



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

### Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: January 22, 2021	<b>REQUESTS:</b>  The applicant is submitting a request for a Grading Pre-Application for the property located at 185 Moose St. , legally known as N. 1/2 OF LOT 19, & ALL OF LOT 20, BLK. 5, L.G. GILL SUBDIVISION.  For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P21-006	
Planner: Tyler Valentine  Phone: 733-0440 ext. 1305  Fax: 734-3563  Email: tvalentine@jacksonwy.gov	
<b>Owner/Applicant:</b>  Michael Daus PO Box 536 Teton Village, WY 83025	
<b>Please respond by:</b>	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
btlenz@jacksonwy.gov



## PRE-APPLICATION CONFERENCE REQUEST (PAP)

### Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

#### *For Office Use Only*

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

**Please note:** Applications received after 3 PM will be process the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

#### **PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

#### **PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: 307-690-3262

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: mfd563@gmail.com

#### **APPLICANT/AGENT.**

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner

\_\_\_\_\_ Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

\_\_\_\_\_ Physical Development Permit  
\_\_\_\_\_ Use Permit  
\_\_\_\_\_ Development Option or Subdivision Permit  
\_\_\_\_\_ Interpretations of the LDRs  
\_\_\_\_\_ Amendments to the LDRs  
\_\_\_\_\_ Relief from the LDRs  
\_\_\_\_\_ Environmental Analysis

**This pre-application conference is:**

\_\_\_\_\_ Required  
\_\_\_\_\_ Optional  
\_\_\_\_\_ For an Environmental Analysis  
\_\_\_\_\_ For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** ([tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)).

Have you attached the following?

\_\_\_\_\_ **Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.

\_\_\_\_\_ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at [www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF](http://www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF).

\_\_\_\_\_ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

\_\_\_\_\_ Existing property conditions (buildings, uses, natural resources, etc)  
\_\_\_\_\_ Character and magnitude of proposed physical development or use  
\_\_\_\_\_ Intended development options or subdivision proposal (if applicable)  
\_\_\_\_\_ Proposed amendments to the LDRs (if applicable)

\_\_\_\_\_ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

\_\_\_\_\_ Property boundaries  
\_\_\_\_\_ Existing and proposed physical development and the location of any uses not requiring physical development  
\_\_\_\_\_ Proposed parcel or lot lines (if applicable)  
\_\_\_\_\_ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

\_\_\_\_\_ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

\_\_\_\_\_ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

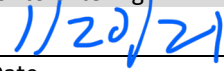
Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent



Name Printed



Date



Title

DD/20-203-01

January 5, 2021

Town of Jackson  
Planning and Building Department  
150 E. Pearl Ave.  
PO Box 1687  
Jackson, WY 83001

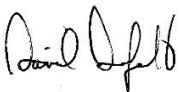
ATTN: Town of Jackson Planning and Building Department  
RE: **Grading Pre-Application Conference Request for 185 Moose Street,  
Jackson, Wyoming**

Dear Planning Personnel:

The attached Pre-Application Request Packet is for the proposed demolition of an existing residence and replacement of it with a new residence at 185 Moose Street, Jackson, Wyoming. In accordance with the existing site plan attached, there is an existing residence situated on a town lot with associated parking and utilities. The project area is zoned NL-3 (Low Density-3) and is used as a residence. Proposed development includes building a residence largely on the foot print of the existing structure. The structure will consist of a garage, five bedrooms, and five baths. An unfinished partial basement is proposed. Minor grading changes will be made to the existing site, overhead power to the structure and street light will be rerouted and buried, and adjustments to the existing parking area will be made to accommodate the garage. Water service will be stemmed from the existing water service in the main house following the water meter. The sanitary sewer service for the structure is proposed to be connected to the existing sewer line. Electrical, Natural Gas, and Communication connections will be replaced or adjusted as needed, this work will be coordinated with the utility companies.

Please do not hesitate to contact me with project inquiries at (307) 733-2087 or [ddufault@nelsonengineering.net](mailto:ddufault@nelsonengineering.net).

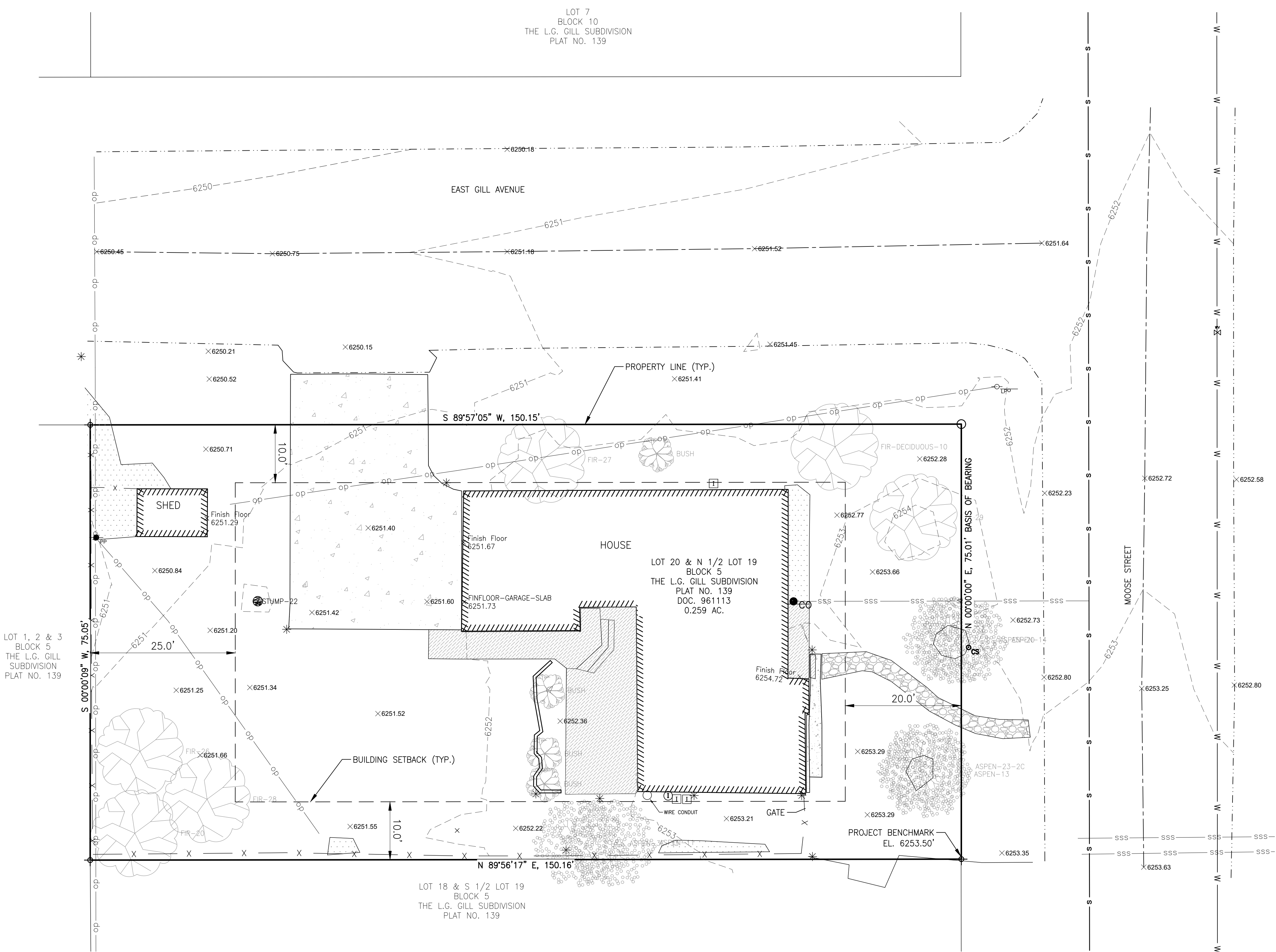
Sincerely,



Dave Dufault, PE  
Senior Project Manager

S:\Projects\203-01\_Lot 20 Gill Addition - Douglas Halsey - Civil\Drawings\Survey\20-203-01\_Existing.dwg (EXISTING) - Jan 04 2021 04:04:27 pm PLOTTED BY: herring DWG FIRMAT: 230

LOT 1, 2 & 3  
BLOCK 5  
THE L.G. GILL  
SUBDIVISION  
PLAT NO. 139

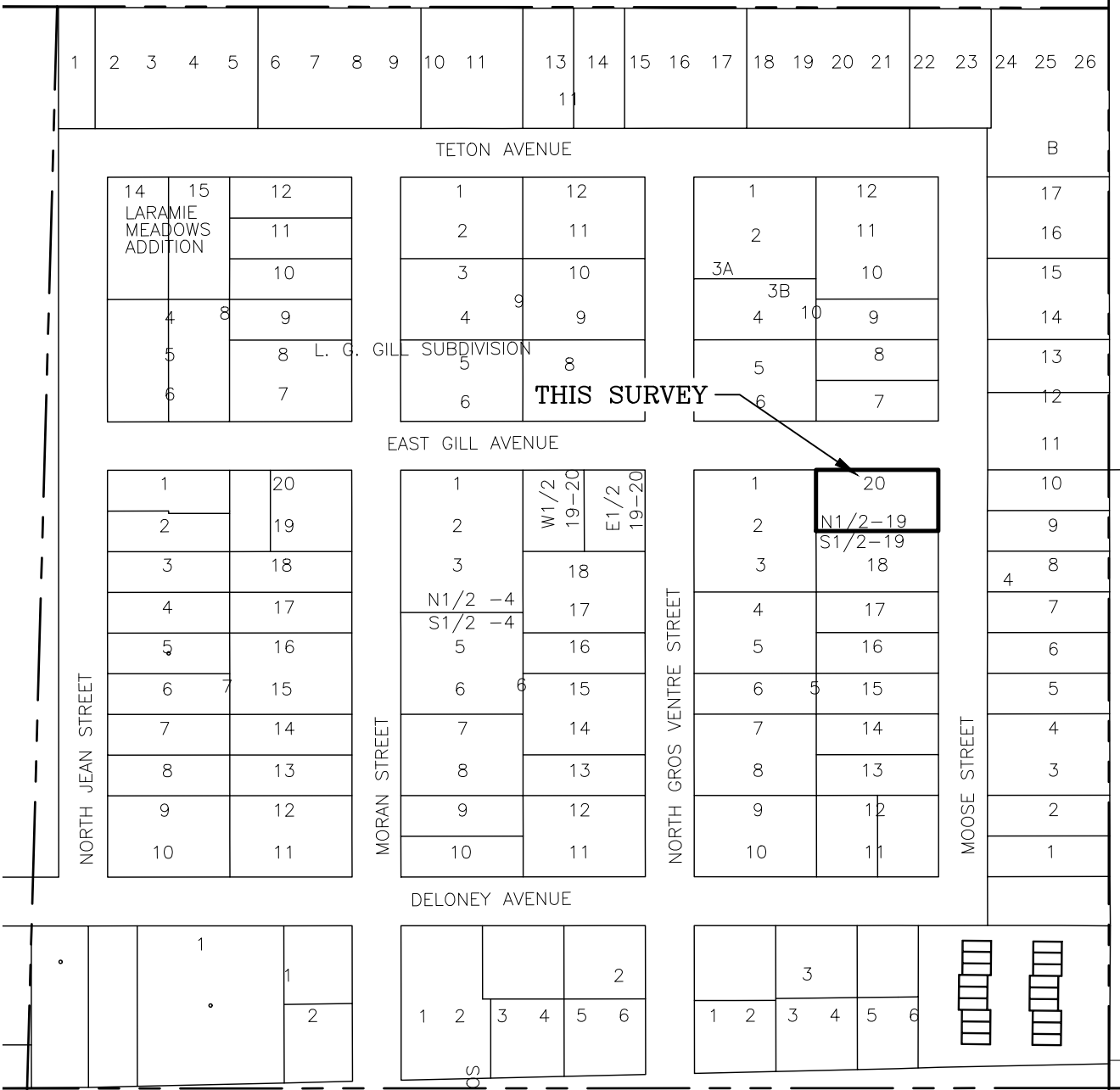


PRIMARY BUILDING SETBACKS  
PER TOWN OF JACKSON  
ZONE NL-3

20' - STREET  
10' - SECONDARY STREET  
10' - SIDE  
25' - REAR

THE MAP WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT  
AND IS SUBJECT TO ANY OTHER EASEMENTS, RESTRICTIONS,  
RESERVATIONS, RIGHTS-OF-WAY, AND CONDITIONS OF SIGHT  
AND/OR OF RECORD INCLUDING, BUT NOT LIMITED, TO THOSE  
SHOWN HEREON.

NOTE:  
EXISTING VEGETATION CONSISTS OF NATIVE GRASSES, BUSHES,  
ASPEN TREES, AND FIR TREES.

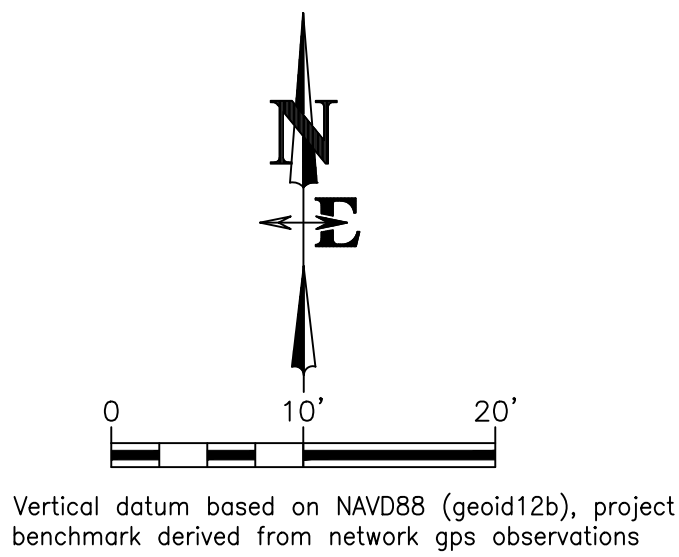


VICINITY MAP  
SE 1/4 SW 1/4  
SECTION 27  
TOWN OF JACKSON  
TETON COUNTY, WY

LEGEND  
(EXISTING SITE PLAN)

- = PROPERTY LINE
- - - = SETBACK LINE
- · - · - = CENTERLINE OF ROAD
- · - · - · - = EDGE OF PAVEMENT
- X - = FENCE LINE
- · - · - · - · - = RAILROAD TIES
- /// = BUILDING LINE
- op - op = OVERHEAD POWER LINE
- S = SANITARY SEWER LINE
- SSS = SANITARY SEWER SERVICE
- W = WATER LINE PER TOJ GIS
- ▨ = WOOD WALKWAY AND STEPS
- ▨ = LANDSCAPING
- ▨ = STONE PATHWAY
- ▨ = CONCRETE
- CS = CURB STOP
- ⊠ = IRRIGATION BOX
- ⊠ = IRRIGATION CONTROLLER VALVE
- LP = LIGHT POLE
- PP = POWER POLE
- ⊙ = STUMP
- ⊙ = SIGN
- ⊙ = SANITARY SEWER CLEANOUT
- ⊙ = SANITARY SEWER MH
- ⊙ = SPRINKLER
- ⊙ = WATER VALVE
- ASPN-18 = ASPEN TREE
- FIR-18 = FIR TREE W/ TRUNK DIA.
- ⊙ = FOUND T-STAKE
- ⊙ = FOUND PIPE

EXISTING  
SCALE: 1" = 20' (11x17)



DATE  
7/30/2020

SURVEYED  
ENGINEERED

DRAWN  
CHECKED

APPROVED

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE  
EXISTING SITE SURVEY

JOB TITLE  
DAUS RESIDENCE  
185 MOOSE STREET  
LOT 20 & N 1/2 LOT 19, L.G. GILL

DRAWING NO  
C1.0  
JOB NO  
20-203-01

S:\Projects\2023-01 Lot 20 Gill Addition - Douglas Halsey - Civil\Drawings\Civil\20-203 Demolition Plan.dwg PLOTTED BY keeling DWG DATE 01/04/2021 04:04:33 pm

LOT 1, 2 & 3  
BLOCK 5  
THE L.G. GILL  
SUBDIVISION  
PLAT NO. 139

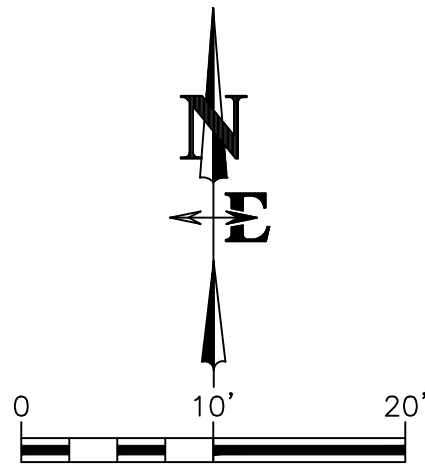
LOT 7  
BLOCK 10  
THE L.G. GILL  
SUBDIVISION  
PLAT NO. 139

EAST GILL AVENUE

MOOSE STREET

- DEMOLITION NOTES
1. DEMOLITION ACTIVITIES SHALL OCCUR FALL 2020.
  2. CONTRACTOR SHALL INSTALL CONSTRUCTION ACCESS TRACK PAD AT THE CONSTRUCTION ENTRANCE, SEE DETAIL 1 THIS SHEET.
  3. CONTRACTOR SHALL PREVENT TRACKING OF SOIL ONTO THE ROAD AND CLEAR ROAD OF ANY SOILS WHEN NECESSARY.
  4. WATER AND SEWER UTILITIES WERE OBTAINED FROM TETON COUNTY GIS AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND CAP NEAR PROPERTY LINE FOR FUTURE CONNECTION.
  5. ALL EXISTING UTILITIES WILL BE ABANDONED IN COORDINATION WITH THE UTILITY COMPANIES.
  6. ASBESTOS CONTAINING MATERIALS MAY BE PRESENT. REFER TO TESTING REPORT.
  7. ENCROACHMENT PERMIT MUST BE SUBMITTED TO TOWN OF JACKSON PRIOR TO ANY WORK IN RIGHT-OF-WAY.
  8. OWNER SHALL POST BOND WITH THE TOWN FOR ABANDONMENT OF WATER AND SEWER UTILITIES IN ACCORDANCE WITH THE DEMOLITION PERMIT.

CONTRACTOR NOTE:  
CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.



DEMOLITION PLAN

SCALE: 1" = 20' (11X17)

DRAWING NO	JOB TITLE	DRAWING TITLE	REV.				
			DATE	SURVEYED	ENGINEERED	DRAWN	APPROVED
C1.1	DAUS RESIDENCE	DEMOLITION PLAN	1/4/2021	DK		SK	LR
20-203-01	185 MOOSE STREET						
	LOT 20 & N 1/2 LOT 19, L.G. GILL						

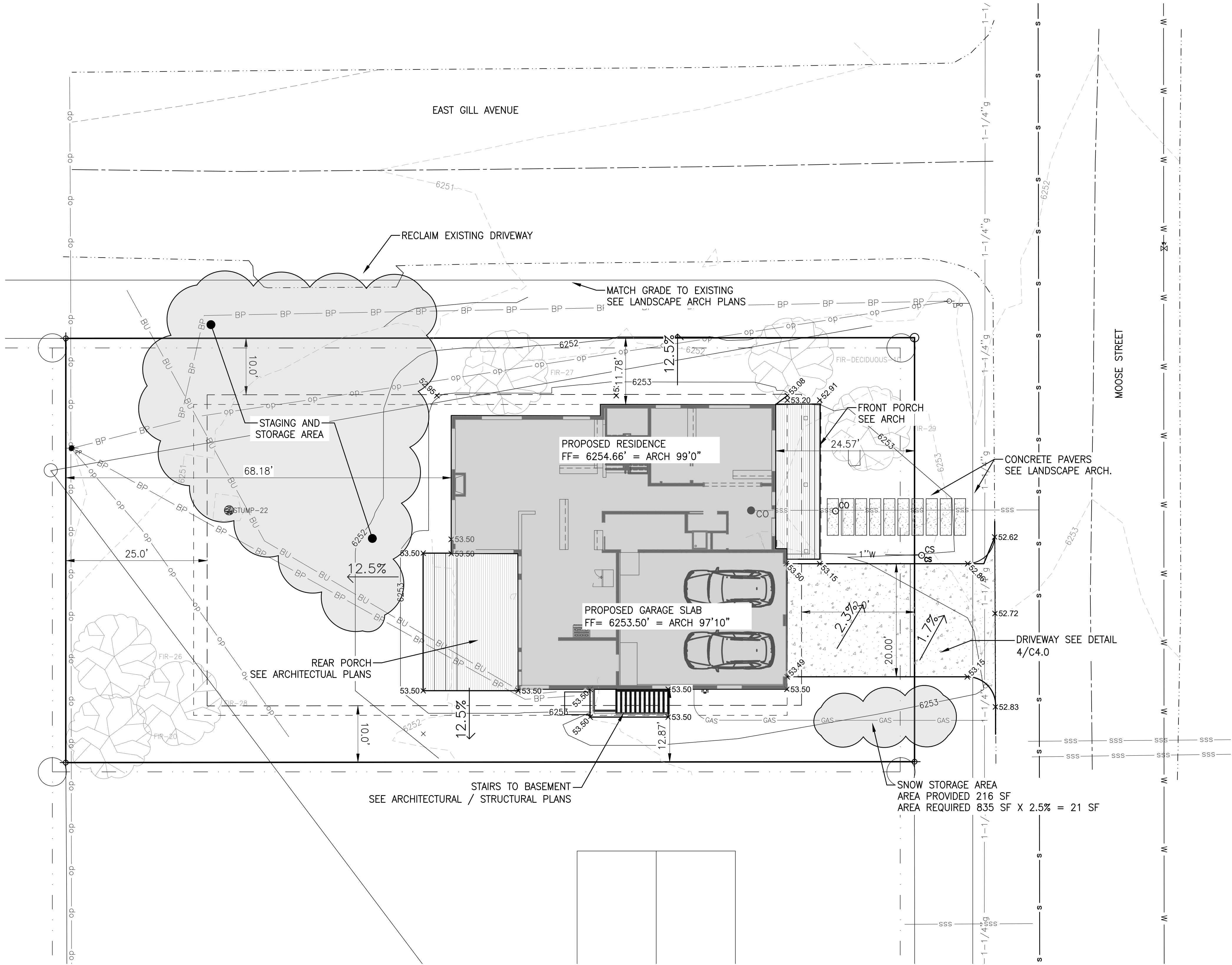
NELSON  
ENGINEERING  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



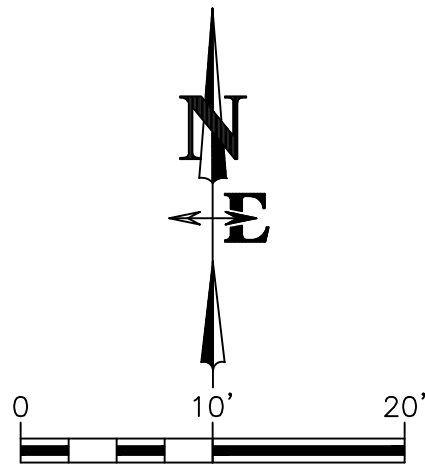
S:\Projects\20-203-01.ctb 20 Gill Addition - Douglas Halsey - Civil\Drawings\Civil\20-203 ISS\dwg\FINAL SITE PLAN.dwg PLotted by keeling Jan 04 2021 04:04:38 pm

**CONTRACTOR NOTE:**  
CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

**FINAL SITE PLAN**  
SCALE: 1" = 20' (11X17)



- LEGEND**
- — — — — = PROPERTY BOUNDARY
  - - - - - = PRIMARY BUILDING SETBACK
  - - - - - = 10' UTILITY EASEMENT
  - LD LD LD LD = LIMITS OF DISTURBANCE
  - - - - - = SURVEYED TOP BANK FLAT CREEK
  - op op op op = OVERHEAD POWER LINE
  - BU BU BU BU = BURIED UTILITY
  - BP BP BP BP = BURIED ELECTRIC
  - GAS GAS GAS GAS = BURIED NATURAL GAS CONNECTION
  - 1"W 1"W 1"W 1"W = 1" WATER SERVICE LINE
  - 4" SSS 4" SSS 4" SSS 4" SSS = SANITARY SEWER CONNECTION
  - W W W W = WATER SYSTEM PER TOJ GIS
  - S S S S = SEWER SYSTEM PER TOJ GIS
  - SW SW SW SW = STRAW WATTLE / SILT FENCE
  - = ASPEN TREE
  - = PINE TREE
  - = DECIDUOUS TREE
  - = COTTONWOOD TREE
  - = CURB STOP
  - = TV PEDESTAL
  - = SANITARY SEWER CLEANOUT
  - ⊕ = FOUND T-STAKE - RLS 164
  - = CONCRETE



DRAWING NO	JOB TITLE	DRAWING TITLE	REV.				
			DATE	1/4/2021	NE	NB	MB
C2.0	DAUS RESIDENCE 185 MOOSE STREET JACKSON, WY	FINAL SITE PLAN	SURVEYED	ENGINEERED	NB	NB	NB
JOB NO	20-203-01		DRAWN	CHECKED	MB	MB	MB
			APPROVED				



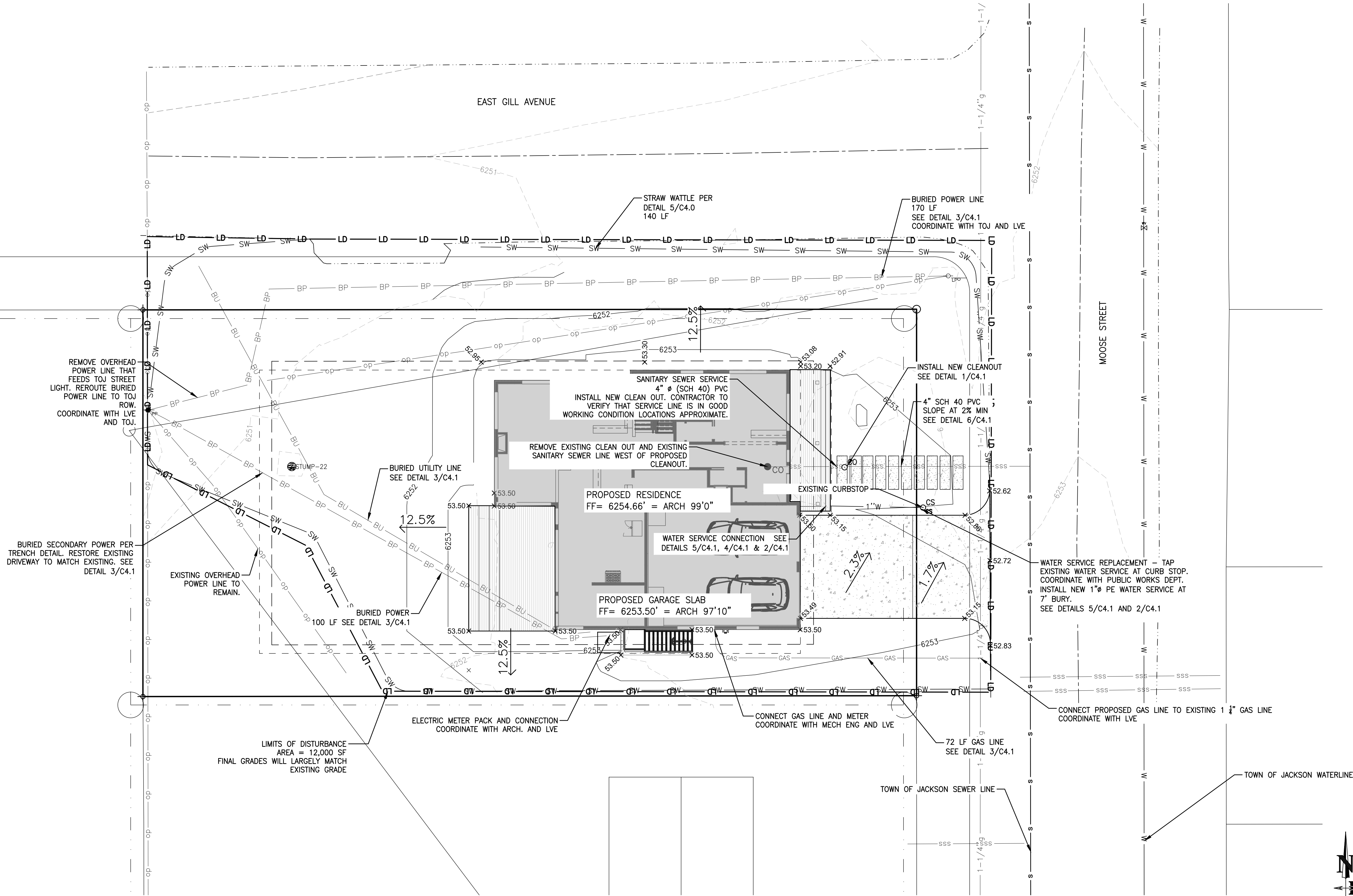
S:\Projects\2023-01\_01\_20 Gill Addition - Douglas Halsey - Civil\Drawings\Civil\20-203 ISSU\dwg C3.0 UTILITY PLAN - Jan 04 2021 04:04:40 pm PLOTTED BY: herring DWG FORMAT: 230

CONTRACTOR NOTE:

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

UTILITY PLAN

SCALE: 1" = 20' (11X17)



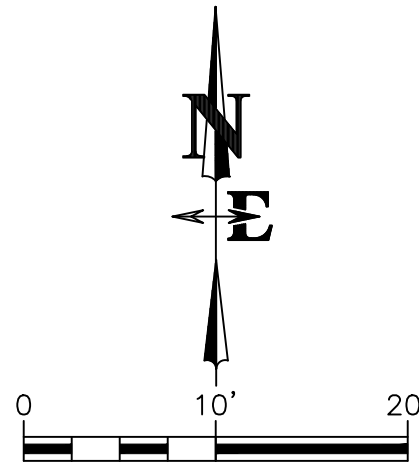
DATE	1/4/2021	REV.
SURVEYED	NE	
ENGINEERED	NB	
DRAWN	NB	
CHECKED	MB	
APPROVED	MB	

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE  
**UTILITY PLAN  
& GRADING & EROSION CONTROL PLAN**

JOB TITLE  
**DAUS RESIDENCE  
185 MOOSE STREET  
JACKSON, WY**

DRAWING NO  
**C3.0**  
JOB NO  
**20-203-01**



S:\Projects\2023-01\_Cut 20 Gil Addition - Douglas Halsey - Civil\Drawings\2023-01\_203\_BSD\Grading\Grading Details - Notes & Specifications.dwg - Jun 04 2023 04:44:45 pm PLOTTED BY: karping DWG FORMAT: ISO

SITE CONSTRUCTION NOTES & SPECIFICATIONS

- CAUTION:** UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
  - CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
  - IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
  - STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C2.0 FOR STAGING AND STOCKPILING LOCATIONS.
  - TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH AREAS. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
  - NEW DRIVEWAY, SIDEWALK, CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO TOJ AND ADA STANDARDS. REPLACEMENT MATERIALS SHALL MATCH EXISTING. EXISTING SIDEWALKS SHALL BE MAINTAINED AND PROTECTED.
  - IN ACCORDANCE WITH C3.0, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
  - REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
  - CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
  - LAND DISTURBING ACTIVITIES SHALL OCCUR FROM FALL 2020 THROUGH SUMMER 2021.
  - CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
  - IF A GEOTECHNICAL REPORT WAS COMPLETED, CONTRACTOR SHALL FOLLOW RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.
  - CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION MANAGEMENT REQUIREMENTS:
    - CONSTRUCTION PARKING AND STAGING SHALL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTAGE. STAGING W/IN PUBLIC RIGHT-OF-WAYS IS PROHIBITED W/OUT AN ENCROACHMENT PERMIT.
    - STAGE MATERIALS AND EQUIPMENT WITHIN THE LOT BOUNDARY AND IN ACCORDANCE WITH SHEET C2.0. NO STAGING WITHIN PUBLIC RIGHT-OF-WAY IS ALLOWED.
    - TRACK-OUT OF DEBRIS ON PUBLIC ROADS IS PROHIBITED. PLACE GRAVEL SURFACING. TO MINIMIZE MUD ISSUES DURING CONSTRUCTION IN ACCORDANCE WITH ST-119/C2.0.
    - INSTALL CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C2.0.
    - LOCATE AND PROVIDE TEMPORARY CONSTRUCTION FACILITIES INCLUDING TRAILERS, TOILETS, DUMPSTERS AND LOCATIONS FOR CONCRETE WASHOUT W/IN THE LOT BOUNDARY.
    - DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
  - FINAL GRADING INSPECTION: PER TOJ, CONTRACTOR/OWNER SHALL ARRANGE FOR GRADING INSPECTION AND FINAL APPROVAL BY THE DESIGN ENGINEER FOR PLAN-LEVEL GEC's
  - NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).

TETON COUNTY WEED AND PEST MANAGEMENT STRATEGIES

PRE-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

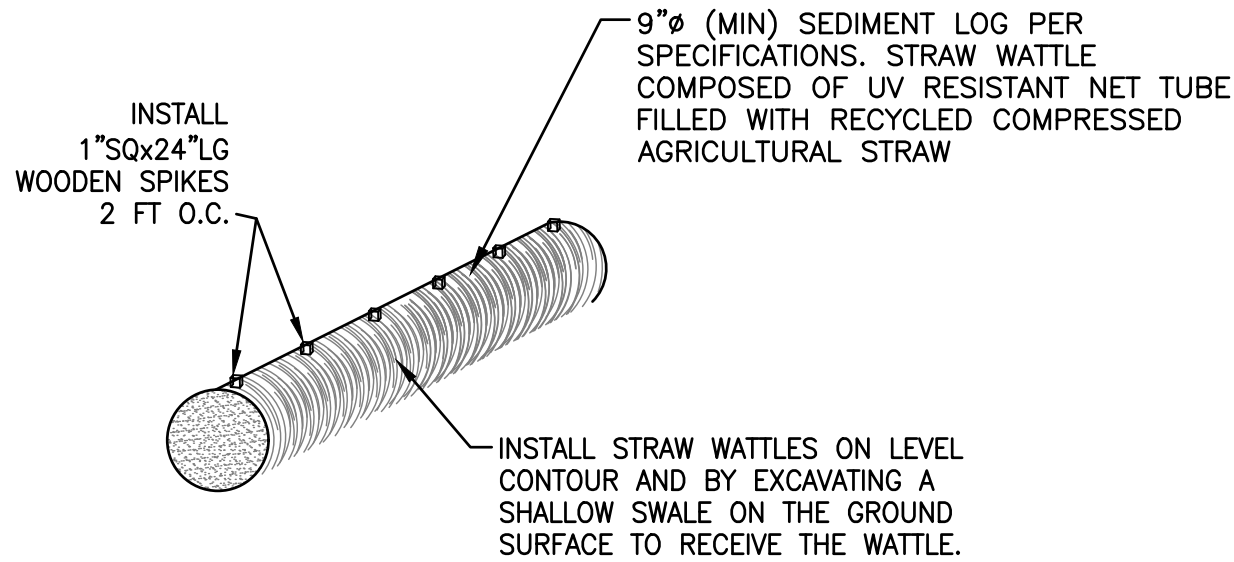
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE TETON COUNTY WEED & PEST, OR OTHER QUALIFIED PROFESSIONAL, TO CONDUCT A SITE SPECIFIC INVENTORY OF INVASIVE SPECIES AND CREATE A SPECIES SPECIFIC MANAGEMENT PLAN IN ACCORDANCE WITH TETON COUNTY LDR 5.7.2.

ACTIVE CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

- ALL CONSTRUCTION EQUIPMENT TO BE CLEANED PRIOR TO ENTERING THE SITE.
- SOIL STOCKPILES TO BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
- DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT SHALL BE MINIMIZED.
- ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE KEPT ON ACTIVE MANAGEMENT USING THE CONTROL METHODS PRESCRIBED IN THE SPECIES SPECIFIC MANAGEMENT PLAN CREATED PRIOR TO CONSTRUCTION. THIS AREA SHALL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.

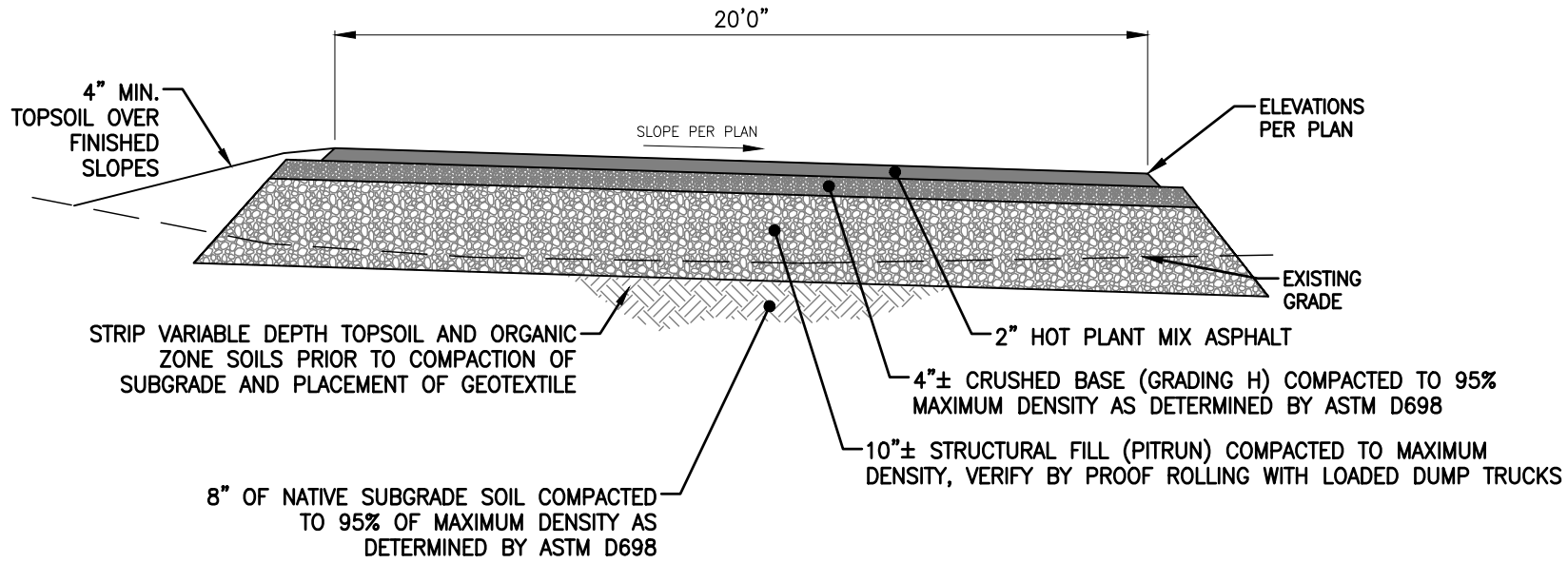
POST-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

- RE-VEGETATION TO OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT THE ESTABLISHMENT OF INVASIVE SPECIES IN DISTURBED AREAS.
- NURSERY STOCK SHALL BE IN ACCORDANCE WITH W.S. 11-9-101 - 109 (WYOMING NURSERY STOCK LAW), ACCOMPANIED BY A VALID HEALTH CERTIFICATE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE. SEEDS SHALL BE IN ACCORDANCE WITH W.S. 11-12-101 - 125 (WYOMING SEED LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE.
- CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL SHALL BE UTILIZED WHERE POSSIBLE.
- TOWP TO BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.

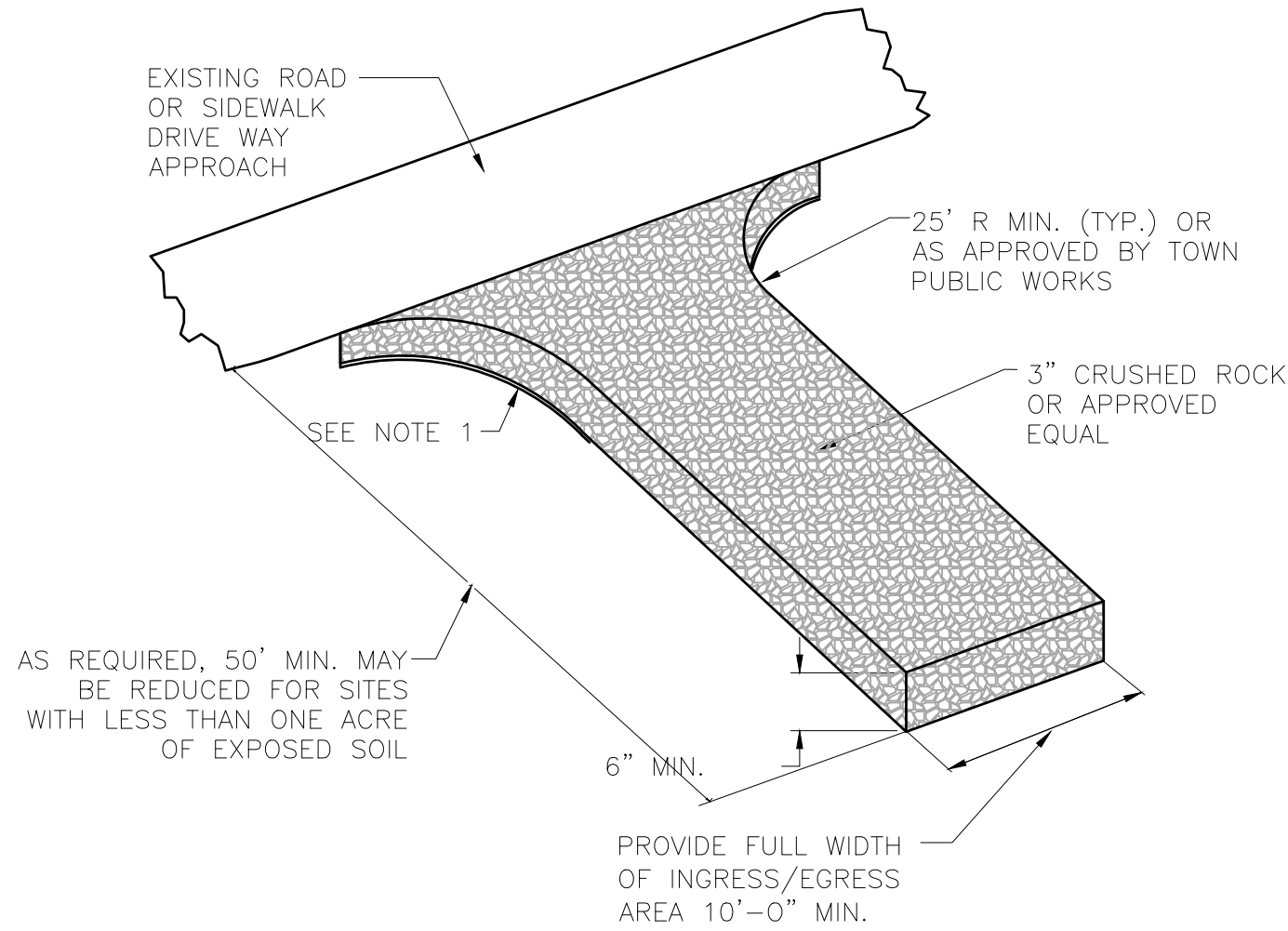


- NOTE:**
- STRAW WATTLES SHALL BE INSTALLED TO LIMIT MIGRATION OF SOIL CAUSED BY STORM WATER RUNOFF IN ORDER TO PROTECT ADJACENT WATER BODIES AND NEIGHBORING PROPERTIES.
  - MAINTAIN WATTLE IN-PLACE UNTIL EXPOSED SOILS HAVE REVEGETATED SUFFICIENTLY TO PREVENT EROSION.
  - CONTINUOUS RUNS OF STRAW WATTLE SHALL BE MADE BY ABUTTING ENDS OF INDIVIDUAL WATTLES WITH NO GAPS BETWEEN.

5 STRAW WATTLE DETAIL  
SCALE: N.T.S.

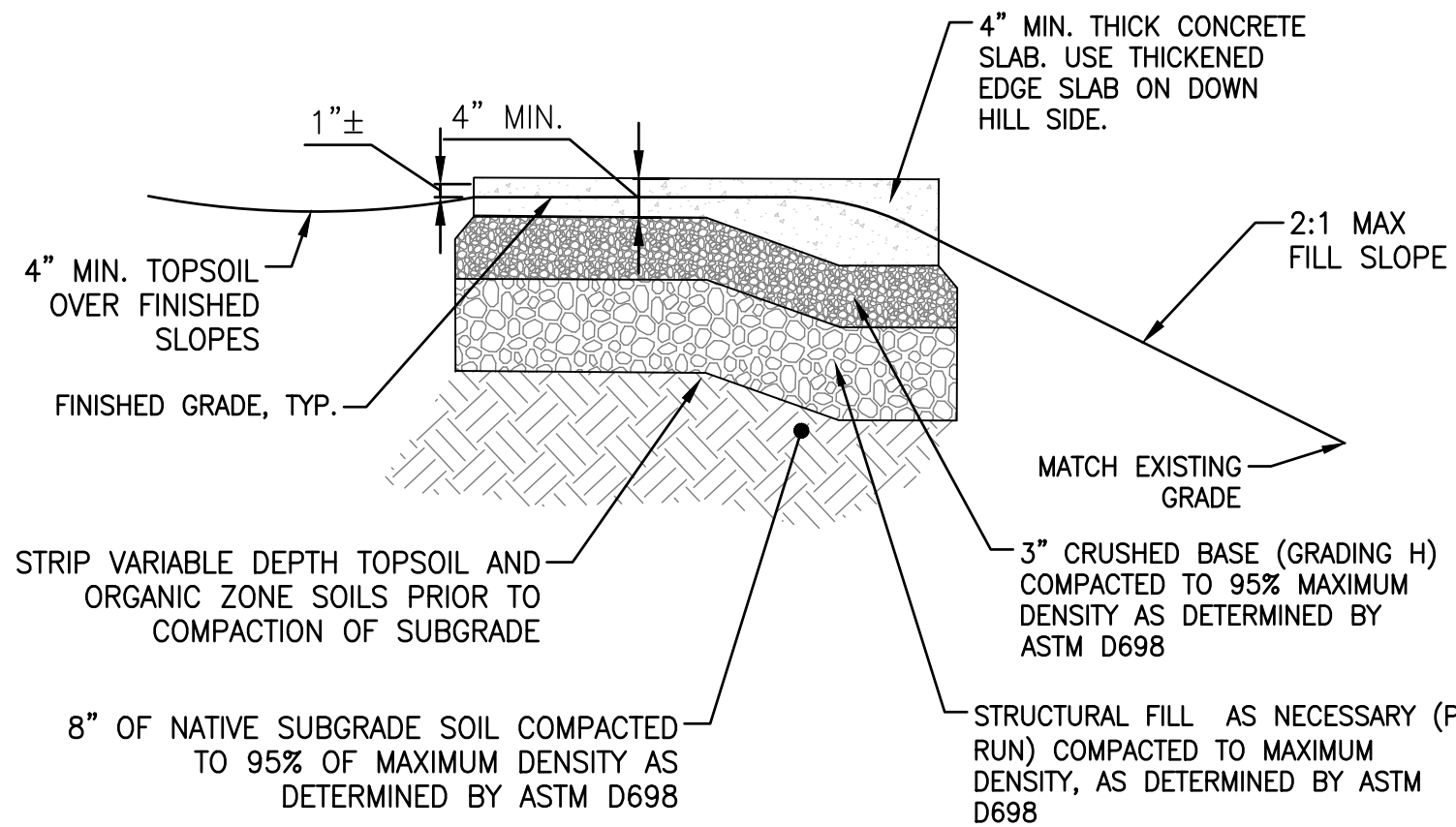


4 TYPICAL ASPHALT PARKING SECTION  
Scale: N.T.S.



- NOTES:**
- PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION UNDER THE CRUSHED ROCK FROM THE EDGE OF THE EXISTING ROADWAY TO THE RADIUS RETURNS, OR AS DIRECTED BY PUBLIC WORKS.
  - ENTRANCE SHALL BE REMOVED AND RECONSTRUCTED AS REQUIRED TO PREVENT EXCESS TRACKING OF MATERIALS ONTO RIGHT-OF-WAY, OR WHEN DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT.

ST-119 STABILIZED CONSTRUCTION ENTRANCE  
C4.0

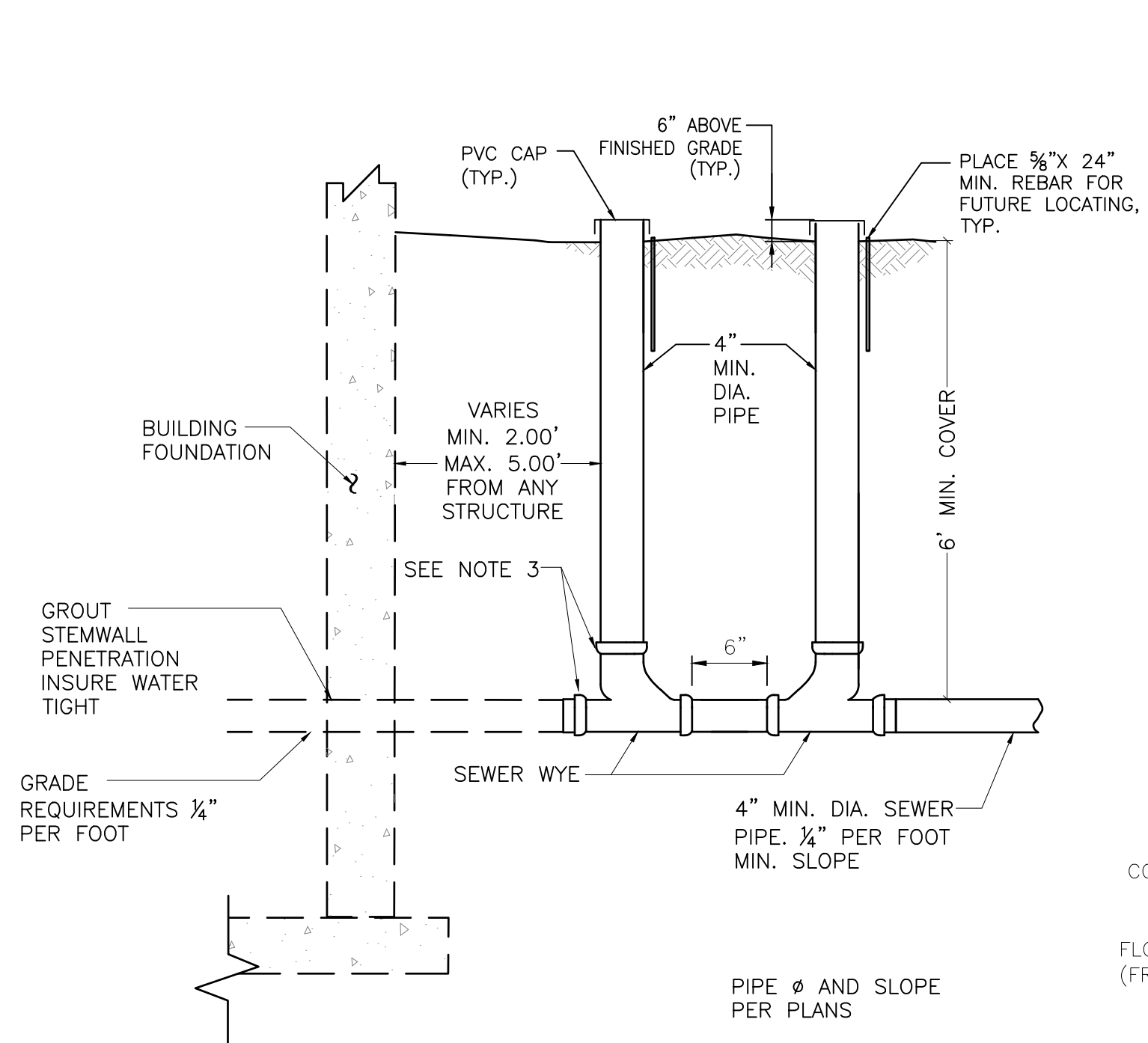


6 CONCRETE SLAB SECTION  
SCALE: NTS

DRAWING NO	C4.0	JOB NO	20-203-01	JOB TITLE	DAUS RESIDENCE 185 MOOSE STREET JACKSON, WY	DRAWING TITLE	GRADING DETAILS, NOTES, & SPECIFICATIONS	DATE	1/4/2021	REV.				
										NE	NB	NB	MB	MB

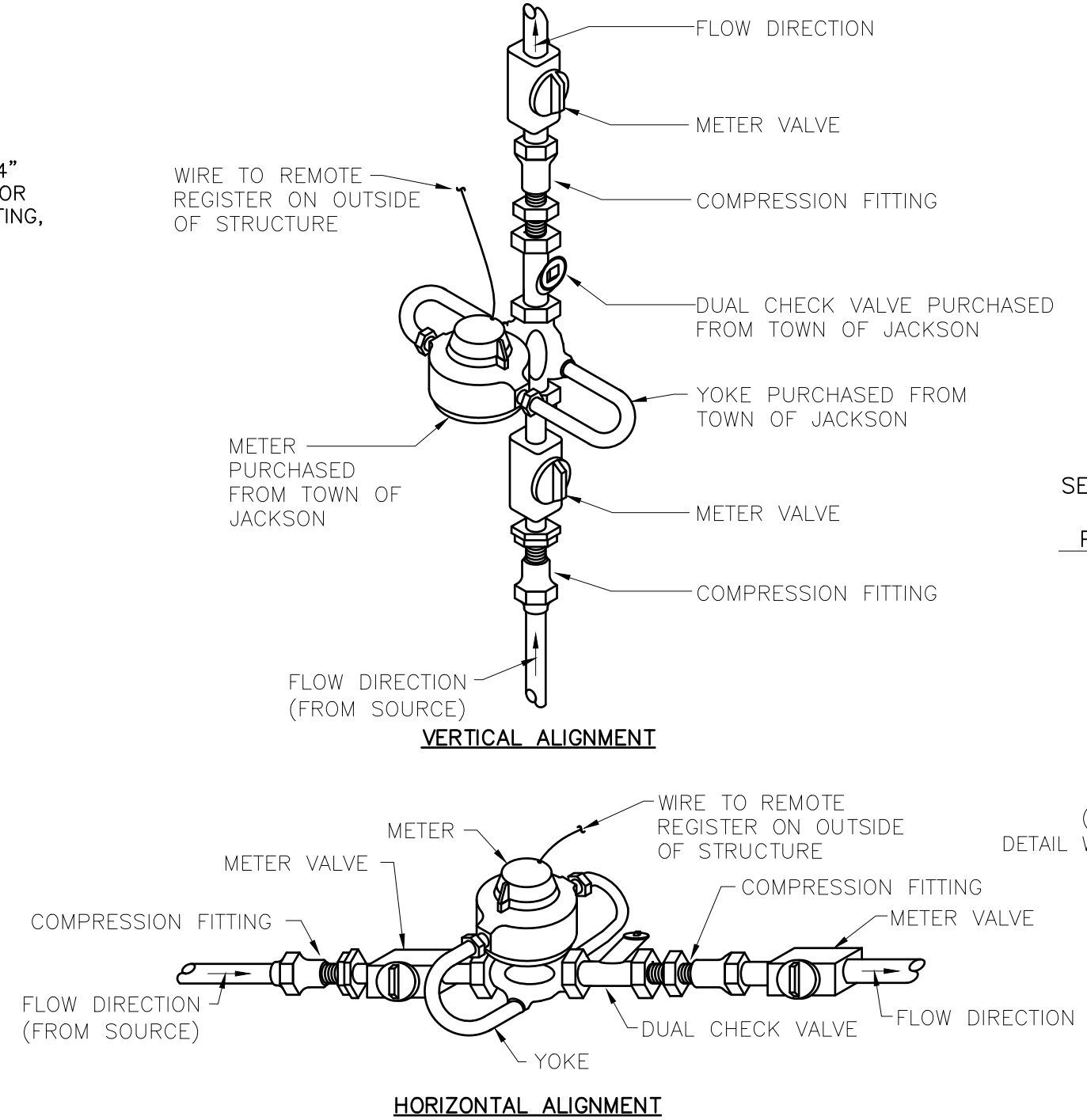
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S:\Projects\2023-24\20 Gil Addition - Douglas Halsey - Civil\Drawings\20-203 ISS\Utility Details - Jan 04 2021 10:04:50 pm PLOTTED BY: kerrin DWG ID: 2021 231



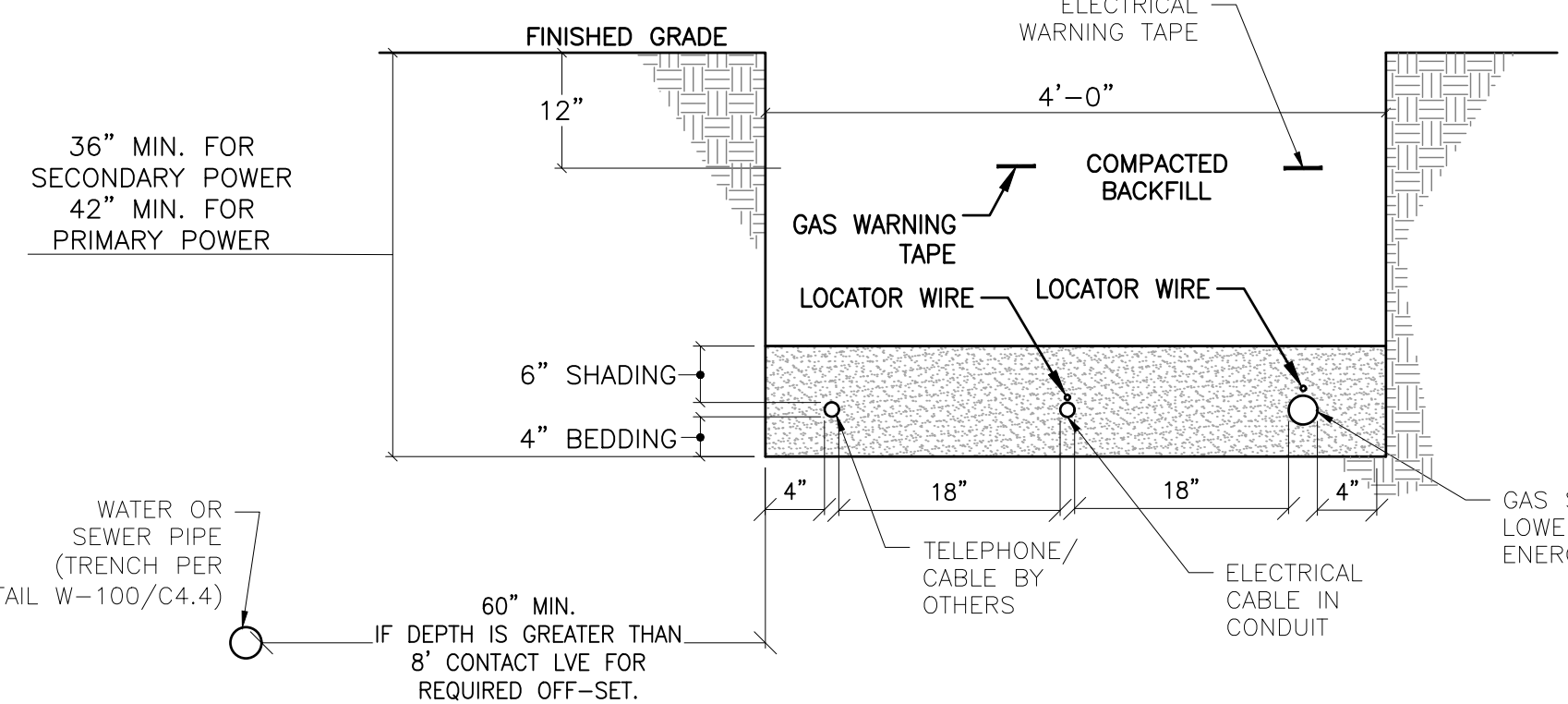
- NOTES:
1. PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
  2. INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
  3. ALL PVC FITTINGS SHALL MEET ASTM D2665 SPECIFICATIONS.

1  
C4.1 SERVICE LATERAL BUILDING CLEANOUT



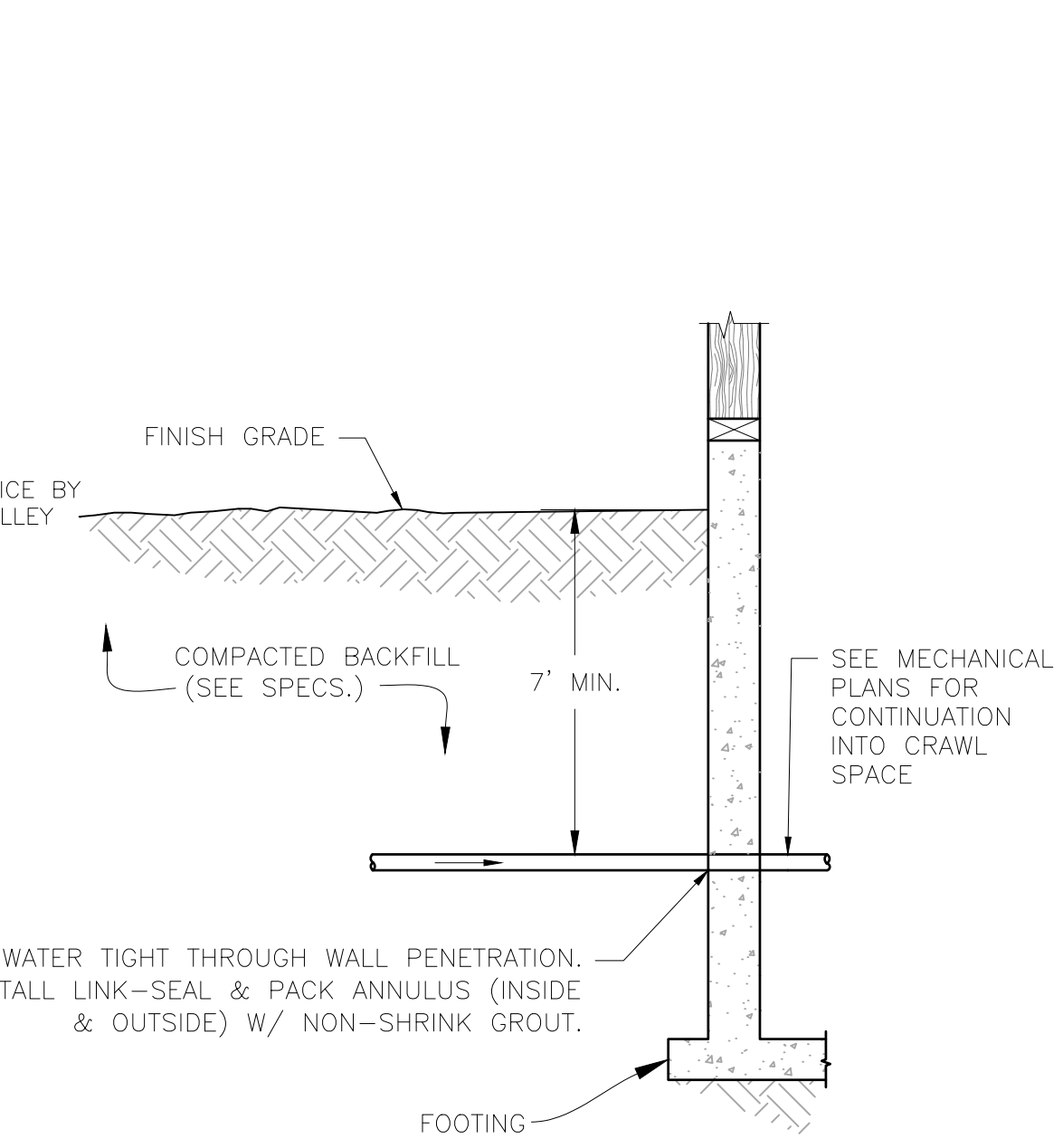
- NOTES:
1. SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
  2. METER SHALL BE INSTALLED WITH THE METER FACING UP.
  3. METER SHALL BE PURCHASED FROM AND SUPPLIED BY THE TOWN OF JACKSON.
  4. IRRIGATION TAKEOFFS SHALL BE LOCATED DOWNSTREAM OF THE METER AND IN ACCORDANCE WITH THE IPC, PROVIDE PROTECTION AGAINST BACKFLOW IN THE FORM OF AN ATMOSPHERIC VACUUM BREAKER, PRESSURE VACUUM BREAKER ASSEMBLY, OR REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY. ALL TESTABLE BACKFLOW PREVENTERS SHALL BE TESTED BY A 3RD PARTY PRIOR TO IRR. USE.

W-112  
C4.1 WATER METER INSTALLATION

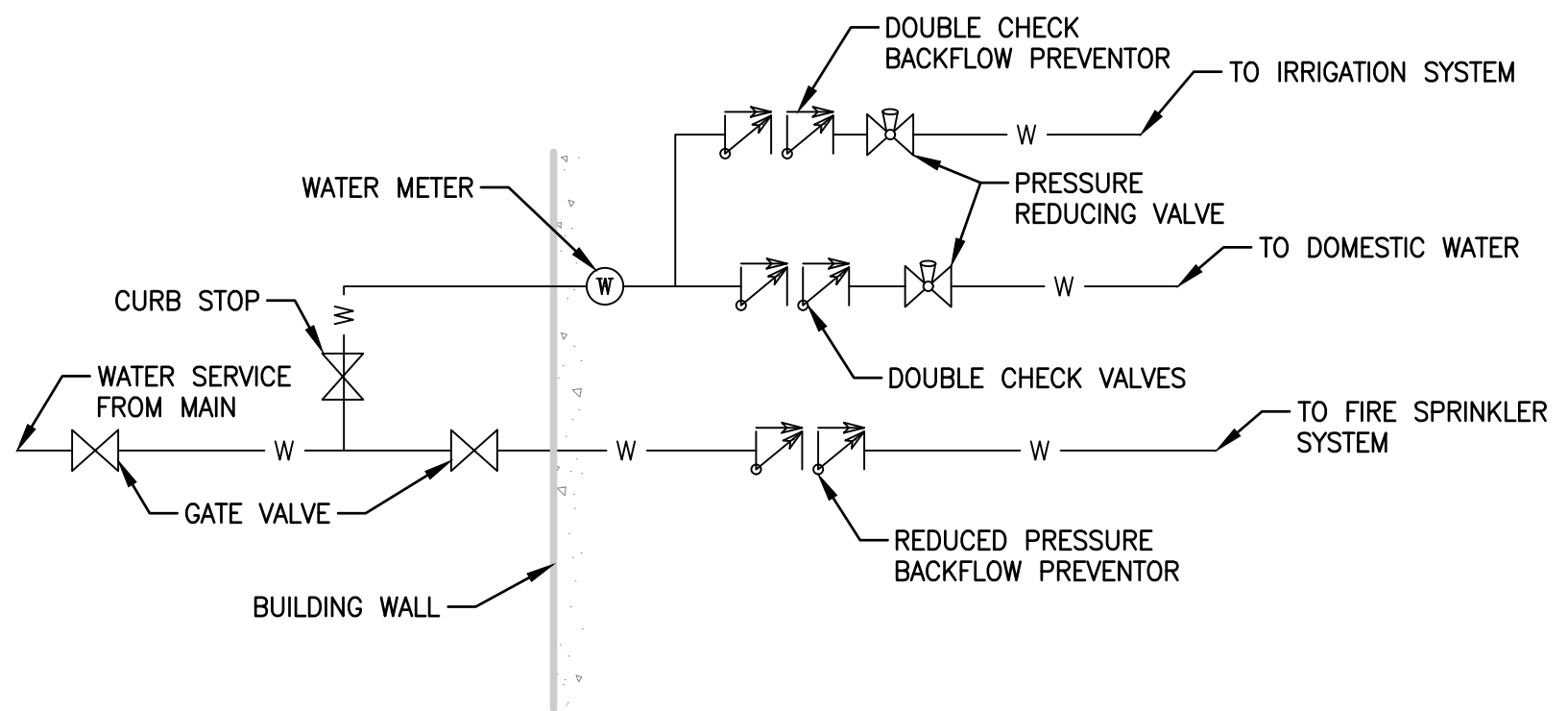


- NOTES:
1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
  2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
  3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
  4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
  5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

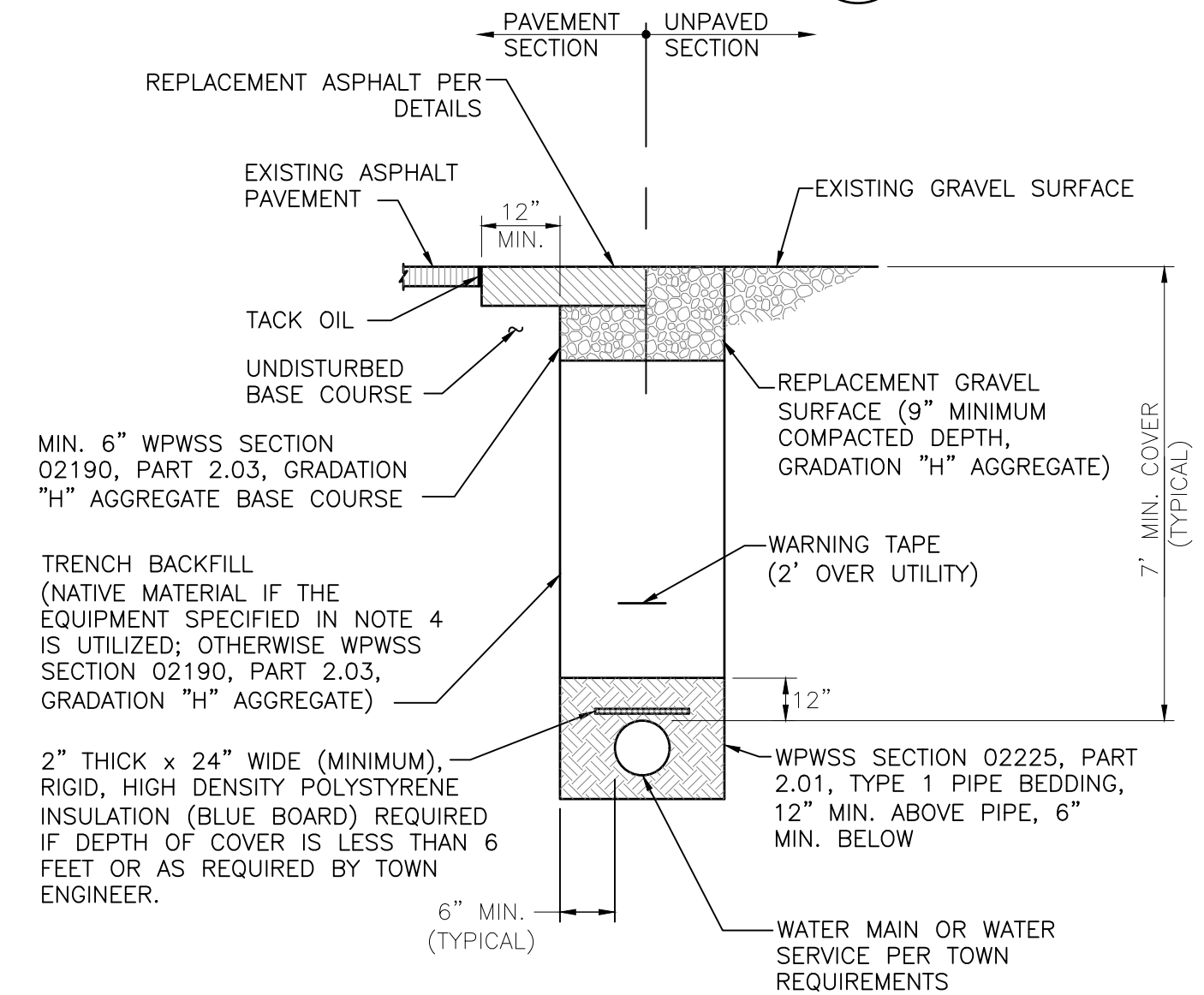
3  
C4.1 UTILITY TRENCHING AND SPACING REQUIREMENTS  
SCALE: NTS



4  
C4.1 WATER PIPE ENTRY/EXIT DETAIL  
Scale: N.T.S.

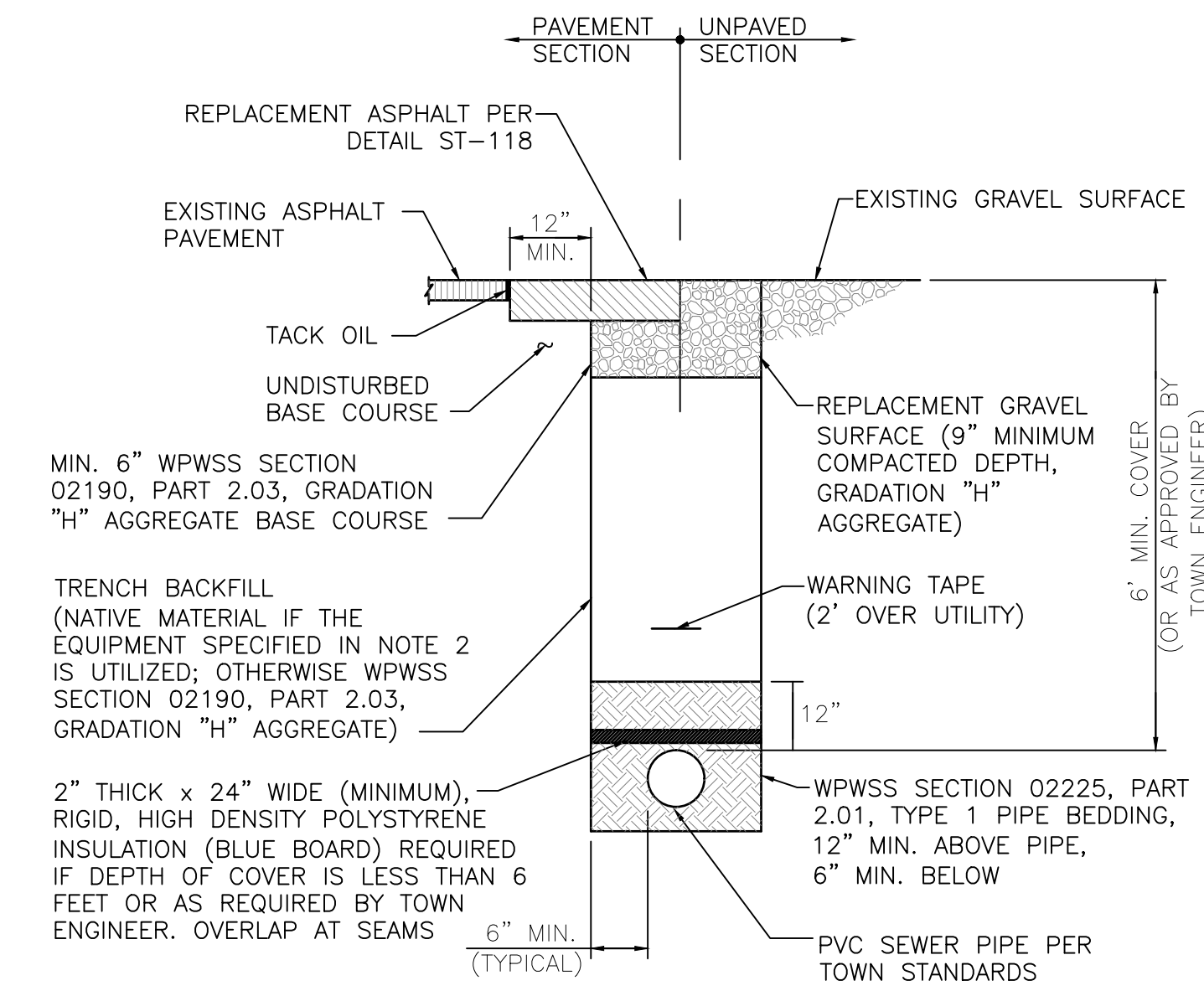


5  
C4.1 WATER SERVICE FIRE ENTRY SCHEMATIC DETAIL



- NOTES:
1. TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
    - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
    - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
  2. COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
  3. PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
  4. UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
  5. ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

W-100  
C4.1 WATER MAIN AND SERVICE LINE TRENCH



- NOTES:
1. TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
    - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
    - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
  2. COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
  3. PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
  4. UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
  5. ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WOSHA) REGULATIONS.

SS-100  
C4.1 SEWER MAIN & SERVICE TRENCH DETAIL

DRAWING NO C4.1	JOB TITLE DAUS RESIDENCE 185 MOOSE STREET JACKSON, WY	DRAWING TITLE UTILITY DETAILS	<div>NELSON ENGINEERING</div> <div>P.O. BOX 1599, JACKSON WYOMING (307) 733-2087</div>	DATE	1/4/2021	REV.
				SURVEYED	NE	
JOB NO 20-203-01				ENGINEERED	NB	
				DRAWN	NB	
				CHECKED	MB	
				APPROVED	MB	

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