



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Change Basic Use for small commerical unit
Physical Address: 420 S. Hwy 89 of small commercial unit
Lot, Subdivision: Lot 7 B and 9 Lark Addition
PIDN: 22-41-16-32-07-007

PROPERTY OWNER.

Name: Shervin Limited Partnership Phone: 3076991131
Mailing Address: PO Box 796, Jackson, WY ZIP: 83001
E-mail: sarah@shervins.com

APPLICANT/AGENT.

Name: Shervin LP, Sarah Devine, Vice President Phone: 3076991131
Mailing Address: PO Box 796, Jackson, WY ZIP: 83001
E-mail: sarah@shervins.com

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit	Physical Development	Interpretations
<input checked="" type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input type="checkbox"/> Design Review	Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	Miscellaneous
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

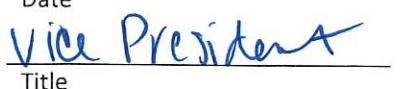
Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Property Owner or Authorized Applicant/Agent
Sarah Devine
Name Printed

3-4-2021
Date

Vice President
Title

SHERVIN MIXED-USE BUILDING

SHERVIN MIXED-USE

structural Engineers
on Adams Parkway
D
ills, ID 83405
3-6918

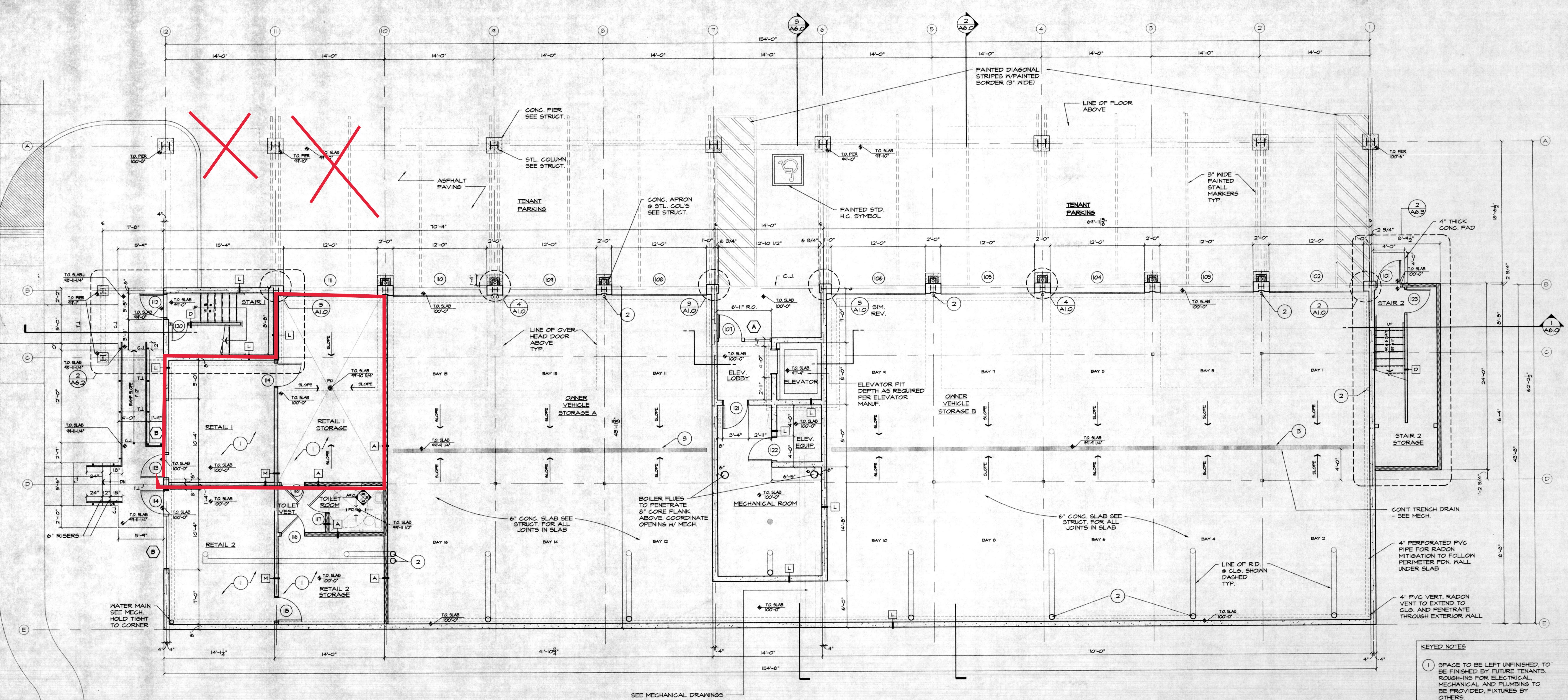
MECHANICAL
ELECTRICAL
ENGINEERS

Engineering, LLC
t Cedar St.
o, Idaho 83201
engllc.com
3-4612

1

DATE: 07-07-03

A-1.0



FIRST FLOOR PLAN

3/16" = 1'-0" 6792 SF

NOTE SCALE

KEYED NOTES

- 1 SPACE TO BE LEFT UNFINISHED, TO BE FINISHED BY FUTURE TENANTS. ROUGH-INS FOR ELECTRICAL, MECHANICAL AND PLUMBING TO BE PROVIDED, FIXTURES BY OTHERS.
- 2 ROOF DRAINS - SEE MECHANICAL
- 3 TRENCH DRAIN - SEE MECHANICAL

WALL KEY

A 2x6 STUDS @ 16" O.C. INSULATED W/ 5/8" GWB EACH SIDE.

A1 2x6 STUDS @ 16" O.C. INSULATED W/ 5/8" GWB & 1/2" PLYWD. EACH SIDE. SEE STRUCT. DWGS FOR SHEAR WALL INFO.

B 2x4 STUDS @ 16" O.C. INSULATED W/ 5/8" GWB EACH SIDE.

C 8" CONCRETE WALL W/ 5/8" GWB OVER FURRING STRIPS @ 16" O.C.

D 2x4 STUDS @ 16" O.C. W/ 5/8" GWB EACH SIDE.

D1 2x4 STUDS @ 16" O.C. W/ 5/8" GWB EACH SIDE & 1/2" PLYWD ONE SIDE. SEE STRUCT. DWGS.

E DOUBLE STUD WALL W/ 2x4 STUDS @ 16" O.C. INSULATED FOR EACH WALL. PROVIDE 1/4" GAP BETWEEN WALLS. FACE W/ 5/8" GWB EACH SIDE.

F 2x6 STUDS @ 16" O.C. INSULATED W/ 5/8" GWB & VAPOR BARRIER @ INSIDE FACE. 1/2" PLYWOOD SHEATHING, 5/8" EXTERIOR GWB, AIR INFILTRATION BARRIER AND WOOD SIDING @ EXTERIOR FACE.

G 2x6 STUDS @ 16" O.C. INSULATED W/ 5/8" GWB ONE SIDE ONLY. GWB TO BE AT FINISHED ROOM SIDE.

H 2x4 STUDS @ 16" O.C. INSULATED W/ 5/8" GWB ONE SIDE ONLY. GWB TO BE AT FINISHED ROOM SIDE.

J 8" CONCRETE WALL W/ 2x6 @ 16" O.C. INSULATED. FACE 2x6 WALL W/ 5/8" GWB.

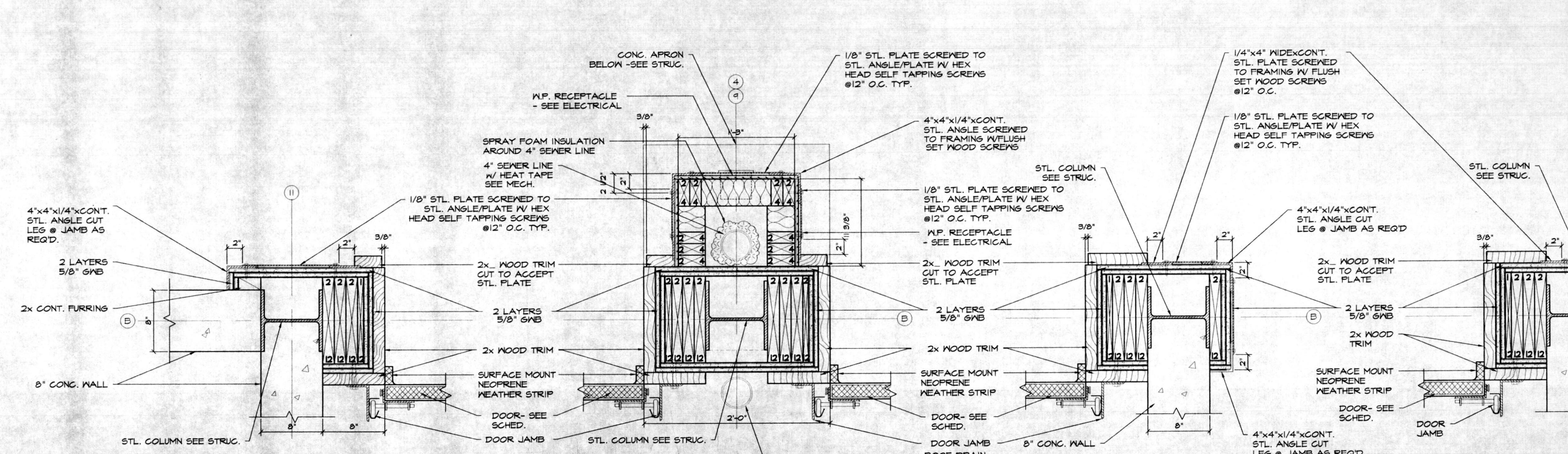
K 8" CONCRETE WALL W/ 2x4 FURRING STRIPS ON EDGE @ 16" O.C. INSULATED. FACE 2x4 WALL W/ 5/8" GWB.

L 8" CONCRETE WALL

M 2x6 STUDS @ 16" O.C. UNFINISHED FOR TENANT IMPROVEMENT

N 2x6 STUDS @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING, 5/8" EXTERIOR GWB, AIR INFILTRATION BARRIER AND WOOD SIDING @ EXTERIOR FACE.

P 2x6 STUDS @ 16" O.C. INSULATED W/ 1/2" PLYWOOD SHEATHING, VAPOR BARRIER & 5/8" GWB @ INSIDE FACE. 1/2" PLYWOOD SHEATHING, 5/8" EXTERIOR GWB, AIR INFILTRATION BARRIER AND WOOD SIDING @ EXTERIOR FACE.



COLUMN DETAIL • GARAGE DOORS

$$1 \frac{1}{2}'' = 1'-0$$

COLUMN DETAIL ② GARAGE DOORS

1 1/2" = 1'

COLUMN DETAIL • GARAGE DOORS

1 1/2" = 1

COLUMN DETAIL • GARAGE DOORS

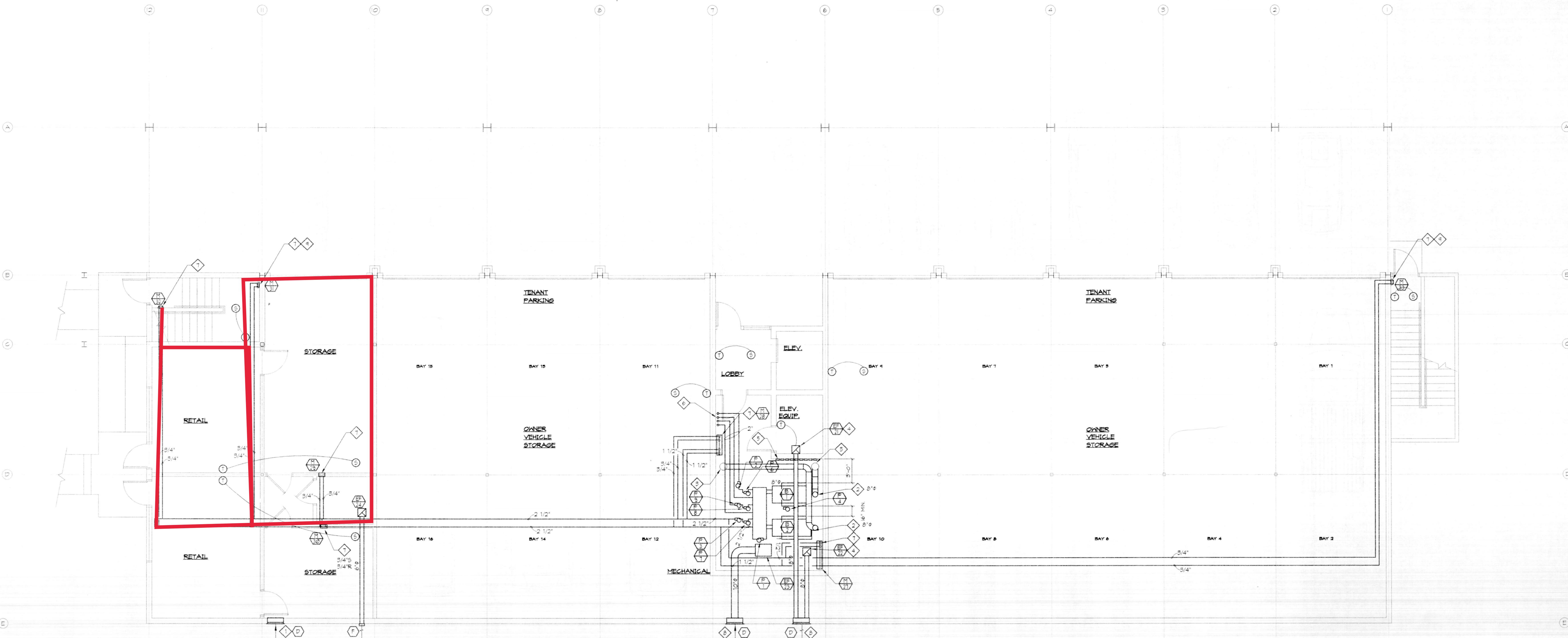
1 1/2" = 1'-



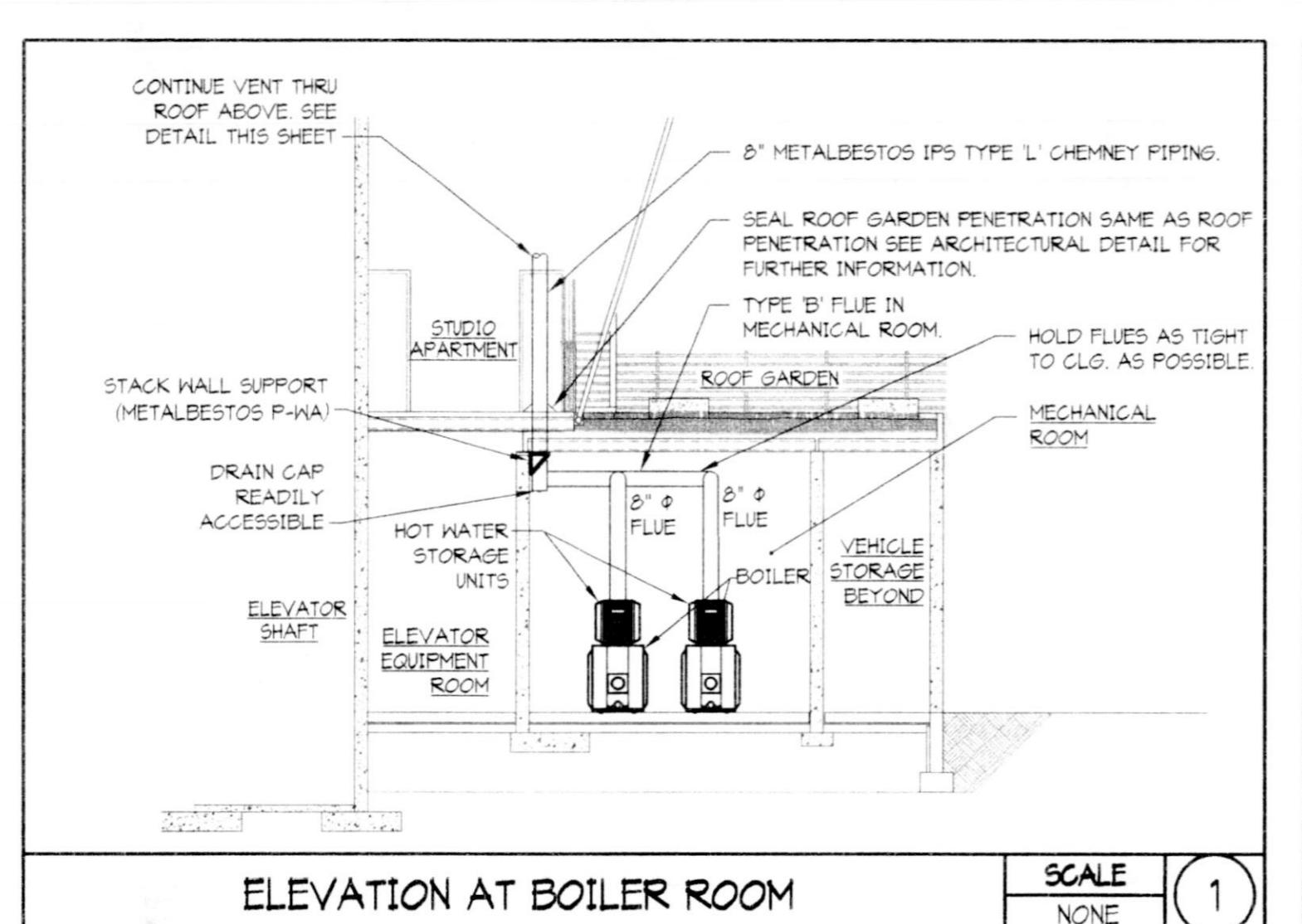
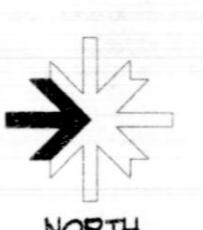
SHERVIN MIXED-USED BUILDING

LOTS TB & 9 OF LARK ADDITION AT THE CORNER OF MAPLE WAY AND HIGHWAY 189
Jackson, Wyoming

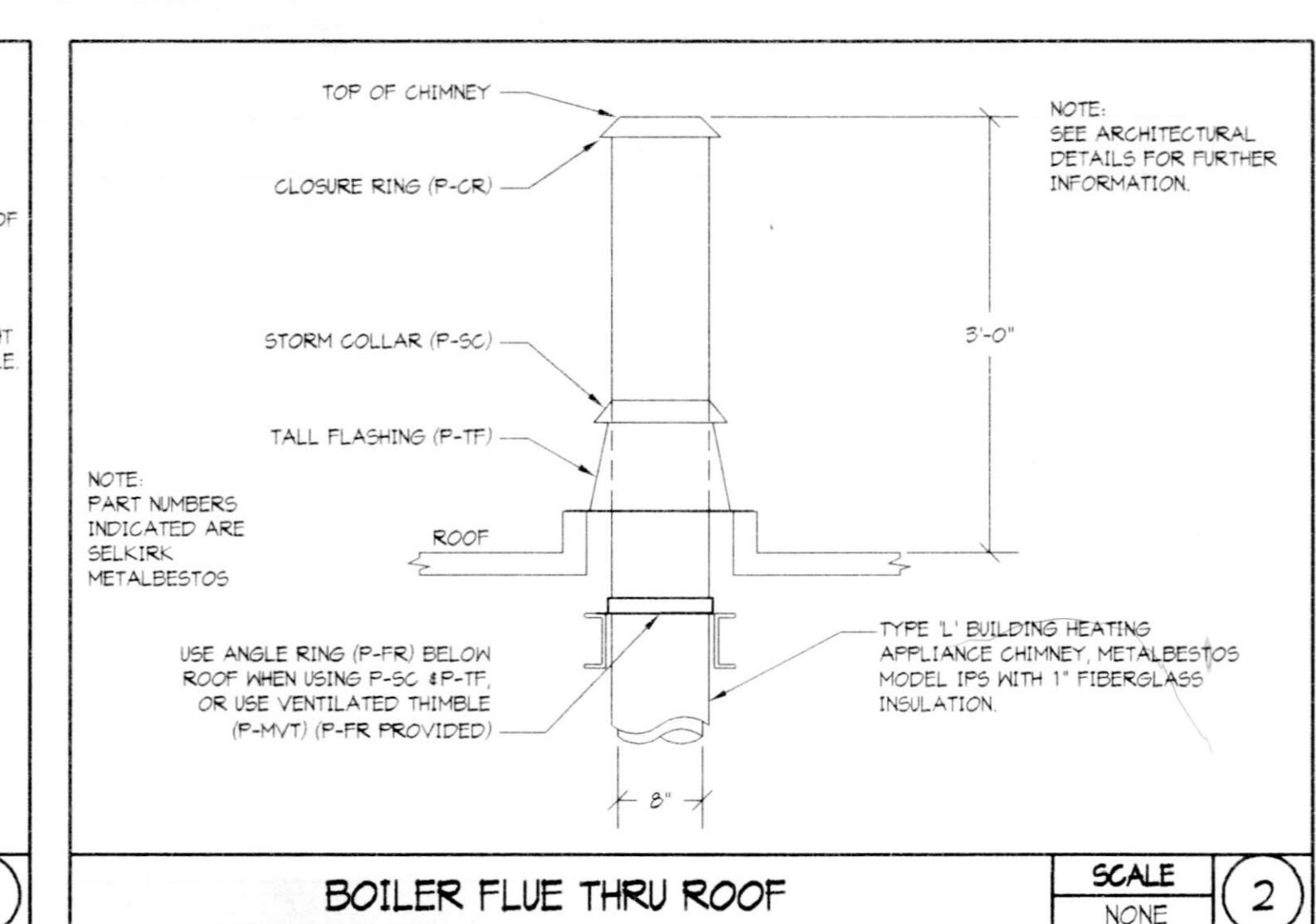
KEY NOTES	KEY NOTES
<ul style="list-style-type: none"> ◆ PROVIDE AUTOMATIC AIR VENT AT HIGH POINT OF SYSTEM. CONFIRM EXACT LOCATION. CAP AND INSULATE FOR FUTURE CONNECTION AND EXTENSION. ◆ RISE WITH BOILER FLUE AS HIGH AS POSSIBLE TO MECHANICAL ROOM CEILING AND RUN TO LOCATIONS INDICATED. ◆ RISE WITH BOILER FLUE THRU ROOF OF MECHANICAL ROOM TO LEVEL ABOVE AN ROOF BEYOND. ◆ CONTROL EXHAUST FAN WITH THERMOSTAT SET AT 90 DEG. F. ◆ BUILDING TEMPERATURE CONTROL BOXES. SEE SHEET M4.0 FOR DETAILS. ◆ RISE TO LEVEL ABOVE WITH HOT WATER HEATING SUPPLY AND RETURN PIPING. ◆ DROP WITH HOT WATER HEATING SUPPLY AND RETURN PIPING TO MANIFOLD. ◆ REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS. 	<ul style="list-style-type: none"> ◆ PROVIDE LOUVER AND WALL BOOT FOR FUTURE FRESH AIR INTAKE. CONFIRM EXACT LOCATION. CAP AND INSULATE FOR FUTURE CONNECTION AND EXTENSION. ◆ RISE WITH BOILER FLUE AS HIGH AS POSSIBLE TO MECHANICAL ROOM CEILING AND RUN TO LOCATIONS INDICATED. ◆ RISE WITH BOILER FLUE THRU ROOF OF MECHANICAL ROOM TO LEVEL ABOVE AN ROOF BEYOND. ◆ CONTROL EXHAUST FAN WITH THERMOSTAT SET AT 90 DEG. F. ◆ BUILDING TEMPERATURE CONTROL BOXES. SEE SHEET M4.0 FOR DETAILS. ◆ RISE TO LEVEL ABOVE WITH HOT WATER HEATING SUPPLY AND RETURN PIPING. ◆ DROP WITH HOT WATER HEATING SUPPLY AND RETURN PIPING TO MANIFOLD. ◆ REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS.



FIRST FLOOR PLAN - MECHANICAL
SCALE: 3/16"=1'-0"



ELEVATION AT BOILER ROOM



BOILER FLUE THRU ROOF

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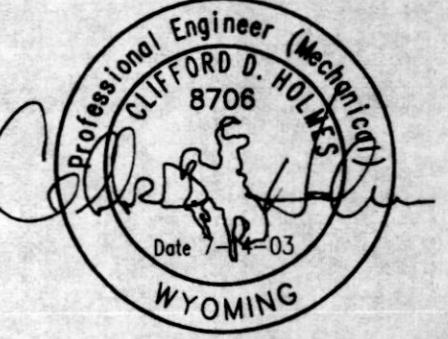
W
B

DATE: 7/7/03

Boulder Engineering, LLC
811 West Cedar
Pocatello, Idaho 83201
(208) 478-4613
(208) 478-4617 (fax)
email beng@bengllc.com



M2.0
FIRST FLOOR PLAN
MECHANICAL



SHERVIN MIXED-USED BUILDING

LOTS 78 & OF LARK ADDITION AT THE CORNER OF MAPLE WAY AND HIGHWAY 89
Jackson, Wyoming

+ STRUCTURAL ENGINEERS
G & S Structural Engineers
1600 South Adams Parkway
Suite 100
McCall, ID 83405
(208) 233-9915

+ MECHANICAL ELECTRICAL ENGINEERS
Boulder Engineering, LLC
811 West Cedar St.
Pocatello, Idaho 83201
beng@bengllc.com
(208) 478-4613

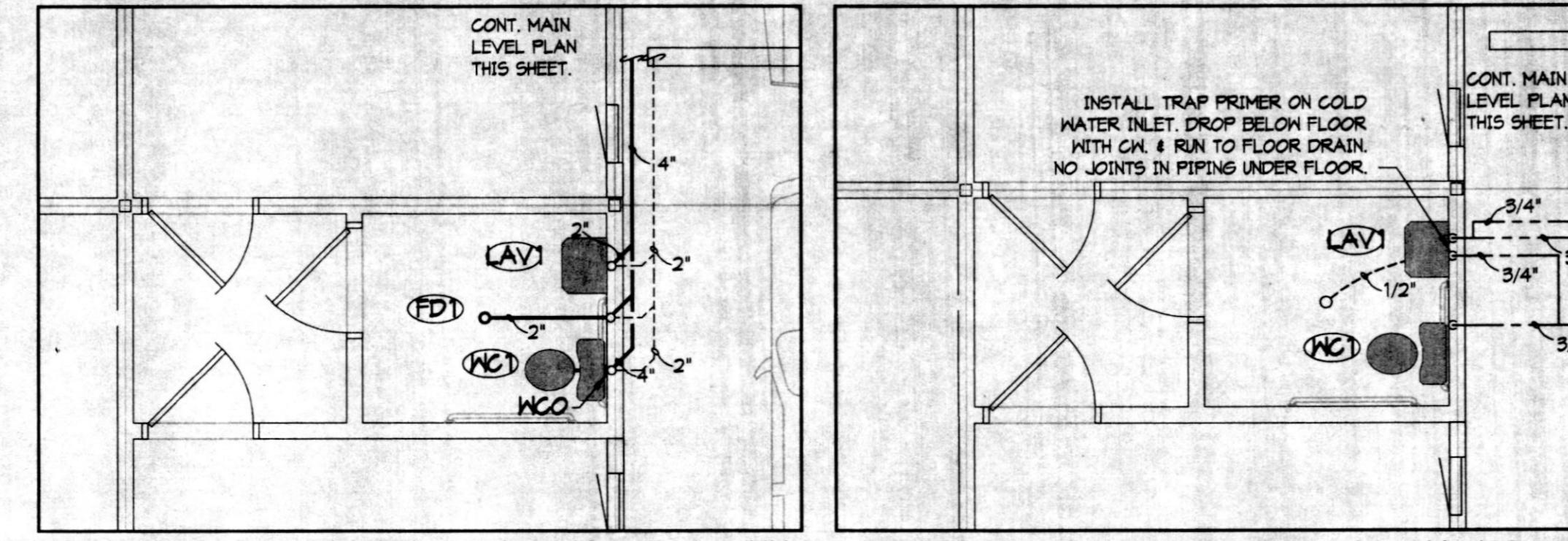
REVISIONS

WB
DATE: 7/7/03

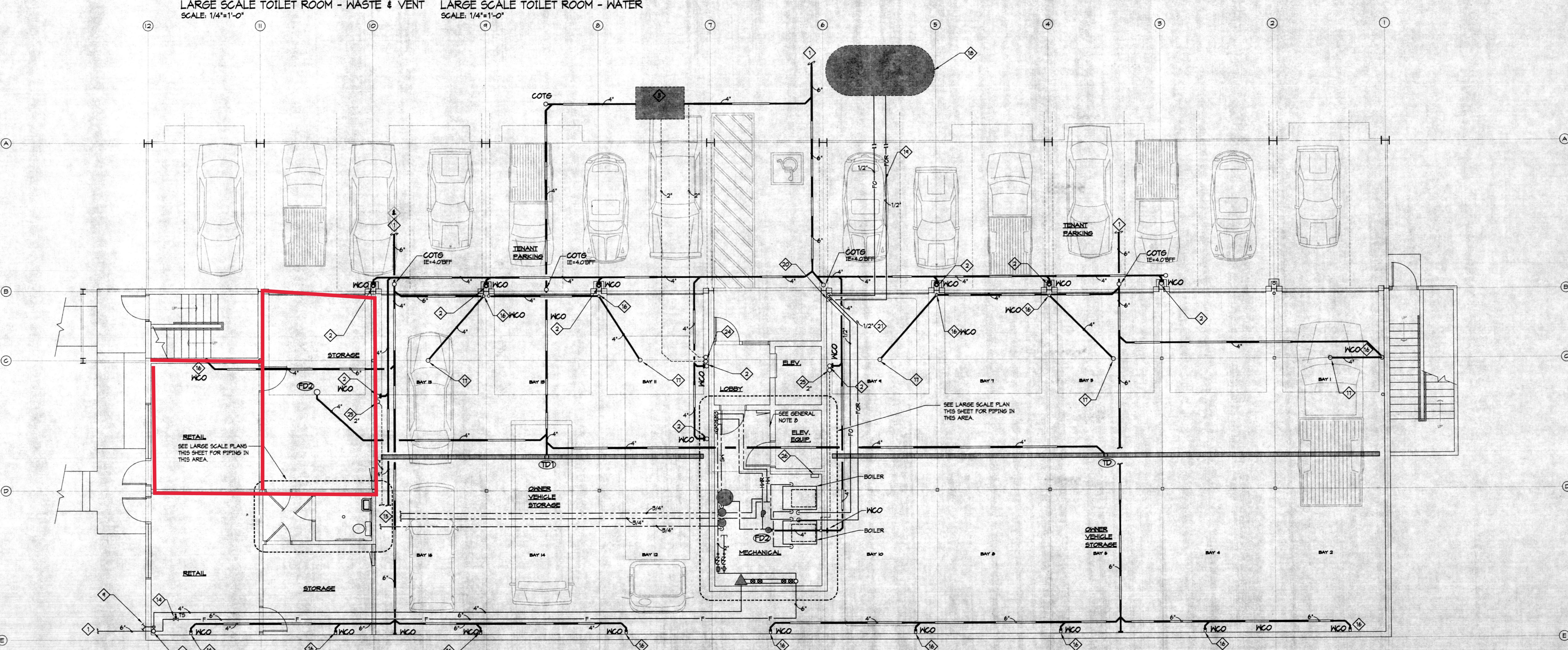
P1.0
FIRST FLOOR PLAN
PLUMBING

KEY NOTES

- ◆ POINT OF CONNECTION TO SITE UTILITIES. SEE CIVIL UTILITY PLAN FOR CONTINUATION.
- ◆ PROVIDE 6"X6"X2' TEE AND RUN A 2' LINE FOR DOMESTIC WATER AND 6" LINE FOR FIRE SPRINKLER LINE.
- ◆ RISE TO LEVELS ABOVE WITH DOMESTIC COLD WATER LINE, SOFT COLD WATERLINE, HOT WATER LINE AND HOT WATER RETURN LINE.
- ◆ PROVIDE 2"X2"X2' TEE IN DOMESTIC LINE. RUN 2" TO DOMESTIC WATER SYSTEM AND FIRE IRRIGATION SYSTEM.
- ◆ PROVIDE BALL SHUTOFF VALVE UP BACK FLOW PREVENTER AND CAP FOR FUTURE CONNECTION BY IRRIGATION CONTRACTOR.
- ◆ FIRE SPRINKLER SYSTEM BACK FLOW PREVENTION DEVICE. SEE DETAIL.
- ◆ FIRE DEPARTMENT CONNECTION PIPING. DROP BELOW FLOOR AND RUN TO RISE AT EXTERIOR MALL.

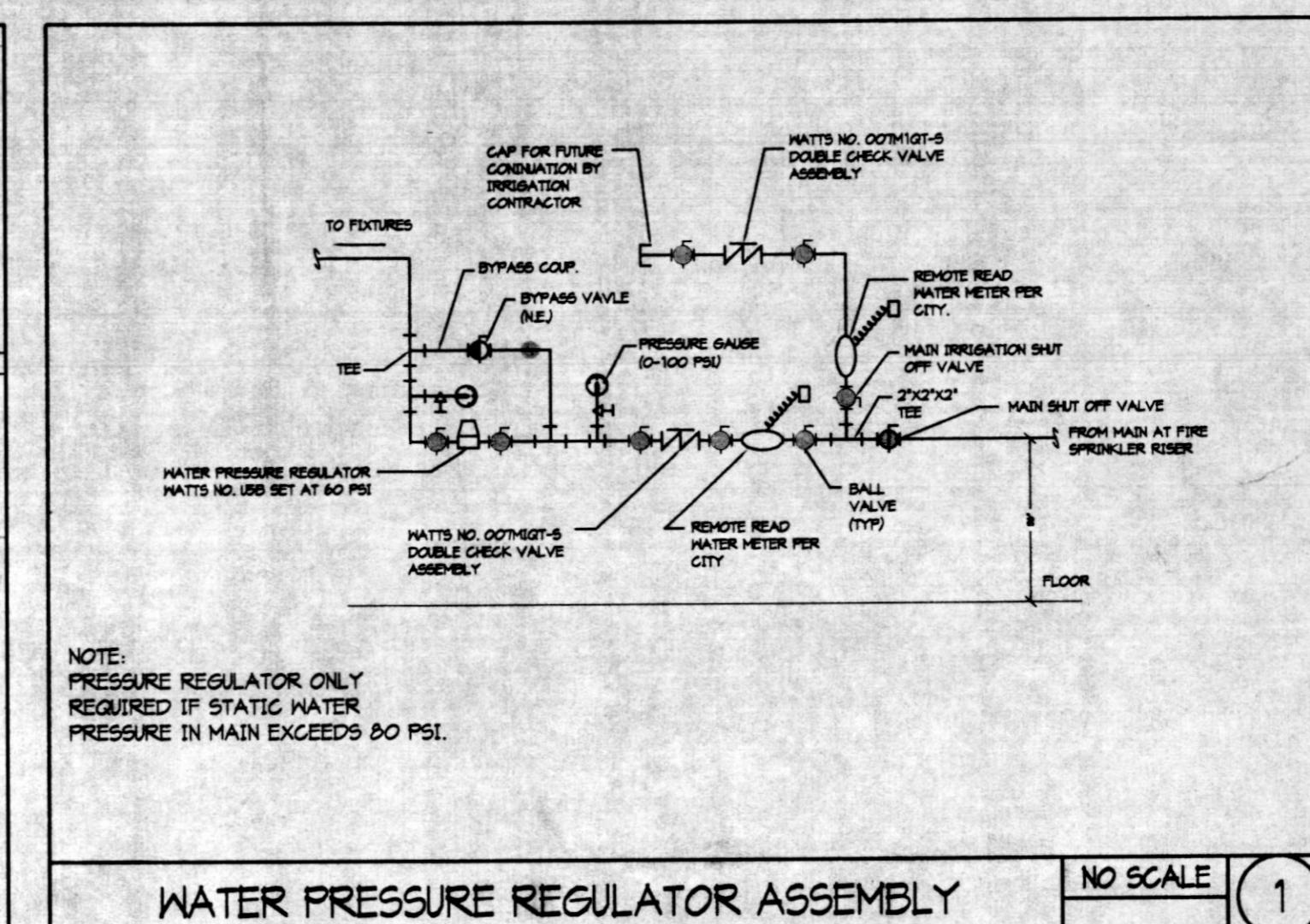
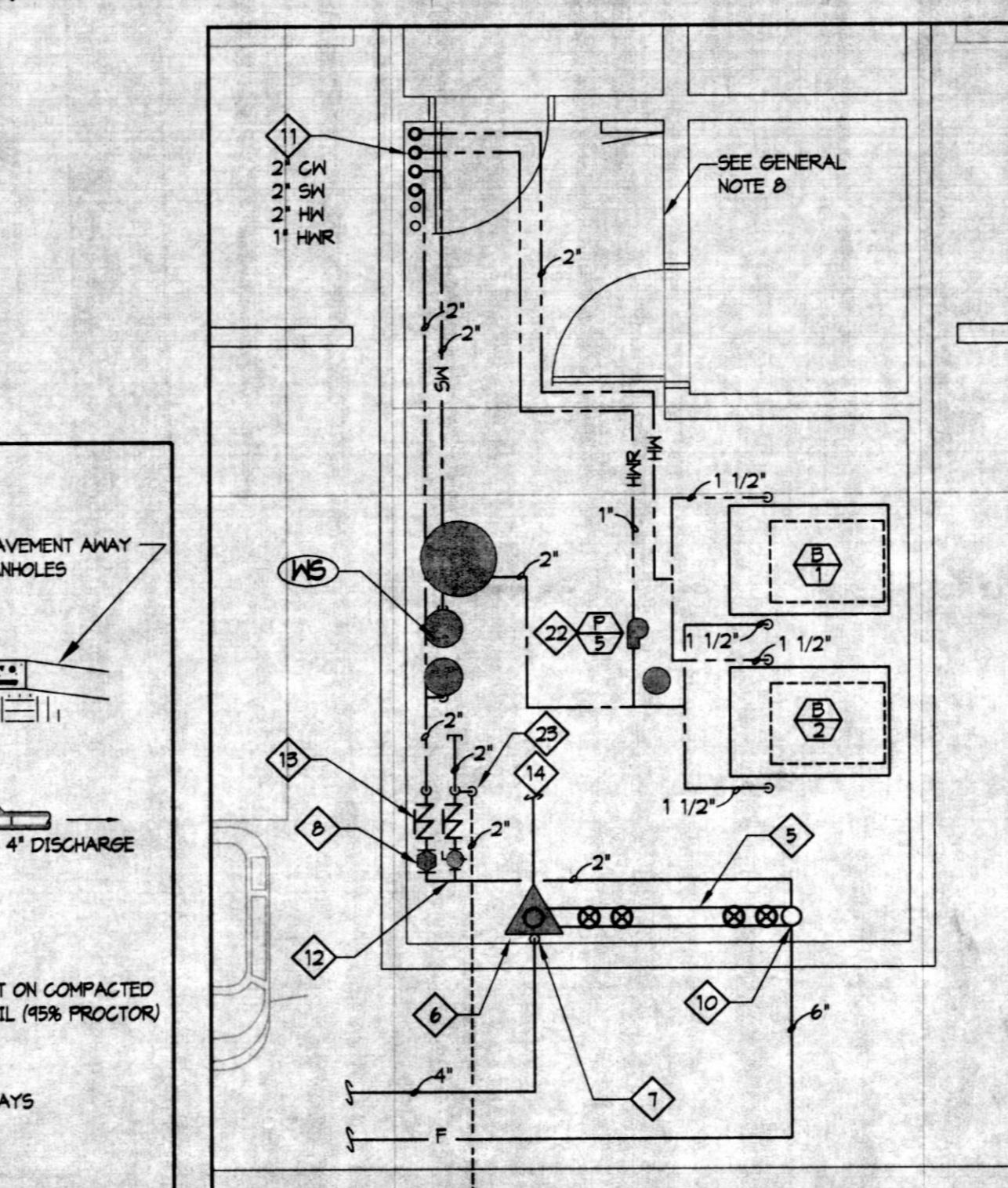


- ◆ RISE FROM BELOW GRADE WITH VENTS FROM SAND/OIL INTERCEPTOR. TIE VENTS TOGETHER AT 6' AFF. RISE WITH COMMON 2" VENT TO LEVEL ABOVE. CONTINUED SHEET P1.1. DO NOT COMBINE WITH SANITARY SEWER VENT SYSTEM.
- ◆ RISE WITH SANITARY SEWER VENT TO LEVEL ABOVE. CONTINUED SHEET P1.1.
- ◆ FUEL OIL TANK LEVEL MONITOR AND CONTROL. COORDINATE LOCATION WITH HEATING CONTROL MODULES IN THIS AREA.
- ◆ DROP WITH ROOF DRAIN PIPING FROM ABOVE TO BELOW GRADE. INSTALL MALL CLEANOUT AT FLOOR.
- ◆ DROP WITH ROOF DRAIN PIPING FROM ABOVE TO CEILING OF THIS LEVEL. RUN TO DROP DOWN NEAREST MALL COLUMN.
- ◆ UNDERGROUND DOUBLE WALL FIBERGLASS OIL STORAGE TANK. CONFIRM EXACT LOCATION. SEE DETAIL THIS SHEET.
- ◆ RISE IN CORNER WITH FUEL OIL LINES.
- ◆ CONTROL REGULATING PUMP WITH AQUASTAT SUCH AS HONEYWELL NO. T4051. SET AQUASTAT AT 130°F TO TURN OFF CIRC. PUMP.
- ◆ DROP WITH IRRIGATION LINE BELOW FLOOR AND EXTEND TO 5' FROM BUILDING FOR CONNECTION AND EXTENSION BY IRRIGATION CONTRACTOR.
- ◆ WATER PRESSURE REGULATOR METER STATION. SEE DETAIL.
- ◆ DROP FROM ABOVE TO SIAMSE FIRE DEPARTMENT CONNECTION AT 56' AFG. CONFIRM EXACT LOCATION.
- ◆ PROVIDE 6"X6"X2' TEE AND RUN A 2' LINE FOR DOMESTIC WATER AND 6" LINE FOR FIRE SPRINKLER LINE.
- ◆ RISE TO LEVELS ABOVE WITH DOMESTIC COLD WATER LINE, SOFT COLD WATERLINE, HOT WATER LINE AND HOT WATER RETURN LINE.
- ◆ PROVIDE 2"X2"X2' TEE IN DOMESTIC LINE. RUN 2" TO DOMESTIC WATER SYSTEM AND FIRE IRRIGATION SYSTEM.
- ◆ PROVIDE BALL SHUTOFF VALVE UP BACK FLOW PREVENTER AND CAP FOR FUTURE CONNECTION BY IRRIGATION CONTRACTOR.
- ◆ FIRE SPRINKLER SYSTEM BACK FLOW PREVENTION DEVICE. SEE DETAIL.
- ◆ FIRE DEPARTMENT CONNECTION PIPING. DROP BELOW FLOOR AND RUN TO RISE AT EXTERIOR MALL.



FIRST FLOOR PLAN - PLUMBING

SCALE: 3/16"=1'-0"



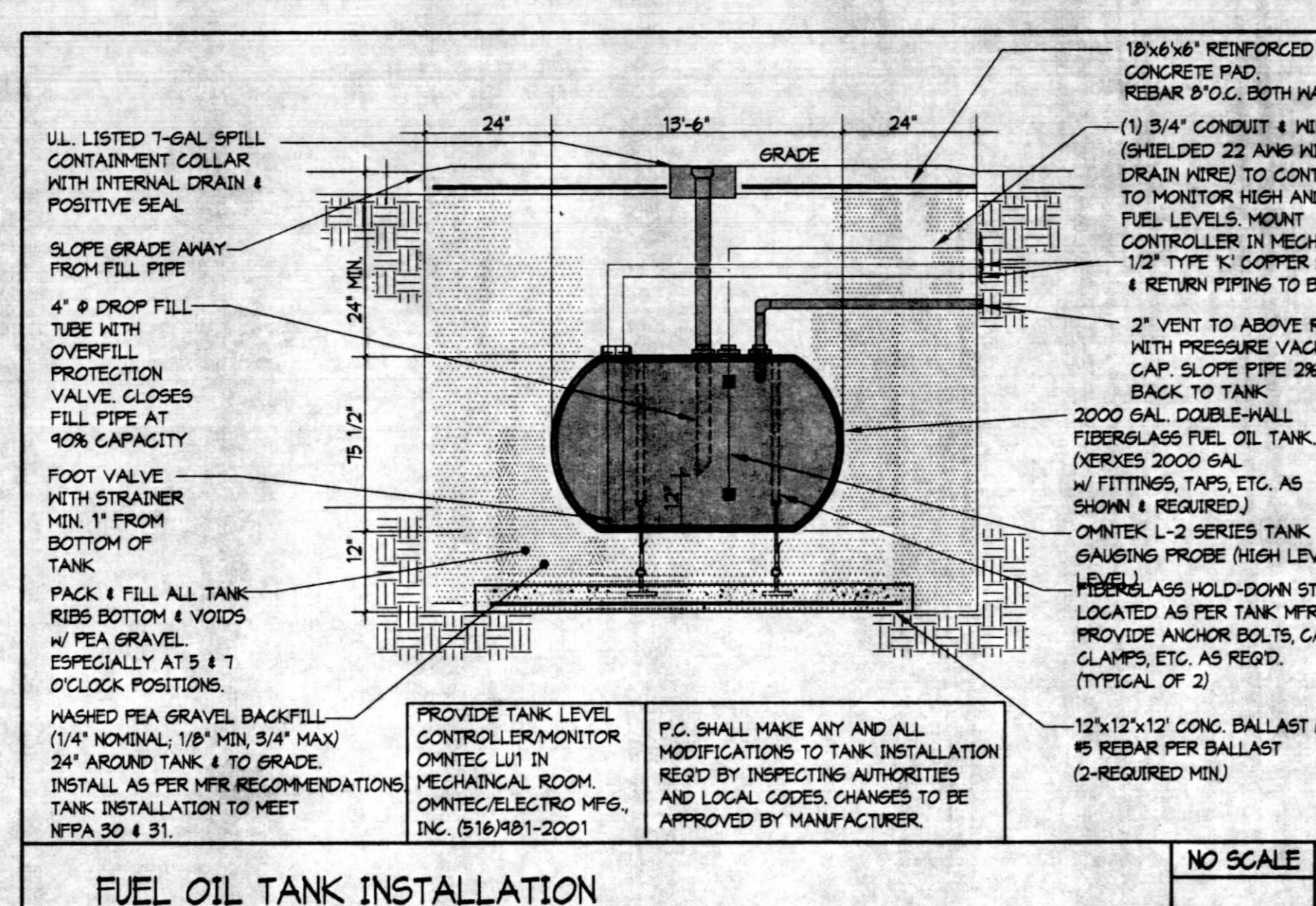
WATER PRESSURE REGULATOR ASSEMBLY

NO SCALE

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Pocatello, Idaho 83201
(208) 478-4613
(208) 478-4617 (fax)
email beng@bengllc.com



UTILITY DEMAND SCHEDULE

DOMESTIC WATER

DOMESTIC WATER FIXTURE UNITS = 284*
PEAK DOMESTIC WATER FLOW = 82gpm
ANTICIPATED PEAK DAILY FLOW = 3100gal/DAY.

SANITARY SEWER

DRAINAGE FIXTURE UNITS = 268*
PEAK DRAINAGE FLOW = 82gpm
ANTICIPATED PEAK DAILY FLOW = 3100gal/DAY.

FIRE SPRINKLING

RETAIL/STORAGE SPACES: ORDINARY HAZARD GROUP 1; NFPA 13
RESIDENTIAL AREAS: NFPA 13R WITH RESIDENTIAL HEADS.

*UNIFORM PLUMBING CODE FIXTURE UNITS

AS SHOWN & REQUIRED

OMNIK L-2 SERIES TANK

GAGING PROBE (HIGH LEVEL, LOW

LEVEL, GLASS HOLD-DOWN STRAPS

LOCATED AS PER TANK MFR.

PROVIDE ANCHOR BOLTS, CABLE,

CLAMPS, ETC. AS REQD.

(TYPICAL OF 2)

PACK & FILL ALL TANK

RIBS BOTTOM & VENTS

w/ PEA GRAVEL.

ESPECIALLY AT 5 & 7 O'CLOCK POSITIONS.

W/ PEA GRAVEL.

1/4" NO. 100 SHT. W/ 24" MAN.

24" AROUND TANK & TO GRADE.

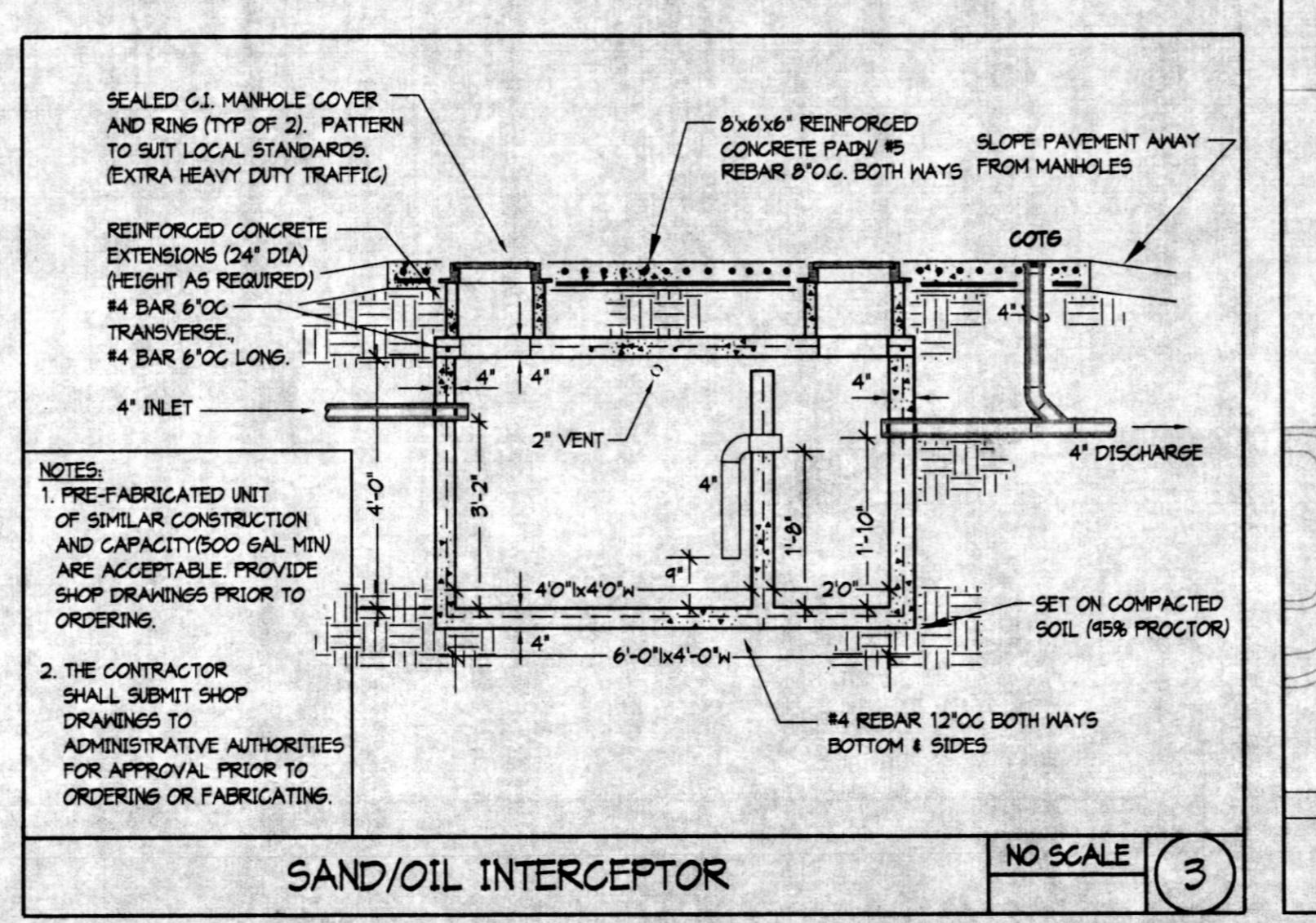
INSTALL AS PER MFR RECOMMENDATIONS.

TANK INSTALLATION TO MEET

NFPA 30 & 31.

NO SCALE

2



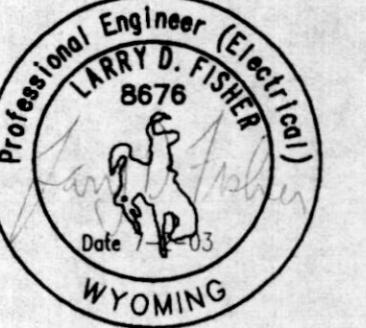
NO SCALE

3

LARGE SCALE MECHANICAL ROOM

SCALE: 1/4"=1'-0"





SHERVIN MIXED-USED BUILDING

LOTS 7 & 9 OF LARK ADDITION AT THE CORNER OF MAPLE WAY AND HIGHWAY 189
Jackson, Wyoming

+ STRUCTURAL
ENGINEERS

G & S Structural Engineers
1600 John Adams Parkway
Suite 200
Idaho Falls, ID 83405
(208) 523-6918

+ MECHANICAL
ELECTRICAL
ENGINEERS

Boulder Engineering, LLC
811 West Cedar St
Pocatello, Idaho 83201
beng@bengllc.com
(208) 478-4613

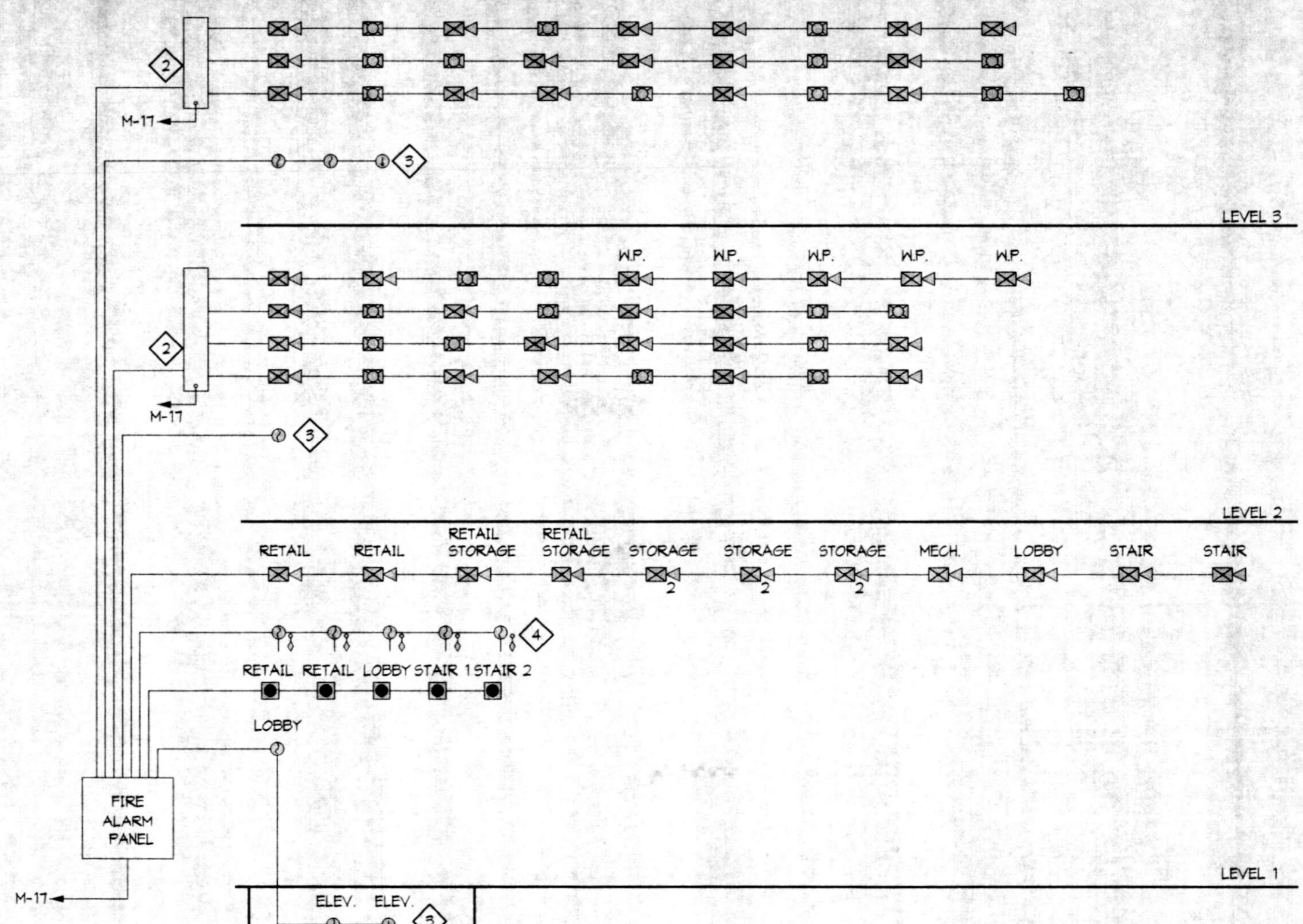
REVISIONS

WB

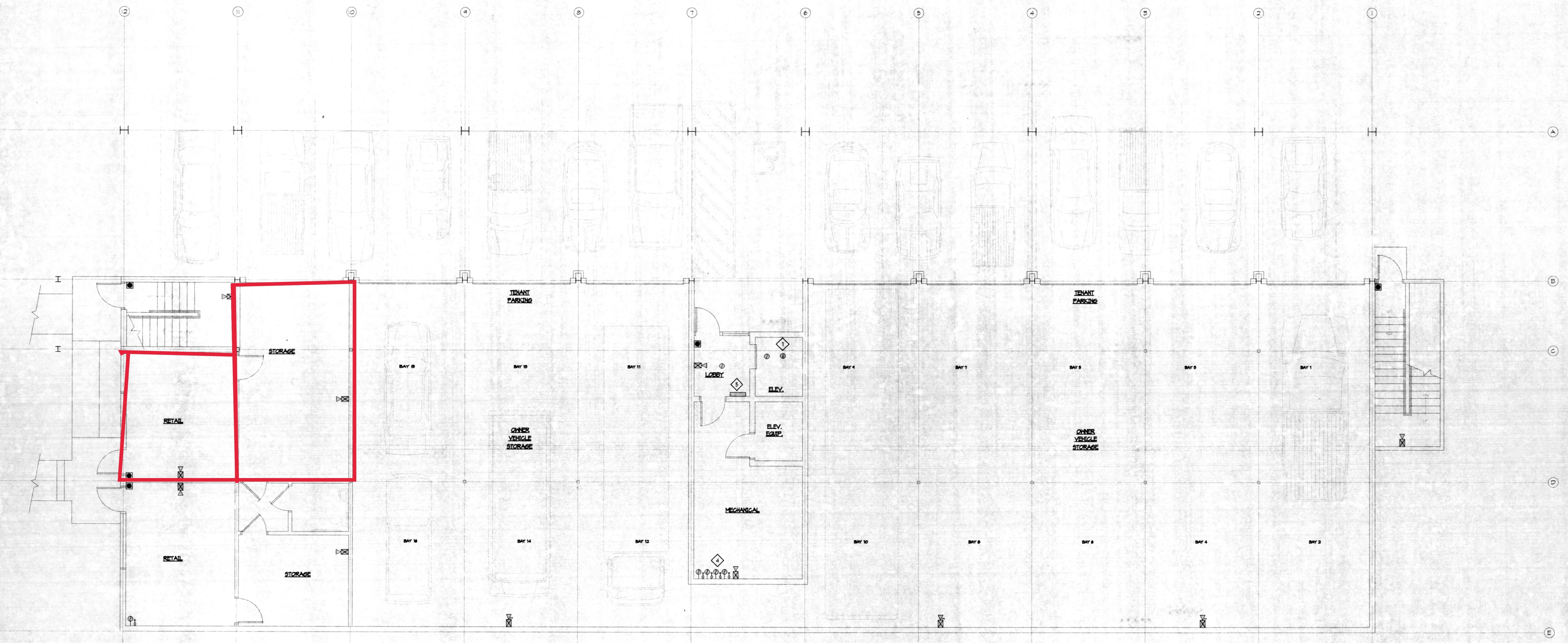
E5.0

FIRST FLOOR PLAN
FIRE ALARM

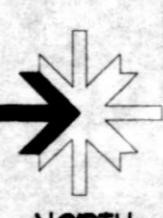
KEY NOTES	
SEE DETAIL 2E20 FOR ELEVATOR FIRE ALARM SCHEMATIC.	
HORNSTROBE AUXILIARY POWER SUPPLY AS REQUIRED TO DRIVE INITIATION DEVICES. PROVIDE A SMOKE DETECTOR AT EACH POWER SUPPLY. CONFIRM REQUIREMENTS.	
DO NOT INSTALL SMOKE DETECTORS WITHIN 3'-0" OF ANY MECHANICAL GRILL.	
FLWNT-OPEN SWITCHES BY MC. CONFIRM NUMBER REQUIRED AND COORDINATE WITH MC.	
FIRE ALARM PANEL (NOTIFIER AFP-100 OR EQUAL) EC SHALL PROVIDE PANEL AND ALL ACCESSORIES NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM PER NATIONAL AND LOCAL CODES.	



FIRE ALARM SYSTEM SCHEMATIC
SCALE: NONE



FIRST FLOOR PLAN - FIRE ALARM
SCALE: 3/16"=1'-0"



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(208) 478-4613
(208) 478-4617 (fax)
email beng@bengllc.com



P21-053 Narrative Emails

From: Sarah Devine <[\[REDACTED\]](#)>
Sent: Wednesday, March 24, 2021 2:01 PM
To: Katelyn Page <KPage@jacksonwy.gov>
Subject: Re: Shervin Basic Use Permit

Katelyn,

From my conversations with Mobile Steam Detailing his plan is to park the truck in the storage bay at night do mostly do mobile steam details. He was hoping for an option to be able to do some details in the bay but does not have to. If zoning and planning will allow for some details to happen in the bay he will, if zoning and planning will not allow for details in the bay he will use it as storage only. I now have further clarification that the fire department was down in the space discussing the use as detailing in the space and needing to protect the electrical box and outlets from moisture.

I am going to drop the building plans off at Stinky prints tomorrow to get scanned in, so I will have actual scans of the building plans next week. There will be no proposed plans since we are not making any changes to the existing set up.

Sarah

From: Katelyn Page <KPage@jacksonwy.gov>
Sent: Wednesday, March 24, 2021 7:04 AM
To: Sarah Devine <[\[REDACTED\]](#)>
Cc: Mitch Shervin <[\[REDACTED\]](#)>
Subject: RE: Shervin Basic Use Permit

Thank you Sarah. I will compile these attachments, narrative, and the previous site plan and show Fire and Building to ensure we do not need additional information for the purpose of the Basic Use Permit. I will ask about the building plans as well.

Can you clarify one question? Will the mobile steam cleaning services be performed on site (for instance, cleaning vehicles on site)? Or is this all offsite? My confusion is in the "mobile" and what service will be performed offsite versus onsite. That included in narrative will help clarify.

Thank you,

KATELYN S. PAGE
(307) 733-0440 x1302
DIRECT: (307) 734-3493

From: Sarah Devine [REDACTED]
Sent: Wednesday, March 24, 2021 11:52 AM
To: Katelyn Page <KPage@jacksonwy.gov>
Cc: Mitch Shervin [REDACTED]
Subject: Shervin Basic Use Permit

Hi Katelyn,

I measured the two spaces and came up with a total of 711 square feet and updated the housing mitigation sheet.

We have the original plans for the building, and they are too large for me to scan in. I would be happy to bring them over to town planning for a planner to view. I could also try to get the plans over to Stinky Prints and see if they can scan them in. Please let me know.

The two spaces Mobile Steam Detailing will rent are not new spaces. They are both part of the original building and have not been changed and we are not proposing any changes. The plans show "retail 1" and "retail 1 storage". Retail 1 will be used to put up a sign on the window advertising his mobile steam detailing business and it will be his office. The storage area has a large bay door out to the parking lot that he will use to pull his vehicle into and store his cleaning supplies. There is a door that connects to two spaces. His office hours will be Monday-Saturday 8am-6pm.

There is a door to access the retail space from Maple way side of the building. There is access into the storage bay from the parking lot on the S Hwy 89 side of the building. There is also a door that connects the retail 1 area with the retail 1 storage area.

We planned and giving him two parking spots, but if that does work, we can give him one spot. The original plans for the building note that 3 parking spots are allocated to our two small commercial spaces.

Please let me know what more you need and if I need to get these plans over to Stinky Prints. I know that the fire department has been on site multiple times and have not had an direct feedback from them.

Sarah Devine

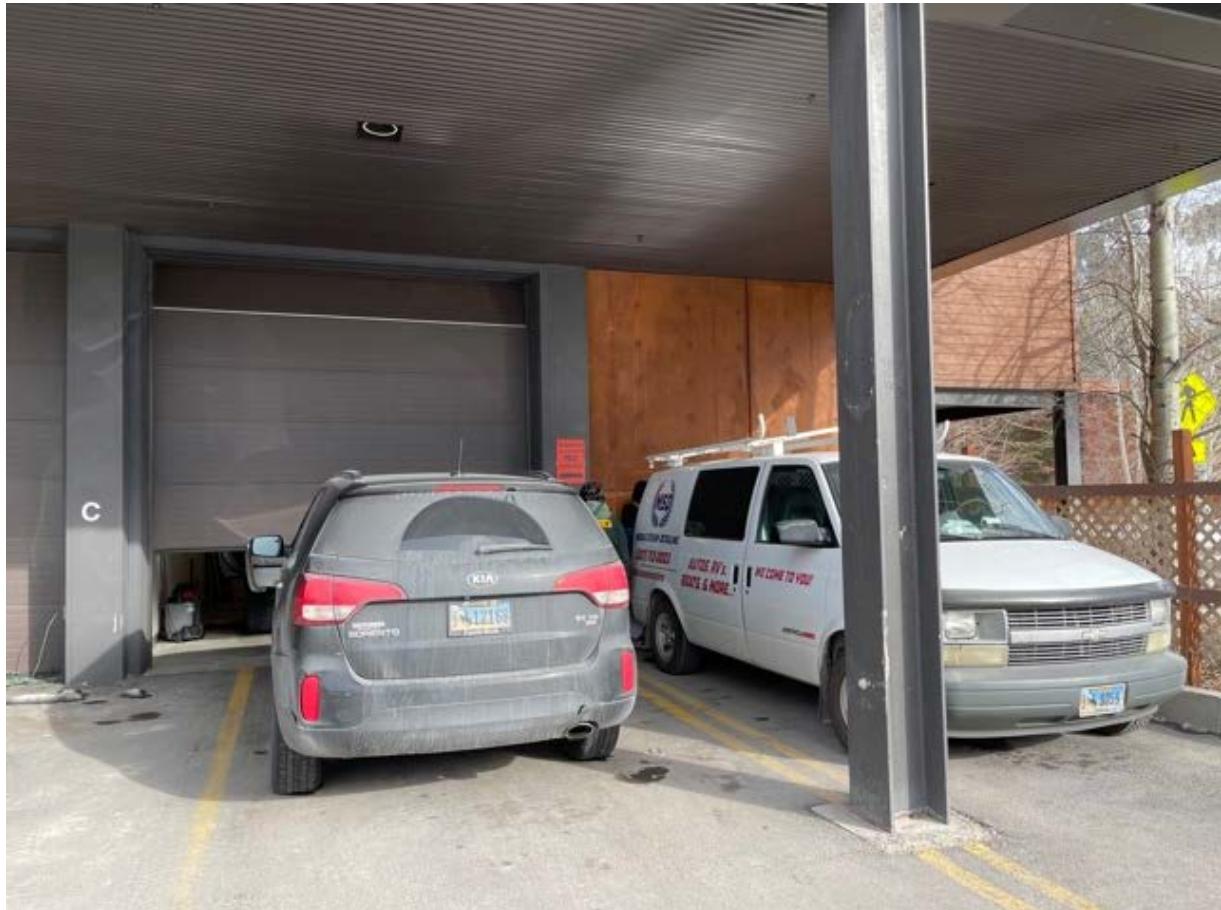
[REDACTED]
[REDACTED]

From: [Sarah Devine](#)
To: [Katelyn Page](#)
Subject: 420 S. Hwy 89 Shervin/Mobile Steam Detailing
Date: Wednesday, March 10, 2021 8:04:31 AM
Attachments: [image.png](#)

Good morning Katelyn,

No new walls or electrical have gone into this space. The small commercial space facing the sidewalk and the storage space are the same as they were when the building was built and depicted in the original building plans. Marcelino did tell me that he covered the existing electrical boxes and outlets at the request of the fire department and ordered new fire extinguishers. I believe someone from the fire department has already been on site.

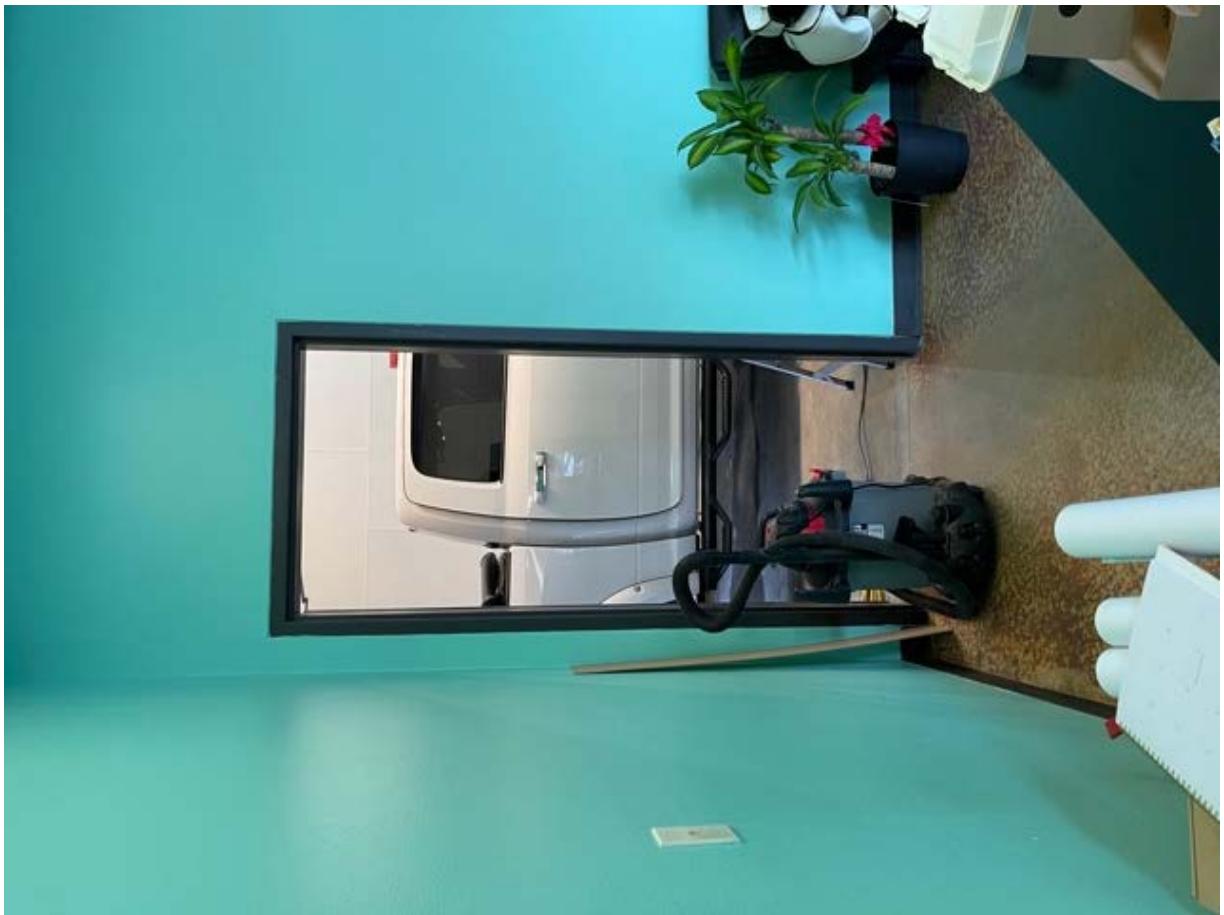
Below are photos to give you a better idea of the space he is in.



These will be his two parking spots. His Mobile Detailing van is the white one. The partial open door behind the black Kia is the storage bay depicted in the blueprint plans. The size of the storage bay is 13 feet across and 31 feet long.



This is the inside of the storage bay. A can be pulled in for storage and he can store his cleaning equipment.



This is the door connecting the storage bay to the sidewalk facing commercial area. This wall and door is in the original building plans and is not new.





These two photos are the inside of the small commercial area Marcelino will use as an office to do his invoicing. This faces the sidewalk on the south side of the building. The measurements on this space are 15 feet 10 inches by 13 feet 3 inches.



The little red box is the corner of the building this space is in.

Please let me know of any other questions.

Sarah Devine

Housing Mitigation Plan

updated 1/8/21

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Service	0.000216*sf		711	1	0.153

Affordable Workforce Housing Required: 0.000 units

Fee-in-Lieu Amount: **\$** -

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).