



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: January 1 2021

Item #: P21-008

Planner: Paul Anthony

Phone: 733-0440 ext. 1303

Email: panthony@jacksonwy.gov

Owner

Teton County Hospital District
Jackson, WY 83001

Applicant:

Hoyt Architects
PO Box 7364
Jackson, WY 83001

REQUESTS:

The applicant is submitting a request for a Pre-Application located at 625 E. Broadway.

For questions, please call Paul Anthony at 733-0440, x1303 or email to the address shown below. Thank you.

Please respond by:

February 1, 2021 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:

tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (tstolte@jacksonwy.gov).

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Narrative Project Description. Please attach a short narrative description of the project that addresses:

Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title



Date: January 8th, 2021

Hoyt Architects
PO Box 7364
Jackson, WY 83002
Contact: Brett Bennett 307.733.9955 (brettb@hoytarchitects.design)

Pre-Application Conference Request (PAP)
Project Location: St. John's Health, 625 East Broadway, Jackson, WY 83001

Project Description:

As a result of the new Sage Living Center project, St. John's Health has decided to remove a significant portion of the existing Living Center. Since fire separation distances cannot be maintained between the existing Living Center and New Living Center, St. John's Health has decided to remove the existing structure up to the eastern portion containing a basement. Where the existing Living Center is removed, a surface parking area containing approximately 85 parking spaces will be added to help meet on-campus parking needs.

Please note that the Town of Jackson Planning Department's recommendation for this project is to apply for a preapplication conference with the Town Council.

Sincerely,

A handwritten signature in black ink, appearing to read "Brett Bennett" followed by a date.

Brett Bennett / Hoyt Architects

LETTER OF AUTHORIZATION

TETON COUNTY HOSPITAL DISTRICT

PO BOX 428, JACKSON, WY 83001

“Owner” whose address is: _____

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

TETON COUNTY HOSPITAL DISTRICT DBA ST. JOHN'S HEALTH

, as the owner of property

more specifically legally described as: Parcel: 22-41-16-27-4-00-003

StAddr: 625 E BROADWAY AVENUE Deed: 11D321 Location: 11D321 see also 59P448

(If too lengthy, attach description)

HEREBY AUTHORIZES HOYT ARCHITECTS LLC, PO BOX 7384, JACKSON, WY 83002 as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Paul Beupre

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: CEO

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)

COUNTY OF Teton

)
SS.

The foregoing instrument was acknowledged before me by Paul Beupre this 23 day of November, 2020.

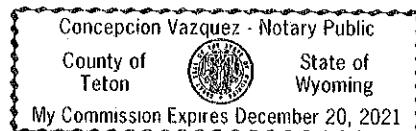
WITNESS my hand and official seal.

Concepcion Vazquez

(Notary Public)

My commission expires:

(Seal)



12.11.2020

TETON COUNTY HOSPITAL DISTRICT DBA ST. JOHN'S HEALTH
LIVING CENTER DEMOLITION PROJECT

WY OHLS PRELIMINARY PLAN REVIEW

APPLICABLE STATE CODES

WYOMING DEPARTMENT OF HEALTH
INTERNATIONAL BUILDING CODE - 2006 EDITION
INTERNATIONAL MECHANICAL CODE - 2006 EDITION
INTERNATIONAL PLUMBING CODE - 2006 EDITION
INTERNATIONAL FUEL GAS CODE - 2006 EDITION
INTERNATIONAL FIRE CODE - 2006 EDITION
NATIONAL ELECTRICAL CODE - 2008 EDITION
WYOMING DEPARTMENT OF HEALTH CONSTRUCTION RULES AND REGULATIONS FOR HEALTHCARE PROJECTS - 2008, APRIL
WYOMING DEPARTMENT OF HEALTH LICENSURE AND REGULATIONS FOR HOSPITALS
NFPA 101 LIFE SAFETY CODE - 2008 EDITION & 2012 EDITION
NFPA 99 STANDARD FOR HEALTH CARE FACILITIES - 2005 EDITION & 2012 EDITION
NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM - 2002 EDITION
NFPA 72 NATIONAL FIRE ALARM CODE - 2002 EDITION
AIA GUIDELINES FOR DESIGN AND CONSTRUCTION OF HEALTH CARE FACILITIES - 2006 EDITION
ICC/ANSI A117.1-1998 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

WYOMING STATE FIRE MARSHAL

INTERNATIONAL BUILDING CODE - 2006 EDITION
INTERNATIONAL FIRE CODE - 2006 EDITION
INTERNATIONAL MECHANICAL CODE - 2006 EDITION
INTERNATIONAL FUEL GAS CODE - 2006 EDITION
NFPA 101, INCLUDING ANNEX A, 2000 EDITION.
NATIONAL ELECTRICAL CODE, 1999 EDITION.

PROVISIONS OF THE IBC, IRC, IMC AND IFGC BUT ONLY TO THE EXTENT THAT THE REFERENCED PROVISIONS APPLY TO FIRE AND LIFE SAFETY ISSUES
PROVISIONS OF THE IEC, IPC AND IECC REFERENCED IN THE IBC, IFC, IMC AND IFGC ARE SPECIFICALLY NOT ADOPTED HEREIN

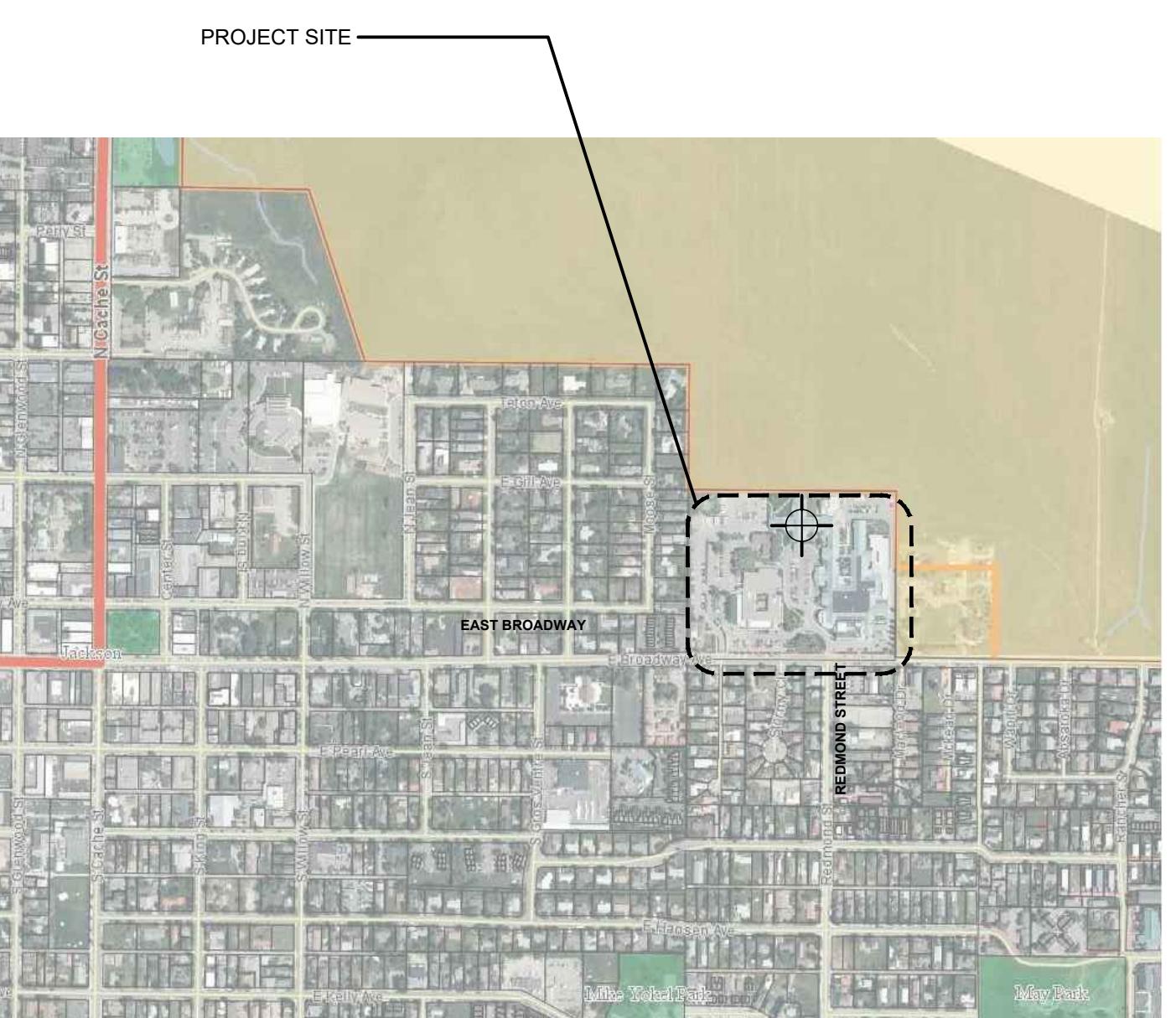
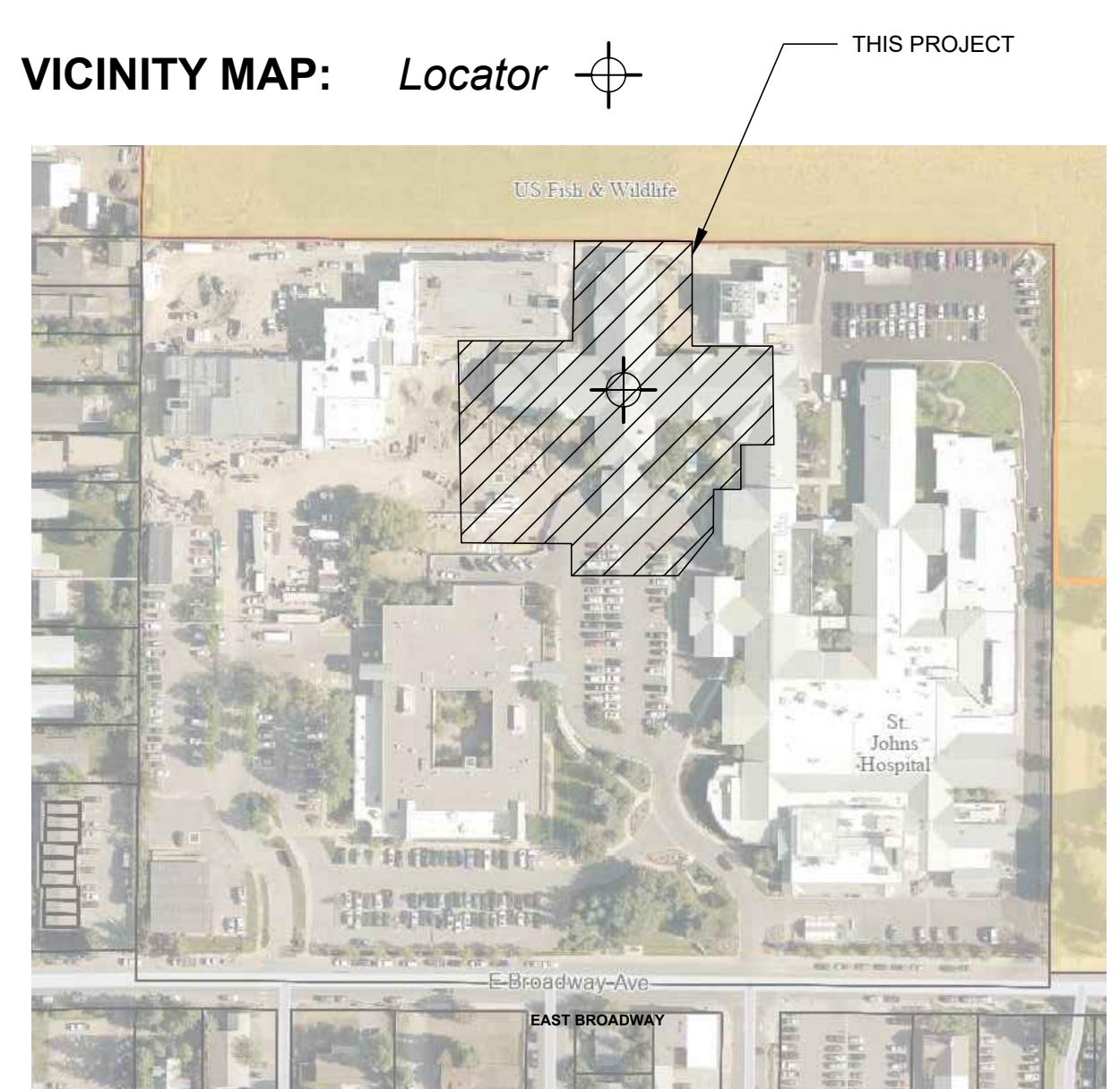
APPLICABLE LOCAL CODES - TOWN OF JACKSON
TOWN OF JACKSON DOES NOT HAVE JURISDICTION OVER THIS PROJECT (EXCEPTION: ELECTRICAL)
OCCUPANCY CLASSIFICATION
OCCUPANCY TYPE (IBC)
GROUP I-2, INSTITUTIONAL (IBC 308.3)
OCCUPANCY TYPE (LSC)
NEW AND EXISTING HEALTH CARE OCCUPANCIES (LSC CHAPTER 18/19)

CONSTRUCTION TYPE
TYPE 1B, (IBC TABLE 601) FULLY SPRINKLERED
TYPE 2 (2.2.2) (LSC 18.1.6.2)

SEISMIC DESIGN CATEGORY D
STRUCTURAL FRAME: 2 HRS
BEARING WALLS: 2 HRS
ROOF CONSTRUCTION: 1 HR

SPECIAL INSPECTIONS
IBC 1707.8 ITEM 4 - ANCHORAGE OF ANY ELECTRICAL EQUIPMENT ASSOCIATED WITH EMERGENCY OR STANDBY POWER. SEISMIC DESIGN CATEGORY D
IBC 1704.12 - EXTERIOR INSULATION AND FINISHED SYSTEMS (EIFS) SPRAYED FIRE RESISTIVE MATERIALS
IBC 1704.10/IFC 073.1 - SPRAYED ON FIRE RESISTIVE MATERIAL FOR STRUCTURAL FRAMING SHALL BE INSPECTED TO VERIFY ITS FIRE RESISTIVE RATING HAS BEEN MAINTAINED

PROJECT LOCATION
625 EAST BROADWAY
JACKSON, WY 83001



ST JOHN'S HEALTH MAIN CAMPUS

NORTH EAST AREA - TOWN OF JACKSON WYOMING

OWNER

TETON COUNTY HOSPITAL DISTRICT
ST JOHN'S HEALTH
PO BOX 428
JACKSON, WY 83001
307.733.3636
CONTACT: JAMES JOHNSTON

ARCHITECT

HOYT ARCHITECTS
PO BOX 7364
JACKSON, WY 83002
307.733.9955
CONTACT: BRETT BENNETT

CIVIL ENGINEER

JORGENSEN ENGINEERS
1315 HWY 89S., SUITE 201
PO BOX 9550
JACKSON, WY 83002
307.733.5150
CONTACT: BRIAN BARNEY

STRUCTURAL ENGINEER

JORGENSEN ENGINEERS
1315 HWY 89S., SUITE 201
PO BOX 9550
JACKSON, WY 83002
307.733.5150
CONTACT: JASON MANN

MEP ENGINEER

CATOR, RUMA & ASSOCIATES
896 TABOR STREET
LAKEWOOD, CO 80401
303.232.6200
CONTACT: PAUL COFFEY

LANDSCAPE ARCHITECT

CAIRN LANDSCAPE ARCHITECTS
1170 W. BRANGUS DR.
JACKSON, WY 83001
307.264.0939
CONTACT: HANS FINCH

SHEET INDEX

GENERAL
G101 COVER SHEET
CIVIL
C1.2 DEMOLITION PLAN
LANDSCAPE
L101 LANDSCAPE PLAN
ARCHITECTURAL
SP101 SITE PLAN
A101 ARCHITECTURAL PLANS AND ELEVATIONS
A201 ELEVATIONS
MECHANICAL/PLUMBING
M01.01 MECHANICAL LEGENDS & GENERAL NOTES
M01.02 PARTIAL FIRST FLOOR MECHANICAL DEMO PLAN
M1.01 PARTIAL FIRST FLOOR MECHANICAL NEW PLAN
P01.02 PARTIAL FIRST FLOOR PLUMBING DEMOLITION PLAN
ELECTRICAL
E0.00 ELECTRICAL NOTES, LEGENDS, & SCHEDULES
E0.01 FIRST FLOOR ELECTRICAL DEMO PLAN
E1.01 FIRST FLOOR ELECTRICAL RENO PLAN
E2.01 ELECTRICAL ONE-LINE DIAGRAMS

NOTE: FURNITURE, FIXTURES, AND EQUIPMENT BY OWNER

SITE CONSTRUCTION NOTES

1. Refer to Civil drawings and coordinate all trades
2. Refer to Landscape drawings and coordinate all trades
3. Refer to Construction Staging drawings and coordinate all trades
4. Refer to all drawings and coordinate all utility locations and existing conditions
5. Monitor access, fencing and erosion control throughout the entire term of the project as required.
6. Coordinate temporary conditions with St. John's Health Facility manager throughout the entire term of the project.
7. Use caution to minimize the risk of damage and disturbance throughout the entire term of the project.
8. Notify the Architect and St. John's Health Facility manager of existing conditions and uncovered constructions that conflict with the drawings.

GENERAL CONSTRUCTION NOTES

1. IT IS EACH CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW AND BECOME FAMILIAR WITH ALL PERTINENT DOCUMENTS AVAILABLE REGARDING THE CONSTRUCTION OF THIS PROJECT. ANY AMBIGUITY OR DISCREPANCY WHICH MAY EXIST IN THE DRAWINGS OR SPECIFICATIONS SHALL BE RESOLVED BY THE ARCHITECT WITH THE OWNER. CLARIFICATIONS AND INTERPRETATIONS IN A TIMELY MANNER. THE CONTRACTOR'S FAILURE TO DISCOVER AND NOTIFY THE ARCHITECT OF SAID AMBIGUITY OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY RELATING TO THE MATTER.
2. CHANGES OR DEVIATIONS FROM THE DOCUMENTS MADE BY THE CONTRACTOR OR THEIR SUPPLIERS, WITHOUT THE APPROVAL OF THE ARCHITECT, ARE UNAUTHORIZED CHANGES TO THE WORK AND AS SUCH SHALL RELIEVE THE ARCHITECT OF ALL RESPONSIBILITY FOR THE CONSEQUENCES ARISING THEREFROM.
3. PRIOR TO BEGINNING ANY NEW WORK OR INSTALLATION, IT EACH CONTRACTOR'S RESPONSIBILITY TO INSPECT PREVIOUSLY INSTALLED WORK AND/OR SUBSTRATE AND VERIFY THAT ALL SUCH WORK IS SATISFACTORY AND COMPLETE TO THE REQUIRED LEVEL OF ACCEPTANCE TO ALLOW FOR THE START OF SUBSEQUENT WORK. THE COMMENCEMENT OF ANY WORK WHICH IS NOT SATISFACTORILY INSTALLED OR WHICH IS NOT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. EACH CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO ESTIMATING THE COST OF THE SCOPE OF WORK AND PRIOR TO ORDERING OR FABRICATING MATERIALS OR BEGINNING ANY CONSTRUCTION RELATED ACTIVITIES FOR THE PURPOSE OF BECOMING FULLY FAMILIAR WITH THE SITE AND ALL EXISTING CONDITIONS WHICH MIGHT IMPACT THE COST OF WORK.
5. ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE REQUIREMENTS OF ALL REGULATORY AGENCIES HAVING JURISDICTION OVER THE PROJECT. UNDER NO CONDITION DOES THE ARCHITECT HAVE RESPONSIBILITY FOR THE DESIGN OR METHODS USED BY A CONTRACTOR IN THE PERFORMANCE OF THE WORK OR FOR CONDITIONS OF THE SITE AT THE JOB SITE.
6. CONTRACTOR SHALL COORDINATE ALL FINISHES, MATERIALS, AND COLORS WITH THE ARCHITECT AND OWNER AND INTERIOR DESIGNERS.
7. DIMENSIONS AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING DRAWINGS AND/OR FIELD SURVEYS. ALL EXISTING DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE ON DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PERTAINING TO THE EXISTING CONDITIONS, INCLUDING ALL WORK ALREADY IN PLACE, PRIOR TO ORDERING OR FABRICATING MATERIALS, AND PRIOR TO START OF CONSTRUCTION.
8. CONTRACTORS SHALL KEEP PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND DEBRIS.
9. DO NOT SCALE THE DRAWINGS, IF QUESTIONS ARISE AS TO DIMENSIONAL REQUIREMENTS, CONTACT THE ARCHITECT FOR CLARIFICATION.
10. ALL MATERIALS, FIXTURES AND EQUIPMENT PROVIDED UNDER THIS CONTRACT ARE TO BE PROVIDED IN NEW CONDITION WITH FULL MANUFACTURER'S WARRANTY, UNLESS OTHERWISE SPECIFIED BY THE OWNER, AND ARE TO BE STORED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. DAMAGED ITEMS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

AREA CALCULATIONS

EXISTING BUILDING TO BE DEMOLISHED	18,000 SF
EXISTING TO BUILDING REMAIN	5,100 SF
APPROXIMATE SITE AREA	59,200 SF

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST. JOHN'S HEALTH



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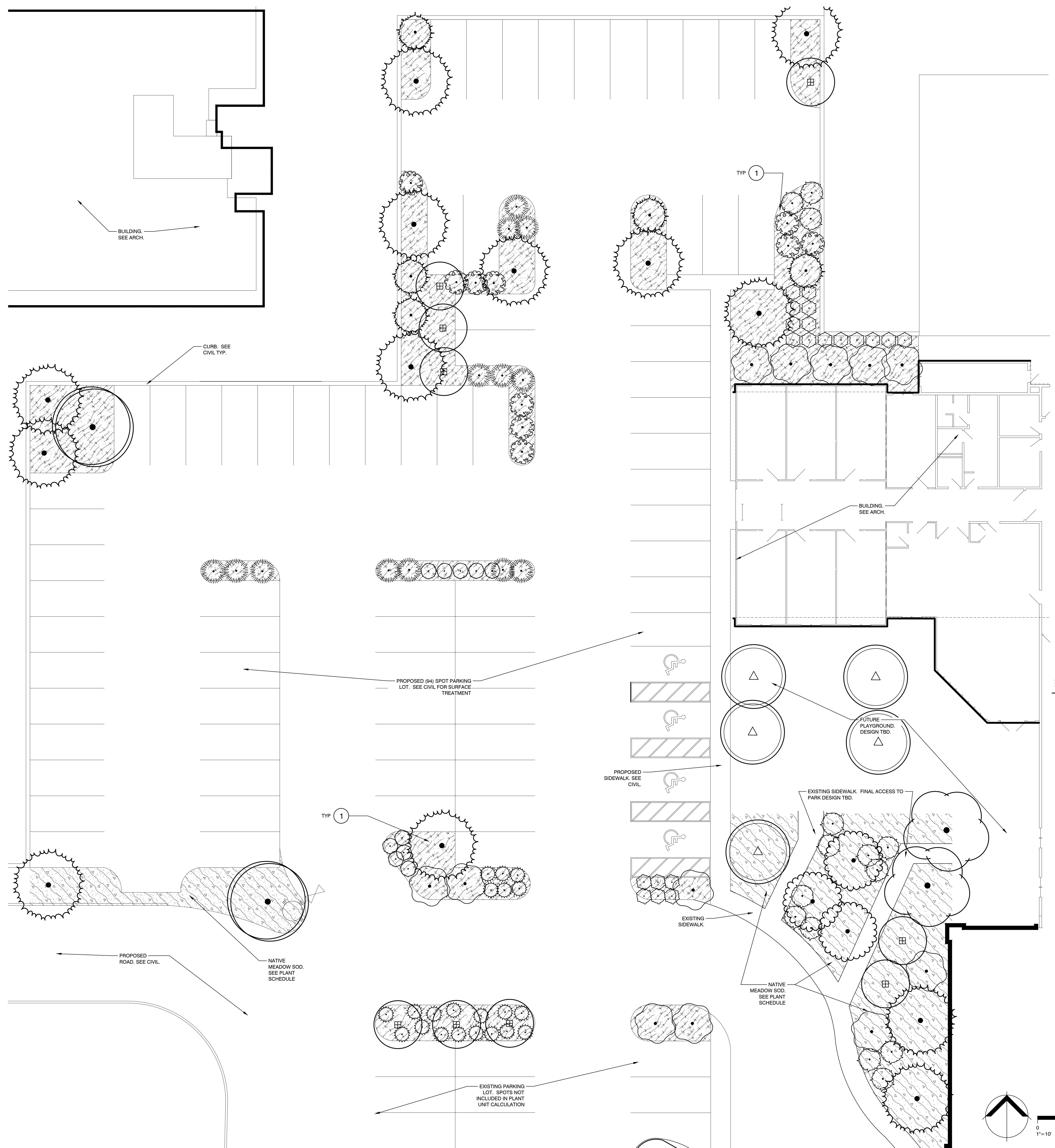
PRELIMINARY SUBMITTAL

12.11.2020
DRAWN BY |
CHECKED BY |
REVISIONS

COVER SHEET

G101

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Betula nigra	River Birch	3" Cal.	B&B	2	
	Picea pungens	Colorado Spruce	8' Ht.	B&B	13	Green Variety
	Pinus aristata	Bristlecone Pine	8' Ht.	B&B	5	
	Populus angustifolia	Narrowleaf Poplar	3" Cal.	B&B	3	
	Populus tremuloides	Quaking Aspen	3" Cal.	B&B	9	
EXISTING TREES TO REMAIN	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Malus x	Crabapple	---		5	Existing tree to remain
	Picea pungens	Colorado Spruce	---		2	Existing tree to remain
	Populus tremuloides	Quaking Aspen	---		2	Existing Trees to remain
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Amelanchier alnifolia	Serviceberry	6'	B&B	14	
	Cornus sericea	Red Twig Dogwood	5 gal.		20	
	Crataegus douglasii	Douglas Hawthorn	6'	B&B	13	
	Juniperus scopulorum	Rocky Mountain Juniper	5 gal.		21	
	Populus tremuloides	Quaking Aspen	Clump	B&B	12	
	Prunus virginiana	Chokecherry	6'	B&B	10	
	Rosa woodsii	Mountain Rose	5 gal.		10	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Native Meadow Sod	Native Meadow Sod	sod		3,032 sf	From Pocatello Sod

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
①	2" DEEP BARK MULCH. COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT.	4,401 sf	

PLANT UNIT SUMMARY AND BOND REQUIREMENTS

All landscaping will comply with Div. 5.5 of Town of Jackson LDRs. The landscape material shown meets & exceeds the (12) Plant Unit requirements for a 94 spot parking lot. A bond for the (12) Plant Unit requirement and irrigation will be provided before the Building Permit is issued. The bond amount will be as follows:

(12) Plant Unit Required
Average Value of (1) Plant Unit = \$2,600.00
Approximate Cost to Irrigate (1) Plant Unit = \$2,300.00
Total Cost of Plant Unit & Irrigation = \$4,900.00
Total Cost x 125% for Bond Amount = \$73,500
All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller - See Planting & Irrigation Notes

LANDSCAPE SURFACE AREA REQUIREMENTS

All landscaping will comply with Div. 5.5 of Town of Jackson LDRs. The landscape material shown meets & exceeds the (0) LSR requirement for the P/S/P zone.

EROSION CONTROL NOTES

- Site grading and erosion control measures shall be established and at all times maintained in accordance with the approved grading and erosion control permit and other applicable local, state and federal requirements.
- All public ways shall be kept free and clear of debris and materials.
- The operator shall operate in accordance with the state of wyoming department of environmental quality wydres requirements for stormwater for small construction activities.
- The operator shall conduct and document self monitoring and inspections as determined by the erosion control permit.
- The operator shall review the condition of all erosion control measures at least once a week and after each rainfall and keep a record of all inspections.
- Discharges which include material other than storm water associated with construction activities, must be controlled with an nenes permit (other than the general permit) issued for the discharge.
- Concrete wash water shall not be discharged to waters of the state or to storm sewer systems.
- Barriers, including but not limited to other chemicals, shall have adequate protection so as to contain all spills and prevent any spilled materials from entering waters of the state or municipal storm sewer systems.
- Water the disturbed portions of the site as necessary to control fugitive dust.
- Topsoil and waste material shall be transported in a covered container and disposed of at an authorized facility.
- Sequence earth moving operations to minimize stockpiling to the extent practical.

IRRIGATION NOTES

- Irrigation system is to be design & build by Contractor. All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller. All trees, shrubs, and perennials shall be drip irrigated and all seed areas shall be irrigated with a spray or rotor system. All existing conifers within irrigated area shall be drip irrigated. Shrubs and trees are to be placed on separate drip zones with no overlap. Contractor shall demonstrate system coverage prior to acceptance and before plant material installation. Contractor shall provide a reproducible as-built drawing of installed irrigation system at conclusion of project.

2. The irrigation system shall be operational prior to plant installation or temporary irrigation system shall be provided during installation. The cost of temporary irrigation shall be approved by the Landscape Architect prior to plant installation.

3. The design pressure of the system shall have a minimum pressure of 60 PSI. The Contractor is responsible to field verify pressures prior to commencing any construction and notify Landscape Architect of any variance from the required pressures.

4. The irrigation system shall be designed to irrigate the landscape area using watering methods determined by the Landscape Architect. Establishing coverage of native seed will require up to twice as much irrigation for a four to six week period. Required projected weekly application rates after establishment for native seed is 1.00" per week.

The watering duration and schedule will be to adjust to seasonal changes and weather conditions above and below the irrigation system. Due to shrubs being planted in native seed, the Contractor will work with Landscape Architect to adjust shrub drip zones during establishment period to prevent overwatering.

5. All irrigation equipment is to be installed with valves, lines and fittings landscaped areas. Valves shall be located to be accessible in field work. Landscape Architect. All valve boxes shall be placed a minimum of 2'-0" from edge of any paved surfaces. Valve boxes shall be placed a minimum of 3'-0" from the centerline of any drainage swale. Contractor shall fine tune/adjust irrigation system to reduce/avoid overspray onto hard surfaces by adjusting nozzle direction and nozzle radius.

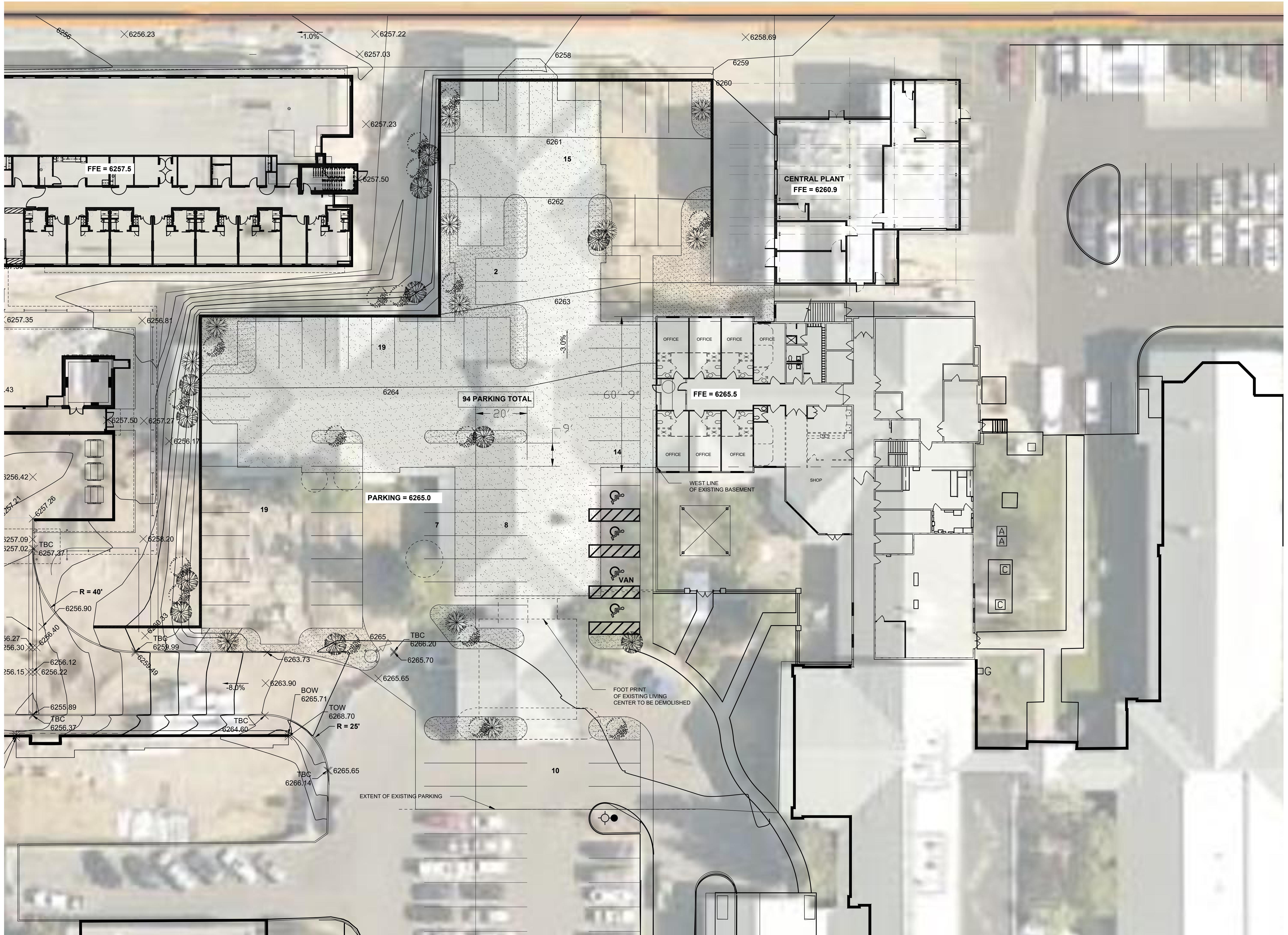
6. All manhole and control wires shall be run paved or proposed paved surface, irrigation ditch, or the existing dirt road shall be installed in sleeves.

PLANTING NOTES

- Refer to Civil Engineer's utility and grading plans. If site conditions vary from what is shown, contact the Landscape Architect and Civil Engineer for direction before proceeding.
- Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site condition, contact the Landscape Architect for direction before proceeding.
- Excavation near underground utilities shall be done carefully and, if necessary, by hand. The Contractor is fully responsible for this work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the Owner.
- Obtain approval of final grading from Landscape Architect prior to installing any plant material. The final grades of planting areas and lawns shall be 1/2 inches below adjacent edging or paving. Confirm mulch depth and whether lawns are to be seed or sod.
- Confirm all plant counts and square footage. Quantities shown are provided by Owner on plans, then the Landscape Architect will verify counts.
- Confirm any plant material to be used on site. Obtain supplemental topsoil displaced from naturally well-drained construction or mining sites where topsoil occurs at least 4 inches deep. Do not obtain from agricultural lands, bogs, or marshes.
- For areas to be seed or sod and/or to produce planting soil for areas indicated on details, amend existing topsoil with organic compost to a ratio of 1 part compost to 4 parts topsoil by volume.
- Compost mulch shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5-8.0; moisture content 35 to 50 percent by weight; 100 percent passing through 1-inch sieve; soluble salt content of 2 to 5 decimoles/m³; not to exceed 0.5 percent inert contaminants and free of substances toxic to plants; organic matter content not less than 50 percent by weight; and CEC content not less than 10 mequiv/100 g.
- The Landscape Architect shall review all plant materials at the source or nursery or by photographs provided by Contractor prior to shipment. The Landscape Architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site.

- Thoroughly align and space plant materials as indicated in these notes, drawings, and details. The spacing of plant materials is to be determined by the Landscape Architect on site prior to installation. The Contractor is responsible for planting or marking the location of all plant materials on site for review by the Landscape Architect. The Landscape Architect reserves the right to adjust the exact locations of plants on site.
- All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
- No pruning of existing or newly planted trees or shrubs shall be allowed without the direction and approval of the Landscape Architect.
- For ball & burlap trees, remove burlap from top of rootball and entire wire basket as tree pits are backfilled.
- All installed trees shall be staked. The Landscape Architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
- During construction and prior to final acceptance, Contractor shall observe the project site for the growth of noxious weeds. Contractor shall report the growth of noxious weeds to the Teton County Weed and Pest District Office. Contractor and Owner shall implement a weed control program to control noxious weeds.
- All disturbed areas not receiving other planting treatment shall be seeded with specified or subdivision-specific seed mix.
- Apply 16-16-8 fertilizer at the rate of 15 lbs per 1,000 SF and till into top 4" of areas to receive seed or sod.
- Planting period for seed and sod shall be immediately after finish grading and irrigation installation are accepted but no later than September 30 for sod. Seed shall be installed after September 30 or no later than June 1.

- Final seed and soil quantities shall be calculated by Contractor based on sod perimeter marked in field by Landscape Architect, and all remaining areas of disturbance for seed.



SITE CONSTRUCTION NOTES	
1.	Refer to Civil drawings and coordinate all trades
2.	Refer to Landscaping drawings and coordinate all trades
3.	Refer to Construction Staging drawings and coordinate all trades
4.	Refer to drawings and coordinate all utility locations and existing conditions.
5.	Maintain all access, fencing and erosion control throughout the entire term of the project as required.
6.	Coordinate with the construction manager of the St. John's Health Facility Manager throughout the entire term of the project.
7.	Understand and maintain the limits of construction and disturbance throughout the entire term of the project.
8.	Notify the Architect and St. John's Health Facility manager of existing conditions and uncovered constructions that conflict with the drawings.

RM #	ROOM NAME	FLOOR	BASE	WALLS				ADD'L NOTES
				N	E	S	W	
100	SHOP	SV1	CB1	PT1	PT1	PT1	PT1	
101	OFFICE	CT1		PT1	PT1	PT1	PT1	
102	OFFICE	CT1	CB1	PT1	PT1	PT1	PT1	
103	OFFICE	CT1	RB1	PT1	PT1	PT1	PT1	
104	OFFICE	CT1						
105	OFFICE	CT1						
106	OFFICE	CT1						
107	OFFICE	CT1						
108	HALL	CT1						
109	WATER CLOSET							
110	WATER CLOSET							
111	WATER CLOSET							
112	SHOWER							
113	LOCKER							
114								
115								
116	VESTIBULE							

PLAN LEGEND

L 'CG' CORNER GUARD
P2 FINISH PLACEMENT CALL OUT
TRX FLOORING TRANSITION

ROOM FINISH ABBREVIATIONS

FLOOR FINISHES
EX - EXISTING TO REMAIN
ME# - MATCH EXISTING
CT# - COVE TRIM
LV# - LUXURY VINYL PLANK
SV# - SHEET VINYL

FLOOR TRANSITIONS
ME# - MATCH EXISTING
TR# - FLOOR TRANSITION

BASE FINISHES
EX - EXISTING TO REMAIN
ME# - MATCH EXISTING
RIB# - RIBBED BASE
CB# - COVE BASE
TBL# - TILE BASE

WALL FINISHES
EX - EXISTING TO REMAIN
ME# - MATCH EXISTING
PT# - PAINT
WT# - WALL TILE

WALL PROTECTION

CG# - CORNER GUARD

CASEWORK

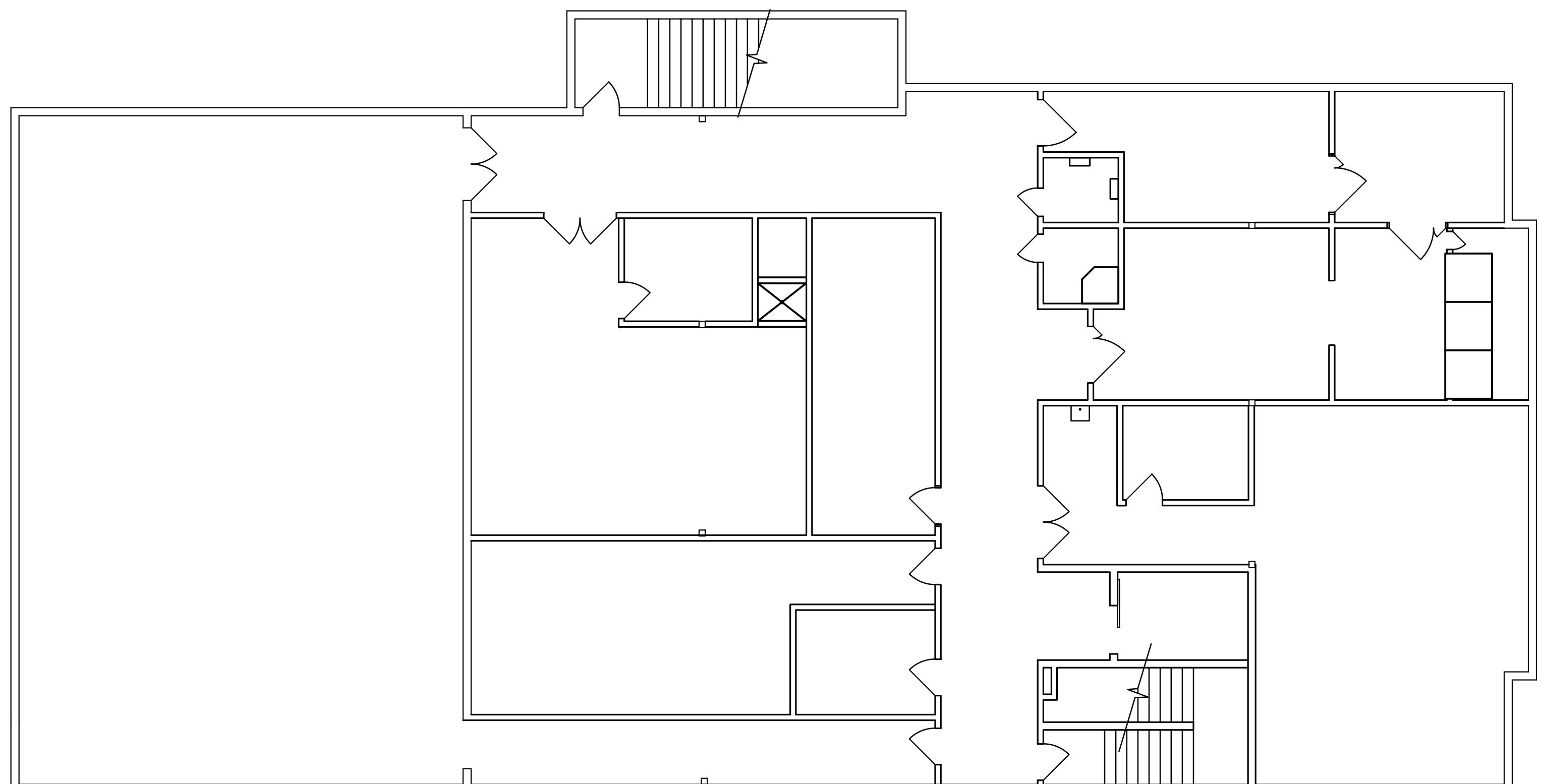
PL - PLASTIC LAMINATE
SS - SOLID SURFACE

GENERAL FINISH NOTES

1. PATCH AND REPAIR EXISTING FINISHES AS NEEDED WHERE DOORS ARE INFILLED OR REMOVED. FINISH ALL NEW WALLS TO MATCH ADJOINING EXISTING FINISHES.
2. COVE SHEET VINYL BASE #4 AND TRIM WITH ALUMINUM TRIM CAP.
3. WALL TILE SEAM TO BE PAINTED TO MATCH EXISTING PAINT AS NOTED ABOVE.
4. WALL TILE TO BE INSTALLED IN A MATTEN PATTERN. TO MATCH EXISTING FLOORING, VERIFY.
5. EXISTING MATERIALS IN THIS ROOM TO REMAIN AND BE PROTECTED. PATCH AND REPAIR ANY DAMAGED FINISHES.
6. BULLNOSE TRIM PIECE TO MATCH FIELD TILE.
7. MATCH FLOORING AND TRANSITIONS TO EXISTING MATERIALS. PATCH AND REPAIR AND DAMAGE TO EXISTING FINISHES.

2006 IBC TABLE 803.5

INTERIOR WALL AND CEILING FINISH REQUIREMENTS FOR OCCUPANCY I-2 FULL
SPRINKLED
EXIT ENCLOSURES AND EXIT PASSAGE WAYS: CLASS B
CORRIDORS: CLASS B
ROOMS AND ENCLOSED SPACES: CLASS B



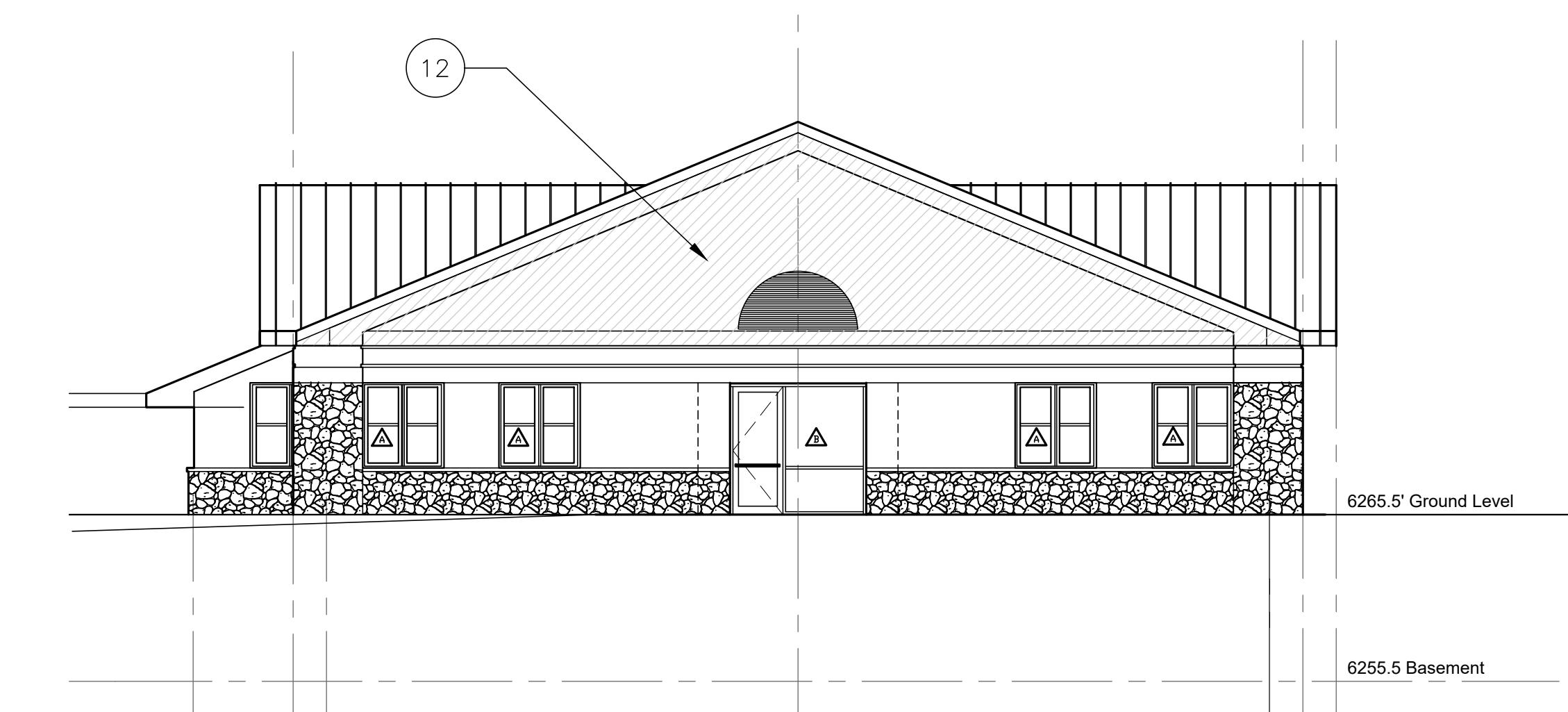
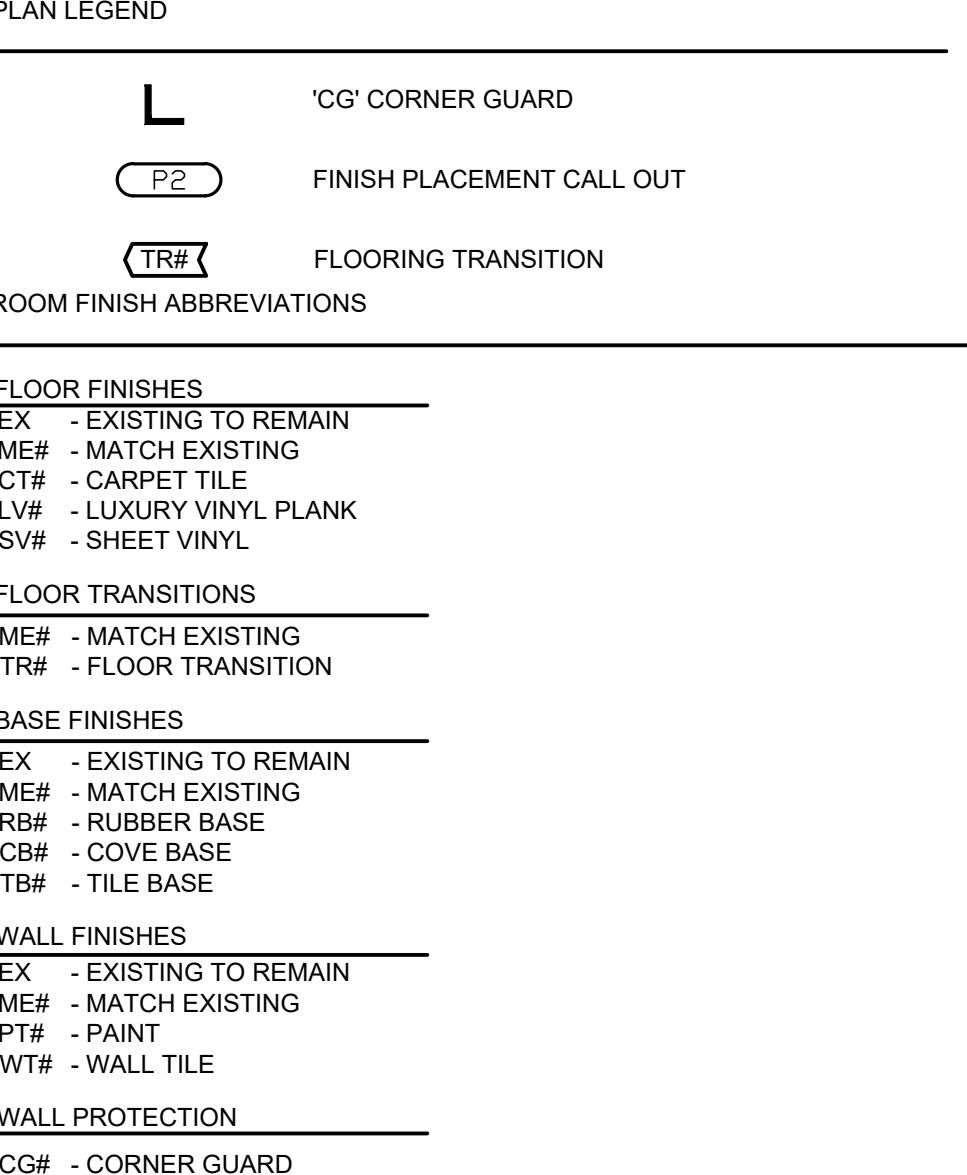
EXISTING BASEMENT PLAN

THIS PLAN PROVIDED FOR REFERENCE.
NO MODIFICATIONS THIS FLOOR

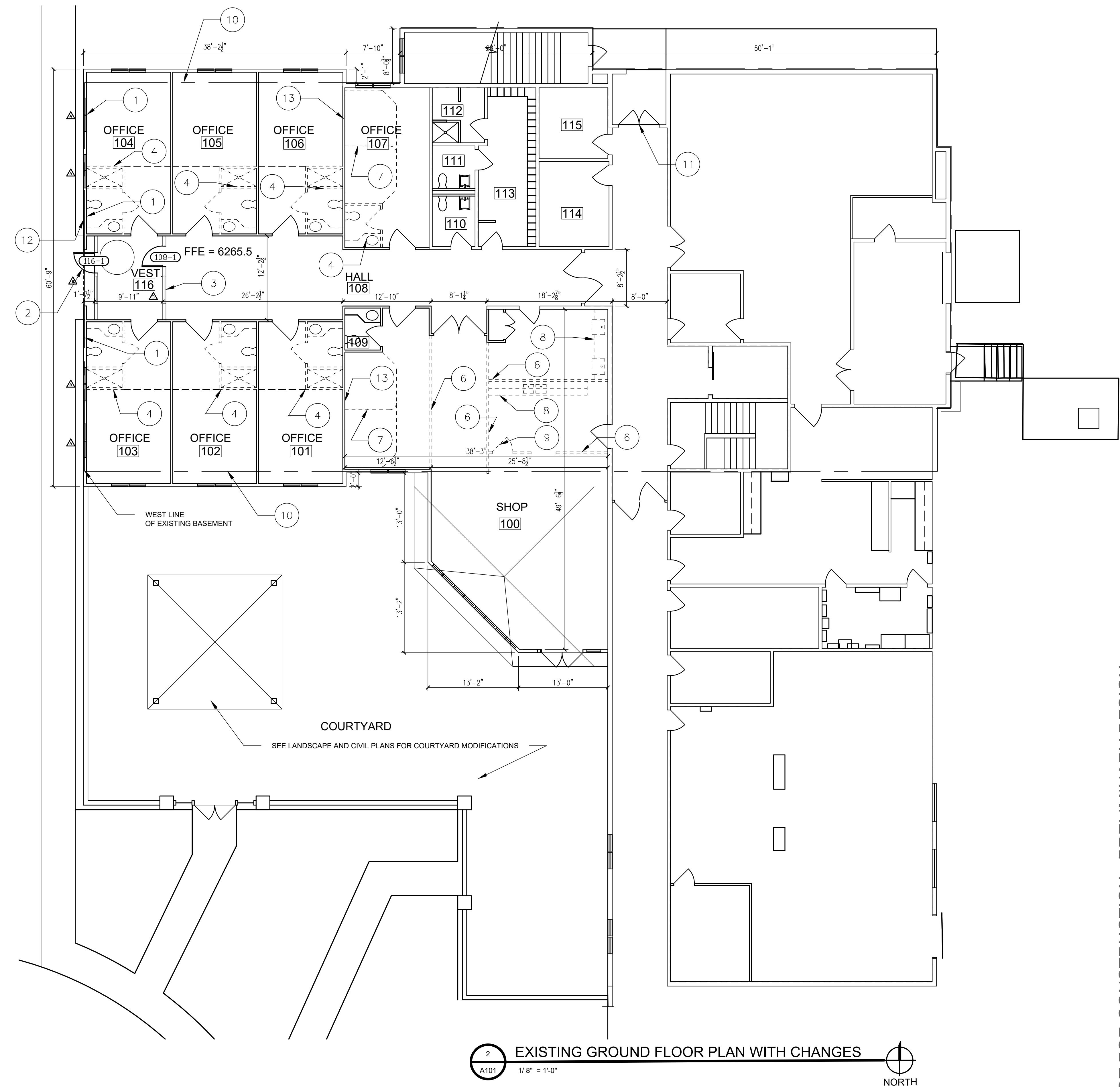
PLAN DEMOLITION AND CONSTRUCTION NOTES

1. Existing shear wall to remain. See exterior elevation for exterior materials. See structural.
2. New exterior storefront partition w/ exit door see schedules.
3. New interior storefront partition w/ exit door see schedules.
4. Existing restroom - fittings, fixtures, electrical, finishes to be removed. Replace and patch finishes as per finish schedule.
5. Replace door frame with carriage door as per finish schedule.
6. Existing walls to be removed - patch as required see finish schedule and structural.
7. Existing tracks and curtains to be removed - patch as required see finish schedule.
8. Existing cabinets, plumbing and finishes to be removed. See finish schedule and plumbing. Patch as required.
9. Existing door to be removed. Patch as required.
10. Existing basement below.
11. Maintain existing walls, fire separation walls, doors, fire sprinkler systems and other components to maintain code compliance during demolition and construction.
12. Frame new gable wall above existing shear wall to support roof diaphragm and extended overhang. See detail -A-- and structural.
13. Existing shear wall to remain.

NOTE: DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY. VERIFY EXISTING CONDITIONS IN THE FIELD.



PROPOSED WEST ELEVATION

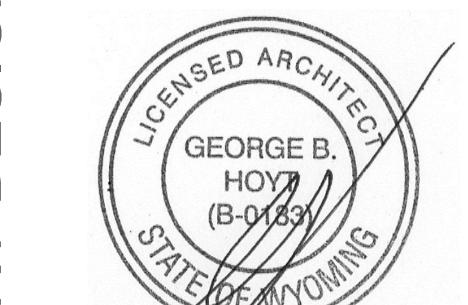


EXISTING GROUND FLOOR PLAN WITH CHANGES

NORTH
REF.

FLOOR PLAN AND
ELEVATION
A101

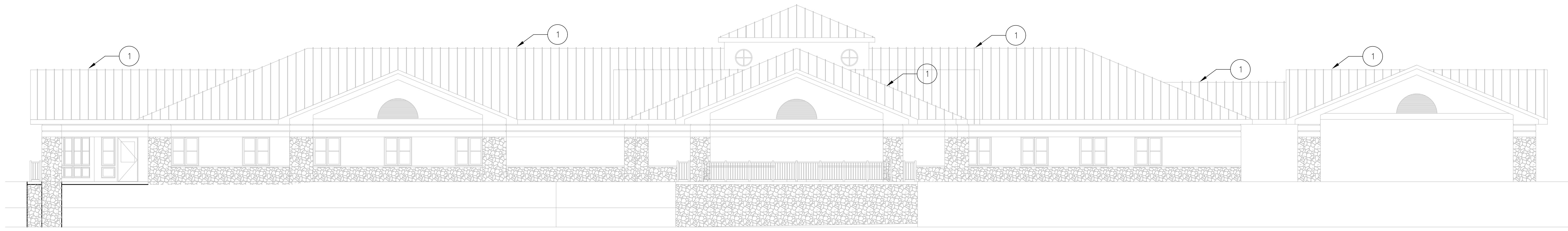
625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST. JOHNS HEALTH



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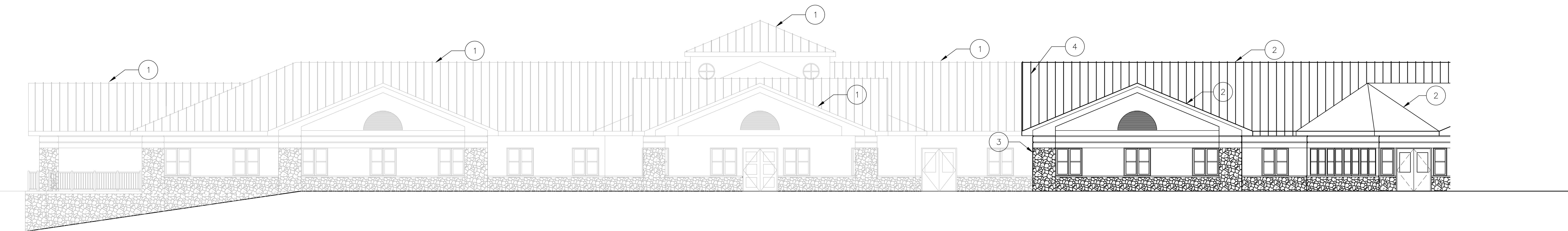
EXISTING WEST ELEVATION
A201
1/8" = 1'-0"



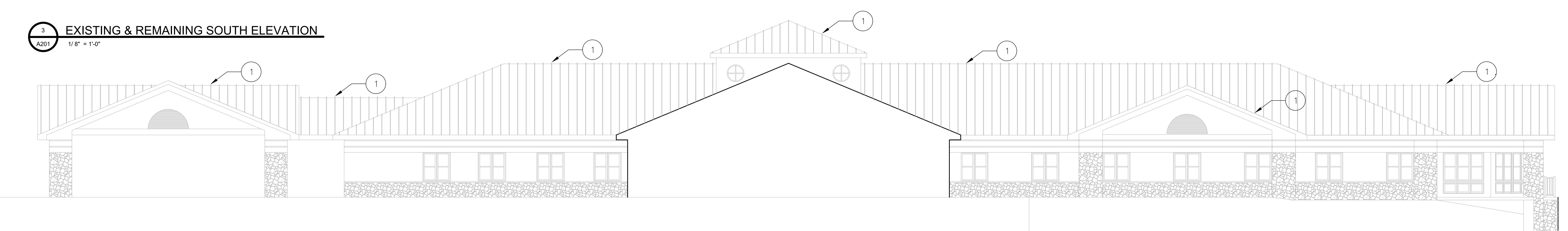
EXISTING & REMAINING NORTH ELEVATION
A201
1/8" = 1'-0"

ELEVATION DEMOLITION AND CONSTRUCTION NOTES

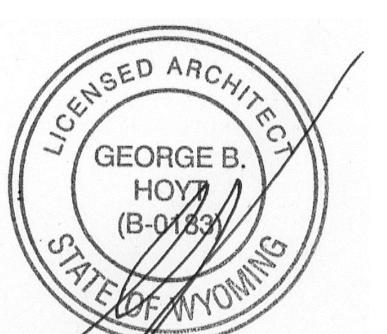
1. Existing Construction to be demolished.
2. Existing Construction to remain.
3. Existing shear wall to remain. See exterior elevation -/A- for exterior materials. See structural.
4. Extend roof overhang. See detail -/A- and structural.



EXISTING & REMAINING SOUTH ELEVATION
A201
1/8" = 1'-0"



EXISTING EAST ELEVATION
A201
1/8" = 1'-0"

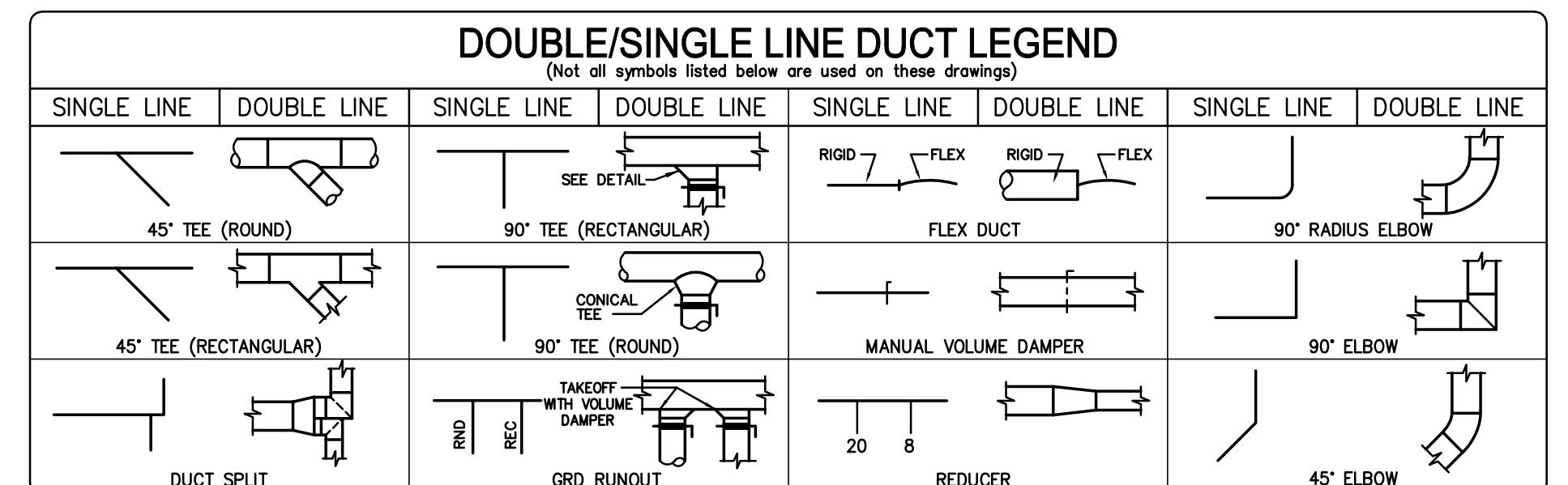


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PLUMBING LEGEND					
(Not all symbols listed below are used on these drawings)					
ABBR.	SYMBOL	DESCRIPTION	ABBR.	SYMBOL	DESCRIPTION
CW	— — CW	DOMESTIC COLD WATER PIPING	GCO	①	GRADE CLEANOUT / SURFACE CLEANOUT
HW	— — HW	DOMESTIC HOT WATER PIPING	FCO	○	FLOOR CLEANOUT
HWC	— — HWC	DOMESTIC HOT WATER CIRC PIPING	WCO	○-#	WALL CLEANOUT
CW-S	— — CW-S	SOFTENED DOMESTIC COLD WATER PIPING	SCO	□	STORM LINE CLEANOUT
HW-S	— — HW-S	SOFTENED DOMESTIC HOT WATER PIPING	AD	○	AREA DRAIN
140F HW	— — 140F HW	DOMESTIC HOT WATER PIPING • TEMP SHOWN	FD	○	FLOOR DRAIN
140F HWC	— — 140F HWC	DOMESTIC HOT WATER CIRC PIPING • TEMP SHOWN	FS	■	FLOOR SINK
TW	— — TW	TEMPERED WATER PIPING	RD / OD	○	ROOF DRAIN OR OVERFLOW DRAIN
TWC	— — TWC	TEMPERED WATER CIRC PIPING			
ICW	— — ICW	INDUSTRIAL COLD WATER PIPING	VB	—	ATMOSPHERIC VACUUM BREAKER
IHW	— — IHW	INDUSTRIAL HOT WATER PIPING	BFP	—	BACKFLOW PREVENTER
IHWC	— — IHWC	INDUSTRIAL HOT WATER CIRC PIPING	SA	—	SHOCK ARRESTOR W / ISOLATION VALVE
NPCW	— — NPCW	NON-POTABLE COLD WATER PIPING	GC	—	GAS SHUT-OFF VALVE
NPHW	— — NPHW	NON-POTABLE HOT WATER PIPING			
NPHR	— — NPHR	NON-POTABLE HOT WATER CIRC PIPING	BV	●	BALANCING VALVE
V	— — V	VENT PIPING	WH	+	WALL HYDRANT
AV	— — AV	ACID RESISTANT VENT PIPING	HB	+	HOSE BIBB
W	— — W	WASTE PIPING	RH	—	ROOF HYDRANT
W	— — W	WASTE PIPING BELOW FLOOR	YH	—	YARD HYDRANT
AW	— — AW	ACID RESISTANT WASTE PIPING	DSN	○	DOWNSPOUT NOZZLE
AW	— — AW	ACID RESISTANT WASTE PIPING BELOW FLOOR	MH	—	MANHOLE
GW	— — GW	GREASE WASTE TO GREASE INTERCEPTOR	CI	—	CAST IRON
GW	— — GW	GREASE WASTE PIPING BELOW FLOOR	CB	—	CATCH BASIN
SD	— — SD	STORM DRAIN PIPING	VTR	—	VENT THRU ROOF
SD	— — SD	STORM DRAIN PIPING BELOW FLOOR	IE	—	INVERT ELEVATION
OD	— — OD	OVERFLOW DRAIN PIPING	PVC	—	POLYVINYL CHLORIDE
OD	— — OD	OVERFLOW DRAIN PIPING BELOW FLOOR			
CA	— — CA	COMPRESSED AIR			
G	— — G	NATURAL GAS PIPING			



GENERAL LEGEND					
(Not all symbols listed below are used on these drawings)					
ABBR.	SYMBOL	DESCRIPTION	ABBR.	SYMBOL	DESCRIPTION
	—	SECTION DESIGNATION	—	—	CAP END OF PIPE
	—	SECTION CUT ON THIS SHEET		—	SLOP
	—			—	PITCH DOWN IN DIRECTION OF ARROW
	—			—	PIPE ANCHOR
	—			—	PIPE ALIGNMENT GUIDE
	—			—	PIPE FLANGE
	—			—	UNION OR FLANGE
	—			—	EQUIPMENT UNIT IDENTIFICATION
	—			—	UNIT SERVED - FLOOR - SEQUENCE #
	—			—	LINEAR DIFFUSER IDENTIFICATION
	—			—	DIFFUSER NECK DIAMETER
	—			—	DIFFUSER CFM
	—			—	LINEAR DIFFUSER IDENTIFICATION
	—			—	LINEAR DIFFUSER DIAMETER
	—			—	LINEAR DIFFUSER LENGTH
	—			—	LINEAR DIFFUSER CFM
	—			—	FINNED TUBE RADIATOR ACTIVE ELEMENT LENGTH
	—			—	EQUIPMENT UNIT IDENTIFICATION
	—			—	RADIATE ENCLOSURE LENGTH (OR W-W=WALL-TO-WALL)
	—			—	KEYNOTE REFERENCE
	—			—	KITCHEN/OWNER/MEDICAL EQUIPMENT REFERENCE
	—			—	TYPICAL ROOM REFERENCE (TOP = RM #, BOTTOM = FLR)
	—			—	POINT OF CONNECTION, NEW TO EXISTING
	—			—	POINT OF DISCONNECTION, DEMO
	—			—	DIRECTION OF FLOW IN PIPE
	—			—	DUCTWORK, PIPING AND EQUIPMENT TO BE REMOVED
(E)	—	EXISTING	(E)	—	DUCT
(N)	—	NEW	(N)	—	PIPE
(R)	—	RELOCATED	(R)	—	DUCT
(F)	—	FUTURE	(F)	—	DUCT
DIA	Ø	DIAETER	DIA	Ø	DIAETER
WAD	—	WALL ACCESS DOOR	WAD	—	WALL ACCESS DOOR
NIC	—	NOT IN CONTRACT	NIC	—	NOT IN CONTRACT
AFF	—	ABOVE FINISHED FLOOR	AFF	—	ABOVE FINISHED FLOOR
GC	—	GENERAL CONTRACTOR	GC	—	GENERAL CONTRACTOR
MC	—	MECHANICAL CONTRACTOR	MC	—	MECHANICAL CONTRACTOR
EC	—	ELECTRICAL CONTRACTOR	EC	—	ELECTRICAL CONTRACTOR
UNO	—	UNLESS NOTED OTHERWISE	UNO	—	UNLESS NOTED OTHERWISE
C	—	COMMON	C	—	COMMON
NC	—	NORMALLY CLOSED	NC	—	NORMALLY CLOSED
NO	—	NORMALLY OPENED	NO	—	NORMALLY OPENED

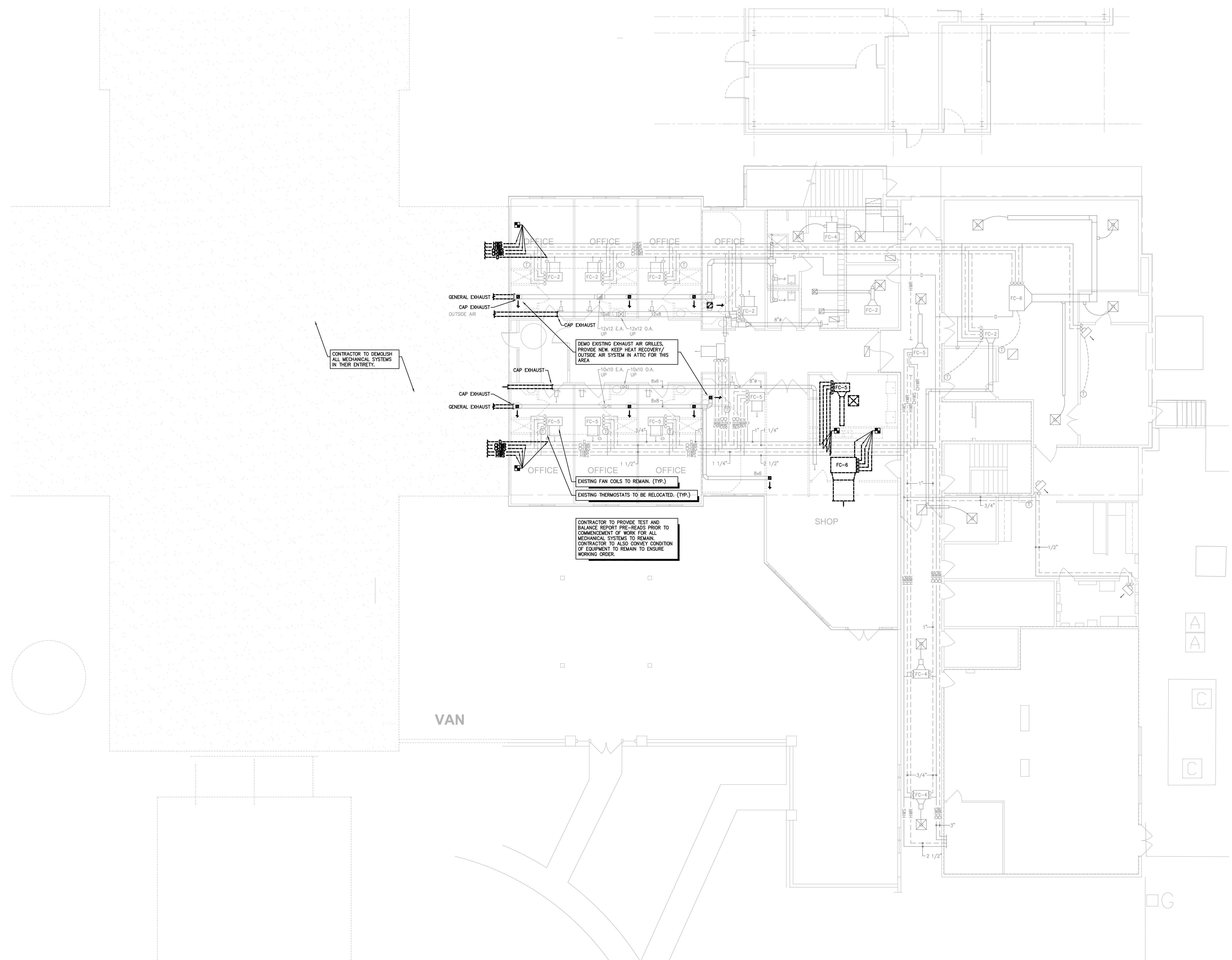
HVAC LEGEND					
(Not all symbols listed below are used on these drawings)					
ABBR.	SYMBOL	DESCRIPTION	ABBR.	SYMBOL	DESCRIPTION
HWS	— HWS	HOT WATER SUPPLY PIPING	SD	—	SUPPLY DUCT UP / DOWN
HWR	— HWR	HOT WATER RETURN PIPING	RD	—	RETURN DUCT UP / DOWN
HTWS	— HTWS	HIGH TEMPERATURE HEATING WATER SUPPLY PIPING	ED	—	EXHAUST DUCT UP / DOWN
HTWR	— HTWR	HIGH TEMPERATURE HEATING WATER RETURN PIPING	RD	—	ROUND DUCT UP / ROUND DUCT DOWN
CHWS	— CHWS	CHILLED WATER SUPPLY PIPING	42F12	—	FLAT OVAL DUCTWORK
CHR	— CHR	CHILLED WATER RETURN PIPING	CD	—	FLEXIBLE DUCT CONNECTION
D	—	COOLING COIL DRAIN PAN PIPING	BDD	—	BACKDRAFT DAMPER
CWS	— CWS	CONDENSER WATER SUPPLY PIPING	TCO	—	TEMP. CONTROL DAMPER—OPPOSED BLADE
CWR	— CWR	CONDENSER WATER RETURN PIPING	TCO	—	TEMP. CONTROL DAMPER—PARALLEL BLADE
GHWs	— GHWs	GLYCOL HEATING WATER SUPPLY PIPING	MVD	—	MANUAL VOLUME DAMPER
GHWr	— GHWr	GLYCOL HEATING WATER RETURN PIPING	MD	—	DUCT MOTORIZED DAMPER
PCWS	— PCWS	PROCESS CHILLED WATER SUPPLY PIPING	CF	—	CONICAL FITTING WITH MVD
PCWR	— PCWR	PROCESS CHILLED WATER RETURN PIPING	SP	—	SPIN-IN FITTING WITH MVD
LPS	— LPS	LOW PRESSURE STEAM SUPPLY PIPING (0 - 15#)	FD	—	DUCT FIRE DAMPER
LPC	— LPC	LOW PRESSURE CONDENSATE RETURN PIPING	FSD	—	COMBINATION DUCT SMOKE & FIRE DAMPER
MPS	— MPS	MEDIUM PRESSURE STEAM SUPPLY PIPING (16# - 60#)	SD	—	DUCT SMOKE DAMPER
MPC	— MPC	MEDIUM PRESSURE CONDENSATE RETURN PIPING	DAD	—	DUCT SMOKE DETECTOR
HPS	— HPS	HIGH PRESSURE STEAM SUPPLY PIPING (61# - 125#)			DUCT ACCESS DOOR
HPC	— HPC	HIGH PRESSURE CONDENSATE RETURN PIPING			TURNING VENDES IN DUCT ELBOW
PC	— PC	PUMPED CONDENSATE PIPING	EP	—	ELECTRIC-PNEUMATIC CONTROL VALVE
BBD	— BBD	BOILER BLOWDOWN PIPING	PE	—	PNEUMATIC-ELECTRIC CONTROL SWITCH
BF	— BF	BOILER FEED WATER PIPING	WSD	—	WALL SWITCH / EMERGENCY SWITCH
RL	— RL	REFRIGERANT LIQUID PIPING	TS	—	TEMPERATURE SENSOR
RS	— RS	REFRIGERANT SUCTION PIPING	WTS	—	WALL MOUNTED THERMOSTAT
RHG	— RHG	REFRIGERANT HOT GAS PIPING	CO2S	—	WALL MOUNTED CARBON DIOXIDE SENSOR
TT	— TT	TERMOSTATIC STEAM TRAP	WO2S	—	WALL MOUNTED OXYGEN SENSOR
F&T	— F&T	FLOAT AND THERMOSTATIC STEAM TRAP	HT	—	HUMIDISTAT
IBT	— IBT	INVERTED BUCKET STEAM TRAP	UT	—	UNIT MOUNTED THERMOSTAT
TCV	— TCV	(2 OR 3-WAY) TEMPERATURE CONTROL VALVE	PS	—	PRESSURE SENSOR / PRESSURE MONITOR
RV	— RV	VENTURI METER	UD	—	UNDERCUT DOOR
AFV	— AFV	CALIBRATED BALANCING VALVE	UD	—	UNDERCUT DOOR
RSV	— RSV	AUTO FLOW VALVE	DR	—	DUCT RISE
DPS	— DPS	REFRIGERANT SERVICE VALVE	DR	—	DUCT DROP
FS	— FS	DIFFERENTIAL PRESSURE SWITCH	A.L.	—	ACOUSTICALLY LINED DUCTWORK
EJ	— EJ	EXPANSION JOINT	TCDAD	—	TEMPERATURE CONTROL OUTSIDE AIR DAMPER
BJ	— BJ	BALL JOINT EXPANSION COMPENSATOR	TCEAD	—	TEMPERATURE CONTROL EXHAUST AIR DAMPER
SP IN WC	—	STATIC PRESSURE IN INCHES WATER COLUMN	SD	—	SUPPLY AIR DEVICE
RG	— RG		RG	—	RETURN AIR DEVICE
EG	— EG		EG	—	EXHAUST AIR DEVICE

DEMOLITION GENERAL NOTES:

- EXISTING ITEMS TO REMAIN ARE DENOTED LIGHTLY UNLESS OTHERWISE NOTED. ALL ITEMS SHOWN DARK AND DASHED SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOT SHUT-OFF OR PUT-OUT OF SERVICE ANY SYSTEMS OR SERVICE WITHOUT FIRST COORDINATING WITH THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND UNDERSTAND THE SYSTEMS AND SERVICES REQUIRED TO BE TORN DOWN. NO EXTRAS WILL BE ALLOWED FOR WORK REQUIRED TO ACHIEVE THE END RESULT AS INDICATED BY THE CONTRACT DOCUMENT.
- CONTRACTOR SHALL DETERMINE AND COORDINATE THE EXACT EXTENT OF DEMOLITION TO FACILITATE ALL WORK INDICATED BY THE CONTRACT DOCUMENT.
- PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES FOR RESOLUTION.
- ALL ITEMS IDENTIFIED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. REMOVED ITEMS SHALL BE TURNED OVER TO THE OWNER FOR DISPOSAL. THE CONTRACTOR SHALL NOT LEAVE ANY WRECKAGE IN THE AREA DESIGNATED BY THE OWNER. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL ITEMS THE OWNER CHOOSES NOT TO ACCEPT.
- WHERE EXISTING PIPING, T.C. TUBING/WIRING ETC. ARE TO BE REMOVED FROM WALLS WHICH ARE REMAINING, THE WALLS SHALL BE REPAIRED TO MATCH ORIGINAL CONDITIONS.
- WHERE EXISTING PIPING TO BE REMOVED PASSES THROUGH FLOORS, THE FLOOR SHALL BE CUT BACK TO WITHIN CONCRETE AND FILLED WITH GROUT TO ACHIEVE A SMOOTH AND EVEN FINISH WITH CONCRETE SURFACE.

GENERAL NOTES:

- WORK INCLUDED IN THE CONTRACT IS DENOTED IN BOLD. EXISTING CONDITIONS NOT DENOTED ARE DENOTED LIGHTLY.
- A DETAILED METHOD OF DEMOLITION SHALL BE USED WHEN A CONSTRUCTION ACTIVITY AFFECTS THE SAFETY OF THE OCC



NOT FOR CONSTRUCTION – PRELIMINARY DESIGN
PARTIAL FIRST FLOOR MECHANICAL - DEMOLITION PLAN
SCALE: 1/8"=1'-0"

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH

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PARTIAL FIRST FLOOR
MECHANICAL
DEMOLITION PLAN

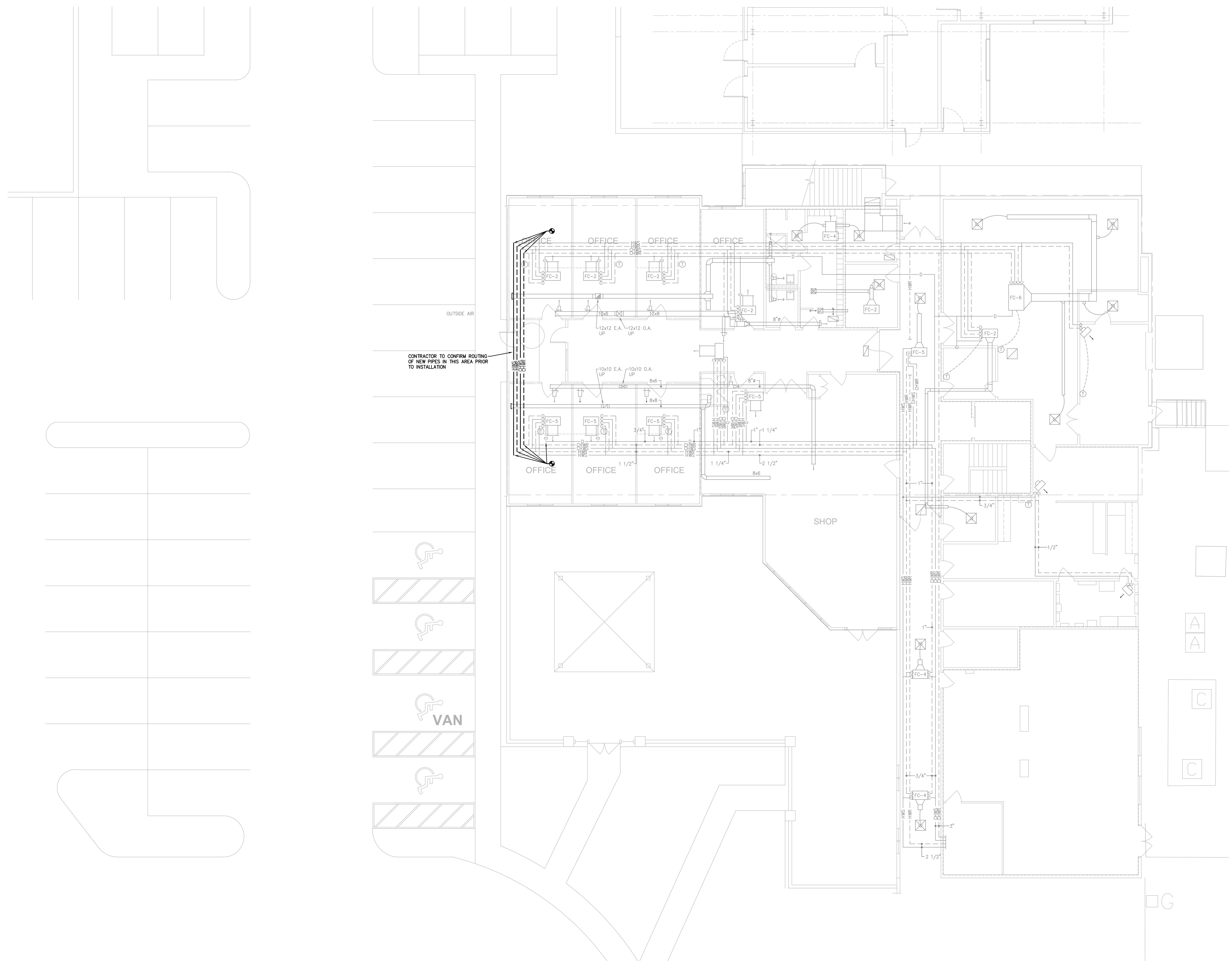
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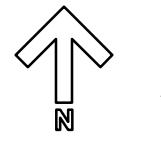
DEMO KEY NOTES:

1. XXX

NEW KEY NOTES:

1. XXX



 PARTIAL FIRST FLOOR MECHANICAL - NEW PLAN
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH

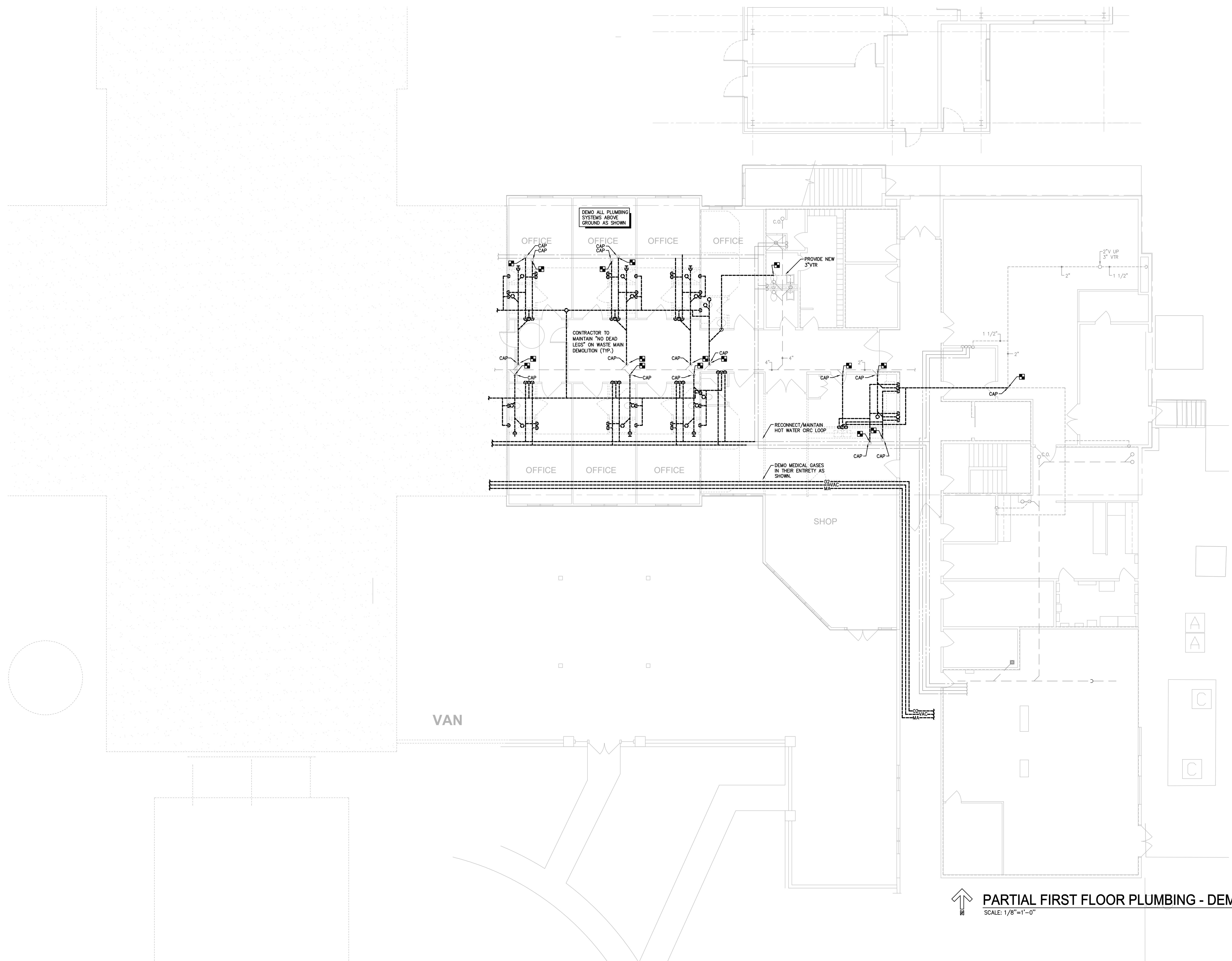
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PARTIAL FIRST FLOOR
MECHANICAL
NEW PLAN

M1.01

DEMO KEY NOTES:

1. XXX



GENERAL NOTES:

FOR REMODELING, WORK INCLUDED IS DENOTED IN BOLD. EXISTING CONDITIONS TO REMAIN ARE DENOTED LIGHTLY.

PROTECT ADJACENT STRUCTURES AND OWNER EQUIPMENT FROM DAMAGE. IMMEDIATELY REPLACE OR REPAIR, TO ORIGINAL CONDITION, DAMAGE CAUSED BY THE CONTRACTOR WHETHER EQUIPMENT APPEARS TO BE CURRENTLY IN USE OR NOT, UNLESS WRITTEN AUTHORIZATION FROM THE OWNER INDICATED OTHERWISE. PREPARE LISTING OF ALL EXISTING DAMAGED ITEMS AND SUBMIT TO OWNER PRIOR TO BEGINNING WORK.

PAINT EXPOSED CONDUIT TO MATCH EXISTING FINISHES WITHIN THE SURROUNDING AREA.

ALL PENETRATIONS FOR RACEWAY AND CABLE THAT ARE BY THIS CONTRACTOR, WHICH PENETRATE FLOORS, FIRE AND/OR SMOKE BARRIERS AND SEPARATIONS SHALL BE SEALED WITH A SYSTEM SPECIFICALLY U.L. APPROVED FOR THE APPLICATION.

A DETAILED WRITTEN METHOD OF PROCEDURE IS REQUIRED WHEN A CONSTRUCTION ACTIVITY OR AN OUTAGE AFFECTS THE SAFETY OF OCCUPANTS, TELEPHONE/ DATA/ FIRE ALARM EQUIPMENT OR COMPONENTS OF ANY SYSTEM WHICH SUPPORTS THIS EQUIPMENT OR ESSENTIALLY AFFECTS THE BUILDING MANAGEMENT, OPERATIONS OR SECURITY. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

EXISTING INFORMATION SHOWN ON THE DRAWINGS HAS BEEN TAKEN FROM LIMITED FIELD OBSERVATIONS. CATOR, RUMA & ASSOCIATES IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR THE ADEQUACY, SAFETY AND CONFORMANCE TO CURRENT PREVAILING CODES OF ANY WORK SHOWN AS EXISTING ON THESE DRAWINGS.

PROVIDE SEPARATE INSULATED GROUNDING CONDUCTOR IN ALL FEEDER, HOMERUN AND BRANCH CIRCUITS RECONNECTED AS PART OF THIS PROJECT.

DEMOLITION NOTE

CONTRACTOR SHALL VISIT SITE TO DETERMINE AND COORDINATE THE EXACT EXTENT OF DEMOLITION TO FACILITATE ALL WORK INDICATED BY THE CONTRACT DOCUMENTS PRIOR TO QUOTATION. NO EXTRAS WILL BE ALLOWED FOR WORK REQUIRED TO ACHIEVE THE END RESULT AS INDICATED BY THE CONTRACT DOCUMENTS. REWORK EXISTING TERMINATIONS, CONNECTIONS, CONDUIT, WIRING, ETC. TO ACCEPT NEW WORK. MAINTAIN CIRCUIT CONTINUITY TO EXISTING CIRCUITS AND DEVICES TO REMAIN. PRIOR TO COMMENCEMENT OF ANY DEMO WORK, CONFIRM EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES FOR RESOLUTION.

NEXT DEVICE TO REMAIN. REMOVED ITEMS SHALL
UNLESS NOTED OTHERWISE, AND STORED IN THE
REMOVE FROM SITE AND LEGALLY DISPOSE OF.

REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL ITEMS THE OWNER CHOOSES NOT TO ACCEPT.

WHERE EXISTING CONDUITS ARE TO BE REMOVED AND HAVE BEEN ROUTED IN CONCRETE FLOOR SLABS, THEY SHALL BE CUT BACK BELOW CONCRETE AND FILLED WITH GROUT TO ACHIEVE A SMOOTH AND EVEN FINISH FLUSH WITH SURROUNDING CONCRETE SURFACE AFTER CONDUCTORS HAVE BEEN REMOVED.

REUSE EXISTING CONDUIT WHERE CURRENT NEC AND LOCAL CODE REQUIREMENTS ARE MAINTAINED. PROVIDE NEW CONDUIT AND WIRE FOR NEW INSTALLATIONS AND EXTENSION OF EXISTING INSTALLATIONS. REUSE EXISTING CONDUIT IN PLACE, DO NOT REINSTALL EXISTING CONDUIT. PROVIDE LABELING/MARKING TO MATCH FACILITY STANDARD.

WHERE EXISTING DEVICES, SWITCHES, MOTOR CONNECTIONS, ETC. ARE TO BE REMOVED FROM WALLS WHICH ARE REMAINING, WALLS SHALL BE PATCHED TO MATCH ORIGINAL FINISH. BLANK COVERPLATES OVER EXISTING BOXES ARE NOT ACCEPTABLE, UNLESS NOTED OTHERWISE.

LECTRICAL PLAN NOTES

MAKE ALL FINAL ELECTRICAL CONNECTIONS TO EQUIPMENT REQUIRING ELECTRICAL CONNECTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO ALL MECHANICAL AND OTHER EQUIPMENT INCLUDED IN THIS PROJECT.

ALL DEVICES FED FROM AN EMERGENCY CIRCUIT SHALL BE RED WITH RED FACEPLATE.

JUNCTION BOX LOCATIONS ARE SHOWN DIAGRAMMATICALLY AND SHALL BE INSTALLED IN ACCESSIBLE LOCATION. PROVIDE ACCESS DOORS WHERE NEEDED.

RESUPPORT AND SECURE EXISTING RACEWAYS/CONDUITS ASSOCIATED WITH SCOPE OF WORK TO COMPLY WITH CURRENT ADOPTED REQUIREMENTS OF NFPA 70, CHAPTER 3.

PANEL SCHEDULES SHALL BE FILLED OUT SO EVERY NEW AND/OR MODIFIED CIRCUIT IS UNIQUELY IDENTIFIED WITH ITS SPECIFIC PURPOSE AND/OR EQUIPMENT AS NECESSARY TO DISTINGUISH FROM ALL OTHER LOADS, IDENTIFICATION SHALL INCLUDE A DEGREE OF DETAIL AS APPROVED BY THE AHJ.

CONTRACTOR SHALL METER AFFECTED PANEL TO JUSTIFY LOAD ADDITIONS. TURN OVER RESULTS TO OWNER WITH OM MANUALS.

ABBREVIATIONS LEGEND

(Not all symbols listed below are used on these drawings)

DESCRIPTION	SYMBOL	DESCRIPTION
MOUNT HORIZONTALLY TO CENTERLINE OF DEVICE, FLOOR OR BACK SPLASH	MCP	MOTOR CIRCUIT PROTECTOR
DOOR	MEC	SEE MECHANICAL EQUIPMENT SCHEDULE
GRADE	MIN	MINIMUM
OR	MLO	MAIN LUGS ONLY
DETECTION	MTS	MANUAL TRANSFER SWITCH
FER SWITCH	NC	NORMALLY CLOSED
GRADE	NIC	NOT IN CONTRACT
	NL	NIGHT LIGHT
	NO	NORMALLY OPEN
	NTS	NOT TO SCALE
	OC	ON CENTER
	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
TELEVISION	OFOI	OWNER FURNISHED, OWNER INSTALLED
	OSWF	ON SITE WORK FORCE
	PB	PULL BOX
DISTRIBUTION CENTER	SB	STAND-BY
	SDC	SUB-DISTRIBUTION CENTER
OFF	TP	TAMPER PROOF
ATION ON/OFF	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSER
COOLER	TYP	TYPICAL
	UF	UNDER FLOOR
	UG	UNDER GROUND
OL PANEL	UON	UNLESS OTHERWISE NOTED
ERRUPTING	UPS	UNINTERRUPTIBLE POWER SUPPLY
ATIC	V	VOLTS
	VFD	VARIABLE FREQUENCY DRIVE
	W/	WITH
AKER	W/O	WITHOUT
ENTER	WP	WEATHER PROOF
CENTER	XFMR	TRANSFORMER

FIRE ALARM SYSTEM LEGEND

(Not all symbols listed below are used on these drawings)

DESCRIPTION	SYMBOL	DESCRIPTION
ROL PANEL		MANUAL PULL STATION
POWER SUPPLY		ADDRESSABLE INPUT MODULE
IM ANNUNCIATOR PANEL (GRAPHIC/LED)		ADDRESSABLE OUTPUT MODULE
TOR PANEL		AUDIOVISUAL DEVICE (H##cd=HORN/STROBE COMBINATION S=SPEAKER/STROBE COMBINATION, C=CHIME/STROBE COMBINATION)
P		AUDIBLE DEVICE (H=HORN, S=SPEAKER, C=CHIME)
CE SYSTEM HEAD END UNIT		FIRE ALARM STROBE (cd= CANDELA RATING 15, 30, 75, 110)
E CONTROL PANEL		EMERGENCY TELEPHONE STATION (J=JACK, H=HANDSET)
TORY ANNUNCIATOR		RESCUE ASSISTANCE TELEPHONE STATION
(P=PHOTOELECTRIC, SB=WITH SOUNDER BASE, R, BT=BEAM TRANSMITTER)		MAGNETIC DOOR HOLD
F=FIXED TEMPERATURE, TURE & RATE OF RISE (TEMP. RATING)		TAMPER SWITCH
(UV=ULTRAVIOLET, IR=INFRARED)		FLOW DETECTOR SWITCH
CTOR S=SUPPLY, R=RETURN		PRESSURE SWITCH
EMOTE INDICATOR ALARM AND TEST		FIRE/SMOKE DAMPER
LIGHT		CARBON MONOXIDE ALARM/DETECTOR

CONTROLS LEGEND

(Not all symbols listed below are used on these drawings)

DESCRIPTION	SYMBOL	DESCRIPTION
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DESCRIPTION	SYMBOL	DESCRIPTION
CH (SUBSCRIPT DENOTES SWITCHING)	S _{VS}	VARIABLE SPEED/SPEED CONTROLLER SWITCH
	S _{EP}	EXPLOSION PROOF SWITCH
H	S _{TO}	THERMAL OVERLOAD SWITCH
	S _{MC}	MOMENTARY CONTACT SWITCH
ITCH	⌚S	COMBINATION SWITCH AND DUPLEX RECEPTACLE
HORSEPOWER RATE	Ⓟ	PHOTOCELL
	Ⓐ	PUSH BUTTON
LIGHT N' WHEN SWITCH IS 'ON')	TC	TIME CLOCK
LIGHT LOCATOR IGHTED HANDLE)	☒	OCCUPANCY SENSOR – WALL MOUNTED IR=INFRARED, US=ULTRASONIC, DT=DUAL TECHNOLOGY

ONE-LINE DIAGRAM LEGEND

(Not all symbols listed below are used on these drawings)

(Not all symbols listed below are used on these drawings)		
DESCRIPTION	SYMBOL	DESCRIPTION
H	A	PANELBOARD "A"
H, FUSED	PM	EM=ENERGY METER, PM=POWER METER, CM=CIRCUIT MONITOR
	VS	VOLTMETER TEST SWITCH
	AS	AMMETER TEST SWITCH
	V	VOLTMETER
FORMER, ## INDICATES KVA	A	AMMETER
WN TRANSFORMER # INDICATES K RATING	XXX	SEE FEEDER/MEC/TRANSFORMER SCHEDULES FOR FEEDER SIZE
RMER	G	ENGINE GENERATOR
ORMER	—IT—	CONTACTOR/RELAY/CAPACITOR (AS NOTED)
TRANSFORMER	•/I	TRANSFER SWITCH - ATS=AUTOMATIC, MTS=MANUAL
	GFI	GROUND FAULT INTERRUPTER
SURE	SPD	SURGE PROTECTIVE DEVICE
HEAD	ST	SHUNT TRIP
RRENT AVAILABLE	>>	TERMINATIONS LB=LOAD BREAK, NLB=NO LOAD BREAK
CK, SUBSCRIPT INDICATES INTERLOCKED GROUP	—<< >>—	DRAW-OUT DEVICE
OCK, SUBSCRIPT INDICATES INTERLOCKED GROUP	—>>—	PLUG-IN DEVICE

POWER LEGEND

(Not all symbols listed below are used on these drawings)

(Not all symbols listed below are used on these drawings)		
DESCRIPTION	SYMBOL	DESCRIPTION
E	—PM—	PLUG MOLD (MULTI-OUTLET ASSEMBLY)
LE	—WM—	WIREMOLD (SURFACE RACEWAY)
ECEPTACLE	—	CONDUIT CONCEALED
LE, HALF SWITCHED	— - - -	CONDUIT EXPOSED
LE, CEILING MOUNTED	-----	CONDUIT, UNDERGROUND OR CONCEALED IN FLOOR AS ALLOWED PER SPECIFICATIONS
LE, FLOOR MOUNTED	—●—	CONDUIT TURNING DOWN
ECEPTACLE, FLOOR MOUNTED	—○—	CONDUIT TURNING UP
CLE	—□—	CONDUIT CAPPED
CLE, FLOOR MOUNTED	→→→ A-1,3,5	BRANCH CIRCUIT HOME RUN, NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS, SUBSCRIPTS INDICATE PANEL & CIRCUITS
LL OR CEILING MOUNTED	□□	GROUND BAR
DOOR MOUNTED	□/□/□	MAIN SWITCHBOARD/DISTRIBUTION CENTER
	T	TRANSFORMER
H (NON-FUSED)	CT	CURRENT TRANSFORMER
H (FUSED)	①	THERMOSTAT
RIVE WITH DISCONNECT	GANN	GENERATOR ANNUNCIATOR PANEL
BREAKER	② A-1	SHADING INDICATES EMERGENCY SYSTEM TEXT INDICATES PANEL AND CIRCUIT DESIGNATION
	M	UTILITY METER

SYMBOLS LEGEND (below are used on these drawings)	
SYMBOL	DESCRIPTION
1	KITCHEN/OWNER/MEDICAL EQUIPMENT REFERENCE
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING TO BE RELOCATED
	EXISTING TO REMAIN - REPLACE DEVICE
	EXISTING TO BE REMOVED AND REPLACED

ELEC PLAN DEMO KEYNOTES:

- ED1. FIXTURE(S), DEVICE(S) AND NURSE CALL SYSTEM IN AREA NOTED SHALL BE DISCONNECTED AND REMOVED COMPLETELY, INCLUDING ASSOCIATED RACEWAY, FIXTURES, AND CIRCUITING. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INSTRUCTIONS.
- ED2. FIXTURE(S) AND DEVICE(S) IN AREA NOTED SHALL REMAIN AND BE RE-CIRCUITED. REFER TO RENOVATION PANELS FOR NEW CIRCUITING.
- ED3. DEVICE SHALL BE REMOVED. SINGLE GANG BOX SHALL REMAIN AS JUNCTION BOX FOR FUTURE PATHWAY/EXTENSION.
- ED4. FIXTURE(S) AND/OR DEVICE(S) SHALL BE RELOCATED. REFER TO RENOVATION PLANS FOR NEW LOCATION.
- ED5. TYPICAL LAYOUT OF NURSE CALL DEVICES SHOWN FOR REFERENCE AND PRICING.
- ED6. ALL NURSE CALL DEVICES IN ROOM NOTED SHALL BE REMOVED IN THEIR ENTIRETY.
- ED7. TYPICAL LAYOUT OF LIGHTING FIXTURES AND DEVICES SHOWN FOR REFERENCE AND PRICING.
- ED8. LIGHTING FIXTURES SHALL REMAIN AND BE RE-CIRCUITED. REMOVE AND RE-INSTALL AS NECESSARY. REFER TO RENOVATION PLANS FOR RE-CIRCUITING AND NEW LIGHTING CONTROLS.
- ED9. LIGHTING FIXTURE SHALL REMAIN AND BE RE-CIRCUITED. REFER TO RENOVATION PLANS FOR RE-CIRCUITING.

