



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: November 2, 2021

Item #: P21-284

Planner: Katelyn Page

Phone: 733-0440 ext. 1302

Email: kpage@jacksonwy.gov

Owner

Matthew & Chantalle Lekrey
450 E Sagebrush Dr. N11 Owen E
Jackson, WY 83001

Applicant

Destin Peters
PO Box 12374
Jackson, WY 83002

REQUESTS:

The applicant is submitting a request for a Basic Use Permit for conversion of a single-family residence to 3 residential units at the property located at 180 Crabtree Lane, legally known as LOT 42, HORN ENTERPRISES PIDN: 22-41-16-32-4-14-018

For questions, please call Katelyn Page at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by: **November 16, 2021 (Sufficiency)**
November 23, 2021 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
alangley@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Design Review

Subdivision/Development Option

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification

Amendments to the LDRs

LDR Text Amendment

Map Amendment

Miscellaneous

Other: _____

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____

Environmental Analysis #: _____

Original Permit #: _____

Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Destin Peters

Signature of Property Owner or Authorized Applicant/Agent

Name Printed

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**CIVIL CODE § 1189**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Ventura)On 09/25/2021 before me,Vaneet Kapila, Notary Public

Date

Here Insert Name and Title of the Officer

personally appeared

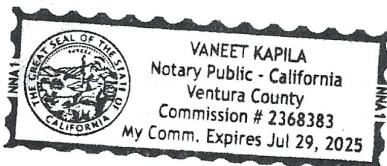
Chantalle Lekrey

Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature

Vaneet KapilaSignature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document Letter of Authorization - Town of JacksonTitle or Type of Document: Planning & Building Dept. Document Date: 09/25/2021Number of Pages: one Signer(s) Other Than Named Above: _____**Capacity(ies) Claimed by Signer(s)**

Signer's Name: _____

Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____

Signer Is Representing: _____

Signer's Name: _____

Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____

Signer Is Representing: _____



Town of Jackson Planning and Building Department

LETTER OF AUTHORIZATION NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual

Being duly sworn, deposes and says that MATTHEW & CHANTALLE LEKREY is the owner in fee of the premises located at:

Name of property owner as listed on deed

Address of Premises: 180 CRABTREE LANE

Legal Description: LOT 42, HORN ENTERPRISES

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: DESTIN PETERS / ENCLOSURE STUDIO

Mailing address of Applicant/agent: PO BOX 9605, JACKSON, WY 83002

Email address of Applicant/agent: DESTIN@ENCLOSURESTUDIO.COM

Phone Number of Applicant/agent: 307.690.0498

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

Development/Subdivision Plat Permit Application Building Permit Application

Public Right of Way Permit Grading and Erosion Control Permit

Demolition Permit Other (describe) BASIC USE PERMIT

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Chantalle Lekrey
Property Owner Signature

09/25/2021

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF _____)

) SS.

COUNTY OF _____)

The foregoing instrument was acknowledged before me by _____ this _____ day of
_____, 20____.

WITNESS my hand and official seal.

Notary Public

My commission expires:

California certificate of Acknowledgement is on separate sheet.



Town of Jackson Planning and Building Department

LETTER OF AUTHORIZATION
NAMING APPLICANT AS OWNER'S AGENT

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Email address of Applicant/agent: DESTIN@ENCLOSURESTUDIO.COM

Phone Number of Applicant/agent: 307 690 0498

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this(these) application(s) at the premises listed above:

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Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

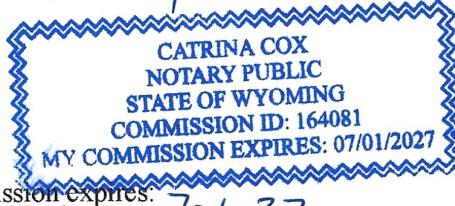
STATE OF Wyoming)
) SS.
COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Matthew Lekkey this 29 day of September, 2021

WITNESS my hand and official seal.

Arthur Gru

Notary Public



WARRANTY DEED

Barry Harlan Barnes, a married man, GRANTOR(S), of P.O. Box 6786, Jackson, WY 83002, for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, receipt of which is hereby acknowledged, CONVEY(S) AND WARRANT(S) TO Matthew LeKrey and Chantalle LeKrey, husband and wife, tenants by the entirety, GRANTEE(S), whose address is 450 East Sagebrush, N11 Owen E, Jackson, WY 83001, the following described real estate, situated in the County of Teton, State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

Lot 42 of Horn Enterprises First Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on June 10, 1977 as Plat No. 314.

PIDN: 22-41-16-32-4-14-018

Together and including all improvements thereon, and all appurtenances and hereditaments thereunto belonging. Subject to general taxes for the year of closing, local improvement districts, guaranteed revenues to utility companies, building and zoning regulations, city, county and state subdivision and zoning laws, easements, restrictive covenants, and reservations of record.

David Bishop, spouse of Barry Harlan Barnes joins in the execution of this Warranty deed solely for the purpose of waiving any rights he/she may have under the homestead exemption laws of the State of Wyoming.

WITNESS the due execution and delivery of this Warranty Deed this 8 day of April, 2021.



David Bishop

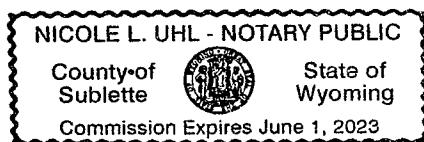


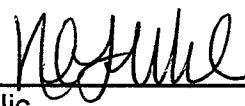
Barry Harlan Barnes

STATE OF Wyoming)
COUNTY OF Teton) ss.
)

The foregoing instrument was acknowledged before me by David Bishop and Barry Harlan Barnes this 8 day of April, 2021.

WITNESS my hand and official seal.





Notary Public
My commission expires: _____

Town of Jackson
Planning & Building Department
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

Destin Peters
Miro Studio Architecture
PO Box 12374
Jackson, WY 83002
307.690.0498

RE: BUP Narrative for Lekrey Triplex Renovation

Town of Jackson Planning & Building,

Chantalle and Matthew Lekrey are proposing converting the existing single family residence on the 5086 SF lot at 180 Crabtree La, into three small residential units. The existing two story building would house one 844 SF unit upstairs and two small (appx 570 SF & 496 SF) units at the lower level. We are proposing adding a roughly 220 SF single level addition at the north end of the west side of the existing building to accomplish both lower level units.

As the new units are restricted to workforce housing, the conversion of the 1488 SF single family home will not trigger any affordable housing fees with the permit.

No significant changes to the massing or architecture of the existing structure are proposed. From the streetscape, a two story residential structure with an attached deck will remain. At the rear of the structure a single story 11'x20' addition with similar finishes to the existing home is proposed. The current neighborhood is a mix of single and multi-family housing. The proposed 3 dwelling structure fits the context of the existing neighborhood as it will maintain the massing of the existing modest structure while providing much needed additional housing units. The summary of dimensional standards included with this submittal confirms the proposed addition and renovation conform to the LDR's standards for the NL-5 zone.

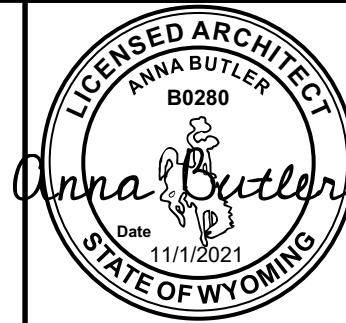
As always, feel free to call or email with any questions as you review this permit application.

Sincerely,

Destin Peters

Destin Peters
Owner's Agent

| LEKREY TRIPLEX | | | | | | | | | |
|----------------------------|-----------|---|--------------------|--------------------|---------------------|--------------|---------------|-----------|---------------|
| Zone: NL-5 | | Use: Addition and renovation to convert existing two story SFD to three apartments. | | | | | | | |
| | LSR (min) | Street Setback (min) | Rear Setback (min) | Left Setback (min) | Right Setback (min) | Height (max) | Stories (max) | FAR (max) | Parking (min) |
| Proposed | 0.36 | 23'-10" | 32'-7" | 10'-7" | 9'-2" | 22'-8" | 2 | 0.38 | 3 |
| Existing | 0.24 | 23'-10" | 43'-5" | 10'-7" | 9'-2" | 22'-8" | 2 | 0.29 | 2 |
| Allowed/Required per LDR's | 0.3 | 20' | 10' | 10' | 10' | 28' | 2 | 0.4 | 3 |



180 CRABTREE TRIPLEX

180 CRABTREE LANE, JACKSON, WYOMING

FLOOR AREA CALCULATIONS

| | |
|--|--|
| MAXIMUM ALLOWABLE HABITABLE FLOOR AREA (FAR = 0.4) | |
| GROSS SITE AREA = 5,086 SQ.FT. | |
| 5,086 X 0.4 = 2,034 SQ.FT. MAX. ALLOWABLE FLOOR AREA | |
| FLOOR AREA | |
| EXISTING LOWER LEVEL* 844 SQ.FT. | |
| EXISTING UPPER LEVEL 844 SQ.FT. | |
| PROPOSED LOWER LEVEL ADDITION 222 SQ.FT. | |
| TOTAL FLOOR AREA 1,970 SQ.FT. | |
| * NOTE: EXISTING LOWER LEVEL FLOOR AREA INCLUDES 200 SQ.FT. GARAGE TO BE CONVERTED TO HABITABLE. | |
| PROPOSED FLOOR AREA PER UNIT | |
| PROPOSED - UNIT 'A' 496 SQ.FT. | |
| PROPOSED - UNIT 'B' 570 SQ.FT. | |
| PROPOSED - UNIT 'C' 844 SQ.FT. | |

SITE DEVELOPMENT

| | |
|---|--|
| MINIMUM LANDSCAPE SURFACE AREA (LSR = 0.30) | |
| GROSS SITE AREA = 5,086 SQ.FT. | |
| 5,086 X (1.0-0.3) = 3,560 SQ.FT. ALLOWABLE SITE DEVELOPMENT | |
| PROPOSED BUILDING AND DECKS FOOTPRINT 1,295 SQ.FT. | |
| PROPOSED Hardscape Footprint 1,971 SQ.FT. | |
| TOTAL SITE DEVELOPMENT 3,266 SQ.FT. | |

GRADING & EROSION CONTROL INFORMATION

SEE GEC PLAN BY JORGENSEN ENGINEERING

WUI INFORMATION

PROJECT IS NOT WITHIN THE WILDLAND URBAN INTERFACE

CODE INFORMATION

APPLICABLE CODES:
2018 INTERNATIONAL BUILDING, MECH & PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2014 NATIONAL ELECTRICAL CODE

CONSTRUCTION TYPE VB, USE GROUP R-2
TWO STORIES, NO BASEMENT

ZONING:
NL-5

PARKING:
EXISTING = 2
PROPOSED = 3 TOTAL

FIRE PROTECTION:
SPRINKLERS REQUIRED - NFPA 13R

FENCING:
NO NEW FENCING PROPOSED

SETBACKS (BASED ON 3 RESIDENTIAL UNITS):
STREET YARD = 20'-0"
REAR YARD = 10'-0"
SIDE YARD = 10'-0"
PARKING STREET = 20'-0"
PARKING SIDE = 1'-0"
PARKING REAR = 5'-0"

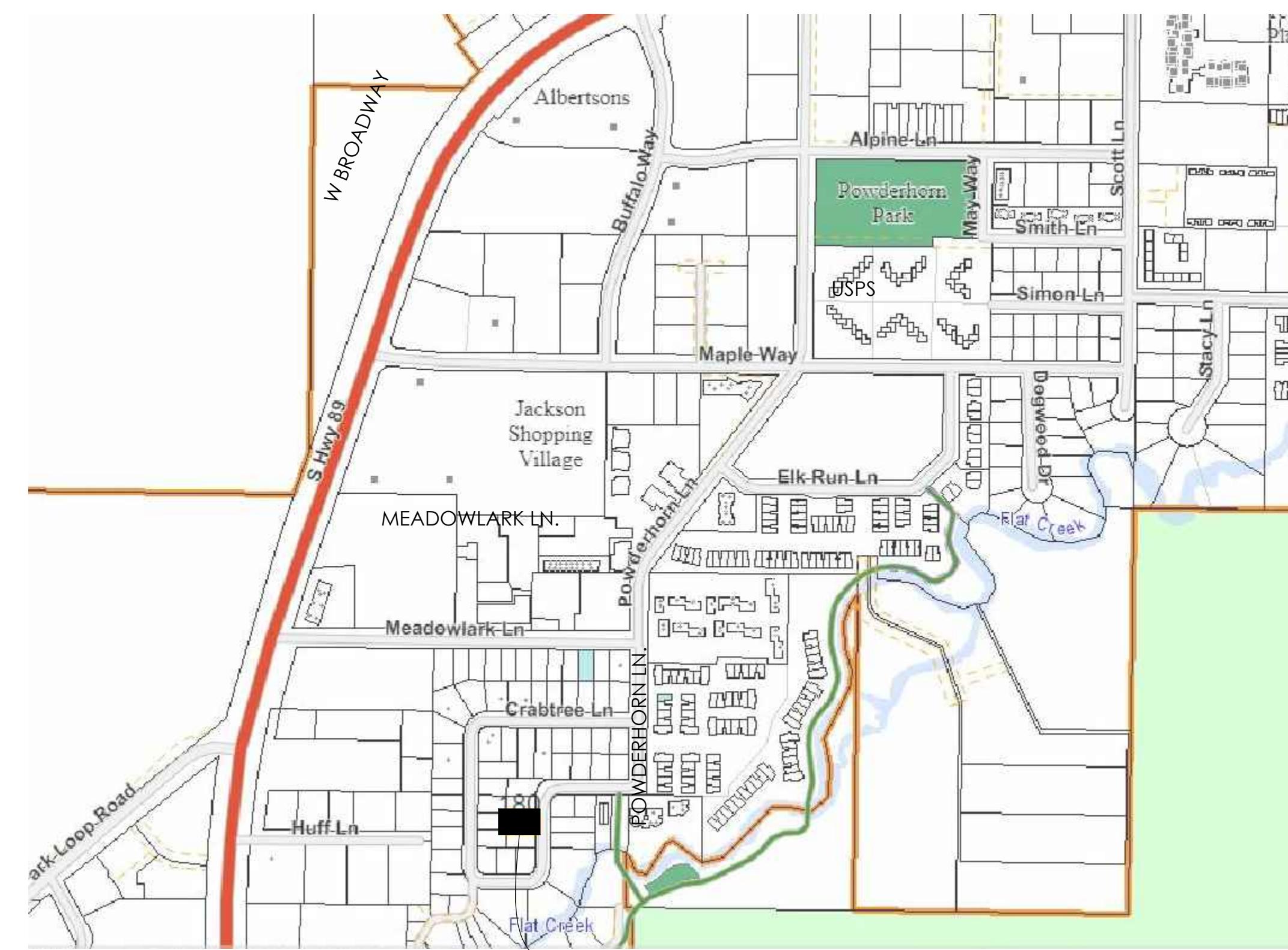
MAXIMUM HEIGHT:
28'-0" ABOVE GRADE, BASED ON EXISTING 4:12 ROOF PITCH

FROST DEPTH:
34" BELOW GRADE

*SEE STRUCTURAL DRAWINGS FOR SNOW, WIND, AND SEISMIC DESIGN INFO.

INDEX OF DRAWINGS

| | |
|------|--|
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| A1.2 | GENERAL CONST NOTES FLOOR AREA DIAGRAMS |
| C1.0 | CIVIL TITLE, VICINITY MAP & INDEX |
| C1.1 | CIVIL PROJECT NOTES & LEGEND |
| C2.0 | EXISTING SITE CONDITIONS |
| C2.1 | DEMOLITION PLAN |
| C3.0 | PROPOSED SITE CONDITIONS |
| C3.1 | SITE VEHICLE TRACKING |
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| A2.2 | FLOOR PLAN |
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| A4.1 | BUILDING SECTION |
| A4.2 | STAIR DRAWINGS |
| A4.3 | WINDOW SCHEDULE |
| A4.4 | DOOR SCHEDULE |
| A4.5 | INSULATION SCHEDULE |
| A4.6 | RADON MITIGATION NOTES |
| A4.7 | FIRE PROTECTION DETAILS |
| S1.0 | STRUCTURAL NOTES |
| S1.1 | STRUCTURAL SCHEDULES |
| S1.2 | TYPICAL FOUNDATION DETAILS |
| S1.3 | TYPICAL FRAMING DETAILS |
| S1.4 | TYPICAL ROOF DETAILS |
| S2.0 | FOUNDATION PLAN |
| S2.1 | MAIN LEVEL FLOOR PLAN |
| S2.2 | MAIN LEVEL FRAMING PLAN |
| S2.3 | UPPER LEVEL FLOOR PLAN |
| S2.4 | UPPER LEVEL FRAMING PLAN |
| S2.5 | ROOF PLAN |
| S3.0 | BUILDING SECTIONS |
| S4.0 | DETAILS |
| E1.0 | ELECTRICAL ONE LINE DIAGRAM |
| E1.1 | ELECTRICAL SERVICE CALCULATIONS |
| U1.1 | UTILITY NOTES |
| U2.1 | MECHANICAL, ELECTRICAL & PLUMBING PLANS |



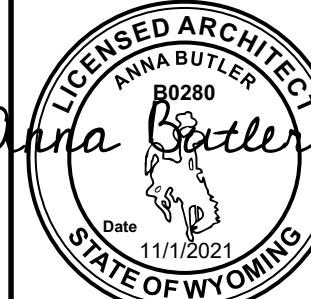
VICINITY MAP
NOT TO SCALE



PROJECT INFORMATION

| Project Number: | LEKREY TRIPLEX | Code / Zoning Information | Project Info | Architectural Site Plan |
|-----------------|---------------------------------------|----------------------------------|--------------------|---------------------------|
| Sheet Number: | 180 CRABTREE LANE JACKSON, WYOMING | Sheet Title: NOVEMBER 1, 2021 | Scale: AS NOTED | Date: NOVEMBER 1, 2021 |

A1.1



GENERAL CONSTRUCTION NOTES

1. PROVIDE MINIMUM 1/2-INCH GYPSUM BOARD SEPARATION BETWEEN THE RESIDENCE AND ITS ATTIC AREA AND THE GARAGE. SEPARATION SHALL BE ON THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT.

2. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2-INCH GYPSUM BOARD.

3. ATTACHMENT OF MASONRY OR STONE VENEER IN EXCESS OF 4 INCHES IN A SEISMIC DESIGN CATEGORY D1 OR LARGER THAN 3 INCHES IN A SEISMIC DESIGN CATEGORY D2 SHALL BE DESIGNED TO ACCEPTABLE ENGINEERING PRACTICES BY A WYOMING LICENSED ENGINEER.

4. IN BUILDINGS WITH COMBUSTIBLE CEILINGS OR ROOF CONSTRUCTION, AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL RISE OF 30 INCHES OR GREATER. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22 INCHES BY 30 INCHES AND SHALL LOCATED IN THE HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30 INCH MINIMUM UNOBSTRUCTED HEADROOM SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING.

5. IN COMBUSTIBLE CONSTRUCTION, FIRE-BLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STOREYS, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL CONSIST OF APPROVED MATERIALS AS DEFINED BY CODE.

6. PROVIDE FULLY TEMPERED OR SAFETY GLAZING FOR WINDOWS AND DOORS LOCATED IN HAZARDOUS LOCATIONS. GLAZING SHALL BE PERMANENTLY MARKED WITH A MANUFACTURER'S OR INSTALLER'S LABEL SHOWING THE TYPE AND THICKNESS OF THE GLASS AND THE SAFETY OR INSTALLER'S LABEL SHOWING THE TYPE AND THICKNESS OF THE GLASS AND THE SAFETY STANDARD WITH WHICH IT COMPLIES. HAZARDOUS LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO:

-IN DOORS FOR TUBS, SHOWERS, HOT TUBS SEAM ROOMS, AND SAUNAS. GLAZING IN ANY PART OF A WALL ENCLOSING OR ADJACENT TO THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 30 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.

-IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

-IN UNITS WITH AN EXPOSED AREA OF GREATER THAN 9 SQUARE FEET AND WHOSE LOWEST EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR THE FLOOR AND WHOSE TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR.

-IN WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS. EXCEPTIONS- WHERE THERE IS A RAIL INSTALLED ON THE ACCESSIBLE SIDE(S) OF THE GLAZING 34 TO 38 INCHES ABOVE THE WALKING SURFACE WHERE THE RAILING IS CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 LBS PER LINEAR FOOT.

-IN WINDOWS LOCATED WITHIN WALLS ENCLOSING STAIRWAY LANDINGS AND WITHIN 5'-0" OF EITHER THE BOTTOM OR TOP OF THE STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE.

7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 42 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSE OF THE TREADS. REQUIRED GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW THE PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY IS PERMITTED TO BE OF SUCH A SIZE THAT A 6 INCH SPHERE CANNOT PASS THROUGH.

11. STAIRS SHALL HAVE A MAXIMUM RISE OF 7 INCHES AND A MINIMUM TREAD DEPTH OF 11 INCHES. THE TREAD RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF EDGE THE RADIUS OF THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH.

-A NOSING OF NOT LESS THAN 3/4 INCH BUT NOT MORE THAN 1-1/4 INCH SHALL BE PROVIDED ON STAIRS WITH SOLID RISERS. A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11 INCHES. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES AS MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER SPHERE. THE GREATEST RISE, DEPTH OR NOSE PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

-THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

-A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 147 INCHES BETWEEN FLOOR LEVELS OR LANDINGS.

12. HANDRAILS SHALL BE PROVIDED ON AT BOTH SIDES OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. THE HANDRAILS SHALL BE PLACED NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES MEASURED VERTICALLY FROM A LINE TANGENT TO THE NOSE OF THE TREADS. HANDRAILS SHALL BE CONTINUOUS FOR THE FULL RUN OF THE STAIR, FROM A POINT DIRECTLY ABOVE THE TOP RISER TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAILS ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

13. THE HANDRAIL PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS- SECTION. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6-1/4 INCHES WITH A MAXIMUM CROSS SECTION OF 2-1/4 INCHES. HANDRAILS WITH A PERIMETER DIMENSION OF GREATER THAN 6-1/4 INCHES SHALL PROVIDE A GRASPABLE FINGER RECESS ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 1/4 MEASURES VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF 5/16 INCH WITHIN 7/8 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE AT LEAST 3/8 INCH TO A LEVEL THAT IS NOT LESS THAN 1-3/4 INCHES BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1-1/4 INCHES TO A MAXIMUM OF 2-3/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES.

14. THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7 INCHES BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING.

15. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS OR SMOKE ALARM/CARBON MONOXIDE DETECTOR COMBINATION UNITS SHALL BE INSTALLED OUT AND INSIDE IN THE IMMEDIATE VICINITY OF EACH SLEEPING ROOM AS WELL. SMOKE ALARMS SHALL ALSO BE INSTALLED WITHIN 3 FEET OF ANY BATHROOM CONTAINING A SHOWER OR BATHTUB, AND WITHIN 20 FEET OF ANY COOKING APPLIANCE OR WITHIN 10 FEET OF ANY COOKING APPLIANCE OR CONTAINING AN ALARM SILENCING SWITCH. ALARMS SHALL ALSO BE PLACED ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT CRAWL SPACES OR ATTICS. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS OF THE UNIT. THE ALARMS SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH THE INTERVENING DOORS BEING CLOSED. SMOKE ALARMS SHALL BE HARD-WIRED INTO THE BUILDING ELECTRICAL SUPPLY AND HAVE BATTERY BACK-UP POWER SUPPLY.

16. APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

17. NEW WINDOW ENCLOSING CONDITIONED SPACE WITHIN THE BUILDING ENVELOPE SHALL HAVE A MAXIMUM FENESTRATION U-FACTOR OF 0.35. THE U-FACTOR SHALL BE FOR THE WHOLE WINDOW AND SHALL DETERMINED IN ACCORDANCE WITH NFRC 100 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER.

18. FLASHING TO BE COPPER ASTM 3370 NOT LESS THAN 18 GA. OR STEEL TO BE NOT LESS THAN 24 GA. WITH BAKED ENAMEL FINISH.

GENERAL CONDITIONS

1. THIS PROJECT SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE AND ALL ADDENDED CODES AS REQUIRED BY THE TOWN OF JACKSON, ANY BUILDING OFFICIAL, CONTRACTOR, SUBCONTRACTOR OR TRADESPERSON NOTING DISCREPANCIES SHALL NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY.

2. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY COUNTY BUILDING AND FIRE DEPARTMENTS, HUD, STATE ELECTRICAL INSPECTOR OR ANY OTHER GOVERNING AUTHORITIES AS NECESSARY.

3. CONTRACTOR SHALL OBTAIN AND ARRANGE PAYMENT FOR ALL TEMPORARY UTILITIES NECESSARY FOR CONSTRUCTION, INCLUDING TEMPORARY SEPTIC FACILITIES. A JOB PHONE MUST BE MAINTAINED ON SITE FOR THE DURATION OF CONSTRUCTION (CELLULAR PHONES ACCEPTABLE) AND THE NUMBER SHALL BE MADE AVAILABLE TO THE ARCHITECTURAL DESIGNER AND OWNER.

4. ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED AND CONTAINED NEATLY ON SITE DISPOSAL, WHICH SHALL BE DONE AT THE COUNTY LANDFILL OR RECYCLING FACILITY ONLY. ON-SITE REFUSE BURNING WILL BE DONE ONLY WITH APPROVAL BY OWNER, TETON COUNTY FIRE DEPARTMENT, AND SUBDIVISION HOMEOWNERS ASSOCIATION.

5. CONTRACTOR SHALL INFORM ARCHITECTURAL DESIGNER OF ANY AND ALL OWNER REQUESTED CHANGES OR DIRECTIVES FOLLOWING OWNER/CONTRACTOR CONVERSATIONS. CONTRACTOR SHALL NOT PROCEED WITH REQUESTED CHANGES WITHOUT PRIOR REVIEW FROM THE DESIGNER AND WRITTEN CHANGE ORDER.

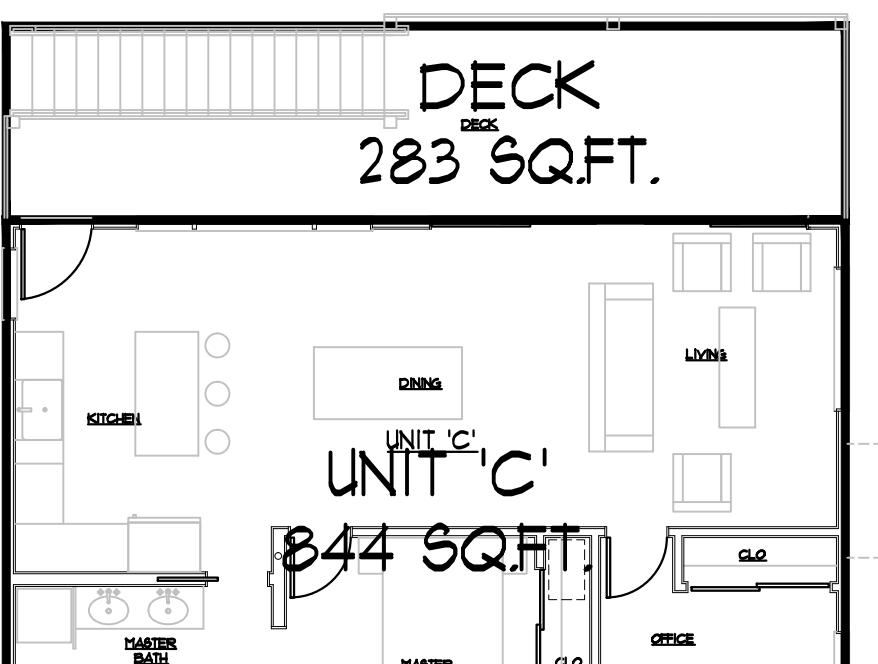
6. EXCEPT IN INTERIOR ELEVATIONS, AND UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE WALL. INTERIOR ELEVATION DIMENSIONS ARE GIVEN TO FACE OF FINISH MATERIAL. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO COORDINATE DIMENSIONS OF STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. VERIFY DISCREPANCIES WITH DESIGNER.

7. DO NOT SCALE DRAWINGS. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. NOTIFY DESIGNER OF ANY DISCREPANCIES.

8. CONTRACTOR SHALL PROVIDE PROPER STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

9. ALL SUBSTITUTIONS ARE TO BE APPROVED BY DESIGNER ALONG WITH WRITTEN REQUESTS. CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION INCLUDING COST, AVAILABILITY, AND REASON FOR SUBSTITUTION.

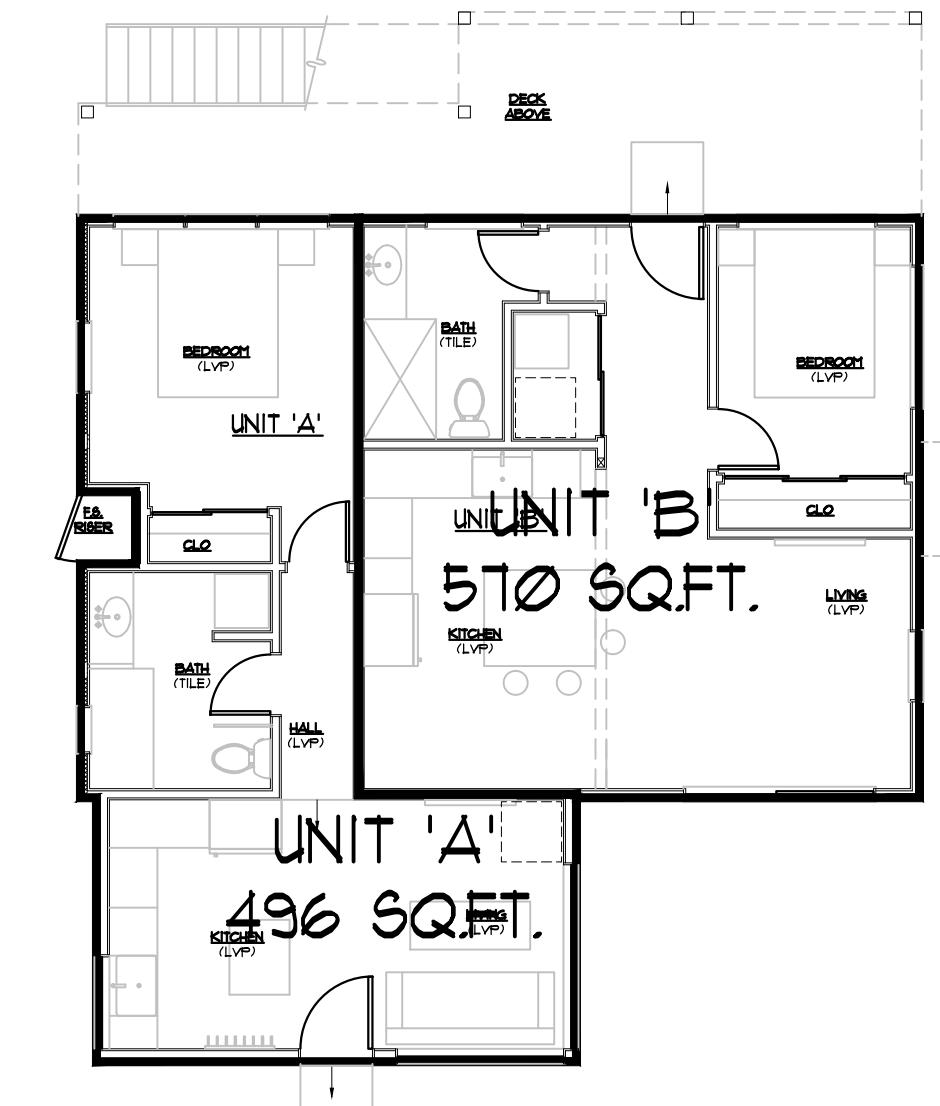
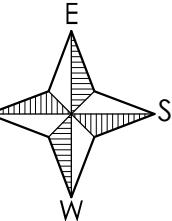
10. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES AND STAIN COLORS FOR APPROVAL BY OWNER/DESIGNER PRIOR TO APPLICATION. THIS INCLUDES INTERIOR AND EXTERIOR STAINS, PAINTS, SHEETROCK TEXTURES, CHEMICALLY APPLIED METAL PATINAS, STONE VENEER MATERIALS, AND MASONRY TECHNIQUE.



DECK
283 SQ.FT.
UNIT 'C'
844 SQ.FT.

UPPER FLOOR AREAS

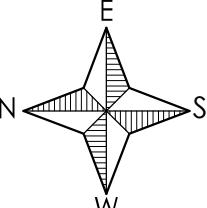
1/8"=1'-0"



UNIT 'B'
570 SQ.FT.
UNIT 'A'
496 SQ.FT.

LOWER FLOOR AREAS

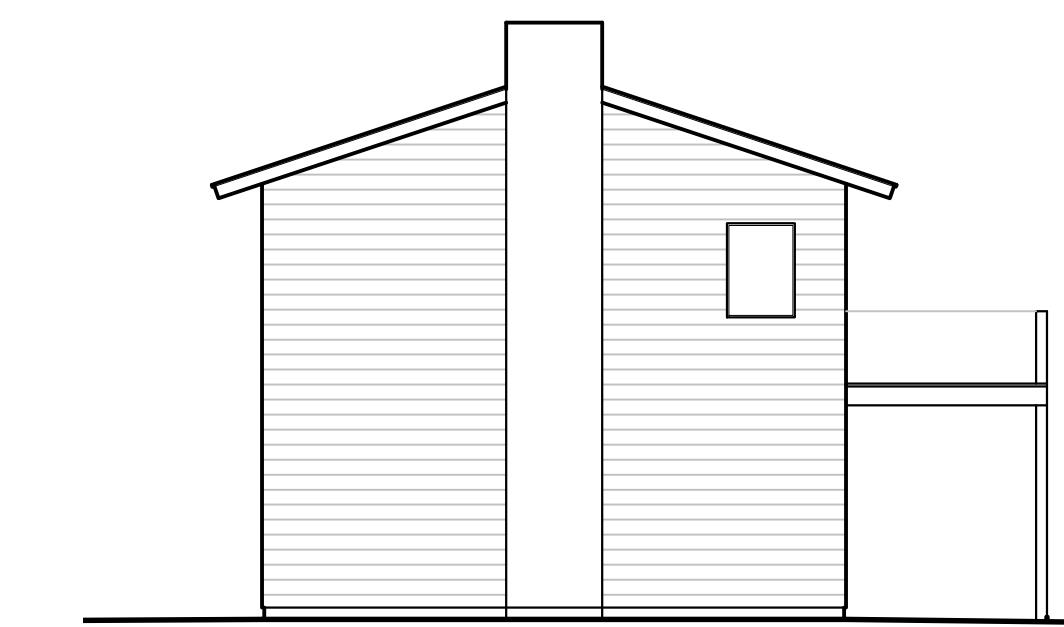
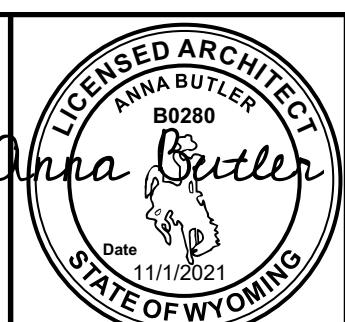
1/8"=1'-0"



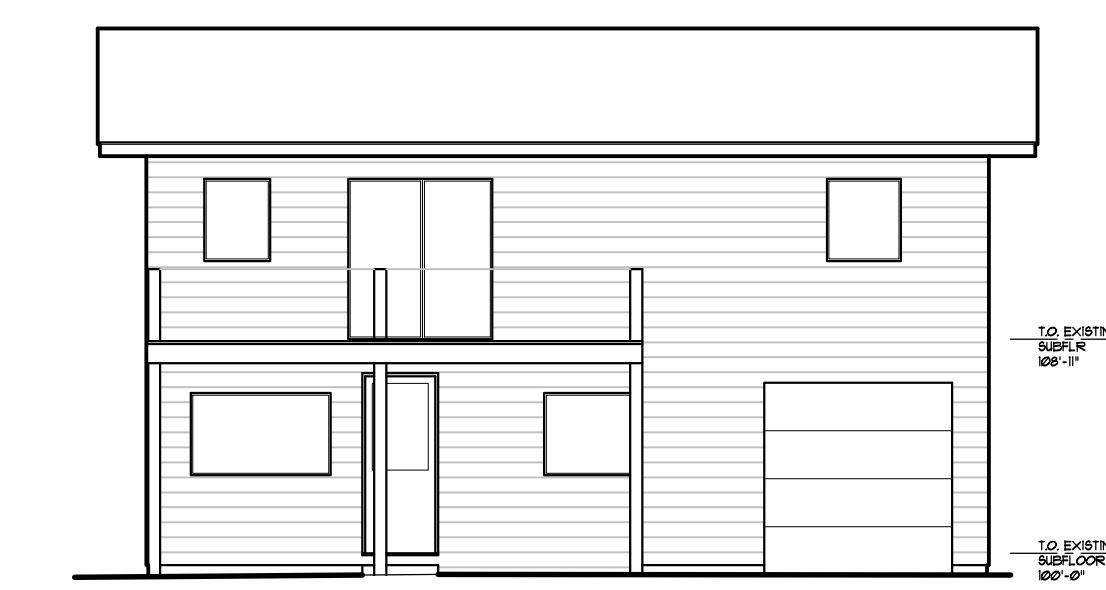
LEKREY TRIPLEX
180 CRABTREE LANE
JACKSON, WYOMING

MIRRO STUDIO
ANNA BUTLER, AIA
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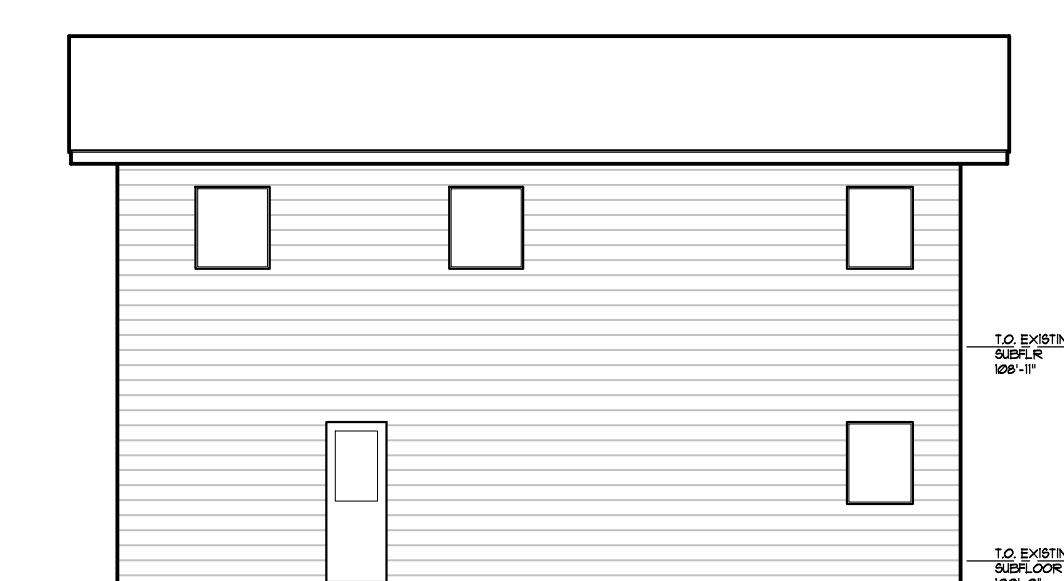
Project Number:
AS NOTED
Scale:
1/8"=1'-0"
Date:
NOVEMBER 1, 2021
Sheet Number:
A1.2



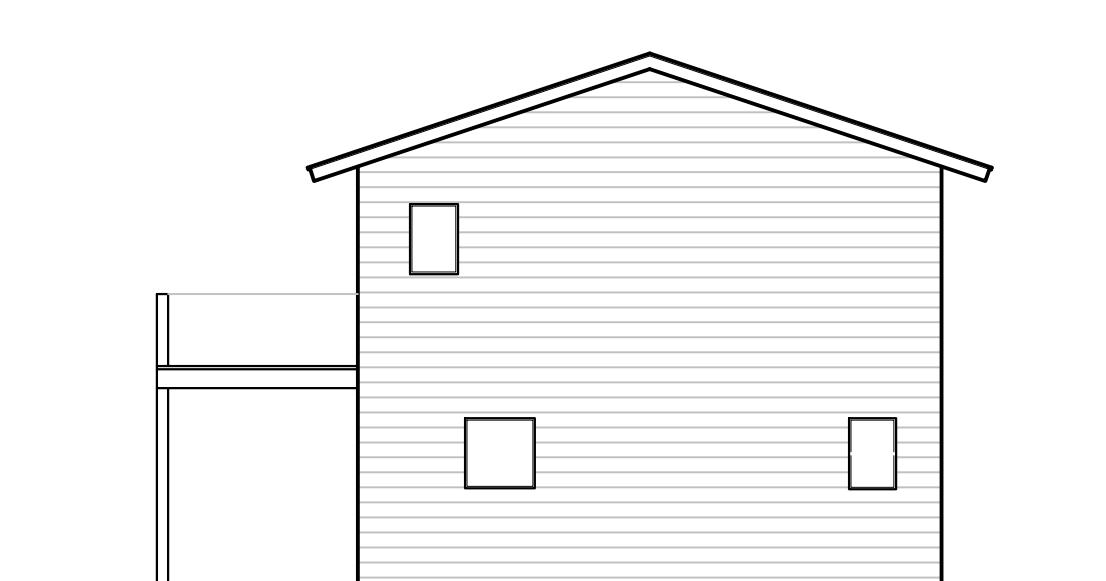
EXISTING SOUTH ELEVATION
1/8" = 1'-0"



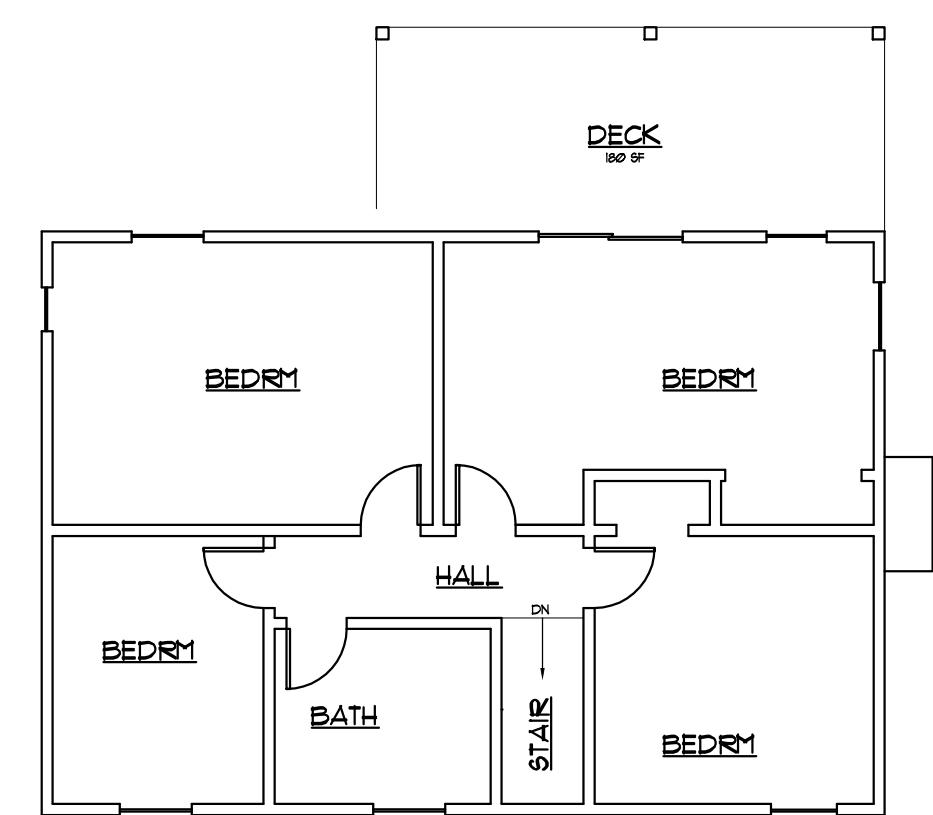
EXISTING EAST ELEVATION
1/8" = 1'-0"



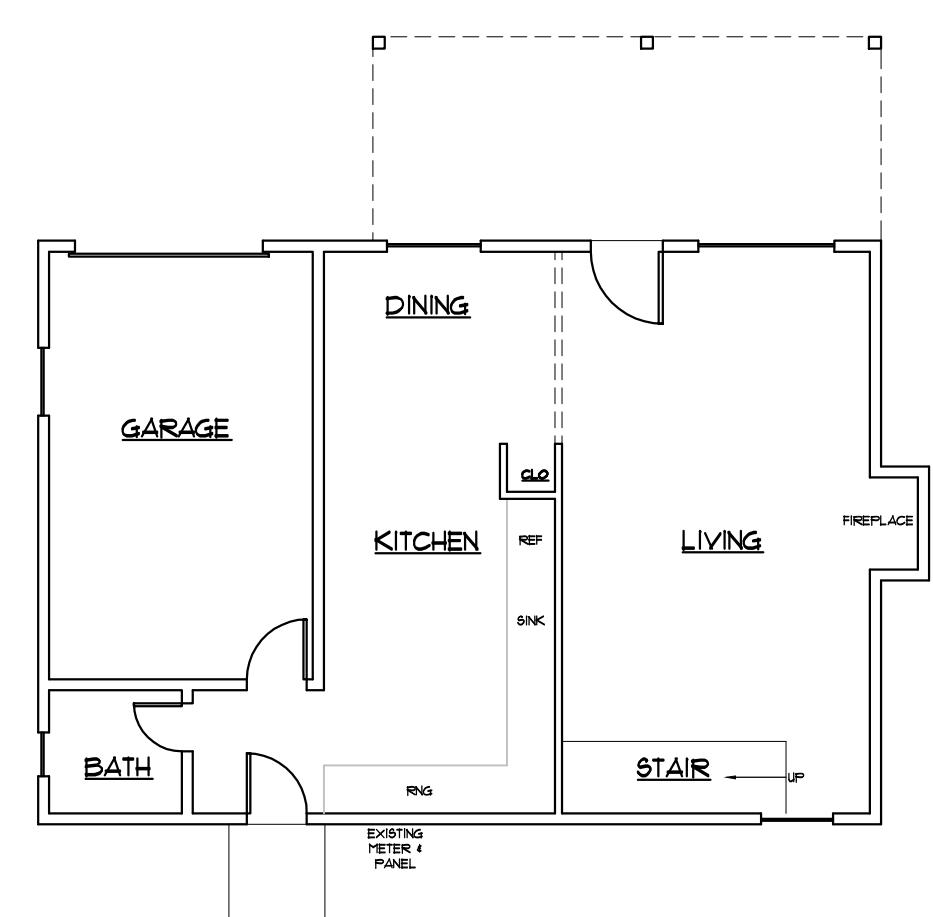
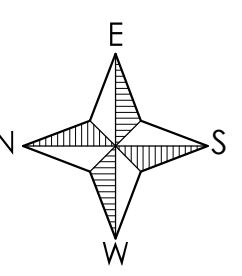
EXISTING WEST ELEVATION
1/8" = 1'-0"



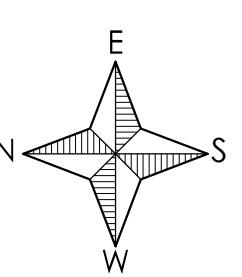
EXISTING NORTH ELEVATION
1/8" = 1'-0"



EXISTING UPPER LEVEL PLAN
1/8" = 1'-0"



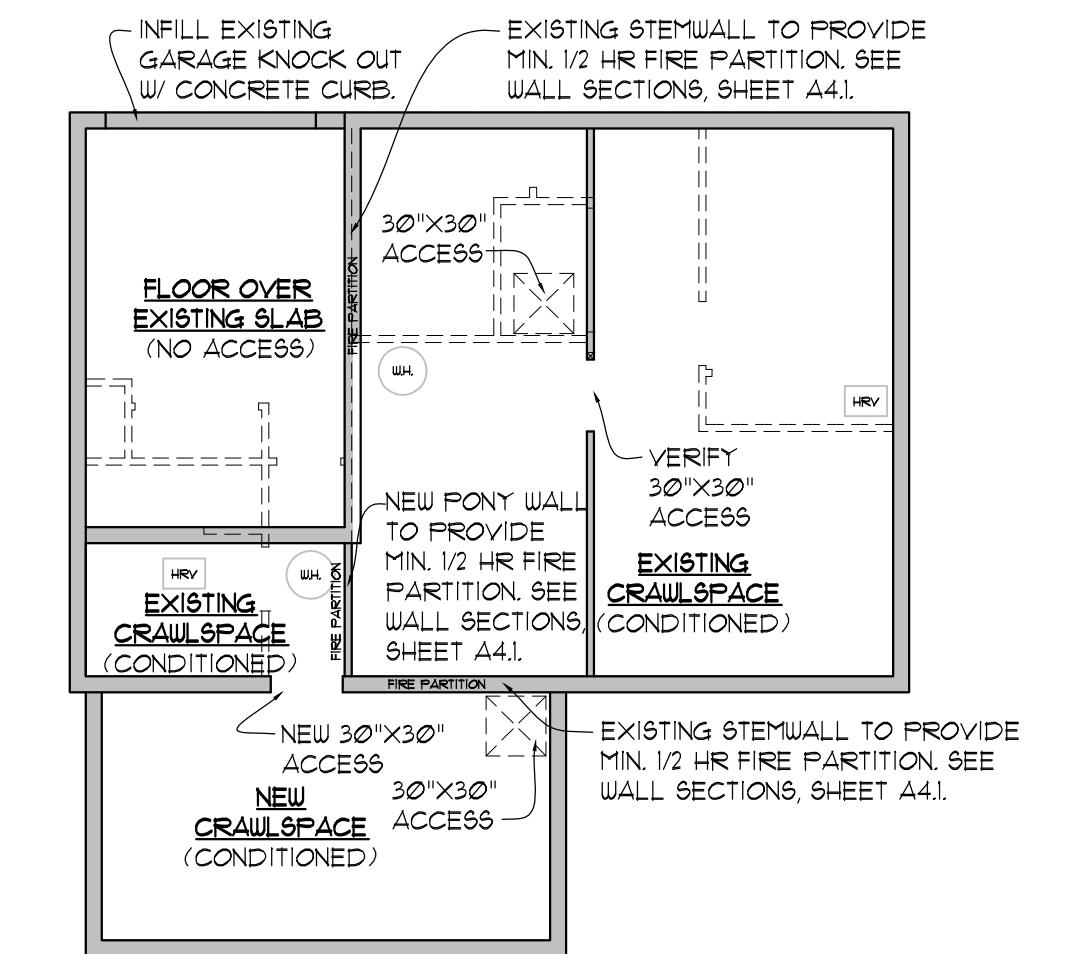
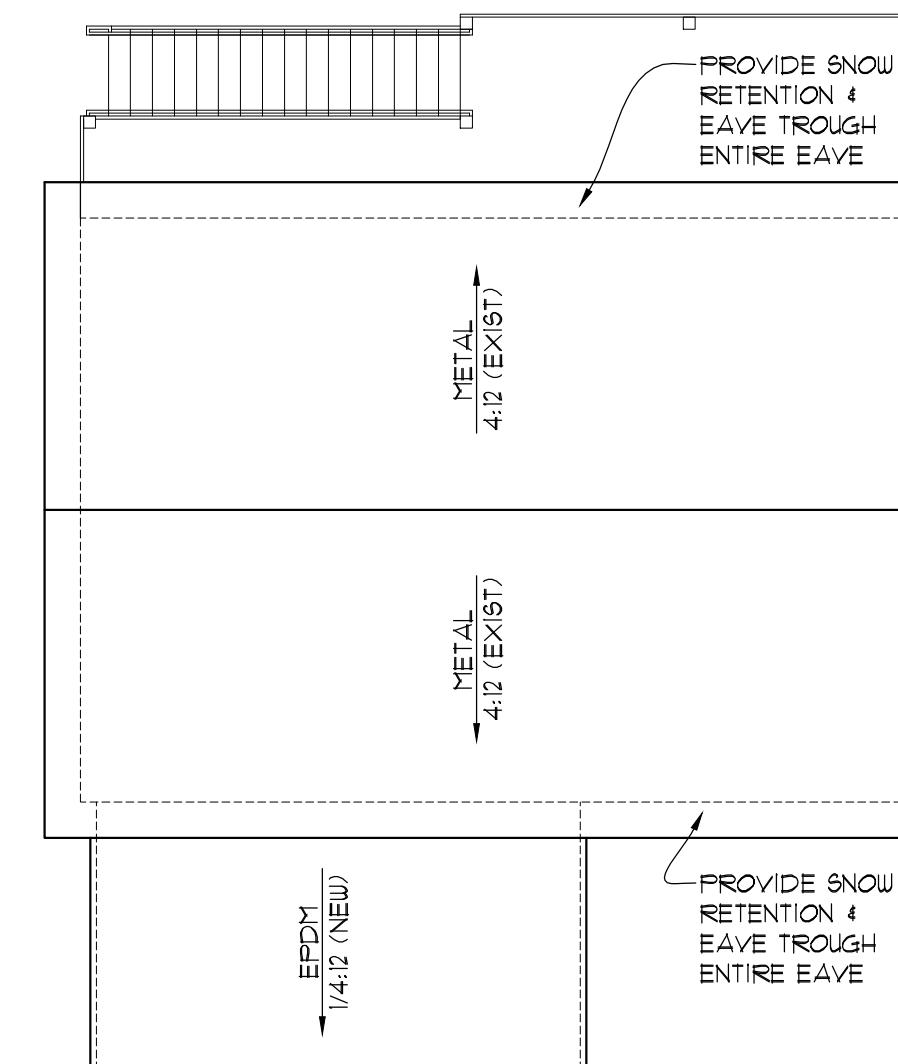
EXISTING LOWER LEVEL PLAN
1/8" = 1'-0"



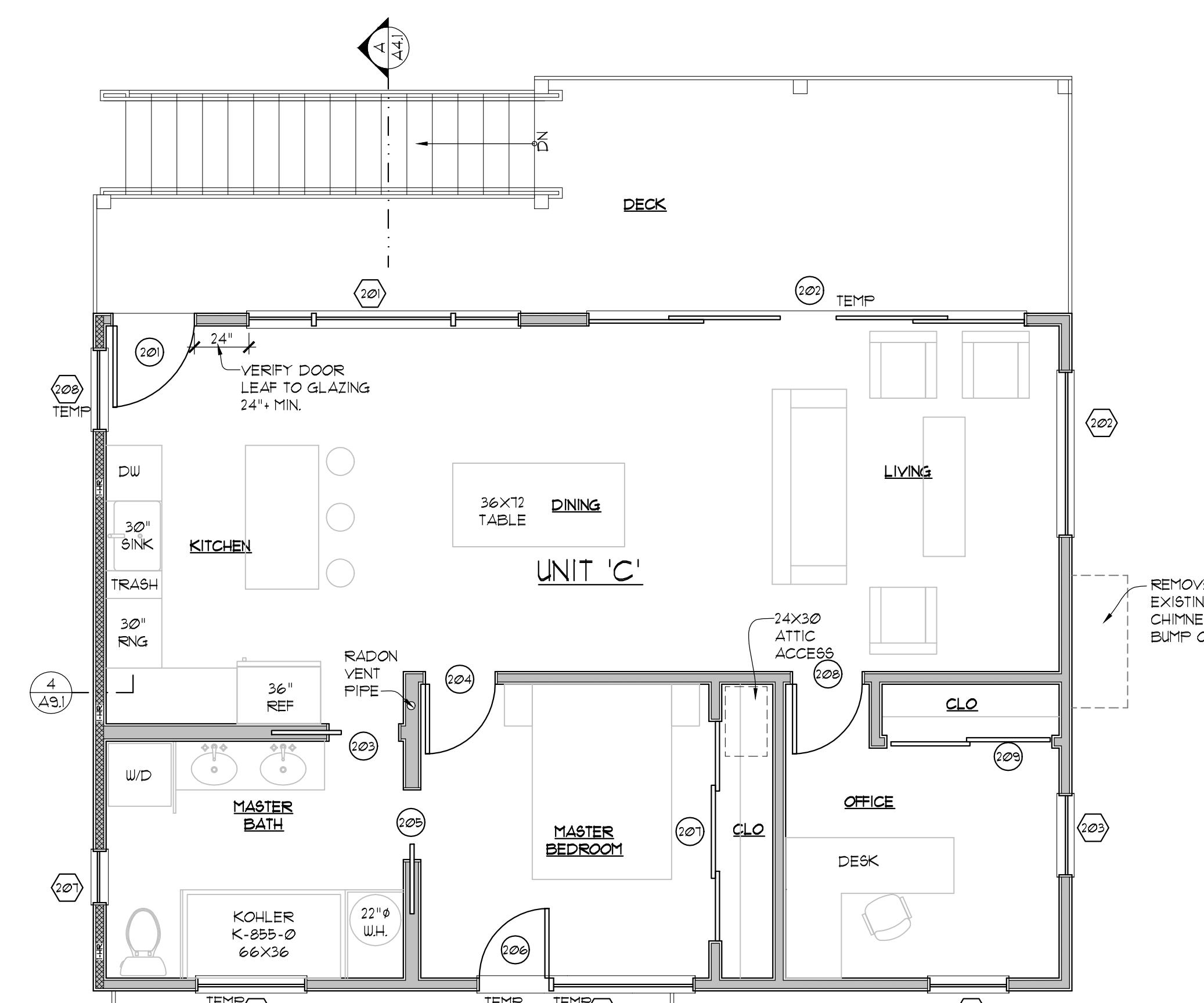
Project Number: LEKREY TRIPLEX
Sheet Title: EXISTING FLOOR PLANS
Scale: AS NOTED
Date: NOVEMBER 1, 2021

Sheet Number: 180 CRABTREE LANE JACSON, WYOMING
Sheet Title: EXISTING EXTERIOR ELEVATIONS
Scale: 1/8" = 1'-0"

A2.0



ROOF PLAN
1/8" = 1'-0"



WALL LEGEND

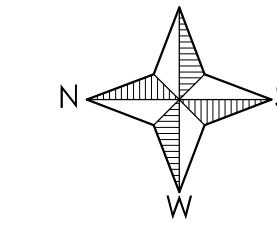
SEE DETAILS SHEET A9.1 & ASSEMBLY NOTES A4.1

1-HR FIRE RATED WALL BOTH SIDES

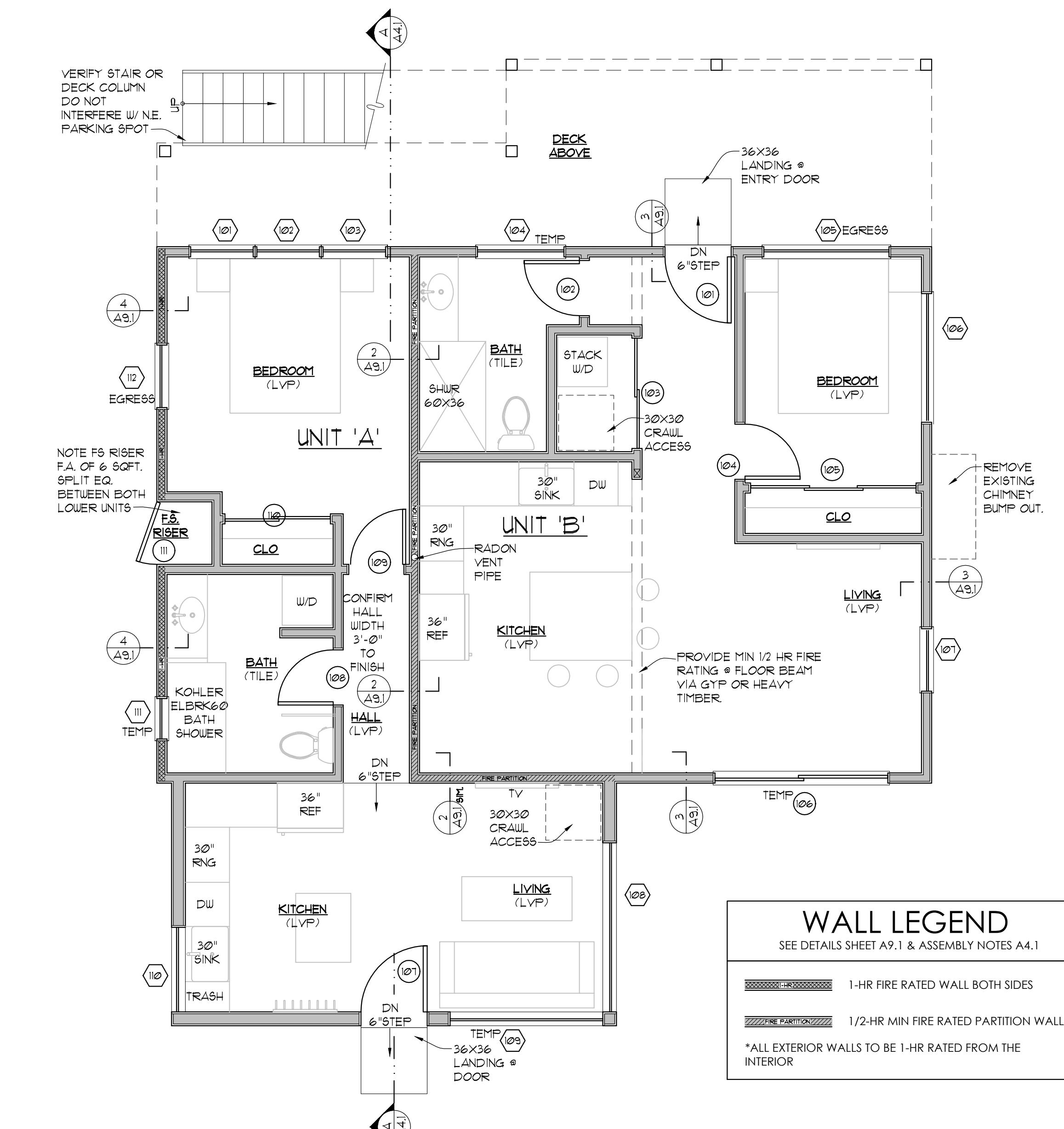
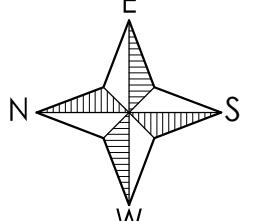
1/2-HR MIN FIRE RATED PARTITION WALL

*ALL EXTERIOR WALLS TO BE 1-HR RATED FROM THE INTERIOR

UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"



CRAWLSPACE PLAN
1/8" = 1'-0"



WALL LEGEND

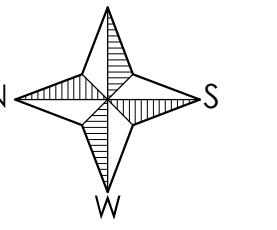
SEE DETAILS SHEET A9.1 & ASSEMBLY NOTES A4.1

1-HR FIRE RATED WALL BOTH SIDES

1/2-HR MIN FIRE RATED PARTITION WALL

*ALL EXTERIOR WALLS TO BE 1-HR RATED FROM THE INTERIOR

LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"



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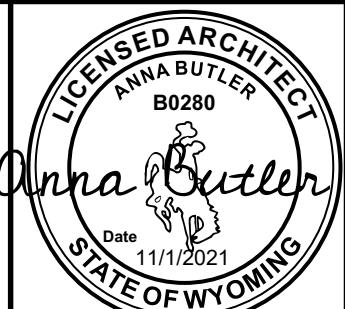
REVISIONS

PROPOSED
FLOOR PLANS

Project Number:
LEKREY TRIPLEX
180 CRABTREE LANE
JACKSON, WYOMING

Scale:
AS NOTED
Date:
NOVEMBER 1, 2021
Sheet Number:

A2.1



UNIT 'C'

DECK dimensions: 34'-11 1/2"

VERIFY

KITCHEN dimensions: 8'-0" x 14'-5 1/4"

DINING dimensions: 10'-6 1/4" x 12'-6 3/4"

MASTER BEDROOM dimensions: 10'-6 1/4" x 10'-8 1/2"

MASTER BATH dimensions: 8'-0" x 4'-3"

LIVING dimensions: 15'-9 1/2" x 11'-6 1/2"

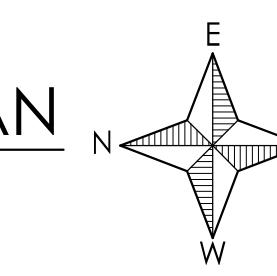
OFFICE dimensions: 7'-0 3/4" x 6'-9 3/4"

CLO dimensions: 3'-2" x 2'-0"

ROOF DECK

Structural details include joists, beams, and columns labeled with numbers 201 through 209. Room dimensions are indicated by horizontal and vertical lines with specific measurements.

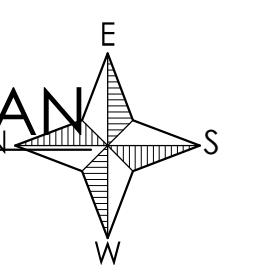
UPPER LEVEL DIMENSION PLATE



LOWER LEVEL DIMENSION PLAN

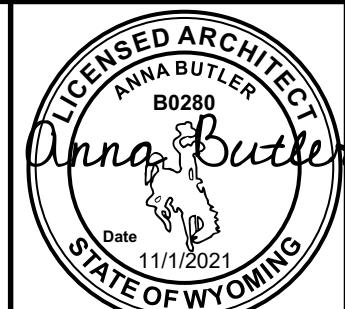
1/4" = 1'-0"





| | | |
|---|--|--|
| <p>Project Number: LEKREY TRIPLEX</p> <p>Sheet Number: 1</p> <p>Scope: AS NOTED</p> <p>Date: NOVEMBER 2021</p> | | <p>Sheet Title: DIMENSION PLANS</p> |
| <p>A2.2</p> | | |
| <p>REVISIONS</p> | | |
| <p>MIRO STUDIO architecture</p> <p>ANNA BUTLER, AIA P.O. Box 12374 Jackson, WY 83002 307.690.4187 mobile anna@miroarchitect.com</p> | | |
| <p>LICENSED ARCHITECT ANNA BUTLER B0280</p> <p>STATE OF WYOMING</p> <p>Date 11/1/2021</p> | | |

A2.2



This architectural drawing shows a house with a gabled roof and a central entrance. The rooms are labeled with hexagonal numbers: 203, 202, 108, 107, and 106. Arrows point from numbered callouts to specific features: 2 points to a window, 3 points to a window, 4 points to a window, 5 points to the roofline, 6 points to a window, and 4 points to a window. Elevation details are shown on the right: 'T.O. EXISTING SUBFLR 108'-11" and 'T.O. EXISTING SUBFLOOR 100'-0".

SOUTH ELEVATION

1/4" = 1'-0"

Architectural floor plan showing a building section with exterior walls, windows, and interior rooms. The plan includes labels for 'TEMP' (temperature sensors), 'EGRESS' (exit), and 'DOWNLIGHT SCONCE' (lighting fixtures). Various numbered callouts (1-7) point to specific features, and dimensions like 108'-11" are indicated.

Labels and dimensions:

- TEMP (202)
- TEMP (201)
- TEMP
- EGRESS
- DOWNLIGHT SCONCE, SEE UI.I, 3 PLACES @ DECK.
- DOWNLIGHT SCONCE, SEE UI.I, 2 PLACES @ STAIR.
- STAIR BEYOND, SEE STAIR DWGS, SHEET A4
- T.O. EXISTING SUBFLR 108'-11"
- T.O. EXISTING SUBFLOOR 108'-11"

Callouts:

- 2 (top left)
- 3 (second from top left)
- 4 (third from top left)
- 5 (left side, pointing to a sconce)
- 6 (bottom left)
- 4 (bottom left)
- 5 (right side, pointing to a sconce)
- 7 (bottom right)

EAST ELEVATION

1/4" = 1'-0"

1

2

3

4

DLIGHT SCONCE,
SEE U.I.

8

DLIGHT SCONCE,
SEE U.I.

4

106

107

108

109

204

205

206

207

T.O. EXIST
SUBFLR
108'-11"

DLIGHT
SEE U.I.

106

107

108

109

204

205

206

207

T.O. EXIST
SUBFLR
100'-0"

WEST ELEVATION

1/4" = 1'-0"

This architectural floor plan illustrates a building section with various rooms and safety equipment. Key features include:

- Rooms:** 208 TEMP, 207, EGRESS, RIGER ROOM, 111, 112, 110.
- Equipment:** STROBE, KNOX BOX, FD CONNECTION.
- Annotations:** DOWNLIGHT SCONCE, SEE U.I. (multiple locations), T.O. EXISTING SUBFLR 108'-11", T.O. PROPOSED SUBFLOOR 99'-6".
- Figure:** A human figure is shown on the left side of the plan.
- Numbers:** 2, 3, 4, 5, 6, 7, 8 are placed in diamond shapes along the left and right edges.

NORTH ELEVATION

1/4" = 1'-0"

| EXTERIOR FINISH SCHEDULE | | | | |
|--------------------------|-------------------|----------|---|-------|
| TAG | LOCATION | MATERIAL | DESCRIPTION | NOTES |
| 1 | ROOF | METAL | STANDING SEAM METAL ROOF, NON REFLECTIVE, BLACK | |
| 2 | FASCIA | WOOD | ONE STEP, CEDAR, SOLID BLACK STAIN. | |
| 3 | SOFFIT | WOOD | CEDAR, NATURAL FINISH | |
| 4 | SIDING | WOOD | RUSTIC ENGINEERED WOOD SIDING BY WOODTONE, WHITE GRANITE | |
| 5 | EAST DECK & STAIR | WOOD | WOOD DECK RAIL INFILL & STAIR SCREENING, 1X SPACED CEDAR, NATURAL FINISH. | |
| 6 | EAST DECK | WOOD | WOOD DECK COLUMNS & BEAMS, NATURAL FINISH | |
| 7 | STAIR | WOOD | WOOD STRINGER & TREADS, NATURAL FINISH | |
| 8 | WEST ROOF DECK | METAL | METAL DECK RAIL & INFILL, POWDER COATED BLACK. | |

A3.1

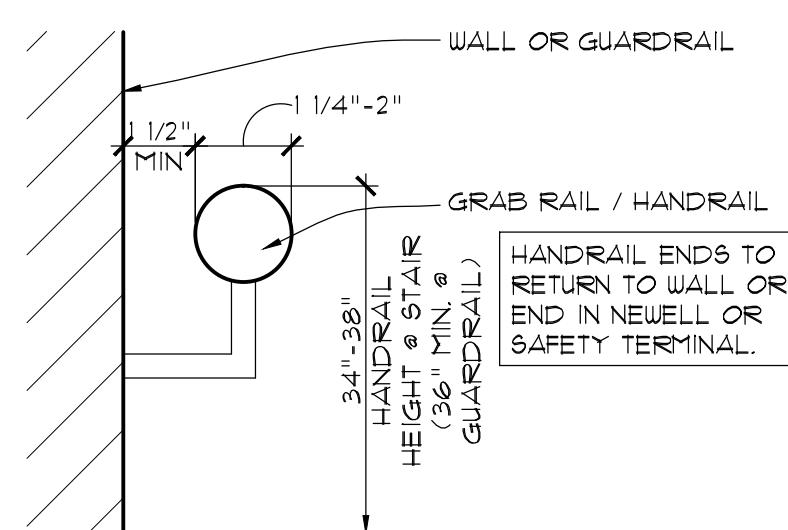
LEKREY
TRIPLEX
180 CRABTREE LANE

PROPOSED EXTERIOR ELEVATIONS

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architecture
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Jackson, WY 83002
307.690.4187 mobile

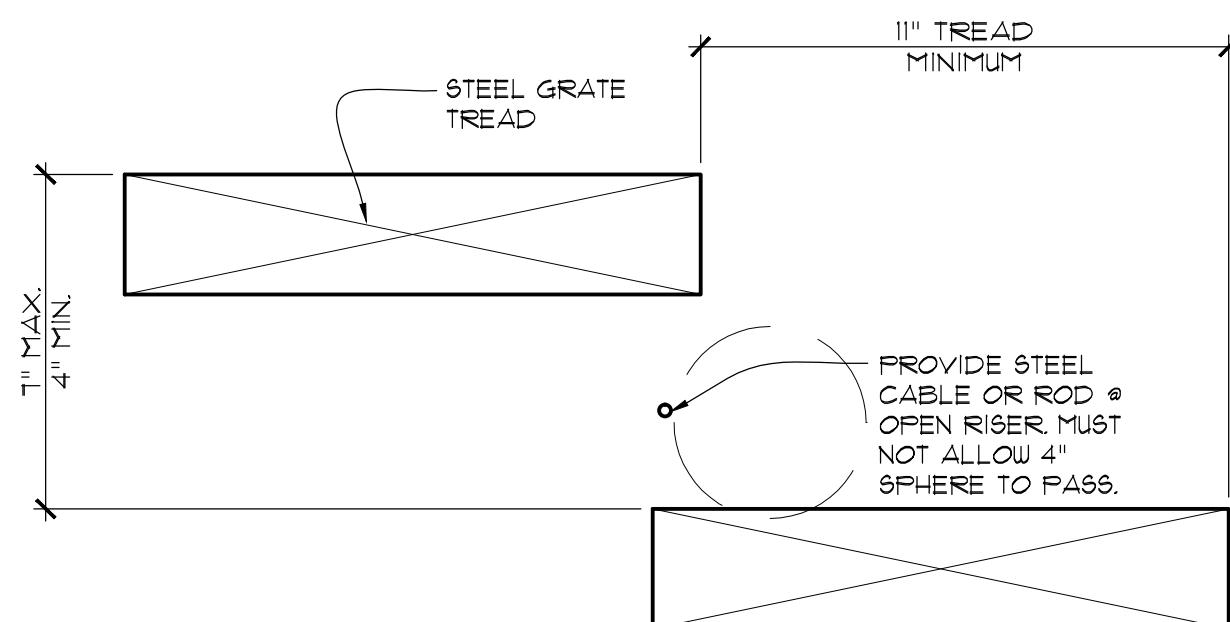
A circular library stamp. The outer ring contains the text 'LIBRARY STAMP' at the top and 'CENSUS BUREAU' at the bottom. The center of the stamp features a profile of a person's head facing left, with the name 'ANNA BUTLER' written above it. Below the profile, the identification number 'B0280' is printed. At the bottom of the stamp, the word 'Date' is followed by the date '11/1/2021'.

A circular library stamp. The outer ring contains the text 'LIBRARY STAMP' at the top and 'CENSUS BUREAU' at the bottom. The center of the stamp features a drawing of a person in profile, facing right. The name 'ANNA BUTLER' is written above the drawing, and the identification number 'B0280' is written below it. At the bottom of the stamp, the word 'Date' is followed by the date '11/1/2021'.



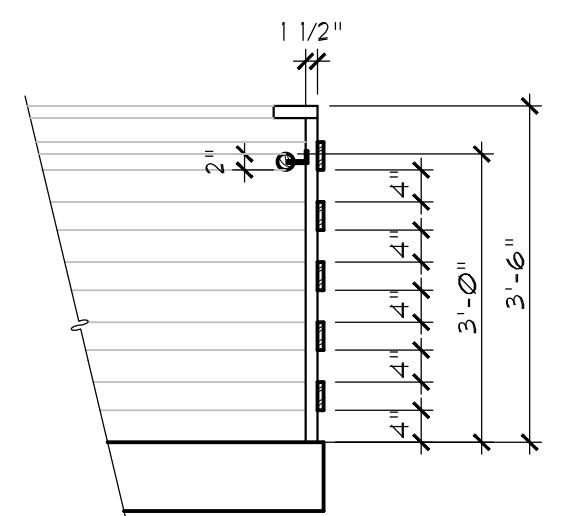
2. TYPICAL GRABRAIL

3" = 1'-0



3. TYPICAL STAIR TREAD

$$\underline{3'' = 1'-0}$$

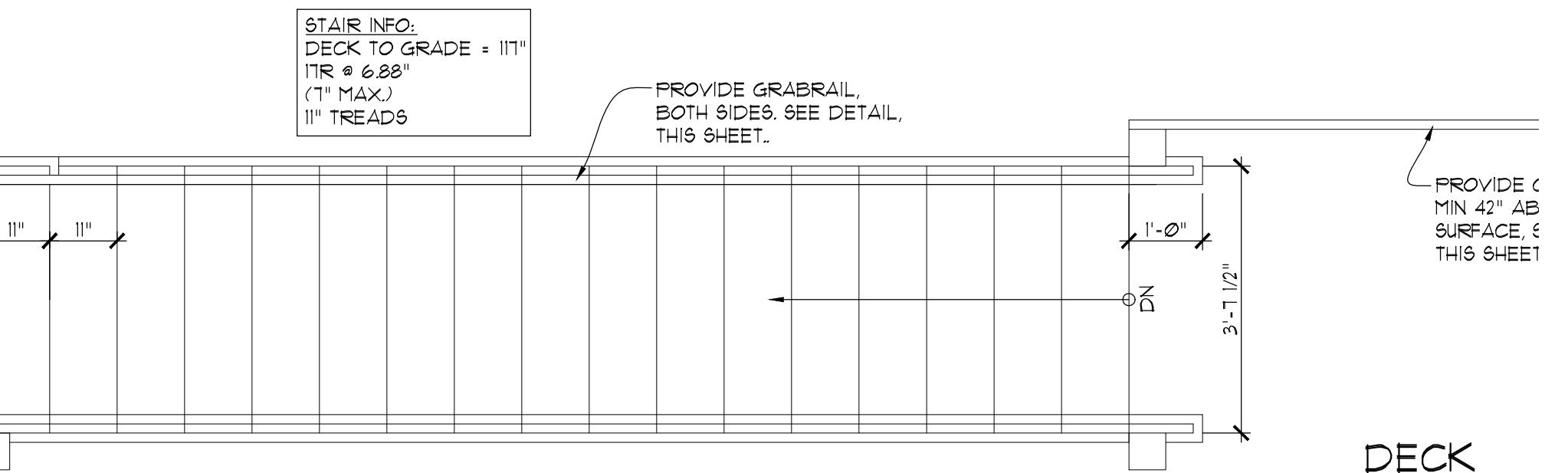


1. TYPICAL GUARDRAIL

1/2" = 1'-0"

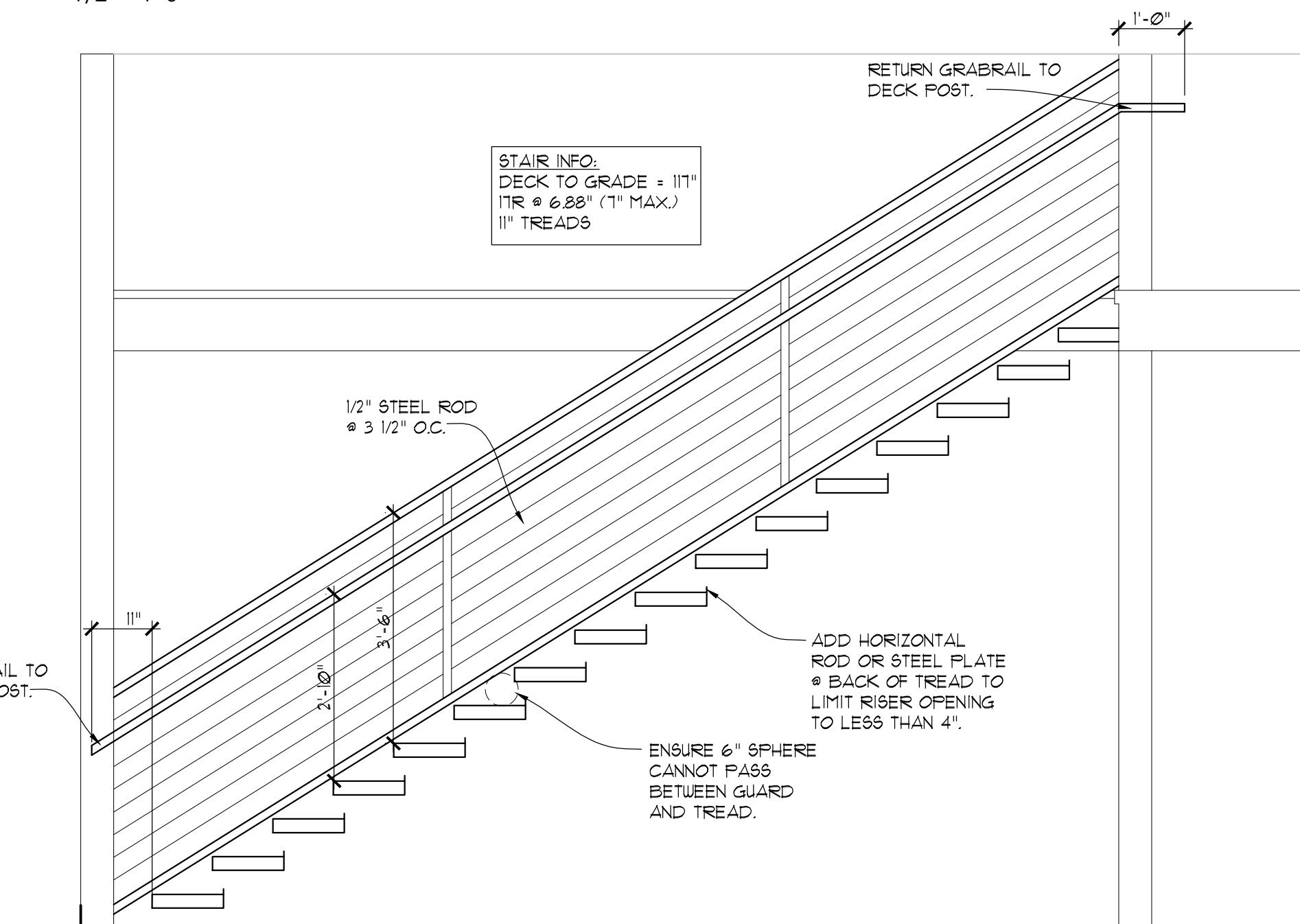
STAIR NOTES

1. STAIR RISER HEIGHTS SHALL BE 7" MAX AND 4" MIN. STAIR TREADS SHALL BE 11" MIN. STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT SHALL NOT EXCEED 0.375"
2. RISERS SHALL BE SOLID AND VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE MORE THAN 30° FROM THE VERTICAL. THE LEADING EDGE OF TREADS SHALL NOT PROJECT MORE THAN 1.25" BEYOND THE TREAD BELOW AND ALL PROJECTIONS OF THE LEADING EDGES SHALL BE OF UNIFORM SIZE, INCLUDING THE LEADING EDGE OF THE FLOOR AT THE TOP OF FLIGHT.
3. THE WIDTH OF A LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY THEY SERVE.
4. STAIRWAY TREADS AND LANDINGS SHALL HAVE A SOLID SURFACE. FINISH FLOOR SURFACES SHALL BE SECURELY ATTACHED. OUTDOOR STAIRWAYS SHALL BE DESIGNED SO THAT WATER DOES NOT ACCUMULATE ON WALKING SURFACES.
5. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12' BETWEEN FLOOR LEVELS OR LANDINGS.
6. STAIRS SHALL HAVE HANDRAILS ON EACH SIDE NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE STAIR TREAD NOSING.
7. HANDRAILS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25 INCHES AND NOT GREATER THAN 2".
8. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS.
9. HANDRAILS SHALL EXTEND HORIZONTALLY AT LEAST 12" BEYOND TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
10. CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE A MINIMUM OF 1.5". HANDRAIL, WALL OR OTHER ADJACENT SURFACE SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.



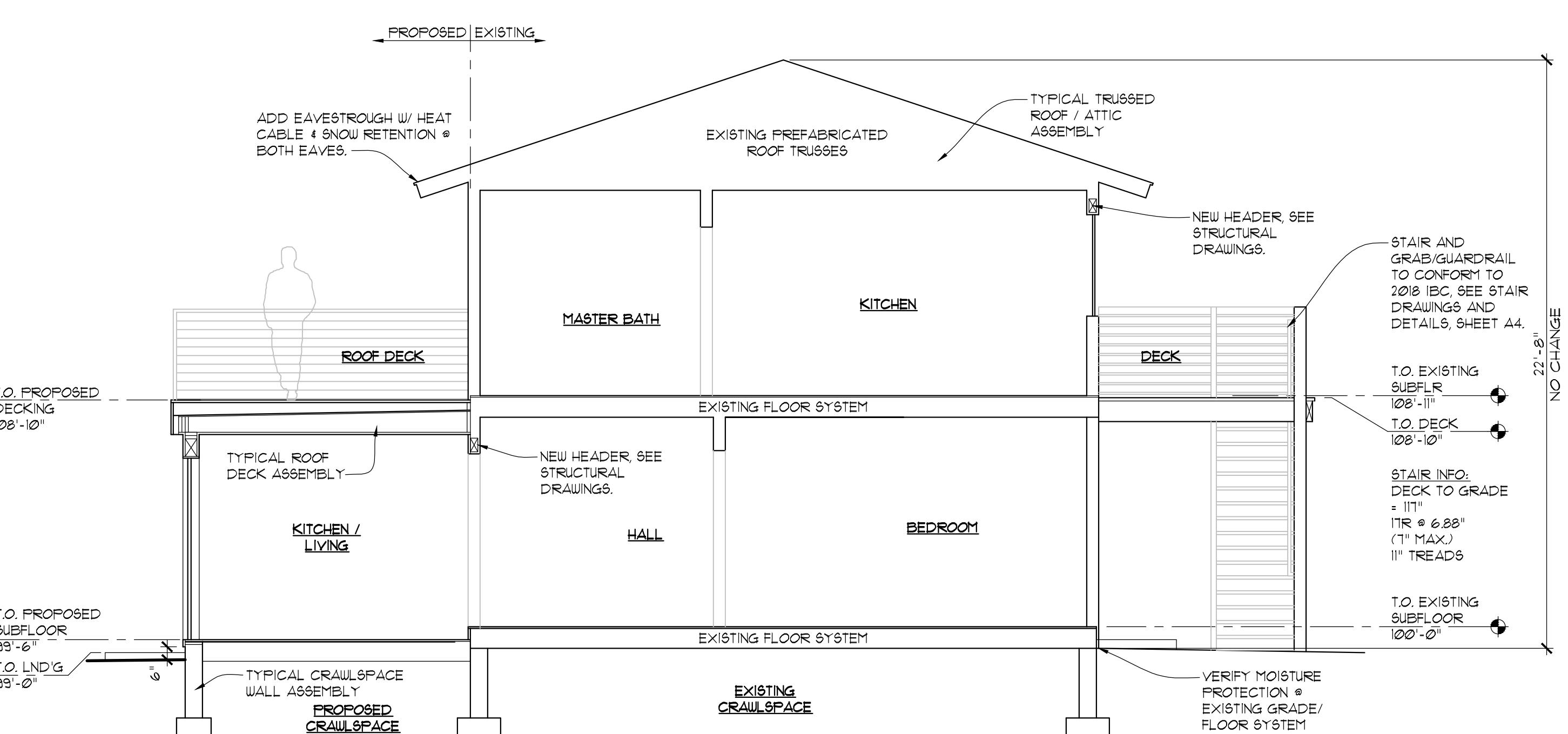
STAIR PLAN

1/2" = 1'-0"



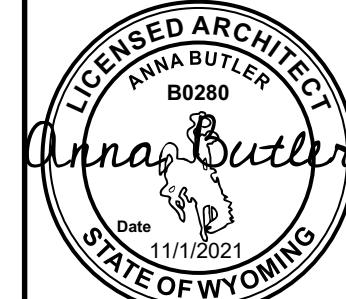
STAIR SECTION

1/2" = 1' 0"



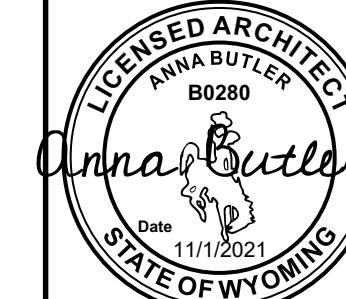
BUILDING SECTION

1/4" = 1'-0"



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|-----------------------------|---------------------------|--|--|
| Project Number: | LEKREY TRIPLEX | | |
| Sheet Number: | SECTION ON ASSEMBLY NOTES | | |
| Scale: | BUILDING SECTION | | |
| Date: | NOVEMBER 1, 2021 | | |
| Sheet Title: | | REVISIONS | |
| MIRO STUDIO architecture | | ANNA BUTLER, AIA P.O. Box 12374 Jackson, WY 83002 307.690.4187 mobile anna@miroarchitect.com | |
| STAIR PLANS DETAILS | | 180 CRABTREE LANE JACKSON, WYOMING | |

A4.



| DOOR SCHEDULE | | | | | | |
|---------------|-----------|----------------------|-----------------------|---------------|-------------|--|
| TYPE | MANUF/NO. | LOCATION | LEAF SIZE (W x H x T) | HARDWARE TYPE | HEAD HEIGHT | NOTES |
| 101 | T.B.D. | UNIT B ENTRY | 3'-0" x 6'-8" | ENTRY | VARIES | FULL LITE INSULATED TEMPERED ENTRY DOOR |
| 102 | | UNIT B BATH | 2'-6" x 6'-8" | PRIVACY | BASED | SOLID CORE WOOD INTERIOR DOOR |
| 103 | | UNIT B LAUNDRY | (2) 2'-8" x 6'-8" | SLIDING | ON | SOLID CORE WOOD SLIDING CLOSET DOORS |
| 104 | | UNIT B BEDROOM | 2'-6" x 6'-8" | PRIVACY | SELECTED | SOLID CORE WOOD INTERIOR DOOR |
| 105 | | UNIT B BED CLOSET | (3) 2'-8" x 6'-8" | SLIDING | DOOR | SLIDING CLOSET DOORS |
| 106 | | UNIT B PATIO | (2) 4'-0" x 6'-8" | ENTRY | MANUF. | FULL LIGHT SLIDING PATIO DOORS, TEMPERED GLAZING |
| 107 | | UNIT A ENTRY | 3'-0" x 6'-8" | ENTRY | | FULL LITE INSULATED TEMPERED ENTRY DOOR |
| 108 | | UNIT A BATH | 2'-6" x 6'-8" | PRIVACY | | SOLID CORE WOOD INTERIOR DOOR |
| 109 | | UNIT A BED | 2'-6" x 6'-8" | PRIVACY | | SOLID CORE WOOD INTERIOR DOOR |
| 110 | | UNIT A BED CLOSET | (2) 2'-8" x 6'-8" | SLIDING | | SLIDING CLOSET DOORS |
| 111 | | FIRE SUPPRESSION | 2'-10" x 6'-8" | PASSAGE | | VERIFY IN FIELD |
| | | | | | | |
| 201 | | UNIT C ENTRY | 2'-11 X 6'-8" | ENTRY | | FULL LITE INSULATED TEMPERED ENTRY DOOR |
| 202 | | UNIT C LIVING | (4) 3'-10" X 6'-8" | PATIO | | FULL LITE INSULATED TEMPERED PATIO DOORS |
| 203 | | UNIT C BATH | 2'-6" X 6'-8" | PRIVACY | | POCKET |
| 204 | | UNIT C BED | 2'-6" X 6'-8" | PRIVACY | | SOLID CORE WOOD INTERIOR DOOR |
| 205 | | UNIT C BED/ BATH | 2'-6" X 6'-8" | PRIVACY | | POCKET |
| 206 | | UNIT C BED / DECK | 2'-6" X 6'-8" | ENTRY | | FULL LITE INSULATED TEMPERED ENTRY DOOR |
| 207 | | UNIT C BED CLOSET | (3) 2'-8" X 6'-8" | SLIDING | | SLIDING CLOSET DOORS |
| 208 | | UNIT C OFFICE | 2'-6" X 6'-8" | PRIVACY | | SOLID CORE WOOD INTERIOR DOOR |
| 209 | | UNIT C OFFICE CLOSET | (2) 3'-0" X 6'-8" | SLIDING | | SLIDING CLOSET DOOR |
| | | | | | | |

NOTES:

1. ALL EXTERIOR DOORS TO BE INSULATED AND WEATHERSTRIPPED, INCLUDING SWEEP.
2. ALL DOORS TO BE PREHUNG.
3. ALL DOORS TO HAVE APPLIED STOPS.
4. STORE DOORS FLAT.
5. DO NOT DELIVER DOORS UNTIL HUMIDITY HAS BEEN STABILIZED WITHIN THE BUILDING.
6. ALL DOORS MUST CARRY A MINIMUM 2 YEAR WARRANTY AGAINST DELAMINATION OF VENEERS (IF APPLICABLE) AND WARPING TOLERANCE BEYOND THOSE SPECIFIED WITHIN THE TRADE.
7. CONTRACTOR TO VERIFY ALL HANDING.
8. ALL UNITS TO BE PROVIDED WITH JAMB EXTENSIONS PER OWNER.

| WINDOW SCHEDULE | | | | | | |
|-----------------|-----------|----------------|-------------------|----------------------------|--------|--|
| TAG | MANUF/NO. | LOCATION | R.O. (W x H) | HEAD HEIGHT (ABOVE SUBFLR) | ASPECT | |
| 101 | PELLA | UNIT A BED | 3'-0" x 2'-0" | VARIES | E | FIXED |
| 102 | | UNIT A BED | 3'-0" x 2'-0" | BASED | E | AWNING |
| 103 | | UNIT A BED | 3'-0" x 2'-0" | ON | E | FIXED |
| 104 | | UNIT B BATH | 4'-1" x 3'-6" | MANUF. | E | FIXED, TEMPERED |
| 105 | | UNIT B BED | 5'-10" x 3'-6" | | E | DOUBLE CASEMENT EGRESS |
| 106 | | UNIT B BED | 6'-0" X 4'-0" | | S | DOUBLE CASEMENT |
| 107 | | UNIT B LIVING | 3'-0" X 3'-0" | | S | AWNING |
| 108 | | UNIT A LIVING | 7'-10" X 3'-6" | | S | DOUBLE CASEMENT |
| 109 | | UNIT A LIVING | 7'-1" X 3'-5" | | W | DOUBLE CASEMENT, TEMPERED |
| 110 | | UNIT A KITCHEN | 3'-4" X 3'-5" | | N | AWNING |
| 111 | | UNIT A BATH | 2'-0" X 3'-0" | | N | AWNING TEMPERED |
| 112 | | UNIT A BED | 3'-0" X 3'-0" | | N | CASEMENT EGRESS |
| 201 | | UNIT C KITCHEN | 3'-1" X 6'-10" | | E | CASEMENT / FIXED / CASEMENT |
| 202 | | UNIT C LIVING | 6'-0" X 4'-0" | | S | FIXED |
| 203 | | UNIT C OFFICE | 3'-0" X 4'-0" | | S | AWNING EGRESS |
| 204 | | UNIT C OFFICE | 3'-0" X 4'-0" | | S | AWNING |
| 205 | | UNIT C BED | 5'-1" X 3'-6" VIF | | W | SIDE LITE, TEMPERED, EGRESS, VERIFY SIZE |
| 206 | | UNIT C BATH | 4'-0" X 2'-0" | | W | AWNING, TEMPERED |
| 207 | | UNIT C BATH | 2'-0" X 2'-9" | | N | AWNING |
| 208 | | UNIT C KITCHEN | 3'-0" X 3'-0" | | N | AWNING, TEMPERED |

NOTES:

1. SEE FLOOR PLANS AND EXTERIOR ELEVATIONS FOR OPERATION, SAFETY GLAZING AND EGGS LOCATIONS
2. ALL OPERABLE UNITS TO BE SCREENED, SCREEN & FRAME COLOR TO BE DETERMINED BY OWNER.
3. ALL WINDOW UNITS TO BE GLASS & VINYL COLOR TO BE DETERMINED BY OWNER.
4. ALL WINDOW HARDWARE FINISH TO BE DETERMINED BY OWNER.
5. ALL MUNTIN BARS TO HAVE A MINIMUM LOW E- INSULATED DOUBLE PANE GLAZING (MAX. U-VALUE 0.30).
6. ALL MUNTIN BARS TO BE SIMULATED DIVIDED LIGHTS, INTERNAL DIVIDING BARS TO BE DARK BRONZE IN COLOR.
7. WINDOW MANUFACTURER TO SUPPLY SHOT DRAWINGS TO THE CONTRACTOR AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
8. ALL UNITS TO BE PROVIDED WITH JAMB EXTENSIONS PER OWNER.
9. REFER TO EXTERIOR ELEVATIONS FOR WINDOW OPERATION.

RADON MITIGATION NOTES

1. ALL PORTIONS OF CRAWL SPACE OR BASEMENT WALLS BELOW GRADE SHALL BE SEALED WITH AN APPROVED WATERPROOFING. ALL SEWER, WATER, POWER, OR OTHER BELOW GRADE PENETRATIONS OF THESE WALLS SHALL BE THOROUGHLY CAULKED. ADDITIONALLY, ALL PENETRATIONS BETWEEN THE CRAWL SPACE AND THE LIVING SPACE SHALL BE CAULKED WITH URETHANE OR OTHER CLOSED-CELL TYPE FOAM SEALANT.
2. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BEATHNE THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
3. THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOIST AND THE EARTH SHALL BE PROVIDED WITH VENTILATION OPENINGS THROUGH THE FOUNDATION WALLS OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 1500 OF UNDER-FLOOR AREA. THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED SOIL-GAS-RETARDER MATERIAL AND THE REQUIRED OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS-VENTILATION OF THE SPACE. OPERABLE LOUVERS SHALL BE PERMITTED PROVIDED THAT COMBUSTION AIR FOR FUEL BURNING APPLIANCES IS NOT DRAWN FROM THE UNDER-FLOOR SPACE. VENTILATION IS NOT REQUIRED WHERE A CONTINUOUSLY OPERATED MECHANICAL SYSTEM IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQUARE FEET OF UNDER FLOOR AREA AND THE GROUND IS COVERED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE SPACE IS SUPPLIED WITH CONDITIONED AIR AND THE WALLS ARE INSULATED IN ACCORDANCE WITH SECTION N1102.1.
4. A SOIL-GAS-RETARDER CONSISTING OF A MINIMUM 4-MIL POLYETHYLENE OR EQUIVALENT FLEXIBLE SHEETING MATERIAL SHALL BE PLACED EITHER OVER A GAS-PERMEABLE LAYER UNDER A SLAB OR DIRECTLY ON THE GROUND IN THE CRAWL SPACE. THE SHEETING SHALL COVER THE ENTIRE FLOOR AREA AND BE LAPPED A MINIMUM OF 12 INCHES AT JOINTS. THE SHEETING SHALL BE FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. IN CRAWL SPACES, THE SHEETING SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSING THE CRAWL SPACE.
5. IN UNDER-FLOOR SPACES, A PLUMBING TEE OR OTHER APPROVED CONNECTION SHALL BE INSERTED HORIZONTALLY BEATHNE THE REQUIRED SOIL-GAS-RETARDER AND CONNECTED TO A 3-OR 4-INCH-DIAMETER FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE VAPOR BARRIER. THE VENT PIPE SHALL EXTEND UP THROUGH THE BUILDING, TERMINATING AT LEAST 12 INCHES ABOVE THE ROOF IN A LOCATION AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT.
6. RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH THE ATTIC AREA OR OTHER AREA OUTSIDE THE HABITABLE SPACE. THE FAN SHOULD BE RATED AT 90 TO 150 CFM AT NO STATIC PRESSURE. ACCESSIBILITY NEED NOT BE PROVIDED WHERE AN APPROVED ROOF-TOP ELECTRICAL SUPPLY IS PROVIDED FOR FUTURE USE. FAN SHALL BE POWERED FROM COMMON HOUSE ELECTRICAL PANEL.

INSULATION SCHEDULE

CRAWLSPACE WALL INSULATION:

1. PROVIDE CONTINUOUS RIGID INSULATION TO ACHIEVE R=10 AT INTERIOR FACE OF FOUNDATION WALL, TAPE SEAMS.
2. PROVIDE IGNITION BARRIER AT INSIDE FACE OF PLASTIC FOAM INSULATION OR PROVIDE SPRAY FOAM INSULATION RATED FOR USE WITHOUT IGNITION BARRIER

FLOOR INSULATION AT UPPER LEVEL:

1. PROVIDE SOUND BATT INSULATION @ JOIST CAVITIES.
2. PROVIDE POLYURETHANE SPRAY FOAM INSULATION @ ALL EXTERIOR RIM JOISTS.

ROOF INSULATION:

1. PROVIDE CLOSED CELL SPRAY FOAM INSULATION AT UNDERSIDE OF ROOF DECK TO ACHIEVE R=49.
2. WHERE ATTIC ACCESSIBLE, PROVIDE IGNITION BARRIER AT INSIDE FACE OF PLASTIC FOAM INSULATION OR PROVIDE SPRAY FOAM RATED FOR USE WITHOUT IGNITION BARRIER.

EXTERIOR STUD WALLS:

1. PROVIDE CLOSED CELL SPRAY FOAM CAVITY INSULATION TO ACHIEVE R=24.
2. APPLY "TWER DRAIN WRAP" OR APPROVED EQUAL HOUSE WRAP TO THE OUTSIDE (COLD SIDE) OF PLYWOOD SHEATHING.

NOTES:

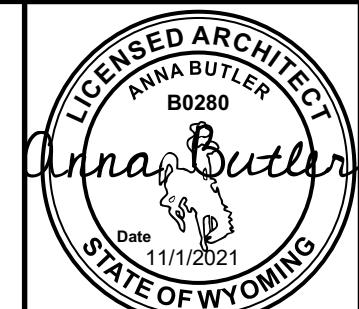
1. ALL FIBERGLASS OR COTTON BATT INSULATION SHALL FILL REQUIRED SPACE AND NOT BE CRUSHED.
2. PROVIDE URETHANE FOAM INSULATION AROUND ALL DOOR JAMB SHIM SPACES, WINDOW JAMB SHIM SPACES, VENT AND RISER STACKS, OR ANY OTHER PENETRATIONS OF THE EXTERIOR SKIN. FILLING ALL VOIDS COMPLETELY.
4. EXTRA CARE IS TO BE TAKEN TO INSURE THAT NO PUNCTURES, RIPS OR CUTS ARE MADE TO THE VAPOR BARRIER. ALL SEAMS ARE TO BE TAPE.
5. NO INSULATION SHALL OBSTRUCT ATTIC VENTS OR COLD ROOF SPACES.
6. WITHIN ATTICS AND CRAWLSPACES WHERE ENTRY IS MADE ONLY FOR SERVICE OF UTILITIES, FOAM PLASTICS SHALL BE APPROVED FOR PROTECTION AGAINST IGNITION OR SHOULD BE PROTECTED WITH BY 1 1/2" MINERAL FIBER INSULATION, 1/4" THICK WOOD STRUCTURAL PANELS, 3/8" PARTICLEBOARD, 1/4" WOOD HARDBOARD, 3/8" GYP. BOARD, CORROSION RESISTANT STEEL HAVING A BASE METAL THICKNESS OF 0.016" OR INTUMESCENT PAINT RATED FOR USE AS AN IGNITION BARRIER.

LEKREY TRIPLEX
180 CRABTREE LANE
JACKSON, WYOMING

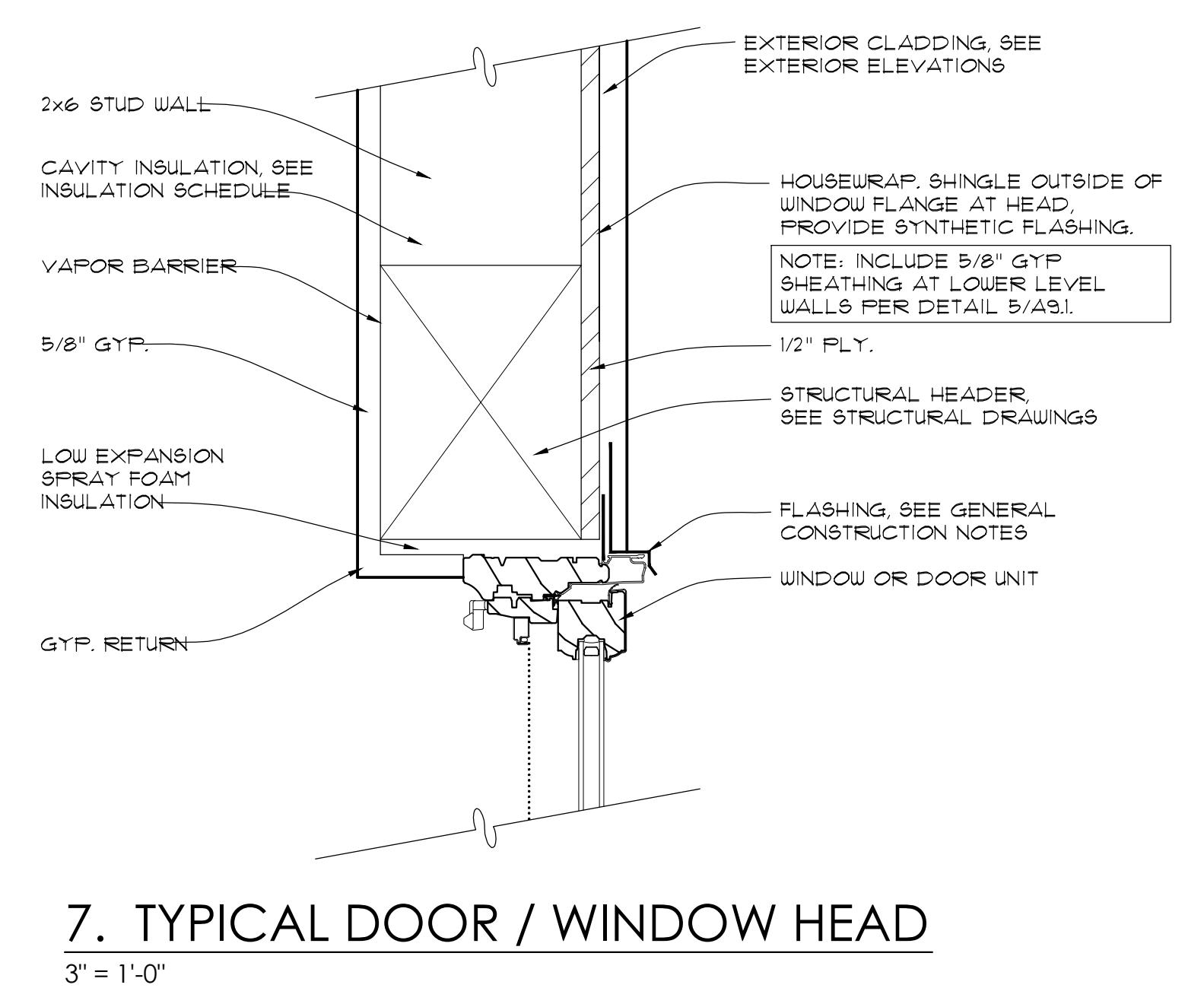
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NOVEMBER 1, 2021
Date:
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A8.1

WINDOW SCHEDULE
DOOR SCHEDULE
INSULATION SCHEDULE
RADON MITIGATION NOTES

A8.1

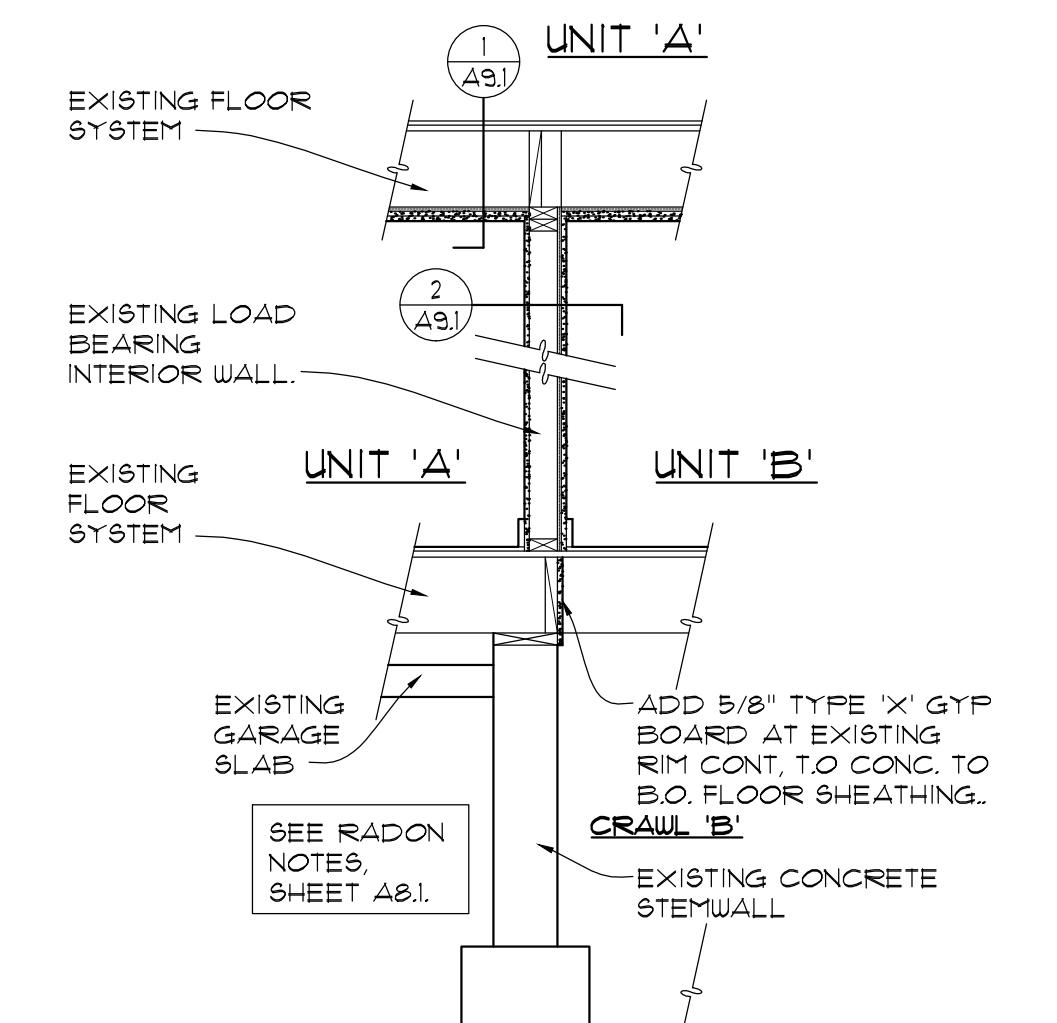


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| <p>Project Number: LEKREY TRIPLEX</p> <p>Sheet Number: ANSNOTED</p> <p>Date: NOVEMBER 1, 2021</p> | | <p>Sheet Title: FIRE PROTECTION DETAILS</p> <p>Revisions: WINDOW / DOOR HEAD DETAIL</p> |
| <p>LEKREY TRIPLEX 180 CRABTREE LANE JACKSON, WYOMING</p> | | |
| <p>MIRO STUDIO architecture ANNA BUTLER, AIA P.O. Box 12374 Jackson, WY 83002 307.690.4187 mobile anna@miroarchitect.com</p> | | |
| <p>REVISED</p> | | |
| <p>LICENSED ARCHITECT ANNA BUTLER B0280</p> | | |
| <p>STATE OF WYOMING</p> | | |
| <p>11/1/2021</p> | | |



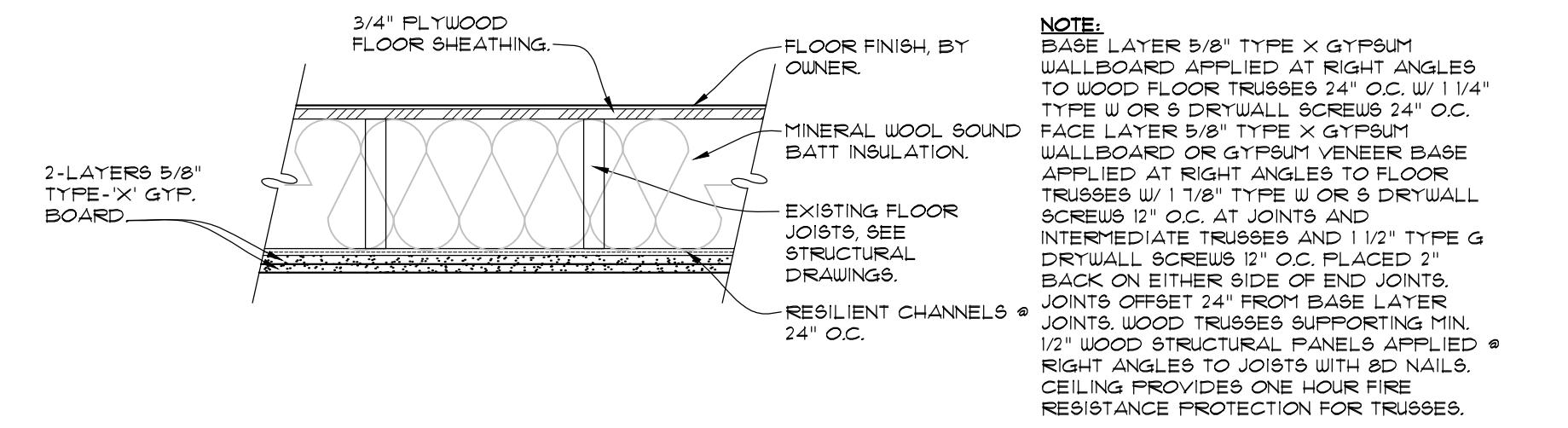
7. TYPICAL DOOR / WINDOW HEAD

$$\overline{3''} = 1'$$



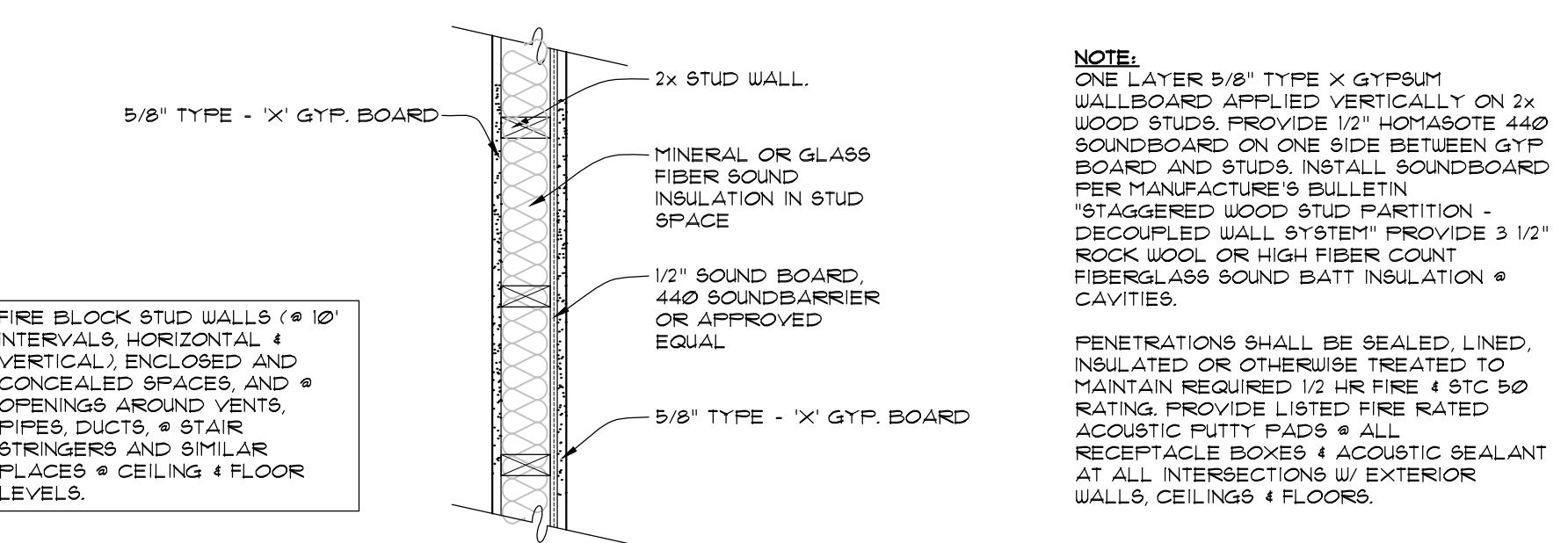
5. FIRE PARTITION WALL

$$\frac{1}{2}'' = 1'-0''$$



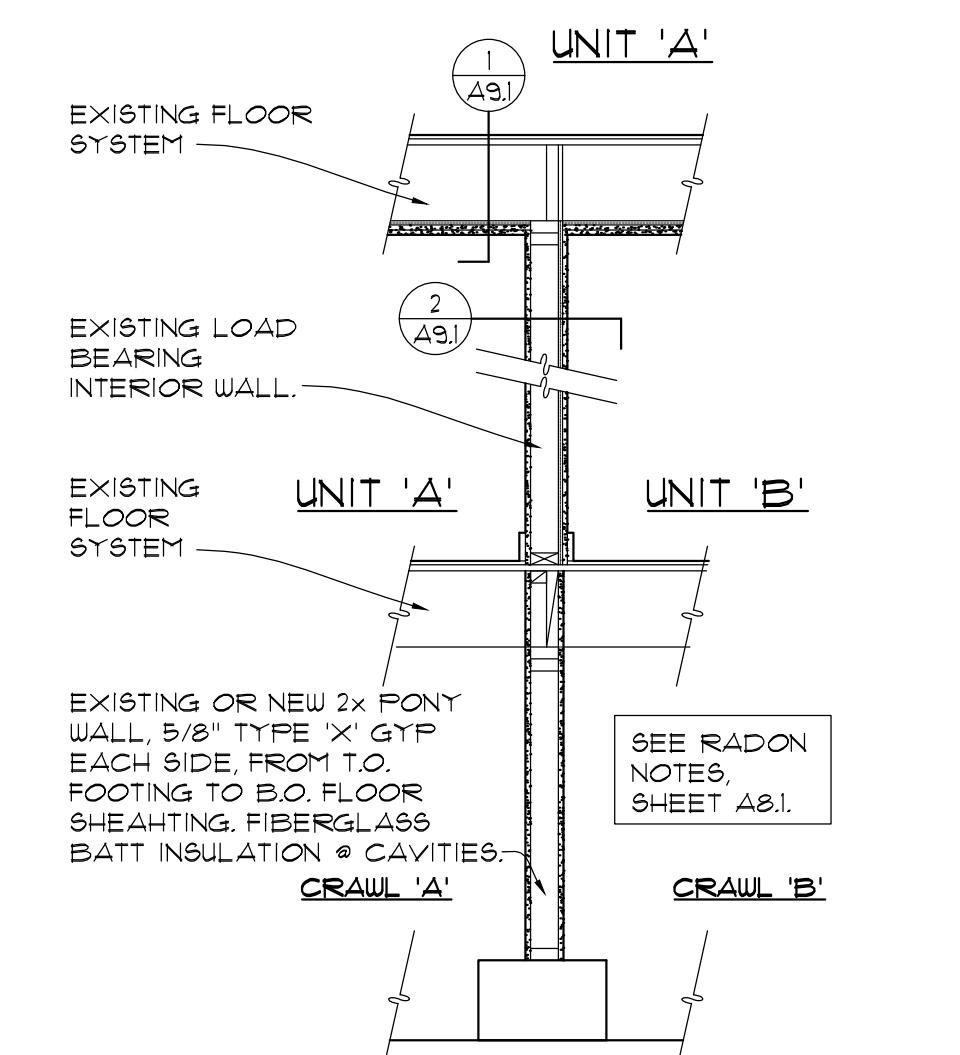
1. 1-HR FLOOR/CEILING - SECTION

$$1'' \equiv 1'-0''$$



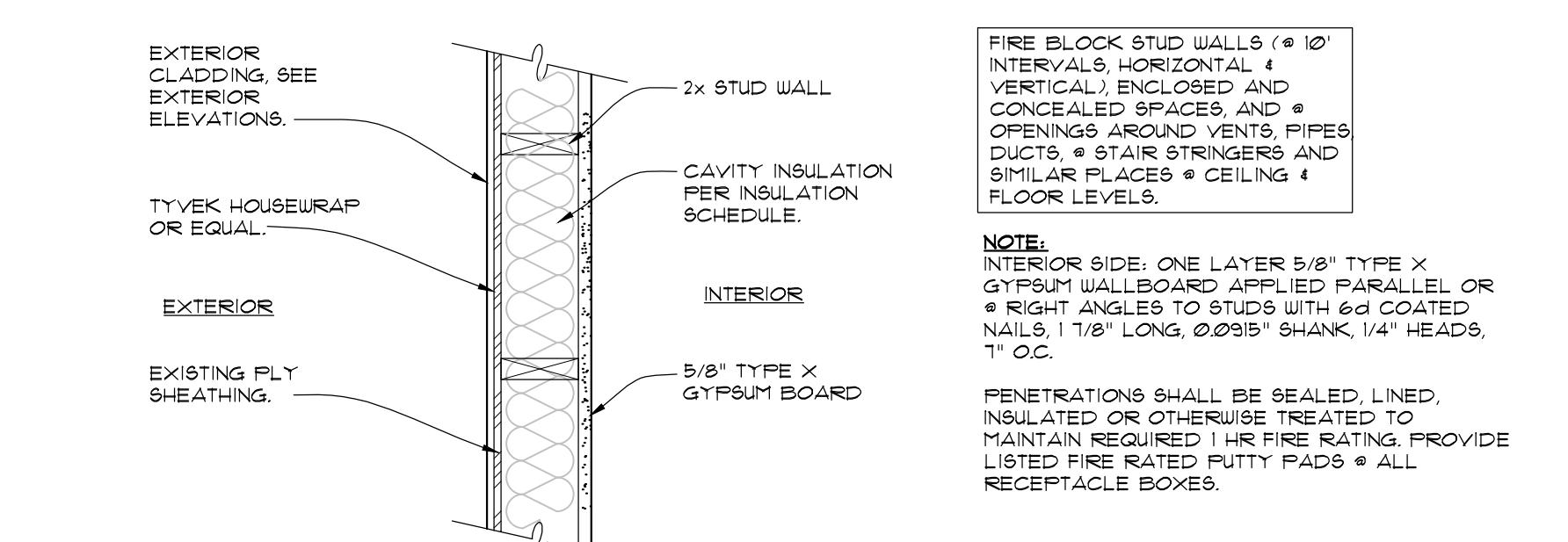
2. 1-HR FIRE PARTITION WALL - PLAN

1" = 1'-0" ***NOTE: ONLY 1/2 HR IS REQUIRED BY 2018 IBC, BUT 1 HR IS ATTAINED DUE TO DESIRE FOR HIGHER STC LEVEL



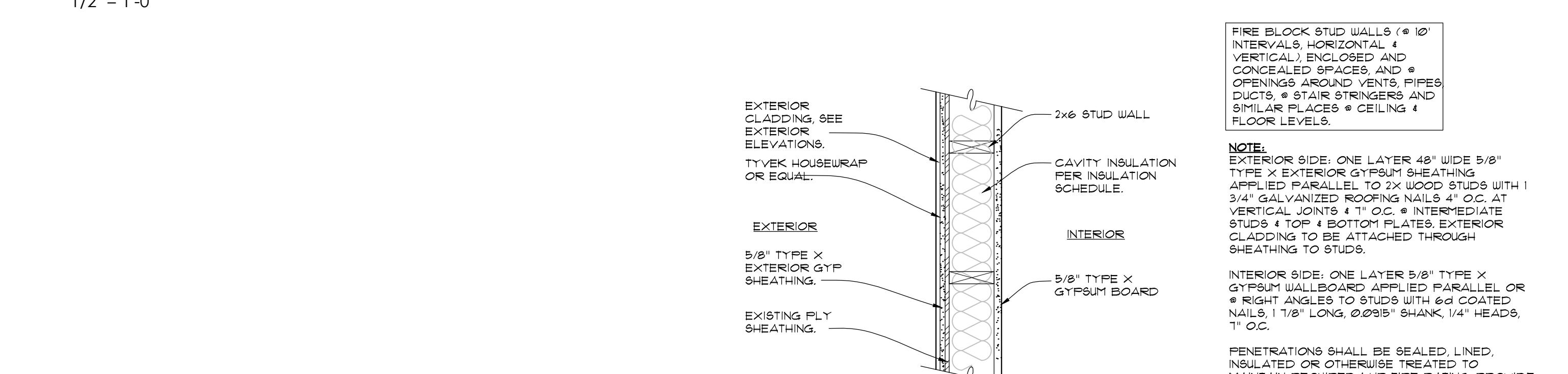
6. FIRE PARTITION WALL

1/2" = 1'-0"



3. 1-HR EXTERIOR WALL - RATED FROM INSIDE ONLY

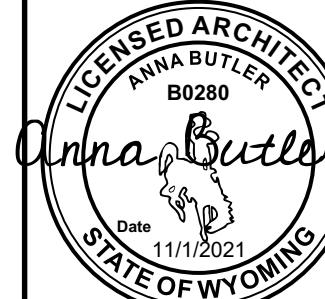
1" = 1' 0"



4. 1-HR EXTERIOR WALL - NORTH FND ONLY

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| Project Number: | | Sheet Title: | |
| | | LEKREY TRIPLEX | |
| Scale: | | 180 CRABTREE LANE JACKSON, WYOMING | |
| | | AS NOTED | |
| Sheet Number: | | Date: | |
| | | NOVEMBER 1, 2021 | |



FIRE PROTECTION NOTES

THE 2018 EDITION OF THE INTERNATIONAL FIRE CODE, NFPA 13 AND 72 SHALL BE FOLLOWED. SEE FIRE PROTECTION DRAWINGS FOR AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN.

1. FIRE APPARATUS ACCESS SHALL BE PROVIDED. (IFC 503.1.1)
2. FIRE FLOW REQUIREMENTS SHALL MEET APPENDIX B OF THE INTERNATIONAL FIRE CODE. WATER IN THIS AREA MAY MEET REQUIREMENTS FOR FIRE SUPPRESSION SYSTEM. IF WATER FLOW DOES NOT MEET REQUIREMENTS, A FIRE PUMP AND WATER STORAGE SYSTEM MAY BE REQUIRED. SPRINKLER PRINT DOES NOT SHOW WHERE WATER IS COMING FROM OR WHO PROVIDED FLOW AND PRESSURE. HYDRANT TO BE WITHIN 500 FT OF STRUCTURE.
3. BUILDING WILL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13 (IFC 903.2.8)
4. A TORN/STROBE SIGN SHALL BE PLACED ABOVE THE FIRE DEPARTMENT ACCESS POINT. (IFC 2-2-2.2)
5. WATER MAIN LINE SHALL BE INSTALLED IN ACCORDANCE TO NFPA 13R AND NFPA 24 TO PROVIDE FOR PROPER CLEARANCES, SEISMIC REQUIREMENTS, FLUSHING AND HYDRO TESTING. (IFC 901.4.1)
6. A KNOX BOX SHALL BE INSTALLED IN AN APPROVED LOCATION AT EACH STRUCTURE HAVING A FIRE SPRINKLER SYSTEM. (IFC 506.1)
7. MEANS OF EGRESS SHALL MEET FIRE CODE REQUIREMENTS. (IFC CHAPTER 10)
8. ANY HAZARDOUS MATERIAL STORAGE SHALL MEET FIRE CODE REQUIREMENT. (IFC CHAPTER 27)
9. REQUIREMENTS FOR CARBON MONOXIDE DETECTION SHALL BE FOLLOWED. (IFC 908.7)

MECHANICAL NOTES

1. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ON-THIRD OF THE APPLIANCES VERTICAL DIMENSIONS. AT THE LOWER POINT, THE STRAPPING SHALL MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS.

2. GAS LINES SHALL BE TESTED. THE TEST PRESSURE SHALL BE NOT LESS THAN 1 1/2 TIMES THE WORKING PRESSURE, BUT NOT LESS THAN 3 PSIG, IRRESPECTIVE OF DESIGN PRESSURE. THE TEST DURATION SHALL BE NOT LESS THAN 10 MIN.

3. APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES. FOR PURPOSES OF THIS SECTION, ROOMS OR SPACES THAT ARE NOT PART OF THE LIVING SPACE OF A DWELLING UNIT AND THAT COMMUNICATE WITH A PRIVATE GARAGE THROUGH OPENINGS SHALL BE CONSIDERED PART OF THE GARAGE. APPLIANCES LOCATED IN A GARAGE SHALL BE PROTECTED FROM IMPACT BY AUTOMOBILES.

4. RANGE HOODS SHALL DISCHARGE TO THE EXTERIOR OF THE BUILDING THROUGH A SINGLE WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND BE EQUIPPED WITH A BACK-DRAFT DAMPER. APPROVED LISTED AND LABELED DUCTLESS RANGE HOODS ARE PERMITTED WHEN INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION AND WHERE MECHANICAL OR NATURAL VENTILATION IS PROVIDED.

5. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR AREAS SHALL BE PROVIDED WITH A GLAZED OPENING TO THE EXTERIOR OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF OF WHICH MUST BE OPERABLE. WHERE NOT PRACTICAL OR OTHERWISE DESIRED, ARTIFICIAL LIGHT AND A MECHANICAL VENTILATING SYSTEM SHALL BE PROVIDED. THE MINIMUM VENTILATION RATES SHALL BE 50 CFM FOR INTERMEDIATE VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.

IECC COMPLIANCE

1. THE THERMAL ENVELOPE OF THE BUILDING SHALL COMPLY WITH 2012 IECC SECTIONS C402.4.1 - C402.4.8.

2. THE COMPLETED BUILDING SHALL BE TESTED (BLOWER DOOR TEST) AND THE AIR LEAKAGE RATE OF THE BUILDING ENVELOPE SHALL NOT EXCEED 0.40 CFM/FT² AT A PRESSURE DIFFERENTIAL OF 0.3 INCHES WATER GAUGE IN ACCORDANCE WITH ASTM E779 OR AN EQUIVALENT METHOD APPROVED BY THE CODE OFFICIAL.

3. TOTAL VERTICAL FENESTRATION AREA = 27% OF GROSS ABOVE GRADE WALL AREA.

PLUMBING NOTES

1. DWV SYSTEM FROM THE LOWER END OF BUILDING DRAIN TO A POINT 1" ABOVE THE ROOF SHALL BE TESTED PRIOR TO BEING COVERED. TESTING SHALL BE BY MEANS OF WATER OR AIR OR OTHER APPROVED MEANS AND SHOW NO EVIDENCE OF LEAKING. IF USING THE WATER TEST, EACH SECTION SHALL BE FILLED WITH WATER TO A POINT NOT LESS THAN 1" ABOVE THE HIGHEST FITTING IN THE SYSTEM, OR TO THE HIGHEST POINT OF THE COMPLETE SYSTEM. THE WATER LEVEL SHALL BE MAINTAINED FOR NOT LESS THAN 15 MIN.

2. WATER SYSTEMS SHALL BE TESTED PRIOR TO BEING COVERED. TESTING SHALL BE WITH WATER AT A PRESSURE NOT LESS THAN THE WORKING PRESSURE OF THE SYSTEM; OR, FOR PIPING SYSTEMS OTHER THAN PLASTIC, BY AN AIR TEST OF NOT LESS THAN 50 PSI. THE WATER USED FOR TESTS SHALL BE FROM A POTABLE WATER SOURCE.

3. ALL OPEN VENT PIPES THAT EXTEND THROUGH A ROOF SHALL EXTEND AT LEAST 1/6" ABOVE THE ROOF OR 6" ABOVE THE ANTICIPATED SNOW ACCUMULATION, EXCEPT THAT WHERE THE ROOF IS TO BE USED FOR ANY PURPOSE OTHER THAN WEATHER PROTECTION, THE VENT EXTENSION SHALL BE 7" ABOVE THE ROOF.

4. EVERY VENT EXTENSION THROUGH THE ROOF SHALL BE A MINIMUM OF 3" IN DIAMETER. THE INCREASE IN PIPE SIZE TO 3" SHALL BE MADE INSIDE THE STRUCTURE A MINIMUM OF 1' BELOW THE ROOF OR INSIDE WALL.

5. BACKFLOW PROTECTION TO BE INSTALLED FOR LAWN IRRIGATION SYSTEM.

6. LOCATION OF REQUIRED EXTERIOR CLEANOUTS TO BE PER CURRENT BUILDING CODES.

7. PROVIDE ACCESS TO MOTORS FOR JETTED BATHTUBS.

8. PROVIDE ACCESS TO CONCEALED SLIP JOINTS.

9. PROVIDE REQUIRED WATER HEATER AND/OR BOILER COMBUSTION AIR OPENINGS, SEISMIC BRACING, DRAIN PANS, DRAIN PAN AND T&P RELIEF VALVE TERMINATIONS.

10. AN APPROVED, LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL SHALL BE INSTALLED WHENEVER ANY DEVICE THAT PREVENTS PRESSURE RELIEF THROUGH THE BUILDING SUPPLY IS INSTALLED. ANY CHECK VALVE WILL REQUIRE AN INSTALLATION OF THIS NATURE.

11. ALL EXTERIOR HOSE BIBS SHALL BE PROTECTED BY A LISTED NON-REMOVABLE HOSE BIB TYPE BACKFLOW PREVENTER OR BY A LISTED ATMOSPHERIC VACUUM BREAKER.

12. BUILDING SEWERS LOCATED BETWEEN THE LOWER END OF THE BUILDING DRAIN AND ANY PUBLIC SEWER SYSTEM SHALL BE INSPECTED PRIOR TO BURIAL. TEST SHALL BE BY WATER OR AIR AND SHALL BE FOR THAT PORTION OF THE PIPE EXTENDING FROM THE CONNECTION TO THE BUILDING DRAIN ON ONE END TO A CLEAN-OUT LOCATED AT THE PROPERTY LINE AT THE OTHER. SEWER LINE SHALL BE FULLY SUPPORTED AT TIME OF TEST, WITH ALL JOINTS EXPOSED FOR INSPECTION. MINIMUM GRADE SHALL NOT BE LESS THAN 1/8 OF AN INCH PER FOOT. - P3005.4.2

13. ALL BUILDINGS SERVED BY A COMMUNITY WATER SYSTEM WILL COMPLY WITH THE FOLLOWING:- I.O.15008.10.30014.10.30014.6: AN APPROVED DUAL-CHECK VALVE BACKFLOW PREVENTION DEVICE SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE CHECK VALVE SHALL BE INSTALLED SO AS TO BE ACCESSIBLE FOR SERVICING OR TESTING. - P2902.2

14. WHERE WATER PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH, AN APPROVED TYPE PRESSURE REGULATOR PRECEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED AND THE PRESSURE REDUCED TO 80 PSI.

ELECTRICAL NOTES

1. LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING. ART. 110.3(B)

2. GROUND FAULT PROTECTION FOR PERSONNEL FOR ALL TEMPORARY WIRING INSTALLATIONS SHALL BE PROVIDED TO COMPLY WITH ARTICLE 590. THIS SECTION SHALL APPLY ONLY TO TEMPORARY WIRING INSTALLATIONS USED TO SUPPLY TEMPORARY POWER TO EQUIPMENT USED BY PERSONNEL DURING CONSTRUCTION, REMODELING, MAINTENANCE, REPAIR, OR DEMOLITION OF BUILDINGS, STRUCTURES, EQUIPMENT, OR SIMILAR ACTIVITIES. IF A RECEPTACLE(S) IS INSTALLED OR EXISTS AS PART OF THE PERMANENT WIRING OF THE BUILDING OR STRUCTURE AND USED FOR TEMPORARY ELECTRIC POWER, GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION FOR PERSONNEL SHALL BE PROVIDED. NEC 590.6.

*PLEASE BE AWARE OF TETON COUNTY'S REQUIREMENTS FOR METALLIC RACEWAY OR METALLIC CABLE FOR BUILDINGS BUILT UNDER THE IBC. (SEE LISTED BELOW IN AMENDMENT C.) THE REQUIREMENT FOR METALLIC RACEWAY OR METALLIC CABLE INCLUDES THE PLANNED APARTMENTS SHOWN FOR THIS PROJECT.

WYOMING STATUE 35-9-120(A) ESTABLISHES THE NATIONAL ELECTRICAL CODE AS THE MINIMUM STANDARD FOR THE INSTALLATION OF ELECTRIC EQUIPMENT IN OR ON BUILDINGS, MOBILE HOMES AND PREMISES. THE 2014 NATIONAL ELECTRICAL CODE AS ADOPTED AND PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION. THE TOWN OF JACKSON AND TETON COUNTY HAS ADOPTED THE FOLLOWING AMENDMENTS:

A. ARTICLE 230. SERVICES, SECTION VI, SERVICE EQUIPMENT – DISCONNECTING MEANS, SUBSECTION 230.7. (A) (1) READILY ACCESSIBLE LOCATION. THE SERVICE DISCONNECTING MEANS OF ALL SERVICES OVER 200 AMPERE IN SIZE SHALL BE INSTALLED OUTSIDE OF THE BUILDING OR STRUCTURE AT A READILY ACCESSIBLE LOCATION NEAREST THE POINT OF ENTRANCE OF THE SERVICE LOCATION. FEEDERS TO OTHER BUILDINGS OR STRUCTURES WILL REQUIRE A DISCONNECT ON THE EXTERIOR.

B. ARTICLE 250, GROUNDING, SECTION III, GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE CONDUCTOR, SUBSECTION 250.52. (A). (3) CONCRETE ENCASED ELECTRODE ALL SERVICES OVER 200 AMPERE IN SIZE SHALL HAVE AT LEAST 20 FT IN LENGTH OF BARE COPPER CONDUCTOR SIZED IN ACCORDANCE WITH TABLE 250-66 INSTALLED IN THE FOUNDATION FOOTERS AND WITH ENOUGH LENGTH ADDED TO CONNECT TO THE MAIN DISCONNECT.

C. ARTICLE 300, WIRING METHODS, SECTION I, GENERAL REQUIREMENTS, SUBSECTION 300.1, SCOPE, SUBSECTION (A) ALL WIRING INSTALLATIONS ALL ELECTRICAL WIRING INSTALLED IN BUILDINGS, STRUCTURES OR PREMISES DESIGNED USING THE INTERNATIONAL BUILDING CODE LOCATED IN THE TOWN OF JACKSON AND TETON COUNTY SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING WIRING METHODS:

1. ARTICLE 320, ARMORED CABLE; TYPE AC
2. ARTICLE 330, METAL-CLAD CABLE; TYPE MC
3. ARTICLE 332, MINERAL-INSULATED, METAL-SHEATHED CABLE; TYPE MI
4. ARTICLE 342, INTERMEDIATE METAL-CONDUIT; TYPE IMC
5. ARTICLE 344, RIGID METAL CONDUIT, TYPE RMC
6. ARTICLE 348, FLEXIBLE METAL CONDUIT, TYPE FMC
7. ARTICLE 350, LIQUID-TIGHT FLEXIBLE METAL CONDUIT; TYPE LFMC
8. ARTICLE 358, ELECTRICAL METALLIC TUBING; TYPE EM

ALL ELECTRICAL WORK, INCLUDING LOW VOLTAGE WIRING REQUIRES AN ELECTRICAL PERMIT AND SHALL BE PERFORMED BY WYOMING LICENSED CONTRACTORS USING WYOMING LICENSED ELECTRICIANS AND/OR TECHNICIANS.

TETON COUNTY FIRE/EMS FIELD INSPECTIONS OF THE ELECTRICAL SYSTEM OF THIS FACILITY AT A LATER DATE MAY LEAD TO MANDATORY CORRECTION OF ANY NEC VIOLATIONS, INCLUDING THE ITEMS LISTED ABOVE.

GENERAL ELECTRICAL NOTES:

1. IN CLOSETS, PROVIDE ENCLOSED OR RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT FIXTURE W/ CLEARANCES PER 2015 IBC. NO OPEN INCANDESCENT FIXTURES PERMITTED.

2. ALL SMOKE DETECTORS TO BE INTERCONNECTED.

3. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20FT HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

4. IONIZATION SMOKE ALARMS WITH AN ALARM SENSING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FT HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

5. PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6FT HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

6. LIGHT FIXTURES IN SHOWERS TO BE RATED AS VAPOR PROOF.

7. RECESSED LIGHTING FIXTURES IN BUILDING ENVELOPE SHALL BE EITHER TYPE IC AIRTIGHT, TYPE IC MAX 2 CFM LEAKAGE OR NON-IC IN AIRTIGHT BOX.

8. INSULATION & COMBUSTIBLES CONTACT OK FOR TYPE IC FIXTURES.

9. RECESSED LIGHT (NON-IC RATED) 1/2" MINIMUM CLEARANCE FROM COMBUSTIBLES.

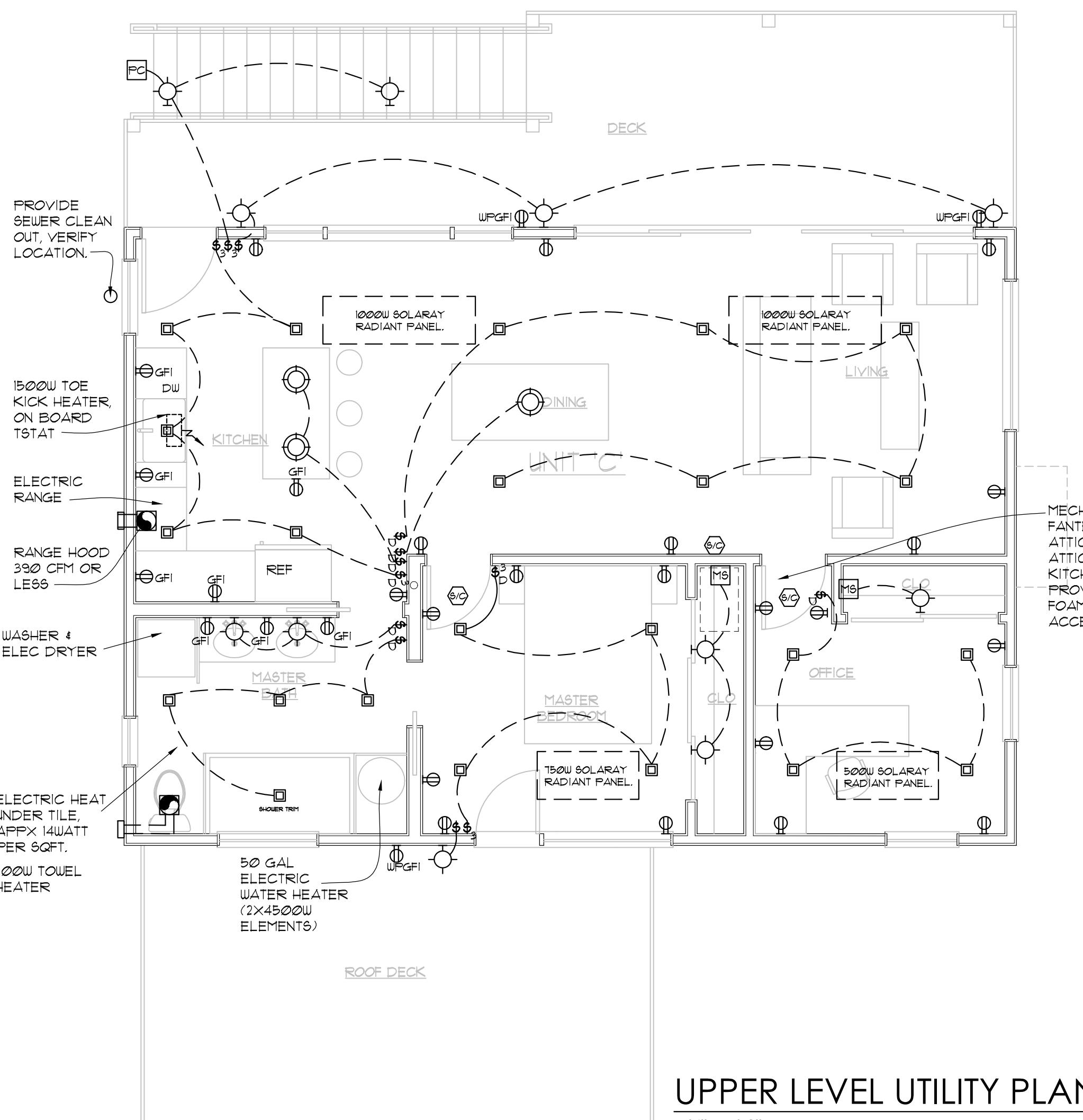
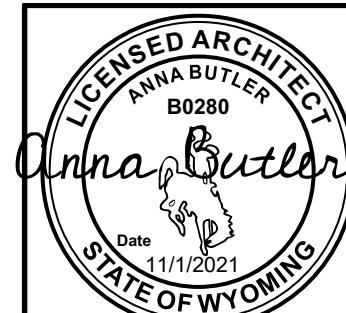
10. RECESSED LIGHT (NON-IC RATED) 3" MINIMUM CLEARANCE FROM INSULATION.

11. RECEPTACLES SERVING KITCHEN ISLANDS, PENINSULAS & DISABLED ACCESS ALLOWED ON SIDE OF CABINET MAXIMUM OF 12 IN. BELOW COUNTERTOP & NO OVERHANG GREATER THAN 6 IN.

LEKREY TRIPLEX
180 CRABTREE LANE
JACKSON, WYOMING

Project Number:
AS NOTED
Scale:
Date:
NOVEMBER 1, 2021
Sheet Number:
U1.1

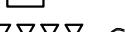
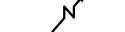
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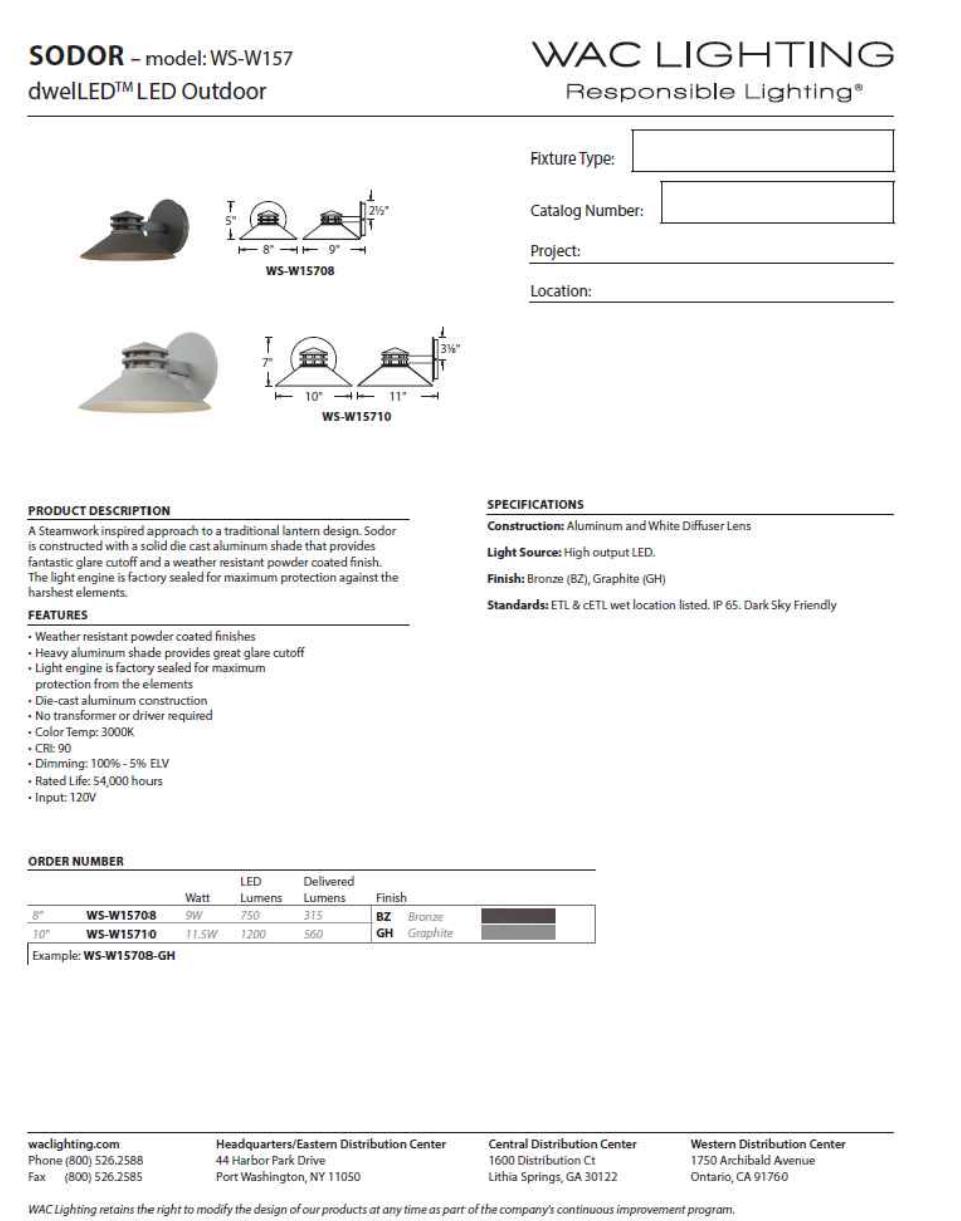


UPPER LEVEL UTILITY PLAN

1/4" = 1'-0"

SYMBOL LEGEND

| | | | |
|--|--|---|---|
| \$ | SINGLE POLE SWITCH, MOUNTED 48" A.F.F. TO \$ OF BOX. |  | AUDIO SPEAKER, MOUNTED 12" A.F.F. TO \$ OF BOX. |
| \$ ₃ | THREE WAY SWITCH, MOUNTED 48" A.F.F. TO \$ OF BOX. |  | SMOKE/ CO DETECTOR, MOUNTED AS PER GOVERNING CODES. |
| \$ ₄ | FOUR WAY SWITCH, MOUNTED 48" A.F.F. TO \$ OF BOX. |  | DOOR BELL CHIMES, MOUNTED AT 84" MIN. A.F.F. TO \$ OF BOX. |
| \$ _D | SINGLE POLE DIMMER SWITCH, MOUNTED 48" A.F.F. TO \$ OF BOX. |  | GARAGE DOOR OPENER, CEILING MOUNTED. |
| \$ _D ³ | THREE WAY DIMMER SWITCH, MOUNTED 48" A.F.F. TO \$ OF BOX. |  | J-BOX ROUGH-IN ONLY, PROVIDE COVER PLATE. |
| \$ _T | SINGLE POLE TIMER SWITCH, MOUNTED 48" A.F.F. TO \$ OF BOX. |  | CEILING MOUNTED RECESSED TRACK LIGHT. |
| \$ _F | SINGLE POLE CEILING FAN SWITCH, MOUNTED 48" A.F.F. TO \$ OF BOX. FAN SWITCHES TO BE RHEOSTAT TO ALLOW ADJUSTABLE FAN SPEED. |  | DOWN LIGHT, CEILING MOUNTED. |
| \$ _J | DOOR JAMB SWITCH, MOUNTED @ DOOR JAMB. |  | DOWN LIGHT-DIRECTIONAL, CEILING MOUNTED. |
| MS | MOTION SENSOR SWITCH, MOUNTED ABOVE DOORWAY AND DIRECTED TO ACTIVATE WHEN DOOR OPENS. |  | PENDANT LIGHT, CEILING MOUNTED. |
| PC | PHOTO VOLTAIC CELL SENSOR SWITCH, MOUNTED WHERE NOT AFFECTED BY EXTERIOR LIGHTS. |  | SCONCE/WALL MOUNTED LIGHT. |
| □ | GARAGE DOOR OPENER SWITCH, MOUNTED 54" A.F.F. TO \$ OF BOX. |  | RECESSED COVE LIGHT. |
| □ | DUPLEX OUTLET, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | 4" LED SURFACE MOUNT EXTERIOR RATED LIGHT. |
| □ | DUPLEX OUTLET, TOP HALF SWITCHED, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | 4" LED RECESSED LIGHT. |
| □ _{GFI} | DUPLEX OUTLET, GROUND FAULT CIRCUIT INTERRUPTER. |  | 4" LED RECESSED, IC RATED LIGHT. |
| □ _{WPGFI} | DUPLEX OUTLET, WEATHERPROOF GROUND FAULT CIRCUIT INTERRUPTER. |  | EXHAUST FAN, CEILING MOUNTED. |
| □ _{RPL} | DUPLEX OUTLET, RECESSED OUTLET FOR PAINTING LIGHT, MOUNTED 63" A.F.F. TO \$ OF BOX. |  | EXHAUST FAN, WALL MOUNTED. |
| □ | FOUR-PLEX OUTLET, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | CEILING PADDLE FAN. |
| □ | 120/240 VOLT OUTLET, MOUNTED 36" A.F.F. TO \$ OF BOX. |  | WALL MOUNTED VANITY LIGHT, MOUNTED 84" A.F.F. TO \$ OF BOX. |
| □ | FLOOR MOUNTED DUPLEX OUTLET. PROVIDE COVERS WHEN NOT BEING USED. |  | WALL MOUNTED VANITY LIGHT, VERTICAL. |
| ◆ | SINGLE OUTLET CABLE TV SERVICE, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | SURFACE MOUNT LED FIXTURE |
| ◆ ₂ | DOUBLE OUTLET CABLE TV SERVICE, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | LED STRIP LIGHTING |
| ◀ | TELEPHONE JACK, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | ELECTRIC RADIANT HEATER, COVE, PANEL, TOWEL WARMER. |
| ◀ _{FAX} | DEDICATED FACSIMILE JACK, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | ELECTRIC FORCED AIR HEATER |
| ◀ _C | COMPUTER NETWORK/MODEM JACK, MOUNTED 12" A.F.F. TO \$ OF BOX. |  | GAS LINE INLET. |
| ○ _T | THERMOSTAT, MOUNTED 60" A.F.F. TO \$ OF BOX. |  | ELECTRIC POWER METER LOCATION. |
| ○ _H | HUMIDISTAT, MOUNTED 60" A.F.F. TO \$ OF BOX. |  | GAS METER LOCATION. |
| DB | DOOR BELL BUTTON, MOUNTED 48" A.F.F. TO \$ OF BOX. |  | CIRCUIT BREAKER PANEL BOARD. |
| INT | INTERCOM CONTROL BOX, MOUNTED 60" A.F.F. TO \$ OF BOX. |  | FROST-FREE HOSE BIB. |
| NOTE: ALL MOUNTING ELEVATIONS ARE TYPICAL UNLESS NOTED OTHERWISE SEE INTERIOR ELEVATIONS. | | | |

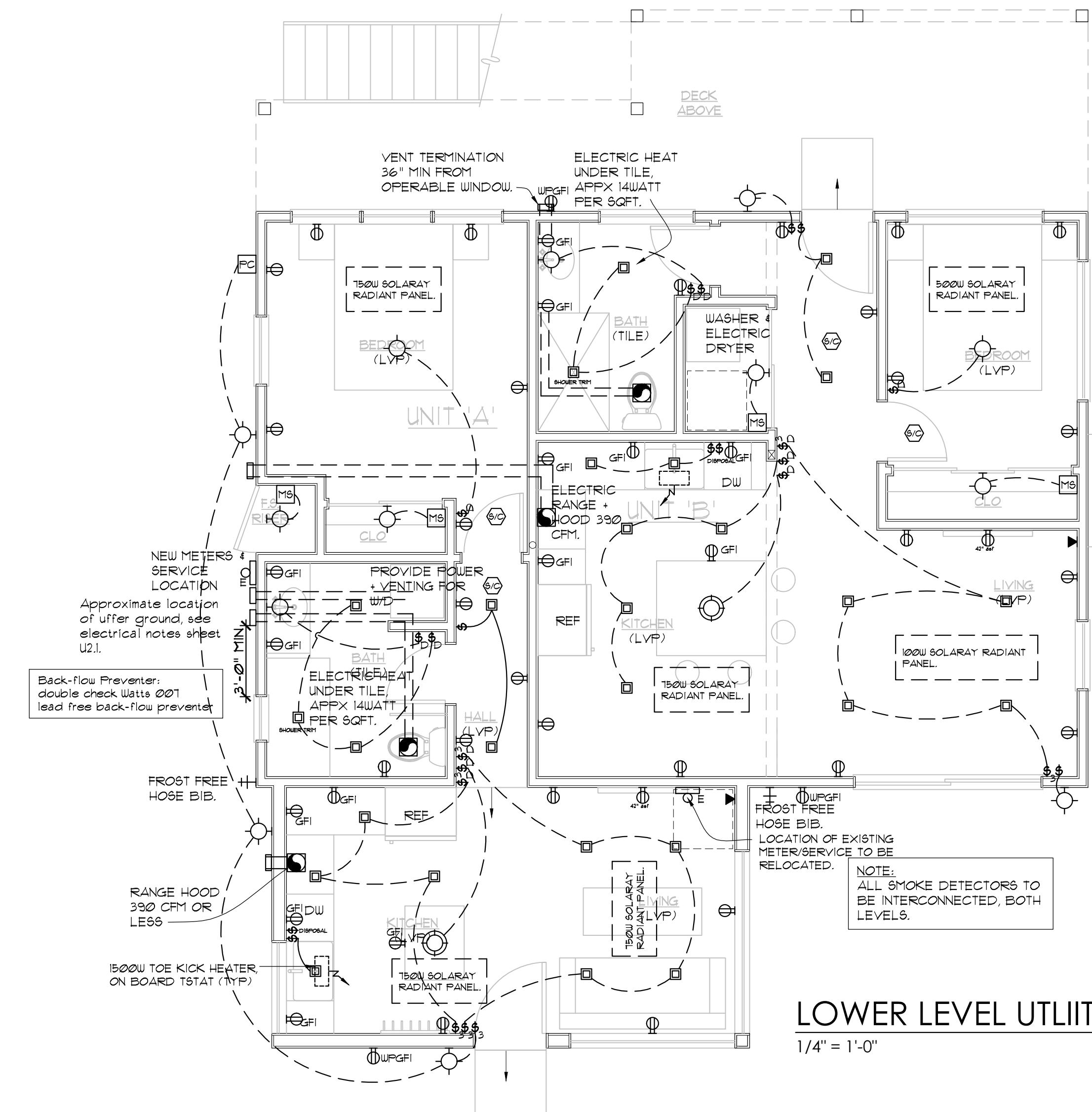


8" Exterior Sconce

11 TIMES X 315 LUMENS = 3465 TOTAL LUMENS (9855 ALLOWED)

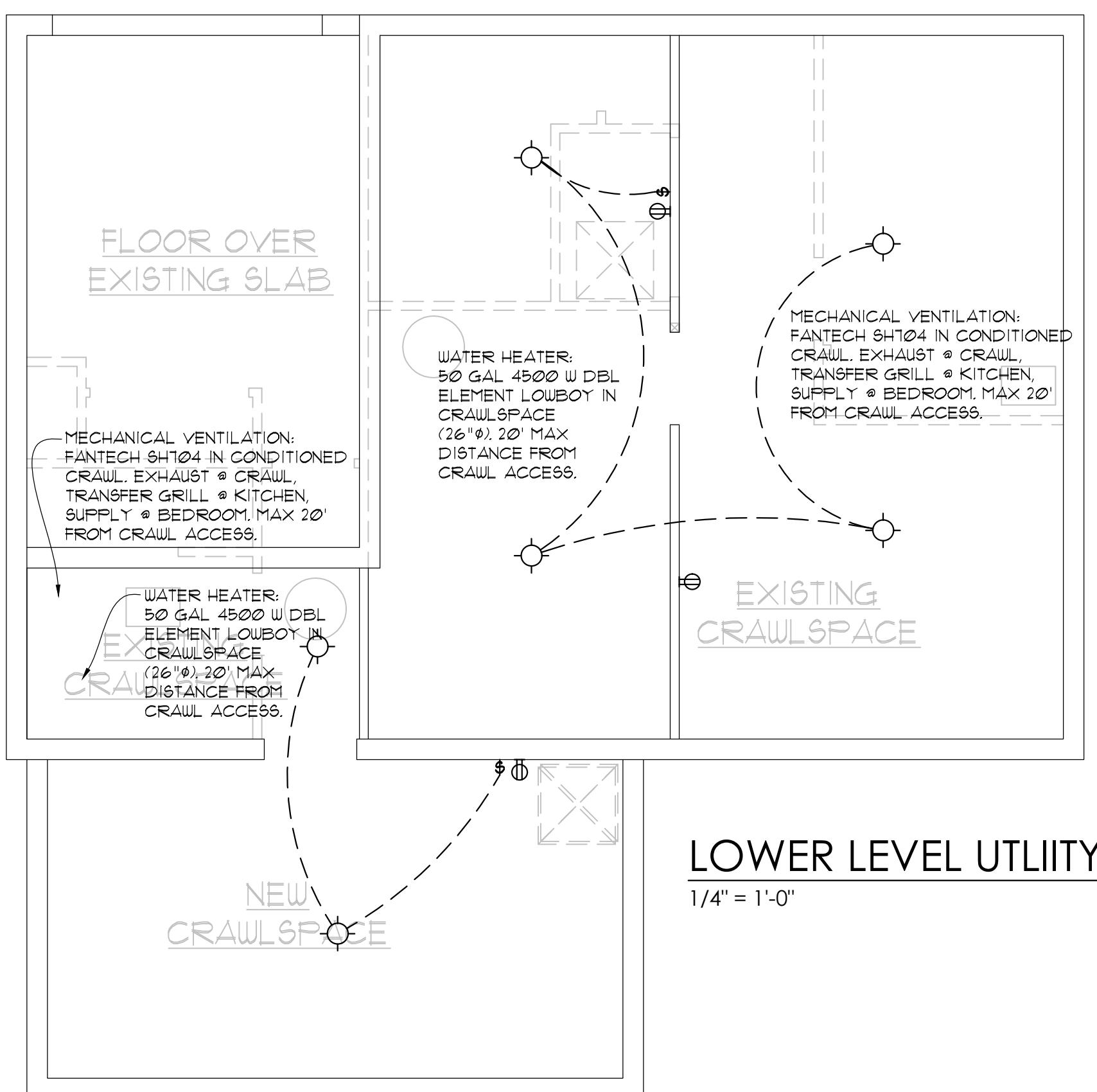
EXTERIOR LIGHTING

1. ALL LIGHTS OVER 600 LUMENS MUST BE COMPLETELY SHIELDED SO THAT LIGHT IS DIRECTED DOWNWARD.
2. ALL LIGHTS MUST BE BELOW 3000K COLOR.
3. LIGHT TRESPASS IS PROHIBITED.
4. LIGHTS MOUNTED ON A STANDALONE POLE MUST NOT BE HIGHER THAN 15 FT.
5. FLICKERING, FLASHING, SEARCH-LIGHTS, LASERS, STRING LIGHTS (EXCEPT BETWEEN NOV 15 AND JAN 10) AND SINGULAR LIGHTS OF 20000 LUMENS ARE PROHIBITED.
7. ALL LANDSCAPE LIGHTING TO BE SOLAR POWERED.



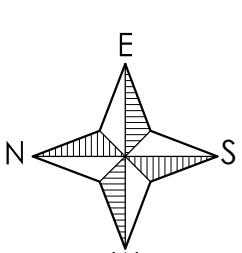
LOWER LEVEL UTILITY PLAN

/4" = 1'-0"



OWER LEVEL UTILITY PLAN

44H 11.0H



LEKREY TRIPLEX

1180 CRABTREE LANE
ACKSON, WYOMING

111

MIRO STUDIO
architecture
ANNA BUTLER, AIA
P.O. Box 12374
Jackson, WY 83002
307.690.4187 mobile

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

| Existing Use (Sec. 6.3.2.A) | Housing Requirement (Sec. 6.3.3.A) | Use Size: bedrooms | Use Size: habitable sf | Use Quantity | Housing Required |
|------------------------------------|--|--------------------|------------------------|--------------|------------------|
| Detached Single-Family Unit (Unre) | $0.000017 * \text{sf} + (\text{Exp}(-15.49 + 1.59 * \text{Ln(sf)})) / 2.176$ | 4 | 1488 | 1 | 0.035 |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

Existing Workforce Housing Credit 0.035

Step 3: Proposed Development

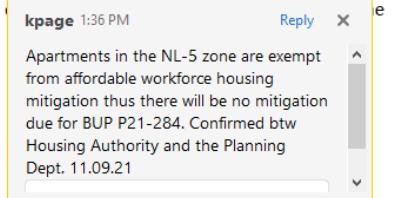
Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

| Proposed Use | Housing Requirement (Sec. 6.3.3.A) | Use Size: bedrooms | Use Size: habitable sf | Use Quantity | Housing Required |
|--------------------------|--|--------------------|------------------------|--------------|------------------|
| Apartment (Unrestricted) | $0.000017 * \text{sf} + (\text{Exp}(-14.17 + 1.59 * \text{Ln(sf)})) / 2.176$ | 2 | 844 | 1 | 0.029 |
| Apartment (Unrestricted) | $0.000017 * \text{sf} + (\text{Exp}(-14.17 + 1.59 * \text{Ln(sf)})) / 2.176$ | 1 | 496 | 1 | 0.015 |
| Apartment (Unrestricted) | $0.000017 * \text{sf} + (\text{Exp}(-14.17 + 1.59 * \text{Ln(sf)})) / 2.176$ | 1 | 570 | 1 | 0.017 |
| | | | | | |
| | | | | | |
| | | | | | |

Affordable Workforce Housing Required: 0.026 units

Fee-in-Lieu Amount: \$ 7,112.57

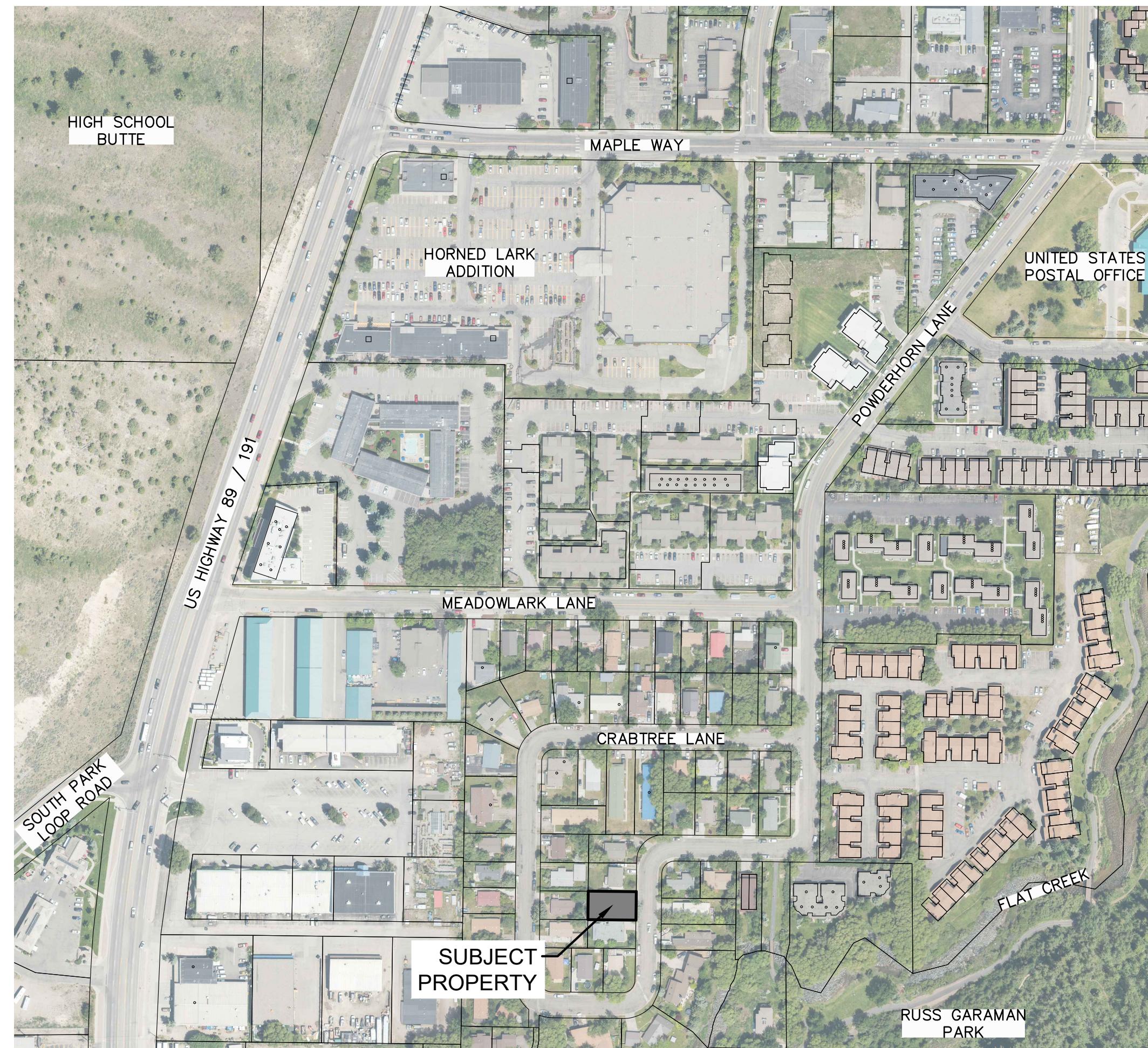
If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, enter the amount of the fee to pay the requirement, please proceed to the [Unit Type Sheet](#).



LEKREY TRIPLEX RENOVATION GRADING AND EROSION CONTROL

180 CRABTREE LANE
LOT 42, HORN ENTERPRISES
PIDN: 22-41-16-32-4-14-018

LOCATED WITHIN
NORTH PARCEL
SW1/4SE1/4, SECTION 32
T41N, R116W, 6TH P.M.
TETON COUNTY, WYOMING



VICINITY MAP

1" = 400' for 22x34 Prints
1" = 800' for 11x17 Prints



OWNER
Matthew & Chantalle Lekrey
450 E Sagebrush Dr. N11 Owen E
Jackson, WY 83001-9058

CIVIL AND STRUCTURAL ENGINEER
Jorgensen Associates, INC.
1315 S. Highway 89, #201
P.O. Box 9550
Jackson, WY 83002-9550
(307) 733-5150

PROJECT MANAGER
Enclosure Studio
PO Box 9605
Jackson, WY 83002
(307) 690-0498

INDEX OF SHEETS

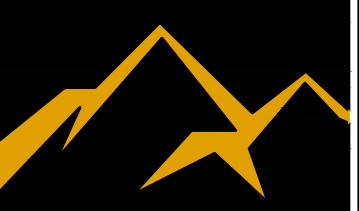
| Sheet Number | Sheet Title |
|--------------|---------------------------------------|
| C1.0 | TITLE, VICINITY MAP & INDEX OF SHEETS |
| C1.1 | CIVIL PROJECT NOTES & LEGEND |
| C2.0 | EXISTING SITE CONDITIONS |
| C2.1 | DEMOLITION PLAN |
| C3.0 | PROPOSED SITE CONDITIONS |
| C3.1 | SITE VEHICLE TRACKING |
| C3.2 | STORMWATER OVERVIEW |
| C4.0 | CIVIL SITE DETAILS |
| C4.1 | CIVIL UTILITY DETAILS |

SHEET TITLE:
TITLE, VICINITY MAP & INDEX OF SHEETS

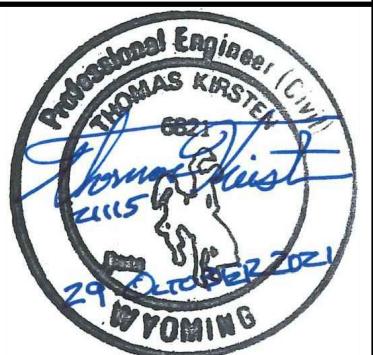
DRAFTED BY: JK
REVIEWED BY: TK
PLAN VERSION DATE
BDR PERMIT 11/01/2021

PROJECT NUMBER
21115

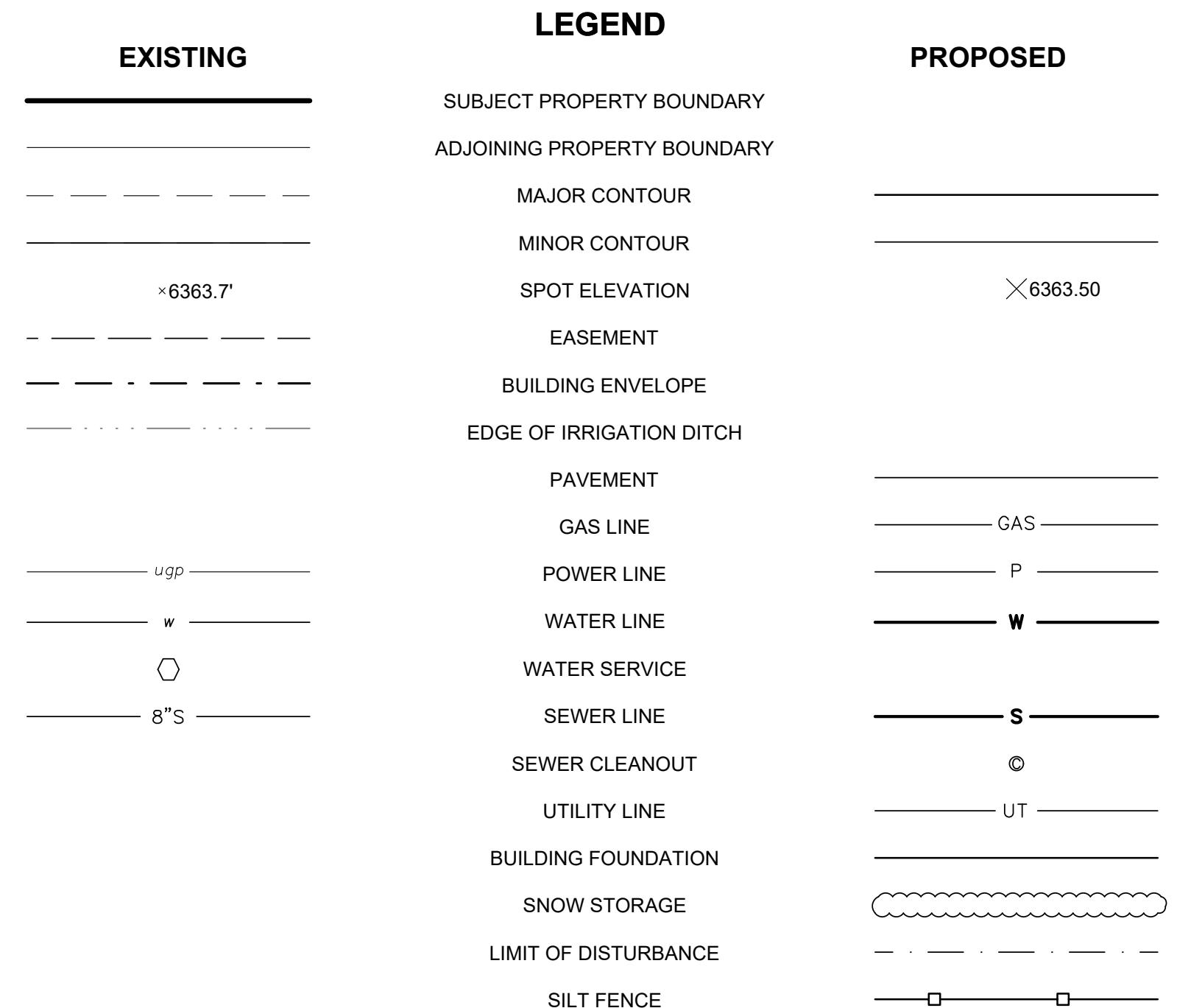
SHEET
C1.0



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgeng.com



PROJECT TITLE:
LEKREY TRIPLEX RENOVATION
GRADING AND EROSION CONTROL
180 CRABTREE LANE
LOT 42, HORN ENTERPRISES
TOWN OF JACKSON, WYOMING



GENERAL PROJECT NOTES:

1. PROJECT SCOPE: SITE GRADING FOR REMODEL ON RESIDENTIAL BUILDING.
2. PROJECT SCHEDULE: BEGIN IN WINTER 2021 AND END IN FALL 2022.
3. PROPERTY IS ZONED NL-5 (NEIGHBORHOOD LOW DENSITY - 5) IN THE TOWN OF JACKSON.
4. PROPERTY AREA = 0.12 ACRES (5,227 SFT) ±
TOTAL AREA OF DISTURBANCE = .11 ACRES (+/-4,900 SFT)
-BUILDING, PARKING AREA AND GRADING DISTURBANCE
IMPERVIOUS SURFACE: (62.3% OF LOT)
BUILDING AND DECK FOOTPRINT = 1,286 SFT
PROPOSED HARSCAPE FOOTPRINT = 1,980 SFT
TOTAL = 3,266 SFT
5. SNOW STORAGE REQUIREMENT = 1,971 SFT X 2.5% = 50 SFT OF SNOW STORAGE REQUIRED. 150 SFT PROVIDED.
6. THE PROPERTY IS NOT WITHIN THE WILD LAND URBAN INTERFACE, THE NATIONAL WILD AND SCENIC RIVER CORRIDOR, NATURAL RESOURCES OVERLAY, OR THE SCENIC RESOURCES OVERLAY.
7. HARMONY DESIGN AND ENGINEERING PERFORMED THE TOPOGRAPHIC SURVEY FOR THIS PROPERTY IN SEPTEMBER 2021. ELEVATIONS WERE DERIVED USING US SURVEY FEET AND ARE BASED ON A GPS MEASUREMENT TO FOUND MONUMENT AT THE SOUTH-WEST CORNER OF LOT 36 (GPS DERIVED, GEI0D 12B) (BASE ELEVATION = 6140.15').
8. TETON COUNTY DEFINES THE MAJORITY OF THE VEGETATION AS DISTURBED PVIOUS (LAWN AND LANDSCAPING).
9. THE PREDOMINATE SOIL ONSITE IS FINE GRAINED SOILS OVERLYING SAND WITH GRAVEL ALLUVIUM FROM FLAT CREEK.
10. FEMA, 2015 FIRM FLOOD INSURANCE RATE MAP, FIRM PANEL 56039C2525E, TETON COUNTY AND INCORPORATED AREAS, HAS IDENTIFIED THE SITE WHERE THE BUILDING IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD.
11. VERBAL NOTICE OF ANY CHANGES OR MODIFICATIONS THAT ARE NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE BUILDING PERMIT SHALL BE GIVEN TO THE TOWN ENGINEERING DEPARTMENT AT 307-733-3079. THE TOWN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL WRITTEN NOTICE OR INFORMATION BE SUBMITTED THROUGH THE TOWN'S BUILDING DEPARTMENT AND ADDITIONAL REVIEW FEES MAY APPLY.
12. PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE APPLICANT SHALL CONTACT THE TOWN OF JACKSON ENGINEERING DEPARTMENT AND SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO MEET WITH THE ENGINEERING DEPARTMENT PRIOR TO START OF CONSTRUCTION ACTIVITIES WILL RESULT IN STOPPAGE OF WORK ON SITE. THE TOWN ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
13. THE DESIGN ENGINEER OF RECORD FOR ALL INFRASTRUCTURE AND GRADING SHALL INSPECT AND PROVIDE WRITTEN APPROVAL OF CONSTRUCTION PRIOR TO CERTIFICATE OF OCCUPANCY. THE TOWN ENGINEERING DEPARTMENT SHALL BE NOTIFIED TO ALLOW FOR WITNESSING OF ANY TESTING, FIELD REPORTS REGARDING THE INSTALLATIONS SHALL BE KEPT AND MAY BE REQUIRED BY THE TOWN ENGINEERING DEPARTMENT. RECORD DRAWINGS OF THE INSTALLATION SHALL BE PROVIDED ALONG WITH A WYDEQ CERTIFICATE OF COMPLETION.
14. ALL PROPOSED ROADS, SIDEWALKS, WATER, SEWER, CABLE UTILITIES, STORM AND DRAINAGE INFRASTRUCTURE LOCATED ONSITE SHALL BE PRIVATELY OWNED, OPERATED AND MAINTAINED. THE CONSTRUCTION OF THE ONSITE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
15. ALL EXISTING SIGNS AND POSTS SHALL BE SALVAGED FOR REINSTALLATION AT COMPLETION OF THE PROJECT. REGULATORY SIGNS MUST BE REINSTALLED, IN A TEMPORARY FASHION APPROVED BY THE TOWN FOR THE DURATION OF THE PROJECT. ANY LOST OR DAMAGED SIGNS AND POSTS SHALL BE REPLACED BY PURCHASE THROUGH THE TOWN AT PERMITTEE'S EXPENSE AND INSTALLED BY TOWN DETAIL ST-104.
16. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MATCH EXISTING GRADES OF ADJACENT STREETS AND PROPERTIES, PROVIDE ADA COMPLIANCE, AND MEET TOWN OF JACKSON STANDARDS. ALL DESIGN AND CONSTRUCTION COSTS REQUIRED TO MEET THIS CONDITION ARE THE RESPONSIBILITY OF THE PERMITTEE.

GENERAL CONSTRUCTION NOTES & SPECIFICATIONS:

1. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS. ANY CONSTRUCTION RELATED ACTIVITIES NOT IN CONFORMANCE WITH APPROVED AND PERMITTED PLANS AND/OR SEQUENCING MAY RESULT IN TERMINATION OF WORK.
2. THE APPROVED EROSION CONTROL PLAN SHALL BE LOCATED ON SITE. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAIN AND AT LEAST ONCE EACH WEEK. EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGEWAYS AS A RESULT OF LAND DEVELOPING OR DISTURBING ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.
3. APPROVED SEDIMENTATION CONTROLS AND SILT RETENTION SHALL BE PLACED AND PROVIDED DURING CONSTRUCTION AS NEEDED TO PREVENT OFFSITE STORM FLOW AS IDENTIFIED IN THE APPROVED GRADING AND EROSION CONTROL PLAN. THE TOWN ENGINEER SHALL BE NOTIFIED UPON COMPLETION OF EROSION CONTROL MEASURES WITHIN 2 CALENDAR DAYS AFTER INSTALLATION.
4. THE TOWN ENGINEER SHALL BE ALLOWED TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
5. CONSTRUCTION WORK HOURS SHALL BE CONSISTENT WITH CURRENT TOWN OF JACKSON POLICIES.
6. ALL PUBLIC STREETS SHALL BE MAINTAINED CLEAR OF DEBRIS DURING CONSTRUCTION. SHOULD DEBRIS BE TRACKED ONTO PUBLIC STREETS FROM THE CONSTRUCTION SITE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE AFFECTED STREETS.
7. CONSTRUCTION SITE DELINEATION FENCING SHALL BE PROVIDED AS NEEDED TO PROTECT THE PUBLIC FROM HAZARDS DURING CONSTRUCTION. THE FENCE SHALL REMAIN IN PLACE AND INTACT FOR AS LONG AS NECESSARY TO PROTECT THE PUBLIC.

8. IF NECESSARY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY WYPDES STORMWATER PERMIT AND / OR CONSTRUCTION Dewatering PERMIT PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
9. CONTRACTOR SHALL VERIFY LOCATION OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA. CONTACT ENGINEER TO LOCATE EXISTING WATER LINES, AND SEWER LINES.
10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
11. ALL EXCAVATION ACTIVITIES SHALL COMPLY WITH PERMIT REQUIREMENTS ISSUED FOR THE PROJECT. CONTRACTOR SHALL REVIEW AND BE RESPONSIBLE FOR PERMIT COMPLIANCE.
12. CONTRACTOR TO CONFIRM STOCKPILE AND STAGING LOCATIONS WITH THE OWNER.
13. FILL MATERIAL SHALL BE SUITABLE ON-SITE OR IMPORTED MATERIAL WITH ROCK NO LARGER THAN 6 INCHES IN DIAMETER. LARGER MATERIAL MAY BE PLACED ONLY WHEN AUTHORIZED BY THE ENGINEER.
14. SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPAKTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (AASHTO T-99 - STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 12 INCHES IN LOOSE THICKNESS.
15. CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING H OR GRADING W. CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPAKTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-180 - MODIFIED PROCTOR DENSITY).
16. FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.
17. CONSTRUCTION SITE SHALL REMAIN CLEAN AND ALL TRASH AND CONSTRUCTION DEBRIS SHALL NOT ENTER INTO ADJACENT PROPERTIES.
18. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.
19. REFER TO UTILITY INFRASTRUCTURE PLAN SHEETS FOR UTILITY NOTES AND SPECIFICATIONS.

POST CONSTRUCTION MANAGEMENT STRATEGIES:

1. ONE "PLANT UNIT" SHALL BE PLANTED ONSITE. CONTRACTOR TO CONFIRM LOCATION WITH OWNER.
1.1. THREE STANDARD PLANT UNIT ALTERNATIVES ARE IDENTIFIED BELOW. ANY ONE OR A COMBINATION OF THE ALTERNATIVES MAY BE USED.
1.1.1. ALTERNATIVE A: (1) 3' CALIPER CANOPY TREE, (6) 6' - 8' LARGE SHRUB OR MULTI STEM TREES, AND (4) #5 CONTAINER SHRUBS.
1.1.2. ALTERNATIVE B: (2) 3' CALIPER CANOPY TREES, (2) 6' - 8' LARGE SHRUBS OR MULTI STEM TREES AND (3) 8' HIGH EVERGREEN TREES.
1.1.3. ALTERNATIVE C: (3) 6'-8' LARGE SHRUBS OR MULTI-STEM TREES, (3) 8' HIGH EVERGREEN TREES, AND (2) #5 CONTAINER SHRUBS. THIS ALTERNATIVE IS PREFERRED FOR YEAR-ROUND SCREENING.
2. REVEGETATION WILL OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT ESTABLISHMENT OF INVASIVE SPECIES IN THE DISTURBED AREAS.
3. NURSERY STOCK WILL BE USED IN ACCORDANCE WITH W.S. 11-9-101-109 (WYOMING NURSERY STOCK LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH DEALER LICENSED BY WYOMING DEPARTMENT OF AGRICULTURE.
4. CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL WILL BE UTILIZED AS MUCH AS POSSIBLE.
5. TETON COUNTY WEED AND PEST WILL BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.

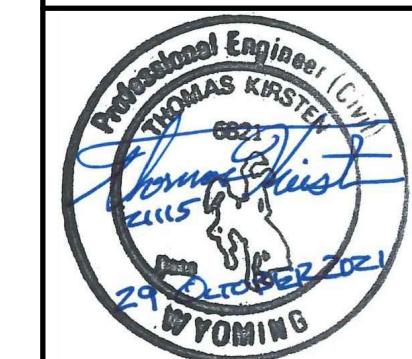
REVEGETATION SPECIFICATIONS:

(FOLLOW MITIGATION PLAN. FOLLOW THESE SPECIFICATIONS WHERE NOTHING IS SPECIFIED ON MITIGATION PLANS OR BY LANDSCAPE ARCHITECT.)

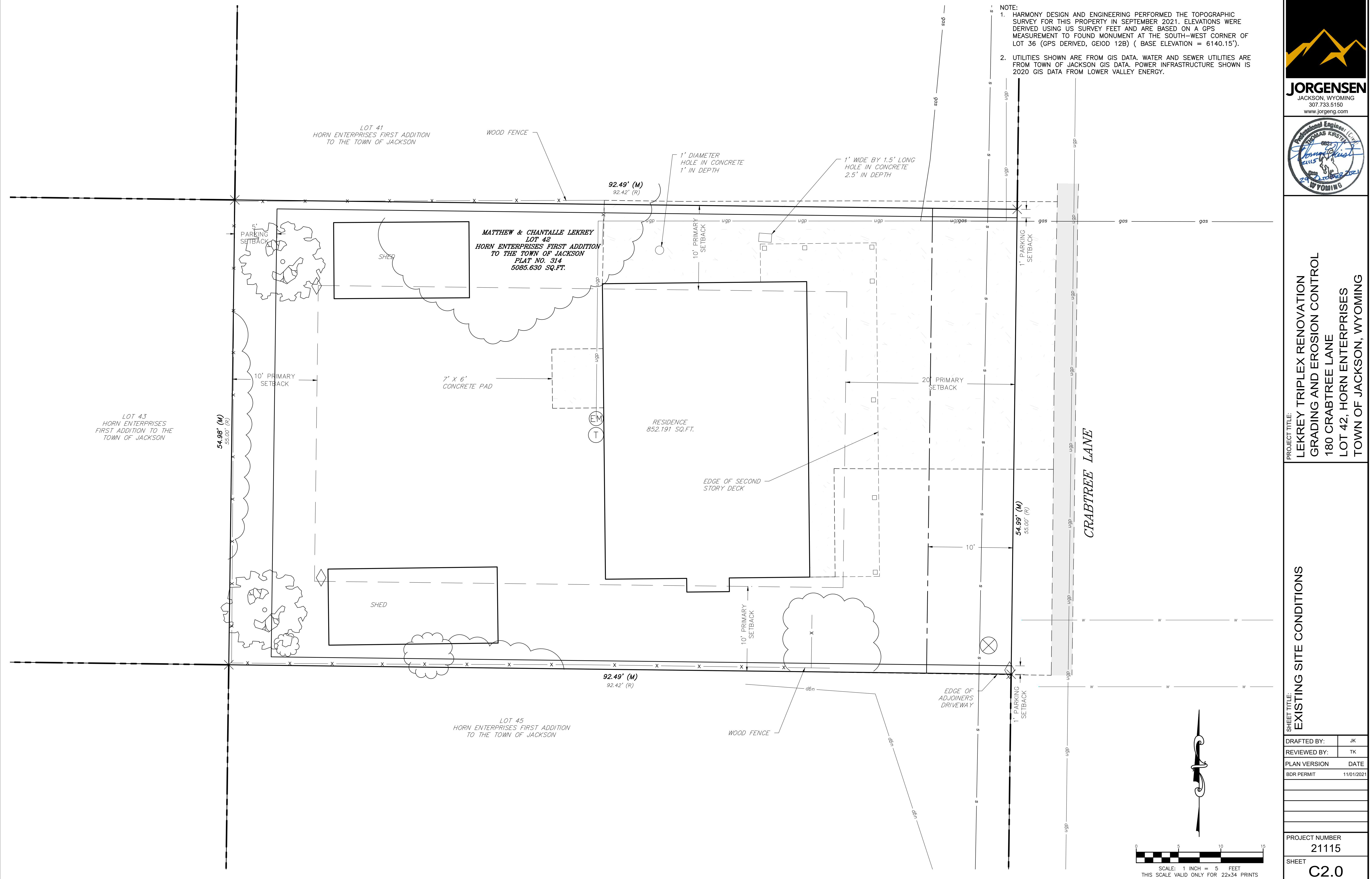
1. SEED MIXTURE:

| COMMON NAME | LBS./ACRE |
|---------------------------------------|--------------|
| MOUNTAIN BROME | 10 LBS./ACRE |
| THICKSPIKE WHEATGRASS | 12 LBS./ACRE |
| IDAHO FESCUE | 6 LBS./ACRE |
| WESTERN WHEATGRASS | 12 LBS./ACRE |
| ALPINE TIMOTHY | 12 LBS./ACRE |
| TOTAL PURE LIVE SEED APPLICATION RATE | 52 LBS./ACRE |
2. SEED MIXES CONTAINING NATIVE FLOWERING PLANTS SUCH AS LUPINE, YARROW AND PAINTBRUSH ARE ACCEPTABLE.
3. ALL SEED SHALL COMPLY WITH WYOMING SEED LAW. SEED SHALL BE PURCHASED FROM A DEALER LICENSED WITH THE WYOMING DEPARTMENT OF AGRICULTURE. CERTIFICATIONS FOR THE SEED MIX SHALL BE PROVIDED TO THE ENGINEER PRIOR TO SEEDING.
4. TOPSOIL SHALL BE UNIFORMLY SPREAD ON PREPARED SURFACES PRIOR TO SEEDING. REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS FROM THE PREPARED SOIL PRIOR TO SEEDING.
5. HARD PACKED OR CAKED TOPSOIL SURFACES SHALL BE SCARIFIED OR DISKED PRIOR TO SEEDING.
6. SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE SURFACE BY APPROVED MECHANICAL BROADCASTING DEVICES AND THE GROUND SHALL BE IMMEDIATELY RAKED OR DRAGGED TO COVER THE SEED.
7. SEEDING SHALL BE PERFORMED BETWEEN THE TIME THE FROST LEAVES THE GROUND IN THE SPRING AND BEFORE THE FROST ENTERS THE GROUND IN THE FALL. REVEGETATION SHALL OCCUR UPON COMPLETION OF CONSTRUCTION.

| | |
|---|--|
| SHEET TITLE: CIVIL PROJECT NOTES & LEGEND | |
| DRAFTED BY: JK | |
| REVIEWED BY: TK | |
| PLAN VERSION DATE | |
| BDR PERMIT 11/01/2021 | |
| PROJECT NUMBER 21115 | |
| SHEET C1.1 | |



PROJECT TITLE: LEKREY TRIPLEX RENOVATION CONTROL
GRADING AND EROSION CONTROL
180 CRABTREE LANE
LOT 42, HORN ENTERPRISES
TOWN OF JACKSON, WYOMING



LOT 43
HORN ENTERPRISES
FIRST ADDITION TO THE
TOWN OF JACKSON

LOT 41
HORN ENTERPRISES FIRST ADDITION
TO THE TOWN OF JACKSON

WOOD FENCE

92.

MATTHEW & CHANTALLE LEKREY
LOT 42
HORN ENTERPRISES FIRST ADDITION
TO THE TOWN OF JACKSON
PLAT NO. 314
5085.630 SQ.FT.

EXISTING BUILDING TO REMODELED

LOT 45
HORN ENTERPRISES FIRST ADDITION
TO THE TOWN OF JACKSON

W0

EDGE
ADJOIN
DRIVE

NOTE:

1. HARMONY DESIGN AND ENGINEERING PERFORMED THE TOPOGRAPHIC SURVEY FOR THIS PROPERTY IN SEPTEMBER 2021. ELEVATIONS WERE DERIVED USING US SURVEY FEET AND ARE BASED ON A GPS MEASUREMENT TO FOUND MONUMENT AT THE SOUTH-WEST CORNER OF LOT 36 (GPS DERIVED, GEIOD 12B) (BASE ELEVATION = 6140.15').
2. UTILITIES SHOWN ARE FROM GIS DATA. WATER AND SEWER UTILITIES ARE FROM TOWN OF JACKSON GIS DATA. POWER INFRASTRUCTURE SHOWN IS 2020 GIS DATA FROM LOWER VALLEY ENERGY.



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgeng.com



PROJECT TITLE:
**LEKREY TRIPLEX RENOVATION
GRADING AND EROSION CONTROL
180 CRABTREE LANE
LOT 42, HORN ENTERPRISES
TOWN OF JACKSON, WYOMING**

PROJECT TITLE:

SHEET TITLE: SITE VEHICLE TRACKING

| | |
|----------------|------------|
| DRAFTED BY: | JK |
| REVIEWED BY: | TK |
| PLAN VERSION | DATE |
| BDR PERMIT | 11/01/2021 |
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| | |
| PROJECT NUMBER | |
| 21115 | |
| SHEET | |
| C3.1 | |



5 10

SCALE: 1 INCH = 5 FEET
THIS SCALE VALID ONLY FOR 22x34 PRINTS

EEI

LOT 43
HORN ENTERPRISES
FIRST ADDITION TO THE
TOWN OF JACKSON

LOT 41
HORN ENTERPRISES FIRST ADDITION
TO THE TOWN OF JACKSON

WOOD FENCE

MATTHEW & CHANTALLE LEKRE
LOT 42
HORN ENTERPRISES) FIRST ADDITION
TO THE TOWN OF JACKSON
PLAT NO. 314
5085.630 SQ.FT.

EXISTING BUILDING TO BE REMODELED

LOT 45
HORN ENTERPRISES FIRST ADDITION
TO THE TOWN OF JACKSON

92.49' (M)
92.42' (R)

EDGE
ADJOIN
DRIVE

NOTE:

1. HARMONY DESIGN AND ENGINEERING PERFORMED THE TOPOGRAPHIC SURVEY FOR THIS PROPERTY IN SEPTEMBER 2021. ELEVATIONS WERE DERIVED USING US SURVEY FEET AND ARE BASED ON A GPS MEASUREMENT TO FOUND MONUMENT AT THE SOUTH-WEST CORNER OF LOT 36 (GPS DERIVED, GEIOD 12B) (BASE ELEVATION = 6140.15').
2. UTILITIES SHOWN ARE FROM GIS DATA. WATER AND SEWER UTILITIES ARE FROM TOWN OF JACKSON GIS DATA. POWER INFRASTRUCTURE SHOWN IS 2020 GIS DATA FROM LOWER VALLEY ENERGY.

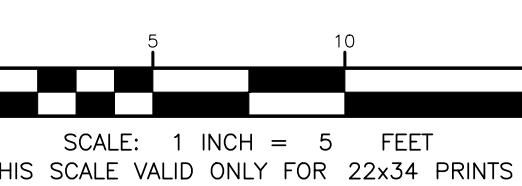
PROJECT TITLE:
**LEKREY
GRADIN
180 CRA
LOT 42,
TOWN O**

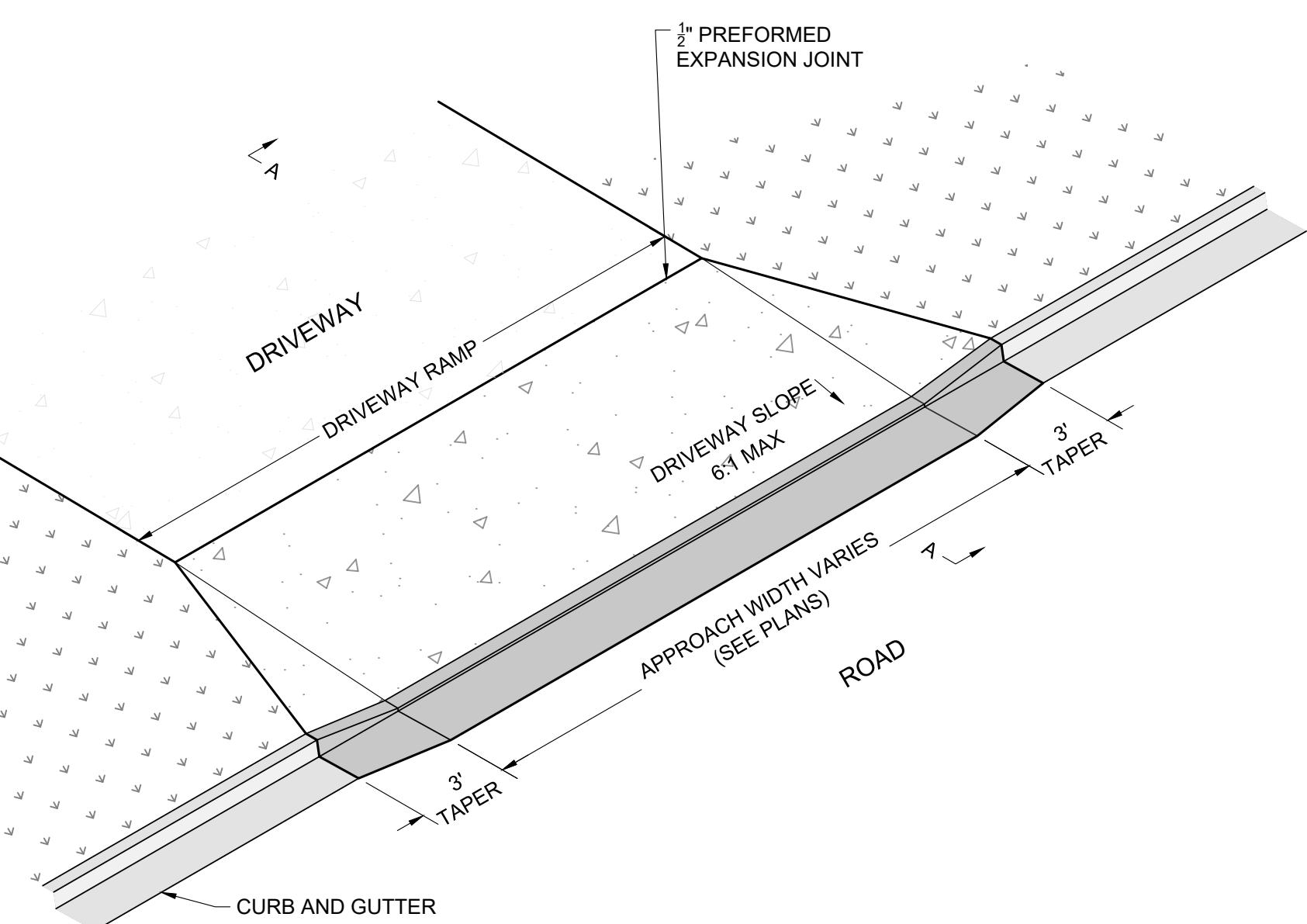
SHEET TITLE: **STORMWATER OVERVIEW**

| | |
|--------------|------------|
| DRAFTED BY: | JK |
| REVIEWED BY: | TK |
| PLAN VERSION | DATE |
| BDR PERMIT | 11/01/2021 |

PROJECT NUMBER
21115

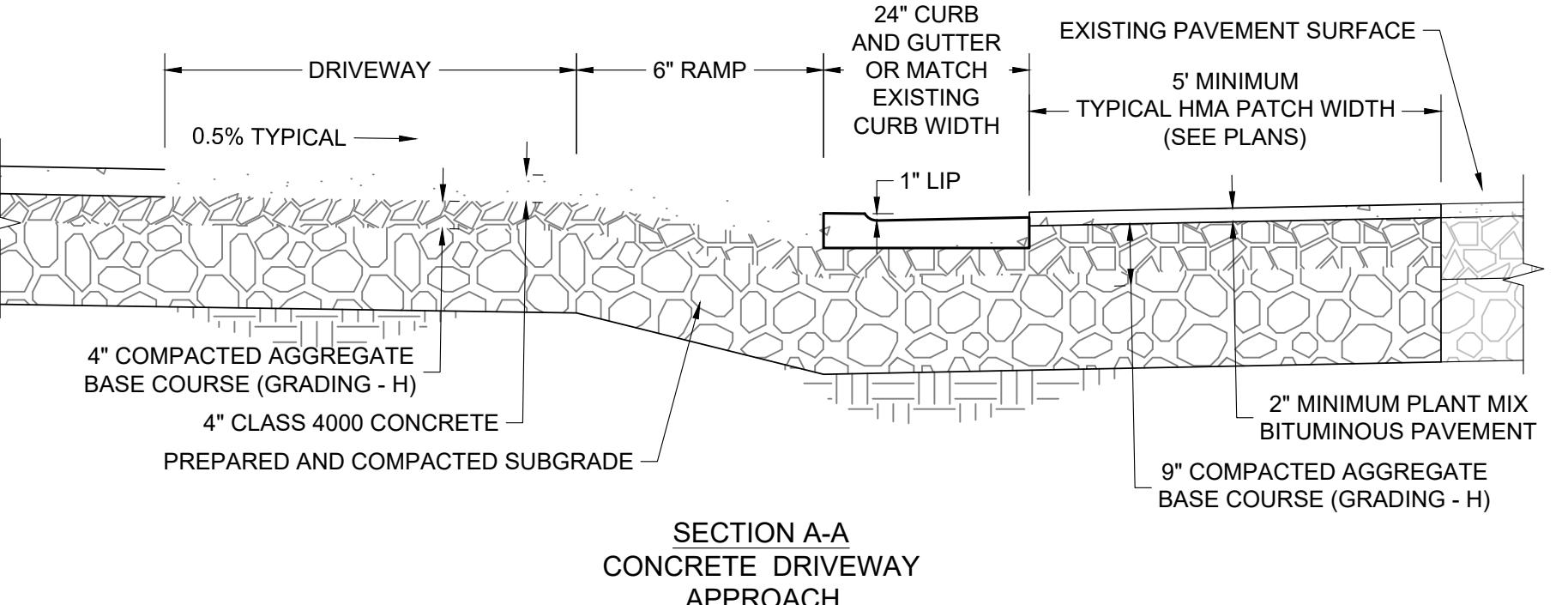
SHEET
C3.2





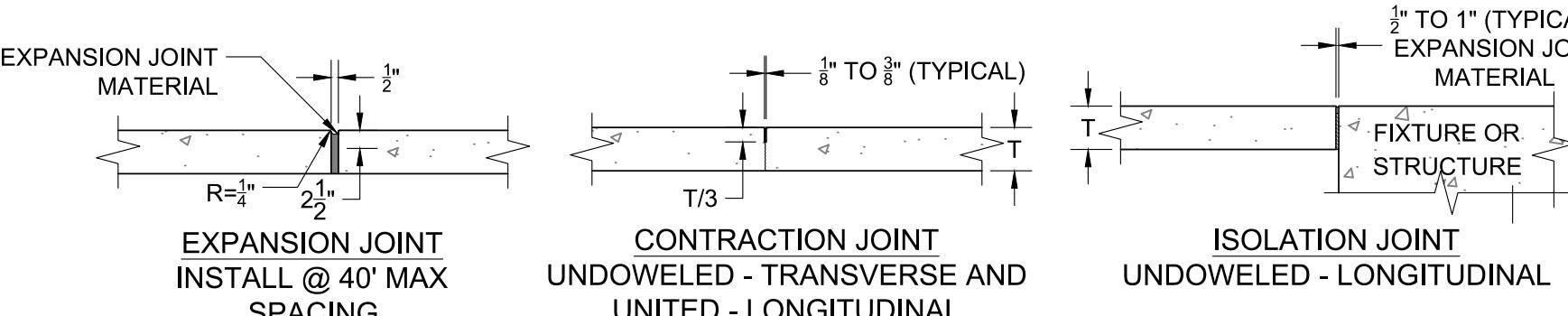
DRIVEWAY APPROACH DETAIL

NOT TO SCALE



DRIVEWAY APPROACH SECTIONS

NOT TO SCALE



NOTE

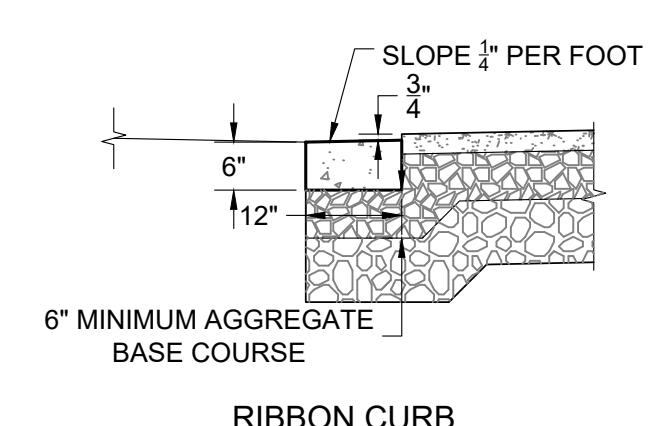
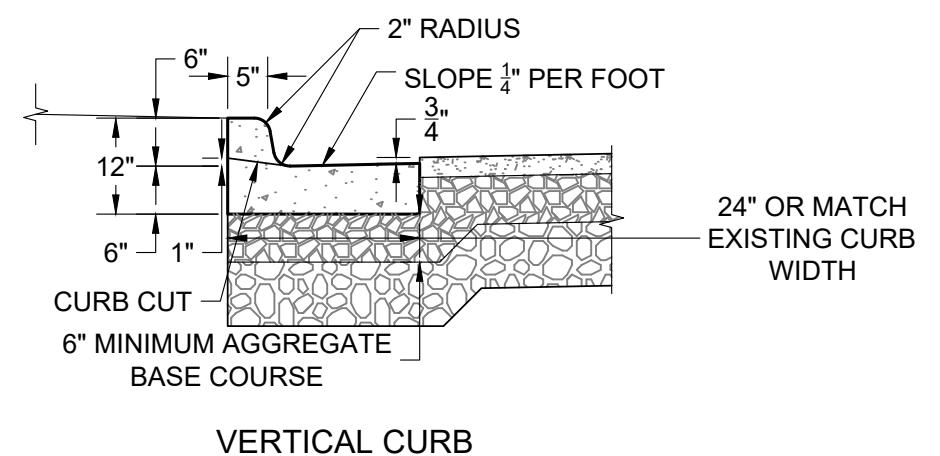
1. INSTALL ISOLATION JOINTS WHEN ABUTTING A FIXED STRUCTURE. USE EXPANSION JOINT MATERIAL EXTENDING THE FULL DEPTH AND LENGTH OF THE CONCRETE SURFACE.
2. TRANSVERSE AND LONGITUDINAL CONSTRUCTION JOINTS ARE NOT INCLUDED IN THE JOINT LAYOUT PLAN. USE TRANSVERSE AND LONGITUDINAL CONSTRUCTION JOINTS SPARINGLY. SUBMIT PLANNED CONSTRUCTION JOINT LOCATIONS TO THE ENGINEER FOR APPROVAL.
3. MAINTAIN JOINT SEALANT SHAPE FACTOR 1:1 EXCEPT WHEN SILICONE SEALANT IS USED, THE WIDTH TO DEPTH SHAPE FACTOR IS 2:1 OR AS RECOMMENDED BY SEALANT MANUFACTURER.

NOTE

1. REFER TO STRUCTURAL PLANS FOR CONCRETE SPECIFICATIONS.
2. REINFORCING STEEL SHALL BE NO. 3 BARS AT 15" ON CENTER, EACH WAY OR 6x6xW5 WIRE MESH FOR 4" THICK PORTIONS AND NO. 4 BARS AT 18" ON CENTER OR 6x6xW6.5 WIRE MESH FOR 6" THICK PORTIONS. WHERE THICKENED EDGE OCCURS, PLACE ONE BAR IN BOTTOM OF THICKENED EDGE. MAINTAIN 1 1/2" COVER ON ALL REINFORCING STEEL.
3. EXPANSION JOINTS SHALL BE PLACED PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.
4. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03 GRADING H OR W, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
5. CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER
6. MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACED WITH STRUCTURAL MATERIAL TO SUBGRADE ELEVATION.
7. WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRED. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

CONCRETE DRIVEWAY GRID DETAIL

NOT TO SCALE



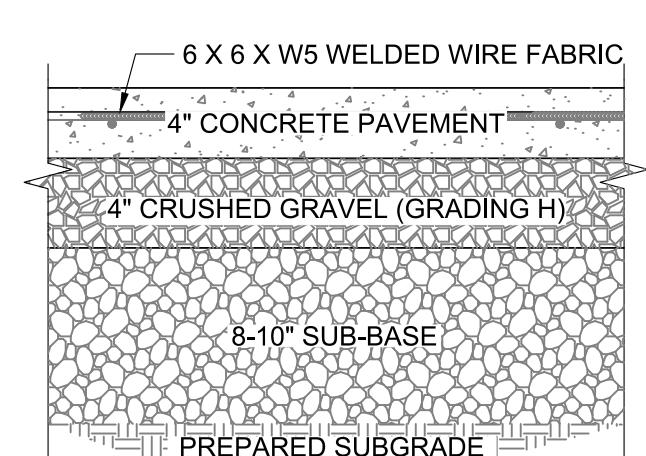
NOTE

1. CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
3. REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
4. ROLL CURB SHALL NOT BE ALLOWED.

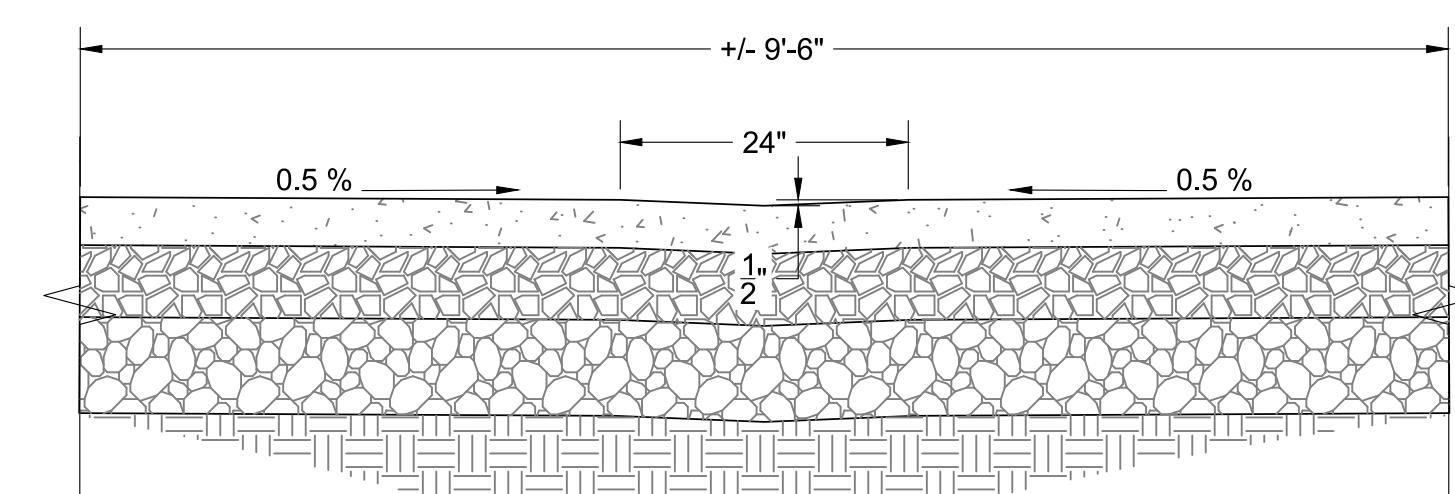
CURB SECTION DETAIL

NOT TO SCALE

TOJ ST-110



SECTION

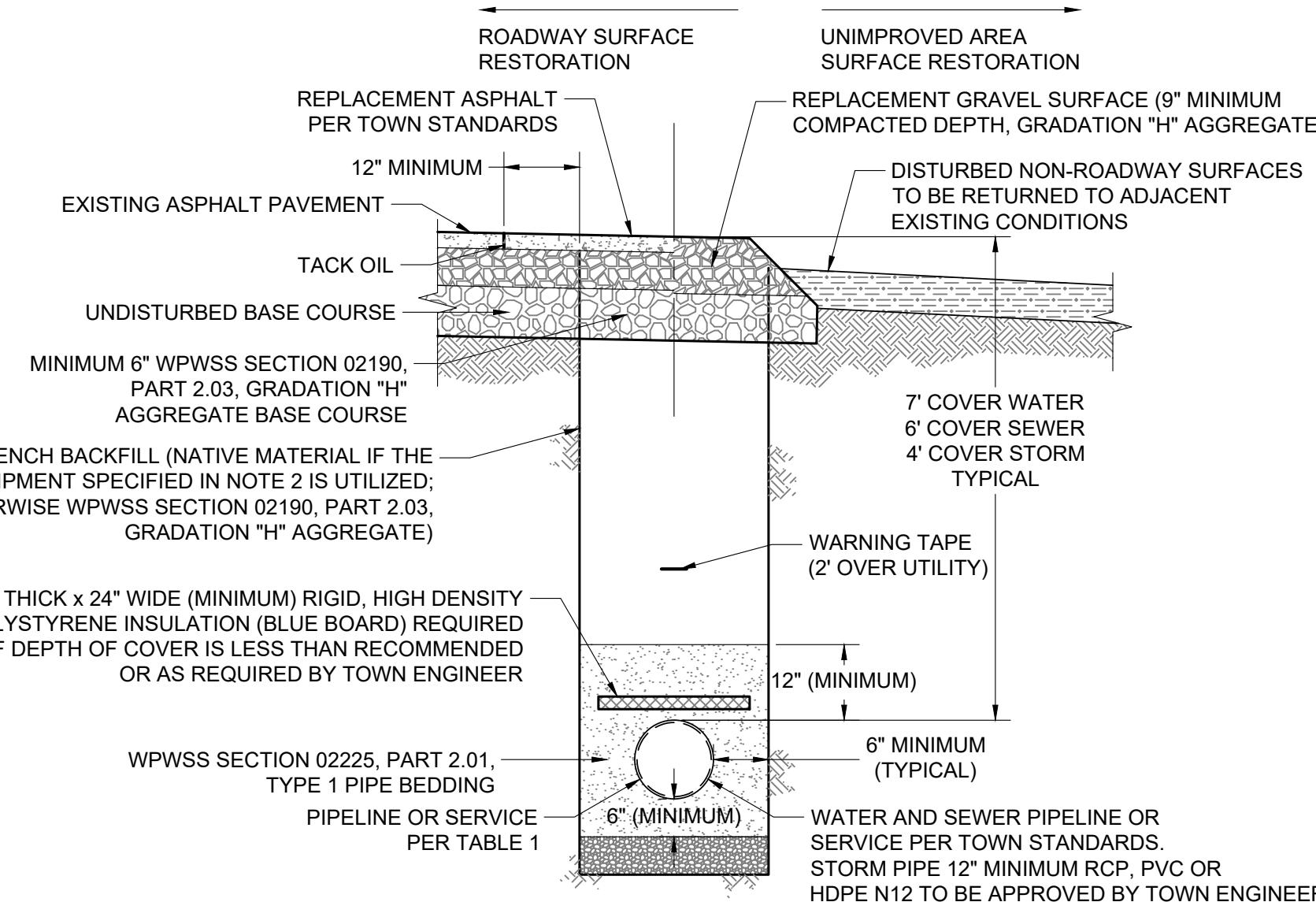


INVERTED DRIVEWAY CROWN SECTION

SHEET TITLE: CIVIL SITE DETAILS

| | |
|----------------|------------|
| DRAFTED BY: | JK |
| REVIEWED BY: | TK |
| PLAN VERSION | DATE |
| BDR PERMIT | 11/01/2021 |
| PROJECT NUMBER | 21115 |
| SHEET | C4.0 |

PROJECT TITLE: LEKREY TRIPLEX RENOVATION GRADING AND EROSION CONTROL 180 CRABTREE LANE LOT 42, HORN ENTERPRISES TOWN OF JACKSON, WYOMING



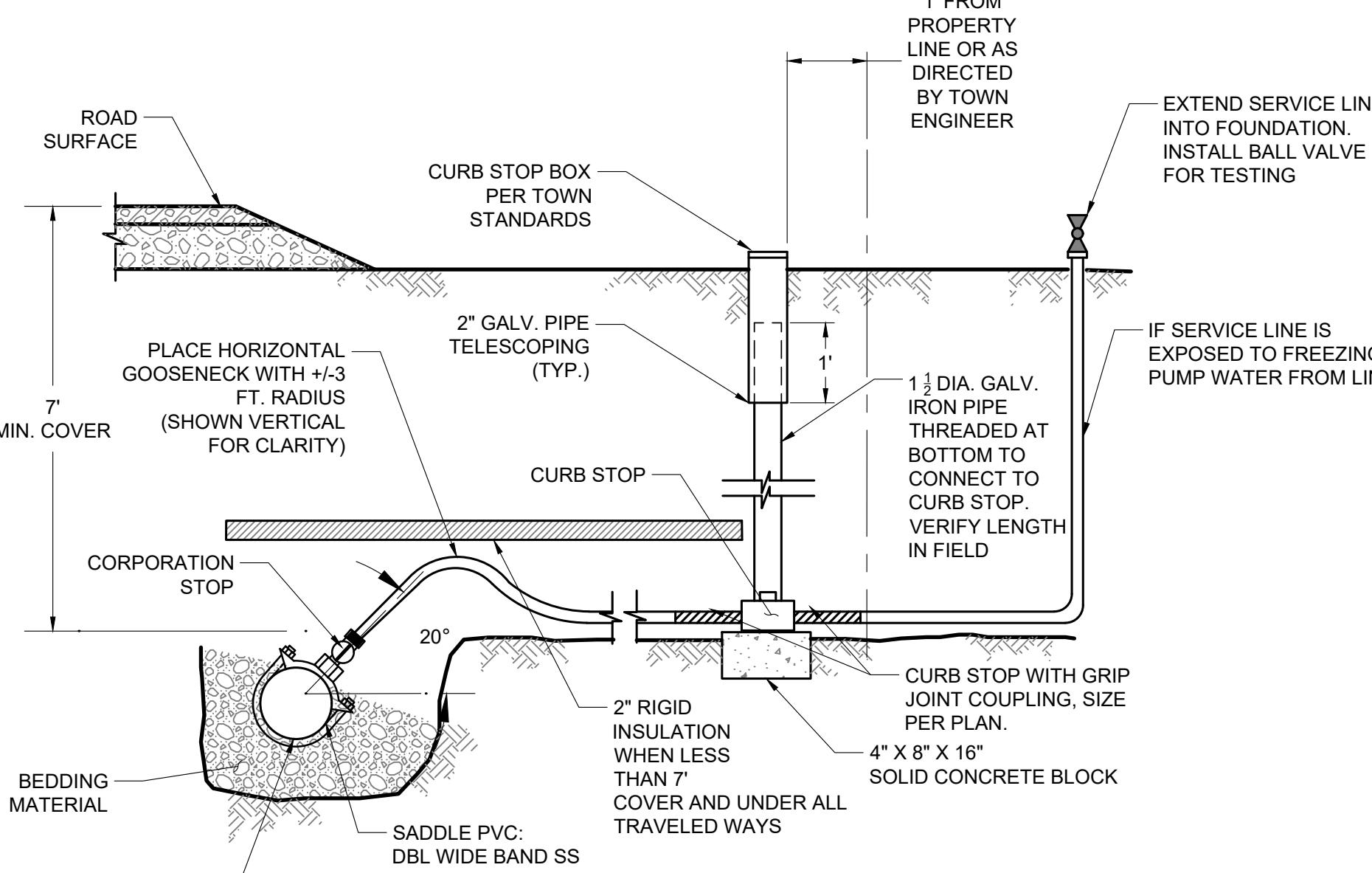
NOTE

1. TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
2. COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEP'S FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
3. PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
4. UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
5. ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.
6. PROVIDE INSULATION WHERE COVER OVER WATER LINES AND FORCE MAINS ARE LESS THAN 7 FEET AND WHERE SANITARY SEWER AND STORM LINES ARE LESS THAN 5 FEET.

PIPE TRENCH DETAIL

NOT TO SCALE

TOJ W-100, SS-100, STM-100



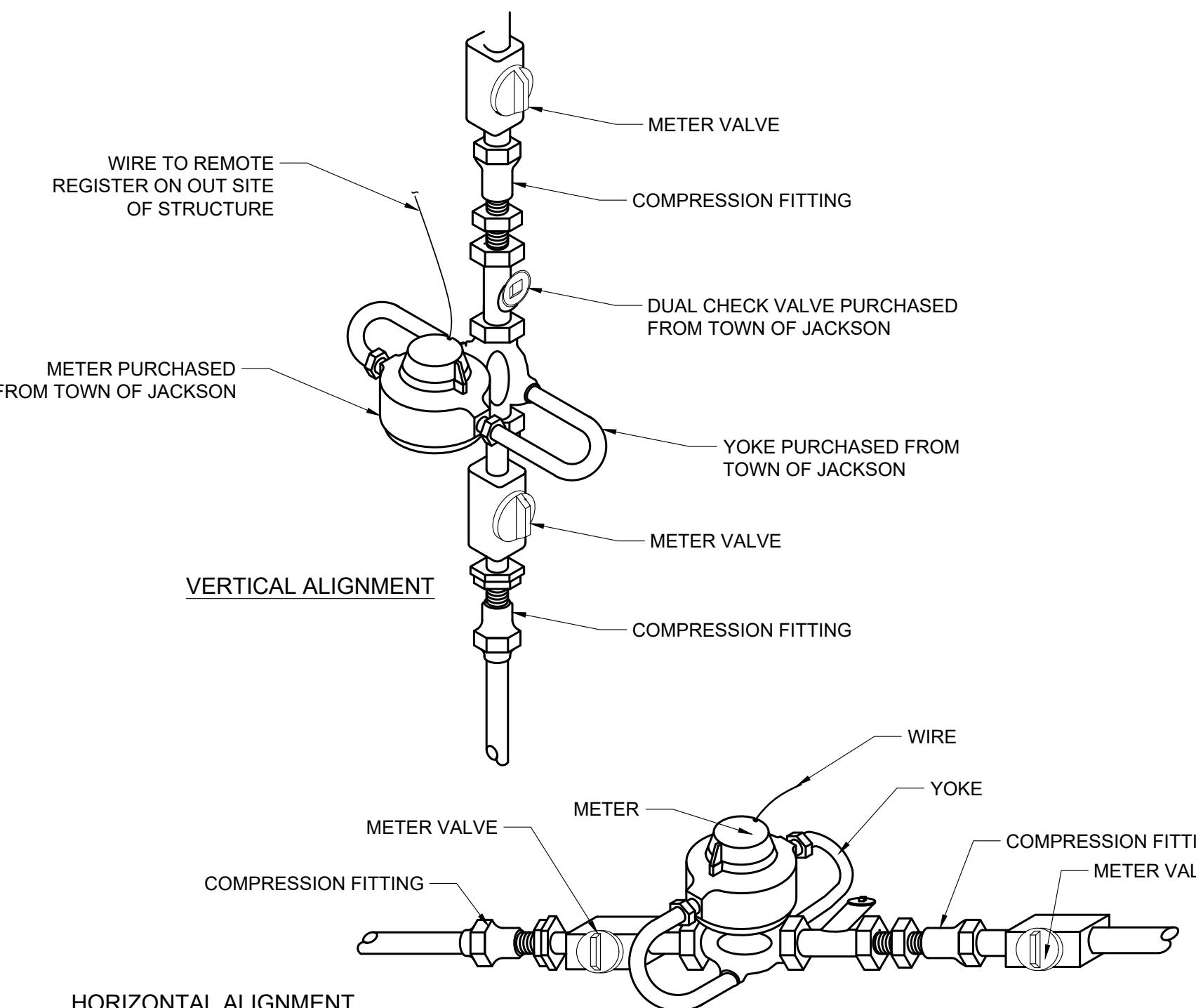
2" WATER SERVICE DETAIL

NOT TO SCALE

UTILITY TRENCH DETAIL

NOT TO SCALE

WITH NATURAL GAS



NOTES:

1. SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
2. METER SHALL BE INSTALLED WITH THE METER FACING UP.
3. METER SHALL BE PURCHASED FROM AND SUPPLIED BY THE TOWN OF JACKSON.

WATER METER INSTALLATION 1"

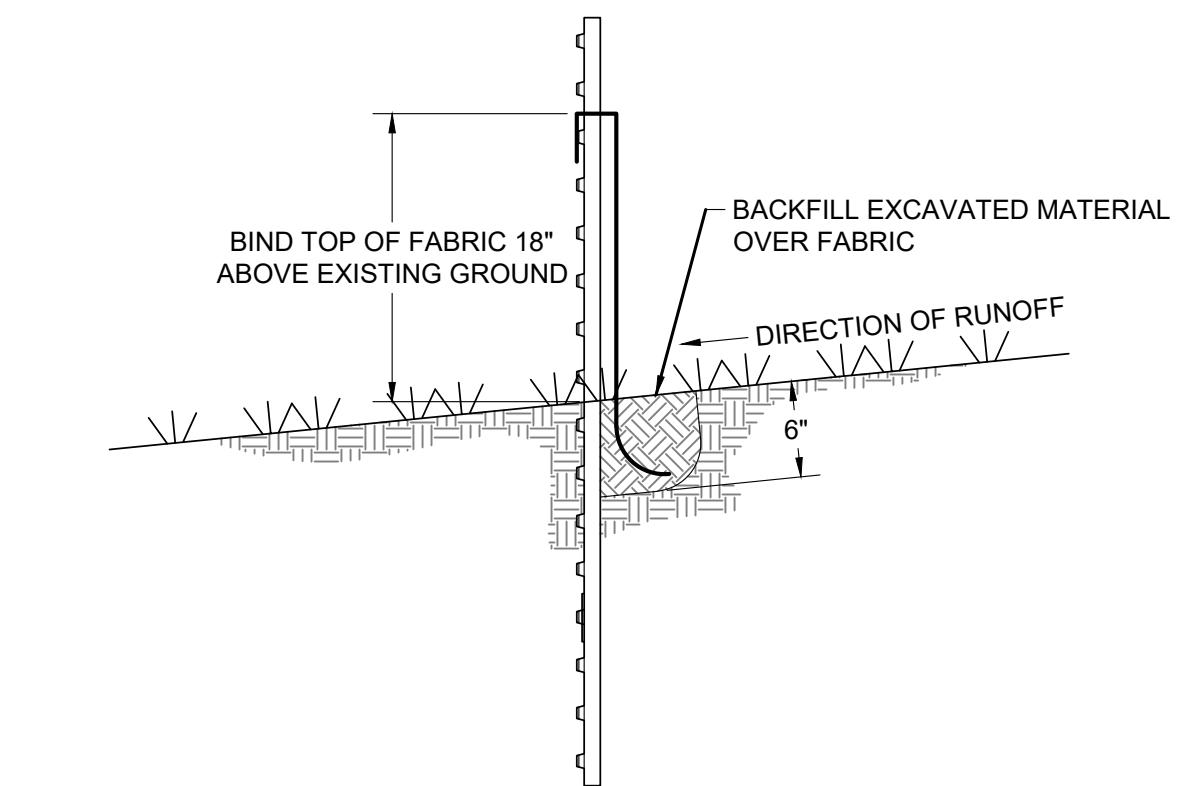
NOT TO SCALE

TOJ W-112

NOT TO SCALE

TOJ W-112

NOT TO SCALE



NOTE

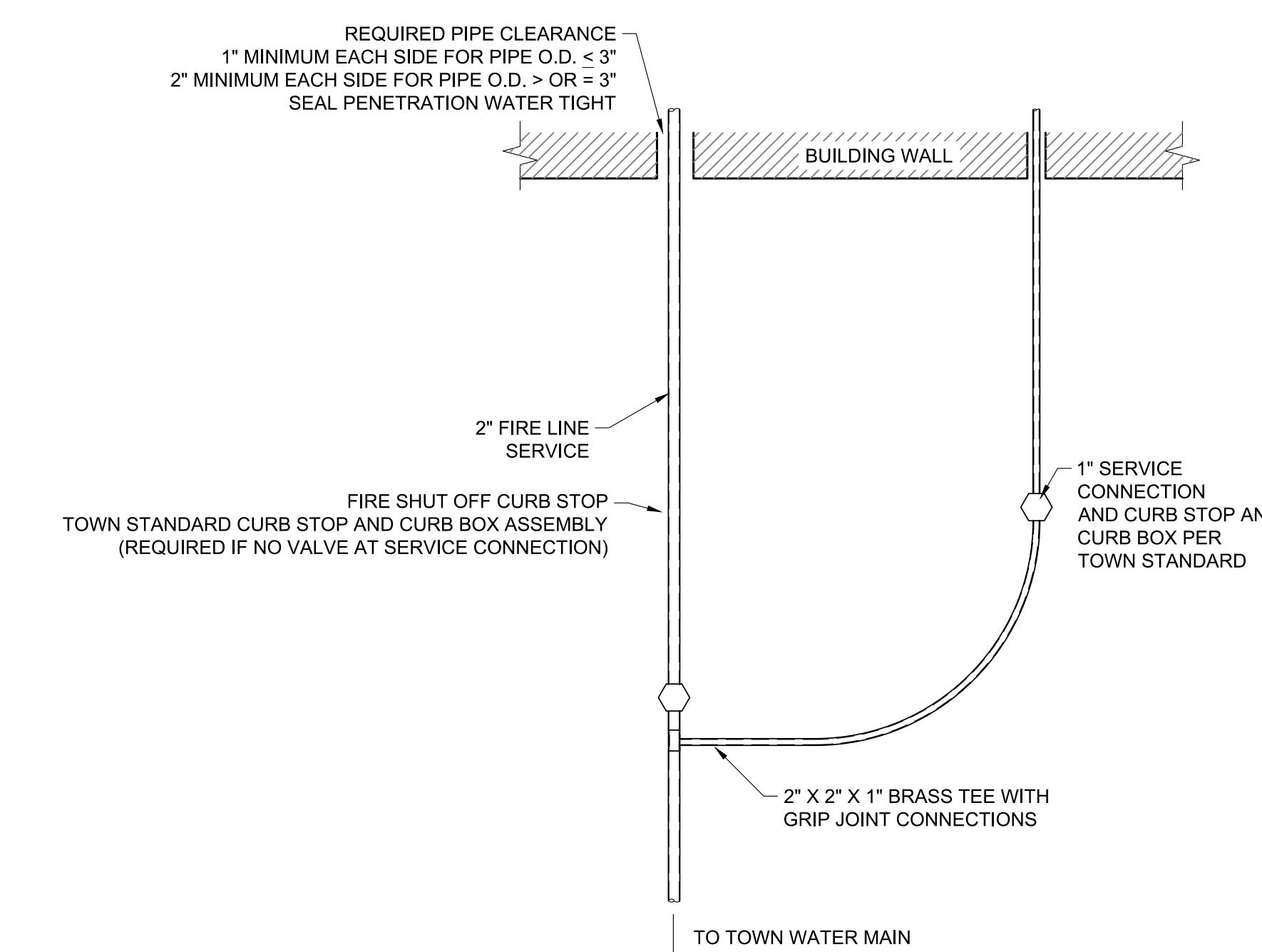
1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CUSTOMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN HDPE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AS SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

NOTE

1. USE MIRAFI 100X FILTER FABRIC WITH STEEL FENCE POSTS AT 10' ON CENTER OR APPROVED EQUAL.
2. PLACE SILT FENCE DOWN GRADIENT OF CONSTRUCTION OPERATIONS AS SHOWN ON THE PLANS TO CONTROL SILT FROM LEAVING SITE.

SILT FENCE DETAIL

NOT TO SCALE



NOTE

1. FIRE SERVICE LINE ENTRY INTO BUILDING OR STRUCTURE SHALL BE SUBJECT TO REGULATIONS OF AND REVIEW BY THE TOWN OF JACKSON BUILDING DEPARTMENT AND FIRE MARSHALL.
2. PROVIDE AN INDIVIDUAL BRANCH FOR EACH INDEPENDENT SERVICE.

FIRE LINE WITH 1" WATER SERVICE DETAIL

NOT TO SCALE

TOJ W-110 REVISED FOR 2"

FIRE SPRINKLER LINE

CIVIL UTILITY DETAILS

DRAFTED BY: JK
REVIEWED BY: TK
PLAN VERSION DATE
BDR PERMIT 11/01/2021

PROJECT NUMBER 21115

SHEET C4.1



PROJECT TITLE: LEKREY TRIPLEX RENOVATION CONTROL
GRADING AND EROSION CONTROL
180 CRABTREE LANE
LOT 42, HORN ENTERPRISES
TOWN OF JACKSON, WYOMING