



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: January 22, 2021

Item #: P21-006

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Fax: 734-3563

Email: tvalentine@jacksonwy.gov

Owner/Applicant:

Michael Daus
PO Box 536
Teton Village, WY 83025

REQUESTS:

The applicant is submitting a request for a Grading Pre-Application for the property located at 185 Moose St. , legally known as N. 1/2 OF LOT 19, & ALL OF LOT 20, BLK. 5, L.G. GILL SUBDIVISION.

For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.

Please respond by:

RESPONSE: For Departments not using Trak-it, please send responses via email to:
blenz@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: **307-690-3262** _____

Mailing Address: _____

ZIP: _____

E-mail: _____

mfd563@gmail.com

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (tstolte@jacksonwy.gov).

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Narrative Project Description. Please attach a short narrative description of the project that addresses:

Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

m2

Signature of Owner or Authorized Applicant/Agent

MICHAEL DAVIS

Name Printed

11/20/21

Date

OWNER

Title

NELSON ENGINEERING since 1964

Professional Engineers & Land Surveyors

JACKSON, WY • BUFFALO, WY •

WWW.NELSONENGINEERING.NET

DD/20-203-01

January 5, 2021

Town of Jackson
Planning and Building Department
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

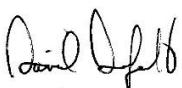
ATTN: Town of Jackson Planning and Building Department
RE: **Grading Pre-Application Conference Request for 185 Moose Street,
Jackson, Wyoming**

Dear Planning Personnel:

The attached Pre-Application Request Packet is for the proposed demolition of an existing residence and replacement of it with a new residence at 185 Moose Street, Jackson, Wyoming. In accordance with the existing site plan attached, there is an existing residence situated on a town lot with associated parking and utilities. The project area is zoned NL-3 (Low Density-3) and is used as a residence. Proposed development includes building a residence largely on the foot print of the existing structure. The structure will consist of a garage, five bedrooms, and five baths. An unfinished partial basement is proposed. Minor grading changes will be made to the existing site, overhead power to the structure and street light will be rerouted and buried, and adjustments to the existing parking area will be made to accommodate the garage. Water service will be stemmed from the existing water service in the main house following the water meter. The sanitary sewer service for the structure is proposed to be connected to the existing sewer line. Electrical, Natural Gas, and Communication connections will be replaced or adjusted as needed, this work will be coordinated with the utility companies.

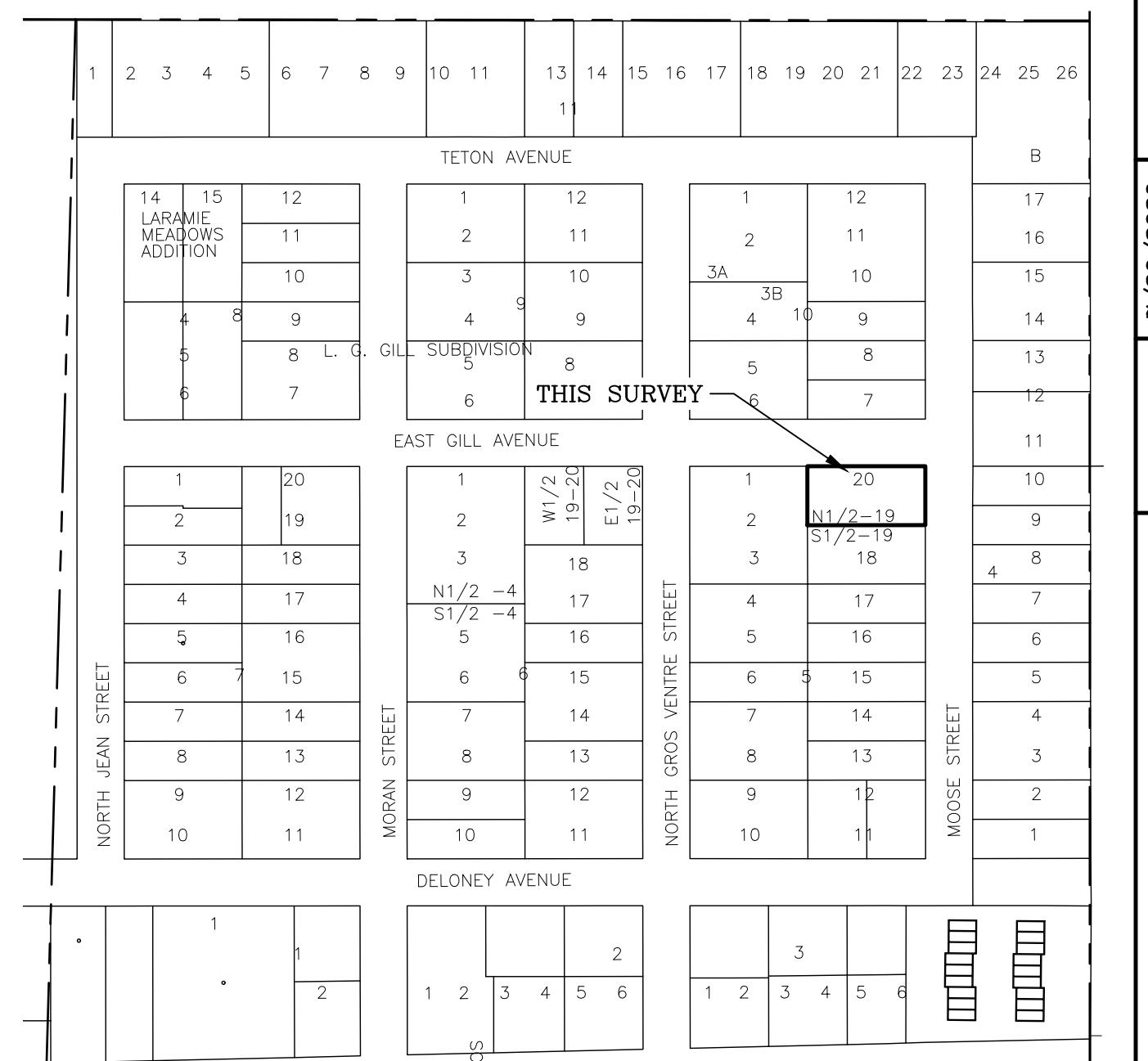
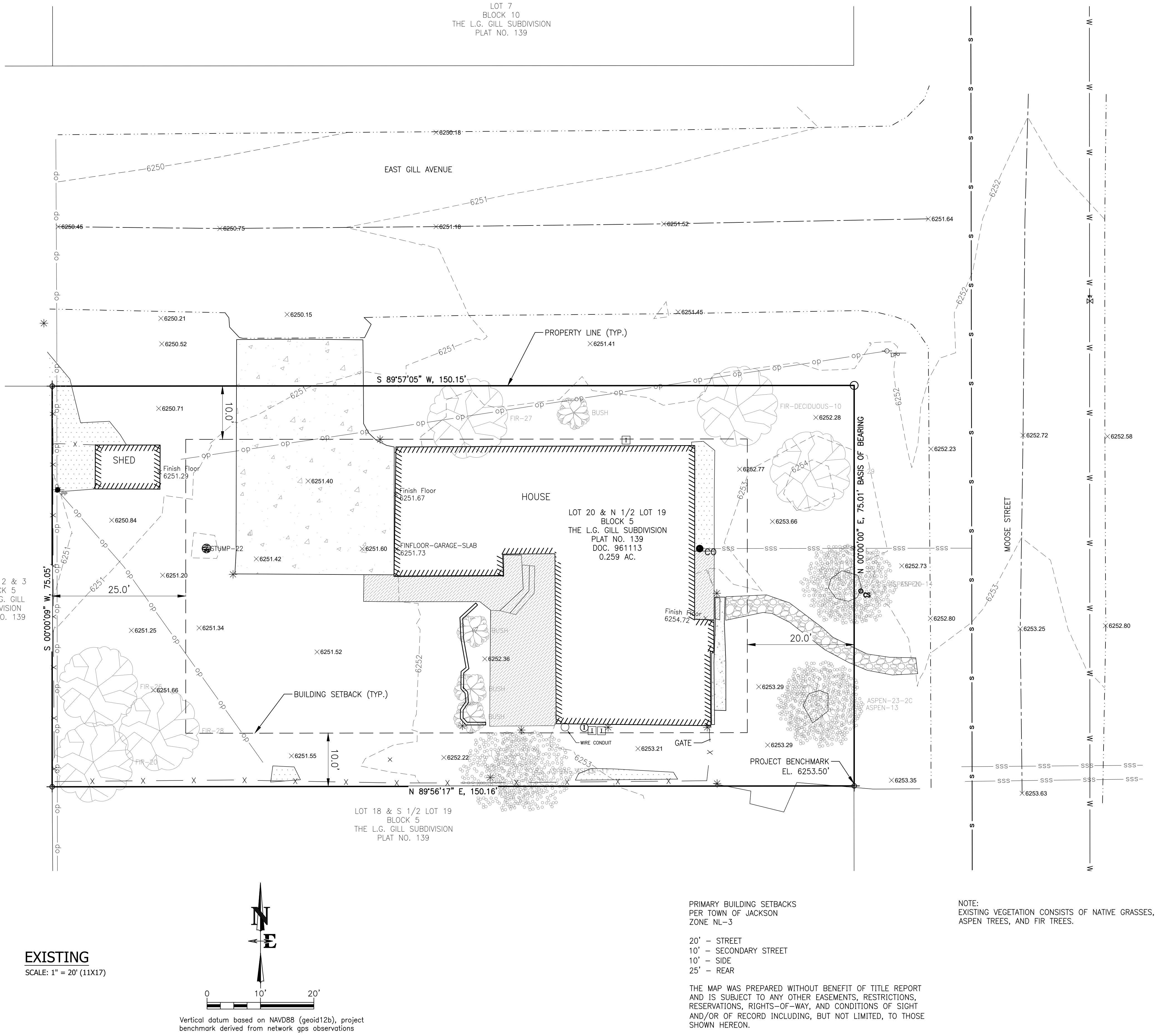
Please do not hesitate to contact me with project inquiries at (307) 733-2087 or ddufault@nelsonengineering.net.

Sincerely,



Dave Dufault, PE
Senior Project Manager

LOT 7
BLOCK 10
THE L.G. GILL SUBDIVISION
PLAT NO. 139



NELSON ENGINEERING

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DATE 7/30/2020
REV.
SURVEYED DK
ENGINEERED
DRAWN SK
CHECKED LR
APPROVED LR

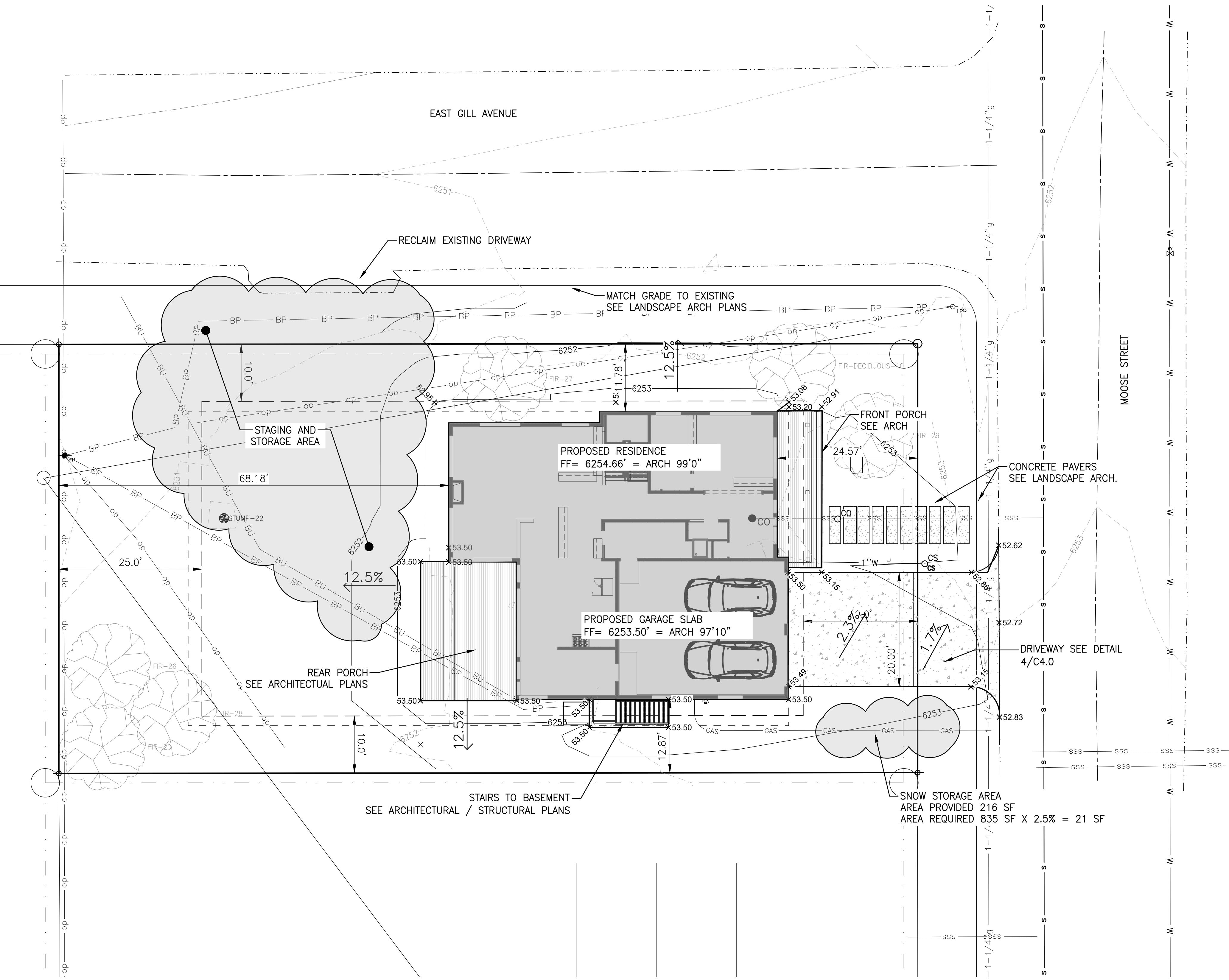
DRAWING NO	JOB TITLE	EXISTING SITE SURVEY		DRAWING TITLE
		DAUS RESIDENCE	185 MOOSE STREET	
20-203-01	LOT 20 & N 1/2 LOT 19, L.G. GILL,			

CONTRACTOR NOTE:

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

FINAL SITE PLAN

SCALE: 1" = 20' (11X17)

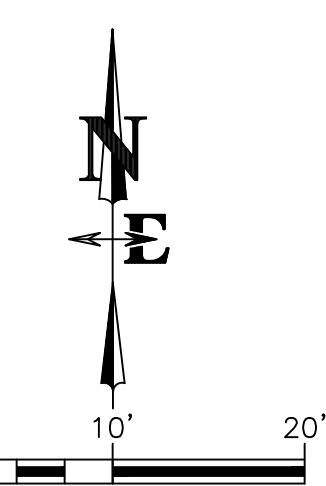


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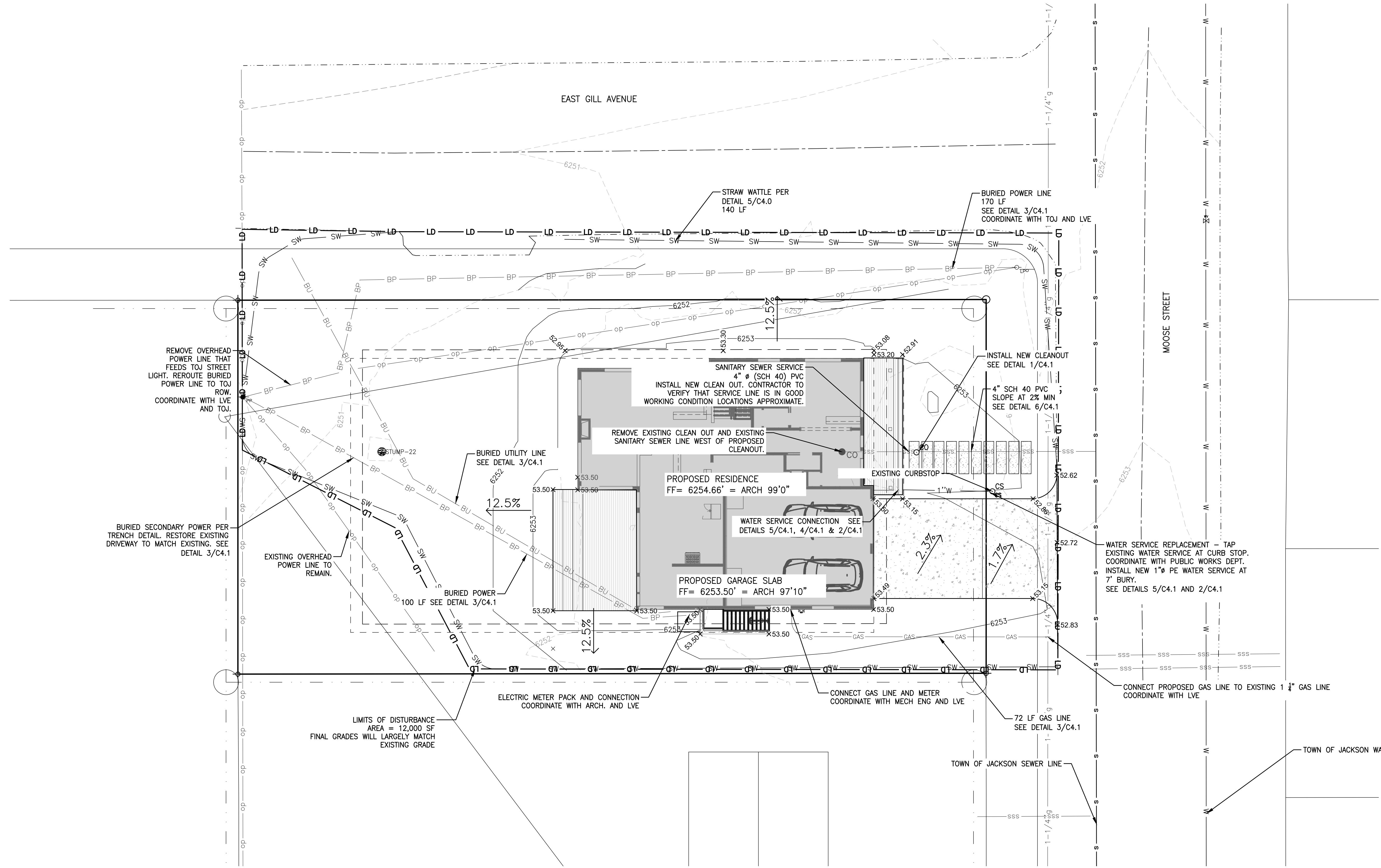
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE
FINAL SITE PLAN

DATE	1/4/2021	REV.
SURVEYED	NE	
ENGINEERED	NB	
DRAWN	NB	
CHECKED	MB	
APPROVED	MB	



DRAWING NO	JOB TITLE	DRAWING TITLE
C2.0	DAUS RESIDENCE	FINAL SITE PLAN
JOB NO	185 MOOSE STREET	
20-203-01	JACKSON, WY	



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P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

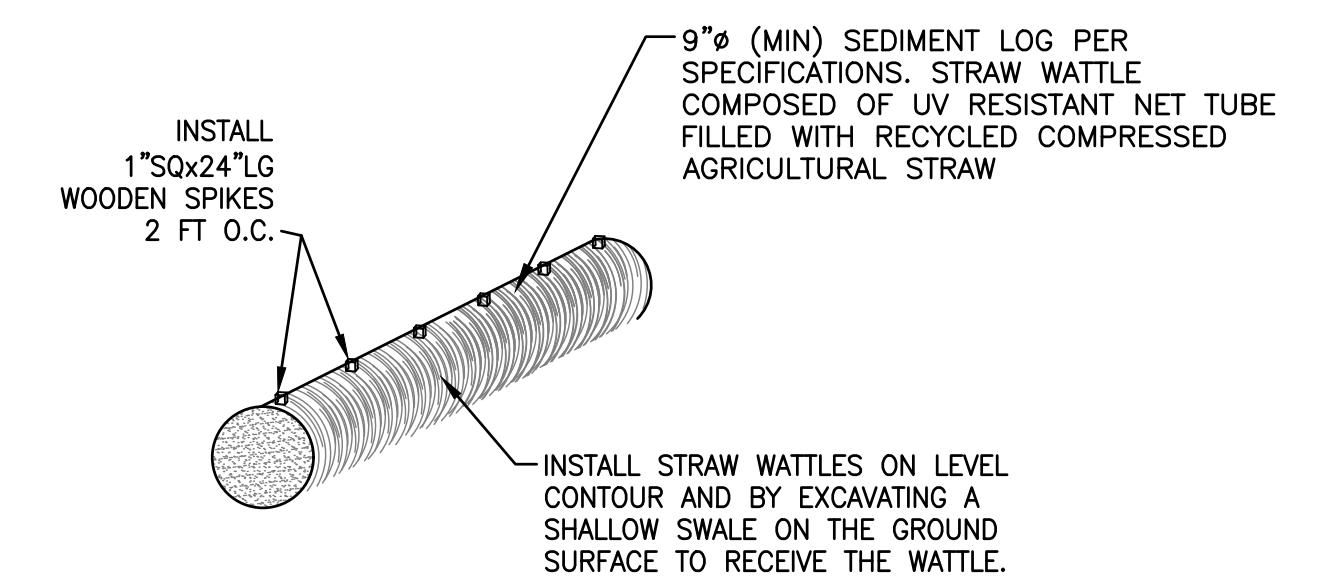
DRAWING NO	JOB TITLE	DRAWING TITLE	UTILITY PLAN	& GRADING & EROSION CONTROL PLAN
C3.0	DAUS RESIDENCE	DATE 1/4/2021	SURVEYED NE	ENGINEERED NB

JOB NO	185 MOOSE STREET	DRAWN NB
20-203-01	JACKSON, WY	CHECKED MB
		APPROVED MB

SITE CONSTRUCTION NOTES & SPECIFICATIONS

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

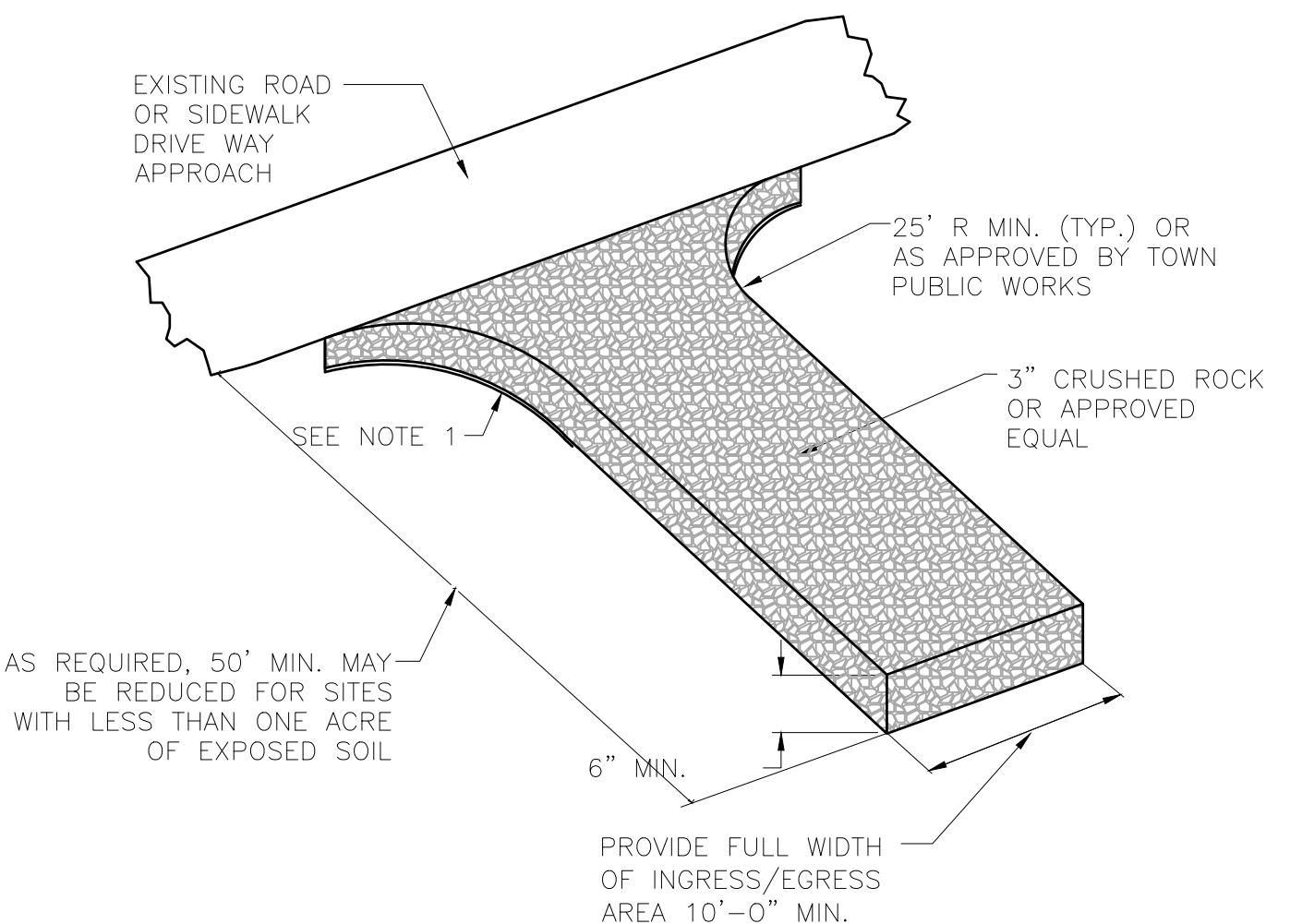
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
2. CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
3. IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
4. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C2.0 FOR STAGING AND STOCKPILING LOCATIONS.
5. TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH AREAS. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
6. NEW DRIVEWAY, SIDEWALK, CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO TOJ AND ADA STANDARDS. REPLACEMENT MATERIALS SHALL MATCH EXISTING. EXISTING SIDEWALKS SHALL BE MAINTAINED AND PROTECTED.
7. IN ACCORDANCE WITH C3.0, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
8. REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
9. CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
10. LAND DISTURBING ACTIVITIES SHALL OCCUR FROM FALL 2020 THROUGH SUMMER 2021.
11. CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
12. IF A GEOTECHNICAL REPORT WAS COMPLETED, CONTRACTOR SHALL FOLLOW RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.
13. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION MANAGEMENT REQUIREMENTS:
 - A. CONSTRUCTION PARKING AND STAGING SHALL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTRAGE. STAGING W/IN PUBLIC RIGHT-OF-WAYS IS PROHIBITED W/OUT AN ENCROACHMENT PERMIT.
 - B. STAGE MATERIALS AND EQUIPMENT WITHIN THE LOT BOUNDARY AND IN ACCORDANCE WITH SHEET C2.0. NO STAGING WITHIN PUBLIC RIGHT-OF-WAY IS ALLOWED.
 - C. TRUCK-OUT OF DEBRIS ON PUBLIC ROADS IS PROHIBITED. PLACE GRAVEL SURFACING. TO MINIMIZE MUD ISSUES DURING CONSTRUCTION IN ACCORDANCE WITH ST-119/C2.0.
 - D. INSTALL CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C2.0.
 - E. LOCATE AND PROVIDE TEMPORARY CONSTRUCTION FACILITIES INCLUDING TRAILERS, TOILETS, DUMPSTERS AND LOCATIONS FOR CONCRETE WASHOUT W/IN THE LOT BOUNDARY.
 - F. DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
14. FINAL GRADING INSPECTION: PER TOJ, CONTRACTOR/OWNER SHALL ARRANGE FOR GRADING INSPECTION AND FINAL APPROVAL BY THE DESIGN ENGINEER FOR PLAN-LEVEL GEC's
15. NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).



NOTE:

1. STRAW WATTERS SHALL BE INSTALLED TO LIMIT MIGRATION OF SOIL CAUSED BY STORM WATER RUNOFF IN ORDER TO PROTECT ADJACENT WATER BODIES AND NEIGHBORING PROPERTIES.
2. MAINTAIN WATTER IN-PLACE UNTIL EXPOSED SOILS HAVE REVEGETATED SUFFICIENTLY TO PREVENT EROSION.
3. CONTINUOUS RUNS OF STRAW WATTER SHALL BE MADE BY ABUTTING ENDS OF INDIVIDUAL WATTERS WITH NO GAPS BETWEEN.

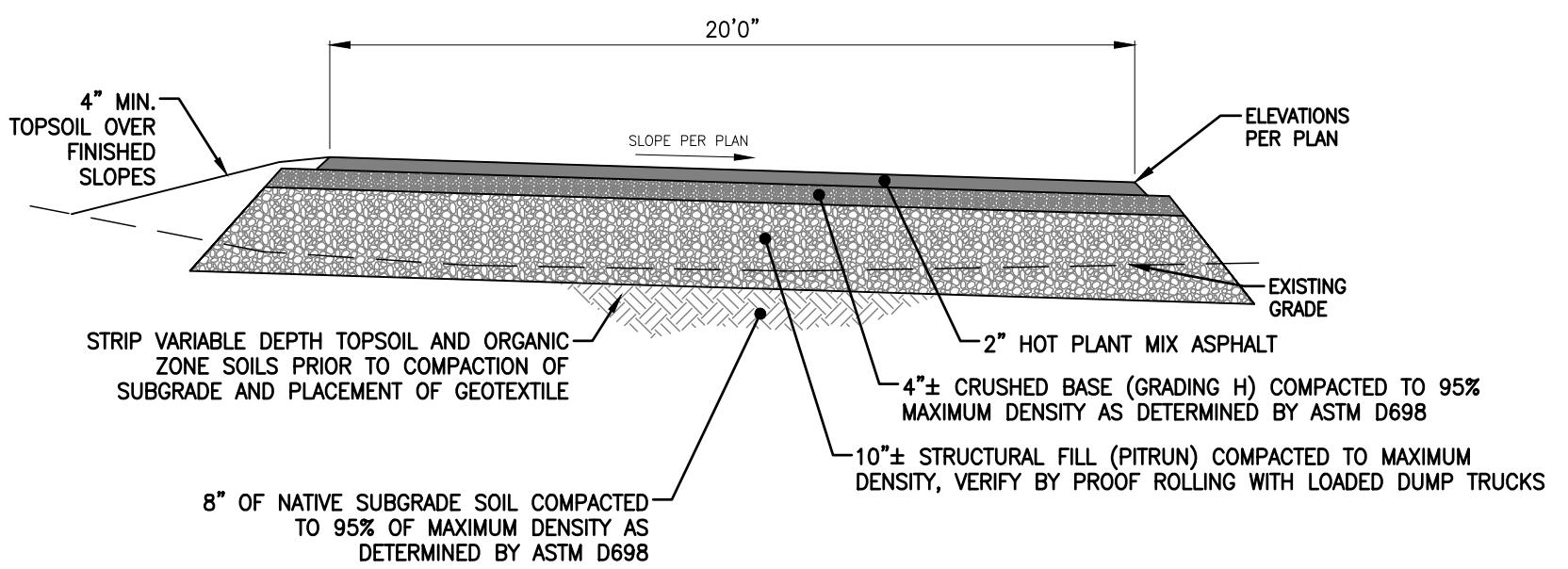
5 C4.0 STRAW WATTER DETAIL
SCALE: N.T.S.



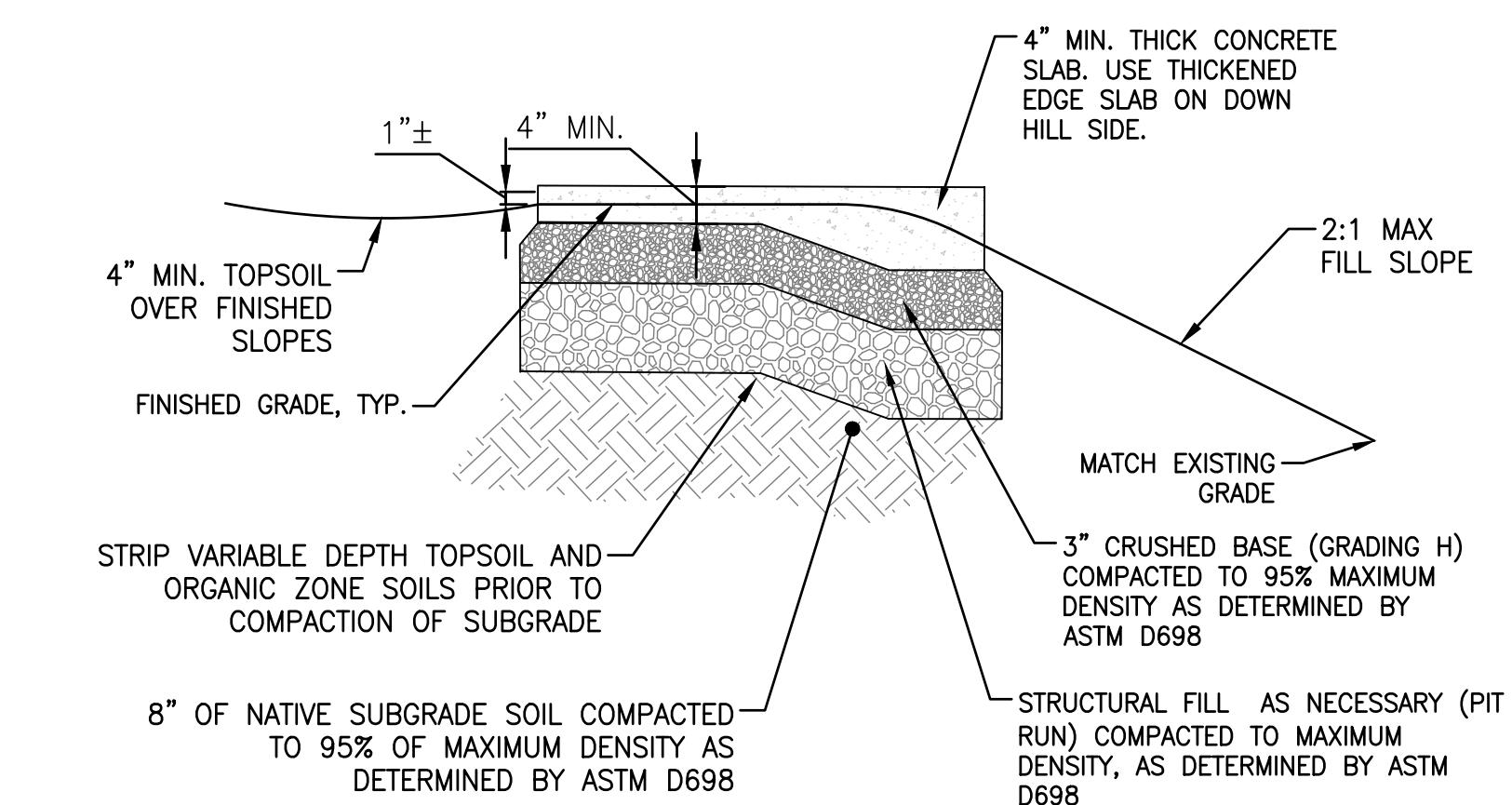
NOTES:

1. PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION UNDER THE CRUSHED ROCK FROM THE EDGE OF THE EXISTING ROADWAY TO THE RADIUS RETURNS, OR AS DIRECTED BY PUBLIC WORKS.
2. ENTRANCE SHALL BE REMOVED AND RECONSTRUCTED AS REQUIRED TO PREVENT EXCESS TRACKING OF MATERIALS ONTO RIGHT-OF-WAY, OR WHEN DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT.

ST-119 C4.0 STABILIZED CONSTRUCTION ENTRANCE



4 C4.0 TYPICAL ASPHALT PARKING SECTION
Scale: N.T.S.



6 C4.0 CONCRETE SLAB SECTION
SCALE: N.T.S.

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P.O. BOX 1599, JACKSON WYOMING (307) 733-2837

DRAWING TITLE
GRADING DETAILS, NOTES, & SPECIFICATIONS

DRAWING NO
C4.0
JOB NO
20-203-01
JOB TITLE
DAUS RESIDENCE
185 MOOSE STREET
JACKSON, WY

DATE	1/4/2021	REV.
SURVEYED	NE	
ENGINEERED	NB	
DRAWN	NB	
CHECKED	MB	
APPROVED	MB	

