



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Housing Department

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: January 13, 2021	<b>REQUESTS:</b>
Item #: P21-010	The applicant is submitting a request for an Encroachment Agreement for the property located at 135 N. Cache Street, legally known as, LOT 8, BLK. 7, JACKSON (MOS T-28M)
Planner: Tyler Valentine	For questions, please call Brian Lenz at 733-3097, x1410 or email to the address shown below. Thank you.
Phone: 733-0440 ext. 1305	
Email: <a href="mailto:tvalentine@jacksonwy.gov">tvalentine@jacksonwy.gov</a>	
<b>Owner:</b> Stage Stop, Inc. PO 1677 Jackson, WY 83001	
<b>Applicant:</b> Wapiti Corp – John Kemp PO Box 2870 Jackson, WY 83001	
<b>Please respond by: February 3, 2020 (with Comments)</b>	

**Owner:**

Stage Stop, Inc.  
PO 1677  
Jackson, WY 83001

**Applicant:**

Wapiti Corp – John Kemp  
PO Box 2870  
Jackson, WY 83001

The applicant is submitting a request for an Encroachment Agreement for the property located at 135 N. Cache Street, legally known as, LOT 8, BLK. 7, JACKSON (MOS T-28M)

For questions, please call Brian Lenz at 733-3097, x1410 or email to the address shown below. Thank you.

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)



## ENCROACHMENT AGREEMENT APPLICATION

### Planning & Building Department

#### Planning Division

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | fax: (307) 734-3563  
Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

#### OWNER OF PROPERTY:

Name: Stage Stop Inc. Phone: 307-413-6323

Mailing Address: POBOX 1677 ZIP: 83001

E-mail: Sdarwiche@hoteljackson.com

#### APPLICANT/AGENT:

Name: John P Kemp Phone: 307-413-9893

Mailing Address: PO BOX 2870 ZIP: 83001

E-mail: john@wapiticorp.com

#### DESIGNATED PRIMARY CONTACT:

Owner \_\_\_\_\_ Applicant/Agent X

#### PROPERTY:

Physical Address of Property: 135 N. Cache, Jackson WY 83001

Lot, Subdivision: LOT 8, BLK. 7, JACKSON (MOS T-28M)

PIDN: 22-41-16-28-4-09-001

Description of Public Right-of Way: North Cache Subgrade - Approx 16' Below Grade

**SUBMITTAL REQUIREMENTS.** Three (3) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

N/A **Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

**Narrative Description of the Request.** Provide a detailed narrative description explaining the use of the noted public right-of-way.

**Exhibit.** Provide an exhibit (picture, drawings, maps, plans) of the use of the noted public right-of-way including dimensions of requested encroachment.

#### FORMAT:

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of the Town of Jackson to enter upon the abovementioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

\_\_\_\_\_  
Signature of Owner or Authorized Applicant/Agent

John P. Kemp

Name Printed

1-7-2021

\_\_\_\_\_  
Date

Resident Engineer

\_\_\_\_\_  
Title



Town of Jackson Public Works  
450 W. Snow King Ave  
Jackson WY, 83001  
307-733-3079

January 7, 2021

**RE: Encroachment Permit Narrative – Hotel Jackson Shoring**

Dear Mr. Lenz,

Encroachment into Town of Jackson Right of way will be necessary safely excavate the subject project.

A Soil Nail shoring system will be utilized once micropile depth has been reached – approximately 16 LF below existing grade.

Similar applications (WYDOT M-29) have been filed with WYDOT. Please see attached drawings for reference.

Sincerely,

John P Kemp, PE  
Resident Engineer  
john@wapiticorp.com

# TEMPORARY SHORING PLANS

## *HOTEL JACKSON - PHASE 2*

*JACKSON, WYOMING  
WAPITI CORPORATION*



# VICINITY MAP

(NOT TO SCALE)

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SHEET REVISIONS

**PROJECT NAME**

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *COVER SHEET*

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IS DRAWN BY: CHECKED BY: DATE: PROJECT NUMBER: SHEET  
Y NED DEB 11/20/20 200 WY01



Phone: 855.579.0536 | Fax: 970.245.7737  
[www.geostabilization.com](http://www.geostabilization.com)

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**GENERAL INFORMATION:**

- CONTRACTOR: GEOSTABILIZATION INTERNATIONAL "GSI"
- GSI PROJECT ENGINEER: DAMIEN BOSSE, PE
- GSI APPROVING REGISTERED ENGINEER: CAMERON LOBATO, PE, P.ENG

**SAFETY**

- GSI WILL GENERATE A SITE SPECIFIC HEALTH AND SAFETY PLAN THAT MUST BE REVIEWED AND SIGNED BY ALL GSI EMPLOYEES, SUBCONTRACTORS, AND VISITORS TO THE SITE.
- ALL SAFETY PLANS FOR LIFTING, HEARING, DUST CONTROL, PPE ETC. ARE IN PLACE AND WILL BE FOLLOWED ACCORDINGLY. PPE WILL INCLUDE SAFETY VEST, STEEL TOED SHOES, HARD HAT, SAFETY GLASSES, AND GLOVES.
- GSI WILL LEAD A DAILY TAILGATE MEETING TO REVIEW JOB HAZARD ANALYSIS "JHA" FOR EACH OF THE DAYS ANTICIPATED TASKS.
- THE SITE WILL BE ORGANIZED AND CLEAR OF ANY TRASH OR DEBRIS. ALL TRASH WILL BE PLACED IN A PROPER CONTAINER AND SECURED OR REMOVED AT THE END OF EACH WORK DAY.

**CONTRACTOR EMPLOYEE CERTIFICATIONS:**

- ACI SHOTCRETE NOZZLEMEN CERTIFICATION
- 10-HOUR OCCUPATIONAL SAFETY AND HEALTH TRAINING COURSE IN CONSTRUCTION SAFETY & HEALTH
- AMERICAN RED CROSS STANDARD FIRST AID TRAINING
- AMERICAN RED CROSS BLOODBORNE PATHOGENS TRAINING: PDT

**DIVISION OF WORK:**

GSI WILL PROVIDE AND INSTALL THE SPECIFIED SOILS NAILS, SHOTCRETE FACING, MICROPILES AND MICROPILE CAP PER THESE DRAWINGS

**CONSTRUCTION SEQUENCE**

- EXCAVATE MICROPILE CAP TRENCH (BY OTHERS) AT CURRENT GRADE ALONG SIDEWALK. GSI ENGINEERS OR THEIR DESIGNATED REPRESENTATIVE(S) CAN ADVISE ON EXCAVATION, AS NECESSARY.
- INSTALLATION OF DOUBLE ROW SELF-DRILLING MICROPILE ANCHORS.
  - LAYOUT SHORING PATTERN.
  - INSTALL ANCHOR ELEMENTS.
- PREPARE CAP FOR CONCRETE.
  - PLACE PLATES AND NUTS ON ANCHORS.
  - PLACE STEEL REINFORCING WALERS.
- PLACE CONCRETE AND TROWEL FLAT.
- EXCAVATE (BY OTHERS) TO ADJACENT BUILDING FOOTER LEVELS.
- REPEAT STEPS 1 THROUGH 4 FOR THE NORTH AND SOUTH MICROPILE CAPS.
- EXCAVATE WORKING FACE(S) FOR SOIL NAIL WALLS (BY OTHERS).
- INSTALLATION OF SELF-DRILLING SOIL NAILS
  - LAYOUT STABILIZATION PATTERN.
  - INSTALL ANCHOR ELEMENTS.
- PREPARE WALL FOR SHOTCRETE.
  - PLACE DRAIN STRIP.
  - PLACE STEEL REINFORCING MESH WITH WALERS, PLATES, AND HEX NUTS.
- PLACE SHOTCRETE.
- REPEAT STEPS 7 THROUGH 10 FOR EACH EXCAVATED LIFT, AS REQUIRED.
- CLEAN AND DEMOBILIZE FROM SITE.

**INSTALLATION EQUIPMENT:**

- MICROPILES AND ANCHORS WILL BE INSTALLED WITH A SUPERNAILER® MAST MOUNTED ON AN EXCAVATOR. A ROTARY PERCUSSION TOP HAMMER WILL BE UTILIZED IF NECESSARY.
- GROUT WILL BE MIXED AND PUMPED FROM A DOUBLE HOPPER GROUT PLANT UTILIZING A PROGRESSIVE CAVITY PUMP.
- SHOTCRETE WILL BE PLACED WITH A LINE PUMP.

**STABILIZATION LAYOUT**

- PRIOR TO GSI MOBILIZATION ANY POTENTIAL CONFLICTS: UTILITIES, RIGHT-OF-WAY LIMITS, ETC SHALL BE MARKED (BY OTHERS). POTHOLING MAY BE REQUIRED TO DETERMINE ACTUAL LOCATION(S) AND DEPTH(S) OF UTILITY(IES) AND WILL BE PROVIDED BY OTHERS AS NEEDED TO ENSURE THE SAFETY OF WORKERS AND PROTECTION OF UTILITIES.
- GSI ENGINEERING STAFF OR THEIR DESIGNATED REPRESENTATIVE(S) WILL LAYOUT THE MICROPILE ALIGNMENT WITH SURVEY ASSISTANCE FROM THE GENERAL CONTRACTOR.
- GSI WILL MARK THE LOCATIONS OF THE MICROPILES AND SOIL NAILS WITH SURVEY MARKING PAINT.
- SPACING OF ELEMENTS WILL BE AS SHOWN HEREIN.
- ADJUSTMENTS, AS DIRECTED BY GSI ENGINEERING STAFF, MAY BE REQUIRED TO MEET ON-SITE CONDITIONS.

**STABILIZATION ELEMENTS:**

THE ANCHOR ELEMENTS CONSIST OF FULLY GROUTED, PASSIVE, SELF-DRILLING SUPERNAILS®, INSTALLED IN 5 OR 10 FOOT SECTIONS. ADDITIONAL LENGTHS WILL BE COUPLED TO THE DRILL STRING AS THE ANCHOR IS ADVANCED UNTIL DESIGN DEPTH IS ACHIEVED.

- PHYSICAL PROPERTIES:
  - MINIMUM BAR YIELD WILL BE 91 KIPS.
  - BAR DIAMETER (OD/ID): 40MM/20MM
  - THREAD TYPE: WILLIAMSFORM CORP. T-THREAD (MEETS ASTM A519 OR A513)
  - BIT DIAMETER WILL BE AS SHOWN.
- DESIGN UNIT ALLOWABLE PULLOUT STRESS IS MATERIAL DEPENDENT. NAIL LENGTHS MAY BE ADJUSTED BY GSI ENGINEERING STAFF DEPENDING ON SOIL/ROCK CONDITIONS ENCOUNTERED.
- THE SUPERNAILS® WILL BE INSTALL BY INJECTING NEAT CEMENT GROUT THROUGH THE CENTER OF THE BAR DURING DRILLING; GROUT RETURN ALONG THE ANNULUS BETWEEN SOIL AND BAR WILL FLUSH CUTTINGS, PROVIDE ENCAPSULATION OF THE BAR, AND CENTRALIZE THE ANCHOR.

**NEAT CEMENT GROUT MIX DESIGN**

- DESIGN 28 DAY COMPRESSIVE STRENGTH = 3,000 PSI
- TARGET RANGE WATER TO CEMENT RATIO = 0.5 TO 0.6

TYPICAL GROUT MIX DESIGN (PER 5 - 94 LB. BAG MIX)			
MATERIAL	WEIGHT (LBS.)	VOLUME (FT <sup>3</sup> )	FIELD UNIT VOLUME
WATER	235-282	3.8-4.5	28.4 - 33.7 GALLONS
CEMENT (TYPE I/II)	470	2.37	5 BAGS (94 LBS.)
TOTAL UNIT	705 - 752	6.17-6.87	--

TYPICAL GROUT MIX DESIGN (PER 94 LB. BAG)			
MATERIAL	WEIGHT (LBS.)	VOLUME (FT <sup>3</sup> )	FIELD UNIT VOLUME
WATER	47 - 56.4	0.75 - 0.9	5.6 - 6.8 GALLONS
CEMENT (TYPE I/II)	94	0.47	1 BAG
TOTAL UNIT	141 - 150.4	1.22 - 1.37	--

**FACING DRAINAGE:**

PLACE GEOCOMPOSITE DRAIN STRIP AGAINST THE SOIL FACE AT THE APPROXIMATE LOCATIONS AS SHOWN. DRAIN STRIPS WILL BE CONTINUOUS AND ANY SPLICES SHALL BE MADE WITH A 1' MINIMUM OVERLAP. DRAIN STRIPS SHALL EXTEND BEYOND THE FACE OF THE SHOTCRETE AT THE DOWNHILL FACE. DRAIN STRIP DIMENSIONS AND SPACING SHOWN ON THE PROFILE VIEW.

**REINFORCING STEEL:**

REINFORCING STEEL WILL CONFORM TO THE FOLLOWING.

- WELDED WIRE MESH "WWM":
  - 4X4 - W4.0 X W4.0 OR LARGER GAUGE, GR 60
  - SPICE LAP: 2 SQUARES (ACI 318)
  - SEPARATION 2" BETWEEN SOIL AND BACK OF MESH
- WALERS:
  - NO. 4, GRADE 60
  - SPICE LAP: 18" (ACI 318).
  - 36" VERTICAL WALERS, CONTINUOUS HORIZONTAL WALER
  - SECURE WALERS TO WWM WITH STEEL TIRE WIRE

**ANCHOR HEAD ELEMENTS:**

- SOIL NAIL HEAD ELEMENTS AND ONE-SIDED ANCHORS CONSIST OF 8" X 8" X 3/8", GRADE A36, STEEL PLATES ATTACHED WITH HEX NUT.
- MICROPILE HEAD ELEMENTS CONSIST OF 6" X 6" X 1 1/2", GRADE A36, STEEL PLATES ATTACHED WITH A HEX NUT ON TOP AND BOTTOM.
- SUPERNAIL® BAR EXTENDING BEYOND THE HEX NUTS WILL BE TRIMMED USING A GAS POWERED DEMOLITION SAW OR ELECTRICAL BAND SAW.

**SHOTCRETE APPLICATION:**

THE WET-MIX PROCESS CONSISTS OF THOROUGHLY MIXING ALL THE INGREDIENTS, INTRODUCING THE MIXTURE INTO THE DELIVERY EQUIPMENT AND DELIVERING IT, BY POSITIVE DISPLACEMENT, TO THE NOZZLE. AIR JET THE WET-MIX SHOTCRETE FROM THE NOZZLE AT HIGH VELOCITY ONTO THE SURFACE.

SHOTCRETE WILL BE PLACED FROM THE LOWER PART OF THE AREA UPWARDS TO PREVENT ACCUMULATION OF REBOUND. THE NOZZLE WILL BE ORIENTED A PROPER DISTANCE FROM AND APPROXIMATELY PERPENDICULAR TO THE WORKING FACE SO THAT REBOUND WILL BE MINIMAL AND COMPACTION WILL BE MAXIMIZED. CARE WILL BE TAKEN THAT SHOTCRETE PROPERLY ENCASES THE REINFORCEMENT AND PREVENT Voids OR POCKETS FROM FORMING.

**SHOTCRETE MIX DESIGN:**

DESIGN 28 DAY COMPRESSIVE STRENGTH: 4000 PSI  
TARGET RANGE WATER TO CEMENT RATIO: 0.4 TO 0.5  
SLUMP: 3 TO 4 INCHES

TYPICAL SHOTCRETE MIX DESIGN (PER YD <sup>3</sup> )		
MATERIAL	WEIGHT (LBS.)	VOLUME (FT <sup>3</sup> )
AGGREGATE NO. 1	3 1/8" PEA	650
AGGREGATE NO. 2	CONCRETE SAND	1800
AIR	6% TOTAL	--
WATER	--	360
FLY ASH	TYPE F	150
CEMENT	TYPE I/II	750
TOTAL	--	3710
		27.0

SHOTCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ACI 506.2, "SPECIFICATIONS FOR MATERIALS, PROPORTIONING AND APPLICATION OF SHOTCRETE", EXCEPT AS OTHERWISE SPECIFIED. SHOTCRETING CONSISTS OF APPLYING ONE OR MORE LAYERS OF CONCRETE CONVEYED THROUGH A HOSE PNEUMATICALLY PROJECTED AT A HIGH VELOCITY AGAINST A PREPARED SURFACE.

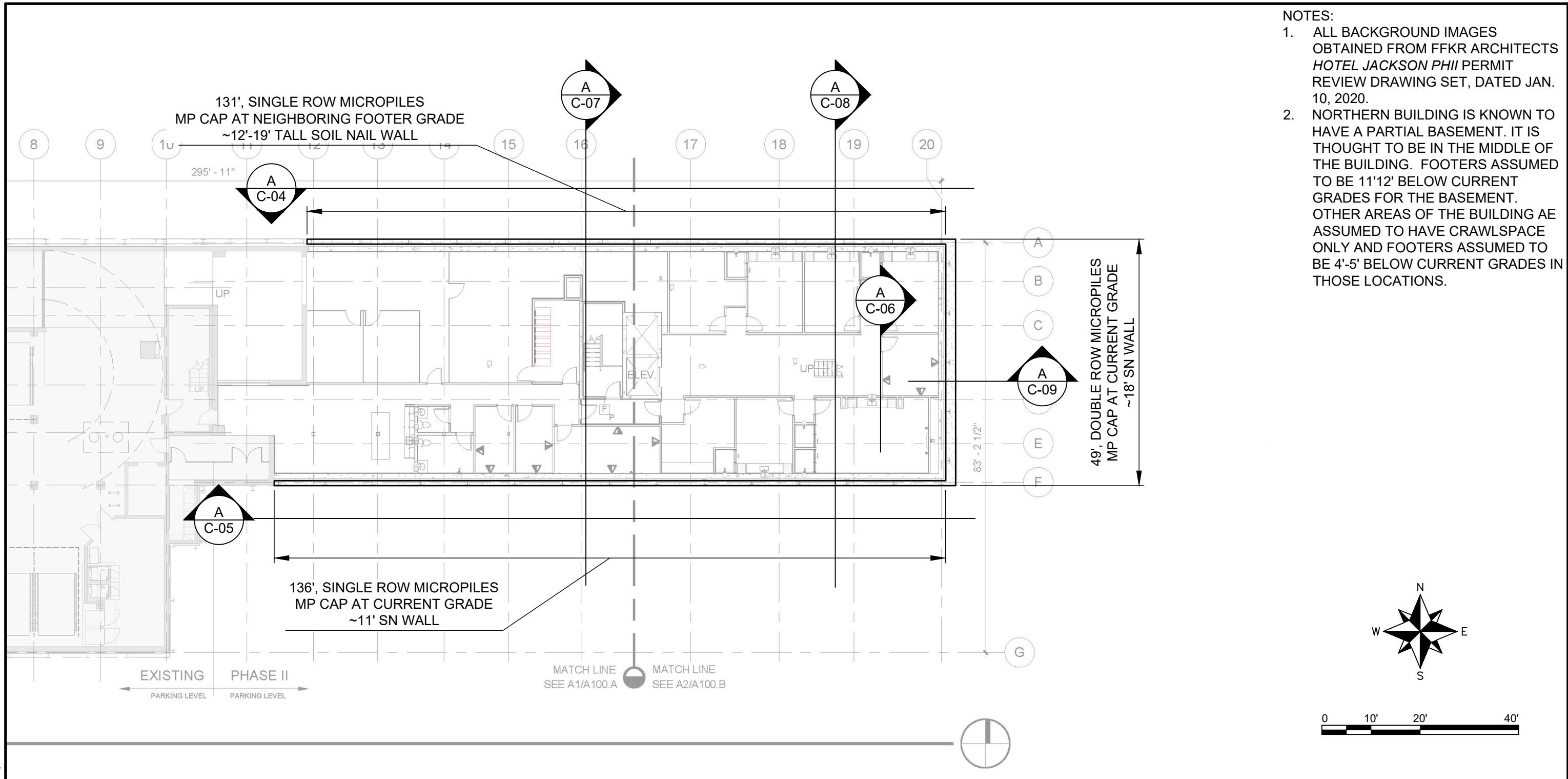
**SHEET REVISIONS**

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**GENERAL NOTES**



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**SHEET REVISIONS**

DATE	DESCRIPTION	NO
04/02/2020	ISSUED FOR REVIEW	IFR 1
08/05/2020	UPDATED PER RFI RESPONSE	IFR 2
11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SITE PLAN**

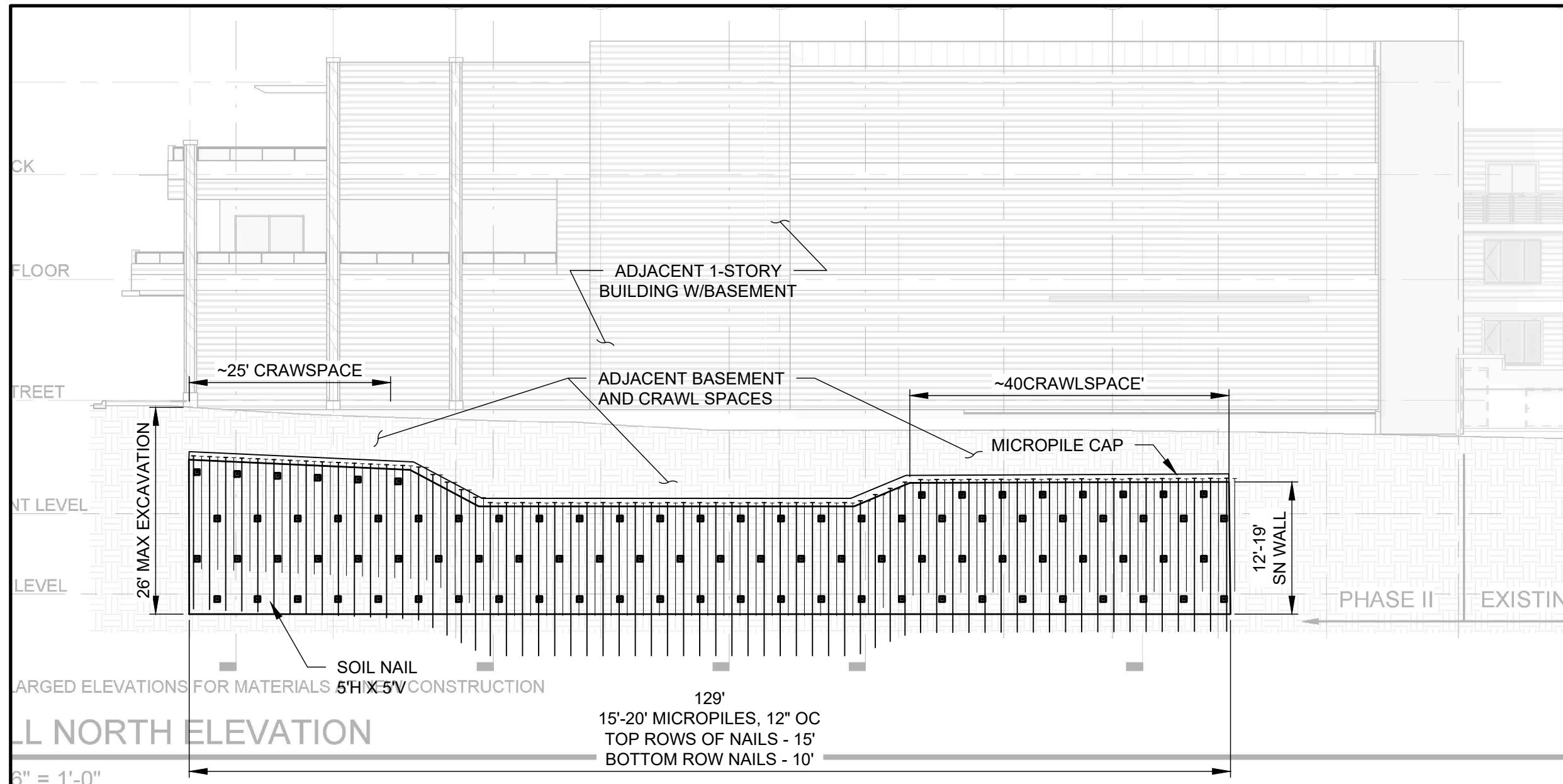
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**A PROFILE VIEW - NORTH**  
SCALE: 1" = 15'

**PROJECT NAME**

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *PROFILE VIEW - NORTH*

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DATE:

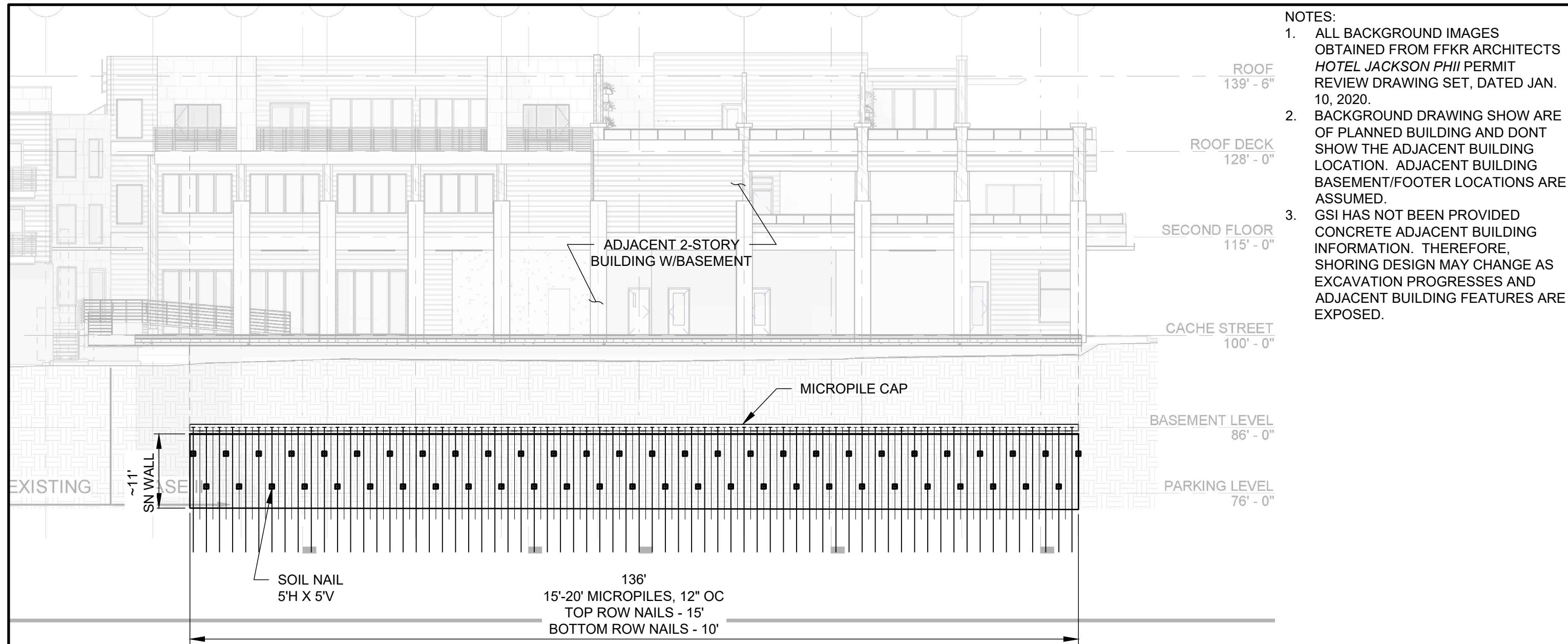
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**A PROFILE VIEW - SOUTH**  
SCALE: 1" = 15'

PROJECT NAME

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *PROFILE VIEW - SOUTH*

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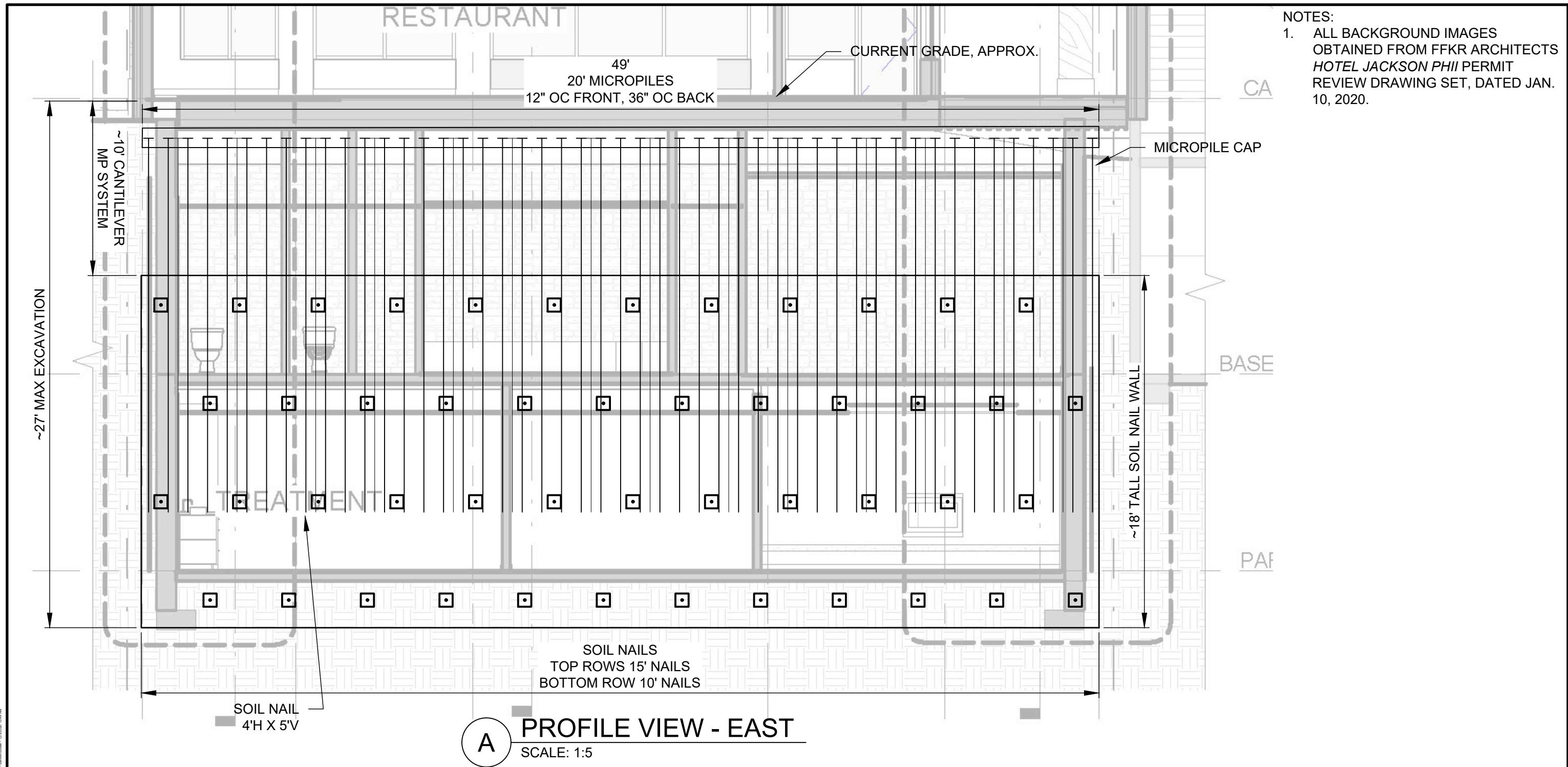
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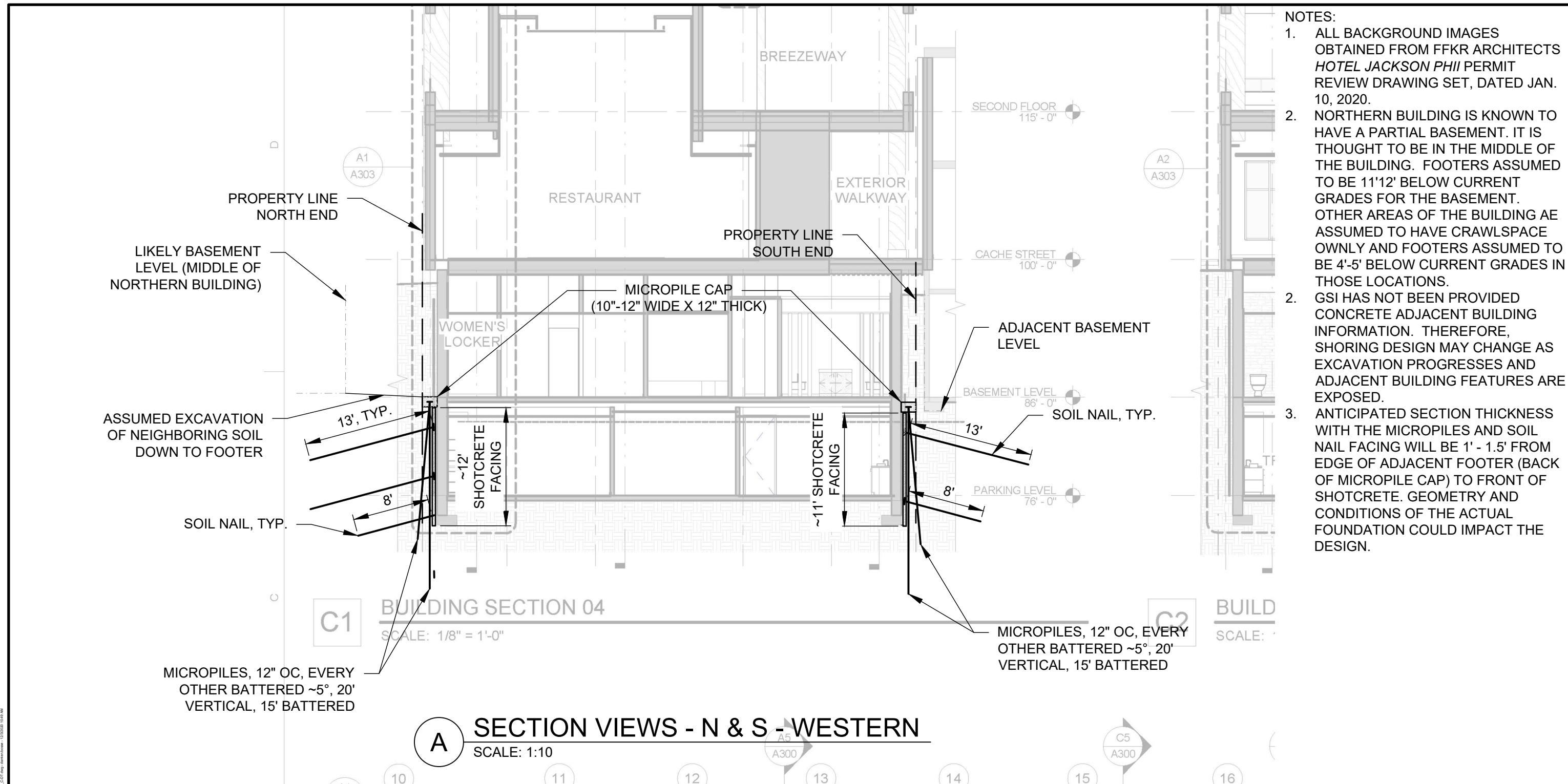
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SHEET REVISIONS			PROJECT NAME:		
DATE	DESCRIPTION	NO	HOTEL JACKSON - PHASE 2		
04/02/2020	ISSUED FOR REVIEW	IFR 1			
08/05/2020	UPDATED PER RFI RESPONSE	IFR 2			
11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3			
SHEET TITLE:					
PROFILE VIEW - EAST					
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NFD	DEB	11/20/20	200---WY01	C-06	

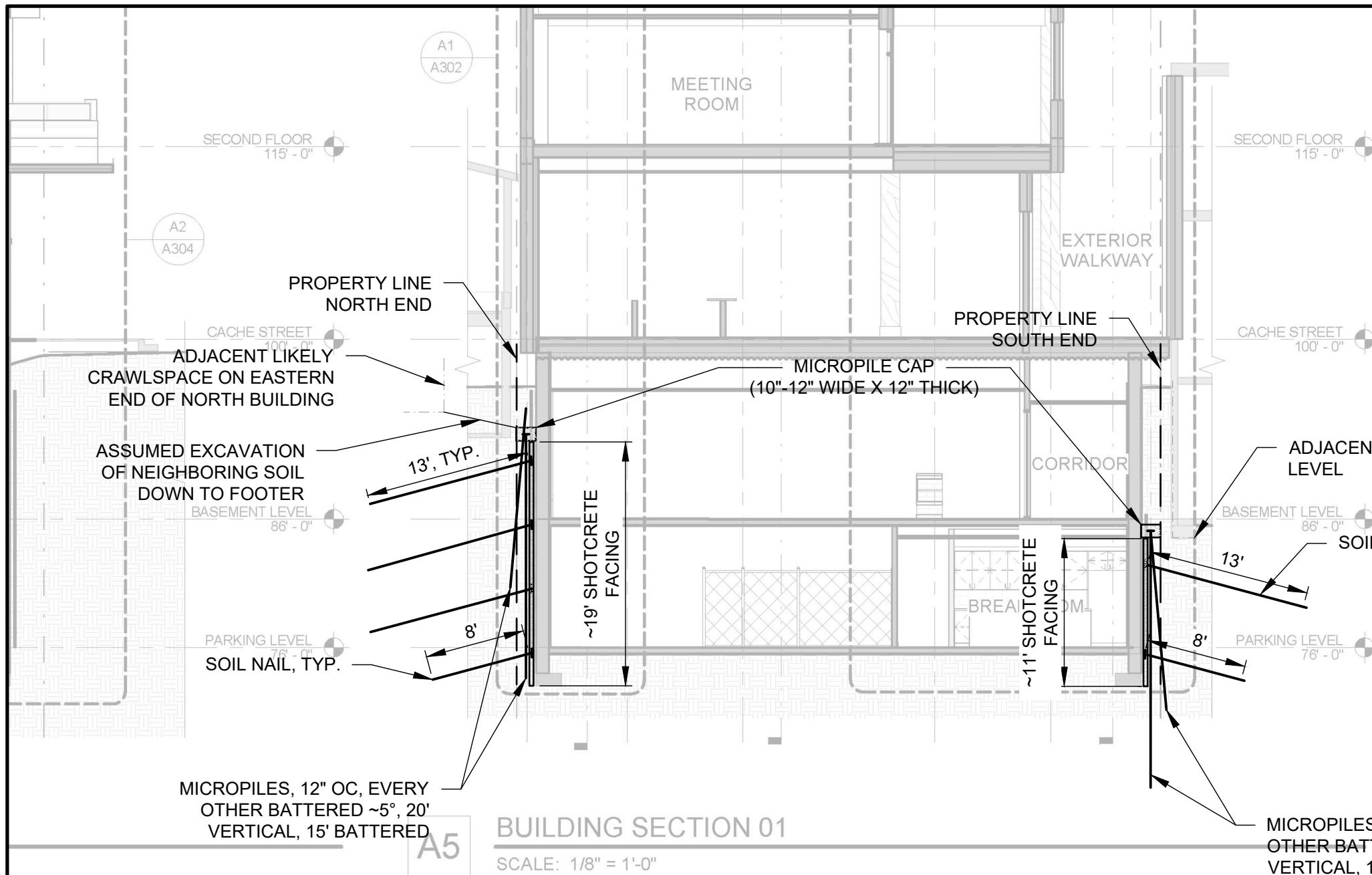


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SHEET REVISIONS		PROJECT NAME:		SHEET TITLE:		GSI		ISSUED FOR REVIEW	
DATE	DESCRIPTION	NO	HOTEL JACKSON - PHASE 2		GeoStabilization International®				
04/02/2020	ISSUED FOR REVIEW	IFR 1							
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		NFD	DEB	11/20/20	200---WY01	C-07			



**SECTION VIEWS - N & S - EASTERN**

SCALE: 1:10

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SECTION VIEWS - N & S (CONT.)**

**SHEET REVISIONS**

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11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

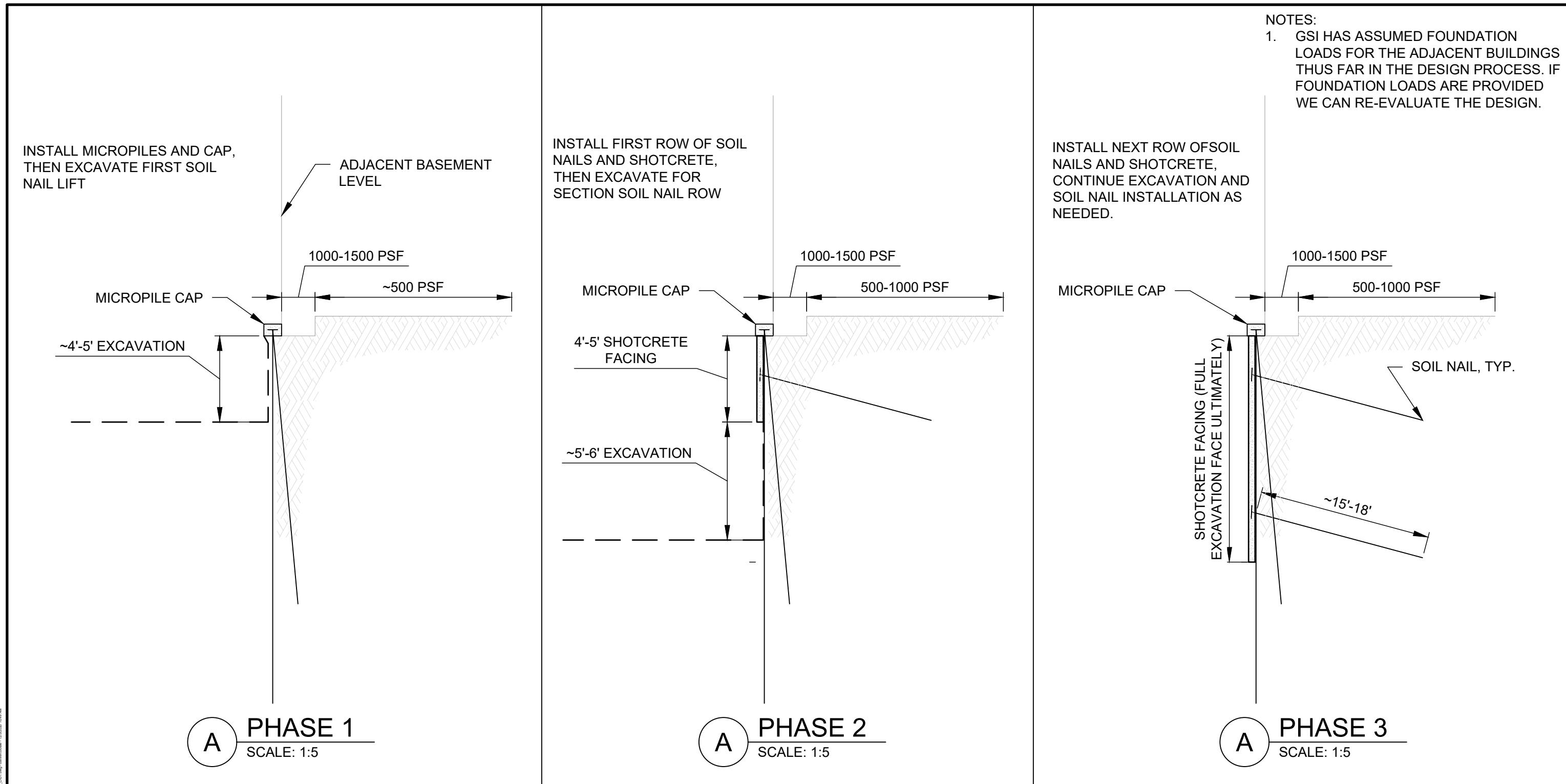
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**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SECTION VIEWS - N & S - SHORING PHASES**

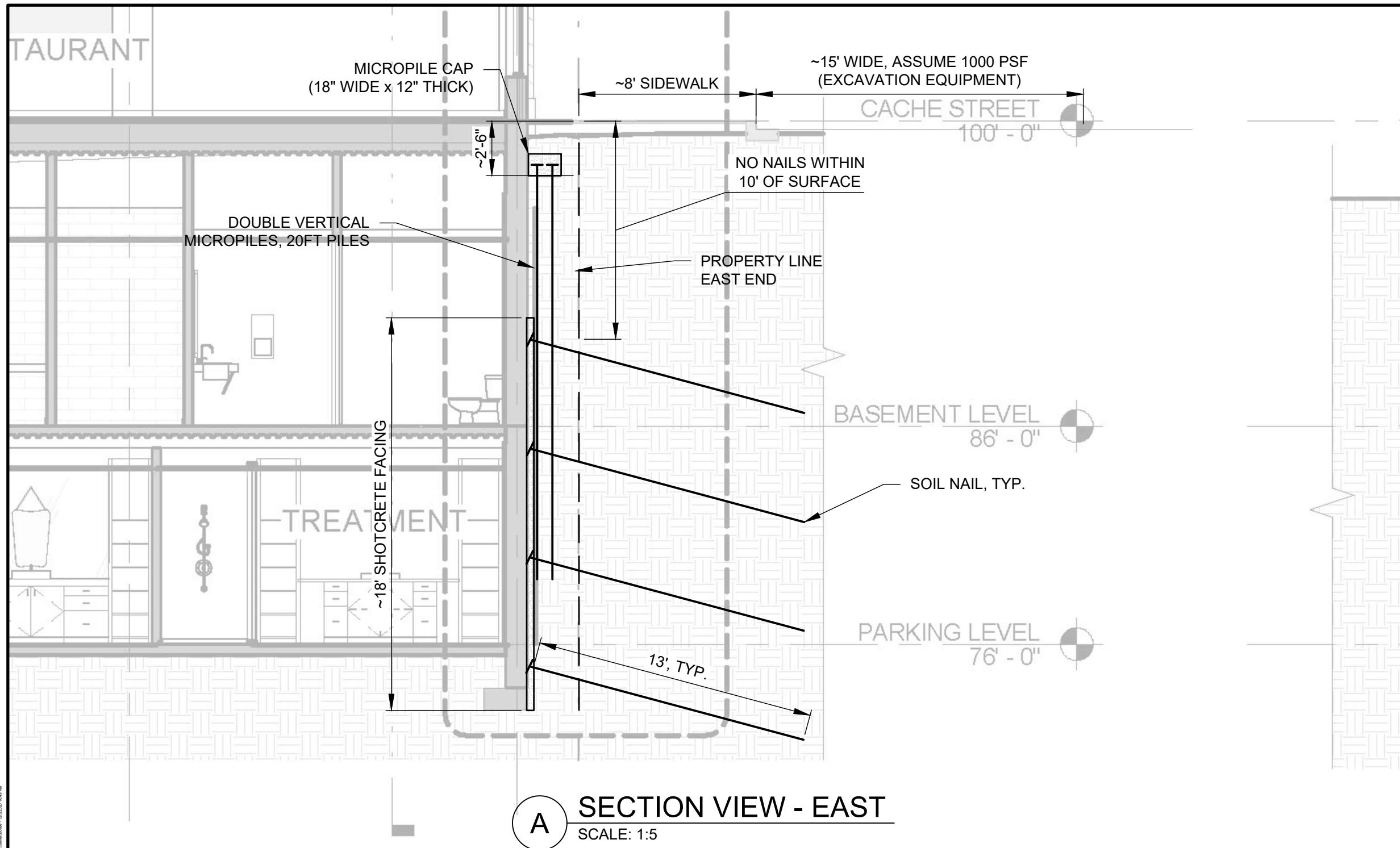
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### PROJECT NAME

## *HOTEL JACKSON - PHASE 2*

## SHEET TITLE

### *SECTION VIEW - EAST*

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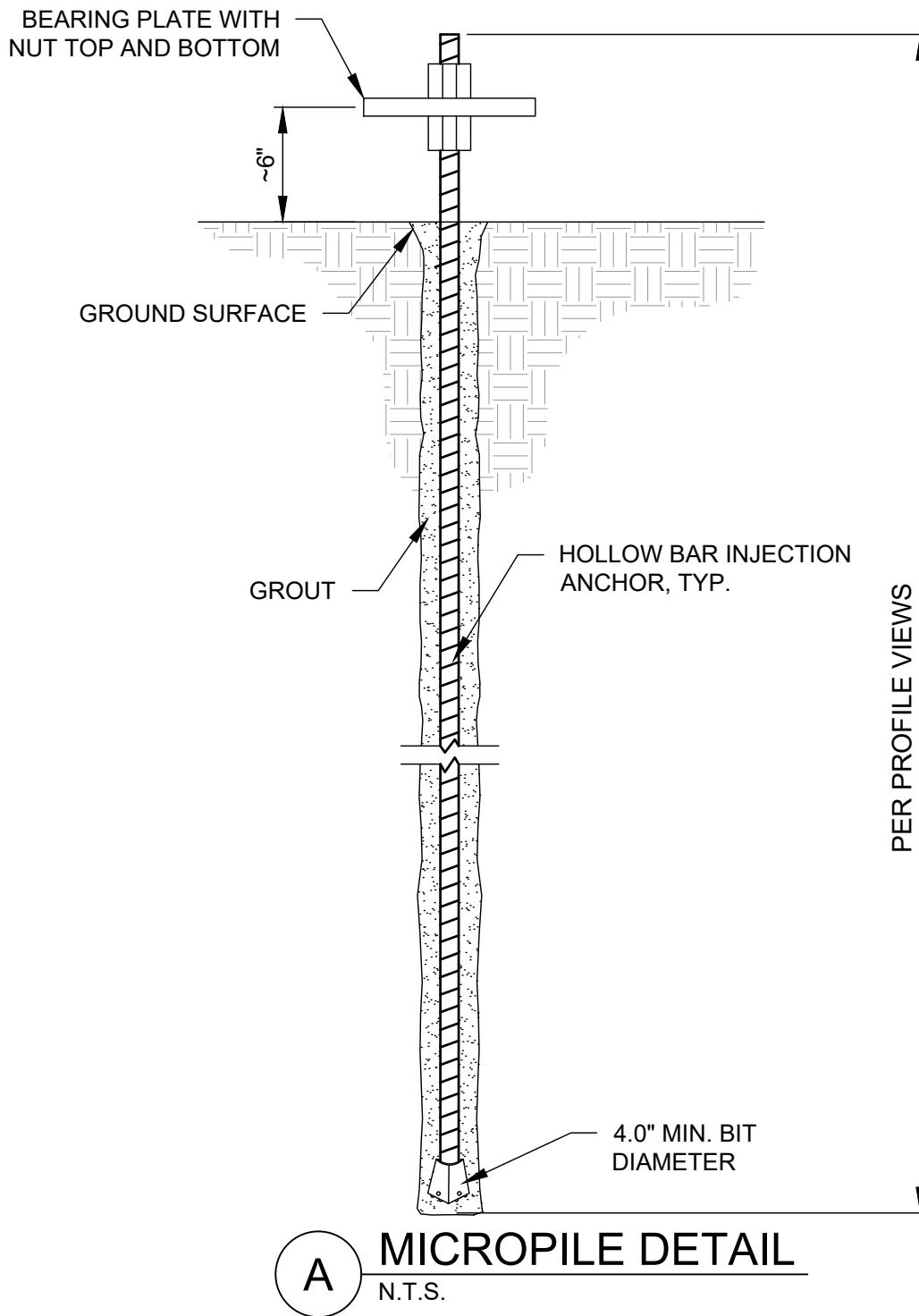
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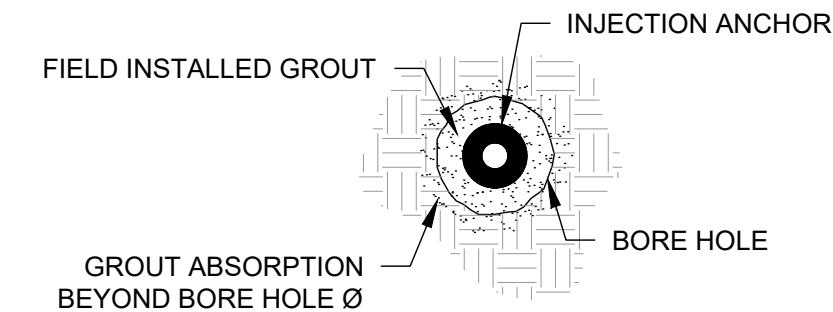
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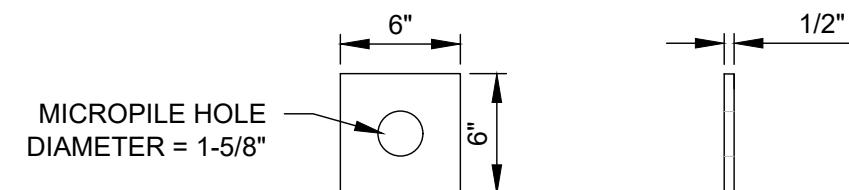


**A** MICROPILE DETAIL  
N.T.S.

PEB PROFILE VIEWS



## **B** MICROPILE SECTION N.T.S.



# C MICROPILE BEARING PLATE

PROJECT NAME

*HOTEL JACKSON - PHASE 2*

SHEET TITLE

# *MICROPILE ANCHOR DETAILS*

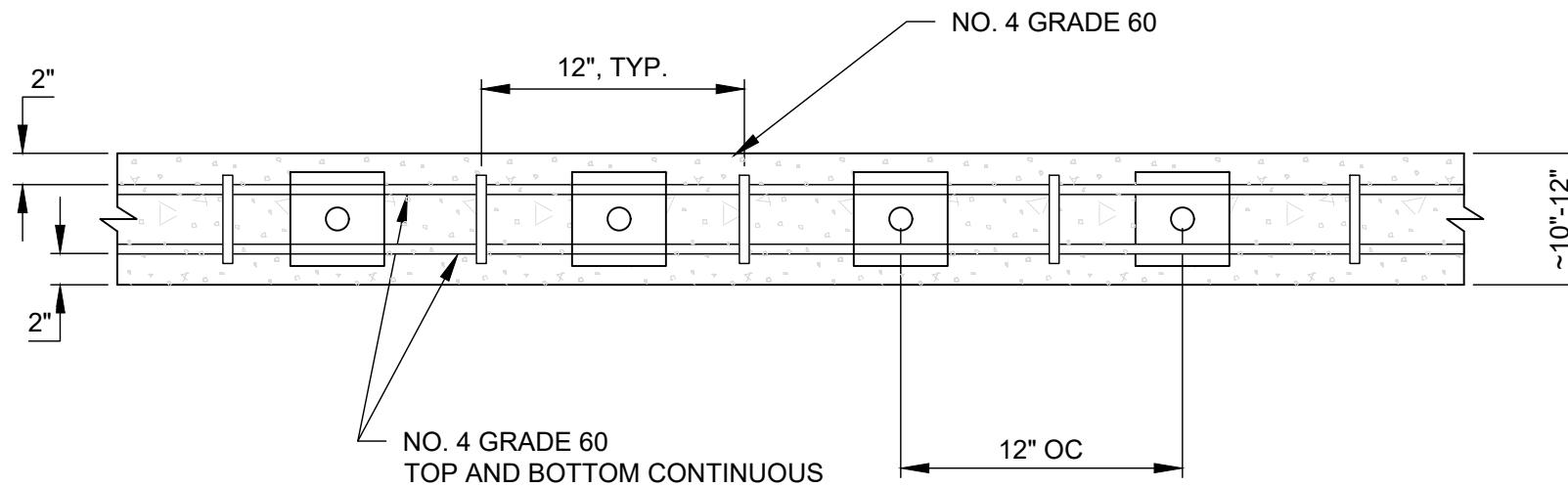
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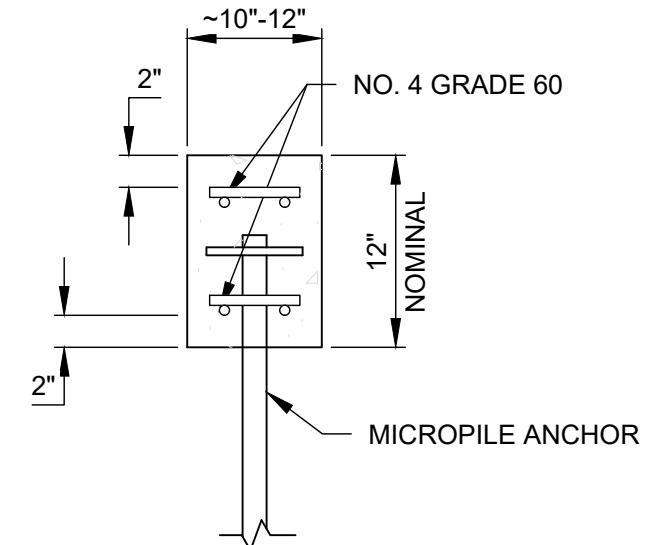
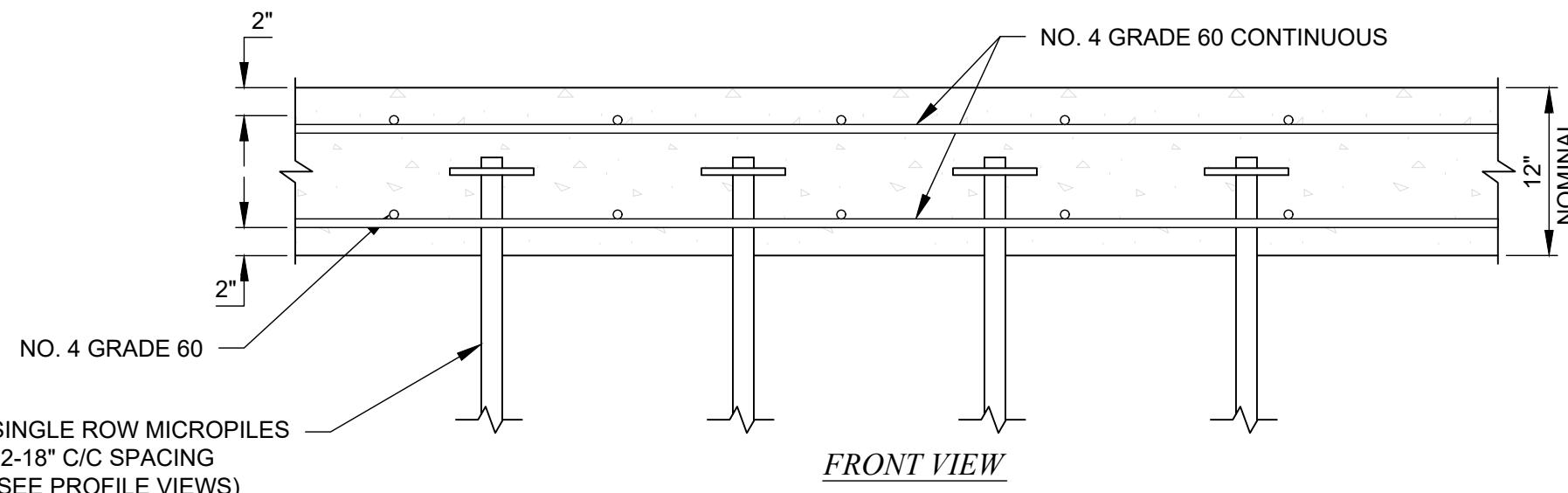


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TOP VIEW



SIDE VIEW

**A** SINGLE ROW MP DETAIL  
N.T.S.

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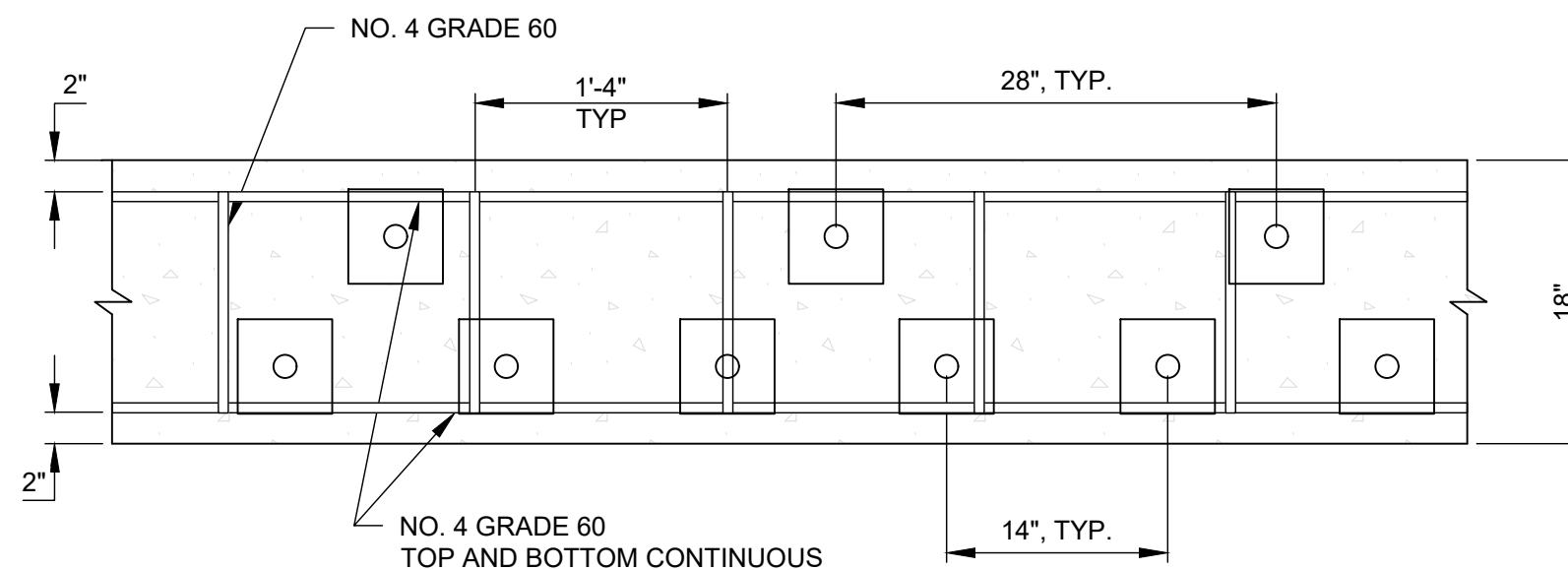
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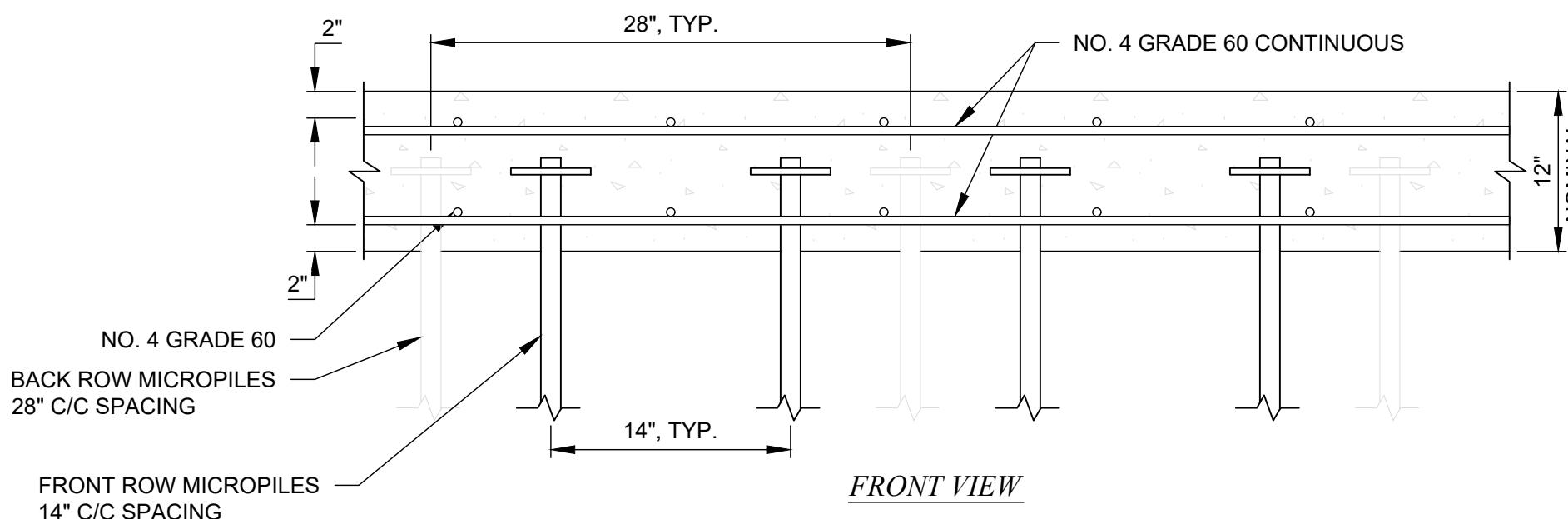
SHEET TITLE:

**SINGLE ROW MICROPILE DETAILS**

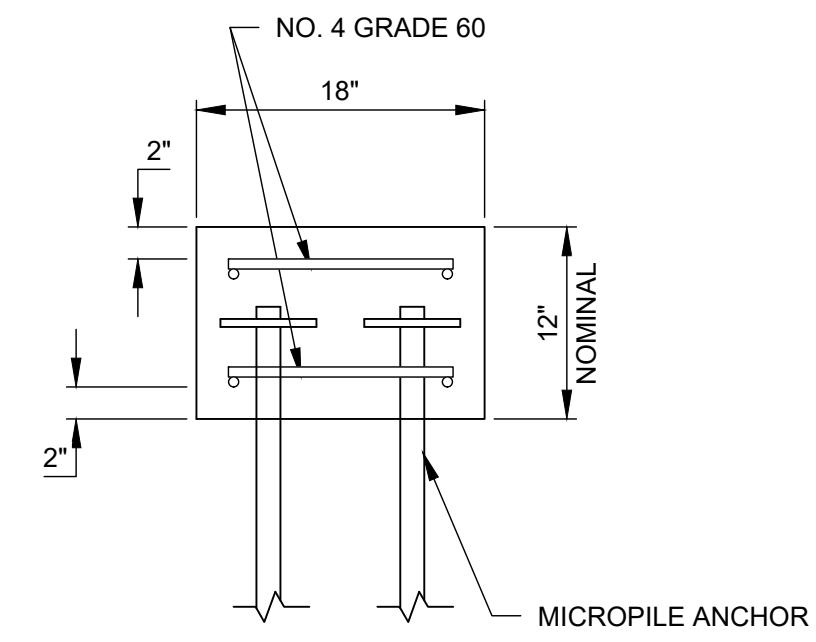




TOP VIEW



FRONT VIEW



SIDE VIEW

**A** DOUBLE ROW MP DETAIL  
N.T.S.

**SHEET REVISIONS**

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PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**DOUBLE ROW MICROPILE DETAILS**

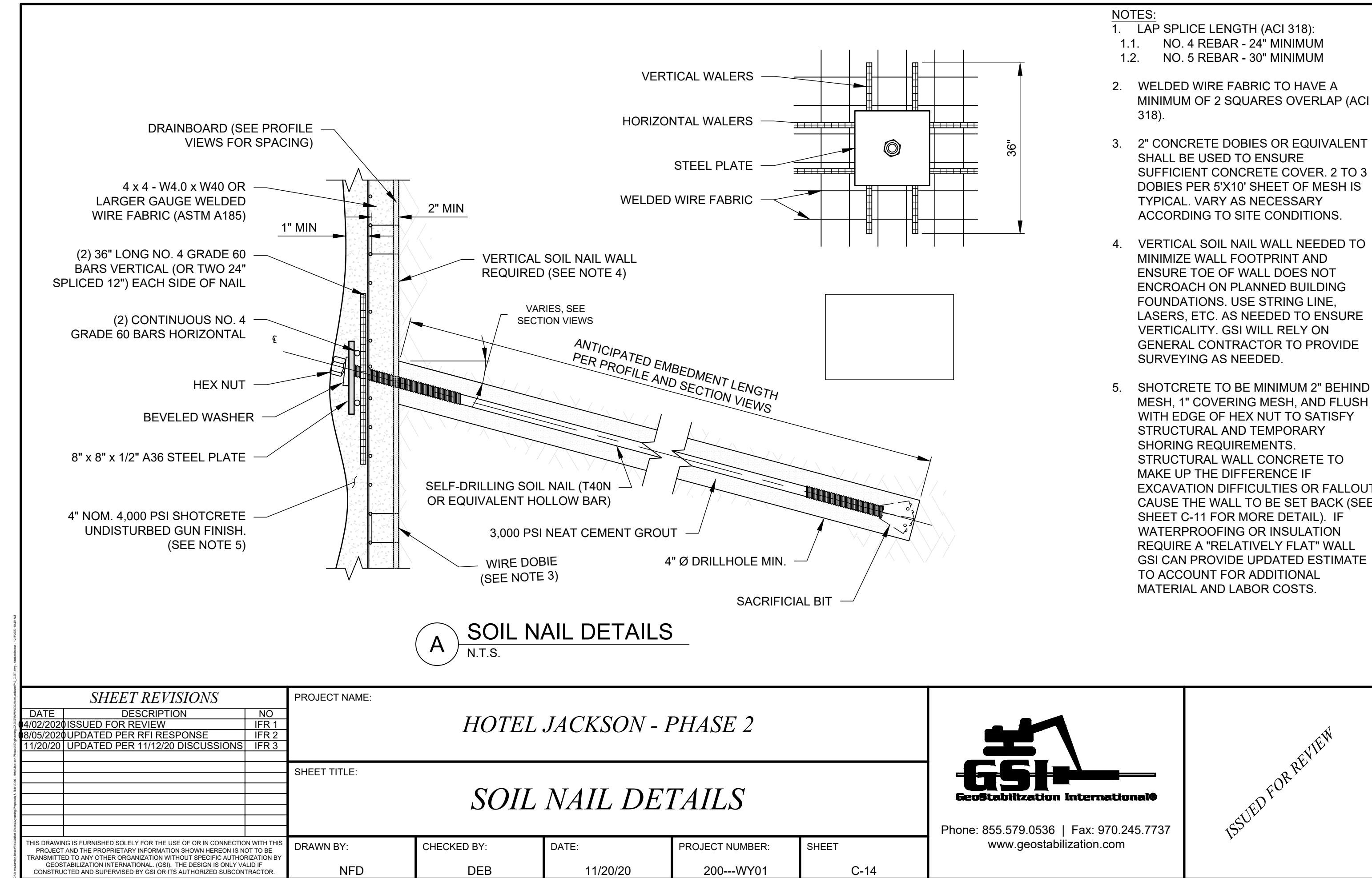
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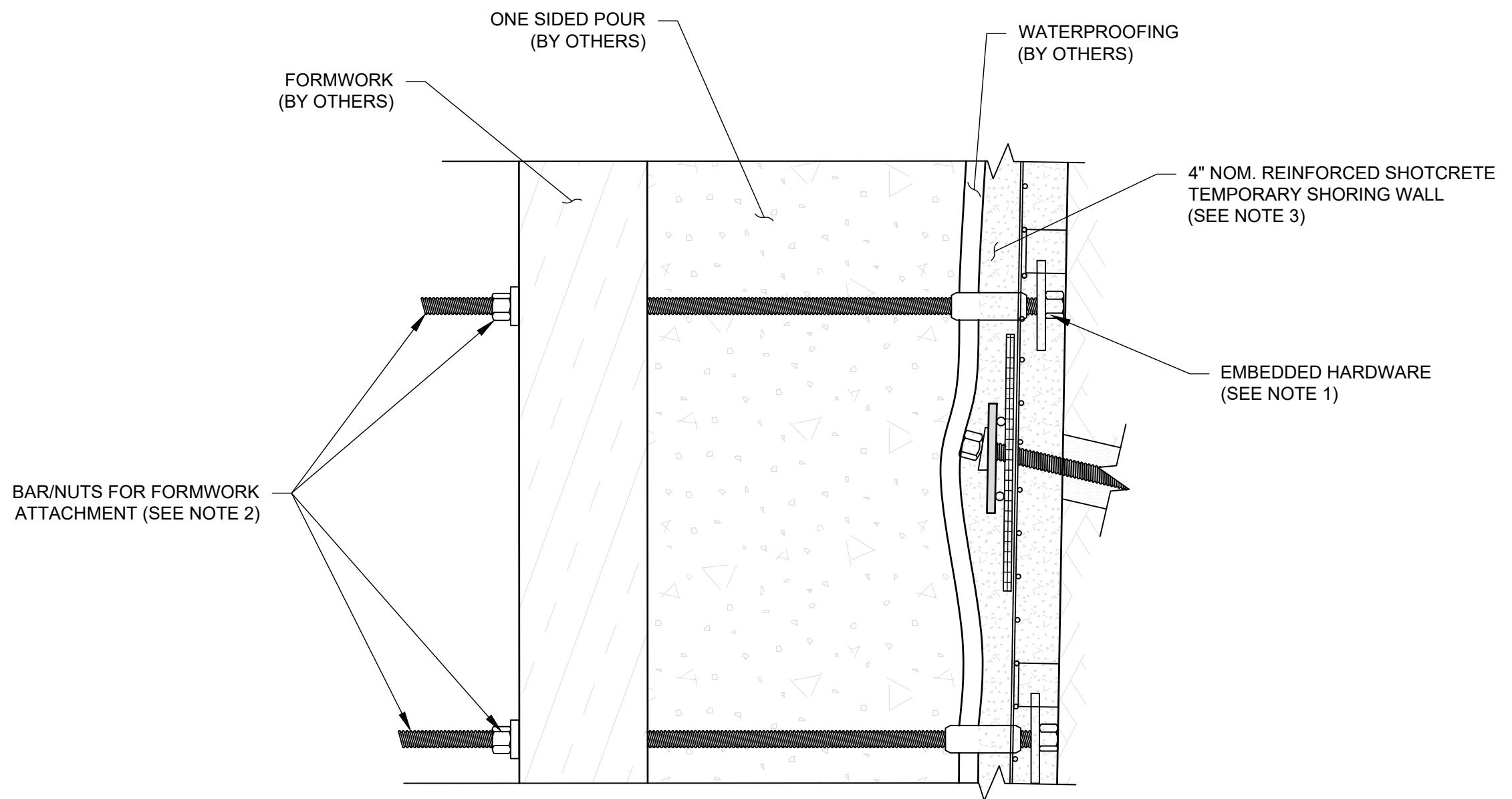
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**NOTES:**

1. EMBEDDED HARDWARE TO INCLUDE 6X6 PLATES, HEX NUT, SHORT NO. 6 BAR SECTION, AND COUPLER. COUPLER TO STICK OUT PAST ROUGH GUN FINISH SHOTCRETE FACE. TAPE OVER EXPOSED COUPLER END PRIOR TO PLACING SHOTCRETE.
2. BAR AND NUTS WILL BE PROVIDED BY GSI BUT WILL BE INSTALLED BY OTHERS DURING FORMWORK INSTALLATION.
3. SHOTCRETE TO BE MINIMUM NEEDED TO HAVE MINIMUM 2" BEHIND MESH, 1" COVERING MESH, AND FLUSH WITH EDGE OF HEX NUT. STRUCTURAL WALL CONCRETE TO MAKE UP THE DIFFERENCE IF EXCAVATION DIFFICULTIES OR FALLOUT CAUSE THE WALL TO BE SET BACK. IF WATERPROOFING OR INSULATION REQUIRE A "RELATIVELY FLAT" WALL GSI CAN PROVIDE UPDATED ESTIMATE TO ACCOUNT FOR ADDITIONAL MATERIAL AND LABOR COSTS.

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11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**ONE-SIDED FORMING DETAILS**

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## Construction Management Plan

for

### Hotel Jackson Phase 2

135 N. Cache

Town of Jackson

#### Narrative Scope of Project

- Construction of the 2<sup>nd</sup> Phase of Hotel Jackson, from street frontage at 135 N. Cache Street to connect to existing Hotel Jackson at 120 N. Glenwood

#### Proposed Schedule

- Proposed Schedule would begin demolition during Winter of 2020/2021, excavation through Winter into Spring of 2021, Structure complete by Fall of 2021, interior work through the Winter of 2021/2022 and Certificate of Occupancy/Turnover by Summer of 2022.

#### Schedule of Construction and Impacts within the Town's Right-Of-Way, Easements, or Land

- Proposed Schedule will require use of the Right of Way to complete the Shoring, Excavation, and Structural Steel Erection phases of the project. Excavation, Shoring, Concrete and Steel Erection is expected to take 8 Months, during which we will close down the sidewalk to pedestrian traffic and eliminate the 2 parking spaces on Cache Street to allow for removal of material and material deliveries.
- Upon completion of structural frame and building envelope work, the remainder of the project can be completed with intermittent use of the Right of Way which will be scheduled on an as-needed basis.

#### PUBLIC IMPACT

- Owner/Applicant will coordinate with the Town to identify the properties and businesses most impacted by the construction. Please see attached distribution list for local businesses.
- The owner and contractor are aware that the right-of-way is a shared use area, including community special events, Town capital improvement projects, that they will coordinate with the Town to accommodate these events.

#### CONSTRUCTION PARKING

- Worker parking will not encumber downtown street parking. Owner has access to private parking garage and private lots adjacent to the project site for construction worker parking. Labor will not park in time restricted parking zones, Home Ranch, East Deloney, Miller Park or the public parking garage. Crews will be encouraged to carpool due to the limited parking in the area.

#### SITE LOGISTICS

- Anticipated work hours will be within the hours of 7AM-7PM Monday thru Friday. Weekends/Holidays work hours 8AM-5PM as needed to maintain projected schedule.
- Construction Office is located at 35 West Deloney, above Gaslight Alley.

- All temporary facilities, IE Trash Dumpsters, Temporary Bathrooms will be located within the site and relocated as needed to facilitate work.
- Please see attached diagrams for location of construction Fencing
- Please see attached diagrams for use of public Right-of-Way and road use during phased construction.

#### **STORMWATER MANAGEMENT**

- This project spans from lot line to lot line, and all stormwater calculations have been included as part of the building permit plan-set.
- During the excavation phase precautions will be taken to ensure runoff in the right of way remains free of construction debris – I.E. straw wattles within the gutter draining away from the project site, workers available to sweep/clean any stray dirt/debris.

#### **SITE PLAN**

- Please see attached site plan diagrams for the staged construction process.

#### **CRANE**

- Please see attached site plan and crane specification sheet for crane locations, respective range, and overall height.
- Locations for delivery and picking of material shown on attached site plan.
- Material picks are not allowed adjacent to areas open to the public unless they are within a fenced construction zone.
- Cranes will be operated by a certified operator and follow industry and OSHA standards.

#### **PROTECTION OF PEDESTRIANS**

- Public safety and pedestrian protection will be addressed in two distinct phases over the course of construction.
- Phase 1 will eliminate the Cache Street sidewalk and parking lane in front of the subject property. These parking spaces will be utilized as a dump truck loading area as well as a steel/concrete delivery area.
- Upon completion of steel erection and building envelope, the Cache Street parking spaces will be returned to the Right-of-Way, and a sidewalk shed will be constructed per TOJ standards to allow pedestrian traffic along the sidewalk on Cache Street. As needed pedestrian traffic will be shut through the sidewalk shed, but this office is confident that after pedestrian traffic is restored disruptions will be very minimal.
- Once the building is nearing completion, the sidewalk shed will be removed and the sidewalk restored per Town of Jackson Standards.

#### **STABILIZED CONSTRUCTION ACCESS**

- Due to the nature of construction, there will be minimal traffic on and off the site once excavation becomes too deep to load trucks on site.
- Excavation trucks will be loaded with material in the public Right-of-Way (Sidewalk/Parking Lane).
- Labor will be on hand to remove any excess material that gets tracked into the Right-of-Way.
- See attached diagrams for illustration of truck traffic during excavation phase of project.



## TRAFFIC CONTROL

- Street traffic will remain as is during construction.
  - o North and Southbound Lanes on Cache Street will remain in place throughout construction
  - o Concrete Barriers will be used to delineate travel lanes and construction site traffic.
  - o Construction Site Traffic will be controlled by flagmen, entering the site off Cache Street from the North and exiting back onto Cache street heading South.
- During the initial demolition/excavation/structure erection phases, pedestrian traffic will be directed to the East side of Cache street for the duration of this work – approximately 8 Months.
- Upon completion of overhead work on Cache Street, the Parking Lane will be returned to the Right-of-Way and a Sidewalk Shed per TOJ details will be constructed. This will remain in place until final site restoration at which time the Sidewalk will be re-built per TOJ Standards.

## SHORING

- Shoring system consists of vertical micropiles the first 16 feet down from existing grade, and horizontal soil nails below that. Easement agreements for the micropiles protruding into adjacent property and public right of way have been filed.
- See attached preliminary temporary shoring plans.

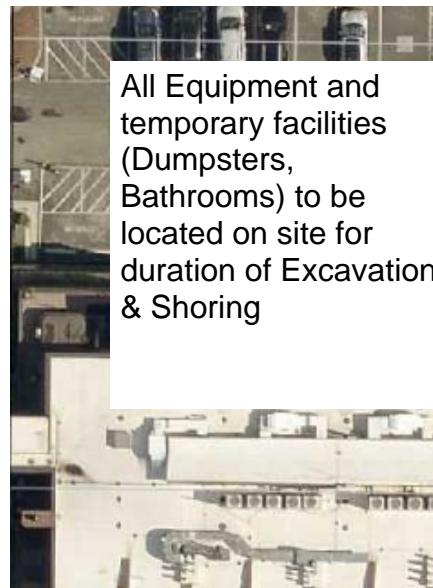
## STAGING

- Off Site Staging will be at property owned by the Hotel Jackson Owner Group at 210 North Glenwood.
- Construction Site Offices located directly south of project site, in offices above Gaslight Alley at 35 West Deloney.
- All staging areas are property of the Hotel Jackson Owner Group or have been granted by adjacent property owners.

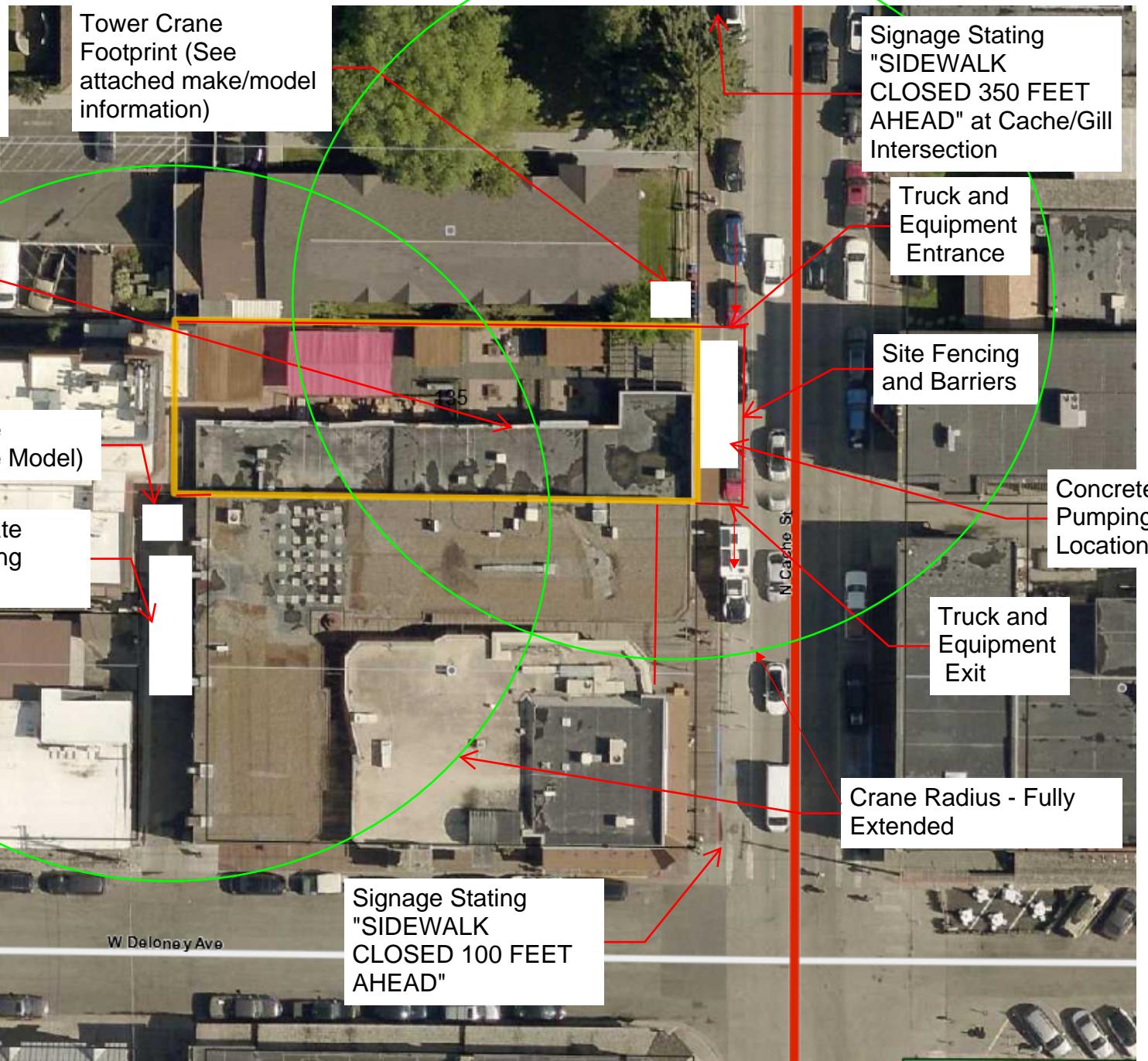
WAPITI CORP  
DEMOLITION PHASE SITE PLAN



WAPITI CORP  
EXCAVATION & SHORING  
PHASE SITE PLAN



WAPITI CORP  
FOUNDATIONS, STEEL  
ERCTION, CONCRETE - SITE  
PLAN



WAPITI CORP  
STRUCTURE ENCLOSED - SIDING  
& INTERIOR WORK - SITE PLAN

Tower Crane  
Footprint (See  
attached make/model  
information)

Structure Enclosed  
during this phase - all  
work to be performed  
within property.

Public ROW use will  
be as-needed and  
permits filed  
accordingly.



WAPITI CORP  
STRUCTURE ENCLOSED  
SITE RESTORATION &  
TURNOVER - SITE PLAN



# TEMPORARY SHORING PLANS

## *HOTEL JACKSON - PHASE 2*

*JACKSON, WYOMING  
WAPITI CORPORATION*



# VICINITY MAP

(NOT TO SCALE)

## *SHEET INDEX*

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	SITE PLAN
C-04	PROFILE VIEW - NORTH
C-05	PROFILE VIEW - SOUTH
C-06	PROFILE VIEW - EAST
C-07	SECTION VIEWS - N & S - WESTERN
C-08	SECTION VIEWS - N & S - EASTERN
C-09	SECTION VIEWS - N & S - SHORING PHASES
C-10	SECTION VIEW - EAST
C-11	MICROPILE ANCHOR DETAILS
C-12	SINGLE ROW MICROPILE DETAILS
C-13	DOUBLE ROW MICROPILE DETAILS
C-14	SOIL NAIL DETAILS
C-15	ONE-SIDED FORMING DETAILS

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**PROJECT NAME**

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *COVER SHEET*

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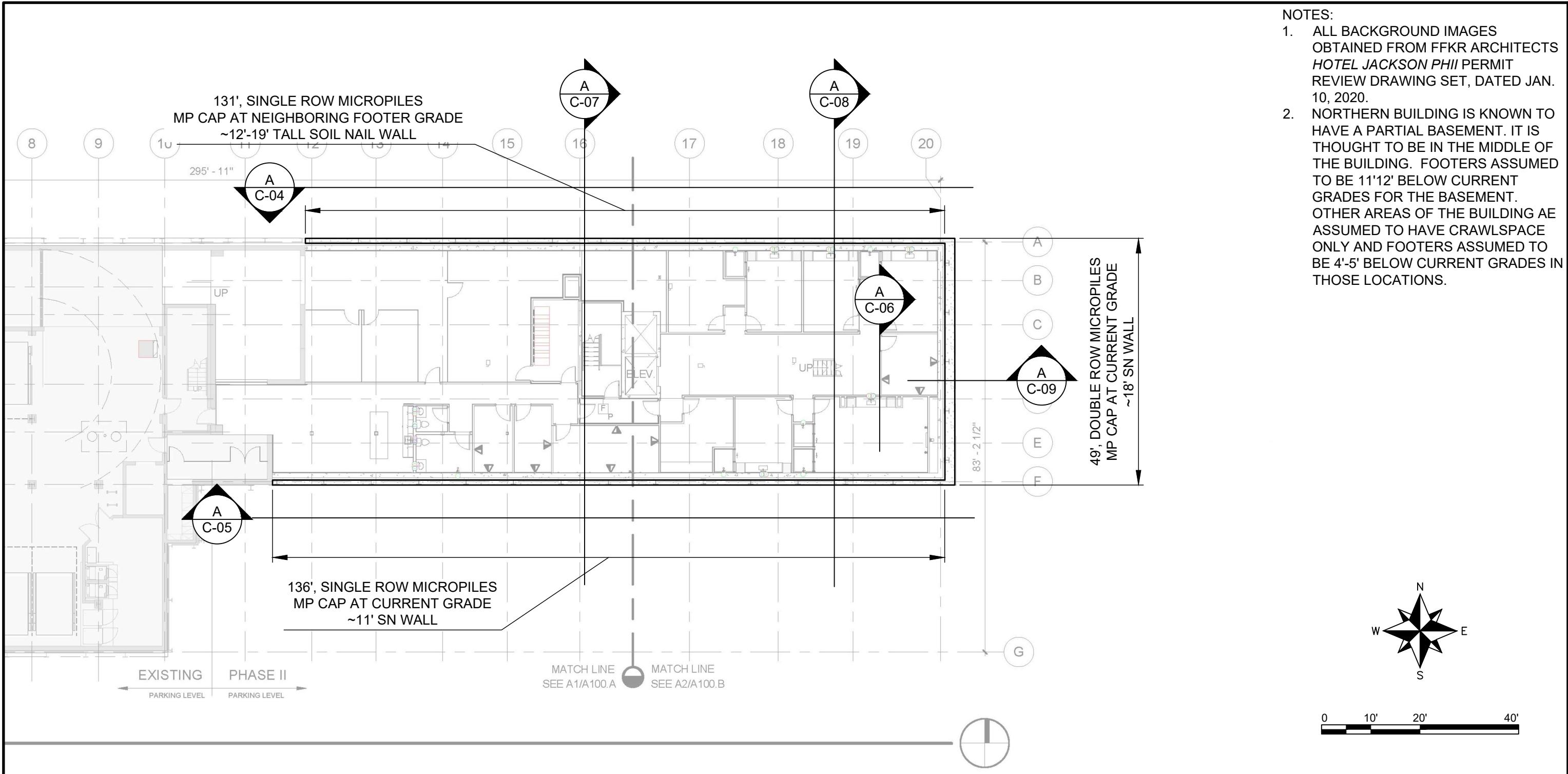
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**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SITE PLAN**

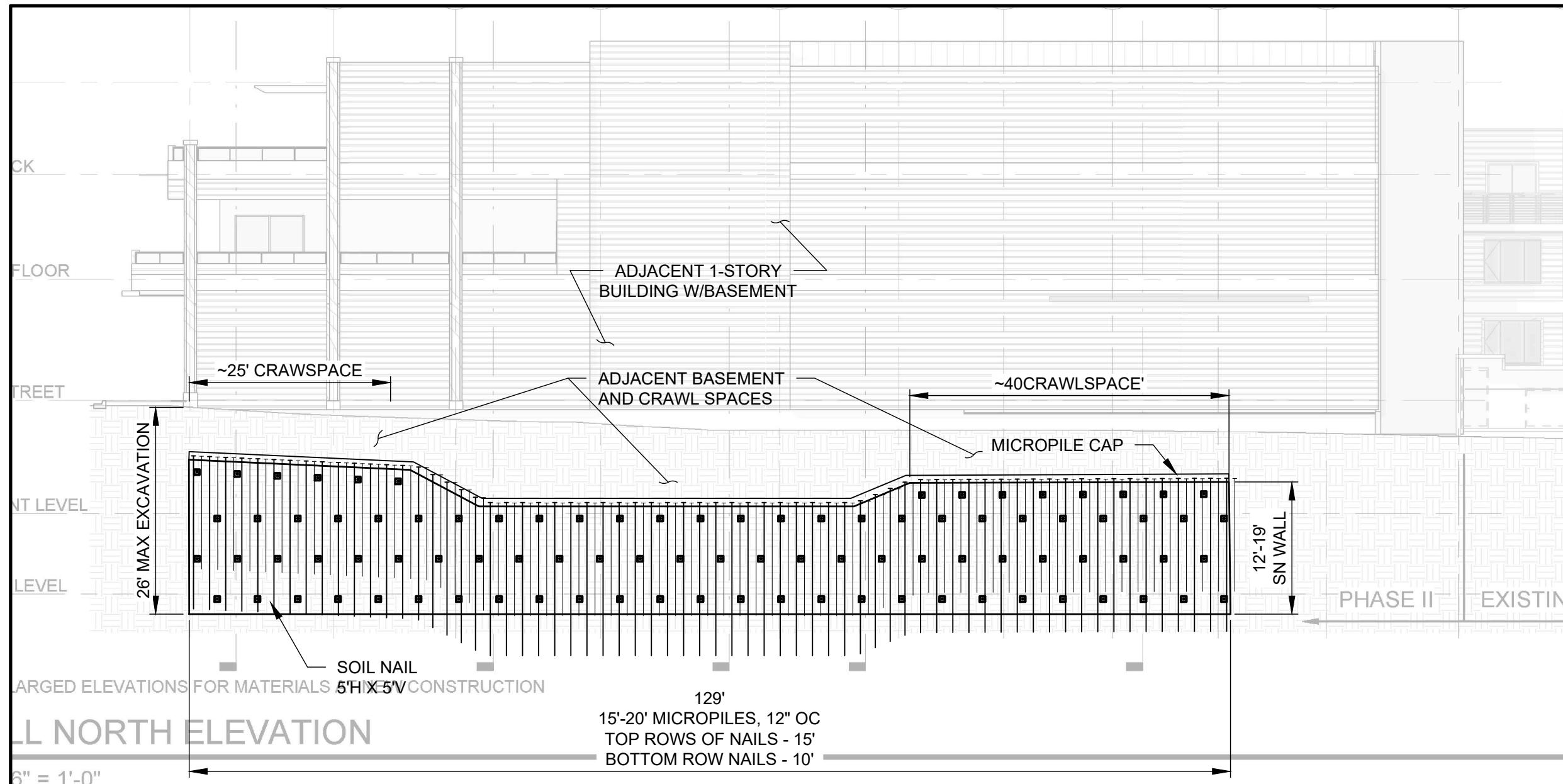
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**A PROFILE VIEW - NORTH**  
SCALE: 1" = 15'

**PROJECT NAME**

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SHEET TITLE

### *PROFILE VIEW - NORTH*

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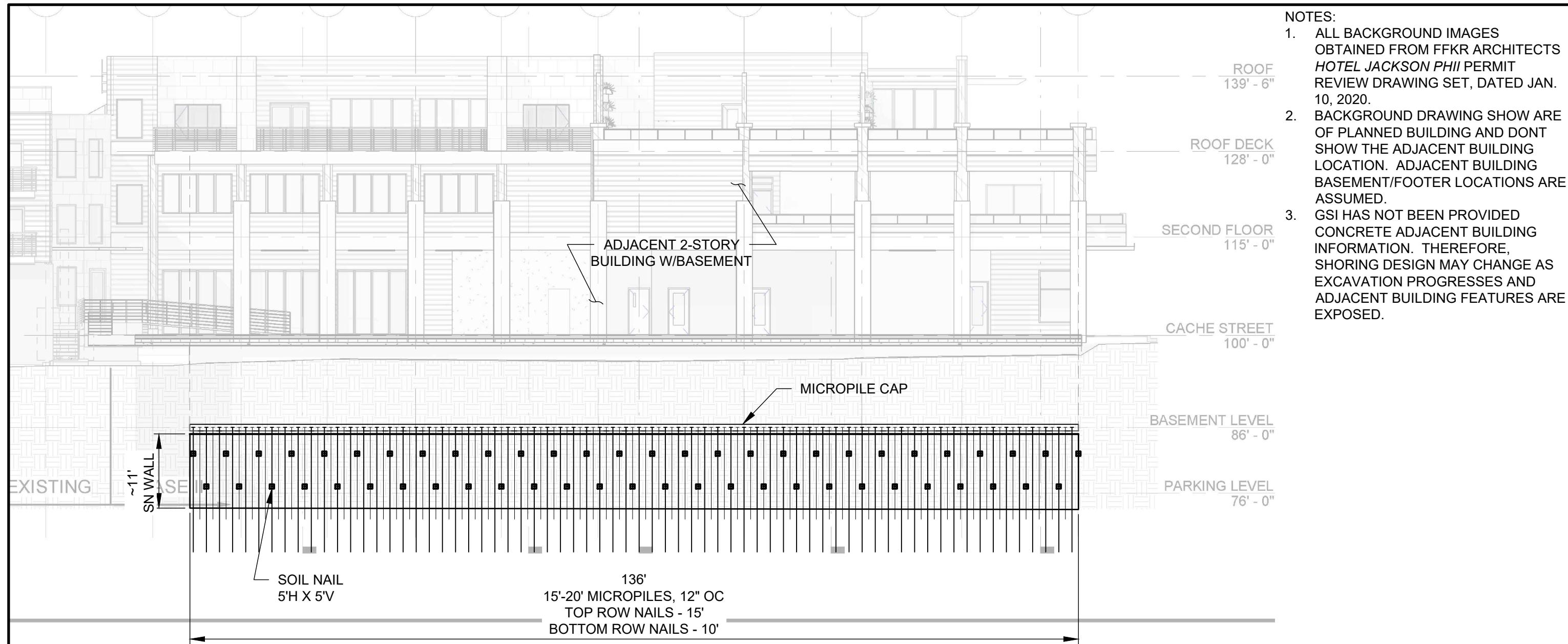
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**A** PROFILE VIEW - SOUTH  
SCALE: 1" = 15'

PROJECT NAME

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

### *PROFILE VIEW - SOUTH*

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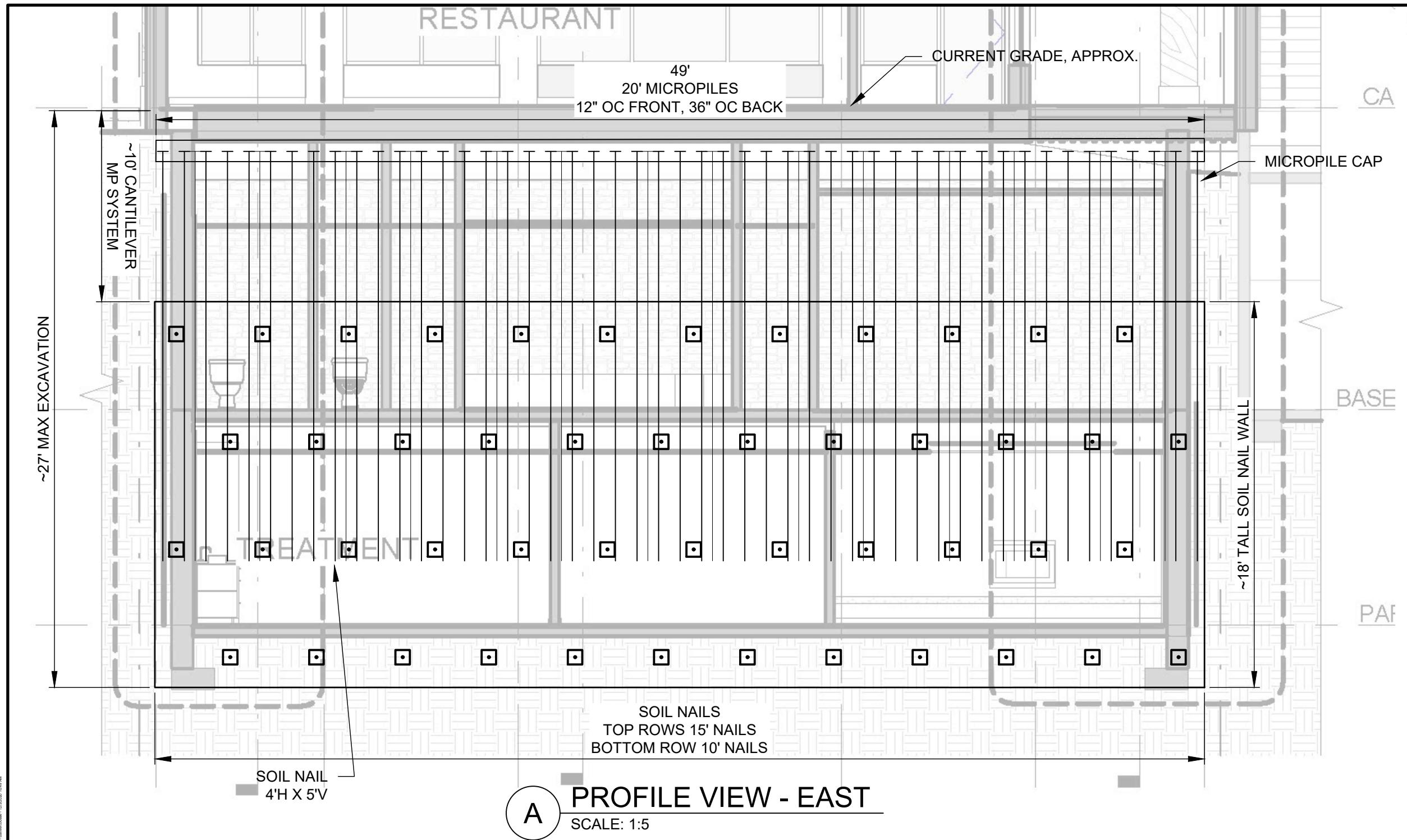
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**A PROFILE VIEW - EAST**  
SCALE: 1:5

## *HOTEL JACKSON - PHASE 2*

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SHEET TITLE

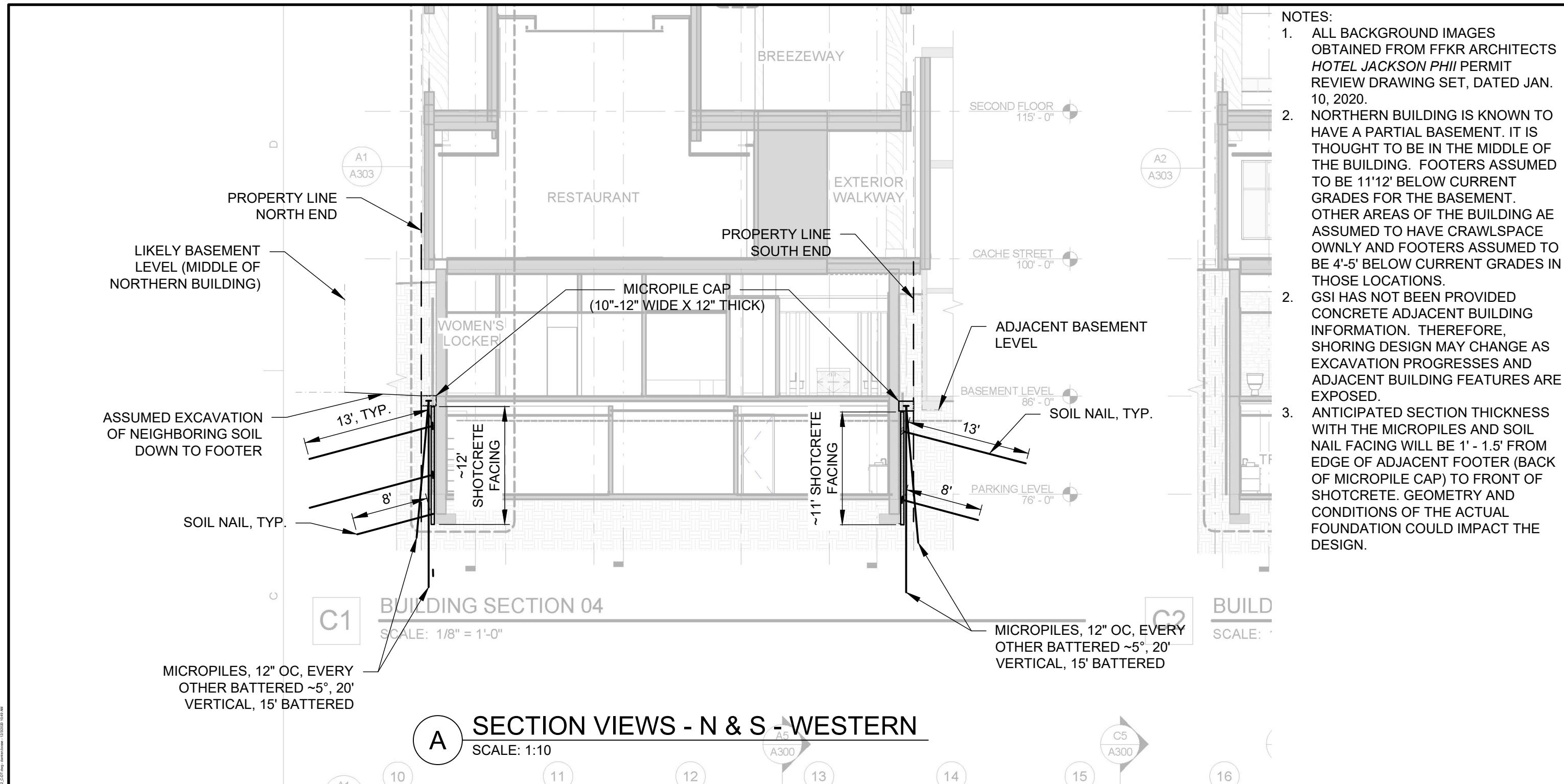
### *PROFILE VIEW - EAST*



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PROJECT NAME: *HOTEL JACKSON - PHASE 2*

SHEET TITLE: *SECTION VIEWS - N & S*  Phone:

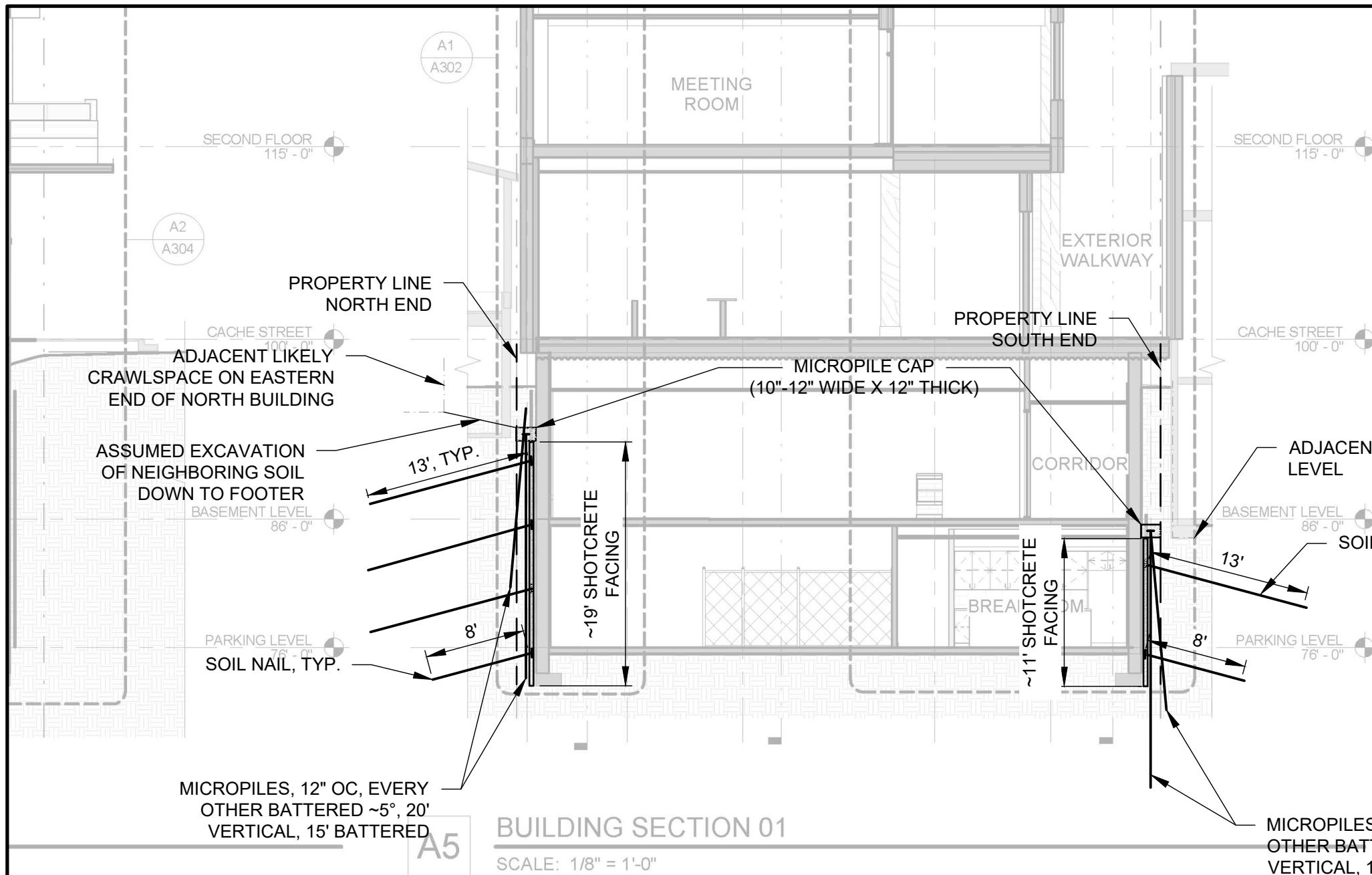
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**SECTION VIEWS - N & S - EASTERN**

SCALE: 1:10

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**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SECTION VIEWS - N & S (CONT.)**

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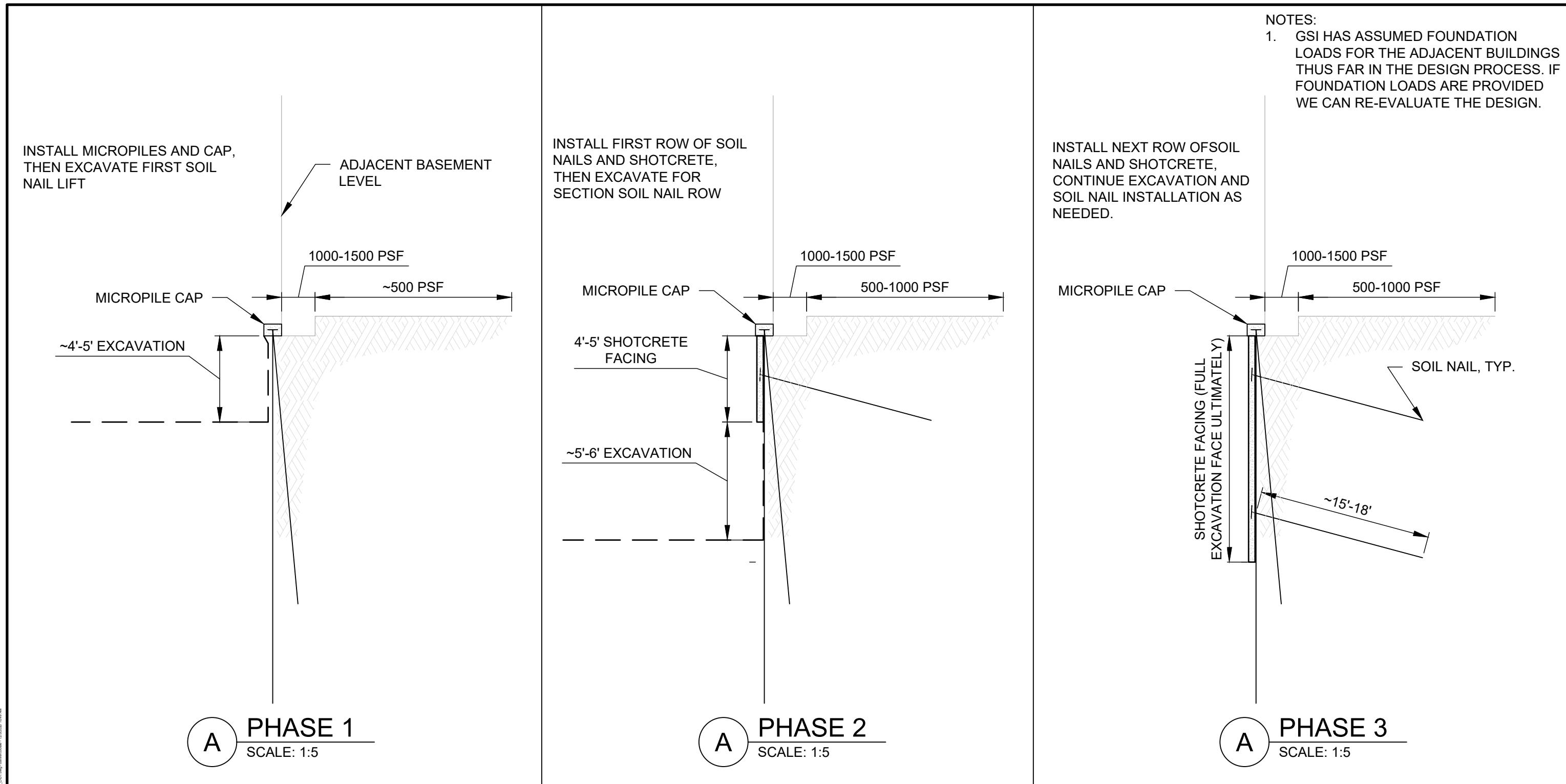
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PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SECTION VIEWS - N & S - SHORING PHASES**

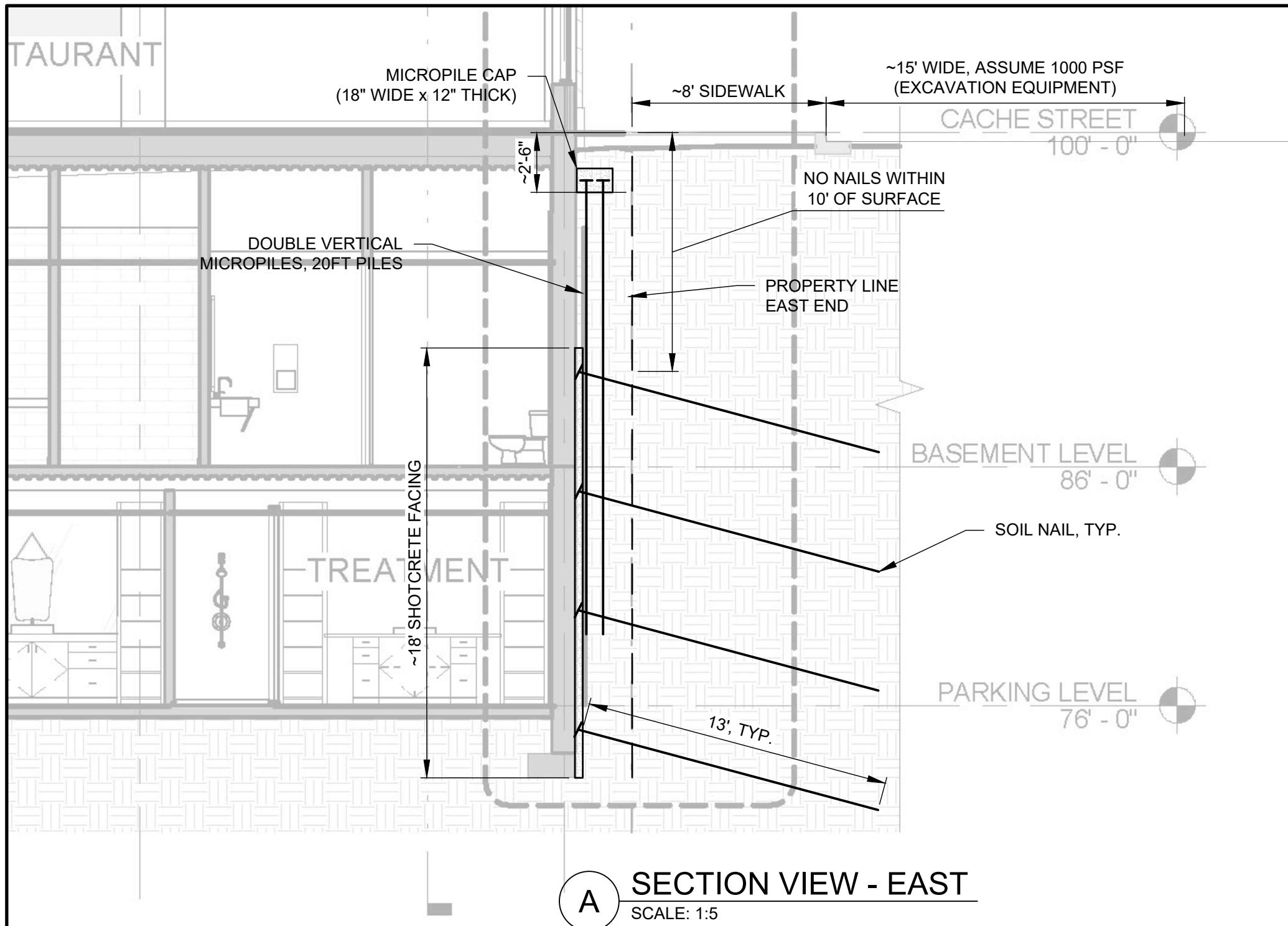
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NOTES:

1. ALL BACKGROUND IMAGES OBTAINED FROM FFKR ARCHITECTS HOTEL JACKSON PHII PERMIT REVIEW DRAWING SET, DATED JAN. 10, 2020.
2. PHASES OF WORK FOR THE EAST SIDE:
  - PHASE 1 - INSTALL DOUBLE VERTICAL PILES
  - PHASE 2, EXCAVATE DOWN TO 13'-14' BELOW GRADE, INSTALL FIRST ROW OF NAILS AT ABOUT 10'-11' DEEP AND INSTALL FIRST BAND OF SHOTCRETE
  - PHASE 3,4,ETC. - EXCAVATE 5 FT BANDS AS NEEDED AND INSTALL NAILS AND SHOTCRETE TO REACH BOTTOM OF EXCAVATION.
3. ANTICIPATED SECTION THICKNESS WITH THE MICROPILES AND SOIL NAIL FACING WILL BE 2' - 2.5' FROM BACK OF MICROPILE CAP TO FRONT OF SHOTCRETE.

C:\Users\jason\Downloads\Hotel Jackson Phase 2\Section View - East.dwg 1/20/2020 10:49 AM

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
04/02/2020	ISSUED FOR REVIEW	IFR 1
08/05/2020	UPDATED PER RFI RESPONSE	IFR 2
11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SECTION VIEW - EAST**

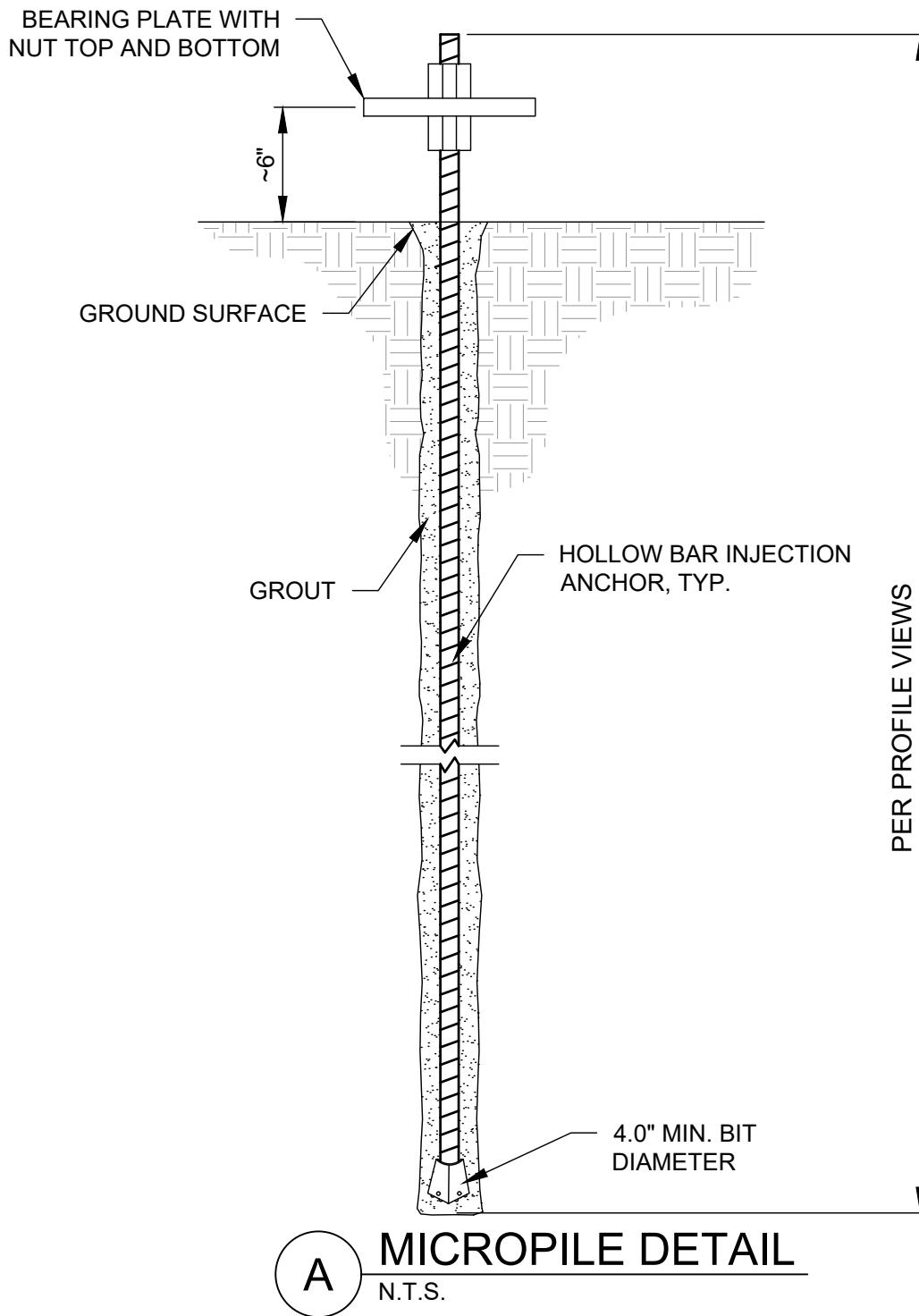
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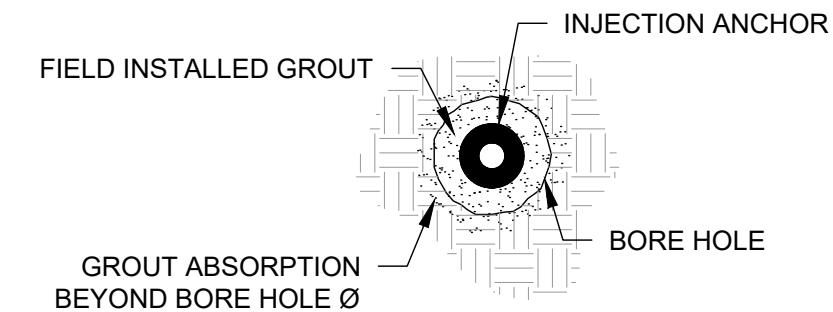
Phone: 855.579.0536 | Fax: 970.245.7737  
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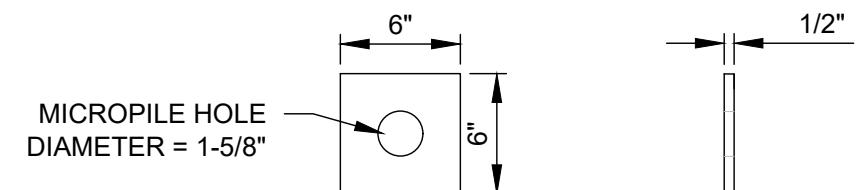


**A** **MICROPILE DETAIL**  
N.T.S.

PEB PROFILE VIEWS



## **B** MICROPILE SECTION N.T.S.



# C MICROPILE BEARING PLATE

PROJECT NAME

*HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *MICROPILE ANCHOR DETAILS*

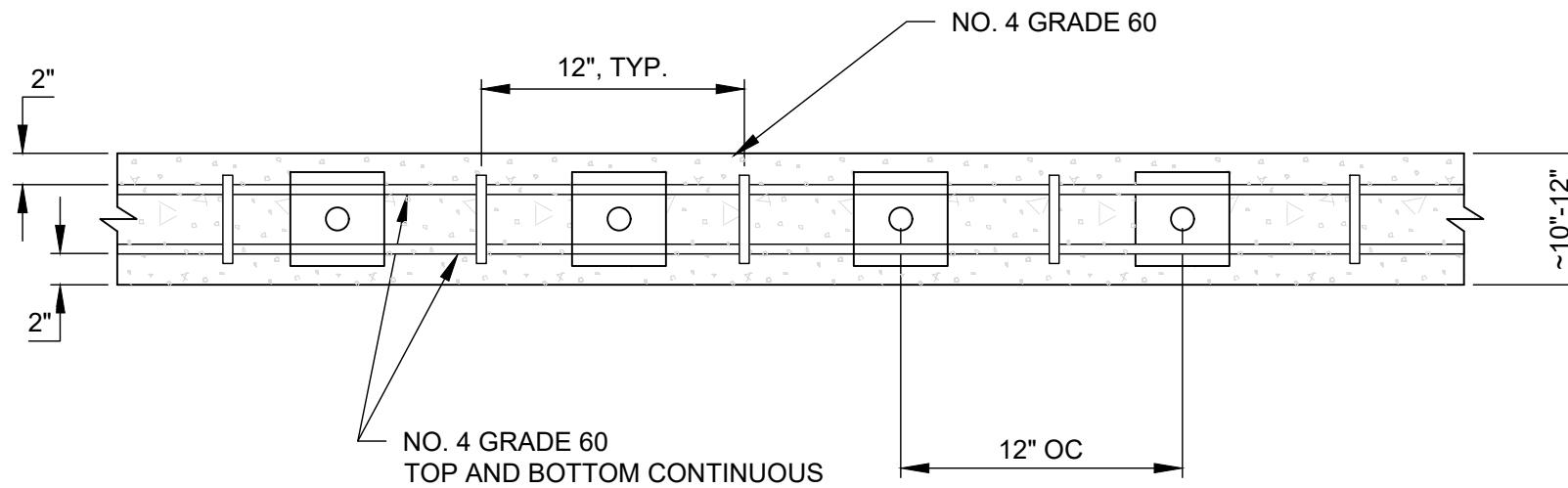
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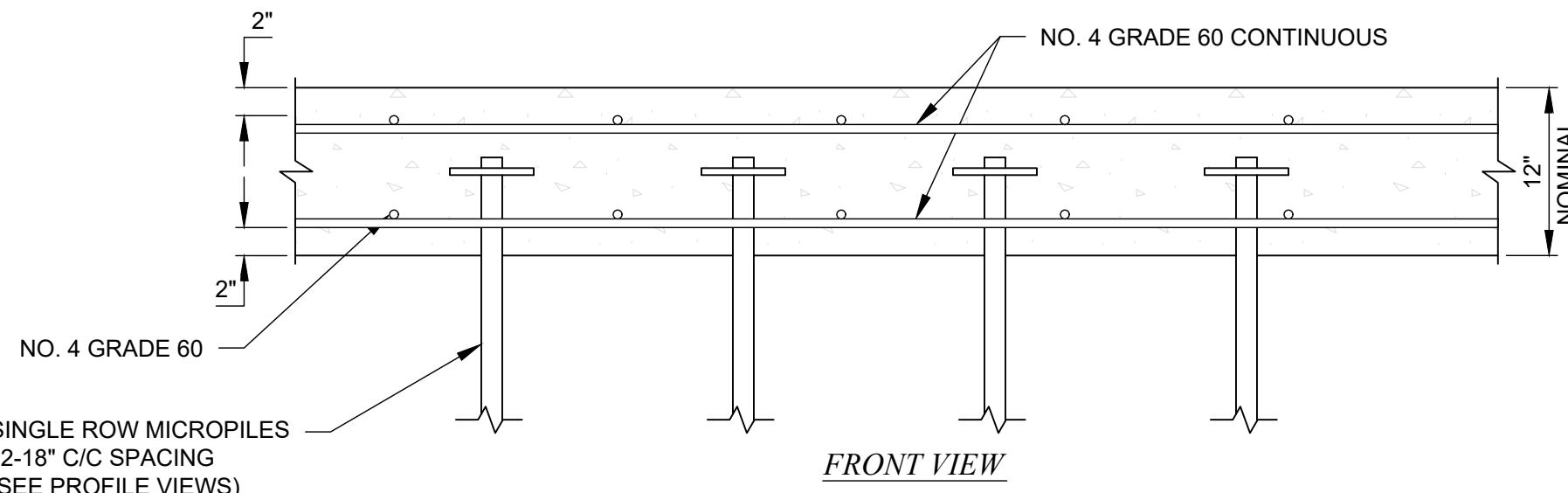


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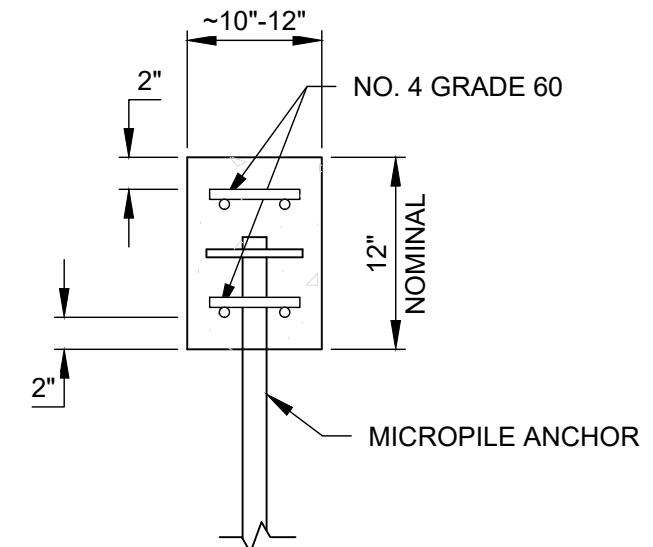
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TOP VIEW



FRONT VIEW



SIDE VIEW

**(A) SINGLE ROW MP DETAIL**  
N.T.S.

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
04/02/2020	ISSUED FOR REVIEW	IFR 1
08/05/2020	UPDATED PER RFI RESPONSE	IFR 2
11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SINGLE ROW MICROPILE DETAILS**

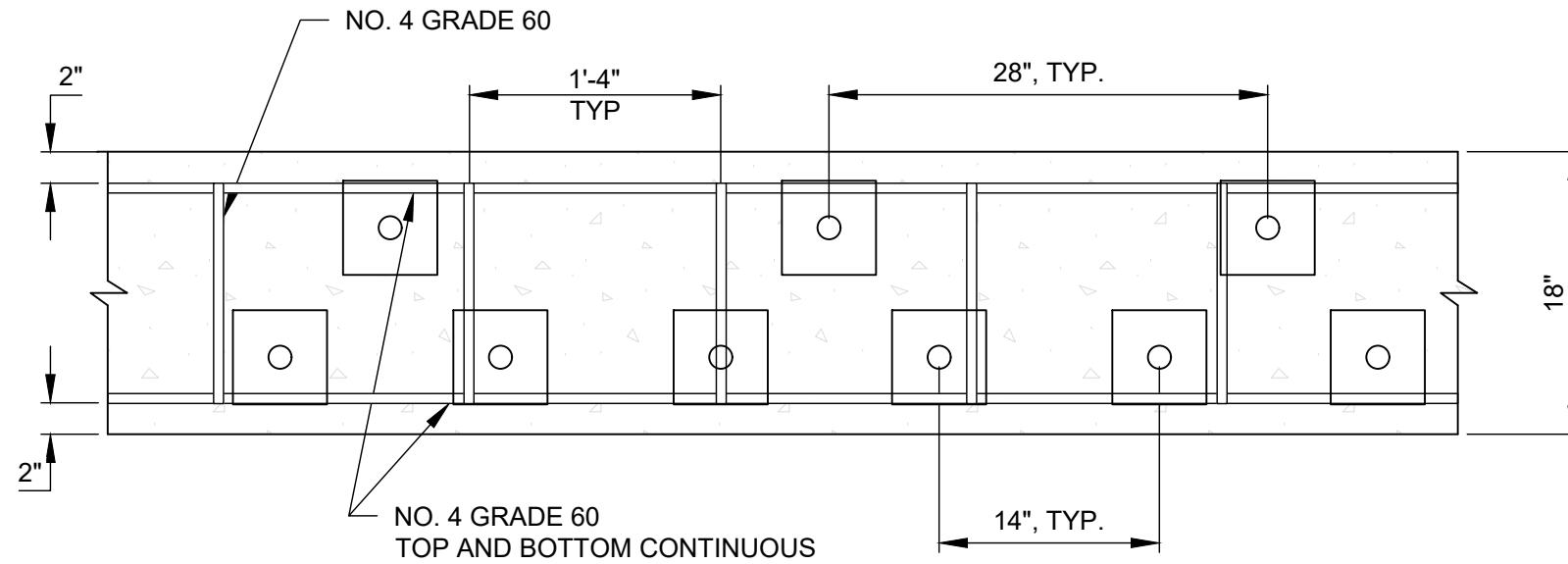
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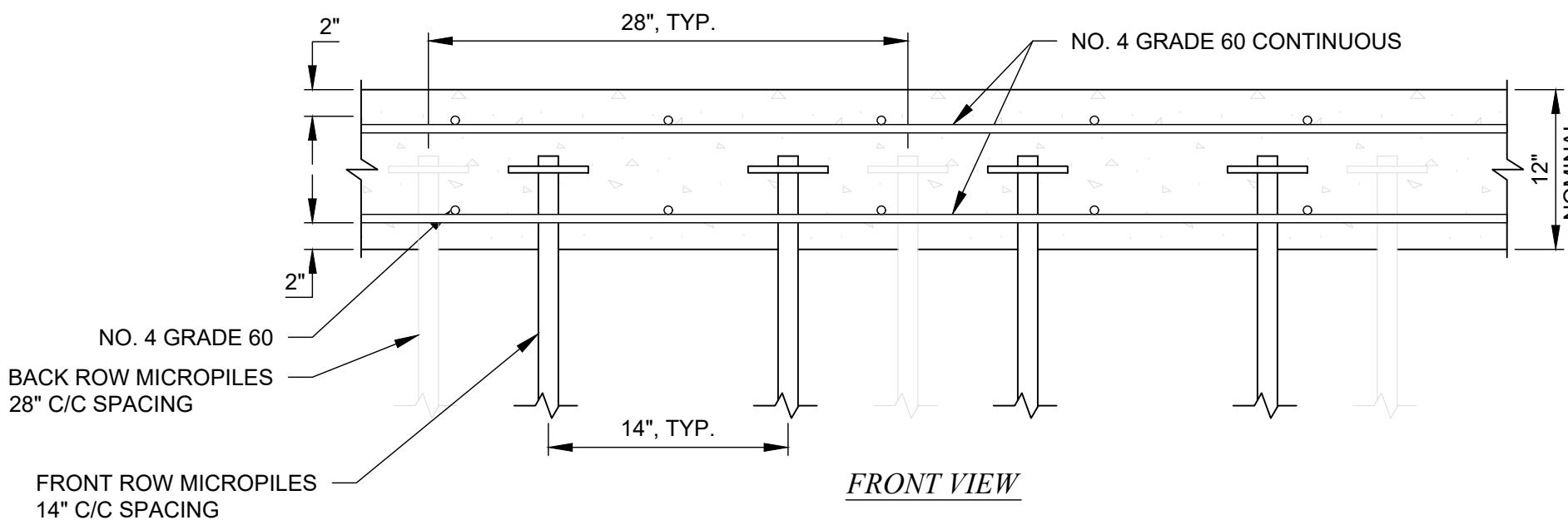


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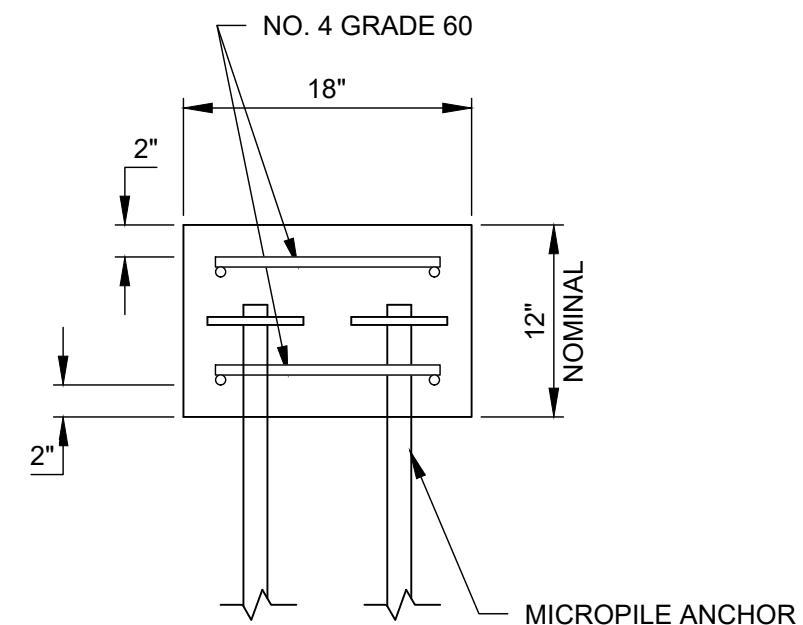
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TOP VIEW



FRONT VIEW



SIDE VIEW

**A** DOUBLE ROW MP DETAIL  
N.T.S.

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
04/02/2020	ISSUED FOR REVIEW	IFR 1
08/05/2020	UPDATED PER RFI RESPONSE	IFR 2
11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**DOUBLE ROW MICROPILE DETAILS**

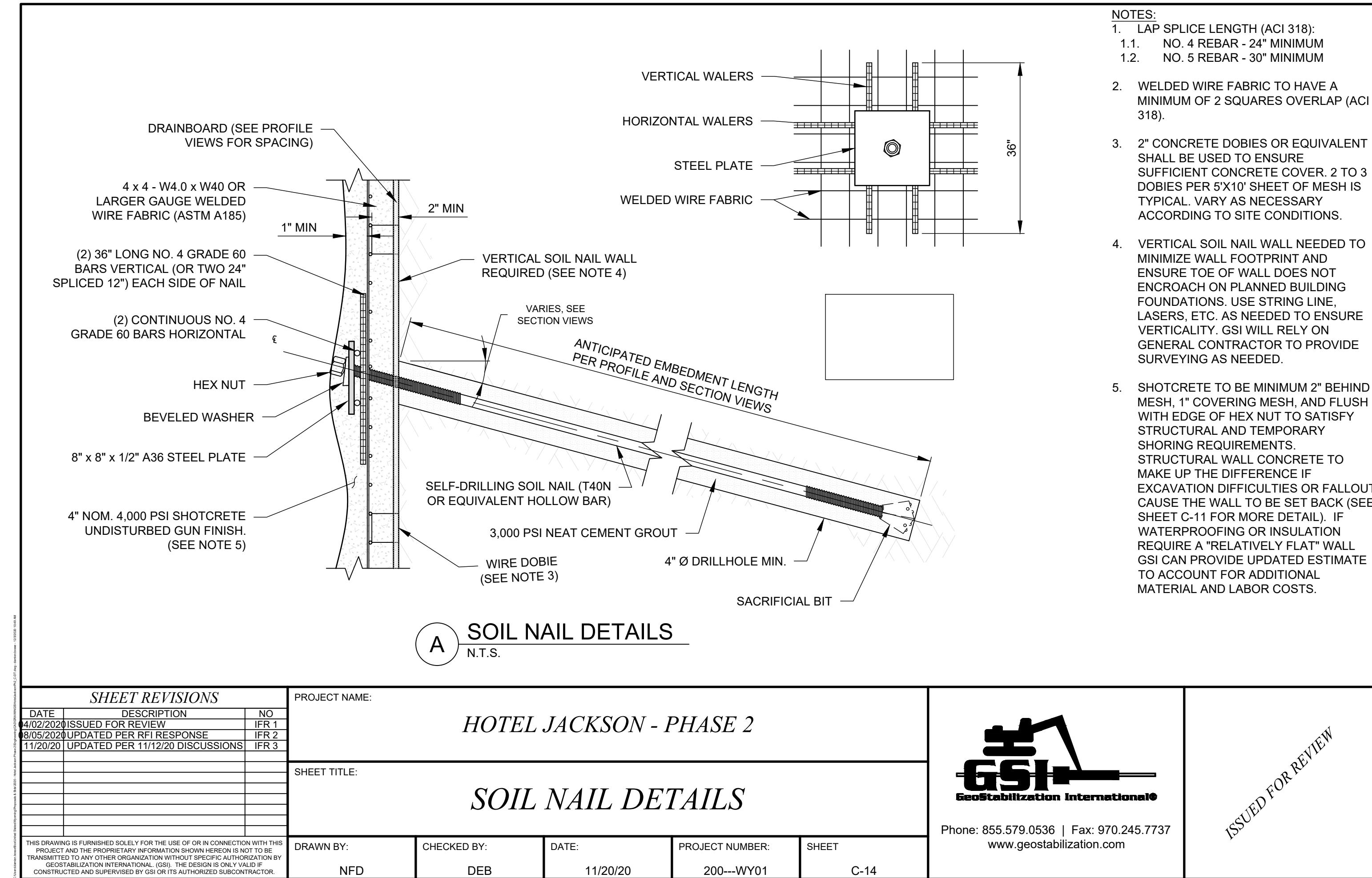
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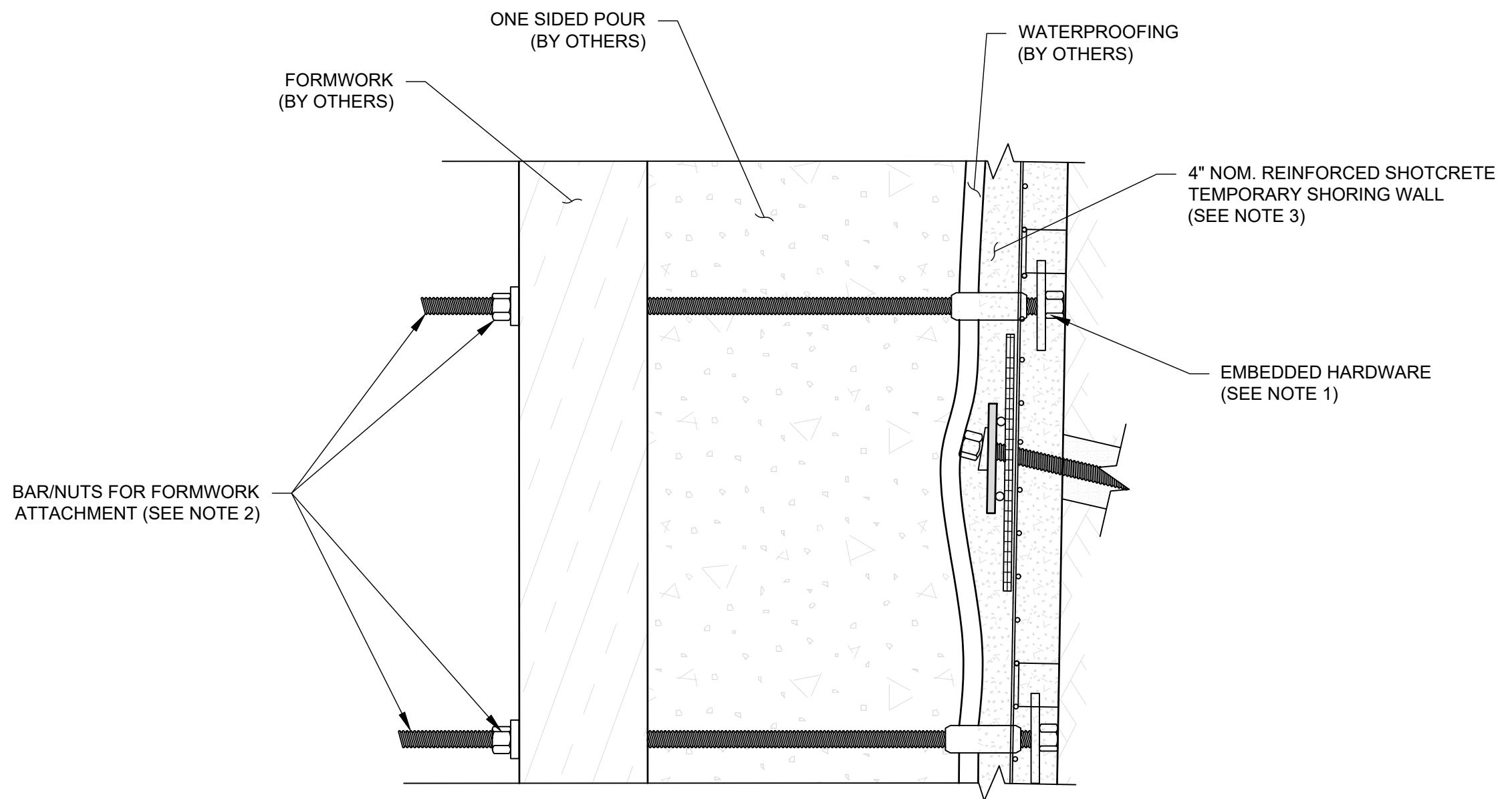
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NOTES:

1. EMBEDDED HARDWARE TO INCLUDE 6X6 PLATES, HEX NUT, SHORT NO. 6 BAR SECTION, AND COUPLER. COUPLER TO STICK OUT PAST ROUGH GUN FINISH SHOTCRETE FACE. TAPE OVER EXPOSED COUPLER END PRIOR TO PLACING SHOTCRETE.
2. BAR AND NUTS WILL BE PROVIDED BY GSI BUT WILL BE INSTALLED BY OTHERS DURING FORMWORK INSTALLATION.
3. SHOTCRETE TO BE MINIMUM NEEDED TO HAVE MINIMUM 2" BEHIND MESH, 1" COVERING MESH, AND FLUSH WITH EDGE OF HEX NUT. STRUCTURAL WALL CONCRETE TO MAKE UP THE DIFFERENCE IF EXCAVATION DIFFICULTIES OR FALLOUT CAUSE THE WALL TO BE SET BACK. IF WATERPROOFING OR INSULATION REQUIRE A "RELATIVELY FLAT" WALL GSI CAN PROVIDE UPDATED ESTIMATE TO ACCOUNT FOR ADDITIONAL MATERIAL AND LABOR COSTS.

*SHEET REVISIONS*

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11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

*HOTEL JACKSON - PHASE 2*

SHEET TITLE:

*ONE-SIDED FORMING DETAILS*

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WYOMING DEPARTMENT OF TRANSPORTATION  
Permit to Encroach on Public Right-of-Way



Project: Hotel Jackson Phase 2	Route: 191	County: teton
Township: 41 North	Range: 116 West	Section: 28
Latitude: 43.480786	Longitude: -100.762514	<input type="checkbox"/> NHS <input type="checkbox"/> Non-NHS

This document constitutes a permit to encroach on public right-of-way administered by the Transportation Commission of Wyoming and the Wyoming Department of Transportation each of which, taken either separately or jointly, shall be hereinafter referred to as "Department".

The permit is issued subject to existing rules and regulations of the Department and further subject to the Specific Instructions, Restrictions, Terms and Conditions included herein.

**PERMIT ISSUED TO**

Name: Wapiti Corp	Address: 215 East Simpson Ave		
City: Jackson	State: WY	Zip Code: 83001	Phone Number: 307-733-2999

Location description: (include: distance to encroachment behind face of curb, encroachment distance onto Department right-of-way, height of encroachment above sidewalk or ground, etc.) **Please include a basic drawing/exhibit.**

*Attached*

Email:

john@wapiticorp.com  
kasey@wapiticorp.com

Encroachment of Soil Nails into Public Right of Way, approximately 16' below existing grade

Distance from encroachment to edge of the nearest traffic lane:  
16 LF (Vertically)

Parking lane width (if none, please state so):  
None

Explanation of why this request needs to be granted:

Shoring to allow for safe excavation for footers/basement of hotel expansion.

Any violation of the rules and regulations or Specific Instructions, Restrictions, Terms and Conditions shall cause automatic revocation of this permit and any and all improvements made pursuant to this permit may be removed by the Department at applicant, permittee or improvement owner's expense. The applicant, permittee or owner of the improvement understands that this permit **does not** confer a vested right in the lands of the public and where the Department determines it necessary to improve its highway and right-of-way, any improvement constructed on the public land will be moved or reconstructed by the applicant, permittee or improvement owner, their successors or assignees at the applicant, permittee or improvement owner's expense. The issuance of this permit to encroach and/or perform work on the public right-of-way is considered to be issued to the owner of the improvement placed upon the right-of-way even though such application is made by owner's agent.

**THE PERMITTEE SHALL COMPLY WITH THE FOLLOWING SPECIFIC INSTRUCTIONS, RESTRICTIONS, TERMS AND CONDITIONS:**

The maintenance of right-of-way within the encroachment area shall be the responsibility of the permittee.

The permittee shall be responsible for any loss or damage caused by the permittee's encroachment on the right-of-way. The permittee will hold the Department harmless from any law suits brought against the Department or permittee arising out of the permittee's encroachment on the right-of-way.

The Department reserves the right to construct, maintain, use, operate, relocate, reconstruct and renew such highway facilities as it may at any time, and may from time to time, desire within the limits of said right-of-way the right to use said right-of-way for any and all purposes.

The permittee shall at no time permit, construct, reconstruct or place any additional structures, facilities or other encroachments upon the permitted area of Department right-of-way without WRITTEN consent of the Department and the permittee shall at no time alter or reconstruct the present encroachment without prior written approval of the Department.

The permittee by receiving this permit understands, acknowledges and agrees that upon thirty (30) days written notice, the Department can cancel this permit where the right-of-way is necessary for construction, reconstruction or maintenance of the Department Highway and the permittee will move his encroachment from the right-of-way within sixty (60) days with no cost or expense to the Department and permittee agrees that if he fails to remove the encroachment within sixty days, the Department becomes a sole and complete owner of the encroachment and may cause its removal or destruction with no compensation due the permittee.

The permittee understands and acknowledges that violation of any of the Specific Instructions, Restrictions, Terms and Conditions are cause for automatic revocation of the permit and permittee may be notified to remove the encroachment immediately. Failure to remove encroachment for a period of sixty (60) days after notice will be cause for Department to remove encroachment without recourse by permittee.

The permittee is not authorized any other or additional uses of the public right-of-way beyond those specified herein.

Permittee  
Initial Here:

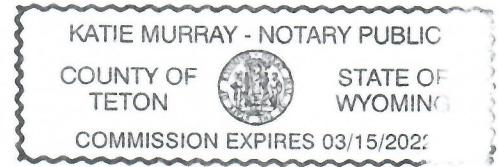


SPECIFIC INSTRUCTIONS, RESTRICTIONS, TERMS AND CONDITIONS HEREBY ACCEPTED BY:		
Permittee or Owner Signature: <i>John Kemp</i>	Date: <u>117/21</u>	
<b>WYOMING DEPARTMENT OF TRANSPORTATION</b>		
By (District Engineer Signature/ District Representative):	Date:	
FEDERAL HIGHWAY ADMINISTRATION (ON NHS ROADWAYS)		
By:	Title:	Date

**PERMITTEE ACKNOWLEDGEMENT**

The State of: Wyoming)  
\_\_\_\_\_) SS

County of: Teton)



The foregoing instrument was acknowledged before me this: 7 day of: January 2021.

By: John Kemp witnesses my hand and official seal.

My commission expires: 3/15/2022 Notary Public Signature: Katie Murray

**WYDOT ACKNOWLEDGEMENT**

The State of: \_\_\_\_\_)  
\_\_\_\_\_) SS

County of: \_\_\_\_\_)

The foregoing instrument was acknowledged before me this: \_\_\_\_\_ day of: \_\_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ witnesses my hand and official seal.

My commission expires: \_\_\_\_\_ Notary Public Signature: \_\_\_\_\_

**FHWA ACKNOWLEDGEMENT**

The State of: \_\_\_\_\_)  
\_\_\_\_\_) SS

County of: \_\_\_\_\_)

The foregoing instrument was acknowledged before me this: \_\_\_\_\_ day of: \_\_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ witnesses my hand and official seal.

My commission expires: \_\_\_\_\_ Notary Public Signature: \_\_\_\_\_

# TEMPORARY SHORING PLANS

## *HOTEL JACKSON - PHASE 2*

*JACKSON, WYOMING  
WAPITI CORPORATION*



VICINITY MAP  
(NOT TO SCALE)

## *SHEET INDEX*

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	SITE PLAN
C-04	PROFILE VIEW - NORTH
C-05	PROFILE VIEW - SOUTH
C-06	PROFILE VIEW - EAST
C-07	SECTION VIEWS - N & S - WESTERN
C-08	SECTION VIEWS - N & S - EASTERN
C-09	SECTION VIEWS - N & S - SHORING PHASES
C-10	SECTION VIEW - EAST
C-11	MICROPILE ANCHOR DETAILS
C-12	SINGLE ROW MICROPILE DETAILS
C-13	DOUBLE ROW MICROPILE DETAILS
C-14	SOIL NAIL DETAILS
C-15	ONE-SIDED FORMING DETAILS

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SHEET REVISIONS

SHEET REVISIONS	
DATE	DESCRIPTION
04/02/2020	ISSUED FOR REVIEW
08/05/2020	UPDATED PER RFI RESPONSE
11/20/20	UPDATED PER 11/12/20 DISCUSSION

**PROJECT NAME**

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *COVER SHEET*

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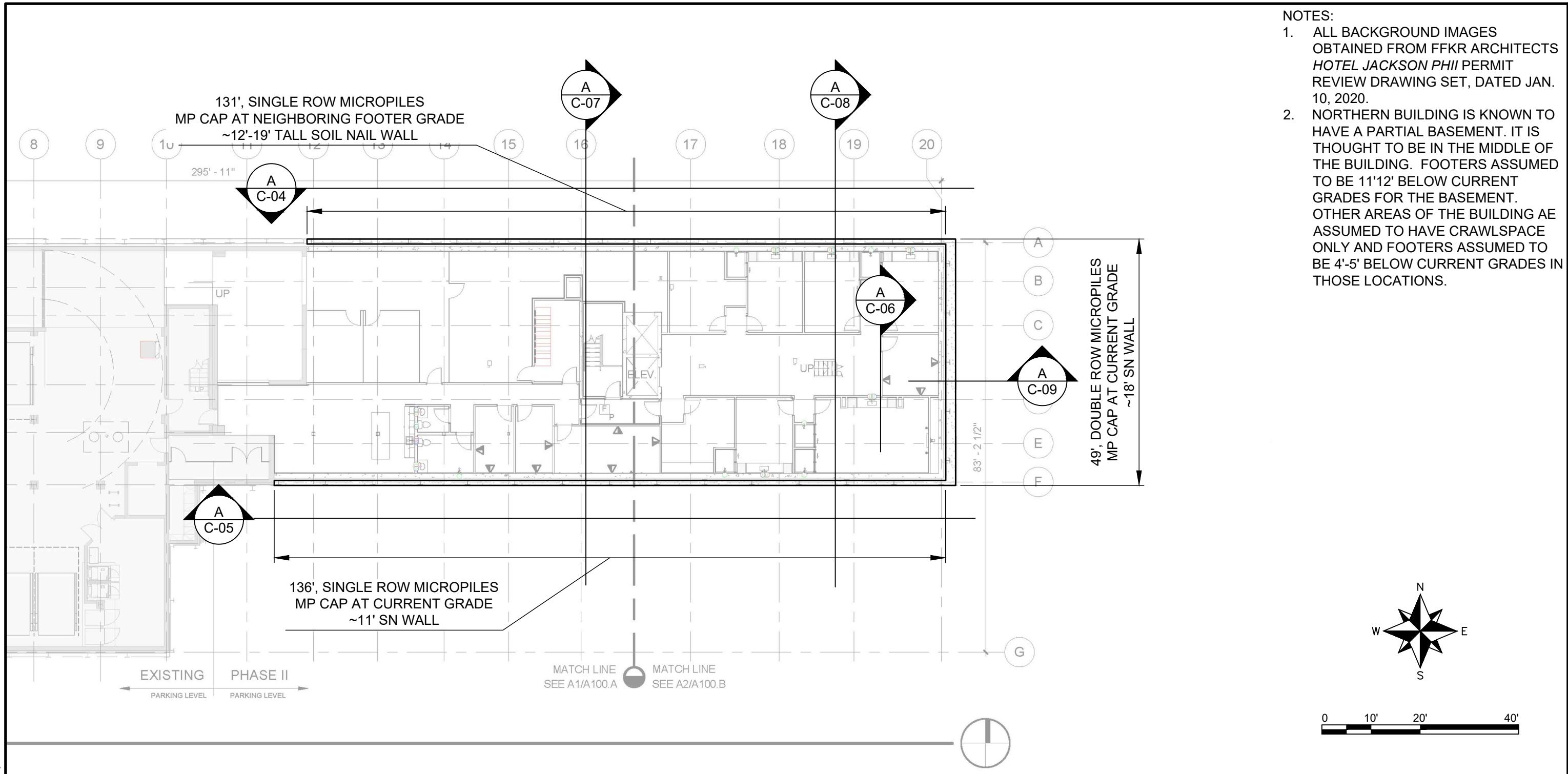
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#### SHEET REVISIONS

DATE	DESCRIPTION	NO
04/02/2020	ISSUED FOR REVIEW	IFR 1
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11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

#### HOTEL JACKSON - PHASE 2

SHEET TITLE:

#### SITE PLAN

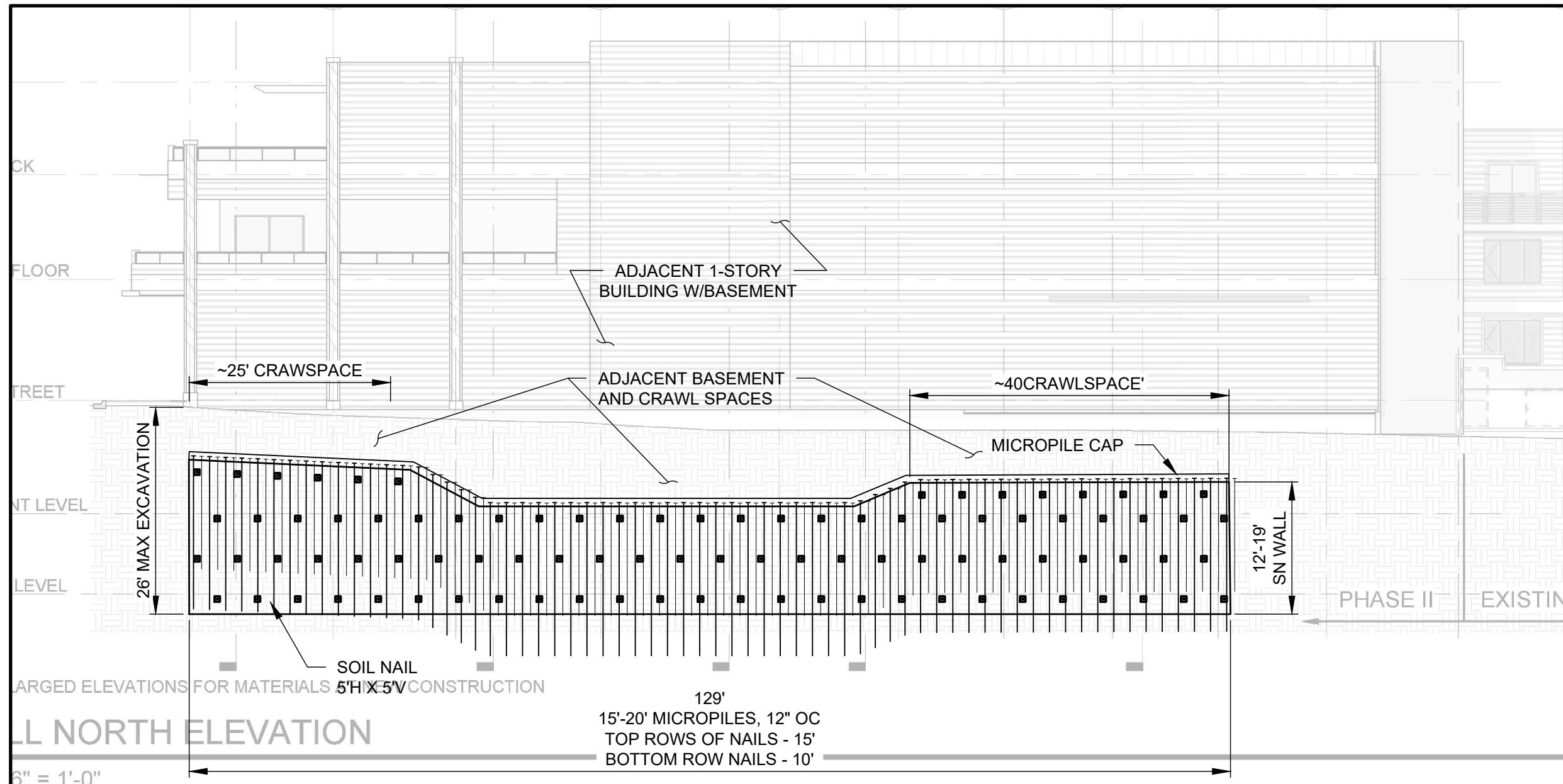
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**A PROFILE VIEW - NORTH**  
SCALE: 1" = 15'

**PROJECT NAME**

*HOTEL JACKSON - PHASE 2*

SHEET TITLE

### *PROFILE VIEW - NORTH*

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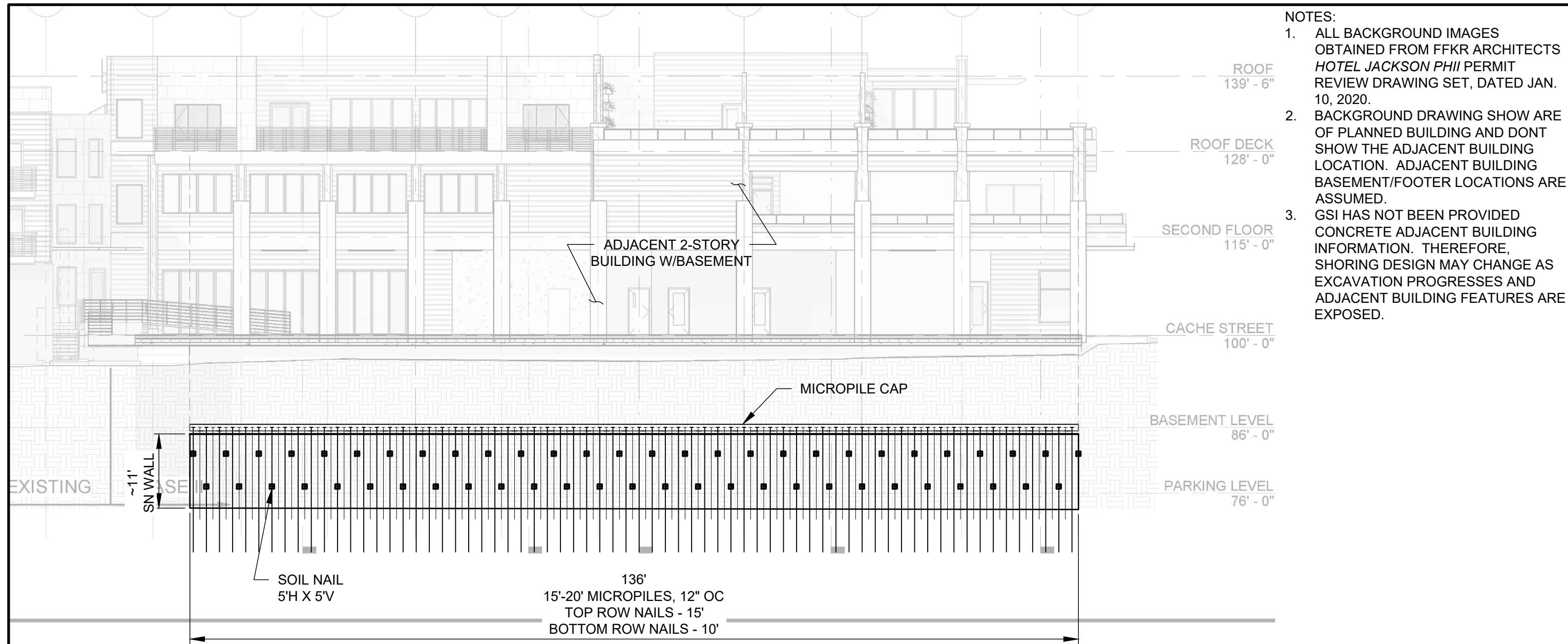
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**A** PROFILE VIEW - SOUTH  
SCALE: 1" = 15'

PROJECT NAME

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *PROFILE VIEW - SOUTH*

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DATE:

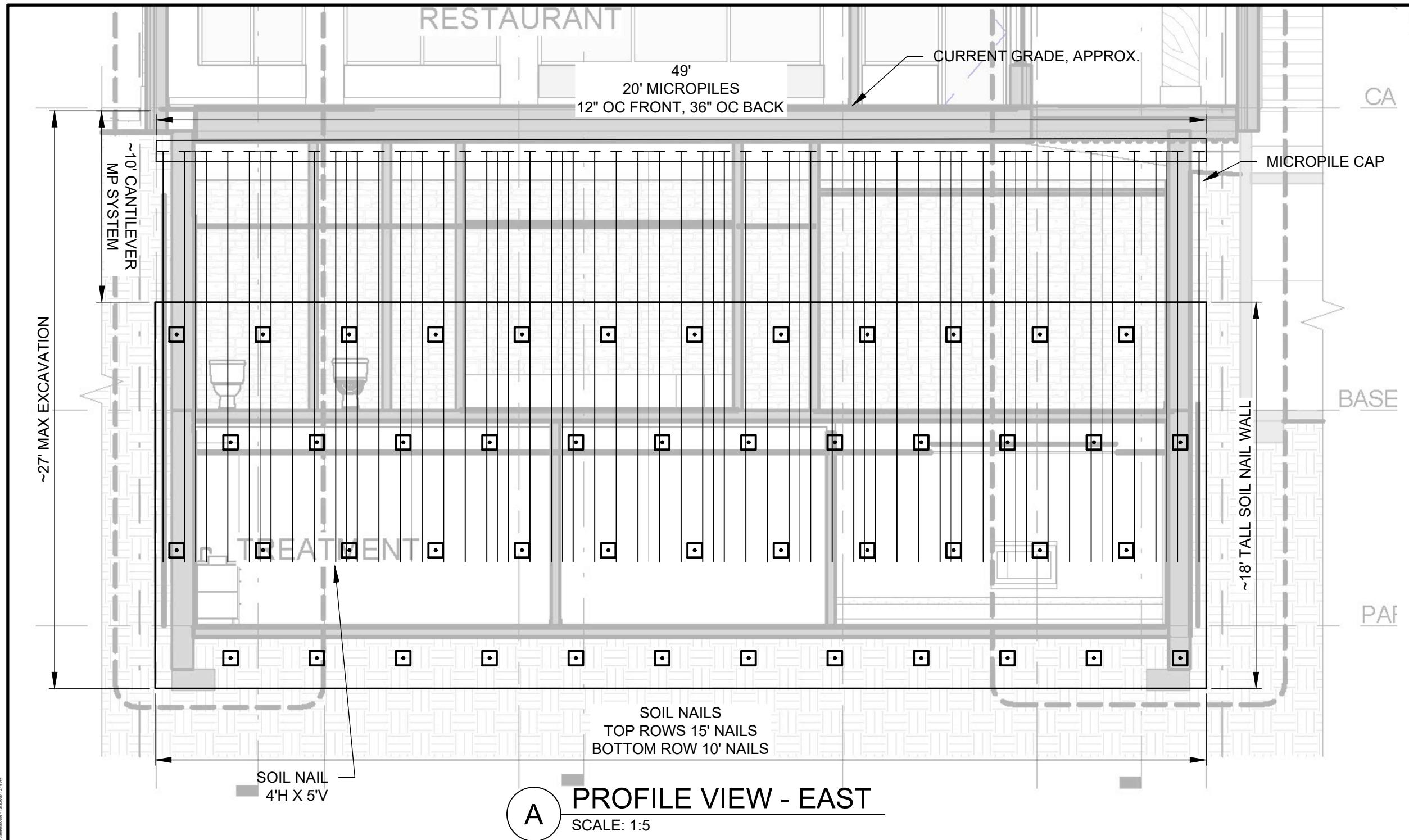
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**PROJECT NAME**

## *HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *PROFILE VIEW - EAST*

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PROJECT NUMBER:

PROJECT NUMBER:

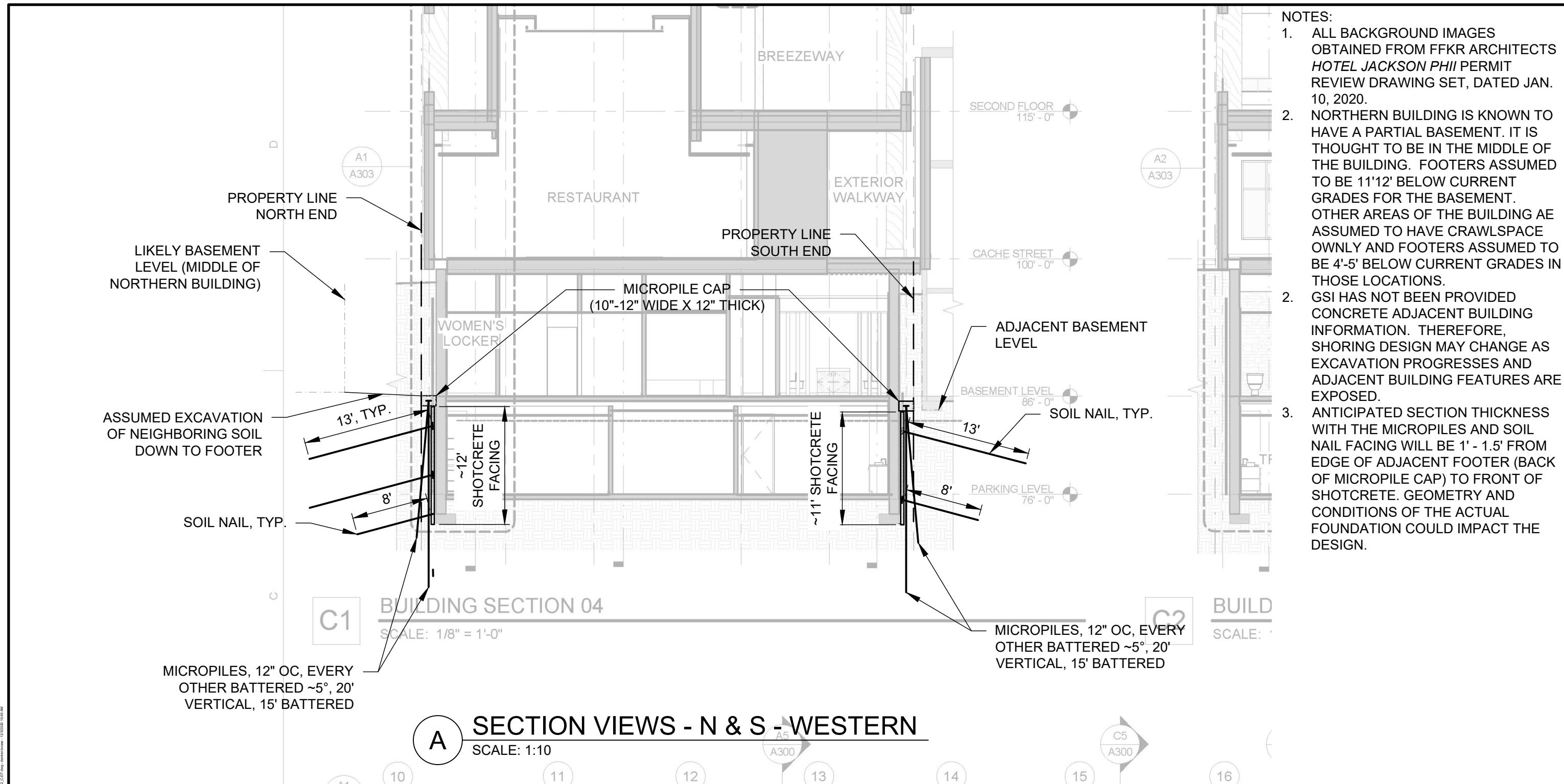
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PROJECT NAME: *HOTEL JACKSON - PHASE 2*

SHEET TITLE: *SECTION VIEWS - N & S*

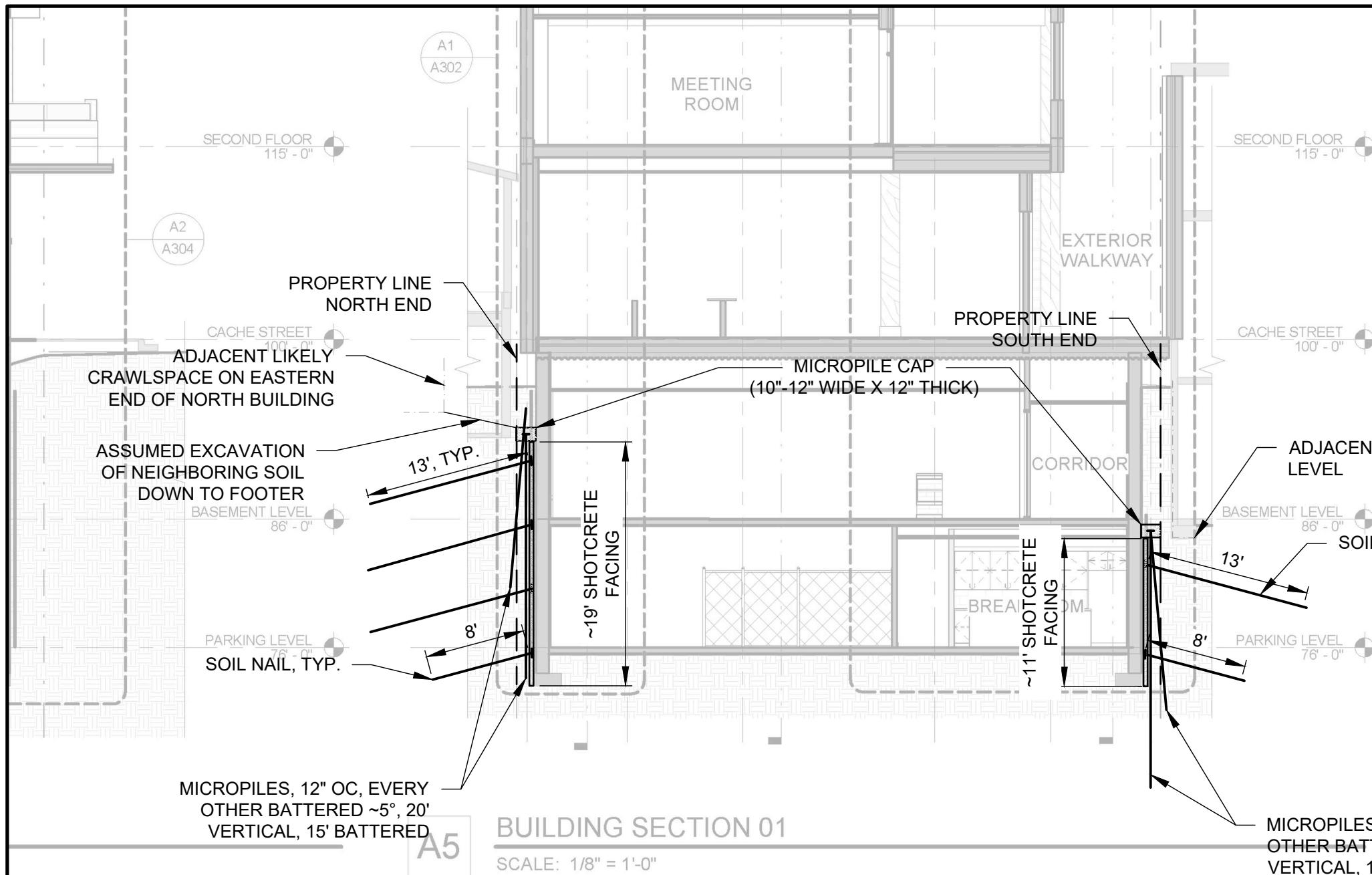
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NOTES:

1. ALL BACKGROUND IMAGES OBTAINED FROM FFKR ARCHITECTS HOTEL JACKSON PH2 PERMIT REVIEW DRAWING SET, DATED JAN. 10, 2020.
2. NORTHERN BUILDING IS KNOWN TO HAVE A PARTIAL BASEMENT. IT IS THOUGHT TO BE IN THE MIDDLE OF THE BUILDING. FOOTERS ASSUMED TO BE 11'12" BELOW CURRENT GRADES FOR THE BASEMENT. OTHER AREAS OF THE BUILDING ARE ASSUMED TO HAVE CRAWLSPACE ONLY AND FOOTERS ASSUMED TO BE 4'-5" BELOW CURRENT GRADES IN THOSE LOCATIONS.
2. GSI HAS NOT BEEN PROVIDED CONCRETE ADJACENT BUILDING INFORMATION. THEREFORE, SHORING DESIGN MAY CHANGE AS EXCAVATION PROGRESSES AND ADJACENT BUILDING FEATURES ARE EXPOSED.
3. ANTICIPATED SECTION THICKNESS WITH THE MICROPILES AND SOIL NAIL FACING WILL BE 1' - 1.5' FROM EDGE OF ADJACENT FOOTER (BACK OF MICROPILE CAP) TO FRONT OF SHOTCRETE. GEOMETRY AND CONDITIONS OF THE ACTUAL FOUNDATION COULD IMPACT THE DESIGN.

**SECTION VIEWS - N & S - EASTERN**

SCALE: 1:10

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SECTION VIEWS - N & S (CONT.)**

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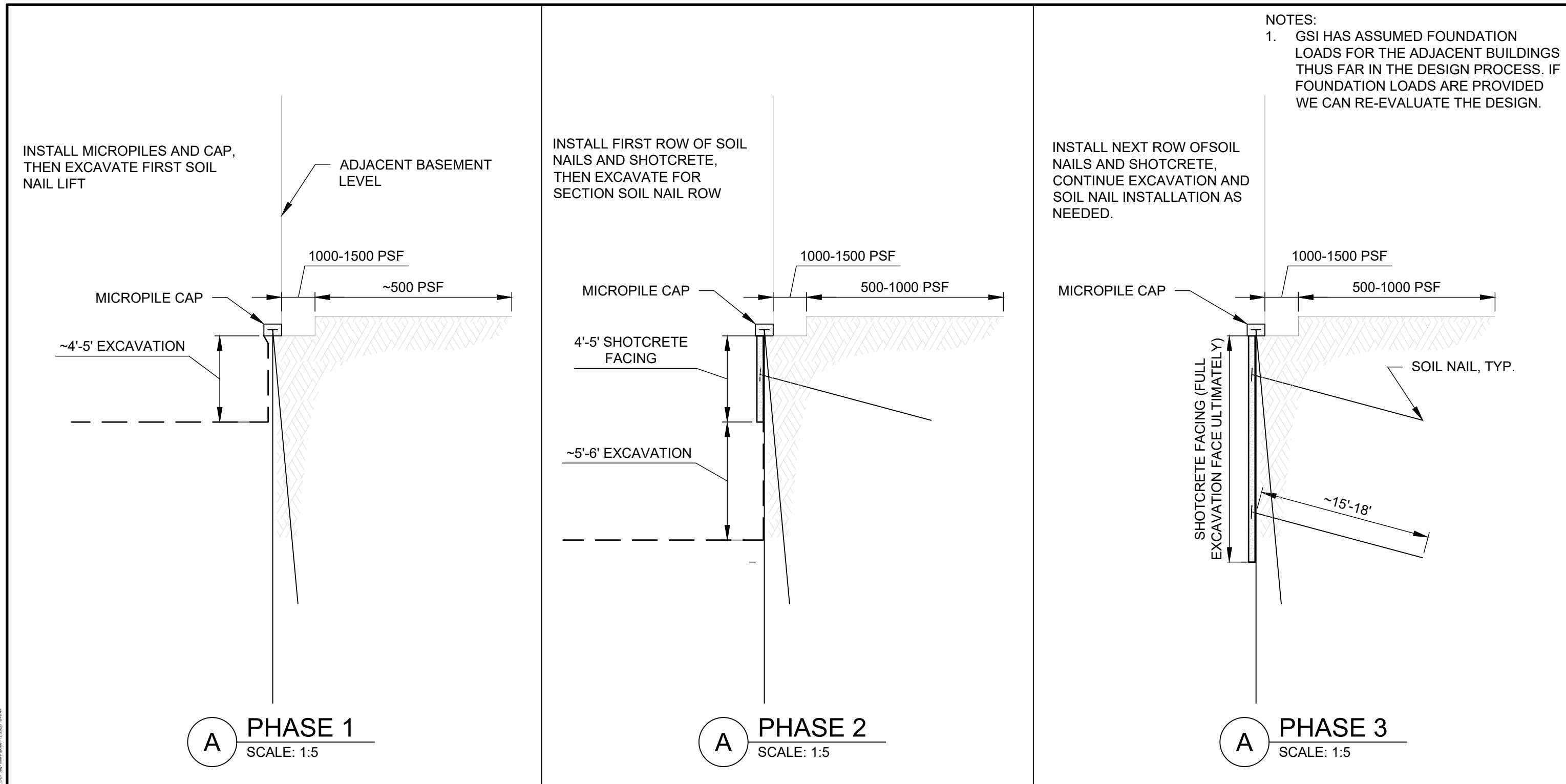
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**SHEET REVISIONS**

DATE	DESCRIPTION	NO
04/02/2020	ISSUED FOR REVIEW	IFR 1
08/05/2020	UPDATED PER RFI RESPONSE	IFR 2
11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SECTION VIEWS - N & S - SHORING PHASES**

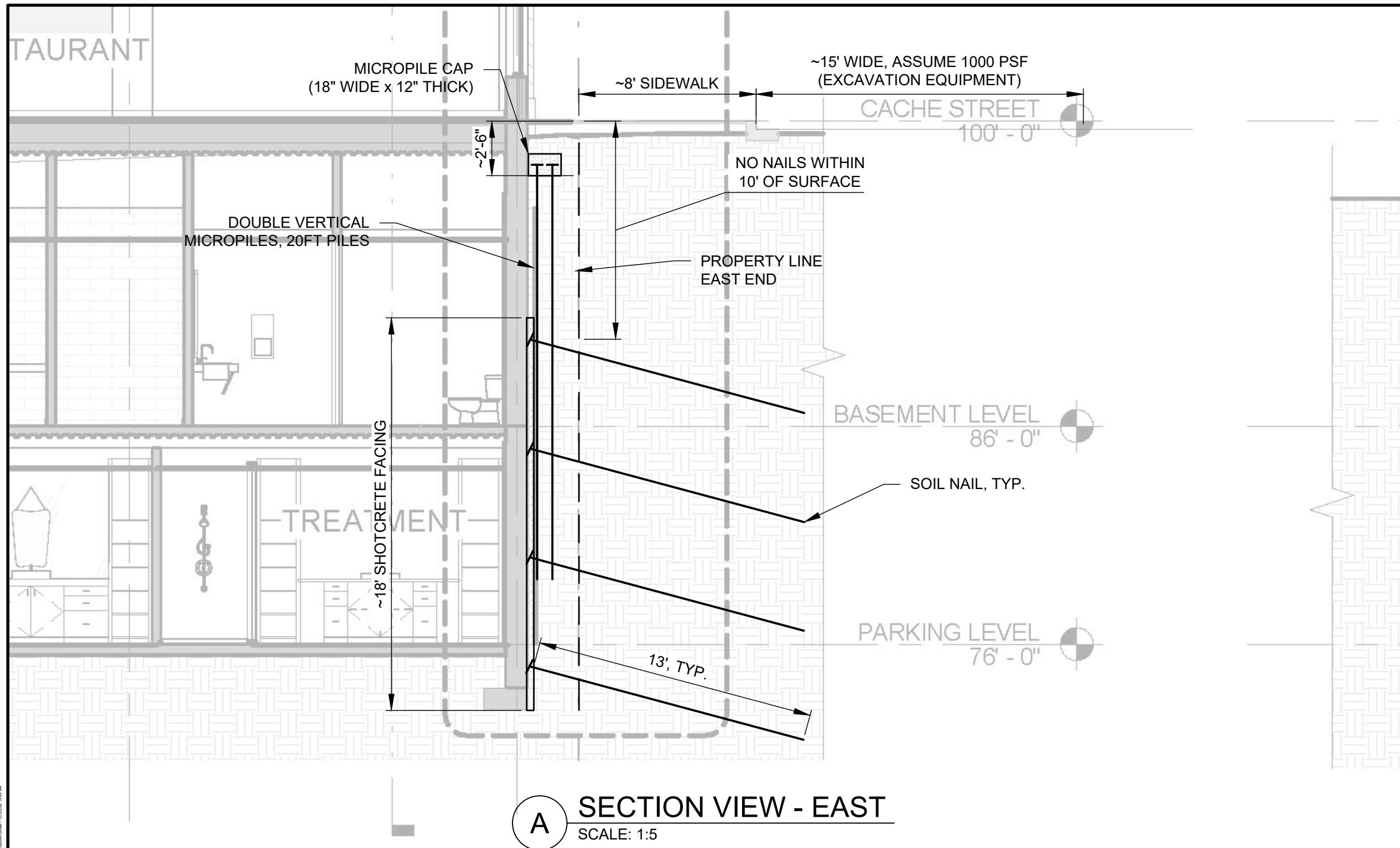
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ISSUED FOR REVIEW



### PROJECT NAME

## *HOTEL JACKSON - PHASE 2*

## SHEET TITLE

## *SECTION VIEW - EAST*

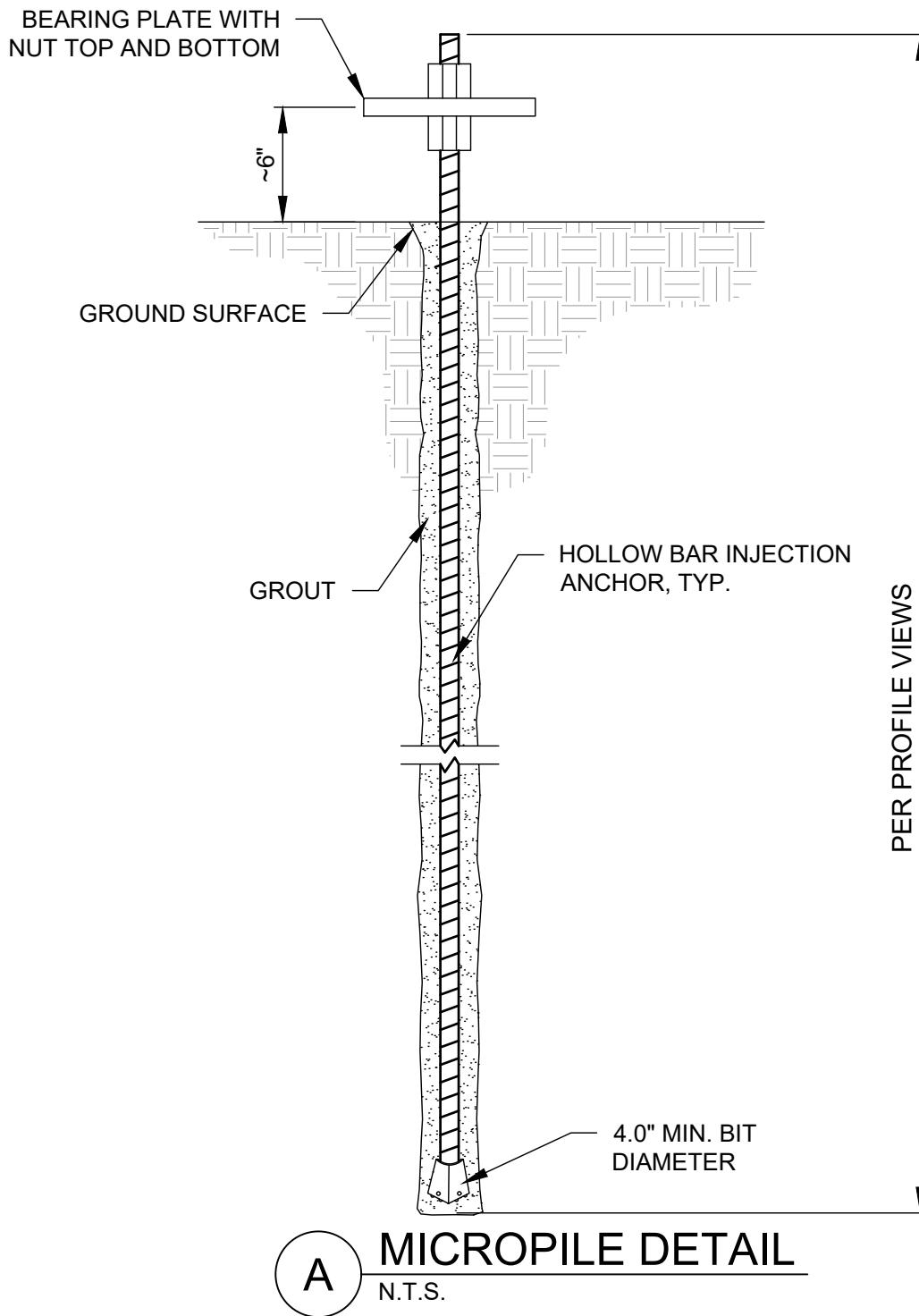
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DRAWN BY:	CHECKED BY:	DATE:	PROJECT NUMBER:	SHEET
NED	DEF	11/20/20	200---WY01	C-



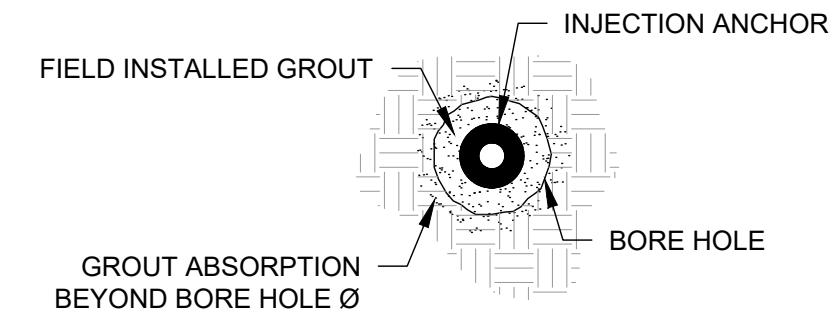
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ISSUED FOR REVIEW

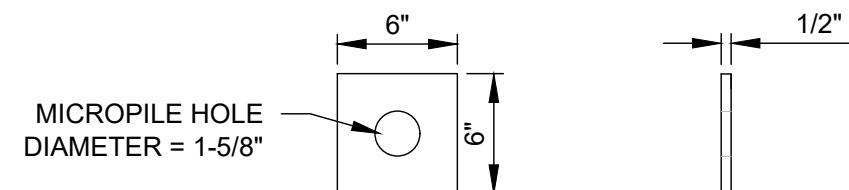


**A** **MICROPILE DETAIL**  
N.T.S.

PEB PROFILE VIEWS



## **B** MICROPILE SECTION N.T.S.



# C MICROPILE BEARING PLATE

PROJECT NAME

*HOTEL JACKSON - PHASE 2*

SHEET TITLE

## *MICROPILE ANCHOR DETAILS*

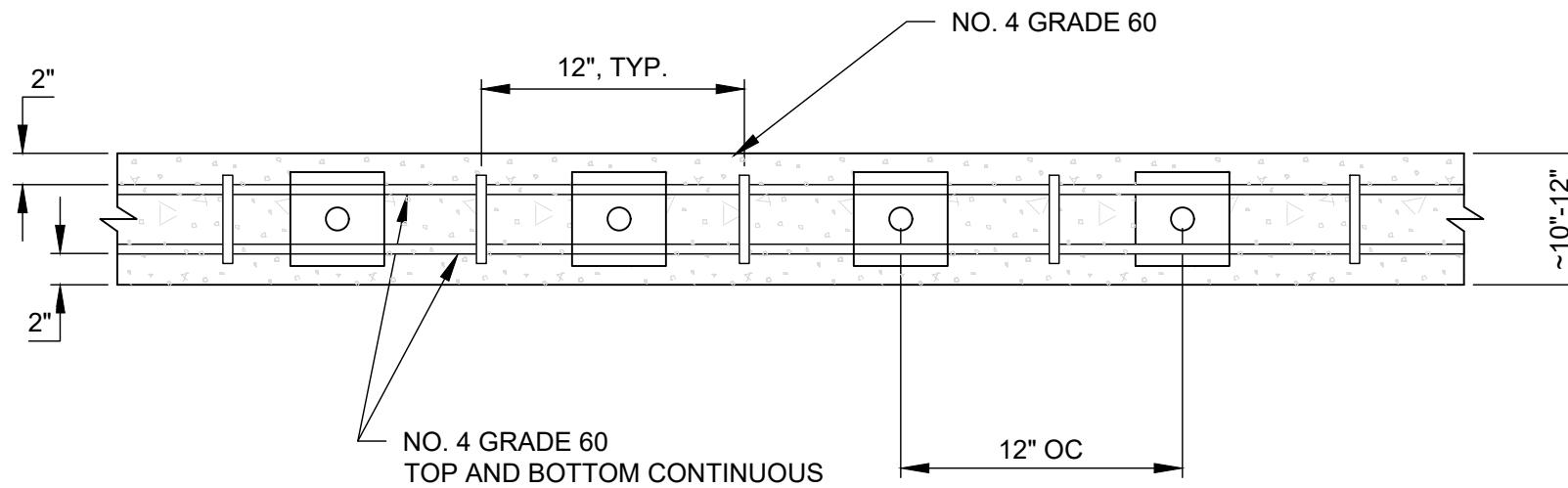
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DRAWN BY: NED CHECKED BY: DEB DATE: 11/20/20 PROJECT NUMBER: 200---WY01 SHEET

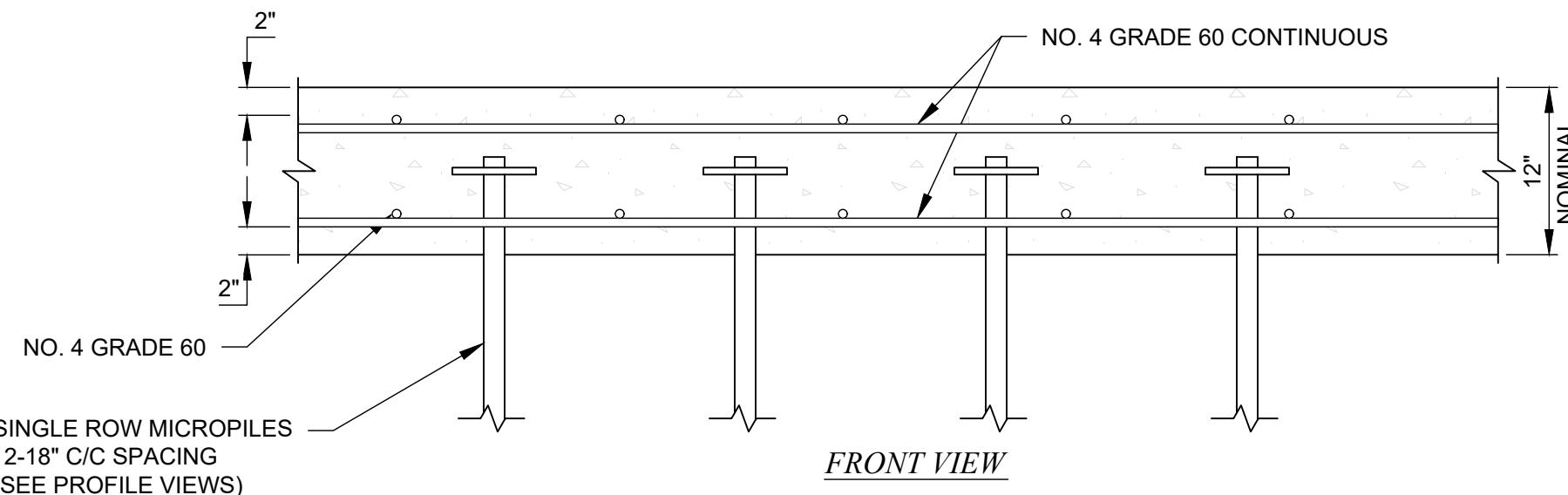


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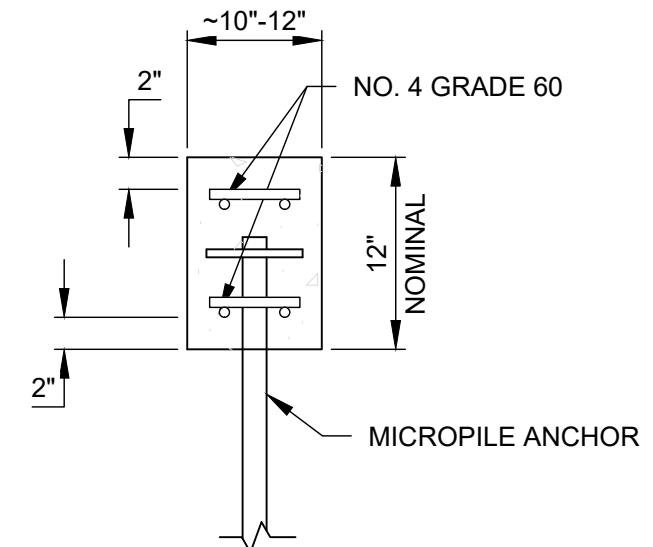
ISSUED FOR REVIEW



TOP VIEW



FRONT VIEW



SIDE VIEW

**A** SINGLE ROW MP DETAIL  
N.T.S.

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
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11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**SINGLE ROW MICROPILE DETAILS**

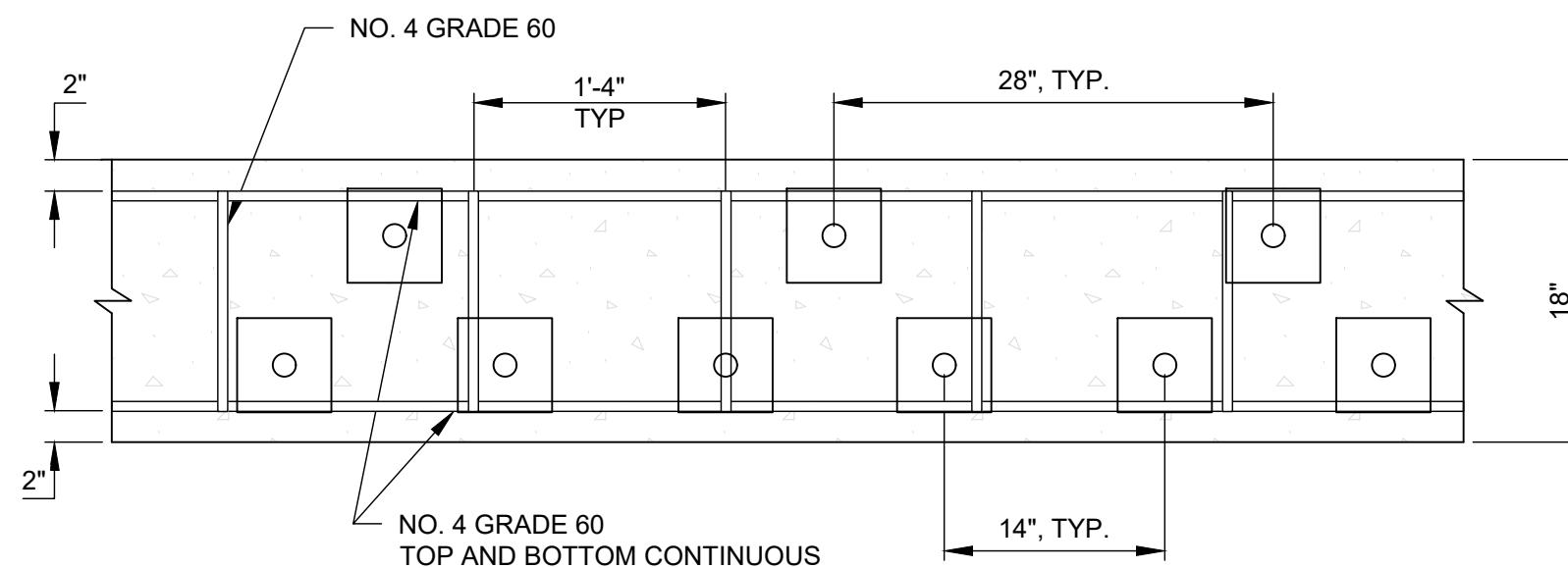
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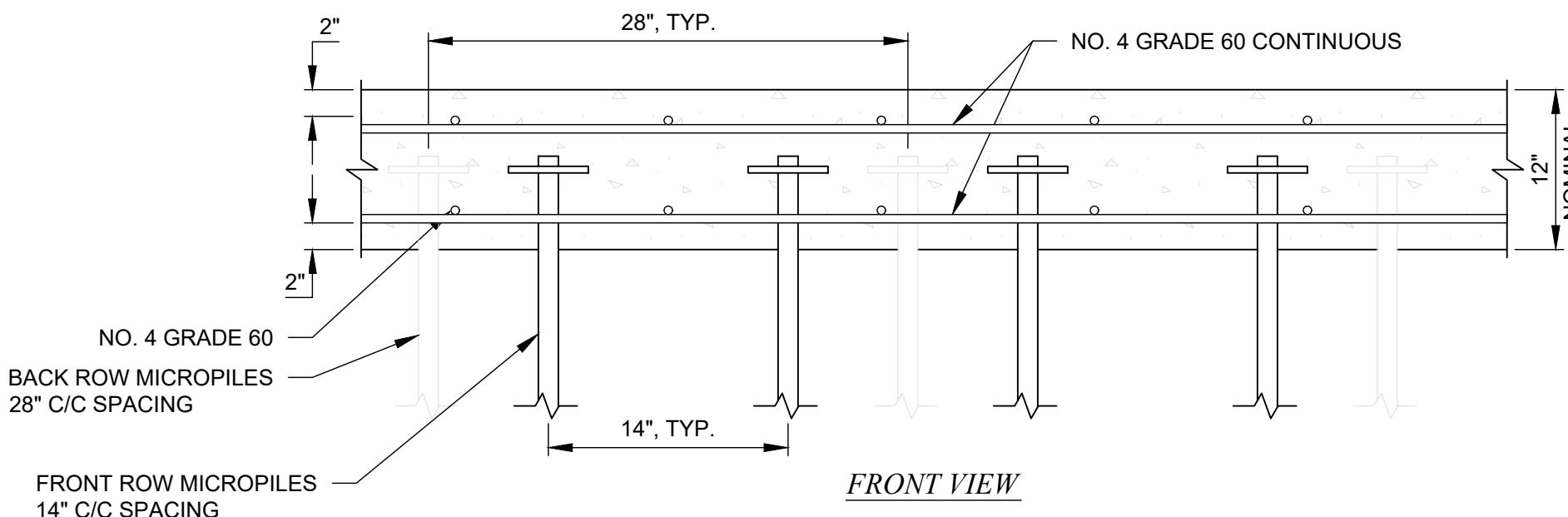


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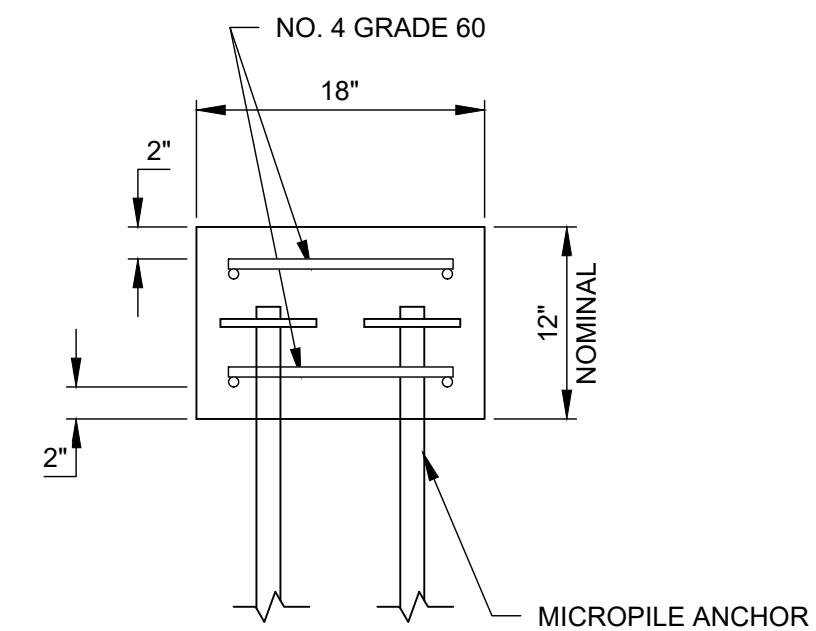
ISSUED FOR REVIEW



TOP VIEW



FRONT VIEW



SIDE VIEW

**A** DOUBLE ROW MP DETAIL  
N.T.S.

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
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11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**DOUBLE ROW MICROPILE DETAILS**

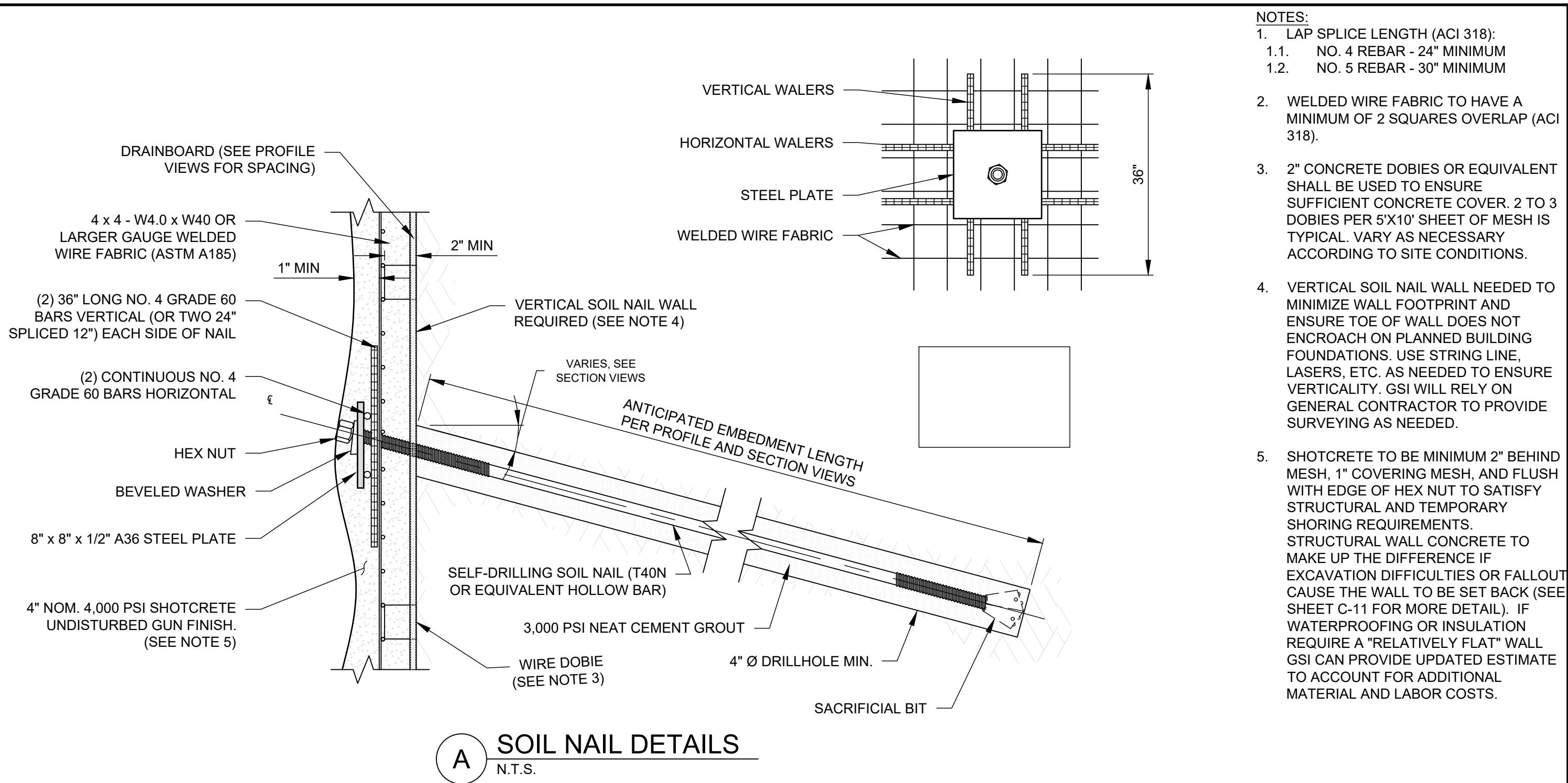
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ISSUED FOR REVIEW



**A** **SOIL NAIL DETAILS**  
N.T.S.

PROJECT NAME:

## *HOTEL JACKSON - PHASE 2*

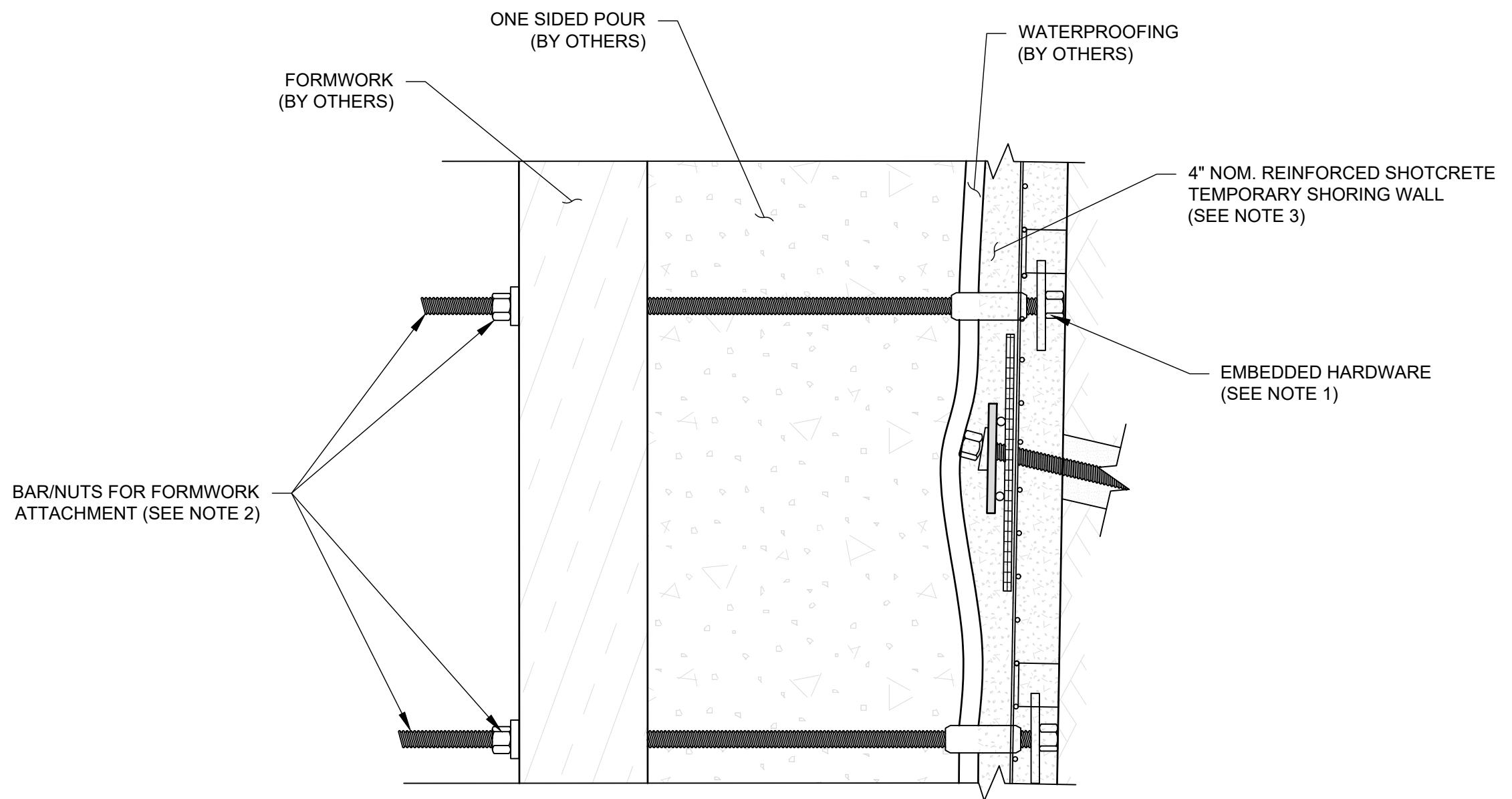
**SHEET TITLE:**

## *SOIL NAIL DETAILS*



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**NOTES:**

1. EMBEDDED HARDWARE TO INCLUDE 6X6 PLATES, HEX NUT, SHORT NO. 6 BAR SECTION, AND COUPLER. COUPLER TO STICK OUT PAST ROUGH GUN FINISH SHOTCRETE FACE. TAPE OVER EXPOSED COUPLER END PRIOR TO PLACING SHOTCRETE.
2. BAR AND NUTS WILL BE PROVIDED BY GSI BUT WILL BE INSTALLED BY OTHERS DURING FORMWORK INSTALLATION.
3. SHOTCRETE TO BE MINIMUM NEEDED TO HAVE MINIMUM 2" BEHIND MESH, 1" COVERING MESH, AND FLUSH WITH EDGE OF HEX NUT. STRUCTURAL WALL CONCRETE TO MAKE UP THE DIFFERENCE IF EXCAVATION DIFFICULTIES OR FALLOUT CAUSE THE WALL TO BE SET BACK. IF WATERPROOFING OR INSULATION REQUIRE A "RELATIVELY FLAT" WALL GSI CAN PROVIDE UPDATED ESTIMATE TO ACCOUNT FOR ADDITIONAL MATERIAL AND LABOR COSTS.

C:\Users\cameron.brown\Downloads\One-Sided Forming Detail - Hotel Jackson Phase 2.dwg 12/20/2020 10:49 AM

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
04/02/2020	ISSUED FOR REVIEW	IFR 1
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11/20/20	UPDATED PER 11/12/20 DISCUSSIONS	IFR 3

PROJECT NAME:

**HOTEL JACKSON - PHASE 2**

SHEET TITLE:

**ONE-SIDED FORMING DETAILS**

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DRAWN BY: NFD      CHECKED BY: DEB      DATE: 11/20/20      PROJECT NUMBER: 200---WY01      SHEET C-15



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ISSUED FOR REVIEW

WYOMING DEPARTMENT OF TRANSPORTATION  
Permit to Encroach on Public Right-of-Way



Project: Hotel Jackson Phase 2	Route: 101	County: Teton
Township:	Range:	Section:
Latitude: 43 48.786	Longitude: -100 56.512	<input type="checkbox"/> NHS <input type="checkbox"/> Non-NHS

This document constitutes a permit to encroach on public right-of-way administered by the Transportation Commission of Wyoming and the Wyoming Department of Transportation each of which, taken either separately or jointly, shall be hereinafter referred to as "Department".

The permit is issued subject to existing rules and regulations of the Department and further subject to the Specific Instructions, Restrictions, Terms and Conditions included herein.

**PERMIT ISSUED TO**

Name: Wapiti Corp	Address: 215 Park Street, Suite 400		
City: Jackson	State: WY	Zip Code: 83001	Phone Number: 307-733-2399

Location description: (include: distance to encroachment behind face of curb, encroachment distance onto Department right-of-way, height of encroachment above sidewalk or ground, etc.) Please include a basic drawing/exhibit.

*Attached*

Email:

john@wapiticorp.com  
kathy@wapiticorp.com

Encroachment of Soil Nails into Public Right-of-Way, approximately 1' in low existing and

Distance from encroachment to edge of the nearest traffic lane:

14' 0" (4.27 m)

Parking lane width (if none, please state so):

None

Explanation of why this request needs to be granted:

Sharing to allow for safe excavation for footer/placement of hotel expansion

Any violation of the rules and regulations or Specific Instructions, Restrictions, Terms and Conditions shall cause automatic revocation of this permit and any and all improvements made pursuant to this permit may be removed by the Department at applicant, permittee or improvement owner's expense. The applicant, permittee or owner of the improvement understands that this permit **does not** confer a vested right in the lands of the public and where the Department determines it necessary to improve its highway and right-of-way, any improvement constructed on the public land will be moved or reconstructed by the applicant, permittee or improvement owner, their successors or assignees at the applicant, permittee or improvement owner's expense. The issuance of this permit to encroach and/or perform work on the public right-of-way is considered to be issued to the owner of the improvement placed upon the right-of-way even though such application is made by owner's agent.

**THE PERMITTEE SHALL COMPLY WITH THE FOLLOWING SPECIFIC INSTRUCTIONS, RESTRICTIONS, TERMS AND CONDITIONS:**

The maintenance of right-of-way within the encroachment area shall be the responsibility of the permittee.

The permittee shall be responsible for any loss or damage caused by the permittee's encroachment on the right-of-way. The permittee will hold the Department harmless from any law suits brought against the Department or permittee arising out of the permittee's encroachment on the right-of-way.

The Department reserves the right to construct, maintain, use, operate, relocate, reconstruct and renew such highway facilities as it may at any time, and may from time to time, desire within the limits of said right-of-way the right to use said right-of-way for any and all purposes.

The permittee shall at no time permit, construct, reconstruct or place any additional structures, facilities or other encroachments upon the permitted area of Department right-of-way without WRITTEN consent of the Department and the permittee shall at no time alter or reconstruct the present encroachment without prior written approval of the Department.

The permittee by receiving this permit understands, acknowledges and agrees that upon thirty (30) days written notice, the Department can cancel this permit where the right-of-way is necessary for construction, reconstruction or maintenance of the Department Highway and the permittee will move his encroachment from the right-of-way within sixty (60) days with no cost or expense to the Department and permittee agrees that if he fails to remove the encroachment within sixty days, the Department becomes a sole and complete owner of the encroachment and may cause its removal or destruction with no compensation due the permittee.

The permittee understands and acknowledges that violation of any of the Specific Instructions, Restrictions, Terms and Conditions are cause for automatic revocation of the permit and permittee may be notified to remove the encroachment immediately. Failure to remove encroachment for a period of sixty (60) days after notice will be cause for Department to remove encroachment without recourse by permittee.

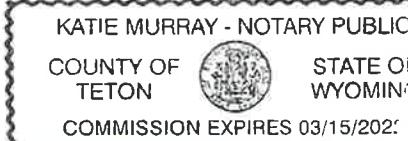
The permittee is not authorized any other or additional uses of the public right-of-way beyond those specified herein.

Permittee  
Initial Here:  
**JPK**

SPECIFIC INSTRUCTIONS, RESTRICTIONS, TERMS AND CONDITIONS HEREBY ACCEPTED BY:		
Permittee or Owner Signature: <u>John Kemp</u>	Date: <u>11/21</u>	
WYOMING DEPARTMENT OF TRANSPORTATION		
By (District Engineer Signature/ District Representative) <u>TORY THOMAS</u>	Date: <u>01/07/2021</u>	
FEDERAL HIGHWAY ADMINISTRATION (ON NHS ROADWAYS)		
By:	Title:	Date

## PERMITTEE ACKNOWLEDGEMENT

The State of: Wyoming)  
\_\_\_\_\_) SS



County of: Teton)

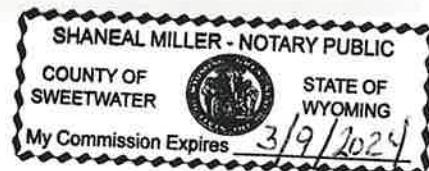
The foregoing instrument was acknowledged before me this: 7 day of: January 2021.

By: John Kemp witnesses my hand and official seal.

My commission expires: 3/15/2022 Notary Public Signature: Katie Murray

## WYDOT ACKNOWLEDGEMENT

The State of: Wyoming)  
\_\_\_\_\_) SS



County of: Sweetwater)

The foregoing instrument was acknowledged before me this: 7 day of: January 2021.

By: Tory Thomas witnesses my hand and official seal.

My commission expires: 3/19/2024 Notary Public Signature: Shanel Miller

## FHWA ACKNOWLEDGEMENT

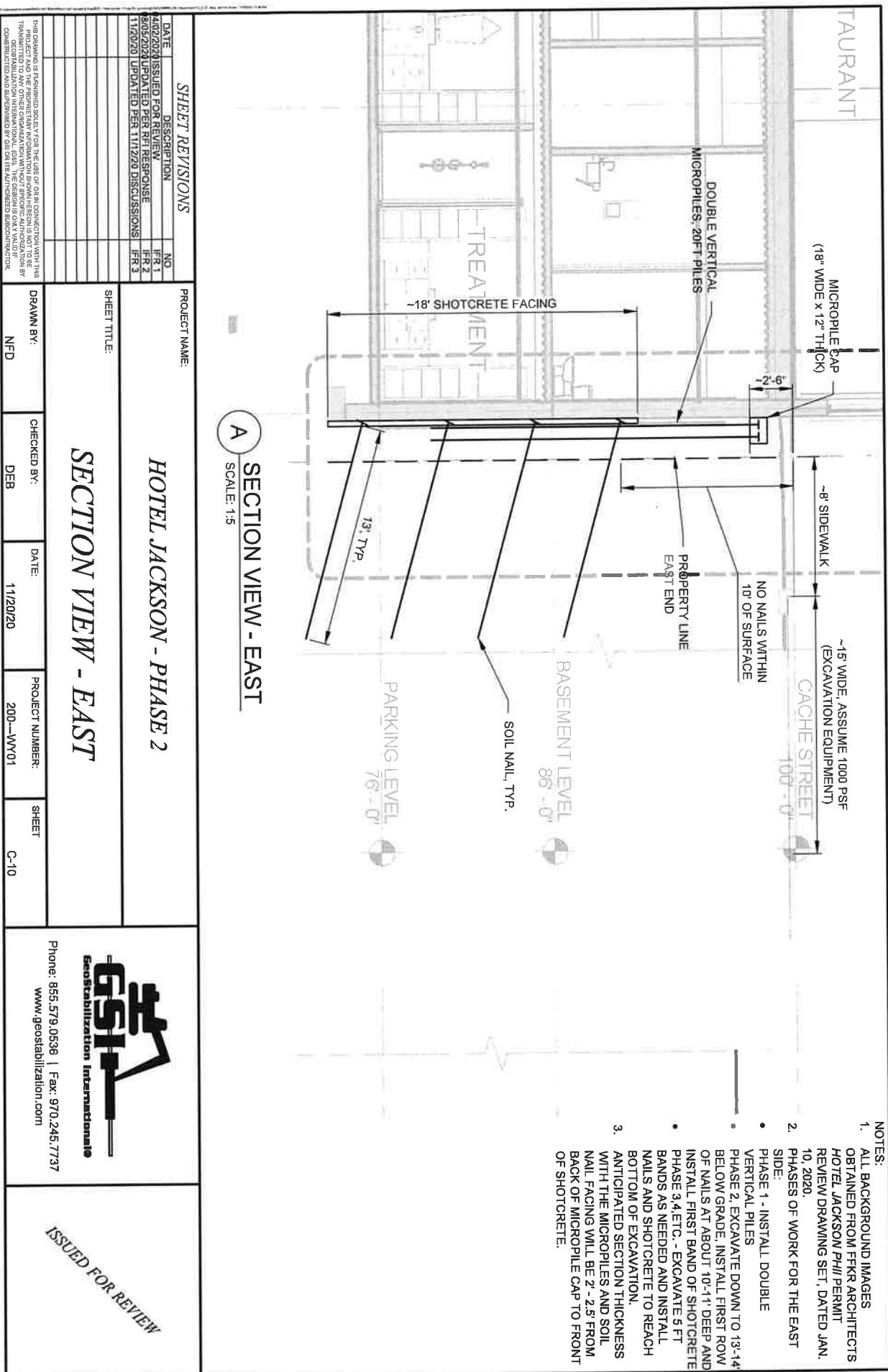
The State of: \_\_\_\_\_)  
\_\_\_\_\_) SS

County of: \_\_\_\_\_)

The foregoing instrument was acknowledged before me this: \_\_\_\_\_ day of: \_\_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ witnesses my hand and official seal.

My commission expires: \_\_\_\_\_ Notary Public Signature: \_\_\_\_\_





### Contact List – Local Business Distribution List

Entity: St. Johns Episcopal Church  
Address: 170 N. Glenwood  
Contact:  
Phone:  
Email:

Entity: Skinny Skis  
Address: 85 W. Deloney Ave  
Contact: Taylor Hall  
Phone: 307-733-6094  
Email: taylor@skinnyskis.com

Entity: American Legion Jackson Hole  
Address: 190 N. Cache Street  
Contact:  
Phone: 307-733-7462  
Email:

Entity: Teton Mountaineering  
Address: 170 N. Cache Street  
Contact: Michael Keating  
Phone: 307-733-3595  
Email: mikek@tetonmtn.com

Entity: Mangelsen Images of Nature Gallery  
Address: 170 N. Cache Street  
Contact: Dana Turner  
Phone: 307-733-9752  
Email: dturner@mangelsen.com

Entity: Liberty Burger  
Address: 160 N. Cache Street  
Contact: Joe Rice  
Phone:  
Email:

Entity: The Merry Piglets  
Address: 160 N. Cache Street  
Contact: Joe Rice  
Phone:  
Email:

Entity: SUDA  
Address: 140 N. Cache Street  
Contact: Dusty  
Phone:  
Email:

Entity: Moes Original BBQ  
Address: 140 N. Cache Street  
Contact: David Fogg  
Phone: 859-312-6079  
Email: dfogg@moesoriginalbbq.com

Entity: Berkshire Hathaway  
Address: 130 N. Cache Street  
Contact: Kurt, Jennifer, Kelly  
Phone: 307-733-4339  
Email: owners@bhhsjacksonhole.com

Entity: The Bunnery  
Address: 130 N. Cache Street  
Contact: Shauna DuPont  
Phone: 307-599-4032  
Email: shauna@bunnery.com

Entity: JC Jewlers  
Address: 130 N. Cache Street  
Contact: Jan Case  
Phone: 307-733-5933  
Email: info@jcjewlers.com

Entity: Hand Fire Pizza  
Address: 120 N. Cache Street  
Contact: <MANAGER>  
Phone: 307-733-7199  
Email: howdy@handfirepizza.com

Entity: Jackson Drug  
Address: 15 E. Deloney Ave  
Contact: Jessica Gill  
Phone: 307-201-1275  
Email: milkshake@jacksondrug.com

Entity: Five and Dime General Store  
Address: 75 N. Cache Street  
Contact: Steve Sykes  
Phone: 307-249-5005  
Email: fivedimejackson@gmail.com

Entity: Local  
Address: 55 N. Cache Street  
Contact: Josh Hirschmann  
Phone: 307-201-1717  
Email: josh@localjh.com

Entity: The Cowboy Bar  
Address: 25 N. Cache Street  
Contact:  
Phone:  
Email:

Entity: Jackson Trading Company  
Address: 25 W. Broadway  
Contact: Sean Love  
Phone: 307-733-5714  
Email: Sean@jtcjh.com

Entity: The Wort Hotel / Silver Dollar Bar  
Address: 50 N. Glenwood  
Contact: Debra Olson  
Phone: 307-733-2190  
Email: debolson307@gmail.com