



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers
- Utility Providers**
- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: November 24, 2021

Item #: P21-305

Planner: Katelyn Page

Phone: 733-0440 ext. 1302

Email: kpage@jacksonwy.gov

Owner

Alicia Brieger
PO Box 13757
Jackson, WY 83002

Applicant

Ward + Blake Architects
PO Box 10399
Jackson, WY 83002

REQUESTS:

The applicant is submitting a request for a Basic Use Permit to add light industry use to the property located at 1022 Gregory Lane, legally known as PT. NE1/4 NE1/4, SEC. 6, TWP. 40, RNG. 116 PIDN: 22-40-16-06-1-00-029

For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.

**Please respond by: December 8, 2021 (Sufficiency)
December 15, 2021 (with Comments)**

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Design Review

Subdivision/Development Option

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification

Amendments to the LDRs

LDR Text Amendment

Map Amendment

Miscellaneous

Other: _____

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____

Environmental Analysis #: _____

Original Permit #: _____

Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-3932 F: (307)739-0919
www.jacksonwy.gov

Date: 10. 21. 2021

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that Alicia Briege is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 1022 Gregory Lane

Legal Description: Parcel 22-40-16-06-1-00-029

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Mitch Blake, Ward + Blake Architects

Mailing address of Applicant/agent: P.O. Box 10399, Jackson, WY 83002

Email address of Applicant/agent: mitchblake@wardblake.com

Phone Number of Applicant/agent: 307-733-6867

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit Business License Application

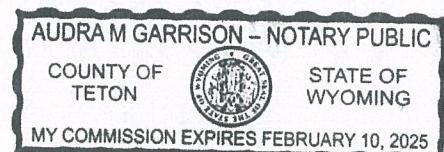
Demolition Permit Other (describe) Pre-Application Conference, Basic Use Permit, Design applications or permits required for 1022 Gregory Lane.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF Wyoming)
COUNTY OF Teton) SS.



The foregoing instrument was acknowledged before me by Alicia Briege this 21
day of October, 2021. WITNESS my hand and official seal.

Notary Public

My commission expires: 02.10.2025

Brieger – Unprocessed Kitchen

1022 Gregory Lane

Narrative:

The existing property is 0.15 Acres (6,500.04 s.f.) and has an old Pan Abode kit Cabin on the south end of the property. There is also temporary shed building on skids and an old abandoned well with a 4'-0" x 4'-0" x 3'-0" tall CMU structure around the well. The site requires a 20'-0" setback on the front and 10'-0" setbacks on the back and side property lines. In addition, there is a road & utility easement that encroaches on the west property line. There is existing water, sewer, power, gas, and cable/ phone utilities at the site. The site is very flat and the property gets narrower at the north end to create a triangular shaped lot. The site is in the Business Park Zone and borders the CR-3 Commercial Residential Zone on the east and north. Dusty Acres Road dead ends at the north end of the property. There are a few trees on the south end of the property that need to be removed for parking.

The neighborhood is a mixture of industrial buildings and apartments. There is a lot of parked equipment and industrial type junk on the properties directly to the east and south east of this site.

The Owner would like to keep the existing cabin on the property, remove the temporary shed building, demolish the abandoned well structure, and build a new Commercial Kitchen (Light Industrial) on the north end of the site. The Commercial Kitchen supports a business that provides catering services, pre-packaged healthy meals, and private cooking for individuals.

Because the site is small, it is necessary to build as close to the setbacks as possible in order to get enough space to support the needs of the Kitchen. In addition, it is necessary to stay a minimum of 10'-0" away from the existing cabin which further limits the space available for the project.

The new Kitchen Building is small by footprint comparison to the existing industrial and apartment buildings that surround it but similar in size to the existing cabin on the same property. The height of the new Kitchen Building is within a reasonable vertical scale to the existing neighborhood and finished in materials that relate to the surrounding buildings.

The new building will be primarily used by kitchen employees and rarely visited by the general public. The new landscaping at the building and addition of sidewalk areas will significantly improve the public space and street front of the property by creating scale and relief to alley access and Dusty Acres Road.

The composition of the building is developed by articulating parapets in rhythm with windows and doors as well as articulating the siding by stepping in a section of wall 1 1/2" at the southwest corner and stepping down the south end of the building to better relate to the existing cabin.

The massing is based on the space and volume needs of the Kitchen. It is broken up as mentioned in the composition to help it relate to the existing neighborhood. The drawings indicate the new building photoshopped to scale to show how it relates to its surroundings.

The exterior siding is primarily corrugated painted metal (simulating rusted metal) running vertically to relate to the industrial metal siding buildings on the north and east of the project. This is accented by the recessed horizontal flat panel painted metal (simulating Shou Sugi Ban wood siding) at the southwest corner and above windows and doors. The roof is single-ply membrane and will not be visible from the street but possibly from the second story of adjacent apartment buildings. We are planning on a tan or mild green color but are open to suggestions from the DRC.

The size of the site and nature of this project creates limited parking access. We are proposing 9'-0" wide by 20'-0" deep parking spaces, with a 2'-0" clear overhang from the pavement, that back into the private road along the west property line. We have provided 2 parking spaces for the Cabin and 2 parking spaces for the Kitchen. Our curb cut is less than 40% of the length of the west curb line.

Base Site Area = 6,500 s.f. less Road and Utility Easement 641.5 s.f. = Adjusted Site Area of 5,858.5 s.f.

FAR

Existing House	758.0 s.f.
New Kitchen Building	<u>672.0 s.f.</u>
	1,430.0 s.f. = 0.22 (Max. Allowed by LDR's 0.41)

Parking and Walks	1,245.4 s.f.
Paved S.W. Corner	20.0 s.f.

LSR (5,858.5 s.f. – 2695.4 s.f.) = 3,163.1 s.f. = 0.54 (Min. Allowed by LDR's 0.15)

Maximum Height	15'-5 1/2"
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Street Setback	20'-0"
Side Yard Setback	10'-0"
Rear Yard Setback	10'-0"

BRIEGER - UNPROCESSED KITCHEN

GENERAL NOTES	
1) THIS PROJECT SHALL COMPLY WITH THE CURRENT VERSION OF THE INTERNATIONAL RESIDENTIAL CODE, AND / OR THE INTERNATIONAL BUILDING CODE, THE CURRENT VERSION OF THE TOWNS OR COUNTY COMPREHENSIVE PLAN, AND ANY OTHER AUTHORITY HAVING JURISDICTION. THE CONTRACTOR, SUBCONTRACTOR, OR TRADES PERSON SHALL NOTIFY THE ARCHITECT (IN WRITTEN FORM) SEVEN DAYS PRIOR TO BID OF ANY CODE VIOLATIONS. FAILURE TO DO SO DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES.	
2) CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY THE BUILDING AND FIRE DEPARTMENTS AND ANY OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.	
3) CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES, INCLUDING ELECTRICITY NECESSARY FOR CONSTRUCTION AND TEMPORARY SEPTIC FACILITIES, WHICH SHALL BE MAINTAINED ON SITE FOR THE DURATION OF CONSTRUCTION.	
4) ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT THE COUNTY LANDFILL OR RECYCLING FACILITY ONLY. NO DEBRIS ARE TO BE DISPOSED IN LOCAL WASTE COLLECTION FACILITIES. PUBLIC ROADS SHALL BE MAINTAINED AND REMAIN FREE OF MUD OR DUST, EQUIPMENT AND MATERIAL.	
5) CONTRACTOR SHALL INFORM ARCHITECT OF ANY AND ALL OWNER (OR OWNERS REPRESENTATIVE) REQUESTED CHANGE OR DIRECTIVES FOLLOWING OWNER (OR OWNERS REPRESENTATIVE) CONTRACTOR CONVERSATIONS. CONTRACTOR SHALL NOT PROCEED WITH OWNER (OR OWNERS REPRESENTATIVE) REQUESTED CHANGES OR DIRECTIVES WITHOUT PRIOR REVIEW FROM THE ARCHITECT.	
6) GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL TAKE EXTRA CAUTION AND REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION. ALL DRAWINGS ARE THE CONTRACT DOCUMENTS. NOTIFY ARCHITECTS OF ANY DISCREPANCIES PRIOR TO BID.	
7) CONTRACTOR SHALL STORE ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.	
8) CONTRACTOR SHALL CONTROL DUST AND NOISE DURING CONSTRUCTION TO GREATEST EXTENT POSSIBLE.	
9) EXAMINATION OF BIDDING CONTRACT At the time of bid, the general contractor and each bidder to thoroughly examine all of the bidding documents, and not later than seven days prior to the bid date, shall make a written request to the architect for interpretation or correction of any discrepancies, ambiguities, inconsistencies, or errors therein. The architect will issue an interpretation or correction as an addendum or written directive. Only a written interpretation or correction by addendum shall be binding. If discrepancies, ambiguities, inconsistencies, or errors are not covered by addendum or written directive, contractor shall include in his bid, labor materials and methods of construction resulting in higher costs. After award of contract, no allowance or extra compensation will be made on behalf of the contractor due to his failure to make the written requests as described above. B. Failure to request clarification during the bid period of any inadequacy, omission, discrepancy, or conflict does not relieve the contractor of their responsibilities. The signing of the contract will be considered as implicitly denoting that the contractor has a thorough comprehension of the full intent and scope of the bidding contract.	
10) ALIGN ALL VISIBLE EQUIPMENT (WHICH INCLUDES BUT IS NOT LIMITED TO, DIFFUSERS, OUTLETS, LIGHTS, SWITCHES, SMOKE DETECTORS, THERMOSTATS, FIRE PROTECTION, ETC) EQUALLY BETWEEN OR DIRECTLY WITH ARCHITECTURAL FEATURES (WINDOWS, DOORS, ETC) AND OTHER VISIBLE EQUIPMENT. REFRAME OR ADJUST STRUCTURAL ALIGNMENT AS REQUIRED (CONTACT ARCHITECT PRIOR TO ADJUSTING FRAMING) IF POSSIBLE. ADDITIONAL STRUCTURAL REQUIREMENTS: VERIFY ALL LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN INSTALLATIONS OF ANY SYSTEM OR EQUIPMENT. ANY ADJUSTMENTS IN THE FIELD PER ARCHITECT'S DIRECTION MAY BE REQUIRED AND SHALL BE INCLUDED IN THE BID.	
11) ALL SUBMITTAL AND SHOP DRAWINGS SHALL BE 11" X 17" OR SMALLER FORMAT.	
12) THE CONTRACTOR SHALL CONDUCT PRE-CONSTRUCTION AND/OR PRE-INSTALLATION MEETINGS BASED ON THE CONSTRUCTION SCHEDULE TO REVIEW THE REQUIREMENTS OF THE CONTRACT, DETERMINE (AND POSSIBLY ADJUST) SEQUENCING, POSSIBLY ADJUST TRADE LOCATIONS AND TO RESOLVE ANY CONFLICTS OR CODE ISSUES. IT IS THE RESPONSIBILITY OF ALL TRADES INVOLVED TO HAVE KEY PERSONNEL PRESENT AT THESE MEETINGS. IF A TRADE IS NOT PRESENT AND ADDITIONAL WORK AND MATERIAL IS REQ'D OF THE TRADE, BASED ON INFORMATION DISCUSSED (THAT WAS UNFORESEEN BY THOSE PRESENT), THE TRADE WILL BEAR THESE COSTS WITHIN THEIR BID.	

2015 INTERNATIONAL RESIDENTIAL CODE NOTES

THE BUILDING SHALL CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE 2015 INTERNATIONAL BUILDING CODE (WHEN APPLICABLE). THE GENERAL CONTRACTOR SHALL VERIFY THE BUILDING CONSTRUCTION CONFORMS TO CODE. IN PARTICULAR, THE FOLLOWING ITEMS SHALL CONFORM TO THE REFERRED SECTION OF THE CODE.

- 1) ALL OUTDOOR INTAKE & EXHAUST OPENINGS SHALL CONFORM TO SECTION R303.5
- 2) ALL OUTDOOR (INTERIOR & EXTERIOR) ILLUMINATION SHALL CONFORM TO SECTION R303.7-R303.8
- 3) ALL GLAZING SHALL CONFORM TO SECTION R308
- 4) ALL BASEMENT (WITH HABITABLE SPACE) & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE & RESCUE OPENING CONFORMING TO SECTION R310
- 5) ALL STAIR RISER SHALL NOT EXCEED 7 3/4" AND ALL TREADS SHALL NOT BE LESS THAN 10". REFER TO SECTION R311.7 FOR ALL STAIRWAY REQMTS.
- 6) ALL HANDRAILS SHALL CONFORM TO SECTION R311.7.8
- 7) ALL GUARDS (GUARD RAILS) SHALL BE MIN. 36" REFER TO SECTIONS R312
- 8) SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS
 - IN EACH SLEEPING ROOM
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWL SPACES & UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITHPLIT LEVELS & w/o AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL NOT EXCEED THE ADJ. LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN 1 FULL STORY BELOW UPPER LEVEL.
 - ALL ALARMS SHALL BE INTERCONNECTED WHEN ONE ALARMS THEY ALL ALARM) AND HARD WIRED. REFER TO SECTION R314.
- 9) ALL FOAM PLASTIC AND ALL INSULATION SHALL CONFORM TO SECTIONS R316. REFER AND CONFORM TO APPENDIX F FOR RADON CONTROL METHODS AND REQUIREMENTS

SITE SPECIFICATIONS

- 1) FINAL BUILDING STAKING AND ALL REQUIRED SURVEYING TO BE PERFORMED BY COMPETENT SURVEYOR AT CONTRACTOR'S EXPENSE.
- 2) CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY PROBLEMS WITH EXISTING SOIL CONDITIONS AS MAY BE ENCOUNTERED DURING THE CONSTRUCTION OF THIS PROJECT (PRIMARILY DURING EXCAVATION).
- 3) CONTRACTOR SHALL RESTORE ALL EXISTING LANDSCAPING WHICH IS DAMAGED DUE TO CONSTRUCTION.
- 4) CONTRACTOR SHALL COORDINATE AND SUPERVISE TRENCHING AND INSTALLATION OF ALL UTILITIES AND SERVICES TO AND FROM BUILDING. GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, INSTALLATION, AND BACK FILLING OF EACH UTILITY AS APPLICABLE TO PROJECT. SUCH COORDINATION SHALL INCLUDE GENERAL CONTRACTOR'S REASONABLE EFFORTS TO COMBINE AS MANY DIFFERENT UTILITIES IN COMMON TRENCHES AS PRACTICALITIES AND GOOD PRACTICE PERMIT.
- 5) EXCAVATION SHALL REVIEW & COMPLY TO ALL REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY ENGINEER
- 6) REMOVAL OF EXISTING TREES & BUSHES ON SITE, AND ANY OTHER ORGANIC MATERIAL CLEARED FOR PURPOSES OF CONSTRUCTION, IS THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL GET OWNER'S APPROVAL BEFORE REMOVING TREES, BUSHES OR ANY OTHER VEGETATION.
- 7) ALL EXCAVATED FILL AND DEMOLITION DEBRIS IS TO BE STOCKPILED IN THE CONSTRUCTION STAGING AREA ONLY.



VICINITY MAP

CONSTRUCTION OBSERVATION SITE VISITS	
1) All outdoor intake & exhaust openings shall conform to section R303.5	
2) All outdoor (interior & exterior) illumination shall conform to section R303.7-R303.8	
3) All glazing shall conform to section R308	
4) All basement (with habitable space) & every sleeping room shall have at least one operable emergency escape & rescue opening conforming to section R310	
5) All stair riser shall not exceed 7 3/4" and all treads shall not be less than 10". Refer to section R311.7 for all stairway reqmts.	
6) All handrails shall conform to section R311.7.8	
7) All guards (guard rails) shall be min. 36" refer to sections R312	
8) Smoke alarms shall be installed in the following locations <ul style="list-style-type: none"> - in each sleeping room - outside each separate sleeping area in the immediate vicinity of the bedrooms - on each additional story of the dwelling, including basements, but not including crawl spaces & uninhabitable attics. in dwellings or dwelling units withsplit levels & w/o an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall not exceed the adj. lower level provided that the lower level is less than 1 full story below upper level. - all alarms shall be interconnected when one alarms they all alarm) and hard wired. refer to section R314. 	
9) All foam plastic and all insulation shall conform to sections R316. Refer and conform to appendix f for radon control methods and requirements	
SITE SPECIFICATIONS	
1) Final building staking and all required surveying to be performed by competent surveyor at contractor's expense.	
2) Contractor shall notify architect of any problems with existing soil conditions as may be encountered during the construction of this project (primarily during excavation).	
3) Contractor shall restore all existing landscaping which is damaged due to construction.	
4) Contractor shall coordinate and supervise trenching and installation of all utilities and services to and from building. General contractor is responsible for trenching, installation, and back filling of each utility as applicable to project. Such coordination shall include general contractor's reasonable efforts to combine as many different utilities in common trenches as practicalities and good practice permit.	
5) Excavation shall review & comply to all requirements of the geotechnical investigation prepared by engineer	
6) Removal of existing trees & bushes on site, and any other organic material cleared for purposes of construction, is the contractor's responsibility. Contractor shall get owner's approval before removing trees, bushes or any other vegetation.	
7) All excavated fill and demolition debris is to be stockpiled in the construction staging area only.	

BRIEGER - UNPROCESSED KITCHEN

ZONING DISTRICT	BUSINESS PARK
BUILDING OCCUPANCY/USE	BUSINESS GROUP B/ COMMERCIAL KITCHEN
LOT AREA	6,500 SQ. FT - 0.15 AC.
TYPE	SINGLE-FAMILY RES.
TYPE OF CONSTRUCTION	TYPE VB
FIRE SPRINKLER	AT COMMERCIAL HOOD ONLY
EXISTING NO. OF STORIES	1 STORY
PROPOSED NO. OF STORIES	1 STORY
ALLOWABLE BUILDING HEIGHT	35'-0" FT.
ACTUAL BUILDING HEIGHT	15'-5 1/2" FT.
NEW BUILDING AREA CALCULATIONS	
HABITABLE SPACE BELOW GRADE	562 SF
UNHABITABLE SPACE BELOW GRADE	80 SF
HABITABLE SPACE ABOVE GRADE	642 SF
UNHABITABLE SPACE ABOVE GRADE	80 SF
TOTAL HABITABLE SPACE	1204 SF
TOTAL UNHABITABLE SPACE	80 SF

ADJUSTED SITE AREA CALCULATION:
GROSS SITE AREA (GSA): 0.15 AC (6,500 SQ. FT)
LESS LAND WITHIN VEHICULAR ACCESS EASEMENTS: 641.50 SQ. FT.
LESS LAND BETWEEN LEVEES OR BANKS OF RIVERS/STREAMS: 0.00 SQ. FT.
LESS LAND WITHIN LAKES/PODS WHEN THEIR TOTAL AREA > 1 ACRE: 0.00 SQ. FT.

5,858.5 SQ. FT.

ALLOWABLE SITE DEVELOPMENT:

15,000 S.F.

PROPOSED SITE DEVELOPMENT:

EXISTING HOUSE: 758 SQ. FT.
NEW KITCHEN BUILDING FOOTPRINT: 672 SQ. FT.
NEW CONC. WALKS & PARKING: 1,246.4 SQ. FT.
PAVED S.W. CORNER AT STREET: 20 SQ. FT.

TOTAL = 2,085.4 SQ. FT.

CODES UTILIZED
2015 INTERNATIONAL BUILDING CODE (STRUCTURAL)
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FUEL GAS CODE
2020 NATIONAL ELECTRIC CODE
2012 INTERNATIONAL ENERGY CODE
TETON COUNTY LAND DEVELOPMENT REGULATIONS
LANDSCAPING CONFORMING TO DIVISION 4100 OF THE TETON COUNTY LDR'S

EXTERIOR & SITE LIGHTING
SEE ELEVATIONS FOR MOUNTING HEIGHTS AND LOCATIONS
SEE FLOOR PLAN FOR LOCATIONS
SEE LIGHT SCHEDULE FOR FIXTURE DESCRIPTIONS

SITE DEVELOPMENT SCHEDULE	
EXCAVATION	MARCH 2022
FOUNDATION POURED	MARCH 2022
UTILITIES INSTALLED BACKFILL COMPLETED	APRIL 2022
FRAME ERECTED ROOF INSTALLED	MAY 2022
DISTURBED AREAS RESEEDED	SEPTEMBER 2022

REVISIONS:

SITE INSPECTION SCHEDULE	
BUILDING & DRIVEWAY LOCATION	MARCH 2022
ROUGH GRADING & EXCAVATION	MARCH 2022
ROUGH FRAMING & ROOF SHEATHING	MAY 2022
COMPLETION OF EXTERIOR FINISHES & FINISH GRADING	SEPTEMBER 2022

DUSTY ACRES COUNTY ROAD No. 22-36

13D342

13D258

Plan
North



SITE PLAN

1" = 10'-0"

Sheet Issue Date:
11/23/2021 10:46:57 AM

DATE: 10-08-2021
PROJECT NO2021-0013

SP1.1

SITE PLAN

DUSTY ACRES COUNTY ROAD No. 22-36

PLANT LIST

QUANT	KEY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
4	QA	POPULUS TREMULOIDES	QUAKING ASPEN	3" cal.
SHRUBS				
14	SP	CARAGANA ARBORESCENS	SIERIAN PEASHRUB	6'-8'
6	N	POTENTILLA FRUTICOSA	NATIVE CINQUEFOIL	5 GAL. 12"-18"
7	M	SYMPHORICARPOS OREOPHILUS	MOUNTAIN SNOW BERRY	5 GAL. 12"-18"

PLANT UNIT REQUIREMENTS

Nonresidential site calculations: 1 plant unit required per 1,000 sq.ft. landscape area
Adjusted site area (5,858.5 sq.ft.) less Proposed site development (2,695.4 sq.ft.) = 3,163.1 sq.ft.
Landscape Area / 1,000 = 3.16 Plant Units Req'd.

Parking lot: 1 plant unit required per 12 parking spaces = 4 parking spaces (fractions of plan units less than 50% don't count).

Four (4) plant units required:
3.16 Plant Unit "A"

$$3.16 \times \$2,395.00 = \$ 7,568.20$$

3.16 PLANT UNITS PROVIDED:

4	3" caliper canopy tree	4 x \$375 =	\$ 1,500.00
14	6'-8' shrub	14 x \$300 =	\$ 4,200.00
13	5 gal. shrub	13 x \$150 =	\$ 1,950.00
1	6-bike parking spaces	1 x \$375 =	<u>\$ 375.00</u>

TOTAL EQUIVLEANT PLANT UNITS:

\$ 8,025.00

13D342

13D258



LANDSCAPE PLANTING PLAN

1" = 10'-0"

BRIEGER - UNPROCESSED KITCHEN

1022 GRIGORY LANE

JACKSON, WYOMING

+ STRUCTURAL
ENGINEERS

DCI Engineers
400 W. Main, Suite 206
Hamilton, MT 59840

+ MECHANICAL
ENGINEERS

Musgrove Engineering
645 W. 25th Street
Idaho Falls, ID 83402

+ LANDSCAPE
ARCHITECTS

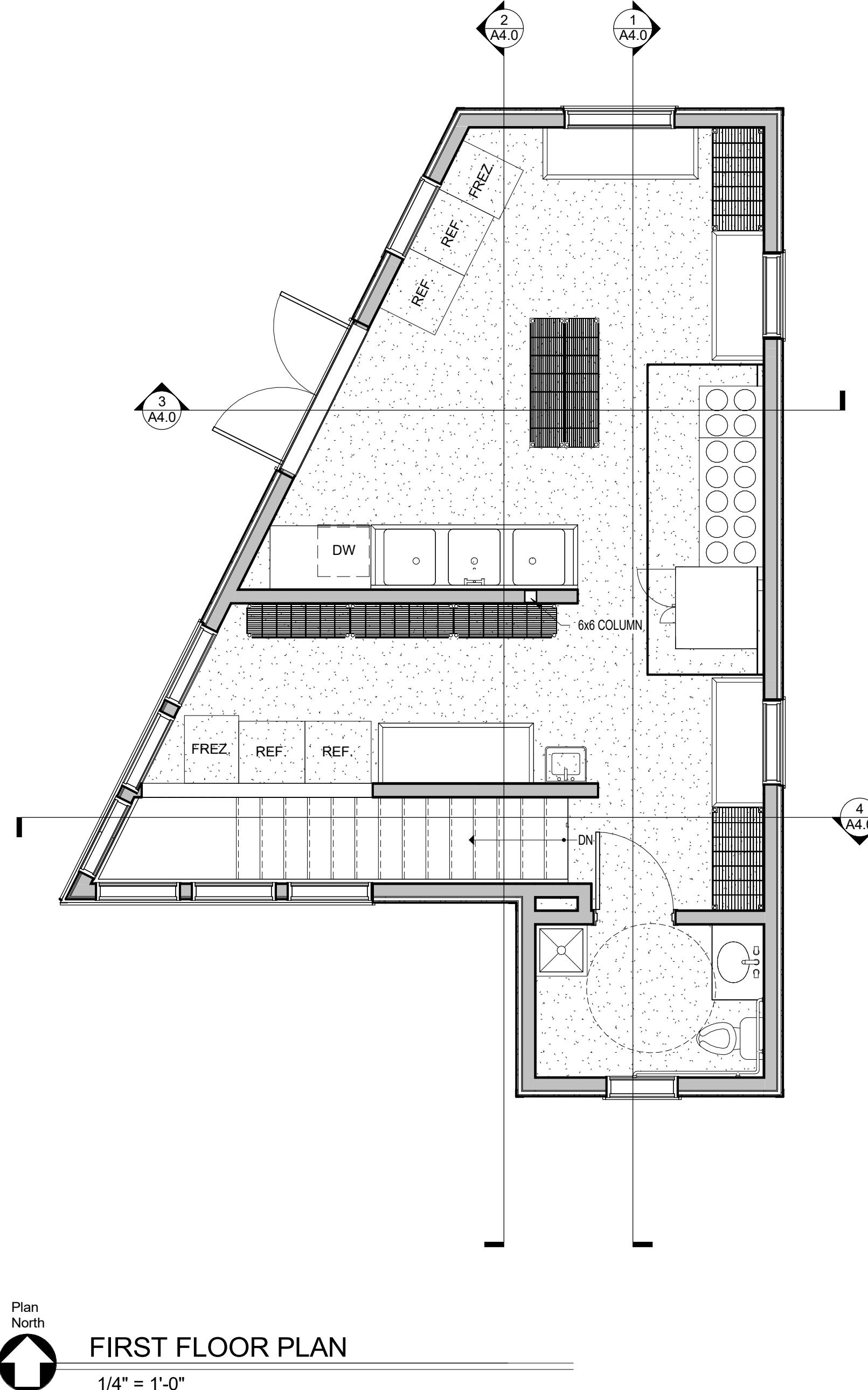
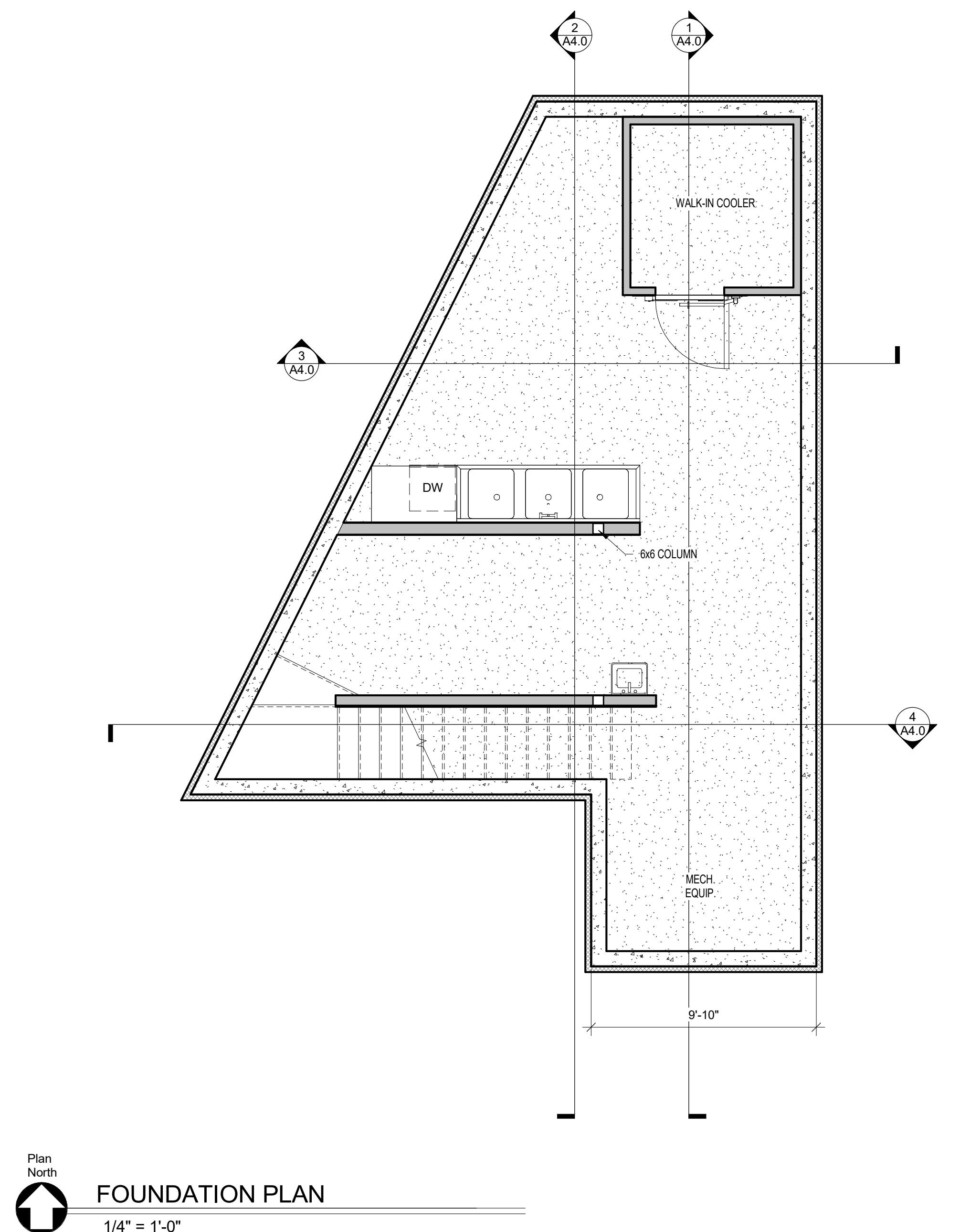
Y2 Consultants
180 S. Willow Street
Jackson, WY
83001

REVISIONS:

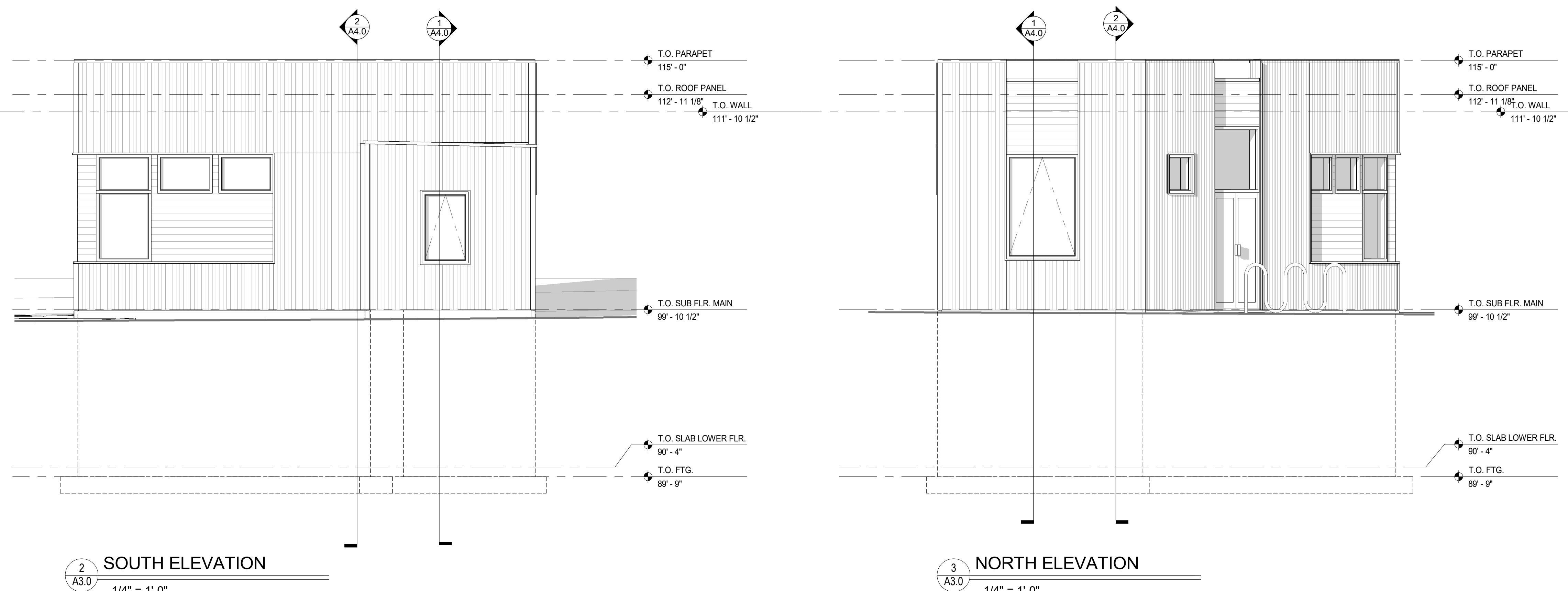
DATE: 10-08-2021
PROJECT NO2021-0013

A1.1

FLOOR PLANS



EXTERIOR MATERIAL SCHEDULE	
①	MEMBRANE ROOF 60 MIL TPO BY CARLISLE OVER 1/2" DENS DECK OVER 1/4" PER FOOT INSULFOAM X17 TAPER SYSTEM TO DRAINS. LAP MEMBRANE UP AND OVER PARAPET WALLS AS INDICATED IN DETAILS. LAP MEMBRANE UP PENETRATIONS, CURBS AND PROVIDE BOOTS AT PIPES PENETRATIONS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SUBMIT ALTERNATIVE MANUFACTURERS OR SYSTEMS TO ARCHITECT FOR APPROVAL PRIOR TO BIDDING.
②	CORRUGATED METAL SIDING 24 GA. STEEL 7/8" CORRUGATED METAL SIDING BY WESTERN STATES METAL ROOFING OR APPROVED EQUAL COLOR TO BE "CORTEN A2P RAV". INSTALL PER MANUFACTURER'S RECOMMENDATIONS OVER 1 1/2" RIGID INSULATION OVER TYVEK DRAIN WRAP. INSTALL VERTICALLY AND INTEGRATE FLASHINGS AS DETAILED. FLASHING AT CORNERS, PARAPET, WINDOWS & DOORS TO MATCH COLOR OF CORRUGATED SIDING.
③	FLAT METAL SIDING 24 GA. STEEL T-GROOVE 8" WIDTH FLUSH WALL PANELS BY WESTERN STATES METAL ROOFING OR APPROVED EQUAL COLOR TO BE "BURNED WOOD". INSTALL PER MANUFACTURER'S RECOMMENDATIONS DIRECTLY OVER TYVEK DRAIN WRAP. INSTALL HORIZONTALLY AND INTEGRATE FLASHINGS AS DETAILED. FLASHING AT PARAPET, PERIMETER AREAS, AND WINDOWS TO MATCH COLOR OF T-GROOVE SIDING.
④	FLASHING & TRIM 24 GA. STEEL FLASHING BY WESTERN STATES METAL ROOFING OR APPROVED EQUAL TO MATCH COLOR OF SIDING IT IS INTEGRATED WITH. SEE DETAILS.
⑤	CONCRETE WALK 4" THICK 4,000 PSI CONCRETE WITH #4 REINFORCING BARS AT 24" EACH WAY OVER 4" CRUSHED GRAVEL. PROVIDE LIGHT BROOM FINISH.
⑥	ASPHALT PAVEMENT 3" ASPHALT PAVEMENT OVER 4" ROAD BASE OVER 8" PIT RUN GRAVEL.
NOTE: SUBMIT ALTERNATE OR SUBSTITUTE FINISHES TO ARCHITECT FOR APPROVAL.	

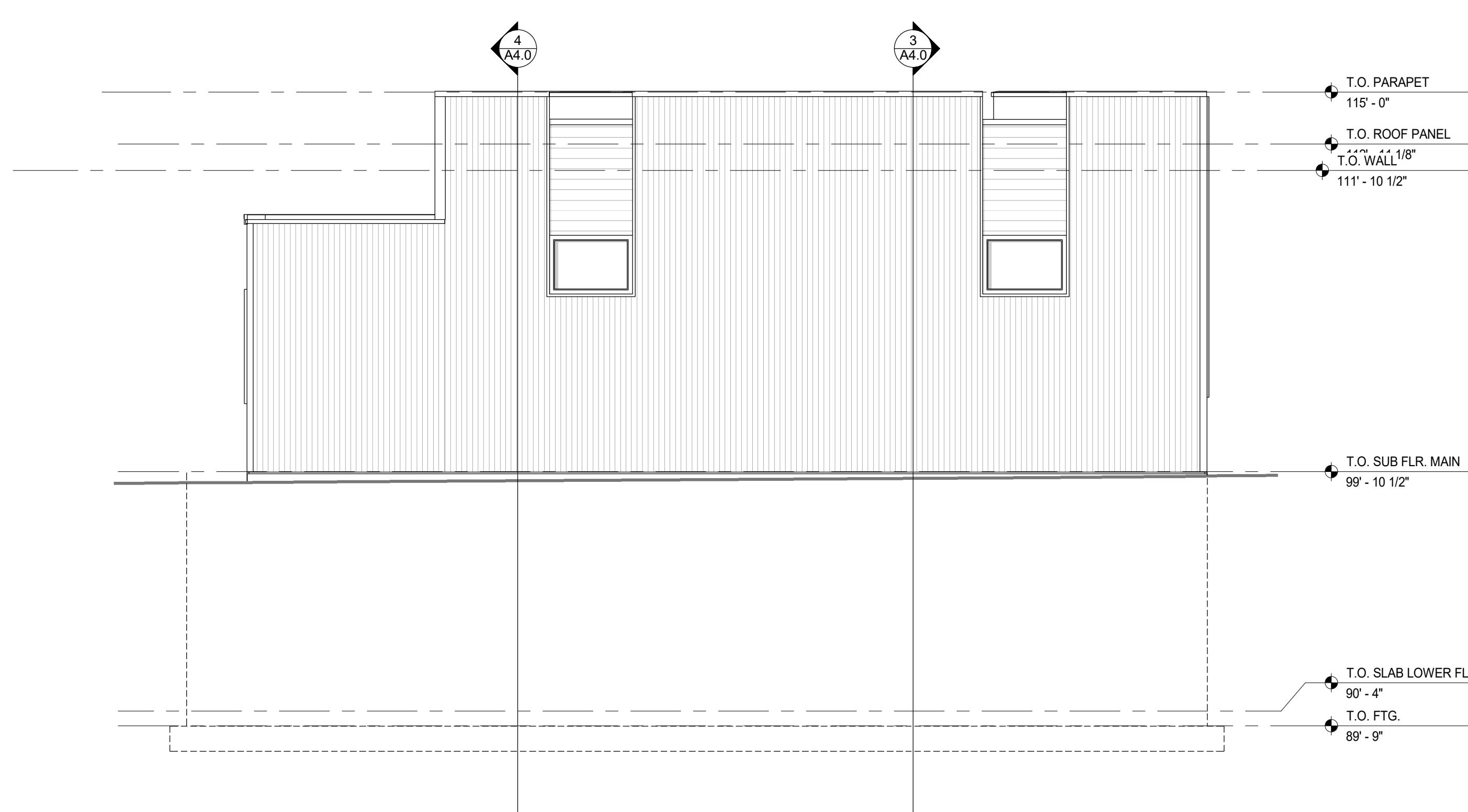


SOUTH ELEVATION

1/4" = 1'-0"

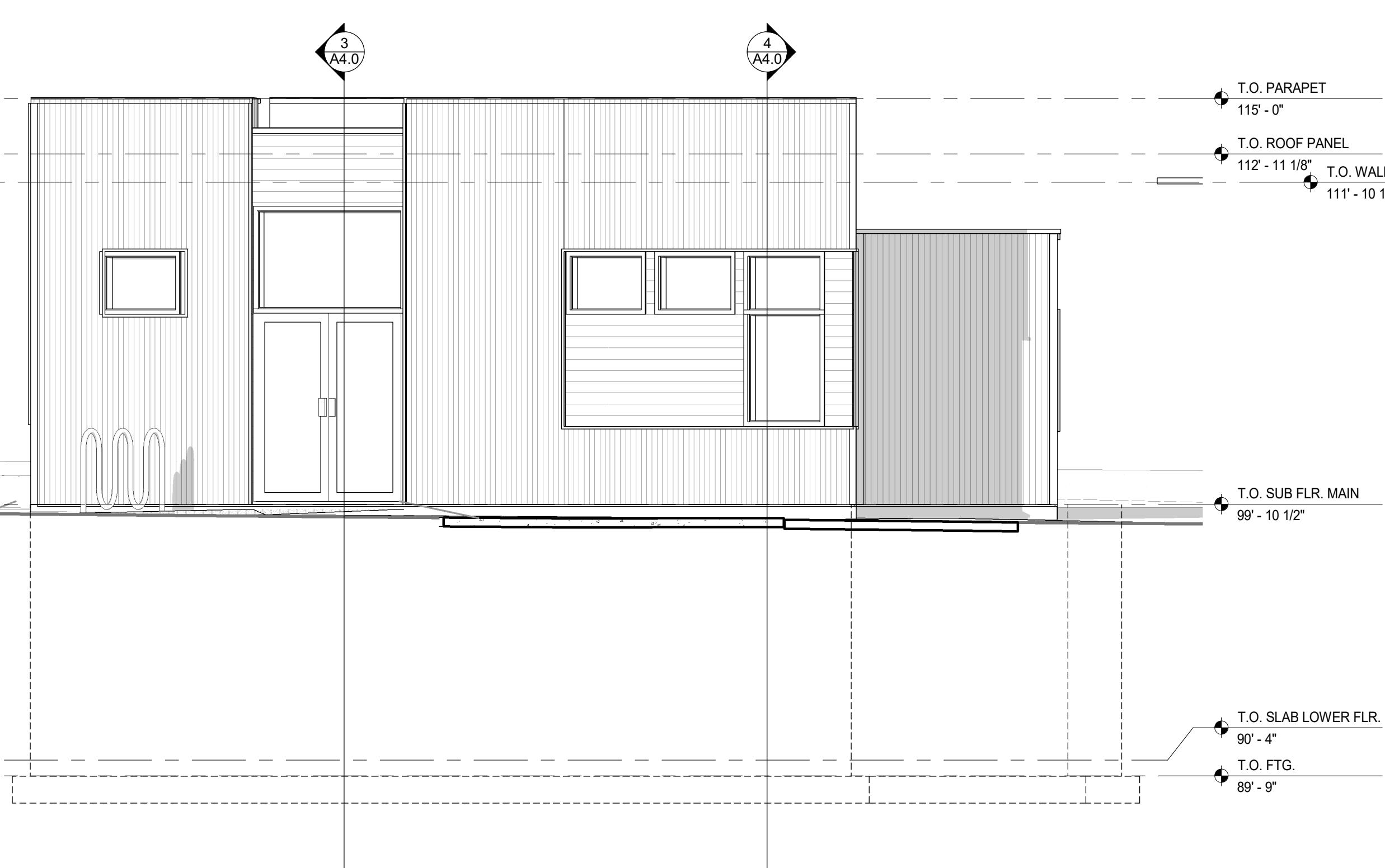
NORTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

**STRUCTURAL
ENGINEERS**

DCI Engineers
400 W. Main, Suite 206
Hamilton, MT 59840

**MECHANICAL
ENGINEERS**

Musgrove Engineering
645 W. 25th Street
Idaho Falls, ID 83402

**LANDSCAPE
ARCHITECTS**

Y2 Consultants
180 S. Willow Street
Jackson, WY 83001

REVISIONS:

DATE: 10-08-2021
PROJECT NO2021-0013

A3.0

ELEVATIONS

BRIEGER - UNPROCESSED KITCHEN

1022 GRIGORY LANE
JACKSON, WYOMING

+ STRUCTURAL
ENGINEERS

DCI Engineers
400 W. Main, Suite 206
Hamilton, MT 59840

+ MECHANICAL
ENGINEERS

Musgrove Engineering
645 W. 25th Street
Idaho Falls, ID 83402

+ LANDSCAPE
ARCHITECTS

Y2 Consultants
180 S. Willow Street
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83001

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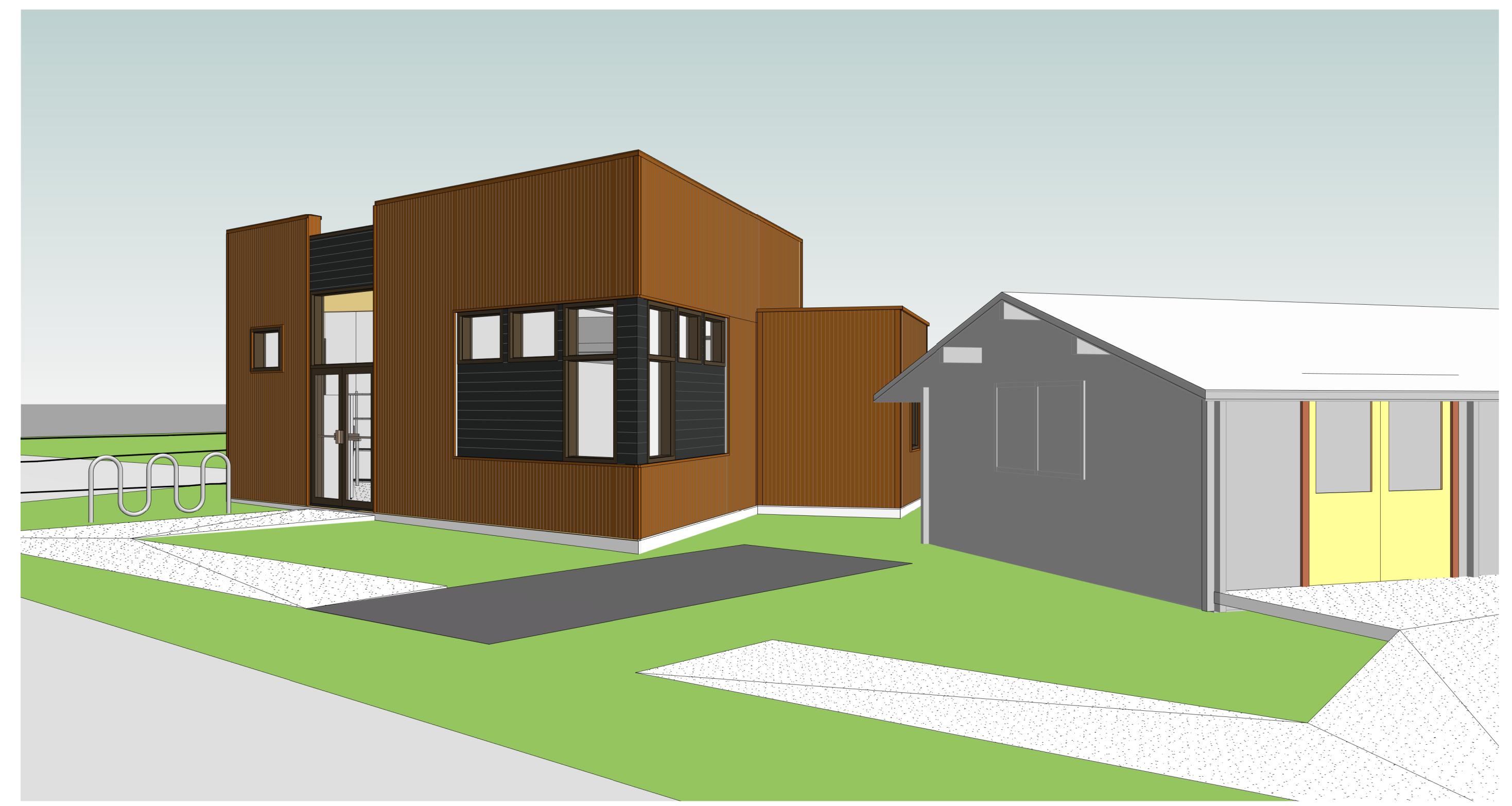
DATE: 10-08-2021
PROJECT NO 2021-013

A3.1

Perspectives



① 3D View 1



② 3D View 2



③ 3D View 3

LOOKING AT THE BUILDING IN CONTEXT OF THE SITE



LOOKING SOUTH - EAST



LOOKING NORTH - EAST

BRIEGER - UNPROCESSED KITCHEN

1022 GREGORY LANE

JACKSON, WYOMING

+ STRUCTURAL
ENGINEERS

DCI Engineers
400 W. Main, Suite 206
Hamilton, MT 59840

+ MECHANICAL
ENGINEERS

Musgrove Engineering
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+ LANDSCAPE
ARCHITECTS

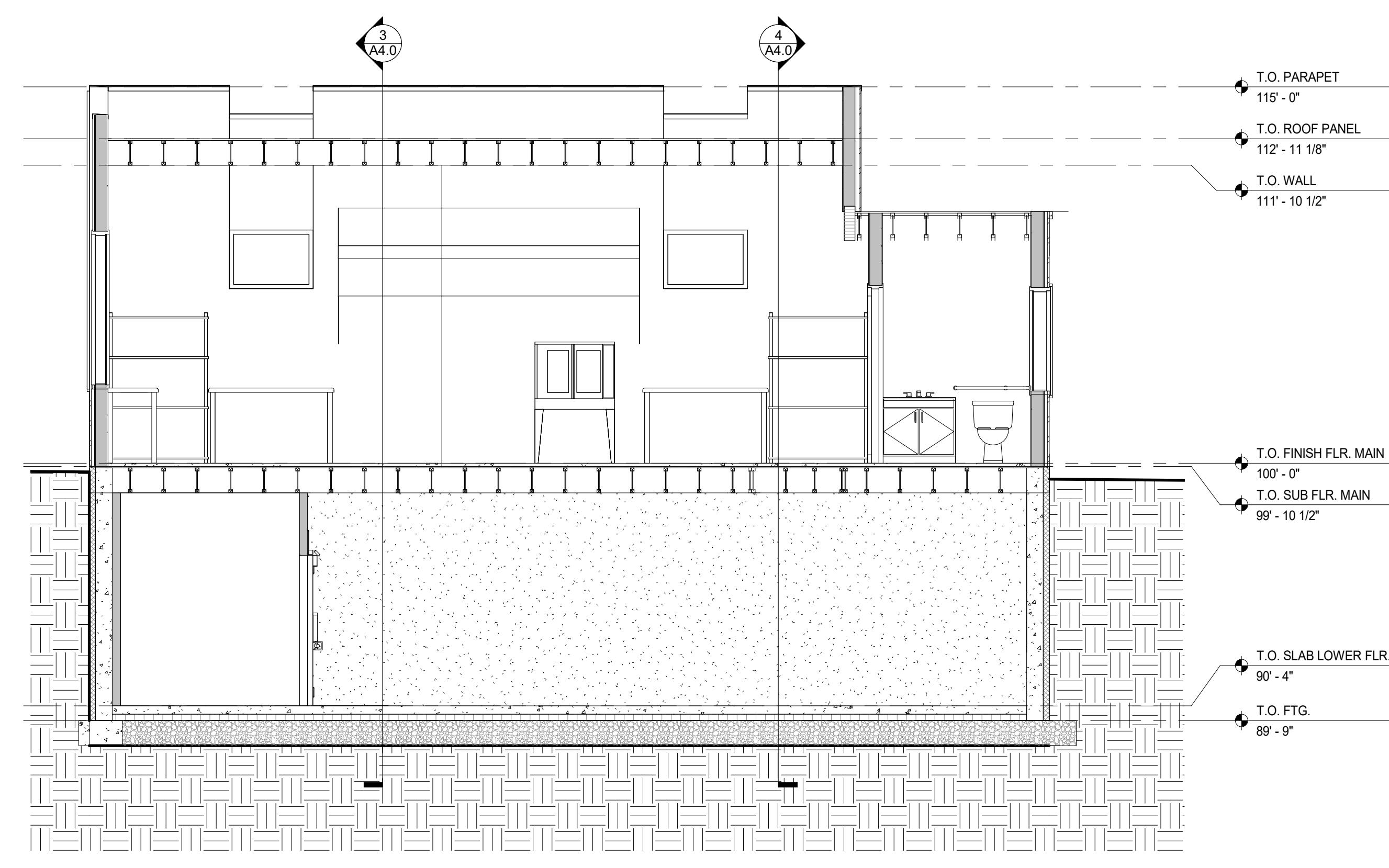
Y2 Consultants
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Jackson, WY
83001

REVISIONS:

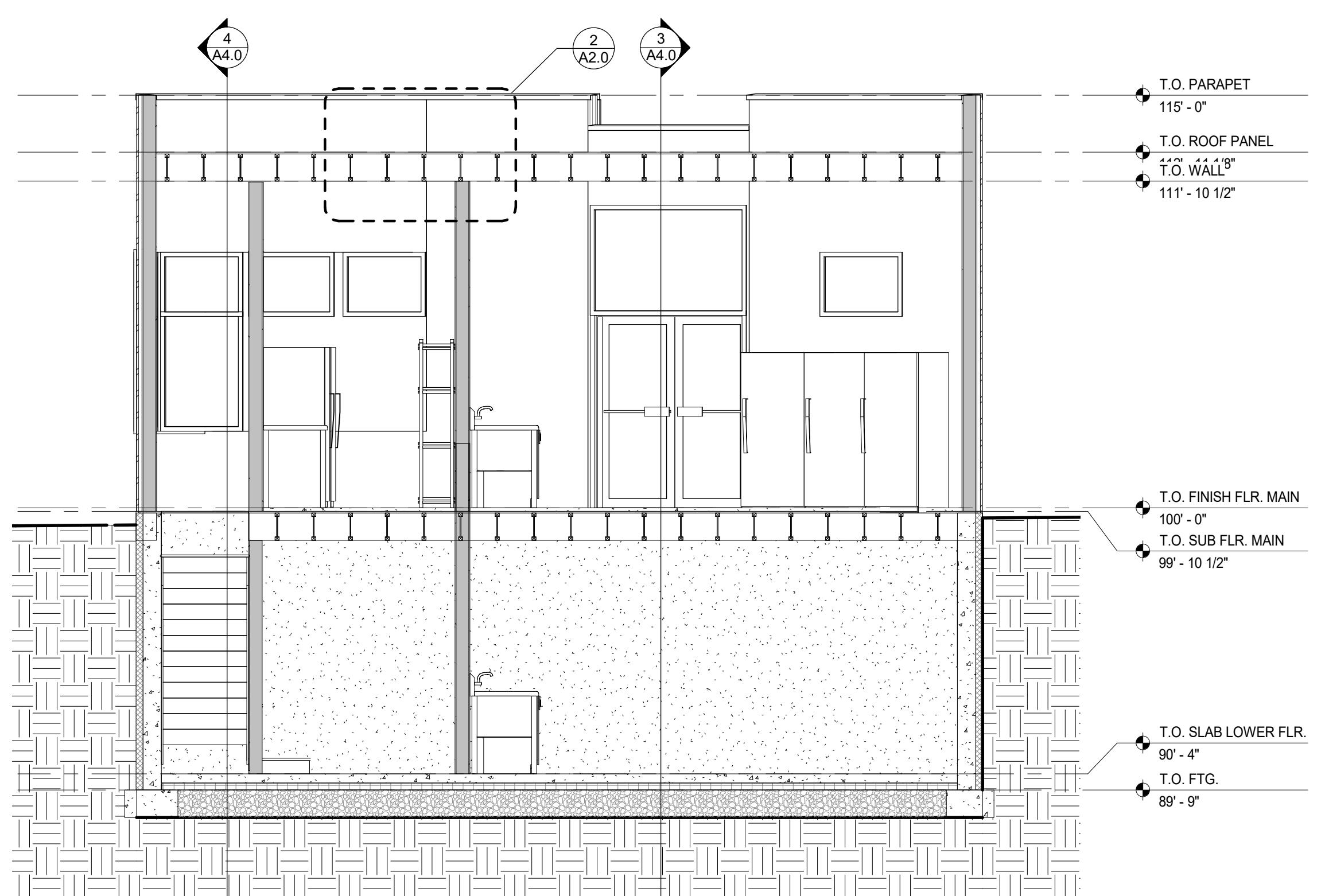
DATE: 10-08-2021
PROJECT NO2021-0013

A3.2

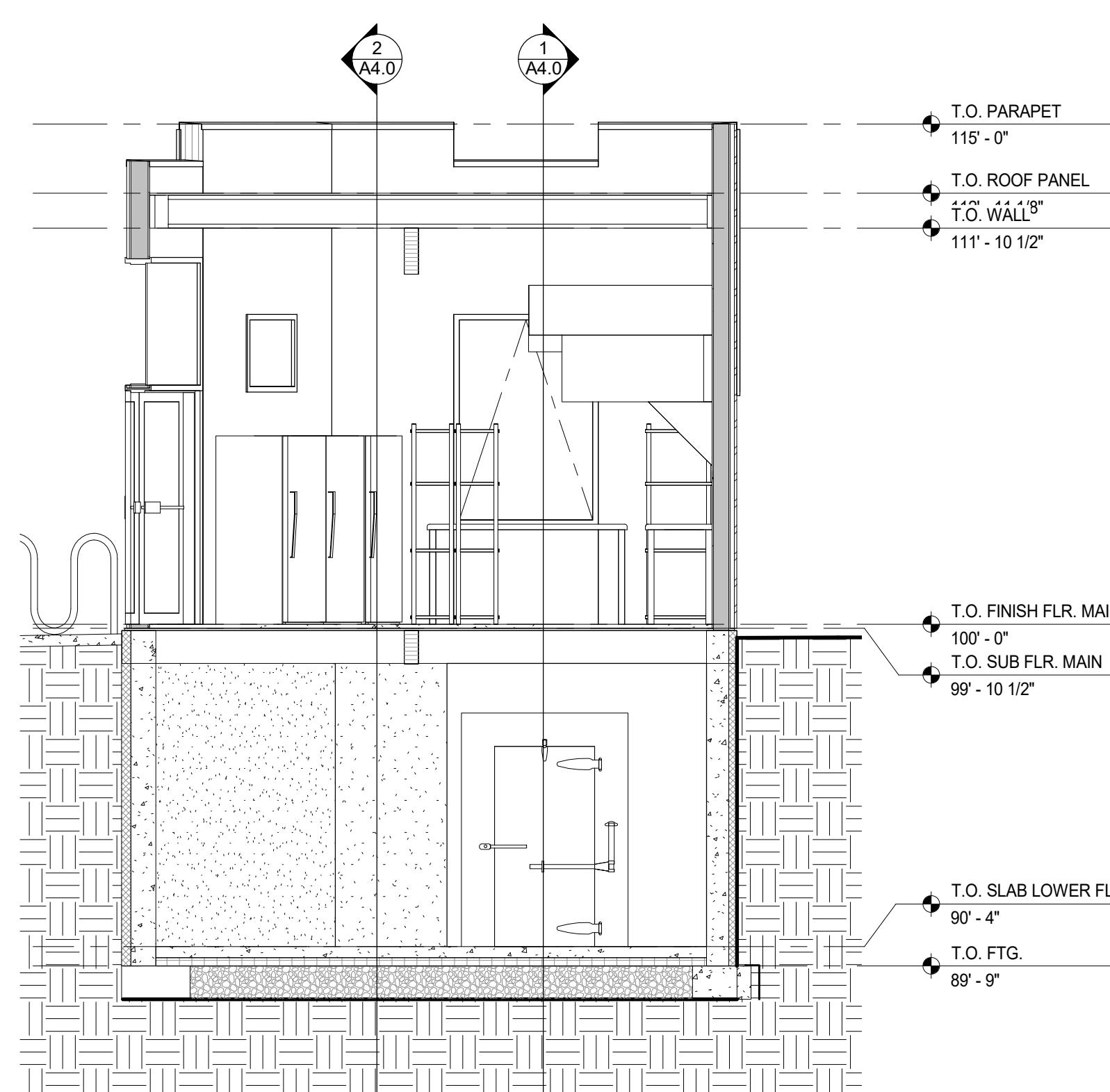
BUILDING IN CONTEXT



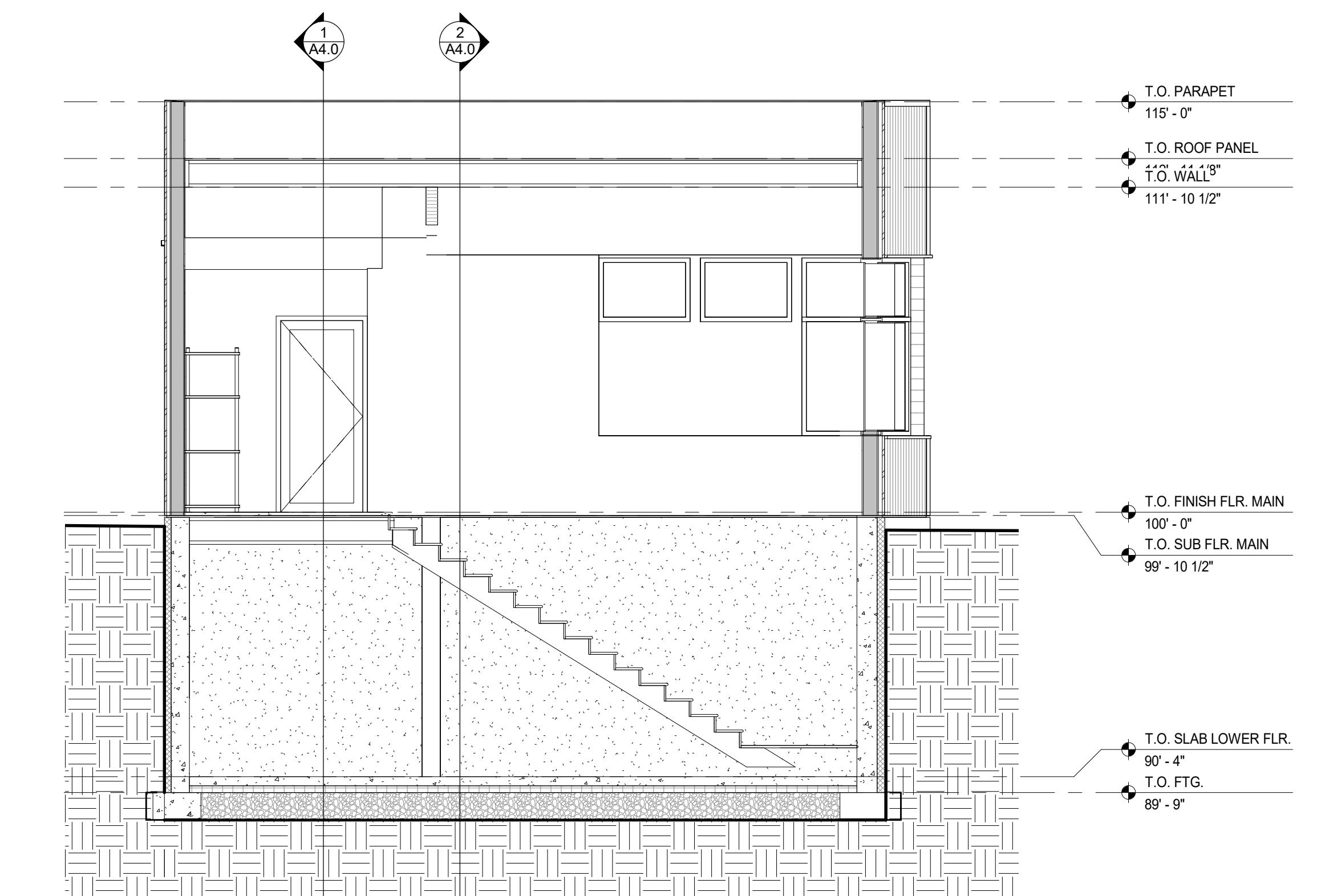
SECTION A
A4.0
1/4" = 1'-0"



SECTION B
A4.0
1/4" = 1'-0"



SECTION C
A4.0
1/4" = 1'-0"



SECTION D
A4.0
1/4" = 1'-0"

+ **STRUCTURAL
ENGINEERS**
DCI Engineers
400 W. Main, Suite 206
Hamilton, MT 59840

+ **MECHANICAL
ENGINEERS**
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+ **LANDSCAPE
ARCHITECTS**
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A4.0

BUILDING SECTIONS

Brieger Unprocessed Kitchen

Housing Mitigation Plan

November 23, 2021

The Owner wishes she could afford to dedicate the existing cabin on site to workforce housing but she is in a financial situation such that she needs the existing cabin at a market rate rental to help her afford the property. The Housing Mitigation Plan is to pay the fee-in-leu as indicated on the attached AH Calculator.

Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates.

These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required

Existing Workforce Housing Credit 0.000

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Light Industry	0.000123*sf	0	1204	1	0.148

Affordable Workforce Housing Required: **0.148 units**

Fee-in-Lieu Amount: **\$ 40,236.33**

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).



Jackson/Teton County Affordable Housing Checklist - Housing Mitigation Plan (LDR Division 6.3.6)

Every development application must include a Housing Mitigation Plan for sufficiency. Every Housing Mitigation Plan is required to contain the following information:

Applicability (LDR 6.3.6.A.3.a)

1. Does your development qualify for an exemption from a housing mitigation requirement? Yes No If yes, explain and refer to the proper LDR _____

2. Are there credits associated with your development? Yes No If yes, explain where the existing credits came from, provide the calculation, and refer to the proper LDR. _____

Calculation of Requirement (LDR 6.3.6.A.3.b)

3. Does your development require or are you otherwise requesting approval of an Independent Calculation (LDR section 6.3.3.B)? Yes No

If yes, provide the calculation according to 6.3.3.B.2 along with impact analysis, verifiable local information, industry specific rather than business specific data, etc. The Planning Department is available to help with this calculation prior to submittal of your application. Attach as a separate sheet.

I have attached a separate sheet with the calculation and supporting data for my Independent Calculation

Housing Mitigation Requirements Calculator. If no to 1 and 3 above, calculate your development's requirement, using the Housing Mitigation Requirements Calculator. The calculator can be found at this link: www.jacksonwy.gov/200/Planning Attach a copy of the first page of the calculator showing the calculations and requirements with your Housing Mitigation Plan. The Planning Department is available to help with this calculation prior to submittal of your application.

I have attached a copy of the first page of the Housing Mitigation Requirements Calculator which includes my requirement and unit types.

ype of Affordable Housing Provide – Standard Restrictions. (LDR 6.3.4)

4. How many ownership or rental units are you proposing in which income ranges with how many bedrooms? Please complete the matrix below:

Bedrooms	0 – 50%	50% - 80%	80% - 120%	Workforce	Ownership or Rental
1-bedroom	0				
2-bedroom	0				
3-bedroom	0				

Special Restriction. The Special Restriction is a contract between The Board of County Commissioners or the Town Council and the owner of real property developed or designated to satisfy the development requirements. The Special Restrictions will be recorded on the property. Appropriate restriction templates can be obtained from the Jackson/Teton County Affordable Housing Department or at this link: www.tetonwyo.org/1856/Deed-Restriction-Templates .

I have attached a draft of the Standard Restrictions for each unit.

Livability Standards (LDR 6.3.4.D and E) (Rules and Regs Section 2-3). Restricted housing must comply with the Livability Standards in the Jackson/Teton County Housing Department Rules and Regulations. The Livability Standards include amount of cabinetry/counter space, storage, closets, room sizes, appliances, laundry facilities, bathrooms, etc. The Rules and Regulations can be found at this link: www.tetonwyo.org/1332/Housing-Rules-and-Regulations .

I have reviewed the Livability Standards and understand the requirements. I have/will contact the Housing Department for approval of my units early in the design process to get their approval prior to submitting for building permit.

Method for Providing Required Housing (LDR 6.3.5):

One or a combination of the below methods may be proposed to satisfy your housing requirement. They are listed in the order of preference/priority. Highest priority must be used unless it is demonstrated that a higher priority is impracticable (LDR 6.3.5.C)

1. Construction of new units either on-site or off-site (LDR 6.3.5.D.1).
2. Conveyance of land for affordable/workforce housing (LDR 6.3.5.D.2).
3. Utilization of a banked affordable or workforce housing unit (LDR 6.3.5.D.3).
4. Restriction of an existing residential units as an affordable/workforce housing unit (LDR 6.3.5.D.4).
5. Payment of an in-lieu fee (LDR 6.3.5.D.5).

I have attached a detailed explanation of my proposed method of providing Required Housing.

Phasing Plan (LDR 6.3.5.A.3). Restricted Housing Units shall be ready for occupancy no later than the free market portion of the development is occupied. If the free market portion is to be developed in phases, then the Restricted Housing Units shall be developed prior to or in proportion to the free market portion.

I have attached a detailed description of my phasing plan as it pertains to Affordable/Workforce units.