



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 14, 2020	REQUESTS: The applicant is submitting a request for a Development Option Plan for the properties located at 315, 317, 325, 327 Batch Plant Rd, legally known as 22-41-16-32-1-00-008.04. For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.
Item #: P20-227	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Email: tvalentine@jacksonwy.gov	
Owner Batch Plant, Partners, LLC PO Box 689 Wilson, WY 83014 Applicant: DA Architects – Chris PO Box 4615 Jackson, WY 83001	
Please respond by: December 28, 2020 (Sufficiency) January 4, 2021 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



WESTVIEW - UPPER UNITS

12-10-20

PLANNING DEPT COMPLIANCE WITH LDRS

Lot Info

Address:	1255 W Hwy 22
PIDN:	22-41-16-32-1-00-008
Area:	1.1 acres (47,916 s.f.)
Zoning:	PUD-NM-2
Overlays:	NA

Note: Upper Units (subject of this permit amendment) have since been split from the original lot. For PUD/ FAR calculation purposes they are still considered part of the original lot.

Dev Plan Option Narrative:

The purpose of this Dev Plan Option is to increase the depth of one of the upper lots by 6' as well as submit the updated interior layout to the Town of Jackson for approval.

The depth of unit 502 was increased by 6' resulting in an increase of 288 SF habitable area and 144 SF of non-habitable. This increase results in a total FAR SF of 22,325 SF which stays below the original allowable FAR of 0.52 or 22,560 SF. See page A002 & A003 for SF breakdowns and diagrams.

The minimum 25' driveway access has been maintained in front of unit 502. See Page A100.

In addition to this total SF increase this layout of each of the 4 units has been re-designed at the request of the new project owners. The attached drawings contain the original layout and the new proposed layout for comparison. While the exterior windows and doors have been updated, the overall material pallet has not been changed from the original permitted pallet.

There have been no changes made to the lower units that are currently under construction (Units 101 - 404).

Character & Size of Development - **UPDATED**

-2 upper buildings each with 2 single-family townhomes with attached garages (NO CHANGE)

-6,965 total habitable s.f. and 3,585 total non-habitable s.f. across the 2 upper buildings (UPDATED)

-4 lower buildings each with 4 single-family townhomes with attached garages (NO CHANGE)

-15,360 total habitable s.f. and 7,680 total non-habitable s.f. across the 4 lower buildings (NO CHANGE)

-11,172 total s.f. of impervious surface (NO CHANGE)

-New asphalt drive access off of S Batch Plant Rd at NW corner of the property (NO CHANGE)

-New water line to tie into Town water at SE corner, new sewer line to tie into Town sewer along S side, new transformer installed at NW corner, existing overhead power lines to be buried (verify with Civil) (NO CHANGE)

General Standard	LDR Standard	Existing	Proposed
Floor Area Ratio	.52		.51
Landscape Surface Ratio	.55		.43
Height	35'		35'
Front Setback	20'		20'
Side Setback	5'		5'
Rear Setback	24'		24'
Parking Spaces	55		58

Proposed Uses - Lower Units (no change to SF)

-Building 1 - Residential townhomes (4 Units) 3,840 s.f. Habitable, 1,920 s.f Non-Habitable

-Basic Use Permit

-Building 2 - Residential townhomes (4 Units) 3,840 s.f. Habitable, 1,920 s.f Non-Habitable

-Basic Use Permit

-Building 3 - Residential townhomes (4 Units) 3,840 s.f. Habitable, 1,920 s.f Non-Habitable

-Basic Use Permit

-Building 4 - Residential townhomes (4 Units) 3,840 s.f. Habitable, 1,920 s.f Non-Habitable

-Basic Use Permit

Proposed Uses - Upper Units (increased SF)

-Building 5 - Residential townhomes (2 Units) 3,625 s.f. Habitable, 1,865 s.f Non-Habitable

-Basic Use Permit

-Building 6 - Residential townhomes (2 Units) 3,340 s.f. Habitable, 1,720 s.f. Non-Habitable

-Basic Use Permit

Pedestrian Frontage

- Minimum landscape furnishing zone of 6'
- Minimum 5' detached sidewalk

Building Frontage

- Grade level entrance with limited glazing
- 10'-0" floor to floor heights, 9'-0" ceiling heights
- Primary street transparency 394 s.f. (322 s.f. 20% min.)
- 24'-0" max blank wall area

Landscape Plan

- Completed by Dave Weaver Landscape Architect, see sheet L1

Housing Mitigation Plan

- See Westview PUD

Housing Mitigation Deed Restrictions

- See Westview PUD

Design Review Committee

- See Westview PUD

All other Development Standards

- See Westview PUD



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____
Physical Address: _____
Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

_____ Basic Use
_____ Conditional Use
_____ Special Use

Relief from the LDRs

_____ Administrative Adjustment
_____ Variance
_____ Beneficial Use Determination
_____ Appeal of an Admin. Decision

Physical Development

_____ Sketch Plan
_____ Development Plan
_____ Design Review

Subdivision/Development Option

_____ Subdivision Plat
_____ Boundary Adjustment (replat)
_____ Boundary Adjustment (no plat)
_____ Development Option Plan

Interpretations

_____ Formal Interpretation
_____ Zoning Compliance Verification

Amendments to the LDRs

_____ LDR Text Amendment
_____ Map Amendment

Miscellaneous

_____ Other: _____
_____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____

Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

_____ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

_____ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title

LETTER OF AUTHORIZATION

Batch Plant Partners, LLC

PO Box 689, Wilson, WY 83014-0689

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Batch Plant Partners, LLC

, as the owner of property

more specifically legally described as: Batch Plant Rd Units

315-327 Batch Plant Road

(Formally known as West View Townhome - Upper Units)

(If too lengthy, attach description)

HEREBY AUTHORIZES DA Architects

as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Frank C. Faule

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: MANAGING MEMBER

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF

Wyoming

) SS.

COUNTY OF

Teton

)

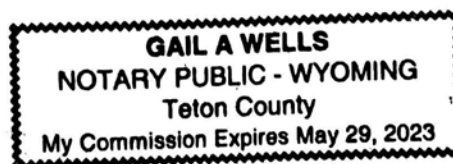
The foregoing instrument was acknowledged before me by *Gail A. Wells* this *11th* day of *November*, 20*20*.

WITNESS my hand and official seal.

Gail A. Wells
(Notary Public)

My commission expires: *May 29, 2023*

(Seal)





BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD JACKSON WY
PERMIT AMENDMENT
12-10-20



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

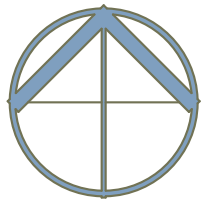
PERMIT AMENDMENT
12-10-20

A000

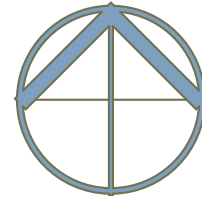
COVER



VICINITY MAP



EXISTING CONDITIONS



OWNER	FSD INVESTMENTS, LLC ERIC GROVE POB 9879 JACKSON, WY 83002 307 413 4088
ARCHITECT	DESIGN ASSOCIATES ARCHITECTS CHRISTOPHER LEE 50 S KING ST, STE 201 JACKSON, WY 83001 307 733 3600
STRUCTURAL/CIVIL	JORGENSEN ASSOCIATES JASON MANN/REED ARMIJO 1315 HWY 89 S JACKSON, WY 83002 307 733 5150
LANDSCAPE ARCHITECT	DAVID WEAVER & ASSOCIATES DAVID WEAVER 1605 S WOODRUFF AVE IDAHO FALLS, ID 83404 208 529 9504
STRUCTURAL INSUL PANELS	ENERCEPT, INC. WADE MOSS 3100 9TH AVE SE WATERTOWN, SD 57201 605 882 2222
DECKS/STAIRS	SHOREMASTER, LLC GARY HAFFLEY 1025 INTERNATIONAL DR FERGUS FALLS, MN 56537 800 328 8945
GENERAL CONTRACTOR	JINGCO CONSTRUCTION LLP MANUEL JINGCO 44589 ROOSEVELT DR EMILY, MN 56447

SET	TITLE	SHEET
PROJECT INFO		
	COVER	A000
	PROJECT INFO	A001
	PROJECT NOTES	A002
	SF DIAGRAM	A003
CONSTRUCTION DRAWINGS		
	SITE PLAN	A100
	PLAN	A200
	PLAN	A201
	PLAN	A202
	PLAN	A203
	PLAN	A204
	SECTIONS	A300
	SECTIONS	A301
	ELEVATIONS	A400
	ELEVATIONS	A401
	SCHEDULES	A500
	SCHEDULES	A501
	WALL SECTIONS	A600
	DETAILS	A700
ELECTRICAL		
	ELECTRICAL LAYOUT	E200
	ELECTRICAL PLAN	E201
	ELECTRICAL PLAN	E202
	ELECTRICAL PLAN	E203
	CALCS	E204
MECHANICAL		
	RESCHECK	M100
	MECHANICAL	M200
	MECHANICAL	M201
	MECHANICAL	M202



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com

PROJECT NO. 20-07 ARCHITECT: CTL

© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A001

PROJECT INFO

PLANNING NOTES

PROPERTY DESCRIPTION/NAME	WESTVIEW TOWNHOMES	
	20 MULTI-FAMILY TOWNHOMES WITH ATTACHED GARAGES	
PROPERTY ADDRESS	1255 W HIGHWAY 22 JACKSON, WY 83001	
PROPERTY OWNER	FSD INVESTMENTS, LLC POB 9879 JACKSON, WY 83002	
APPLICANTS NAME	CHRISTOPHER LEE DESIGN ASSOCIATES ARCHITECTS 50 KING ST, SUITE 201 JACKSON, WY 83001	
ZONING	PUD-NM-2	
RESOURCE OVERLAYS	N/A	
BUILDING OCCUPANCY & USE	R-3 RESIDENTIAL	
TYPE OF CONSTRUCTION	V-A	
GROSS SITE AREA	1.1 ACRES 47,916 SF	
NET SITE AREA	.99 ACRES 43,385 SF	
FAR	ALLOWED	.51 (22,325 SF) .52 (22,560 SF)
LSR	MINIMUM	.43 (20,676 SF) .55 (23,879 SF)
SITE DEVELOPMENT	ALLOWED	.26 (11,172 SF) .24 (10,496 SF)
SLOPE TO BE DEVELOPED	UNITS DRIVEWAY TERRACES	<30% <2% <2%
SETBACKS	STREET REAR SIDE	20' 24' 5'
HEIGHT OF STRUCTURE	ALLOWED	<35' 35'
STORIES	ALLOWED	3 3
DENSITY	ALLOWED	20 UNITS 20 UNITS
PARKING	MINIMUM	40 + 18 GUEST SPACES 40 + 15 GUEST SPACES
GROSS SQUARE FOOTAGE	EXISTING	0 SF
2BR UNITS (16 TOTAL) - BUILDINGS 1-4		
	HABITABLE ABOVE	960 SF (per unit)
	HABITABLE BELOW	0
	TOTAL HABITABLE	15,360 SF
	ALLOWED	
	NON-HABITABLE ABOVE	480 SF (per unit)
	NON-HABITABLE BELOW	0
	TOTAL NON-HABITABLE	7,680 SF
	ALLOWED	
	PATIOS DECKS	2,336 SF
3BR UNITS (4 TOTAL) - BUILDINGS 5-6		
	HABITABLE ABOVE	6,965 SF
	HABITABLE BELOW	0
	TOTAL HABITABLE	6,965 SF
	ALLOWED	
	NON-HABITABLE ABOVE	3,585 SF
	NON-HABITABLE BELOW	0
	TOTAL NON-HABITABLE	3,585 SF
	ALLOWED	
	PATIOS DECKS	1,450 SF
DEVELOPMENT		
	TOTAL HABITABLE 2BR	15,360 SF
	TOTAL HABITABLE 3BR	6,965 SF
	TOTAL HABITABLE	22,325 SF
	ALLOWED	
	TOTAL NON-HABITABLE 2BR	7,680 SF
	TOTAL NON-HABITABLE 3BR	3,585 SF
	TOTAL NON-HABITABLE	11,265 SF
	ALLOWED	
FENESTRATION CALCULATION	GROSS SQUARE FOOTAGE	33,224 SF
	FENESTRATION PROPOSED - WINDOWS	2,990
	FENESTRATION PROPOSED - DOORS	3,946
	TOTAL FENESTRATION	6,936
	FENESTRATION ALLOWED (30%)	9,967
NUMBER OF BED/BATH/KITCHEN (EACH UNIT)	EXISTING	2BR - 3BR 0
	PROPOSED	2 - 3 1.5 - 2.5 1 - 1
	BEDROOMS BATHROOMS KITCHENS	
ICE MELT (EXTERIOR HYDRONIC HEAT)		0 SF

BUILDING NOTES

CODES USED:

2018 International Residential Code w/ TOJ Amendments
2018 International Fire Code w/ TOJ Amendments
2012 International Energy Conservation Code
2014 National Electric Code w/ TOJ Amendments
2018 International Mechanical Code w/ TOJ Amendments
2018 International Plumbing Code w/ TOJ Amendments

GENERAL CONSTRUCTION NOTES

- General Contractor is responsible to assure he and all Sub-contractors requiring a license to work in the Town of Jackson have one. All work must comply with the above mentioned Building Codes and Additional Resolutions as adopted by the Town of Jackson. Design criteria to meet Town of Jackson standards including: Type VA Construction, Seismic Zone D, 93 PSF snow load, 115 MPH/3 sec wind load.
- Slabs below living spaces will be ventilated. Ventilation system will consist of four (4) inch perforated pipe placed around the in of the exterior foundation. The pipe will be placed with holes down and bedded in 4 inches of washed gravel of pea size or larger without fines. The piping will be connected to a solid vertical pipe which will pass through the roof, see note 25. A barrier of polyethylene sheeting will be placed over the system and gravel. All laps of sheeting will be at least one foot. The sheeting will be sealed around penetrations and to the foundation walls. A cover of four inches of sand or crushed gravel will then be placed over the sheeting to receive the slab. All cracks in floor slabs, joints where the floor meets the foundation walls and penetration through the basement floor are to be similarly sealed.
- All wood in direct contact with concrete or masonry and within 8" of grade will be pressure treated wood or foundation grade redwood. This will include all sills plates, ledgers and foundation posts.
- 36 inch high protective guardrails are provided for porches or decks more than 30 inches above grade, balconies and open sides of landings. Maximum opening between railings will be less than 4 inches. Guardrails shall be capable of withstanding a 20 pound per lineal foot force to the top of the rail.
- Handrails are provided on both sides of the stairway at a height of 34"-38" above the nosing of treads and landings. Handrails will be continuous the full length of the stairs. Ends are returned or terminate in safety terminals. Handrails projecting from the wall have a space of not less than 1-1/2 inches between the wall and the handrail and extend minimum 11"-12" beyond last tread.
- The handgrip portion of handrails is not less than 1-1/4 inches nor more than 2-inches in cross-sectional dimension. The handgrip portion of handrails has no sharp corners.
- The electric fireplace appliance installations will conform to all manufacturers recommendations for clearances. Provide firestopping per IRC.
- There is no gas for this project.
- There are no gas fuel appliances (fireplace) proposed in this project.
- All bathrooms have mechanical exhaust fans. Such exhaust fans shall be capable of providing 5 air changes per hour and ducted to outside air. See mechanical drawings for system design.
- Ducts used for bathroom venting shall be constructed of rigid metal having smooth interior surfaces with male joints running in the direction of the airflow.
- All mechanical and plumbing shall conform to the 2018 International Residential Code and 2018 International Plumbing Codes respectively as amended by the Town of Jackson Building Department. HVAC systems to be designed and loads calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances. All ventilation and air exchange loads to be calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances. Duct construction and installation methods as well as penetrations through fire resistance rated assemblies including shaft, fire dampers and/or smoke damper locations shall be installed as required.
- All electrical shall conform to the 2014 National Electric Code as amended by the Town of Jackson Building Department. Electrical systems to be designed and loads calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances.
- Drainage systems located under slab or permanently non-accessible, shall be tested prior to backfill and placement of slab. Test may be by water or air. If by water, all portions of the system being tested shall be tightly closed and the system filled with water to a point at least 10 feet above the lowest point of the system. If by air, all portions of the system being tested shall be tightly closed and the system shall be pressurized to a uniform pressure of not less than 5 pounds per square inch (10 inches of mercury column) in either case, all piping shall be fully supported by earth and shaded leaving the top of all fittings and pipe exposed for inspection. Mounding of long runs of piping at intervals of not less than 5 feet is acceptable.
- Under grounding system (as per NEC Art. 250-81 (c)); grounding conductor shall be attached to a single driven ground rod; secondary grounding protection shall also be made to metallic water system. Services of 200 Amps or less shall be a minimum of No. 4 bare copper wire connected to footing steel with an approved grounding clamp. Services larger than 200 Amps shall be sized in accordance with Table 250-66 and consist of a minimum of twenty feet of bare copper wire suspended in the footings with enough additional wire to ground to the panel without splice.
- GFCI protection outlets for the following locations:
 - a. bathrooms;
 - b. kitchens and coffee bar sinks for all countertop outlets and island counters;
 - c. garages, for all non-dedicated outlets within 8 feet of the finished floor;
 - d. crawl spaces; and
 - e. exterior outlets.
- Smoke alarms are provided in all the required locations, see Electrical Sheets for locations. These alarms will be part of the security system contract and will meet all requirements called for in the building code.
- Electrical panels or sub panels will not be installed in the following locations:
 - a. in any closet.
 - b. In any one- or two-hour fire-rated wall assembly; or
 - c. behind any door, unless the door is lockable from the panel side for service.
- All branch circuits feeding outlets in bedrooms will be protected by arc-fault devices. This includes lighting and hard-wired smoke detectors.
- Exterior lighting will have total cutoff of light at an angle of less than 90 degrees and be located so that a bare light bulb, lamp, or light source is completely shielded from direct view from a vantage point five feet above the ground at a perimeter of the lighted area. The light, furthermore, will be contained entirely on-site. The maximum permitted mounting height of the luminaires or fixture is 15 feet. All common stairwell areas to have automatic lighting controls with sensors to control lights when sufficient daylight is available and lighting shall be reduced by at least 30% at 12:00am.
- Recessed lighting fixtures will not be installed in insulated ceilings unless there is adequate opportunity to maintain the insulation of the envelope.
- Insulation will meet or exceed the Town required minimums and the 2012 IECC for CZ 7, which are as follows:

Ceilings/Roofs	R-49
Wood Frame Walls	R-20+5 or 13+10
Floors Over Unheated Crawl Space	R-38
Basement and Crawlspace Walls	R-15/19 ²
Slab on Grade (perimeter to two feet outside exterior walls)	R-10 - 4' min. ³

BUILDING NOTES

This Project will have:*

Ceilings/Roofs	12" EPS	R-49
Walls	7 3/8" EPS	R-32 + 5 ²
Floors	12" FBI	R-42
Foundation Walls	2 1/2" RFI	R-12.5
Slabs	3" RFI	R-1.5 - 4' min. ³

¹ 20+5 means R20 cavity + R5 continuous

²R15/19 means R-15 continuous or R-19 cavity

³ R-10 - 4 min. means R-10 for 4' in from exterior minimum.

Insulation R-Values Used:

CCSPFI - Closed Cell Sprayed Polyurethane Foam Insulation	R-6.5/IN
EPS - Expanded Polystyrene	R-4.0/IN
FBI - Fiberglass Batt Insulation	R-3.5/IN
RFI - Rigid Foam Insulation	R-5.0/IN

All windows are NFRC certified - U.32 or better.

* Or better if better products are available.

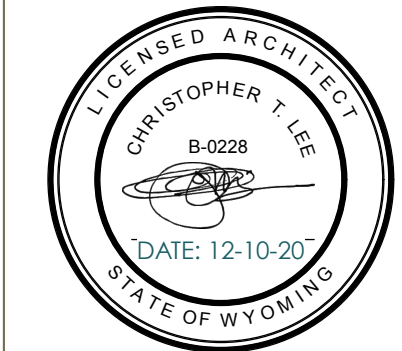
24. All windows have a maximum U-value of U-.32 (Low E windows). Windows will clearly indicate this value or appropriate documentation will be available.
25. All exterior doors, with the exception of the main entry, will have a minimum U- value of U-.32 (metal insulated doors or equal) amended. Appropriate documentation will be available.
26. Radon venting is not necessary for this project.
27. Roof covering will be Class B or better, the ventilation of the airspace is to be fire stopped.
28. Firewood will not be stored on the decks or under the roof overhangs.
29. There is NO LPG container proposed in this project.
30. The underside of all floors, beams, columns and supporting walls are protected as required for exterior 30 min to 2 hr fire resistance rated construction - 2 layers 5/8" type X GWB taped and sealed per 1 hr assembly.
31. No individual vent opening will exceed 144 sq. inches. Each will have a noncombustible corrosion resistance mesh w/ openings no greater than 1/4".
32. The Residence Address is located on the drive entrance side of the building.
33. All Structural Design Load Criteria are called out in Structural Sheets.
34. All Attic accesses are sized and located on the Architectural Sheets.
35. This project is NOT in the Wildland-Urban Interface.
36. This property is NOT within the FEMA Special Flood Hazard Area.
37. This project may not be subject to relatively high ground water.
38. This project will NOT be equipped with an automatic fire suppression system (sprinklers).
39. This project will use radiant heating (including garages) to be designed by installer. See Mech drawings for specs.
40. All Mechanical Equipment to have a minimum 30" x 30" access and clear path at unit access for maintenance. See Mech drawings for equipment locations.
41. Mechanical Contractor to provide HRV for Whole House Ventilation System per IRC.
42. All Baths to have exhaust fans, 80 - 100 CFM, Broan or Panasonic OAE.
43. Contractor to provide EPS MUA 950, 22KW at Kitchen Hood. Mechanical Contractor to provide MAU for Kitchen Hood apx. equal in size to hood exhaust per IRC 1503.4
44. Connection to water supply is to be protected by the use of back flow devices. Back flow devices to be as follows: Double for irrigation, Dual for Domestic, Reduced Pressure for Fire Suppression. Valves to be located by Plumbing Contractor in accord w/ 2018 IRC.
45. All plumbing to meet seismic requirements of the 2015 IRC, 2801.7. Water heaters to be installed per manufacturer's instructions and loads calculated by installer. All hot water piping to be insulated for full length of run.
46. All plumbing fixture specs including identification of the applicable referenced quality control standards and the maximum flow rates for the plumbing fixtures to be provided by the installer.
47. This building has no ejectors or sumps.
48. There are no concealed slip joints in this project.
49. Landscaping shall conform with Division 5.5 of the Teton County LDRs.
50. Metal flashing shall be installed, including but not limited to, all windows, exterior doors, masonry intersecting with framing, above projecting trim and where exterior walls are intersected by roofs or decks.
51. All vents for dryer, kitchen and bath fans are to comply with applicable rated exterior wall assembly per IRC requirements.
52. Plumbing piping to be ABS with 3M Fire Barrier PPD3 (o.a.e.) fire collars and caulk at penetrations per IRC where necessary.



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com

PROJECT NO.: 20-07	ARCHITECT: CTL
--------------------	----------------



ISSUE HISTORY

SYM.	ISSUE	DATE
1 19 2	PRELIMINARY 10-7-14 CHANGES PERMIT	2-26-15 2-18-15
3	PERMIT ADDENDUM I	10-7-2
4	PERMIT ADDENDUM II	10-14-
5	PERMIT ADDENDUM III	12-10-

BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT

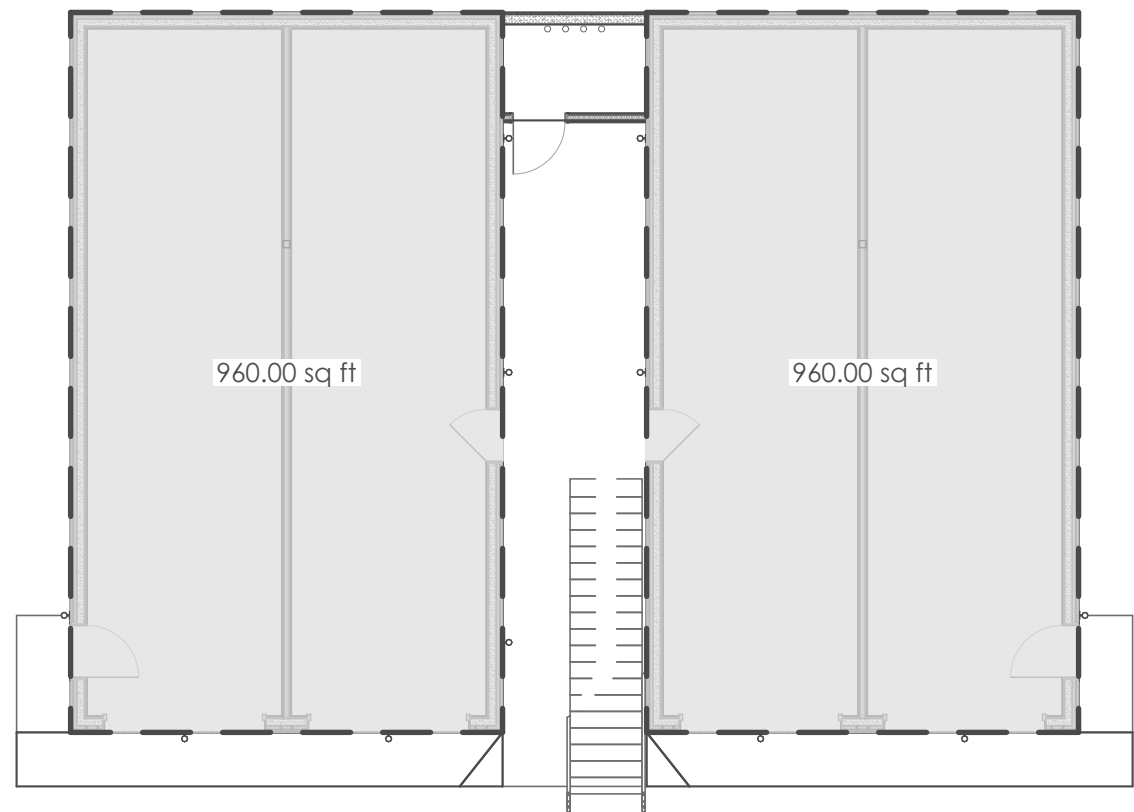
12-10-20

A002

PROJECT NOTES

LOWER UNITS

4 BUILDINGS TOTAL - 4 UNITS PER BUILDING - EACH UNIT 960 SF



GARAGE SF



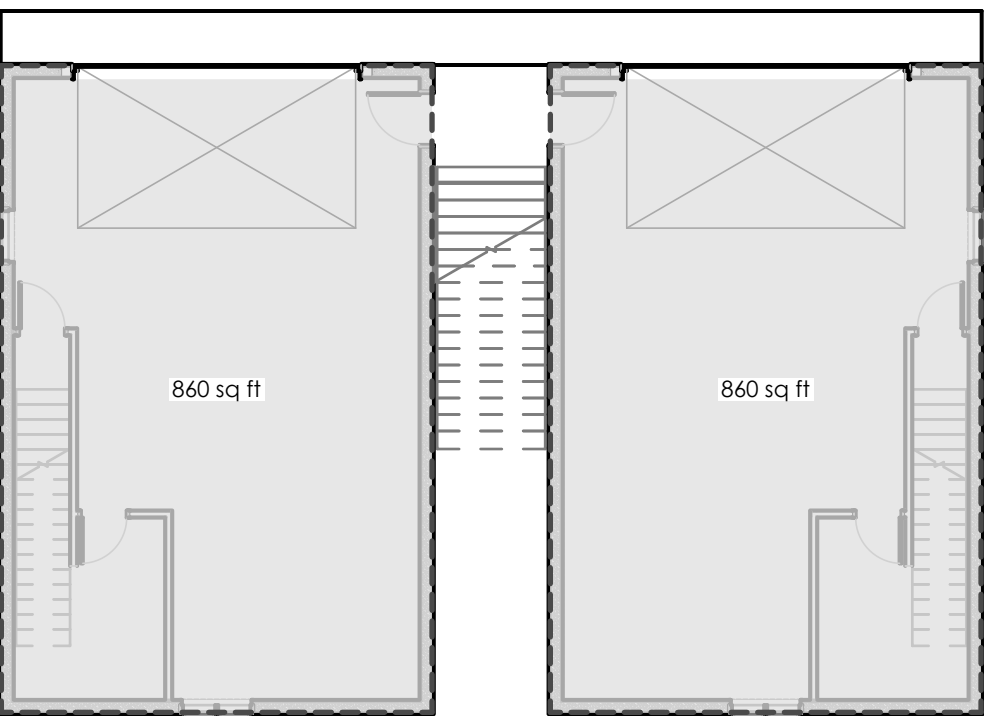
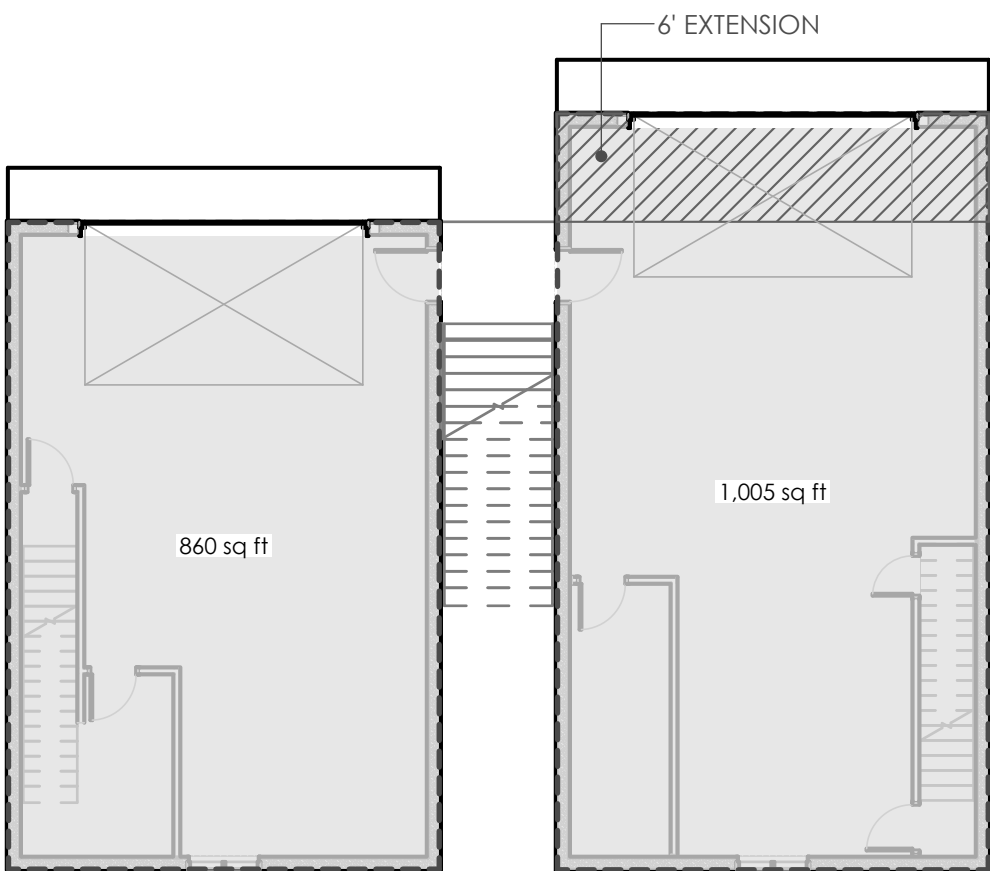
SECOND & THIRD FLOOR SF

TOTAL LOWER UNITS HABITABLE SF - 15,360 SF



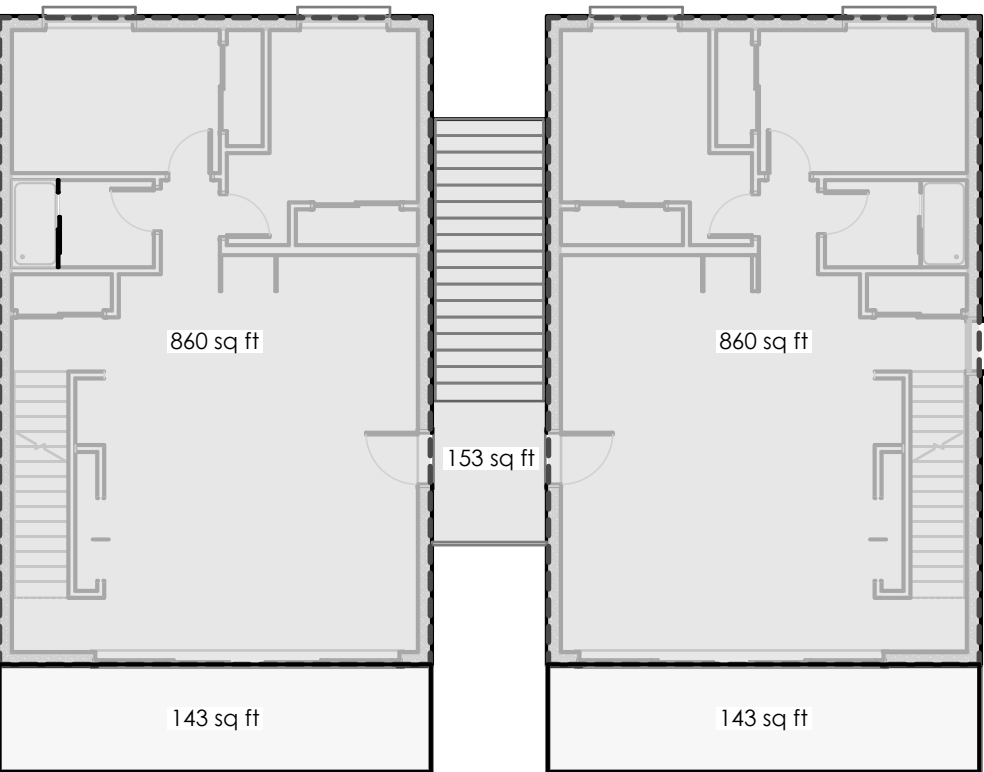
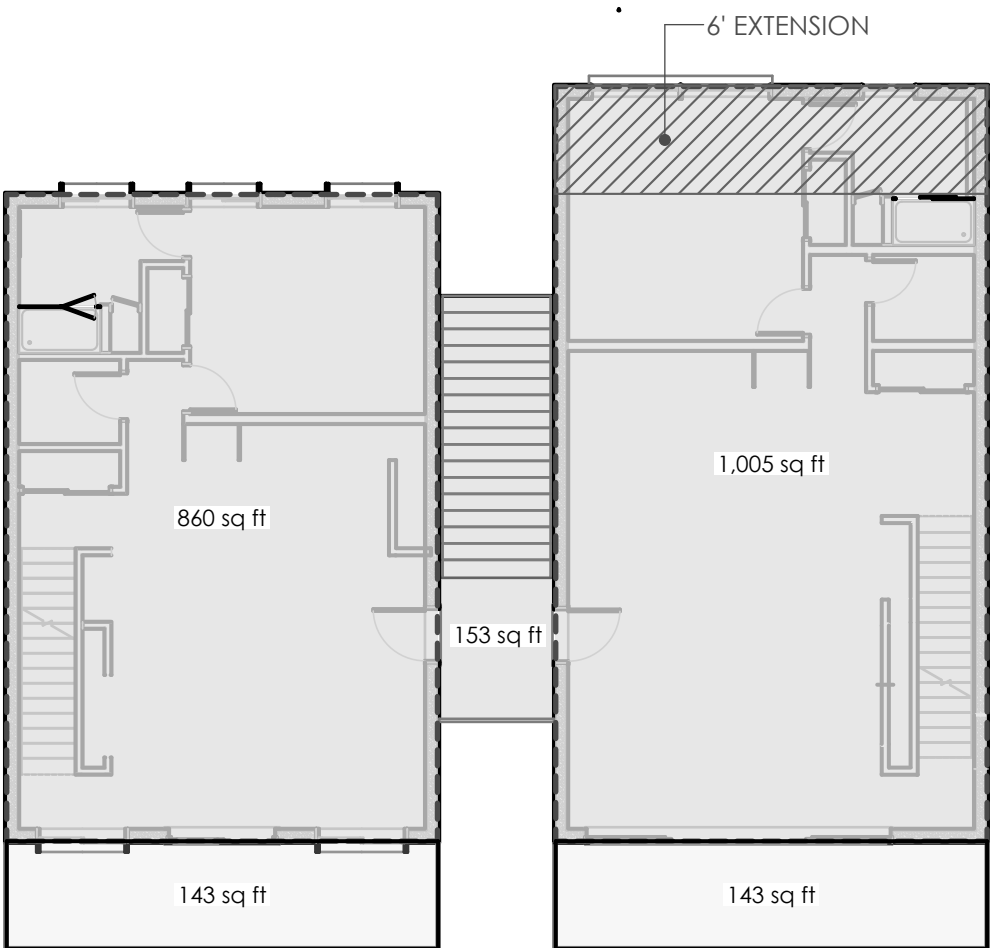
SITE SF DIAGRAM

UPPER UNITS



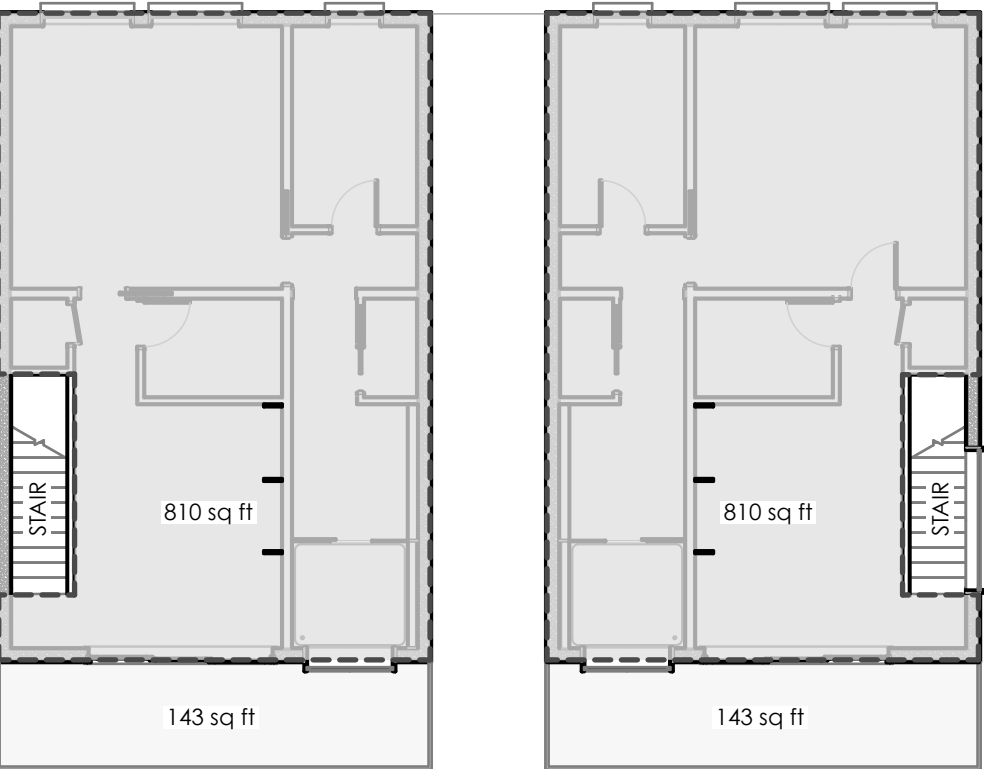
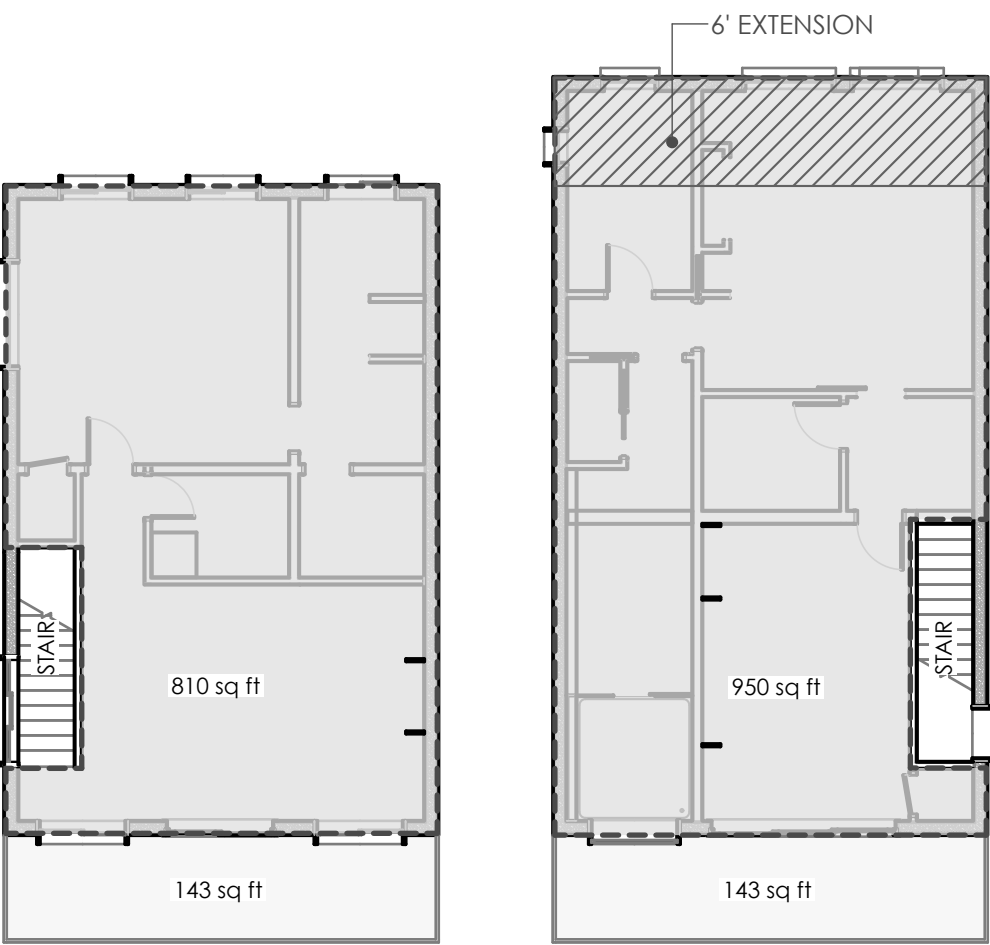
TOTAL NON HAB - 3,585 SF

GARAGE SF



TOTAL HAB - 3,585 SF
TOTAL DECK - 878 SF

SECOND FLOOR SF



TOTAL HAB - 3,380 SF
TOTAL DECK - 572 SF

THIRD FLOOR SF

TOTAL UPPER UNITS HABITABLE SF - 6,965 SF



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A003

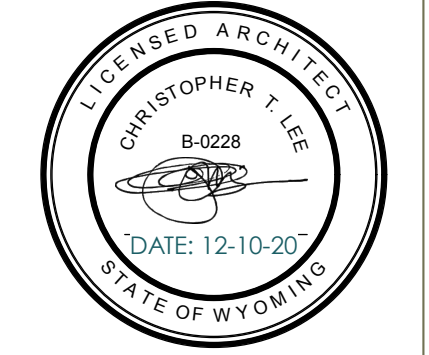
SF DIAGRAM



- SITE NOTES:
1. BUILDINGS 1-4 ARE THE 2BR UNITS
BUILDINGS 5-6 ARE THE 3BR UNITS
SEE CIVIL DRAWINGS FOR GRADING
& UTILITIES.
 2. SEE LANDSCAPE DRAWINGS FOR
LANDSCAPE DESIGN.



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYMBOL	ISSUE	DATE
1	PRELIMINARY	4/24/20
2	PERMIT	8/28/20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

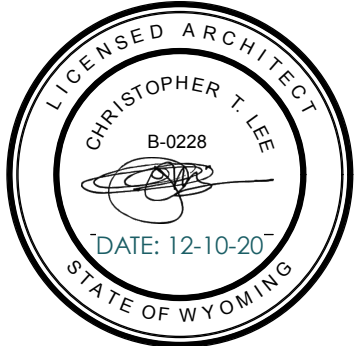
PERMIT AMENDMENT
12-10-20

A100

SITE PLAN



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD
JACKSON, WY

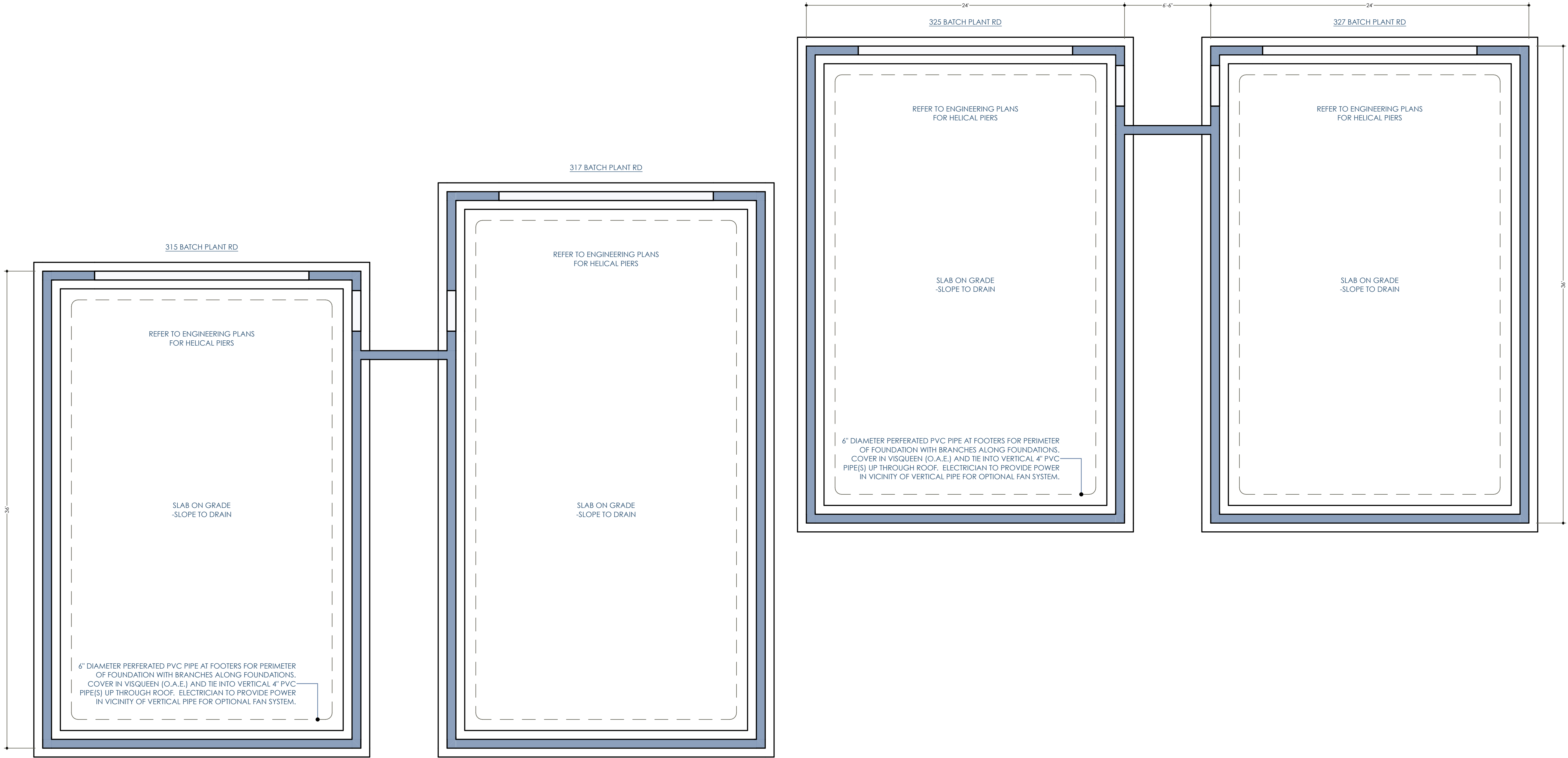
PERMIT AMENDMENT
12-10-20

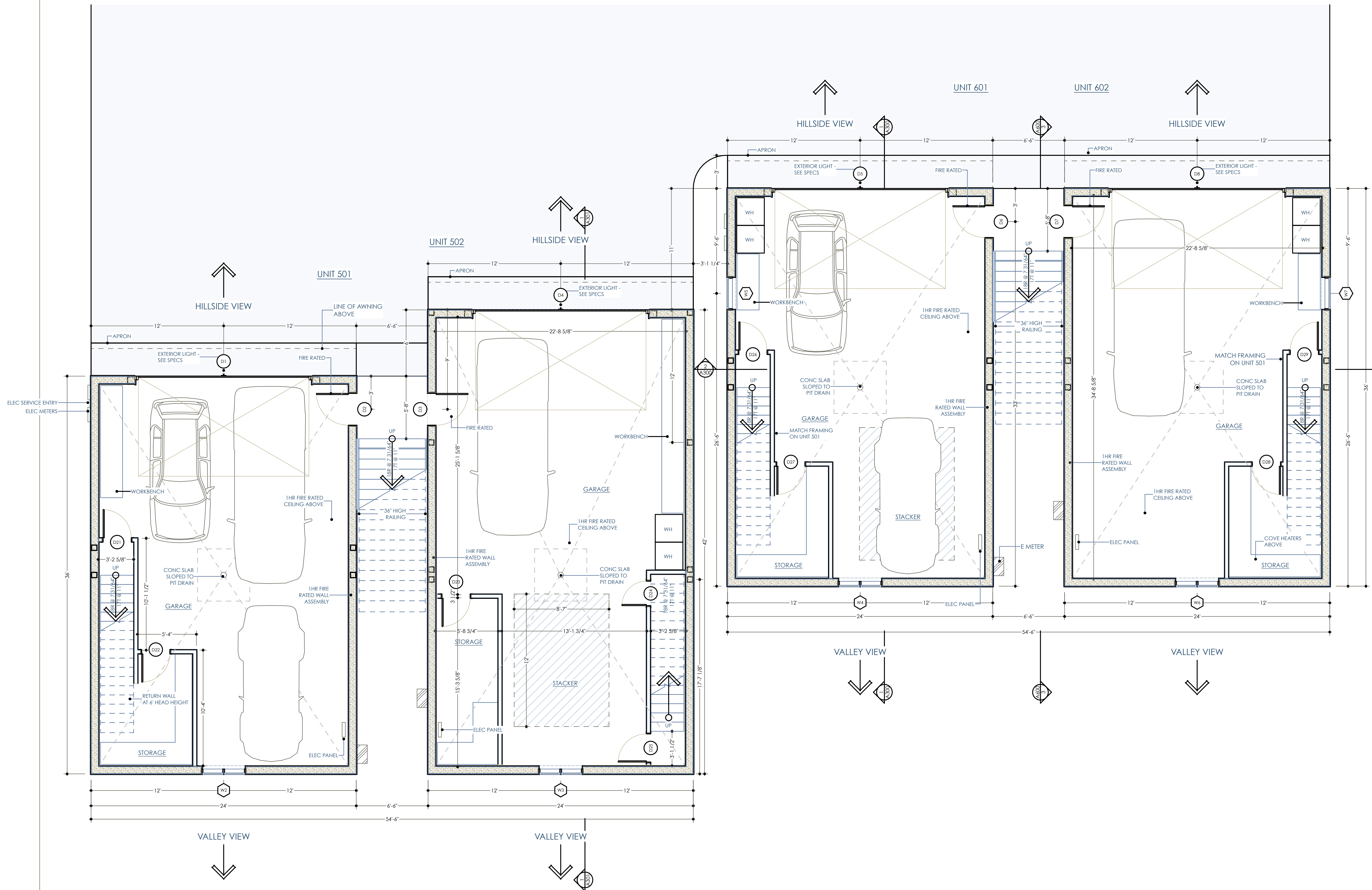
A200

PLAN

BASEMENT PLAN

SCALE: 1/4" = 1'-0"





DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(307) 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYMBOL	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

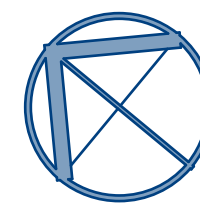
BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A201

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

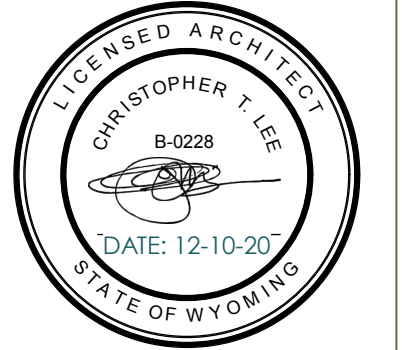


PLAN



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



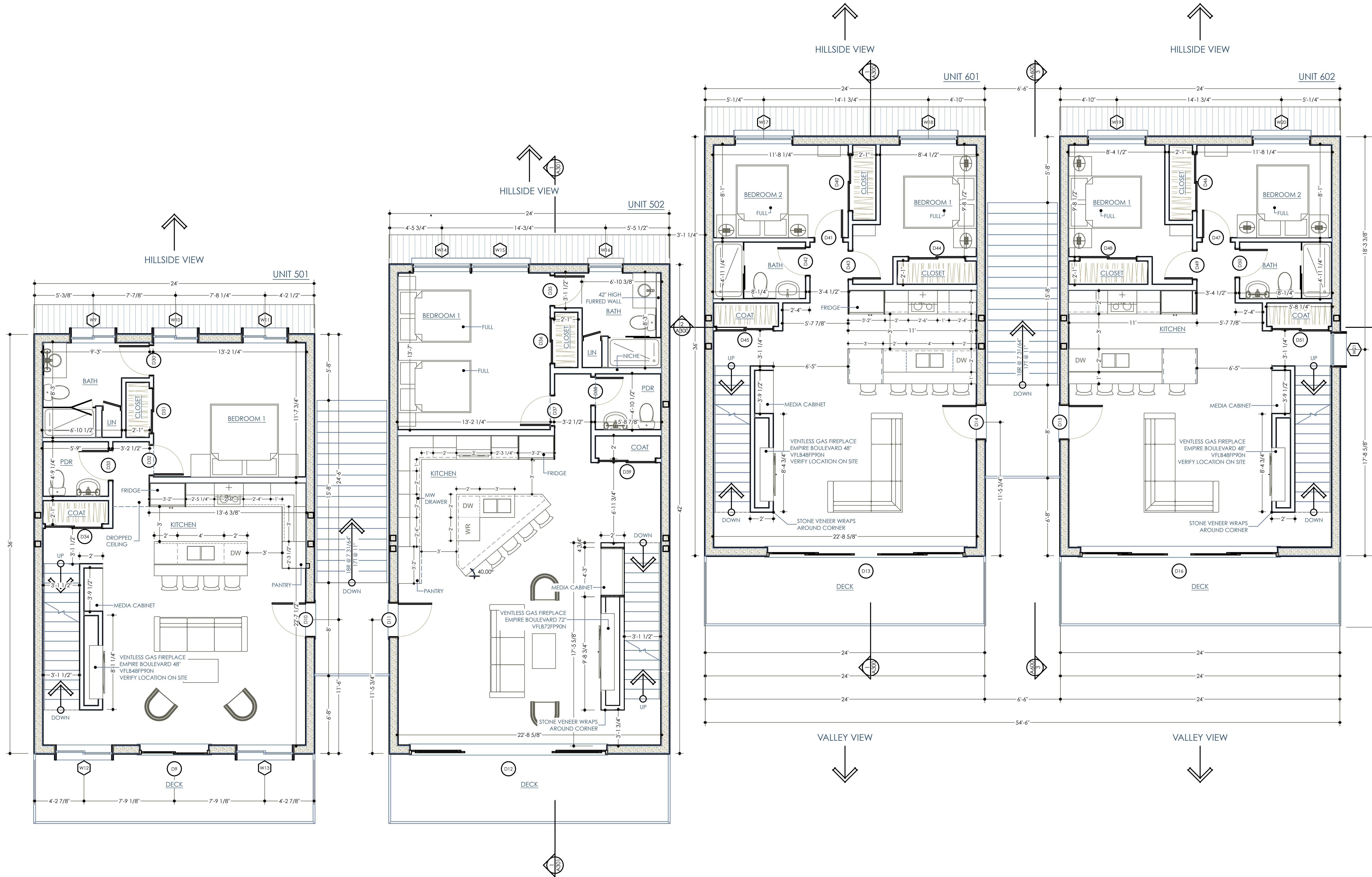
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A202

PLAN



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"





DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



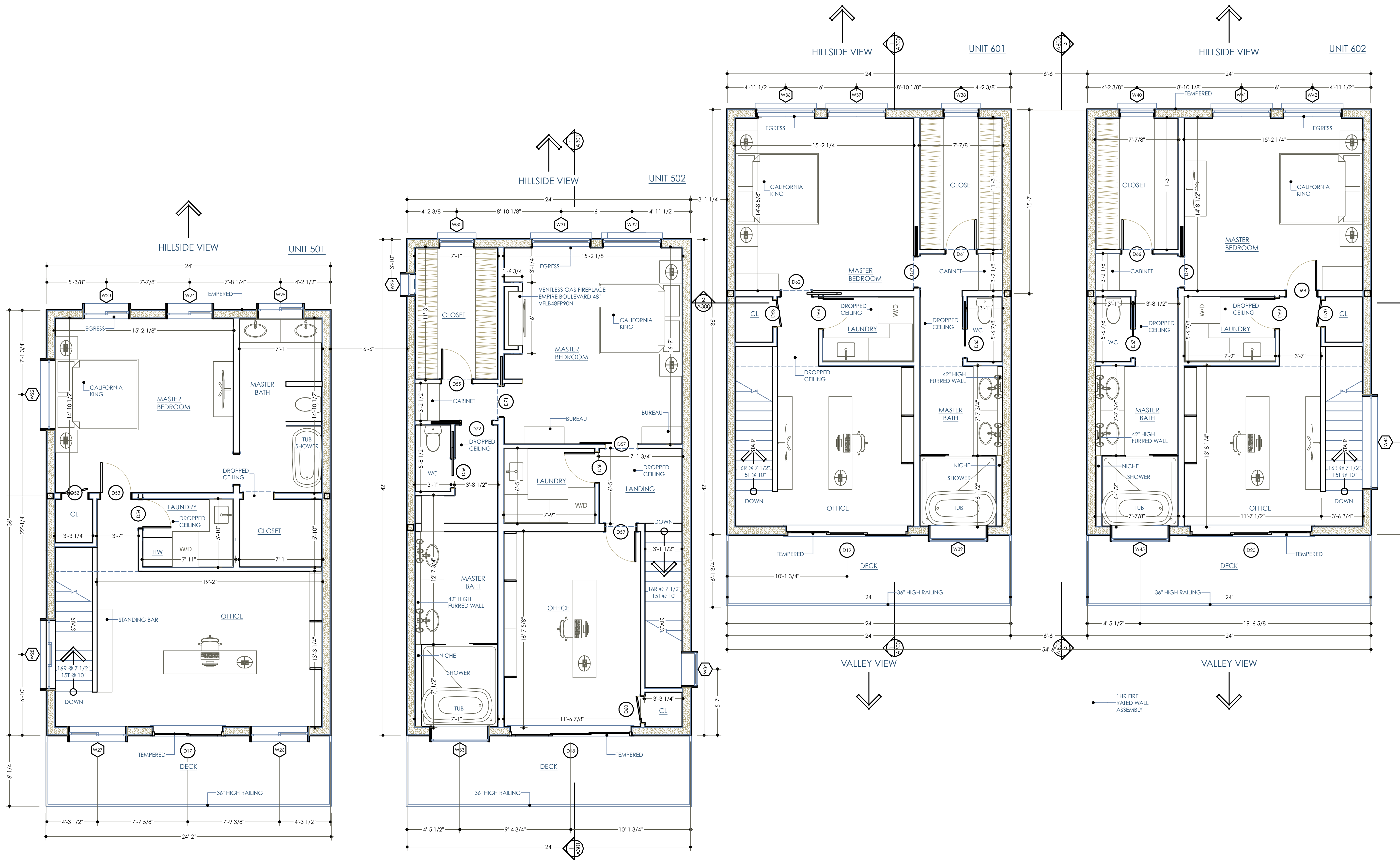
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

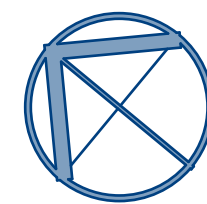
PERMIT AMENDMENT
12-10-20

A203

PLAN



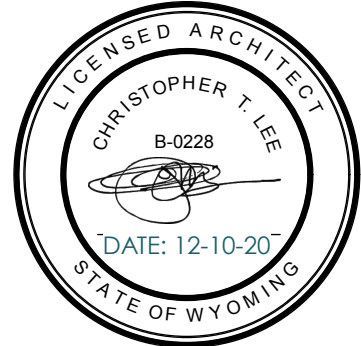
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"





DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



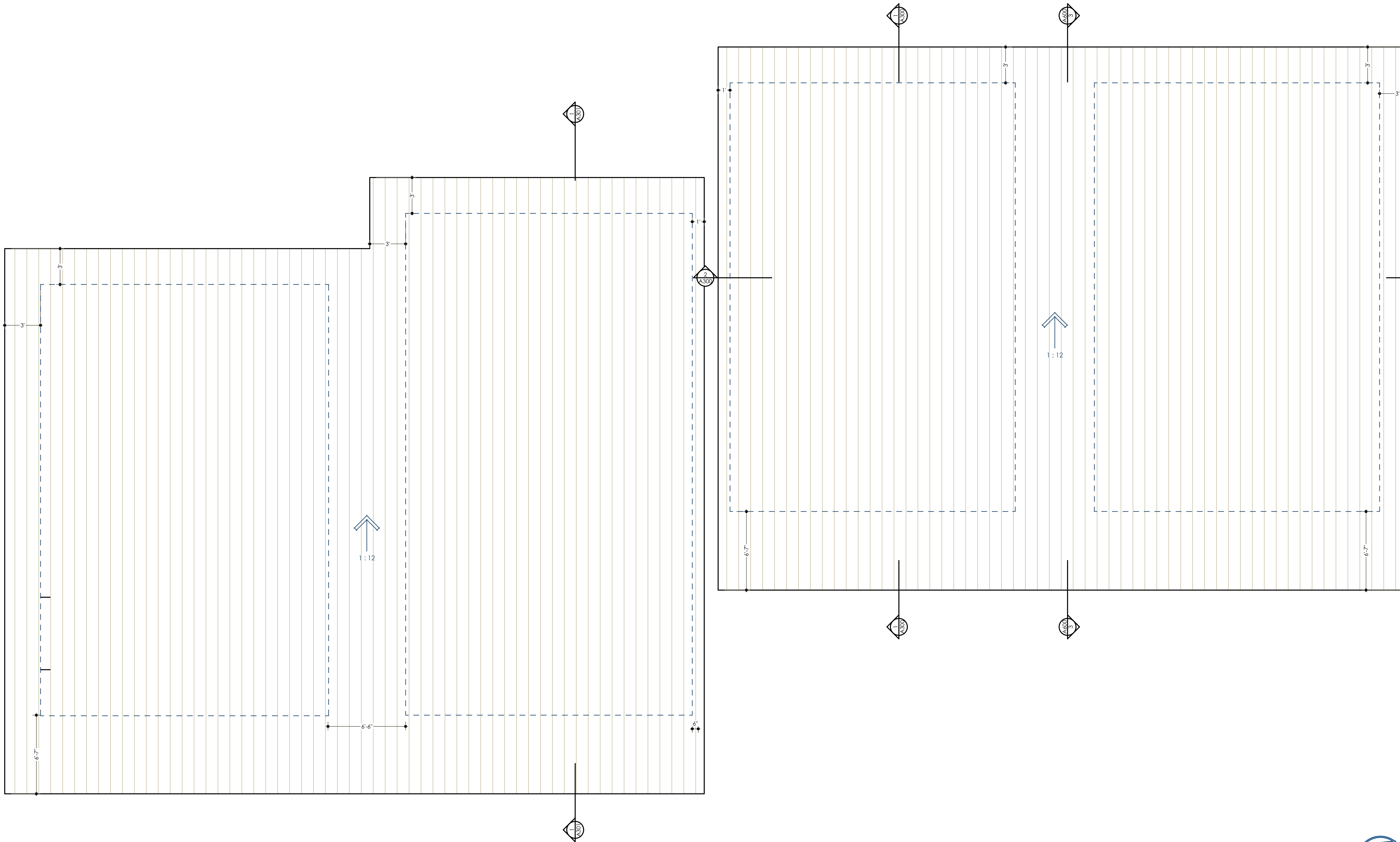
ISSUE HISTORY		
SYMBOL	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

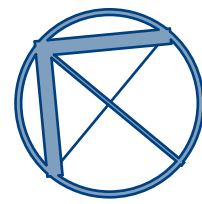
PERMIT AMENDMENT
12-10-20

A204

PLAN



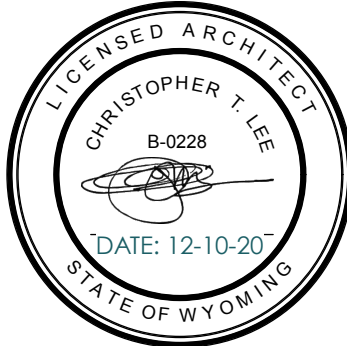
ROOF PLAN
SCALE: 1/4" = 1'-0"





DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



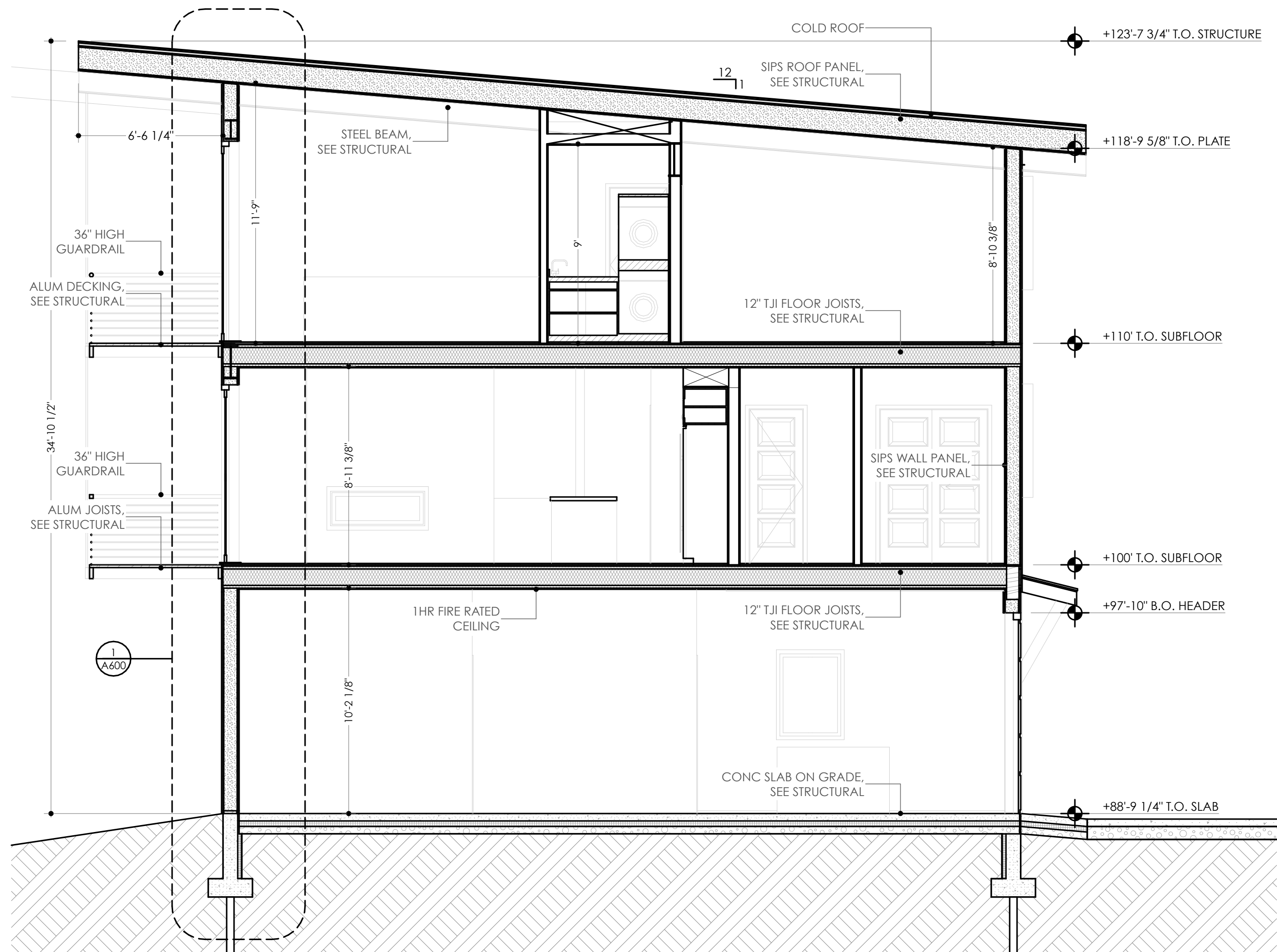
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

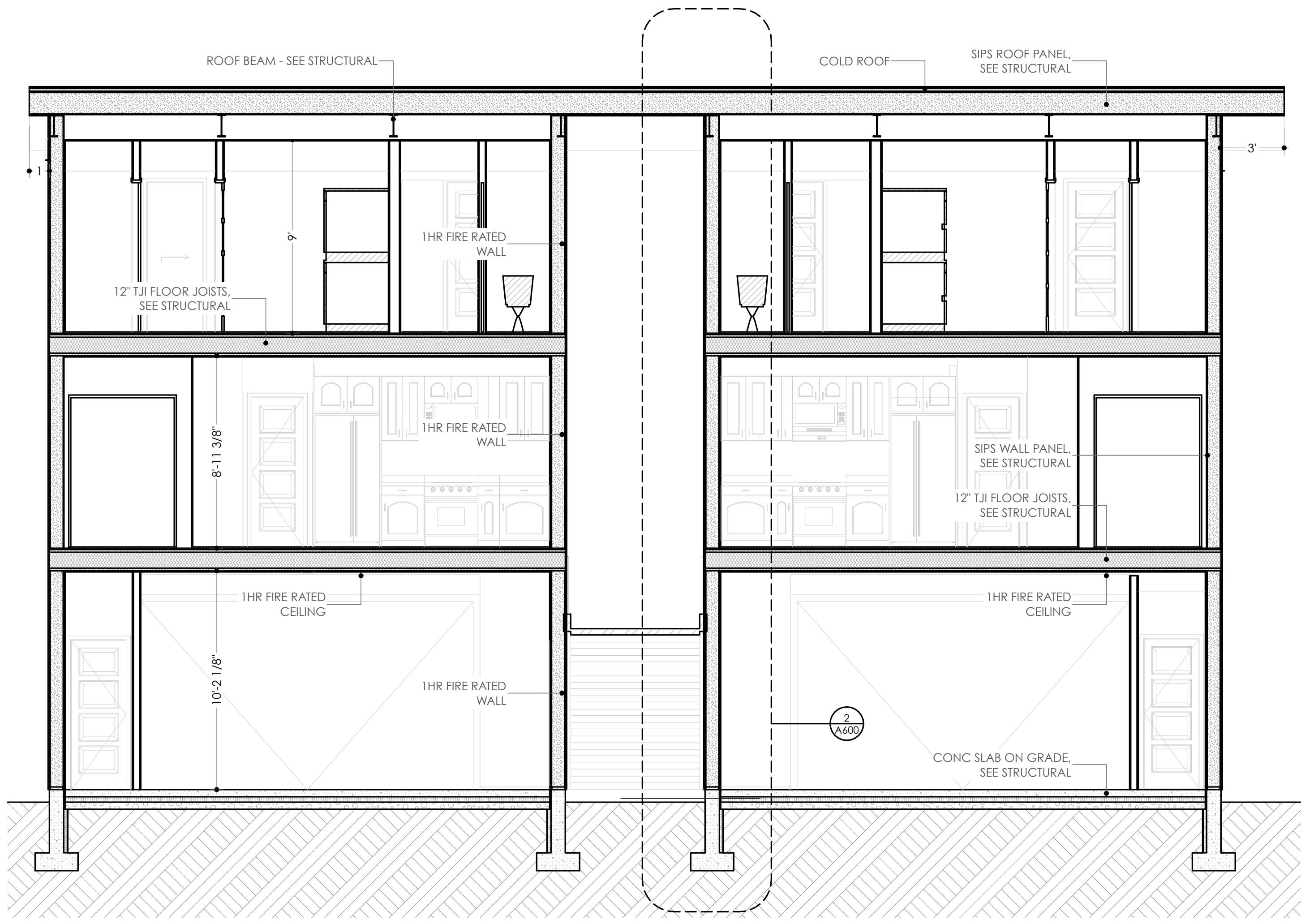
PERMIT AMENDMENT
12-10-20

A300

SECTIONS



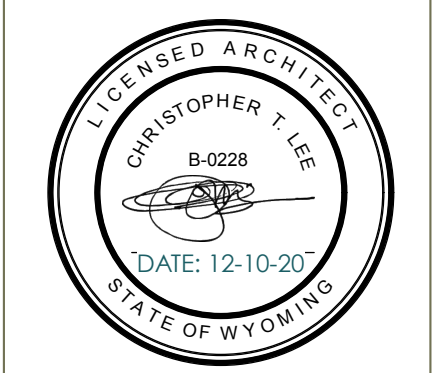
1
A300
SECTION
SCALE: 1/4" = 1'-0"



2
A300
SECTION
SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



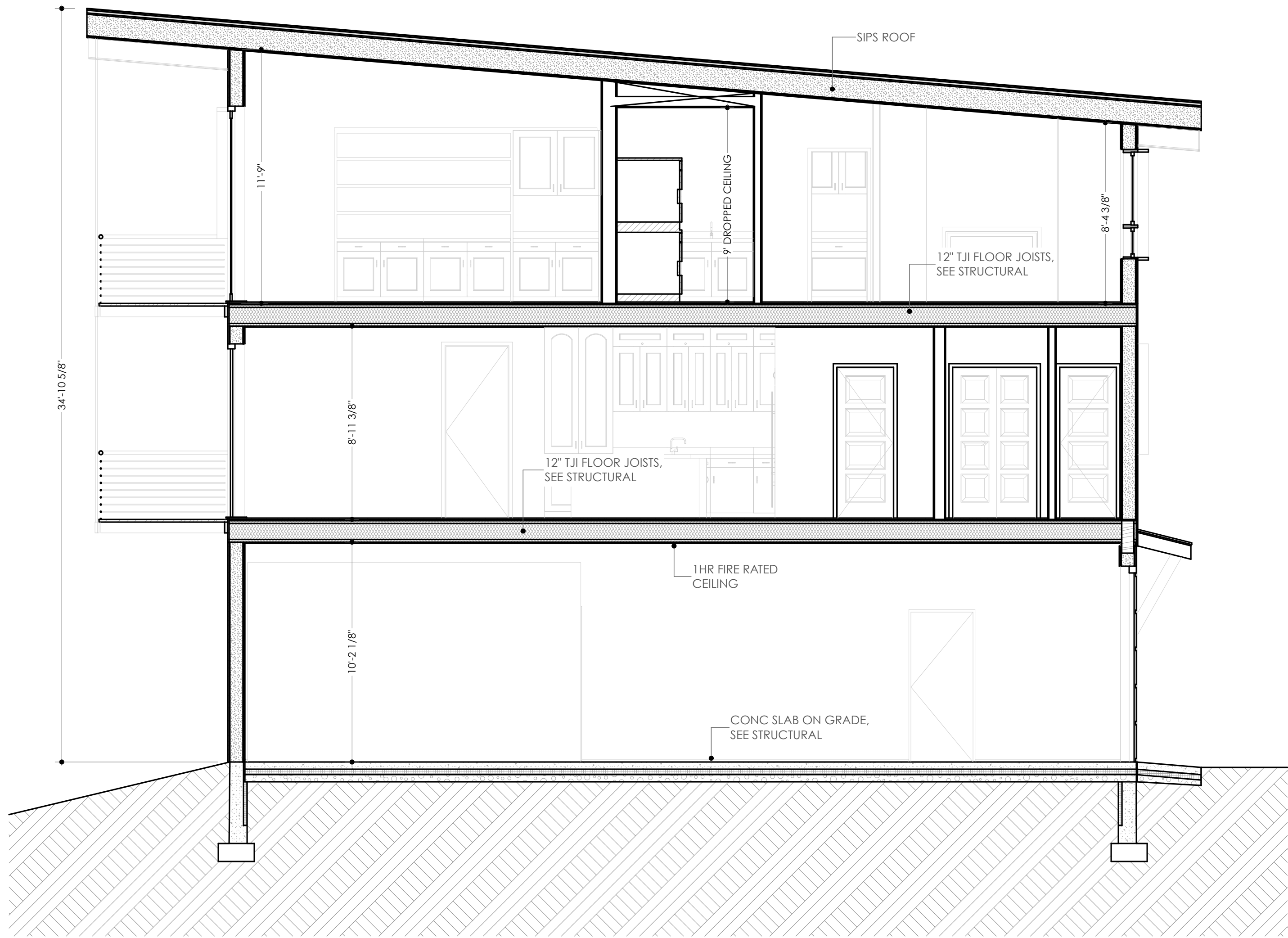
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A301

SECTIONS



SECTION
SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYMBOL	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

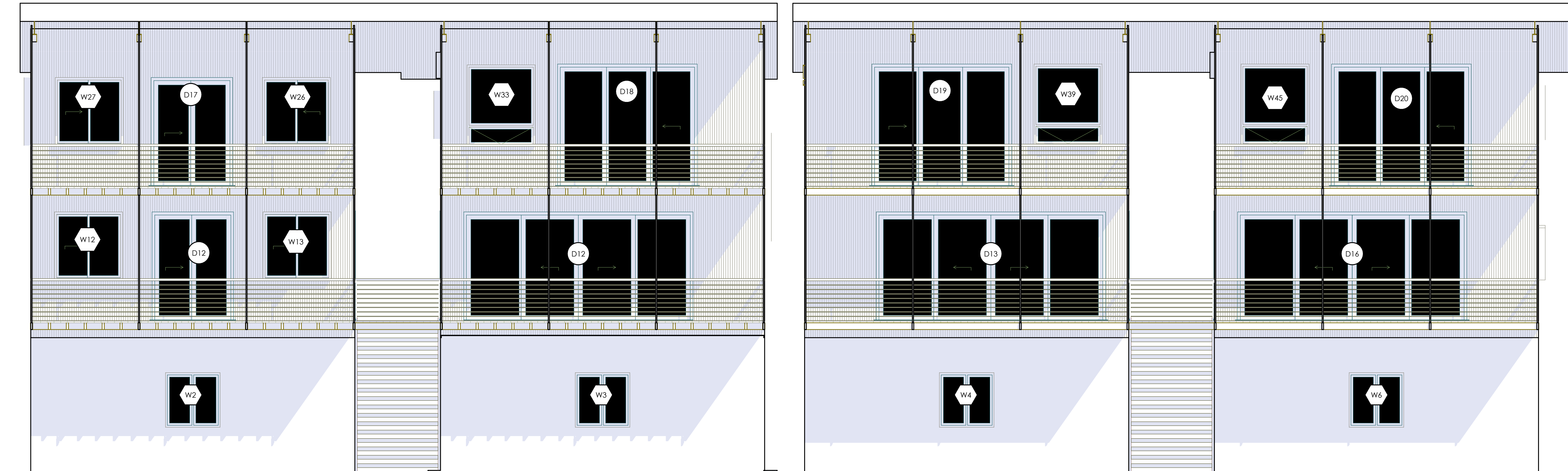
A400

ELEVATIONS



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



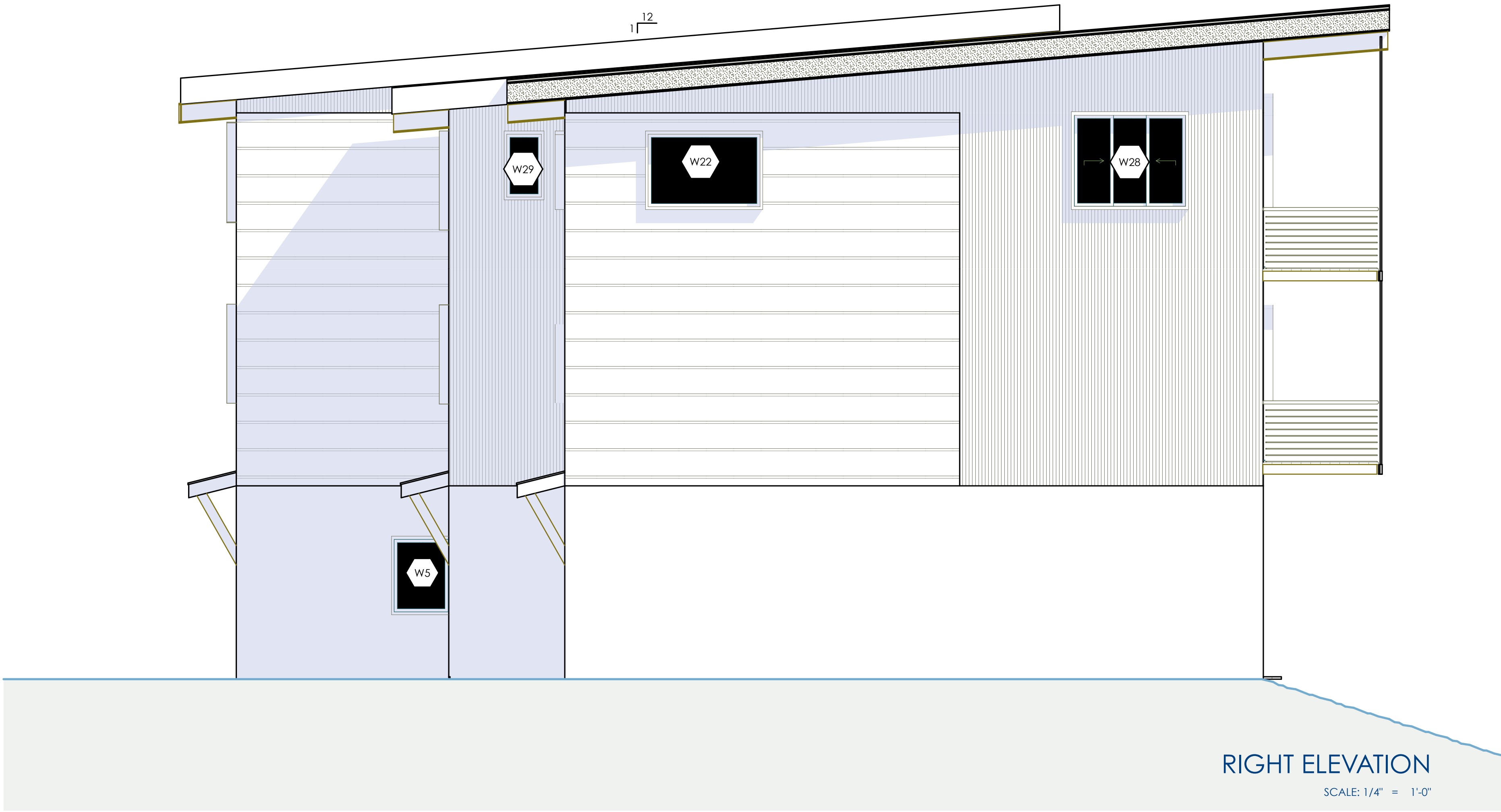
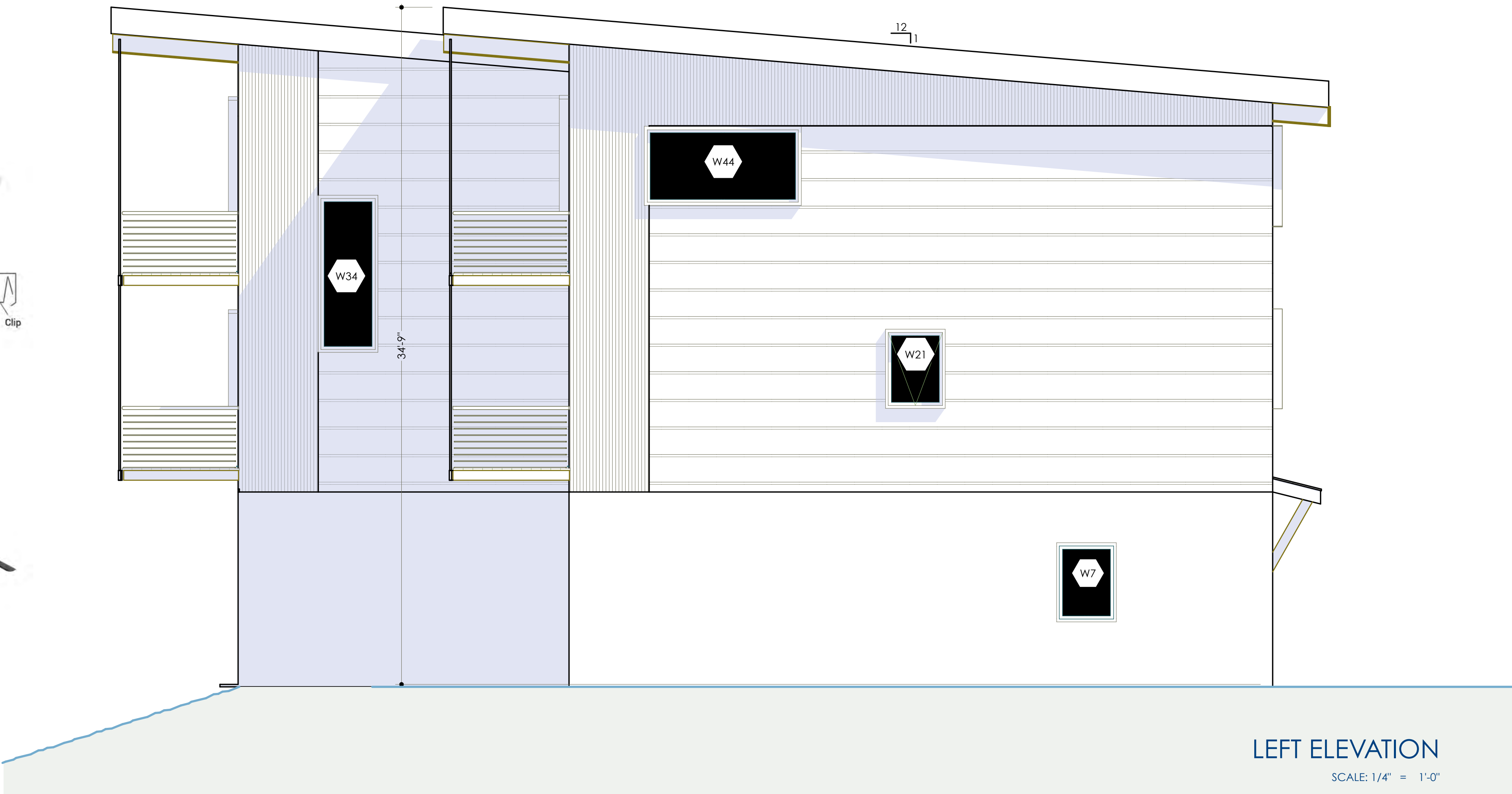
BACK ELEVATION

SCALE: 1/4" = 1'-0"

Horizontal Metal Siding



Vertical Metal Siding



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A401

ELEVATIONS

WINDOW SCHEDULE

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HARDWARE	NOTES	SURFACE AREA
W2		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W3		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W4		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W5		3'x4'	3'-3/4"x4'-3/4"	7'-4 3/4"				12.441
W6		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W7		3'x4'	3'-3/4"x4'-3/4"	7'-4 3/4"				12.441
W9		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W10		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W11		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W12		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W13		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W14		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W15		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W16		3'x5'	3'-3/4"x5'-3/4"	8'-1 1/2"				15.504
W17		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W18		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W19		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W20		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W21		3'x4'	3'-3/4"x4'-3/4"	7'-1 1/2"				12.441
W22		6'x4'	6'-3/4"x4'-3/4"	7'-1 1/2"				24.629
W23		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W24		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W25		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W26		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W27		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W28		6'x5'	6'-3/4"x5'-3/4"	8'-1 1/2"				30.691
W29		2'x3'-6"	2'-3/4"x3'-6 3/4"	7'-1 1/2"				7.348
W30		3'x5'	3'-3/4"x5'-3/4"	7'-1 1/2"				15.504
W31		5'x5'	5'-3/4"x5'-3/4"	7'-1 1/2"				25.629
W32		5'x5'	5'-3/4"x5'-3/4"	7'-1 1/2"				25.629
W33		5'x6'	5'-3/4"x6'-3/4"	9'-3/4"				30.691
W34		3'x8'	3'-3/4"x8'-3/4"	4'				24.691
W36		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W37		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W38		3'x5'	3'-3/4"x5'-3/4"	7'-6 1/2"				15.504
W39		5'x6'	5'-3/4"x6'-3/4"	9'-1 1/2"				30.691
W40		3'x5'	3'-3/4"x5'-3/4"	7'-6 1/2"				15.504
W41		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W42		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W44		8'x4'	8'-3/4"x4'-3/4"	7'-6 1/2"				32.754
W45		5'x6'	5'-3/4"x6'-3/4"	9'-1 1/2"				30.691
								886.629 sq ft



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYMB.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A500

SCHEDULES

DOOR SCHEDULE EXTERNAL DOORS

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HAND	HARDWARE	NOTES	SURFACE AREA
D1	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D2	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D3	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D4	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D5	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D6	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D7	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D8	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D9	SLIDING	6'×8'	6'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	48.879
D10	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D11	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D12	SLIDING	17'×8'	17'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	137.566
D13	SLIDING	17'×8'	17'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	137.566
D14	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D15	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D16	SLIDING	17'×8'	17'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	137.566
D17	SLIDING	6'×8'	6'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	48.879
D18	SLIDING	10'-4"×9'	10'-4 3/4"×9'-3/4"	9'-1 1/2"				TEMPERED	94.212
D19	SLIDING	10'-4"×9'	10'-4 3/4"×9'-3/4"	9'-1 1/2"				TEMPERED	94.212
D20	SLIDING	10'-4"×9'	10'-4 3/4"×9'-3/4"	9'-1 1/2"				TEMPERED	94.212

DOOR SCHEDULE INTERNAL DOORS

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HAND	HARDWARE	NOTES	SURFACE AREA
D21		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D22		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D23		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D24		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-3/4"					16.921
D25		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D26		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D27		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D28		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D29		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D30		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D31		3'-11 1/4"×7'	4'×7'-3/4"	7'-1 1/2"					28.250
D32		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D33		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D34		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D35		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D36		3'-11 1/4"×7'	4'×7'-3/4"	7'-1 1/2"					28.250
D37		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D38		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D39		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D40		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D41		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D42		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D43		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D44		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D45		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D46		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D47		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D48		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D49		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D50		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D51		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D52		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D53		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D54		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D55		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D56		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D57		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D58		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D59		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D60		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D61		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D62		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D63		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D64		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D65		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D66		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D67		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D68		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D69		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D70		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D71		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D72		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D73		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D74		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275

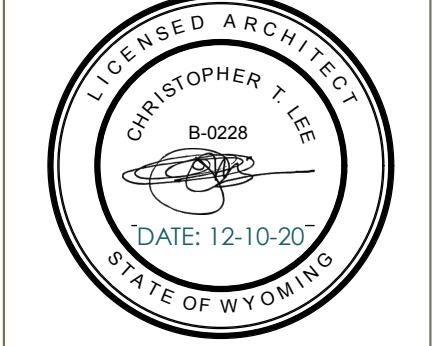


DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com

PROJECT NO. 20-07 ARCHITECT: CTL

© 2020 DESIGN ASSOCIATES ARCHITECTS



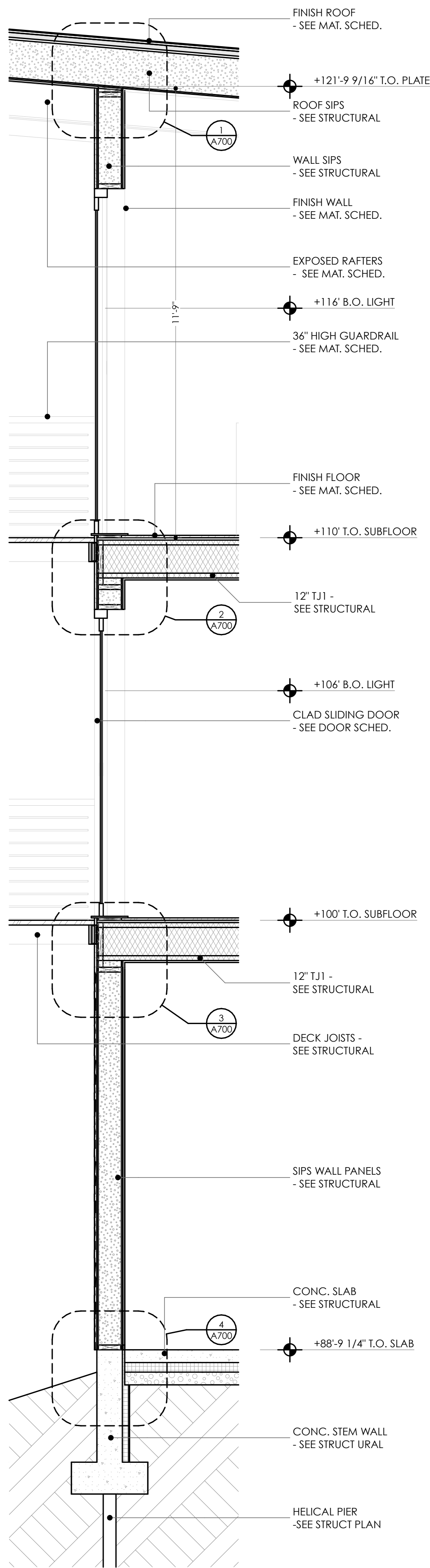
ISSUE HISTORY		
SYMB.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

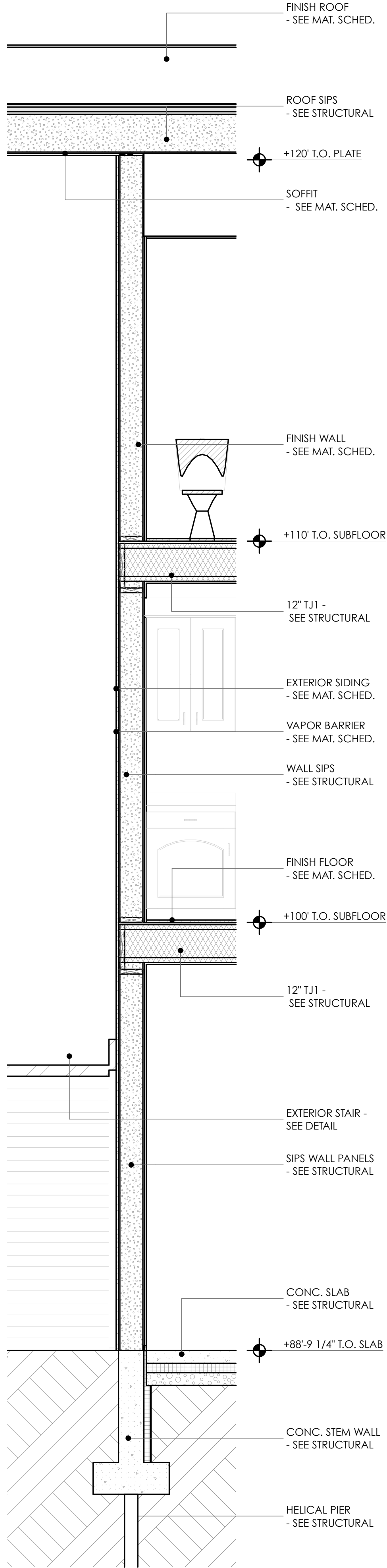
PERMIT AMENDMENT
12-10-20

A501

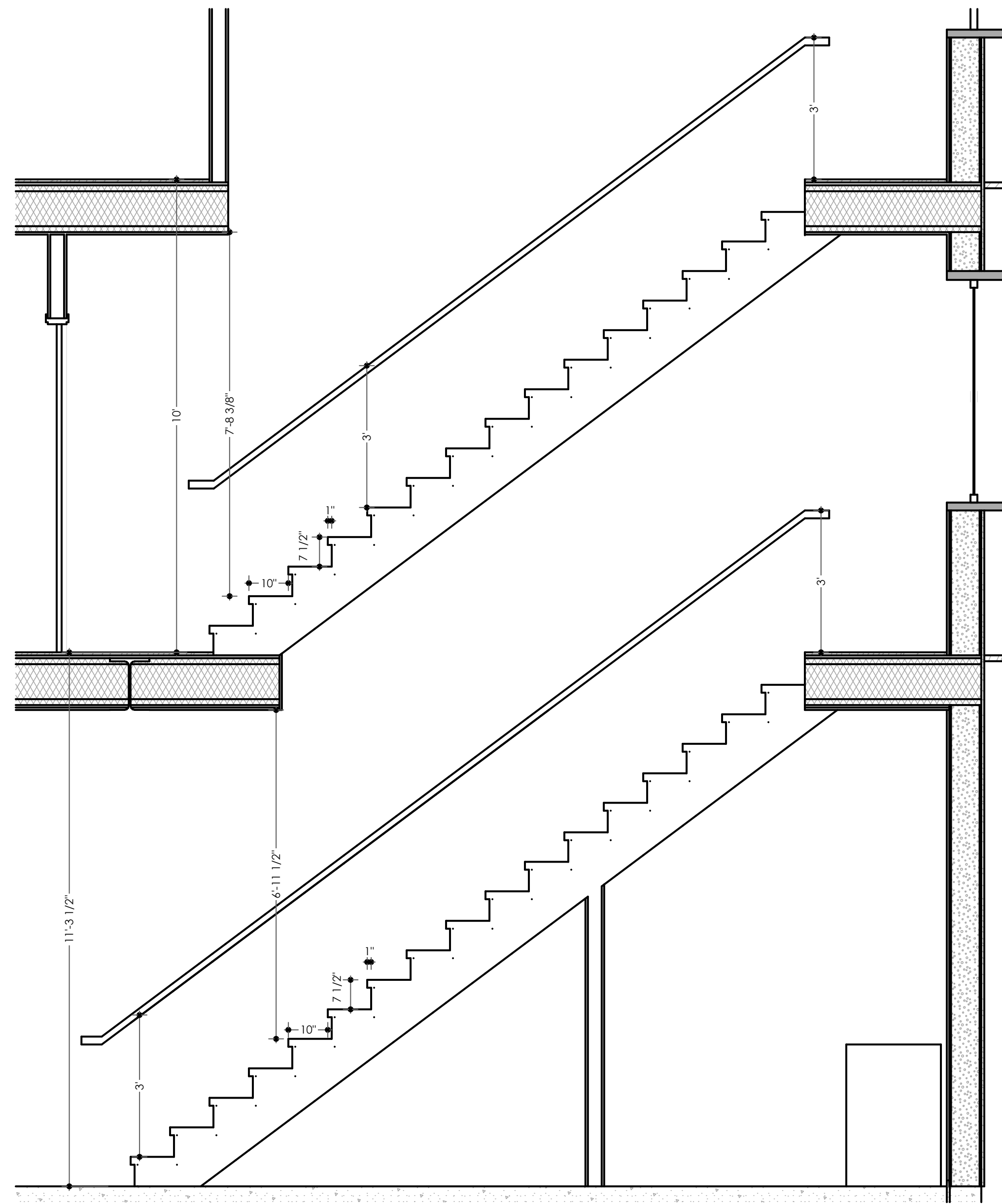
SCHEDULES



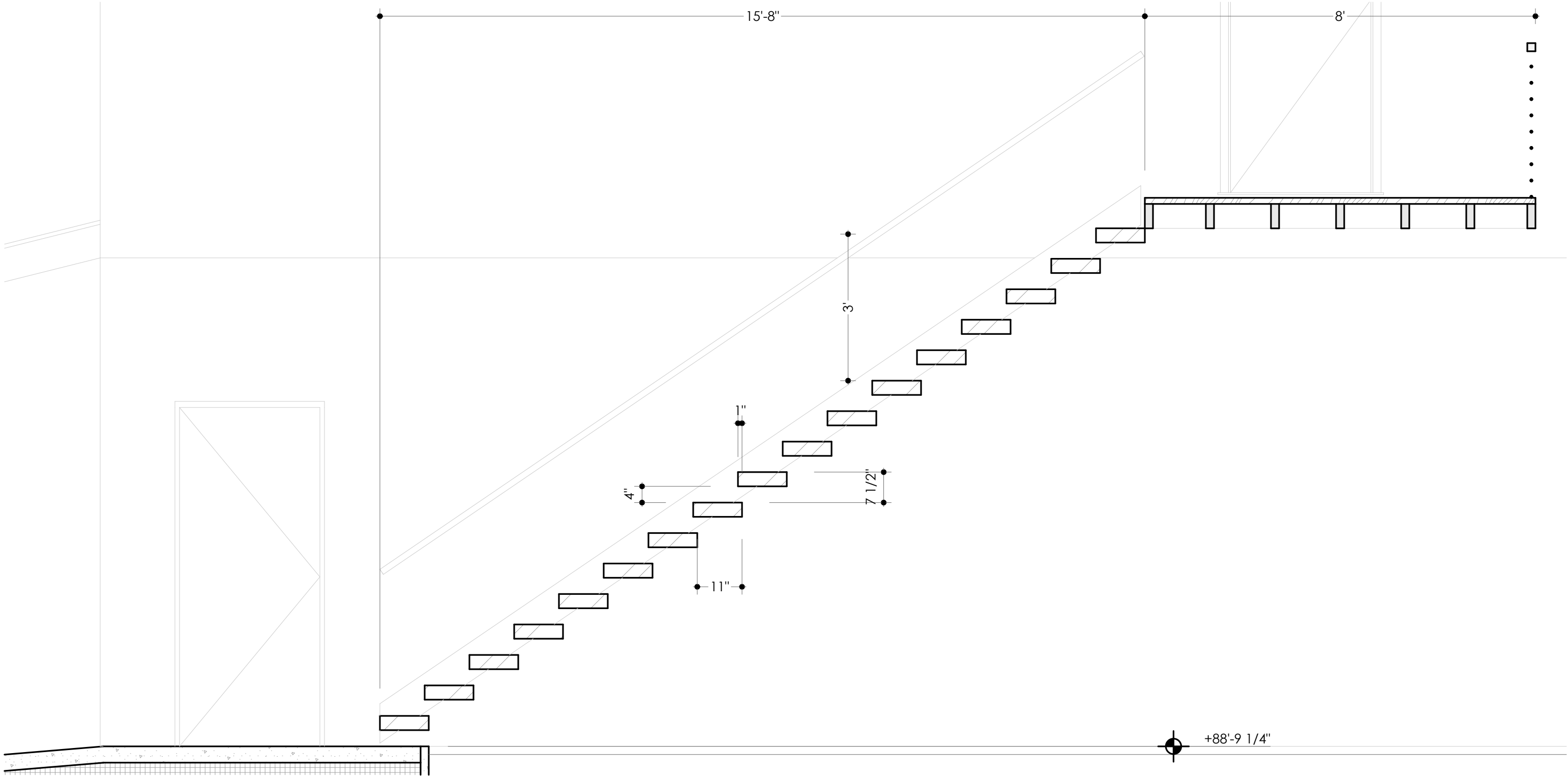
1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



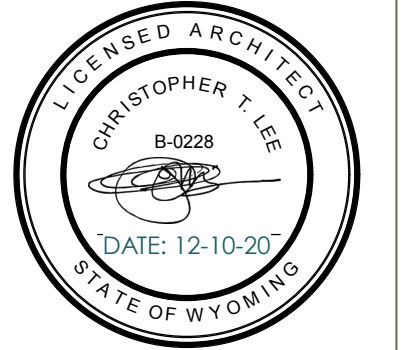
4 INTERIOR STAIR DETAIL
SCALE: 1/2" = 1'-0"



3 EXTERIOR STAIR SECTION
SCALE: 1/2" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(307) 307 7333
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



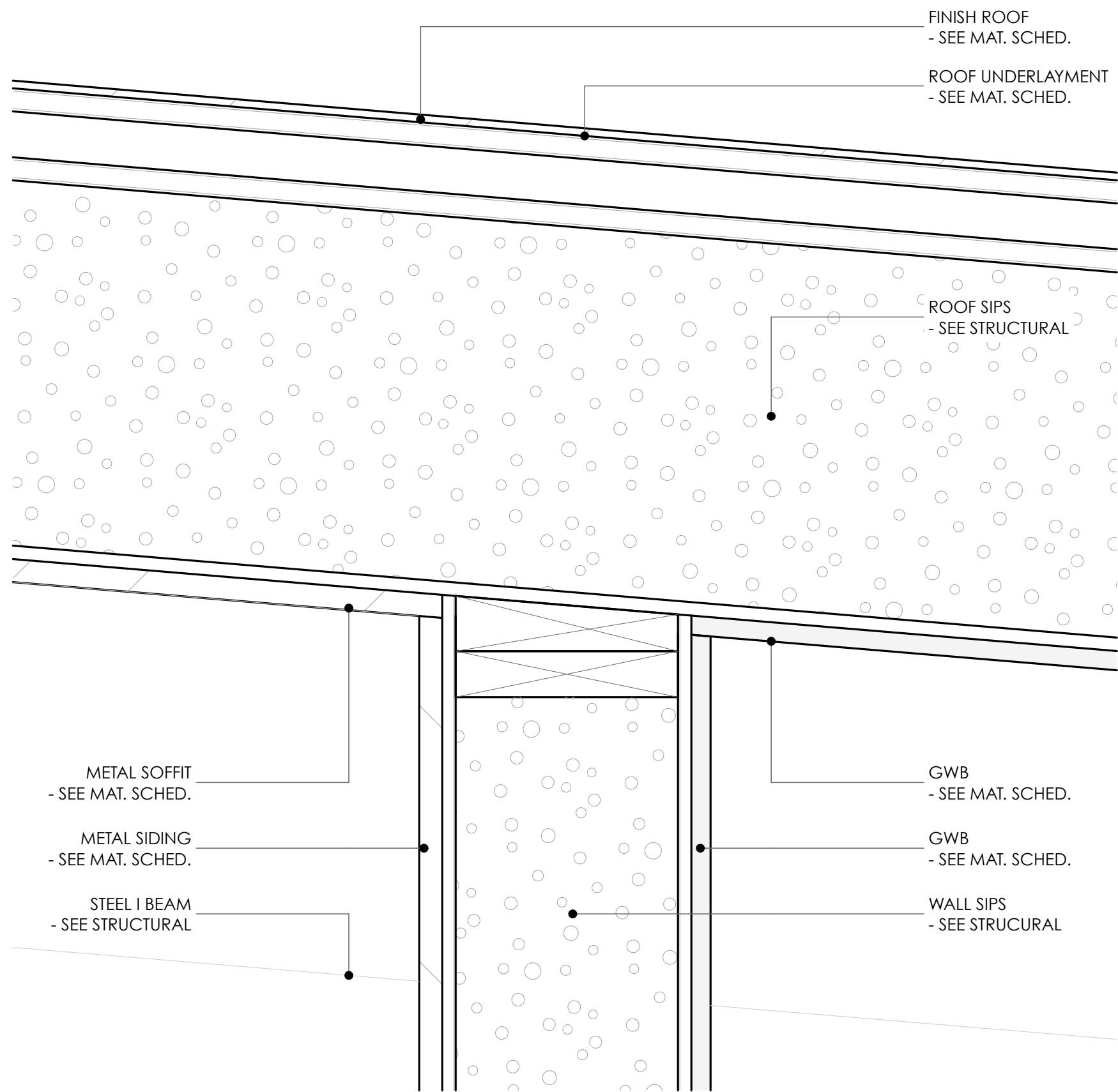
ISSUE HISTORY		
SYMBOL	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

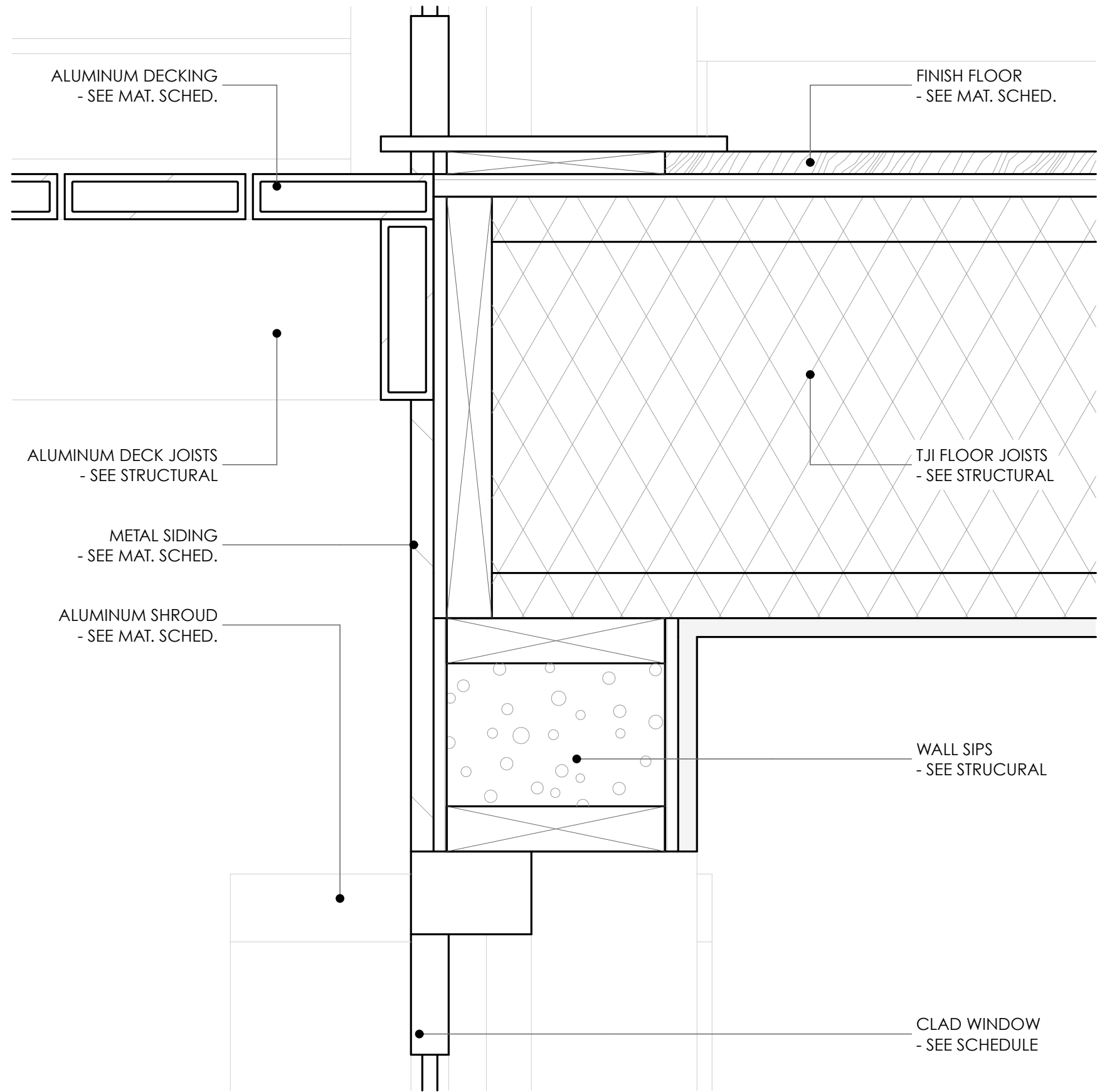
PERMIT AMENDMENT
12-10-20

A600

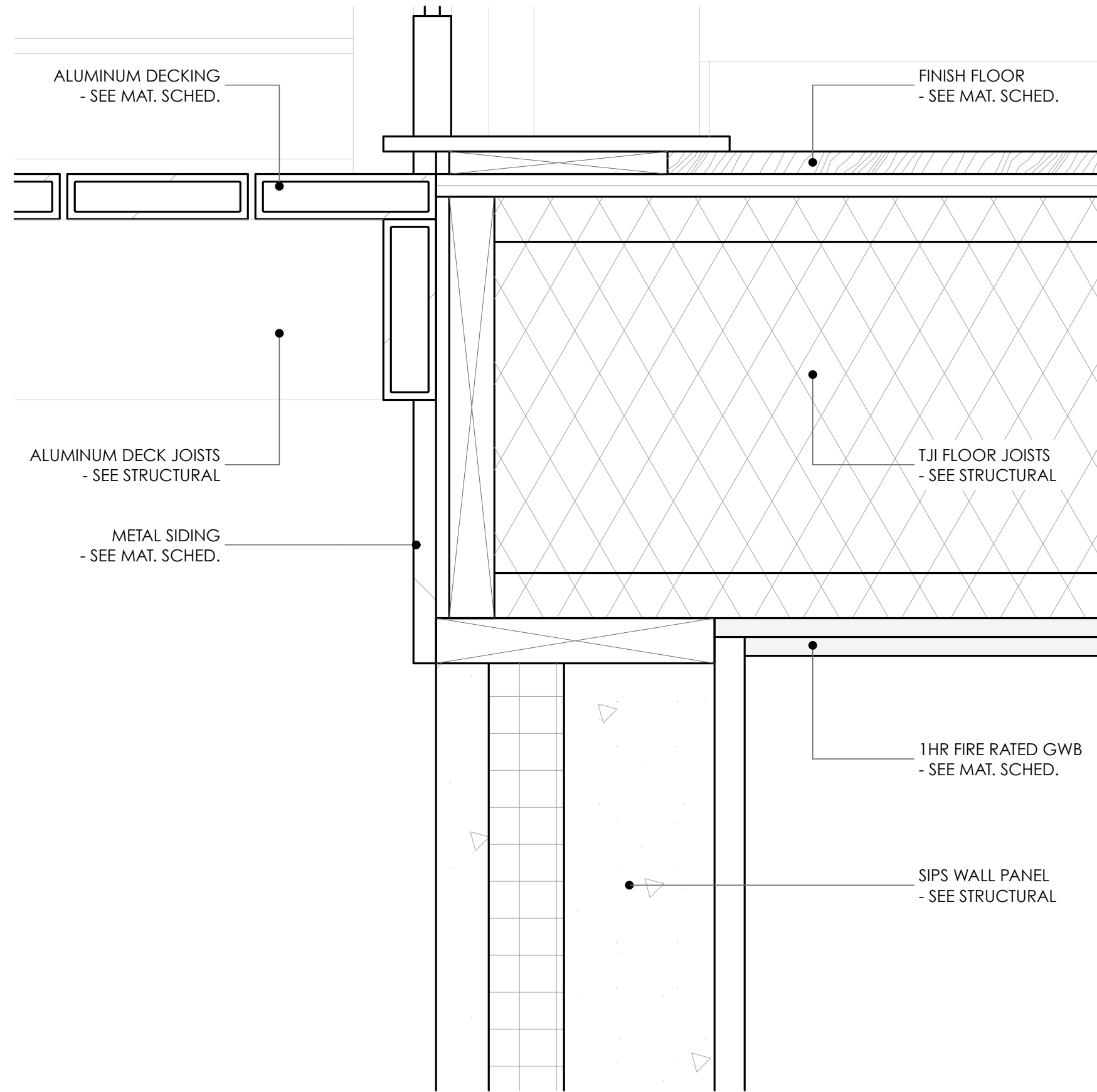
WALL SECTIONS



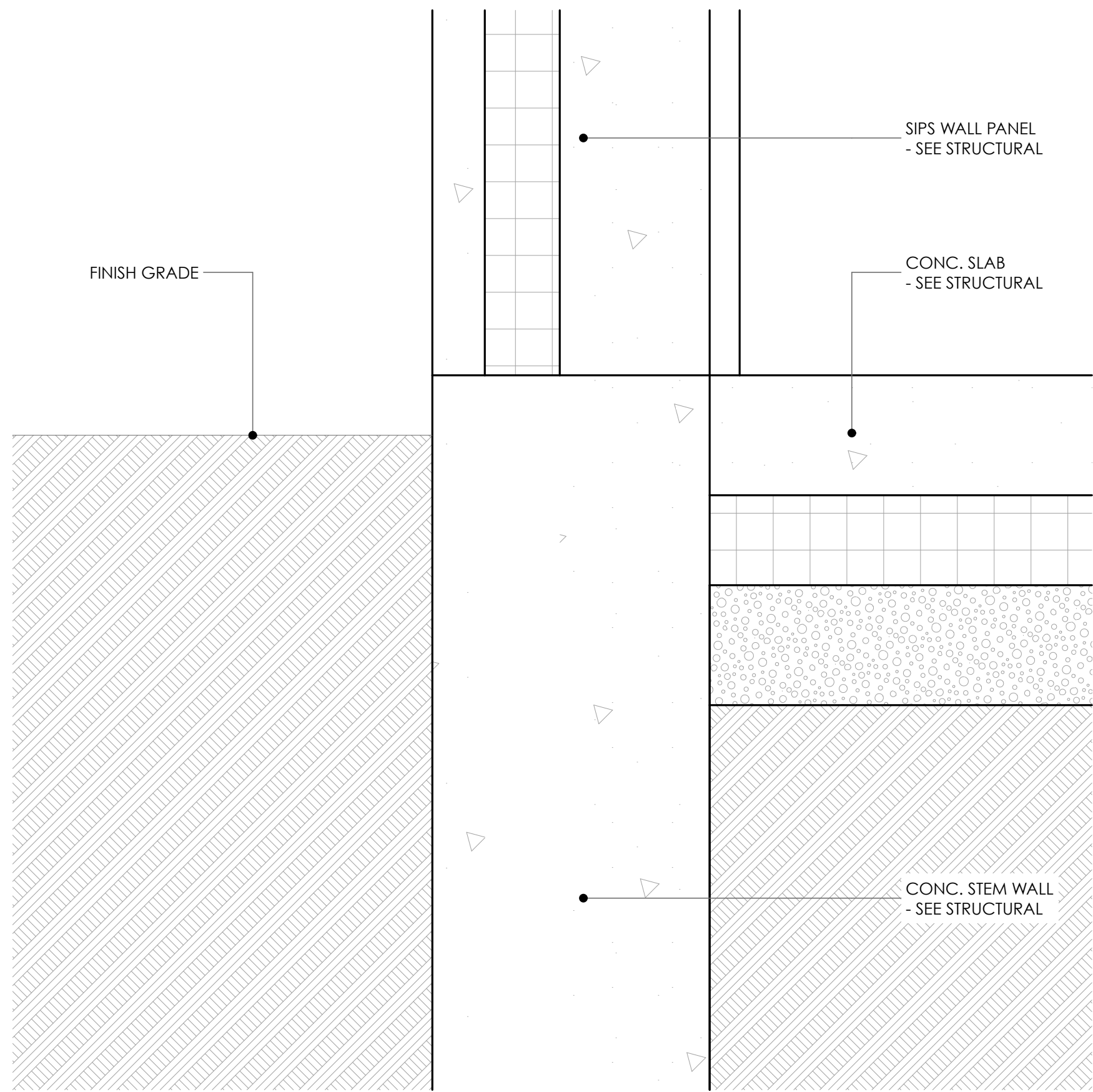
1
A700
DETAIL @ SIPS ROOF & SIPS WALL
SCALE: 3" = 1'-0"



2
A700
DETAIL @ WINDOW HEADER & SIPS WALL PANEL
SCALE: 3" = 1'-0"



3
A700
DETAIL @ FLOOR & CONCRETE WALL PANEL
SCALE: 3" = 1'-0"

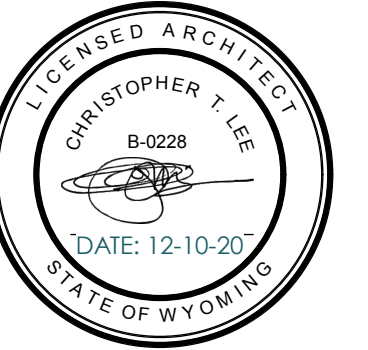


4
A700
DETAIL @ CONCRETE SLAB
SCALE: 3" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYMBOL	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

A700

DETAILS



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



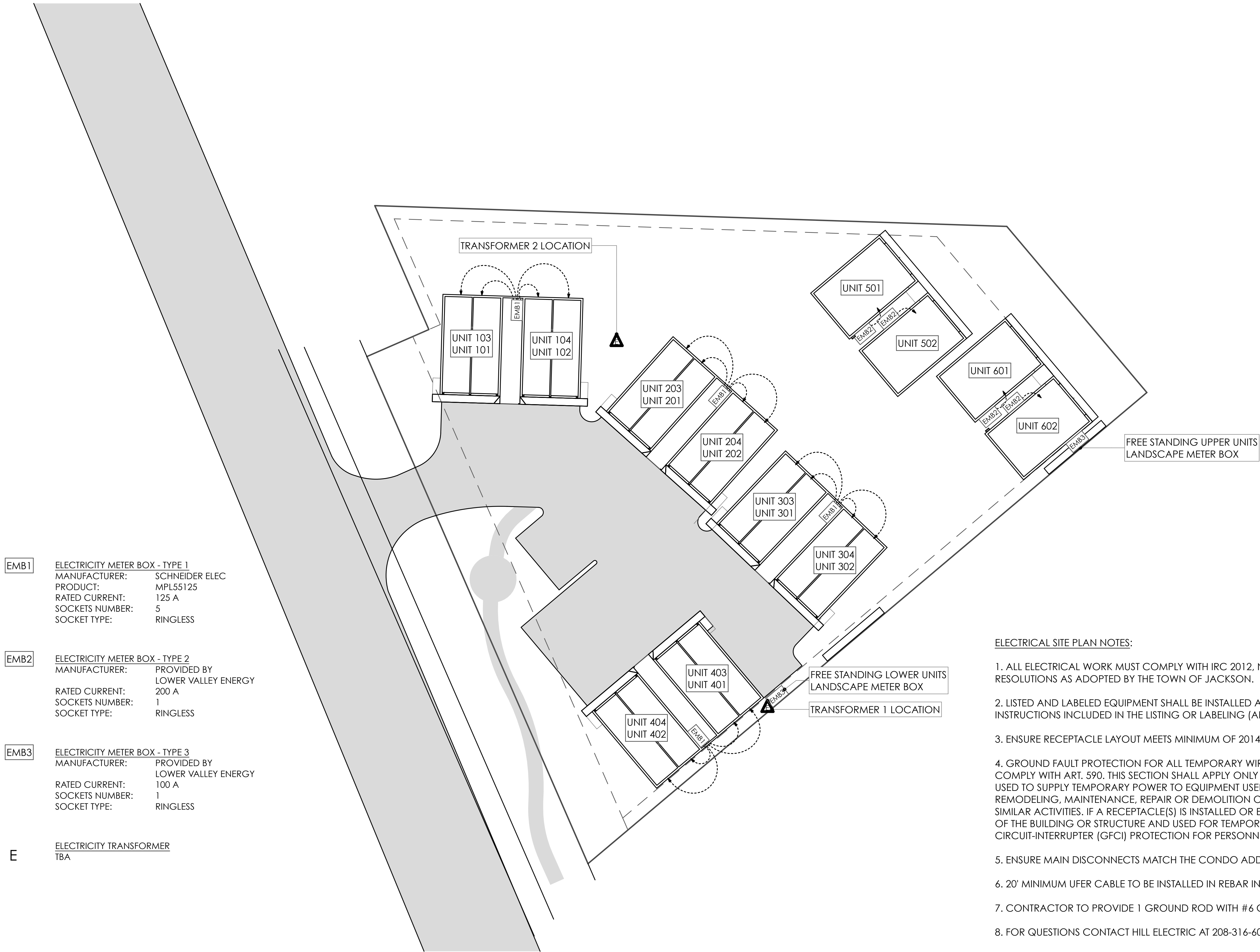
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

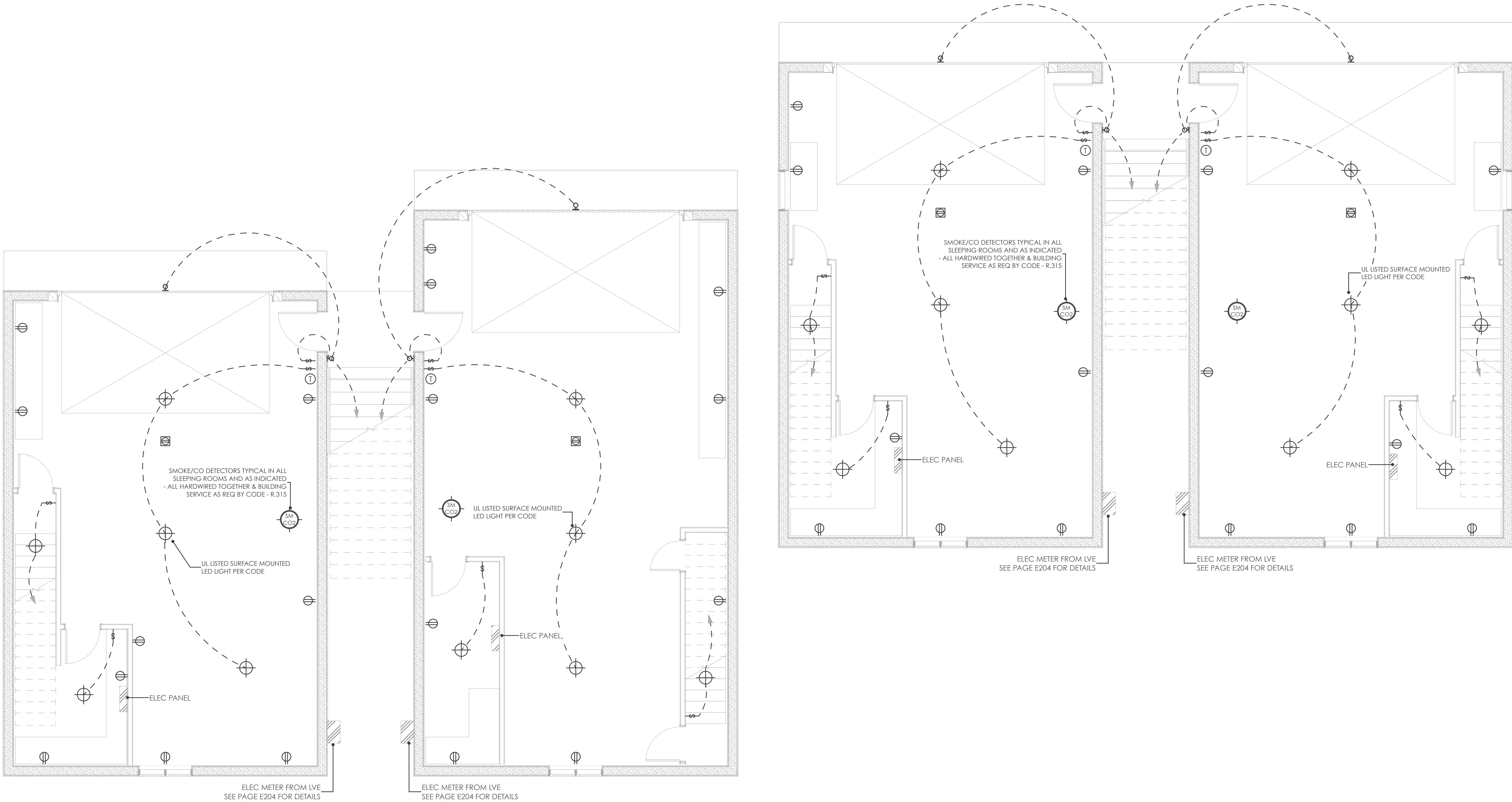
PERMIT AMENDMENT
12-10-20

E200

ELECTRICAL LAYOUT



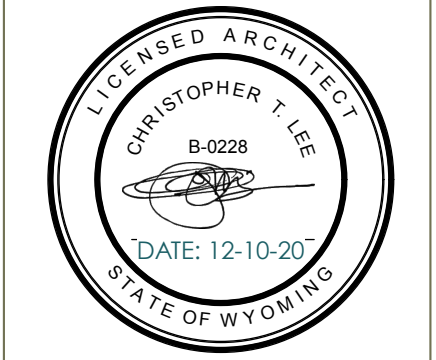
ELECTRICAL SCHEMATIC PLAN
SCALE: 1" = 20'



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

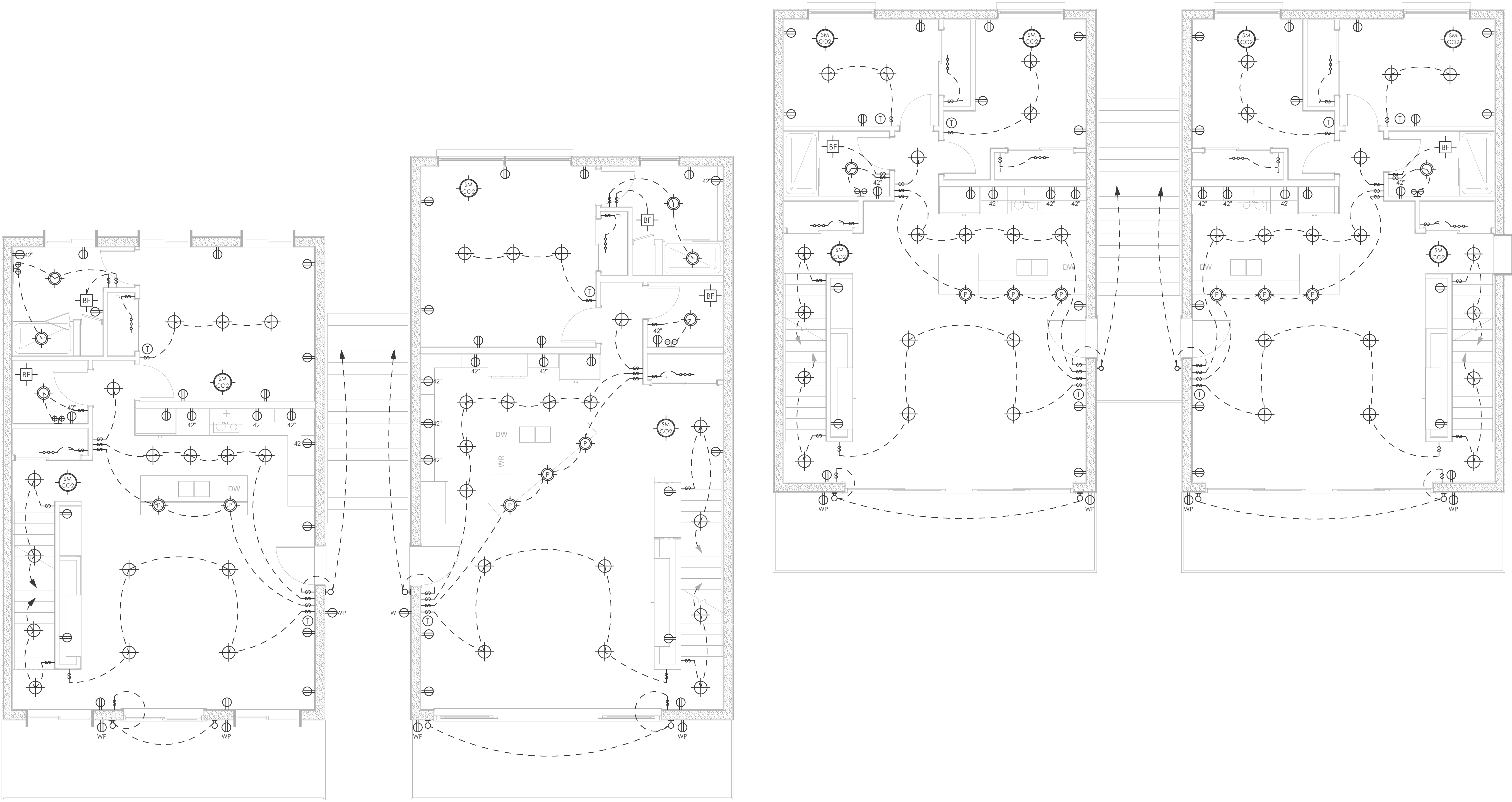


BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

E201

ELECTRICAL PLAN



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201, JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



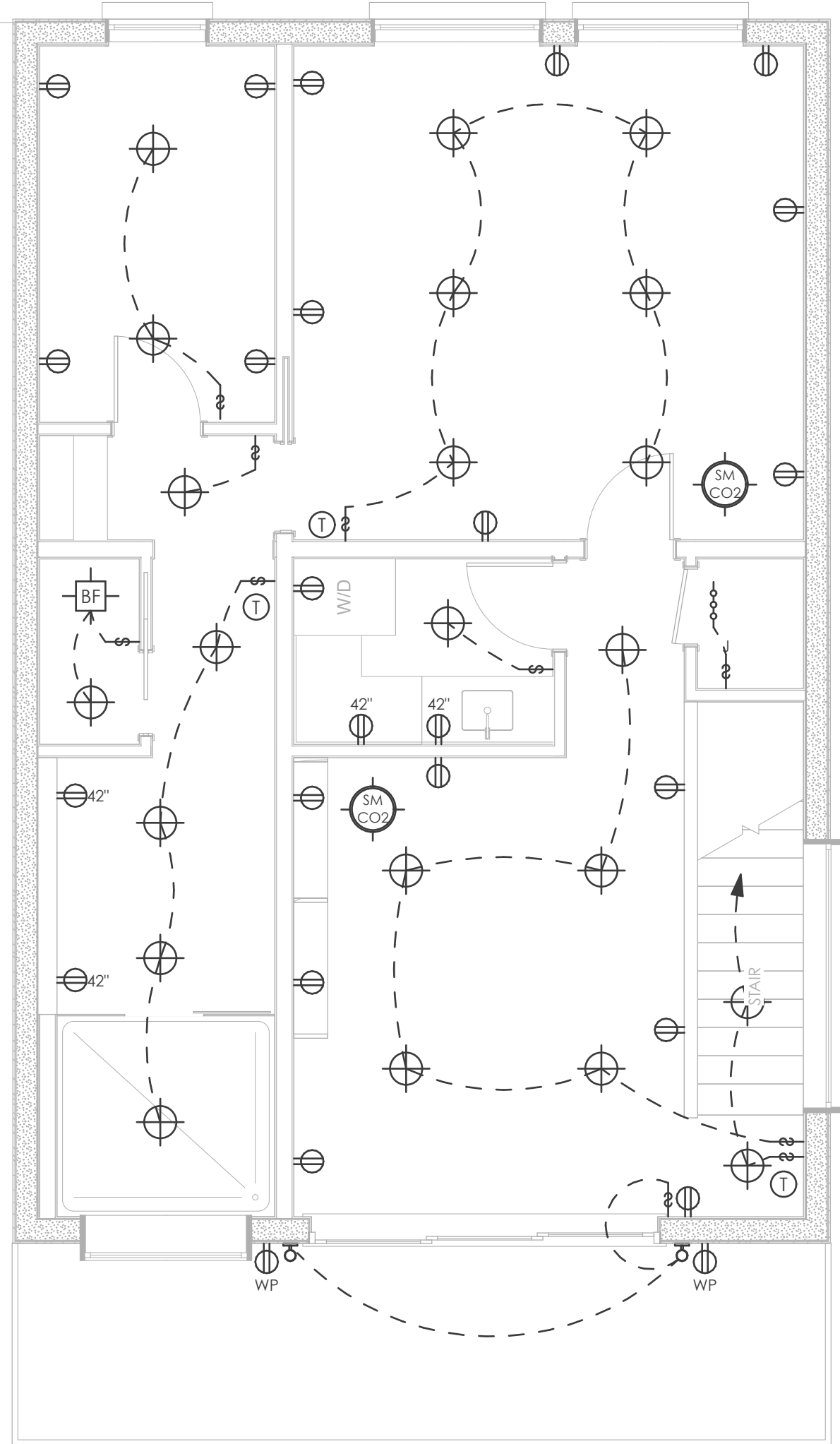
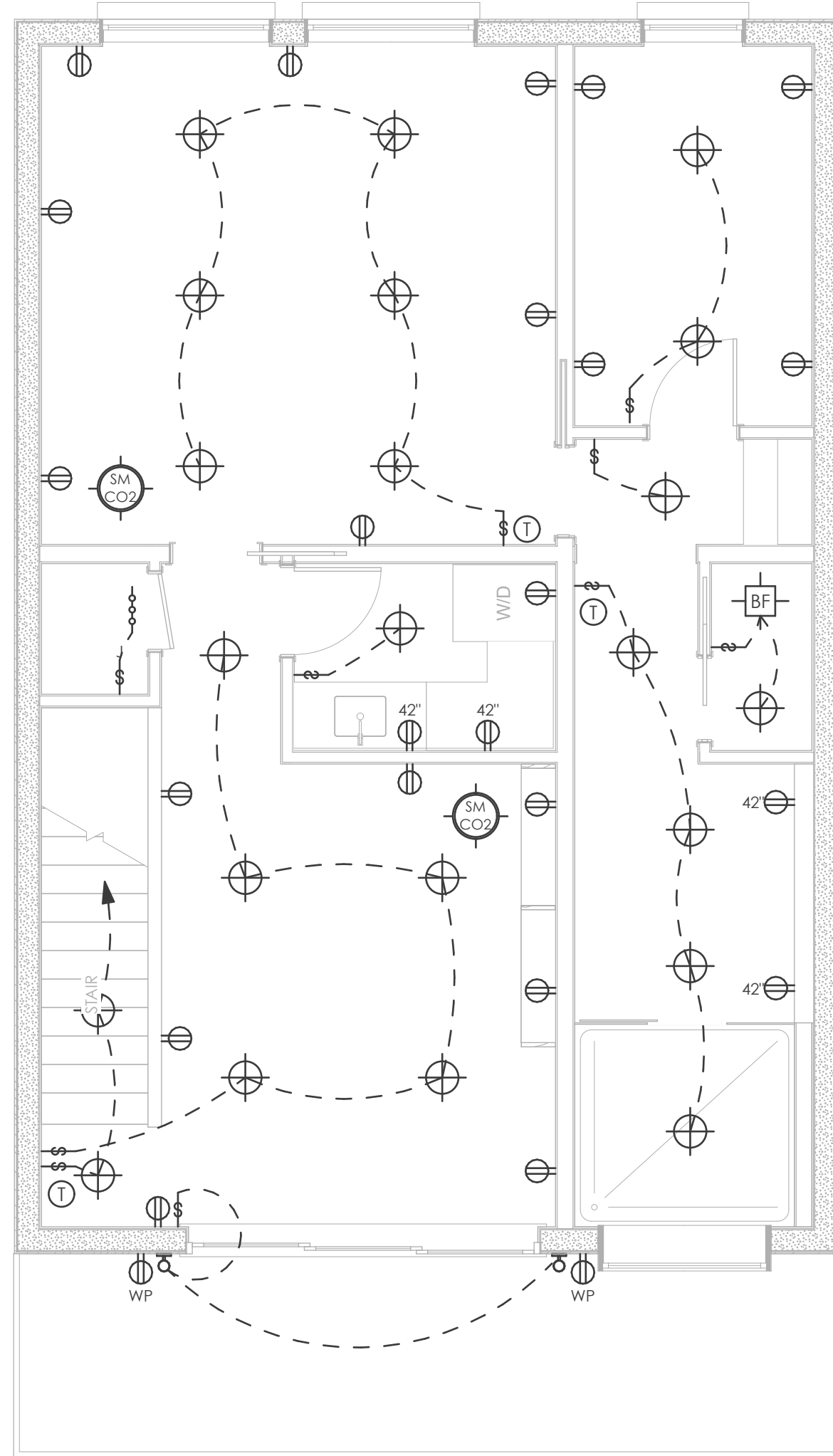
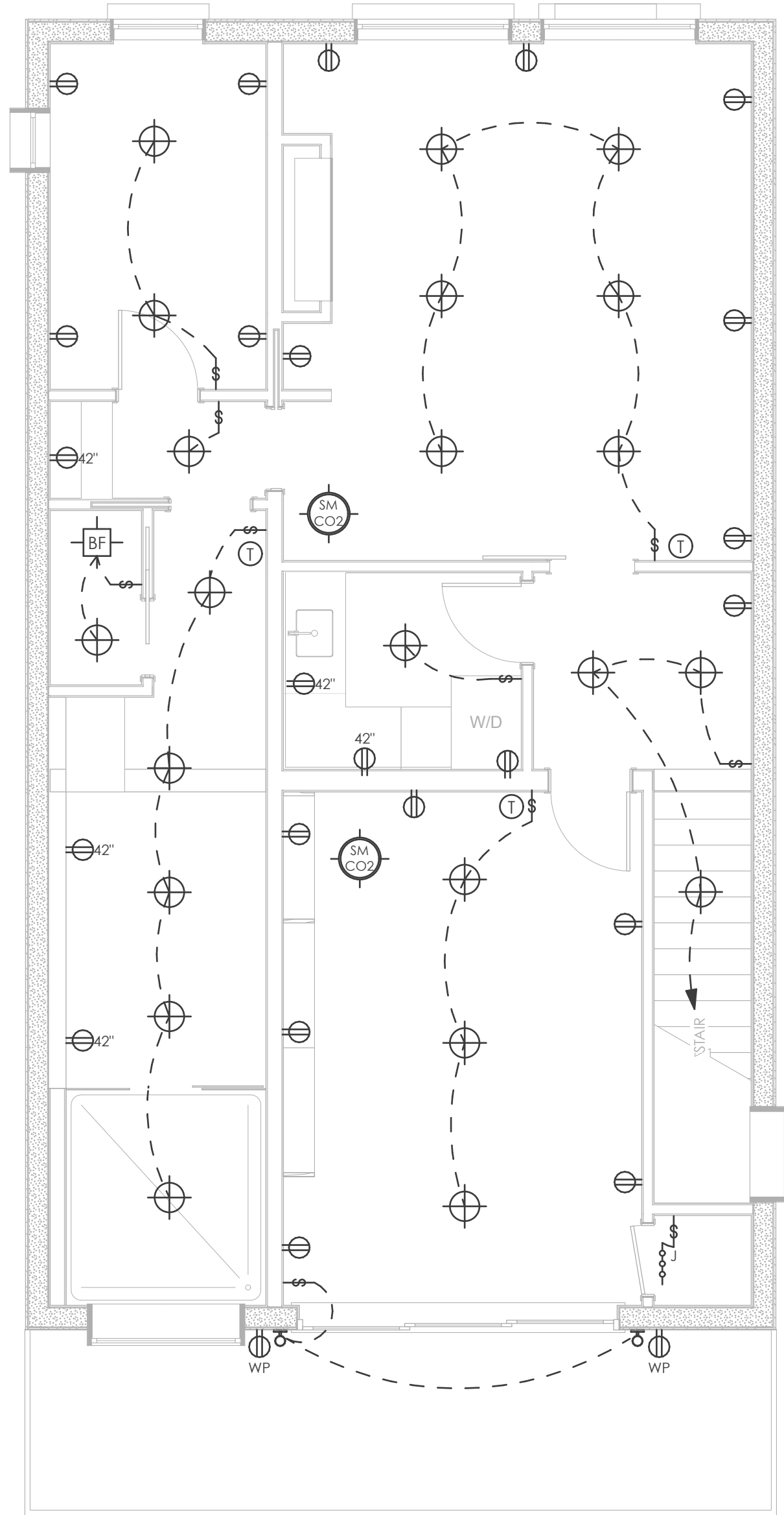
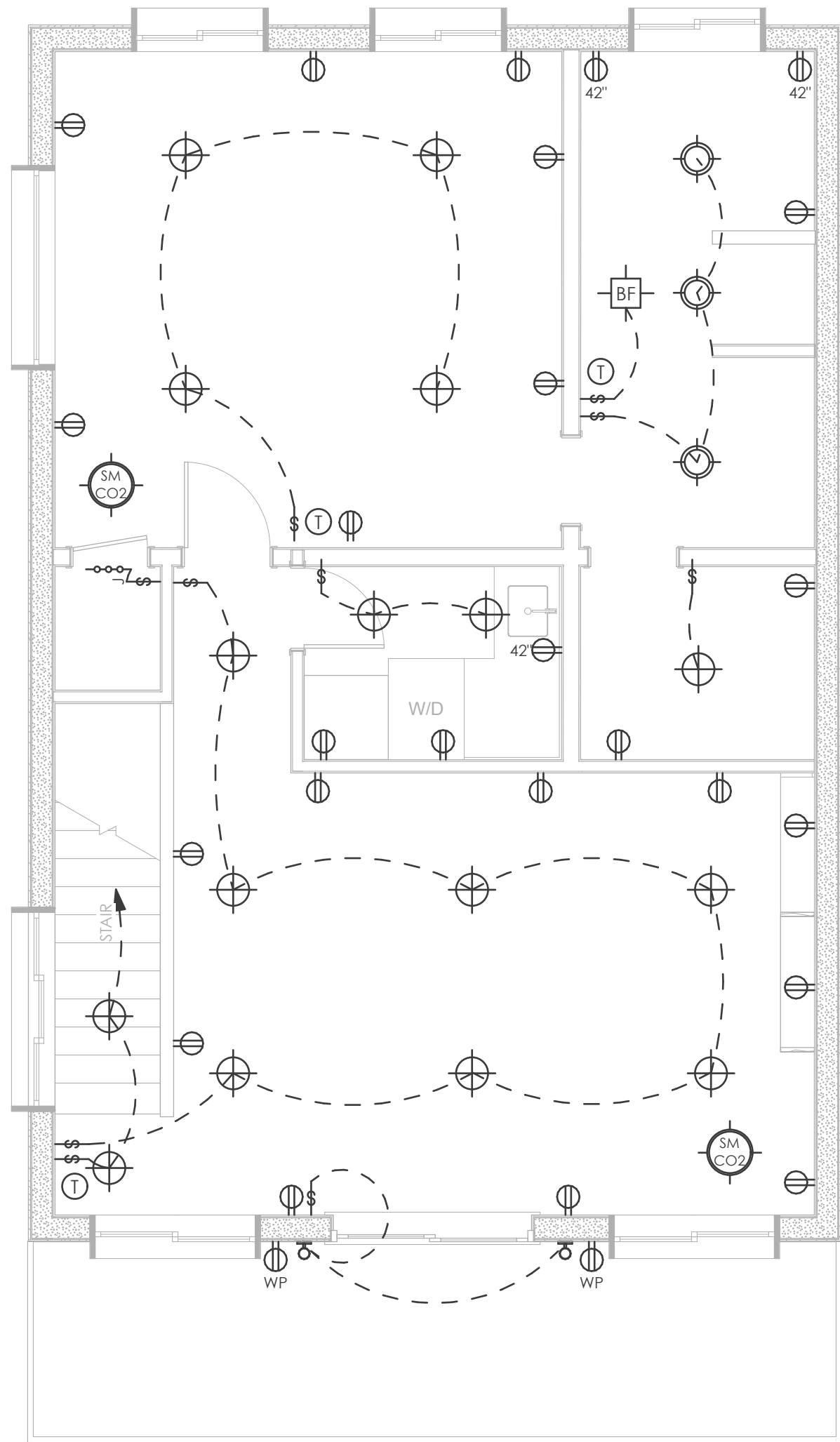
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

E202

ELECTRICAL PLAN



THIRD FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

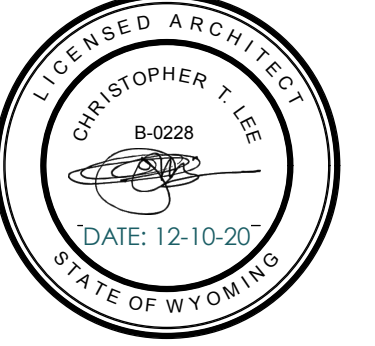


DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com

PROJECT NO. 20-07 ARCHITECT: CTL

© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY

SYMBOL	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

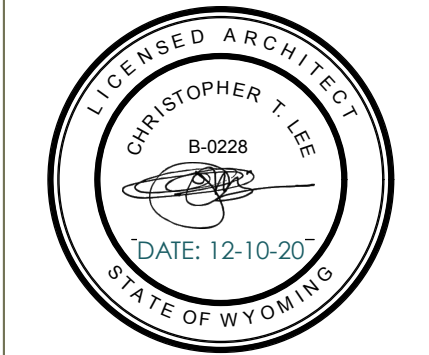
PERMIT AMENDMENT
12-10-20

E203

ELECTRICAL PLAN



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 | JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. : 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

Residential Standard Calculation

Version 2011 L

9/25/1997

Load Calculation for Upper Town Homes

STEP 1 Article 220.42 & 220.52

sq. ft. 1728 General Lighting load 5,184 VA

2 Small Appliance 3,000 VA

1 Laundry circuit 1,500 VA

Gen.Lgt, Sm App.& Laun. Load 9,684 VA

3,000 VA @ 100%= 3,000 VA

6,684 VA @ 35% = 2,339 VA

VA @ 25% = VA

General Lighting Demand Load 5,339 VA

STEP 2 Article 220.50 & 220.51

A/C Condenser & Fixed Electric Space Heating

A/C #1 VA AHU 1 11,600 VA

A/C #2 VA AHU 2

A/C #3 VA AHU 3

A/C #4 VA AHU 4

A/C #5 VA AHU 5

Heating Load 11,600 VA

CU Load 11,600 VA

Greater of Heat @ 100% vs.A/C @ 100% 11,600 VA

STEP 3 Article 220.53

4,500 VA 1 Water Heater 4,500 VA

1,400 VA 1 Refrigerator 1,400 VA

600 VA 0 Freezer VA

1,030 VA 1 Dishwasher 1,030 VA

990 VA 1 Disposal 990 VA

900 VA 1 R / Hood 400 VA

1,630 VA 1 Microwave 1,630 VA

4,000 VA Microwave VA

170 VA Mini Refrig VA

600 VA 1 Wine Ctr 400 VA

5,000 VA Insta Hot VA

1,500 VA Ironing Center VA

select Jacuzzi Tub VA

select Sprinkler Pump VA

select Well Pump VA

select Fountain Pump VA

select Elevator VA

Pool Equip. Panel VA 100% Demand

GATES VA No Demand

Other load VA No Demand

Appliance Demand Load 7,538 VA

Dryer Demand Load 5,200 VA

Range Demand Load 8,000 VA

Service Demand 37,677 VA

Demand Load 157 A

Neutral Demand 77 A

Min.Service Req. 175 A

Min. Feeder size 1/0

Min. Neutral size 4

Eq. Grdng Cond. 6

Copper

Total Appliance Load 10,050 VA

4 or more demand @ 75% plus 100% demand loads 7,638 VA

STEP 4 Article 220.54

Electric Clothes Dryers 5,200 VA

STEP 5 Article 220.55

Electric Ranges 1,080 W Col C demand 8000

or Number of appliances Cooktop Col B demand

Check Box for Gas Range Oven(s) Col B demand

Number of appliances Oven(s) Col B demand

Cooktop & Oven Demand Load 9% W

Each town house will have it's own 200 amp meter and load center. Wiring type will be non-metallic sheathed cable. Wiring will be installed in accordance with 2014 NEC, Teton County Wyoming and City of Jackson electrical codes. Exterior lighting and sprinkler system will be split evenly between each unit.

Pool Panel Feeder Calculation (See Note)

Continuous Motors 0

Non-continuous 0

Spa heater 11 kVA

Pool heater 3.5 ton

Pool heater 5 ton

Pool Light select

Blower select

other load

other load

Min Copper Pool Feeder

Minimum Panel Rating

Continuous Motors select

Non-continuous Motors select

Motor Neutral Load 0.0

Max.Unbalanced Neutral Load

Phase Amperes A A A

Neut. load

LOAD CALCULATIONS

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

E204

CALCS



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST. STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com
PROJECT NO. : 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

Generated by REScheck-Web Software Compliance Certificate

Project: Westview Town Homes 3BR
Energy Code: 2012 IECC
Location: Jackson, Wyoming
Construction Type: Single-family
Project Type: New Construction
Conditioned Floor Area: 3,456 sq ft
Building Area: 8,916 sq ft
Climate Zone: 7 (B&F HDO)
Permit Number:
Construction Site: 1220 W. Hwy 22, Jackson, Wyoming 83011
Owner/Agent: Designer/Contractor:

Compliance: Prescriptive UA Method

Compliance: 8.16 Energy Code Minimum UA: 0.174 Total UA: 0.174

UA is the sum of the UA values for all envelope components. UA values are calculated per ASHRAE 90.1-2010 Table 6.1-1. UA values are calculated per ASHRAE 90.1-2010 Table 6.1-1.

Envelope Assemblies

Assembly	Group	Area	U-factor	UA
Floor: Uninsulated Sub-Slab Grade	1-7.2	133.0	0.045	6.004
Floor: All-Blood Joist/Traut Over Uncond. Space	1-7.28	42.0	0.012	0.504
Walls: Insulated Concrete Form	1-7.28	123.0	0.080	9.840
Walls: Structural Insulated Panels	1-7.28	32.0	0.034	1.088
Doors: Uninsulated	2-2.0	0.350	1.02	0.357
Doors: Insulated	4.4	0.300	0.13	0.039
Doors: Uninsulated	4.4	0.300	0.13	0.039
Windows: Insulated	4.1	0.300	0.13	0.039
Windows: Uninsulated	4.1	0.300	0.13	0.039
Roofs: Insulated	1-7.28	49.0	0.022	1.078

Project Title: Westview Town Homes 3BR
Data Filename: Report date: 02/02/21
Page 1 of 9

Compliance Statement: The proposed building design described here is compliant with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2012 IECC requirements in REScheck Version 5.5.0 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Title Signature Date

REScheck Software Version 5.5.0 Inspection Checklist Energy Code: 2012 IECC

Requirements: 12/20 were addressed directly in the REScheck software
Test in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed, where compliance is not met in a separate table. A reference to that table is provided.

Section (a,b,c,d)	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.

Additional Comments/Assumptions:

Section (a,b,c,d)	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F101)	Slab edge insulation R-value.	R-_____	R-_____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	See the Foundation Assemblies table for values.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.

Additional Comments/Assumptions:

Section (a,b,c,d)	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F101)	Door U-factor.	U-_____	U-_____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	See the Foundation Assemblies table for values.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Slab edge insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.

Project Title: Westview Town Homes 3BR
Data Filename: Report date: 02/02/21
Page 5 of 9

Section (a,b,c,d)	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.

Additional Comments/Assumptions:

Section (a,b,c,d)	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.

Additional Comments/Assumptions:

Section (a,b,c,d)	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.

Project Title: Westview Town Homes 3BR
Data Filename: Report date: 02/02/21
Page 7 of 9

Section (a,b,c,d)	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.
402.1.1 (F101)	Insulation installed in labeled cavity of the wall/ceiling/floor is provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does not	Requirement will be met.

Additional Comments/Assumptions:

2012 IECC Energy Efficiency Certificate

Envelope Assembly	R-Value
Below-Grade Wall	12.40
Below-Grade Floor	0.00
Ceiling / Roof	48.00
Unconditioned spaces:	
Attic & Floor Rafter	0.19
Window	0.15
Door	0.15
Heating & Cooling Equipment	Efficiency
Heating System:	
Cooling System:	
Water Heater:	
Name:	Date:
Comments:	

Project Title: Westview Town Homes 3BR
Data Filename: Report date: 02/02/21
Page 8 of 9

Project Title: Westview Town Homes 3BR
Data Filename: Report date: 02/02/21
Page 7 of 9

Project Title: Westview Town Homes 3BR
Data Filename: Report date: 02/02/21
Page 8 of 9

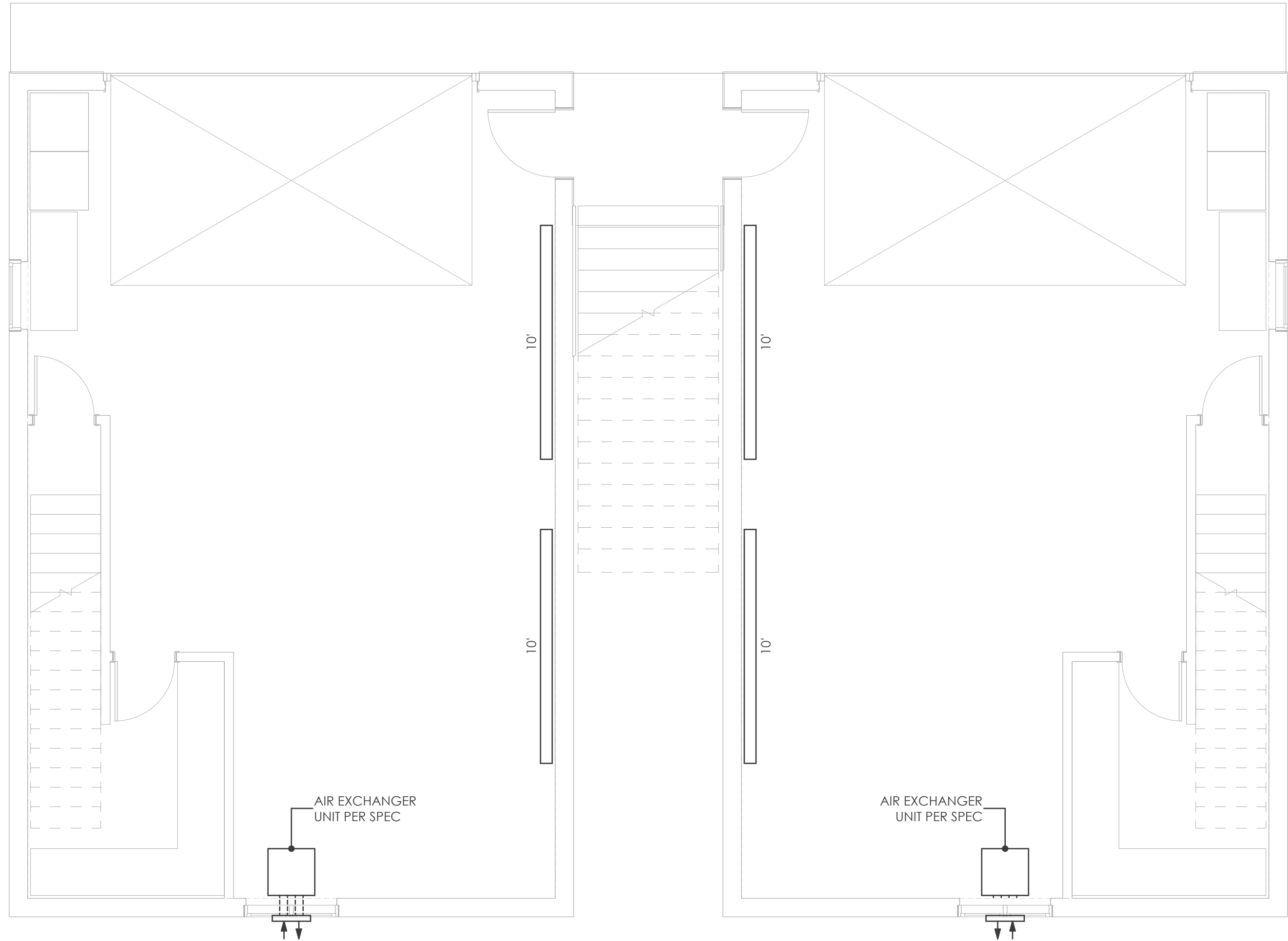
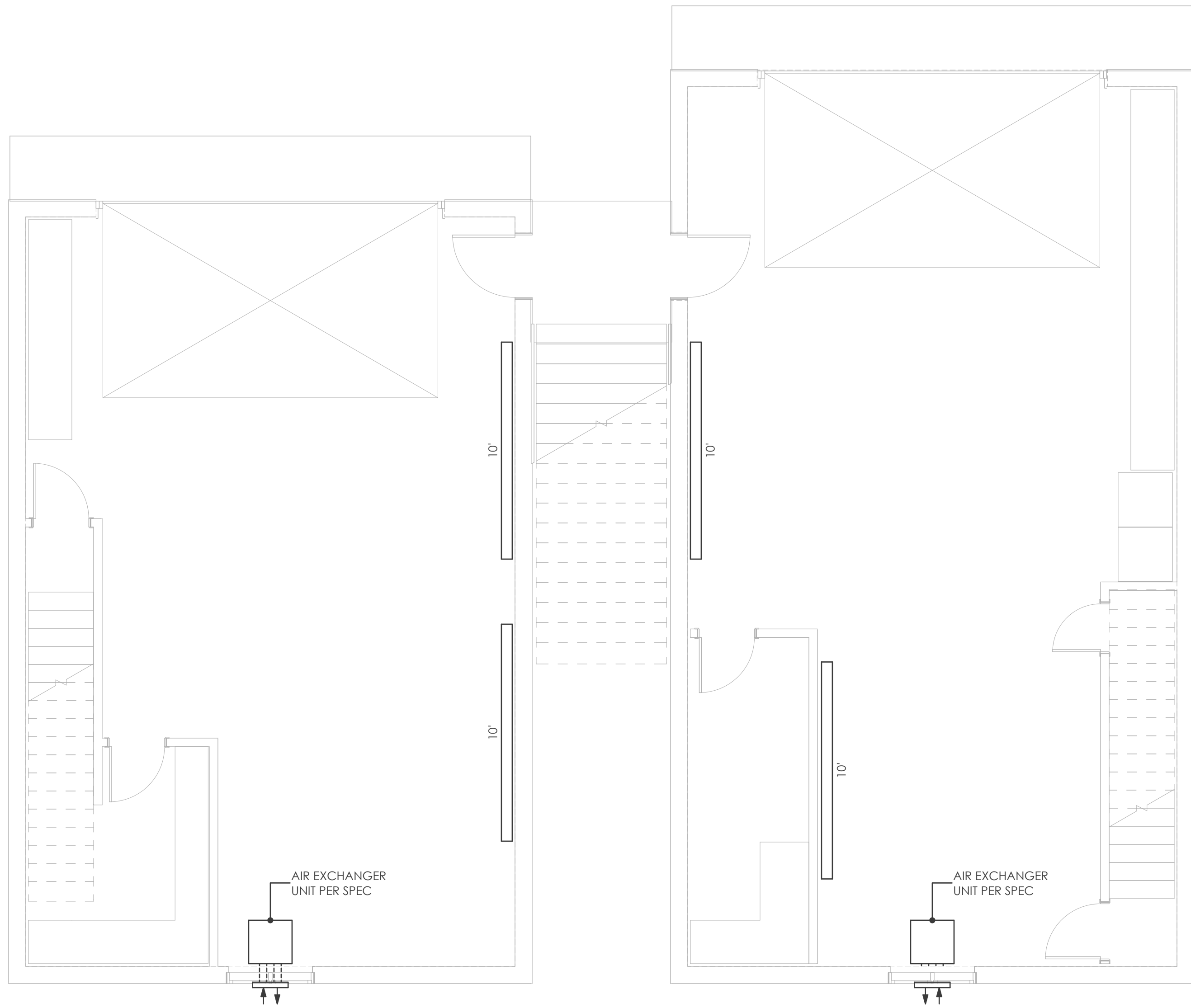
Project Title: Westview Town Homes 3BR
Data Filename: Report date: 02/02/21
Page 9 of 9

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

M100

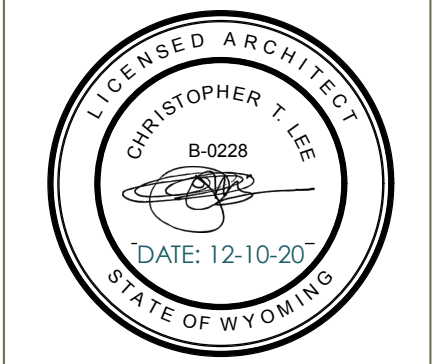
RESCHECK



FIRST FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

M200

MECHANICAL



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com

PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



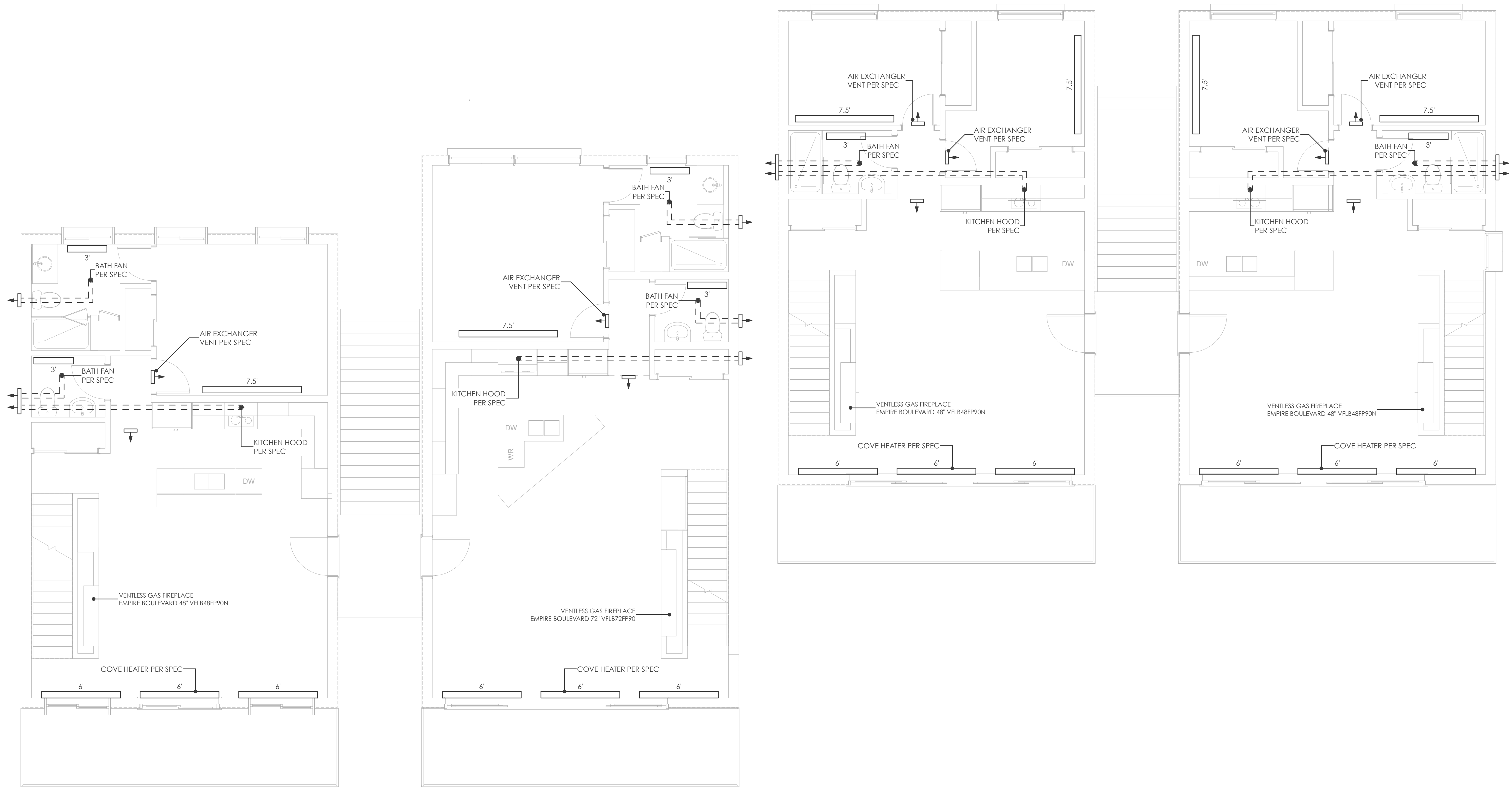
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

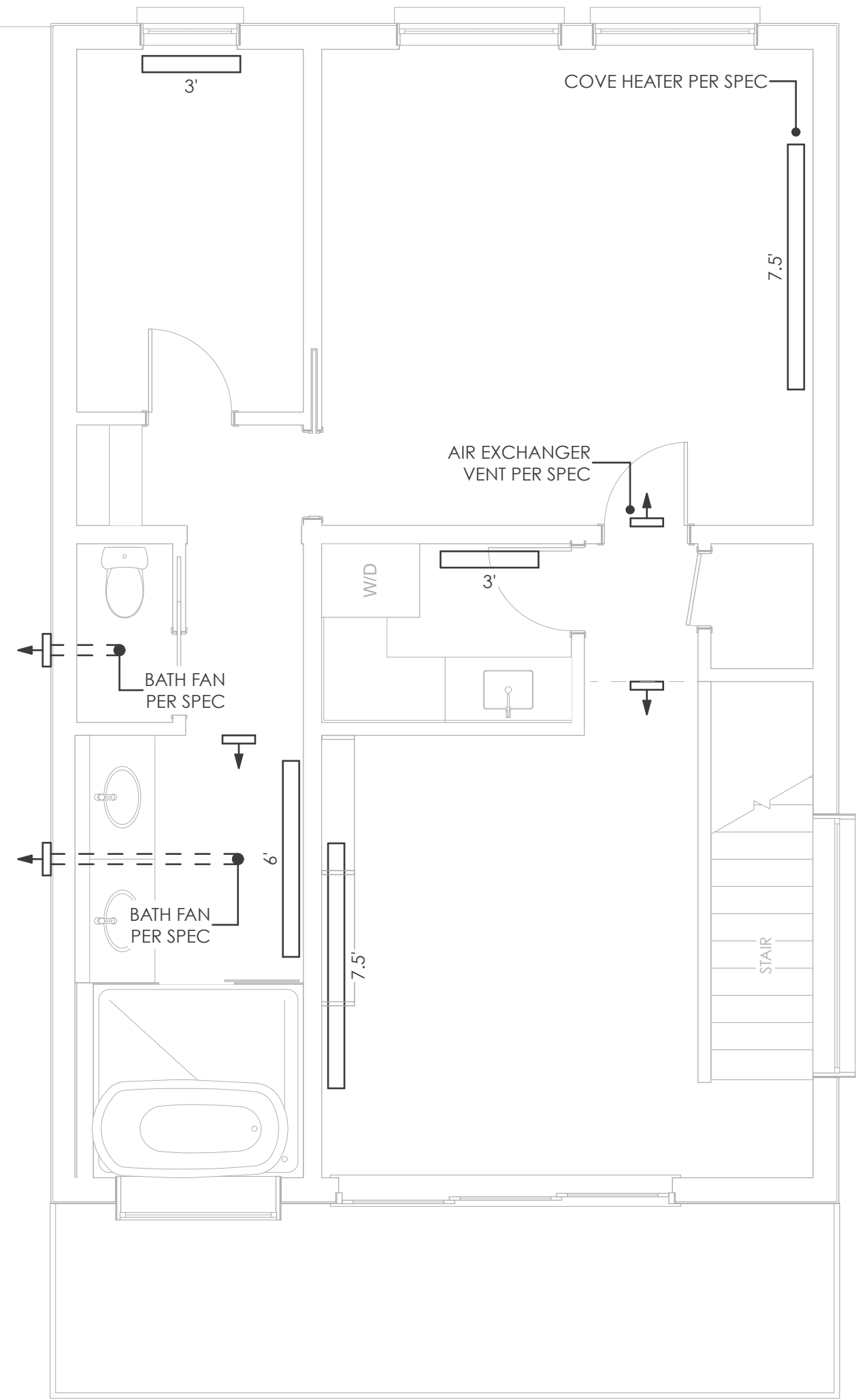
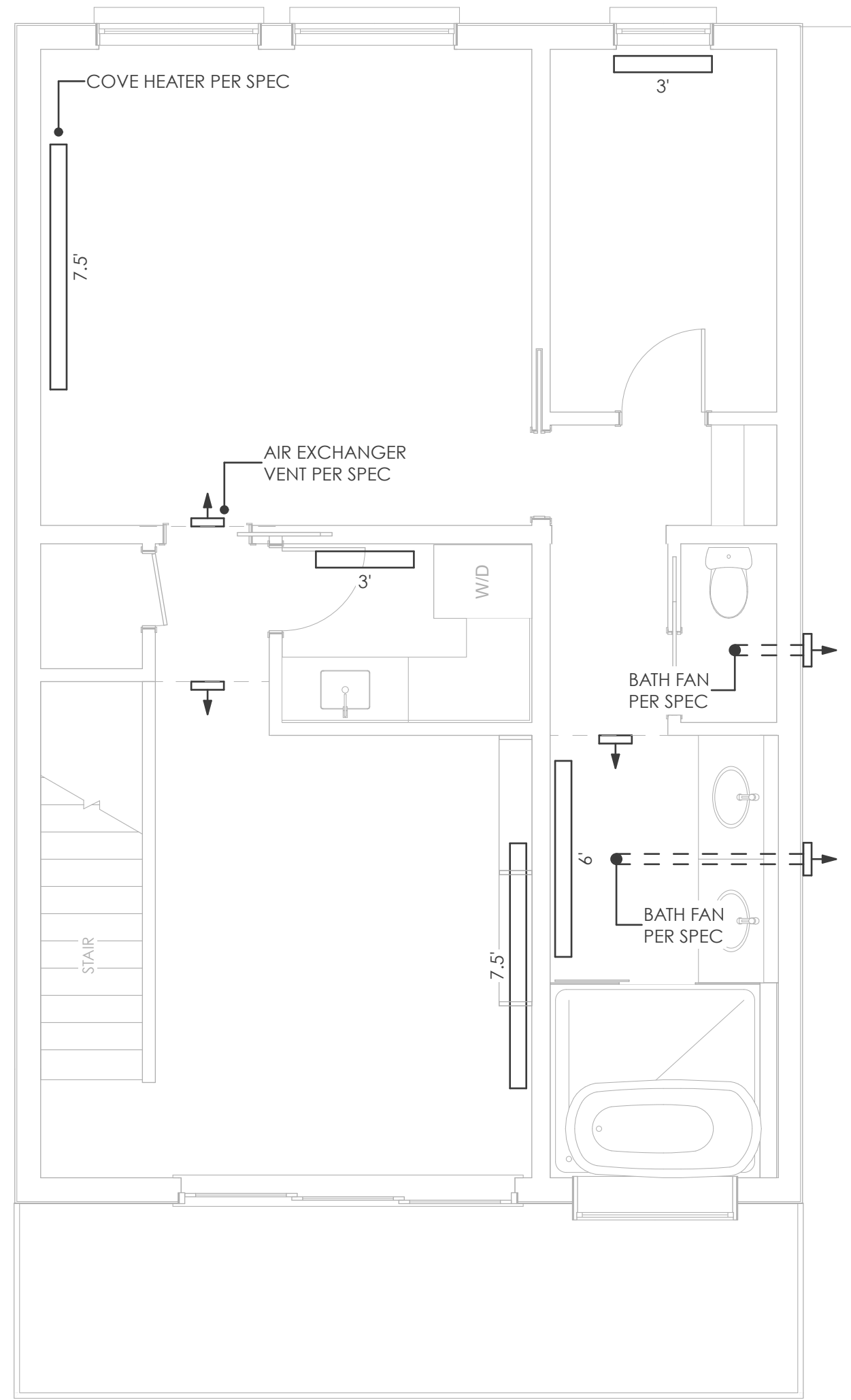
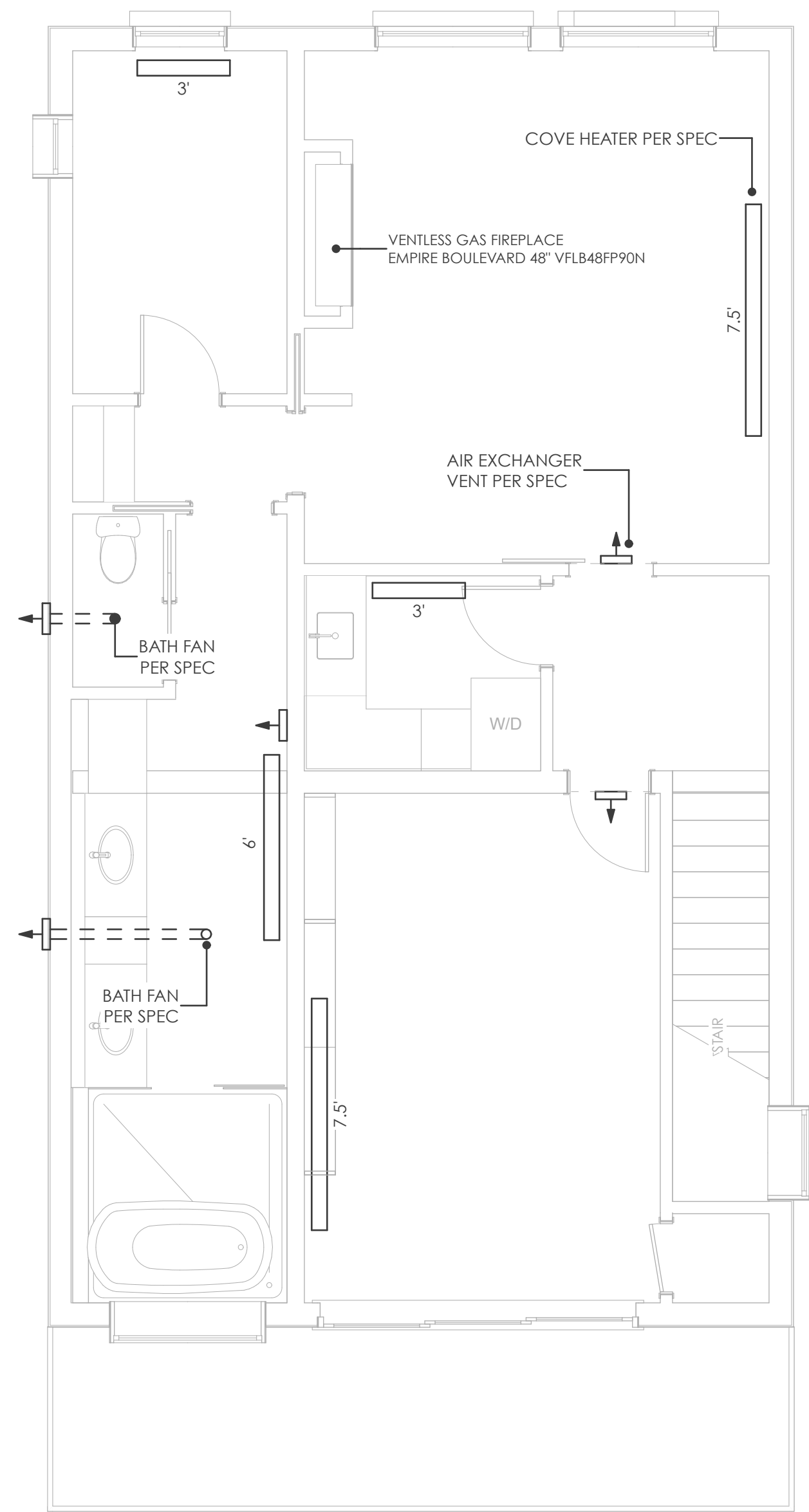
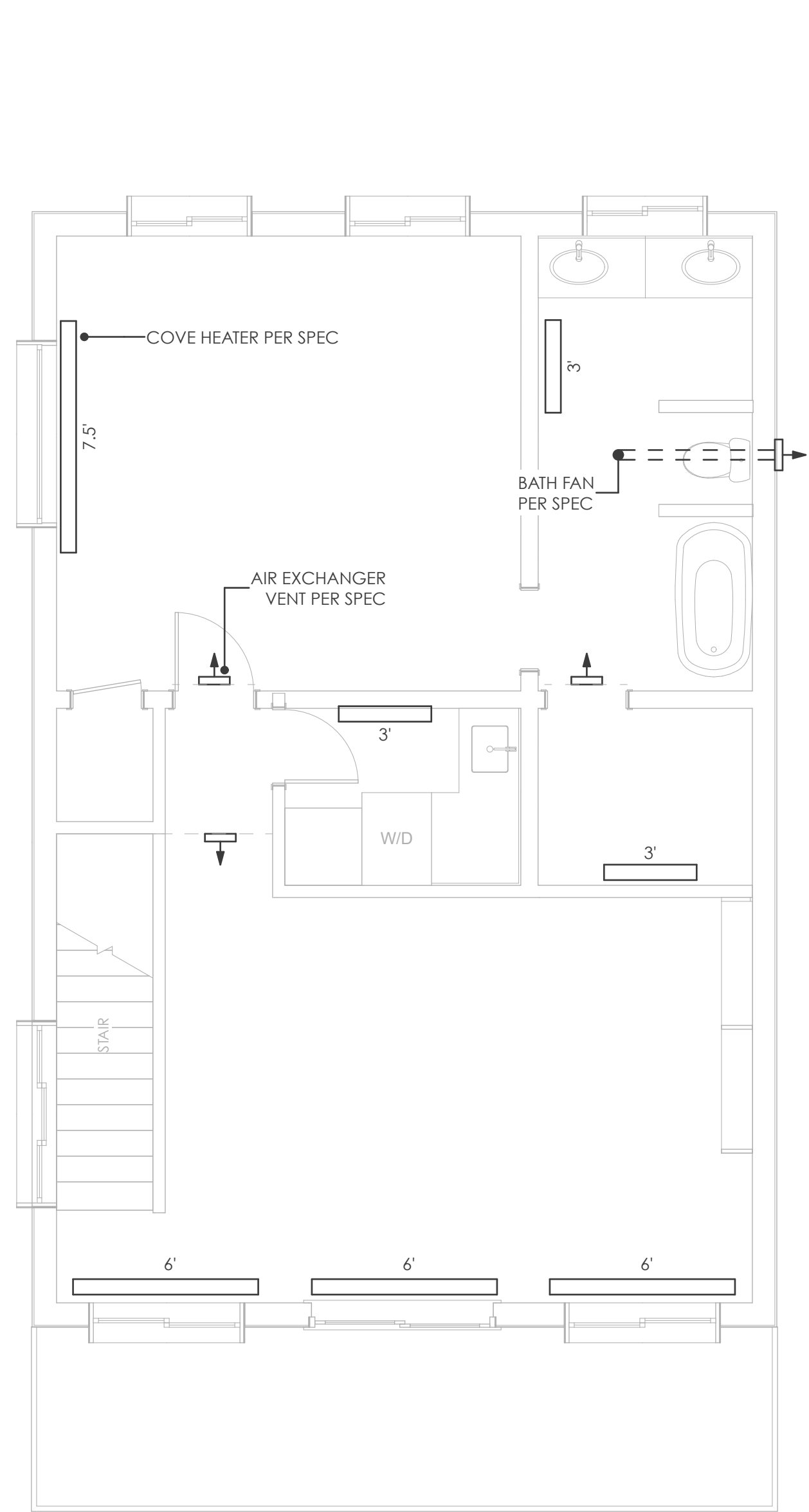
PERMIT AMENDMENT
12-10-20

M201

MECHANICAL



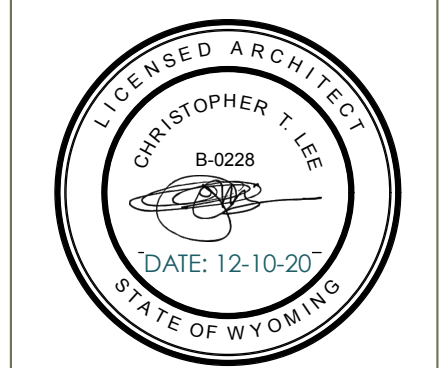
SECOND FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



THIRD FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	12-10-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
12-10-20

M202

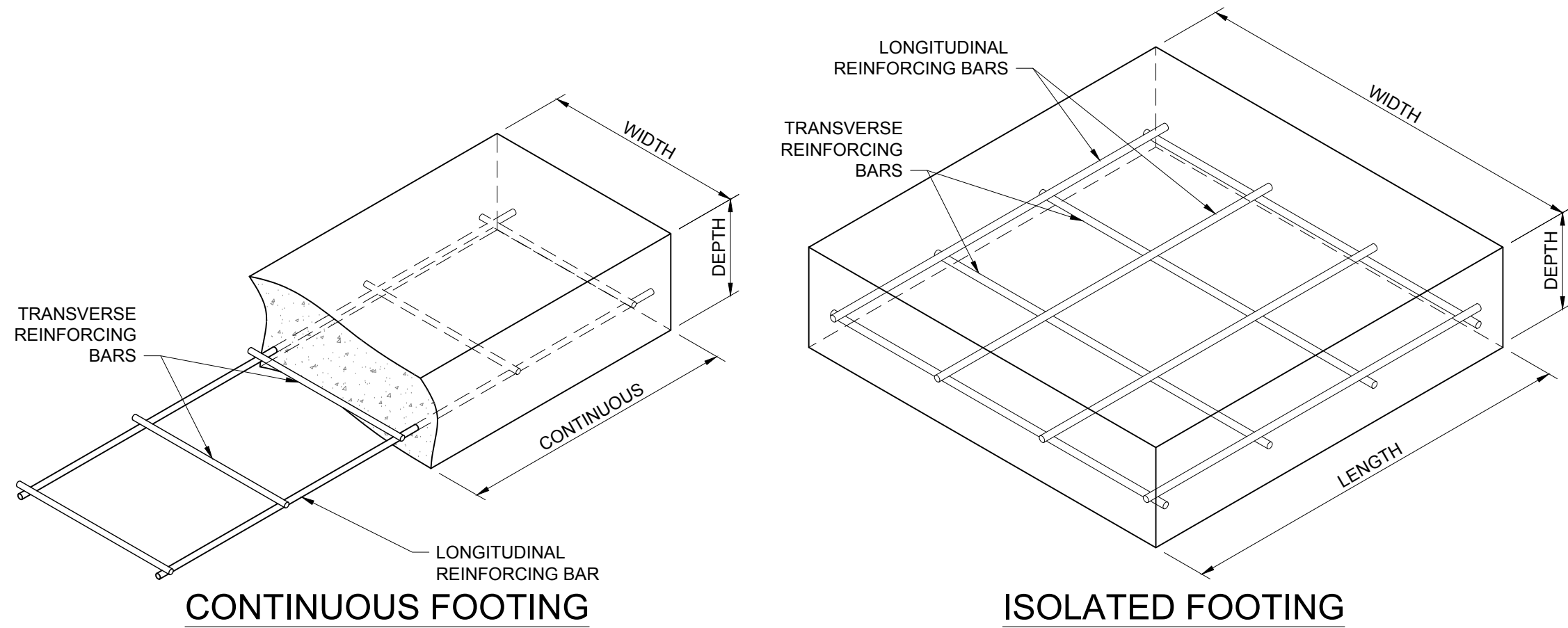
MECHANICAL

The following pages:
11/03/2020/04/03/Permit/Arch 1 of 3/2020 Signed Wyoming Stamp.pdf

Printed by T Johnson on Nov 04, 2020 - 4:53pm
Ver: 15.1

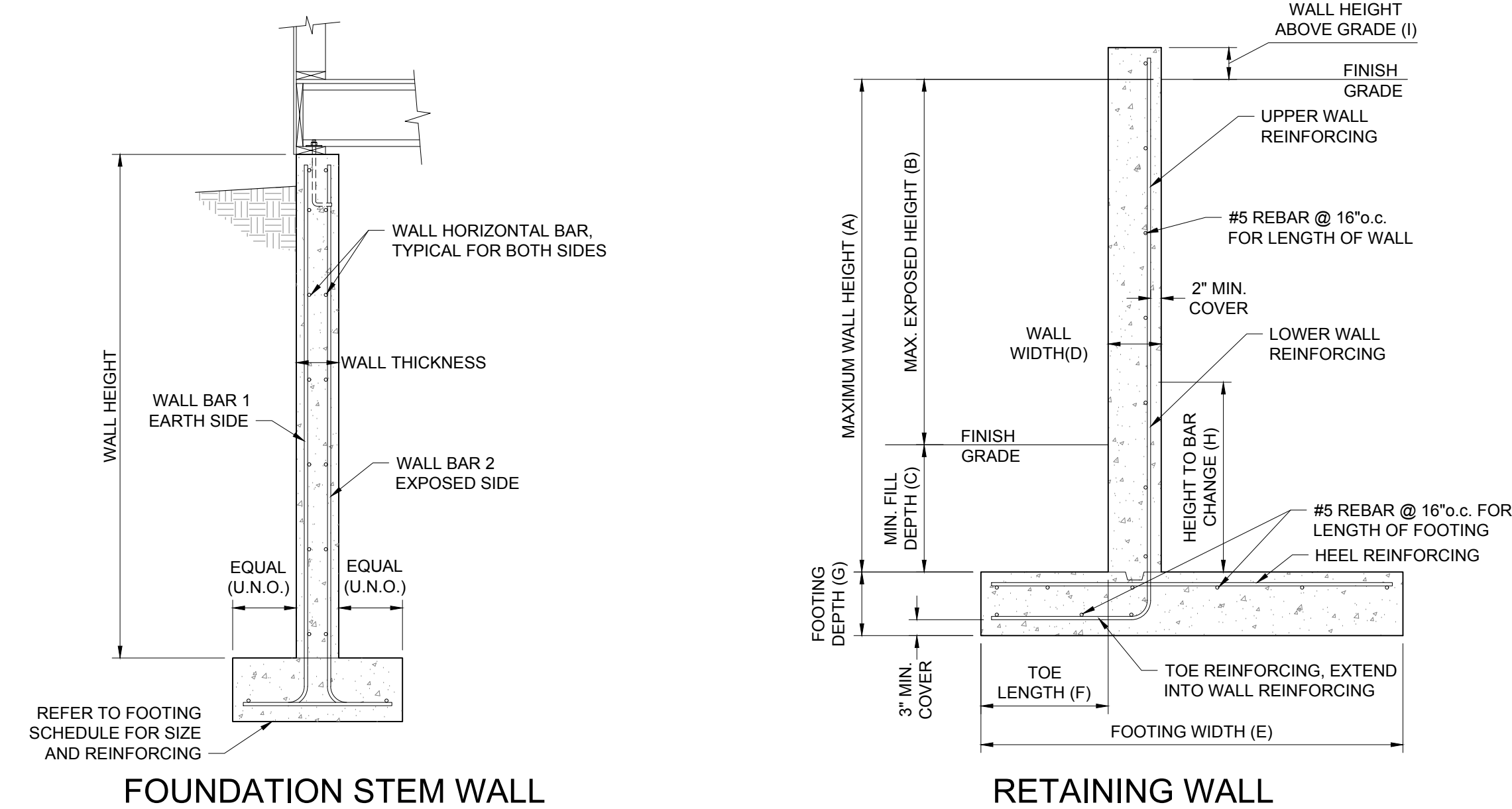
FOOTING SCHEDULE					
TYPE	WIDTH	LENGTH	DEPTH	LONGITUDINAL REINFORCEMENT	TRANSVERSE REINFORCEMENT
F1	18"	CONT.	10"	2ea. #4 REBAR @ 14"o.c.	#4 REBAR @ 16"o.c.
F2	27"	27"	10"		
F3	39"	39"	10"		
F4	57"	57"	14"		
F5	60"	60"	14"		
F6	72"	84"	16"		

NOTE:
MINIMUM COVER TO REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, AND 1½" FOR ALL OTHER CONCRETE EXPOSED TO WEATHER, UNLESS NOTED OTHERWISE IN PLANS. SEE TYPICAL DETAILS ON S1.1 FOR TYPICAL REINFORCING BAR COVER DETAILS.



FOUNDATION WALL SCHEDULE					
TYPE	HEIGHT	WALL THICKNESS	WALL BAR 1 EARTH SIDE	WALL BAR 2 EXPOSED SIDE	WALL HORIZ.
W1	4'-0" MAX	8"	#5 REBAR @ 16"o.c.	N/A	#5 REBAR @ 16" o.c.

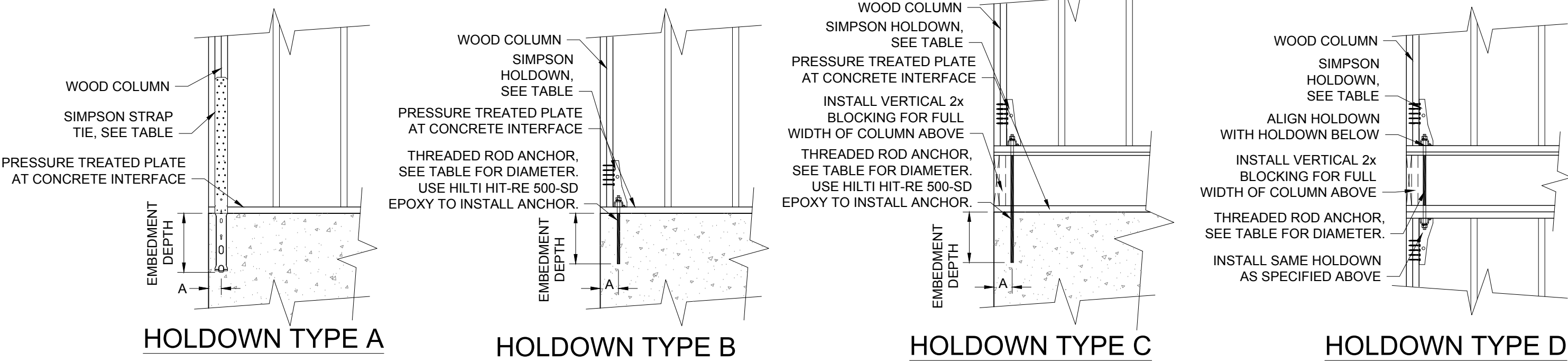
RETAINING WALL SCHEDULE												
TYPE	MAX. WALL HEIGHT (A)	MAX. EXPOSED WALL HEIGHT (B)	MIN. FILL DEPTH (C)	WALL WIDTH (D)	FOOTING WIDTH (E)	TOE LENGTH (F)	FOOTING DEPTH (G)	TOE REINFORCING	HEEL REINFORCING	LOWER WALL REINFORCING	UPPER WALL REINFORCING	HEIGHT TO BAR CHANGE (H)



SHEAR WALL SCHEDULE								
TYPE	SILL PLATE / BOTTOM PLATE (1)	TOP PLATE DETAIL	WALL STUDS	EDGE BLOCKING	SHEATHING THICKNESS (2)	NAIL SIZE	EDGE NAILING SPACING	INTERMEDIATE NAILING SPACING
SW/V	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 6" o.c.	@ 12" o.c.
SW/V	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 4" o.c.	@ 8" o.c.
SW/V	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 3" o.c.	@ 6" o.c.
SW/V	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW/V	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 4" o.c.	@ 8" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.

- (1) USE PRESSURE TREATED WOOD WHEN IN CONTACT WITH CONCRETE. ATTACH SHEATHING PANELS WITH GALVANIZED NAILS IN PRESSURE TREATED WOOD.
- (2) SHEATHING TO BE PLYWOOD OR OSB (VERTICAL OR HORIZONTAL ORIENTATION). WHEN REQUIRED, PROVIDE BLOCKING AT UNSUPPORTED EDGES ABOVE AND BELOW OPENINGS.

HOLDOWN SCHEDULE							
TYPE	HOLDOWN SIZE	HOLDOWN TYPE	ANCHOR DIAMETER	MINIMUM ANCHOR	ANCHOR OFFSET DIMENSION "A"	MINIMUM COLUMN SIZE	FASTENERS TO COLUMN
1	LSTD8	A	N/A	N/A	3"	TRIPLE 2x	16ea. 16d SINKERS
2	STHD10	A	N/A	N/A	3"	TRIPLE 2x	20ea. 16d SINKERS
3	HDU2	B, C, & D	½"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	6ea. SDS ½"Øx2½" SCREWS
4	STHD14	A	N/A	N/A	3"	TRIPLE 2x	24ea. 16d SINKERS
5	HDU4	B, C, & D	½"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	10ea. SDS ½"Øx2½" SCREWS
6	HDU5	B, C, & D	½"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	14ea. SDS ½"Øx2½" SCREWS
7	HDU8	B, C, & D	½"Ø	SIMPSON SB7½x24	4½"	4x POST	20ea. SDS ½"Øx2½" SCREWS
8	HDU8	B, C, & D	½"Ø	SIMPSON SB7½x24	5½"	TRIPLE 2x	20ea. SDS ½"Øx2½" SCREWS
9	HDU11	B, C, & D	1"Ø	SIMPSON SB1x30	6½"	6x6 POST	30ea. SDS ½"Øx2½" SCREWS
10	HDU14	B, C, & D	1"Ø	SIMPSON SB1x30	8½"	6x6 POST	36ea. SDS ½"Øx2½" SCREWS



MINIMUM FASTENING SCHEDULE		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
Roof		
Blocking between ceiling joists, rafters or trusses to top plate or other framing below	3ea. 3"x0.131"Ø nails	Each end, toenail
Ceiling joists to top plate	3ea. 3"x0.131"Ø nails	Each joist, toenail
Ceiling joist not attached to parallel rafter, laps over partitions (no thrust)	3ea. 12d common (¾"x0.162"Ø); or 4ea. 3"x0.131"Ø nails	Face nail
Ceiling joist attached to parallel rafter (heel joint) (see Section 2308.7.3.1, Table 2308.7.3.1)	2ea. 16d common (¾"x0.162"Ø) to top plate 3ea. 16d common (¾"x0.162"Ø) to parallel rafter	Toenail Face nail
Rafter or roof truss to top plate (See Section 2308.7.5, Table 2308.7.5)	3ea. 12d common (¾"x0.135"Ø); or 4ea. 3"x0.131"Ø nail	Toenail
Roof rafters to ridge valley or hip rafters; or roof rafter to 2-inch ridge beam	2ea. 12d common (¾"x0.162"Ø); or 3ea. 3"x0.131"Ø nails	End nail
Wall		
Stud to stud (not at braced wall panels)	12d common (¾"x0.162"Ø)	24" o.c. face nail
Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	12d common (¾"x0.162"Ø)	16" o.c. face nail
Built-up header (2" to 2" header)	12d common (¾"x0.162"Ø)	16" o.c. each edge, face nail
Continuous header to stud	4ea. 12d common (¾"x0.162"Ø)	Toenail
Top plate to top plate	2ea. 12d common (¾"x0.162"Ø) for 2x4 studs 3ea. 12d common (¾"x0.162"Ø)	16" o.c. face nail
Top plate to top plate, at end joints	2ea. 12d common (¾"x0.162"Ø) @16"o.c. (2x4) 3ea. 12d common (¾"x0.162"Ø) @16"o.c. (2x6)	Each side of end joint, face nail (minimum 48" lap splice length each side of end joint)
Bottom plate to joist, rim joist band joist or blocking (not at braced wall panels)	12d common (¾"x0.162"Ø)	16" o.c. face nail
Bottom plate to joist, rim joist, band joist or blocking at braced wall panels	2ea. 12d common (¾"x0.162"Ø)	16" o.c. face nail
Top or bottom plate to stud	2ea. 12d common (¾"x0.162"Ø) for 2x4 studs 3ea. 12d common (¾"x0.162"Ø) for 2x6 studs	End nail
Top plates, laps at corners and intersections	4ea. 12d common (¾"x0.162"Ø)	Face nail
Floor		
Joist to sill, top plate, or girder	3ea. 10d common (3"x0.128"Ø)	Toenail
Rim joist, band joist, or blocking to top plate, sill or other framing below	10d common (3"x0.128"Ø)	6" o.c., toenail
Ledger strip supporting joists or rafters	3ea. 12d common (¾"x0.162"Ø) for 2x6 studs 4ea. 12d common (¾"x0.162"Ø) for 2x8 studs 5ea. 12d common (¾"x0.162"Ø) for 2x10 studs	Each joist or rafter, face nail
Joist to band joist or rim joist	3ea. 12d common (¾"x0.162"Ø)	End nail
Bridging or blocking to joist, rafter or truss	2ea. 10d common (3"x0.128"Ø)	Each end, toenail

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION	
Wood structural panels (WSP), subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing			
		Edges (inches)	Intermediate supports (inches)
3/8" - 3/4"	8d common (2 1/2"x0.131"Ø) (roof and wall)	6	12
3/8" - 3/4"	10d common (3"x0.131"Ø) (roof and wall)	6	12
Wood structural panels, combination subfloor underlayment to framing			
3/4" and less	8d common (2 1/2"x0.131"Ø)	6	12

ALTERNATE STAPLE SCHEDULE FOR APA RATED SHEATHING			
0.131"Øx2½" NAIL SPACING AS SPECIFIED IN SHEAR WALL SCHEDULE	14 GAUGE	15 GAUGE	16 GAUGE
@ 12" o.c.	@ 8" o.c.	@ 8" o.c.	@ 8" o.c.
@ 6" o.c.	@ 4" o.c.	@ 4" o.c.	@ 3" o.c.
@ 4" o.c.	@ 3" o.c.	@ 2" o.c.	@ 2" o.c.
@ 3" o.c.	@ 3" o.c.	@ 2" o.c.	NONE
@ 2" o.c.	NONE	NONE	NONE

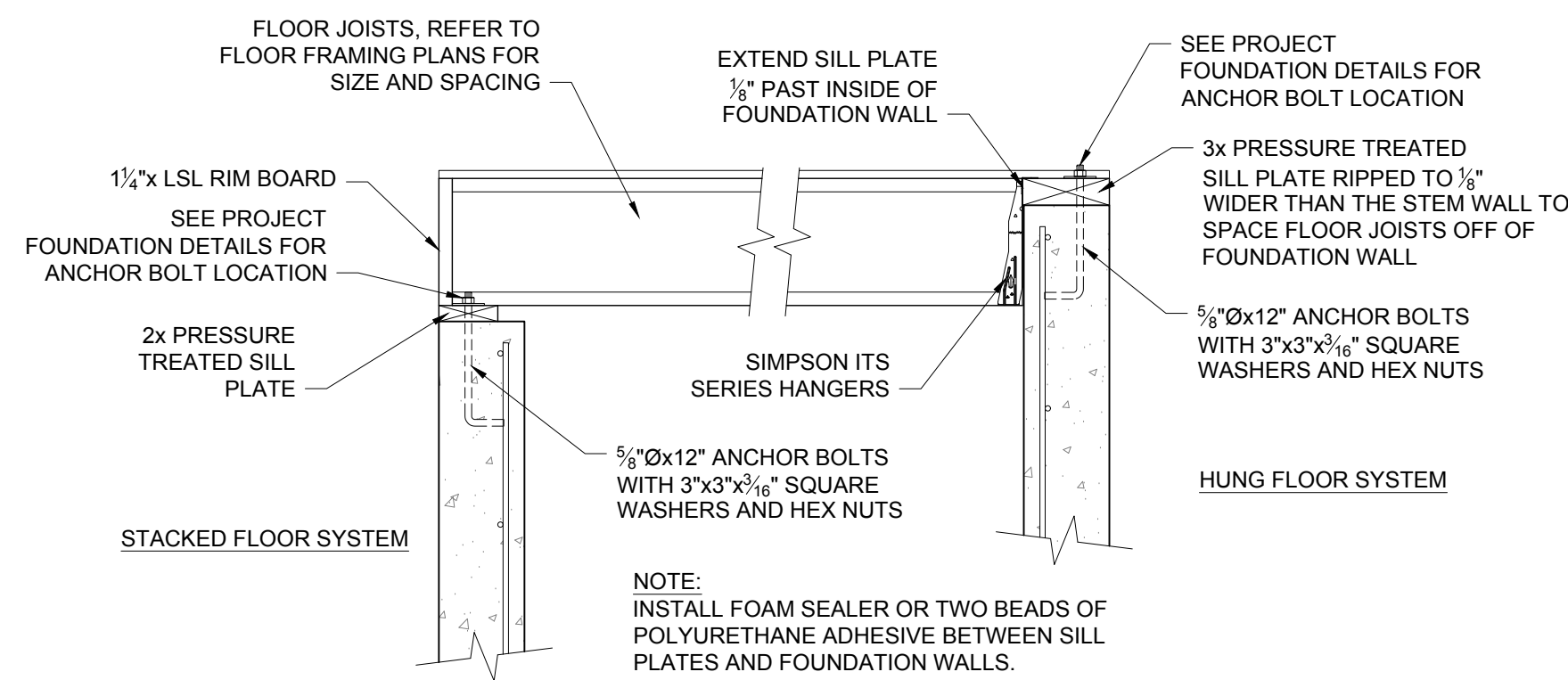
1. ALL STAPLES TO HAVE ⅞" MIN. CROWN WIDTH AND MUST BE INSTALLED WITH THEIR CROWN PARALLEL TO LONG DIMENSION OF THE FRAMING MEMBER.
2. MINIMUM PENETRATION FOR ALL STAPLE GAUGES IS 1½".
3. FASTENER SPACING @ 2" o.c. OR LESS REQUIRES NOMINAL 3x MEMBERS.



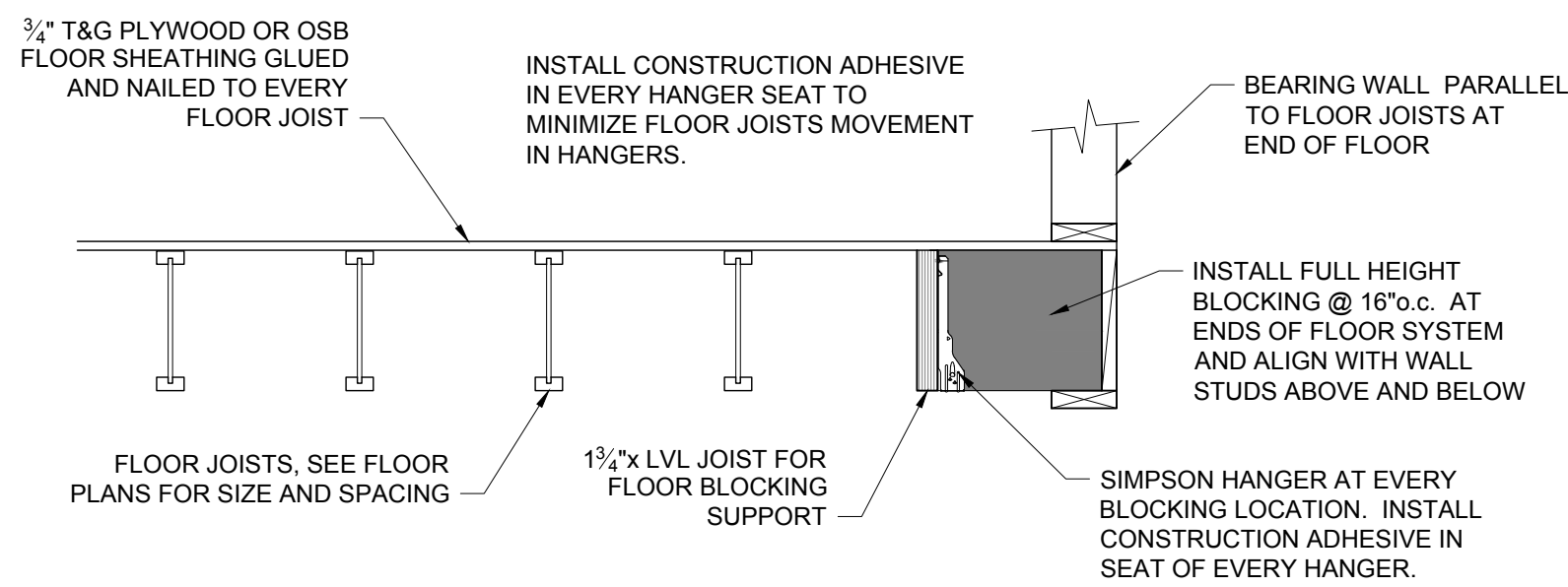
PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
STRUCTURAL SCHEDULES

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020
PROJECT NUMBER	
09040	
SHEET	
S1.1	

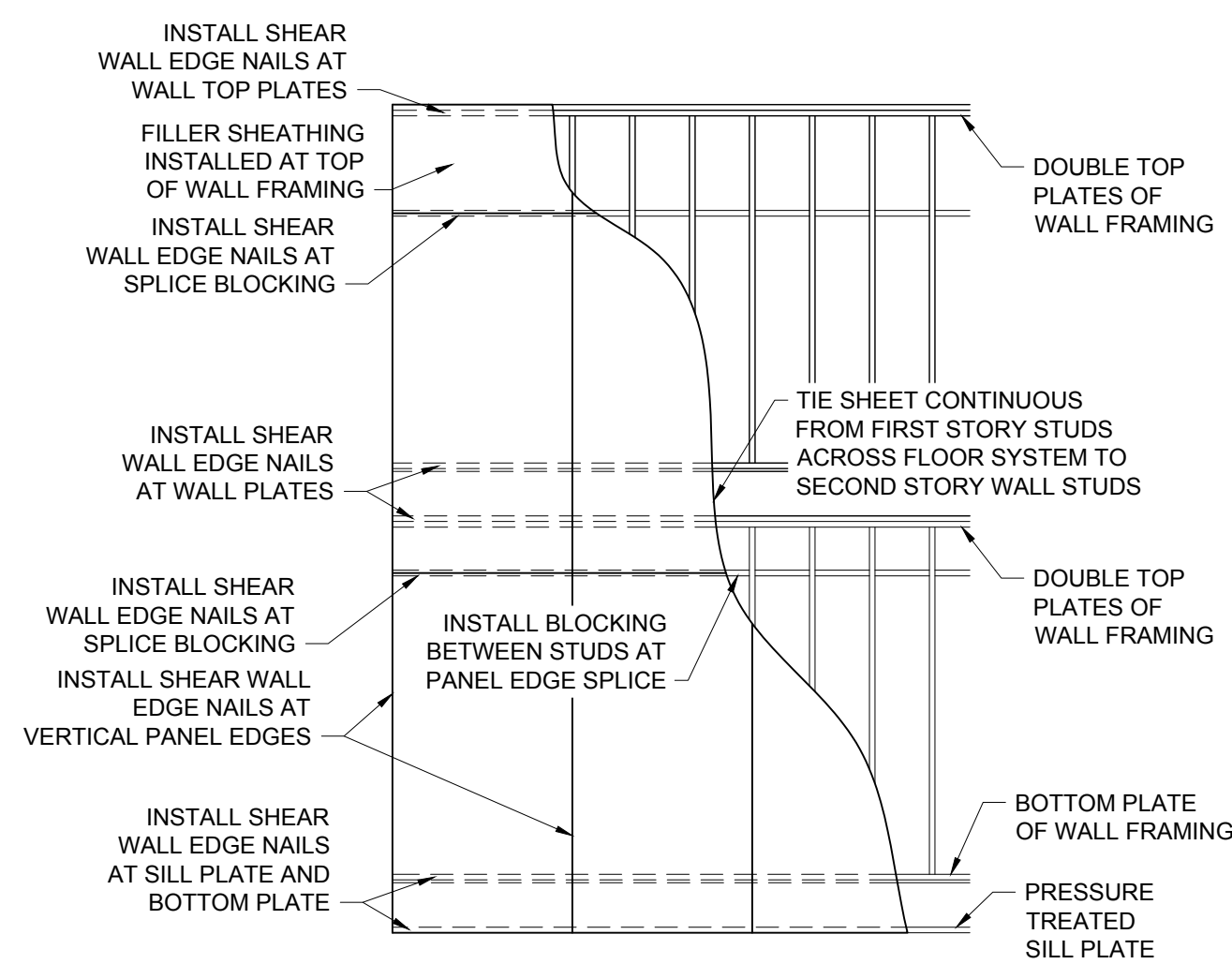


TYPICAL SILL PLATE INSTALLATION



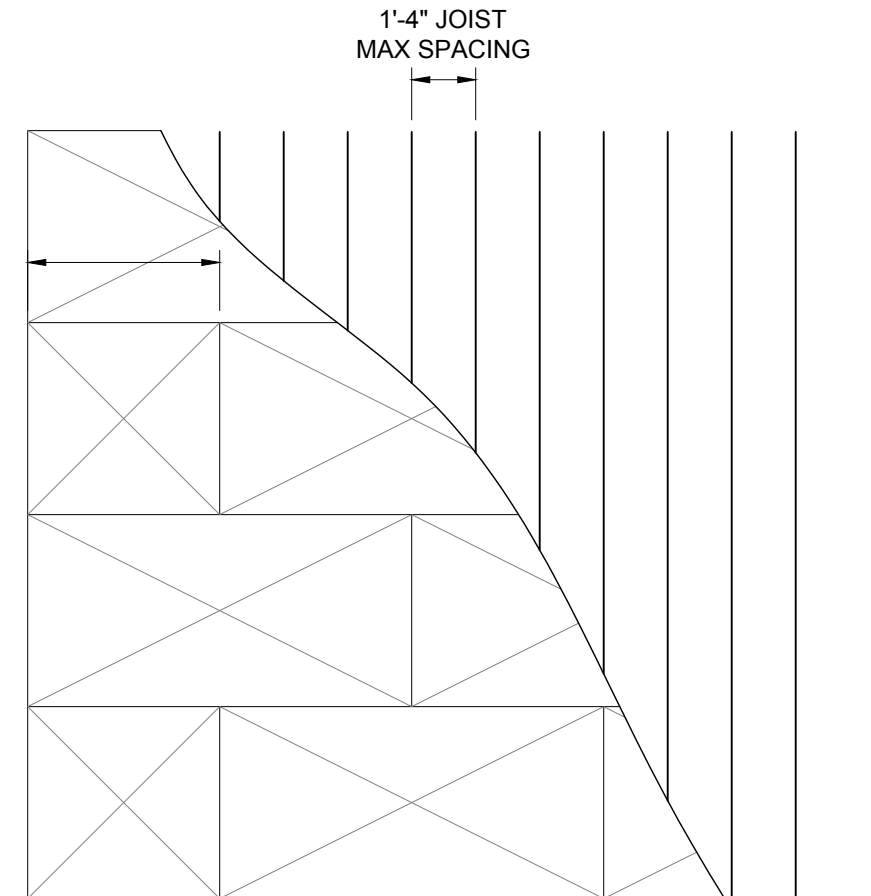
TYPICAL FLOOR CONSTRUCTION DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ BEARING WALLS



WALL SHEATHING DETAIL

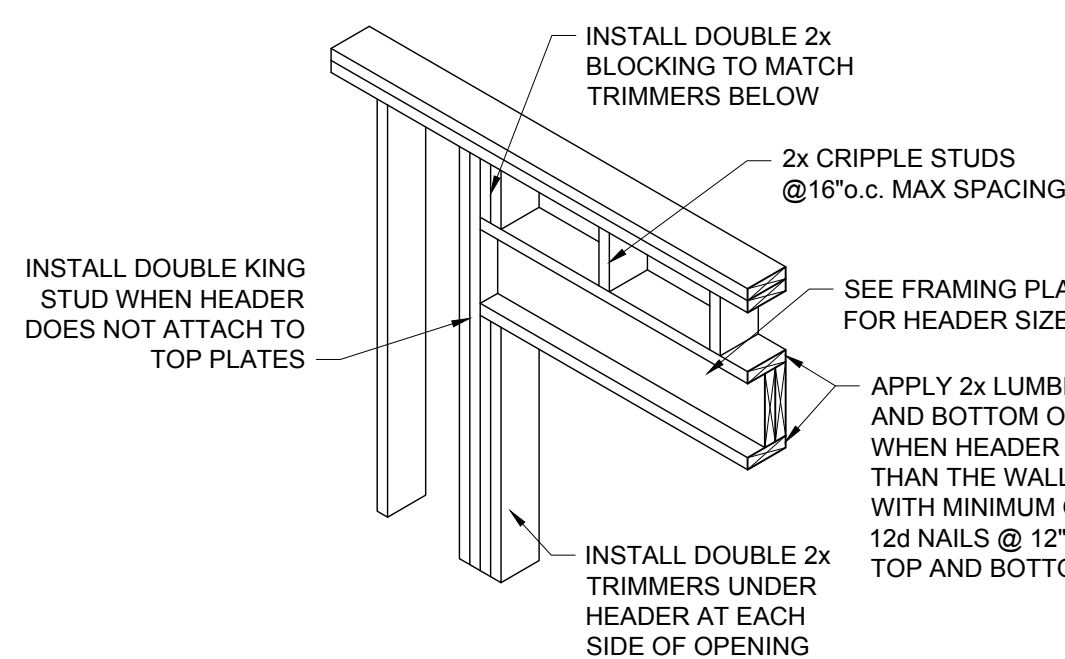
SCALE: 1/4"=1'-0"



FLOOR SHEATHING DETAIL

SCALE: 1/4"=1'-0"

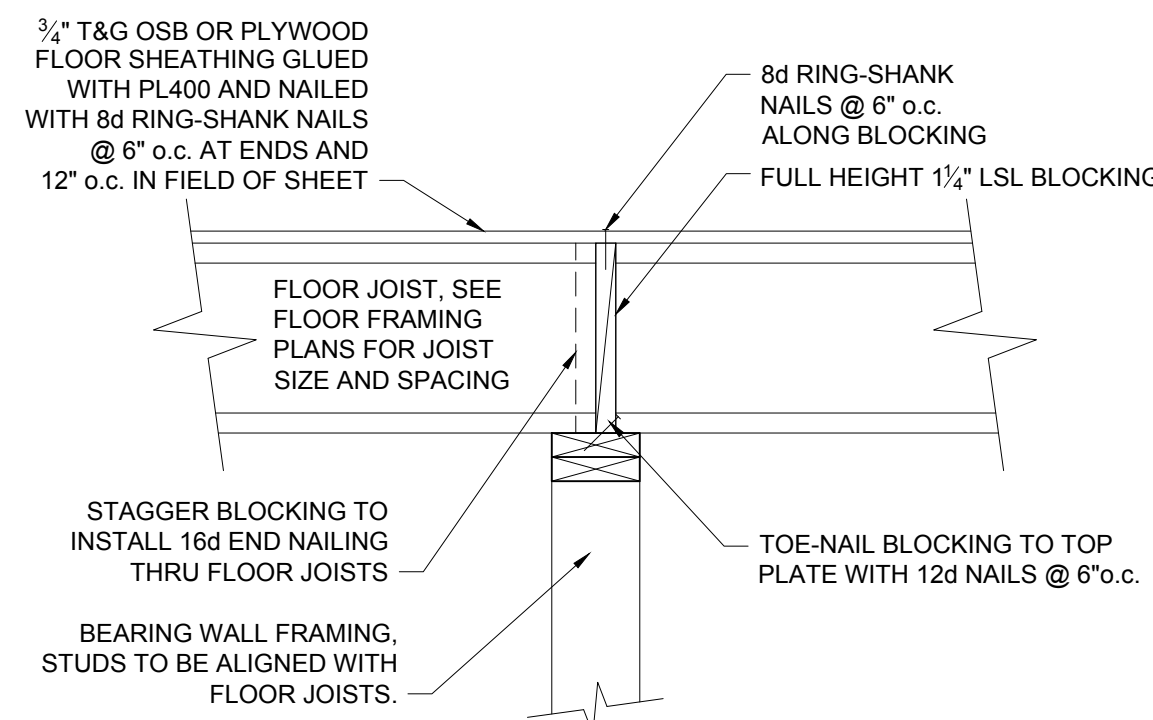
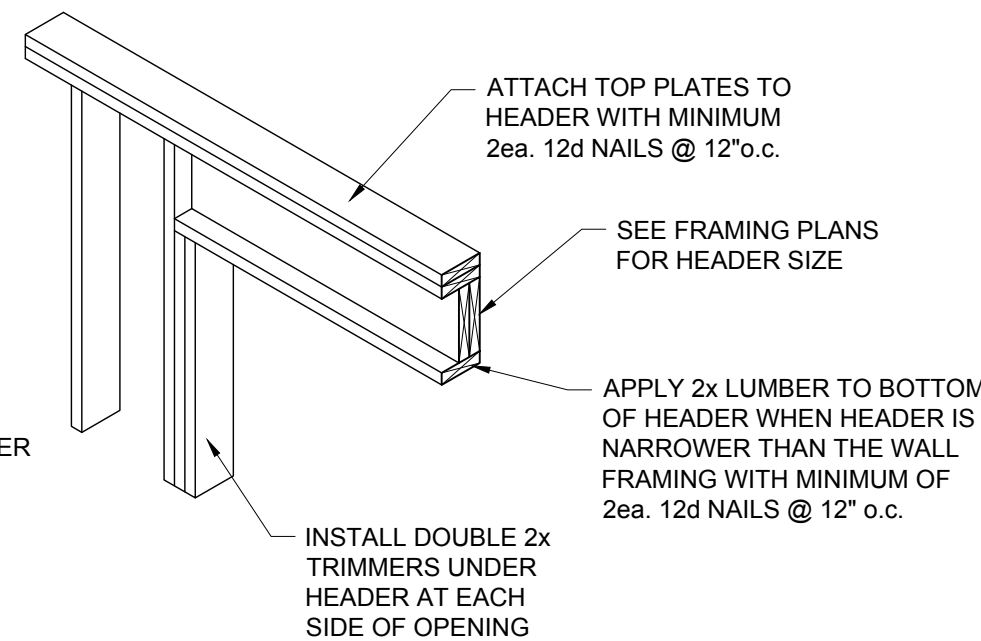
NOTE: FLOOR SHEATHING NAILING TO BE MINIMUM:
8d NAILS @ 4" EDGES & 8" INTERMEDIATE



TYPICAL HEADER INSTALLATION DETAIL

SCALE: $\frac{1}{2}"=1'-0"$

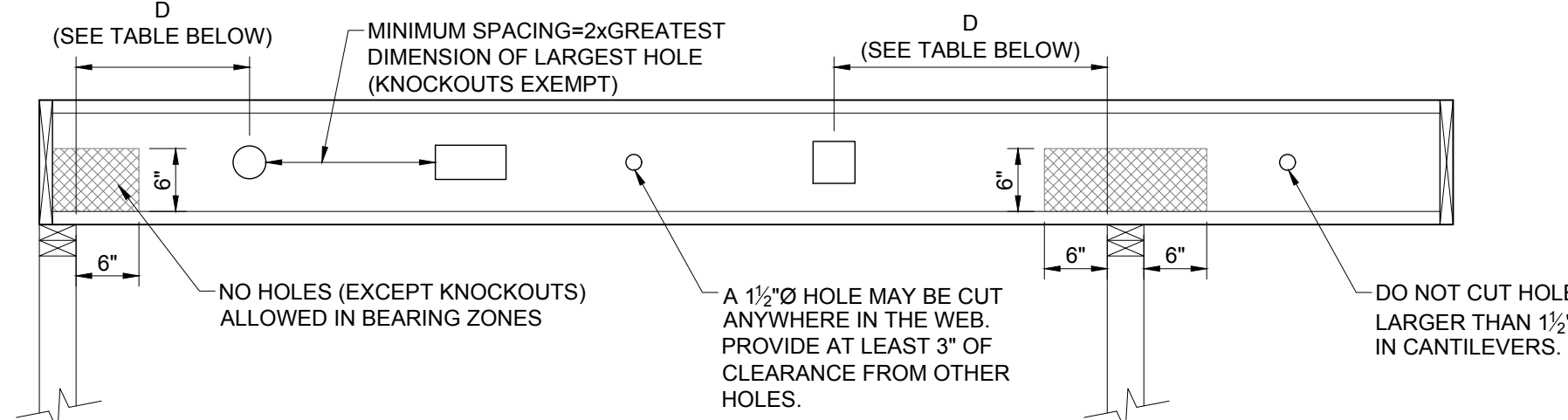
APPLICABLE TO OPENING UP TO 6'-0" WIDE



TYPICAL BLOCKING DETAIL

SCALE: 1"=1'-0"

@ FLOOR JOISTS



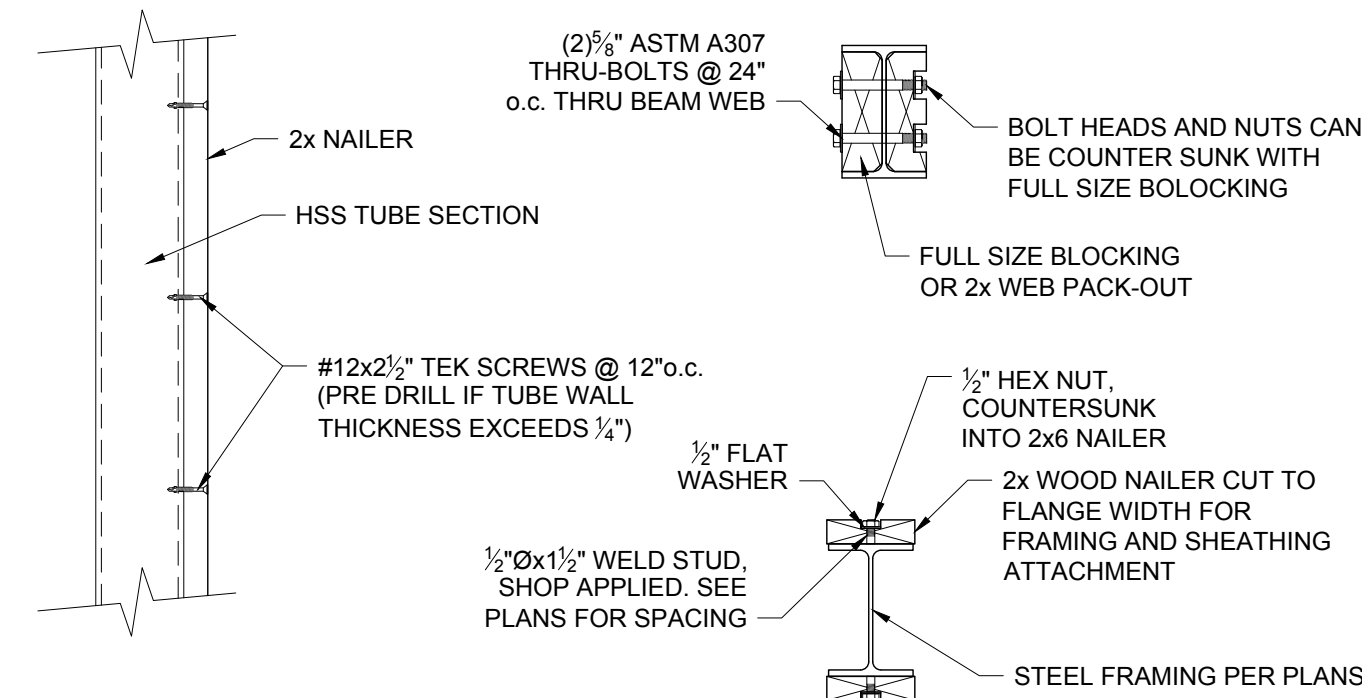
MINIMUM DISTANCE (D) FROM ANY SUPPORT TO CENTERLINE OF THE HOLE											
Round Hole Diameter (in)		2		3		4		5		6	
Rectangular Side (in)		-		-		-		-		-	
ANY 9 1/2" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-8"	2'-4"	2'-11"	3'-7"			
		12	1'-0"	1'-7"	2'-7"	3'-6"	4'-5"	5'-4"			
		16	1'-0"	2'-2"	3'-5"	4'-8"	5'-11"	7'-2"			
Round Hole Diameter (in)		2		3		4		5		6	
Rectangular Side (in)		-		-		-		-		-	
ANY 1 1/8" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-6"	2'-0"	2'-5"	2'-11"	3'-5"	3'-10"	
		12	1'-0"	1'-7"	2'-3"	3'-0"	3'-8"	4'-5"	5'-9"		
		16	1'-0"	2'-1"	3'-0"	4'-0"	5'-0"	6'-11"	7'-8"		
Round Hole Diameter (in)		2		3		4		5		6	
Rectangular Side (in)		-		-		-		-		-	
ANY 1 1/4" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-2"	1'-7"	1'-6"	2'-2"	2'-9"	3'-3"	3'-8"
		12	1'-0"	1'-1"	1'-2"	1'-7"	2'-3"	2'-11"	3'-6"	4'-1"	5'-6"
		16	1'-0"	1'-1"	1'-3"	2'-2"	3'-0"	3'-10"	4'-9"	5'-6"	6'-6"
Round Hole Diameter (in)		2		3		4		5		6	
Rectangular Side (in)		-		-		-		-		-	
ANY 1 3/4" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-1"	1'-3"	1'-3"	1'-11"	2'-1"	2'-11"	3'-8"
		12	1'-0"	1'-1"	1'-1"	1'-3"	2'-0"	2'-11"	3'-6"	4'-10"	5'-6"
		16	1'-0"	1'-1"	1'-1"	1'-3"	2'-3"	3'-10"	4'-9"	5'-6"	6'-6"
Round Hole Diameter (in)		2		3		4		5		6	
Rectangular Side (in)		-		-		-		-		-	
ANY 1 7/8" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-1"	1'-3"	1'-3"	1'-11"	2'-1"	2'-11"	3'-8"
		12	1'-0"	1'-1"	1'-1"	1'-3"	2'-0"	2'-11"	3'-6"	4'-10"	5'-6"
		16	1'-0"	1'-1"	1'-1"	1'-3"	2'-3"	3'-10"	4'-9"	5'-6"	6'-6"
Round Hole Diameter (in)		2		3		4		5		6	
Rectangular Side (in)		-		-		-		-		-	

NOTE: HOLES MAY BE POSITIONED VERTICALLY ANYWHERE IN THE WEB. DO NOT CUT FLANGES

'I'-JOIST NOTCHING DETAIL

SCALE: $\frac{3}{4}"=1'-0"$

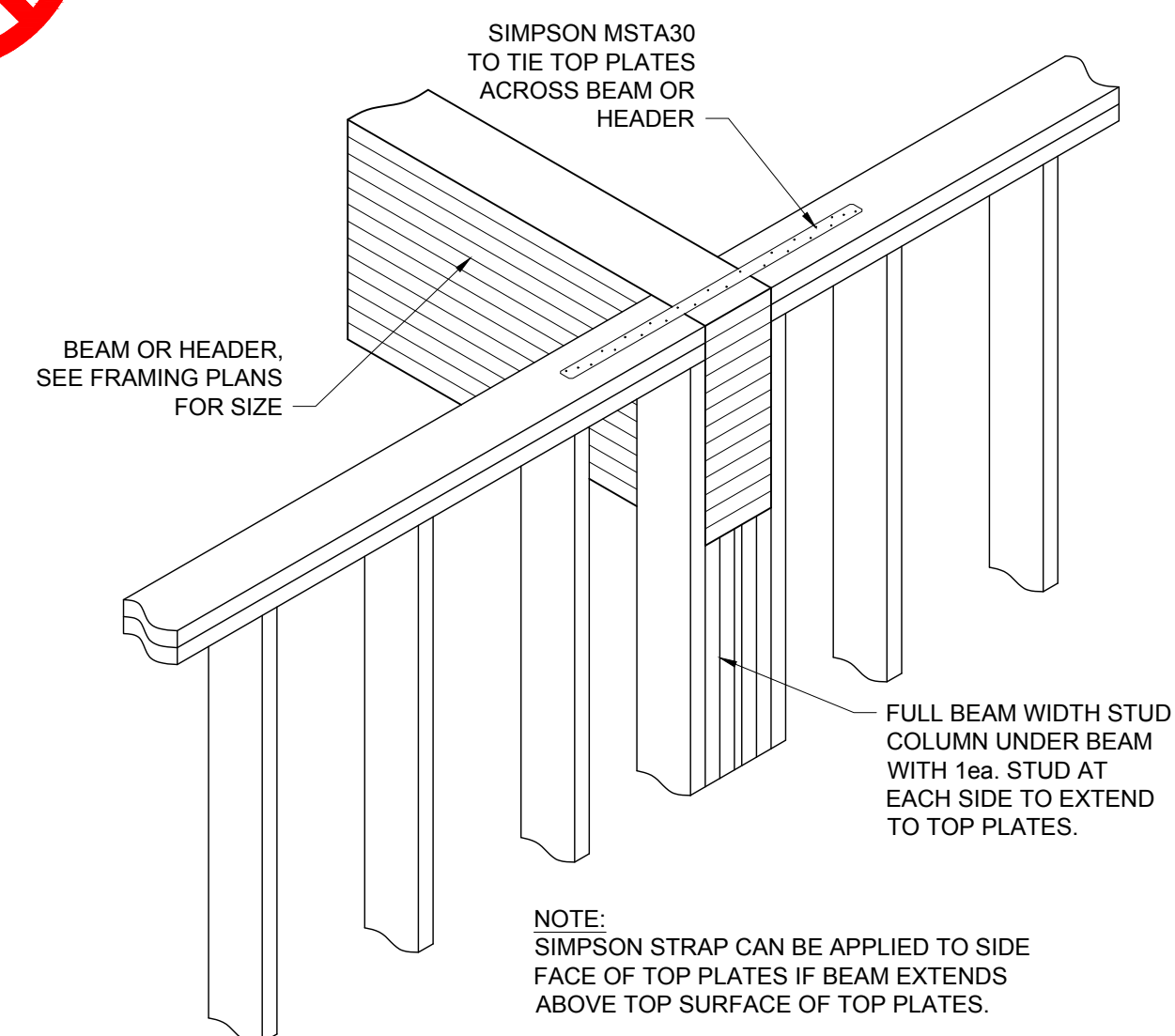
TYP. OF FLOOR AND ROOF FRAMING



TYPICAL NAILER ATTACHMENT DETAIL

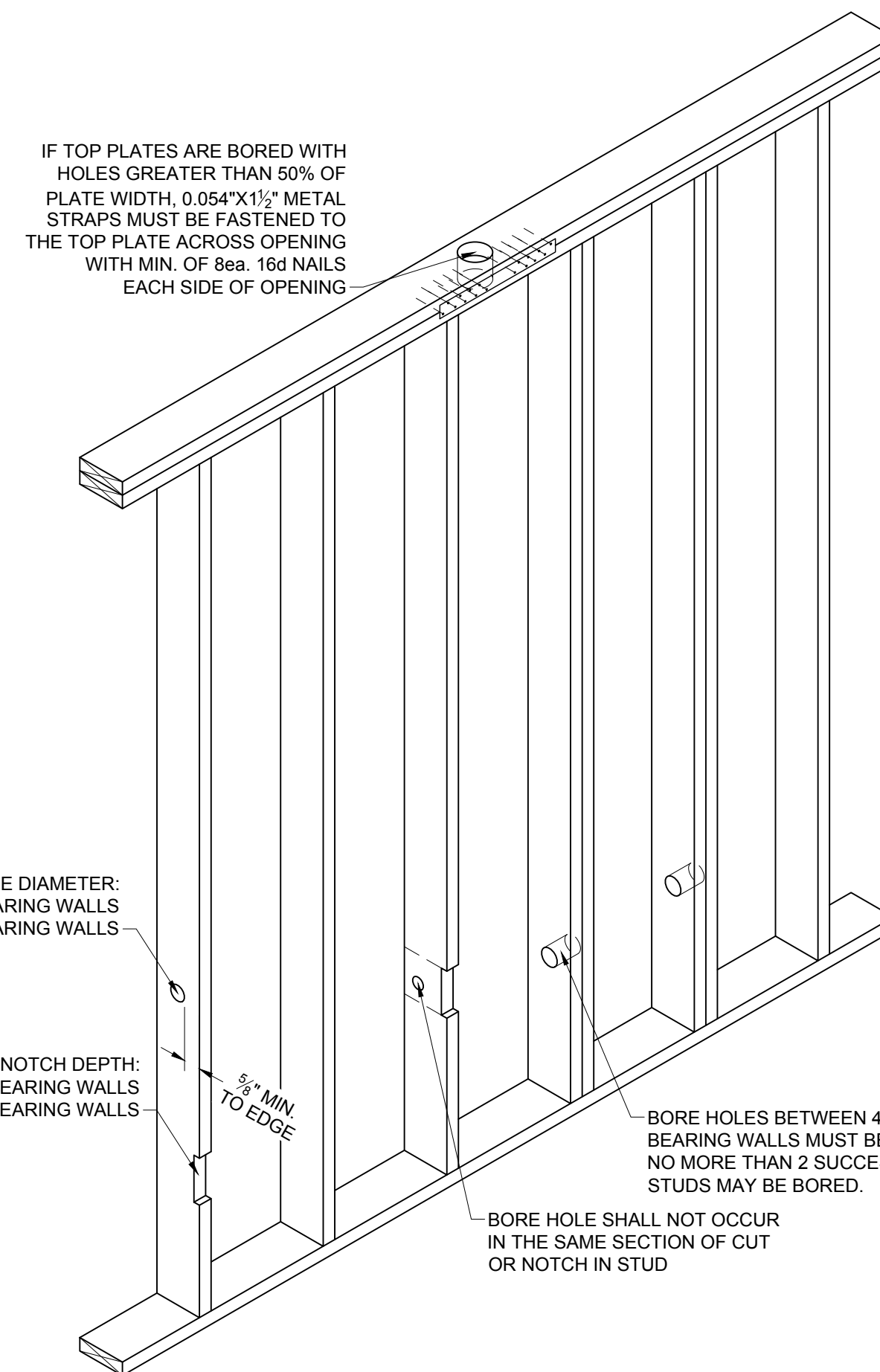
SCALE: 1"=1'-0"

@ STEEL FRAMING



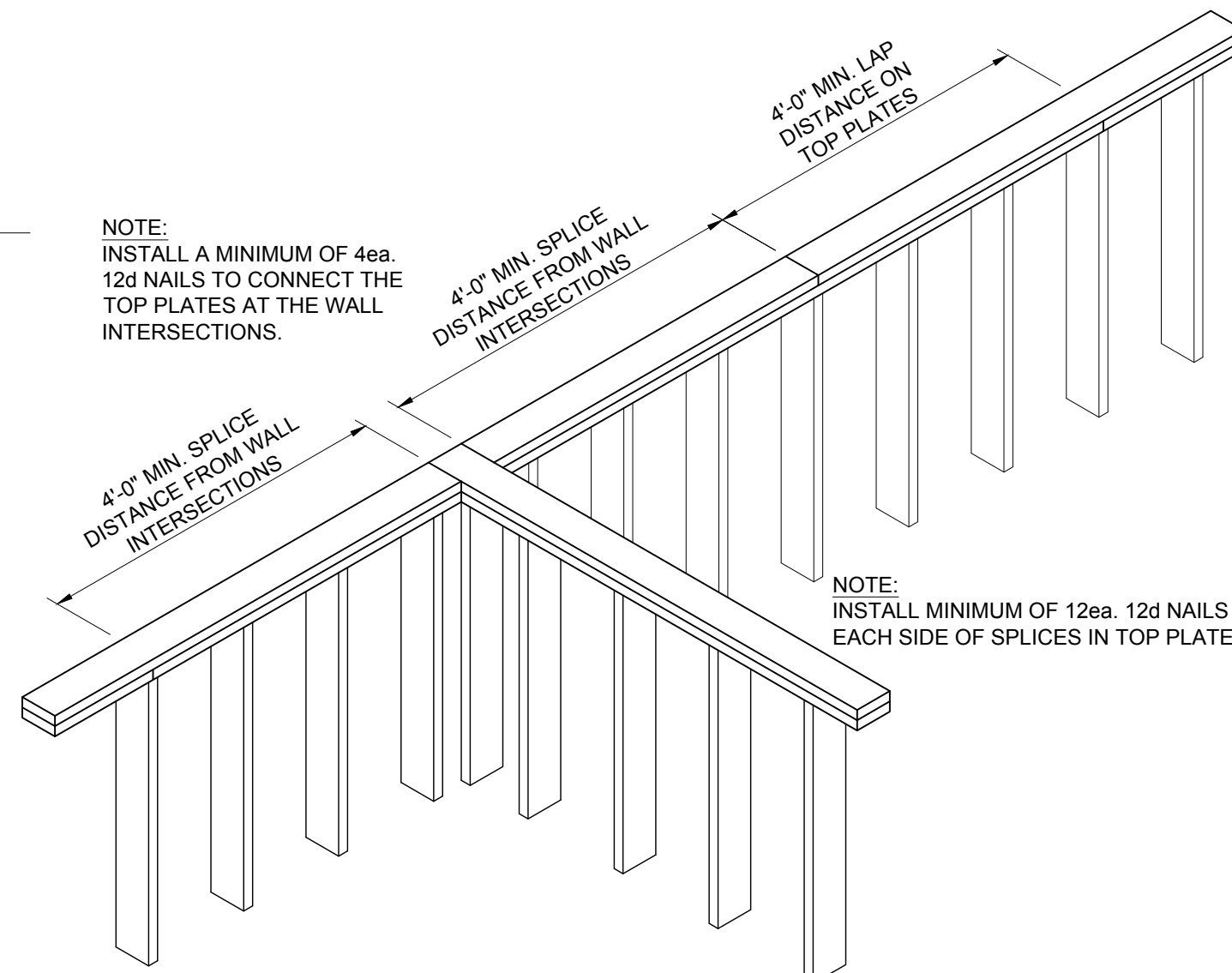
TYPICAL BEAM SUPPORT DETAIL

SCALE: $\frac{3}{4}"=1'-0"$



WALL FRAMING NOTCHING DETAIL

SCALE: $\frac{3}{4}"=1'-0"$

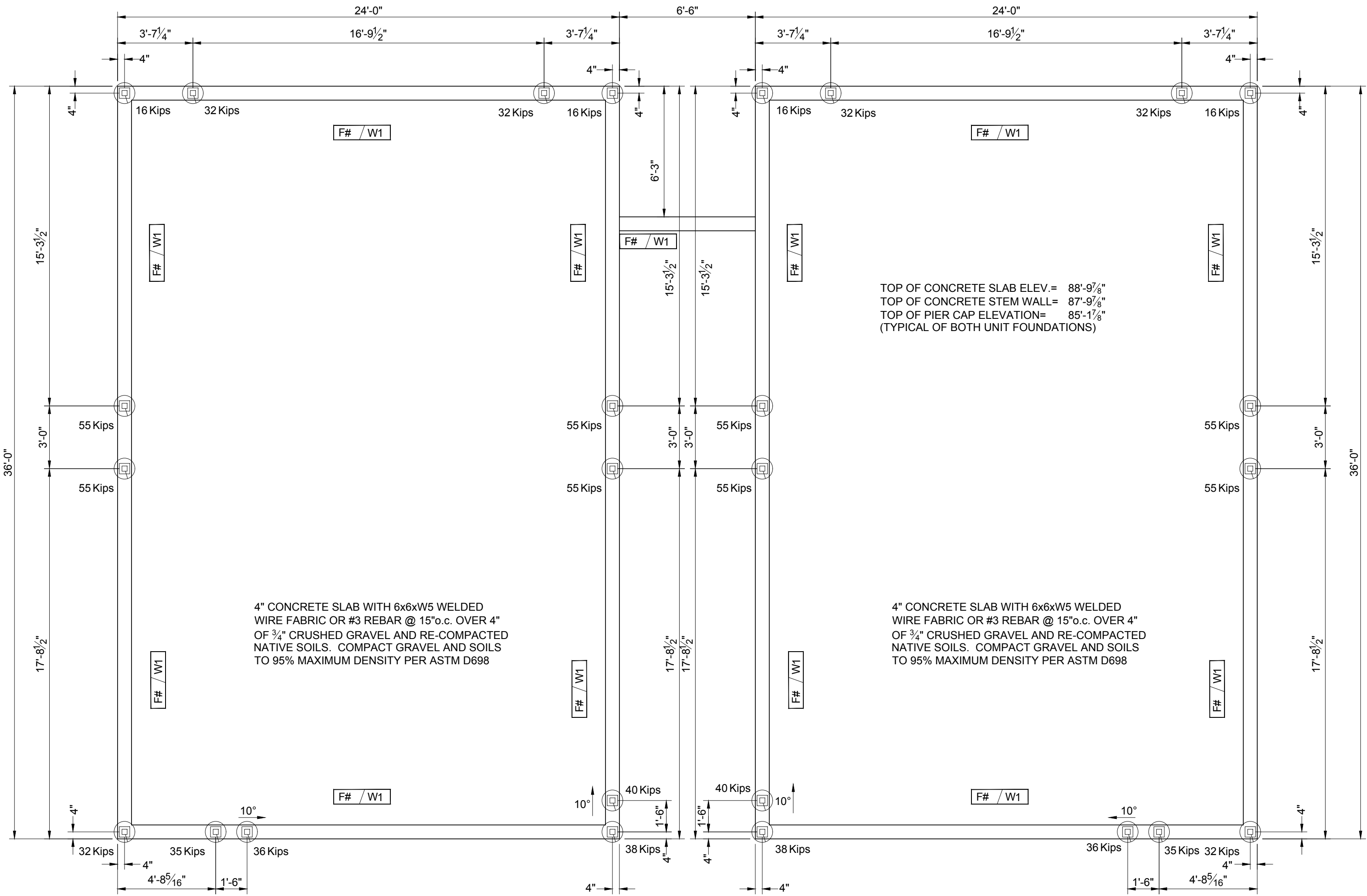


TYPICAL TOP PLATE SPLICE DETAIL

SCALE: $\frac{1}{2}"=1'-0"$

S1.4

The Following Image:
H:\009\0040405\Permit\cad11 01 2020 Signed - Wyoming Stamp.dwg
Was Created by Jorgensen on Nov 04, 2020 - 4:53pm
Ver: 15, 1

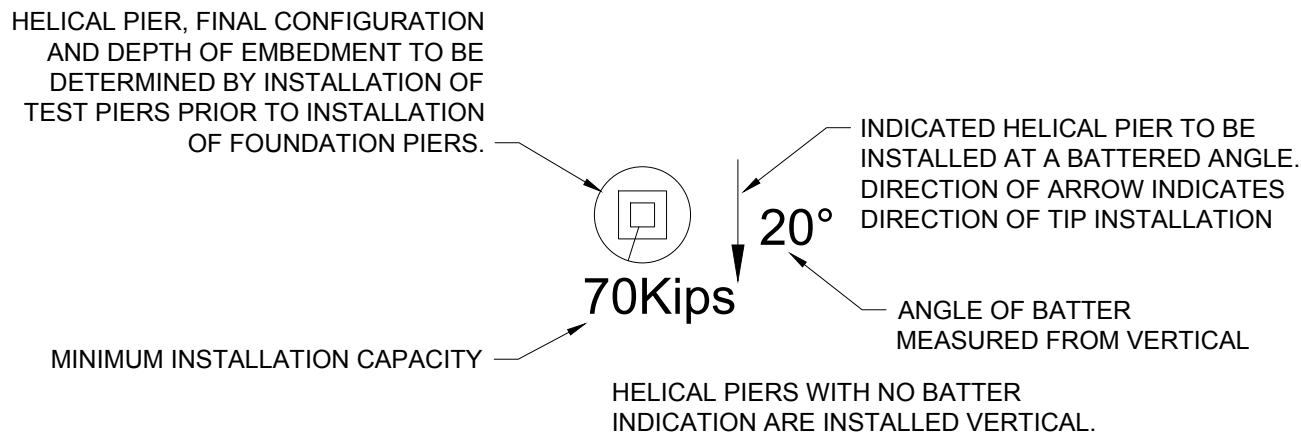


- NOTE:
- SEE S2.1 FOR HOLDOWN SPECIFICATIONS AND LOCATIONS.
 - INSTALL 5/8"x12" ANCHOR BOLTS @ 48"o.c. OMIT ANCHOR BOLTS AT DOOR LOCATIONS. SEE S2.1 FOR DOOR LOCATIONS.
 - INSTALL SIMPSON SB1x30 ANCHOR BOLTS IN THE STEM WALL FOR THE HDU11 HOLDOWNS AND POUR SLAB AROUND ANCHOR BOLTS.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

@ SOUTH 3 BEDROOM UNITS



HELICAL PIER LEGEND

SCALE: 1/2"=1'-0"



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROJECT TITLE:
**WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE:
FOUNDATION PLAN

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040

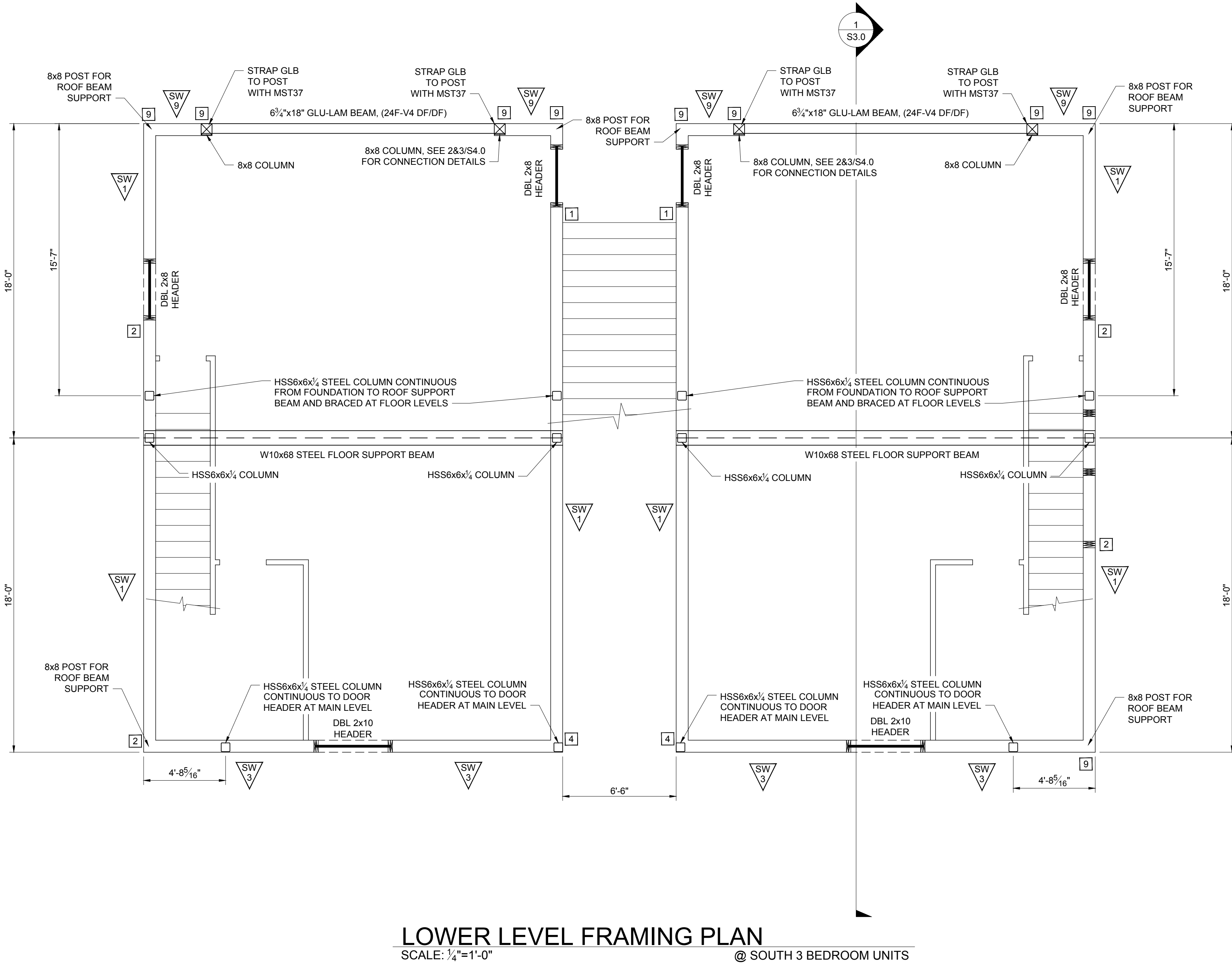
SHEET
S2.0

The Following Notes:
1. 10/09/2020 09:00:00 Permit West 1 of 2020 Signed Wyoming Stamp.pdf

Ver: 15.1

Printed by T Johnson on Nov 04, 2020 - 4:54pm

C:\Users\T Johnson\appdata\local\temp\APU\plan_146202040 WV Townhomes South 3BDRM Structural.dwg



LOWER LEVEL FRAMING PLAN
SCALE: 1/4"=1'-0" @ SOUTH 3 BEDROOM UNITS



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
LOWER LEVEL FRAMING PLAN

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040
SHEET
S2.1

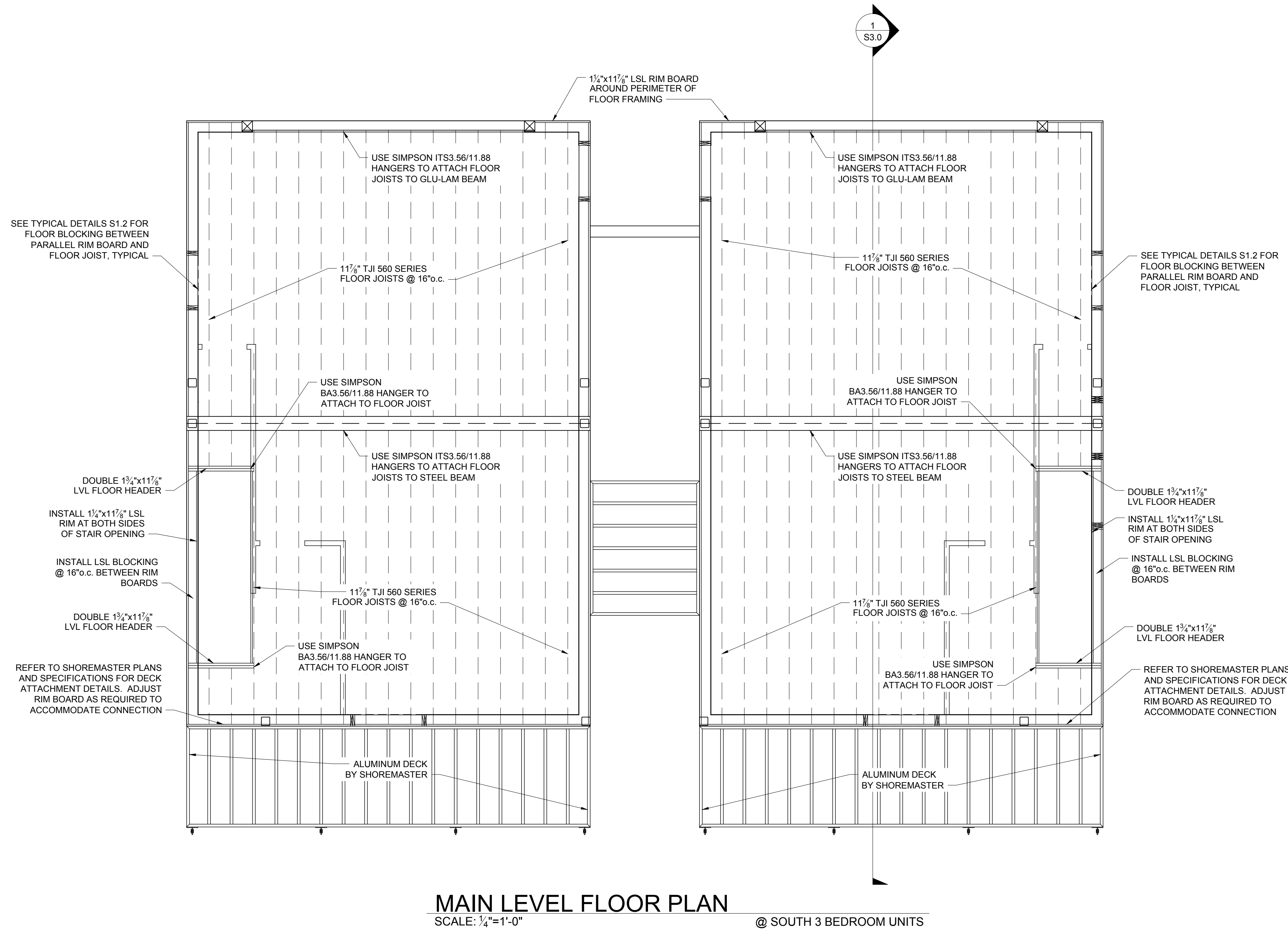


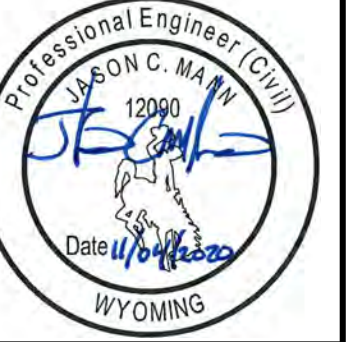
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

MAIN LEVEL FLOOR PLAN

RAFTED BY:	JM
VIEWED BY:	
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/13/2020
INST. DOCUMENTS	10/01/2020
INST. DOCUMENTS	10/04/2020

PROJECT NUMBER	09040
SHEET	S2.2





WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

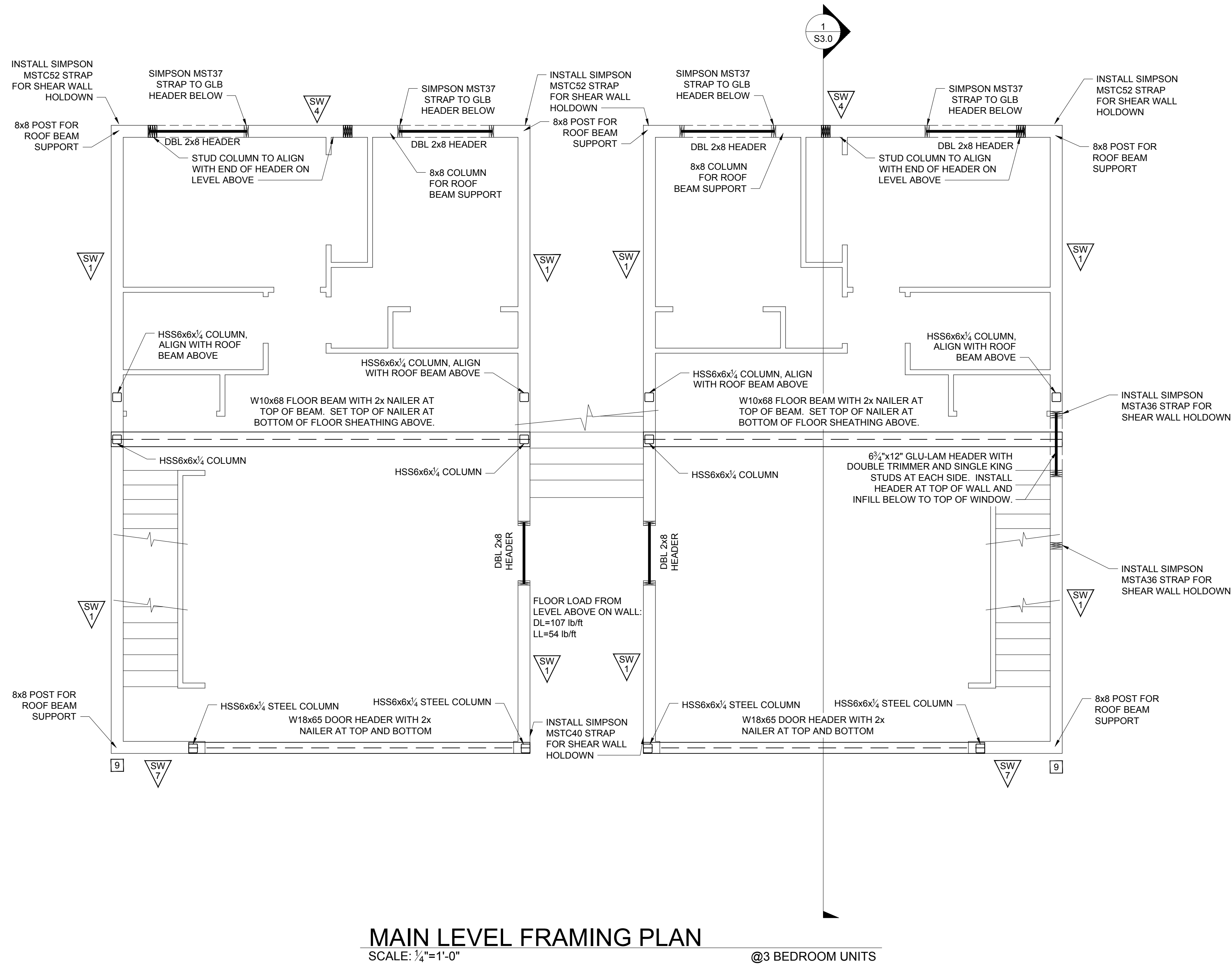
MAIN LEVEL FRAMING PLAN

RAFTED BY:	JM
VIEWED BY:	
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/13/2020
INST. DOCUMENTS	10/01/2020
INST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040

SHEET

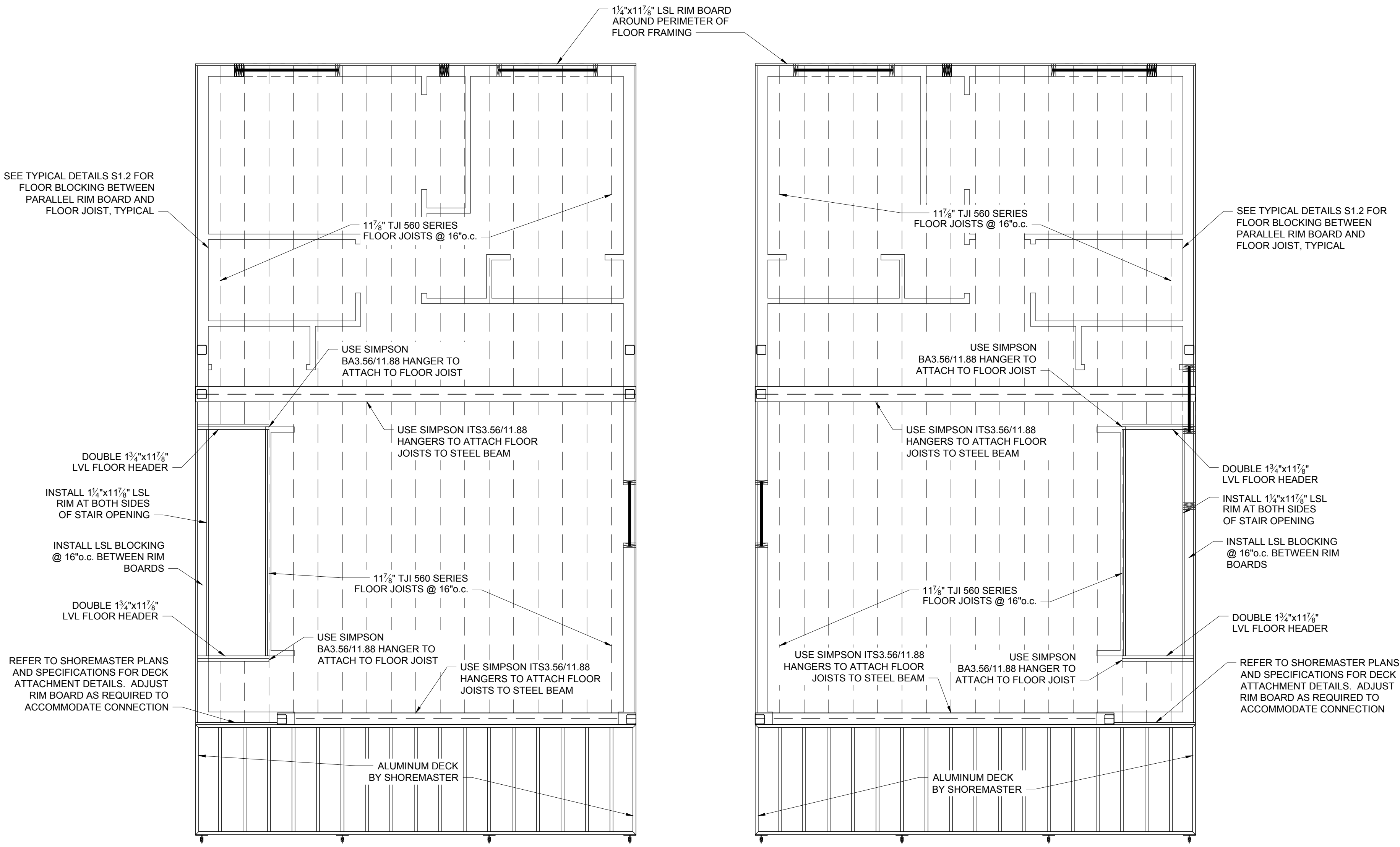
S2.3



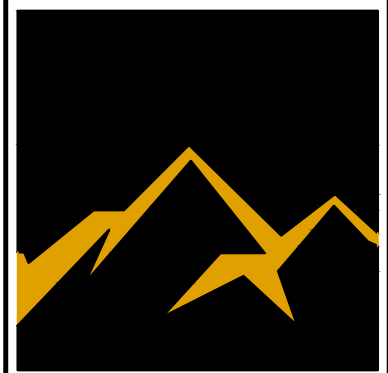
The Following Notes:
11/03/2020 04:04 PM: Permittal 11-01-2020 Signed Wyoming Stamp.pdf

Ver: 15.1
Printed by J. Johnson on Nov 04, 2020 - 4:54pm


C:\Users\T.Jorgensen\appdata\local\temp\AP\Plans - 146202040 WV Townhomes South 3BEDRM Structural.dwg



UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0" @3 BEDROOM UNITS



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
UPPER LEVEL FLOOR PLAN

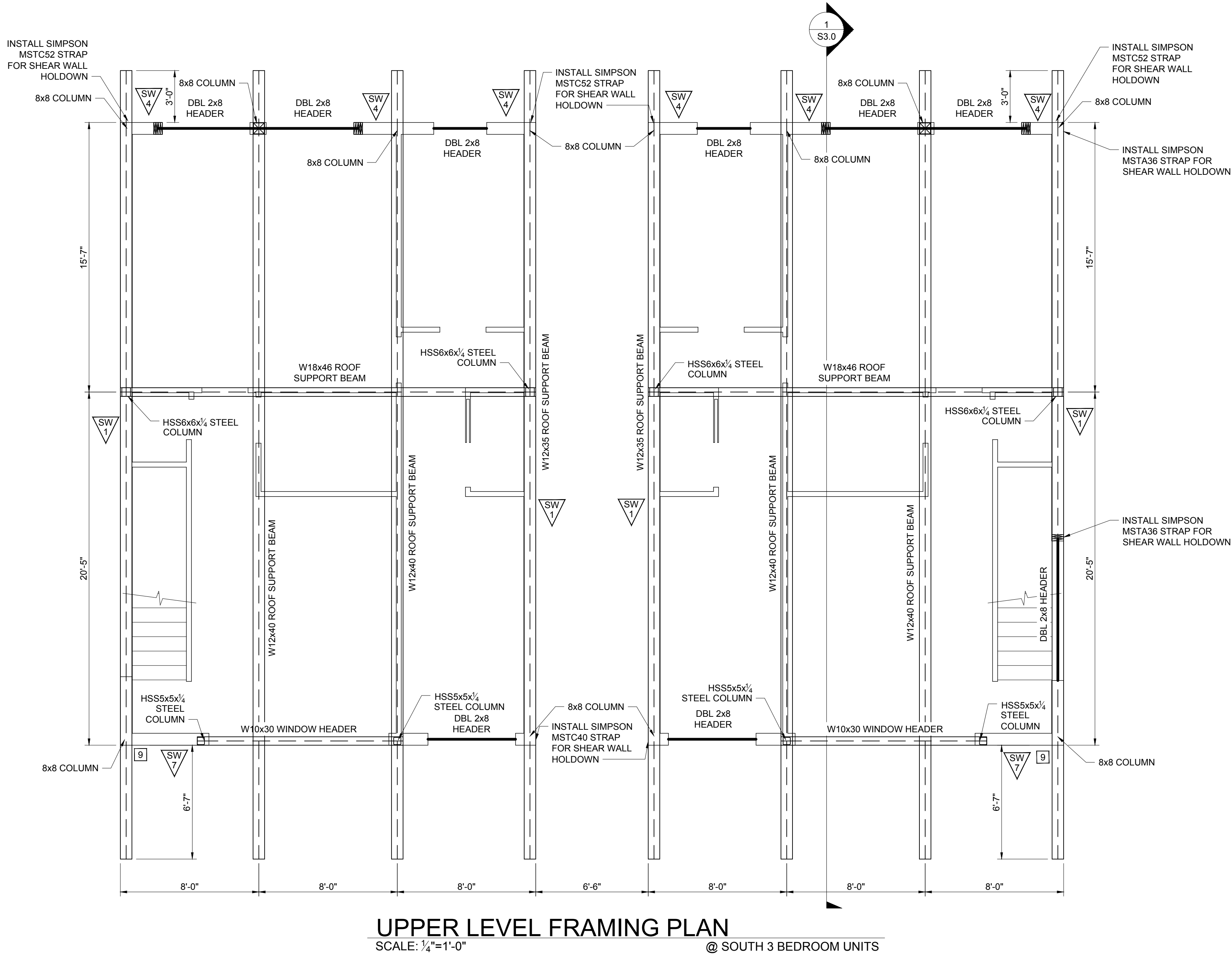
DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040
SHEET
S2.4

The following notes apply to all drawings in this project. If a note is not applicable to a specific drawing, it shall be marked as such. The following notes apply to all drawings in this project. If a note is not applicable to a specific drawing, it shall be marked as such.

Ver: 15.1
Printed by J. Johnson on Nov 04, 2020 - 4:54pm

C:\Users\T.Johnson\appdata\local\temp\AutoCAD - 146202040.dwg
C:\Users\T.Johnson\appdata\local\temp\AutoCAD - 146202040.dwg
C:\Users\T.Johnson\appdata\local\temp\AutoCAD - 146202040.dwg



UPPER LEVEL FRAMING PLAN
SCALE: 1/4"=1'-0" @ SOUTH 3 BEDROOM UNITS



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
UPPER LEVEL FRAMING PLAN

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040
SHEET
S2.5

The Following Notes:
1. 10090904005PermitWest11 of 2020 Signed Wyoming Stamp.pdf


Ver: 15.1
Printed by T.Johnson on Nov 04, 2020 - 4:54pm



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0" @ SOUTH 3 BEDROOM UNITS



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
ROOF FRAMING PLAN

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

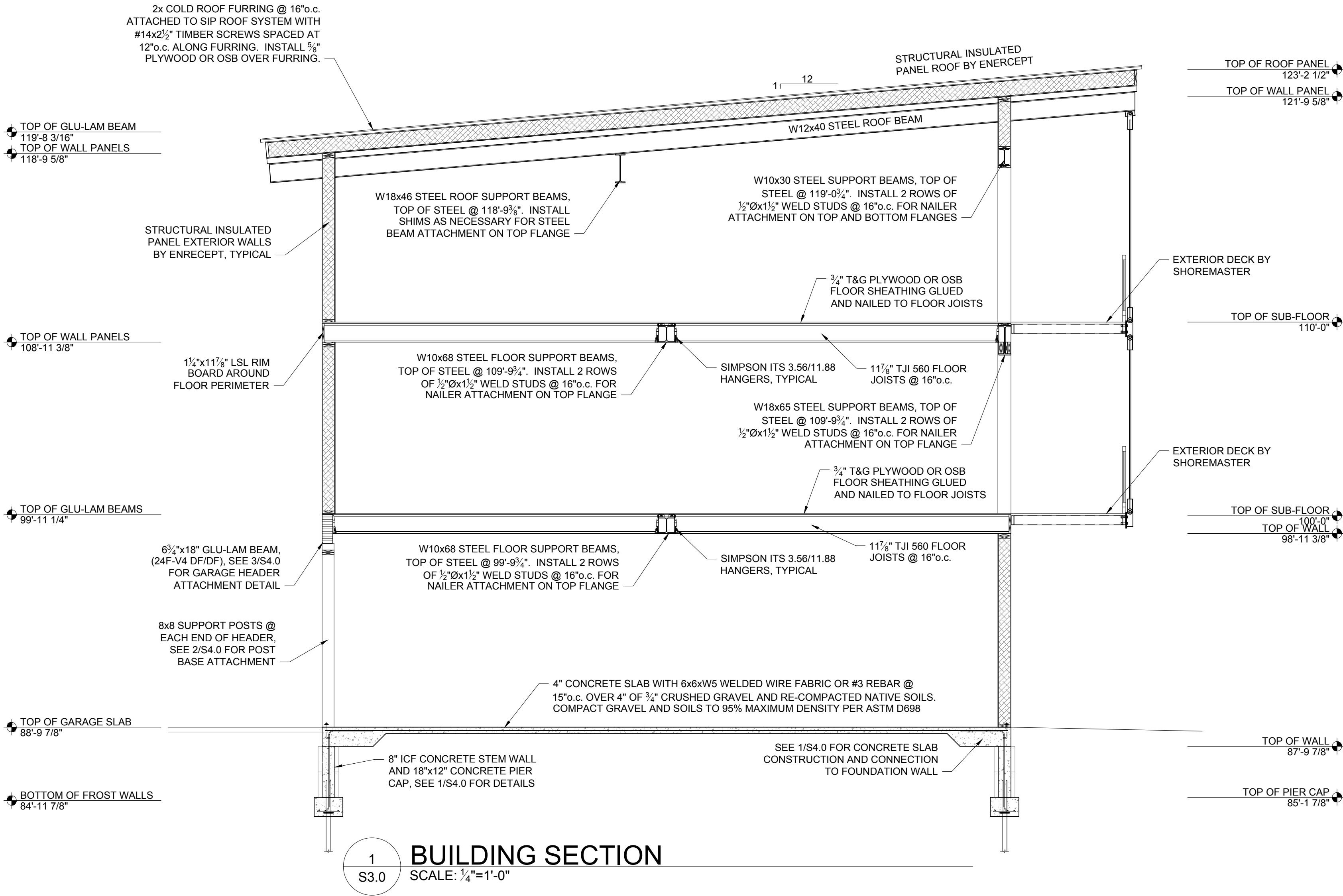
PROJECT NUMBER
09040
SHEET
S2.6

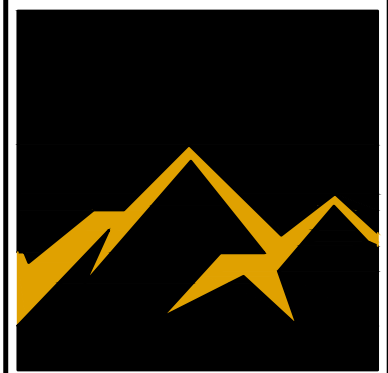
The following sheets:
11/03/2020/04/04/05/Permit/Arch11 01/2020 Signed Wyoming Stamp.pdf
11/03/2020/04/04/05/Permit/Arch11 01/2020 Signed Wyoming Stamp.pdf

11/03/2020/04/04/05/Permit/Arch11 01/2020 Signed Wyoming Stamp.pdf


C:\Users\TJorgensen\appdata\local\temp\AutoPlot\AutoPlot - 1462020040 WY Townhomes - South - 3BDRM Structural.dwg
11/03/2020/04/04/05/Permit/Arch11 01/2020 Signed Wyoming Stamp.pdf

Printed by T.Jorgensen on Nov 04, 2020 - 4:54pm
Ver: 15, 1





JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

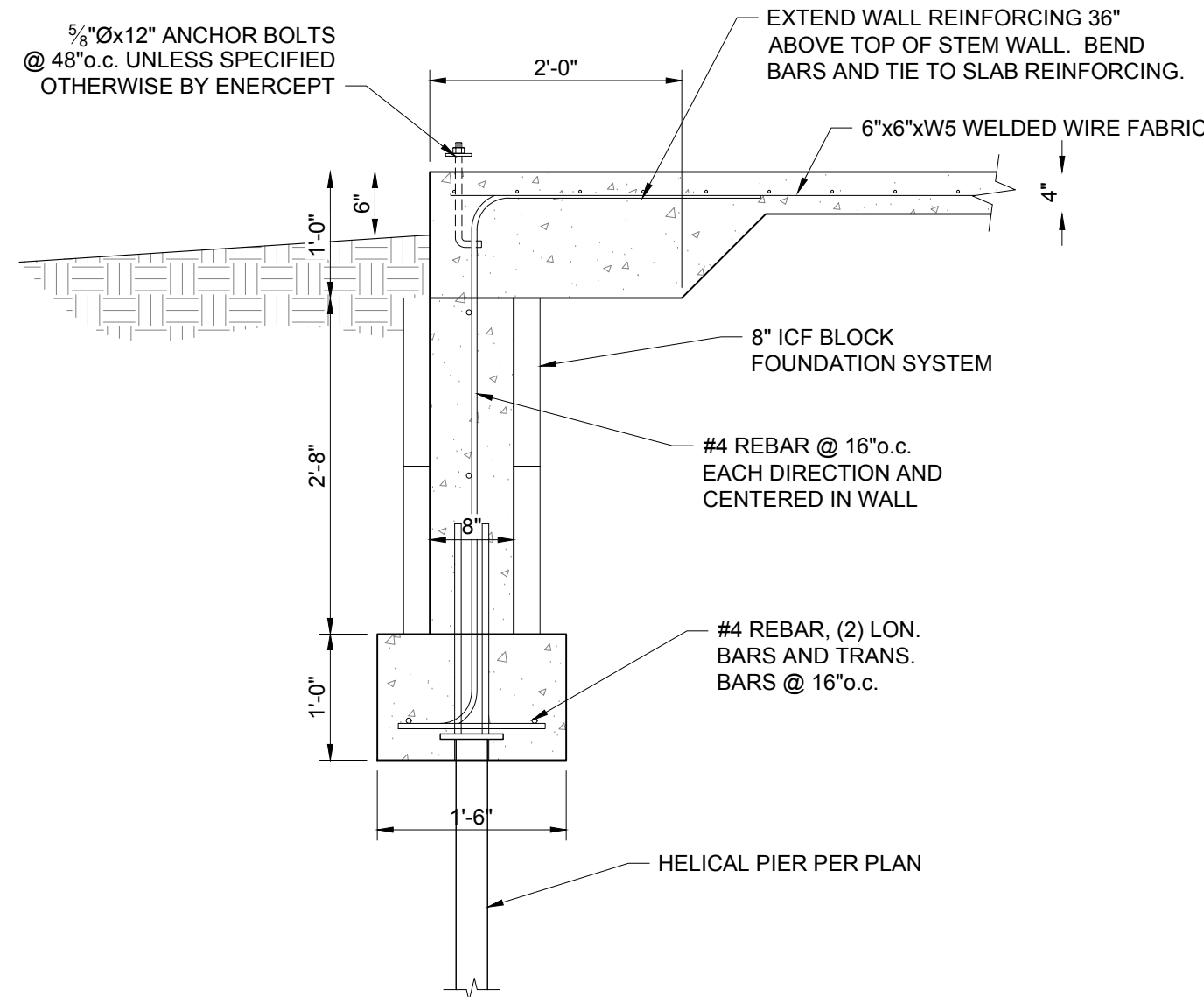
SHEET TITLE:
BUILDING SECTIONS

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

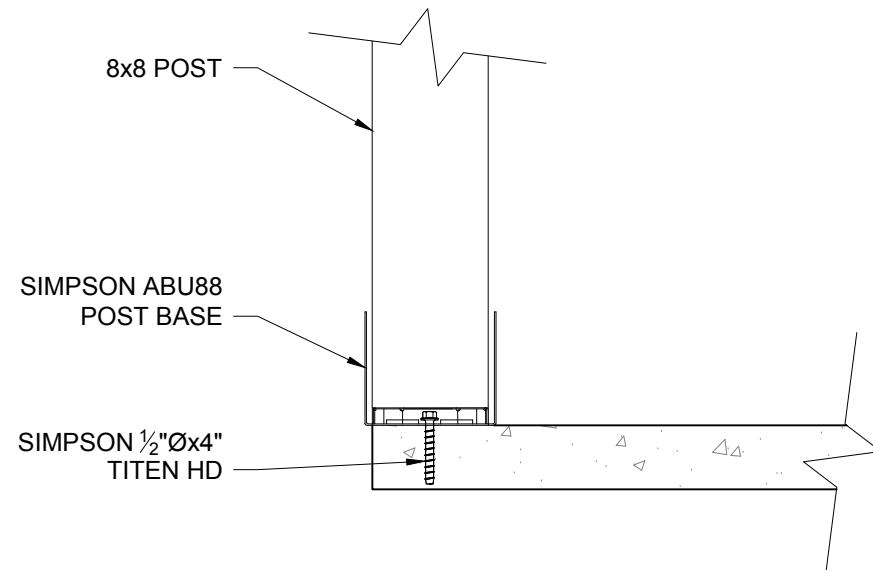
PROJECT NUMBER
09040
SHEET
S3.0

The Following Notes:
1. 10/09/2020 Jorgensen Associates, Inc. 10/09/2020 Signed Wyoming Stamp
The Following Notes:
1. 10/09/2020 Jorgensen Associates, Inc. 10/09/2020 Signed Wyoming Stamp

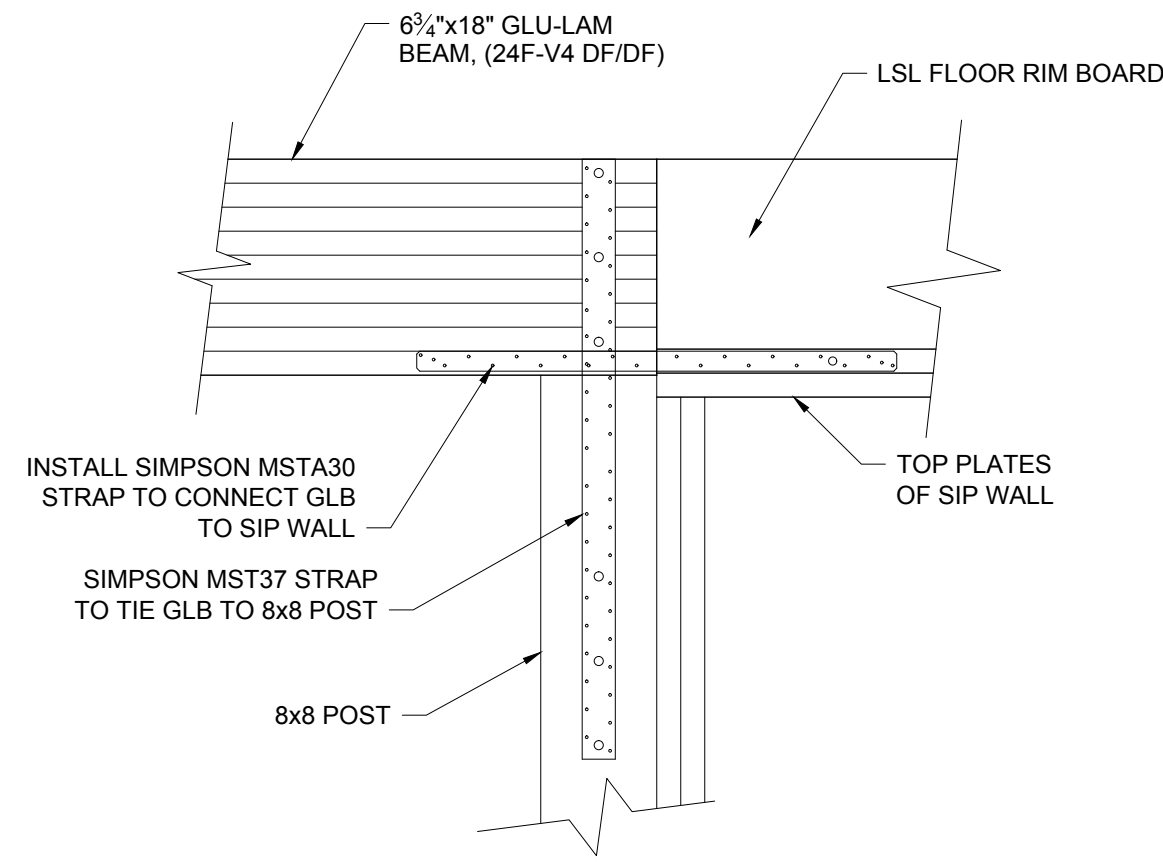
Ver: 15.1
Printed by: J. Johnson on Nov 04, 2020 - 4:54pm



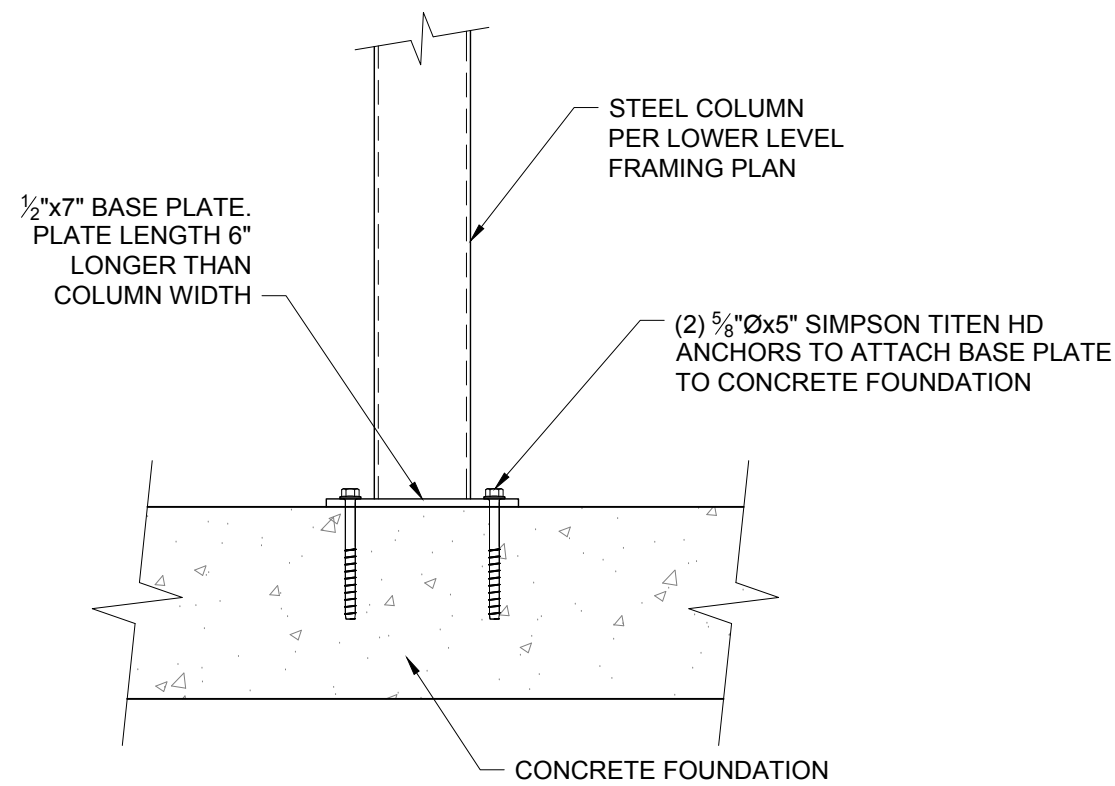
1 FOUNDATION DETAIL
S4.0 SCALE: 3/4"=1'-0"



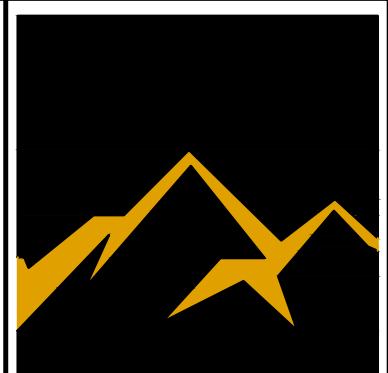
2 GARAGE POST BASE ATTACHMENT
S4.0 SCALE: 1"=1'-0" @BASE OF GARAGE HEADER SUPPORT POST



3 GARAGE HEADER ATTACHMENT DETAIL
S4.0 SCALE: 1"=1'-0" @HEADER/8x8 COLUMN



4 COLUMN CONNECTION DETAIL
S4.0 SCALE: 1"=1'-0" @ COLUMN BASE



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
STRUCTURAL DETAILS

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040

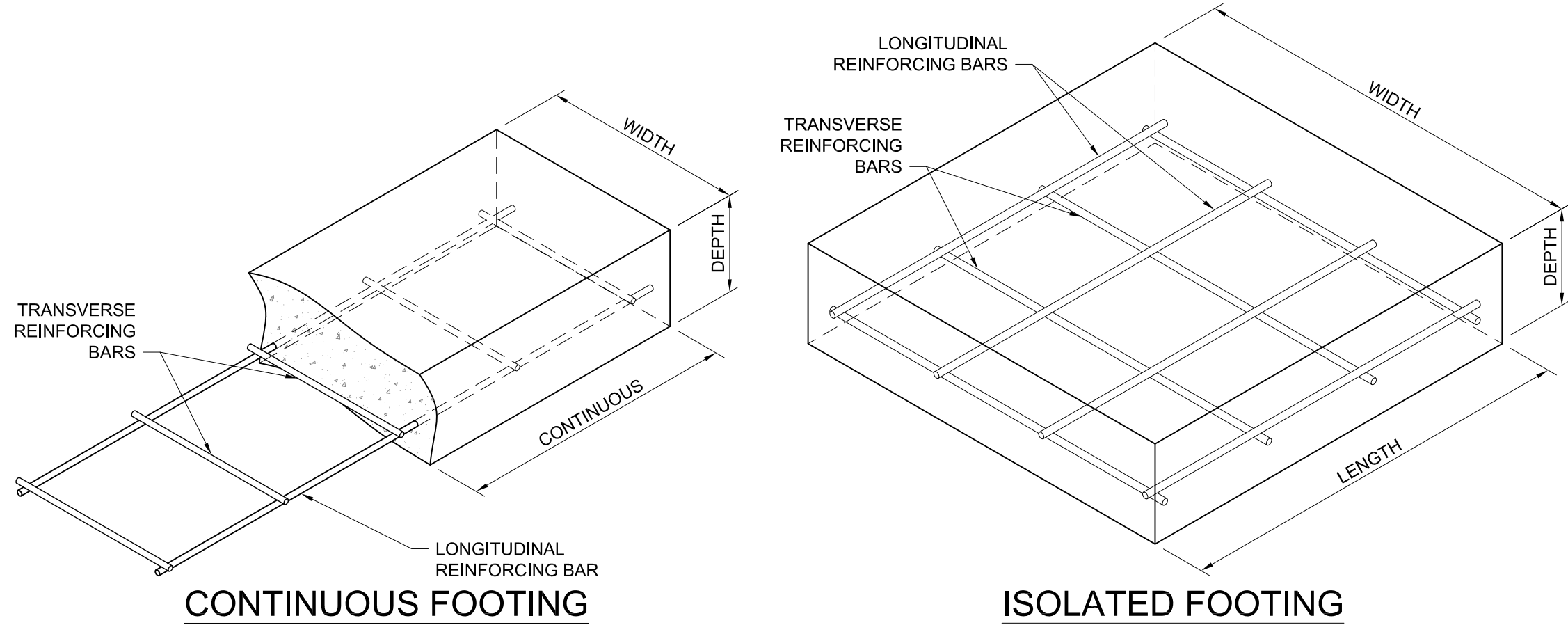
SHEET
S4.0

The following project:
U:\Engineering\Drawings\2020\Drawings\04-06-2020\Signal Wyoming Steeplechase.dwg
C:\Users\jmc\Documents\2020\Drawings\04-06-2020\Signal Wyoming Steeplechase.dwg

Printed by jmc on Nov 04, 2025 - 4:49pm
Ver: 15.1

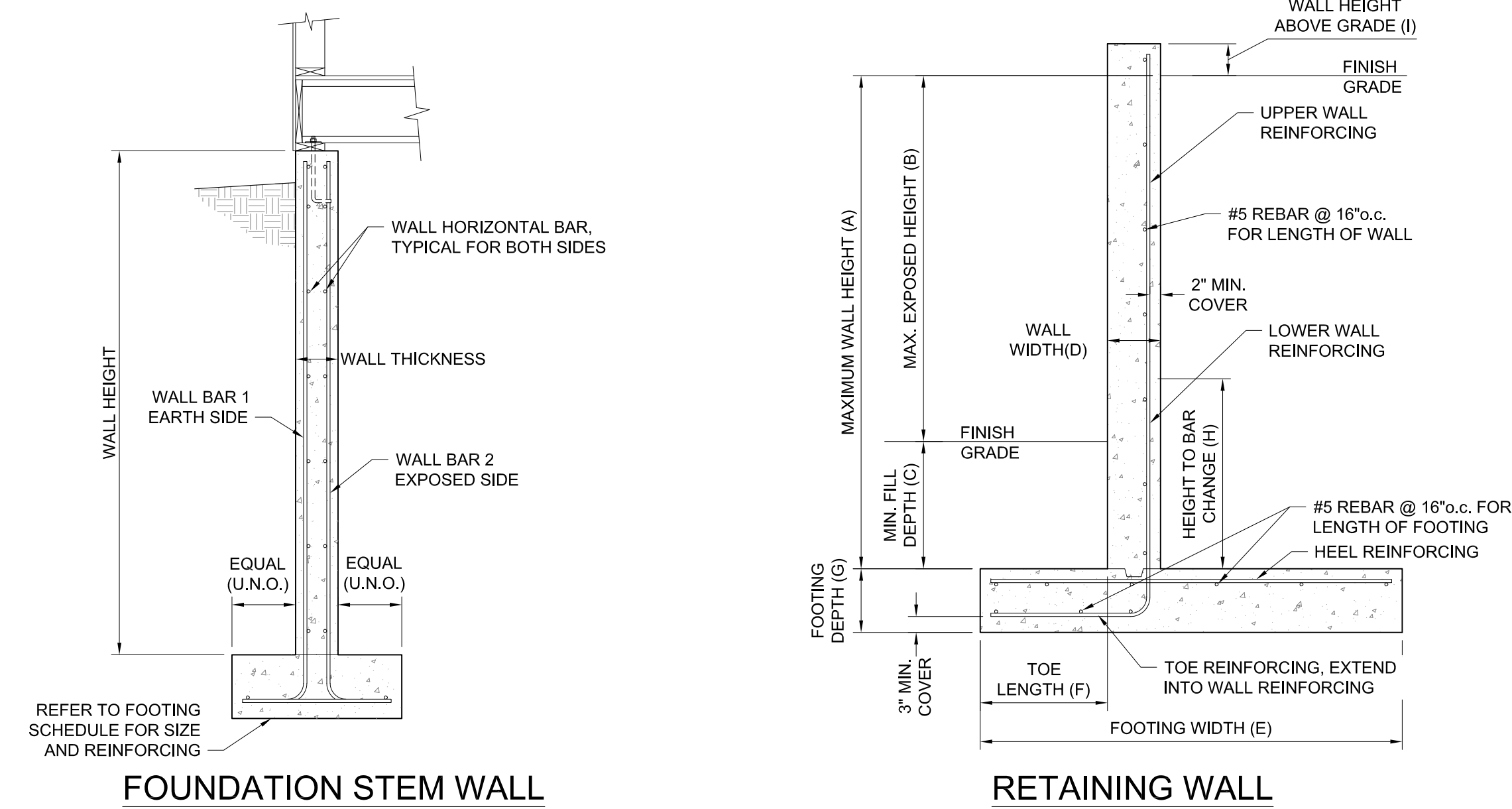
FOOTING SCHEDULE						
TYPE	WIDTH	LENGTH	DEPTH	LONGITUDINAL REINFORCEMENT	TRANSVERSE REINFORCEMENT	NOTES

NOTE:
MINIMUM COVER TO REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, AND 1½" FOR ALL OTHER CONCRETE EXPOSED TO WEATHER, UNLESS NOTED OTHERWISE IN PLANS, SEE TYPICAL DETAILS ON S1.1 FOR TYPICAL REINFORCING BAR COVER DETAILS.



FOUNDATION WALL SCHEDULE						
TYPE	HEIGHT	WALL THICKNESS	WALL BAR 1 EARTH SIDE	WALL BAR 2 EXPOSED SIDE	WALL HORZ.	NOTES

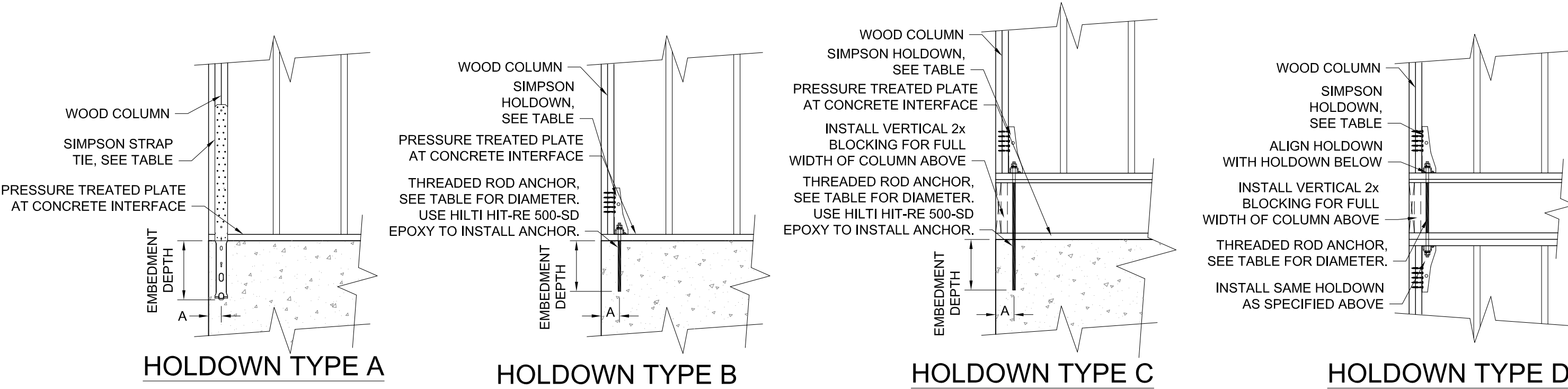
RETAINING WALL SCHEDULE														
TYPE	MAX. WALL HEIGHT (A)	MAX. EXPOSED WALL HEIGHT (B)	MIN. FILL DEPTH (C)	WALL WIDTH (D)	FOOTING WIDTH (E)	TOE LENGTH (F)	FOOTING DEPTH (G)	TOE REINFORCING	HEEL REINFORCING	LOWER WALL REINFORCING	UPPER WALL REINFORCING	HEIGHT TO BAR CHANGE (H)	WALL HEIGHT ABOVE GRADE (I)	NOTES



SHEAR WALL SCHEDULE								
TYPE	SILL PLATE / BOTTOM PLATE (1)	TOP PLATE DETAIL	WALL STUDS	EDGE BLOCKING	SHEATHING THICKNESS (2)	NAIL SIZE	EDGE NAILING SPACING	INTERMEDIATE NAILING SPACING
SW1	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 8" o.c.	@ 12" o.c.
SW2	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 4" o.c.	@ 8" o.c.
SW3	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 3" o.c.	@ 6" o.c.
SW4	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW5	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW6	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW7	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 4" o.c.	@ 8" o.c.
SW8	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW9	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW10	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.

- (1) USE PRESSURE TREATED WOOD WHEN IN CONTACT WITH CONCRETE. ATTACH SHEATHING PANELS WITH GALVANIZED NAILS IN PRESSURE TREATED WOOD.
- (2) SHEATHING TO BE PLYWOOD OR O.S.B. (VERTICAL OR HORIZONTAL ORIENTATION). WHEN REQUIRED, PROVIDE BLOCKING AT UNSUPPORTED EDGES ABOVE AND BELOW OPENINGS.

HOLDOWN SCHEDULE								
TYPE	HOLDOWN SIZE	HOLDOWN TYPE	ANCHOR DIAMETER	MINIMUM ANCHOR	ANCHOR OFFSET DIMENSION "A"	MINIMUM COLUMN SIZE	FASTENERS TO COLUMN	NOTES
1	LSTDH8	A	N/A	N/A	3"	TRIPLE 2x	16ea. 16d SINKERS	USE SIMPSON LSTDH8RJ WHEN INSTALLING OVER RIM BOARD
2	STHD10	A	N/A	N/A	3"	TRIPLE 2x	20ea. 16d SINKERS	USE SIMPSON STHD10RJ WHEN INSTALLING OVER RIM BOARD
3	HDU2	B, C, & D	5⁄8"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	6ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
4	STHD14	A	N/A	N/A	3"	TRIPLE 2x	24ea. 16d SINKERS	USE SIMPSON STHD14RJ WHEN INSTALLING OVER RIM BOARD
5	HDU4	B, C, & D	5⁄8"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	10ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
6	HDU5	B, C, & D	5⁄8"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	14ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
7	HDU8	B, C, & D	7⁄8"Ø	SIMPSON SB7½x24	4½"	4x POST	20ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
8	HDU8	B, C, & D	7⁄8"Ø	SIMPSON SB7½x24	5½"	TRIPLE 2x	20ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
9	HDU11	B, C, & D	1"Ø	SIMPSON SB1x30	6½"	6x6 POST	30ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
10	HDU14	B, C, & D	1"Ø	SIMPSON SB1x30	8½"	6x6 POST	36ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING

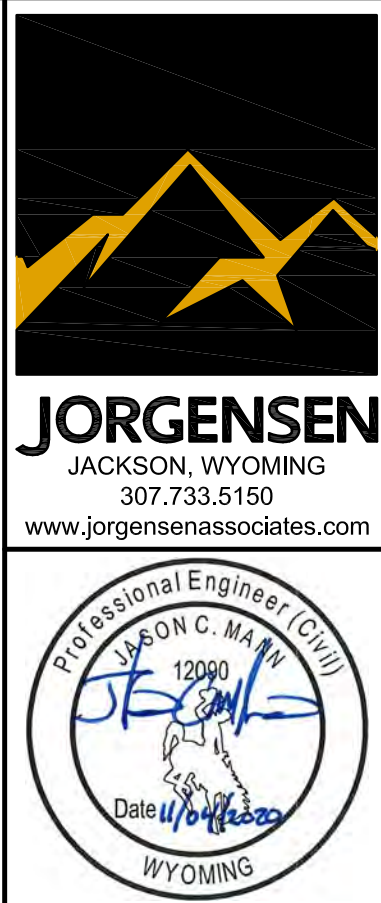


MINIMUM FASTENING SCHEDULE		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
Roof		
Blocking between ceiling joists, rafters or trusses to top plate or other framing below	3ea. 3"x0.131"Ø nails	Each end, toenail
Ceiling joists to top plate	3ea. 3"x0.131"Ø nails	Each joist, toenail
Ceiling joist not attached to parallel rafter, laps over partitions (no thrust) (see Section 2308.7.3.1, Table 2308.7.3.1)	3ea. 12d common (¾"x0.162"Ø); or 4ea. 3"x0.131"Ø nails	Face nail
Ceiling joist attached to parallel rafter (heel joint) (see Section 2308.7.3.1, Table 2308.7.3.1)	2ea. 16d common (¾"x0.162"Ø) to top plate 3ea. 16d common (¾"x0.162"Ø) to parallel rafter	Toenail Face nail
Rafter or roof truss to top plate (See Section 2308.7.5, Table 2308.7.5)	3ea. 12d common (¾"x0.135"Ø); or 4ea. 3"x0.131"Ø nail	Toenail
Roof rafters to ridge valley or hip rafters; or roof rafter to 2-inch ridge beam	2ea. 12d common (¾"x0.162"Ø); or 3ea. 3"x0.131"Ø nails	End nail
Wall		
Stud to stud (not at braced wall panels)	12d common (¾"x0.162"Ø)	24" o.c., face nail
Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	12d common (¾"x0.162"Ø)	16" o.c., face nail
Built-up header (2" to 2" header)	12d common (¾"x0.162"Ø)	16" o.c. each edge, face nail
Continuous header to stud	4ea. 12d common (¾"x0.162"Ø)	Toenail
Top plate to top plate	2ea. 12d common (¾"x0.162"Ø) for 2x4 studs 3ea. 12d common (¾"x0.162"Ø)	16" o.c., face nail
Top plate to top plate, at end joints	2ea. 12d common (¾"x0.162"Ø) @16"o.c. (2x4) 3ea. 12d common (¾"x0.162"Ø) @16"o.c. (2x6)	Each side of end joint, face nail (minimum 48" lap splice length each side of end joint)
Bottom plate to joist, rim joist band joist or blocking (not at braced wall panels)	12d common (¾"x0.162"Ø)	16" o.c., face nail
Bottom plate to joist, rim joist, band joist or blocking at braced wall panels	2ea. 12d common (¾"x0.162"Ø)	16" o.c., face nail
Top or bottom plate to stud	2ea. 12d common (¾"x0.162"Ø) for 2x4 studs 3ea. 12d common (¾"x0.162"Ø) for 2x6 studs	End nail
Top plates, laps at corners and intersections	4ea. 12d common (¾"x0.162"Ø)	Face nail
Floor		
Joist to sill, top plate, or girder	3ea. 10d common (3"x0.128"Ø)	Toenail
Rim joist, band joist, or blocking to top plate, sill or other framing below	10d common (3"x0.128"Ø)	6" o.c., toenail
Ledger strip supporting joists or rafters	3ea. 12d common (¾"x0.162"Ø) for 2x6 studs 4ea. 12d common (¾"x0.162"Ø) for 2x8 studs 5ea. 12d common (¾"x0.162"Ø) for 2x10 studs	Each joist or rafter, face nail
Joist to band joist or rim joist	3ea. 12d common (¾"x0.162"Ø)	End nail
Bridging or blocking to joist, rafter or truss	2ea. 10d common (3"x0.128"Ø)	Each end, toenail

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION	
Wood structural panels (WSP), subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing			
		Edges (inches)	Intermediate supports (inches)
¾" - 1½"	8d common (2½"x0.131"Ø) (roof and wall)	6	12
1½" - 3¼"	10d common (3"x0.131"Ø) (roof and wall)	6	12
Wood structural panels, combination subfloor underlayment to framing			
¾" and less	8d common (2½"x0.131"Ø)	6	12

ALTERNATE STAPLE SCHEDULE FOR APA RATED SHEATHING			
0.131"Øx2½" NAIL SPACING AS SPECIFIED IN SHEAR WALL SCHEDULE	14 GAUGE	15 GAUGE	16 GAUGE
@ 12" o.c.	@ 8" o.c.	@ 8" o.c.	@ 6" o.c.
@ 6" o.c.	@ 4" o.c.	@ 4" o.c.	@ 3" o.c.
@ 4" o.c.	@ 3" o.c.	@ 2" o.c.	@ 2" o.c.
@ 3" o.c.	@ 3" o.c.	@ 2" o.c.	NONE
@ 2" o.c.	NONE	NONE	NONE

1. ALL STAPLES TO HAVE ⅛" MIN. CROWN WIDTH AND MUST BE INSTALLED WITH THEIR CROWN PARALLEL TO LONG DIMENSION OF THE FRAMING MEMBER.
2. MINIMUM PENETRATION FOR ALL STAPLE GAUGES IS 1½".
3. FASTENER SPACING @ 2" o.c. OR LESS REQUIRES NOMINAL 3x MEMBERS.



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

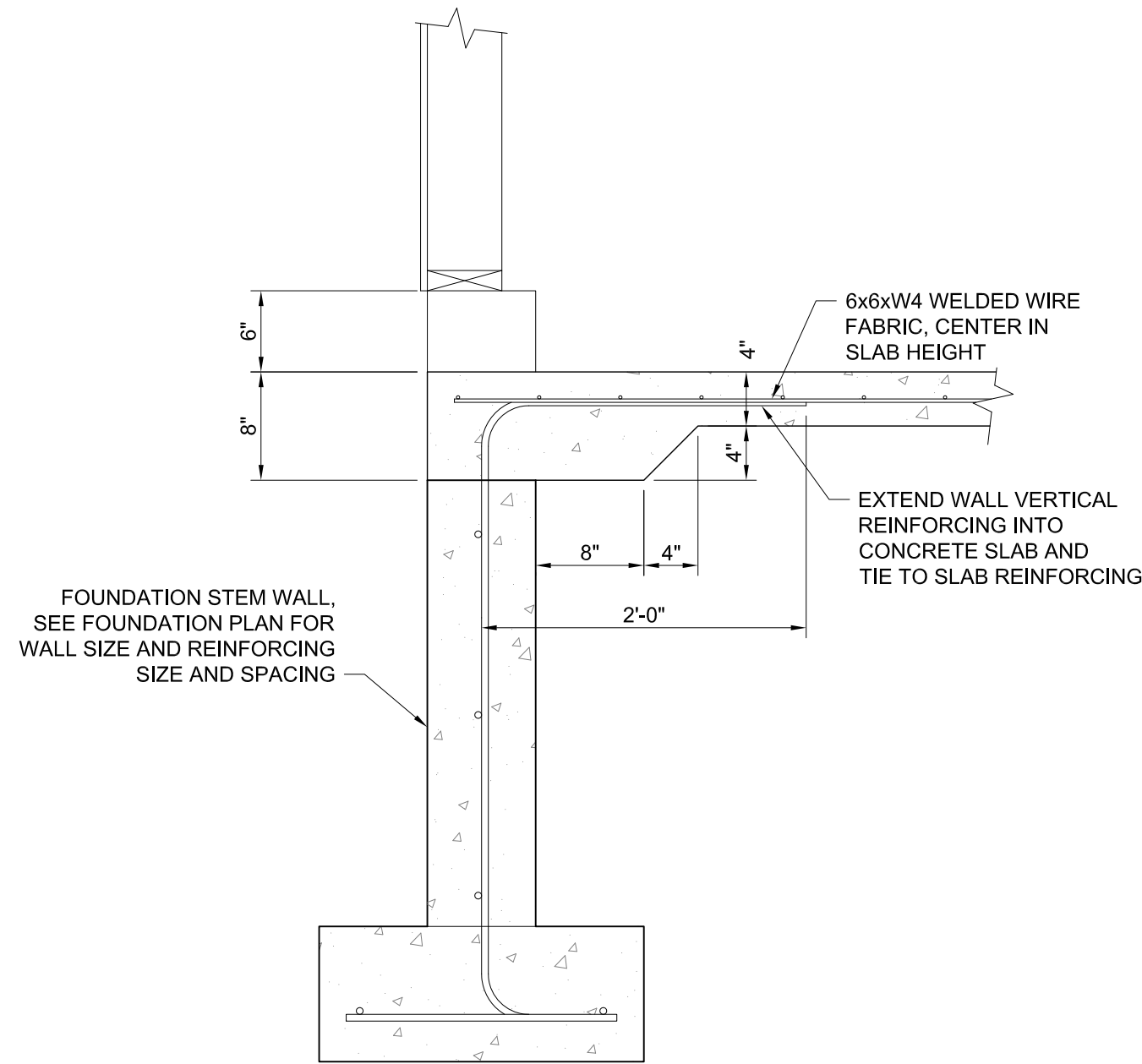
SHEET TITLE:
SCHEDULES

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	
09040	
SHEET	
S1.1	

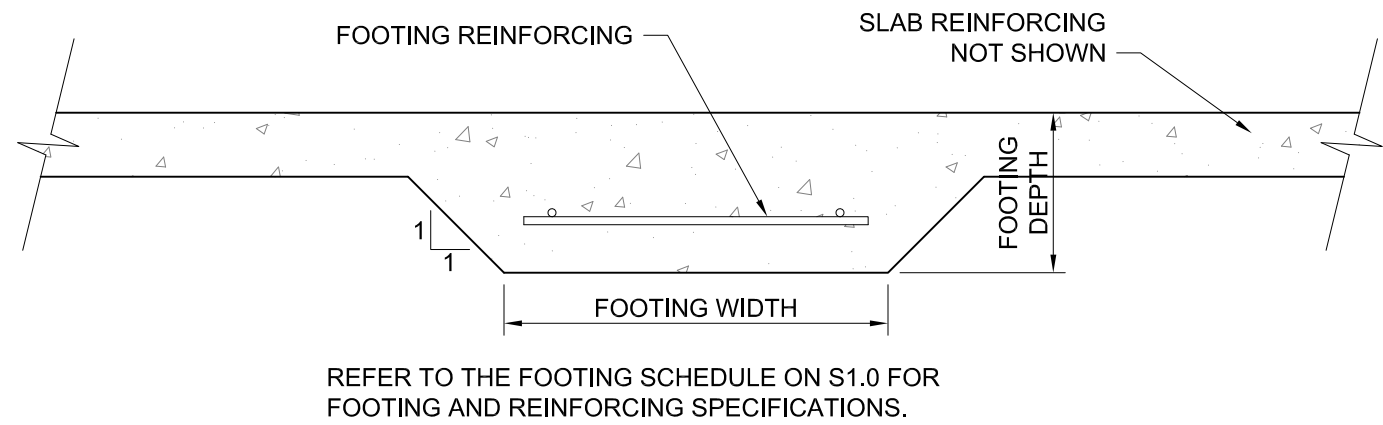
The following project:
U:\Engineering\Drawings\2020\Drawings\10-06-2020\3000\Sigard Wyoming Steams.dwg
C:\Users\jorgensen\Documents\2020\Drawings\10-06-2020\Sigard Wyoming Steams.dwg

1:2020/06/04/04:00:00-10-06-2020 VTY Townhomes North 3000M Electrical.dwg

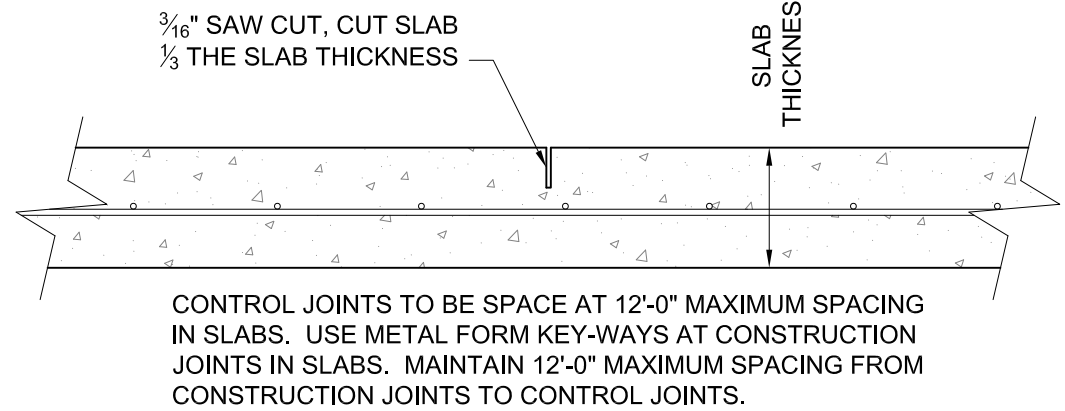
Ver: 15.1
Plotted by jorgensen on Nov 04, 2025 - 4:48pm



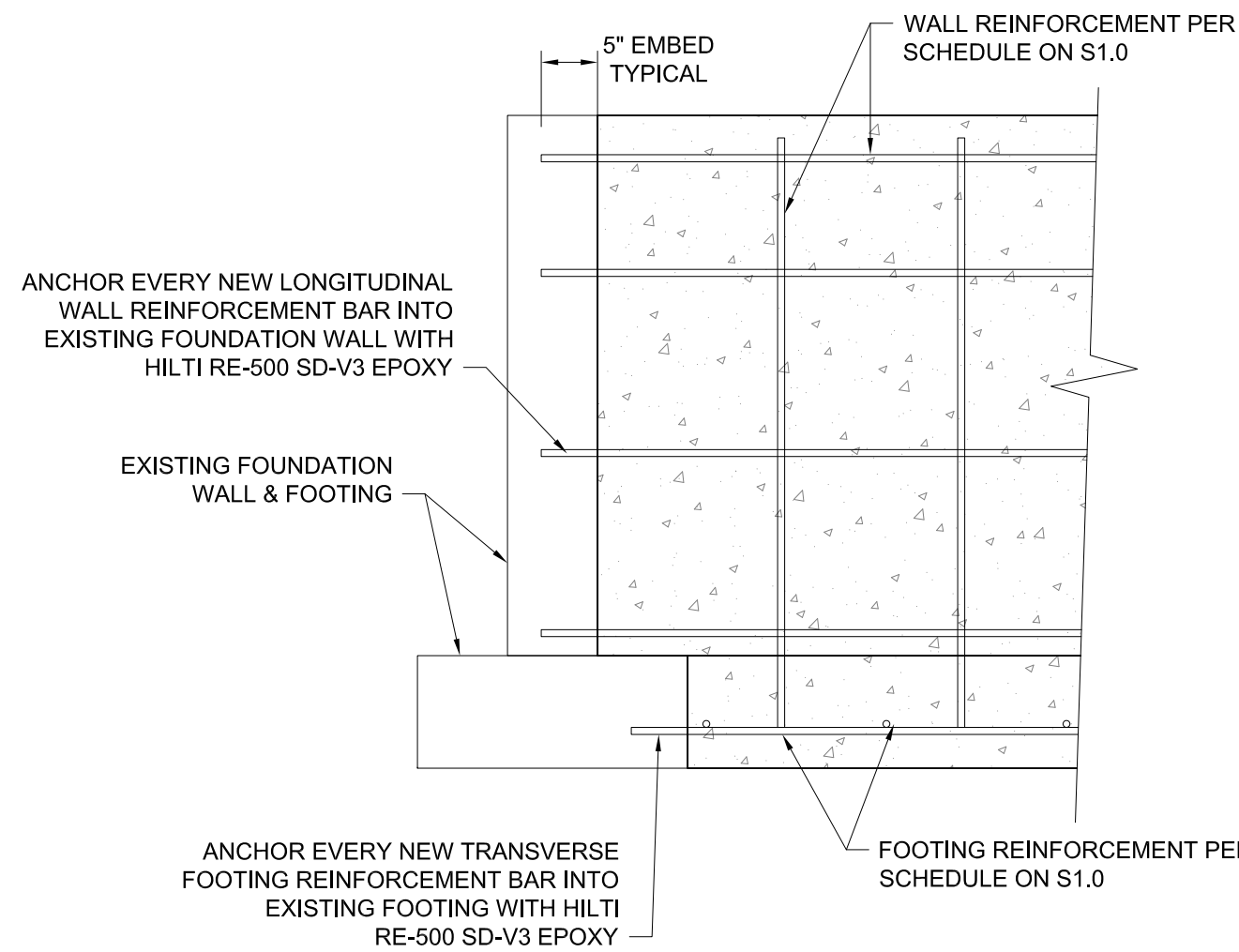
TYPICAL BLOCK-OUT DETAIL
SCALE: 1"=1'-0" @ EXTERIOR DOOR LOCATIONS



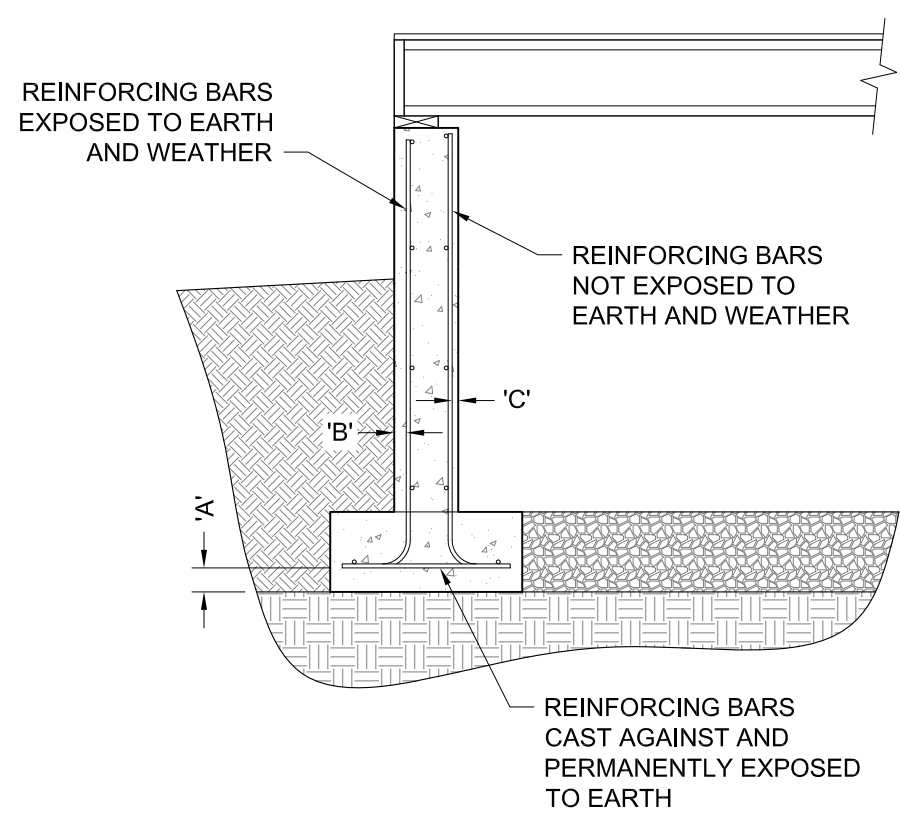
TYPICAL MONOLITHIC FOOTING DETAIL
SCALE: 1"=1'-0" @ CONCRETE SLABS



TYPICAL SLAB CONTROL JOINTS
SCALE: 1 1/2"=1'-0"



TYPICAL NEW FND TO EXISTING FND DETAIL
SCALE: 3/4"=1'-0"

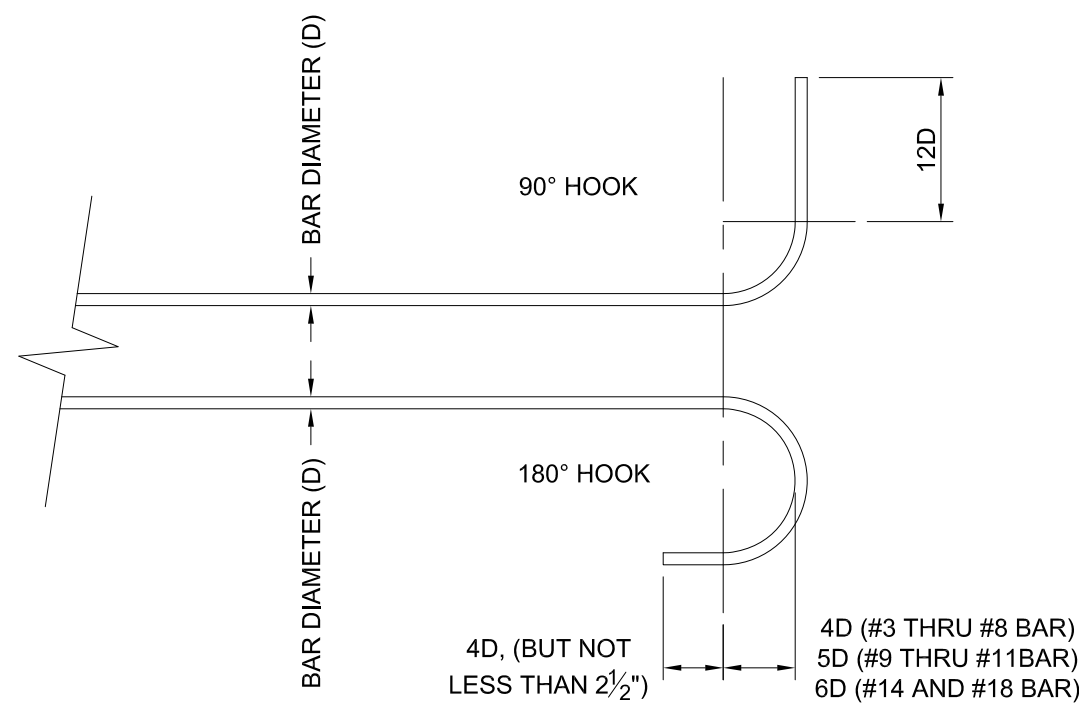


MINIMUM REINFORCING BAR COVER DISTANCES
SCALE: 1/2"=1'-0"

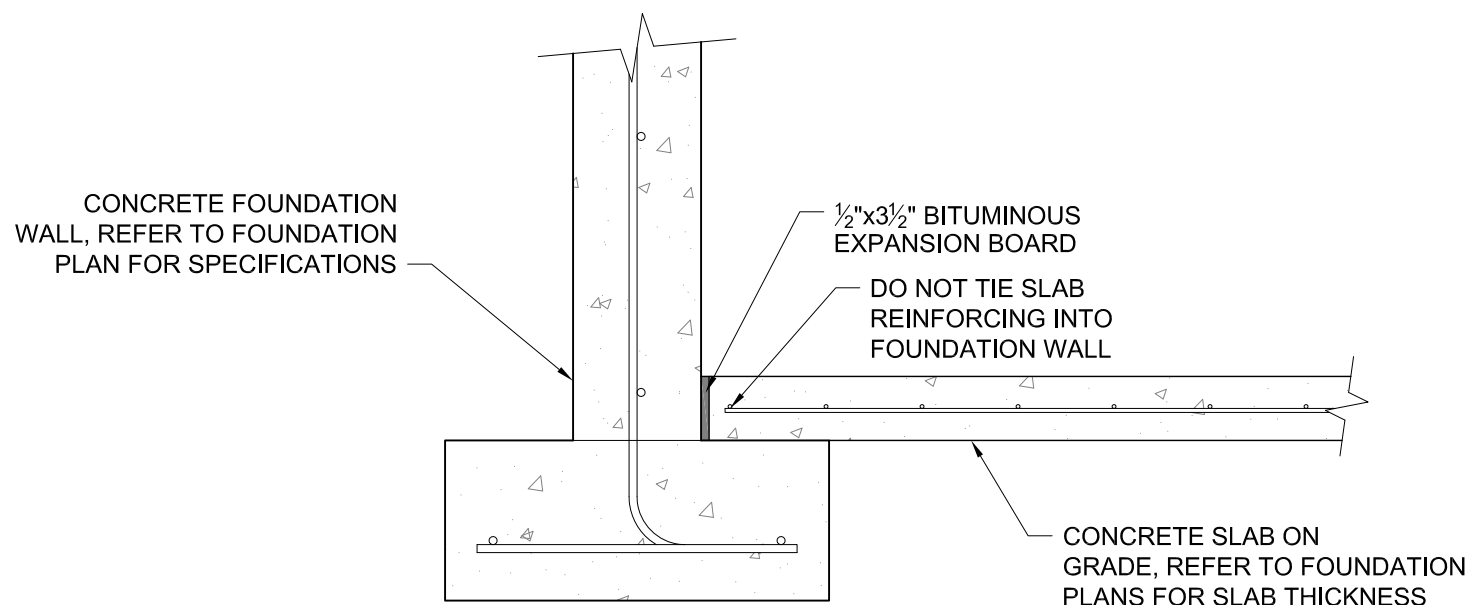
MINIMUM REINFORCING BAR COVER DISTANCES		
LOCATION	COVER DISTANCE	NOTES
'A'	3" MINIMUM	FOR ALL REINFORCING BAR SIZES
'B'	2" MINIMUM	FOR #6 BAR THROUGH #18 BAR
'B'	1 1/2" MINIMUM	FOR #5 BAR AND SMALLER
'C'	1 1/2" MINIMUM	FOR #14 AND #18 BARS
'C'	3/4" MINIMUM	FOR #11 BARS AND SMALLER
BEAMS AND COLUMNS	1 1/2" MINIMUM	FOR PRIMARY REINFORCEMENT, TIES, STIRRUPS, AND SPIRALS

NOTE:
USE THE ABOVE MINIMUM COVER DISTANCES WHEN THE ACTUAL LOCATIONS ARE NOT SPECIFIED IN THE STRUCTURAL NOTES, SCHEDULES, OR STRUCTURAL DETAILS.

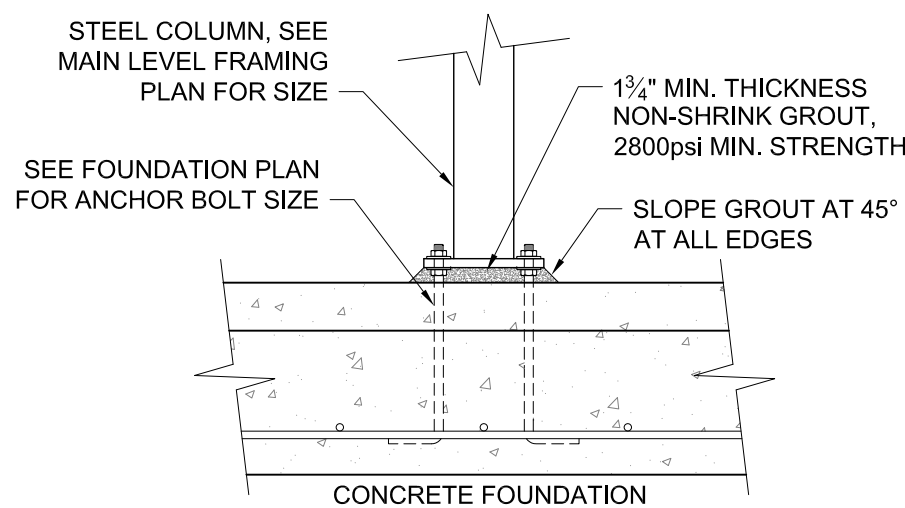
PER ACI 318-14, CHAPTER 20, SECTION 20.6.1.3.1



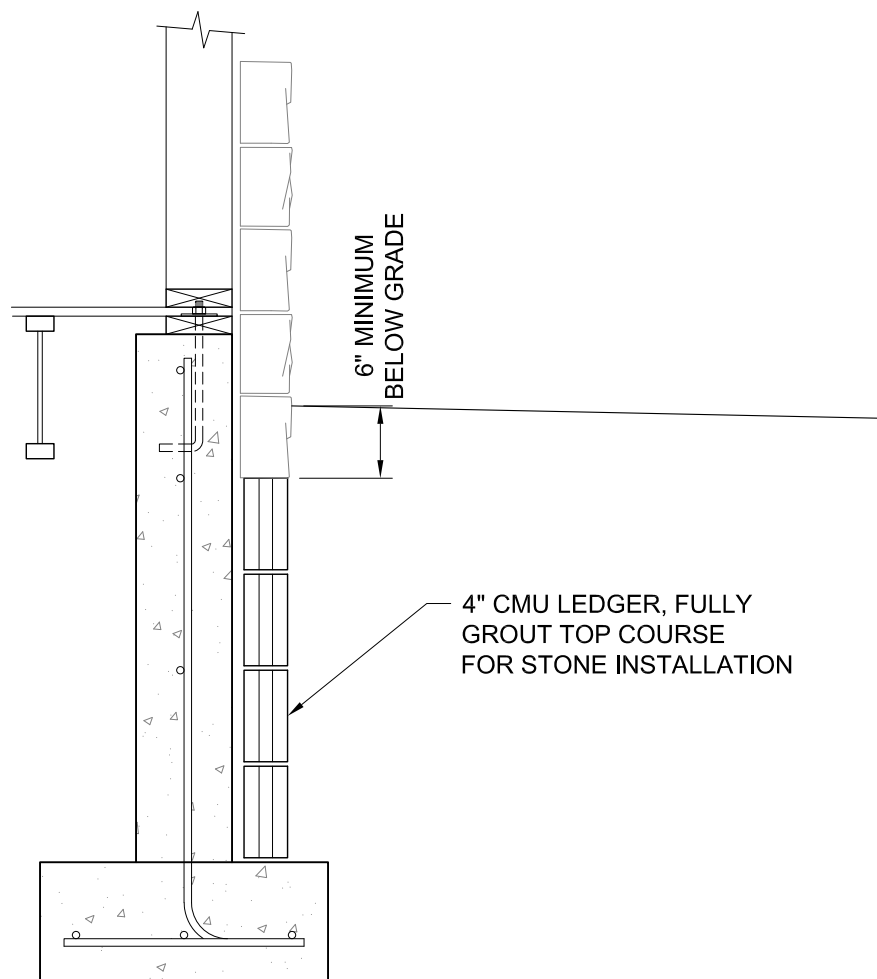
STANDARD REBAR HOOK AND BEND
SCALE: 1 1/2"=1'-0" PER ACI 318-14, CHAPTER 25, SECTION 25.3.1



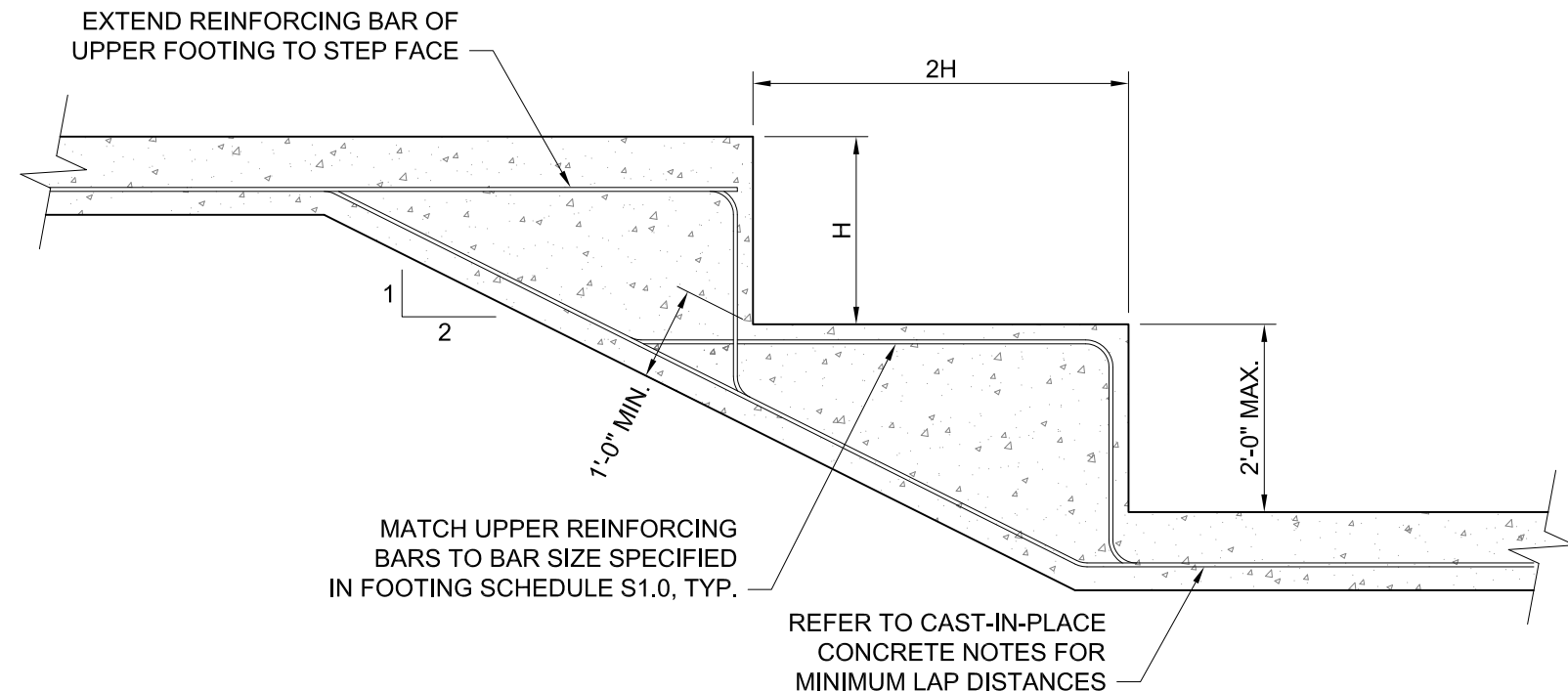
TYPICAL SLAB/FOUNDATION CONNECTION
SCALE: 1"=1'-0"



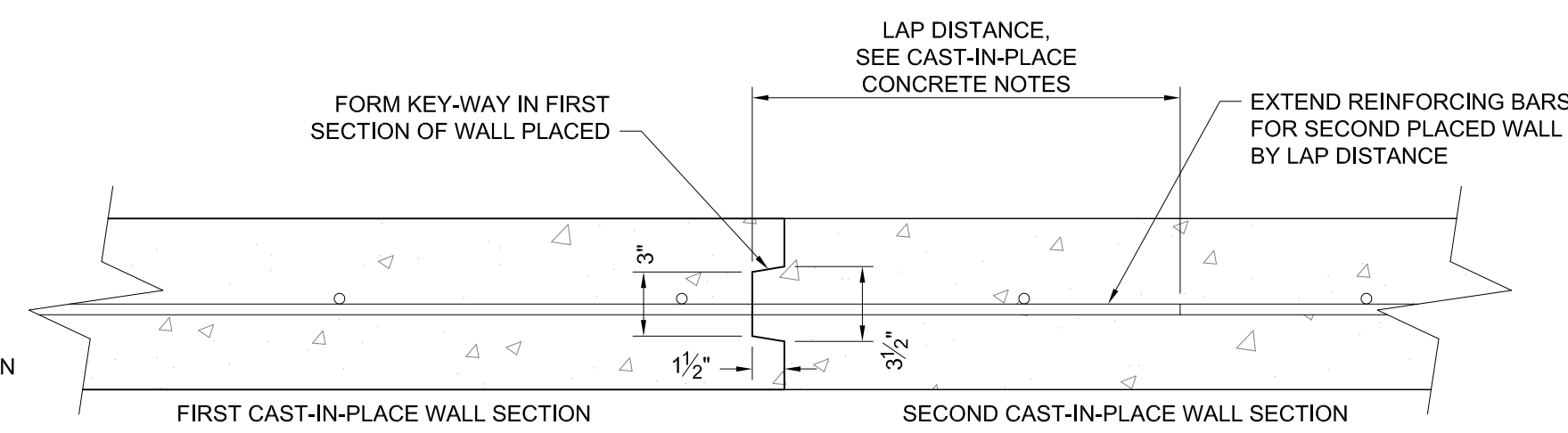
TYPICAL GROUT DETAIL
SCALE: 3/4"=1'-0" @ STEEL COLUMN BASES



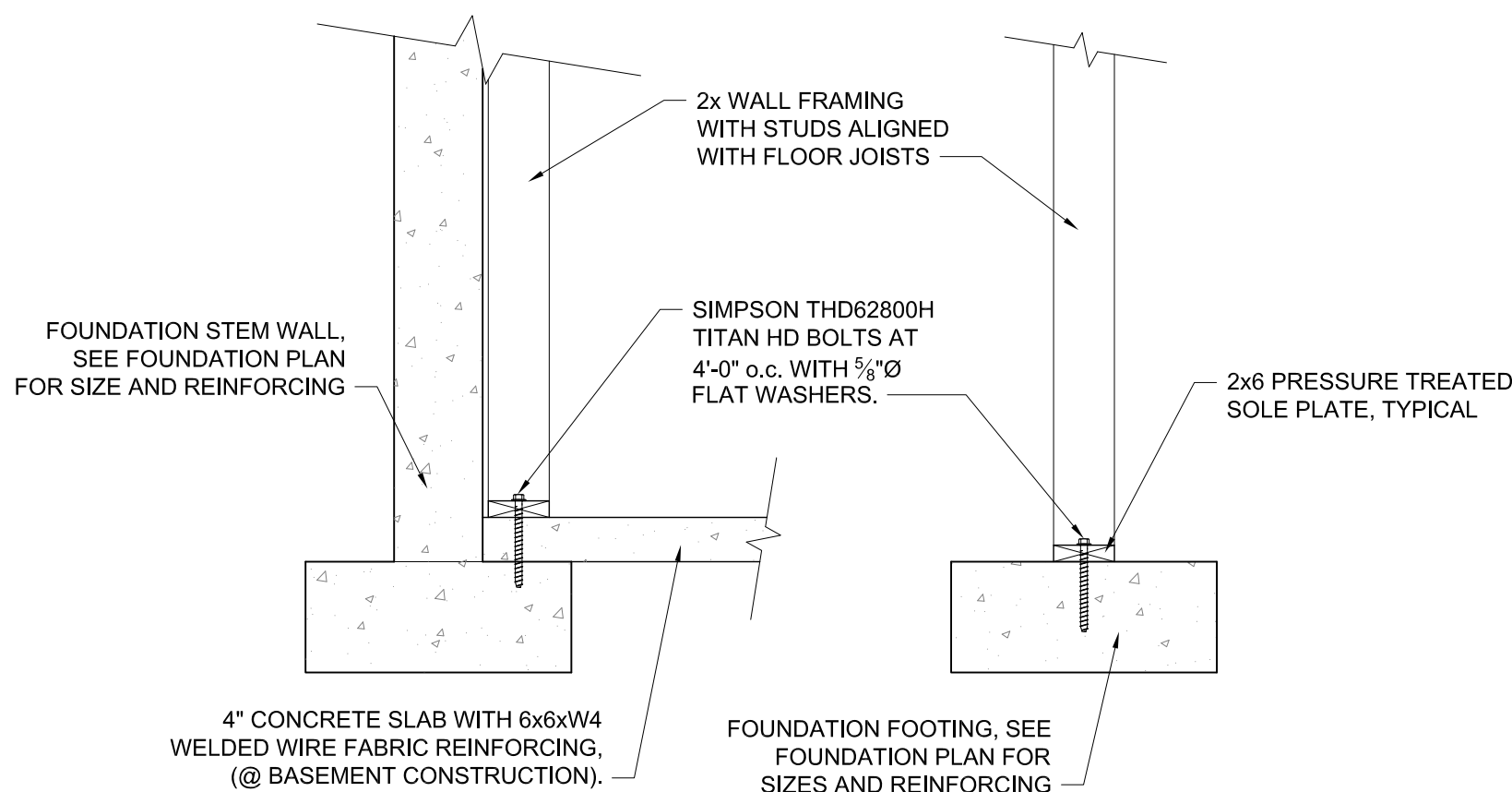
STONE LEDGER DETAIL
SCALE: 3/4"=1'-0" @ SHORT FOUNDATION WALL



TYPICAL FOOTING STEP DETAIL
SCALE: 1/2"=1'-0"



CONSTRUCTION JOINT DETAIL
SCALE: 1 1/2"=1'-0" @ CAST-IN-PLACE CONCRETE WALLS



WALL CONNECTION DETAIL
SCALE: 3/4"=1'-0" @ FOOTINGS AND SLABS

JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com

Professional Engineer (CPE)
JASON C. MAW
12000
Date: 11/04/2020
WYOMING

PROJECT TITLE:
**WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE:
TYPICAL FOUNDATION DETAILS

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040

SHEET
S1.2

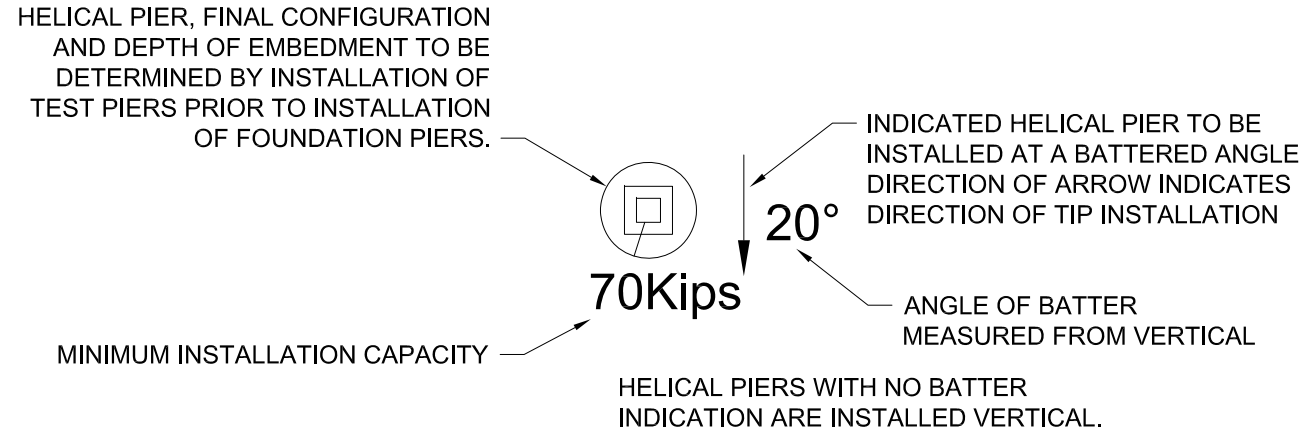
The following project:
C:\Users\jmc\Documents\2020\Stamps\10-06-2020\Signed Wyoming Stamps.dwg
C:\Users\jmc\Documents\2020\Stamps\10-06-2020\Signed Wyoming Stamps.dwg

The following project:
C:\Users\jmc\Documents\2020\Stamps\10-06-2020\Signed Wyoming Stamps.dwg
C:\Users\jmc\Documents\2020\Stamps\10-06-2020\Signed Wyoming Stamps.dwg

The following project:
C:\Users\jmc\Documents\2020\Stamps\10-06-2020\Signed Wyoming Stamps.dwg
C:\Users\jmc\Documents\2020\Stamps\10-06-2020\Signed Wyoming Stamps.dwg

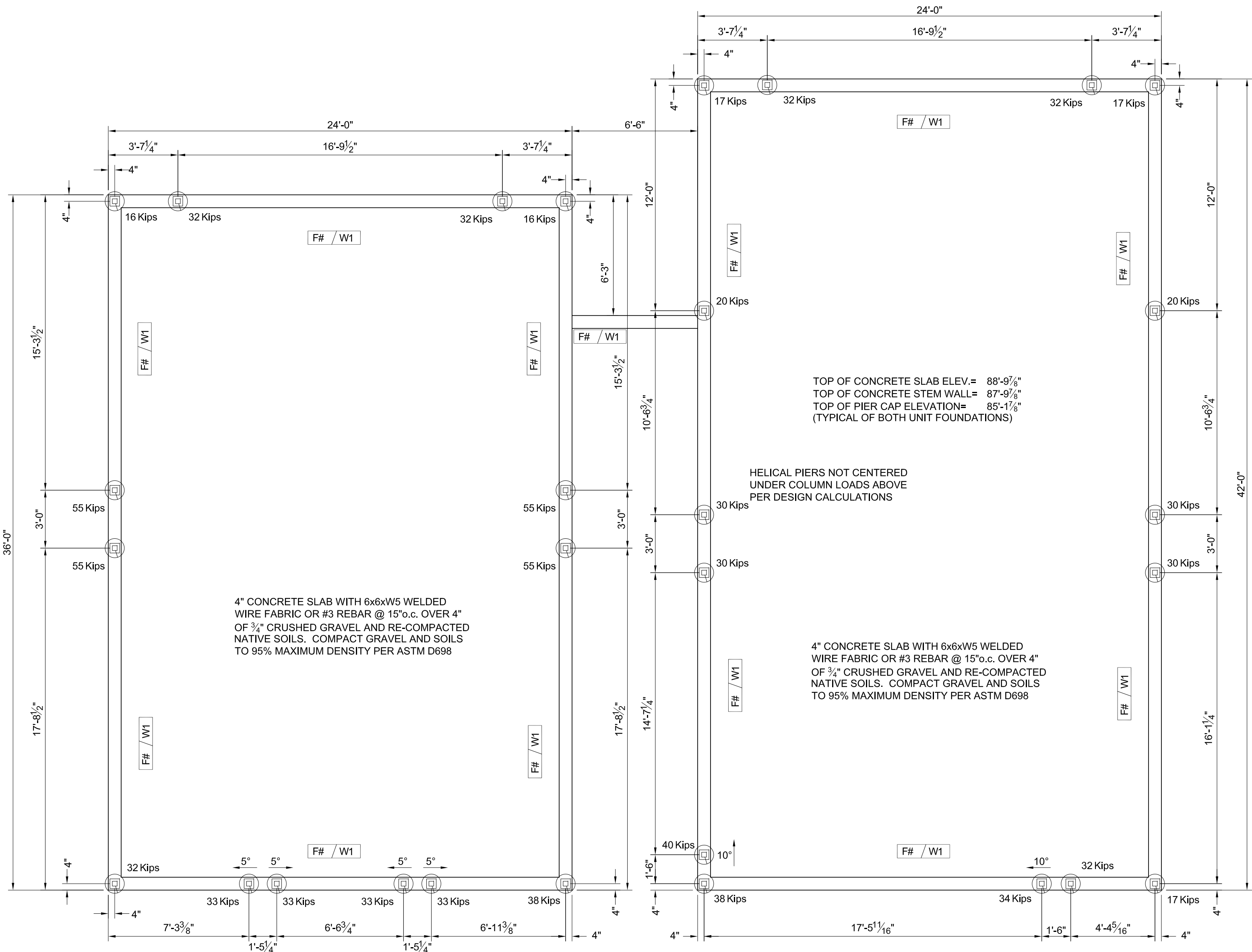
11/20/2019 10:04:04 AM 10-06-2020 VJ Townhomes North 3RD PLAN (Revised.dwg)

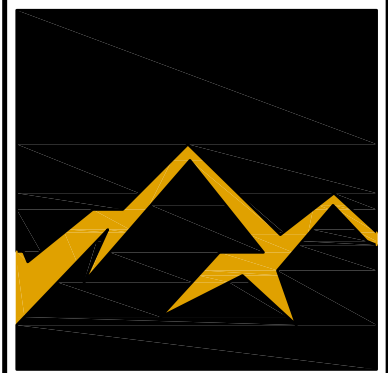
Ver: 15.1
Plotted by jmc on Nov 04, 2020 at 4:08pm



HELICAL PIER LEGEND

SCALE: 1/2"=1'-0"





JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com



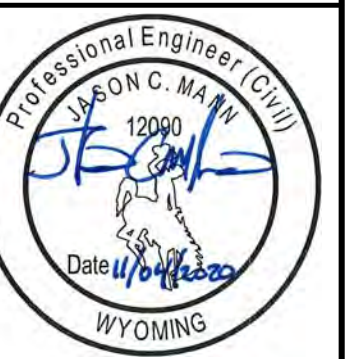
Professional Engineer (CEU)
JORGENSEN C. MA, PE
Date: 11/04/2020
WYOMING

PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
FOUNDATION PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040
SHEET
S2.0

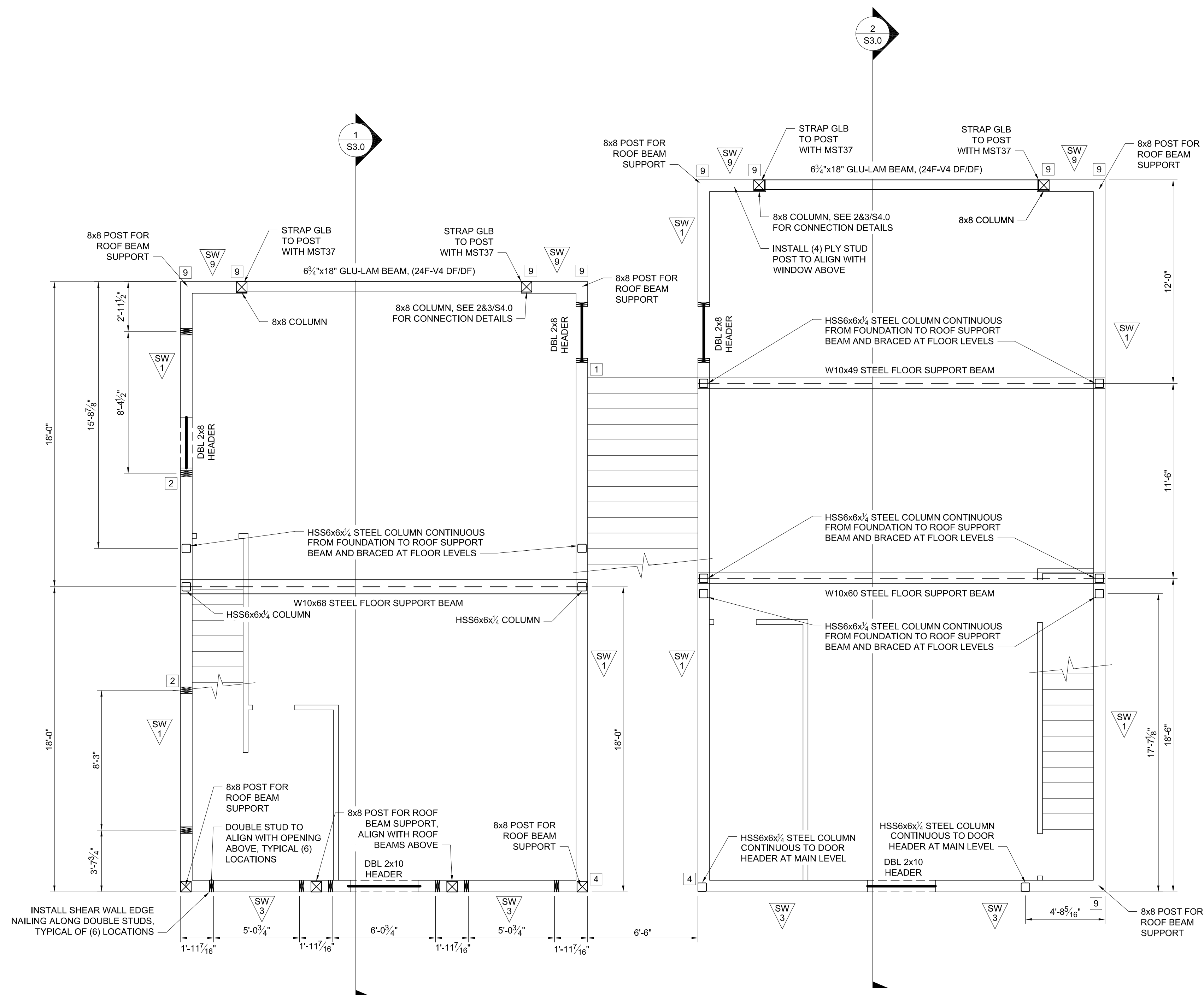


WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

LOWER LEVEL FRAMING PLAN

RAFTED BY:	TJ
VIEWED BY:	JM
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
INST. DOCUMENTS	11/04/2020

PROJECT NUMBER	09040
SHEET	S2.1



LOWER LEVEL FRAMING PLAN

SCALE: $\frac{1}{4}"=1'-0"$ @3 BEDROOM UNITS



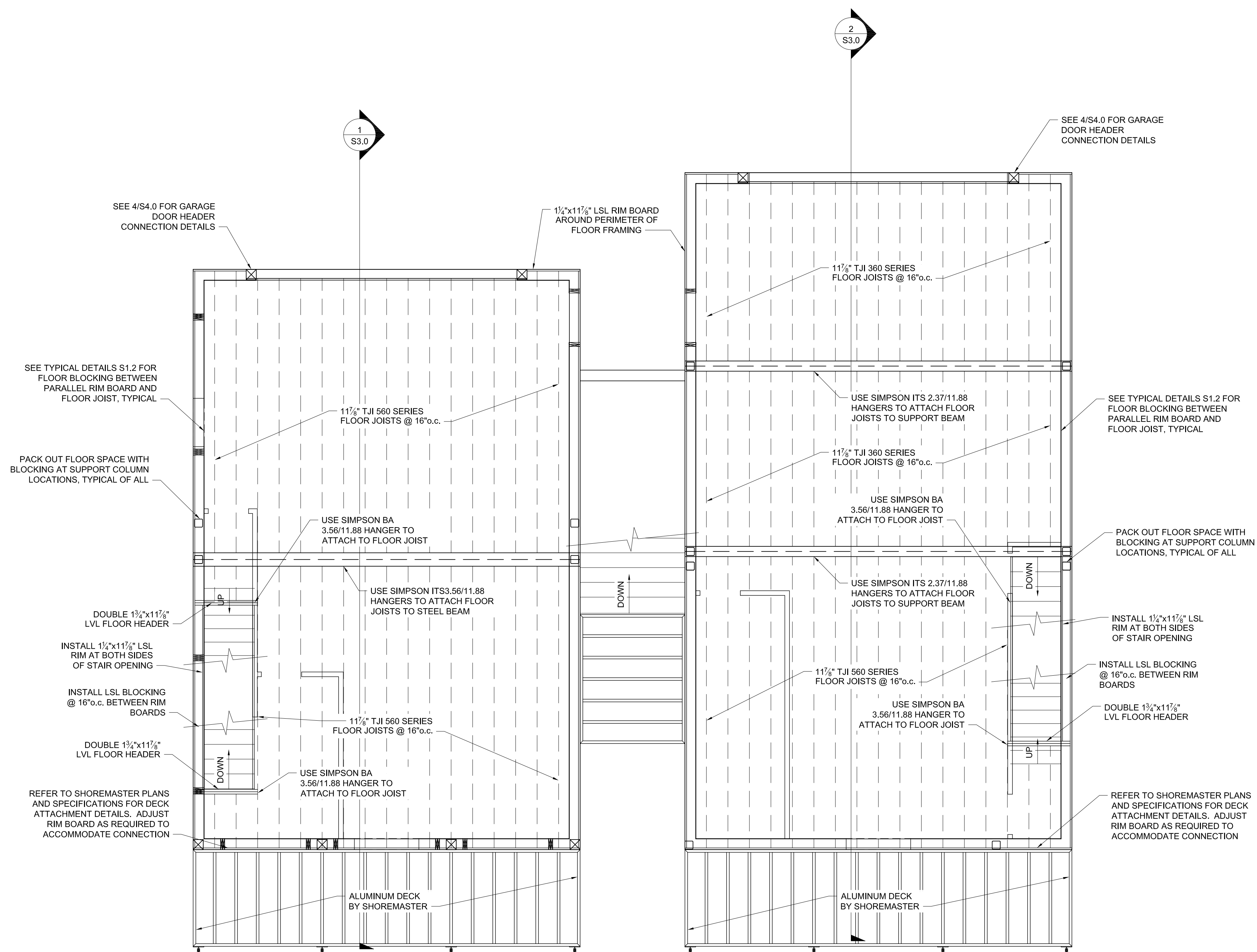
PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
MAIN LEVEL FLOOR PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040

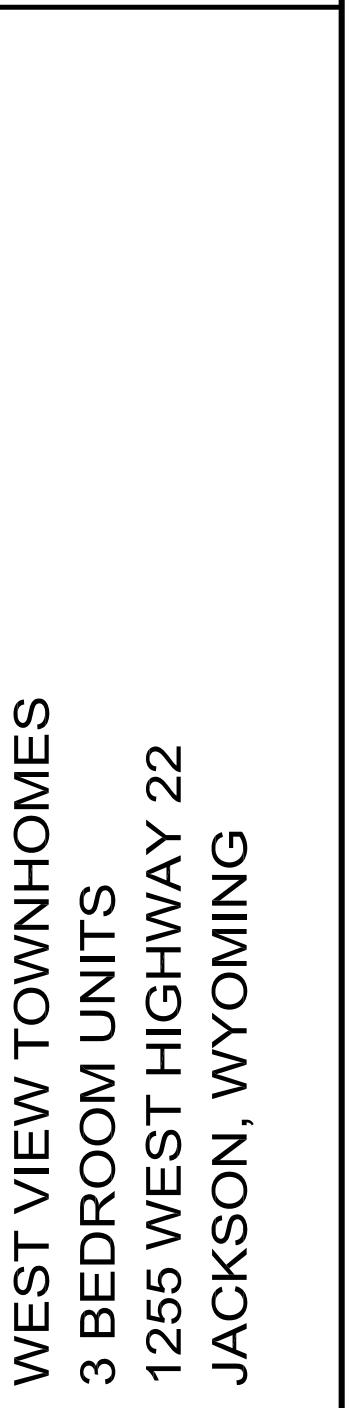
SHEET S2.2



MAIN LEVEL FLOOR PLAN

SCALE: $\frac{1}{4}"=1'-0"$

@3 BEDROOM UNITS



MAIN LEVEL FRAMING PLAN

PROJECT NUMBER	09040
SHEET	S2.3





PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

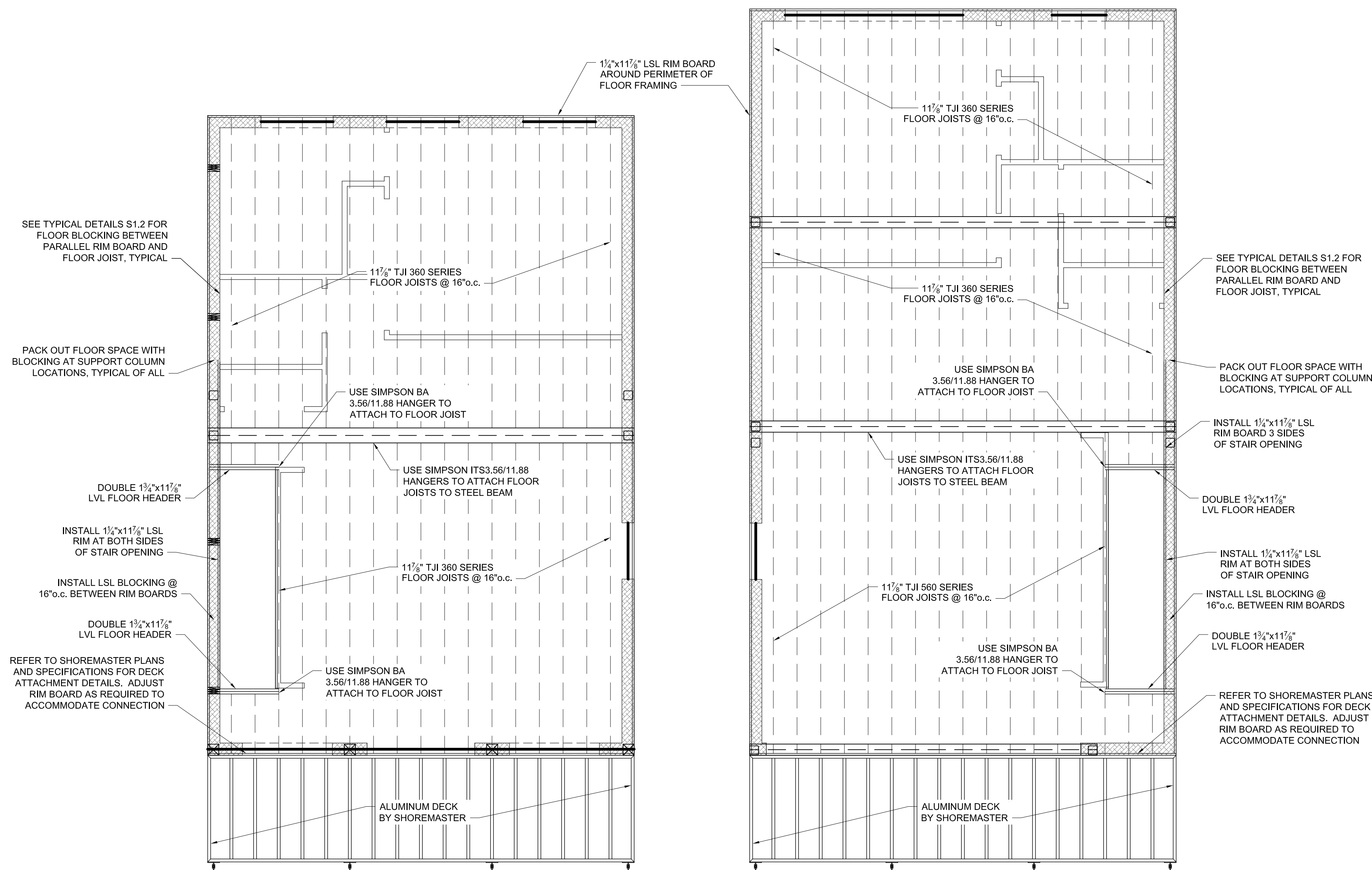
SHEET TITLE:
UPPER LEVEL FLOOR PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER	09040
----------------	-------

SHEET

S2.4



UPPER LEVEL FLOOR PLAN

SCALE: $\frac{1}{4}"=1'-0"$

@3 BEDROOM UNITS



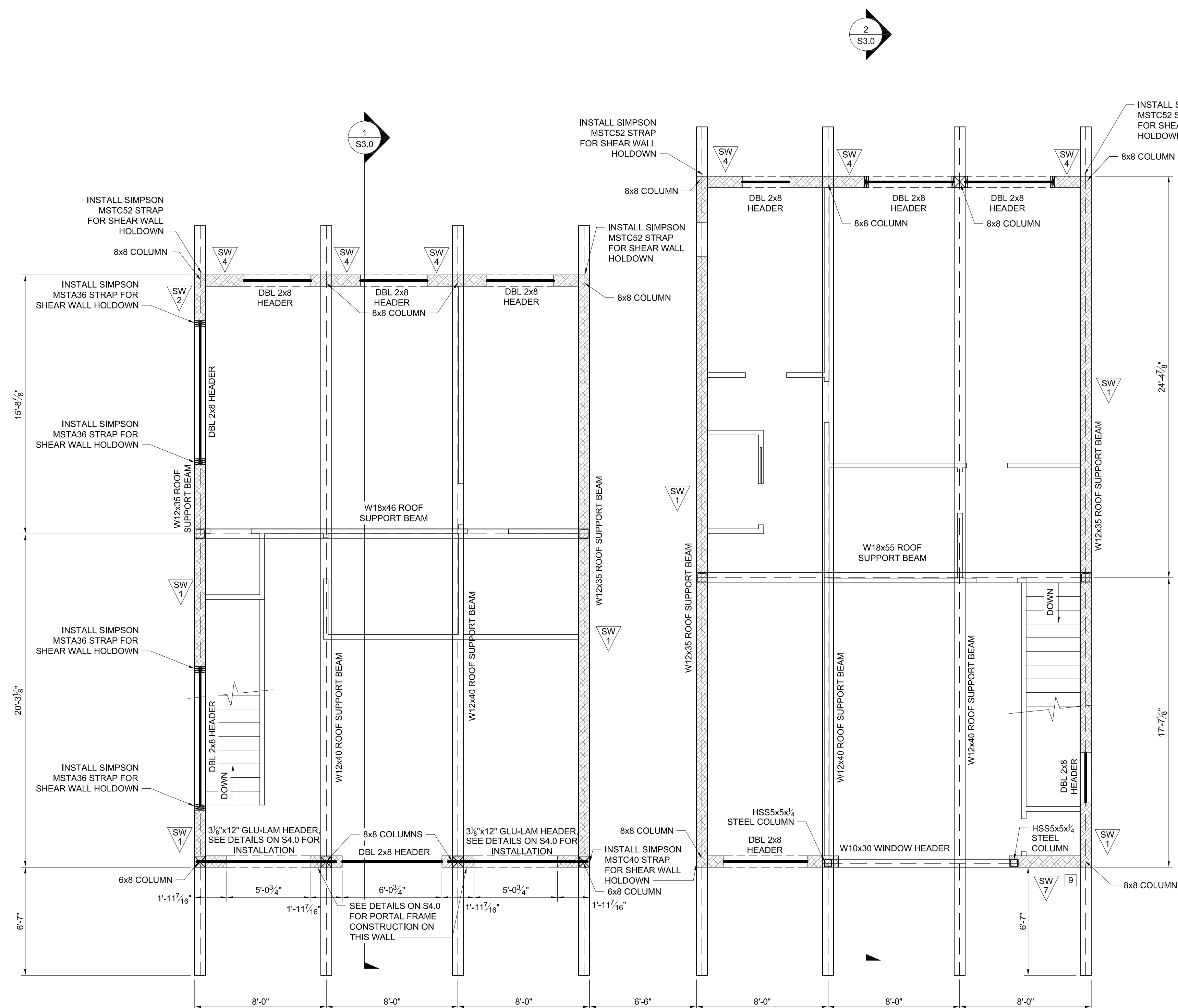
PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
UPPER LEVEL FRAMING PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER	09040
----------------	-------

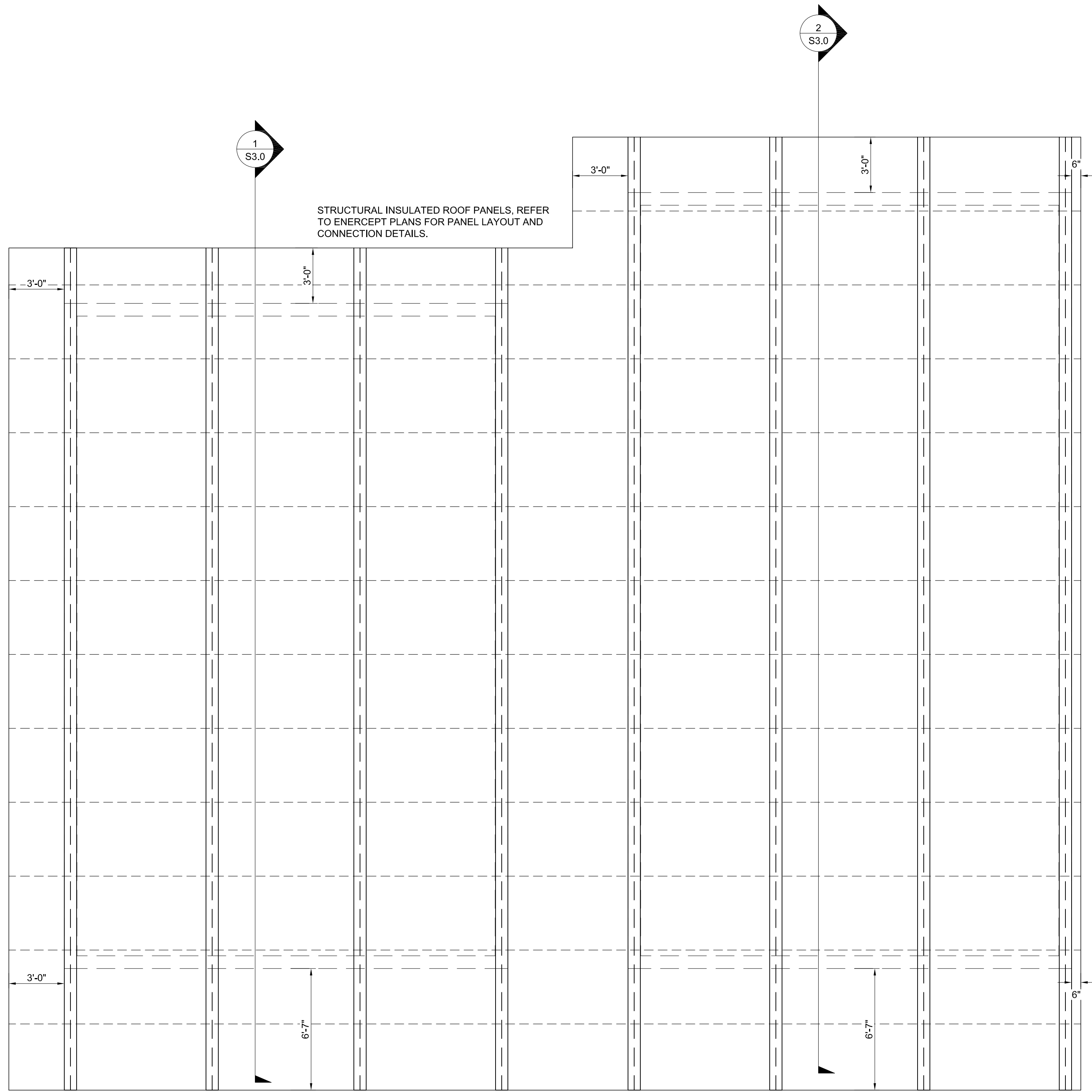
SHEET **S2.5**



UPPER LEVEL FRAMING PLAN

SCALE: $\frac{1}{4}"=1'-0"$

@3 BEDROOM UNITS



SCALE: $\frac{1}{4}"=1'-0"$

@3 BEDROOM UNITS



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
ROOF FRAMING PLAN

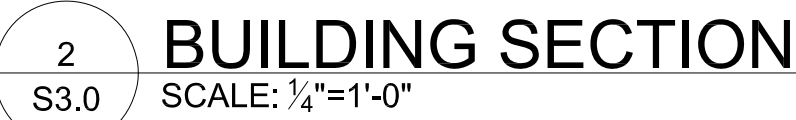
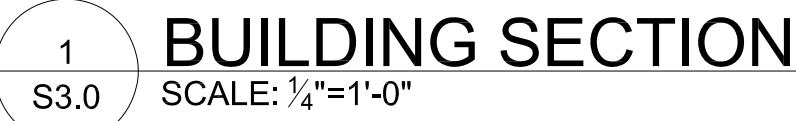
DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

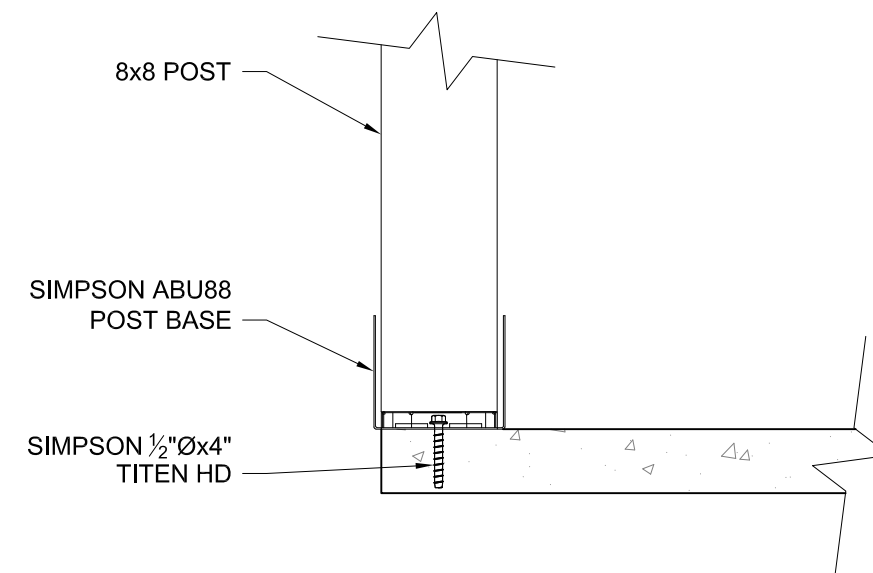
PROJECT NUMBER
09040

SHEET
S2.6

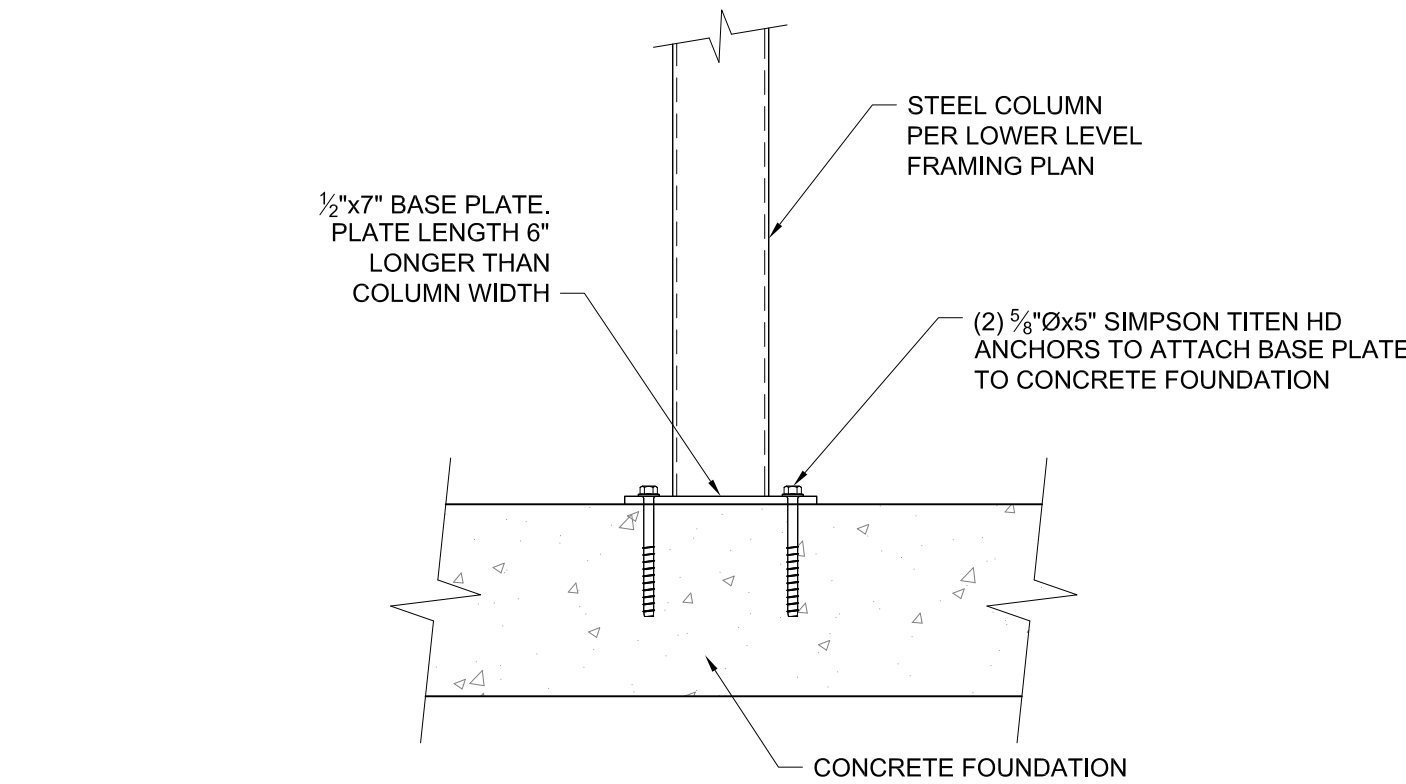
SHEET TITLE:
BUILDING SECTIONS

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	
09040	
SHEET	
S3.0	





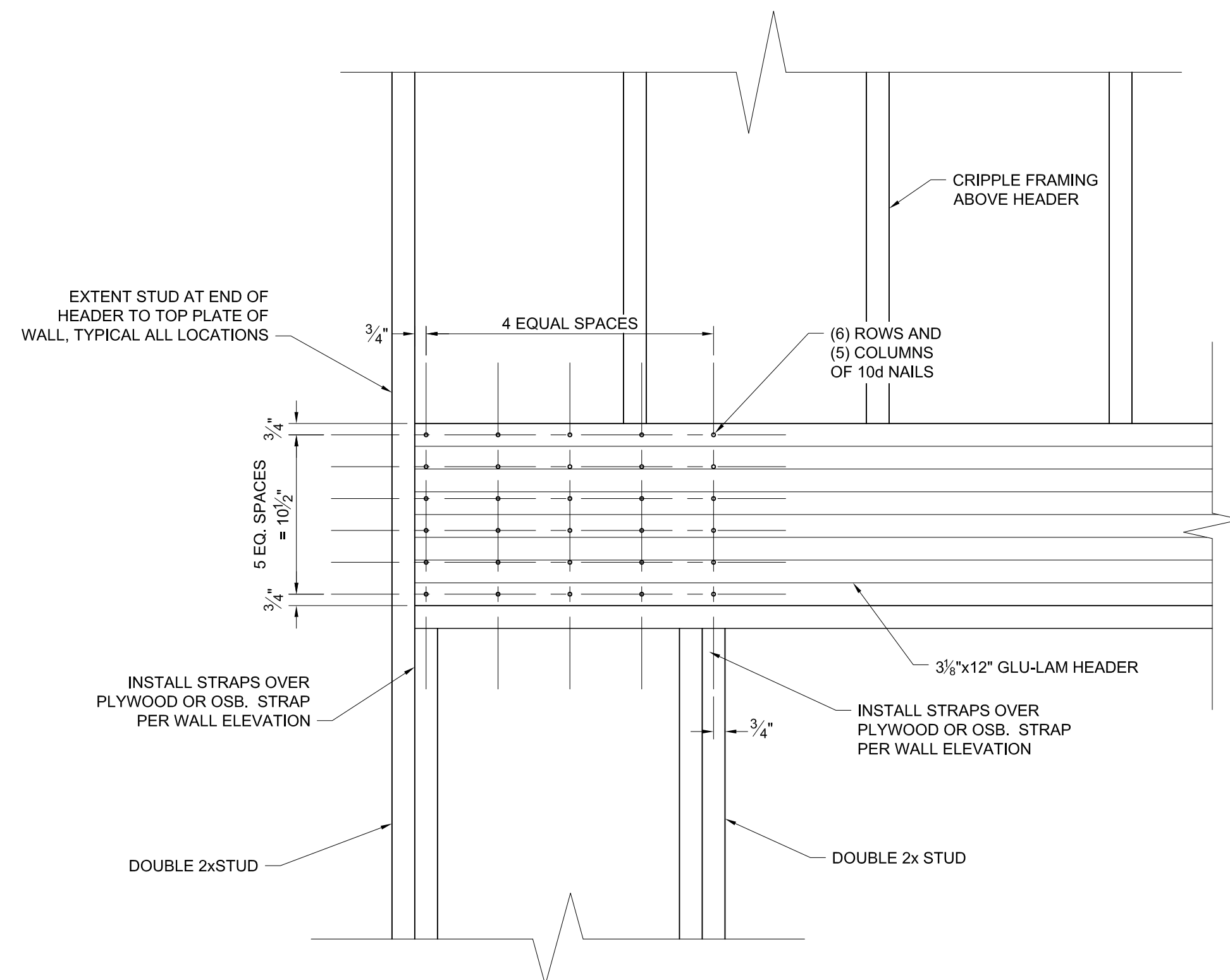
GARAGE POST BASE ATTACHMENT SCALE: 1"=1'-0" @BASE OF GARAGE HEADER SUPPORT POST



4
S4.0

COLUMN CONNECTION DETAIL

SCALE: 1"=1'-0" @ COLUMN BASE



6 PORTAL HEADER NAILING
S4.0 SCALE: 1 1/2"=1'-0" @ ALL PORTAL FRAME LOCATIONS



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
STRUCTURAL DETAILS

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040

SHEET
S4.0