



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: February 25, 2020	REQUESTS:
Item #: P21-048	The applicant is submitting a request for a Grading Pre-Application for the property located at 705 Rodeo Drive, legally known as LOT 27, KARNS HILLSIDE ADDITION
Planner: Tyler Valentine	For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Phone: 733-0440 ext. 1305	
Fax: 734-3563	
Email: tvalentine@jacksonwy.gov	
Owner: 705 Rodeo LLC 207 High Point Drive Victor, NY 14564	
Applicant: Bryan Gleason Architects PO Box 12271 Jackson, WY 83002	
Please respond by: March 05, 2021 (with Comments)	

Owner:

705 Rodeo LLC
207 High Point Drive
Victor, NY 14564

Applicant:

Bryan Gleason Architects
PO Box 12271
Jackson, WY 83002

RESPONSE: For Departments not using Trak-it, please send responses via email to:
btlenz@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email or thumb drive), and **two hard copies** of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Name Printed

Date

Title



BRYAN GLEASON ARCHITECTS
P.O. Box 12271
Jackson, WY 83002

February 24, 2021

Town of Jackson Planning and Building Dept.
150 East Pearl Avenue
P.O. Box 1687
Jackson, WY 83001

Re: GEC Pre-Application Conference Project Narrative - 705 Rodeo Drive

Dear Planning and Building Dept.,

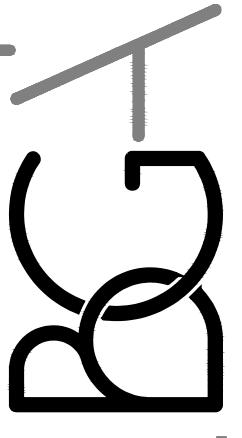
Please find the attached application and drawing package for a pre-application conference for 705 Rodeo Drive.

Project Narrative

The project consist of a new single family residence located at 705 Rodeo Drive, the maximum height of the new residence will be 28' to the immediate grade and will utilize the 110% additional height for a sloped site for a maximum height of 30.8' above grade. A small amount of fill will be used at the north east corner of the residence to comply with the height limit.

Due to the existing steep slopes located on the site, the driveway will have a 15% slope and the garage slab will be located at an elevation of 6237' above sea level. Retaining walls about 6' tall will be used to allow for the driveway construction. The building steps down the hillside so not to cause for excessive fill.

The project is scheduled to begin construction in spring of 2021 and have a completion date of September 2022.



705 RODEO DRIVE

705 RODEO DRIVE
JACKSON, WYOMING

WILDLAND URBAN INTERFACE NOTES:

DRIVEWAYS IN EXCESS OF 150 FEET SHALL BE PROVIDED WITH TURNAROUND. DRIVEWAYS IN EXCESS OF 200 FEET AND LESS THAN 200 FEET IN WIDTH SHALL BE PROVIDED WITH TURNOUTS IN ADDITION TO TURNAROUNDS. TURNAROUNDS SHALL HAVE INSIDE TURNING RADII OF NOT LESS THAN 30 FEET AND OUTSIDE TURNING RADII OF NOT LESS THAN 45 FEET. TURNOUTS SHALL BE ALL-WEATHER ROAD SURFACE AT LEAST 10 FEET WIDE AND 30 FEET LONG. (IWUC 403.2)

ROOF COVERING SHALL HAVE AT LEAST A CLASS B COVERING, PER THE BUILDING CODE REQUIREMENT. IF THE PROFILE OF THE ROOF ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE-STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS. (IWUC 505.2)

ROOF VALLEY, WHERE PROVIDED, SHALL BE NOT LESS THAN 0.019-INCH CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72-POUND MINERAL-SURFACES, NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 RUNNING THE FULL LENGTH OF THE VALLEY. (IWUC 506.2.1)

ROOF COVERING SHALL HAVE AT LEAST A CLASS B COVERING. IF THE PROFILE OF THE ROOF ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE-STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS. (IWUC 505.2)

COMBUSTIBLE EAVES, FASCIAS AND SOFFITS SHALL BE ENCLOSED WITH SOLID MATERIALS WITH A MINIMUM THICKNESS OF 3 / 4 INCH. NO EXPOSED RAFTER TAILS SHALL BE PERMITTED UNLESS CONSTRUCTED OF HEAVY TIMBER MATERIALS. (IWUC 505.3)

GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL. (IWUC 505.4)

EXTERIOR WALLS OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED WITH MATERIALS APPROVED FOR A MINIMUM OF 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE OR CONSTRUCTED WITH APPROVED NONCOMBUSTIBLE MATERIALS, UNLESS BUILT OF HEAVY TIMBER OR LOG WALL CONSTRUCTION. MATERIALS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING. (IWUC 505.5)

BUILDINGS OR STRUCTURES SHALL HAVE ALL UNDERFLOOR AREAS ENCLOSED TO THE GROUND WITH EXTERIOR WALLS COMPLYING TO IWUC 505.5. THIS MAY BE EXEMPTED IF THE UNDERSIDE OF ALL EXPOSED FLOORS AND ALL EXPOSED STRUCTURAL COLUMNS, BEAMS AND SUPPORTING WALLS ARE PROTECTED AS REQUIRED FOR EXTERIOR 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR HEAVY TIMBER CONSTRUCTION. (IWUC 505.6)

UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE A MINIMUM OF 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION, HEAVY TIMBER CONSTRUCTION OR CONSTRUCTED OF APPROVED NONCOMBUSTIBLE MATERIALS OR FIRE-RESISTANCE-RATED CONSTRUCTION, HEAVY TIMBER CONSTRUCTION OR CONSTRUCTED OF APPROVED NONCOMBUSTIBLE MATERIALS OR FIRE-RETARDANT-TREATED WOOD IDENTIFIED FOR EXTERIOR USE AND MEETING THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. (IWUC 505.7)

EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTILAYERED GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES. (IWUC 505.8)

EXTERIOR DOORS SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, SOLID CORE WOOD NOT LESS THAN 1 1/4 INCHES THICK OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL BE IN ACCORDANCE WITH IWUC 505.8. (IWUC 505.9)

ATTIC VENTILATION OPENINGS, SOFFIT VENTS, FOUNDATION OR UNDERFLOOR VENTS OR OTHER VENTILATION OPENINGS IN VERTICAL EXTERIOR WALLS AND ROOFS, DOUGH ROTS SHALL NOT EXCEED 14 SQUARE FEET EACH. THESE VENTS SHALL BE COVERED WITH NONCOMBUSTIBLE CORROSION-RESISTANT MESH WITH OPENINGS NOT TO EXCEED 1 INCH OR SHALL BE DESIGNED AND APPROVED TO PREVENT FLAME OR EMBER PENETRATION INTO THE STRUCTURE. ATTIC VENTILATION OPENINGS SHALL NOT BE LOCATED IN SOFFITS, IN EAVE OVERHANGS, BETWEEN RAILERS AT EAVES, OR IN OTHER OVERHANG AREAS. GABLE END AND DORMER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINES AND UNDERFLOOR VENTILATION OPENINGS SHALL BE LOCATED AS CLOSE TO GRADE AS PRACTICAL. (IWUC 505.10)

DETACHED ACCESSORY STRUCTURES LOCATED LESS THAN 50 FEET FROM A BUILDING CONTAINING HABITABLE SPACE SHALL HAVE EXTERIOR WALLS CONSTRUCTED WITH MATERIALS APPROVED FOR A MINIMUM OF 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR CONSTRUCTED WITH APPROVED NONCOMBUSTIBLE MATERIAL ON THE EXTERIOR SIDE. (IWUC 505.11) EXPOSED UNDERFLOOR AREAS MUST BE PROTECTED PER IWUC 505.11.1.

ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS, WHICH SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. (IWUC 406.3)

FIREWOOD AND COMBUSTIBLE MATERIAL SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, OR ON DECKS OR UNDER EAVES, CANOPIES OR OTHER PROJECTIONS OR OVERHANGS. (IWUC 607.1)

CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED, SHALL BE PROVIDED WITH A SPARK ARRESTER. ARRESTER SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAGE WIRE HAVING OPENINGS NOT EXCEEDING 1/8 INCH. (IWUC 605.1)

LP-GAS CONTAINERS SHALL BE INSTALLED UNDERGROUND. (IWUC 606.3; AMENDED)

2018 INT. RESIDENTIAL CODE NOTES:

THE BUILDING SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2015 INTERNATIONAL BUILDING CODE (WHEN APPLICABLE). THE GENERAL CONTRACTOR SHALL VERIFY THE BUILDING CONSTRUCTION CONFORMS TO CODE. IN PARTICULAR, THE FOLLOWING ITEMS SHALL CONFORM TO THE REFERRED SECTION OF THE CODE.

1. ALL OUTDOOR INTAKE & EXHAUST OPENINGS SHALL CONFORM TO SECTION R303.4
2. ALL STAIRWAY (INTERIOR & EXTERIOR) ILLUMINATION SHALL CONFORM TO SECTION R303.7
3. ALL GLAZING SHALL CONFORM TO SECTION R308.
4. ALL BASEMENT (WITH HABITABLE SPACE) & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE & RESCUE OPENING CONFORMING TO SECTION R310.
5. ALL STAIR RISER SHALL NOT EXCEED 7 3/4" AND ALL TREADS SHALL NOT BE LESS THAN 10" - REFER TO SECTION R311.7 FOR ALL STAIRWAY REQUIREMENTS.
6. ALL HANDRAILS SHALL CONFORM TO SECTION R311.7.8
7. ALL GUARDS (GUARD RAILS) SHALL BE MIN. 36" REFER TO SECTIONS R312
8. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - IN EACH SLEEPING ROOM
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLING OR DWELLING UNITS w/SPLIT LEVELS AND w/o AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJ. LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN 1 FULL STORY BELOW UPPER LEVEL.
 - ALL ALARMS SHALL BE INTERCONNECTED (WHEN ONE ALARMS THEY ALL ALARM) AND HARD WIRED. REFER TO SECTION R314.
9. ALL FOAM PLASTIC AND ALL INSULATION SHALL CONFORM TO SECTIONS R316. REFER AND CONFORM TO APPENDIX F FOR RADON CONTROL METHODS AND REQUIREMENTS

GENERAL NOTES:

1. THIS PROJECT SHALL COMPLY WITH THE CURRENT VERSION OF THE INTERNATIONAL RESIDENTIAL CODE, AND/OR THE INTERNATIONAL BUILDING CODE, THE CURRENT VERSION OF THE TOWN OR COUNTY COMPREHENSIVE PLAN, AND ANY OTHER AUTHORITY HAVING JURISDICTION.
2. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY THE BUILDING AND FIRE DEPARTMENTS AND ANY OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES, INCLUDING ELECTRICITY IF NECESSARY FOR CONSTRUCTION AND TEMPORARY SEPTIC FACILITIES, WHICH SHALL BE MAINTAINED ON SITE FOR THE DURATION OF CONSTRUCTION.
4. ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT THE COUNTY LANDFILL OR RECYCLING FACILITY ONLY. NO DEBRIS IS TO BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES. PUBLIC ROADS SHALL BE MAINTAINED AND REMAIN FREE OF MUD OR DUST. EQUIPMENT AND MATERIAL.
5. CONTRACTOR SHALL INFORM DESIGNER OF ANY AND ALL OWNER (OR OWNERS REPRESENTATIVE) REQUESTED CHANGES OR DIRECTIVES FOLLOWING OWNER (OR OWNERS REPRESENTATIVE) / CONTRACTOR CONVERSATIONS. CONTRACTOR SHALL NOT PROCEED WITH OWNER (OR OWNERS REPRESENTATIVE) REQUESTED CHANGES OR DIRECTIVES WITHOUT PRIOR REVIEW FROM THE DESIGNER.
6. GIVEN DIMENSIONS TAKE PREDENCE OVER SCALE. CONTRACTOR SHALL TAKE EXTRA CAUTION AND REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO BID.
7. CONTRACTOR SHALL STORE ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
8. CONTRACTOR SHALL CONTROL DUST AND NOISE DURING CONSTRUCTION TO GREATEST EXTENT POSSIBLE.
9. ALIGN ALL VISIBLE EQUIPMENT (WHICH INCLUDES BUT IS NOT LIMITED TO, DIFFUSERS, OUTLETS, LIGHTS, SWITCHES, SMOKE DETECTORS, THERMOSTATS, FIRE PROTECTION, ETC.) EQUALLY BETWEEN OR DIRECTLY WITH ARCHITECTURAL FEATURES (WINDOWS, DOORS, ETC.) AND OTHER VISIBLE EQUIPMENT. REFRAME OR ADJUST STRUCTURAL FRAMING AS REQUIRED (CONTACT DESIGNER PRIOR TO ADJUSTING FRAMING) FOR POSSIBLE ADDITIONAL STRUCTURAL REQUIREMENTS. VERIFY ALL LOCATIONS WITH DESIGNER PRIOR TO ROUGH-IN INSTALLATIONS OF ANY SYSTEM OR EQUIPMENT. ANY ADJUSTMENTS IN THE FIELD PER DESIGNER'S DIRECTION MAY BE REQUIRED AND SHALL BE INCLUDED IN THE BID.
10. ALL SUBMITTAL AND SHOP DRAWINGS SHALL BE 11" X 17" OR SMALLER FORMAT.

CODE INFORMATION:

APPLICABLE CODES:
2018 International Building Code
2018 International Residential Code
2018 International Plumbing Code
2018 International Mechanical Code
2018 International Fuel Gas Code
2018 National Electric Code

ZONING DISTRICT: NL-2
BUILDING OCCUPANCY / USE: R-3 Residential, 1 & 2 Family

SITE AREA: .47 ACRES 20,665 SF
MAXIMUM FLOOR AREA: 6,199 SF (HOA CCRs)
MAXIMUM SITE DEVELOPMENT: 8,266 SF

ACTUAL FLOOR AREA: 5,102 SF
ACTUAL SITE DEVELOPMENT: 7,054 SF

TYPE OF CONSTRUCTION: TYPE VB - NON-RATED
FIRE SPRINKLER: YES

STRUCTURAL DESIGN CRITERIA:
SEISMIC ZONE: ZONE D
GROUND SNOW LOAD: SEE STRUCT.
WIND LOAD: SEE STRUCT.

PARKING:
PROPOSED: 5 SPACES

PROJECT INFORMATION:

OWNER:
705 RODEO LLC C/O WILDSTAR PARTNER LLC
207 HIGH POINT DRIVE BLDG 10
VICTOR, NY 14564

ARCHITECT:
BRYAN GLEASON ARCHITECTS
PO BOX 12271
JACKSON, WY 83002
PHONE (307) 413-2949

STRUCTURAL ENGINEERING:
TECTONIC DESIGN

CIVIL ENGINEERING:
VALLEY WEST ENGINEERING

GENERAL CONTRACTOR:
NEW WEST BUILDING COMPANY
3520 SOUTHPARK DRIVE
JACKSON, WY 83001

DRAWING INDEX:

CS1.1 COVERSHEET

A1.1 SITE PLAN, ENTIRE SITE

L1.1 LANDSCAPE PLAN

A2.1 AREA PLANS

A2.2 BASEMENT PLAN

A2.3 FIRST FLOOR PLAN

A2.4 ROOF PLAN

A3.1 EXTERIOR ELEVATIONS

A3.2 EXTERIOR ELEVATIONS

A3.3 MODEL IMAGES

SET TITLE:
SCHEMATIC DESIGN
PROGRESS SET

PREVIOUS SETS:

DRAWING:
COVER SHEET

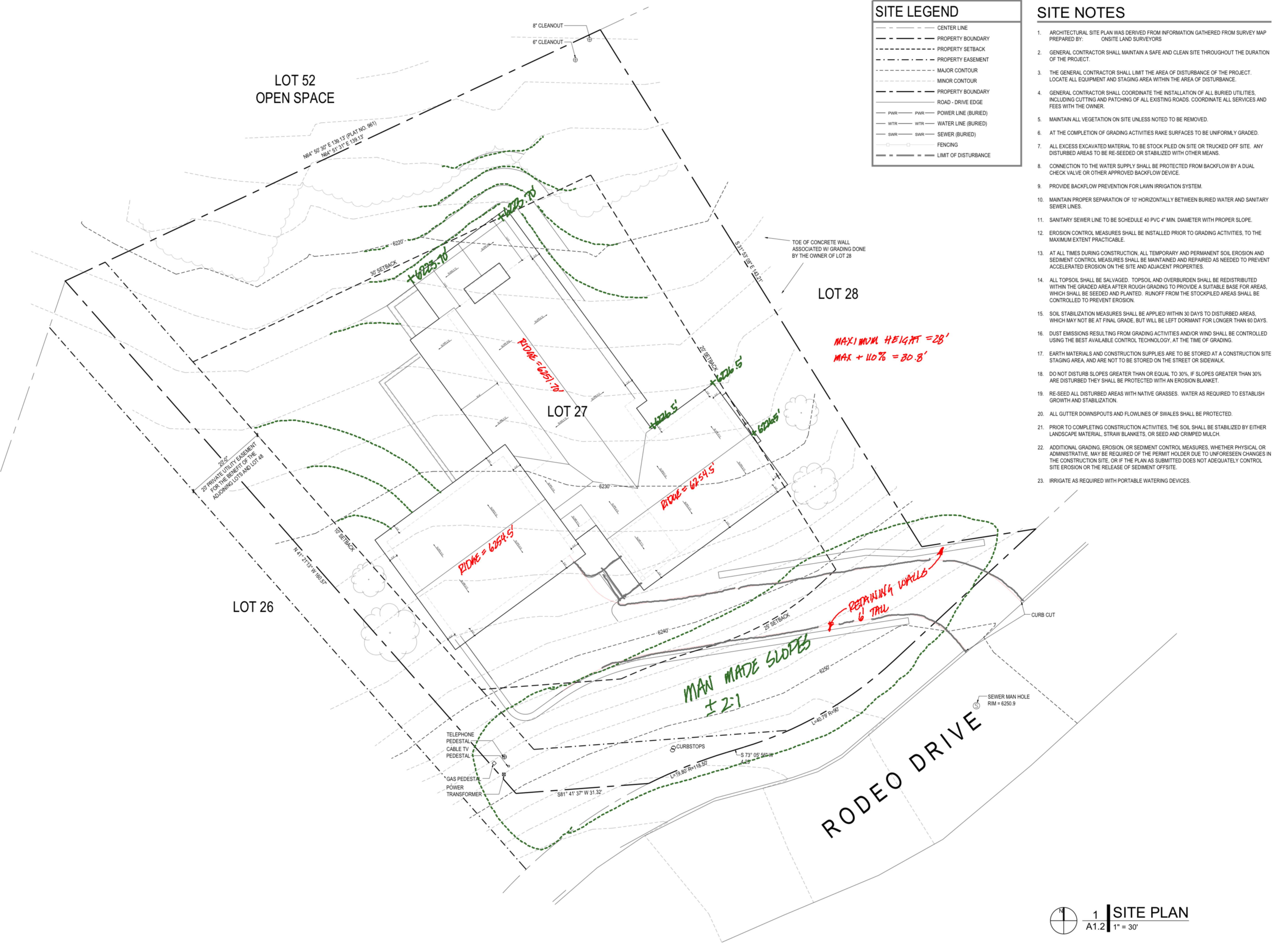
SCALE:

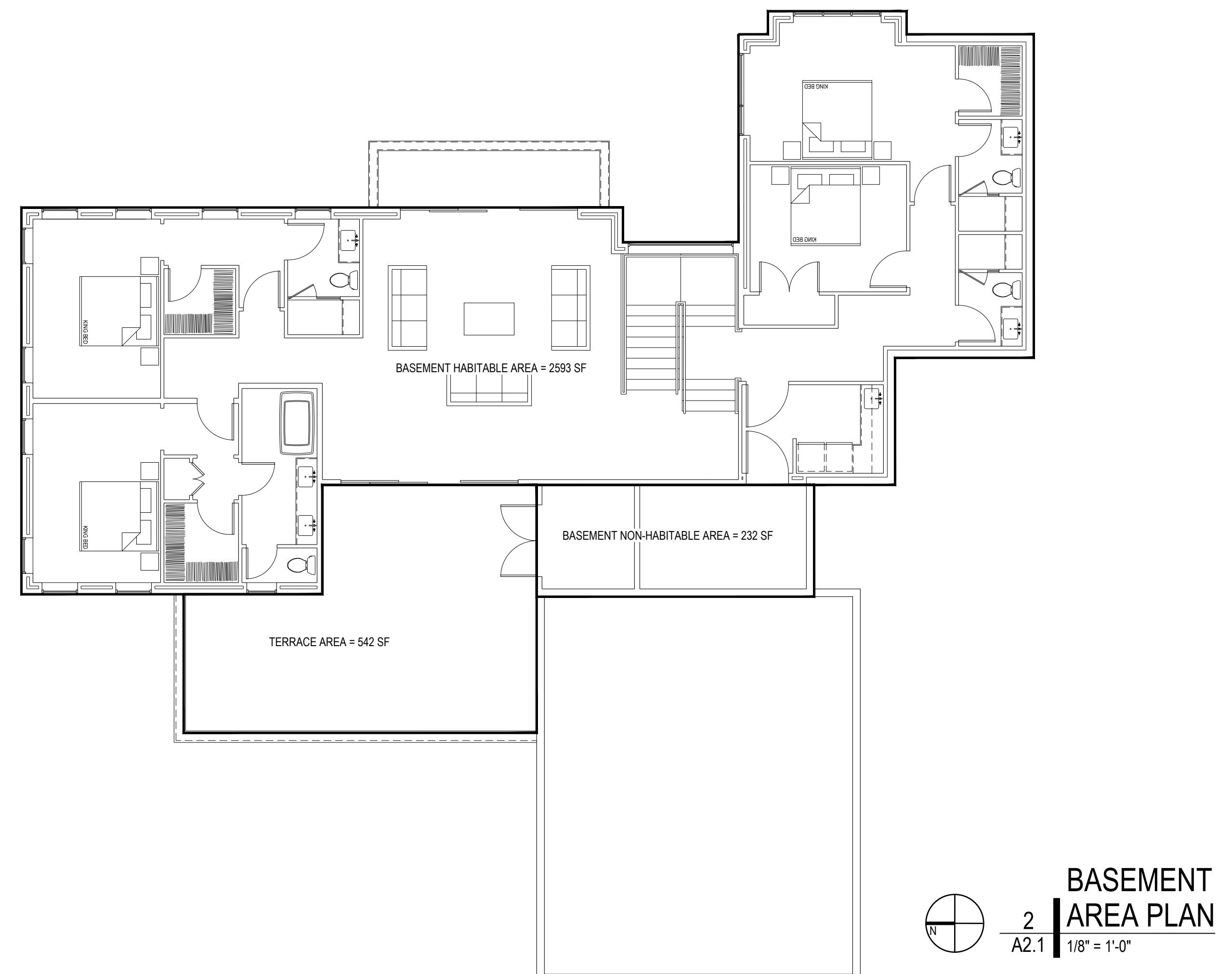
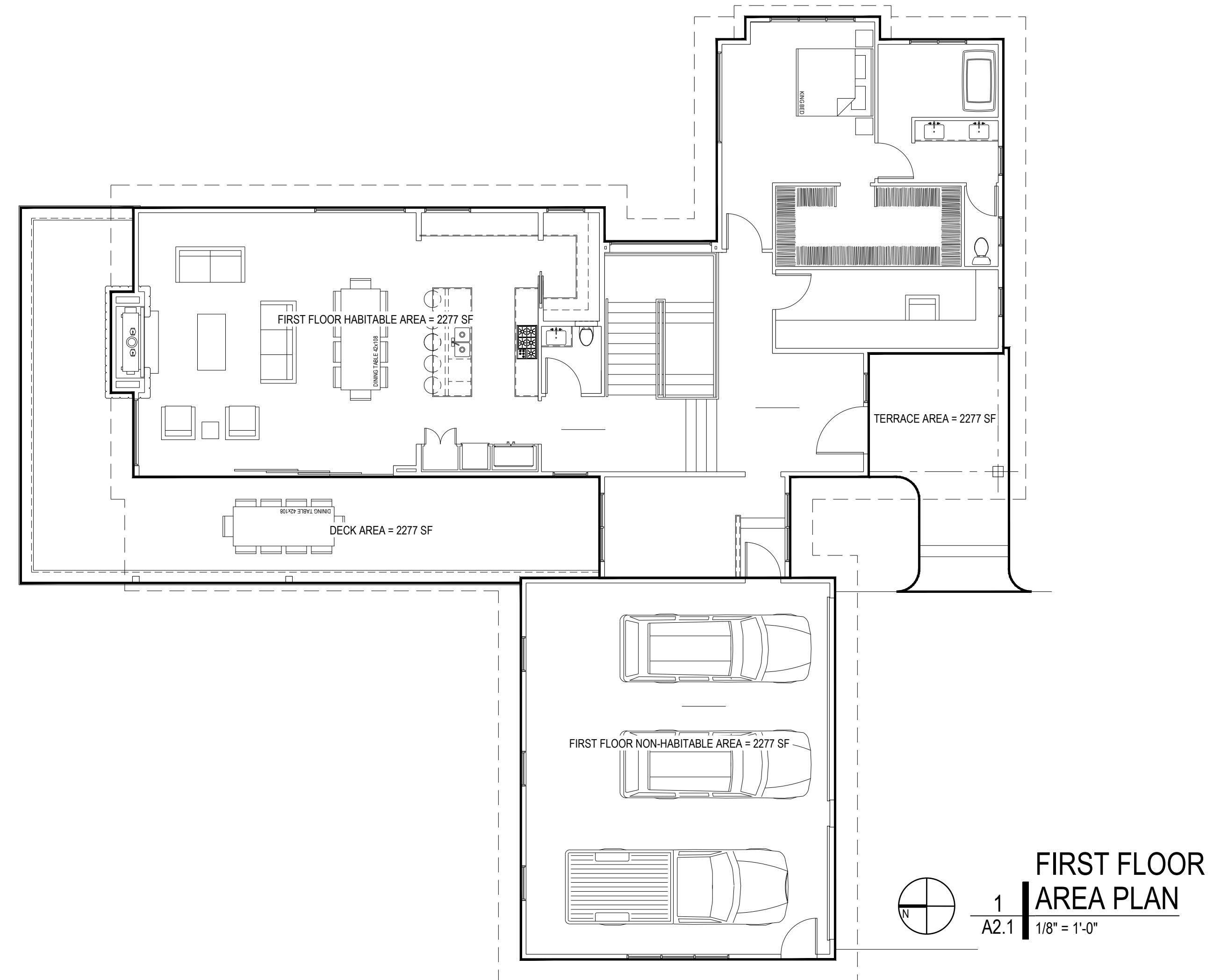
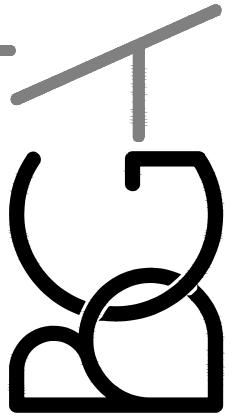
DRAWN BY: CHECKED BY:

DATE: FEBRUARY 09, 2021

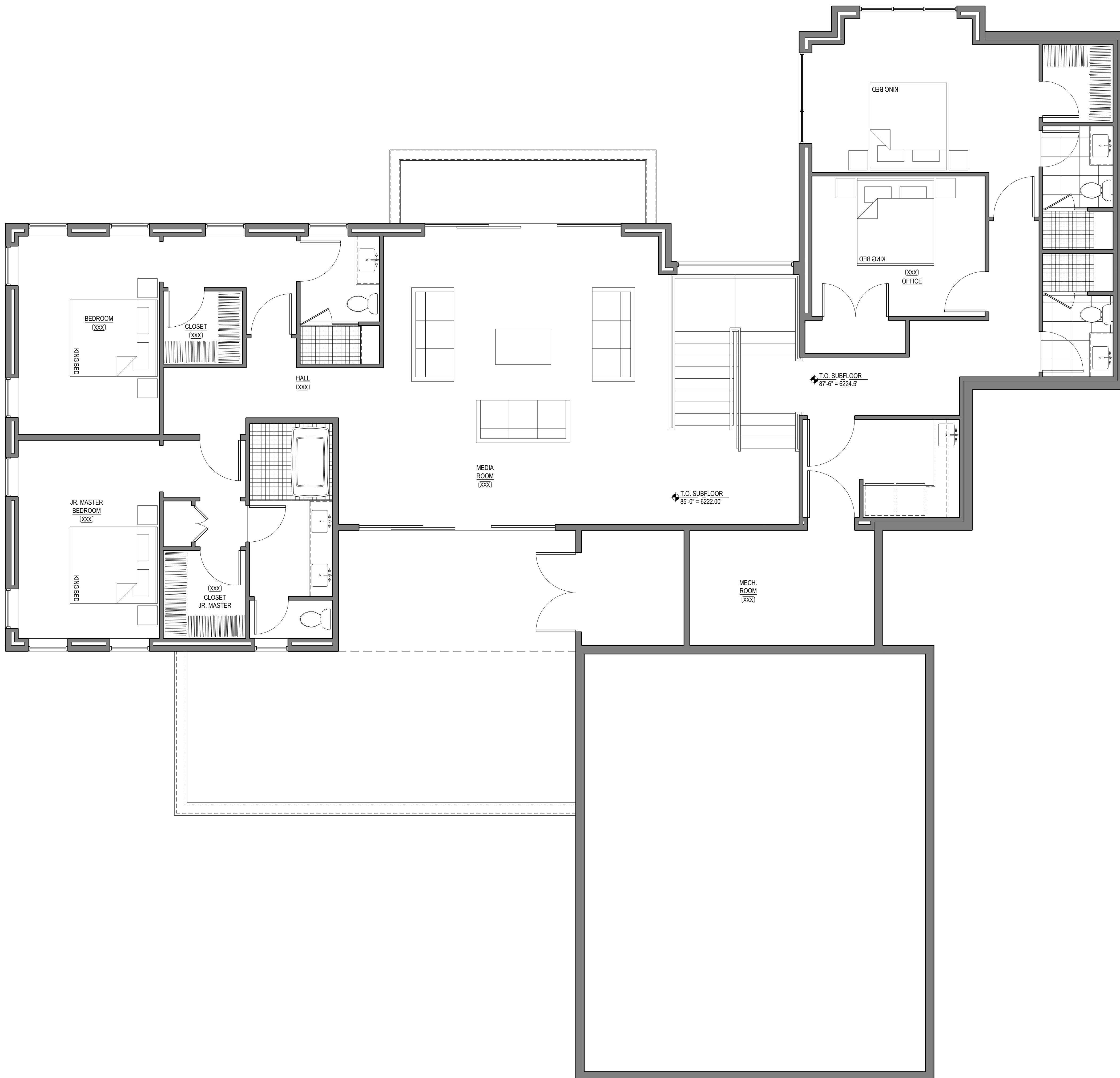
SHEET NUMBER:

CS





705 RODEO DRIVE
705 RODEO DRIVE
JACKSON, WYOMING



PLAN LEGEND	
WALL TYPES	FRAMED WALL
	FRAMED WALL WITH STONE VENEER
	FRAMED WALL WITH SOUND ATTENUATING BATTING
	FIRE SEPARATION WALL
	TIMBER COLUMN
PLAN SYMBOLS	
ROOM	ROOM NAME
888	ROOM NUMBER
888	WINDOW NUMBER
888	DOOR NUMBER
X	BUILDING SECTION NUMBER
A#	AS#
#	DETAIL NUMBER
A#	AS#
△	SKETCH DWG. NO.
△	SPOT ELEVATION
△	CRAWL SPACE VENT
△	REFERENCE ELEVATION

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE, AND ALL OTHER CODES ADOPTED BY TETON COUNTY, WYOMING.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, PLATE ELEVATIONS AND PLATE STYLE PRIOR TO THE START OF CONSTRUCTION; NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL REQUIRED INSPECTIONS BY THE BUILDING AND FIRE DEPARTMENTS AND ANY OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
- EXTERIOR WALLS, PLUMBING WALLS AND WALLS CONTAINING POCKET DOORS SHALL BE FRAMED WITH 2x6, UNLESS NOTED OTHERWISE. INTERIOR WALLS TO BE 2x4 UNLESS NOTED OTHERWISE.
- PROVIDE CRAWLSPACE ACCESS OF 24"x30" AND UNDERFLOOR PERSONNEL OPENINGS OF 24"x30".
- FIRE BLOCK CONCEALED SPACES PER INTERNATIONAL RESIDENTIAL CODE 2015 R302.11. DRAFTSTOP CONCEALED SPACES PER INTERNATIONAL RESIDENTIAL CODE 2015 R302.12.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY UTILITIES.
- THE GENERAL CONTRACTOR SHALL INFORM DESIGNER OF ANY AND ALL OWNER REQUESTED CHANGES. THE DESIGNER CAN NOT BE HELD ACCOUNTABLE FOR ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE SITE, ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED PRIOR TO DISPOSAL.
- DO NOT SCALE DRAWINGS, CONTACT THE DESIGNER FOR ANY MISSING DIMENSIONS. CONTRACTORS SHALL REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES AND OR CONFLICTS PRIOR TO CONSTRUCTION OR PURCHASE OF MATERIALS AND EQUIPMENT.
- ALL SUBMITTAL AND SHOP DRAWINGS SHALL BE 11" X 17" OR SMALLER FORMAT.

1 | BASEMENT FLOOR PLAN
A2.2 1/4" = 1'-0"

705 RODEO DRIVE
705 RODEO DRIVE
JACKSON, WYOMING

SET TITLE:
SCHEMATIC DESIGN
PROGRESS SET

PREVIOUS SETS:

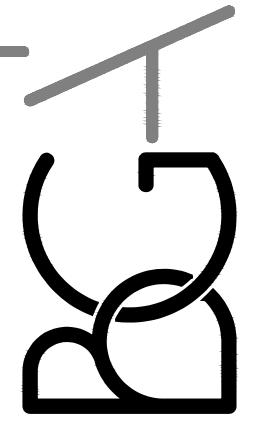
DRAWING:
FIRST FLOOR PLAN

SCALE: AS NOTED

DRAWN
BY: BRG
CHECKED
BY: BRG
DATE: FEBRUARY 09, 2021

SHEET NUMBER:

A2.2



705 RODEO DRIVE
705 RODEO DRIVE
JACKSON, WYOMING

PLAN LEGEND	
WALL TYPES	FRAMED WALL
	FRAMED WALL WITH STONE VENEER
	FRAMED WALL WITH SOUND ATTENUATING BATTING
	FIRE SEPARATION WALL
	TIMBER COLUMN
PLAN SYMBOLS	
ROOM	ROOM NAME
888	ROOM NUMBER
888	WINDOW NUMBER
X	DOOR NUMBER
A#	BUILDING SECTION NUMBER
#	SKETCH DWG. NO.
A#	DETAIL NUMBER
	SKETCH DWG. NO.
	SPOT ELEVATION
	CRAWL SPACE VENT
	REFERENCE ELEVATION

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE, AND ALL OTHER CODES ADOPTED BY TETON COUNTY, WYOMING.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, PLATE ELEVATIONS AND PLATE STYLE PRIOR TO THE START OF CONSTRUCTION; NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
3. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL REQUIRED INSPECTIONS BY THE BUILDING AND FIRE DEPARTMENTS AND ANY OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
4. EXTERIOR WALLS, PLUMBING WALLS AND WALLS CONTAINING POCKET DOORS SHALL BE FRAMED WITH 2x6, UNLESS NOTED OTHERWISE. INTERIOR WALLS TO BE 2x4 UNLESS NOTED OTHERWISE.
5. PROVIDE CRAWLSPACE ACCESS OF 24"x30" AND UNDERFLOOR PERSONNEL OPENINGS OF 24"x30".
6. FIRE BLOCK CONCEALED SPACES PER INTERNATIONAL RESIDENTIAL CODE 2015 R302.11. DRAFTSTOP CONCEALED SPACES PER INTERNATIONAL RESIDENTIAL CODE 2015 R302.12.
7. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY UTILITIES.
8. THE GENERAL CONTRACTOR SHALL INFORM DESIGNER OF ANY AND ALL OWNER REQUESTED CHANGES. THE DESIGNER CAN NOT BE HELD ACCOUNTABLE FOR ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.
9. THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE SITE, ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED PRIOR TO DISPOSAL.
10. DO NOT SCALE DRAWINGS, CONTACT THE DESIGNER FOR ANY MISSING DIMENSIONS. CONTRACTORS SHALL REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES AND OR CONFLICTS PRIOR TO CONSTRUCTION OR PURCHASE OF MATERIALS AND EQUIPMENT.
11. ALL SUBMITTAL AND SHOP DRAWINGS SHALL BE 11" X 17" OR SMALLER FORMAT.

SET TITLE:
SCHEMATIC DESIGN
PROGRESS SET

PREVIOUS SETS:

DRAWING:
BSMT FLOOR PLAN

SCALE: AS NOTED

DRAWN BY: BRG
CHECKED BY: BRG
DATE: FEBRUARY 09, 2021

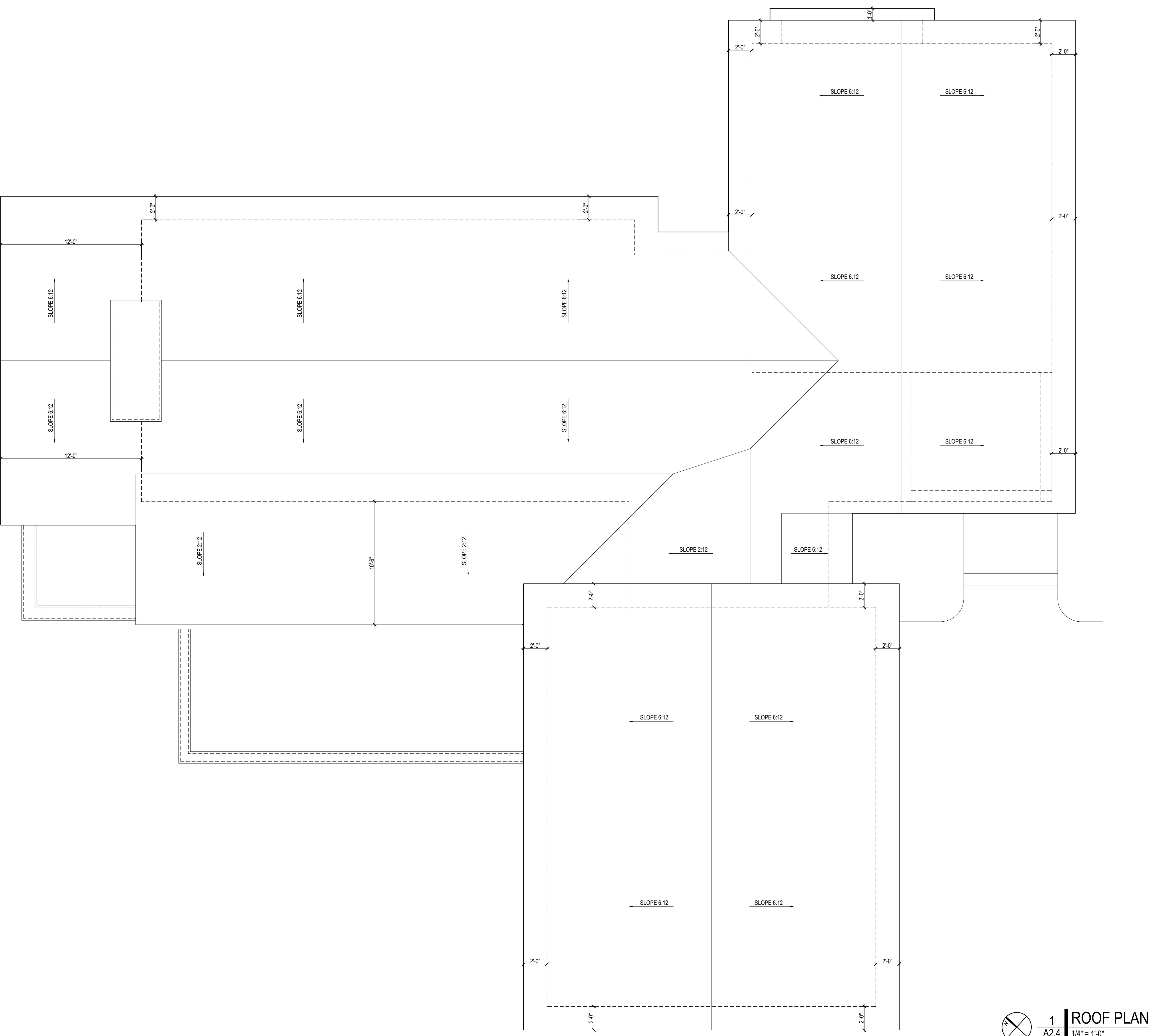
SHEET NUMBER:

A2.3

FIRST FLOOR PLAN

1
A2.3 1/4" = 1'-0"





BRYAN GLEASON

ARCHITECTS

P.O. BOX 12271, JACKSON, WY 83002
307-413-2949
WWW.BRYANGLEASONARCHITECTS.COM



EXTERIOR MATERIALS SCHEDULE

VERTICAL WOOD SIDING
RECLAIMED WOOD SUPPLIED BY MONTANA RECLAIMED LUMBER, 1x8 SHIPLAP PROFILE WITH 1" SHADOW LINES. COLOR, WEATHERED GREY TONES.

HORIZONTAL WOOD SIDING
CLEAR WESTERN RED CEDAR, 1x6 FREE OF KNOTS AND DEFECTS. COLOR, NATURAL TO LIGHTLY TINTED BROWN STAIN.

STONE VENEER SIDING
FRONTIER STONE WITH SPLIT FACE, SHAPE TO BE SQUARES AND RECTANGLES. VENEER TO BE 6" THICK AS SUPPLIED BY SELECT STONE. EXTEND ALL STONE VENEER 8" BELOW GRADE MINIMUM. STONE CAP TO BE TUXEDO GREY, FLAMED AND BRUSHED MITER CORNERS.

TERRACES AND WALKWAYS
TUXEDO GREY PAVERS AS SUPPLIED BY SELECT STONE. SIZE TO BE 18"x30" WITH RUNNING BOND.

CHIMNEY CAP
TUXEDO GREY STONE AS SUPPLIED BY SELECT STONE. 4" THICK 2' REVEAL BEYOND STONE VENEER.

WINDOW CLADDING
ALUMINUM CLAD WINDOW CLADDING SIERRA PACIFIC COLOR SLATE GREY OR BEST MATCH TO METAL ROOFING.

STANDING METAL ROOFING
BRIDGER STEEL MECHANICAL LOCK METAL ROOFING, 22 GAUGE WITH 16" WIDE PANELS. COLOR, SLATE GREY. CLASS A ROOF COVERING PER IWUC 505.2.

FLASHING
METAL FLASHING TO MATCH ROOF AND WINDOW CLADDING.

SOFFIT
CLEAR WESTERN RED CEDAR, TWO STEP 1x6 AND 1x4 FREE OF KNOTS AND DEFECTS. COLOR, NATURAL TO LIGHTLY TINTED BROWN STAIN.

FASCIA
CLEAR WESTERN RED CEDAR, TWO STEP 1x6 AND 1x4 FREE OF KNOTS AND DEFECTS. COLOR, NATURAL TO LIGHTLY TINTED BROWN STAIN.

COLUMNS AND BEAMS
DOUGLAS FIR, STAINED.

STEEL RAILING SYSTEM
STEEL RAILING, MATTE BLACK POWDER COAT FINISH.



① SOUTH ELEVATION
1/4" = 1'-0"



② EAST ELEVATION
1/4" = 1'-0"

705 RODEO DRIVE
705 RODEO DRIVE
JACKSON, WYOMING

SET TITLE:
PREVIOUS SETS:

ELEVATIONS

SCALE: 1/4" = 1'-0"
DRAWN BY: CHECKED BY:
DATE: FEBRUARY 24, 2021
SHEET NUMBER:

A 3.1

BRYAN GLEASON

ARCHITECTS

P.O. BOX 12271, JACKSON, WY 83002
307-413-2949
WWW.BRYANGLEASONARCHITECTS.COM



EXTERIOR MATERIALS SCHEDULE



705 RODEO DRIVE

705 RODEO DRIVE
JACKSON, WYOMING



A 3.2

SCALE: 1/4" = 1'-0"

DRAWN BY: CHECKED BY:

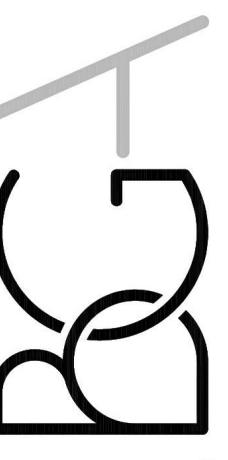
DATE: FEBRUARY 24, 2021

SHEET NUMBER:

BRYAN GLEASON

ARCHITECTS

P.O. BOX 12271, JACKSON, WY 83002
307-413-2949
WWW.BRYANGLEASONARCHITECTS.COM



705 RODEO DRIVE
705 RODEO DRIVE
JACKSON, WYOMING

SET TITLE:

PREVIOUS SETS:

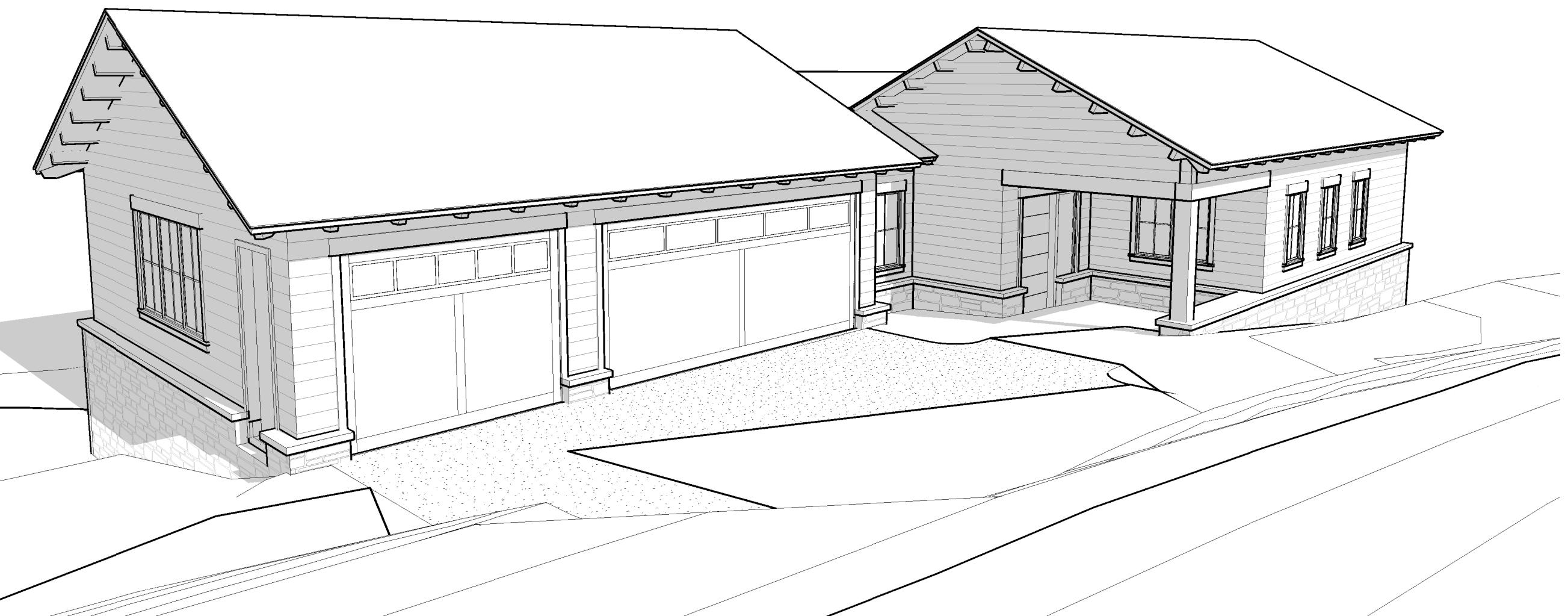
DRAWING:
MODEL IMAGES

SCALE:

DRAWN BY: CHECKED BY:
DATE: FEBRUARY 24, 2021

SHEET NUMBER:

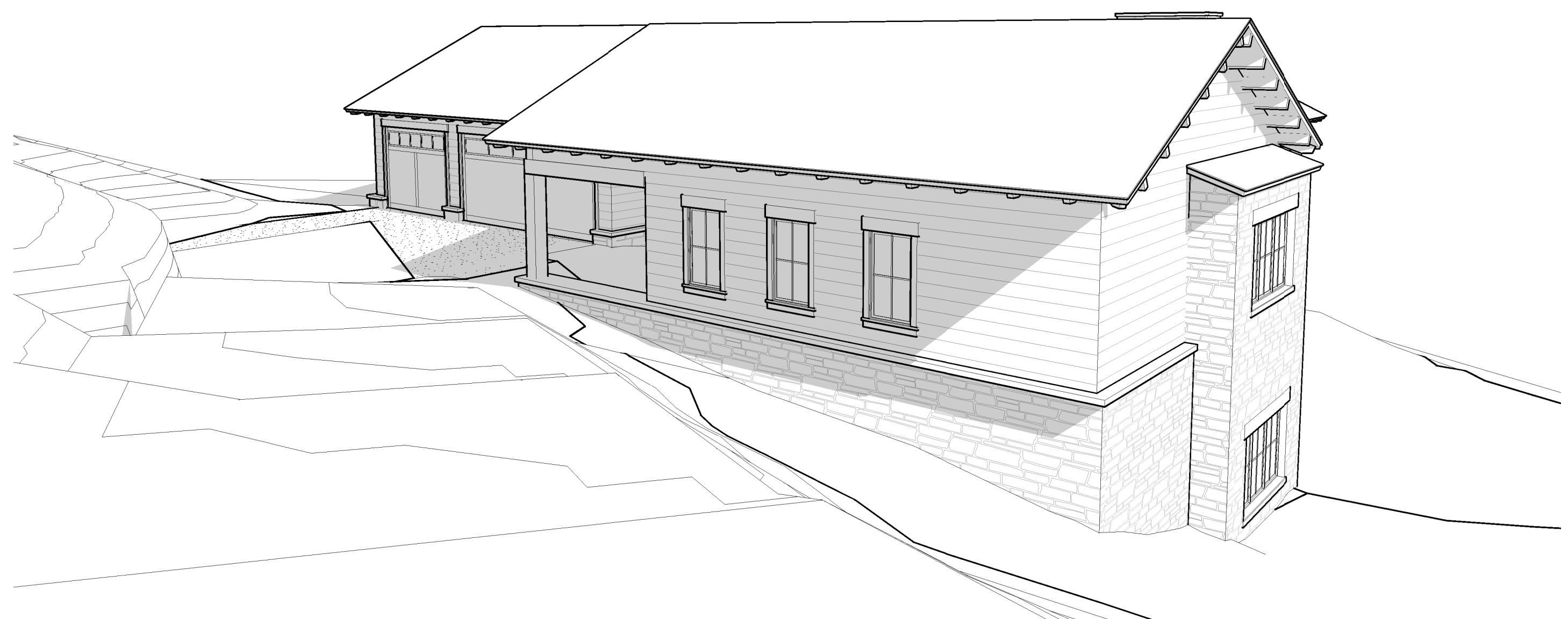
A 3.3



① MODEL IMAGE #1



② MODEL IMAGE #2



③ MODEL IMAGE #3



④ MODEL IMAGE #4

LETTER OF AUTHORIZATION

705 Rodeo, LLC, "Owner" whose address is: 705 Rodeo Drive, Jackson, WY 83001
(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

as the owner of property
more specifically legally described as: Lot 21, Kurns Hillside

(If too lengthy, attach description)

HEREBY AUTHORIZES Bryan Gleason Architects & New West Building Company as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: OWNER

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)

)SS.

COUNTY OF Teton

)

The foregoing instrument was acknowledged before me by Zach Slim this 19 day of February, 20 21.

WITNESS my hand and official seal.

Bryan Goldberg
(Notary Public)

My commission expires: 5/14/22

(Seal)

