWOOD STREET
BASE SITE AREA = 6969 SF OR (.16 ACRES)

LANDSCAPE SURFACE RATIO (10% MIN)

GSA (0.10)

6969 x 0.10 = 697 SF MINIMUM REQUIRED

915 SF PROPOSED

- 6969 - 6238 = 731
- EXIST EAST GRAVEL DRIVEWAY TO REMAIN = 610 SF
 - PROPOSED WEST DRIVEWAY = 2846 SF
 - EXIST BUILDING FOOTPRINT = 1600 SF
 - PROPOSED ADDITION FOOTPRINT = 155 SF
 - EXIST COVERED DECK = 210 SF
 - EXIST UNCOVERED DECK = 138 SF
 - PROPOSED COVERED WALKS = 152 SF
 - PROPOSED UNCOVERED WALKS = 286 SF
 - PROPOSED TRASH ENCLOSURE = 40 SF
- TOTAL = 6238 SF

PARKING REQUIREMENT

EXIST 1600 SF COMMERCIAL RETAIL TO REMAIN
3.37 PER 1000 SF
1.5 x 3.37 = 5 SPACES REQUIRED (4 PROVIDED IN EAST LOT - EXIST NON-CONFORMING)
NEW SHORT TERM RENTAL
1 PER LU < 500 SF; PROPOSED 4 UNITS < 500 SF = 4 PARKING SPACES
1.5 PER LU > 500 SF; PROPOSED 2 UNITS > 500 SF = 3 PARKING SPACES
TOTAL: 7 SPACES REQUIRED, 8 SPACES PROVIDED

SITE LIGHTING

SITE LIGHTING LIMITATIONS PER 5.3.1 OF TOJ LDR'S
MAX LUMENS PER SF OF SITE DEVELOPMENT AREA = 3
6054 SF TOTAL EXIST DEVELOPED SITE AREA
3 x 6054 = 18,162 LUMENS ALLOWED
17,000 LUMENS PROPOSED - SEE ELEC. FOR LOCATIONS AND SPECIFICATIONS

SNOW STORAGE (2.5% MIN)

NOTE: CALC. BASED ONLY ON PROPOSED WEST DRIVEWAY
EAST DRIVEWAY TO BE CONSIDERED EXIST NON-CONFORMING

GSA (0.025)

2662 x 0.025 = 67 SF MINIMUM REQUIRED

STORAGE AREA #1 = 52 SF
STORAGE AREA #2 = 40 SF
92 SF PROPOSED

SCALE OF DEVELOPMENT (F.A.R.)

(0.46) FAR MAX + (0.34) ADDITIONAL FAR FOR LODGING
GSA (0.46): 6969 (0.46) = 3205 SF
GSA (0.34): 6969 (0.34) = 2369 SF

TOTAL: 5574 SF ALLOWED
5235 SF PROPOSED

FLOOR AREA STATISTICS

LOCATION	HABITABLE	NON HABITABLE	TOTAL
EXIST 1ST FLR	1600	-	1600
EXIST 2ND FLR	1600	-	1600
EXIST 3RD FLR	1600	-	1600
NEW 1ST FLR (LULA/STAIR)	-	155	155
NEW 2ND FLR (LULA/STAIR)	-	140	140
NEW 3RD FLR (LULA/STAIR)	-	140	140
TOTAL	4800	435	5235

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE 2021 INTERNATIONAL BUILDING CODE (IBC), NFPA AND ANY LOCAL CODES AND ORDINANCES APPLICABLE.
- UNLESS OTHERWISE NOTED ALL PLAN DIMENSIONS ARE TO FACE OF STUD WALL.
- EXISTING FIRE SPRINKLER AND FIRE ALARM SYSTEM TO REMAIN AND BE MODIFIED BASED ON PROJECT REMODEL. DESIGN WITH BE A DEFERRED SUBMITTAL BY THE GC.
- CONCEALED SPACES WITHIN NFPA 13 PROTECTED BLDGS HAVING COMBUSTIBLE MATERIAL SHALL COMPLY W/ NFPA 13 AND MAY REQUIRE IFC 903.3.1.1.1 AND 903.3.1.1.2
- EXTERIOR LIGHT FIXTURES TO COMPLY WITH SECTION 5.3.1 OF THE TOJ LAND DEVELOPMENT REGULATIONS.
- CROSS REFERENCE ALL DRAWINGS FOR COMPLETE INFORMATION ABOUT PROJECT.
- BLDG DIMENSION LOCATIONS OFF PROPERTY LINE ARE APPROXIMATE. VERIFY PLACEMENT W/ SURVEYOR

SITE DATA

245 NORTH GLENWOOD STREET
LOT 7, BLOCK 1, ORIGINAL TOWNSITE OF JACKSON
PIDN: 22-41-16-28-4-06-016

SITE PLAN TAKEN FROM SURVEY BY
ON SIGHT LAND SURVEYORS-JOB: 22-100-1-7A DATED 10.12.21
(307) 734-6131

ZONING: CR-2 COMMERCIAL RESIDENTIAL-2

SITE AREA: 6969 SQ.FT. (.16 ACRES)

SITE TOPOGRAPHY: 0 - 2%

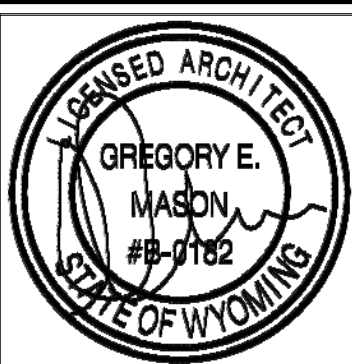
SETBACK REQUIREMENTS

STREET: 0' TO 10' REAR: 10' SIDES: 5'

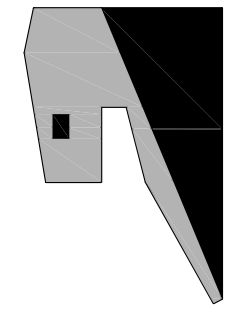
HEIGHT LIMITATIONS:
ROOF SLOPE GREATER THAN OR EQUAL TO 5:12 - MAX 46'-0"

CODES UTILIZED: 2021 IBC
DESIGN CRITERIA UTILIZED: SEE STRUCT. AND MEP DWGS
TYPE OF CONSTRUCTION: V-A

BLDG OCCUPANCY CLASSIFICATION:
EXISTING FIRST FLOOR: MERCANTILE GROUP M
PROPOSED SECOND AND THIRD FLOORS:
GROUP R-1 SHORT TERM RENTAL



KRIKOR Architecture
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001
tel.307.413.6874 email: KRIKORARCH@GMAIL.COM



JACKSON HOLE REALTY PARTNERS, LLC
245 North Glenwood Street Jackson, Wyoming

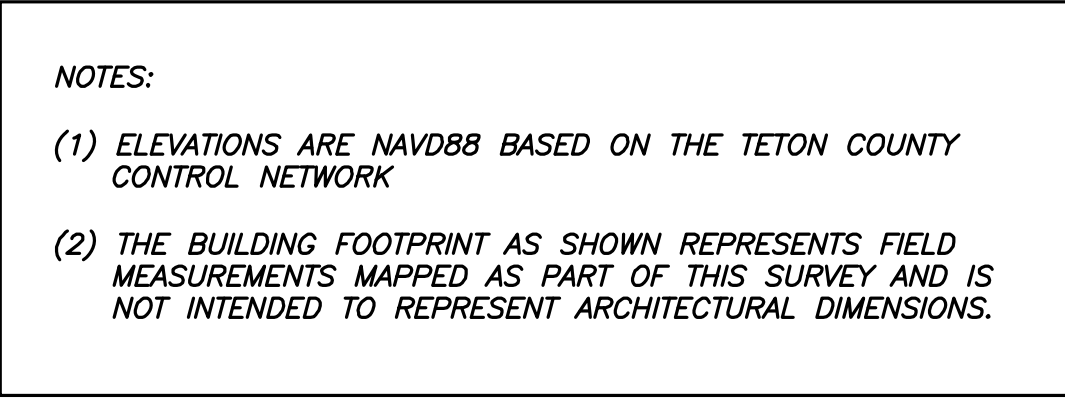
COVER SHEET & SITE PLAN

PROPOSED HOUSING REMODEL
FOR

REVISIONS	DATE	DESCRIPTION
1	6.9.21	TOJ DRC SUBMITTAL
2	10.20.21	TOJ BLDG PERMIT SUBMITTAL
3	11.30.21	TOJ BLDG PERMIT RESUBMITTAL

date 10.20.21

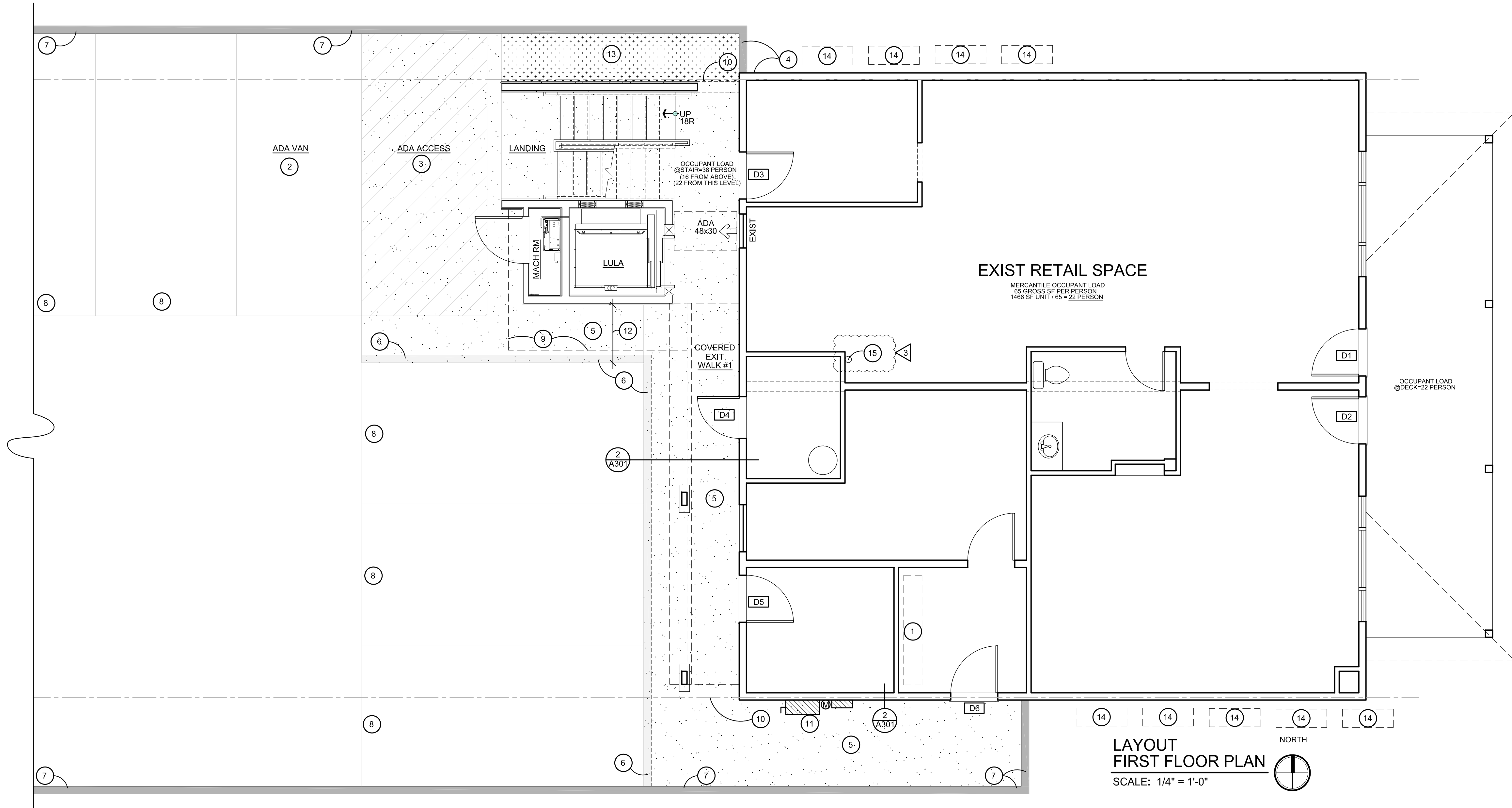
A001



1 INCH = 10 FEET
1' CONTOUR INTERVAL

+6223.9 TYPICAL SPOT ELEVATION

On Sight
LAND SURVEYORS, INC.

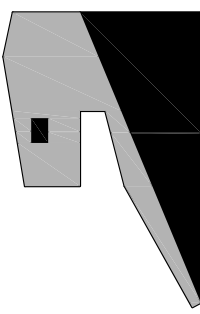


PLAN KEY NOTES

- EXIST LOCATION OF FIRE SPRINKLER RISER TO REMAIN. RECONFIGURATION AND REMODEL OF SYSTEM TO BE A DEFERRED SUBMITTAL BY SUBCONTRACTOR
- ADA VAN PARKING STALL W/ POST MOUNTED SIGN
- ADA PARKING ACCESS AREA W/ GROUND SURFACE PAINTED DIAGONAL STRIPING
- EXIST UNDERGROUND GAS AND REGULATOR TO THIS LOCATION TO REMAIN. NO GAS PROVIDED TO BUILDING INTERIOR. RELOCATE UTILITY AS NECESSARY TO ALLOW FOR NEW CONC. RAISED CURB WALL AND FOOTING
- NEW CONC. WALK SURFACE - SEE CIVIL
- NEW CONC. WALK SURFACE W/ TURN DN EDGE CURB WALL - SEE CIVIL
- T.O. CURB WALL RAISED 6" ABOVE ADJACENT PARKING / WALKWAY SURFACE - SEE CIVIL
- STANDARD PARKING STALL - SEE CIVIL
- LINE OF CANOPY O.H. ABOVE - SEE STRUCT.
- APPROX. LOCATION OF 5' TOJ SIDE YARD SETBACK LINE - SEE EXIST TOPO SURVEY
- NEW UNDERGROUND POWER, PANELS AND METERS TO THIS LOCATION - SEE ELEC.
- MINIMUM 3'-0" CLEAR WALKWAY FROM FACE OF FINISHED WALL TO ADJACENT PARKING STALL
- LANDSCAPED AREA - SEE LANDSCAPE PLAN
- A/C CONDENSING UNITS IN SETBACK, MAX 4' HEIGHT - SEE MECH DWGS
VERIFY EXACT LOCATION BASED ON EXIST FIELD CONDITIONS
- (1) 2A10BC PORTABLE FIRE EXTINGUISHER SHALL BE PLACED IN ACCORDANCE W/ IFC 906.



KRIKOR Architecture
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001
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FIRST FLOOR PLAN

PROPOSED HOUSING REMODEL
FOR

JACKSON HOLE REALTY PARTNERS, LLC

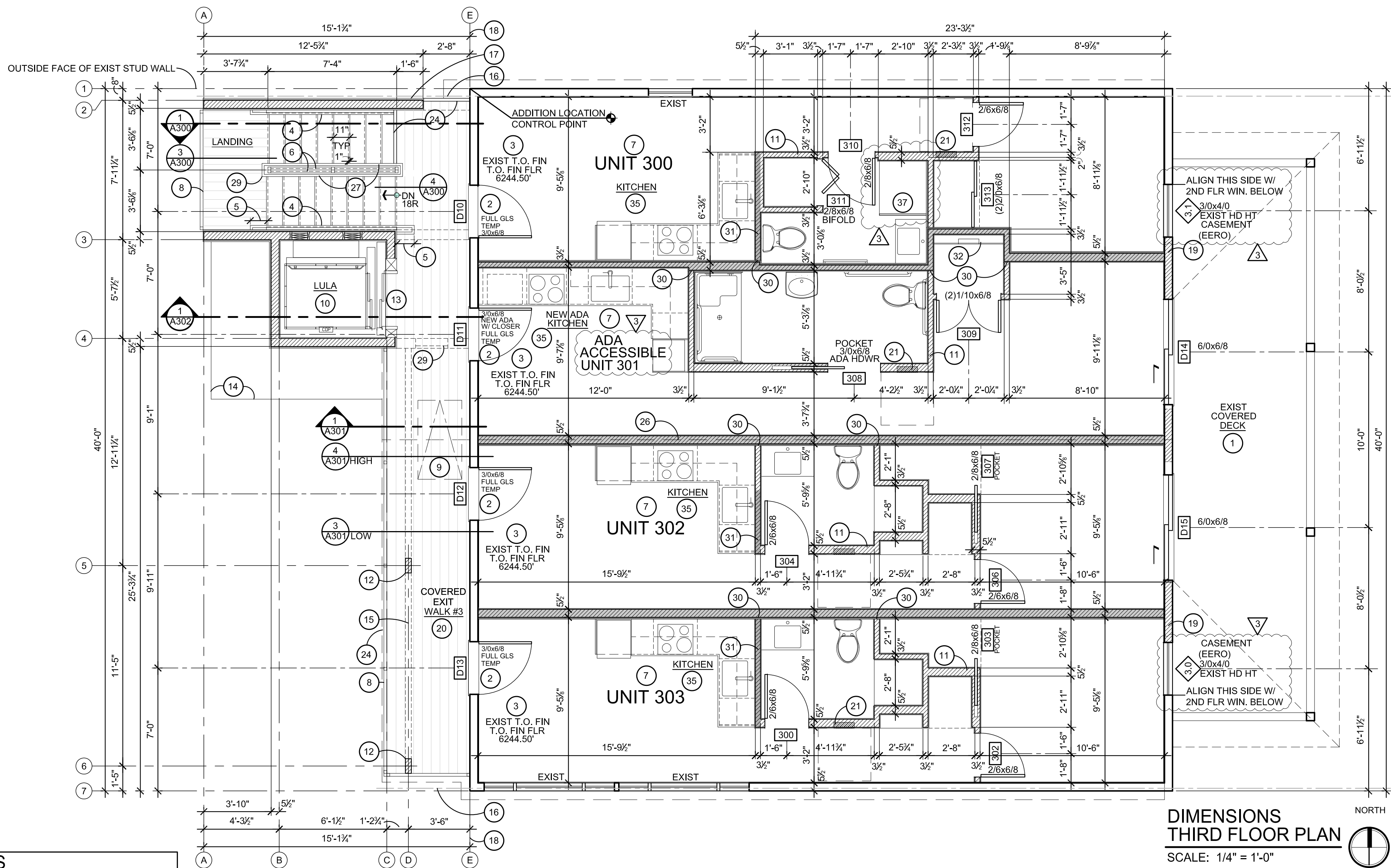
245 North Glenwood Street Jackson, Wyoming

REVISIONS

	TOJ DRC SUBMITTAL	6.9.21
1	TOJ BLDG PERMIT SUBMITTAL	10.15.21
2	TOJ BLDG PERMIT RESUBMITTAL	11.30.21
3	TOJ BLDG PERMIT RESUBMITTAL	

date 10.15.21

A102



**DIMENSIONS
THIRD FLOOR PLAN**
SCALE: 1/4" = 1'-0"



PLAN KEY NOTES

- EXISTING COVERED DECK W/ ACCESS FROM TWO ROOMS
- NEW DOOR OPENING. NEW DECK RAISED UP TO THRESHOLD TO CREATE MAX 1/4" MAX RISE FROM EXTERIOR T.O. FINISHED DECKING TO MEET ADA REQUIREMENTS.
- EXIST FINISHED FLOOR ELEVATION PER EXIST TOPOGRAPHIC SURVEY
- 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF WALL. HEIGHT 2'-10" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL. LOCATE ON BOTH SIDES OF STAIR RUN
- TYPICAL 12" HANDRAIL EXTENSION FROM OUTSIDE FACE OF LAST TREAD
- WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS. INSTALL PARALLEL W/ SLOPE OF STRINGER. HEIGHT 3'-6" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL
- 1-HOUR FIRE RATED & ACOUSTIC FLOOR / CEILING ASSEMBLY. PROVIDE (2) 5/8" TYPE-X GYP BOARD AT UNDERSIDE OF ENTIRE EXISTING CEILING
- LINE OF FLAT SOFFIT ABOVE
- 30x54 CEILING ACCESS W/ PULL DOWN LADDER. COVER W/ FINISH TO MATCH SURROUNDING SOFFIT AREA
- SYMMETRY ELEVATOR (877.375.1428) - LULA ELEVATOR SYSTEM AND MACHINE ROOM. PROVIDE DIMENSIONS. INSTALL AND STANDARD FINISHES PER MANUFACTURER REQUIREMENTS. NO "ELEVATOR RECALL" PROVIDED - VERIFY W/ AUTHORITY HAVING JURISDICTION AND MANUFACTURER.
- NEW INTERIOR NON-LOAD BEARING PARTITION WALL
- NEW STEEL COLUMN - SEE STRUCT.
- LULA CAB FLOOR FLUSH W/ T.O. NEW FINISHED DECKING
- ROOF CANOPY BELOW - SEE STRUCT.
- FLUSH ROOF BEAM SUPPORT ABOVE - SEE STRUCT.
- APPROX. LOCATION OF 5' TO J SIDE YARD SETBACK LINE - SEE EXIST TOPO SURVEY
- FINISHED OUTSIDE FACE OF NEW WALL TO CLEAR SIDE YARD SETBACK LINE
- ONLY THIS GRID LINE AT OUTSIDE FACE OF EXIST WALL SHEATHING
- CLOSE UP EXISTING WALL OPNG AND PATCH TO MATCH EXISTING
- TREX TRANSCEND GROOVED EDGE 1" (3/4") COMPOSITE WOOD DECKING W/ CONCEALED FASTENER CLIPS - EDGE TO EDGE GAP SPACING MAX 3/16". MEETS CAL FIRE LISTING 8110-2052:0004 TEST PROTOCOL SFM 12-7A-4A OVER PRESSURE IMPREGNATED FIRE RETARDANT P.T. 2x8 DECK JOIST - SEE STRUCT.
- ELEC. WALL PANEL LOCATION W/ 36" x 36" CLR FLOOR AREA - SEE ELEC. DWGS
- DOUBLE HANG ROD AND SHELF
- SINGLE HANG ROD AND SHELF
- WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS. INSTALL HEIGHT AT 3'-6" ABOVE FINISHED DECK SURFACE
- NEW ADA DOOR IN EXIST DOOR LOCATION. NEW DECK RAISED UP TO THRESHOLD TO CREATE MAX 1/4" MAX RISE FROM EXTERIOR T.O. FINISHED DECKING TO MEET ADA REQUIREMENTS.
- EXISTING RIDGE LINE
- 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF FACE OF SLOPED GUARDRAIL. HEIGHT 2'-10" MEASURED VERTICALLY ABOVE NEAREST TREAD TO TOP OF RAIL. LOCATE ON BOTH SIDES OF STAIR RUN.
- CONTINUOUS 1-1/2" DIAMETER PAINTED METAL HANDRAIL PROJECTED 1-1/2" CLEAR OFF FACE OF SLOPED GUARDRAIL END POST. HEIGHT 2'-10" MEASURED VERTICALLY ABOVE FINISH LANDING SURFACE.
- PROVIDE REQUIRED ACCESS INTO CONCEALED SPACE ABOVE
- STUD FRAMING AND GYPSUM ON SOUND WALL TO REMAIN CONTINUOUS AT PERPENDICULAR NON-SOUND WALL INTERSECTIONS. NON-SOUND WALL FRAMING AND GYPSUM TO BUTT INTO FACE LAYER OF SOUND WALL GYPSUM
- PORTION OF EXIST WALL TO REMAIN - SEE DEMO PLAN
- 2x6 WALL FUR OUT FROM CONTINUOUS SOUND WALL FOR RECESSED WASHER VALVE BOX AN DRYER DUCT BOX
- SEE DETAIL 2/A302 FOR TYPICAL ACCESSIBLE BATHROOM DETAILS. ADJUST AS REQUIRED BASED ON PLUMBING FIXTURE SPECIFIED - SEE PLUMB. DWGS
- ADA KITCHEN: TOP OF COUNTER SURFACE 34" MAX ABOVE FINISHED FLOOR. PROVIDE KNEE SPACE UNDER KITCHEN SINK. SEE DETAIL 2/A302 FOR TYPICAL ACCESSIBLE UNDER SINK CLEARANCE DETAILS. ALL APPLIANCES IN UNIT ARE BY OWNER AND TO BE ADA COMPLIANT. PROVIDE A CLEAR FLOOR SPACE OF 30x48 INCHES PARALLEL OR PERPENDICULAR TO THE FRONT OF THE SINK. DISHWASHER, COOKTOP, OVEN AND REFRIGERATOR. THESE SPACES SHALL BE CENTERED ON THE FIXTURE OR APPLIANCE AND MAY OVERLAP.
- KITCHEN CABINET DESIGN AND APPLIANCE SELECTION BY OWNER. VERIFY FINAL MEP LAYOUT BASED ON FINAL OWNER PROVISIONS.
- TEMPERED SHOWER GLASS, DOOR AND FRAMELESS HARDWARE
- 2'-8" x 3'-0" SHOWER PAN
- (1) 1A108C PORTABLE FIRE EXTINGUISHER SHALL BE PLACED IN ACCORDANCE W/ IFG 908. PROVIDE LABEL ON OUTSIDE OF CLOSET DOOR THAT THERE IS A "FIRE EXTINGUISHER INSIDE"

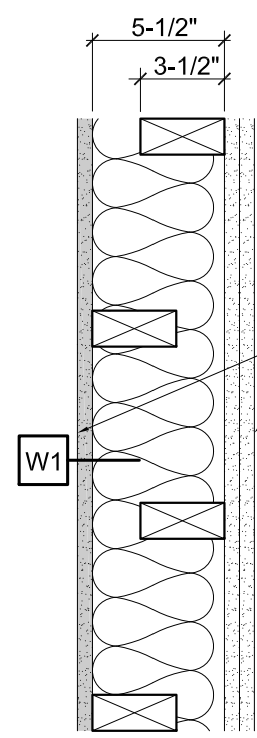
GENERAL CONTRACTOR (GC) TO VERIFY ALL EXISTING AND PROPOSED BUILDING AND SITE DIMENSIONS IN FIELD TO CONFIRM DESIGN INTENT. IF DIMENSIONS VARY AND CONFLICT W/ PROPOSED DESIGN, GC TO NOTIFY ARCHITECT FOR DIRECTION.

LULA MACHINE ROOM AND ELEVATOR SYSTEM DIMENSIONS AND UTILITIES TO BE AS PER MANUFACTURER SPECIFICATIONS

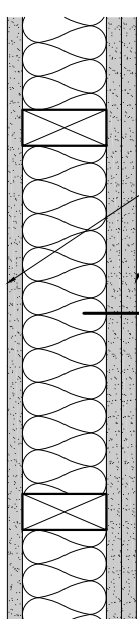
NOTE: (EERO) AT WINDOWS AND DOORS MEANS EMERGENCY ESCAPE AND RESCUE OPENING AND SHALL COMPLY WITH 2020 IBC SECTION 1030



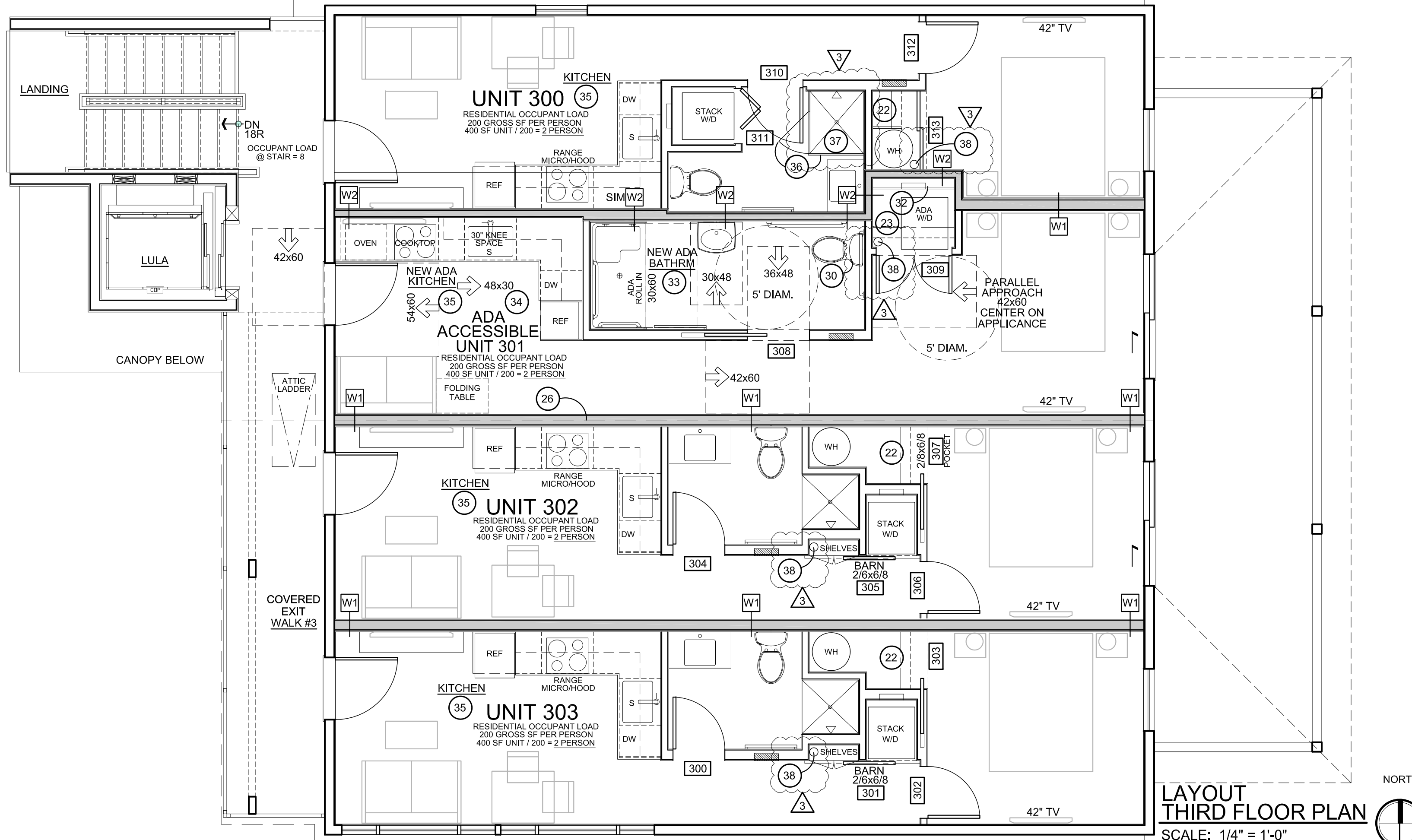
FIRE AND SOUND ASSEMBLIES



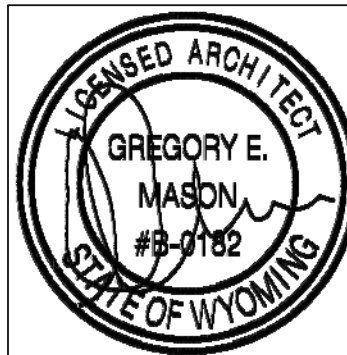
WALL ASSEMBLY - W1
SCALE: 1-1/2" = 1'-0"



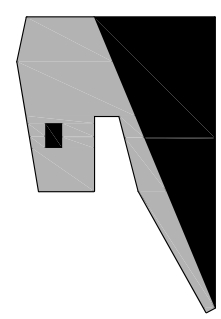
WALL ASSEMBLY - W2
SCALE: 1-1/2" = 1'-0"



**LAYOUT
THIRD FLOOR PLAN**
SCALE: 1/4" = 1'-0"



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