



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: November 23, 2020

Item #: P20-221

Planner: Paul Anthony

Phone: 733-0440 ext. 1303

Email: panthony@jacksonwy.gov

Owner

Atlas Tower
4450 Arapahoe Ave Suite 100
Boulder, Co 80303

Applicant:

Steve Ciolek – Coal Creek Consulting
2166 E. University Dr #201
Tempe, AZ 85281

REQUESTS:

The applicant is submitting a request for a Basic Use Permit to update a wireless tower for the property located at 275 N. Willow Street, legally known as PT. SW1/4SW1/4 SEC. 27, TWP. 41, RNG. 116 (CHURCH).

For questions, please call Paul Anthony at 733-0440, x1303 or email to the address shown below. Thank you.

Please respond by: **December 7, 2020 (Sufficiency)**
December 14, 2020 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:

tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Design Review

Subdivision/Development Option

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification

Amendments to the LDRs

LDR Text Amendment

Map Amendment

Miscellaneous

Other: _____

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title

LETTER OF AUTHORIZATION

ATLAS TOWER 1 LLC, "Owner" whose address is: 275 N Willow
Street, Jackson WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Atlas Tower 1 LLC, as the owner of property
more specifically legally described as: See Attached

(If too lengthy, attach description)

HEREBY AUTHORIZES Steve Ciolek- Coal Creek Consulting on behalf of T-Mobile as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: DIRECTOR OF LEGAL AFFAIRS ATLAS TOWERS

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Colorado

)

COUNTY OF Boulder

)
SS.

The foregoing instrument was acknowledged before me by Michael Powers this 23 day of November, 2023.

WITNESS my hand and official seal.

Cassandra L Reeves

(Seal)

(Notary Public)

My commission expires: December 30, 2024

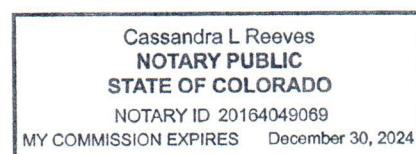


Exhibit 1 to Memorandum of Lease

DESCRIPTION OF LAND

Real property with the following Legal Description:

The land described herein is situated in the State of Wyoming, County of Teton, unincorporated area, and is described as follows:

A portion of the Southwest Quarter of the Southwest Quarter of Section 27, T 41 N, R 116 W, of the 6th P.M., described by metes and bounds as follows:

Beginning at Corner No. 1 (which is 659 feet east and 390 feet north of the Southwest corner of said Section 27);

Thence north 370 feet to Corner No. 2 (which intersects with the First Street of Jackson, Wyoming);

Thence east 227 feet to Corner No. 3;

Thence south 370 feet to Corner No. 4;

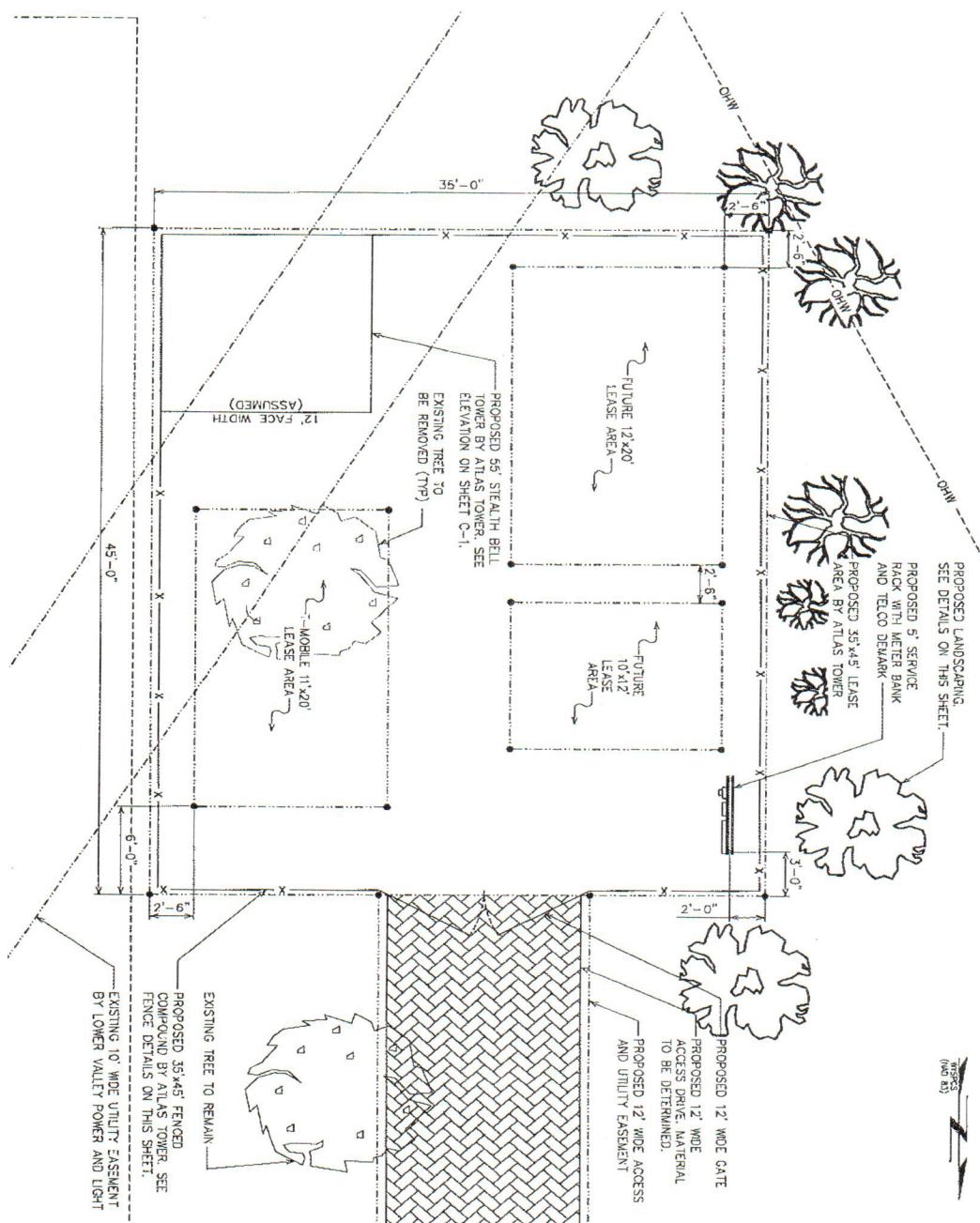
Thence west 227 feet (along the north line of Lots 1, 2, 3, 4 and the east half of Lot 5 of Block 1 of the aforesaid Van Vleck Second Subdivision of Jackson, Wyoming) to Corner No. 1, the place of beginning.

Excepting therefrom that Land described in Book 829 of Photo, page 152-153, recorded on December 21, 2012 in the Office of the Clerk of Teton County, Wyoming.

EXHIBIT 2 to Memorandum of Lease

DESCRIPTION OF PREMISES

The Premises are described and/or depicted as follows (not to scale):



••T••Mobile•

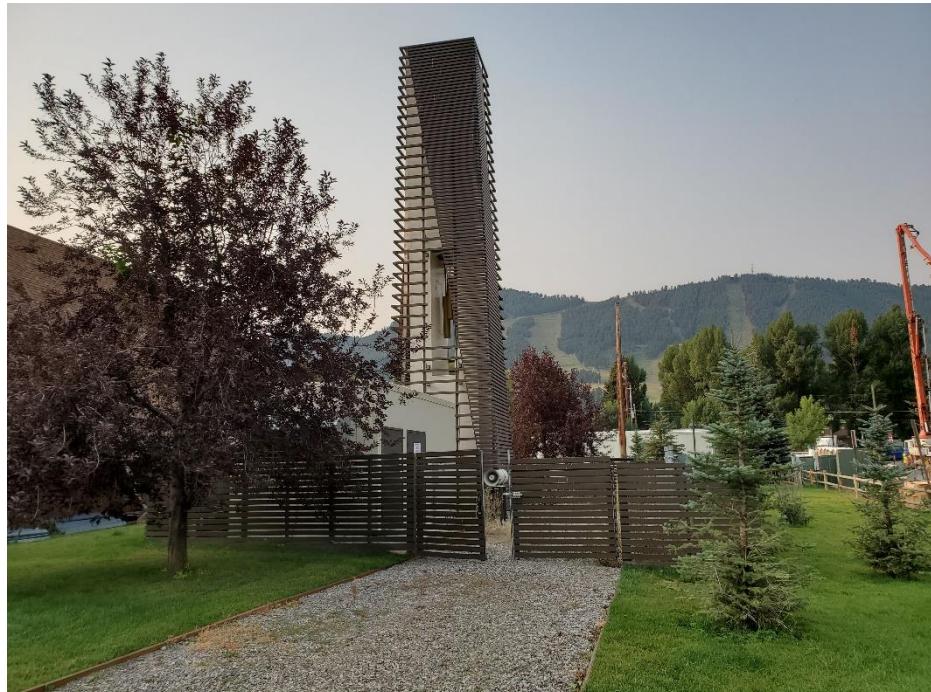
Project Narrative

For

SL01206F_ Jackson Downtown

275 N. Willow Street

Jackson, WY 83001



Submitted by:

Steve Ciolek

Coal Creek Consulting

2166 E University Dr. #201

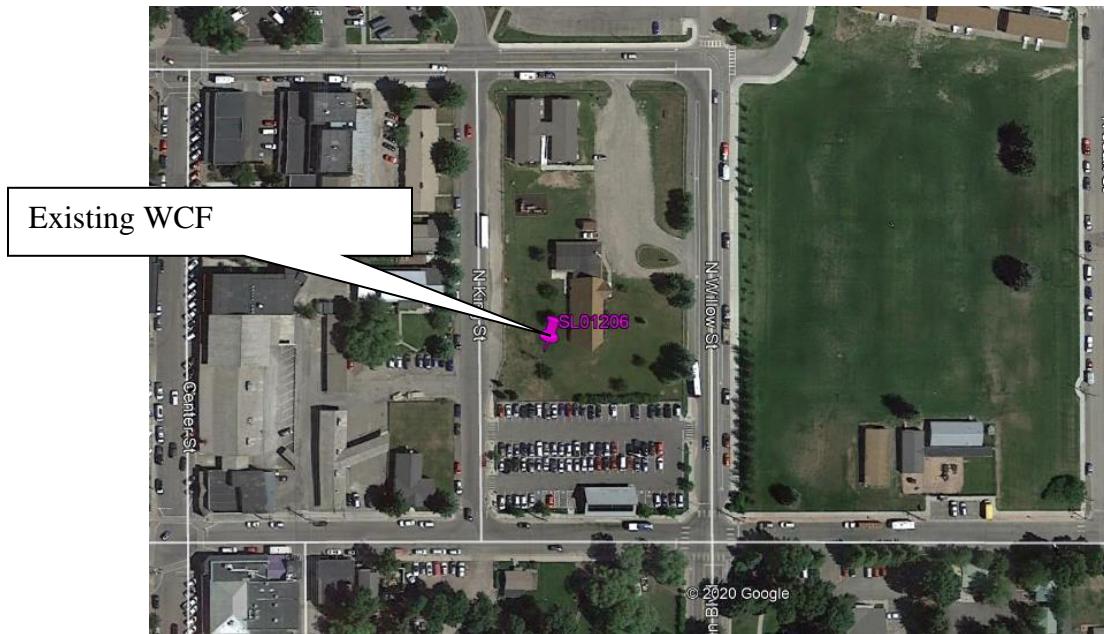
Tempe, AZ 85281

(480) 246-4131

sciolek@coal-creek.com

Existing Conditions

T-Mobile is committed to improving coverage and expanding network capacity to handle the growing wireless demand. T-Mobile would like to upgrade their existing Stealth facility located at 275 N Willow Street.

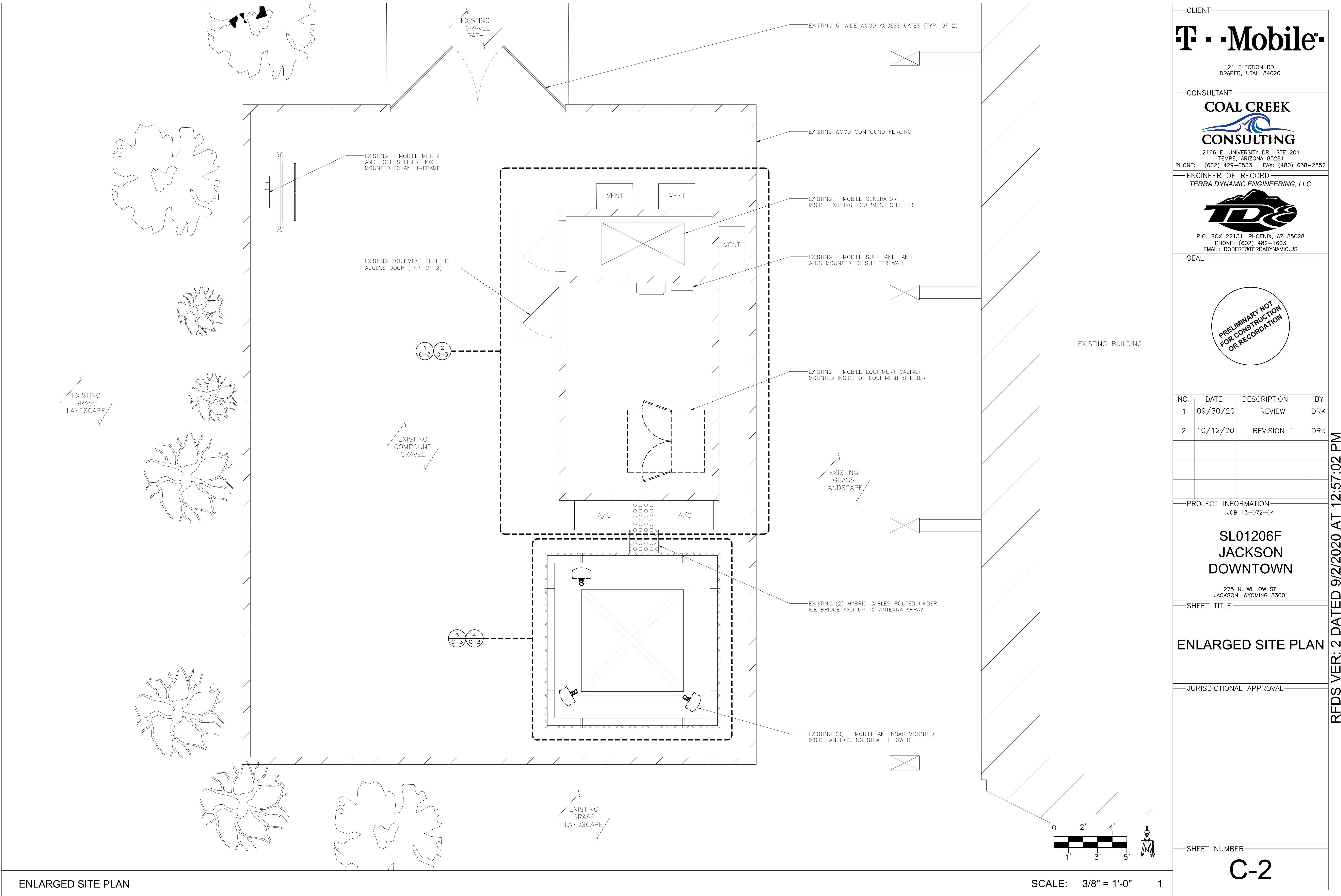


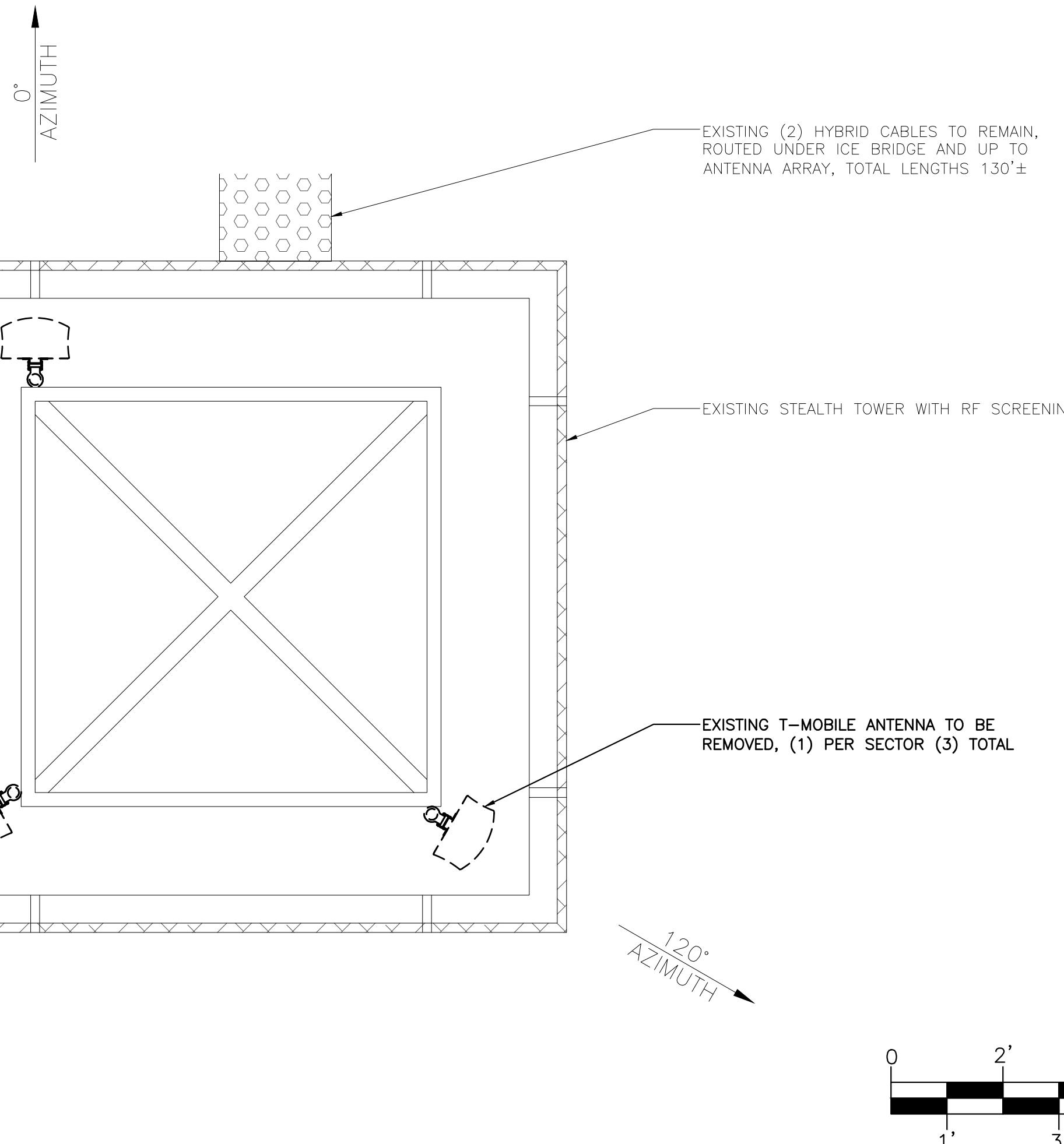
Nature of Request

In response to changes in technology to its wireless services, and its commitment to provide service throughout this area, T-Mobile is requesting approval to remove and replace of three (3) L600 Antennas concealed within the stealth enclosure upon the rooftop. Also included in the scope of work will be removing & replacing the existing cabinet within the shelter and add nine (9) additional radios within the stealth bell tower.

Response to Submittal Checklist

1. Complies with the use specific standards of Division 6.1: Allowed Uses and the zone.
 - A concealed WCF is an allowed use within the DC- Downtown Core Zone
2. Complies with all other relevant standards of these LDRs and all other County Resolutions.
 - The proposed modification will not alter the existing aesthetics of the facility nor will it increase in height. All new equipment will be concealed either within the stealth bell tower or the shelter.
3. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.
 - The proposed modification will remain in conformance with all standards and conditions of previously approved permits.



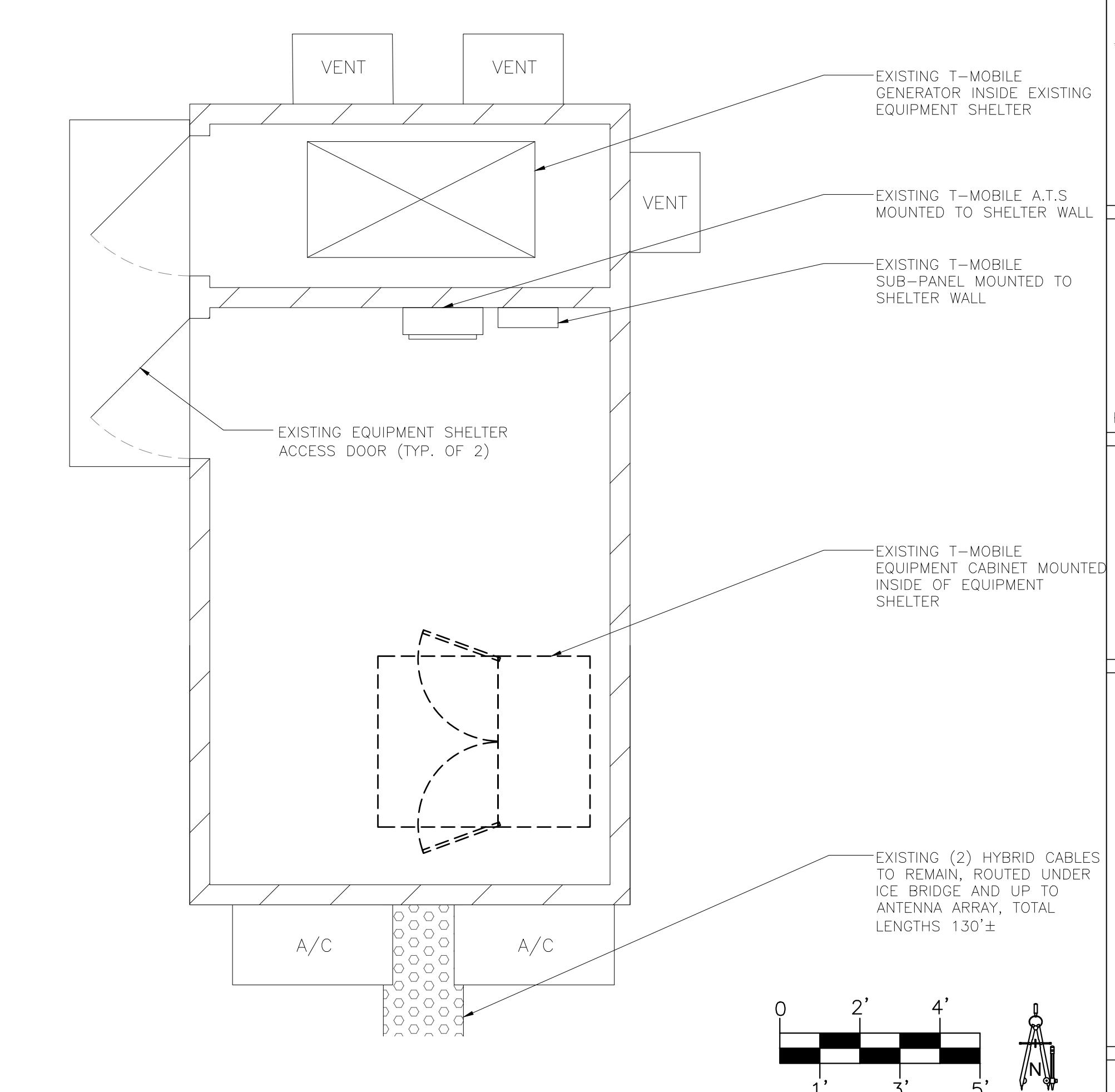


EXISTING ANTENNA PLAN

SCALE: 1/2" = 1'-0" 3

EXISTING EQUIPMENT PLAN

SCALE: 3/8" = 1'-0" 1



NO.	DATE	DESCRIPTION	BY
1	09/30/20	REVIEW	DRK
2	10/12/20	REVISION 1	DRK

PROJECT INFORMATION
JOB: 13-072-04

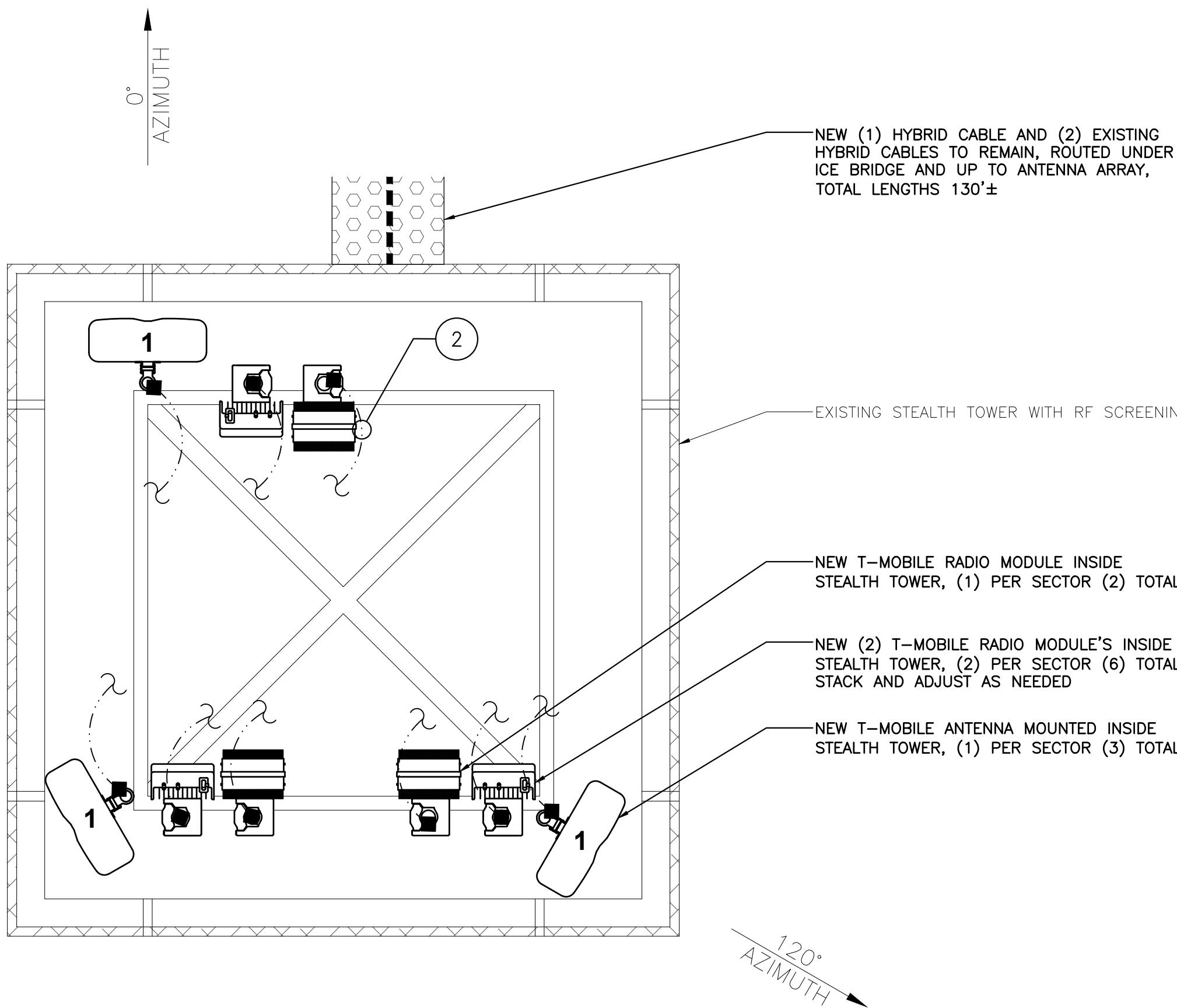
SL01206F
JACKSON
DOWNTOWN

275 N. WILLOW ST.
JACKSON, WYOMING 83001

SHEET TITLE
EXISTING/NEW
EQUIPMENT AND
ANTENNA PLAN

JURISDICTIONAL APPROVAL

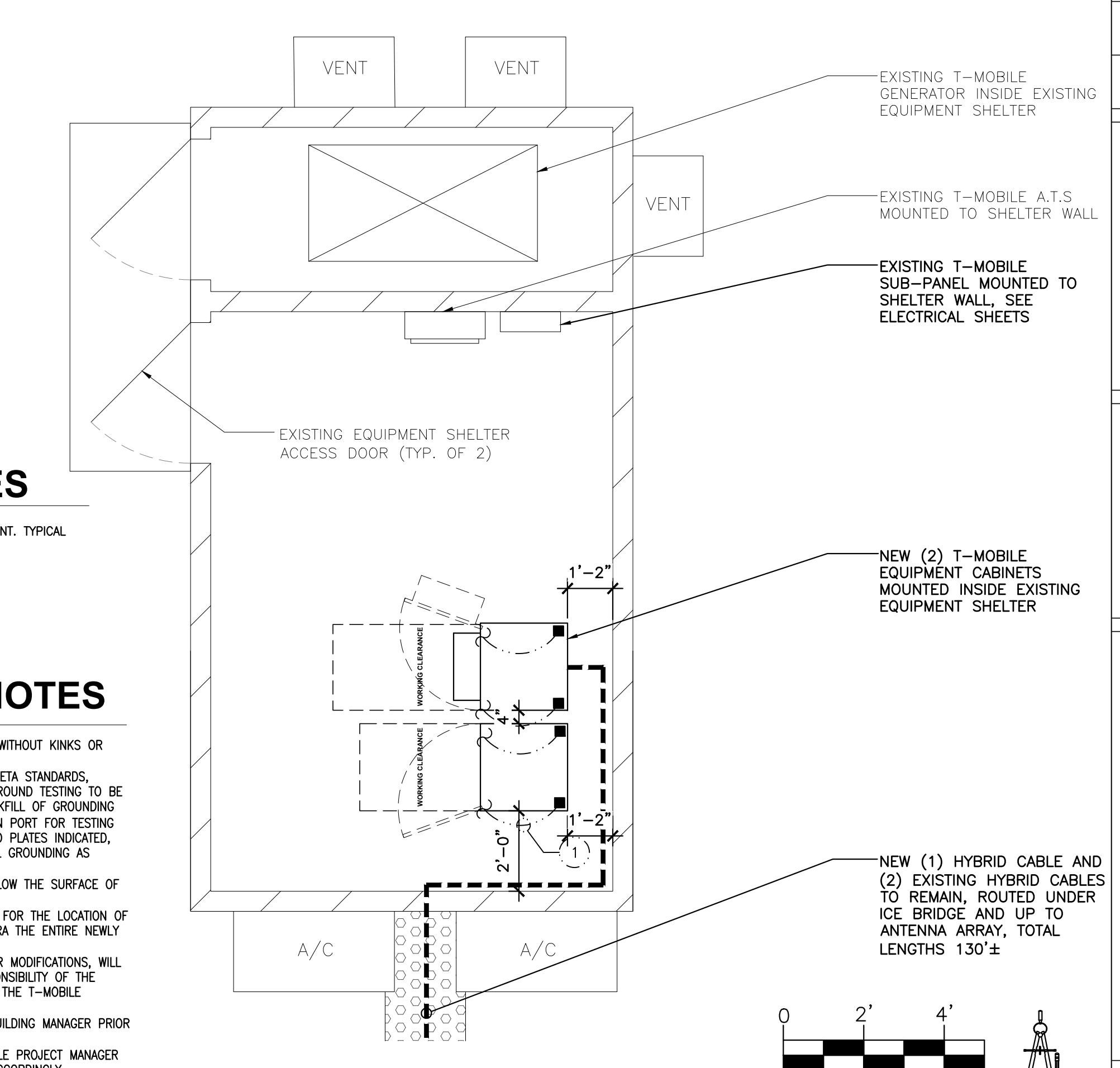
C-3



NEW ANTENNA PLAN

SCALE: 1/2" = 1'-0" 4

NEW EQUIPMENT PLAN



SCALE: 3/8" = 1'-0" 2

GROUNDING KEY NOTES

- ① #2 TBOW, FROM EXISTING EQUIPMENT GROUND RING TO ALL EQUIPMENT, TYPICAL
- ② GROUND TO EXISTING SECTOR GROUND BAR WITH #2 TBOW, TYPICAL

GENERAL GROUNDING NOTES

- 1) ALL GROUNDING LEADS INSTALLED TO ENSURE A SMOOTH PATH TO COUNTERPOISE WITHOUT KINKS OR SHARP BENDS OR RETURN UPWARDS.
- 2) CONTRACTOR WILL UTILIZE THE "FALL OF POTENTIAL MEASUREMENT METHOD" PER NETA STANDARDS, UTILIZING THE AEMC-4500 MEASURING DEVICE OR APPROVED T-MOBILE EQUAL. ALL GROUND TESTING TO BE PERFORMED MORE CLOSERLY TO POWER AND GROUND ANCHOR TO AN BALFRUE OF GROUNDING TERMINAL. ELECTRICAL CONTRACTOR WILL PROVIDE A MINIMUM OF ONE (1) INSPECTION PORT FOR TESTING GROUNDING RESISTANCE. CONTRACTOR WILL INSTALL THE MINIMUM NUMBER OF GROUND PLATES INDICATED, SEE GROUNDING PLAN FOR APPROX. LOCATIONS. CONTRACTOR WILL INSTALL ADDITIONAL GROUNDING AS REQUIRED TO ACHIEVE 5 OHMS OR LESS TO GROUND.
- 3) IT IS THE INTENT THAT AT NO TIME ARE THE GROUND LEADS TO BE INSTALLED BELOW THE SURFACE OF THOSE AREAS DESIGNATED FOR FUTURE DISASSOCIATED PADS OR SHELTERS.
- 4) THE CONTRACTOR WILL DOCUMENT MEGGER TEST RESULTS, REDLINE THE DRAWINGS FOR THE LOCATION OF ALL UNDERGROUND GROUNDING COMPONENTS AND PHOTOGRAPH WITH A DIGITAL CAMERA THE ENTIRE NEWLY INSTALLED GROUNDING SYSTEM.
- 5) ANY EXCEPTIONS TO THIS BASIC GROUNDING DESIGN GUIDELINE, ROUTING DESIGN, OR MODIFICATIONS, WILL BE DOCUMENTED AND DIMENSIONED BY WAY OF RED LINE DRAWINGS. IT IS THE RESPONSIBILITY OF THE SELECTED CONTRACTOR TO ENSURE THE NEWLY INSTALLED GROUNDING SYSTEM MEETS THE T-MOBILE STANDARD OF 5 OHMS OR LESS.
- 6) ELECTRICAL CONTRACTOR SHALL COORDINATE TELCO AND POWER ROUTING WITH BUILDING MANAGER PRIOR TO ROUGH-IN.
- 7) PRIOR TO RUNNING CONDUIT ROUTE – CONTRACTOR SHALL CONTACT THE T-MOBILE PROJECT MANAGER AND VENDOR FOR EQUIPMENT CABINET LAYOUT CONFIGURATION AND ROUTE CONDUITS ACCORDINGLY.
- 8) ALL EXOTHERMIC CONNECTIONS INCLUDING THOSE TO GATE POST, FENCES AND ICE BRIDGE POSTS SHALL BE MADE BELOW GRADE.

PRELIMINARY NOT
FOR CONSTRUCTION
OR RECORDATION

RFDS VER: 2 DATED 9/2/2020 AT 12:57:02 PM

CLIENT
T-Mobile
121 ELECTION RD.
DRAPER, UTAH 84020

CONSULTANT
COAL CREEK
CONSULTING
2166 E. UNIVERSITY DR., STE 201
TEMPE, ARIZONA 85281
PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD
TERRA DYNAMIC ENGINEERING, LLC

P.O. BOX 22131, PHOENIX, AZ 85028
PHONE: (602) 482-1603
EMAIL: ROBERT@TERRADYNAMIC.US

SEAL
PRELIMINARY NOT
FOR CONSTRUCTION
OR RECORDATION

NO.	DATE	DESCRIPTION	BY
1	09/30/20	REVIEW	DRK
2	10/12/20	REVISION 1	DRK

PROJECT INFORMATION
JOB: 13-072-04

SL01206F
JACKSON
DOWNTOWN

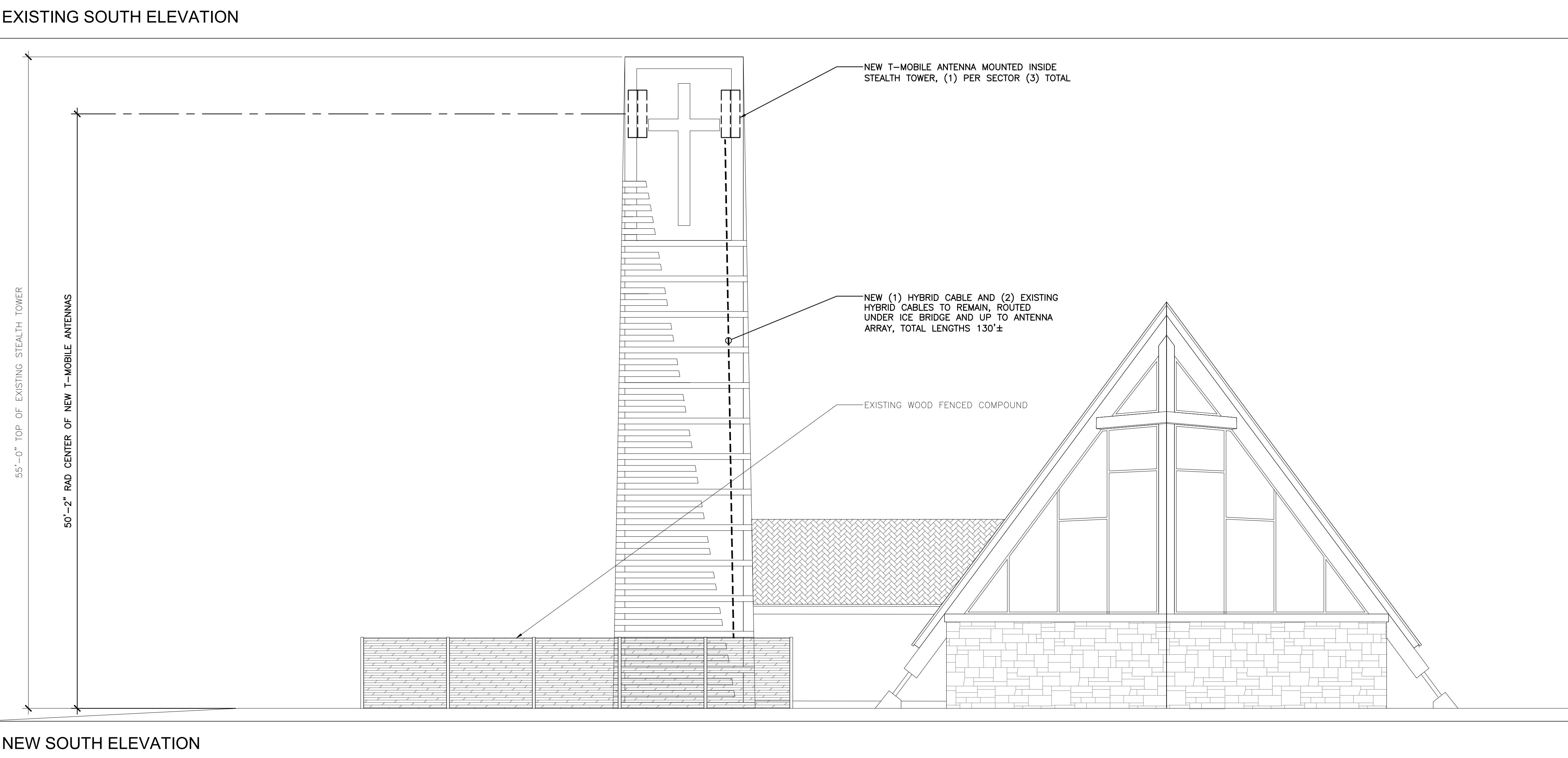
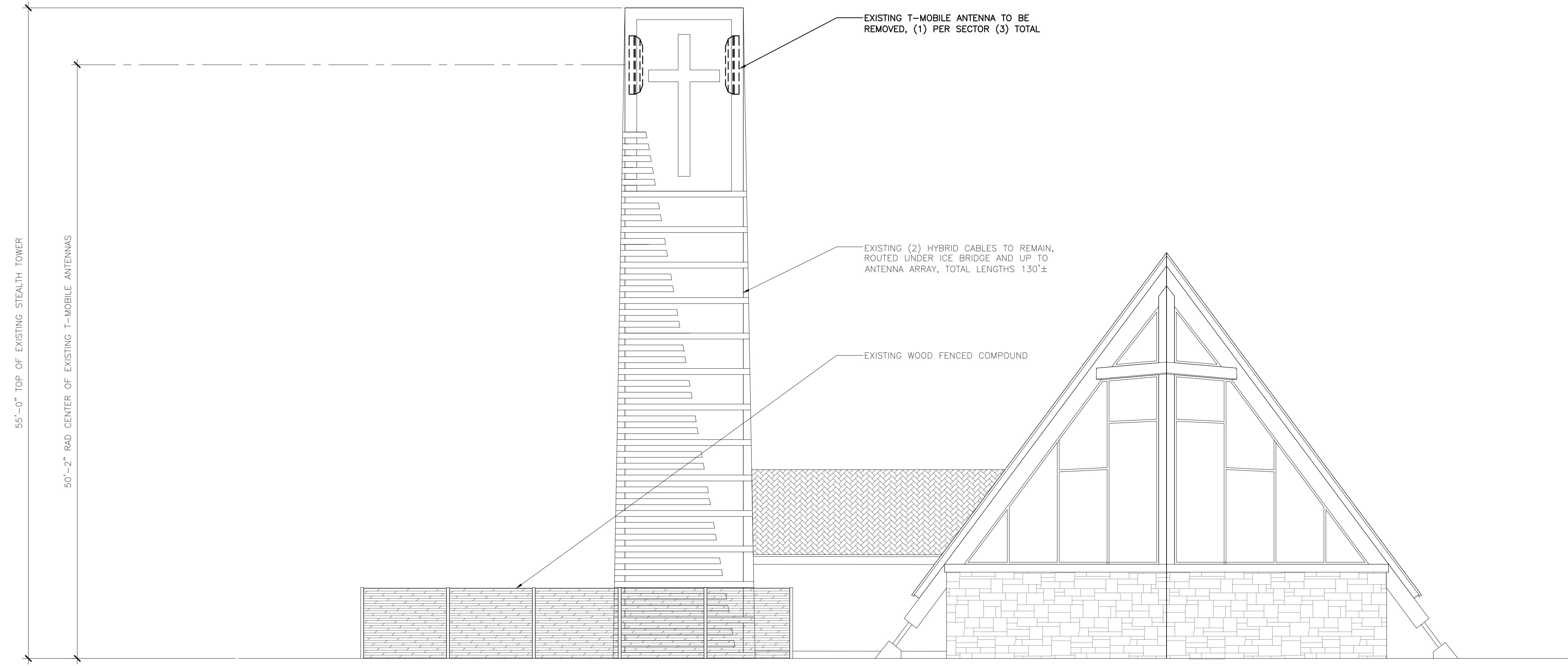
275 N. WILLOW ST.
JACKSON, WYOMING 83001

SHEET TITLE
EXISTING/NEW
ELEVATIONS

JURISDICTIONAL APPROVAL

RFDS VER: 2 DATED 9/2/2020 AT 12:57:02 PM

C-5



CLIENT
T-Mobile
121 ELECTION RD.
DRAPER, UTAH 84020

CONSULTANT
COAL CREEK CONSULTING
2166 E. UNIVERSITY DR., STE 201
TEMPE, ARIZONA 85281
PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD
TERRA DYNAMIC ENGINEERING, LLC

P.O. BOX 22131, PHOENIX, AZ 85028
PHONE: (602) 482-1603
EMAIL: ROBERT@TERRADYNAMIC.US

SEAL



NO.	DATE	DESCRIPTION	BY
1	09/30/20	REVIEW	DRK
2	10/12/20	REVISION 1	DRK

PROJECT INFORMATION
JOB: 13-072-04

SL01206F
JACKSON
DOWNTOWN

275 N. WILLOW ST.
JACKSON, WYOMING 83001

SHEET TITLE

DETAILS

JURISDICTIONAL APPROVAL

SHEET NUMBER

C-6

ANTENNA AND CABLE SCHEDULE										
SECTOR	ANT. POS. #	ANTENNA TYPE	RAD CENTER	AZIMUTH	MECHANICAL DOWN TILT	ELECTRICAL DOWN TILT	CABLE TYPE	# OF LINES	LENGTH	RADIO
ALPHA	1	COMMSCOPE FFHH-65A-R3 (OCTO)	50'±	0°	0	2	6X12 6AWG	1	130±	ERICSSON-4449-B71+B85 ERICSSON-4415-B66A
BETA	1	COMMSCOPE FFHH-65A-R3 (OCTO)	50'±	120°	0	2	6X12 6AWG	1	130±	ERICSSON-4449-B71+B85 ERICSSON-4415-B66A
GAMMA	1	COMMSCOPE FFHH-65A-R3 (OCTO)	50'±	240°	0	2	6X12 6AWG	1	130±	ERICSSON-4449-B71+B85 ERICSSON-4415-B66A

ANTENNA SCHEDULE

SCALE: N.T.S. 1

NOT USED

SCALE: N.T.S. 2

RFDS VER: 2 DATED 9/2/2020 AT 12:57:02 PM