



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

| | |
|---|---|
| Date: January 1 2021 | REQUESTS: The applicant is submitting a request for a Pre-Application located at 625 E. Broadway. For questions, please call Paul Anthony at 733-0440, x1303 or email to the address shown below. Thank you. |
| Item #: P21-008 | |
| Planner: Paul Anthony Phone: 733-0440 ext. 1303 Email: panthony@jacksonwy.gov | |
| Owner Teton County Hospital District Jackson, WY 83001 Applicant: Hoyt Architects PO Box 7364 Jackson, WY 83001 | |
| Please respond by: February 1, 2021 (with Comments) | |

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (tstolte@jacksonwy.gov).

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title



Date: January 8th, 2021

Hoyt Architects
PO Box 7364
Jackson, WY 83002
Contact: Brett Bennett 307.733.9955 (brettb@hoytarchitects.design)

Pre-Application Conference Request (PAP)
Project Location: St. John's Health, 625 East Broadway, Jackson, WY 83001

Project Description:

As a result of the new Sage Living Center project, St. John's Health has decided to remove a significant portion of the existing Living Center. Since fire separation distances cannot be maintained between the existing Living Center and New Living Center, St. John's Health has decided to remove the existing structure up to the eastern portion containing a basement. Where the existing Living Center is removed, a surface parking area containing approximately 85 parking spaces will be added to help meet on-campus parking needs.

Please note that the Town of Jackson Planning Department's recommendation for this project is to apply for a preapplication conference with the Town Council.

Sincerely,

A handwritten signature in black ink, appearing to be "Brett Bennett", written over a horizontal line.

Brett Bennett / Hoyt Architects

LETTER OF AUTHORIZATION

TETON COUNTY HOSPITAL DISTRICT

,"Owner" whose address is: _____

PO BOX 428, JACKSON, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

TETON COUNTY HOSPITAL DISTRICT DBA ST. JOHN'S HEALTH

, as the owner of property

more specifically legally described as: Parcel: 22-41-16-27-4-00-003

StAddr: 625 E BROADWAY AVENUE Deed: 11D321 Location: 11D321 see also 59P448

(If too lengthy, attach description)

HEREBY AUTHORIZES

HOYT ARCHITECTS LLC, PO BOX 7364, JACKSON, WY 83002

as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Paul Beaupre

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: CEO

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)
)SS.

COUNTY OF Teton

)

The foregoing instrument was acknowledged before me by Paul Beaupre this 23 day of November, 2020.

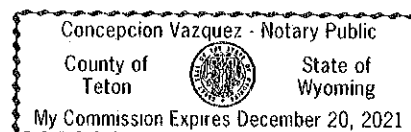
WITNESS my hand and official seal.

Concepcion Vazquez

(Notary Public)

My commission expires:

(Seal)



12.11.2020

TETON COUNTY HOSPITAL DISTRICT DBA ST. JOHN'S HEALTH
LIVING CENTER DEMOLITION PROJECT

WY OHLS PRELIMINARY PLAN REVIEW

APPLICABLE STATE CODES

WYOMING DEPARTMENT OF HEALTH
INTERNATIONAL BUILDING CODE - 2006 EDITION
INTERNATIONAL MECHANICAL CODE - 2006 EDITION
INTERNATIONAL PLUMBING CODE - 2006 EDITION
INTERNATIONAL FUEL GAS CODE - 2006 EDITION
INTERNATIONAL FIRE CODE - 2006 EDITION
NATIONAL ELECTRICAL CODE - 2008 EDITION
WYOMING DEPARTMENT OF HEALTH CONSTRUCTION RULES AND
REGULATIONS FOR HEALTHCARE PROJECTS - 2008, APRIL
WYOMING DEPARTMENT OF HEALTH LICENSURE AND REGULATIONS FOR HOSPITALS
NFPA 101 LIFE SAFETY CODE - 2006 EDITION & 2012 EDITION
NFPA 99 STANDARD FOR HEALTH CARE FACILITIES - 2005 EDITION & 2012 EDITION
NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM - 2002 EDITION
NFPA 72 NATIONAL FIRE ALARM CODE - 2002 EDITION
AIA GUIDELINES FOR DESIGN AND CONSTRUCTION OF HEALTH CARE FACILITIES - 2006 EDITION
ICC/ANS A117.1-1998 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

WYOMING STATE FIRE MARSHAL

INTERNATIONAL BUILDING CODE - 2006 EDITION
INTERNATIONAL FIRE CODE - 2006 EDITION
INTERNATIONAL MECHANICAL CODE - 2006 EDITION
INTERNATIONAL FUEL GAS CODE - 2006 EDITION
NFPA 101, INCLUDING ANNEX A, 2000 EDITION
NATIONAL ELECTRICAL CODE, 1999 EDITION
PROVISIONS OF THE IBC, IRC, IPC, IMC AND IFGC BUT ONLY TO THE EXTENT THAT THE
REFERENCED PROVISIONS APPLY TO FIRE AND LIFE SAFETY ISSUES
PROVISIONS OF THE IEC, IPC AND IECC REFERENCED IN THE IBC, IRC, IMC AND IFGC
ARE SPECIFICALLY NOT ADOPTED HEREIN

APPLICABLE LOCAL CODES - TOWN OF JACKSON
TOWN OF JACKSON DOES NOT HAVE JURISDICTION OVER THIS PROJECT (EXCEPTION: ELECTRICAL)
OCCUPANCY CLASSIFICATION
OCCUPANCY TYPE (IBC)
GROUP I-2, INSTITUTIONAL (IBC 308.3)
OCCUPANCY TYPE (LSC)
NEW AND EXISTING HEALTH CARE OCCUPANCIES (LSC CHAPTER 18/19)

CONSTRUCTION TYPE
TYPE 1B, (IBC TABLE 601) FULLY SPRINKLERED
TYPE 2 (2.2.2) (LSC 18.1.6.2)

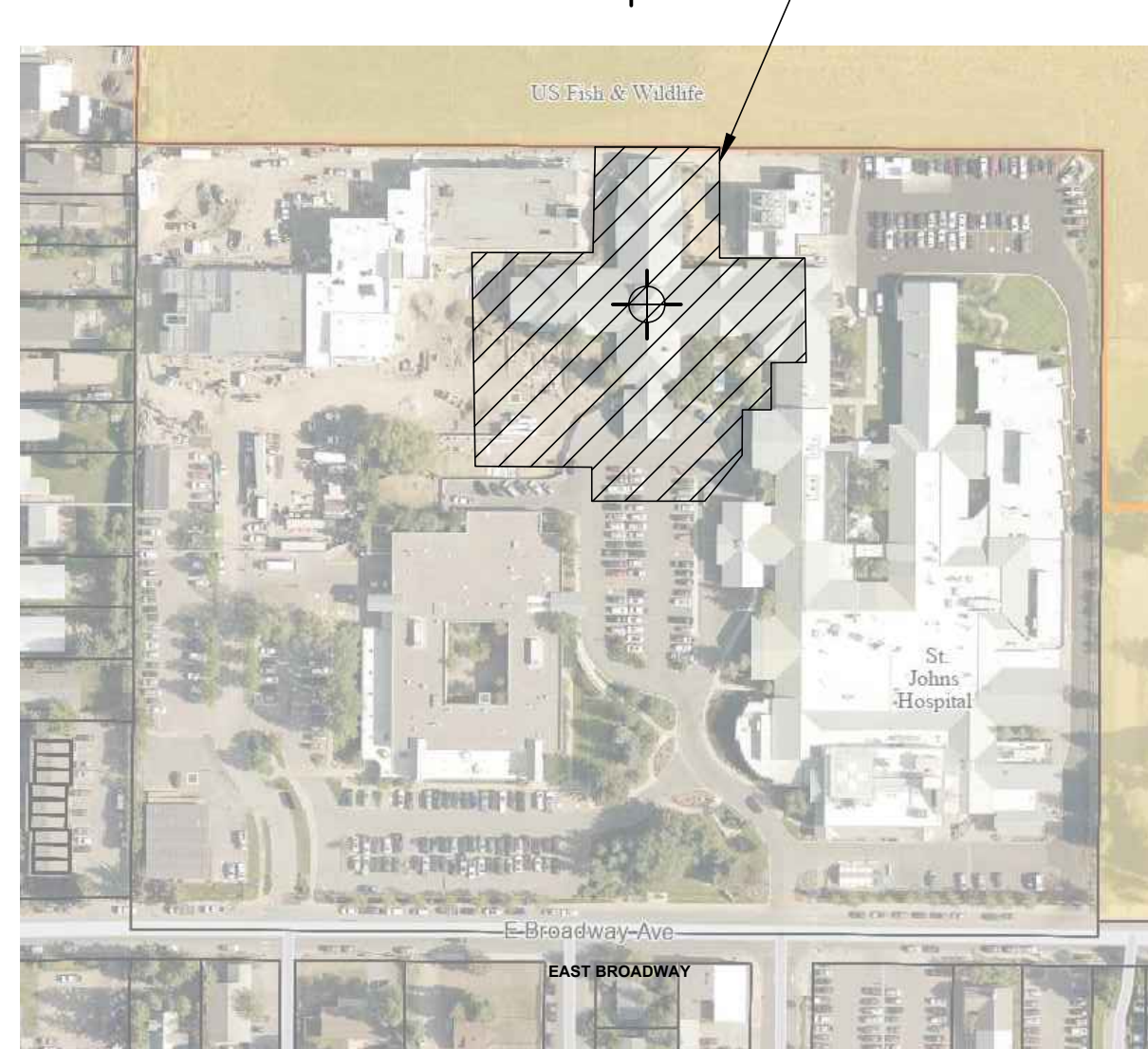
SEISMIC DESIGN CATEGORY D
STRUCTURAL FRAME: 2 HRS
BEARING WALLS: 2 HRS
ROOF CONSTRUCTION: 1 HR

SPECIAL INSPECTIONS:
IBC 1707.8 ITEM 1 - ANCHORAGE OF ANY ELECTRICAL EQUIPMENT ASSOCIATED WITH EMERGENCY OR STANDBY POWER. SEISMIC DESIGN CATEGORY D
IBC 1704.12 - EXTERIOR INSULATION AND FINISHED SYSTEMS (EIFS) SPRAYED FIRE RESISTIVE MATERIALS
IBC 1704.10/IFC 073.1 - SPRAYED ON FIRE RESISTIVE MATERIAL FOR STRUCTURAL FRAMING SHALL BE INSPECTED TO VERIFY ITS FIRE RESISTIVE
RATING HAS BEEN MAINTAINED.

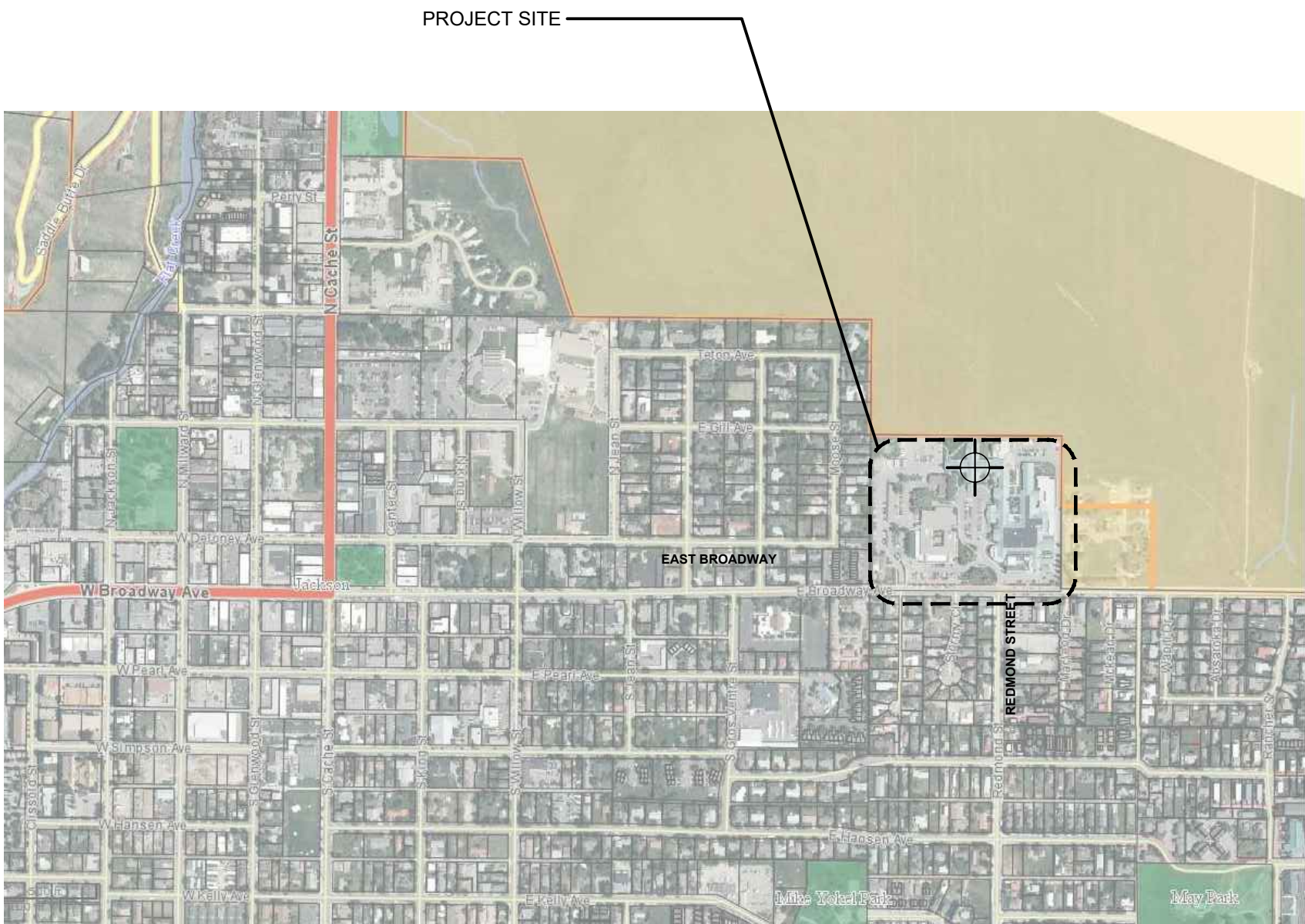
PROJECT LOCATION

625 EAST BROADWAY
JACKSON, WY 83001

VICINITY MAP: Locator



ST JOHN'S HEALTH MAIN CAMPUS



NORTH EAST AREA - TOWN OF JACKSON WYOMING

OWNER

TETON COUNTY HOSPITAL DISTRICT
ST JOHN'S HEALTH
PO BOX 428
JACKSON, WY 83001
307.733.3636
CONTACT: JAMES JOHNSTON

ARCHITECT

HOYT ARCHITECTS
PO BOX 7364
JACKSON, WY 83002
307.733.9955
CONTACT: BRETT BENNETT

CIVIL ENGINEER

JORGENSEN ENGINEERS
1315 HWY 89S., SUITE 201
PO BOX 9550
JACKSON, WY 83002
307.733.5150
CONTACT: BRIAN BARNEY

STRUCTURAL ENGINEER

JORGENSEN ENGINEERS
1315 HWY 89S., SUITE 201
PO BOX 9550
JACKSON, WY 83002
307.733.5150
CONTACT: JASON MANN

MEP ENGINEER

CATOR, RUMA & ASSOCATES
896 TABOR STREET
LAKEWOOD, CO 80401
303.232.6200
CONTACT: PAUL COFFEY

LANDSCAPE ARCHITECT

CAIRN LANDSCAPE ARCHITECTS
1170 W. BRANGUS DR.
JACKSON, WY 83001
307.264-0939
CONTACT: HANS FINCH

SHEET INDEX

GENERAL

G101 COVER SHEET

CIVIL

C1.2 DEMOLITION PLAN

LANDSCAPE

L101 LANDSCAPE PLAN

ARCHITECTURAL

SP101 SITE PLAN

A101 FLOOR PLANS AND ELEVATIONS

A201 ELEVATIONS

MECHANICAL / PLUMBING

MD.01 MECHANICAL LEGENDS & GENERAL NOTES

MD1.02 PARTIAL FIRST FLOOR MECHANICAL DEMO PLAN

M1.01 PARTIAL FIRST FLOOR MECHANICAL NEW PLAN

PD1.02 PARTIAL FIRST FLOOR PLUMBING DEMOLITION PLAN

ELECTRICAL

ED.00 ELECTRICAL NOTES, LEGENDS, & SCHEDULES

ED1.01 FIRST FLOOR ELECTRICAL DEMO PLAN

E1.01 FIRST FLOOR ELECTRICAL RENO PLAN

ED.01 ELECTRICAL ONE-LINE DIAGRAMS

NOTE: FURNITURE, FIXTURES, AND EQUIPMENT BY OWNER

SITE CONSTRUCTION NOTES

1. Refer to Civil drawings and coordinate all trades
2. Refer to Landscape drawings and coordinate all trades
3. Refer to Construction Staging drawings and coordinate all trades
4. Refer to all drawings and coordinate all utility locations and existing conditions.
5. Maintain all access, fencing and erosion control throughout the entire term of the project as required.
6. Coordinate temporary conditions with St. Johns Health Facility manager throughout the entire term of the project.
7. Understand and maintain the limits of construction and disturbance throughout the entire term of the project.
8. Notify the Architect and St Johns Health Facility manager of existing conditions and uncovered constructions that conflict with the drawings.

GENERAL CONSTRUCTION NOTES

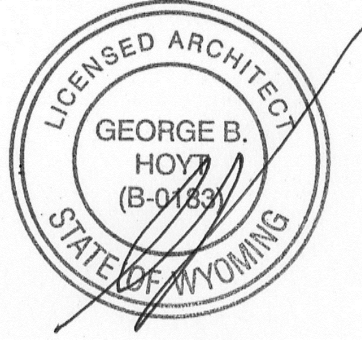
1. IT IS EACH CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW AND BECOME FAMILIAR WITH ALL PERTINENT DOCUMENTS AVAILABLE REGARDING THE CONSTRUCTION OF THIS PROJECT. ANY AMBIGUITY OR DISCREPANCY DISCOVERED IN THE DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT WHO SHALL MAKE CLARIFICATIONS AND INTERPRETATIONS IN A TIMELY MANNER. THE CONTRACTOR'S FAILURE TO DISCOVER AND NOTIFY THE ARCHITECT OF SAID AMBIGUITY OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY RELATING TO THE MATTER.
2. CHANGES OR DEVIATIONS FROM THE DOCUMENTS, MADE BY THE CONTRACTOR OR THEIR SUPPLIERS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, ARE UNAUTHORIZED CHANGES TO THE WORK AND AS SUCH SHALL RELIEVE THE ARCHITECT OF ALL RESPONSIBILITY FOR THE CONSEQUENCES ARISING THEREFROM.
3. PRIOR TO BEGINNING ANY NEW WORK OR INSTALLATION, IT IS EACH CONTRACTOR'S RESPONSIBILITY TO INSPECT PREVIOUSLY INSTALLED WORK AND/OR SUBSTRATE AND VERIFY THAT ALL SUCH WORK IS SATISFACTORY AND COMPLETE TO THE REQUIRED LEVEL OF ACCEPTANCE TO ALLOW FOR THE START OF SUBSEQUENT WORK. THE COMMENCEMENT OF ANY WORK SHALL INDICATE THAT ALL PREVIOUSLY INSTALLED WORK AND/OR SUBSTRATE WAS FOUND TO BE ACCEPTABLE AND INSTALLED ACCORDING TO INDUSTRY STANDARDS. ANY WORK FOUND TO BE IN UNACCEPTABLE CONDITION SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. EACH CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO ESTIMATING THE COST OF THE SCOPE OF WORK AND PRIOR TO ORDERING OR FABRICATING MATERIALS OR BEGINNING ANY CONSTRUCTION RELATED ACTIVITIES FOR THE PURPOSE OF BECOMING COMPLETELY FAMILIAR WITH THE SITE AND ALL EXISTING CONDITIONS WHICH MIGHT IMPACT THE COST OF, OR PERFORMANCE OF THE SCOPE OF WORK.
5. ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE REQUIREMENTS OF ALL REGULATORY AGENCIES HAVING JURISDICTION OVER THE PROJECT. UNDER NO CONDITION DOES THE ARCHITECT HAVE RESPONSIBILITY FOR THE MEANS OR METHODS USED BY A CONTRACTOR IN THE PERFORMANCE OF THE WORK OR FOR CONDITIONS OF SAFETY AT THE JOB SITE.
6. CONTRACTOR SHALL COORDINATE ALL FINISHES, MATERIALS, AND COLORS WITH THE ARCHITECT AND OWNER AND INTERIOR DESIGNERS
7. DIMENSIONS OF AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING DRAWINGS AND/OR FIELD MEASUREMENTS. ALL EXISTING DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE ON DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PERTAINING TO THE EXISTING CONDITIONS, INCLUDING ALL WORK ALREADY IN PLACE, PRIOR TO ORDERING OR FABRICATING MATERIALS, AND PRIOR TO START OF CONSTRUCTION.
8. CONTRACTORS SHALL KEEP PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND DEBRIS.
9. DO NOT SCALE THE DRAWINGS. IF QUESTIONS ARISE AS TO DIMENSIONAL REQUIREMENTS, CONTACT THE ARCHITECT FOR CLARIFICATION.
10. ALL MATERIALS, FIXTURES AND EQUIPMENT PROVIDED UNDER THIS CONTRACT ARE TO BE PROVIDED IN NEW CONDITION WITH FULL MANUFACTURER'S WARRANTY, UNLESS OTHERWISE SPECIFIED BY THE OWNER, AND ARE TO BE STORED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. DAMAGED ITEMS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

AREA CALCULATIONS

| | |
|------------------------------------|-------------|
| EXISTING BUILDING TO BE DEMOLISHED | 18,000 SQFT |
| EXISTING TO BUILDING REMAIN | 5,100 SQFT |
| APPROXIMATE SITE AREA | 59,200 SQFT |

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH



© 2021 | ALL RIGHTS RESERVED

PRELIMINARY SUBMITTAL

12.11.2020
DRAWN BY |
CHECKED BY |
REVISIONS

COVER SHEET

G101



PROJECT TITLE:
HOYT ARCHITECTS / ST. JOHN'S HEALTH
LIVING CENTER REDEVELOPMENT
625 EAST BROADWAY
JACKSON, WYOMING

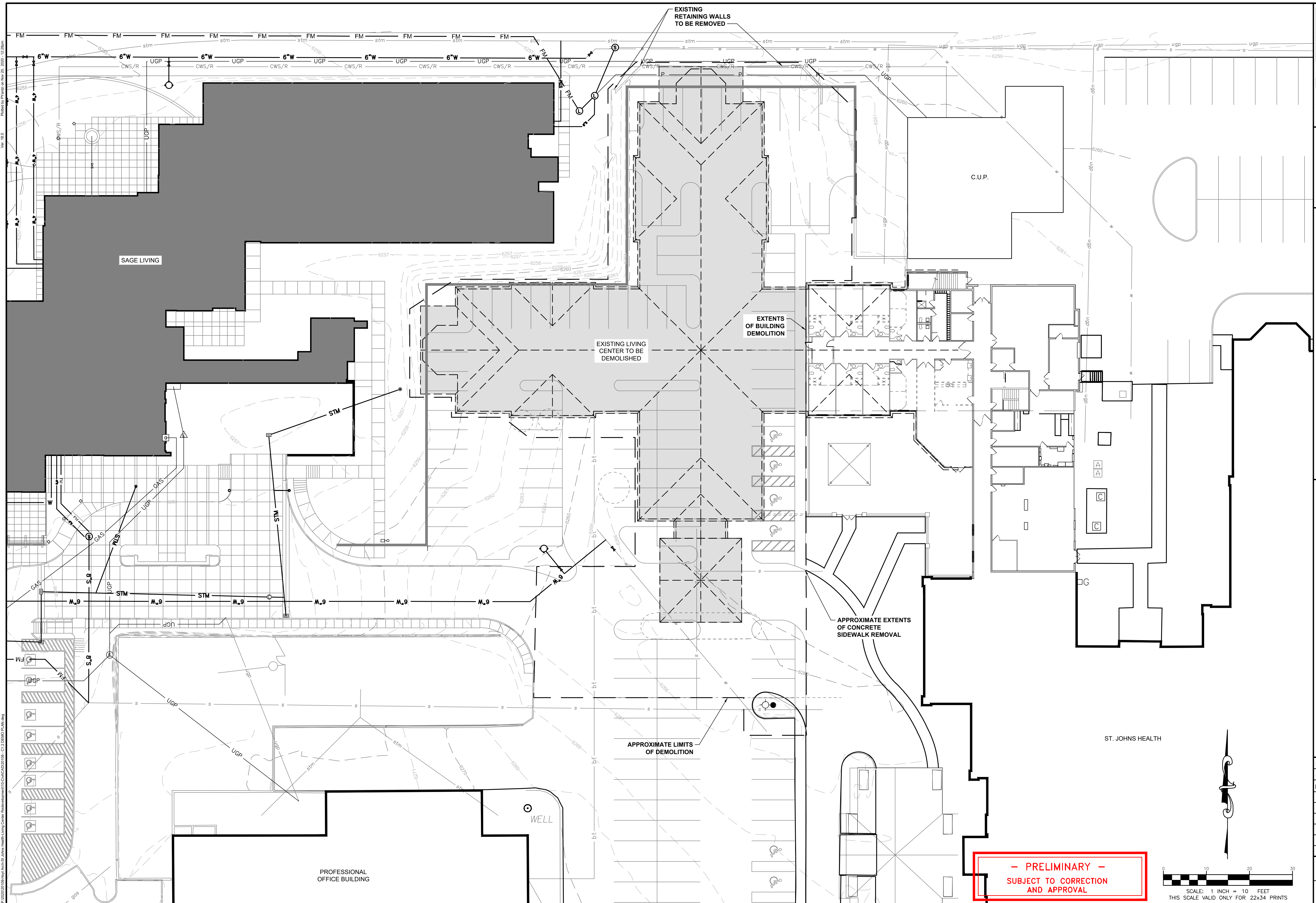
SHEET TITLE:
DEMOLITION PLAN

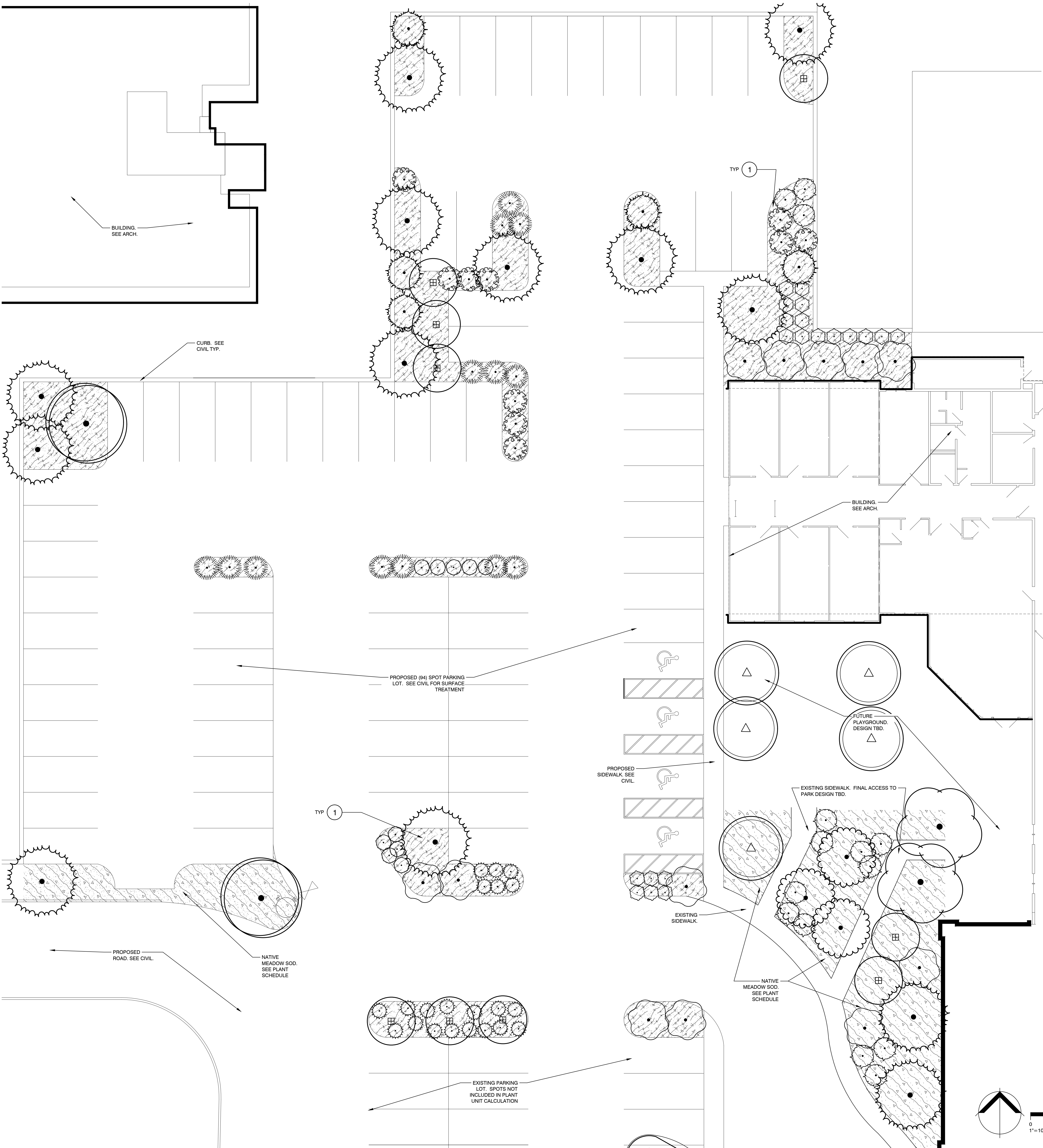
| | |
|--------------|------------|
| DRAFTED BY: | PY |
| REVIEWED BY: | BB |
| PLAN VERSION | DATE |
| PROGRESS | 11/20/2020 |

PROJECT NUMBER
20109














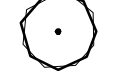


SHEET

C1.2





PLANT SCHEDULE

| TREES | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | QTY | REMARKS |
|---|-----------------------|------------------------|---------|-----------|----------|--------------------------|
|  | Betula nigra | River Birch | 3" Cal. | B&B | 2 | |
|  | Picea pungens | Colorado Spruce | 6" Ht. | B&B | 13 | Green Variety |
|  | Pinus aristata | Bristlecone Pine | 6" Ht. | B&B | 5 | |
|  | Populus angustifolia | Narrowleaf Poplar | 3" Cal. | B&B | 3 | |
|  | Populus tremuloides | Quaking Aspen | 3" Cal. | B&B | 9 | |
| EXISTING TREES TO REMAIN | | | | | | |
|  | Malus x | Crabapple | --- | | 5 | Existing tree to Remain |
|  | Picea pungens | Colorado Spruce | --- | | 2 | Existing Tree to Remain |
|  | Populus tremuloides | Quaking Aspen | --- | | 2 | Existing Trees to Remain |
| SHRUBS | | | | | | |
|  | Amelanchier alnifolia | Serviceberry | 6" | B&B | 14 | |
|  | Cornus sericea | Red Twig Dogwood | 5 gal. | | 20 | |
|  | Crataegus douglasii | Douglas Hawthorn | 6" | B&B | 13 | |
|  | Juniperus scopulorum | Rocky Mountain Juniper | 5 gal. | | 21 | |
|  | Populus tremuloides | Quaking Aspen | Clump | B&B | 12 | |
|  | Prunus virginiana | Chokecherry | 6" | B&B | 10 | |
|  | Rosa woodsii | Mountain Rose | 5 gal. | | 10 | |
| GROUND COVERS | | | | | | |
|  | Native Meadow Sod | | sod | | 3,032 sf | From Pocatello Sod |

REFERENCE NOTES SCHEDULE

| SYMBOL | DESCRIPTION | QTY | DETAIL |
|--------|--|----------|--------|
| 1 | 2" DEEP BARK MULCH. COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT. | 4,401 sf | |

PLANT UNIT SUMMARY AND BOND REQUIREMENTS

All landscaping will comply with Div. 5.5 of Town of Jackson LDRs. The landscape material shown meets & exceeds the (12) Plant Unit requirements for a 94 spot parking lot. A bond for the (12) Plant Unit requirement and irrigation will be provided before the Building Permit is issued. The bond amount will be as follows:

(12) Plant Unit Required
Average Value of (1) Plant Unit = \$2,600.00
Approximate Cost to Irrigate (1) Plant Unit = \$2,600.00
Total Cost of Plant Unit & Irrigation = \$4,900.00
Total Cost x 125% for Bond Amount = \$75,500

All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller - See Planting & Irrigation Notes

LANDSCAPE SURFACE AREA REQUIREMENTS

All landscaping will comply with Div. 5.5 of Town of Jackson LDRs. The landscape material shown meets & exceeds the (8) LSR requirement for the P/SP zone.

EROSION CONTROL NOTES

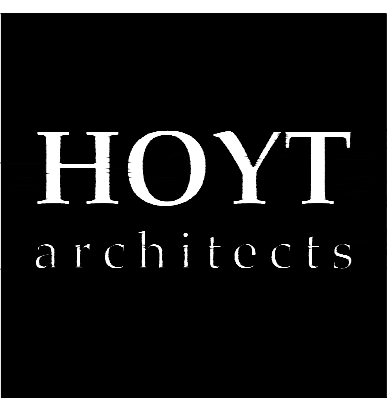
- Site grading and erosion control measures shall be established and at all times maintained in accordance with the approved grading and erosion control permit and other applicable local, state and federal requirements.
- All public ways shall be kept free and clear of construction materials.
- The construction site operator shall meet the state of Wyoming department of environmental quality wydepdes requirements for stormwater for small construction activities.
- The operator shall conduct and document self monitoring and inspections as described in the general permit.
- The operator shall review the condition of all erosion control measures at least once a week and after each rainfall and keep a record of all inspections.
- Discharges which include material other than storm water associated with construction activity, must be in compliance with an ripdes permit (other than the general permit) issued for the discharge.
- Concrete wash water shall not be discharged to waters of the state or to storm sewer systems.
- Bulk storage for petroleum products and other chemicals shall have adequate protection so as to contain all spills and prevent any spilled materials from entering waters of the state or municipal storm sewer systems.
- Water the disturbed portions of the site as necessary to control fugitive dust.
- Trash and waste material shall be transported in a covered container and disposed of at an authorized facility.
- Sequence earth moving operations to minimize stockpiling to the extent practical.

IRRIGATION NOTES

- Irrigation system is to be design / build by Contractor. All plant material shall be irrigated by a pressurized subsurface irrigation system with automatic controller. All trees, shrubs, and perennials shall be drip irrigated and all seed areas shall be irrigated with a spray or rotor system. All existing collectors within irrigated area shall be drip irrigated. Shrubs and trees are to be placed on separate drip zones with no overlap. Contractor shall demonstrate full system coverage prior to acceptance and before plant material installation. Contractor shall provide a reproducible as-built drawing of installed irrigation system at conclusion of project.
- The irrigation system shall be operational prior to plant installation or temporary irrigation measures shall be provided in the interim. The method of temporary irrigation shall be approved by the Landscape Architect prior to plant material installation.
- The design pressure of the system shall have a minimum pressure of 60 PSI. The Contractor is responsible to field verify pressures prior to commencing any construction and notify Landscape Architect of any variance from the required pressures.
- The irrigation system is intended to irrigate the established landscape within a watering window determined by the Landscape Architect. Establishment watering of native seed will require up to twice as much irrigation for a four to six week period. Required projected weekly application rates after establishment for native seed is 1.00" per week. The watering window and schedule will need to be adjusted due to seasonal conditions and weather conditions above and below the average values. Due to shrubs being planted in native seed, the Contractor will work with Landscape Architect to adjust shrub drip zones during the establishment period to prevent overwatering.
- All irrigation equipment is to be installed within property limits and within landscaped areas. Valve box locations to be coordinated in field with Landscape Architect. All valve boxes shall be installed a minimum of 2'-0" from edge of any paved surfaces. All valve boxes shall be placed a minimum of 9'-0" from the centerline of any drainage swale. Contractor shall fine tune/adjust the irrigation system to reduce/avoid overspray onto hard surfaces by adjusting nozzle direction and nozzle radius.
- All mainline and control wires crossing any paved or proposed paved surface, irrigation ditch, or the existing dirt road shall be installed in sleeving.

PLANTING NOTES

- Refer to Civil Engineer's utility and grading plans. If site conditions vary from what is shown, contact the Landscape Architect and Civil Engineer for direction before proceeding.
- Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site conditions, contact the Landscape Architect for direction before proceeding.
- Excavation near underground utilities shall be done carefully and, if necessary, by hand. The Contractor is fully responsible for the work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the Owner.
- Obtain approval of finish grading from Landscape Architect prior to installing any plant material. The finish grades of planting areas and lawns shall be 12 inches below adjacent edging or paving. Confirm much depth and whether lawns are to be seed or sod.
- Confirm all plant counts and square footages. Quantities shown are provided as Owner information only. If quantities indicated in the plant list differ from symbols shown on the plans, then the plans shall govern the plant count.
- Contractor to verify suitability of native or imported topsoil. Suitable topsoil shall be free of roots, plants, soil, stones greater than 1" in any dimension, clay lumps, and other extraneous materials detrimental to plant growth. Contractor to supplement existing native surface topsoil as necessary. Obtain supplemental topsoil displaced from naturally well-drained construction or mining sites where topsoil occurs at least 4 inches deep. Do not obtain from agricultural lands, bogs, or marshes.
- For areas to receive sod or seed and/or to produce planting soil for areas indicated on details, amend suitable topsoil with organic compost to a ratio of 1 part compost to 4 parts topsoil by volume.
- Compost mulch shall be organic, well-composted, stable, and weed-free organic matter, pH range of 5.5-8.0; moisture content 35 to 55 percent by weight; 100 percent passing through 1-inch sieve; soluble salt content of 2 to 5 deciseimens/m; not to exceed 0.5 percent insect contaminants and free of substances toxic to planting; organic matter content 50 to 60 percent of dry weight. Source: Glacier Gold Compost or approved equal.
- The Landscape Architect shall review all plant materials at the source or nursery or by photographs provided by Contractor prior to shipment. The Landscape Architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site.
- Carefully align and space plant materials as indicated in these notes, drawings, and details. The final location of plant materials is to be approved by the Landscape Architect on site prior to installation. The Contractor is responsible for staking or marking the location of all plant materials on site for review by the Landscape Architect. The Landscape Architect reserves the right to adjust the exact locations of plants on site.
- All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
- No pruning of existing or newly planted trees or shrubs shall be allowed without the direction and approval of the Landscape Architect.
- For ball & burlap trees, remove burlap from top 1/2 of rootball and entire wire basket as tree pits are backfilled.
- All installed trees shall be staked. The Landscape Architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
- During construction and prior to final acceptance, Contractor shall observe the project site for the growth of noxious weeds. Contractor shall report the growth of noxious weeds to the Teton County Weed and Pest District Office. Contractor and Owner shall implement a weed control program to control noxious weeds.
- All disturbed areas not receiving other planting treatment shall be seeded with specified or subdivision-specific seed mix.
- Apply 16-16-8 fertilizer at the rate of 15 lbs per 1,000 SF and till into top 4" of areas to receive sod or seed.
- Planting period for seed and sod shall be immediately after finish grading and irrigation installation are accepted but no later than September 30 for sod. Seed shall be installed after September 30 or no later than June 1.
- Final sod and seed quantities shall be calculated by Contractor based on sod perimeter marked in field by Landscape Architect, and all remaining areas of disturbance for seed.



Jackson Wyoming
hoytarchitects.design
307.733.9955

CAIRN
LANDSCAPE
ARCHITECTS
DESIGN • RECREATION • ECOLOGY

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH

© 2020 | ALL RIGHTS RESERVED

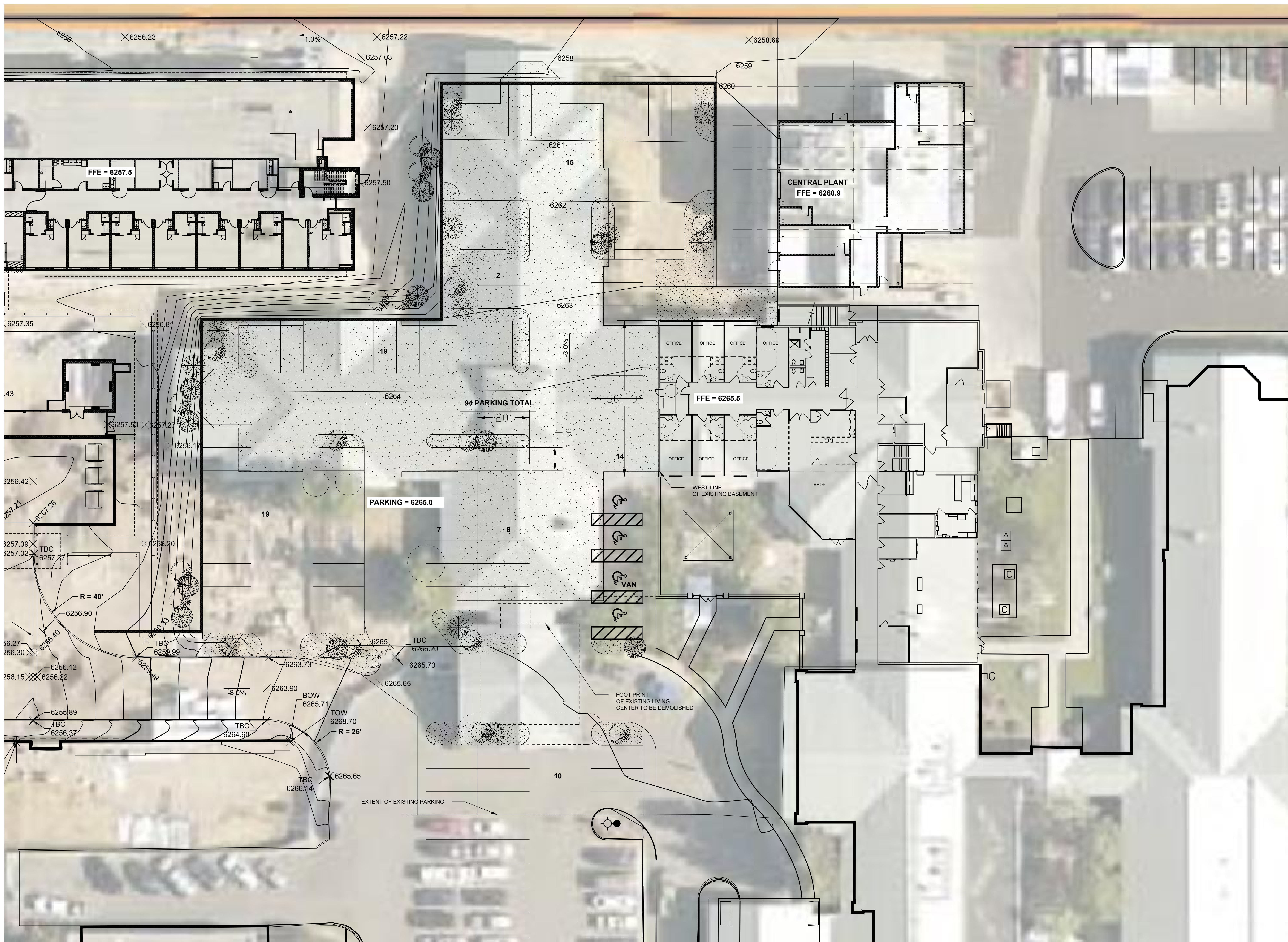
PRE-APP SUBMISSION

11.30.2020
DRAWN BY | HNF
CHECKED BY |
REVISIONS

LANDSCAPE PLAN

L101

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

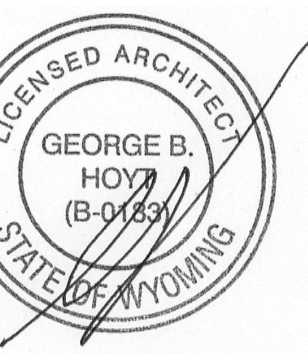


| SITE CONSTRUCTION NOTES | |
|-------------------------|---|
| 1. | Refer to Civil drawings and coordinate all trades |
| 2. | Refer to Landscape drawings and coordinate all trades |
| 3. | Refer to Construction Staging drawings and coordinate all trades |
| 4. | Refer to all drawings and coordinate all utility locations and existing conditions. |
| 5. | Maintain all access, fencing and erosion control throughout the entire term of the project as required. |
| 6. | Coordinate temporary conditions with St. Johns Health Facility manager throughout the entire term of the project. |
| 7. | Understand and maintain the limits of construction and disturbance throughout the entire term of the project. |
| 8. | Notify the Architect and St Johns Health Facility manager of existing conditions and uncovered constructions that conflict with the drawings. |

1 SITE SCHEMATIC RETAINING WALLS
SP101 1/16" = 1'-0"



625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH



© 2021 | ALL RIGHTS RESERVED

PRELIMINARY SUBMITTAL

12.11.2020
DRAWN BY |
CHECKED BY |
REVISIONS

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

SITE PLAN

SP101

| ROOM FINISH SCHEDULE | | | | | | | | |
|----------------------|--------------|-------|------|-------|-----|-----|-----|-------------|
| RM # | ROOM NAME | FLOOR | BASE | WALLS | | | | ADD'L NOTES |
| | | | | N | E | S | W | |
| 100 | SHOP | SV1 | CB1 | PT1 | PT1 | PT1 | PT1 | |
| 101 | OFFICE | CT1 | | PT1 | PT1 | PT1 | PT1 | |
| 102 | OFFICE | CT1 | CB1 | PT1 | PT1 | PT1 | PT1 | |
| 103 | OFFICE | CT1 | RB1 | PT1 | PT1 | PT1 | PT1 | |
| 104 | OFFICE | CT1 | | | | | | |
| 105 | OFFICE | CT1 | | | | | | |
| 106 | OFFICE | CT1 | | | | | | |
| 107 | OFFICE | CT1 | | | | | | |
| 108 | HALL | CT1 | | | | | | |
| 109 | WATER CLOSET | | | | | | | |
| 110 | WATER CLOSET | | | | | | | |
| 111 | WATER CLOSET | | | | | | | |
| 112 | SHOWER | | | | | | | |
| 113 | LOCKER | | | | | | | |
| 114 | | | | | | | | |
| 115 | | | | | | | | |
| 116 | VESTIBULE | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |

ROOM FINISH ADDITIONAL NOTES

- PATCH AND REPAIR EXISTING FINISHES AS NEEDED WHERE DOORS ARE INFILLED OR REMOVED. FINISH ALL NEW WALLS TO MATCH ADJOINING EXISTING FINISHES.
- COVE SHEET VINYL BASE 4" AND TRIM WITH ALUMINUM TRIM CAP.
- WALL TILE, SEE INTERIOR ELEVATION, WITH PAINT AS NOTED ABOVE.
- VINYL PLANK TO BE INSTALLED IN PATTERN TO MATCH EXISTING FLOORING, VERIFY.
- EXISTING MATERIALS IN THIS ROOM TO REMAIN AND BE PROTECTED, PATCH AND REPAIR ANY DAMAGED FINISHES.
- BULLNOSE TRIM PIECE TO MATCH FIELD TILE.
- MATCH FLOORING AND TRANSITIONS TO EXISTING MATERIALS, PATCH AND REPAIR AND DAMAGE TO EXISTING FINISHES.

2006 IBC TABLE 803.5

INTERIOR WALL AND CEILING FINISH REQUIREMENTS FOR OCCUPANCY I-2 FULL SPRINKLED
EXIT ENCLOSURES AND EXIT PASSAGE WAYS: CLASS B
CORRIDORS: CLASS B
ROOMS AND ENCLOSED SPACES: CLASS B

PLAN LEGEND

- L** 'CG' CORNER GUARD
P2 FINISH PLACEMENT CALL OUT
TR1 FLOORING TRANSITION

ROOM FINISH ABBREVIATIONS

- FLOOR FINISHES**
EX - EXISTING TO REMAIN
ME# - MATCH EXISTING
CT# - CARPET TILE
LV# - LUXURY VINYL PLANK
SV# - SHEET VINYL
- FLOOR TRANSITIONS**
ME# - MATCH EXISTING
TR# - FLOOR TRANSITION
- BASE FINISHES**
EX - EXISTING TO REMAIN
ME# - MATCH EXISTING
RB# - RUBBER BASE
CB# - COVE BASE
TB# - TILE BASE

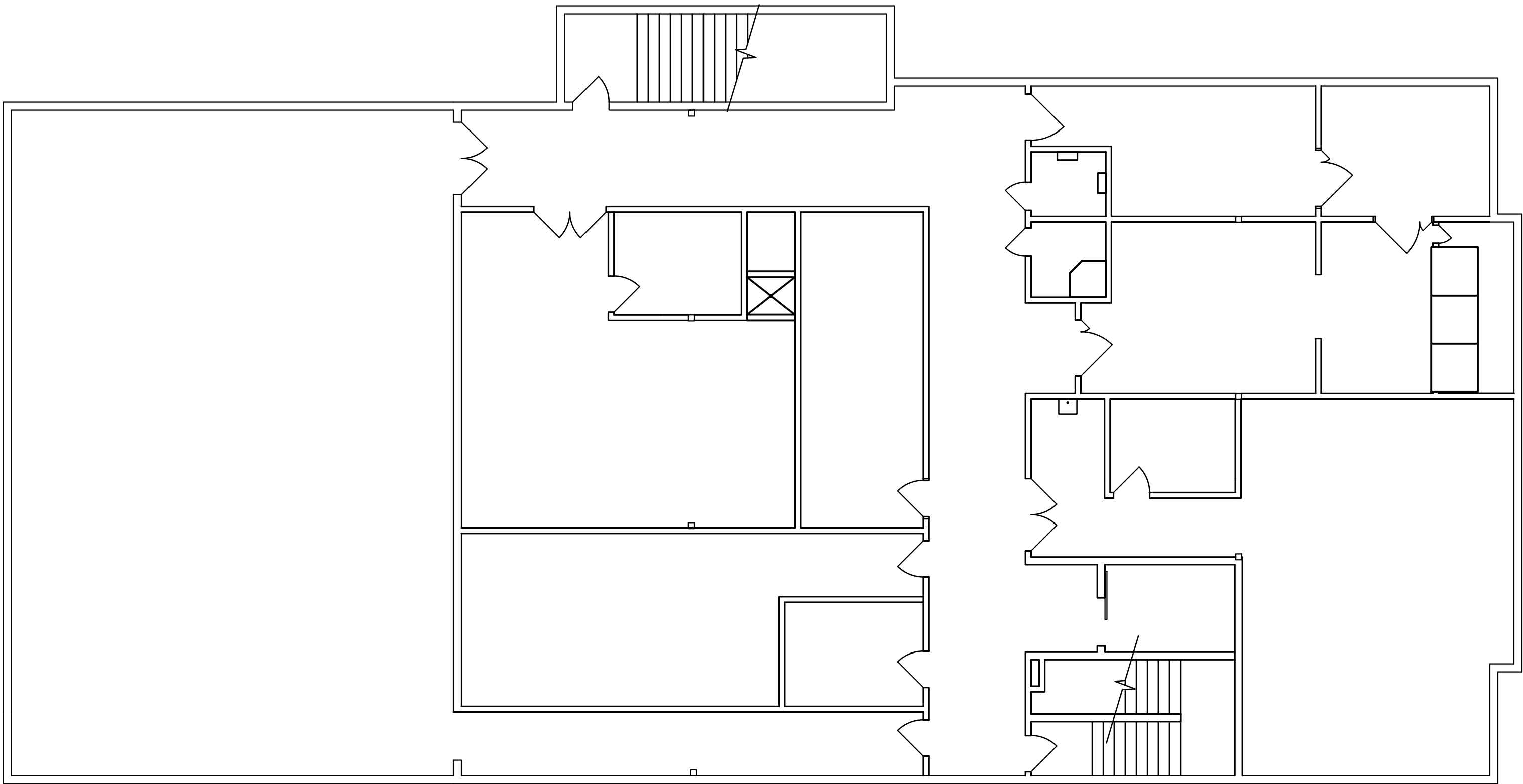
- WALL FINISHES**
EX - EXISTING TO REMAIN
ME# - MATCH EXISTING
PT# - PAINT
WT# - WALL TILE

- WALL PROTECTION**
CG# - CORNER GUARD

- CASEWORK**
PL# - PLASTIC LAMINATE
SS# - SOLID SURFACE

GENERAL FINISH NOTES

- ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS USING MANUFACTURER'S TOOLS, METHODS AND ADHESIVES, ETC. UNLESS NOTED OTHERWISE.
- ALL METAL DOORS AND FRAMES TO BE PAINTED TO MATCH EXISTING FRAMES.
- MATCH PAINT SHEEN TO EXISTING PAINTS.
- PAINT GYPSUM BOARD CEILINGS SAME PAINT COLOR AS ADJACENT WALLS.
- CORNER GUARDS TO BE PROVIDED AT ALL EXTERIOR CORNERS, UNLESS NOTED OTHERWISE.
- CORNER GUARDS TO BE FULL HEIGHT OF WALL WITH BOTTOM OF CORNER GUARD AT TOP OF WALL BASE, UNLESS NOTED OTHERWISE.
- ALL FLOORING TRANSITIONS, CHANGES IN MATERIALS OR PATTERNS TO OCCUR DIRECTLY BENEATH DOORS UNLESS OTHERWISE NOTED.
- SHEET VINYL SEAMS ARE TO BE HEAT WELDED.
- ALL FLOOR TILE TO BE INSTALLED USING TCNA METHOD F115A-15. ALL WALL TILE TO BE INSTALLED USING METHOD W244C-15. ALL GROUT TO BE LATICRETE SPECTRALOCK PRO OR APPROVED EQUAL, UNLESS NOTED OTHERWISE.
- MATCH HARDWARE ON NEW CABINETS TO EXISTING HARDWARE.
- PROVIDE METAL TRANSITION STRIPS AT ALL CERAMIC FLOOR TILE TRANSITIONS. PROVIDE RUBBER TRANSITION STRIPS (COLOR TO MATCH WALL BASE) AT ALL OTHER FLOORING MATERIAL TRANSITIONS.
- FURNITURE SHOWN FOR REFERENCE AND COORDINATION ONLY. PROVIDED BY OTHERS.
- ALL METAL ACCESS PANELS, COVER PLATES, VENT AND GRILLES TO BE PAINTED TO MATCH THE SURFACE IT IS LOCATED ON.
- NO TEXTILE WALL COVERING SPECIFIED.



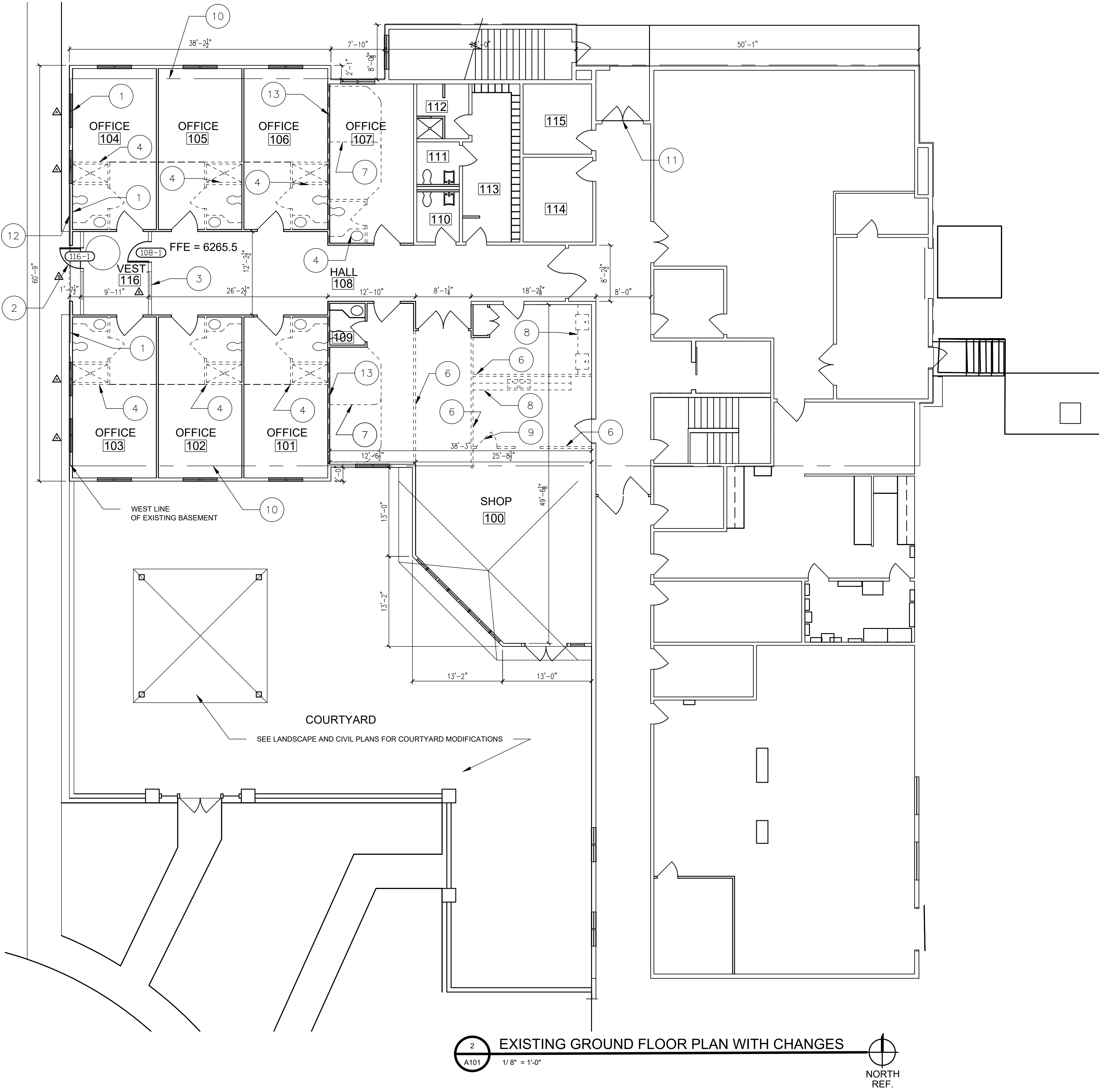
1 EXISTING BASEMENT PLAN
A101 1/8" = 1'-0"

THIS PLAN PROVIDED FOR REFERENCE.
NO MODIFICATIONS THIS FLOOR

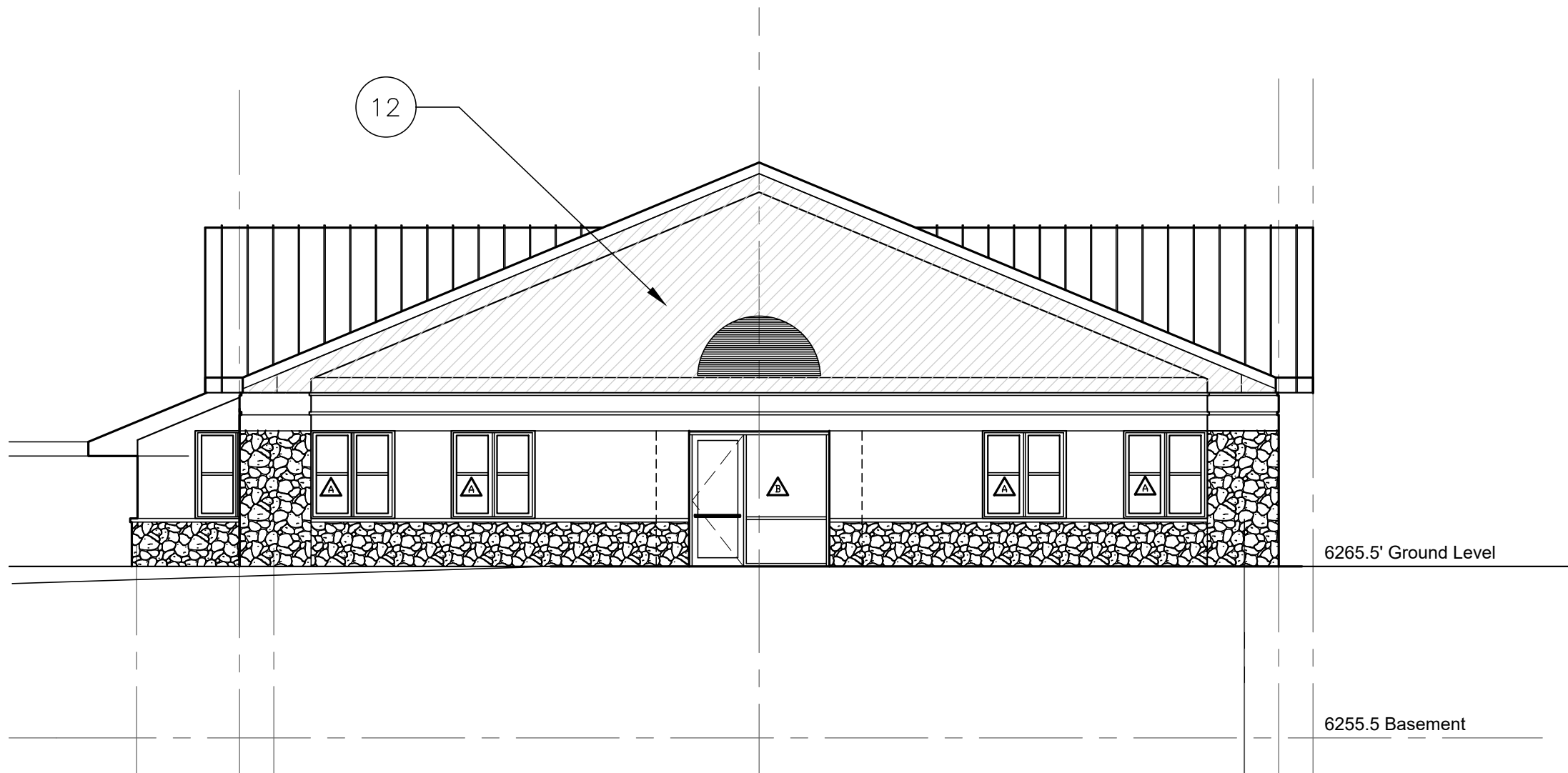
PLAN DEMOLITION AND CONSTRUCTION NOTES

- Existing shear wall to remain. See exterior elevation for exterior materials. See structural.
- New exterior storefront partition w/ exit door see schedules.
- New interior storefront partition w/ exit door see schedules.
- Existing restroom - fittings, fixtures, electrical, finishes to be removed. Replace and patch finishes as per finish schedule.
- Replace floor finish with carpet and pad as per finish schedule.
- Existing wall to be removed - patch as required see finish schedule and structural.
- Existing tracks and curtains to be removed - patch as required see finish schedule.
- Existing cabinets, plumbing and finishes to be removed. See finish schedule and plumbing. Patch as required.
- Existing door to be removed. Patch as required.
- Existing basement below.
- Maintain existing exits, fire separation walls, doors, fire sprinkler system and other components to maintain code compliance during demolition and construction.
- Frame new gable wall above existing shear wall to support roof diaphragm and extended overhang. See detail -A- and structural.
- Existing shear wall to remain

NOTE:
DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY. VERIFY EXISTING CONDITIONS IN THE FIELD.



2 EXISTING GROUND FLOOR PLAN WITH CHANGES
A101 1/8" = 1'-0"



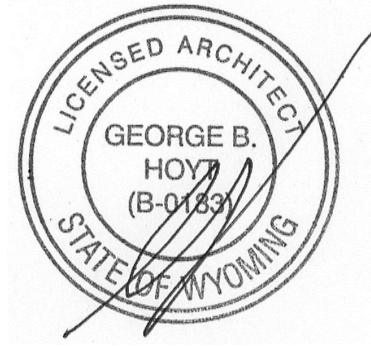
1 PROPOSED WEST ELEVATION
A101 1/8" = 1'-0"

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



Jackson Wyoming
hoytarchitects.design
307.733.8955

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH



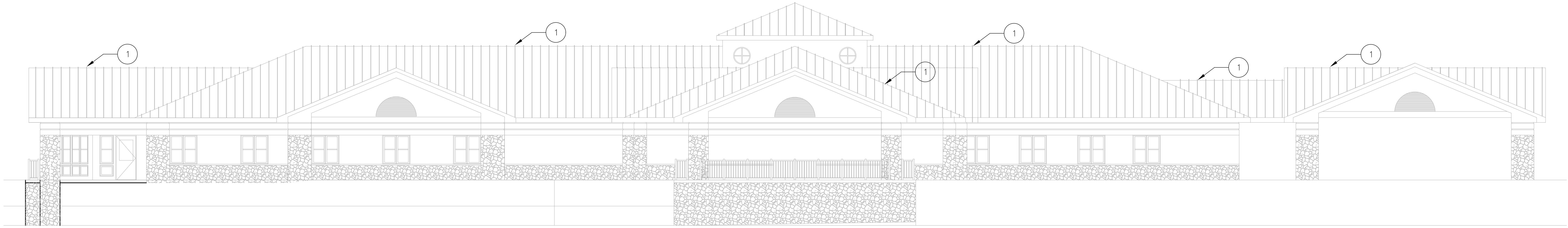
© 2021 | ALL RIGHTS RESERVED

PRELIMINARY SUBMITTAL

12.11.2020
DRAWN BY J
CHECKED BY J
REVISIONS

FLOOR PLAN AND ELEVATION

A101

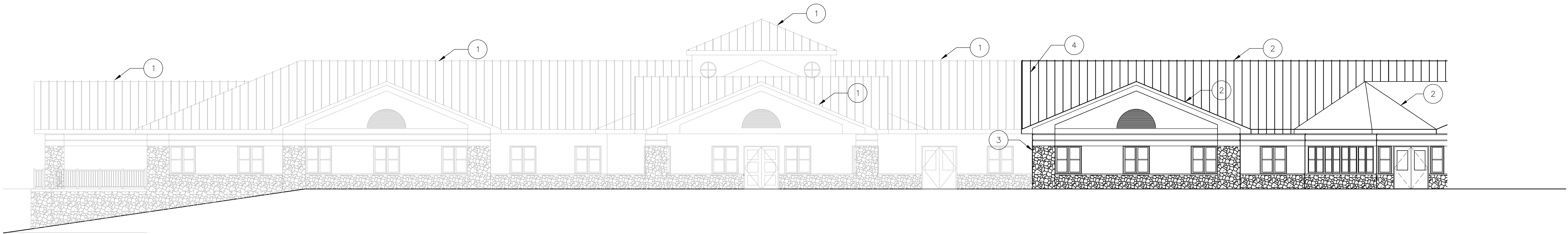


1 EXISTING WEST ELEVATION
A201 1/8" = 1'-0"

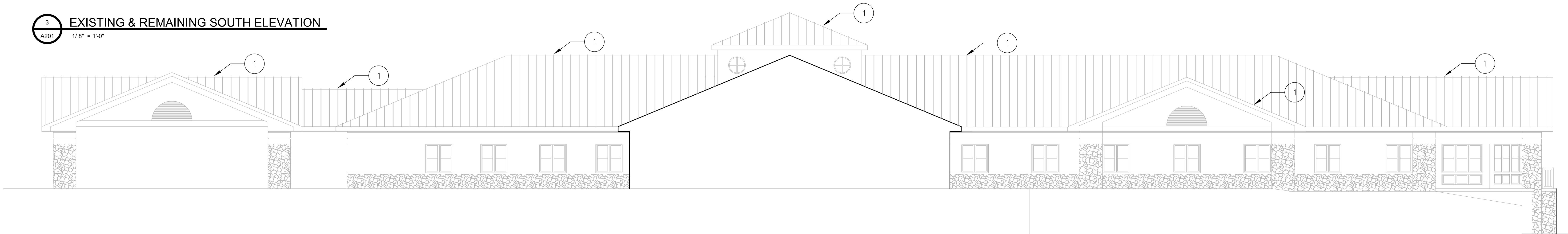


2 EXISTING & REMAINING NORTH ELEVATION
A201 1/8" = 1'-0"

| ELEVATION DEMOLITION AND CONSTRUCTION NOTES | |
|---|---|
| 1. | Existing Construction to be demolished. |
| 2. | Existing Construction to remain. |
| 3. | Existing shear wall to remain. See exterior elevation -/A-- for exterior materials. See structural. |
| 4. | Extend roof overhang. See detail -/A-- and structural. |

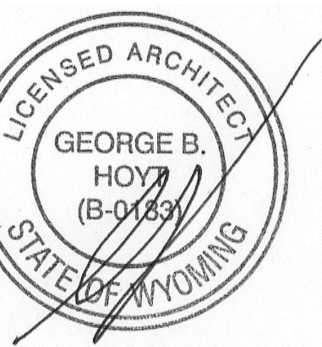


3 EXISTING & REMAINING SOUTH ELEVATION
A201 1/8" = 1'-0"



4 EXISTING EAST ELEVATION
A201 1/8" = 1'-0"

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH



© 2021 | ALL RIGHTS RESERVED

PRELIMINARY SUBMITTAL

12.11.2020
DRAWN BY |
CHECKED BY |
REVISIONS

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

EXTERIOR
ELEVATIONS

A201

DEMOLITION GENERAL NOTES:

- EXISTING ITEMS TO REMAIN ARE DENOTED LIGHTLY UNLESS OTHERWISE NOTED. ALL ITEMS SHOWN DARK AND DASHED SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOT SHUT-OFF OR PUT-OUT OF SERVICE ANY SYSTEMS OR SERVICE WITHOUT FIRST COORDINATING WITH THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND UNDERSTAND THE EXTENT OF THE REMOVAL WORK REQUIRED PRIOR TO BID. NO EXTRAS WILL BE ALLOWED FOR WORK REQUIRED TO ACHIEVE THE END RESULT AS INDICATED BY THE CONTRACT DOCUMENT.
- CONTRACTOR SHALL DETERMINE AND COORDINATE THE EXACT EXTENT OF DEMOLITION TO FACILITATE ALL WORK INDICATED BY THE CONTRACT DOCUMENT.
- PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES FOR RESOLUTION.
- ALL ITEMS IDENTIFIED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. REMOVED ITEMS SHALL BE TURNED OVER TO THE OWNER UNLESS OTHERWISE NOTED AND STORED IN THE AREA DESIGNATED BY THE OWNER. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL ITEMS THE OWNER CHOOSES NOT TO ACCEPT.
- WHERE EXISTING PIPING, T.C. TUBING/WIRING ETC. ARE TO BE REMOVED FROM WALLS WHICH ARE REMAINING, THE WALLS SHALL BE REPAIRED TO MATCH ORIGINAL CONDITIONS.
- WHERE EXISTING PIPING TO BE REMOVED PASSES THROUGH FLOORS, THEY SHALL BE CUT BACK TO WITHIN CONCRETE AND FILLED WITH GROUT TO ACHIEVE A SMOOTH AND EVEN FINISH WITH CONCRETE SURFACE.

GENERAL NOTES:

- WORK INCLUDED IN THE CONTRACT IS DENOTED IN BOLD. EXISTING CONDITIONS TO REMAIN ARE DENOTED LIGHTLY.
- A DETAILED METHOD OF PROCEDURE IS REQUIRED WHEN A CONSTRUCTION ACTIVITY AFFECTS THE SAFETY OF THE OCCUPANTS, OWNER'S EQUIPMENT OR VALUABLE CONTENTS OR ANY SYSTEM WHICH SUPPORTS THESE SYSTEMS OR ESSENTIALLY AFFECTS THE BUILDING MANAGEMENT, OPERATIONS OR SECURITY.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.
- COORDINATE WORK WITH ALL TRADES.
- CONTRACTOR IS RESPONSIBLE FOR SECURING AND WEATHERPROOFING ANY ROOF OPENING NOT COMPLETED DURING WORKING HOURS.
- COORDINATE ALL DUCTWORK AND PIPING WITH EQUIPMENT, STRUCTURE, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEACTIVATION OF ROOF-MOUNTED EQUIPMENT AND ASSOCIATED INDOOR EQUIPMENT. ONLY ONE UNIT SHALL BE TAKEN OUT OF SERVICE AT ANY TIME, WITH REMAINDER OF UNITS LEFT OPERATIONAL.
- CONTRACTOR SHALL NOT SHUT DOWN / TAKE OUT OF SERVICE ANY SYSTEMS WITHOUT FIRST COORDINATING WITH OWNER AND PREPARING M.O.P.

PLUMBING NOTES:

- CONTRACTOR SHALL NOT SHUT-OFF/PUT OUT OF SERVICE ANY SYSTEMS/SERVICES WITHOUT FIRST COORDINATING WITH OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES FOR RESOLUTIONS.
- THIS CONTRACTOR SHALL COORDINATE LOCATIONS OF PIPING WITH OTHER TRADES AND ADVISE ARCHITECT/ENGINEER OF ANY POSSIBLE CONFLICTS. VERIFY EXACT LOCATIONS, ELEVATIONS AND DIMENSIONS OF STRUCTURAL MEMBERS AND OPENINGS.
- SEE SPECIFICATIONS FOR WATER HAMMER ARRESTOR SIZING. ALL FLUSH VALVES AND SOLENOID OPERATED EQUIPMENT SHALL HAVE A WATER HAMMER ARRESTOR.
- SEE PLUMBING FIXTURE SCHEDULE FOR PIPE SIZING TO INDIVIDUAL PLUMBING FIXTURES.
- ALL EXISTING FIXTURES AND EQUIPMENT TO BE REMOVED SHALL HAVE ALL ASSOCIATED PIPING CONTROLS, HANGERS, SUPPORTS AND ANY MISCELLANEOUS ASSOCIATED SERVICE OR PART REMOVED COMPLETELY.
- ALL MEDICAL GAS PIPING SHALL HAVE TOP TAKE-OFFS WHENEVER POSSIBLE.
- REFER TO ARCHITECTURAL DRAWINGS FOR ROOF PENETRATION DETAILS.
- REFER TO ARCHITECTURAL DRAWINGS FOR FIXTURE ELEVATIONS AND LOCATIONS.
- INVERT ELEVATIONS SHOWN ARE BASED ON A GROUND FLOOR FINISH ELEVATION OF XXXX.XX.
- SEE ARCHITECTURAL CONSTRUCTION DOCUMENTS FOR DIMENSIONED LOCATION OF PLUMBING FIXTURES AND WALLS.
- PROVIDE CLEANOUTS IN ACCESSIBLE LOCATIONS PER THE PROJECT SPECIFICATIONS AND LOCAL PLUMBING CODES.

| PLUMBING LEGEND (Not all symbols listed below are used on these drawings) | | | | | |
|--|--------|---|---------|--------|------------------------------------|
| ABBR. | SYMBOL | DESCRIPTION | ABBR. | SYMBOL | DESCRIPTION |
| CW | --- | DOMESTIC COLD WATER PIPING | GCO | ① | GRADE CLEANOUT / SURFACE CLEANOUT |
| HW | --- | DOMESTIC HOT WATER PIPING | FCO | ② | FLOOR CLEANOUT |
| HW-C | --- | DOMESTIC HOT WATER CIRC PIPING | WCO | ③ | WALL CLEANOUT |
| CW-S | --- | SOFTENED DOMESTIC COLD WATER PIPING | SCD | ④ | STORM LINE CLEANOUT |
| HW-S | --- | SOFTENED DOMESTIC HOT WATER PIPING | AD | ⑤ | AREA DRAIN |
| 140°F HW | --- | DOMESTIC HOT WATER PIPING @ TEMP SHOWN | FD | ⑥ | FLOOR DRAIN |
| 140°F HW-C | --- | DOMESTIC HOT WATER CIRC PIPING @ TEMP SHOWN | FS | ⑦ | FLOOR SINK |
| TW | --- | TEMPERED WATER PIPING | RD / OD | ⑧ | ROOF DRAIN OR OVERFLOW DRAIN |
| TW-C | --- | TEMPERED WATER CIRC PIPING | | | |
| ICW | --- | INDUSTRIAL COLD WATER PIPING | VB | ⑨ | ATMOSPHERIC VACUUM BREAKER |
| IHW | --- | INDUSTRIAL HOT WATER PIPING | BFP | ⑩ | BACKFLOW PREVENTER |
| IHW-C | --- | INDUSTRIAL HOT WATER CIRC PIPING | SA | ⑪ | SHOCK ARRESTOR W / ISOLATION VALVE |
| NPCW | --- | NON-POTABLE COLD WATER PIPING | GC | ⑫ | GAS SHUT-OFF VALVE |
| NPHW | --- | NON-POTABLE HOT WATER PIPING | SA | ⑬ | STOP AND DRAIN VALVE |
| NPHR | --- | NON-POTABLE HOT WATER CIRC PIPING | BV | ⑭ | BALANCING VALVE |
| V | --- | VENT PIPING | WH | ⑮ | WALL HYDRANT |
| AV | --- | ACID RESISTANT VENT PIPING | HB | ⑯ | HOSE BIBB |
| W | --- | WASTE PIPING | RH | ⑰ | ROOF HYDRANT |
| W | --- | WASTE PIPING BELOW FLOOR | YH | ⑱ | YARD HYDRANT |
| AW | --- | ACID RESISTANT WASTE PIPING | DSN | ⑲ | DOWNSPOUT NOZZLE |
| AW | --- | ACID RESISTANT WASTE PIPING BELOW FLOOR | MH | ⑳ | MANHOLE |
| GW | --- | GREASE WASTE (TO GREASE INTERCEPTOR) | CI | ㉑ | CAST IRON |
| GW | --- | GREASE WASTE PIPING BELOW FLOOR | CB | ㉒ | CATCH BASIN |
| SD | --- | STORM DRAIN PIPING | VTR | ㉓ | VENT THRU ROOF |
| SD | --- | STORM DRAIN PIPING BELOW FLOOR | IE | ㉔ | INVERT ELEVATION |
| OD | --- | OVERFLOW DRAIN PIPING | PVC | | POLYVINYL CHLORIDE |
| OD | --- | OVERFLOW DRAIN PIPING BELOW FLOOR | | | |
| CA | --- | COMPRESSED AIR | | | |
| G | --- | NATURAL GAS PIPING | | | |

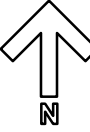
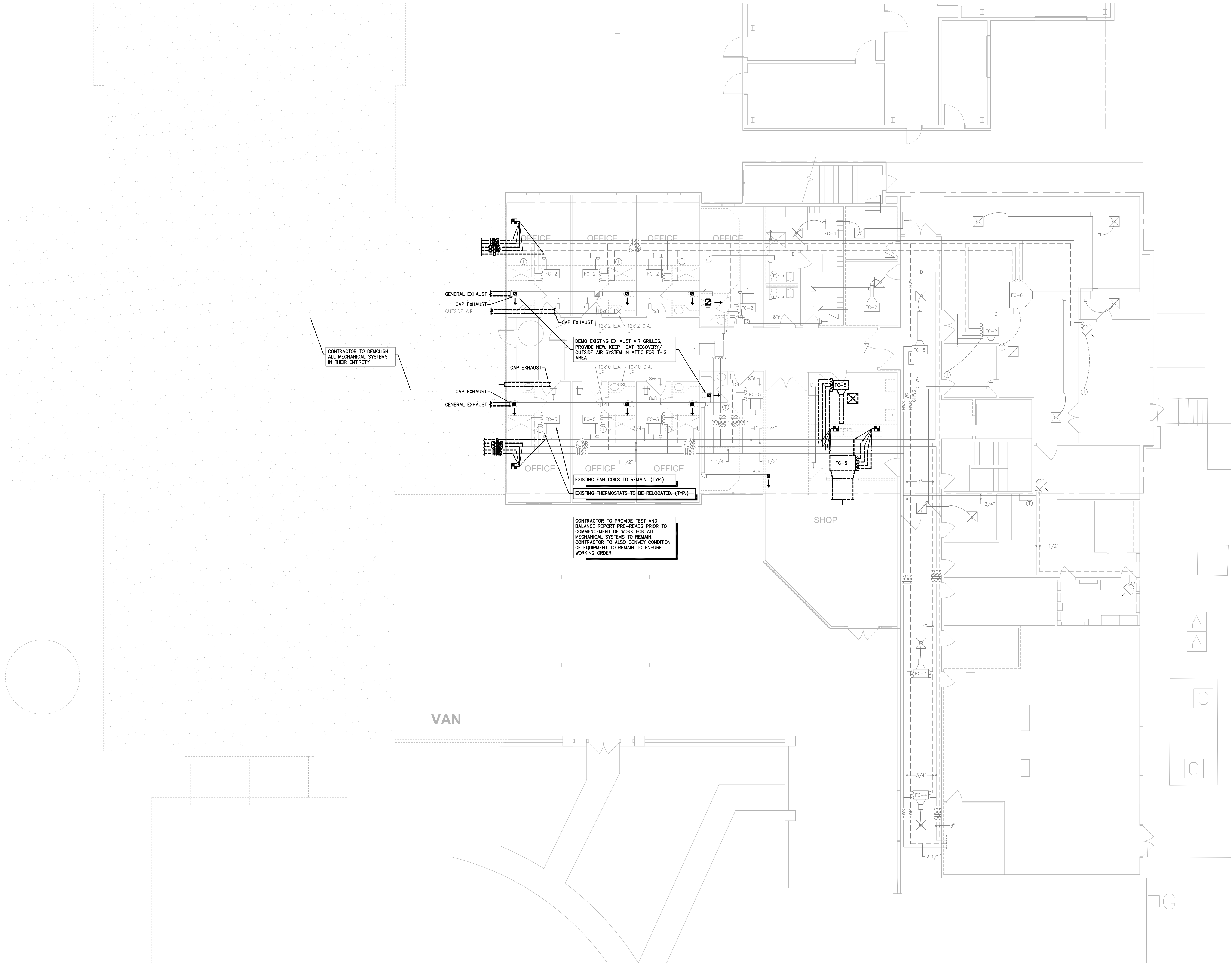
| DOUBLE/SINGLE LINE DUCT LEGEND (Not all symbols listed below are used on these drawings) | | | | | |
|---|-------------|-----------------------|-------------|----------------------|-------------|
| SINGLE LINE | DOUBLE LINE | SINGLE LINE | DOUBLE LINE | SINGLE LINE | DOUBLE LINE |
| | | | | | |
| 45° TEE (ROUND) | | 90° TEE (RECTANGULAR) | | FLEX DUCT | |
| | | | | | |
| 45° TEE (RECTANGULAR) | | 90° TEE (ROUND) | | MANUAL VOLUME DAMPER | |
| | | | | | |
| DUCT SPLIT | | GRID RUNOUT | | REDUCER | |

| GENERAL LEGEND (Not all symbols listed below are used on these drawings) | | | | | |
|---|--------|---|--------|--------|--|
| ABBR. | SYMBOL | DESCRIPTION | ABBR. | SYMBOL | DESCRIPTION |
| | | SECTION DESIGNATION | | | CAP END OF PIPE |
| | | SECTION CUT ON THIS SHEET | | | PITCH DOWN IN DIRECTION OF ARROW |
| | | VIEW REFERENCE DESIGNATION | | | PIPE ANCHOR |
| | | VIEW REFERENCE ON THIS SHEET | | | PIPE ALIGNMENT GUIDE |
| | | EQUIPMENT UNIT IDENTIFICATION | | | UNION OR FLANGE |
| | | EQUIPMENT UNIT NUMBER | | | CONCENTRIC PIPE REDUCER |
| | | DIFFUSER IDENTIFICATION | | | ECCENTRIC PIPE REDUCER |
| | | DIFFUSER NECK DIAMETER | PRV | | PRESSURE REDUCING VALVE |
| | | DIFFUSER CFM | PTRV | | PRESSURE AND/OR TEMPERATURE RELIEF VALVE |
| | | LINEAR DIFFUSER IDENTIFICATION | | | ISOLATION VALVE (RE: SPEC FOR TYPE) |
| | | LINEAR DIFFUSER NECK DIAMETER | | | VERTICAL PIPE VALVE |
| | | LINEAR DIFFUSER LENGTH | CV | | CHECK VALVE |
| | | LINEAR DIFFUSER CFM | | | SOLENOID / MOTORIZED VALVE |
| | | FINNED TUBE RADIATOR ACTIVE ELEMENT LENGTH | | | SOLENOID VALVE |
| | | EQUIPMENT UNIT IDENTIFICATION | | | HOSE END DRAIN VALVE |
| | | EQUIPMENT UNIT NUMBER | | | PRESSURE / TEMPERATURE TAP |
| | | RADIATOR ENCLOSURE LENGTH (OR W-W-WALL-TO-WALL) | P/T | | STRAINER |
| | | KEYNOTE REFERENCE | | | STRAINER W/ BLOWDOWN |
| | | KITCHEN/OWNER/MEDICAL EQUIPMENT REFERENCE | | | BRAIDED FLEXIBLE PIPE CONNECTOR |
| | | TYPICAL ROOM REFERENCE (TOP = RM #, BOTTOM = FLR) | | | DOUBLE-BOWL FLEXIBLE PIPE CONNECTOR |
| | | POINT OF CONNECTION, NEW TO EXISTING | | | THERMOMETER |
| | | POINT OF DISCONNECTION, DEMO | | | PRESSURE GAUGE |
| | | DIRECTION OF FLOW IN PIPE | | | SIGHT GLASS |
| | | DUCTWORK, PIPING AND EQUIPMENT TO BE REMOVED | | | CEILING ACCESS PANEL |
| (E) | | EXISTING | | | PUMP |
| (N) | | NEW | | | THRUST BLOCK |
| (R) | | RELOCATED | C.A.P. | | MANUAL AIR VENT |
| (F) | | FUTURE | | | AUTOMATIC AIR VENT |
| DIA | Ø | DIAMETER | TB | | |
| WAD | | WALL ACCESS DOOR | MAV | | |
| NIC | | NOT IN CONTRACT | AAV | | |
| AFF | | ABOVE FINISHED FLOOR | | | |
| GC | | GENERAL CONTRACTOR | | | |
| MC | | MECHANICAL CONTRACTOR | | | |
| EC | | ELECTRICAL CONTRACTOR | | | |
| UNO | | UNLESS NOTED OTHERWISE | | | |
| C | | COMMON | | | |
| NC | | NORMALLY CLOSED | | | |
| NO | | NORMALLY OPENED | | | |

| HVAC LEGEND (Not all symbols listed below are used on these drawings) | | | | | |
|--|--------|---|----------|--------|--|
| ABBR. | SYMBOL | DESCRIPTION | ABBR. | SYMBOL | DESCRIPTION |
| HWS | --- | HOT WATER SUPPLY PIPING | | | SUPPLY DUCT UP / DOWN |
| HWR | --- | HOT WATER RETURN PIPING | | | RETURN DUCT UP / DOWN |
| HTWS | --- | HIGH TEMPERATURE HEATING WATER SUPPLY PIPING | | | EXHAUST DUCT UP / DOWN |
| HTWR | --- | HIGH TEMPERATURE HEATING WATER RETURN PIPING | | | ROUND DUCT UP / ROUND DUCT DOWN |
| CHWS | --- | CHILLED WATER SUPPLY PIPING | 42F12 | | FLAT OVAL DUCTWORK |
| CHWR | --- | CHILLED WATER RETURN PIPING | | | FLEXIBLE DUCT CONNECTION |
| D | --- | COOLING COIL DRAIN PAN PIPING | BBD | | BACKDRAFT DAMPER |
| CWS | --- | CONDENSER WATER SUPPLY PIPING | TCB | | TEMP. CONTROL DAMPER-OPPOSED BLADE |
| CWR | --- | CONDENSER WATER RETURN PIPING | TCR | | TEMP. CONTROL DAMPER- PARALLEL BLADE |
| GHWS | --- | GLYCOL HEATING WATER SUPPLY PIPING | MVD | | MANUAL VOLUME DAMPER |
| GHWR | --- | GLYCOL HEATING WATER RETURN PIPING | MD | | DUCT MOTORIZED DAMPER |
| PCWS | --- | PROCESS CHILLED WATER SUPPLY PIPING | | | CONICAL FITTING WITH MVD |
| PCWR | --- | PROCESS CHILLED WATER RETURN PIPING | | | SPIN-IN FITTING WITH MVD |
| LPS | --- | LOW PRESSURE STEAM SUPPLY PIPING (0 - 15#) | FD | | DUCT FIRE DAMPER |
| LPC | --- | LOW PRESSURE CONDENSATE RETURN PIPING | FSD | | COMBINATION DUCT SMOKE & FIRE DAMPER |
| MPS | --- | MEDIUM PRESSURE STEAM SUPPLY PIPING (16# - 60#) | SD | | DUCT SMOKE DAMPER |
| MPC | --- | MEDIUM PRESSURE CONDENSATE RETURN PIPING | | | DUCT SMOKE DETECTOR |
| HPS | --- | HIGH PRESSURE STEAM SUPPLY PIPING (61# - 125#) | DAD | | DUCT ACCESS DOOR |
| HPC | --- | HIGH PRESSURE CONDENSATE RETURN PIPING | | | TURNING VANES IN DUCT ELBOW |
| PC | --- | PUMPED CONDENSATE PIPING | | | |
| BBD | --- | BOLTER BLOWDOWN PIPING | EP | | ELECTRIC-PNEUMATIC CONTROL VALVE |
| BF | --- | BOLTER FEED WATER PIPING | PE | | PNEUMATIC-ELECTRIC CONTROL SWITCH |
| RL | --- | REFRIGERANT LIQUID PIPING | | | WALL SWITCH / EMERGENCY SWITCH |
| RS | --- | REFRIGERANT SUCTION PIPING | | | TEMPERATURE SENSOR |
| RHG | --- | REFRIGERANT HOT GAS PIPING | | | WALL MOUNTED THERMOSTAT |
| TT | --- | THERMOSTATIC STEAM TRAP | | | WALL MOUNTED CARBON DIOXIDE SENSOR |
| F&T | --- | FLOAT AND THERMOSTATIC STEAM TRAP | | | WALL MOUNTED OXYGEN SENSOR |
| IBT | --- | INVERTED BUCKET STEAM TRAP | | | HUMIDISTAT |
| TCV | --- | (2 OR 3-WAY) TEMPERATURE CONTROL VALVE | | | UNIT MOUNTED THERMOSTAT |
| | | | | | PRESSURE SENSOR / PRESSURE MONITOR |
| BV | --- | VENTURI METER | | | UNDERCUT DOOR |
| AFV | --- | AUTO FLOW VALVE | | | UNDERCUT DOOR |
| RSV | --- | REFRIGERANT SERVICE VALVE | | | DUCT RISE |
| DPS | --- | DIFFERENTIAL PRESSURE SWITCH | | | DUCT DROP |
| FS | --- | FLOW SWITCH | A.L. | | ACOUSTICALLY LINED DUCTWORK |
| EJ | --- | EXPANSION JOINT | TCOD | | TEMPERATURE CONTROL OUTSIDE AIR DAMPER |
| BJ | --- | BALL JOINT EXPANSION COMPENSATOR | TCRAD | | TEMPERATURE CONTROL RETURN AIR DAMPER |
| | | | TCRAD | | TEMPERATURE CONTROL EXHAUST AIR DAMPER |
| | | | SP IN WC | | STATIC PRESSURE IN INCHES WATER COLUMN |
| | | | SD | | SUPPLY AIR DEVICE |
| | | | RG | | RETURN AIR DEVICE |
| | | | RG | | RETURN AIR DEVICE WITH SOUND BOOT |
| | | | EG | | EXHAUST AIR DEVICE |

DEMO KEY NOTES:

1. XXX



PARTIAL FIRST FLOOR MECHANICAL - DEMOLITION PLAN
SCALE: 1/8\"=1'-0"

NOT FOR CONSTRUCTION – PRELIMINARY DESIGN

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH

© 2020 | ALL RIGHTS RESERVED
DEMOLITION PACKAGE
CONSTRUCTION DOCUMENTS

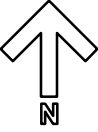
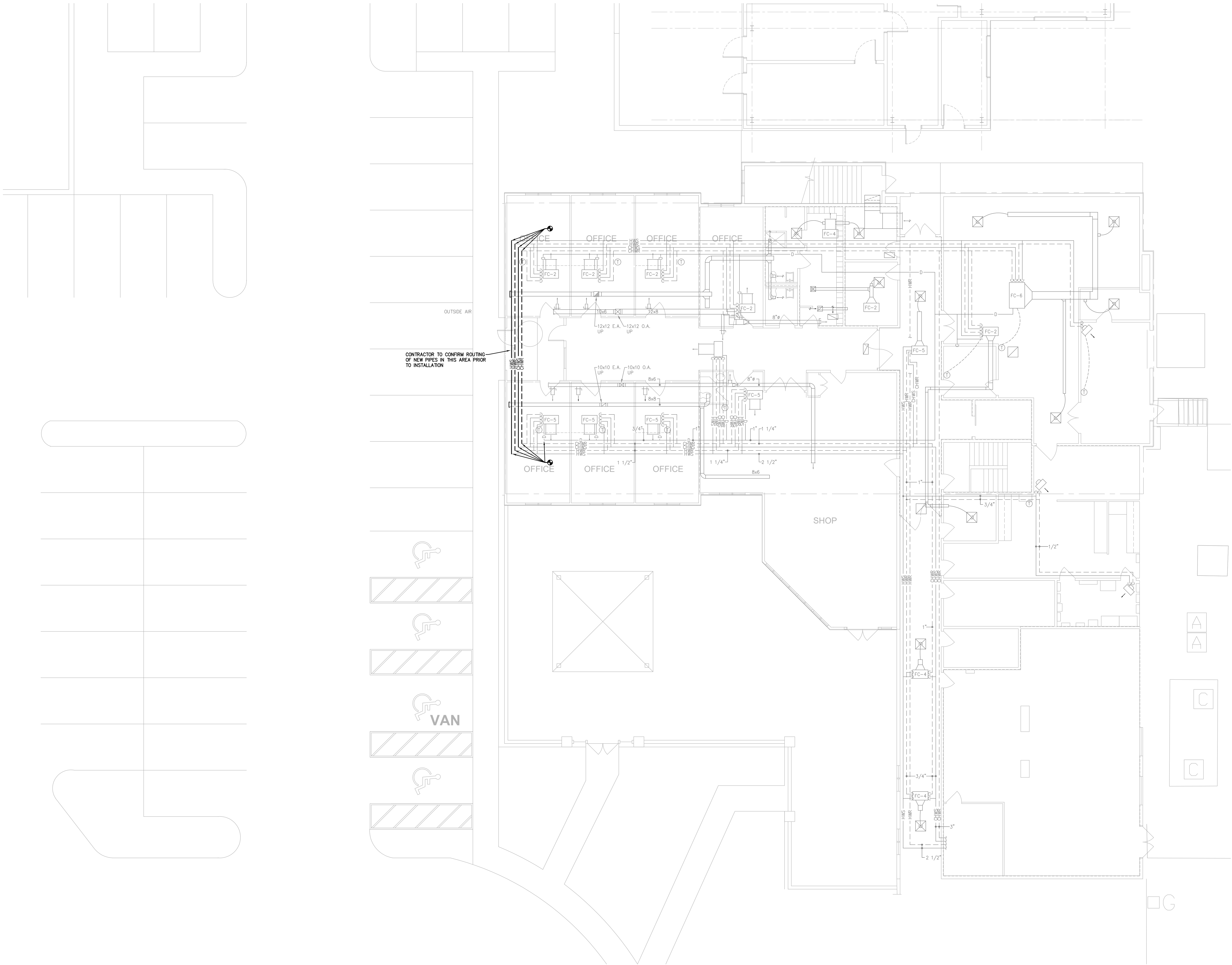
12.11.2020
DRAWN BY | PJC
CHECKED BY | SMM
REVISIONS

PARTIAL FIRST FLOOR
MECHANICAL
DEMO PLAN

MD1.02

NEW KEY NOTES:

1. XXX



PARTIAL FIRST FLOOR MECHANICAL - NEW PLAN
SCALE: 1/8"=1'-0"

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH

© 2020 | ALL RIGHTS RESERVED

DEMOLITION PACKAGE
CONSTRUCTION DOCUMENTS

12.11.2020
DRAWN BY | PJC
CHECKED BY | SMM
REVISIONS

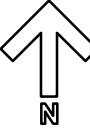
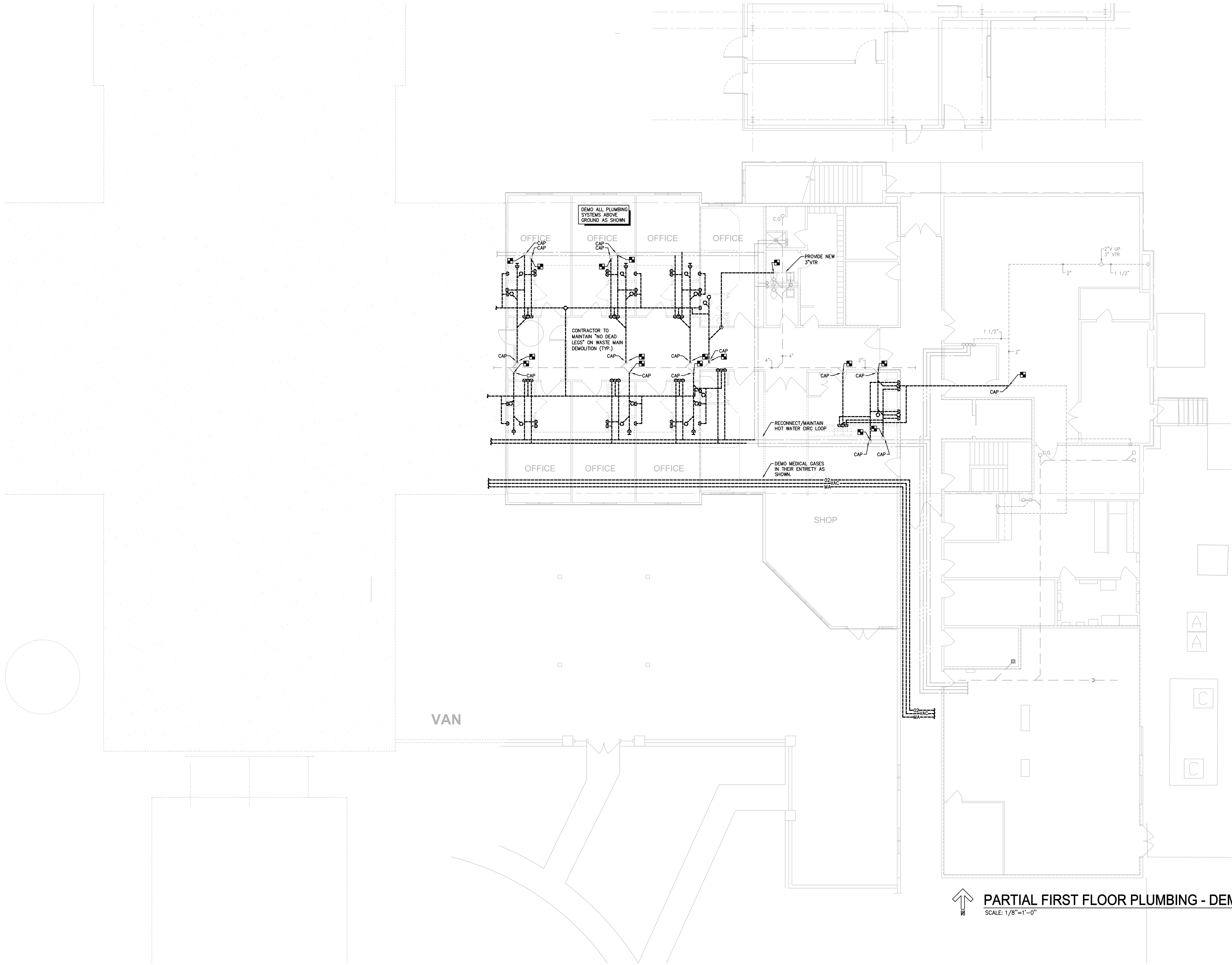
PARTIAL FIRST FLOOR
MECHANICAL
NEW PLAN

M1.01

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

DEMO KEY NOTES:

1. XXX



PARTIAL FIRST FLOOR PLUMBING - DEMOLITION PLAN
SCALE: 1/8"=1'-0"

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH

© 2020 | ALL RIGHTS RESERVED

DEMOLITION PACKAGE
CONSTRUCTION DOCUMENTS

12.11.2020
DRAWN BY | PJC
CHECKED BY | SMM
REVISIONS

PARTIAL FIRST FLOOR
PLUMBING
DEMOLITION PLAN

PD1.02

NOT FOR CONSTRUCTION – PRELIMINARY DESIGN

GENERAL NOTES:

1. FOR REMODELING, WORK INCLUDED IN CONDITION, DAMAGE, EXISTING CONDITIONS TO REMAIN ARE DENOTED LIGHTLY.
2. PROTECT ADJACENT STRUCTURES AND EQUIPMENT FROM DAMAGE. IMMEDIATELY REPORT DAMAGE TO THE DESIGNER. CONDITION DAMAGE CAUSED BY THE CONTRACTOR WHETHER EQUIPMENT APPEARS TO BE CURRENTLY IN USE OR NOT, UNLESS WRITTEN AUTHORIZATION FROM THE OWNER INDICATES OTHERWISE. PREPARE LISTING OF ALL DETERMINING AND REMOVED ITEMS AND REPORT TO OWNER PRIOR TO BEGINNING WORK.
3. PAINT EXPOSED CONCRETE TO MATCH EXISTING FINISHES WITHIN THE SURROUNDING AREA.
4. ALL PENETRATIONS FOR RACEWAY AND CABLE THAT ARE BY THIS CONTRACTOR, WHICH PENETRATE FLOORS, FIRE AND/OR SMOKE BARRIERS AND SEPARATIONS SHALL BE SEALED WITH A SYSTEM SPECIFICALLY UL APPROVED FOR THE APPLICATION.
5. A DETAILED WRITTEN METHOD OF PROCEDURE IS REQUIRED WHEN A CONSTRUCTION ACTIVITY MAY CAUSE DAMAGE TO OR AFFECT THE OPERATION OF EXISTING FIRE ALARM EQUIPMENT OR COMPONENTS OF ANY SYSTEM WHICH SUPPORTS THIS EQUIPMENT OR ESSENTIALLY AFFECTS THE BUILDING MANAGEMENT, OPERATIONS OR SAFETY OF THE BUILDING.
6. EXISTING INFORMATION SHOWN ON THE DRAWINGS HAS BEEN TAKEN FROM FIELD OBSERVATIONS. CARTER, RUMA & ASSOCIATES IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR THE ADEQUACY, SAFETY AND CONFORMANCE TO CURRENT CODES OF THE INFORMATION SHOWN ON THE DRAWINGS.
7. PROVIDE SEPARATE INSULATED GROUNDING CONDUCTOR IN ALL FEEDER, HUBBARD AND BRANCH CIRCUITS RECONNECTED AS PART OF THIS PROJECT.

DEMOLITION NOTES:

- [illegible]

ELECTRICAL PLAN NOTES:

1. MAKE ALL FINAL ELECTRICAL CONNECTIONS TO EQUIPMENT REQUIRING ELECTRICAL CONNECTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO ALL MECHANICAL AND OTHER EQUIPMENT INCLUDED IN THIS PROJECT.
2. ALL DEVICES FED FROM AN EMERGENCY CIRCUIT SHALL BE RED WITH RED FACEPLATE.
3. JUNCTION BOX LOCATIONS ARE SHOWN DIAGRAMMATICALLY AND SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS PROVIDE ACCESS DOORS WHEN NEEDED.
4. RESURFACE AND SECURE EXISTING RACEWAYS/CONDUITS ASSOCIATED WITH SCOPE OF WORK. ALL RACEWAYS/CONDUITS SHALL BE IDENTIFIED BY THE NFPA 70B CHAPTER 3.
5. PANEL SCHEDULES SHALL BE FILLED OUT SO EVERY NEW AND/OR MODIFIED CIRCUIT IS UNIDENTIFIED WITH ITS SPECIFIC PURPOSE AND/OR EQUIPMENT AS NECESSARY TO DISTINGUISH FROM ALL OTHER LOADS, IDENTIFICATION SHALL INCLUDE A DEGREE OF PROTECTION BY THE NFPA 70B CHAPTER 3.
6. CONTRACTOR SHALL MEETER APPEARED PANEL TO JUSTIFY LOAD ADDITIONS. TURN OVER RESULTS TO OWNER WITH OUR MANUALS.






























ABBREVIATIONS LEGEND

(Not all symbols listed below are used on these drawings)

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|--------|---|--------|---------------------------------------|
| A | AMPERES | MCP | MOTOR CIRCUIT PROTECTOR |
| AC | ABOVE COUNTER, MOUNT HORIZONTALLY TO CENTERLINE OF DEVICE, +6" ABOVE COUNTER OR BACK SPLASH | MEC | SEE MECHANICAL EQUIPMENT SCHEDULE |
| AFF | ABOVE FINISHED FLOOR | MIN | MINIMUM |
| AFG | ABOVE FINISHED GRADE | MLO | MAIN LUGS ONLY |
| ANN | ANNUNCIATOR | MTS | MANUAL TRANSFER SWITCH |
| ARF | ABOVE RAISED FLOOR | NC | NORMALLY CLOSED |
| ASSD | AIR SAMPLING SMOKE DETECTION | NIC | NOT IN CONTRACT |
| ATS | AUTOMATIC TRANSFER SWITCH | NL | NIGHT LIGHT |
| BFG | BELOW FINISHED GRADE | NO | NORMALLY OPEN |
| C | CONDUIT | NTS | NOT TO SCALE |
| CATV | CABLE TELEVISION | OC | ON CENTER |
| CB | CIRCUIT BREAKER | OFCI | OWNER FURNISHED, CONTRACTOR INSTALLED |
| CCTV | CLOSED CIRCUIT TELEVISION | OFOI | OWNER FURNISHED, OWNER INSTALLED |
| (E) | EXISTING | OSWF | ON SITE WORK FORCE |
| EM | EMERGENCY | PB | PULL BOX |
| EMDC | EMERGENCY MAIN DISTRIBUTION CENTER | SB | STAND-BY |
| EP | EXPLOSION PROOF | SDC | SUB-DISTRIBUTION CENTER |
| EPO | EMERGENCY POWER OFF | TP | TAMPER PROOF |
| EVO | EMERGENCY VENTILATION ON/OFF | TVSS | TRANSIENT VOLTAGE SURGE SUPPRESSER |
| EW | ELECTRIC WATER COOLER | TYP | TYPICAL |
| FA | FIRE ALARM | UF | UNDER FLOOR |
| G | GROUND | UG | UNDER GROUND |
| GCP | GENERATOR CONTROL PANEL | UON | UNLESS OTHERWISE NOTED |
| GFI | GROUND FAULT INTERRUPTING | UPS | UNINTERRUPTIBLE POWER SUPPLY |
| HOA | HAND OFF AUTOMATIC | V | VOLTS |
| IG | ISOLATED GROUND | VFD | VARIABLE FREQUENCY DRIVE |
| MAX | MAXIMUM | W/ | WITH |
| MCB | MAIN CIRCUIT BREAKER | W/O | WITHOUT |
| MCC | MOTOR CONTROL CENTER | WP | WEATHER PROOF |
| MDC | MAIN DISTRIBUTION CENTER | XPMR | TRANSFORMER |






FIRE ALARM SYSTEM LEGEND

(Not all symbols listed below are used on these drawings)

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|---|---|---|--|
|  | FIRE ALARM CONTROL PANEL |  | MANUAL PULL STATION |
|  | FIRE ALARM (NAC) POWER SUPPLY |  | ADDRESSABLE INPUT MODULE |
|  | FIRE ALARM SYSTEM ANNUNCIATOR PANEL (GRAPHIC/LED) |  | ADDRESSABLE OUTPUT MODULE |
|  | REMOTE ANNUNCIATOR PANEL |  | AUDIOVISUAL DEVICE (H=HORN, S=STROBE COMBINATION) |
|  | GRAPHIC ZONE MAP |  | S=PEAKER, STROKE COMBINATION, C=CHIME, STROKE COMBINATION) |
|  | RESSUE ASSISTANCE SYSTEM HEAD END UNIT |  | AUDIBLE DEVICE (H=HORN, S=PEAKER, C=CHIME) |
|  | FIRE FIGHTER SCOPE CONTROL PANEL |  | FIRE ALARM STROBE (cd= CANDELA RATING 15, 30, 75, 110) |
|  | FIRE ALARM DIRECTORY ANNUNCIATOR |  | EMERGENCY TELEPHONE STATION (J=JACK, H=HANDSET) |
|  | SMOKE DETECTOR (P=PHOTOELECTRIC, SB=WITH SOUNDER BASE, BR=IRAM RECEIVER, BT=IRAM TRANSMITTER) |  | RESCUE ASSISTANCE TELEPHONE STATION |
|  | THERMAL DETECTOR F=FIXED TEMPERATURE, R=FIXED TEMPERATURE & RATE OF RISE (TEMP. RATING) |  | MAGNETIC DOOR HOLD |
|  | FLAME DETECTOR (U=ULTRAVIOLET, IR=INFRARED) |  | TAMPER SWITCH |
|  | DUCT SMOKE DETECTOR S=SUPPLY, R=RETURN |  | FLOW DETECTOR SWITCH |
|  | DUCT DETECTOR REMOTE INDICATOR ALARM AND TEST |  | PRESSURE SWITCH |
|  | REMOTE DETECTOR LIGHT |  | FIRE/SMOKE DAMPER |
| | |  | CARBON MONOXIDE ALARM/DETECTOR |

CONTROLS LEGEND

(Not all symbols listed below are used on these drawings)

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|-----------------|--|---|---|
| S _Q | SINGLE POLE SWITCH (SUBSCRIPT DENOTES SWITCHING) | S _{VS} | VARIABLE SPEED/SPEED CONTROLLER SWITCH |
| S ₂ | TWO POLE SWITCH | S _{EP} | EXPLOSION PROOF SWITCH |
| S ₃ | THREE-WAY SWITCH | S _{TO} | THERMAL OVERLOAD SWITCH |
| S ₄ | FOUR-WAY SWITCH | S _{MC} | MOMENTARY CONTACT SWITCH |
| S _K | KEY OPERATED SWITCH |  | COMBINATION SWITCH AND DUPLEX RECEPTACLE |
| S _M | MANUAL SWITCH, HORSEPOWER RATE |  | PHOTOCELL |
| S _D | DIMMER SWITCH |  | PUSH BUTTON |
| S _{PI} | SWITCH WITH PILOT LIGHT (PILOT LIGHT IS ON WHEN SWITCH IS ON) |  | TIME CLOCK |
| S _P | SWITCH WITH PILOT LIGHT LOCATOR (CONTINUOUSLY LIGHTER HANDLE) |  | OCCUPANCY SENSOR - WALL MOUNTED P=HANGING, U=CEILING, D=DOOR, T=TECHNOLOGY |
| S _{LV} | LOW VOLTAGE SWITCH | S _{SU} | FUSED SWITCH |







































ONE-LINE DIAGRAM LEGEND

(Not all symbols listed below are used on these drawings)

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|--------|---|--------|--|
| | DISCONNECT SWITCH | | PANELBOARD "A" |
| | DISCONNECT SWITCH, FUSED | | EM=ENERGY METER, PM=POWER METER, CM=CIRCUIT MONITOR |
| | CIRCUIT BREAKER | | VOLTMETER TEST SWITCH |
| | FUSE | | AMMETER TEST SWITCH |
| | GROUND | | VOLTMETER |
| | STEP DOWN TRANSFORMER, ## INDICATES KVA | | AMMETER |
| | K-RATED STEP DOWN TRANSFORMER | | SEE FEEDER/MET/TRANSFORMER SCHEDULES FOR FEEDER SIZE |
| | ## INDICATES KVA, # INDICATES K RATING | | ENGINE GENERATOR |
| | POTENTIAL TRANSFORMER | | CONTACTOR/RELAY/CAPACITOR (AS NOTED) |
| | SERVICE ENTRANCE TRANSFORMER | | TRANSFER SWITCH - ATS=AUTOMATIC, MTS=MANUAL |
| | METER | | GROUND FAULT INTERRUPTER |
| | EQUIPMENT ENCLOSURE | | SURGE PROTECTIVE DEVICE |
| | SERVICE WEATHERHEAD | | SHUNT TRIP |
| | SHORT CIRCUIT CURRENT AVAILABLE | | TERMINATIONS LB=LOAD BREAK, NLB=NO LOAD BREAK |
| | KIRK KEY INTERLOCK, SUBSCRIPT INDICATES INTERLOCKED GROUP | | DRAW-OUT DEVICE |
| | ELECTRICAL INTERLOCK, SUBSCRIPT INDICATES INTERLOCKED GROUP | | PLUG-IN DEVICE |
| | MECHANICAL INTERLOCK | | ELECTRICALLY OPERATED |

POWER LEGEND

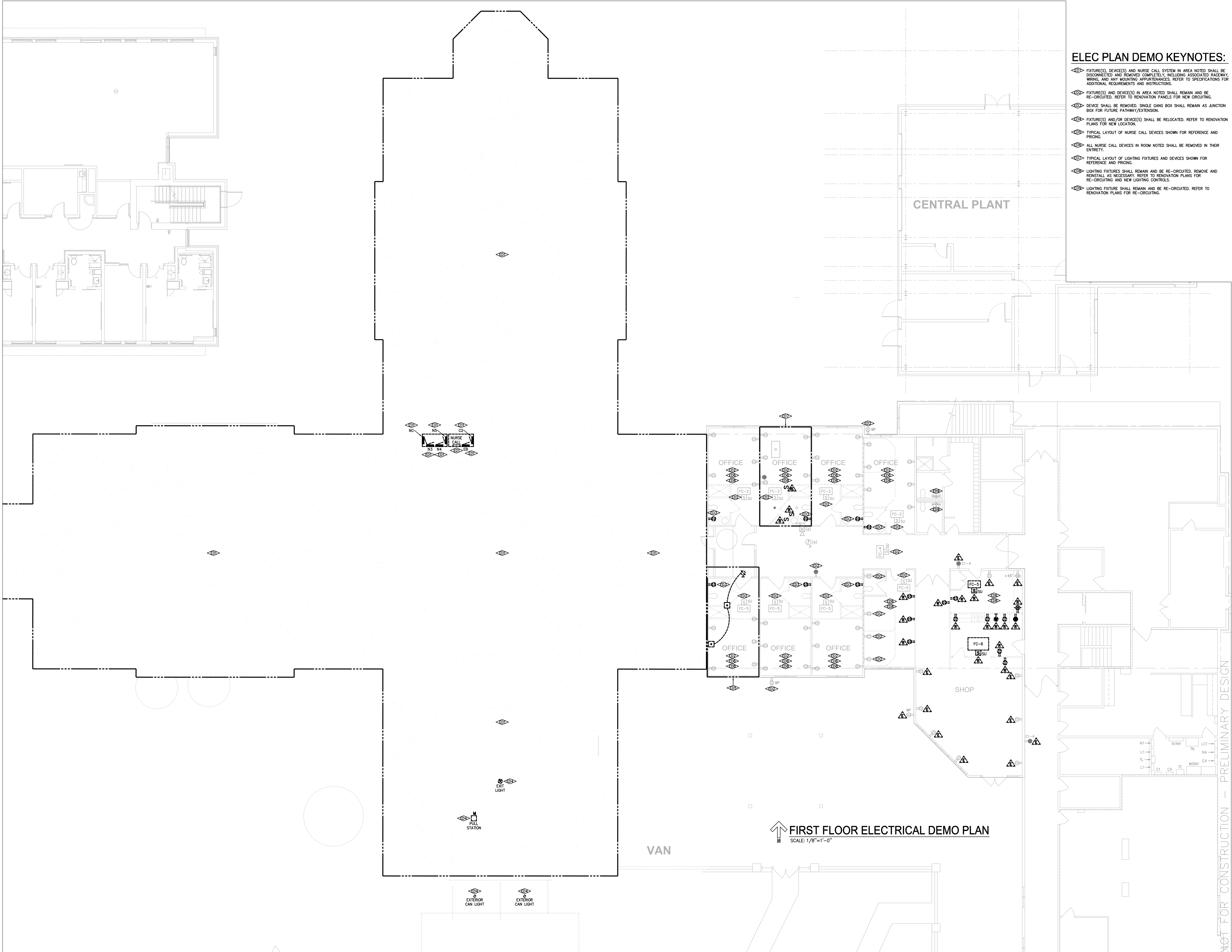
(Not all symbols listed below are used on these drawings)

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|---|---|---|---|
|  | SINGLE RECEPTACLE |  —  | PLUG MOLD (MULTI-OUTLET ASSEMBLY) |
|  | DUPLEX RECEPTACLE |  —  | WIRE MOLD (SURFACE RACEWAY) |
|  | DOUBLE DUPLEX RECEPTACLE |  | CONDUIT CONCEALED |
|  | DUPLEX RECEPTACLE, HALF SWITCHED |  | CONDUIT EXPOSED |
|  | DUPLEX RECEPTACLE, CEILING MOUNTED |  | CONDUIT, UNDERGROUND OR CONCEALED IN FLOOR AS ALLOWED PER SPECIFICATIONS |
|  | DUPLEX RECEPTACLE, FLOOR MOUNTED |  | CONDUIT TURNING DOWN |
|  | DOUBLE DUPLEX RECEPTACLE, FLOOR MOUNTED |  | CONDUIT TURNING UP |
|  | SPECIAL RECEPTACLE |  | CONDUIT CAPPED |
|  | SPECIAL RECEPTACLE, FLOOR MOUNTED |  | BRANCH CIRCUIT HOME RUN, NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS, SUBSCRIPTS INDICATE PANEL & CIRCUITS |
|  | JUNCTION BOX, WALL OR CEILING MOUNTED |  | GROUND BAR |
|  | JUNCTION BOX, FLOOR MOUNTED |  | MAIN SWITCHBOARD/DISTRIBUTION CENTER |
|  | MOTOR |  | TRANSFORMER |
|  | DISCONNECT SWITCH (NON-FUSED) |  | CURRENT TRANSFORMER |
|  | DISCONNECT SWITCH (FUSED) |  | THERMOSTAT |
|  | VARIABLE SPEED DRIVE WITH DISCONNECT |  | GENERATOR ANNUNCIATOR PANEL |
|  | ENCLOSED CIRCUIT BREAKER |  | SHADING INDICATES EMERGENCY SYSTEM |
|  | TIELEG SWITCH |  | TEXT INDICATES PANEL AND CIRCUIT DESIGNATION |
|  | ELECTRICAL PANELBOARD, CONTROL PANEL, OR OTHER CABINET, AS NOTED |  | UTILITY METER |

REFERENCE SYMBOLS LEGEND

(Not all symbols listed below are used on these drawings)

| SYMBOL | | DESCRIPTION | SYMBOL | | DESCRIPTION |
|--------|--|---|--------|--|-------------------------------------|
| | | KEY NOTE REFERENCE | | | KITCHEN/OWNER/MEDICAL REFERENCE |
| | | TYPICAL CIRCUIT NUMBER | | | EXISTING TO REMAIN |
| | | TYPICAL LUMINAIRE TYPE | | | EXISTING TO BE REMOVED |
| | | TYPICAL ROOM REFERENCE (TOP-RM, BOTTOM-FLR) | | | EXISTING TO BE RELOCATED |
| | | MECHANICAL EQUIPMENT REFERENCE | | | EXISTING TO REMAIN - REPLACE DEVICE |
| | | LIGHTING CONTROL/ EQUIPMENT REFERENCE | | | EXISTING TO BE REMOVED AND REPLACED |



ELEC PLAN DEMO KEYNOTES:

- FIXTURE(S), DEVICE(S) AND NURSE CALL SYSTEM IN AREA NOTED SHALL BE DISCONNECTED AND REMOVED COMPLETELY, INCLUDING ASSOCIATED RACEWAY, WIRING, AND ANY MOUNTING APPURTENANCES. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INSTRUCTIONS.
- FIXTURE(S) AND DEVICE(S) IN AREA NOTED SHALL REMAIN AND BE RE-CIRCUITED. REFER TO RENOVATION PANELS FOR NEW CIRCUITING.
- DEVICE SHALL BE REMOVED. SINGLE GANG BOX SHALL REMAIN AS JUNCTION BOX FOR FUTURE PATHWAY/EXTENSION.
- FIXTURE(S) AND/OR DEVICE(S) SHALL BE RELOCATED. REFER TO RENOVATION PLANS FOR NEW LOCATION.
- TYPICAL LAYOUT OF NURSE CALL DEVICES SHOWN FOR REFERENCE AND PRICING.
- ALL NURSE CALL DEVICES IN ROOM NOTED SHALL BE REMOVED IN THEIR ENTIRETY.
- TYPICAL LAYOUT OF LIGHTING FIXTURES AND DEVICES SHOWN FOR REFERENCE AND PRICING.
- LIGHTING FIXTURES SHALL REMAIN AND BE RE-CIRCUITED. REMOVE AND REINSTALL AS NECESSARY. REFER TO RENOVATION PLANS FOR RE-CIRCUITING AND NEW LIGHTING CONTROLS.
- LIGHTING FIXTURE SHALL REMAIN AND BE RE-CIRCUITED. REFER TO RENOVATION PLANS FOR RE-CIRCUITING.

HOYTarchitects

Jackson Wyoming
hoynarchitects.design
307.733.9955



CATOR RUMA
ASSOCIATES, L.L.C.
420 W. Lincoln Ave., Cheyenne, WY 82001
307.274.3834 • www.catorrumba.com

625 E BROADWAY, JACKSON WY 83001
LIVING CENTER DEMOLITION PROJECT
ST JOHN'S HEALTH

© 2020 | ALL RIGHTS RESERVED
DEMOLITION PACKAGE
CONSTRUCTION DOCUMENTS
12.11.2020
DRAWN BY | BJK
CHECKED BY | CMI
REVISIONS

FIRST FLOOR
ELECTRICAL
DEMO PLAN

ED1.01

ELEC PLAN RENO KEYNOTES:

- SURFACE MOUNT RELOCATED SWITCH. EM LIGHTING IN AREA NOTED SHALL BE UNSWITCHED.
- RECEPTACLE SHALL BE TIED INTO EXISTING CORRIDOR CIRCUIT.
- EXISTING CORRIDOR LIGHTING IN AREA NOTED SHALL BE TIED INTO NEAREST CORRIDOR LIGHTING CIRCUIT.
- CIRCUIT FOR RECEPTACLE AND LIGHT IN SERVICE SIDE OF HEAT RECOVERY UNIT SHALL REMAIN ENERGIZED WITH NEW CIRCUIT SHOWN IN OFFICE (N1-33).



ONE -LINE DIAGRAM NOTES:

GENERAL DETAIL NOTES

1. NEW BREAKERS SHALL MATCH EXISTING EQUIPMENT.
2. UPDATE PANEL SCHEDULE TO REFLECT CIRCUIT ARRANGEMENTS AFTER CONTRACTOR HAS BALANCED LOAD TO WITHIN 20% NEW CIRCUIT DIRECTORIES SHALL BE TYPEDWRITTEN.
3. EQUIPMENT SHADED REPRESENTS EMERGENCY POWERED SYSTEMS.
4. BRANCH CIRCUITS GENERALLY NOT INDICATED ON ONE-LINE DIAGRAM. REFER TO PLAN SHEETS AND PANELBOARD SCHEDULES.

DETAIL KEY NOTES:

- ◊ PANEL TO BE DISCONNECTED AND REMOVED AS PART OF THIS SCOPE. CONTRACTOR SHALL DISCONNECT AND REMOVE ALL ASSOCIATED BRANCH WIRING AND DEVICES UNLESS OTHERWISE NOTED ON THE PLAN SHEETS.
- ◊ MARK BREAKER AS SPARE.

