



# TOWN OF JACKSON

## PLANNING & BUILDING

### DEPARTMENT

#### TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Joint Housing Dept

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: November 16, 2020

Item #: P20-215 & 216

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Email: [tvalentine@jacksonwy.gov](mailto:tvalentine@jacksonwy.gov)

**Owner**

Batch Plant, Partners, LLC  
PO Box 689  
Wilson, WY 83014

**Applicant:**

DA Architects – Chris  
PO Box 4615  
Jackson, WY 83001

**REQUESTS:**

The applicant is submitting a request for a PUD and Development Plan Amendment for the properties located at 315, 317, 325, 327 Batch Plant Rd, legally known as 22-41-16-32-1-00-008.04.

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

**Please respond by:** **November 30, 2020 (Sufficiency)**  
**December 7, 2020 (with Comments)**

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:

[tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)



# WESTVIEW - UPPER UNITS

11-11-20

## PLANNING DEPT COMPLIANCE WITH LDRS

### Lot Info

Address:	1255 W Hwy 22
PIDN:	22-41-16-32-1-00-008
Area:	1.1 acres (47,916 s.f.)
Zoning:	PUD-NM-2
Overlays:	NA

Note: Upper Units (subject of this permit amendment) have since been split from the original lot. For PUD/ FAR calculation purposes they are still considered part of the original lot.

### Permit Amendment Narrative:

The purpose of this permit amendment is to increase the depth of one of the upper lots by 6' as well as submit the updated interior layout to the Town of Jackson for approval.

The depth of unit 502 was increased by 6' resulting in an increase of 288 SF habitable area and 144 SF of non-habitable. This increase results in a total FAR SF of 22,325 SF which stays below the original allowable FAR of 0.52 or 22,560 SF. See page A002 & A003 for SF breakdowns and diagrams.

The minimum 25' driveway access has been maintained in front of unit 502. See Page A100.

In addition to this total SF increase this layout of each of the 4 units has been re-designed at the request of the new project owners. The attached drawings contain the original layout and the new proposed layout for comparison. While the exterior windows and doors have been updated, the overall material pallet has not been changed from the original permitted pallet.

There have been no changes made to the lower units that are currently under construction (Units 101 - 404).

### Character & Size of Development - UPDATED

- 2 buildings each with 2 single-family townhomes with attached garages
- 6,965 total habitable s.f. and 3,585 total non-habitable s.f. across the 2 buildings
- 11,172 total s.f. of impervious surface
- New asphalt drive access off of S Batch Plant Rd at NW corner of the property
- New water line to tie into Town water at SE corner, new sewer line to tie into Town sewer along S side, new transformer installed at NW corner, existing overhead power lines to be buried (verify with Civil)

General Standard	LDR Standard	Existing	Proposed
Floor Area Ratio	.52		.51
Landscape Surface Ratio	.55		.43
Height	35'		35'
Front Setback	20'		20'
Side Setback	5'		5'
Rear Setback	24'		24'
Parking Spaces	55		58

#### Proposed Uses

-Building 1 - Residential townhomes (2 Units) 3,625 s.f. Habitable, 1,865 s.f Non-Habitable  
 -Basic Use Permit

-Building 2 - Residential townhomes (2 Units) 3,340 s.f. Habitable, 1,720 s.f. Non-Habitable  
 -Basic Use Permit

#### Pedestrian Frontage

-Minimum landscape furnishing zone of 6'  
 -Minimum 5' detached sidewalk

#### Building Frontage

-Grade level entrance with limited glazing  
 -10'-0" floor to floor heights, 9'-0" ceiling heights  
 -Primary street transparency 394 s.f. (322 s.f. 20% min.)  
 -24'-0" max blank wall area

#### Landscape Plan

-Completed by Dave Weaver Landscape Architect, see sheet L1

#### Housing Mitigation Plan

-See Westview PUD

#### Housing Mitigation Deed Restrictions

-See Westview PUD

#### Design Review Committee

-See Westview PUD

#### All other Development Standards

-See Westview PUD



**PLANNING PERMIT APPLICATION**  
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

***For Office Use Only***

Fees Paid \_\_\_\_\_

Date & Time Received \_\_\_\_\_

Application #s \_\_\_\_\_

***Please note: Applications received after 3 PM will be processed the next business day.***

**PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

**PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner \_\_\_\_\_ Applicant/Agent

**TYPE OF APPLICATION.** Please check all that apply; review the type of application at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning)

**Use Permit**

Basic Use

Conditional Use

Special Use

**Relief from the LDRs**

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

**Physical Development**

Sketch Plan

Development Plan

Design Review

**Subdivision/Development Option**

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

**Interpretations**

Formal Interpretation

Zoning Compliance Verification

**Amendments to the LDRs**

LDR Text Amendment

Map Amendment

**Miscellaneous**

Other: \_\_\_\_\_

Environmental Analysis

**PRE-SUBMITTAL STEPS.** To see if pre-submittal steps apply to you, go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: \_\_\_\_\_ Environmental Analysis #: \_\_\_\_\_  
Original Permit #: D16-085 Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for submittal requirements.

Have you attached the following?

**Application Fee.** Fees are cumulative. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for the fees.

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at [www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF](http://www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF).

**Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) under the relevant application type.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

  
Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title

# LETTER OF AUTHORIZATION

Batch Plant Partners, LLC, "Owner" whose address is: \_\_\_\_\_

PO Box 689, Wilson, WY 83014-0689

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Batch Plant Partners, LLC, as the owner of property

more specifically legally described as: Batch Plant Rd Units

315-327 Batch Plant Road

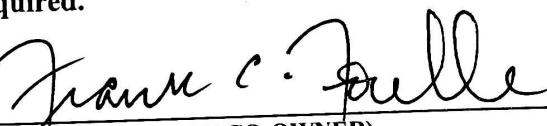
(Formerly known as West View Townhome - Upper Units)

(If too lengthy, attach description) DA Architects

HEREBY AUTHORIZES \_\_\_\_\_ as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

  
(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: MANAGING MEMBER  
(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)  
)SS.

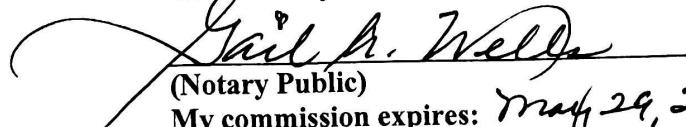
COUNTY OF Teton

)

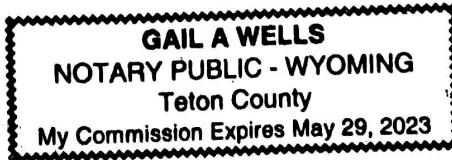
The foregoing instrument was acknowledged before me by Gail A. Wells this 11<sup>th</sup> day of November, 2020.

WITNESS my hand and official seal.

(Seal)

  
(Notary Public)

My commission expires: May 29, 2023









## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20

A002

PROJECT NOTES

## PLANNING NOTES

PROPERTY DESCRIPTION/NAME	WESTVIEW TOWNHOMES
PROPERTY ADDRESS	20 MULTI-FAMILY TOWNHOMES WITH ATTACHED GARAGES 1255 W HIGHWAY 22 JACKSON, WY 83001
PROPERTY OWNER	FSD INVESTMENTS, LLC POB 9879 JACKSON, WY 83002
APPLICANT'S NAME	CHRISTOPHER LEE DESIGN ASSOCIATES ARCHITECTS 50 KING ST, SUITE 201 JACKSON, WY 83001
ZONING	PUD-NM-2
RESOURCE OVERLAYS	N/A
BUILDING OCCUPANCY & USE	R-3 RESIDENTIAL
TYPE OF CONSTRUCTION	V-A
GROSS SITE AREA	1.1 ACRES 47,916 SF
NET SITE AREA	.91 ACRES 43,385 SF
FAR	.51 (22,325 SF) .52 (22,560 SF)
LSR	.43 (20,676 SF) .55 (23,879 SF)
MINIMUM	
SITE DEVELOPMENT ALLOWED	.26 (11,172 SF) .24 (10,496 SF)
SLOPE TO BE DEVELOPED UNITS	<30%
DRIVEWAY	<2%
TERRACES	<2%
SETBACKS	
STREET	20'
REAR	24'
SIDE	5'
HEIGHT OF STRUCTURE ALLOWED	<35' 35'
STORIES ALLOWED	3 3
DENSITY ALLOWED	20 UNITS 20 UNITS
PARKING MINIMUM	40 + 18 GUEST SPACES 40 + 15 GUEST SPACES
GROSS SQUARE FOOTAGE EXISTING	0 SF
2BR UNITS (16 TOTAL) - BUILDINGS 1-4	
HABITABLE ABOVE	960 SF (per unit)
HABITABLE BELOW	0
TOTAL HABITABLE ALLOWED	15,360 SF
NON-HABITABLE ABOVE	480 SF (per unit)
NON-HABITABLE BELOW	0
TOTAL NON-HABITABLE ALLOWED	7,680 SF
PATIOS DECKS	2,336 SF
3BR UNITS (4 TOTAL) - BUILDINGS 5-6	
HABITABLE ABOVE	6,965 SF
HABITABLE BELOW	0
TOTAL HABITABLE ALLOWED	6,965 SF
NON-HABITABLE ABOVE	3,585 SF
NON-HABITABLE BELOW	0
TOTAL NON-HABITABLE ALLOWED	3,585 SF
PATIOS DECKS	1,450 SF
DEVELOPMENT	15,360 SF
TOTAL HABITABLE 2BR	6,965 SF
TOTAL HABITABLE 3BR	22,325 SF
TOTAL NON-HABITABLE ALLOWED	11,265 SF
FENESTRATION CALCULATION GROSS SQUARE FOOTAGE	33,224 SF
FENESTRATION PROPOSED - WINDOWS	2,990
FENESTRATION PROPOSED - DOORS	3,946
TOTAL FENESTRATION	6,936
FENESTRATION ALLOWED (30%)	9,967
NUMBER OF BED/BATH/KITCHEN (EACH UNIT)	2BR - 3BR
EXISTING	0
PROPOSED BEDROOMS	2 - 3
BATHROOMS	1.5 - 2.5
KITCHENS	1 - 1
ICE MELT (EXTERIOR HYDRONIC HEAT)	0 SF

## BUILDING NOTES

### CODES USED:

2018 International Residential Code w/ TOJ Amendments  
2018 International Fire Code w/ TOJ Amendments  
2012 International Energy Conservation Code  
2014 National Electric Code w/ TOJ Amendments  
2018 International Mechanical Code w/ TOJ Amendments  
2018 International Plumbing Code w/ TOJ Amendments

### GENERAL CONSTRUCTION NOTES

- General Contractor is responsible to assure he and all Sub-contractors requiring a license to work in the Town of Jackson have one. All work must comply with the above mentioned Building Codes and additional Resolutions as adopted by the Town of Jackson. Design criteria to meet Town of Jackson standards including:  
Type VA Construction, Seismic Zone D, 93 PSF snow load, 115 MPH/3 sec wind load.
- Slabs below living spaces will be ventilated. Ventilation system will consist of four (4) inch perforated pipe placed around the in of the exterior foundation. The pipe will be placed with holes down and bedded in 4 inches of washed gravel of peat size or larger without fines. The piping will be connected to a solid vertical pipe which will pass through the root; see note 25. A barrier of polyethylene sheeting will be placed over the system and gravel. All laps of sheeting will be at least one foot. The sheeting will be sealed around penetrations and to the foundation walls. A cover of four inches of sand or crushed gravel will then be placed over the sheeting to receive the slab. All cracks in floor slabs, joints where the floor meets the foundation walls and penetration through the basement floor are to be similarly sealed.
- All wood in direct contact with concrete or masonry and within 8" of grade will be pressure treated wood or foundation grade redwood. This will include all sill plates, ledgers and foundation posts.
- 36 inch high protective guardrails are provided for porches or decks more than 30 inches above grade, balconies and open sides of landings. Maximum opening between railings will be less than 4 inches. Guardrails shall be capable of withstanding a 20 pound per linear foot force to the top of the rail.
- Handrails are provided on both sides of the stairway at a height of 34"-38" above the nosing of treads and landings. Handrails will be continuous the full length of the stairs. Ends are returned or terminate in safety terminals. Handrails projecting from the wall have a space of not less than 1-1/2 inches between the wall and the handrail and extend minimum 11-1/2" beyond last tread.
- The handgrip portion of handrails is not less than 1-1/4 inches nor more than 2-inches in cross-sectional dimension. The handgrip portion of handrails has no sharp corners.
- The electric fireplace appliance installations will conform to all manufacturers recommendations for clearances. Provide firestopper per IRC.
- There is no gas for this project.
- There are no gas fuel appliances (fireplace) proposed in this project.
- All bathrooms have mechanical exhaust fans. Such exhaust fans shall be capable of providing 5 air changes per hour and ducted to outside air. See mechanical drawings for system design.
- Ducts used for bathroom venting shall be constructed of rigid metal having smooth interior surfaces with male joints running in the direction of the airflow.
- All mechanical and plumbing shall conform to the 2018 International Residential Code and 2018 International Plumbing Codes respectively as amended by the Town of Jackson Building Department. HVAC systems to be designed and loads calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances. All ventilation and air exchanger loads to be calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances. Duct construction and installation methods as well as penetrations through fire resistance rated assemblies including shaft, fire dampers and/or smoke damper locations shall be installed as req.
- All electrical shall conform to the 2014 National Electric Code as amended by the Town of Jackson Building Department. Electrical systems to be designed and loads calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances.
- Drainage systems located under slab or permanently non-accessible, shall be tested prior to backfill and placement of slab. Test may be by water or air. If by water, all portions of the system being tested shall be tightly closed and the system filled with water to a point at least 10 feet above the lowest point of the system. If by air, all portions of the system being tested shall be tightly closed and the system shall be pressurized to a uniform pressure of not less than 5 pounds per square inch (10 inches of mercury column) amended in either case, all piping shall be fully supported by earth and shaded leaving the top of all fittings and pipe exposed for inspection. Mounding of long runs of piping at intervals of not less than 5 feet is acceptable.
- Ufer grounding system (as per NEC Art. 250-81 (c)); grounding conductor shall be attached to a single driven ground rod; secondary grounding protection shall also be made to metallic water system. Services of 200 Amps or less shall be a minimum of No. 4 bare copper wire connected to footing steel with an approved grounding clamp. Services larger than 200 Amps shall be sized in accordance with Table 250-66 and consist of a minimum of twenty feet of bare copper wire suspended in the footings with enough additional wire to ground to the panel without splice.
- GFCI protection outlets for the following locations:
  - bathrooms;
  - kitchens and coffee bar sinks for all countertop outlets and island counters;
  - garages, for all non-dedicated outlets within 8 feet of the finished floor;
  - crawl spaces; and
  - exterior outlets.
- Smoke alarms are provided in all the required locations, see Electrical Sheets for locations. These alarms will be part of the security system contract and will meet all requirements called for in the building code.
- Electrical panels or sub panels will not be installed in the following locations:
  - in any closet;
  - In any one or two-hour fire-rated wall assembly; or
  - behind any door, unless the door is lockable from the panel side for service.
- All branch circuits feeding outlets in bedrooms will be protected by arc-fault devices. This includes lighting and hard-wired smoke detectors.
- Exterior lighting will have total cutoff of light at an angle of less than 90 degrees and be located so that a bare light bulb, lamp, or light source is completely shielded from direct view from a vantage point five feet above the ground at a perimeter of the lighted area. The light, furthermore, will be contained entirely on-site. The maximum permitted mounting height of the luminaries or fixture is 15 feet. All common stairwell areas to have automatic lighting controls with sensors to control lights when sufficient daylight is available and lighting shall be reduced by at least 30% at 12:00am.
- Recessed lighting fixtures will not be installed in insulated ceilings unless there is adequate opportunity to maintain the insulation of the envelope.
- Insulation will meet or exceed the Town required minimums and the 2012 IEC for CZ 7, which are as follows:

Ceilings/Roofs	R-49
Wood Frame Walls	R-20+5 or 13+10 <sup>1</sup>
Floors Over Unheated Crawl Space	R-38
Basement and Crawlspace Walls	R-15/19 <sup>2</sup>
Slab on Grade (perimeter to two feet outside exterior walls)	R-10 - 4' min. <sup>3</sup>

## BUILDING NOTES

This Project will have:\*

Ceilings/Roofs	12' EPS	R-49
Walls	7 3/8' EPS	R-32 + 5 <sup>2</sup>
Floors	12' FBI	R-42
Foundation Walls	2 1/2' RFI	R-12.5
Slabs	3' RH	R-15 - 4' min. <sup>3</sup>

<sup>1</sup> 20+5 means R20 cavity + R5 continuous.

<sup>2</sup> R15/19 means R-15 continuous or R-19 cavity

<sup>3</sup> R-10 - 4 min. means R-10 for 4' in from exterior minimum.

### Insulation R-Values Used:

CCSPFI - Closed Cell Sprayed Polyurethane Foam Insulation	R-6.5/IN
EPS - Expanded Polystyrene	R-4.0/IN
FBI - Fiberglass Batt Insulation	R-3.5/IN
RFI - Rigid Foam Insulation	R-5.0/IN

All windows are NFRC certified - U.32 or better.

\* Or better if better products are available.

- All windows have a maximum U- value of U-.32 (Low E windows). Windows will clearly indicate this value or appropriate documentation will be available.
- All exterior doors, with the exception of the main entry, will have a minimum U- value of U-.32 (metal insulated doors or equal) amended. Appropriate documentation will be available.
- Radon venting is not necessary for this project.

Roof covering will be Class B or better, the ventilation of the airspace is to be fire stopped.

Firewood will not be stored on the decks or under the roof overhangs.

There is no LPG container proposed in this project.

The underside of all floors, beams, columns and supporting walls are protected as required for exterior 30 min to 2 hr fire resistance rated construction - 2 layers 5/8" type X GWB taped and sealed per 1 hr assembly.

No individual vent opening will exceed 144 sq. inches. Each will have a noncombustible corrosion resistance mesh w/ openings no greater than  $\frac{1}{4}$ ".

The Residence Address is located on the drive entrance side of the building.

All Structural Design Load Criteria are called out in Structural Sheets.

All Attic accesses are sized and located on the Architectural Sheets.

This project is NOT in the Wildland-Urban Interface.

This property is NOT within the FEMA Special Flood Hazard Area.

This project may not be subject to relatively high ground water.

This project will NOT be equipped with an automatic fire suppression system (sprinklers).

This project will use radiant heating (including garages) to be designed by installer. See Mech drawings for specs.

All Mechanical Equipment to have a minimum 30' x 30' access and clear path of unit access for maintenance. See Mech drawings for equipment locations.

Mechanical Contractor to provide HRV for Whole House Ventilation System per IRC.

All Baths to have exhaust fans, 80 - 100 CFM, Broan or Panasonic OAE.

Contractor to provide EPS MUA 950, 22KW at Kitchen Hood. Mechanical Contractor to provide MAU for Kitchen Hood apx. equal in size to hood exhaust per IRC 1503.4

Connection to water supply is to be protected by the use of back flow devices. Back flow devices to be as follows: Double for irrigation, Dual for Domestic, Reduced Pressure for Fire Suppression. Valves to be located by Plumbing Contractor in accord w/ 2018 IRC.

All plumbing to meet seismic requirements of the 2015 IRC, 2801.7. Water heaters to be installed per manufacturer's instructic and loads calculated by installer. All hot water piping to be insulated for full length of run.

All plumbing fixture specs including identification of the applicable referenced quality control standards and the maximum flow rates for the plumbing fixtures to be provided by the installer.

This building has no ejectors or sumps.

There are no concealed slip joints in this project.

Landscaping shall conform with Division 5.5 of the Teton County LDRs.

Metal flashing shall be installed, including but not limited to, all windows, exterior doors, masonry intersecting with framing, above projecting trim and where exterior walls are intersected by roofs or decks.

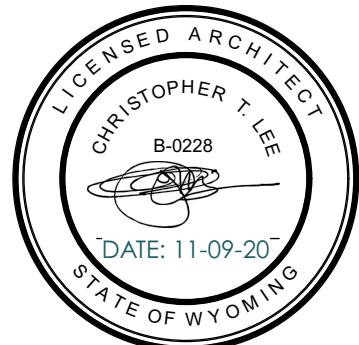
All vents for dryer, kitchen and bath fans are to comply with applicable rated exterior wall assembly per IRC requirements.

Plumbing piping to be ABS with 3M Fire Barrier PPD3 (o.a.e.) fire collars and caulk at penetrations per IRC where necessary.

PERMIT AMENDMENT  
11-9-20

A002

PROJECT NOTES



## BATCH PLANT RD UNITS

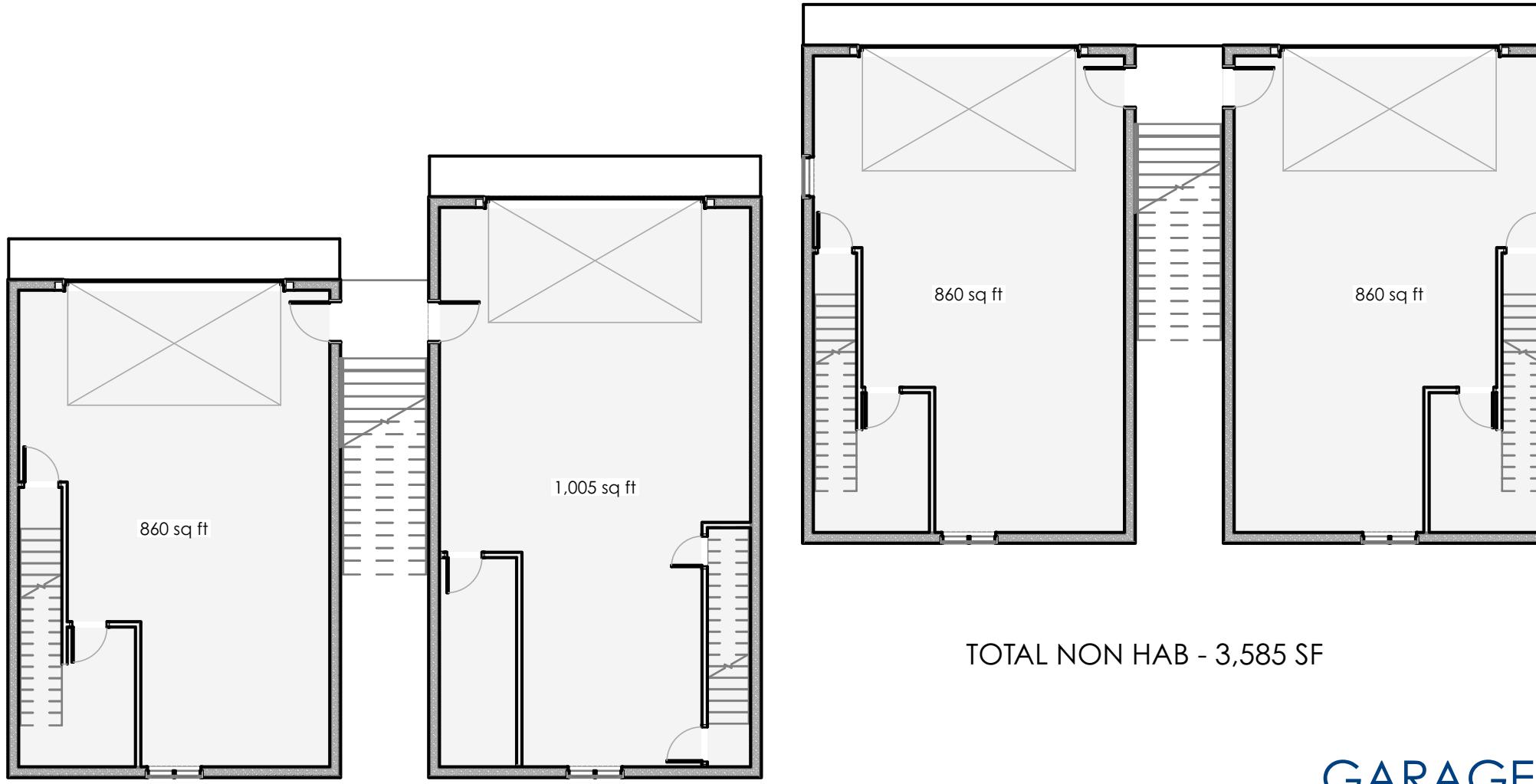
315 - 327 BATCH PLANT ROAD  
JACKSON, WY

A003

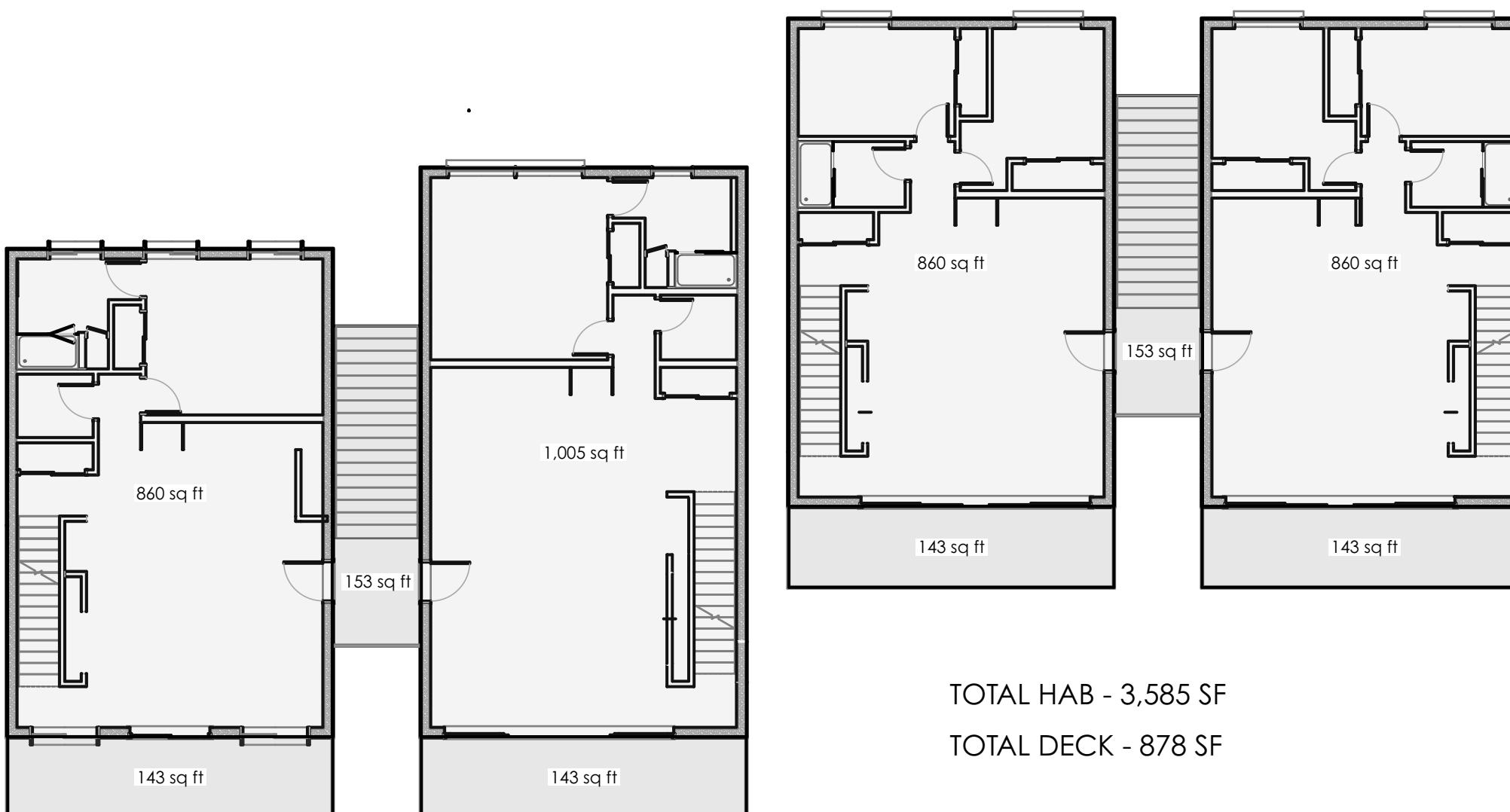
SF DIAGRAM



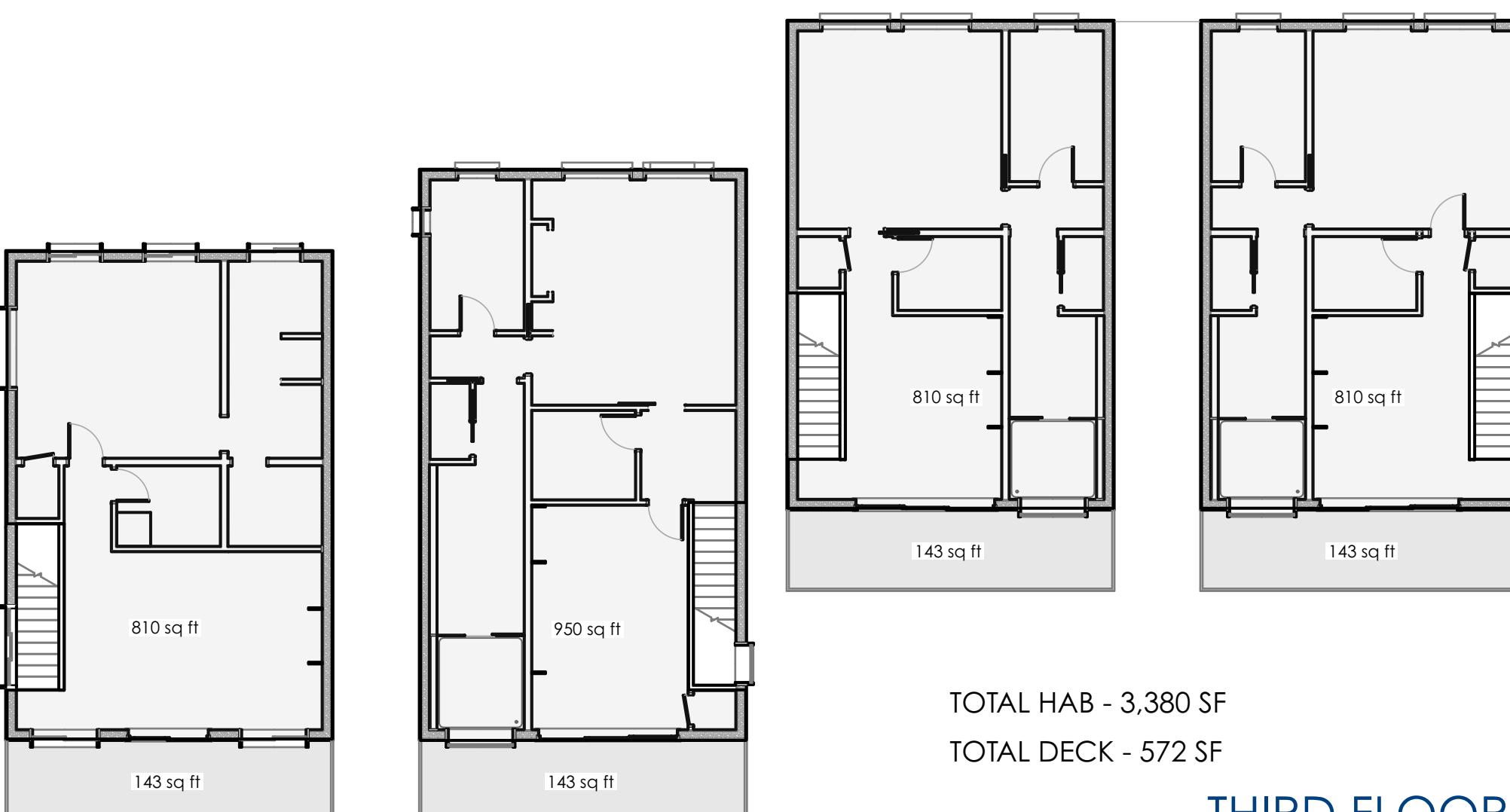
SITE SF DIAGRAM



GARAGE SF



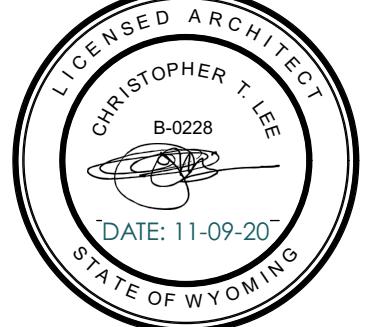
SECOND FLOOR SF



THIRD FLOOR SF

PERMIT AMENDMENT  
11-9-20

ISSUE	DATE
1 PRELIMINARY 14-1-20 CHANGES 2 PERMIT	2/24/20 2/28/20
3 PERMIT ADDENDUM I	10-7-20
4 PERMIT ADDENDUM II	10-14-20
5 PERMIT ADDENDUM III	11-9-20



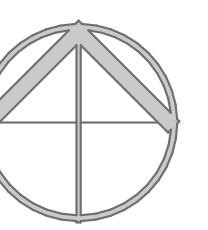
## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20



**SITE NOTES:**  
 1. BUILDINGS 1-4 ARE THE 2BR UNITS  
 BUILDINGS 5-6 ARE THE 3BR UNITS  
 2. SEE CIVIL DRAWINGS FOR GRADING  
 & UTILITIES.  
 3. SEE LANDSCAPE DRAWINGS FOR  
 LANDSCAPE DESIGN.



**SITE PLAN**  
SCALE: 1" = 20'

**SITE PLAN**



ISSUE HISTORY		
SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

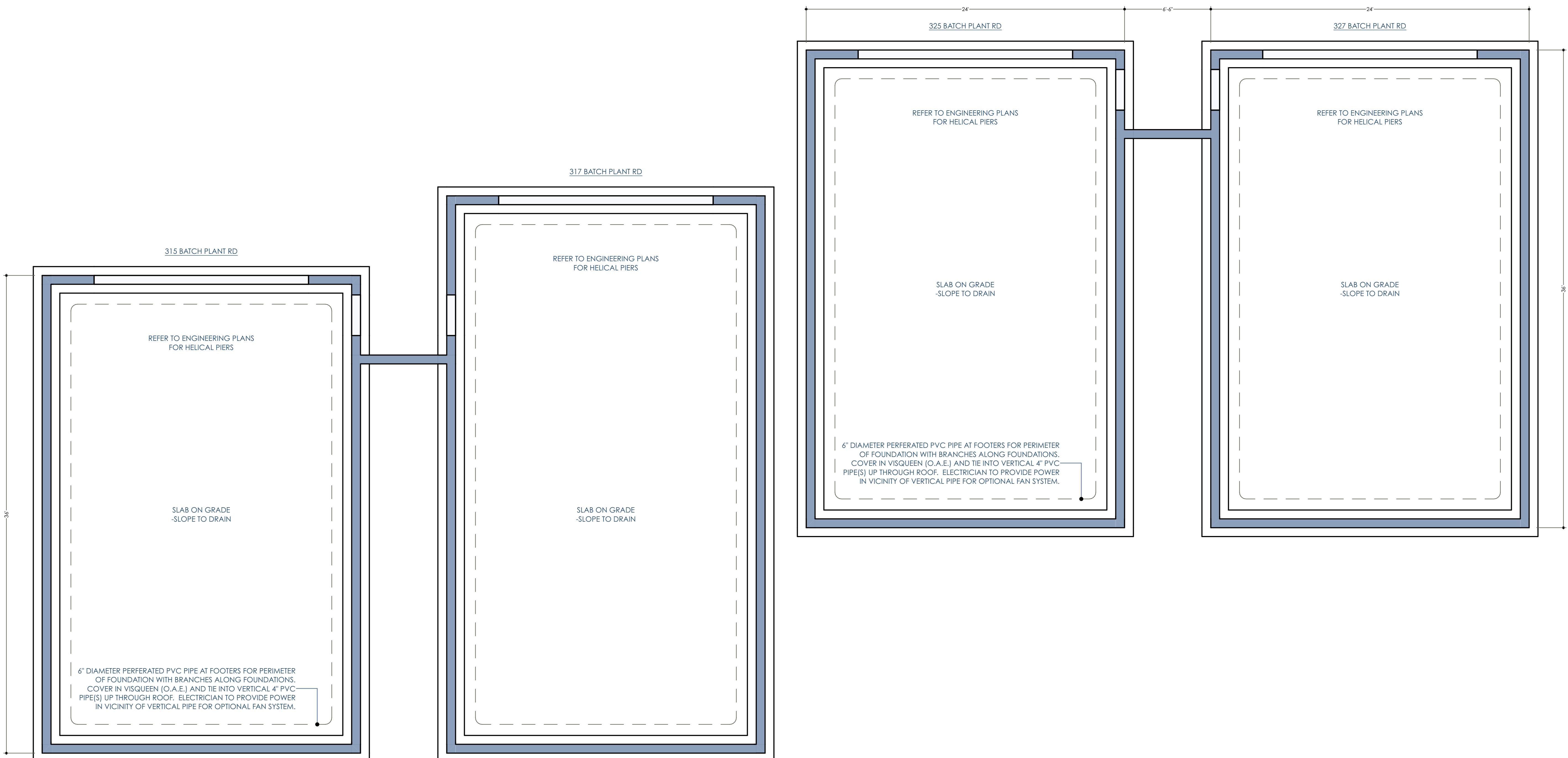
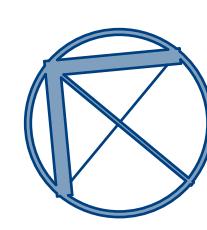
PERMIT AMENDMENT  
11-9-20

A200

PLAN

SCALE: 1/4" = 1'-0"

BASEMENT PLAN



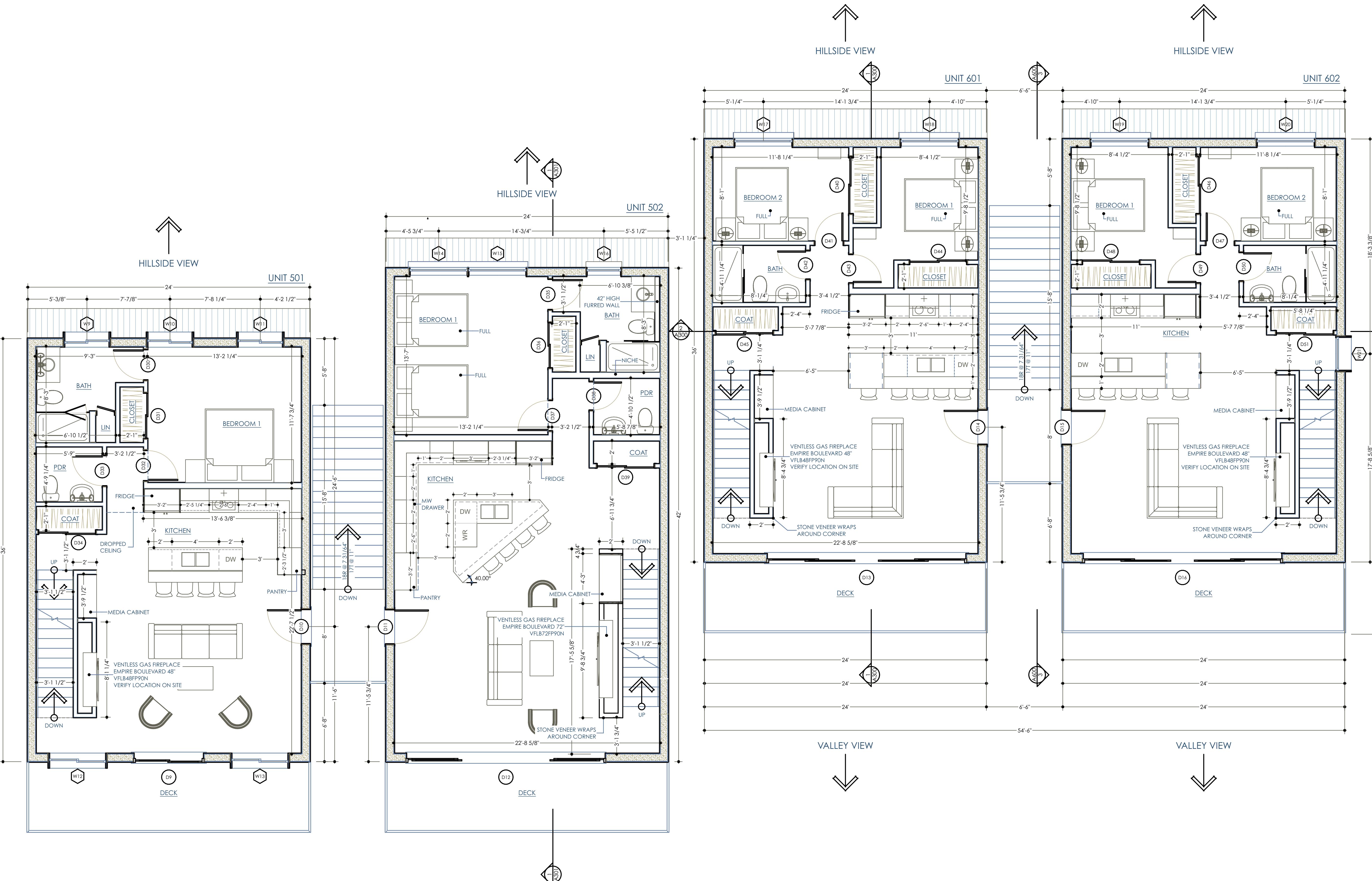
PLAN

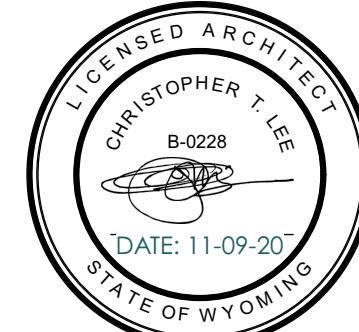




## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY





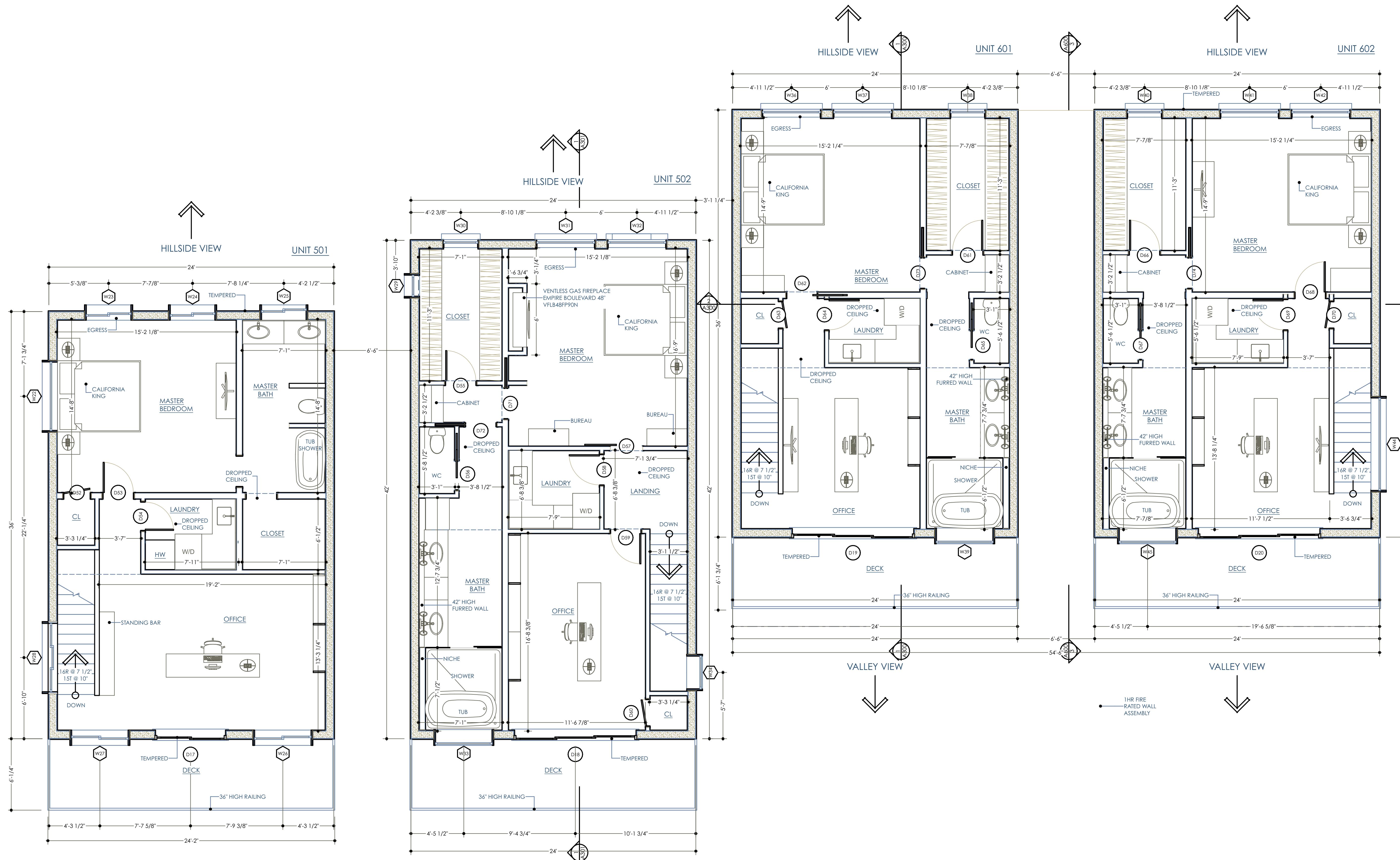
## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20

A203

PLAN



THIRD FLOOR PLAN

1/4" = 1'-0"



SIGN ASSOCIATES ARCHITECTS  
5 KING ST, STE 201 JACKSON WY 83001  
307 733 3600

PROJECT NO.: 20-07 ARCHITECT: CTL  
2020 DESIGN ASSOCIATES ARCHITECTS

NSED ARCH

LICENS NITEC  
TOPHER

BRISTOL T. L. C. T.

CH B-0228 EEE

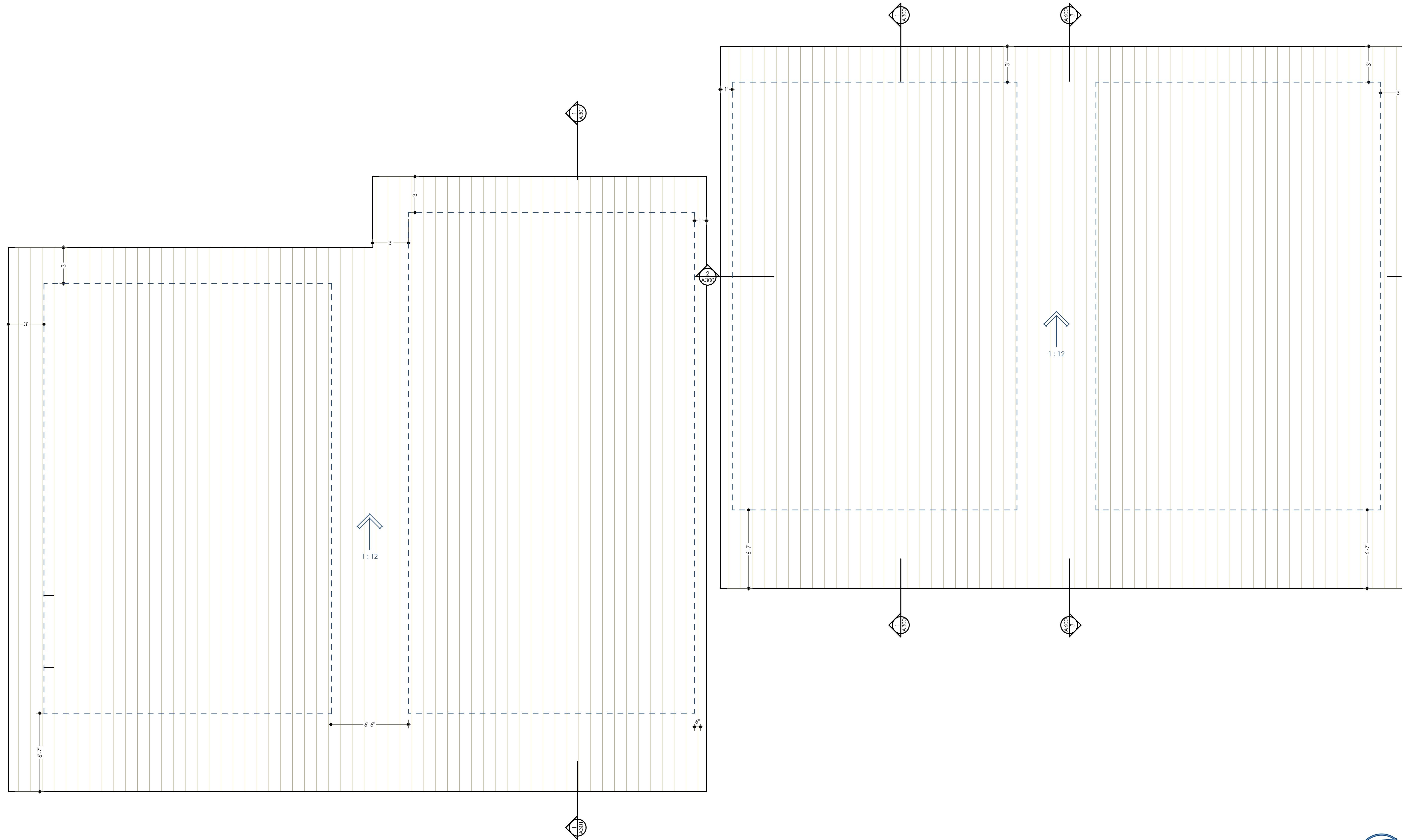
## TRUE HISTORY

NO.	ISSUE	DATE
	PRELIMINARY	2-26-20
	PERMIT	4-30-20
	PERMIT ADDENDUM I	10-7-20
	PERMIT ADDENDUM II	10-14-20
	PERMIT ADDENDUM III	11-9-20

# BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

**A204**



# ROOF PLAN

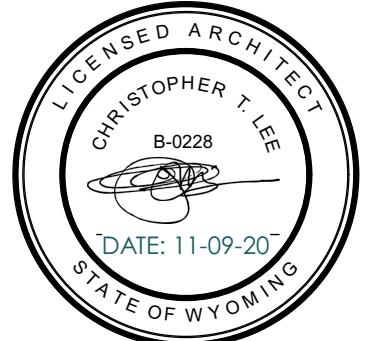
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



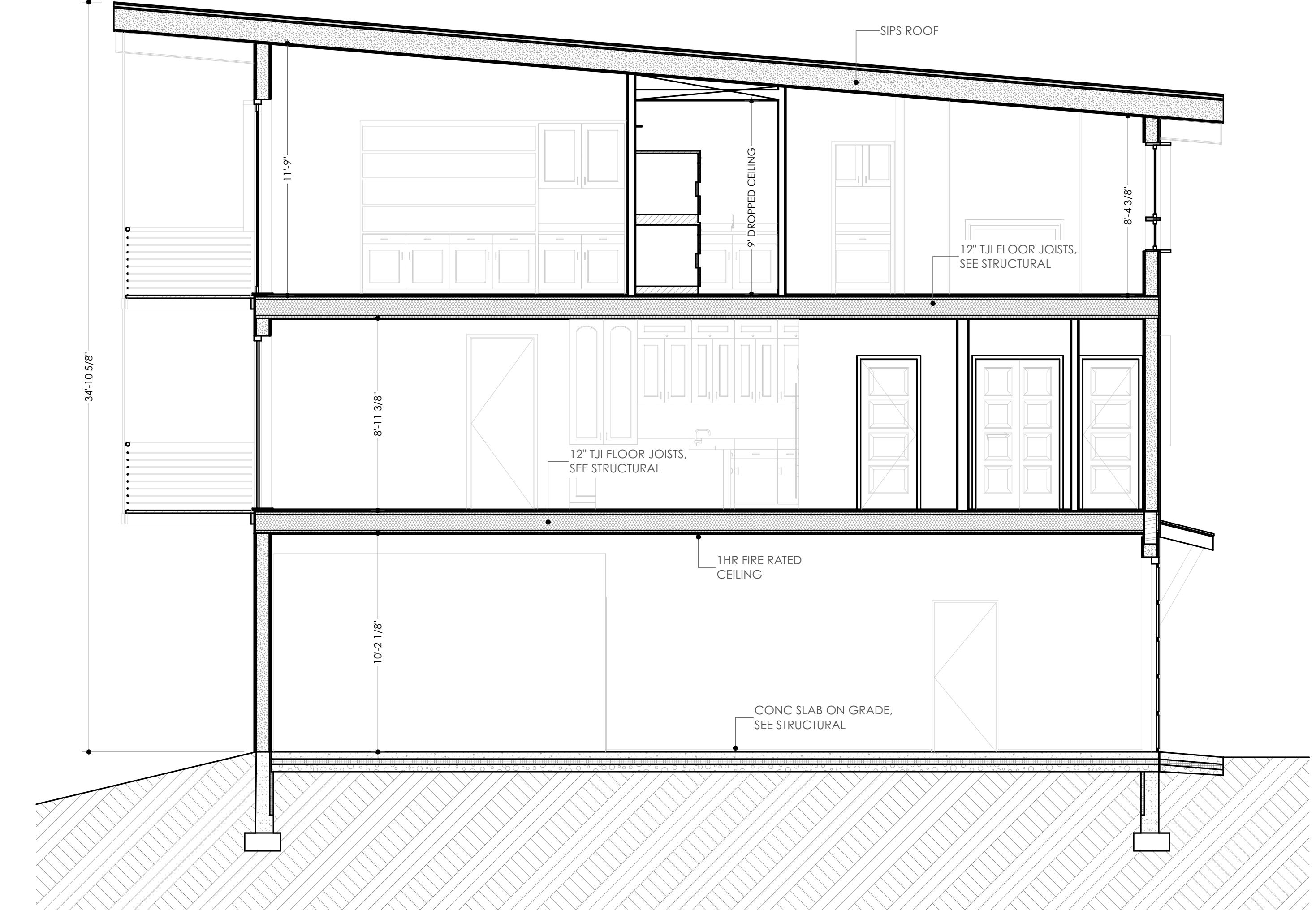
## PLAN





## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY



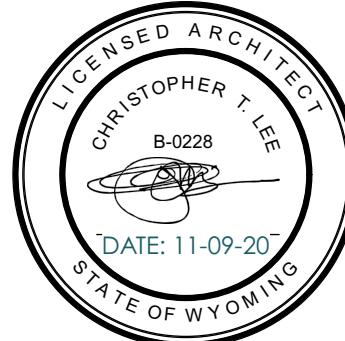
SECTION  
A301

SCALE: 1/4" = 1'-0"

A301

SECTIONS

PERMIT AMENDMENT  
11-9-20



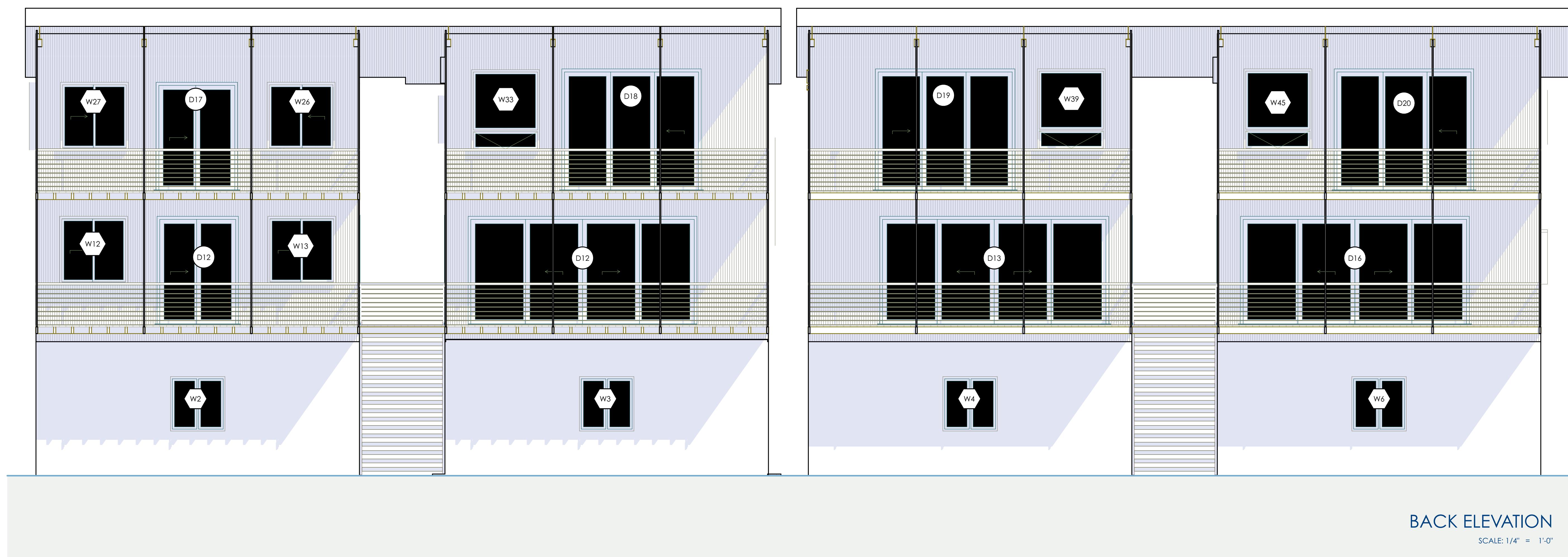
## BATCH PLANT RD UNITS

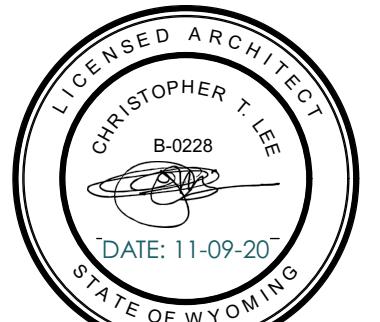
315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20

A400

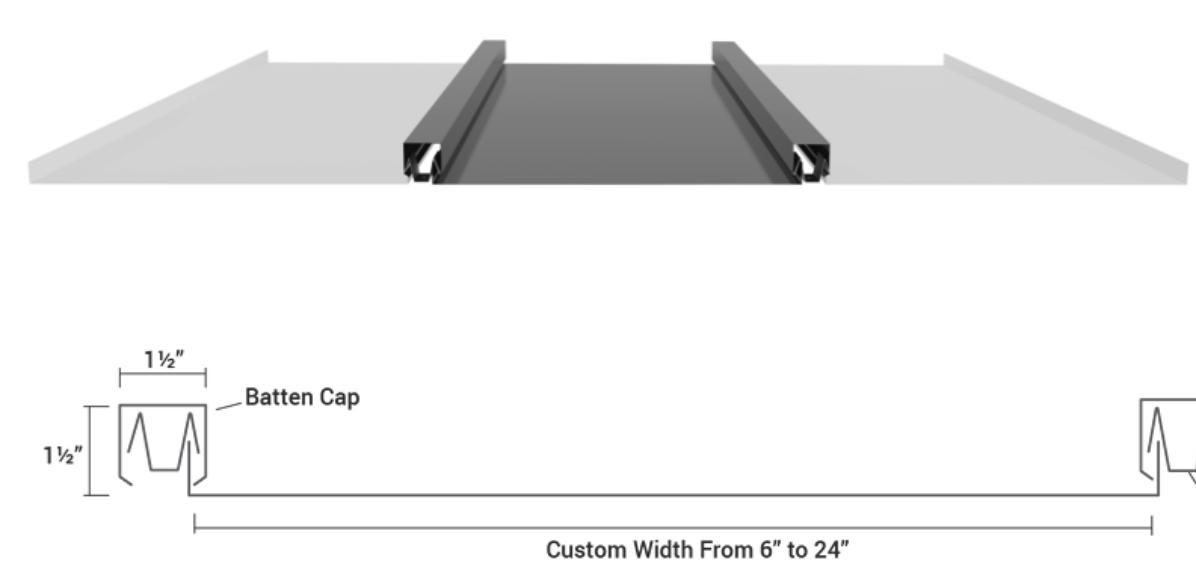
ELEVATIONS



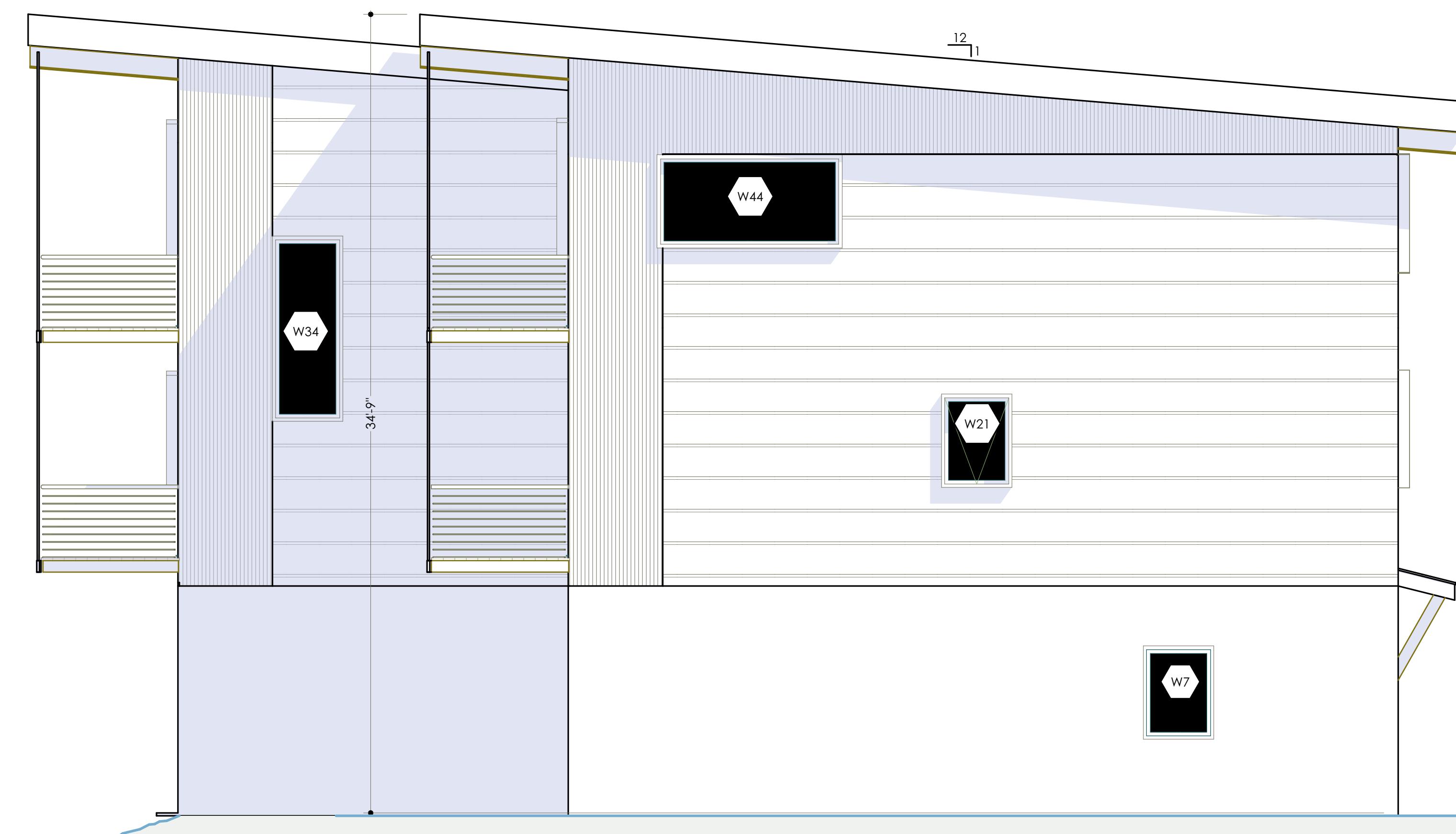


ISSUE HISTORY		
SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

Horizontal Metal Siding

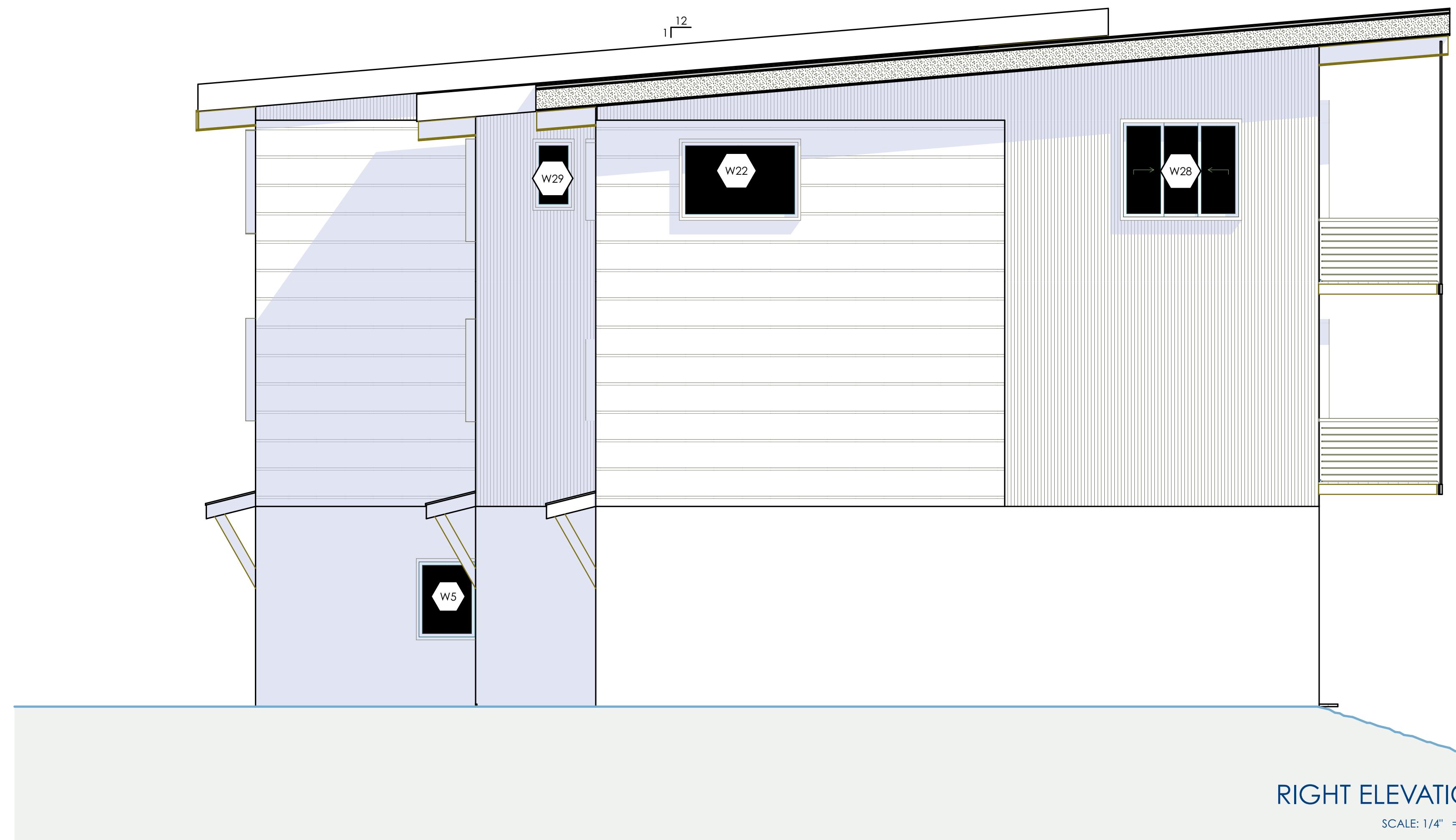


Vertical Metal Siding



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

## BATCH PLANT RD UNITS

3115 - 3227 BATCH PLANT ROAD  
JACKSON, WYPERMIT AMENDMENT  
11-9-20

A401

ELEVATIONS



## WINDOW SCHEDULE

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HARDWARE	NOTES	SURFACE AREA
W2		4'x4'		4'-3/4"x4'-3/4"			7'-4 3/4"	16.504
W3		4'x4'		4'-3/4"x4'-3/4"			7'-4 3/4"	16.504
W4		4'x4'		4'-3/4"x4'-3/4"			7'-4 3/4"	16.504
W5		3'x4'		3'-3/4"x4'-3/4"			7'-4 3/4"	12.441
W6		4'x4'		4'-3/4"x4'-3/4"			7'-4 3/4"	16.504
W7		3'x4'		3'-3/4"x4'-3/4"			7'-4 3/4"	12.441
W9		4'x4'		4'-3/4"x4'-3/4"			7'-1 1/2"	16.504
W10		4'x4'		4'-3/4"x4'-3/4"			7'-1 1/2"	16.504
W11		4'x4'		4'-3/4"x4'-3/4"			7'-1 1/2"	16.504
W12		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W13		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W14		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W15		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W16		3'x5'		3'-3/4"x5'-3/4"			8'-1 1/2"	15.504
W17		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W18		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W19		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W20		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W21		3'x4'		3'-3/4"x4'-3/4"			7'-1 1/2"	12.441
W22		6'x4'		6'-3/4"x4'-3/4"			7'-1 1/2"	24.629
W23		4'x4'		4'-3/4"x4'-3/4"			7'-1 1/2"	16.504
W24		4'x4'		4'-3/4"x4'-3/4"			7'-1 1/2"	16.504
W25		4'x4'		4'-3/4"x4'-3/4"			7'-1 1/2"	16.504
W26		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W27		5'x5'		5'-3/4"x5'-3/4"			8'-1 1/2"	25.629
W28		6'x5'		6'-3/4"x5'-3/4"			8'-1 1/2"	30.691
W29		2'x3'-6"		2'-3/4"x3'-6 3/4"			7'-1 1/2"	7.348
W30		3'x5'		3'-3/4"x5'-3/4"			7'-1 1/2"	15.504
W31		5'x5'		5'-3/4"x5'-3/4"			7'-1 1/2"	25.629
W32		5'x5'		5'-3/4"x5'-3/4"			7'-1 1/2"	25.629
W33		5'x6'		5'-3/4"x6'-3/4"			9'-3/4"	30.691
W34		3'x8'		3'-3/4"x8'-3/4"			4'	24.691
W36		5'x5'		5'-3/4"x5'-3/4"			7'-6 1/2"	25.629
W37		5'x5'		5'-3/4"x5'-3/4"			7'-6 1/2"	25.629
W38		3'x5'		3'-3/4"x5'-3/4"			7'-6 1/2"	15.504
W39		5'x6'		5'-3/4"x6'-3/4"			9'-1 1/2"	30.691
W40		3'x5'		3'-3/4"x5'-3/4"			7'-6 1/2"	15.504
W41		5'x5'		5'-3/4"x5'-3/4"			7'-6 1/2"	25.629
W42		5'x5'		5'-3/4"x5'-3/4"			7'-6 1/2"	25.629
W44		8'x4'		8'-3/4"x4'-3/4"			7'-6 1/2"	32.754
W45		5'x6'		5'-3/4"x6'-3/4"			9'-1 1/2"	30.691

886.629 sq ft

## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20

A500

SCHEDULES



## BATCH PLANT RD UNITS

3115 - 327 BATCH PLANT ROAD  
JACKSON, WY

A501

SCHEDULES

### DOOR SCHEDULE EXTERNAL DOORS

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HAND	HARDWARE	NOTES	SURFACE AREA
D1	GARAGE	15'-9 1/4" x 8'-11"	16'-3/4" x 9'-3/4"	9'-3/4"					145.566
D2	ENTRY	3' x 7'	3'-3/4" x 7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D3	ENTRY	3' x 7'	3'-3/4" x 7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D4	GARAGE	15'-9 1/4" x 8'-11"	16'-3/4" x 9'-3/4"	9'-3/4"					145.566
D5	GARAGE	15'-9 1/4" x 8'-11"	16'-3/4" x 9'-3/4"	9'-3/4"					145.566
D6	ENTRY	3' x 7'	3'-3/4" x 7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D7	ENTRY	3' x 7'	3'-3/4" x 7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D8	GARAGE	15'-9 1/4" x 8'-11"	16'-3/4" x 9'-3/4"	9'-3/4"					145.566
D9	SLIDING	6' x 8'	6'-3/4" x 8'-3/4"	8'-1 1/2"	TEMPERED				48.879
D10	ENTRY	3' x 8'	3'-3/4" x 8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D11	ENTRY	3' x 8'	3'-3/4" x 8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D12	SLIDING	17' x 8'	17'-3/4" x 8'-3/4"	8'-1 1/2"	TEMPERED				137.566
D13	SLIDING	17' x 8'	17'-3/4" x 8'-3/4"	8'-1 1/2"	TEMPERED				137.566
D14	ENTRY	3' x 8'	3'-3/4" x 8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D15	ENTRY	3' x 8'	3'-3/4" x 8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D16	SLIDING	17' x 8'	17'-3/4" x 8'-3/4"	8'-1 1/2"	TEMPERED				137.566
D17	SLIDING	6' x 8'	6'-3/4" x 8'-3/4"	8'-1 1/2"	TEMPERED				48.879
D18	SLIDING	10'-4" x 9'	10'-4 3/4" x 9'-3/4"	9'-1 1/2"	TEMPERED				94.212
D19	SLIDING	10'-4" x 9'	10'-4 3/4" x 9'-3/4"	9'-1 1/2"	TEMPERED				94.212
D20	SLIDING	10'-4" x 9'	10'-4 3/4" x 9'-3/4"	9'-1 1/2"	TEMPERED				94.212

### DOOR SCHEDULE INTERNAL DOORS

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HAND	HARDWARE	NOTES	SURFACE AREA
D21		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-3/4"					19.275
D22		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-3/4"					19.275
D23		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D24		2'-4" x 7'	2'-4 3/4" x 7'-3/4"	7'-3/4"					16.921
D25		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-3/4"					19.275
D26		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-3/4"					19.275
D27		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-3/4"					19.275
D28		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D29		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D30		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D31		3'-11 1/4" x 7'	4"x7'-3/4"	7'-1 1/2"					28.250
D32		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D33		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D34		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D35		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D36		3'-11 1/4" x 7'	4"x7'-3/4"	7'-1 1/2"					28.250
D37		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D38		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D39		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D40		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D41		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D42		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D43		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D44		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D45		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D46		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D47		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D48		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D49		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D50		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D51		4'-11 1/4" x 7'	5"x7'-3/4"	7'-1 1/2"					35.313
D52		2'-4" x 7'	2'-4 3/4" x 7'-3/4"	7'-1 1/2"					16.921
D53		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D54		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D55		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D56		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D57		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D58		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D59		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D60		2'-4" x 7'	2'-4 3/4" x 7'-3/4"	7'-1 1/2"					16.921
D61		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D62		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D63		2'-4" x 7'	2'-4 3/4" x 7'-3/4"	7'-1 1/2"					16.921
D64		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D65		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D66		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D67		2'-6" x 7'	2'-6 3/4" x 7'-3/4"	7'-1 1/2"					18.098
D68		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D69		2'-8" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D70		2'-4" x 7'	2'-4 3/4" x 7'-3/4"	7'-1 1/2"					16.921
D71		5'-2 1/4" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D72		5'-2 1/4" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D73		5'-2 1/4" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275
D74		5'-2 1/4" x 7'	2'-8 3/4" x 7'-3/4"	7'-1 1/2"					19.275

PERMIT AMENDMENT  
11-9-20

SCHEDULES



# BATCH PLANT RD UNITS

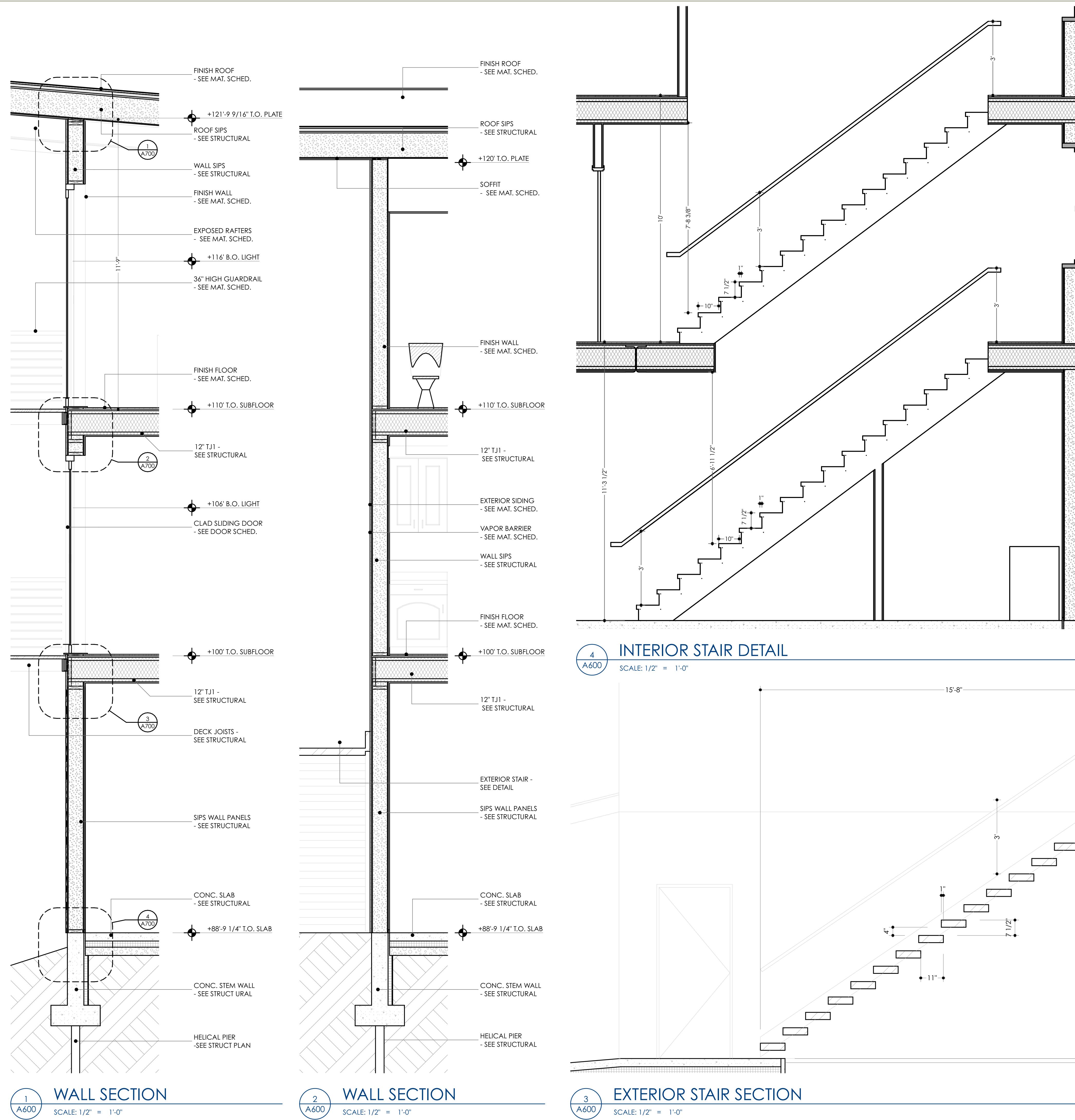
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# 315 - 327 BATCH PLANT ROAD JACKSON, WY

## PERMIT AMENDMENT

# A600

## WALL SECTIONS



WALL SECTION

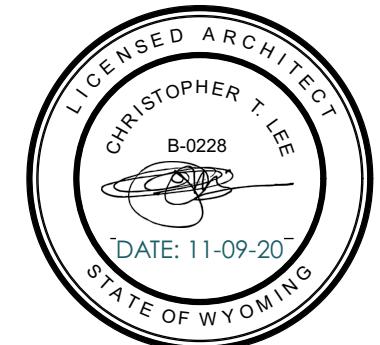
WALL SECTION



3  
A600

# EXTERIOR STAIR SECTION

SCALE: 1/2" = 1'-0"



ISSUE HISTORY		
SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

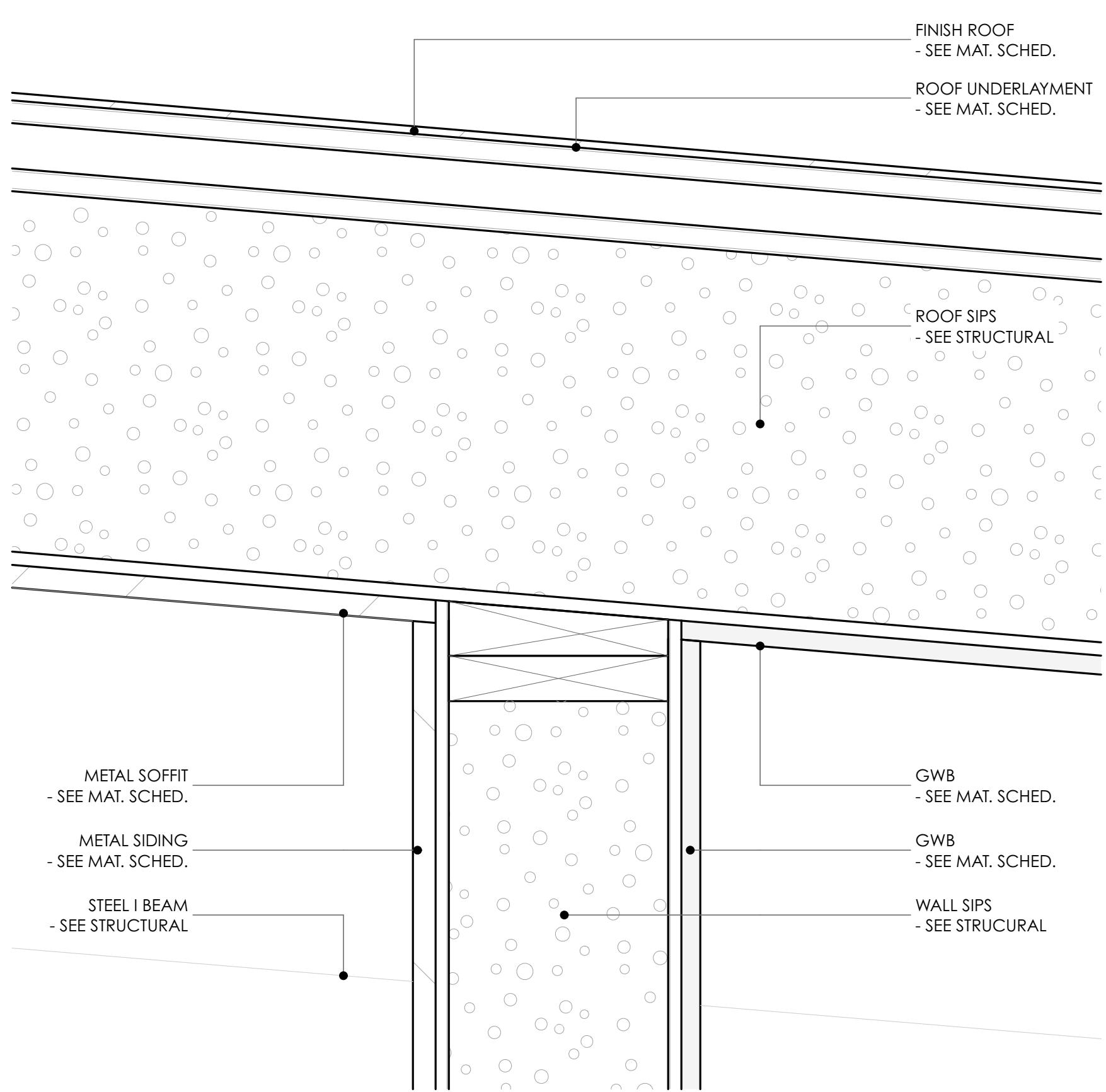
## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20

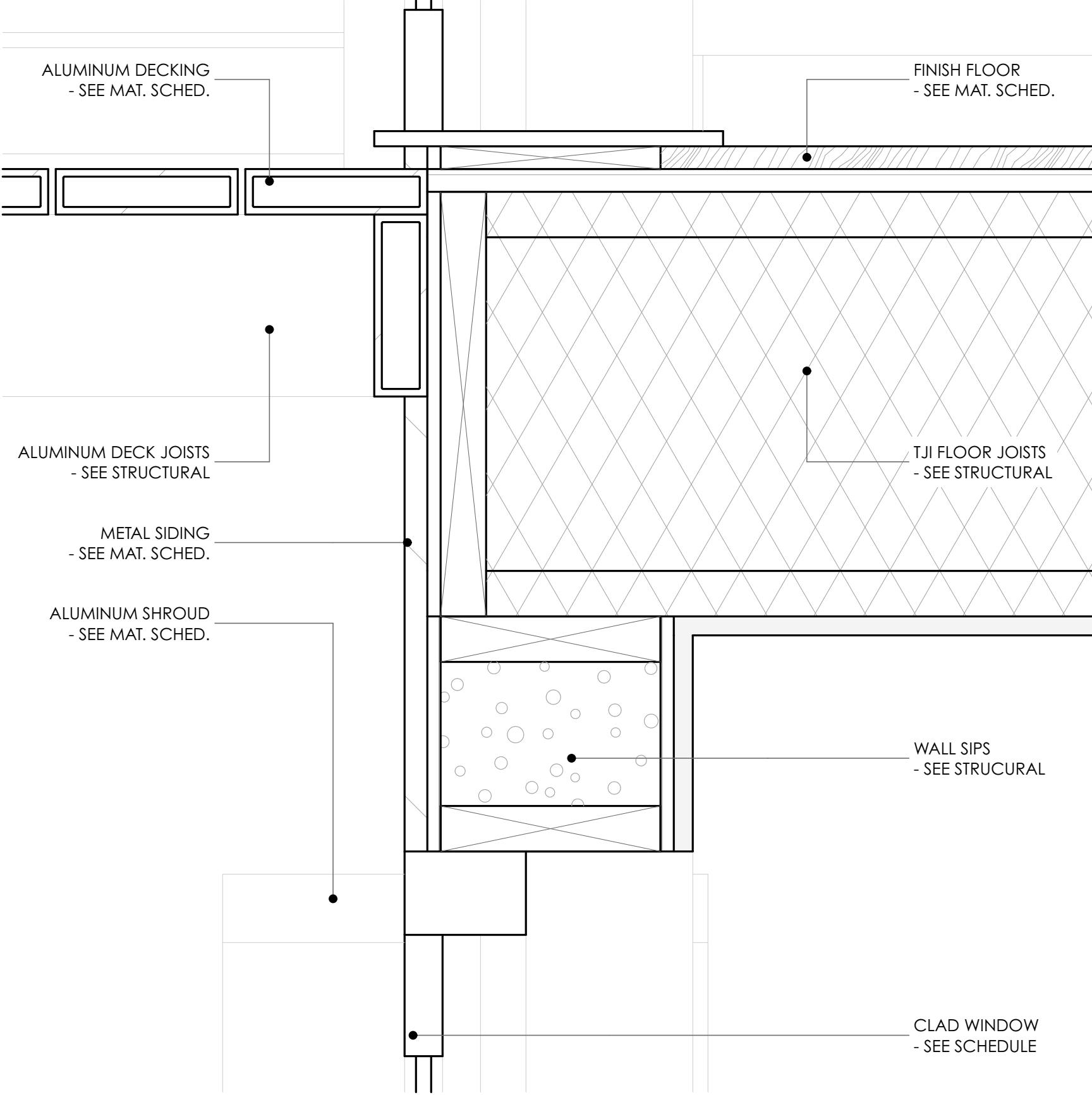
A700

DETAILS



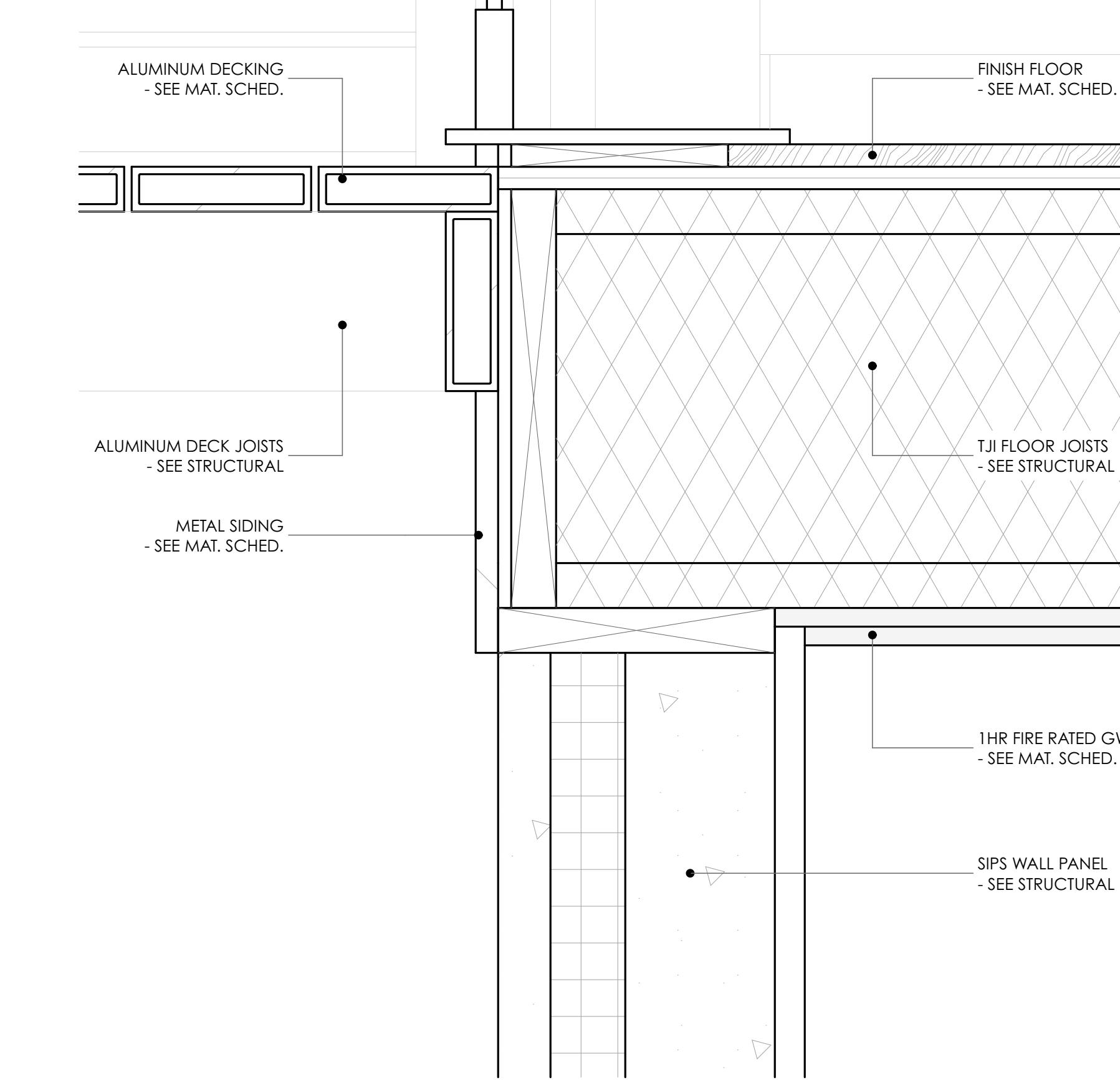
1 A700 DETAIL @ SIPS ROOF & SIPS WALL

SCALE: 3" = 1'-0"



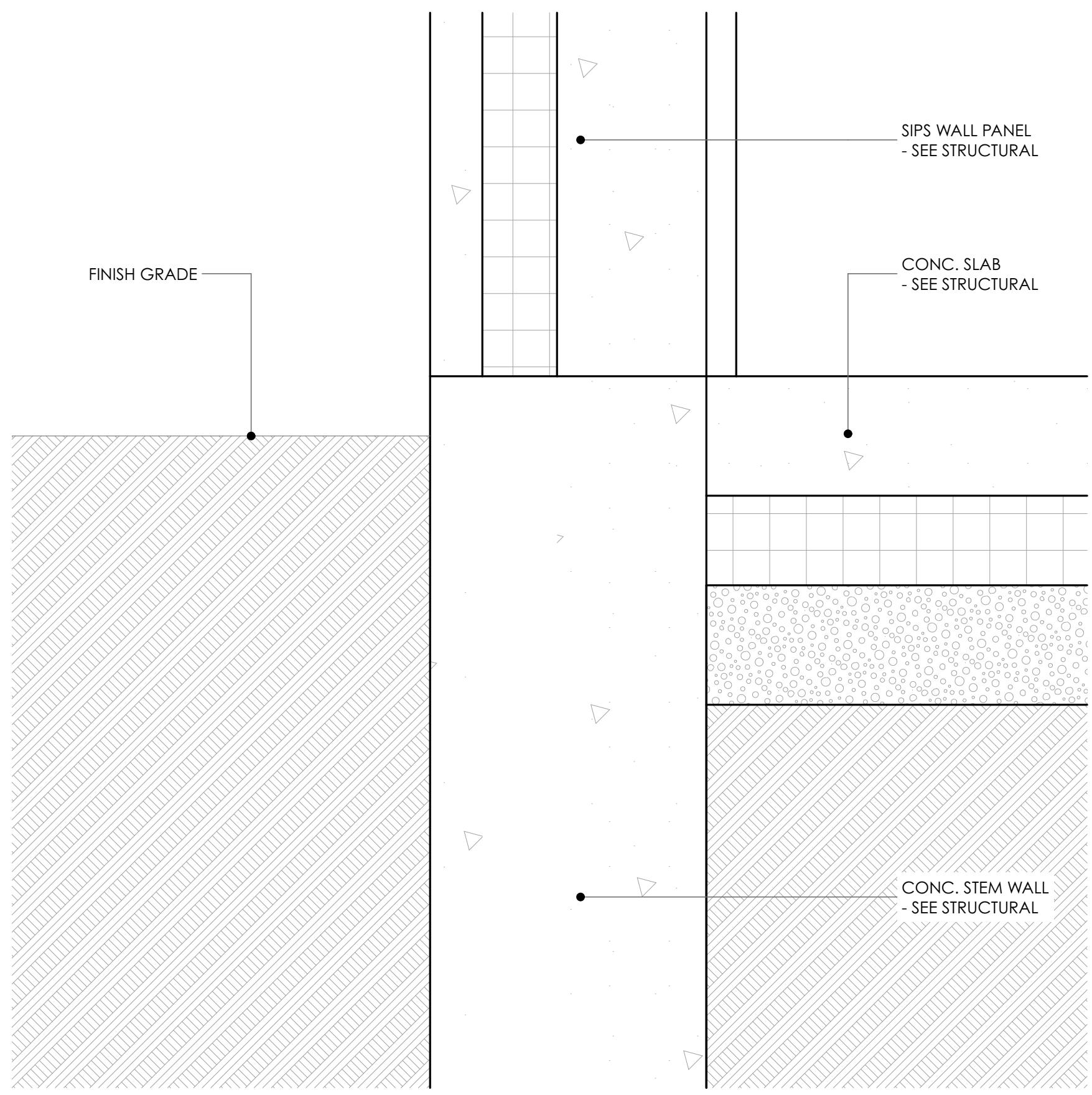
2 A700 DETAIL @ WINDOW HEADER & SIPS WALL PANEL

SCALE: 3" = 1'-0"



3 A700 DETAIL @ FLOOR & CONCRETE WALL PANEL

SCALE: 3" = 1'-0"



4 A700 DETAIL @ CONCRETE SLAB

SCALE: 3" = 1'-0"



## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY



### ELECTRICAL SITE PLAN NOTES:

1. ALL ELECTRICAL WORK MUST COMPLY WITH IRC 2012, NEC 2014 CODES AND ADDITIONAL RESOLUTIONS AS ADOPTED BY THE TOWN OF JACKSON.
2. LISTED AND LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING (ART. 110.3-B).
3. ENSURE RECEPTACLE LAYOUT MEETS MINIMUM OF 2014 CODE REQ OF ART 210.
4. GROUND FAULT PROTECTION FOR ALL TEMPORARY WIRING INSTALLATIONS SHALL BE PROVIDED TO COMPLY WITH ART. 590. THIS SECTION SHALL APPLY ONLY TO TEMPORARY WIRING INSTALLATIONS USED TO SUPPLY TEMPORARY POWER TO EQUIPMENT USED BY PERSONNEL DURING CONSTRUCTION, REMODELING, MAINTENANCE, REPAIR OR DEMOLITION OF BUILDINGS, STRUCTURES, EQUIPMENT OR SIMILAR ACTIVITIES. IF A RECEPTACLE(S) IS INSTALLED OR EXISTS AS PART OF THE PERMANENT WIRING OF THE BUILDING OR STRUCTURE AND USED FOR TEMPORARY ELECTRIC POWER, GROUND-FAULT, CIRCUIT-INTERRUPTER (GFCI) PROTECTION FOR PERSONNEL SHALL BE PROVIDED. NEC 590.6
5. ENSURE MAIN DISCONNECTS MATCH THE CONDO ADDRESS AND ARE LABELED CLEARLY.
6. 20' MINIMUM UFER CABLE TO BE INSTALLED IN REBAR IN FOUNDATION AND TO BE OF 4/0 COPPER.
7. CONTRACTOR TO PROVIDE 1 GROUND ROD WITH #6 COPPER WIRE TO EACH UNIT.
8. FOR QUESTIONS CONTACT HILL ELECTRIC AT 208-316-6069 OR 208-354-3648.

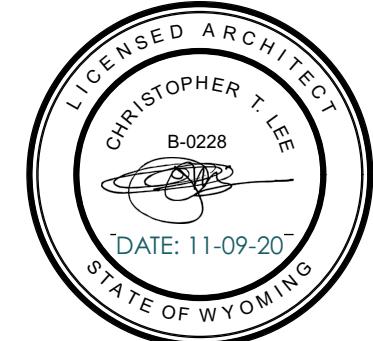
PERMIT AMENDMENT  
11-9-20

E200

ELECTRICAL SCHEMATIC PLAN

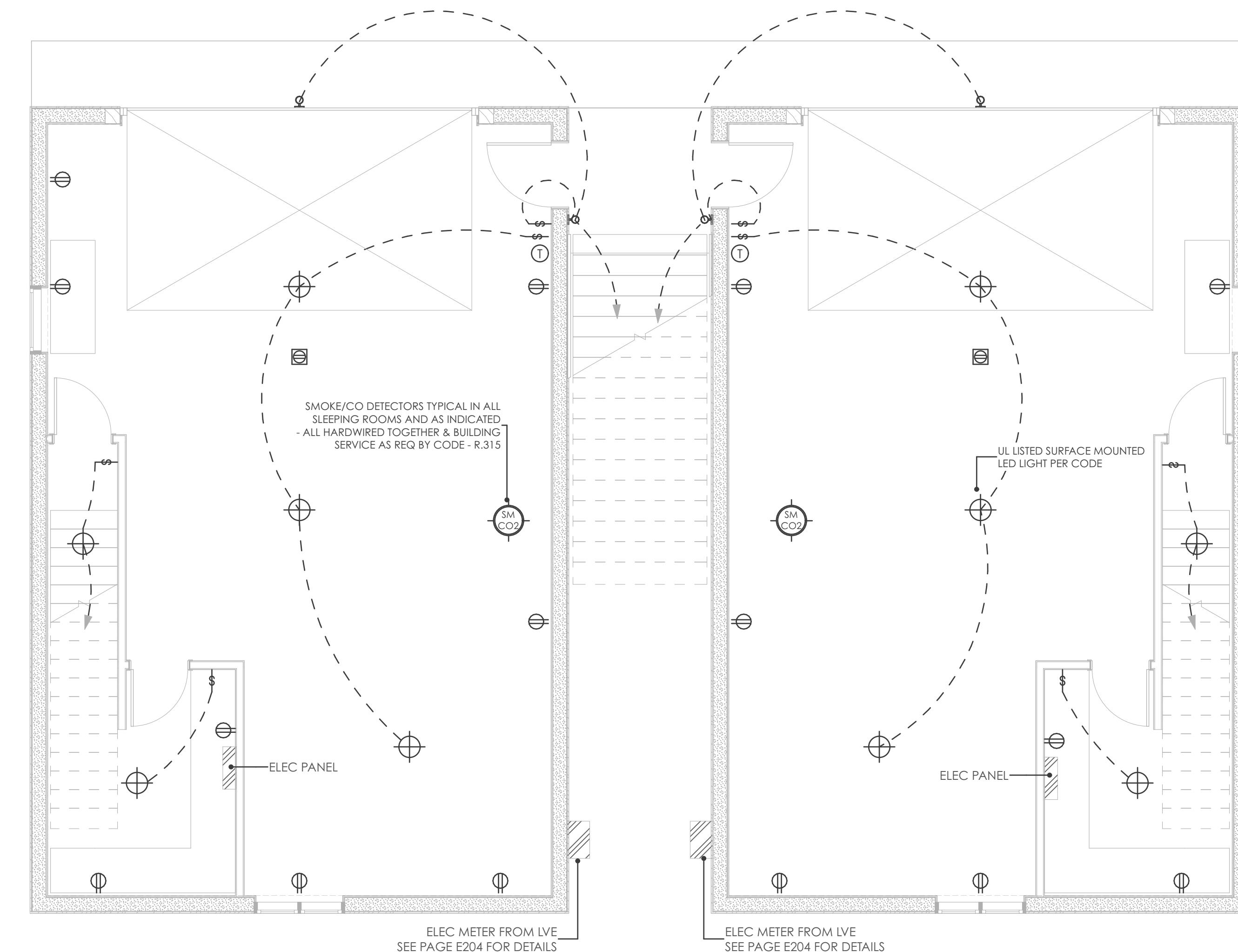
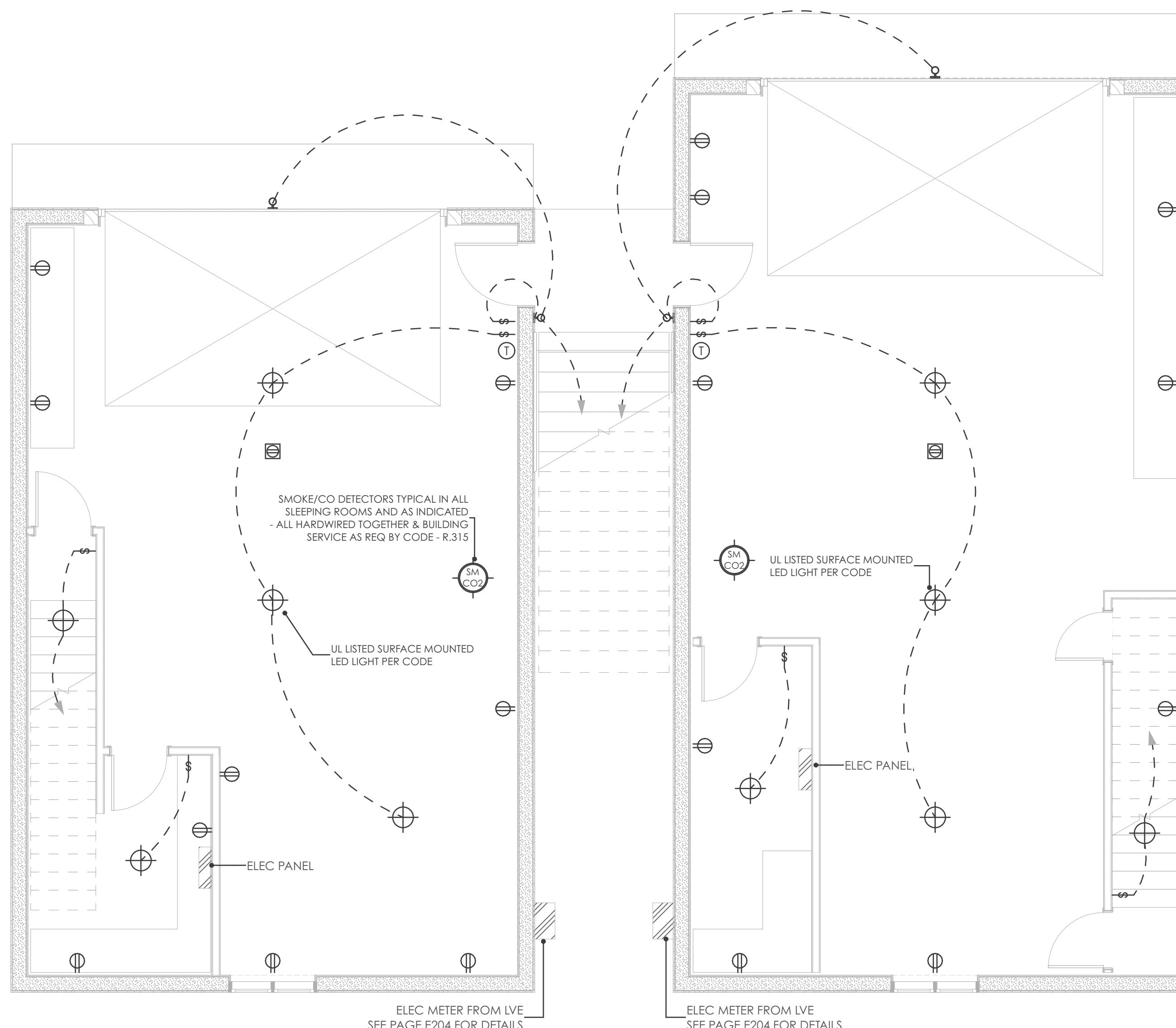
SCALE: 1" = 20'

ELECTRICAL LAYOUT



## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY



FIRST FLOOR ELECTRICAL PLAN

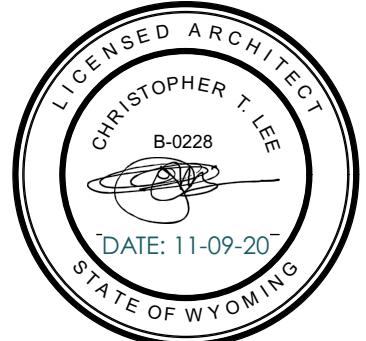
SCALE: 1/4" = 1'-0"

PERMIT AMENDMENT  
11-9-20

E201

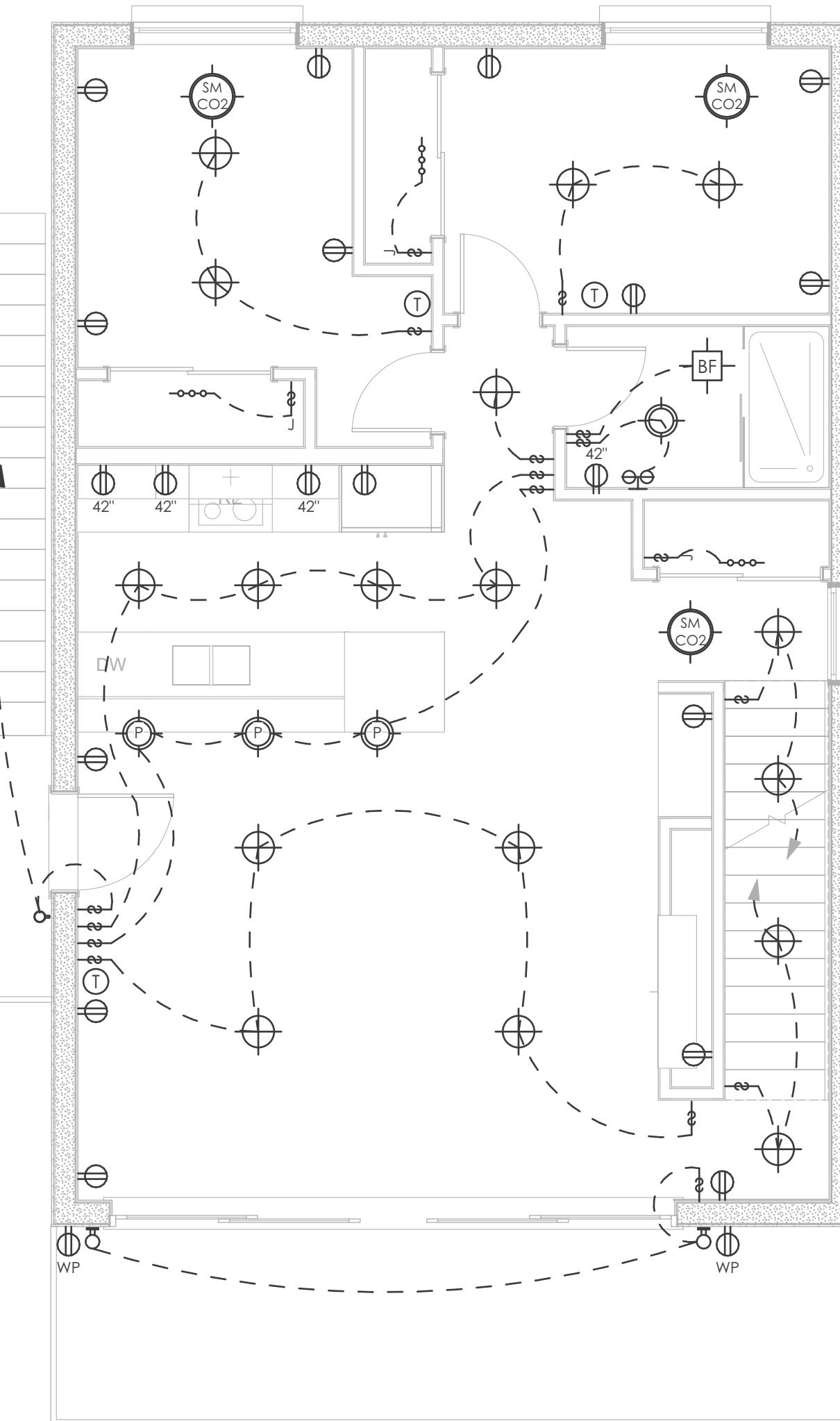
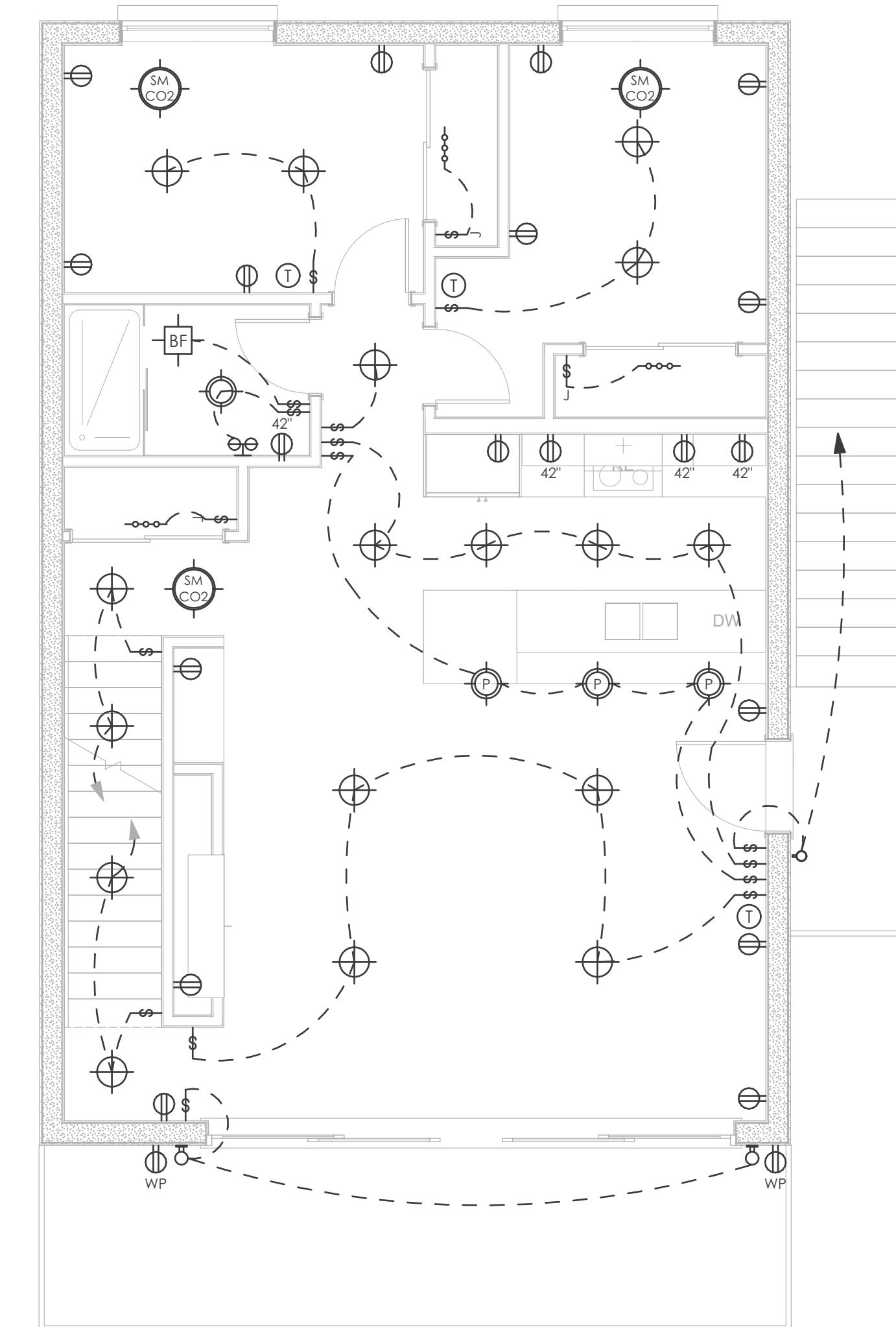
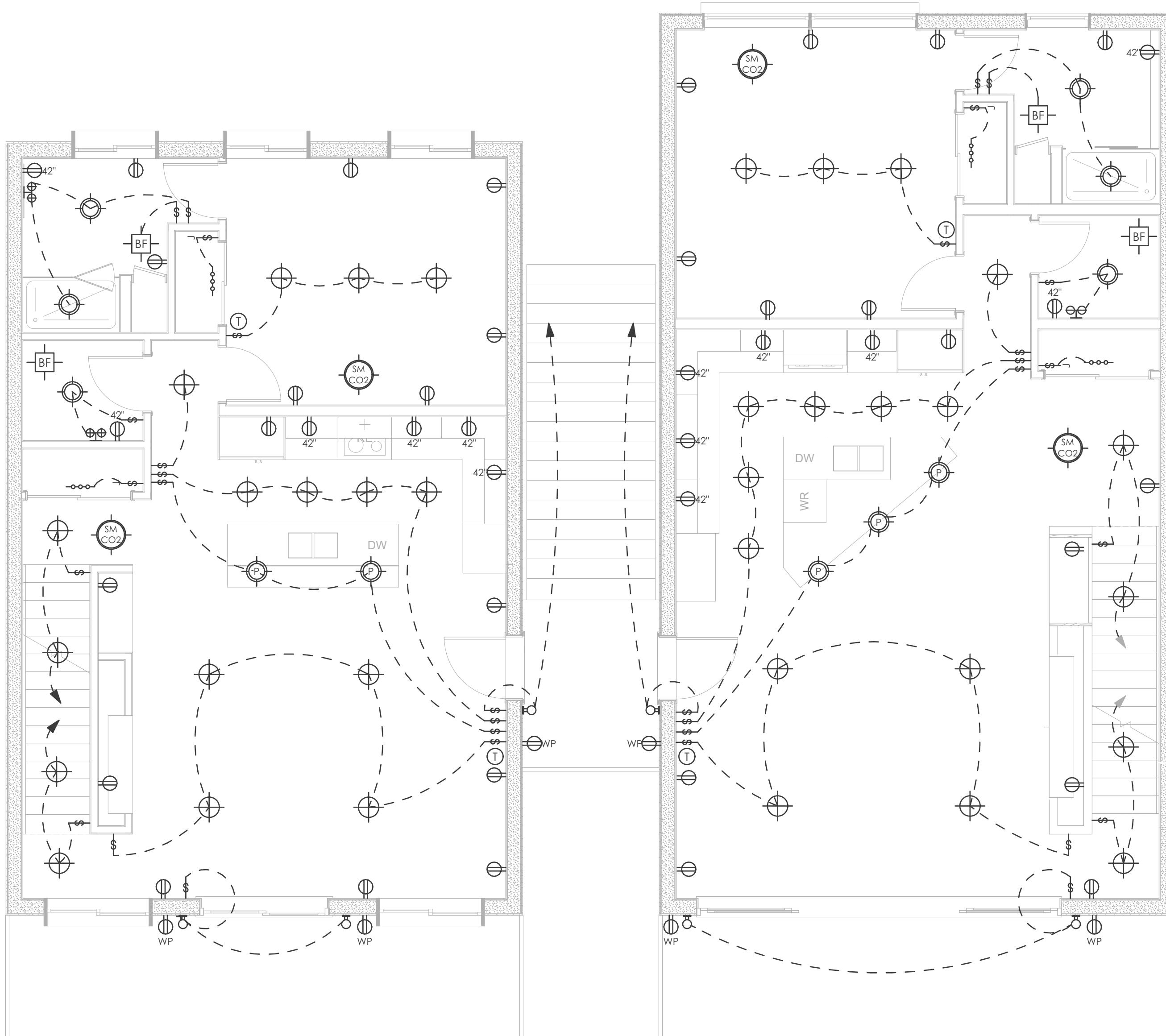
ELECTRICAL PLAN

ISSUE HISTORY		
SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20



## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY



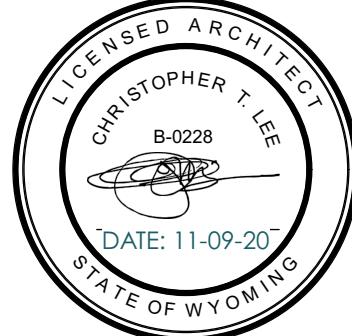
SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

PERMIT AMENDMENT  
11-9-20

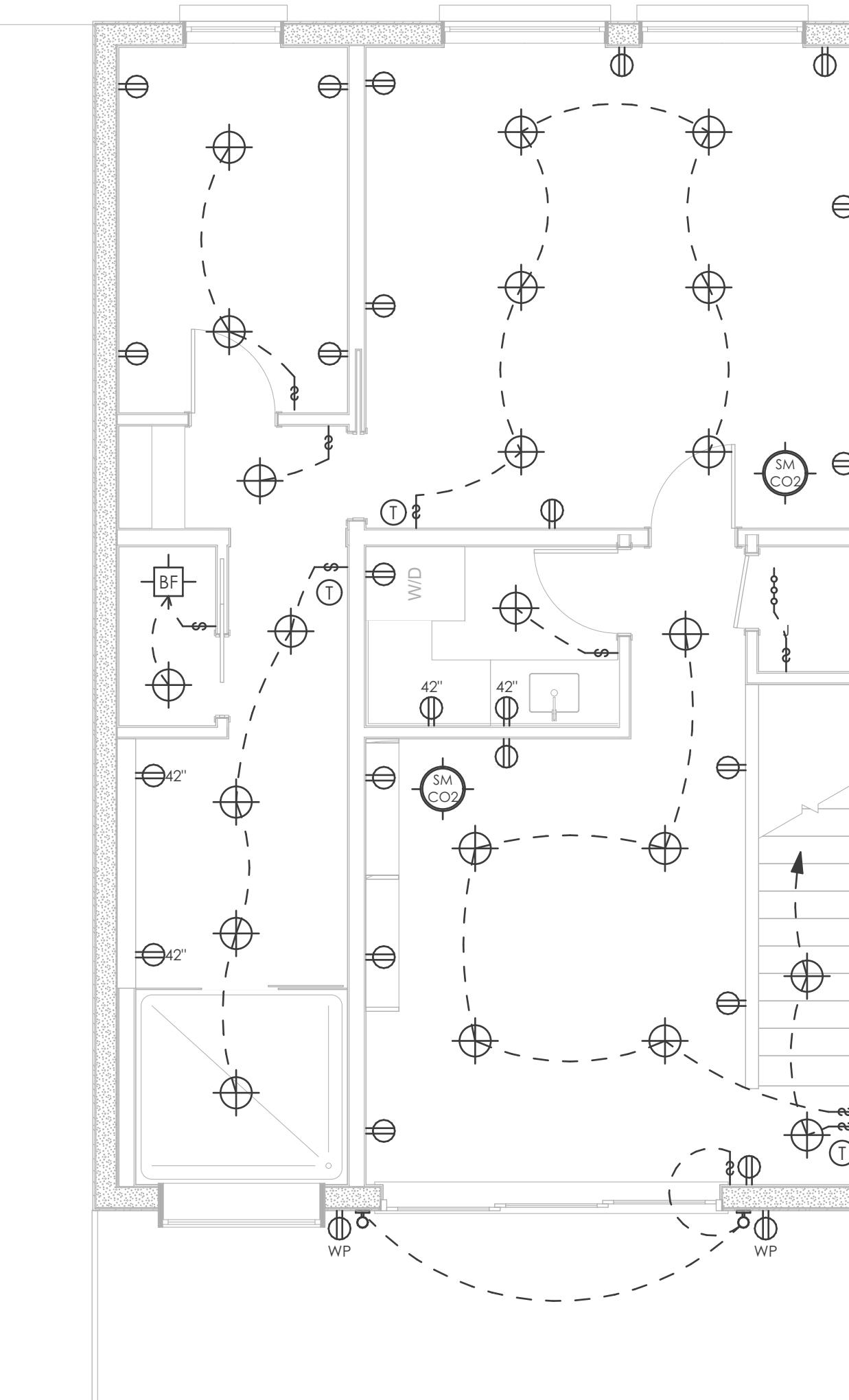
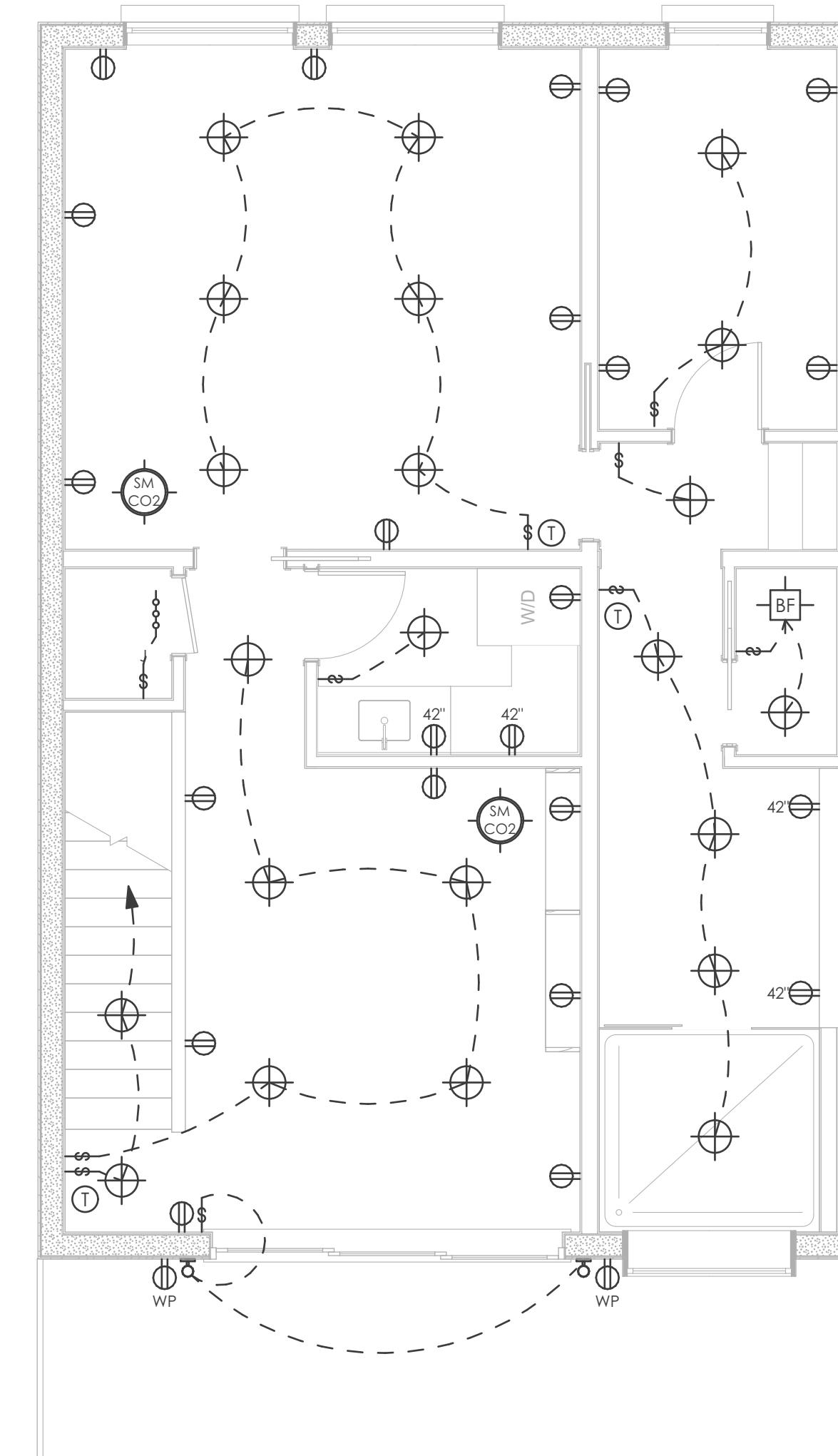
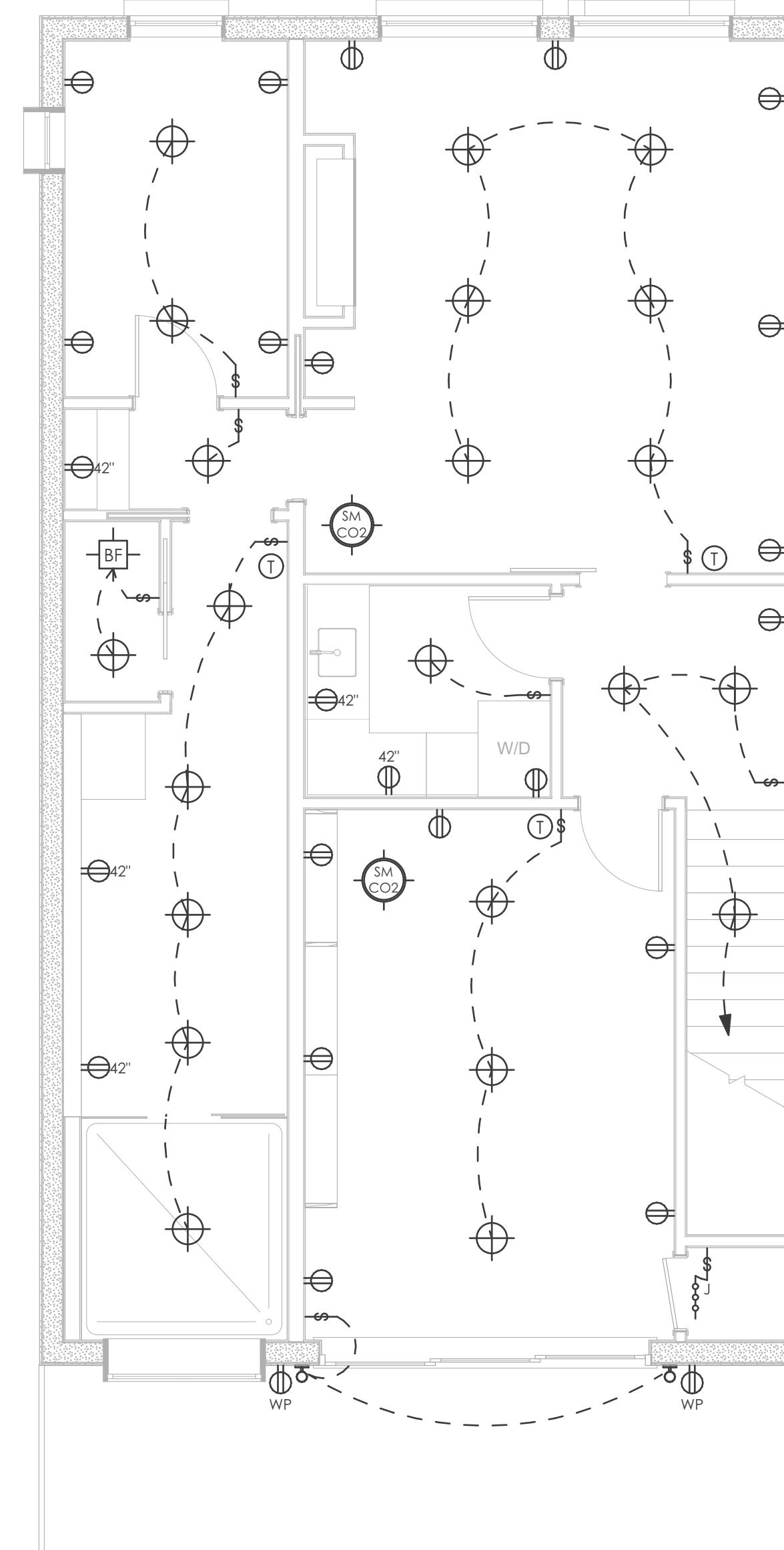
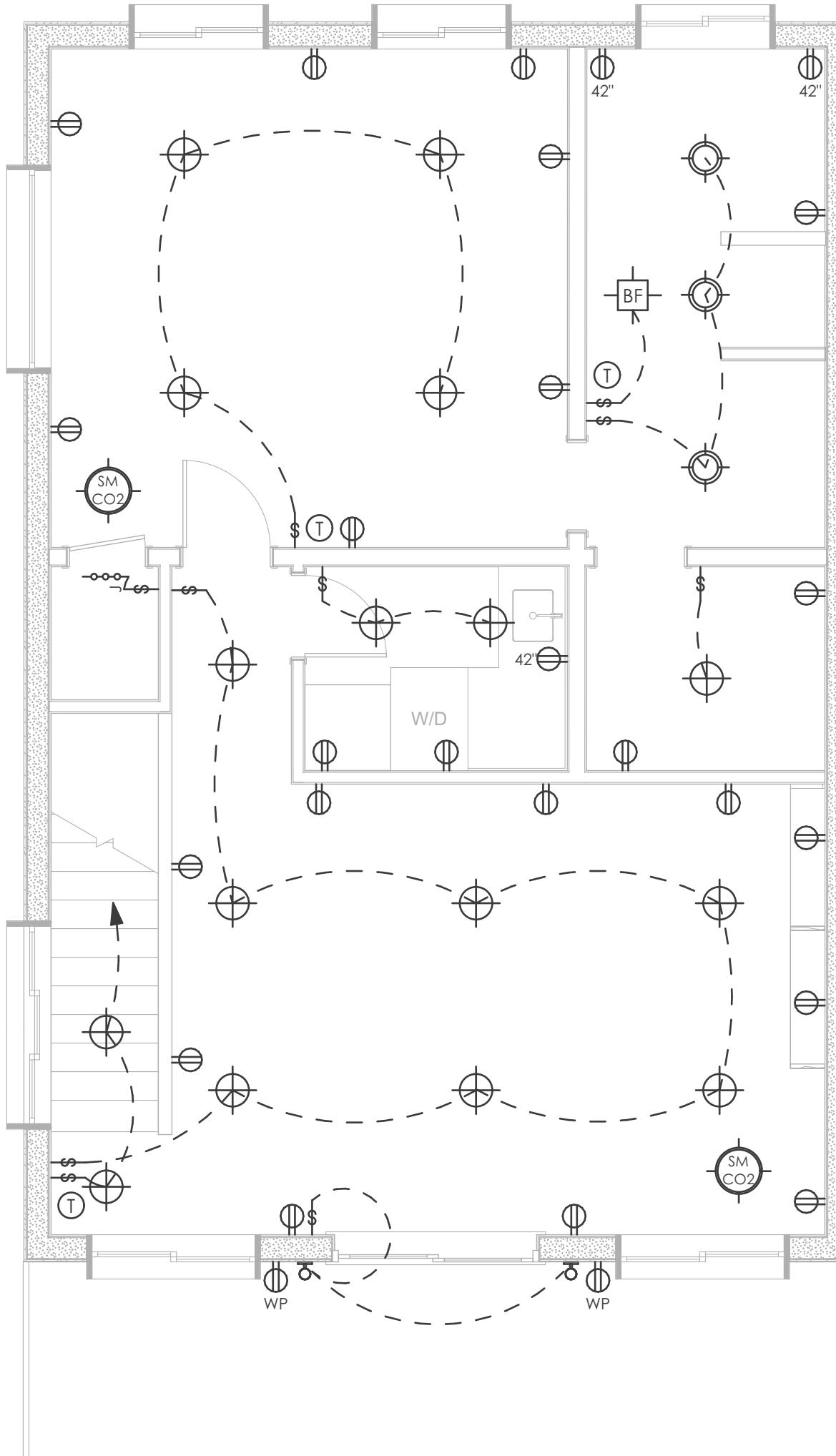
E202

ELECTRICAL PLAN



## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY



THIRD FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

PERMIT AMENDMENT  
11-9-20

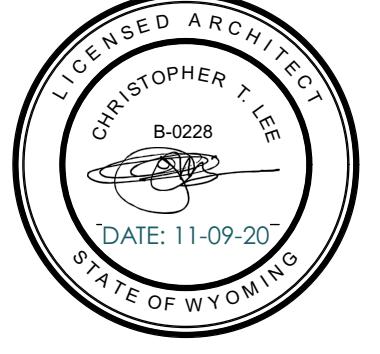
E203

ELECTRICAL PLAN

DESIGN ASSOCIATES ARCHITECTS  
503 KING ST, STE 201 JACKSON WY 83001  
(O) 307 733 3600  
designassociatesarchitects.com  
PROJECT NO. 20-07 ARCHITECT: CTL  
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ISSUE HISTORY

SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
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## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20

E204

CALCS

**Residential Standard Calculation** 9251997 Load Calculation for Upper Town Homes

Version 2011 L Prepared for West View Town Homes by Hill Electric, Inc.  
1726 General Lighting load 5,184 VA 208-313-6069

1 Small Appliances 3,090 VA

2 Laundry circuit 1,590 VA

Gen.Lgt, Sm App. & Laun. Load 9,864 VA

3,000 VA @ 100% = 3,000 VA

6,864 VA @ 35% = 2,336 VA

VA @ 25% = 1,716 VA

**STEP 1 Article 220.42 & 220.52** General Lighting Demand Load 5,339 VA

A/C Condenser & Fixed Electric Space Heating

A/C #	VA	AHU	10. kW	QTY	Total	1	Heating Load	11,600 VA
A/C #2	VA	AHU 2	Select	VA Qty			CU Load	VA
A/C #3	VA	AHU 3	Select	VA Qty				
A/C #4	VA	AHU 4	Select	VA Qty				
A/C #5	VA	AHU 5	Select	VA Qty				

**STEP 2 Article 220.50 & 220.51** General Lighting Demand Load 5,339 VA

Greater of Heat @ 100% vs A/C @ 100% 11,600 VA

**STEP 3 Article 220.53** Appliance Demand Load 7,538 VA

Water Heater 4,500 VA

Refrigerator 1,400 VA

Freezer 600 VA

Disposal 1,000 VA

R / Hood 400 VA

Microwave 1,630 VA

Wine Ctr 400 VA

Insta Hot 1,500 VA

Ironing Center 1,500 VA

Jacuzzi Tub 1,000 VA

Sprinkler Pump 1,000 VA

Well Pump 1,000 VA

Elevator 1,000 VA

Pool Equip. Panel 1,000 VA

GATES 1,000 VA

Other load 1,000 VA

VA 100% Demand 10,080 VA

VA No Demand 0

VA No Demand 0

Total Appliance Load 10,080 VA

4 or more demand @ 75% plus 100% demand loads 7,538 VA

**STEP 4 Article 220.54** Copper

Electric Clothes Dryers 5,200 VA

**STEP 5 Article 220.55** Each town house will have its own 200 amp meter and load center. Wiring type will be non-metallic sheathed cable. Wiring will be installed in accordance with 2014 NEC, Teton County Wyoming and City of Jackson electrical codes. Exterior lighting and sprinkler system will be split evenly between each unit.

Electric Ranges 1,080 W Col C demand 8000

or Number of appliances

Cooktop	Col B demand
<input type="checkbox"/> Check Box for Gas Range	Cooktop
	Cooktop
	Oven(s)
	Oven(s)
	Col B demand
	Col B demand
Number of appliances	0 Dem. Factor
	0%
	W

0 Dem. Factor

0% W

http://ida@comcast.net

Pool Panel Feeder Calculation (See Note) A B N

Continuous Motors	0	0	0
Non-continuous	0	0	0
Spa heater 11 kVA	0	0	0
Pool heater 3.5 ton	0	0	0
Pool heater 5 ton	0	0	0
Pool Light	0	0	0
Blower	0	0	0
other load	0	0	0
other load	0	0	0
<input type="checkbox"/> Min. Copper Pool Feeder	0	0	0
Minimum Panel Rating	A	A	A
	Phase Amperes	Neut. load	Max. Unbalanced Neutral Load
	AWG		6.0

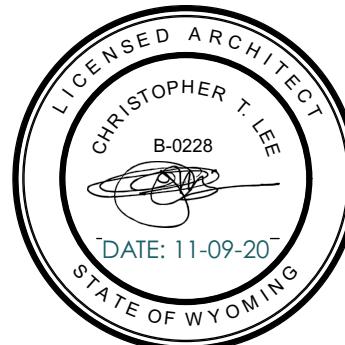
## LOAD CALCULATIONS

CALCS



DESIGN ASSOCIATES ARCHITECTS  
503 KING ST STE 201 JACKSON WY 83001  
(O) 307 733 3600

designassociatesarchitects.com  
PROJECT NO.: 20-07 ARCHITECT: CTL  
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ISSUE HISTORY

SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
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5	PERMIT ADDENDUM III	11-9-20

Generated by REScheck-Web Software

### Compliance Certificate

Project: Westview Town Homes 38R

Signature \_\_\_\_\_ Date \_\_\_\_\_

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2012 IECC requirements in REScheck Version 5.5 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Project Code:	2012 IECC
Location:	Jackson, Wyoming
Construction Type:	New Construction
Conditioned Floor Area:	3,456 ft <sup>2</sup>
Design U-Factor:	0.225 deg. from North
Design ZONE:	1
Climate Zone:	7 (19847 HDO)
Permit Number:	
Printed On:	
Construction Site:	Owner/Agent: _____
Design/Contractor:	Designer/Contractor: _____

Construction Details (U-Factor):

Construction Details (U-Factor):

Envelope Assemblies

Assembly	Gross Area	Cavity	Cont. R-Value	U-Factor	IA
Floor Uninsulated Slab-On-Grade	1,738		0.991	1.149	
Floor Insulated Slab-On-Grade	1,738	42.0	0.012	21	
Wall Insulated Concrete Forms	1,728	12.5	0.080	3.88	
Wall Structural Insulated Panels	1,728	32.0	0.034	59	
Wall Structural Insulated Panels (Uninsulated)	1,728	32.0	0.034	28	
Door Solid	292		0.350	102	
Door Solid	44		0.300	13	
Door Glass	98		0.300	29	
Window Wood Frame, 2 pane w/ Low-E	473		0.300	142	
Ceiling: Structural Insulated Panels	1,728	49.0	0.022	36	

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2012 IECC requirements in REScheck Version 5.5 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

REScheck Software Version 5.5.0

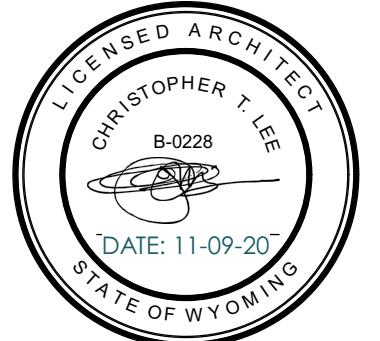
### Inspection Checklist

Energy Code: 2012 IECC

Requirements: 37.0% were addressed in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met or how that is documented, or that an exception is made. The user can also add comments and assumptions to the inspection checklist.

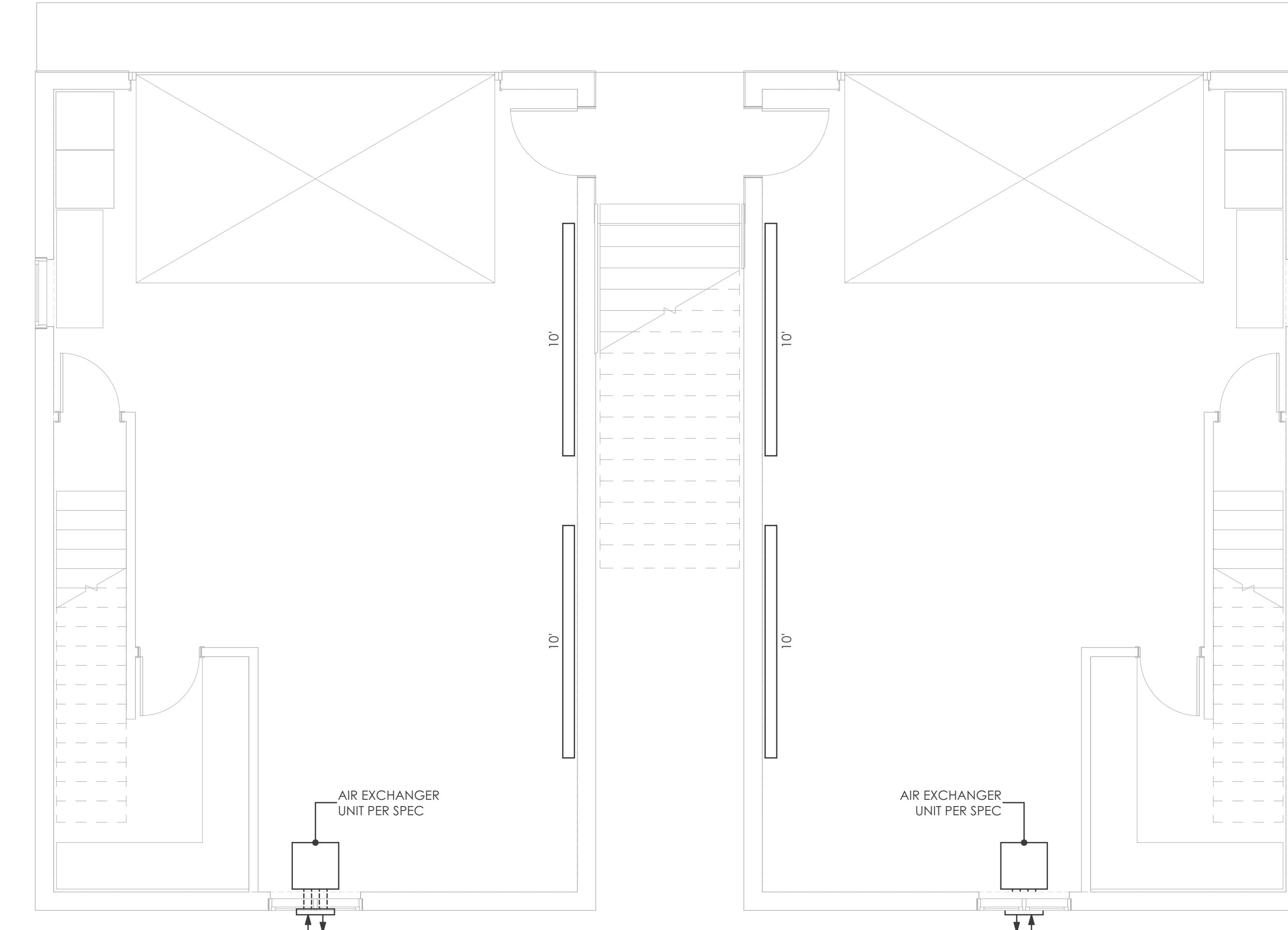
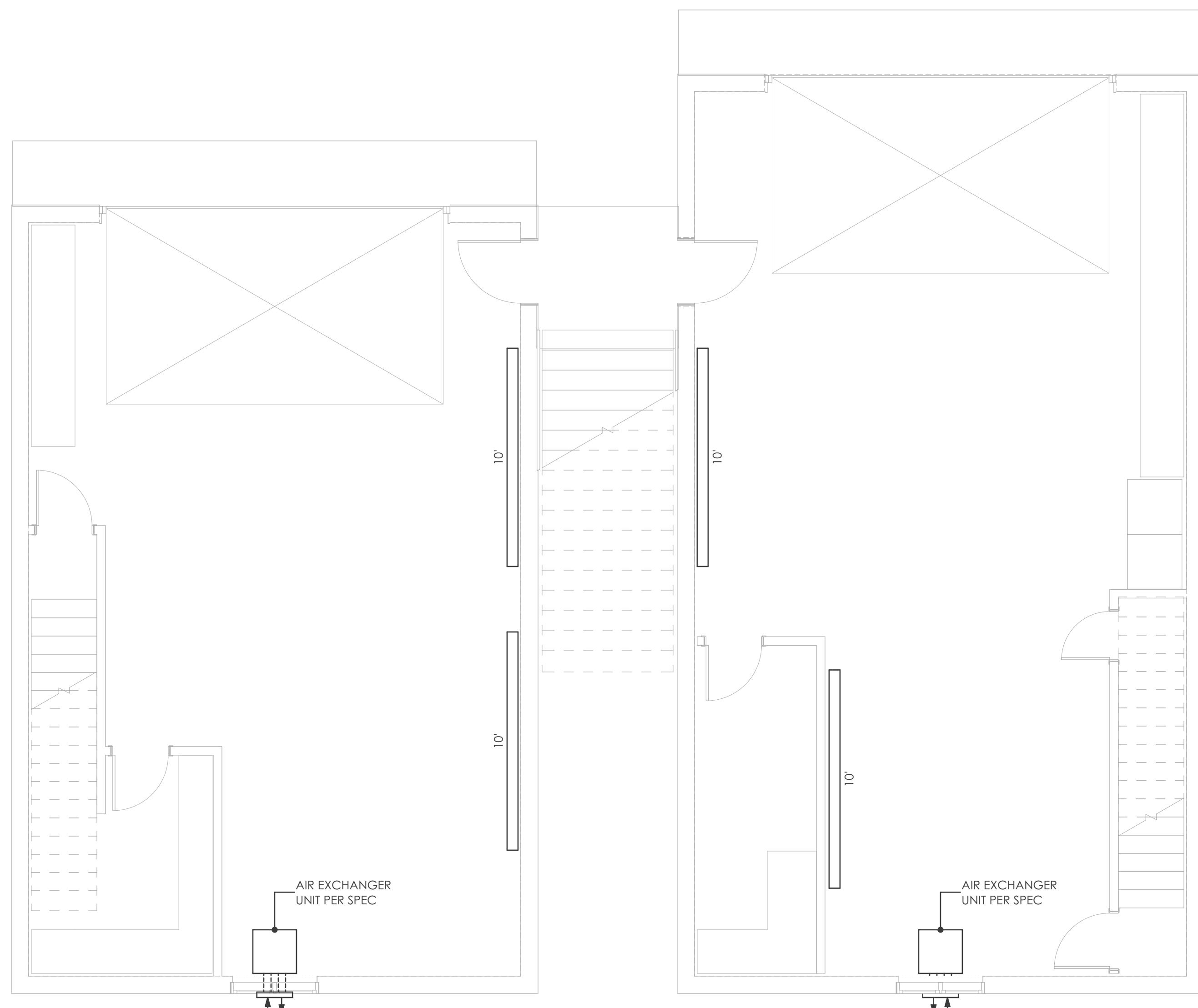
Section & Req ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (F402)	Stab edge insulation R-value.	R-10 Uninsulated	R-10 Uninsulated	<input checked="" type="checkbox"/> Complies	See the Envelope Assemblies table for values.
402.1.2 (F402)	Stab edge insulation R-value.	R-10 Uninsulated	R-10 Uninsulated	<input type="checkbox"/> Does Not Comply	Not Observable
402.1.3 (F402)	Stab edge insulation R-value.	R-10 Uninsulated	R-10 Uninsulated	<input type="checkbox"/> Does Not Comply	Not Applicable
402.2.1 (F402)	Stab edge insulation installed per manufacturer's instructions.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.2.2 (F402)	Stab edge insulation installed per manufacturer's instructions.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.2.3 (F402)	A protective covering is installed to protect exposed exterior insulation from the sun. The minimum of 6 in. below grade.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.2.4 (F402)	A protective covering is installed to protect exposed exterior insulation from the sun. The minimum of 6 in. below grade.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.2.5 (F402)	A protective covering is installed to protect exposed exterior insulation from the sun. The minimum of 6 in. below grade.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.2.6 (F402)	A protective covering is installed to protect exposed exterior insulation from the sun. The minimum of 6 in. below grade.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.2.7 (F402)	A protective covering is installed to protect exposed exterior insulation from the sun. The minimum of 6 in. below grade.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.2.8 (F402)	A protective covering is installed to protect exposed exterior insulation from the sun. The minimum of 6 in. below grade.			<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.1 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.2 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.3 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.4 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.5 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.6 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.7 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.8 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.9 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.10 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.11 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.12 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.13 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.14 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.15 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.16 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.17 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.18 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.19 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.20 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.21 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.22 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.23 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.24 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.25 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.26 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.27 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.28 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.29 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.30 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.31 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.32 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.33 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.34 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.35 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.36 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.37 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.38 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.39 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.40 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.41 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.42 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.43 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.44 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.45 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.46 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.47 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.48 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.49 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.50 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.51 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.52 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.53 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.54 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.55 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.56 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.57 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.58 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.59 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.60 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.61 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.62 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.63 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.64 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.65 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.66 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.67 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
402.3.68 (F402)	Stab edge depth.	R-10	R-10	<input type="checkbox"/> Does Not Comply	Requirement will be met.
4					



ISSUE HISTORY		
SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
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## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY



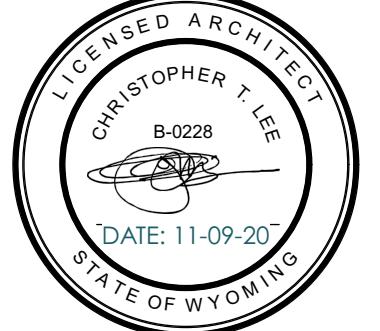
FIRST FLOOR MECHANICAL PLAN

SCALE: 1/4" = 1'-0"

PERMIT AMENDMENT  
11-9-20

M200

MECHANICAL



## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

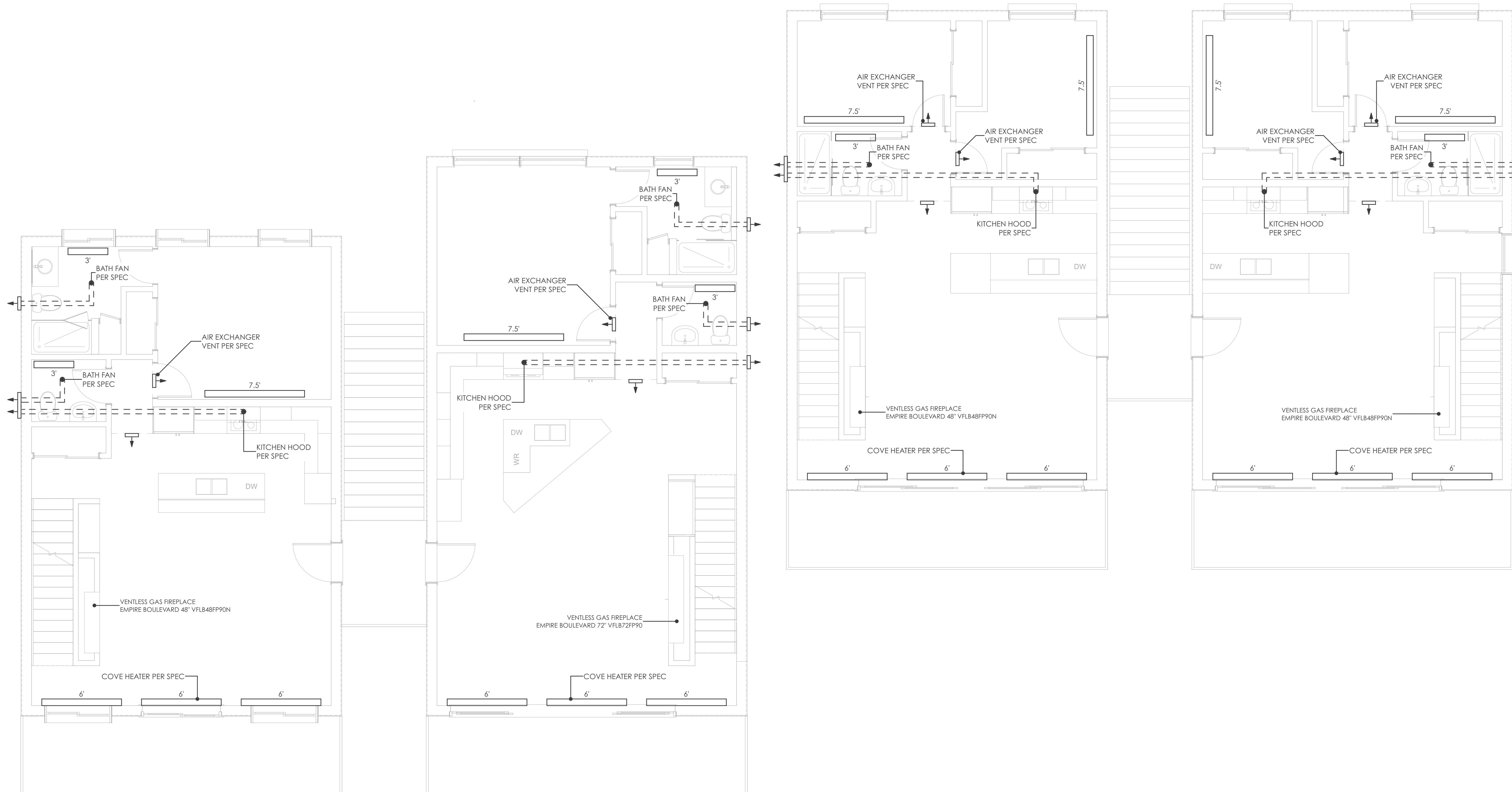
PERMIT AMENDMENT  
11-9-20

M201

MECHANICAL

### SECOND FLOOR MECHANICAL PLAN

SCALE: 1/4" = 1'-0"





ISSUE HISTORY		
SYM	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

## BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD  
JACKSON, WY

PERMIT AMENDMENT  
11-9-20

M202

MECHANICAL

### THIRD FLOOR MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



## STRUCTURAL NOTES:

### GOVERNING DESIGN CODES AND REFERENCES:

International Building Code (IBC), 2018 Edition  
International Residential Code (IRC), 2018 Edition  
Minimum Design Loads and Associated Criteria for Buildings and Other Structures, ASCE 7-16  
Steel Construction Manual, American Institute of Steel Construction, AISC 360-16, 15th Edition  
Building Code Requirements for Structural Concrete, ACI 318-14  
National Design Specification (NDS) for Wood Construction, 2018 Edition  
Building Code Requirements and Specifications for Masonry Structures, TMS 402/602-16

### DESIGN LOADS:

**DEAD LOADS:**  
OVERBURDEN SOIL UNIT WEIGHT - 125 psf. ASSUMED WEIGHT OF BACKFILL  
CONCRETE UNIT WEIGHT - 150 psf.  
ROOF DEAD LOAD - 20 psf.  
FLOOR DEAD LOAD - 20 psf.  
FLOOR w/ CONCRETE DEAD LOAD - 40 psf. ASSUMES 1½" CONCRETE  
WALL DEAD LOAD - 15 psf.  
STONE MASONRY LOAD - 60 psf. ASSUMES 6" STONE THICKNESS

**LIVE LOADS:**  
ROOF LIVE LOAD - 20 psf., CONSTRUCTION LOAD  
FLOOR LIVE LOAD - 40 psf., RESIDENTIAL LIVE LOAD

**SNOW LOAD (ASCE7-16 CHAPTER 7):**  
FLAT ROOF SNOW LOAD - 75 psf. PER TOWN OF JACKSON  
EXPOSURE FACTOR (Ce) - 1.00  
THERMAL FACTOR (Ct) - 1.10  
IMPORTANCE FACTOR (Is) - 1.00

**WIND LOADING (ASCE7-16 CHAPTER 27):**

ULTIMATE DESIGN WIND SPEED - 115 mph. (3 sec. GUST)

WIND DIRECTIONALITY FACTOR (Kd) - 0.85

TOPOGRAPHIC FACTOR (Kz) - 1.0

PRESSURE EXPOSURE FACTOR (Kz) - 0.995

GROUND ELEVATION FACTOR (Ke) - 0.799

EXPOSURE CATEGORY - CATEGORY C

VELOCITY PRESSURE (q) - 22.89 psf.

GUST EFFECT FACTOR (G) - 0.85

EXTERNAL PRESSURE COEFFICIENT (Cp) - SEE ASCE 7-16, FIGURE 27.3-1

- 32.5ft (mean roof height)

- 11.12 (roof pitch)

INTERNAL PRESSURE COEFFICIENT (GCp) - ±0.18

**SEISMIC LOADING (ASCE7-16 CHAPTER 12):**

Risk Category - Category II

Seismic Importance Factor - I=1.0

Mapped Spectral Accelerations - Ss=1.203g

- S1=0.368g

Site Class - Site Class D

Site Coefficients - Fa=1.019

- Fv=1.665

Design Spectral Accelerations - Sds=0.817g

- Sd1=0.408g

Seismic Design Category - Design Category D

**SOILS:**

ALLOWABLE SOIL BEARING - 1500 psf. (PER JORGENSEN GEOTECHNICAL REPORT DATED JULY 27th, 2016)

PASSIVE LATERAL PRESSURE - 103 psf/ft

ACTIVE LATERAL PRESSURE - 64 psf/ft

AT-REST LATERAL PRESSURE - 99 psf/ft

SEISMIC LATERAL PRESSURE - PER JORGENSEN GEOTECHNICAL REPORT DATED JULY 27th, 2016

(ABOVE LISTED LATERAL LOADS BASED ON SOIL UNIT WEIGHT OF 110psf AND INTERNAL FRICTION ANGLE OF 30°) (SEE LATERAL LOADING DETAILS ON S.1 FOR GRAPHICAL REPRESENTATION)

### FOUNDATIONS:

1. FOOTINGS AROUND THE PERIMETER OR IN UNHEATED AREAS ARE TO BEAR A MINIMUM OF 36" BELOW EXISTING GRADE UNLESS OTHERWISE SHOWN ON THE DRAWINGS.

2. BOTTOM OF ALL FOOTINGS TO BEAR ON RE-COMPACTED NATIVE INORGANIC SOIL.

3. BACK FILL UNDER SLABS ON GRADE IS TO CONSIST OF 4" CRUSHED GRAVEL (GRADING H) COMPACTED TO 95% MAXIMUM DRY DENSITY, (ASTM D-698 MODIFIED PROCTOR), OVER RE-COMPACTED NATIVE SOIL.

4. THE MAIN LEVEL FLOOR FRAMING AND FLOOR SHEATHING TO BE COMPLETED PRIOR TO PLACING BACKFILL AGAINST THE FOUNDATION STEM WALLS.

5. RETAINING WALLS MUST CURE FOR 21 DAYS MINIMUM OR MEET MINIMUM REQUIRED CONCRETE COMPRESSIVE STRENGTH OF 4500psi PRIOR TO PLACING BACKFILL AGAINST THE RETAINING WALLS.

6. WHERE THE NATIVE SITE SOILS ARE NOT CLEAN SANDY GRAVELS, A CONTINUOUS FOUNDATION DRAIN SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTINGS. THE FOUNDATION DRAIN SHALL DRAIN TO DAYLIGHT OR TO A MECHANICALLY DISCHARGED SUMP. IT IS RECOMMENDED INSTALLING A BACKFLOW PREVENTION DEVICE TO PREVENT WATER TO FLOW FROM THE DISCHARGE POINT TO THE FOUNDATION.

### ALTERNATE BUILDING COMPONENTS:

1. ALL MANUFACTURERS AND MODEL NUMBERS INDICATED IN THESE PLANS ARE A BASIS-OF-DESIGN PRODUCT. ALTERNATE "OR EQUAL" MANUFACTURERS WILL BE ACCEPTABLE ONLY AFTER PROJECT AWARD AND EVALUATION UNDER A FORMAL REVIEW TRANSMITTAL PROVIDED EACH PRODUCT MEETS OR EXCEEDS THE LISTED SALIENT CHARACTERISTICS OF THE SPECIFIED PRODUCT.

### CAST-IN-PLACE CONCRETE:

1. CONCRETE CONSTRUCTION SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318-14.

### 2. CAST-IN-PLACE CONCRETE SHALL CONFORM TO:

Walls: Minimum 28 day compressive strength = 4500 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 2-4 inches  
Maximum water/cement ratio: 0.45

Footings: Minimum 28 day compressive strength = 3500 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 2-4 inches  
Maximum water/cement ratio: 0.55

Interior Slabs: Minimum 28 day compressive strength = 2500 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 4-6 inches  
Maximum water/cement ratio: Not Applicable

Exterior Slabs: Minimum 28 day compressive strength = 5000 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 4-6 inches  
Maximum water/cement ratio: 0.40

3. CONCRETE COVER OVER REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, 1½" MIN. FOR ALL OTHER CONCRETE EXPOSED TO EARTH OR WEATHER, UNLESS NOTED OTHERWISE IN PLANS.

4. ALL EXTERIOR WALLS BELOW GRADE TO BE DAMP PROOFED. FOR BASEMENTS IN HIGH GROUND WATER AREAS, WATERPROOF WALLS TO 1-0" ABOVE HIGH GROUND WATER ELEVATION.

5. LAP REINFORCING BARS AT SPLICES, CORNERS AND INTERSECTIONS.  
#3 Reinforcing Bars - 1-3" #7 Reinforcing Bars - 3-6"  
#4 Reinforcing Bars - 1-8" #8 Reinforcing Bars - 4-0"  
#5 Reinforcing Bars - 2-0" #9 Reinforcing Bars - 4-6"  
#6 Reinforcing Bars - 2-6"

UNLESS OTHERWISE NOTED ON THE FOUNDATION PLAN AND DETAILS.

6. USE DEFORMED STEEL BAR CONFORMING TO ASTM A615 GRADE 60, EXCEPT #3 BAR STIRRUPS AND TIES AND FIELD BENT DOWELS WHICH SHALL BE ASTM A615 GRADE 40.

7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A62 OR A185 AND SHALL BE PROVIDED IN FLAT SHEETS.

8. ALL REINFORCING IS TO BE SUPPORTED BY CHAIRS OR CONCRETE BRICKS AND SECURELY TIED IN PLACE.

9. REINFORCING STEEL SHALL NOT BE WELDED.

### MASONRY (CMU):

1. CONCRETE MASONRY UNITS SHALL BE GRADE N UNITS CONFORMING TO ASTM DESIGNATION C90 AND SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2800 PSI ON THE NET SECTION.

2. MORTAR SHALL CONFORM TO ASTM C270, TYPE "S" (SECTION 2103.2 OF THE INTERNATIONAL BUILDING CODE), USE PORTLAND CEMENT, TYPE I OR II.

3. ALL MASONRY SHALL BE REINFORCED WITH BOTH HORIZONTAL AND VERTICAL REINFORCEMENT. ALL GROUTED BLOCK CELLS OR BRICK CAVITIES WITH REINFORCEMENT SHALL BE GROUTED FULL USING 2000 PSI GROUT. CELLS SHALL BE ALIGNED TO PRESERVE UNOBSTRUCTED VERTICAL CAVITIES OF 2" x 3".

4. GROUT SHALL HAVE 3/8" MAXIMUM SIZE COURSE AGGREGATE AND SUFFICIENT WATER SO THE CONCRETE WILL FLOW INTO THE BLOCK CELLS WITHOUT LEAVING VOIDS.

5. MASONRY REINFORCEMENT: UNLESS NOTED OTHERWISE ON THE DRAWING, THE MINIMUM REINFORCEMENT IN GROUTED CELLS FOR ALL MASONRY WALLS SHALL BE AS FOLLOWS:

5.1. 10" WALLS: #6 @ 32" OC VERTICAL AND #5 @ 48" OC HORIZONTAL

5.2. 8" WALLS: #5 @ 32" OC VERTICAL AND #5 @ 48" OC HORIZONTAL

6. ALL HORIZONTAL REINFORCING AT ENDS OF WALLS SHALL TERMINATE WITH A HOOK AROUND VERTICAL REINFORCING

7. REINFORCEMENT PROTECTION (COVER):

7.1. JOINT REINFORCEMENT SHALL HAVE NOT LESS THAN 5/8" MORTAR COVERAGE FROM THE EXPOSED FACE

7.2. OTHER REINFORCEMENT SHALL HAVE A MINIMUM COVERAGE OF ONE BAR DIAMETER OVER ALL THE BARS, BUT NOT LESS THAN 1/4" WHEN MASONRY IS EXPOSED TO WEATHER OR SOIL. MINIMUM COVERAGE SHALL BE 2".

8. CONTINUE VERTICAL REINFORCING BARS IN MASONRY COLUMNS THROUGH FOUNDATION WALL INTO FOOTINGS WITH MATCHING BARS AND DOWELS.

ENCLOSE THESE BARS WITH SAME SIZE TIES AT SAME SPACING AS IN MASONRY COLUMN. PROVIDE MATCHING DOWELS FOR VERTICAL BARS IN MASONRY WALLS TO STRUCTURE BELOW.

9. CONTINUE HORIZONTAL REINFORCEMENT IN WALLS THROUGH MASONRY COLUMNS AND PILASTERS. THIS REINFORCEMENT SHALL HAVE MATCHING DOWELS, CORNER BARS, AT CORNERS AND AT INTERSECTIONS OF THE WALLS WITH REQUIRED LAP LENGTHS

10. UNLESS NOTED OTHERWISE, HOLLOW CELLS AT ALL FOUR (4) SIDES OF OPENINGS IN WALLS SHALL BE GROUTED AND REINFORCED WITH #5, MINIMUM WITH 2-8" PROJECTION BEYOND EDGES OF OPENINGS AT EACH END.

11. HORIZONTAL BARS SHALL BE PLACED IN BOND BEAMS FILLED WITH GROUT AT THE TOP OF ALL WALLS AND AT 48" OC MAXIMUM BETWEEN TOP OF WALL AND FOUNDATION. BOND BEAM UNITS AND REINFORCING SHALL CONTINUE UNINTERRUPTED AROUND ALL CORNERS AND WALL INTERSECTIONS. WHERE STRUCTURAL STEEL COLUMNS OR BEAMS INTERRUPT THE CONTINUITY OF A BOND BEAM, DOWELS MATCHING BOND BEAM REINFORCEMENT SHALL BE WELDED TO THE STRUCTURAL STEEL TO PROVIDE CONTINUITY.

12. IN ADDITION LADDER-TYPE REINFORCING CONSISTING OF #9 WIRE FOR EACH FACE SHELL OF EACH WYTHE SHALL BE USED AT 16" OC HORIZONTALLY IN ALL MASONRY WALLS. REINFORCEMENT SHALL BE FOR TOTAL WIDTH OF CAVITY WALLS.

13. ALL VERTICAL REINFORCING BARS SHALL BE DOWELED TO STRUCTURE BELOW WITH BARS OF SAME SIZE AND SPACING. LAP ALL SPLICES IN MASONRY 48 BAR DIAMETER. PLACE ALL BARS SECURELY PRIOR TO GROUTING.

### 14. STOP GROUT POURS ½" BELOW TOP OF BLOCK UNITS BETWEEN GROUT LIFTS.

15. ALL ANCHOR BOLTS MUST BE PLACED IN GROUTED CELLS.

16. WHERE BEAMS BEAR ON CONCRETE BLOCK WALLS, BLOCK CELLS SHALL BE FILLED WITH GROUT 1-4" WIDE TO FOUNDATION AND REINFORCE WITH A #5 EACH CELL, UNLESS OTHERWISE SHOWN.

17. AN ADDITIONAL VERTICAL BAR (MATCHING WALL REINFORCEMENT) SHALL BE PLACED AT EACH CORNER, END OF WALL, AND JAMB OF ALL OPENINGS.

18. ALL STEEL JOIST, JOIST GIRDERS, AND STEEL BEAM POCKETS IN MASONRY SHALL BE GROUTED SOLID UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

19. NO MASONRY SHALL BE LAID WHEN THE TEMPERATURE OF THE OUTSIDE AIR IS BELOW 40 DEGREES FAHRENHEIT, UNLESS APPROVED METHODS ARE USED DURING CONSTRUCTION TO PREVENT DAMAGE TO THE MASONRY. SUCH METHODS SHALL INCLUDE PROTECTION OF THE MASONRY FOR A PERIOD OF AT LEAST 48 HOURS

20. ALL REINFORCING SHALL BE IN PLACE PRIOR TO GROUTING VERTICAL REINFORCING. BARS SHALL BE HELD IN POSITION AT THE TOP, BOTTOM AND AT INTERVALS NOT FARTHER APART THAN 200 BAR DIAMETERS. PROVIDE WIRE TIES AT ALL LAP SPLICES

21. ALL MASONRY SHALL HAVE VERTICAL CONTROL JOINTS AT: MAJOR CHANGES IN WALL HEIGHT, AT CHANGES IN WALL THICKNESS, AT BUILDING CONSTRUCTION JOINTS, AND NOT FARTHER APART THAN 40 FEET ELSEWHERE. PROVIDE MATCHING CONTROL JOINTS FOR BRICKS VENEER. CONSULT ARCHITECTURAL DRAWINGS FOR LOCATIONS. VERTICAL CELLS EACH SIDE OF CONTROL JOINTS SHALL BE GROUTED AND REINFORCED WITH REBARS TO MATCH VERTICAL REINFORCEMENT USED THROUGHOUT THAT WALL. ONLY HORIZONTAL REBARS IN BOND BEAMS AT FLOORS AND AT ROOF LEVEL SHALL CONTINUE THROUGH CONTROL JOINTS. PROVIDE FULL HEIGHT HARD RUBBER KEY AT JOINT, WHERE JOINT LOCATIONS ARE NOT SHOWN ON THE DRAWINGS THE CONTRACTOR SHALL SUBMIT PROPOSED LOCATIONS TO ARCHITECT/ ENGINEER FOR REVIEW.

### DIMENSIONAL LUMBER AND TIMBERS:

1. SAWN LUMBER MATERIALS, (U.N.O. ON PLANS AND DETAILS):

-MULTI-PLY LUMBER BEAMS, RAFTERS, JOISTS, AND COLUMNS TO BE SELECT STRUCTURAL DOUGLAS FIR - LARCH.

-SOLID SAWN TIMBER BEAMS AND COLUMNS TO BE DENSE No. 1 OR BETTER DOUGLAS FIR-LARCH.

-TOP AND BOTTOM WALL PLATES TO BE No. 1 & BTR DOUGLAS FIR-LARCH.

-STUDS TO BE No. 2 OR BETTER DOUGLAS FIR - LARCH.

2. ALL DIMENSIONAL LUMBER TO BE NOMINAL SIZES UNLESS SPECIFIED AS FULL SIZE IN THE PLANS AND DETAILS.

3. EXTERIOR WALL HEADERS TO BE MINIMUM DOUBLE 2x8 WITH 4ea. 12d NAILS @ 16" o.c., UNLESS OTHERWISE NOTED ON FRAMING PLANS. INTERIOR WALL HEADERS TO BE MINIMUM DOUBLE 2x4 WITH 2ea. 12d NAILS @ 16" o.c., UNLESS NOTED OTHERWISE.

4. PRE-ENGINEERED "PLATE" TRUSSES SHALL BE DESIGNED BY THE TRUSS FABRICATOR TO SUPPORT THE FULL DEAD LOADS AND THE SUPERIMPOSED DESIGN LOADS NOTED ABOVE OR ON THE DRAWINGS. WEB ARRANGEMENTS AND MEMBER FORCES SHALL BE DETERMINED BY THE FABRICATOR. STAMPED AND SEALED TRUSS ENGINEERING SHEET SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO FABRICATION OF THE TRUSSES.

5. FRAMING ANCHORS AND CONNECTORS TO BE "STRONG TIE" BY SIMPSON OR APPROVED AND EQUAL INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

6. SILL PLATES TO BE ATTACHED TO THE FOUNDATION WITH ½" Øx12" @ 4-0" o.c. ANCHOR BOLTS WITH 3" x 3" x ½" SQUARE WASHERS AND HEX NUTS. REFER TO DETAILS FOR ACTUAL SIZE AND QUANTITY OF BOLTS.

7. FOR NAILING NOT SHOWN ON PLANS USE THE FASTENING SCHEDULE IN THE TYPICAL FRAMING DETAILS OR THE INTERNATIONAL BUILDING CODE NAILING SCHEDULE (2018 I.B.C. TABLE 2304.10).

8. WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE FOUNDATION, USE PRESSURE TREATED WOOD PRODUCTS.

9. USE GALVANIZED OR STAINLESS STEEL FASTENERS WHEN NAILING INTO PRESSURE TREATED MATERIALS.

10. ALL FRAMING NAILS TO HAVE A MINIMUM SHANK DIAMETER AS SPECIFIED IN THE MINIMUM FASTENING SCHEDULE IN THE TYPICAL FRAMING DETAILS. ALL SHEATHING NAILS TO HAVE A MINIMUM SHANK DIAMETER OF 0.131"Ø. FLOOR SHEATHING FASTENERS TO ALSO BE RING SHANKED.

### ENGINEERED WOOD PRODUCTS:

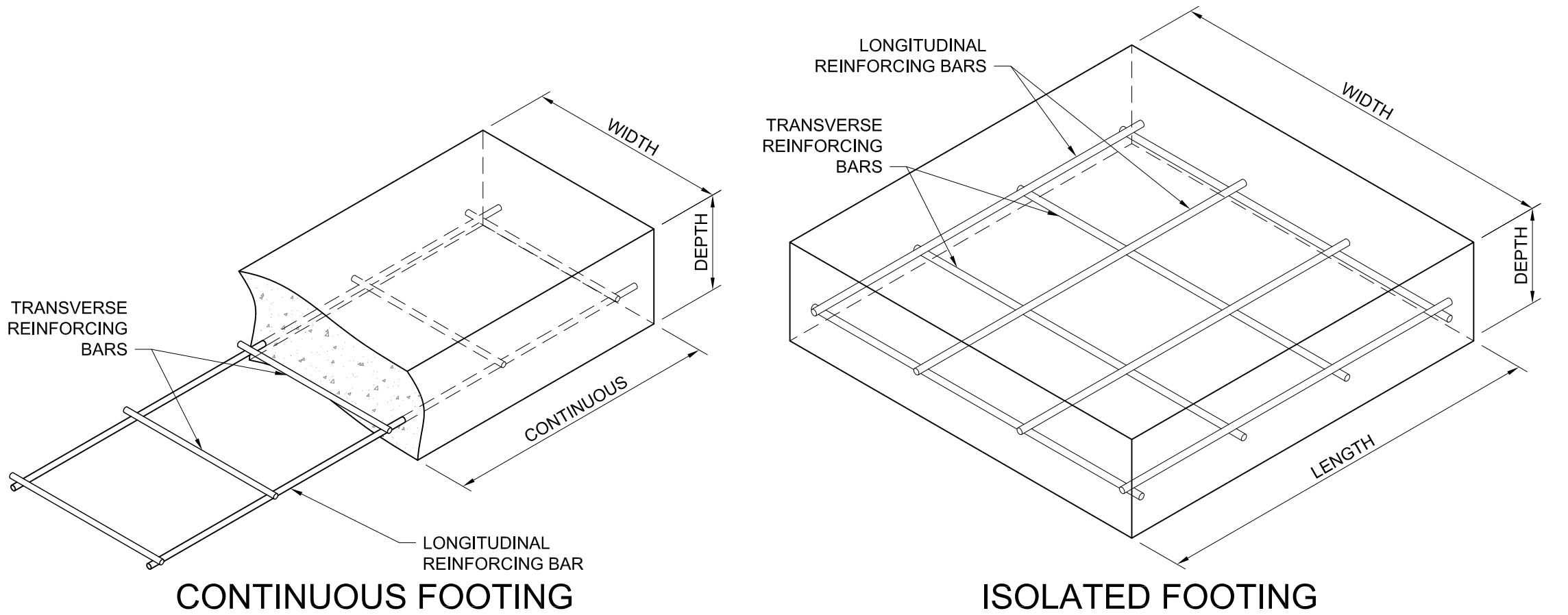
1. LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 2.0E+6psi AND MARK

FOOTING SCHEDULE						
TYPE	WIDTH	LENGTH	DEPTH	LONGITUDINAL REINFORCEMENT	TRANSVERSE REINFORCEMENT	NOTES

NOTE:  
MINIMUM COVER TO REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, AND 1 1/2" FOR ALL OTHER CONCRETE EXPOSED TO WEATHER, UNLESS NOTED OTHERWISE IN PLANS, SEE TYPICAL DETAILS ON S1.1 FOR TYPICAL REINFORCING BAR COVER DETAILS.

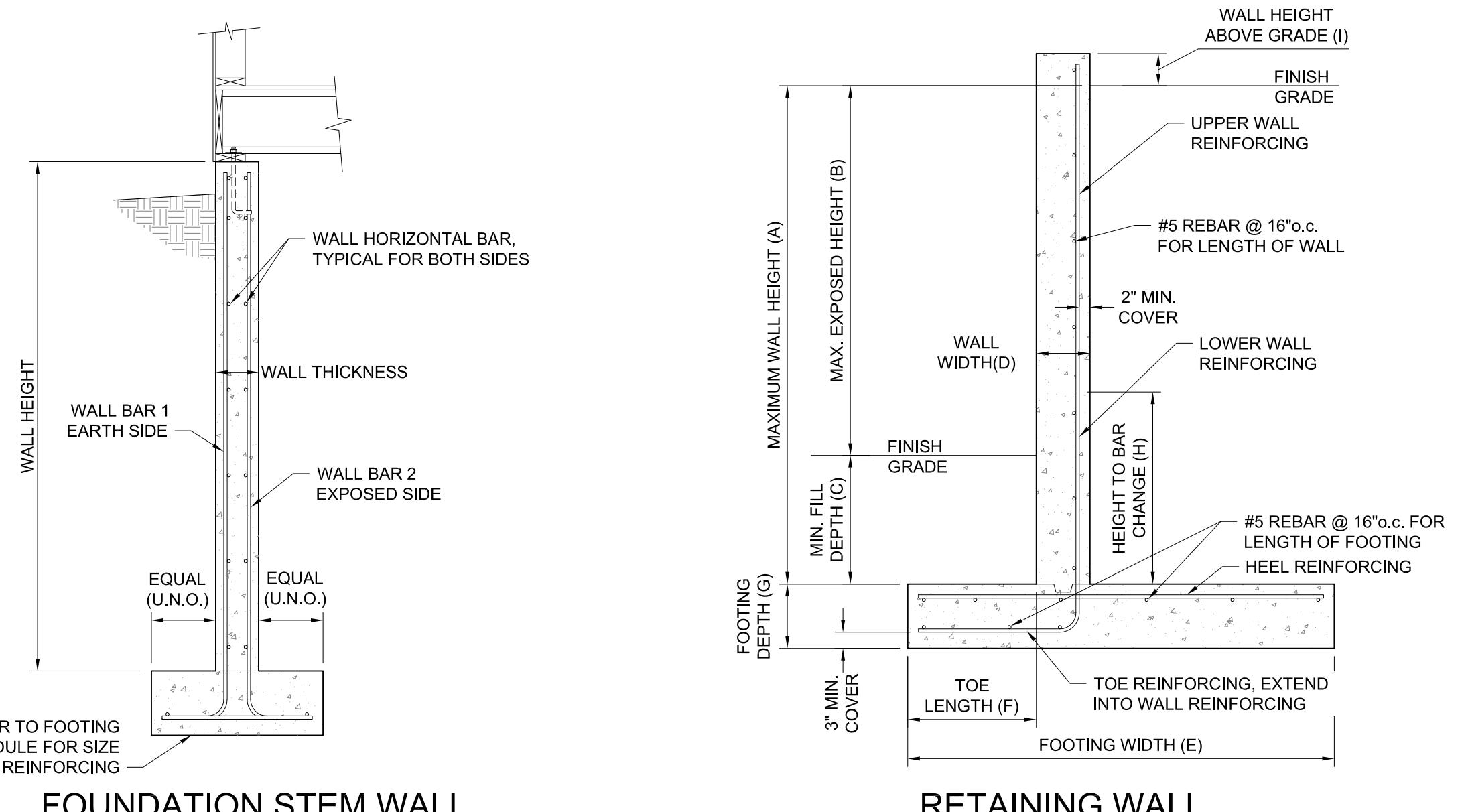
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FOUNDATION WALL SCHEDULE						
TYPE	HEIGHT	WALL THICKNESS	WALL BAR 1 EARTH SIDE	WALL BAR 2 EXPOSED SIDE	WALL HORIZ.	NOTES

RETAINING WALL SCHEDULE										
TYPE	MAX. WALL HEIGHT (A)	MAX. EXPOSED HEIGHT (B)	MIN. FILL DEPTH (C)	WALL WIDTH (D)	FOOTING WIDTH (E)	TOE LENGTH (F)	FOOTING DEPTH (G)	TOE REINFORCING	HEEL REINFORCING	NOTES



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### SHEAR WALL SCHEDULE

TYPE	SILL PLATE / BOTTOM PLATE (1)	TOP PLATE DETAIL	WALL STUDS	EDGE BLOCKING	SHEATHING THICKNESS (2)	NAIL SIZE	EDGE NAILING SPACING	INTERMEDIATE NAILING SPACING
SW/1	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	8d, (0.131"Øx2 1/2")	@ 6" o.c.	@ 12" o.c.	
SW/2	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	8d, (0.131"Øx2 1/2")	@ 4" o.c.	@ 8" o.c.	
SW/3	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	8d, (0.131"Øx2 1/2")	@ 3" o.c.	@ 6" o.c.	
SW/4	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.	
SW/5	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 8" o.c.	
SW/6	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 2" o.c.	@ 8" o.c.	
SW/7	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 4" o.c.	@ 8" o.c.	
SW/8	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.	
SW/9	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.	

(1) USE PRESSURE TREATED WOOD WHEN IN CONTACT WITH CONCRETE. ATTACH SHEATHING PANELS WITH GALVANIZED NAILS IN PRESSURE TREATED WOOD.  
(2) SHEATHING TO BE PLYWOOD OR O.S.B. (VERTICAL OR HORIZONTAL ORIENTATION). WHEN REQUIRED, PROVIDE BLOCKING AT UNSUPPORTED EDGES ABOVE AND BELOW OPENINGS.

### ALTERNATE STAPLE SCHEDULE FOR APA RATED SHEATHING

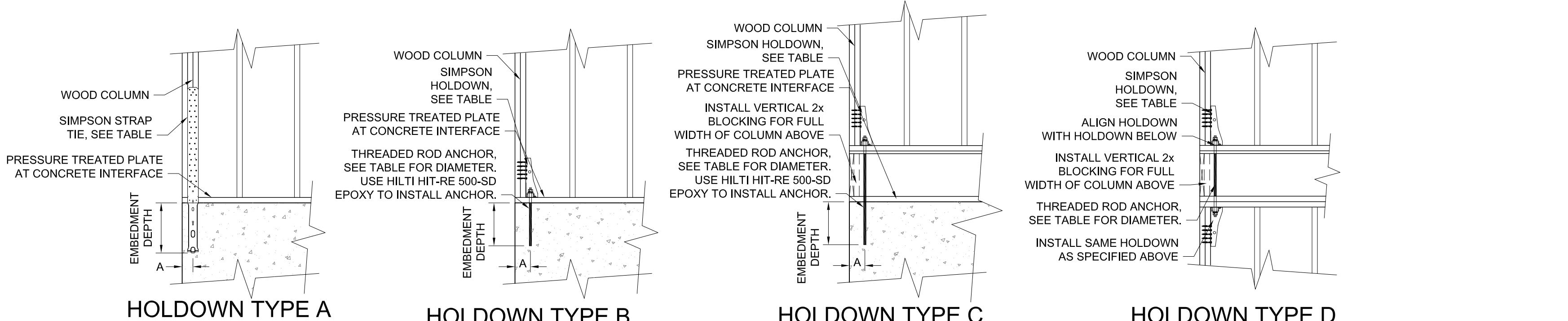
0.131"Øx2 1/2" NAIL SPACING AS SPECIFIED IN SHEAR WALL SCHEDULE	14 GAUGE	15 GAUGE	16 GAUGE
@ 12" o.c.	@ 8" o.c.	@ 6" o.c.	
@ 6" o.c.	@ 4" o.c.	@ 3" o.c.	
@ 4" o.c.	@ 3" o.c.	@ 2" o.c.	
@ 3" o.c.	@ 3" o.c.	@ 2" o.c.	NONE
@ 2" o.c.	NONE	NONE	NONE

1. ALL STAPLES TO HAVE  $\frac{7}{16}$ " MIN. CROWN WIDTH AND MUST BE INSTALLED WITH THEIR CROWN PARALLEL TO LONG DIMENSION OF THE FRAMING MEMBER.  
2. MINIMUM PENETRATION FOR ALL STAPLE GAUGES IS  $1\frac{1}{2}$ ".  
3. FASTENER SPACING @ 2" o.c. OR LESS REQUIRES NOMINAL 3x MEMBERS.



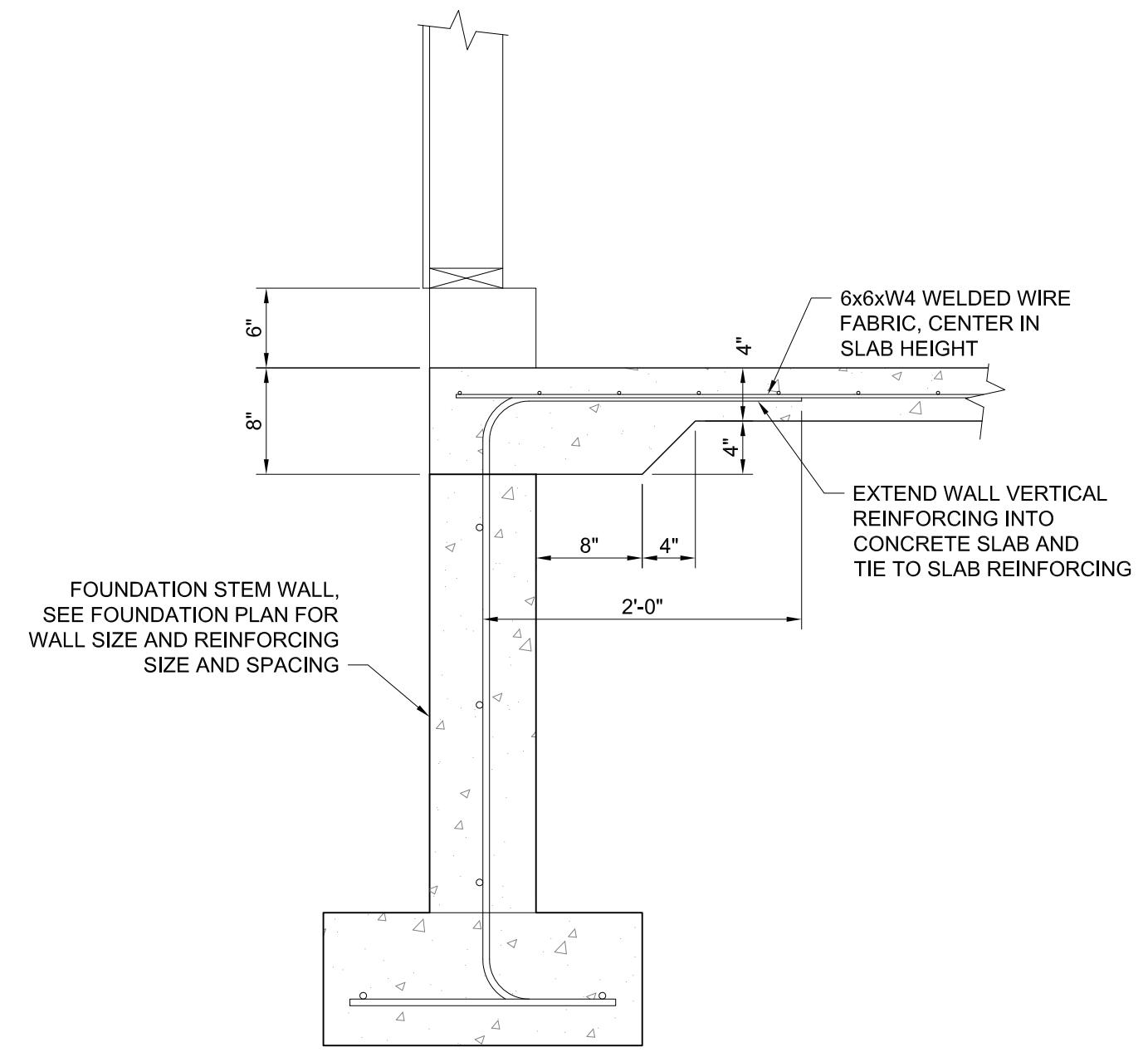
### HOLDOWN SCHEDULE

TYPE	HOLDOWN SIZE	HOLDOWN TYPE	ANCHOR DIAMETER	MINIMUM ANCHOR	ANCHOR OFFSET DIMENSION "A"	MINIMUM COLUMN SIZE	FASTENERS TO COLUMN	NOTES
1	LSTDH8	A	N/A	N/A	3"	TRIPLE 2x	16ea. 16d SINKERS	USE SIMPSON LSTDH8RJ WHEN INSTALLING OVER RIM BOARD
2	STDH10	A	N/A	N/A	3"	TRIPLE 2x	20ea. 16d SINKERS	USE SIMPSON STDH10RJ WHEN INSTALLING OVER RIM BOARD
3	HDU2	B, C, & D	5/8"Ø	SIMPSON SSTB24	4 5/16"	DOUBLE 2x	6ea. SDS 1/4"Øx2 1/2" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
4	STDH14	A	N/A	N/A	3"	TRIPLE 2x	24ea. 16d SINKERS	USE SIMPSON STDH14RJ WHEN INSTALLING OVER RIM BOARD
5	HDU4	B, C, & D	5/8"Ø	SIMPSON SSTB24	4 5/16"	DOUBLE 2x	10ea. SDS 1/4"Øx2 1/2" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
6	HDU5	B, C, & D	5/8"Ø	SIMPSON SSTB24	4 5/16"	DOUBLE 2x	14ea. SDS 1/4"Øx2 1/2" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
7	HDU8	B, C, & D	7/8"Ø	SIMPSON SSTB24	47/8"	4x POST	20ea. SDS 1/4"Øx2 1/2" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
8	HDU8	B, C, & D	7/8"Ø	SIMPSON SSTB24	5 1/8"	TRIPLE 2x	20ea. SDS 1/4"Øx2 1/2" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
9	HDU11	B, C, & D	1"Ø	SIMPSON SB1x30	6 7/8"	6x6 POST	30ea. SDS 1/4"Øx2 1/2" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
10	HDU14	B, C, & D	1"Ø	SIMPSON SB1x30	8 13/16"	6x6 POST	36ea. SDS 1/4"Øx2 1/2" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING

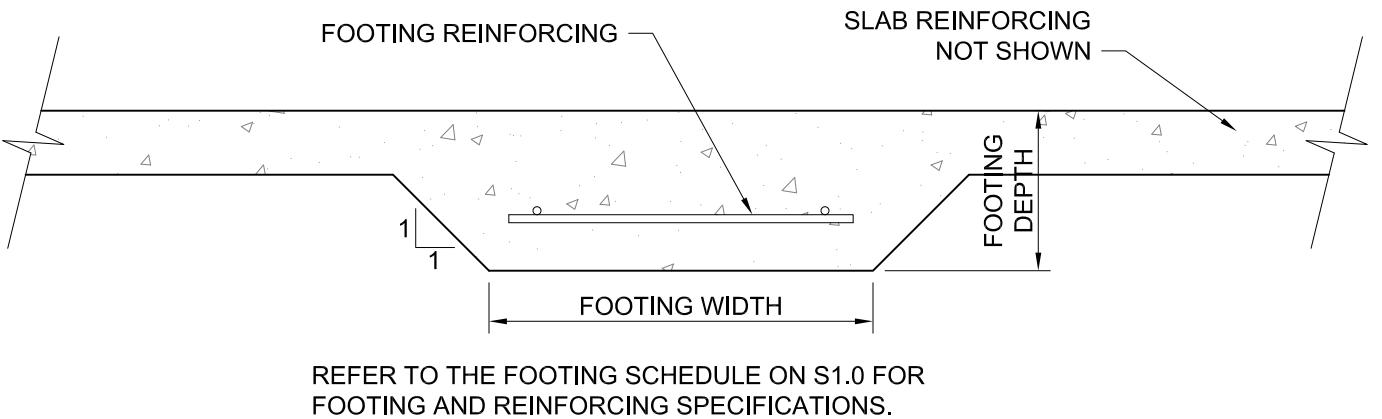


### MINIMUM FASTENING SCHEDULE

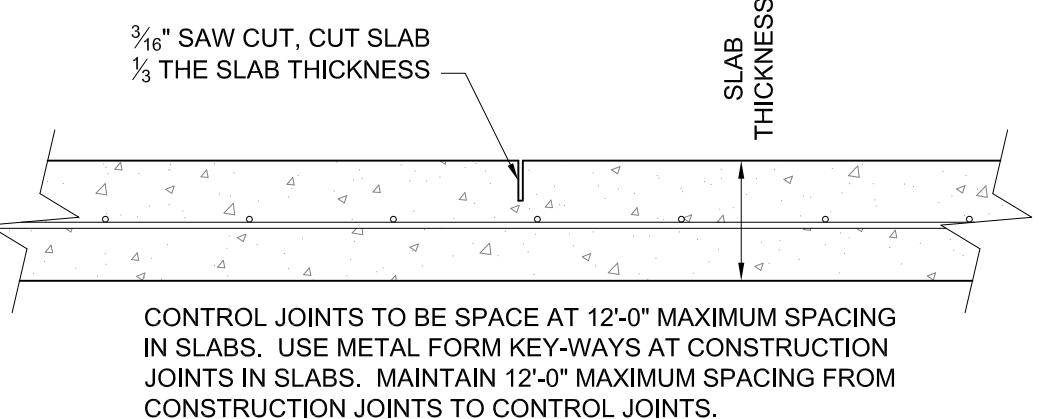
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
<b>Roof</b>		
Blocking between ceiling joists, rafters or trusses to top plate or other framing below	3ea. 3"x0.131"Ø nails	Each end, toenail
Ceiling joist not attached to parallel rafter, laps over partitions (no thrust)	3ea. 3"x0.131"Ø nails	Each joist, toenail
(see Section 2308.7.3.1, Table 2308.7.3.1)	3ea. 12d common (3/4"x0.162"Ø); or 4ea. 3"x0.131"Ø nails	Face nail
Ceiling joist attached to parallel rafter (heel joist) (see Section 2308.7.3.1, Table 2308.7.3.1)	2ea. 12d common (3/4"x0.162"Ø) to top plate	Toenail
(See Section 2308.7.5, Table 2308.7.5)	3ea. 12d common (3/4"x0.162"Ø) to parallel rafter	Face nail
Rafter or roof truss to top plate (See Section 2308.7.5, Table 2308.7.5)	3ea. 12d common (3/4"x0.135"Ø); or 4ea. 3"x0.131"Ø nail	Toenail
Roof rafters to ridge valley or hip rafters; or roof rafter to 2-inch ridge beam	2ea. 12d common (3/4"x0.162"Ø); or 3ea. 3"x0.131"Ø nails	End nail
<b>Wall</b>		
Stud to stud (not at braced wall panels)	12d common (3/4"x0.162"Ø)	24" o.c. face nail
Stud to stud and abutting stud at intersecting wall corners (at braced wall panels)	12d common (3/4"x0.162"Ø)	16" o.c. face nail
Bull-up header (2" to 2" header)	12d common (3/4"x0.162"Ø)	16" o.c. each edge, face nail
Continuous header to stud	4ea. 12d common (3/4"x0.162"Ø) for 2x4 studs	Toenail
Top plate to top plate	2ea. 12d common (3/4"x0.162"Ø) @ 16" o.c. (2x4)	16" o.c. face nail
Top plate to top plate, at end joints	2ea. 12d common (3/4"x0.162"Ø) @ 16" o.c. (2x6)	Each side of end joint, face nail (minimum 48" lap splice length each side of end joint)
Bottom plate to joist, rim joist band joist or blocking (not at braced wall panels)	12d common (3/4"x0.162"Ø)	16" o.c. face nail
Bottom plate to joist, rim joist, band joist or blocking at braced wall panels	2ea. 12d common (3/4"x0.162"Ø) for 2x4 studs	16" o.c. face nail
Top or bottom plate to stud	3ea. 12d common (3/4"x0.162"Ø) for 2x6 studs	End nail
Top plates, laps at corners and intersections	4ea. 12d common (3/4"x0.162"Ø)	Face nail
<b>Floor</b>		
Joist to sill, top plate, or girder	3ea. 10d common (3/4"x0.128"Ø)	Toenail
Rim joist, band joist, or blocking to top plate, sill or other framing below	10d common (3/4"x0.128"Ø)	6" o.c., toenail
Ledger strip supporting joists or rafters	3ea. 12d common (3/4"x0.162"Ø) for 2x6 studs	Each joist or rafter, face nail
4ea. 12d common (3/4"x0.162"Ø) for 2x8 studs	5ea. 12d common (3/4"x0.162"Ø) for 2x10 studs	
Joist to band joist or rim joist	3ea. 12d common (3/4"x0.162"Ø)	End nail
Bridging or blocking to joist, rafter or truss	2ea. 10d common (3/4"x0.128"Ø)	Each end, toenail
<b>DESCRIPTION OF BUILDING ELEMENTS</b>		
Wood structural panels (WSP), subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing	Edges (inches)	Intermediate supports (inches)
8d common (2 1/2"x0.131"Ø) (roof and wall)	6	



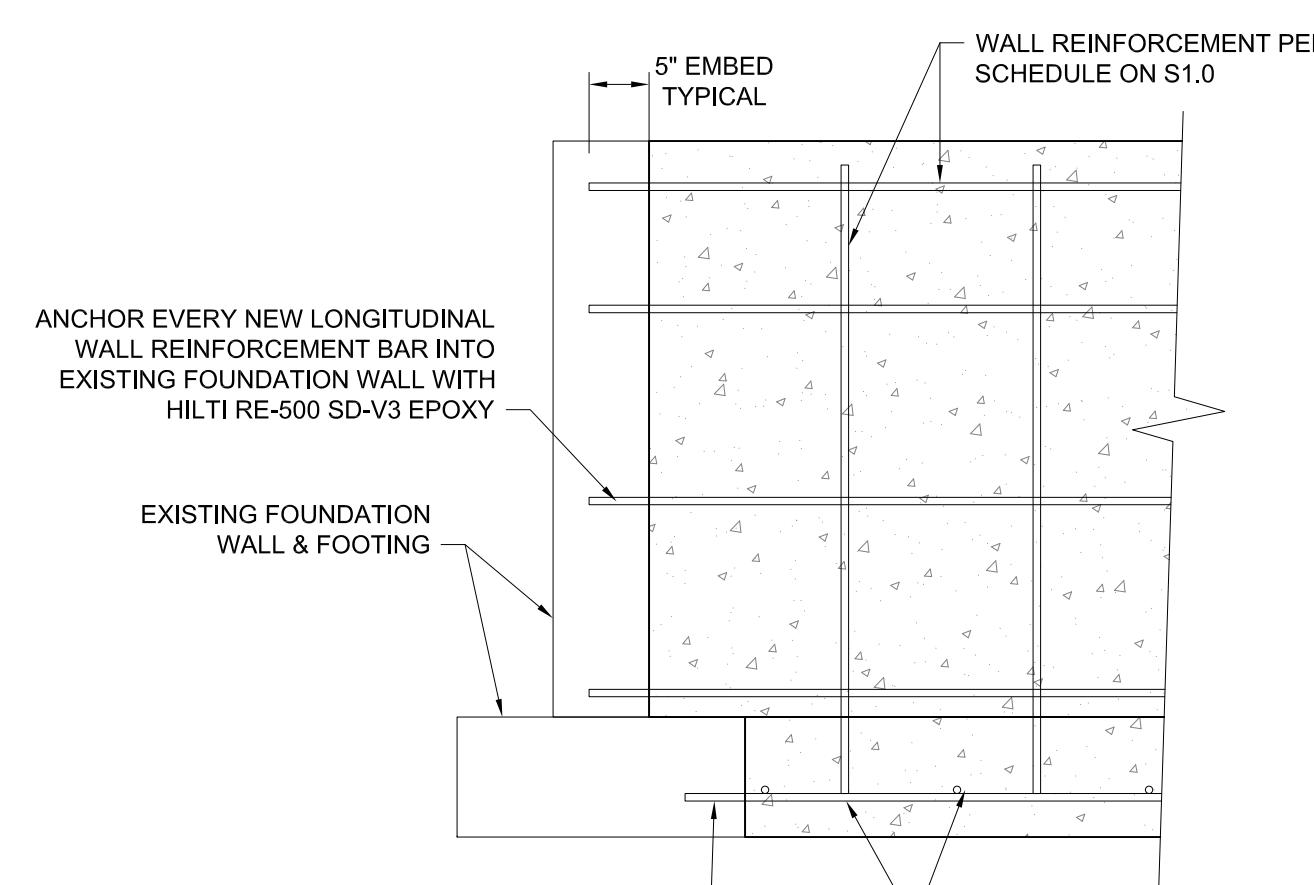
**TYPICAL BLOCK-OUT DETAIL**  
SCALE: 1"=1'-0"  
@ EXTERIOR DOOR LOCATIONS



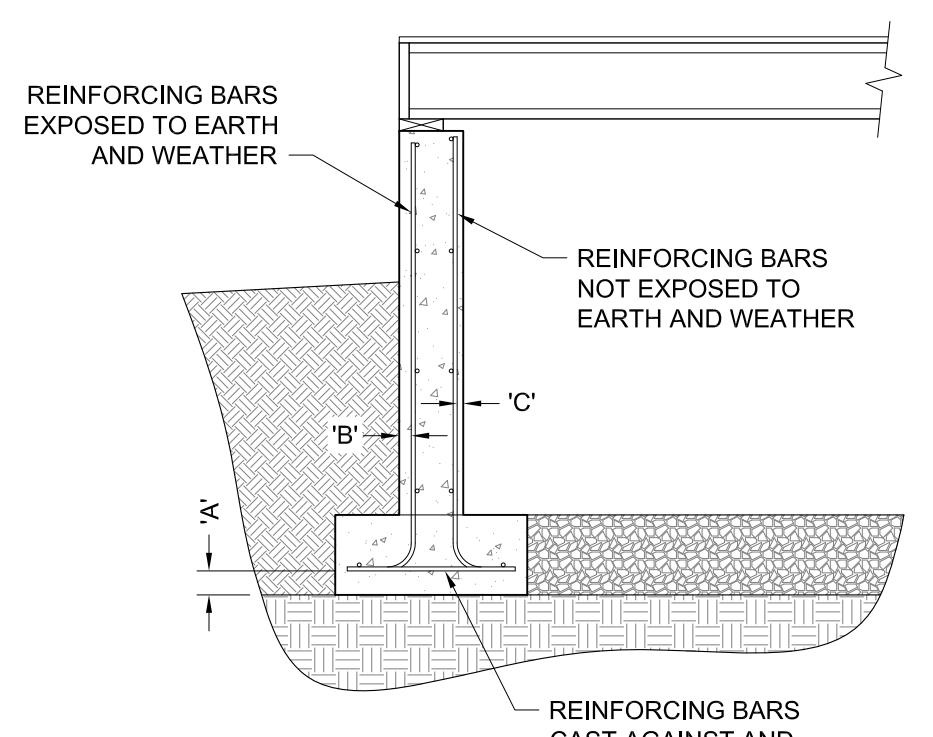
**TYPICAL MONOLITHIC FOOTING DETAIL**  
SCALE: 1"=1'-0"  
@ CONCRETE SLABS



**TYPICAL SLAB CONTROL JOINTS**  
SCALE: 1 1/2"=1'-0"



**TYPICAL NEW FND TO EXISTING FND DETAIL**  
SCALE: 3/4"=1'-0"

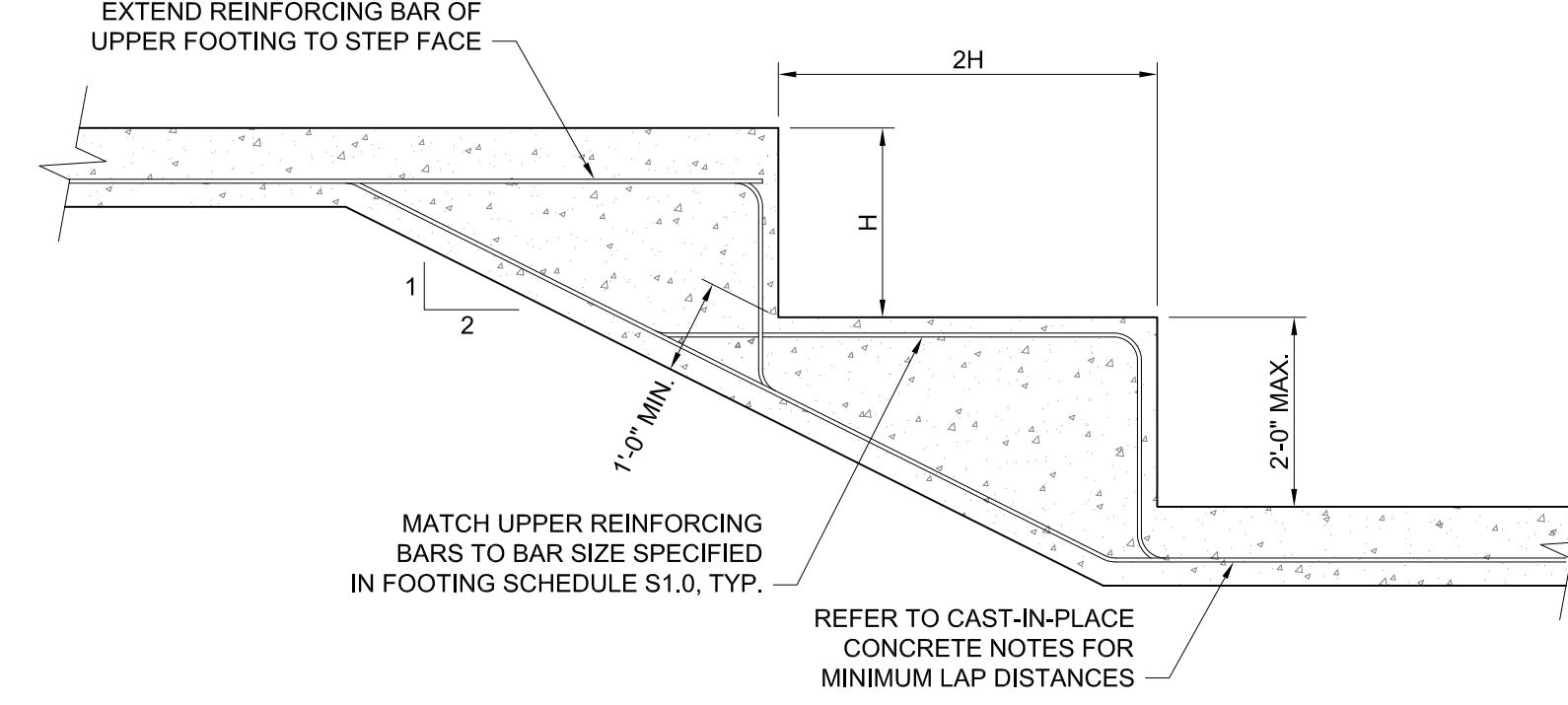


**MINIMUM REINFORCING BAR COVER DISTANCES**  
SCALE: 1/2"=1'-0"

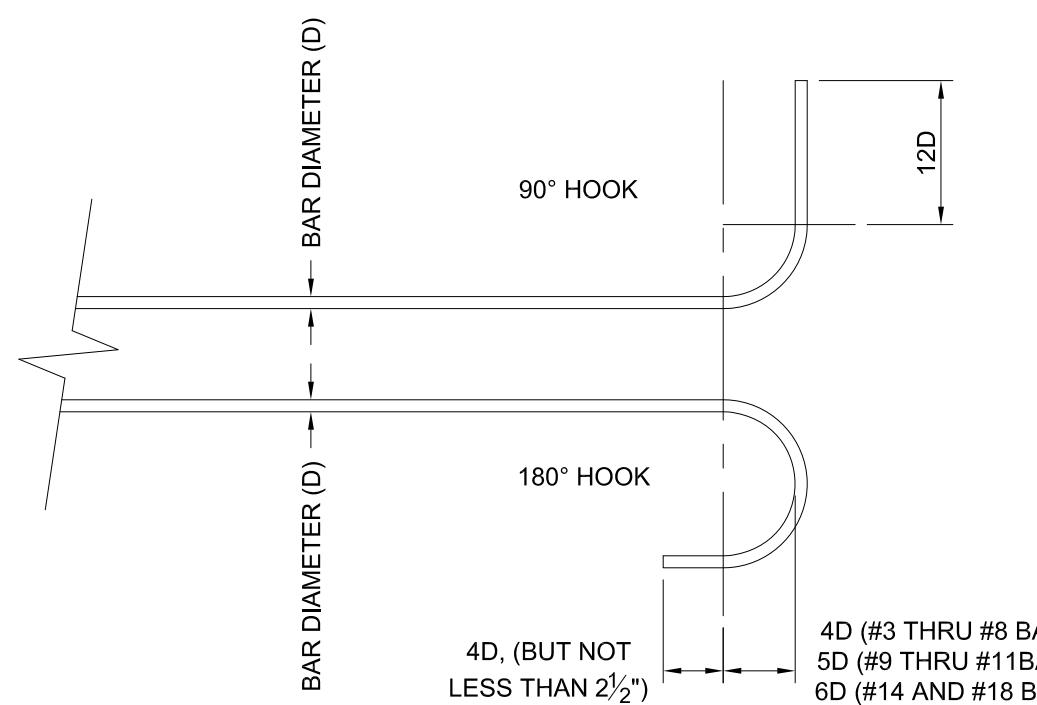
LOCATION	COVER DISTANCE	NOTES
'A'	3" MINIMUM	FOR ALL REINFORCING BAR SIZES
'B'	2" MINIMUM	FOR #6 BAR THROUGH #18 BAR
'B'	1 1/2" MINIMUM	FOR #5 BAR AND SMALLER
'C'	1 1/2" MINIMUM	FOR #14 AND #18 BARS
'C'	3/4" MINIMUM	FOR #11 BARS AND SMALLER
BEAMS AND COLUMNS	1 1/2" MINIMUM	FOR PRIMARY REINFORCEMENT, TIES, STIRRUPS, AND SPIRALS

NOTE:  
USE THE ABOVE MINIMUM COVER DISTANCES WHEN THE ACTUAL LOCATIONS ARE NOT SPECIFIED IN THE STRUCTURAL NOTES, SCHEDULES, OR STRUCTURAL DETAILS.

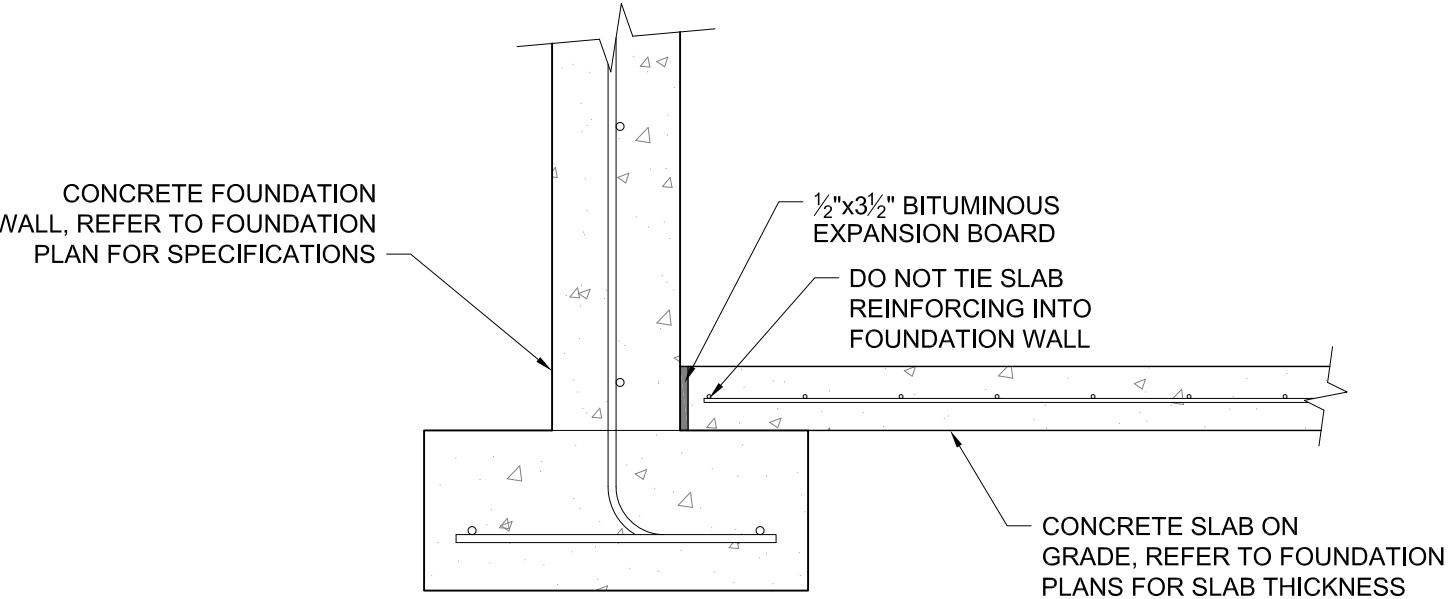
PER ACI 318-14, CHAPTER 20, SECTION 20.6.1.3.1



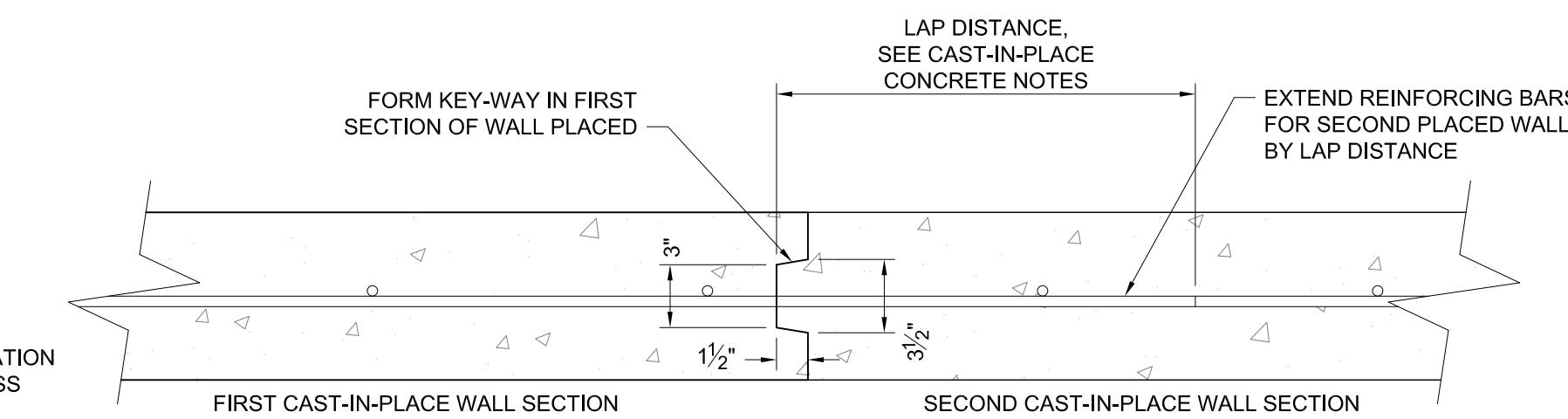
**TYPICAL FOOTING STEP DETAIL**  
SCALE: 1/2"=1'-0"



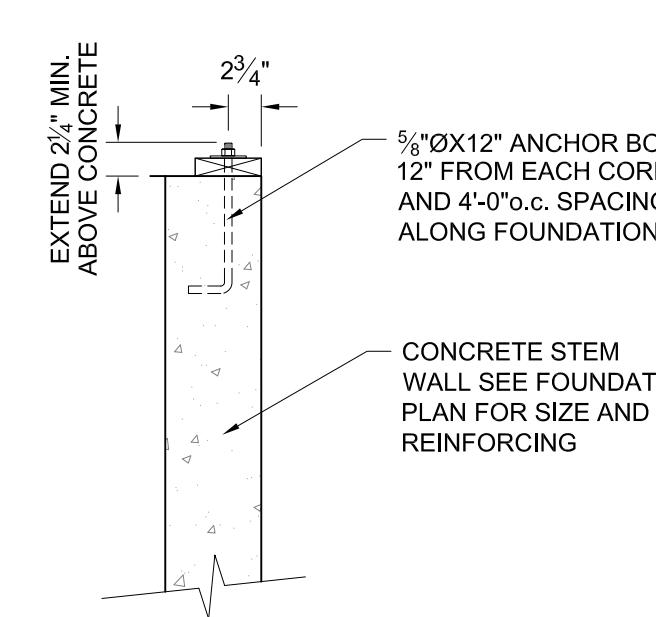
**STANDARD REBAR HOOK AND BEND**  
SCALE: 1 1/2"=1'-0"  
PER ACI 318-14, CHAPTER 25, SECTION 25.3.1



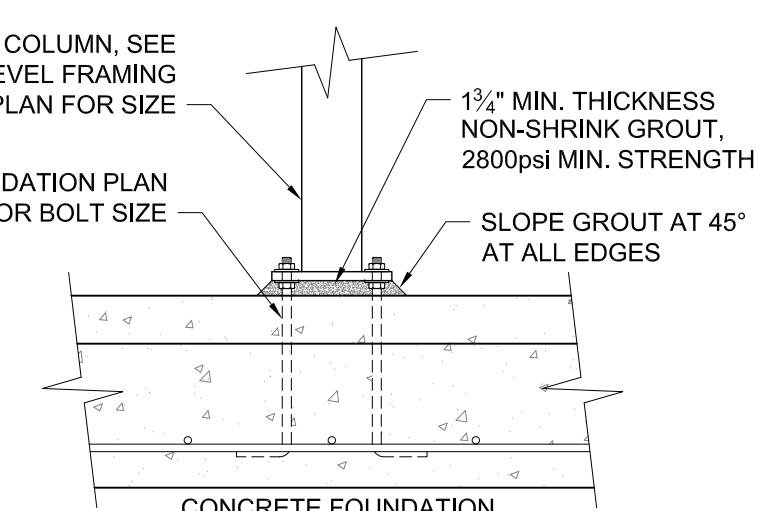
**TYPICAL SLAB/FOUNDATION CONNECTION**  
SCALE: 1"=1'-0"



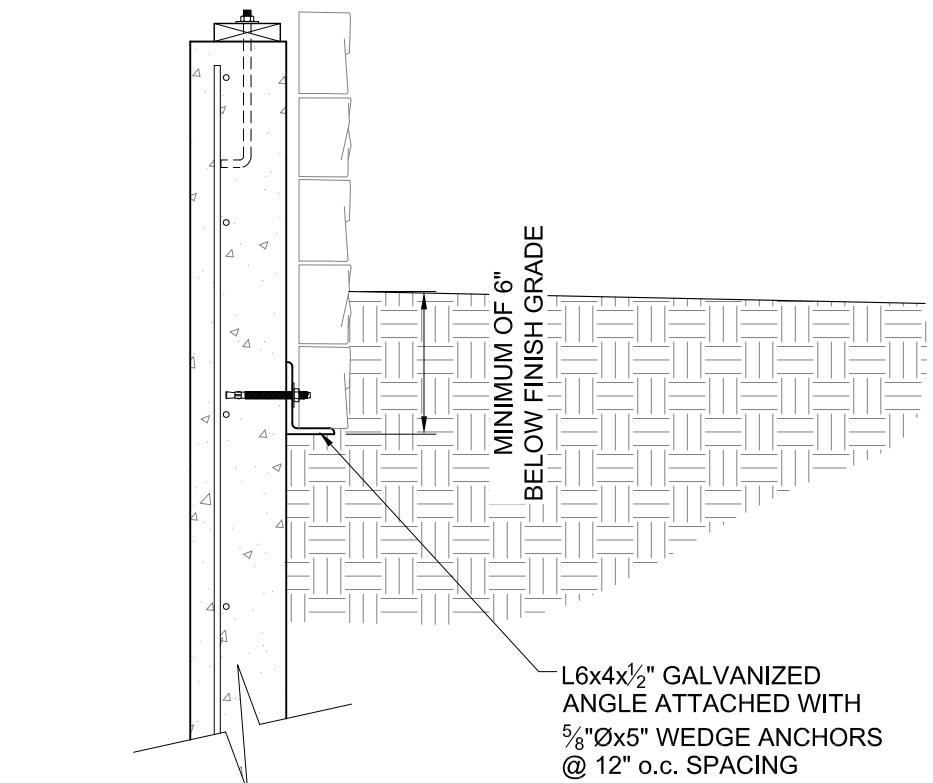
**CONSTRUCTION JOINT DETAIL**  
SCALE: 1 1/2"=1'-0"  
@ CAST-IN-PLACE CONCRETE WALLS



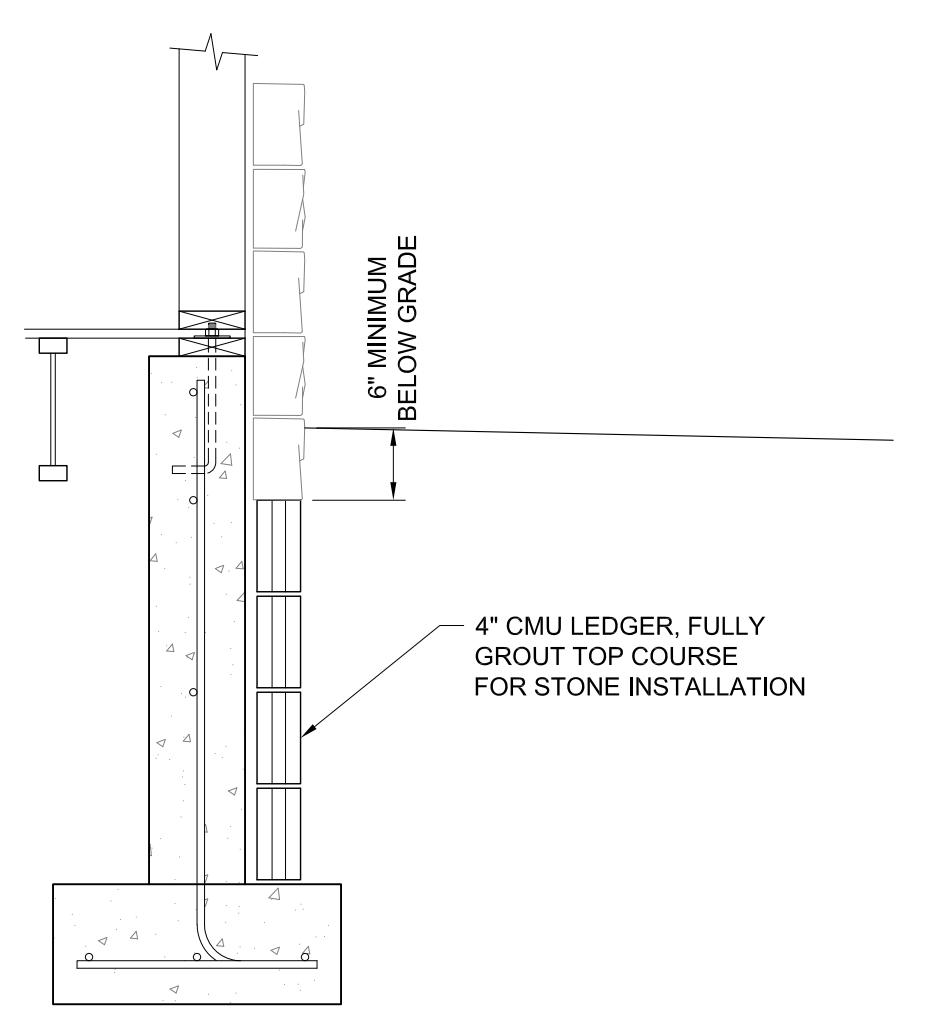
**TYPICAL ANCHOR BOLT LAYOUT**  
SCALE: 3/4"=1'-0"



**TYPICAL GROUT DETAIL**  
SCALE: 3/4"=1'-0"  
@ STEEL COLUMN BASES



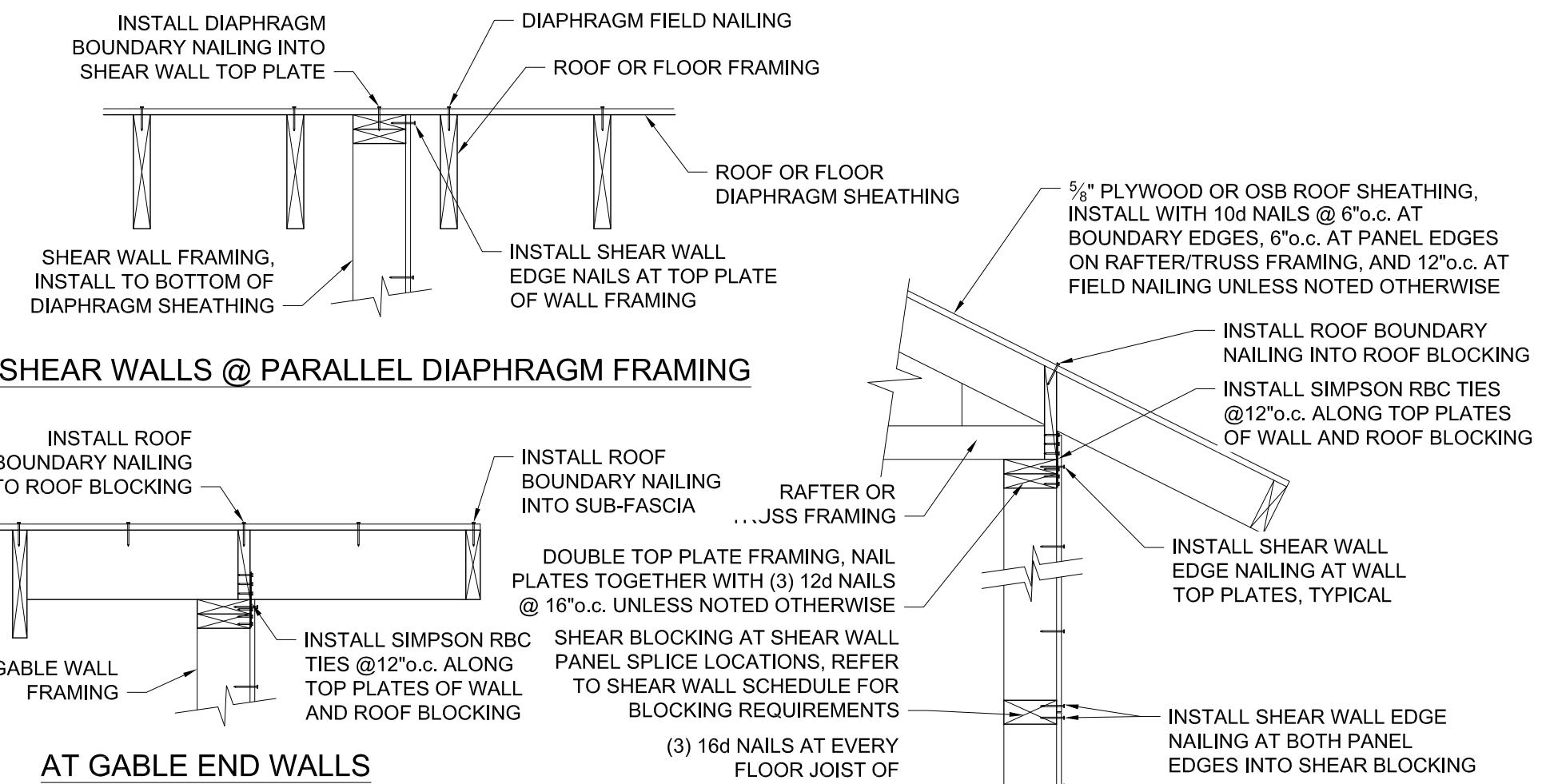
**STONE LEDGER DETAIL**  
SCALE: 3/4"=1'-0"



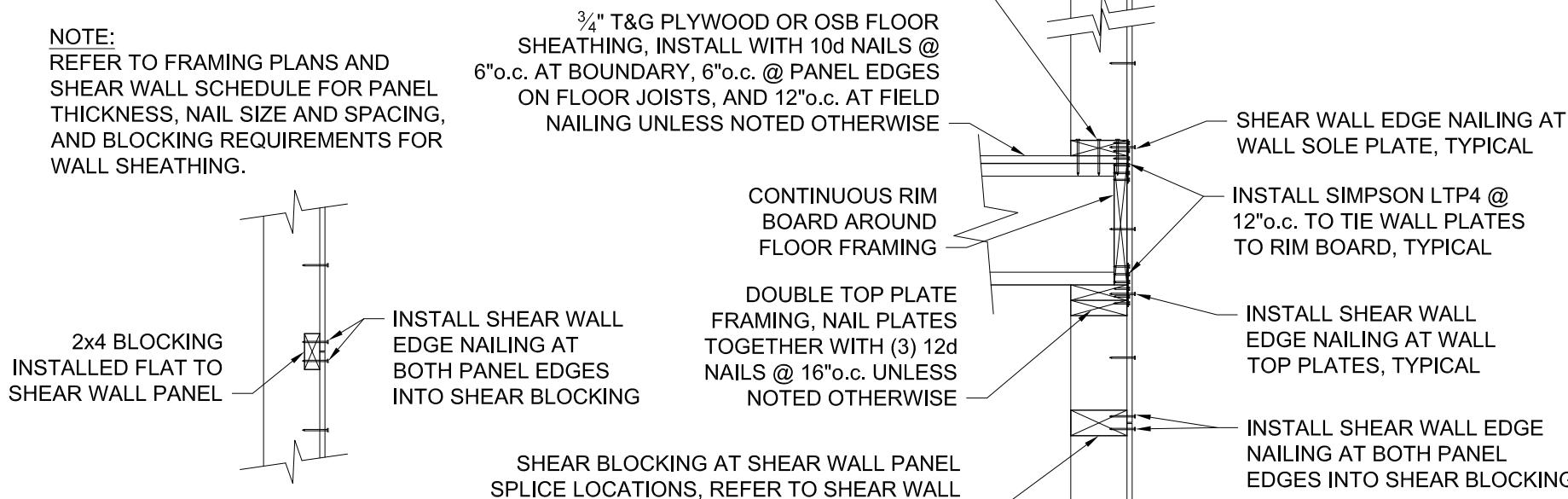
**STONE LEDGER DETAIL**  
SCALE: 3/4"=1'-0"  
@ TALL FOUNDATION WALL

**STONE LEDGER DETAIL**  
SCALE: 3/4"=1'-0"  
@ SHORT FOUNDATION WALL

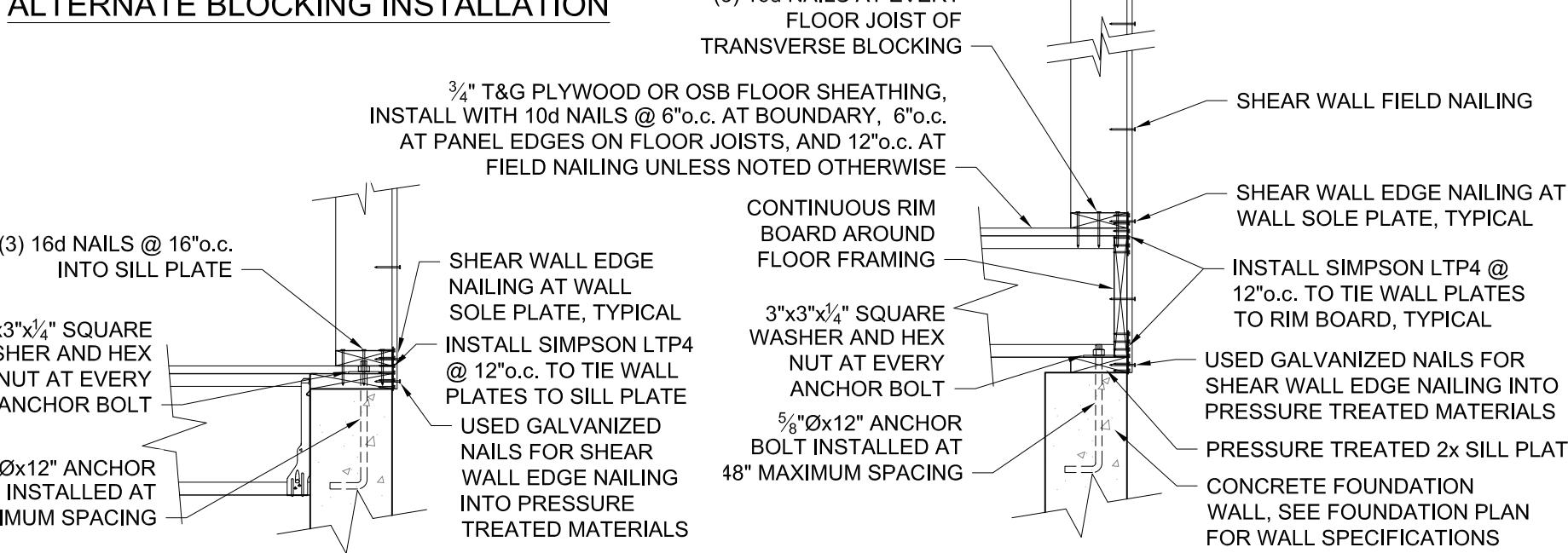




AT GABLE END WALLS



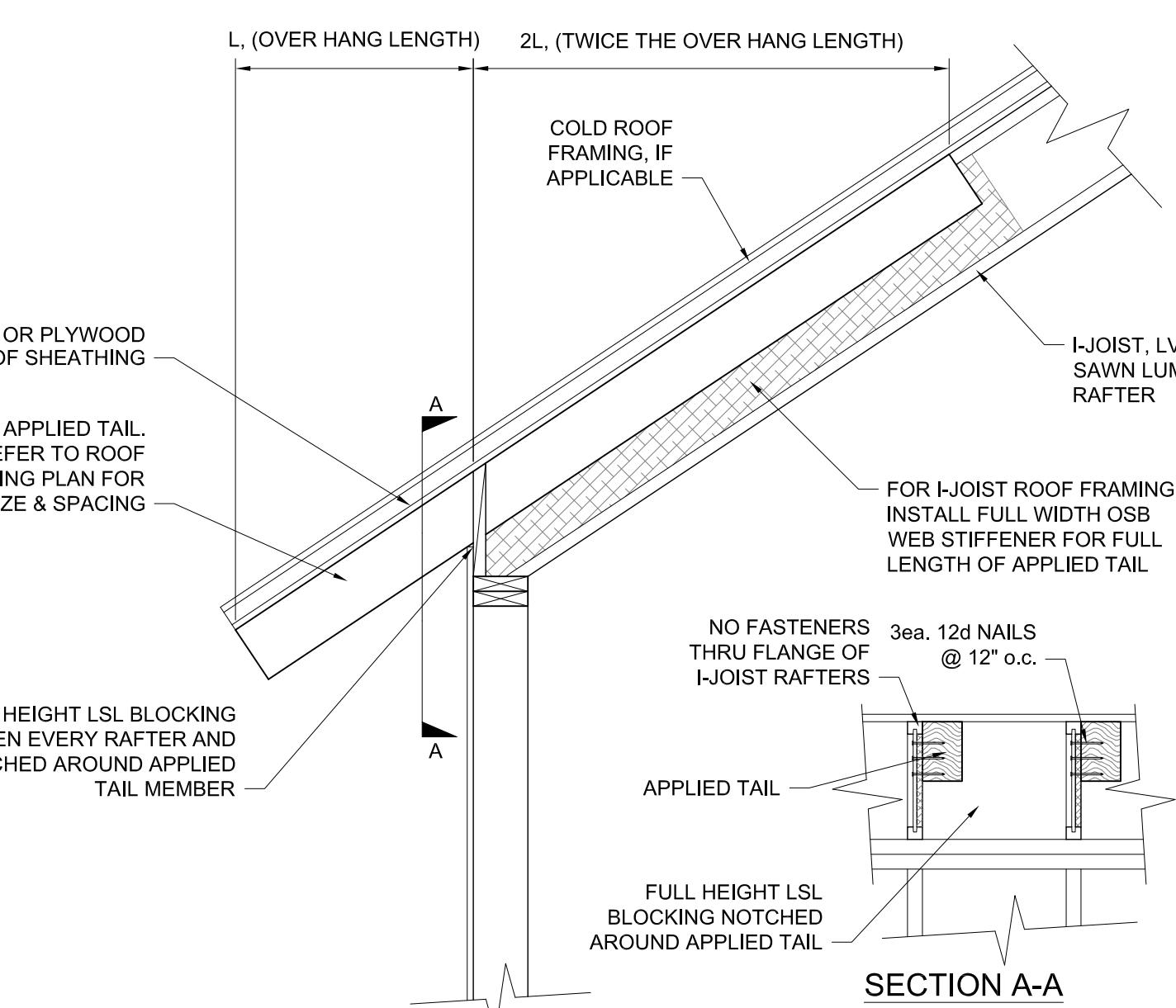
ALTERNATE BLOCKING INSTALLATION



AT HUNG FLOOR CONDITION

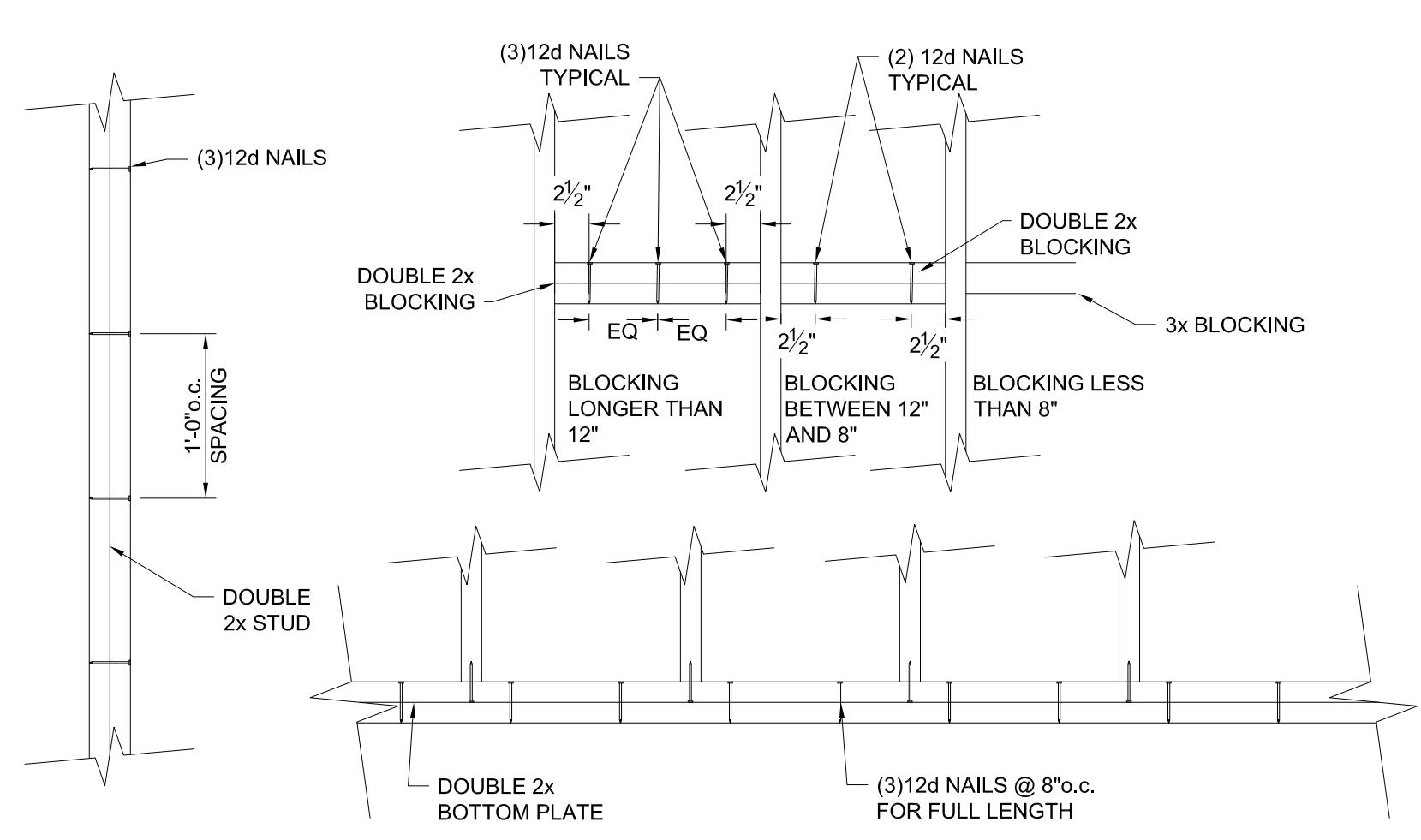
TYPICAL DIAPHRAGM/SHEAR WALL LOAD PATH DETAIL

SCALE:  $\frac{3}{4}''=1'-0''$

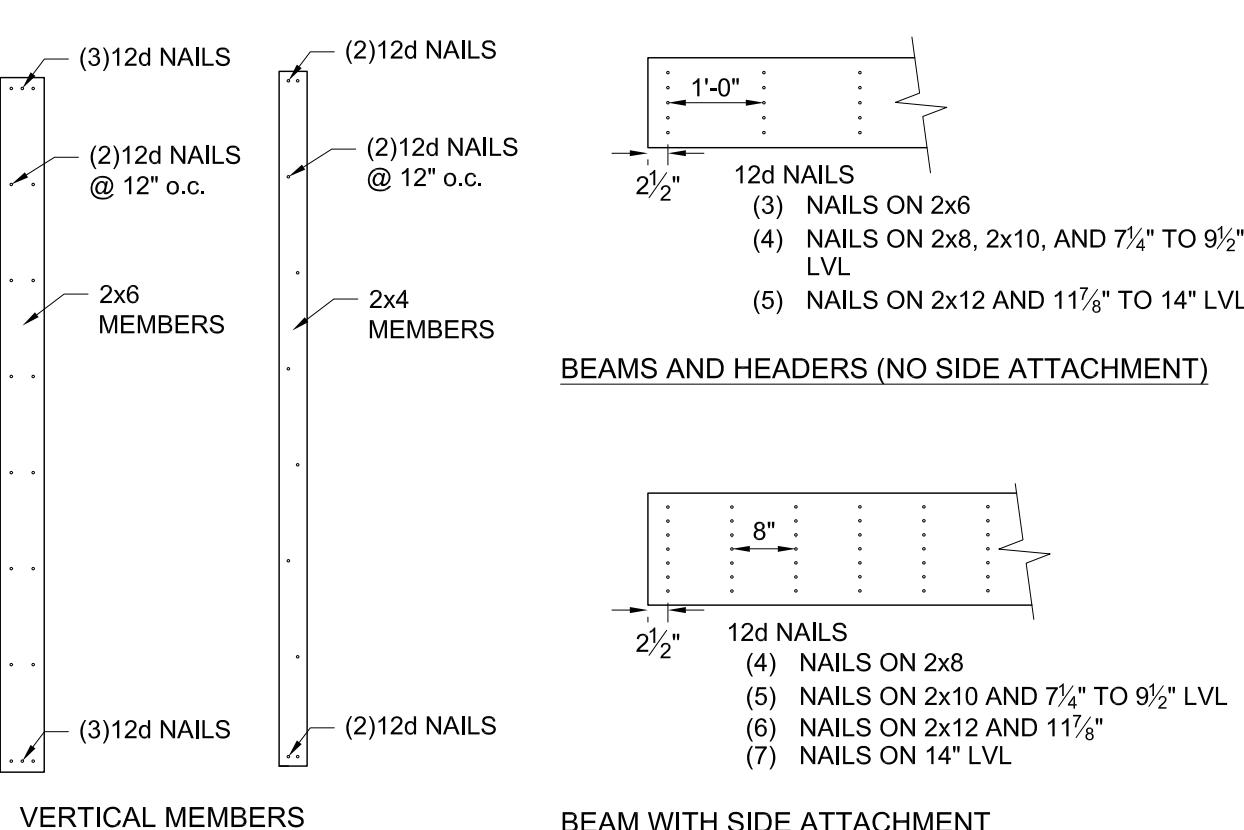


TYPICAL APPLIED TAIL FRAMING

SCALE:  $\frac{3}{4}''=1'-0''$

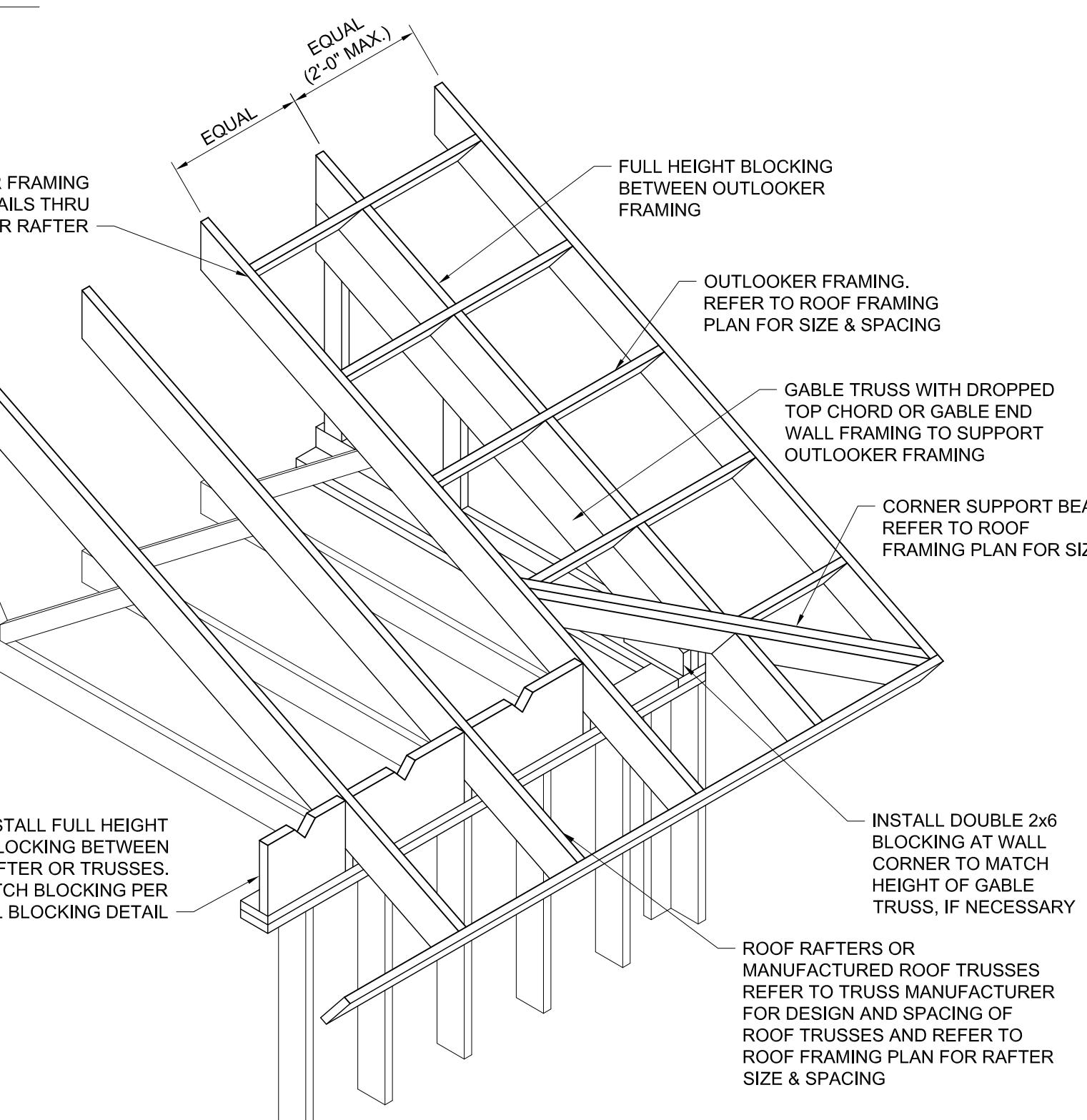


ALTERNATE TO 3x BLOCKING  
@ SHEAR WALLS



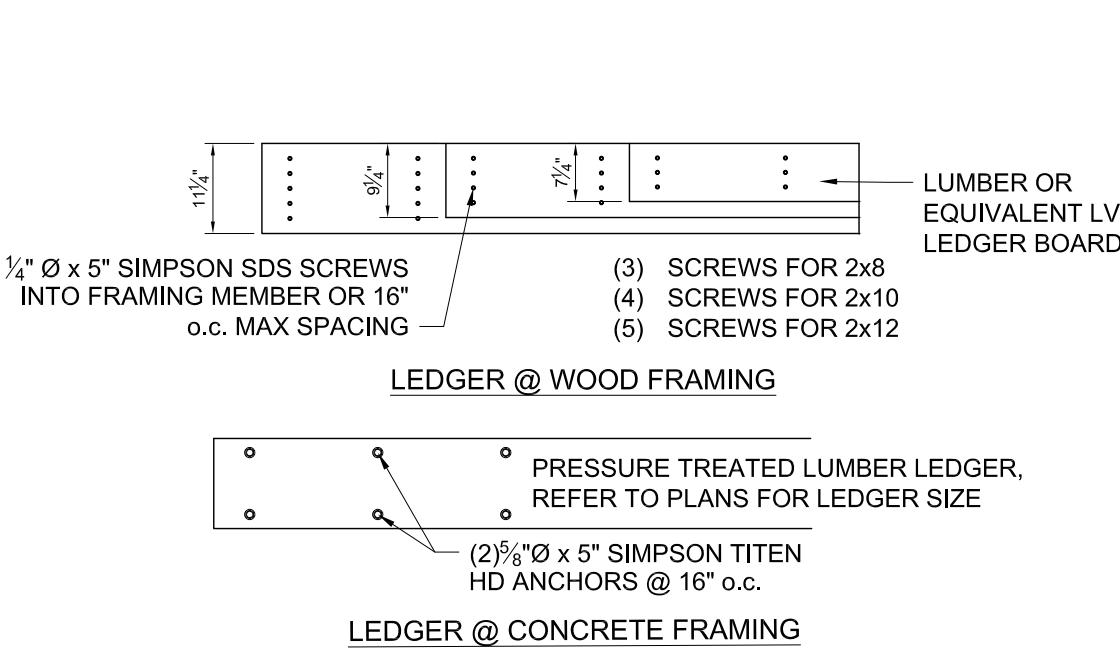
MINIMUM NAILING FOR BUILT UP MEMBERS

SCALE:  $\frac{1}{2}''=1'-0''$



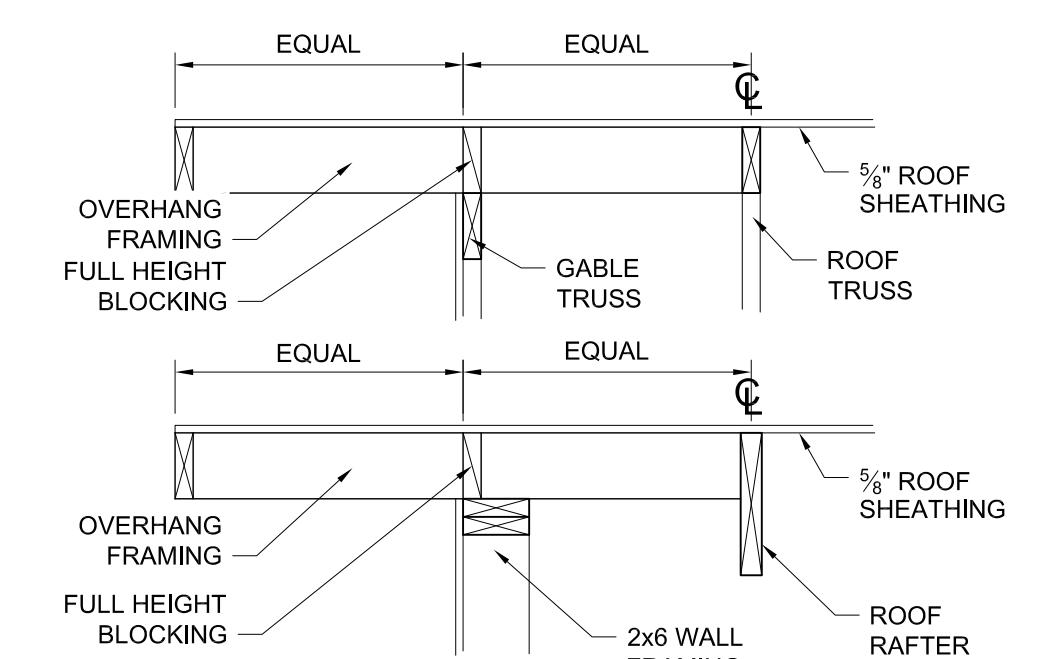
TYPICAL ROOF FRAMING

SCALE:  $\frac{1}{2}''=1'-0''$



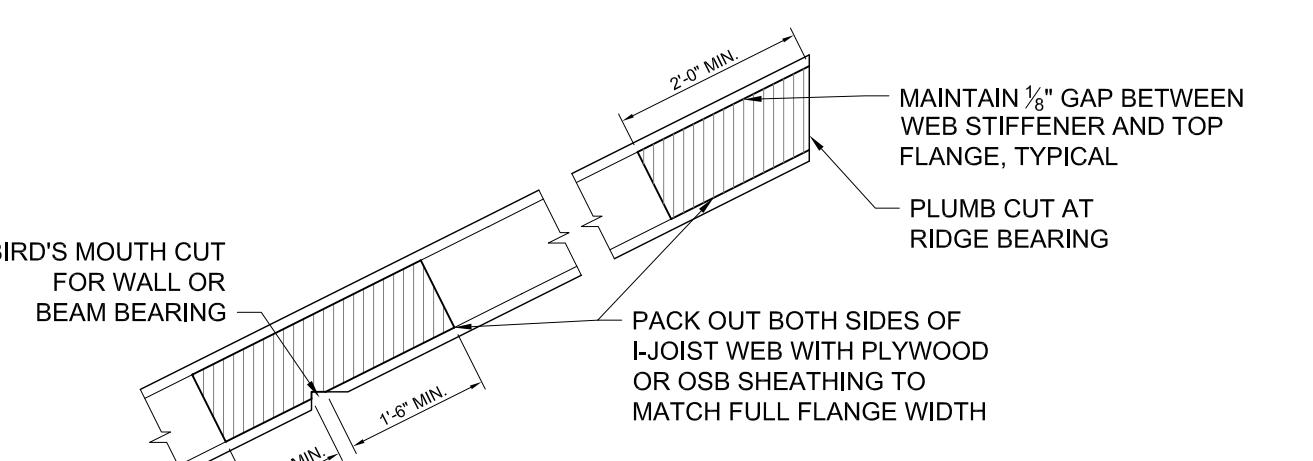
LEDGER CONNECTION DETAIL

SCALE:  $\frac{1}{2}''=1'-0''$



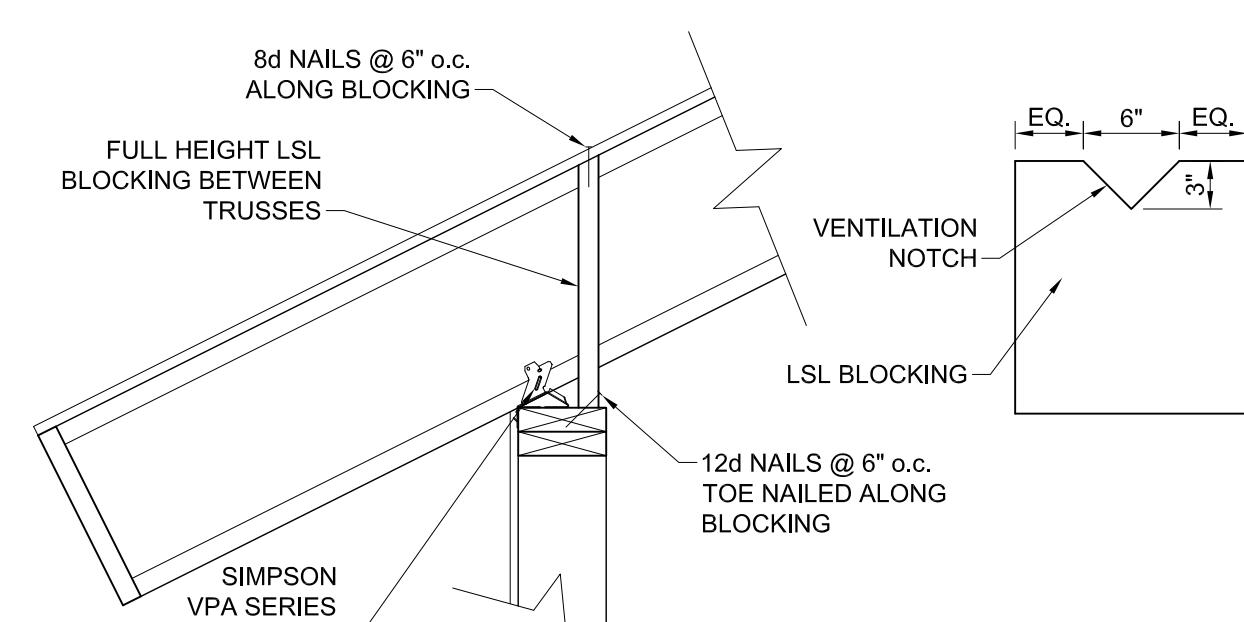
TYPICAL OVERHANG FRAMING  
@ GABLE ENDS

SCALE:  $\frac{3}{4}''=1'-0''$



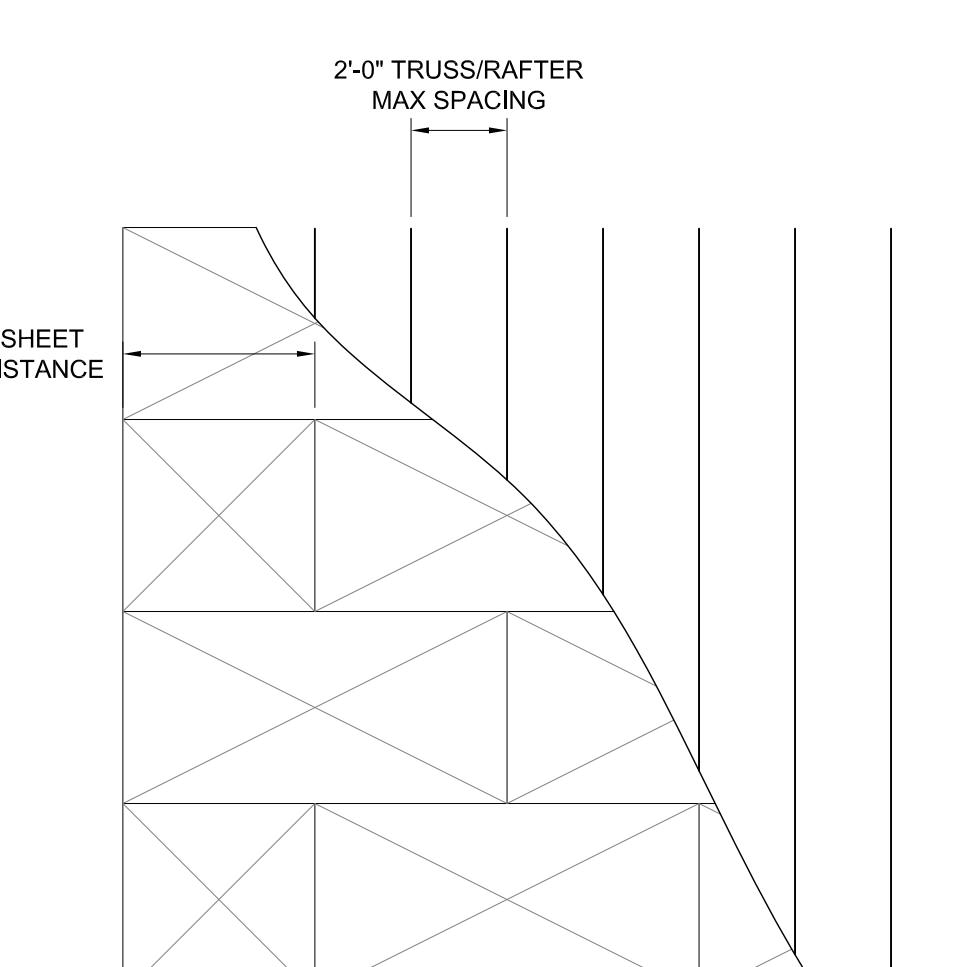
Rafter web stiffener detail  
@ I-JOIST RAFTERS

SCALE:  $\frac{1}{2}''=1'-0''$



TYPICAL BLOCKING DETAIL  
@ ROOF RAFTERS

SCALE:  $1''=1'-0''$



ROOF SHEATHING DETAIL

SCALE:  $\frac{1}{4}''=1'-0''$

NOTE: ROOF SHEATHING NAILING TO BE:  
8d NAILS @ 4" EDGES & 6" INTERMEDIATE





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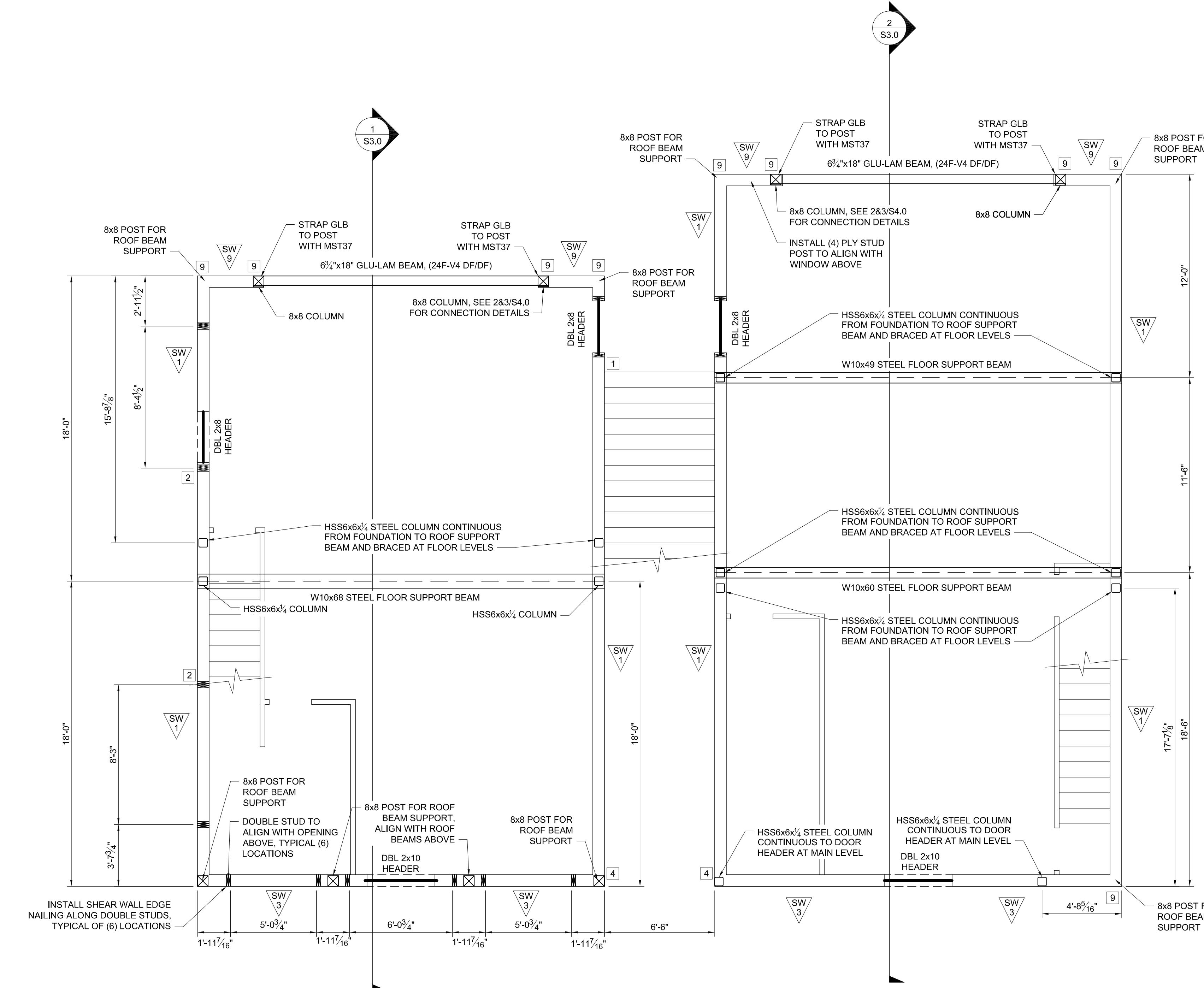


WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

## LOWER LEVEL FRAMING PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

## **@3 BEDROOM UNITS**



LOWER	
DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	
09040	
HEET	
S2.1	



PROJECT TITLE:  
WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

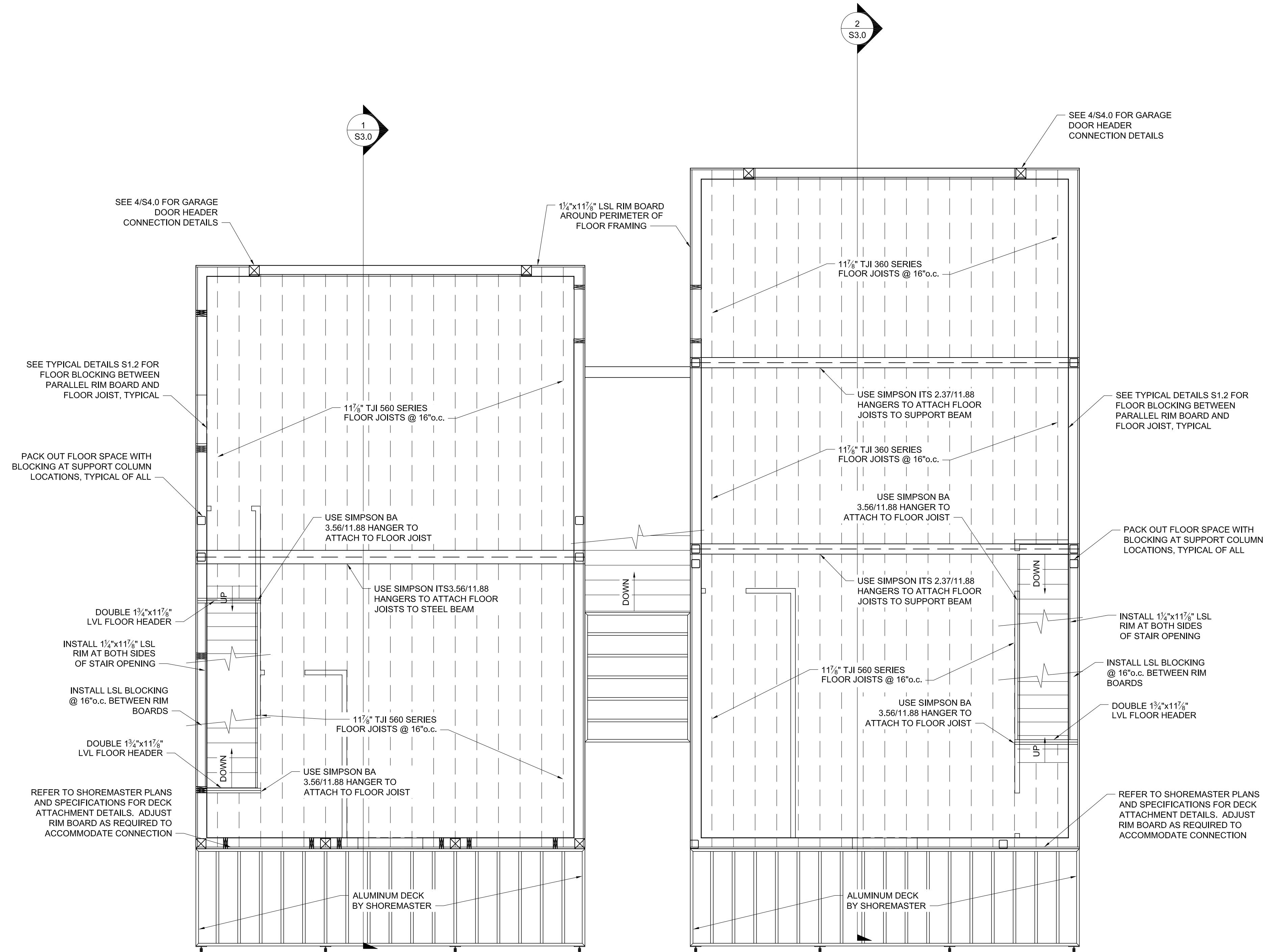
SHEET TITLE:  
MAIN LEVEL FLOOR PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
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CONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	09040
SHEET	S2.2

### MAIN LEVEL FLOOR PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

@3 BEDROOM UNITS





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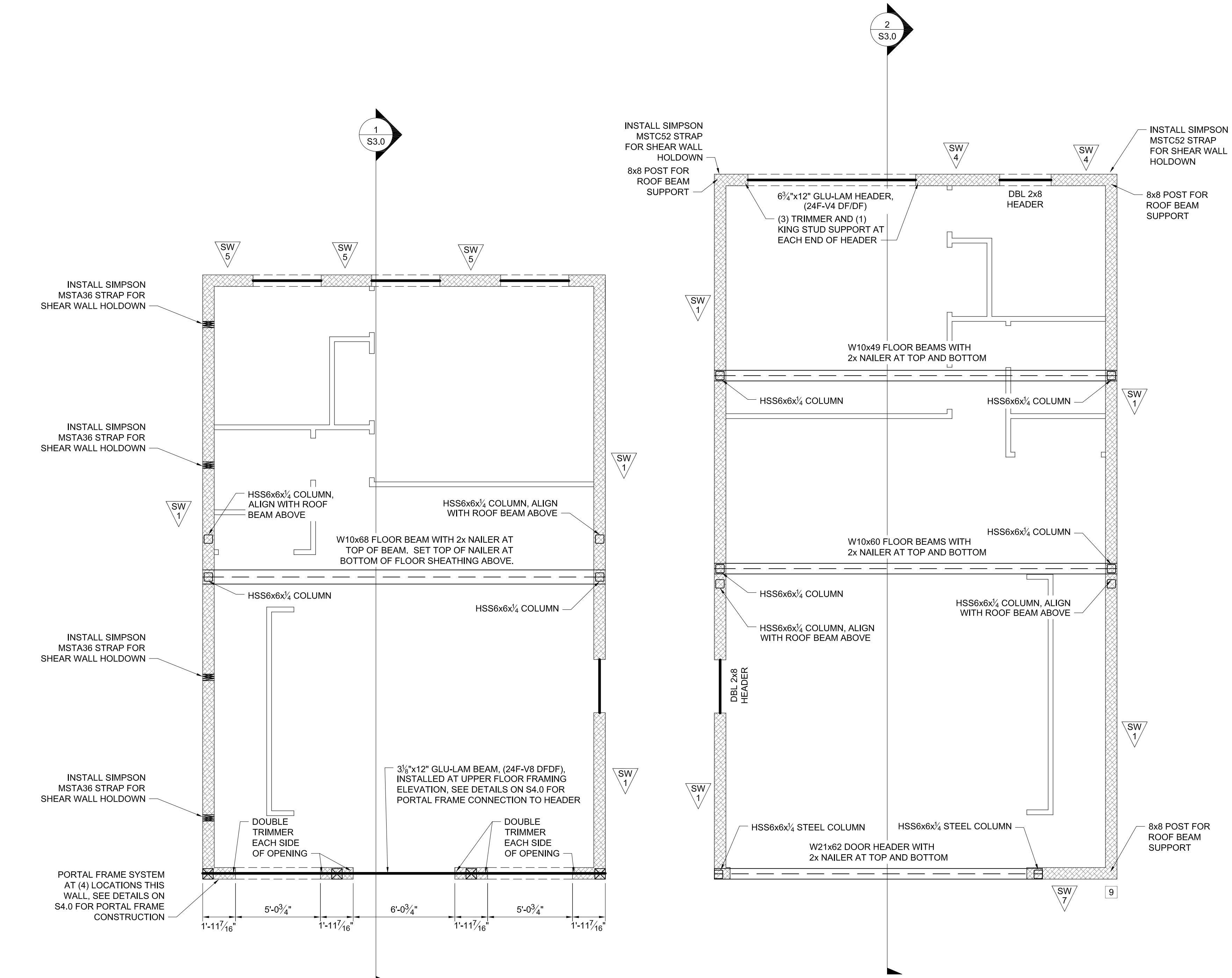


WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

## MAIN LEVEL FRAMING PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

## **@3 BEDROOM UNITS**



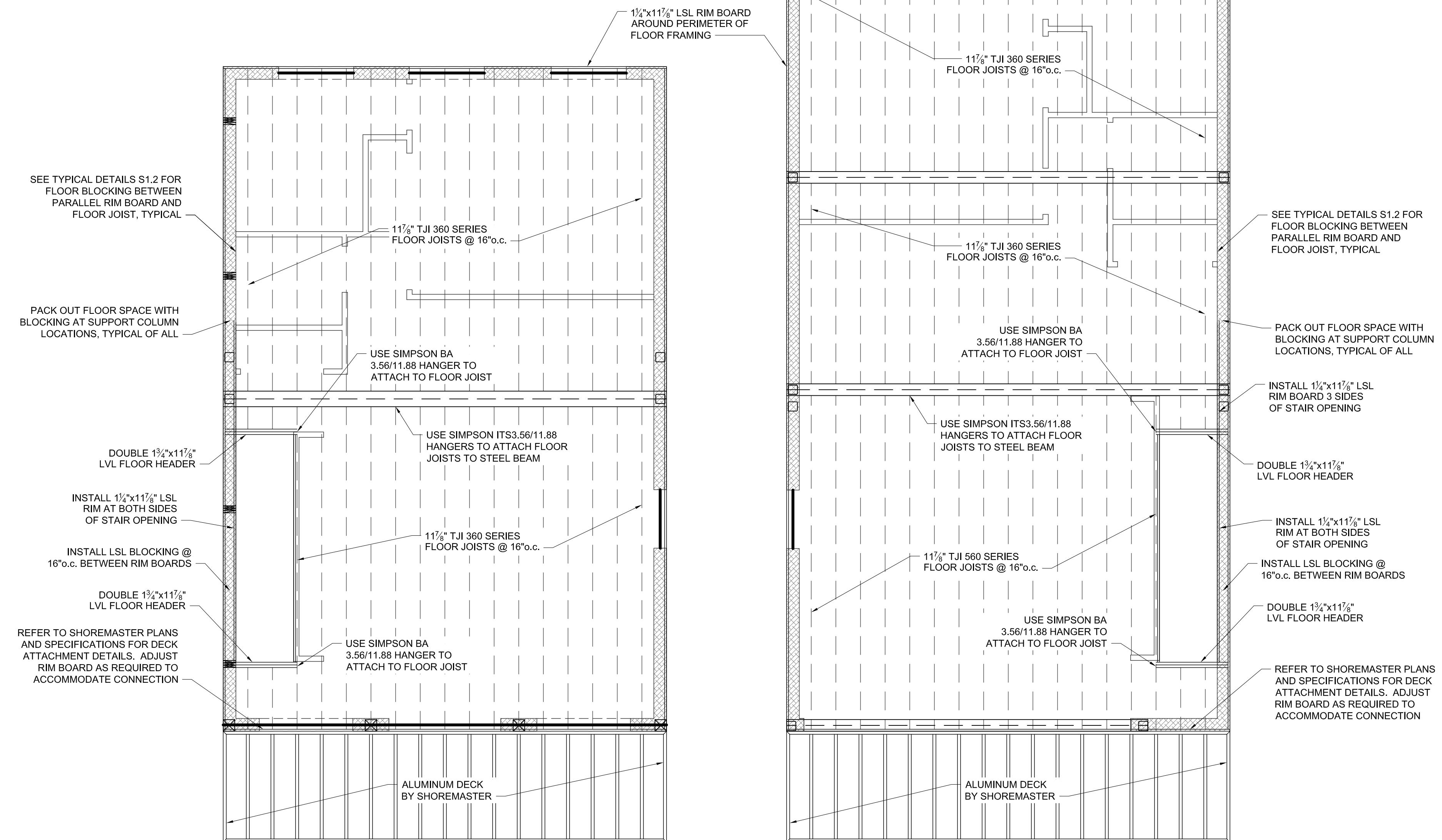
<b>MAIN LINE</b>	
RAFTED BY:	TJ
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PERMIT RESUBMITTAL	4/30/2020
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ONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	
<b>09040</b>	
HEET	
<b>S2.3</b>	

Plotted by jmann on Nov 04, 2020 - 4:49pm

Ver. 15.1

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## UPPER LEVEL FLOOR PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

**@3 BEDROOM UNITS**

UPPER I	
AFTED BY:	TJ
VIEWED BY:	JM
AN VERSION	DATE
RMIT RESUBMITTAL	4/30/2020
ORD. SET	8/18/2020
UNDATION PLAN	10/06/2020
NST. DOCUMENTS	11/04/2020
JECT NUMBER	
09040	
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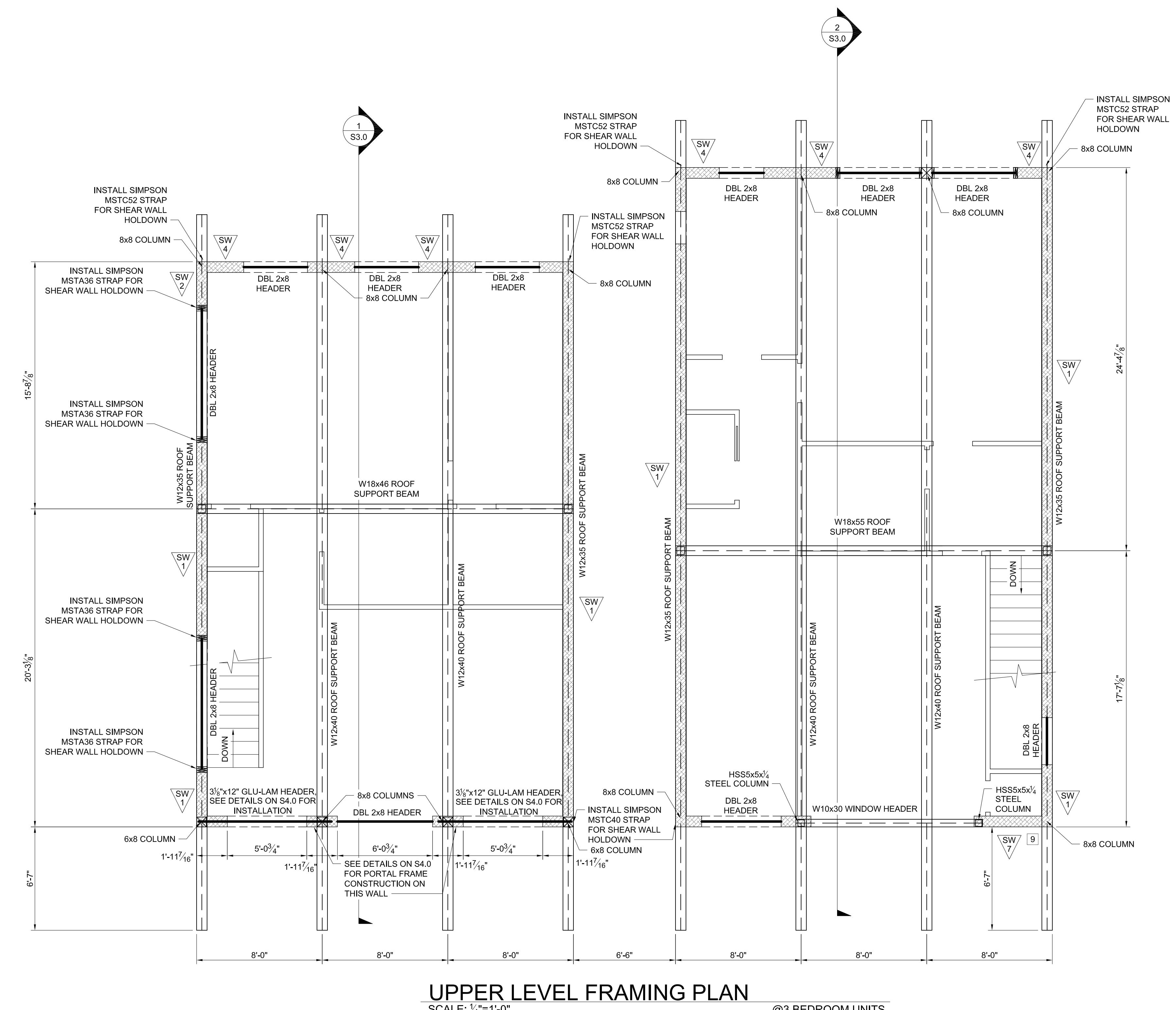
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WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

# UPPER LEVEL FRAMING PLAN

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PLAN VERSION	DATE
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COORD. SET	8/18/2020
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ONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	
09040	
HEET	
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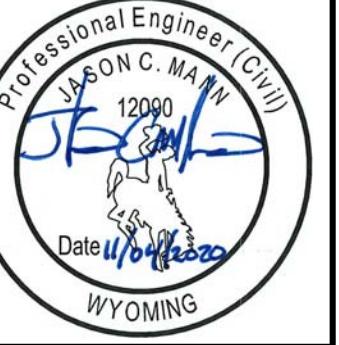
## UPPER LEVEL FRAMING PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

**@3 BEDROOM UNITS**



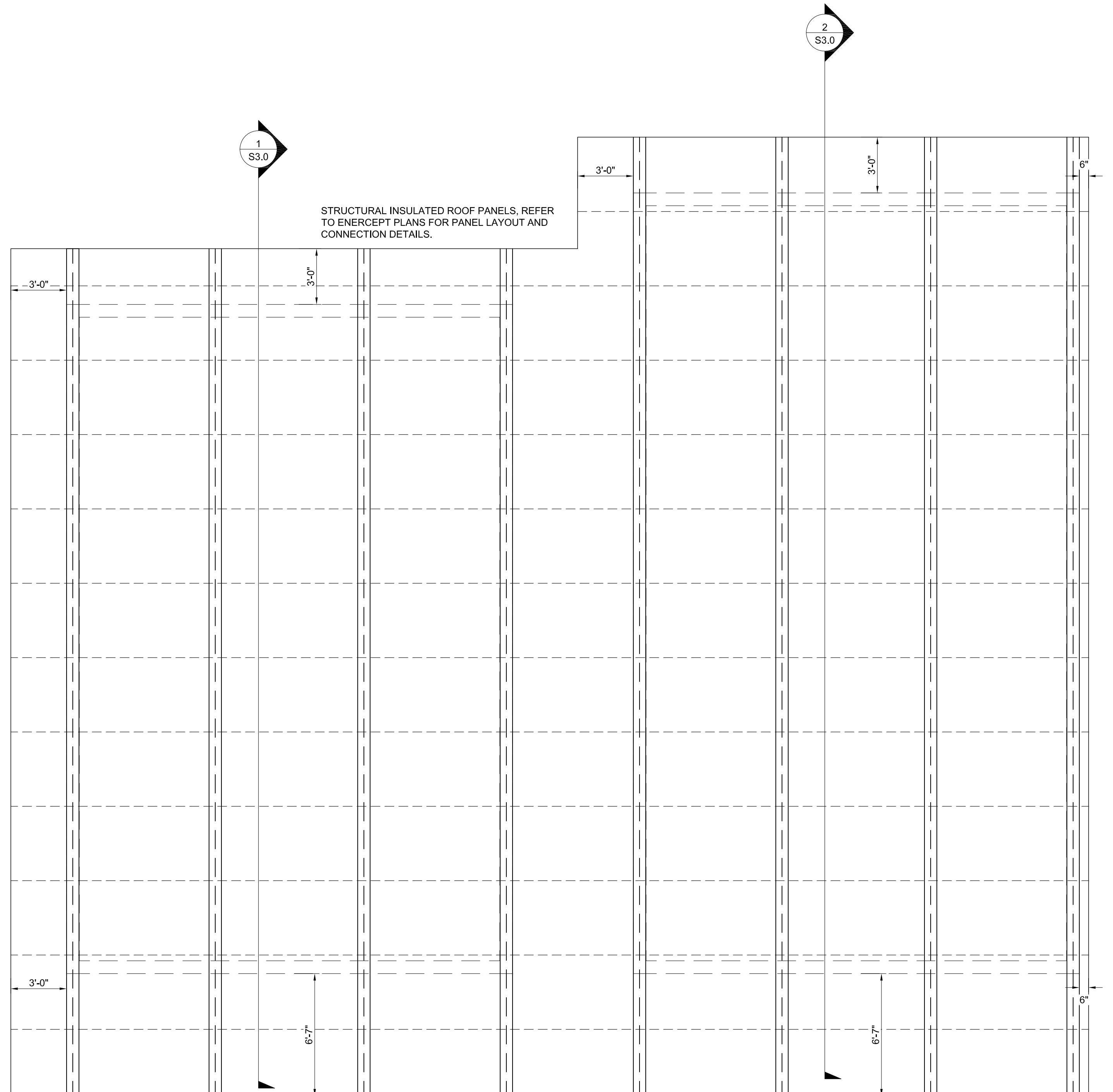
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PROJECT TITLE:  
WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

SHEET TITLE:  
ROOF FRAMING PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	09040
SHEET	S2.6



### ROOF FRAMING PLAN

SCALE:  $\frac{1}{4}''=1'-0''$

@3 BEDROOM UNITS



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3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

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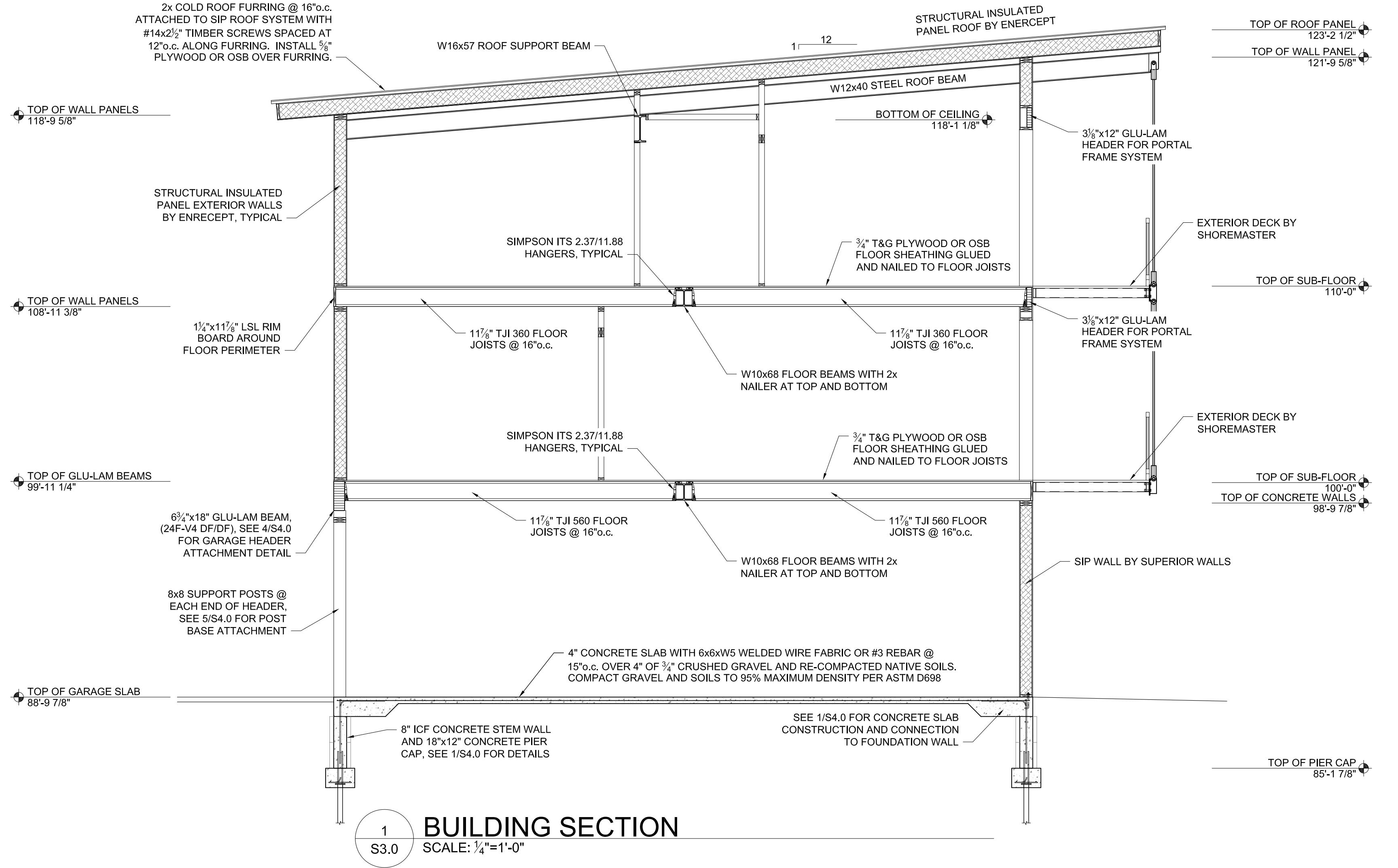
# BUILDING SECTIONS

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ERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
ONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	
09040	
HEET	
S3.0	

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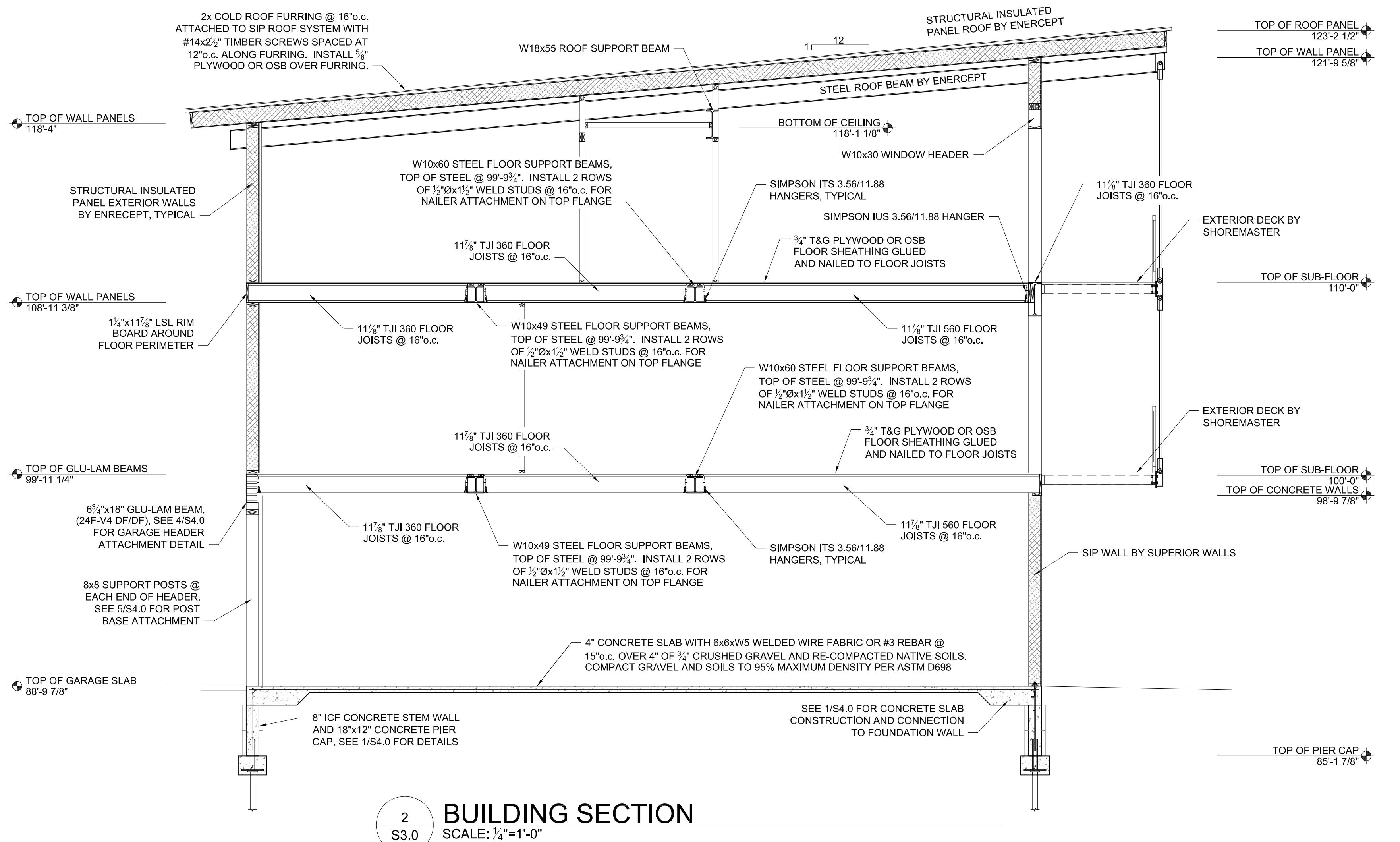
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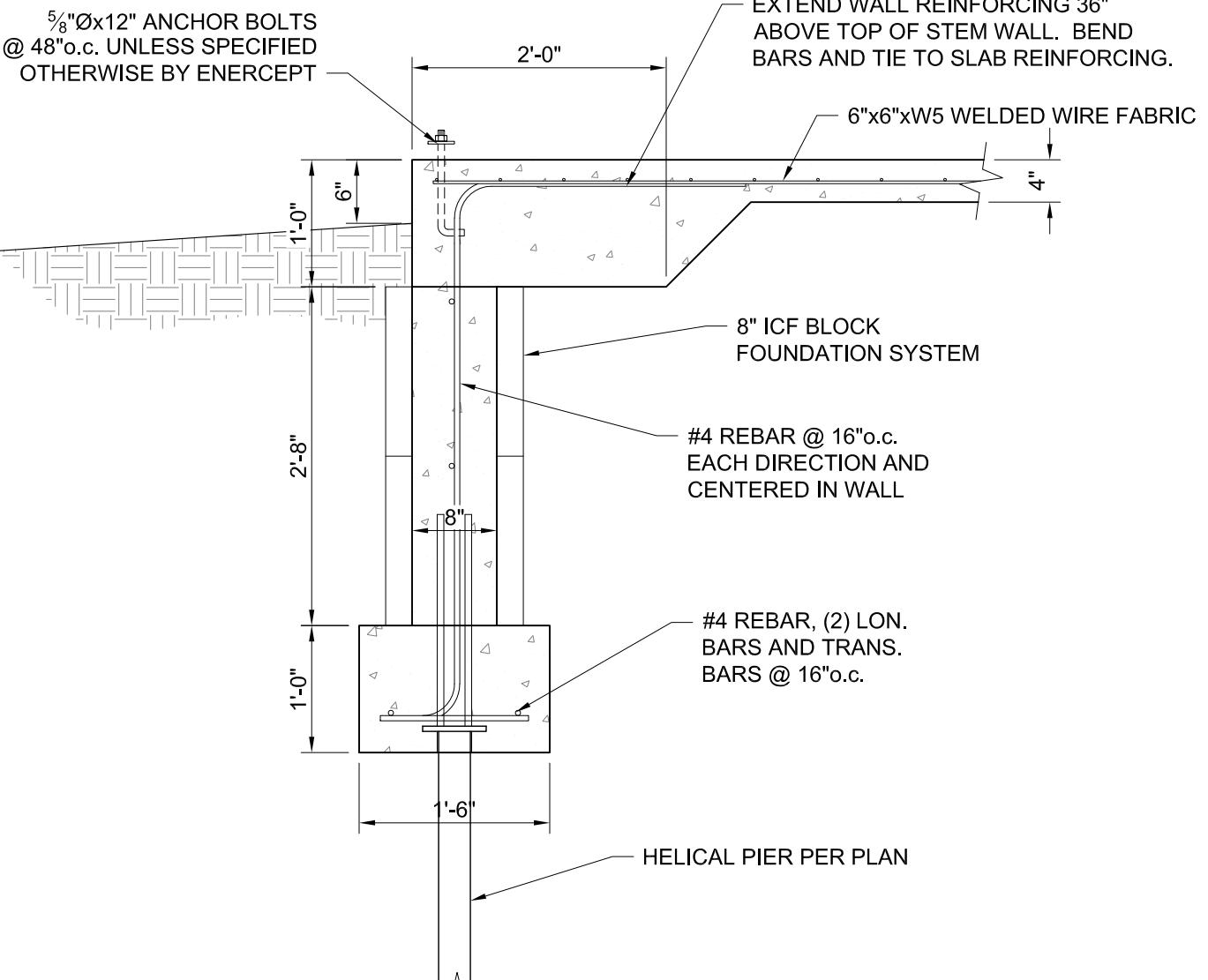
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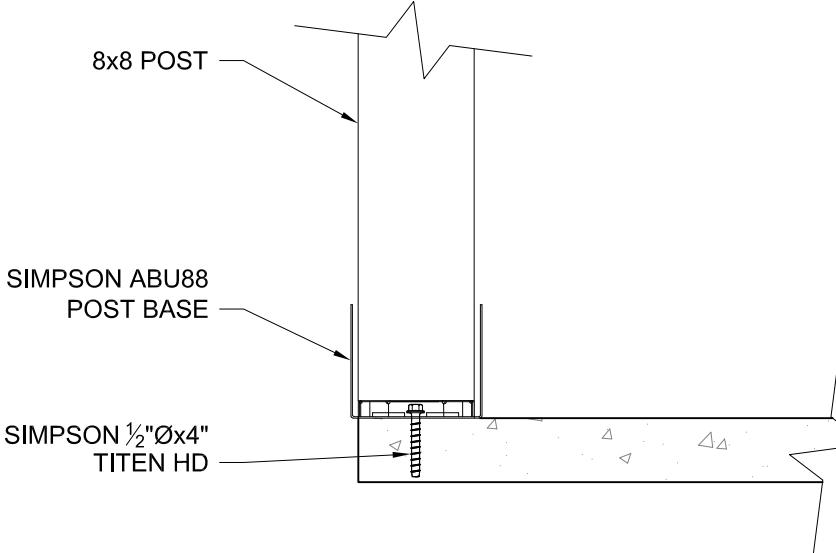


## BUILDING SECTION

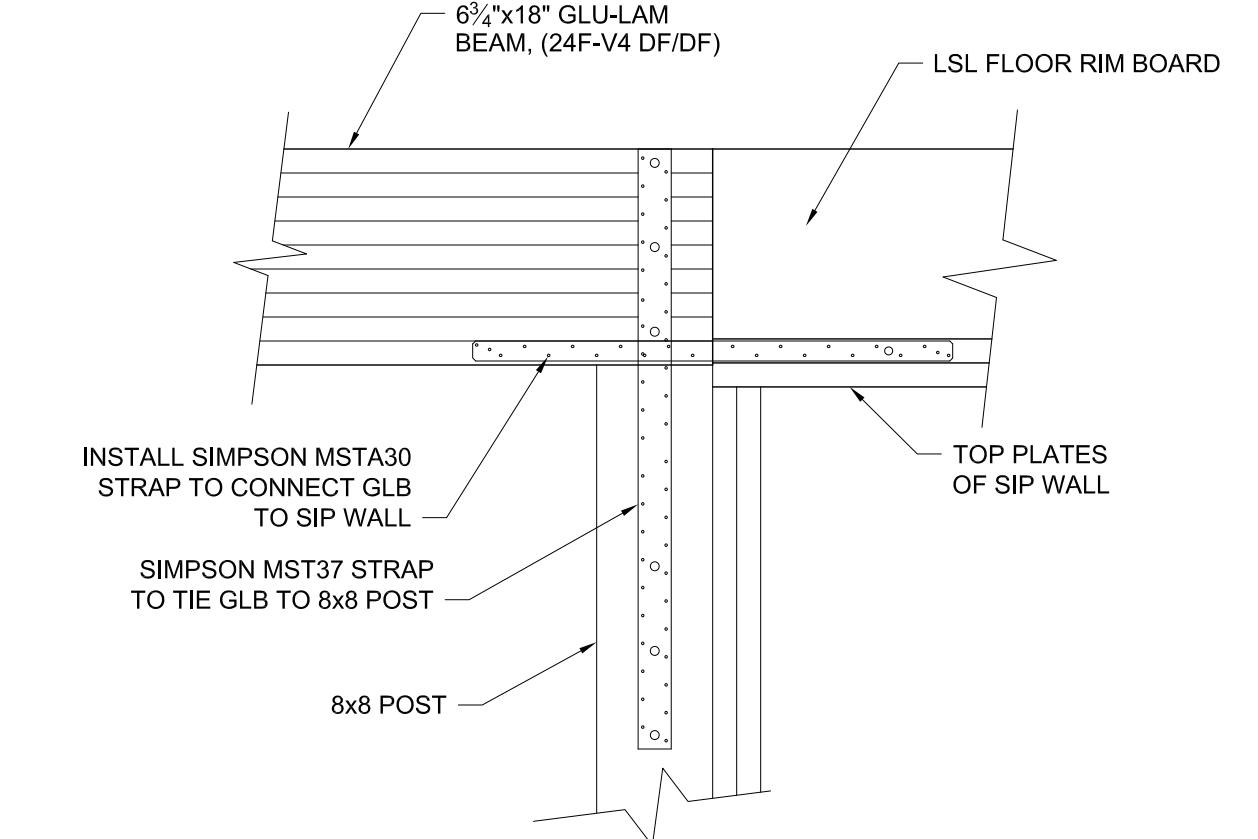
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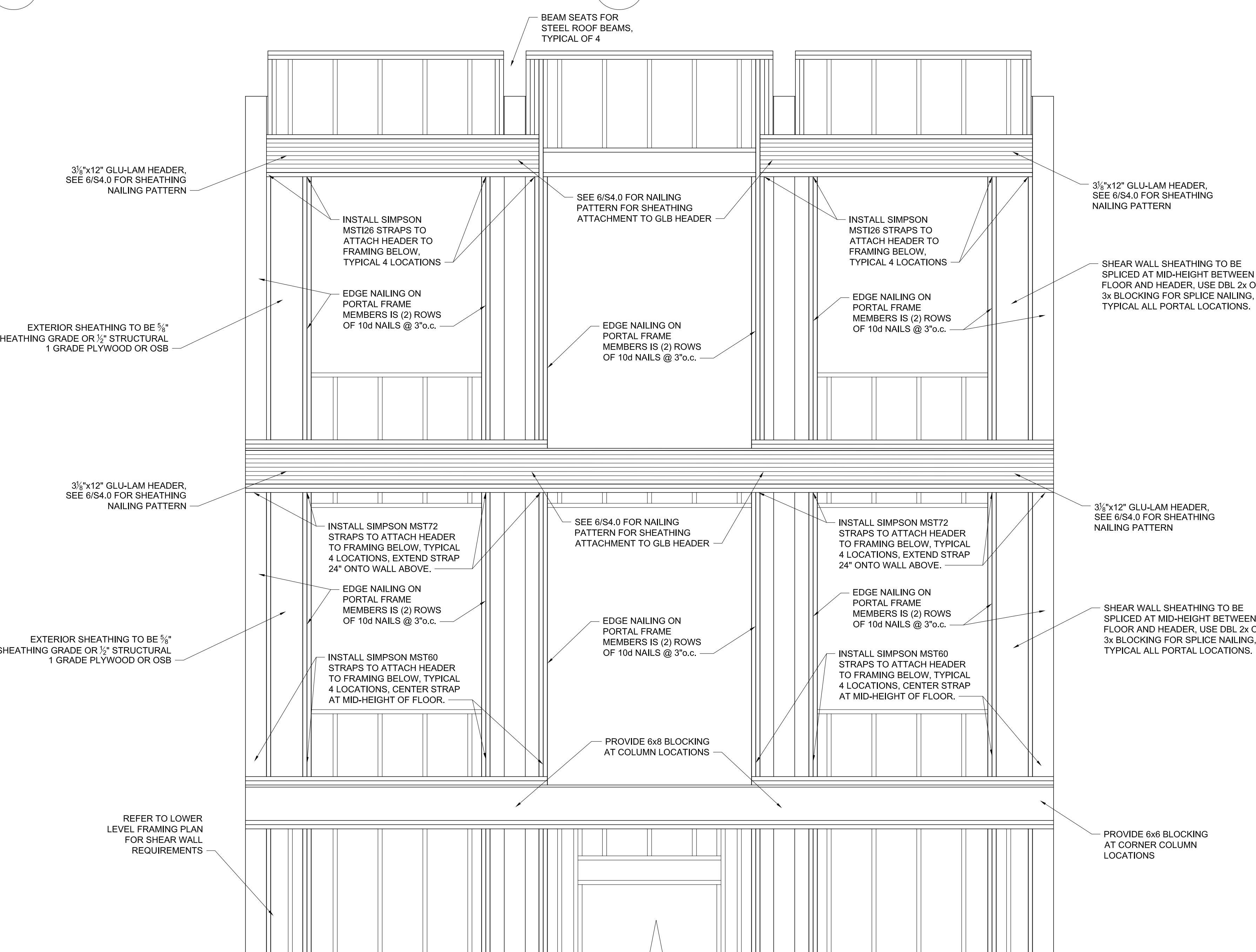
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S4.0  
FOUNDATION DETAIL  
SCALE:  $\frac{3}{4}$ "=1'-0"



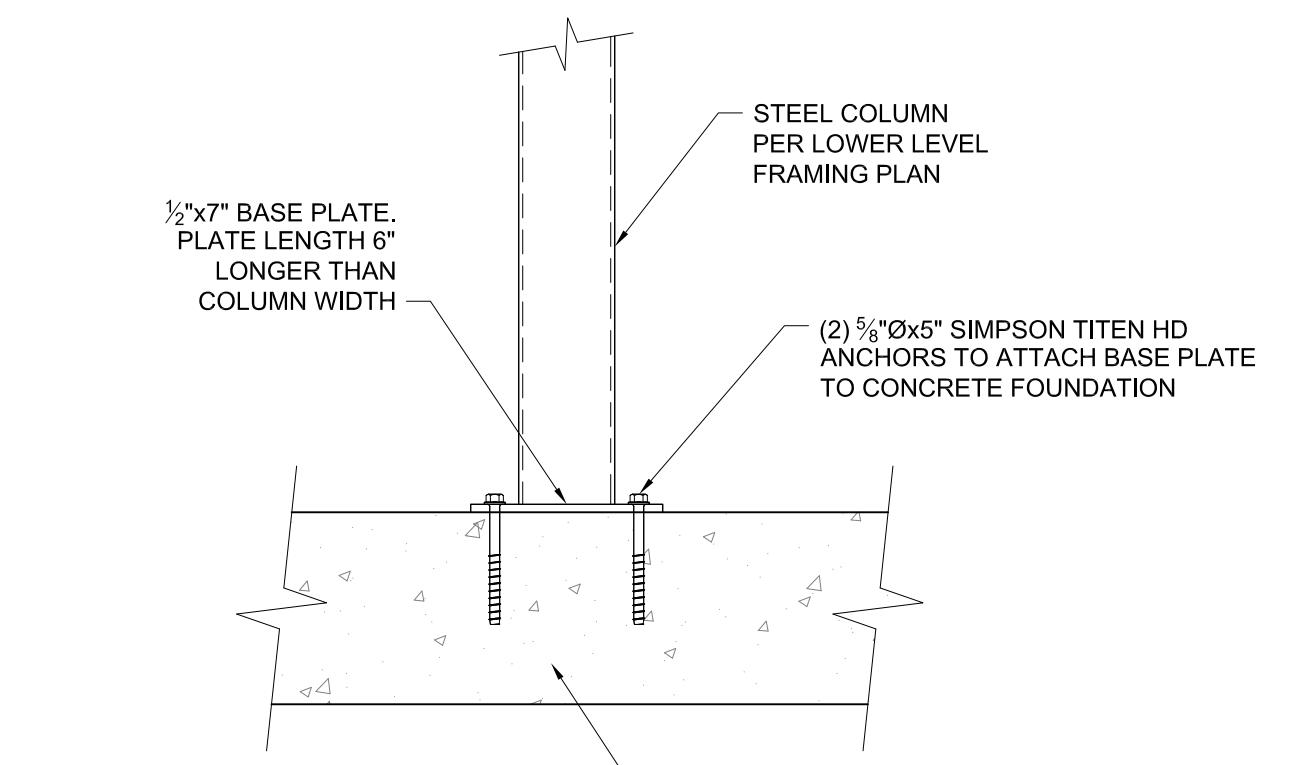
2  
S4.0  
GARAGE POST BASE ATTACHMENT  
@BASE OF GARAGE HEADER SUPPORT POST  
SCALE: 1"=1'-0"



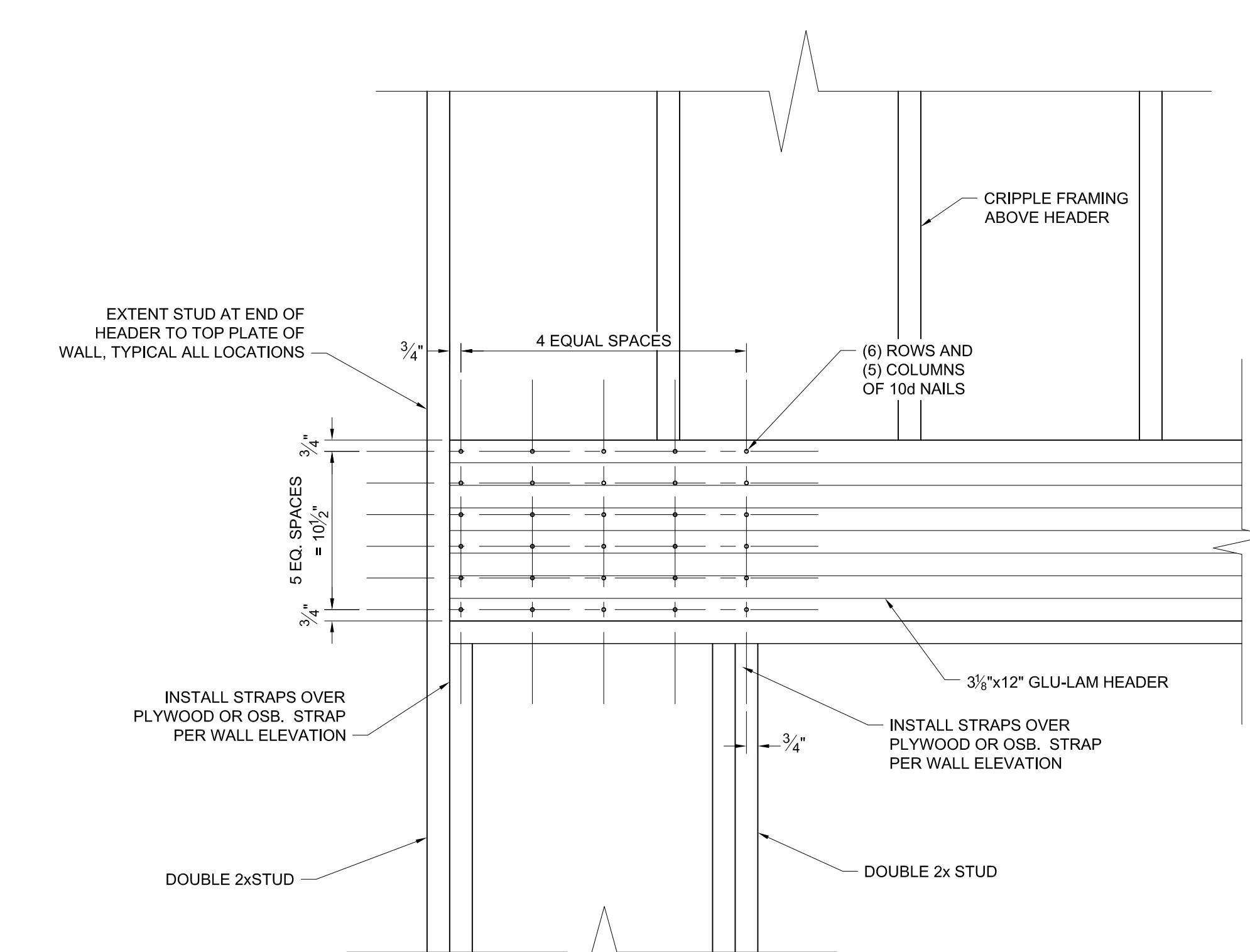
3  
S4.0  
GARAGE HEADER ATTACHMENT DETAIL  
@HEADER/8x8 COLUMN  
SCALE: 1"=1'-0"



5  
S4.0  
PORTAL WALL CONSTRUCTION DETAIL  
SCALE:  $\frac{1}{2}$ "=1'-0"



4  
S4.0  
COLUMN CONNECTION DETAIL  
@COLUMN BASE  
SCALE: 1"=1'-0"



6  
S4.0  
PORTAL HEADER NAILING  
SCALE:  $\frac{1}{2}$ "=1'-0"

@ ALL PORTAL FRAME LOCATIONS

PROJECT TITLE:  
WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

SHEET TITLE:  
STRUCTURAL DETAILS

DRAFTED BY:	TJ
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COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	09040
SHEET	S4.0

## STRUCTURAL NOTES:

### GOVERNING DESIGN CODES AND REFERENCES:

International Building Code (IBC), 2018 Edition  
International Residential Code (IRC), 2018 Edition  
Minimum Design Loads and Associated Criteria for Buildings and Other Structures, ASCE 7-16  
Steel Construction Manual, American Institute of Steel Construction, AISC 360-16, 15th Edition  
Building Code Requirements for Structural Concrete, ACI 318-14  
National Design Specification (NDS) for Wood Construction, 2018 Edition  
Building Code Requirements and Specifications for Masonry Structures, TMS 402/602-16

### DESIGN LOADS:

**DEAD LOADS:**  
OVERBURDEN SOIL UNIT WEIGHT - 125 psf. ASSUMED WEIGHT OF BACKFILL  
CONCRETE UNIT WEIGHT - 150 psf.  
ROOF DEAD LOAD - 20 psf.  
FLOOR DEAD LOAD - 20 psf.  
FLOOR w/ CONCRETE DEAD LOAD - 40 psf. ASSUMES 1 1/2" CONCRETE  
WALL DEAD LOAD - 15 psf.  
STONE MASONRY LOAD - 60 psf. ASSUMES 6" STONE THICKNESS

**LIVE LOADS:**  
ROOF LIVE LOAD - 20 psf., CONSTRUCTION LOAD  
FLOOR LIVE LOAD - 40 psf., RESIDENTIAL LIVE LOAD

**SNOW LOAD (ASCE7-16 CHAPTER 7):**  
FLAT ROOF SNOW LOAD - 75 psf. PER TOWN OF JACKSON  
EXPOSURE FACTOR (Ce) - 1.00  
THERMAL FACTOR (Ci) - 1.10  
IMPORTANCE FACTOR (Is) - 1.00

**WIND LOADING (ASCE7-16 CHAPTER 27):**  
ULTIMATE DESIGN WIND SPEED - 115 mph. (3 sec. GUST)  
WIND DIRECTIONALITY FACTOR (Kd) - 0.85  
TOPOGRAPHIC FACTOR (Kz) - 1.0  
PRESSURE EXPOSURE FACTOR (Kz) - 0.995  
GROUND ELEVATION FACTOR (Ke) - 0.799  
EXPOSURE CATEGORY - CATEGORY C  
VELOCITY PRESSURE (q) - 22.89 psf.  
GUST EFFECT FACTOR (G) - 0.85  
EXTERNAL PRESSURE COEFFICIENT (Cp) - SEE ASCE 7-16, FIGURE 27.3-1  
- 3.25 ft (mean roof height)  
- 1.12 (roof pitch)

INTERNAL PRESSURE COEFFICIENT (GCp) - ±0.18

### SEISMIC LOADING (ASCE7-16 CHAPTER 12):

Risk Category - Category II  
Seismic Importance Factor - I=1.0  
Mapped Spectral Accelerations - Ss=1.203g  
- S1=0.368g  
Site Class - Site Class D  
Site Coefficients - Fa=1.019  
- Fv=1.665  
Design Spectral Accelerations - Sds=0.817g  
- Sd1=0.408g  
Seismic Design Category - Design Category D

### SOILS:

ALLOWABLE SOIL BEARING - 1500 psf. (PER JORGENSEN GEOTECHNICAL REPORT DATED JULY 27th, 2016)

PASSIVE LATERAL PRESSURE - 103 psf/ft  
ACTIVE LATERAL PRESSURE - 84 psf/ft  
AT-REST LATERAL PRESSURE - 99 psf/ft  
SEISMIC LATERAL PRESSURE - PER JORGENSEN GEOTECHNICAL REPORT DATED JULY 27th, 2016

(ABOVE LISTED LATERAL LOADS BASED ON SOIL UNIT WEIGHT OF 110psf AND INTERNAL FRICTION ANGLE OF 30°)  
(SEE LATERAL LOADING DETAILS ON S1.1 FOR GRAPHICAL REPRESENTATION)

### FOUNDATIONS:

1. FOOTINGS AROUND THE PERIMETER OR IN UNHEATED AREAS ARE TO BEAR A MINIMUM OF 36" BELOW EXISTING GRADE UNLESS OTHERWISE SHOWN ON THE DRAWINGS.  
2. BOTTOM OF ALL FOOTINGS TO BEAR ON RE-COMPACTED NATIVE INORGANIC SOIL.  
3. BACK FILL UNDER SLABS ON GRADE IS TO CONSIST OF 4" CRUSHED GRAVEL (GRADING H) COMPACTED TO 95% MAXIMUM DRY DENSITY, (ASTM D-698 MODIFIED PROCTOR), OVER RE-COMPACTED NATIVE SOIL.  
4. THE MAIN LEVEL FLOOR FRAMING AND FLOOR SHEATHING TO BE COMPLETED PRIOR TO PLACING BACKFILL AGAINST THE FOUNDATION STEM WALLS.  
5. RETAINING WALLS MUST CURE FOR 21 DAYS MINIMUM OR MEET MINIMUM REQUIRED CONCRETE COMPRESSIVE STRENGTH OF 4500psi PRIOR TO PLACING BACKFILL AGAINST THE RETAINING WALLS.  
6. WHERE THE NATIVE SITE SOILS ARE NOT CLEAN SANDY GRAVELS, A CONTINUOUS FOUNDATION DRAIN SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTINGS. THE FOUNDATION DRAIN SHALL DRAIN TO DAYLIGHT OR TO A MECHANICALLY DISCHARGED SUMP. IT IS RECOMMENDED INSTALLING A BACKFLOW PREVENTION DEVICE TO PREVENT WATER TO FLOW FROM THE DISCHARGE POINT TO THE FOUNDATION.

### ALTERNATE BUILDING COMPONENTS:

1. ALL MANUFACTURERS AND MODEL NUMBERS INDICATED IN THESE PLANS ARE A BASIS-OF-DESIGN PRODUCT. ALTERNATE "OR EQUAL" MANUFACTURERS WILL BE ACCEPTABLE ONLY AFTER PROJECT AWARD AND EVALUATION UNDER A FORMAL REVIEW TRANSMITTAL PROVIDED EACH PRODUCT MEETS OR EXCEEDS THE LISTED SALIENT CHARACTERISTICS OF THE SPECIFIED PRODUCT.

### CAST-IN-PLACE CONCRETE:

1. CONCRETE CONSTRUCTION SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318-14.

### 2. CAST-IN-PLACE CONCRETE SHALL CONFORM TO:

Walls: Minimum 28 day compressive strength = 4500 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 2-4 inches  
Maximum water/cement ratio: 0.45

Footings: Minimum 28 day compressive strength = 3500 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 2-4 inches  
Maximum water/cement ratio: 0.55

Interior Slabs: Minimum 28 day compressive strength = 2500 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 4-6 inches  
Maximum water/cement ratio: Not Applicable

Exterior Slabs: Minimum 28 day compressive strength = 5000 psi  
Entrained Air Content: 6% ±1%  
Slump Range: 4-6 inches  
Maximum water/cement ratio: 0.40

3. CONCRETE COVER OVER REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, 1 1/2" MIN. FOR ALL OTHER CONCRETE EXPOSED TO EARTH OR WEATHER, UNLESS NOTED OTHERWISE IN PLANS.

4. ALL EXTERIOR WALLS BELOW GRADE TO BE DAMP PROOFED. FOR BASEMENTS IN HIGH GROUND WATER AREAS, WATERPROOF WALLS TO 1-0" ABOVE HIGH GROUND WATER ELEVATION.

5. LAP REINFORCING BARS AT SPLICES, CORNERS AND INTERSECTIONS.  
#3 Reinforcing Bars - 1-3" #7 Reinforcing Bars - 3-6"  
#4 Reinforcing Bars - 1-8" #8 Reinforcing Bars - 4-0"  
#5 Reinforcing Bars - 2-0" #9 Reinforcing Bars - 4-6"  
#6 Reinforcing Bars - 2-6"

UNLESS OTHERWISE NOTED ON THE FOUNDATION PLAN AND DETAILS.

6. USE DEFORMED STEEL BAR CONFORMING TO ASTM A615 GRADE 60, EXCEPT #3 BAR STIRRUPS AND TIES AND FIELD BENT DOWELS WHICH SHALL BE ASTM A615 GRADE 40.

7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A62 OR A165 AND SHALL BE PROVIDED IN FLAT SHEETS.

8. ALL REINFORCING IS TO BE SUPPORTED BY CHAIRS OR CONCRETE BRICKS AND SECURELY TIED IN PLACE.

9. REINFORCING STEEL SHALL NOT BE WELDED.

### MASONRY (CMU):

1. CONCRETE MASONRY UNITS SHALL BE GRADE N UNITS CONFORMING TO ASTM DESIGNATION C90 AND SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2800 PSI ON THE NET SECTION.

2. MORTAR SHALL CONFORM TO ASTM C270, TYPE "S" (SECTION 2103.2 OF THE INTERNATIONAL BUILDING CODE). USE PORTLAND CEMENT, TYPE I OR II.

3. ALL MASONRY SHALL BE REINFORCED WITH BOTH HORIZONTAL AND VERTICAL REINFORCEMENT. ALL GROUTED BLOCK CELLS OR BRICK CAVITIES WITH REINFORCEMENT SHALL BE GROUTED FULL USING 2000 PSI GROUT. CELLS SHALL BE ALIGNED TO PRESERVE UNOBSTRUCTED VERTICAL CAVITIES OF 2"x3".

4. GROUT SHALL HAVE 3/8" MAXIMUM SIZE COURSE AGGREGATE AND SUFFICIENT WATER SO THE CONCRETE WILL FLOW INTO THE BLOCK CELLS WITHOUT LEAVING VOIDS.

5. MASONRY REINFORCEMENT: UNLESS NOTED OTHERWISE ON THE DRAWING, THE MINIMUM REINFORCEMENT IN GROUTED CELLS FOR ALL MASONRY WALLS SHALL BE AS FOLLOWS:

5.1. 10" WALLS: #6 @ 32" OC VERTICAL AND #5 @ 48" OC HORIZONTAL  
5.2. 8" WALLS: #5 @ 32" OC VERTICAL AND #5 @ 48" OC HORIZONTAL

6. ALL HORIZONTAL REINFORCING AT ENDS OF WALLS SHALL TERMINATE WITH A HOOK AROUND VERTICAL REINFORCING

7. REINFORCEMENT PROTECTION (COVER):

7.1. JOINT REINFORCEMENT SHALL HAVE NOT LESS THAN 5/8" MORTAR COVERAGE FROM THE EXPOSED FACE

7.2. OTHER REINFORCEMENT SHALL HAVE A MINIMUM COVERAGE OF ONE BAR DIAMETER OVER ALL THE BARS, BUT NOT LESS THAN 1/4" WHEN MASONRY IS EXPOSED TO WEATHER OR SOIL. MINIMUM COVERAGE SHALL BE 2".

8. CONTINUE VERTICAL REINFORCING BARS IN MASONRY COLUMNS THROUGH FOUNDATION WALL INTO FOOTINGS WITH MATCHING BARS AND DOWELS. ENCLOSE THESE BARS WITH SAME SIZE TIES AT SAME SPACING AS IN MASONRY COLUMN. PROVIDE MATCHING DOWELS FOR VERTICAL BARS IN MASONRY WALLS TO STRUCTURE BELOW.

9. CONTINUE HORIZONTAL REINFORCEMENT IN WALLS THROUGH MASONRY COLUMNS AND PILASTERS. THIS REINFORCEMENT SHALL HAVE MATCHING DOWELS, CORNER BARS, AT CORNERS AND AT INTERSECTIONS OF THE WALLS WITH REQUIRED LAP LENGTHS

10. UNLESS NOTED OTHERWISE, HOLLOW CELLS AT ALL FOUR (4) SIDES OF OPENINGS IN WALLS SHALL BE GROUTED AND REINFORCED WITH (2) #5, MINIMUM WITH 2-8" PROJECTION BEYOND EDGES OF OPENINGS AT EACH END.

11. HORIZONTAL BARS SHALL BE PLACED IN BOND BEAMS FILLED WITH GROUT AT THE TOP OF ALL WALLS AND AT 48" OC MAXIMUM BETWEEN TOP OF WALL AND FOUNDATION. BOND BEAM UNITS AND REINFORCING SHALL CONTINUE UNINTERRUPTED AROUND ALL CORNERS AND WALL INTERSECTIONS. WHERE STRUCTURAL STEEL COLUMNS OR BEAMS INTERRUPT THE CONTINUITY OF A BOND BEAM, DOWELS MATCHING BOND BEAM REINFORCEMENT SHALL BE WELDED TO THE STRUCTURAL STEEL TO PROVIDE CONTINUITY.

12. IN ADDITION LADDER-TYPE REINFORCING CONSISTING OF #9 WIRE FOR EACH FACE SHELL OF EACH WYTHE SHALL BE USED AT 16" OC HORIZONTALLY IN ALL MASONRY WALLS. REINFORCEMENT SHALL BE FOR TOTAL WIDTH OF CAVITY WALLS.

13. ALL VERTICAL REINFORCING BARS SHALL BE DOWELED TO STRUCTURE BELOW WITH BARS OF SAME SIZE AND SPACING. LAP ALL SPLICES IN MASONRY 48 BAR DIAMETER. PLACE ALL BARS SECURELY PRIOR TO GROUTING.

### 14. STOP GROUT POURS 1/2" BELOW TOP OF BLOCK UNITS BETWEEN GROUT LIFTS.

15. ALL ANCHOR BOLTS MUST BE PLACED IN GROUTED CELLS.

16. WHERE BEAMS BEAR ON CONCRETE BLOCK WALLS, BLOCK CELLS SHALL BE FILLED WITH GROUT 1-4" WIDE TO FOUNDATION AND REINFORCE WITH A #5 EACH CELL, UNLESS OTHERWISE SHOWN.

17. AN ADDITIONAL VERTICAL BAR (MATCHING WALL REINFORCEMENT) SHALL BE PLACED AT EACH CORNER, END OF WALL, AND JAMB OF ALL OPENINGS.

18. ALL STEEL JOIST, JOIST GIRDERS, AND STEEL BEAM POCKETS IN MASONRY SHALL BE GROUTED SOLID UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

19. NO MASONRY SHALL BE LAID WHEN THE TEMPERATURE OF THE OUTSIDE AIR IS BELOW 40 DEGREES FAHRENHEIT, UNLESS APPROVED METHODS ARE USED DURING CONSTRUCTION TO PREVENT DAMAGE TO THE MASONRY. SUCH METHODS SHALL INCLUDE PROTECTION OF THE MASONRY FOR A PERIOD OF AT LEAST 48 HOURS

20. ALL REINFORCING SHALL BE IN PLACE PRIOR TO GROUTING VERTICAL REINFORCING BARS SHALL BE HELD IN POSITION AT THE TOP, BOTTOM AND AT INTERVALS NOT FARTHER APART THAN 200 BAR DIAMETERS. PROVIDE WIRE TIES AT ALL LAP SPLICES

21. ALL MASONRY SHALL HAVE VERTICAL CONTROL JOINTS AT: MAJOR CHANGES IN WALL HEIGHT, AT CHANGES IN WALL THICKNESS, AT BUILDING CONSTRUCTION JOINTS, AND NOT FARTHER THAN 40 FEET ELSEWHERE. PROVIDE MATCHING CONTROL JOINTS FOR BRICKS VENEER. CONSULT ARCHITECTURAL DRAWINGS FOR LOCATIONS. VERTICAL CELLS EACH SIDE OF CONTROL JOINTS SHALL BE GROUTED AND REINFORCED WITH REBARS TO MATCH VERTICAL REINFORCEMENT USED THROUGHOUT THAT WALL. ONLY HORIZONTAL REBARS IN BOND BEAMS AT FLOORS AND AT ROOF LEVEL SHALL CONTINUE THROUGH CONTROL JOINTS. PROVIDE FULL HEIGHT HARD RUBBER KEY AT JOINT, WHERE JOINT LOCATIONS ARE NOT SHOWN ON THE DRAWINGS THE CONTRACTOR SHALL SUBMIT PROPOSED LOCATIONS TO ARCHITECT/ ENGINEER FOR REVIEW.

### DIMENSIONAL LUMBER AND TIMBERS:

1. SAWN LUMBER MATERIALS, (U.N.O. ON PLANS AND DETAILS):

-MULTI-PLY LUMBER BEAMS, RAFTERS, JOISTS, AND COLUMNS TO BE SELECT STRUCTURAL DOUGLAS FIR - LARCH.

-SOLID SAWN TIMBER BEAMS AND COLUMNS TO BE DENSE No. 1 OR BETTER DOUGLAS FIR-LARCH.

-TOP AND BOTTOM WALL PLATES TO BE No. 1 & BTR DOUGLAS FIR-LARCH.

-STUDS TO BE No. 2 OR BETTER DOUGLAS FIR - LARCH.

2. ALL DIMENSIONAL LUMBER TO BE NOMINAL SIZES UNLESS SPECIFIED AS FULL SIZE IN THE PLANS AND DETAILS.

3. EXTERIOR WALL HEADERS TO BE MINIMUM DOUBLE 2x8 WITH 4ea. 12d NAILS @ 16" o.c., UNLESS OTHERWISE NOTED ON FRAMING PLANS. INTERIOR WALL HEADERS TO BE MINIMUM DOUBLE 2x4 WITH 2ea. 12d NAILS @ 16" o.c. UNLESS NOTED OTHERWISE.

4. PRE-ENGINEERED "PLATE" TRUSSES SHALL BE DESIGNED BY THE TRUSS FABRICATOR TO SUPPORT THE FULL DEAD LOADS AND THE SUPERIMPOSED DESIGN LOADS NOTED ABOVE OR ON THE DRAWINGS. WEB ARRANGEMENTS AND MEMBER FORCES SHALL BE DETERMINED BY THE FABRICATOR. STAMPED AND SEALED TRUSS ENGINEERING SHEET SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO FABRICATION OF THE TRUSSES.

5. FRAMING ANCHORS AND CONNECTORS TO BE "STRONG TIE" BY SIMPSON OR APPROVED AND EQUAL INSTALLED PER THE MANUFACTURER'S OR RECOMMENDATIONS.

6. SILL PLATES TO BE ATTACHED TO THE FOUNDATION WITH 5/8" Øx12" @ 4-0" o.c. ANCHOR BOLTS WITH 3" x 3" x 5/16" SQUARE WASHERS AND HEX NUTS. REFER TO TYPICAL FOUNDATION DETAILS FOR ANCHOR BOLT PLACEMENT.

7. FOR NAILING NOT SHOWN ON PLANS USE THE FASTENING SCHEDULE IN THE TYPICAL FRAMING DETAILS OR THE INTERNATIONAL BUILDING CODE NAILING SCHEDULE (2018 I.B.C. TABLE 2304.10).

8. WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE FOUNDATION, USE PRESSURE TREATED WOOD PRODUCTS.

9. USE GALVANIZED OR STAINLESS STEEL FASTENERS WHEN NAILING INTO PRESSURE TREATED MATERIALS.

10. ALL FRAMING NAILS TO HAVE A MINIMUM SHANK DIAMETER AS SPECIFIED IN THE MINIMUM FASTENING SCHEDULE IN THE TYPICAL FRAMING DETAILS. ALL SHEATHING NAILS TO HAVE A MINIMUM SHANK DIAMETER OF 0.131"Ø. FLOOR SHEATHING FASTENERS TO ALSO BE RING SHANKED.

### ENGINEERED WOOD PRODUCTS:

1. LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 2.0E+6psi AND MARKED ACCORDINGLY. SUBSTITUTION OF A LOWER GRADE WILL REQUIRE A REVIEW OF ALL AFFECTED BUILDING ELEMENTS AND POSSIBLE REDESIGN.

2. ALL LAMINATED VENEER LUMBER (LVL) TO BE SUPPLIED AT THE NOMINAL SIZE INDICATED IN THE PLANS OR BUILT UP ON SITE WITH 1 1/2" WIDE BY FULL HEIGHT MEMBERS. CONNECT BUILT UP PLIES WITH 16d x 16d Ø NAILS. EACH ROW OF NAILS TO BE SPACED @ 2 1/2" o.c. AND ROWS SPACED AT MAXIMUM OF 12" o.c.

3. GLUED LAMINATED SOFTWOOD TIMBER (GLULAM) SHALL BE 24F-V4 DF/DF IN ACCORDANCE WITH 2018, UNLESS OTHERWISE NOTED, AND HAVE A MODULUS OF ELASTICITY OF 1.8E+6psi AND MARKED ACCORDINGLY. AT MULTI-SPAN BEAM CONDITIONS AND CANTILEVERS, GLUED LAMINATED TIMBER (GLULAM) SHALL BE 24F-V8 DF/DF AND HAVE A MODULUS OF ELASTICITY OF 1.8E+6psi AND MARKED ACCORDINGLY.

4. ALL GLUED LAMINATED TIMBER (GLULAM) TO BE SUPPLIED AT THE NOMINAL SIZE INDICATED IN PLANS.

5. ALL WOOD I-JOIST FRAMING TO BE TRUS JOIST TJI BY "WEYERHAEUSER", OR APPROVED EQUAL, AND SUPPLIED AT THE NOMINAL DEPTH AND SERIES AS INDICATED IN PLANS AND MARKED ACCORDINGLY. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE SHEET S1.3 FOR I-JOIST NOTCHING DETAIL. SUBSTITUTION OF A LESSER GRADE I-JOIST WILL REQUIRE A REVIEW OF ALL AFFECTED ELEMENTS AND POSSIBLE REDESIGN.

### SHEATHING:

1. ALL STRUCTURAL SHEATHING SHALL BE RATED WITH A "WOOD APA" RATED STAMP ON THE PANELS. THE STRUCTURAL SHEATHING INCLUDES VENEER PLYWOOD, ORIENTED STRAND BOARD (OSB), WAFERBOARD, AND COMPOSITES OF VENEER AND WOOD BASED MATERIALS WITH TONGUE AND GROOVE EDGES.

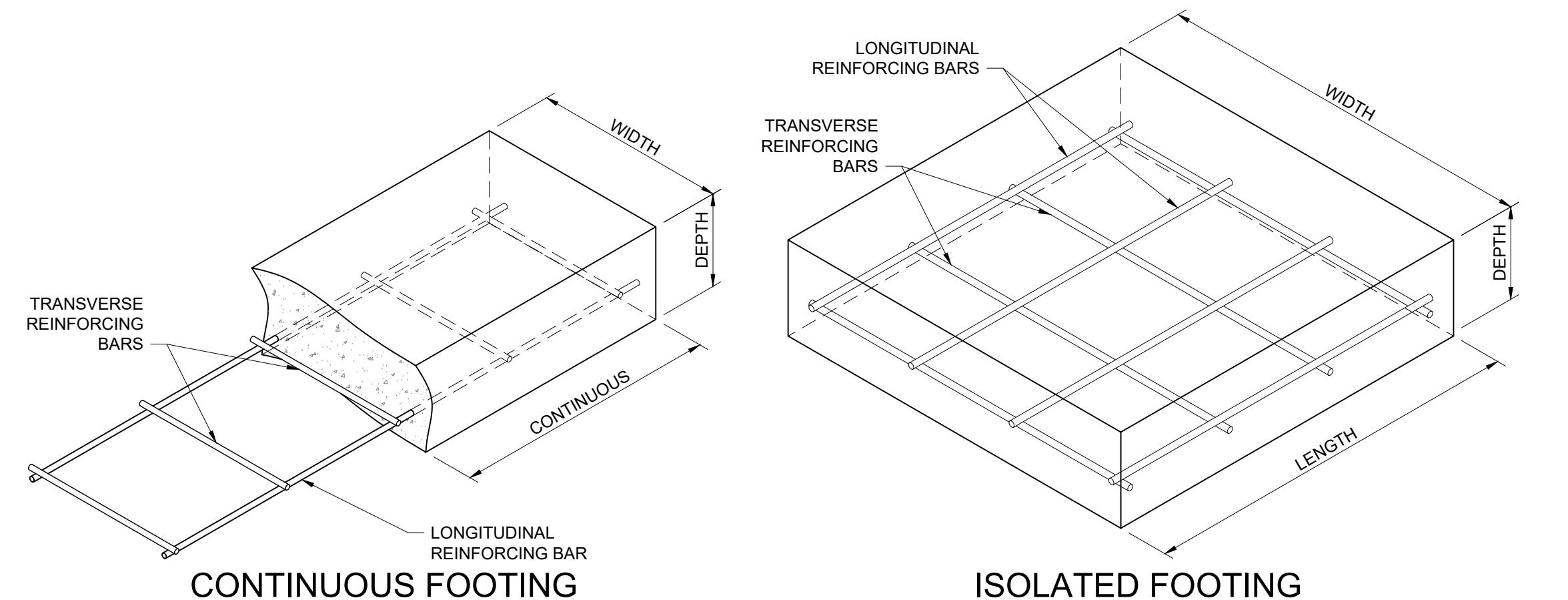
2. REFER TO TYPICAL DETAILS ON TYPICAL DETAILS SHEETS FOR SHEATHING LAYOUT FOR FLOORS, WALLS, AND ROOF. BLOCK EDGES AS NECESSARY OR AS INDICATED BY SHEATHING SCHEDULES.

3. UNLESS NOTED OTHERWISE ON THE PLANS AND DETAILS, INSTALL FLOOR AND ROOF SHEATHING WITH LONG PANEL EDGES PERPENDICULAR TO SUPPORTING JOISTS. INSTALL PANELS CONTINUOUS OVER MINIMUM OF TWO JOIST SPACES. OFFSET ROWS OF PANELS BY MINIMUM OF 32



FOOTING SCHEDULE						
TYPE	WIDTH	LENGTH	DEPTH	LONGITUDINAL REINFORCEMENT	TRANSVERSE REINFORCEMENT	NOTES
F1	18"	CONT.	10"	2ea. #4 REBAR @ 14" o.c.	#4 REBAR @ 16" o.c.	
F2	27"	27"	10"			
F3	39"	39"	10"			
F4	57"	57"	14"			
F5	60"	60"	14"			
F6	72"	84"	16"			

NOTE:  
MINIMUM COVER TO REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, AND 1½" FOR ALL OTHER CONCRETE EXPOSED TO WEATHER, UNLESS NOTED OTHERWISE IN PLANS, SEE TYPICAL DETAILS ON S1.1 FOR TYPICAL REINFORCING BAR COVER DETAILS.



FOUNDATION WALL SCHEDULE						
TYPE	HEIGHT	WALL THICKNESS	WALL BAR 1 EARTH SIDE	WALL BAR 2 EXPOSED SIDE	WALL HORIZ.	NOTES
W1	4'-0" MAX	8"	#5 REBAR @ 16" o.c.	N/A	#5 REBAR @ 16" o.c.	ICF WALL FORMS, BAR CENTERED IN WALL

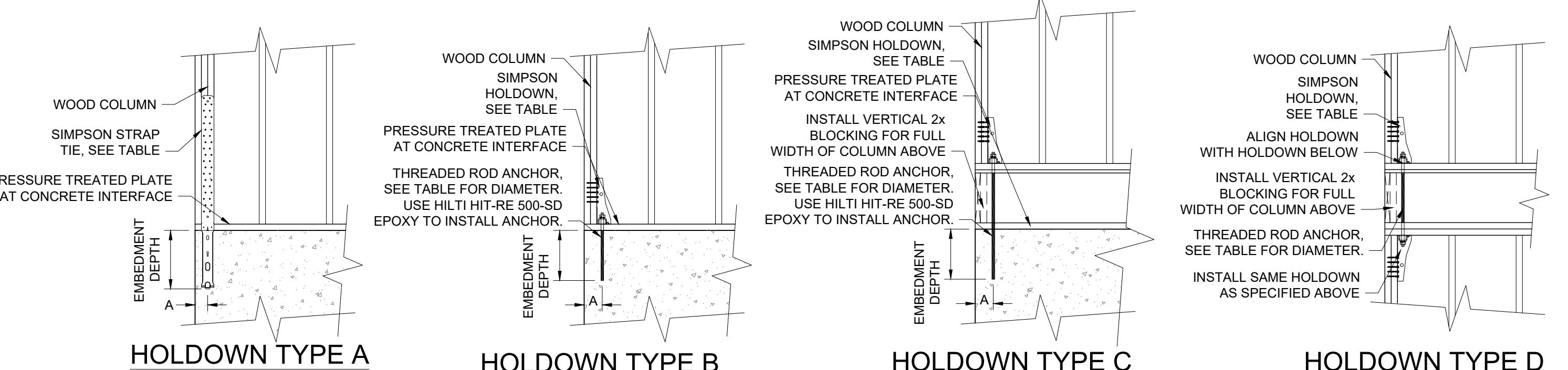
SHEAR WALL SCHEDULE							
TYPE	SILL PLATE / BOTTOM PLATE (1)	TOP PLATE DETAIL	WALL STUDS	EDGE BLOCKING	SHEATHING THICKNESS (2)	NAIL SIZE	EDGE NAILING SPACING
SW/1	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	8d, (0.131"Øx2½")	@ 6" o.c.	@ 12" o.c.
SW/2	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	8d, (0.131"Øx2½")	@ 4" o.c.	@ 8" o.c.
SW/3	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	8d, (0.131"Øx2½")	@ 3" o.c.	@ 6" o.c.
SW/4	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	15/32" ON ONE SIDE	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/5	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW/6	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW/7	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 4" o.c.	@ 8" o.c.
SW/8	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/9	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/10	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	15/32" ON TWO SIDES	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.

(1) USE PRESSURE TREATED WOOD WHEN IN CONTACT WITH CONCRETE. ATTACH SHEATHING PANELS WITH GALVANIZED NAILS IN PRESSURE TREATED WOOD.  
(2) SHEATHING TO BE PLYWOOD OR O.S.B. (VERTICAL OR HORIZONTAL ORIENTATION). WHEN REQUIRED, PROVIDE BLOCKING AT UNSUPPORTED EDGES ABOVE AND BELOW OPENINGS.

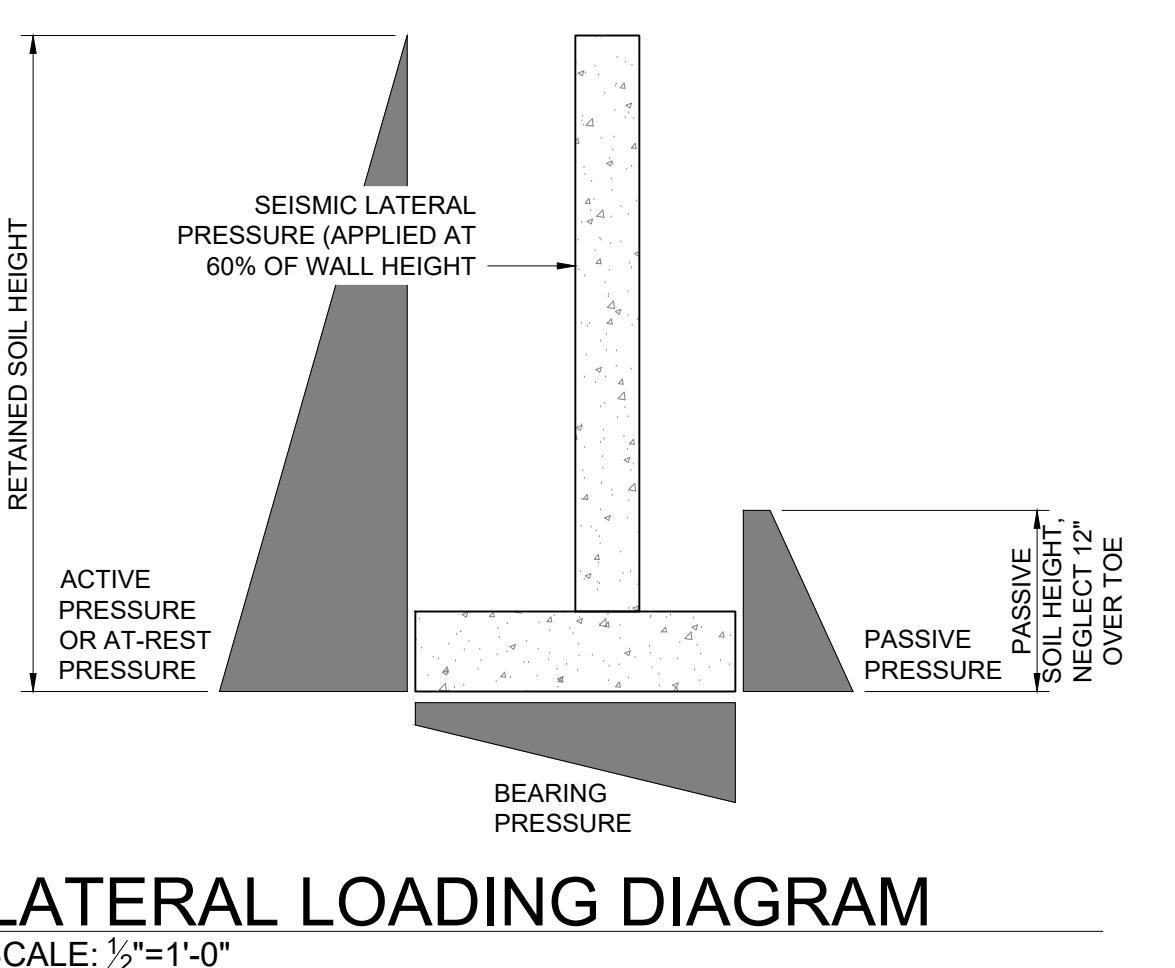
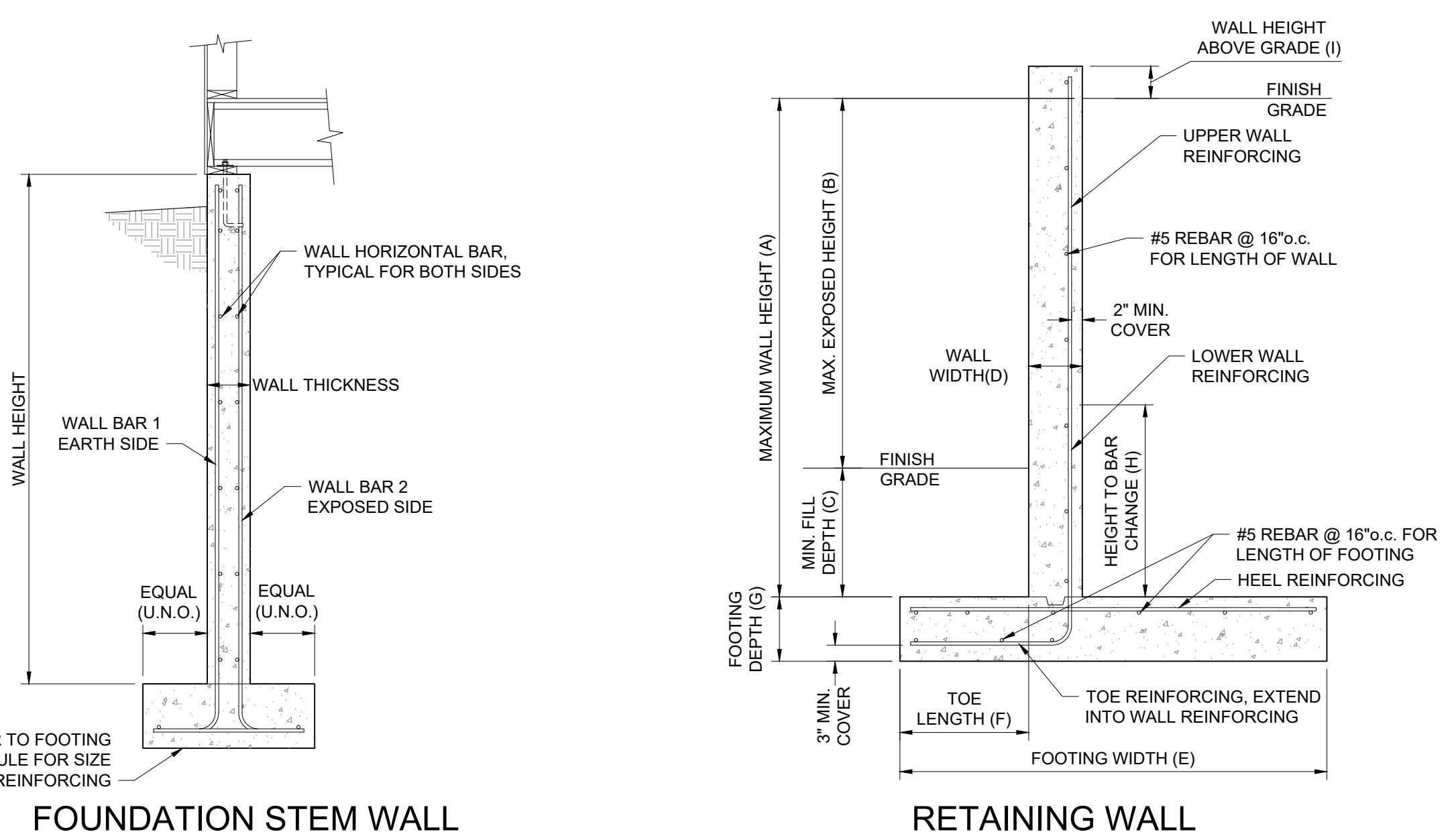
0.131"Øx2½" NAIL SPACING AS SPECIFIED IN SHEAR WALL SCHEDULE	14 GAUGE	15 GAUGE	16 GAUGE
@ 12" o.c.	@ 8" o.c.	@ 6" o.c.	
@ 6" o.c.	@ 4" o.c.	@ 3" o.c.	
@ 4" o.c.	@ 3" o.c.	@ 2" o.c.	
@ 3" o.c.	@ 3" o.c.	@ 2" o.c.	NONE
@ 2" o.c.	NONE	NONE	NONE

1. ALL STAPLES TO HAVE  $\frac{7}{16}$ " MIN. CROWN WIDTH AND MUST BE INSTALLED WITH THEIR CROWN PARALLEL TO LONG DIMENSION OF THE FRAMING MEMBER.  
2. MINIMUM PENETRATION FOR ALL STAPLE GAUGES IS  $\frac{1}{2}$ ".  
3. FASTENER SPACING @ 2" o.c. OR LESS REQUIRES NOMINAL 3x MEMBERS.

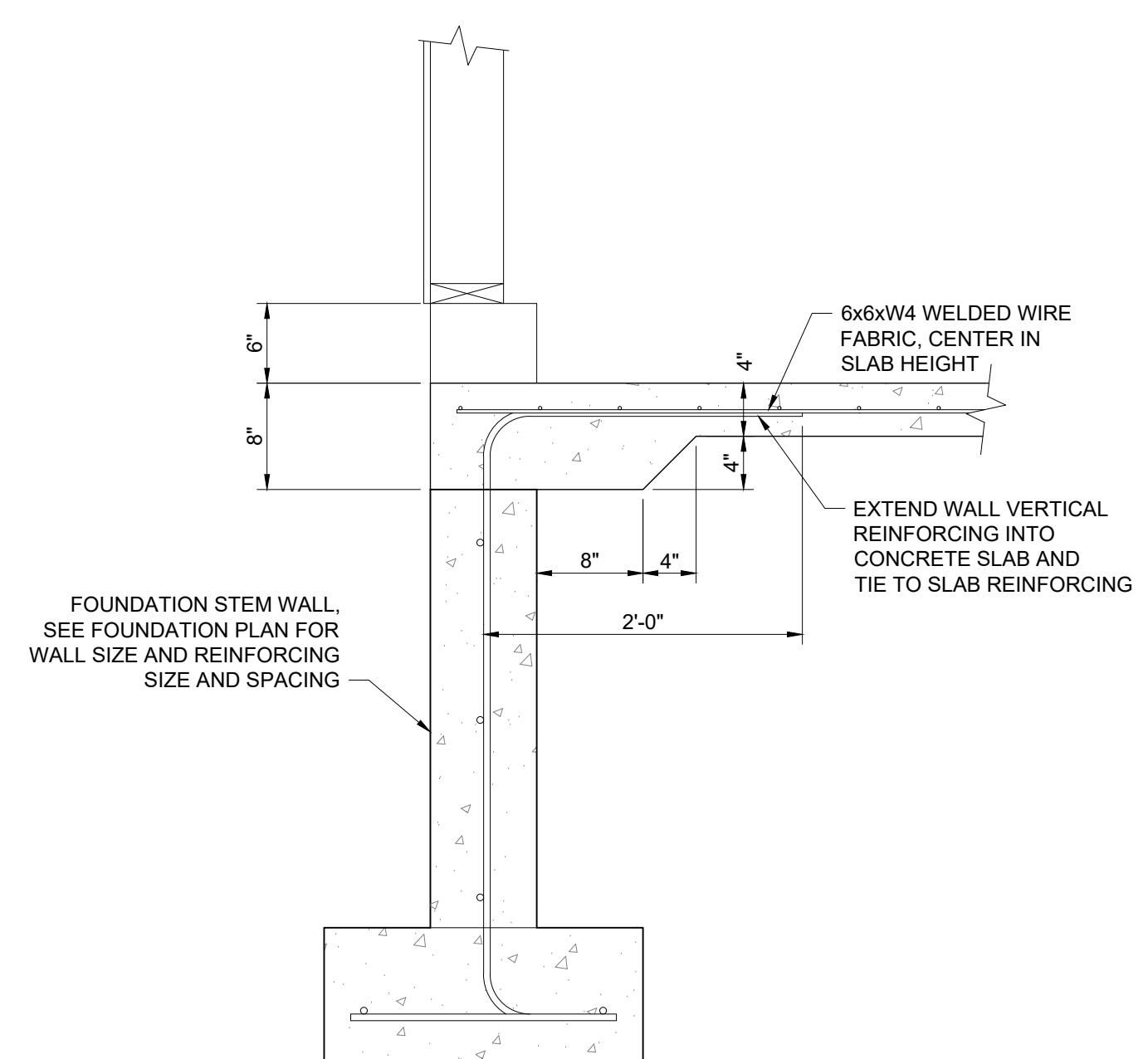
HOLDOWN SCHEDULE								
TYPE	HOLDOWN SIZE	HOLDOWN TYPE	ANCHOR DIAMETER	MINIMUM ANCHOR	ANCHOR OFFSET DIMENSION "A"	MINIMUM COLUMN SIZE	FASTENERS TO COLUMN	NOTES
1	LSTDH8	A	N/A	N/A	3"	TRIPLE 2x	16ea. 16d SINKERS	USE SIMPSON LSTDH8RJ WHEN INSTALLING OVER RIM BOARD
2	STHD10	A	N/A	N/A	3"	TRIPLE 2x	20ea. 16d SINKERS	USE SIMPSON STHD10RJ WHEN INSTALLING OVER RIM BOARD
3	HDU2	B, C, & D	5/8"Ø	SIMPSON SSTB24	4½/16"	DOUBLE 2x	6ea. SDS 1½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
4	STHD14	A	N/A	N/A	3"	TRIPLE 2x	24ea. 16d SINKERS	USE SIMPSON STHD14RJ WHEN INSTALLING OVER RIM BOARD
5	HDU4	B, C, & D	5/8"Ø	SIMPSON SSTB24	4½/16"	DOUBLE 2x	10ea. SDS 1½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
6	HDU5	B, C, & D	5/8"Ø	SIMPSON SSTB24	4½/16"	DOUBLE 2x	14ea. SDS 1½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
7	HDU8	B, C, & D	7/8"Ø	SIMPSON SB½"Øx24	47/8"	4x POST	20ea. SDS 1½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
8	HDU8	B, C, & D	7/8"Ø	SIMPSON SB½"Øx24	5½"	TRIPLE 2x	20ea. SDS 1½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
9	HDU11	B, C, & D	1"Ø	SIMPSON SB1x30	67/8"	6x6 POST	30ea. SDS 1½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
10	HDU14	B, C, & D	1"Ø	SIMPSON SB1x30	813/16"	6x6 POST	36ea. SDS 1½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING



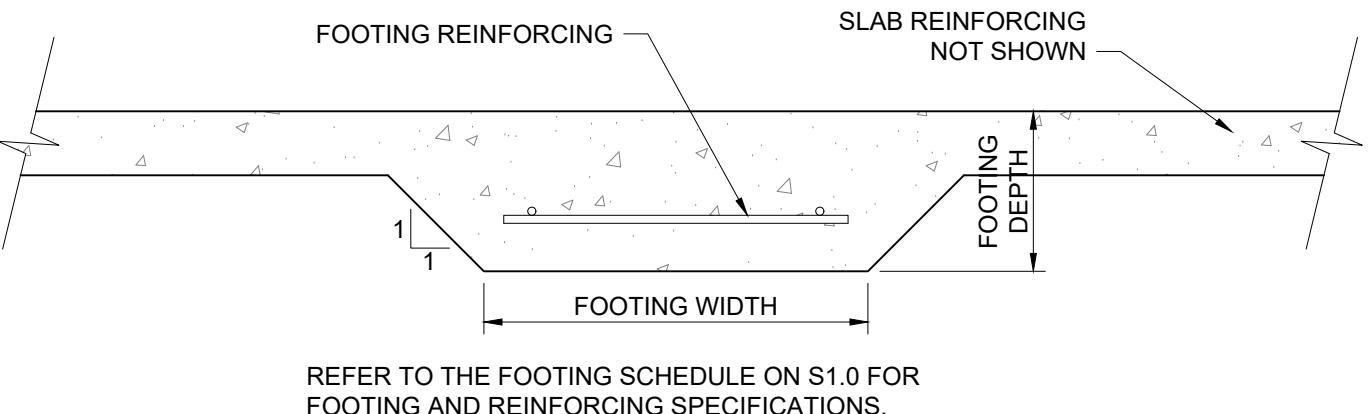
RETAINING WALL SCHEDULE										
TYPE	MAX. WALL HEIGHT (A)	MAX. EXPOSED HEIGHT (B)	MIN. FILL DEPTH (C)	WALL WIDTH (D)	FOOTING WIDTH (E)	TOE LENGTH (F)	FOOTING DEPTH (G)	TOE REINFORCING	HEEL REINFORCING	NOTES



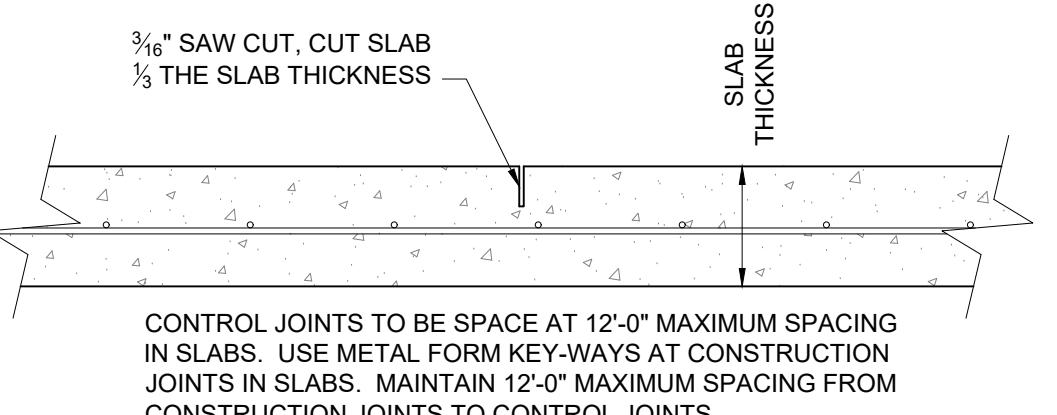
MINIMUM FASTENING SCHEDULE		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
Roof		
Blocking between ceiling joists, rafters or trusses to top plate, or other framing below	3ea. 3" x 0.131"Ø nails	Each end, toenail
Ceiling joist not attached to parallel rafter, laps over partitions (no thrust) (see Section 2308.7.3.1, Table 2308.7.3.1)	3ea. 12d common (3½" x 0.162"Ø); or 4ea. 3" x 0.131"Ø nails	Face nail
Ceiling joist attached to parallel rafter (heel joint) (see Section 2308.7.5, Table 2308.7.5)	2ea. 16d common (3½" x 0.162"Ø) to top plate	Toenail
(See Section 2308.7.5, Table 2308.7.5)	3ea. 16d common (3½" x 0.162"Ø) to parallel rafter	Face nail
Rafter or roof truss to top plate (See Section 2308.7.5, Table 2308.7.5)	3ea. 12d common (3½" x 0.135"Ø); or 4ea. 3" x 0.131"Ø nail	Toenail
Roof rafters to ridge valley or hip rafters; or roof rafter to 2x-inch ridge beam	2ea. 12d common (3½" x 0.162"Ø); or 3ea. 3" x 0.131"Ø nails	End nail
Wall		
Stud to stud (not at braced wall panels)	12d common (3½" x 0.162"Ø)	24" o.c. face nail
Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	12d common (3½" x 0.162"Ø)	16" o.c. face nail
Bull-up header (2" to 2" header)	12d common (3½" x 0.162"Ø)	16" o.c. each edge, face nail
Continuous header to stud	4ea. 12d common (3½" x 0.162"Ø) for 2x studs	Toenail
Top plate to top plate	2ea. 12d common (3½" x 0.162"Ø) @ 16" o.c. (2x4)	16" o.c. face nail
Top plate to top plate, at end joints	2ea. 12d common (3½" x 0.162"Ø) @ 16" o.c. (2x4)	Each side of end joint, face nail (minimum 48" lap splice length each side of end joint)
Bottom plate to joist, rim joist band joist or blocking (not at braced wall panels)	12d common (3½" x 0.162"Ø)	16" o.c. face nail
Bottom plate to joist, rim joist, band joist or blocking at braced wall panels	2ea. 12d common (3½" x 0.162"Ø) for 2x studs	16" o.c. face nail
Top or bottom plate to stud	3ea. 12d common (3½" x 0.162"Ø) for 2x studs	End nail
Top plates, laps at corners and intersections	4ea.	



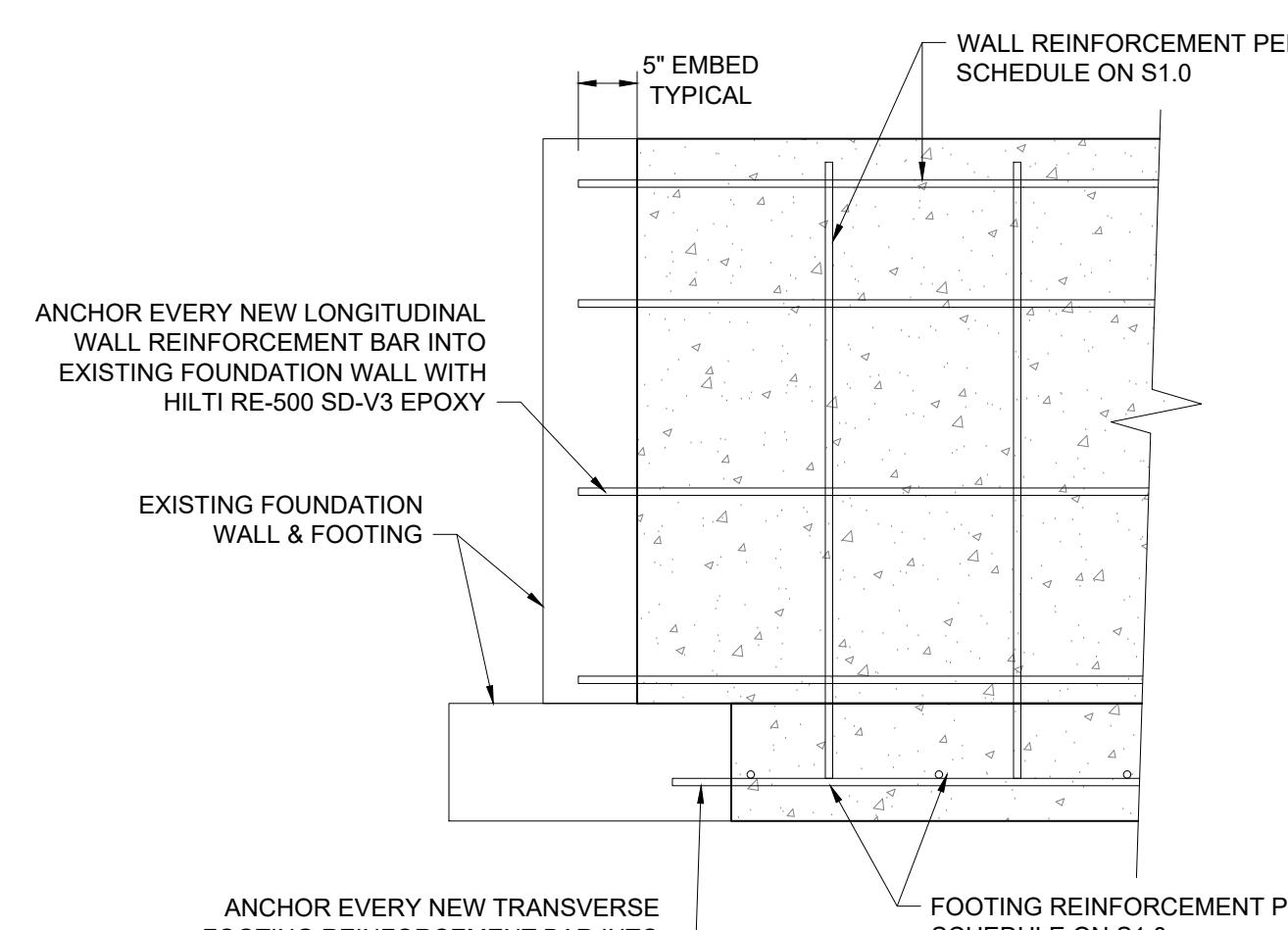
**TYPICAL BLOCK-OUT DETAIL**  
SCALE: 1"=1'-0"  
@ EXTERIOR DOOR LOCATIONS



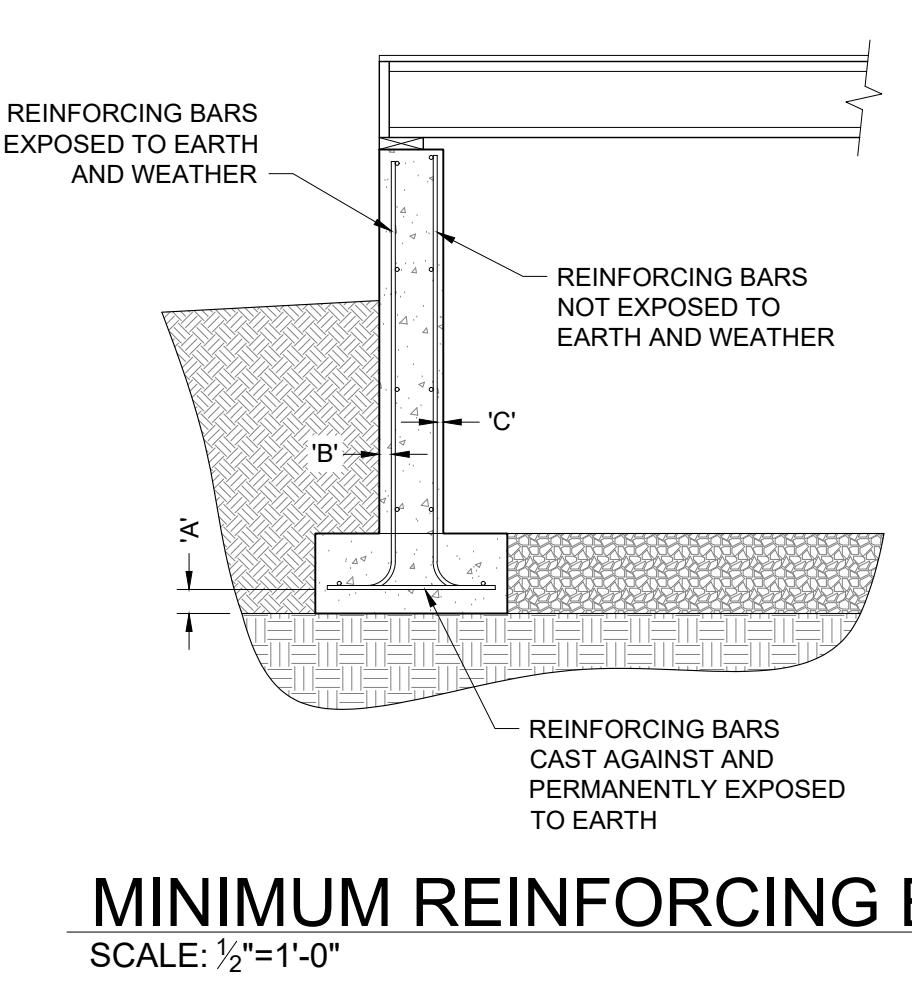
**TYPICAL MONOLITHIC FOOTING DETAIL**  
SCALE: 1"=1'-0"  
@ CONCRETE SLABS



**TYPICAL SLAB CONTROL JOINTS**  
SCALE: 1 1/2"=1'-0"



**TYPICAL NEW FND TO EXISTING FND DETAIL**  
SCALE: 3/4"=1'-0"

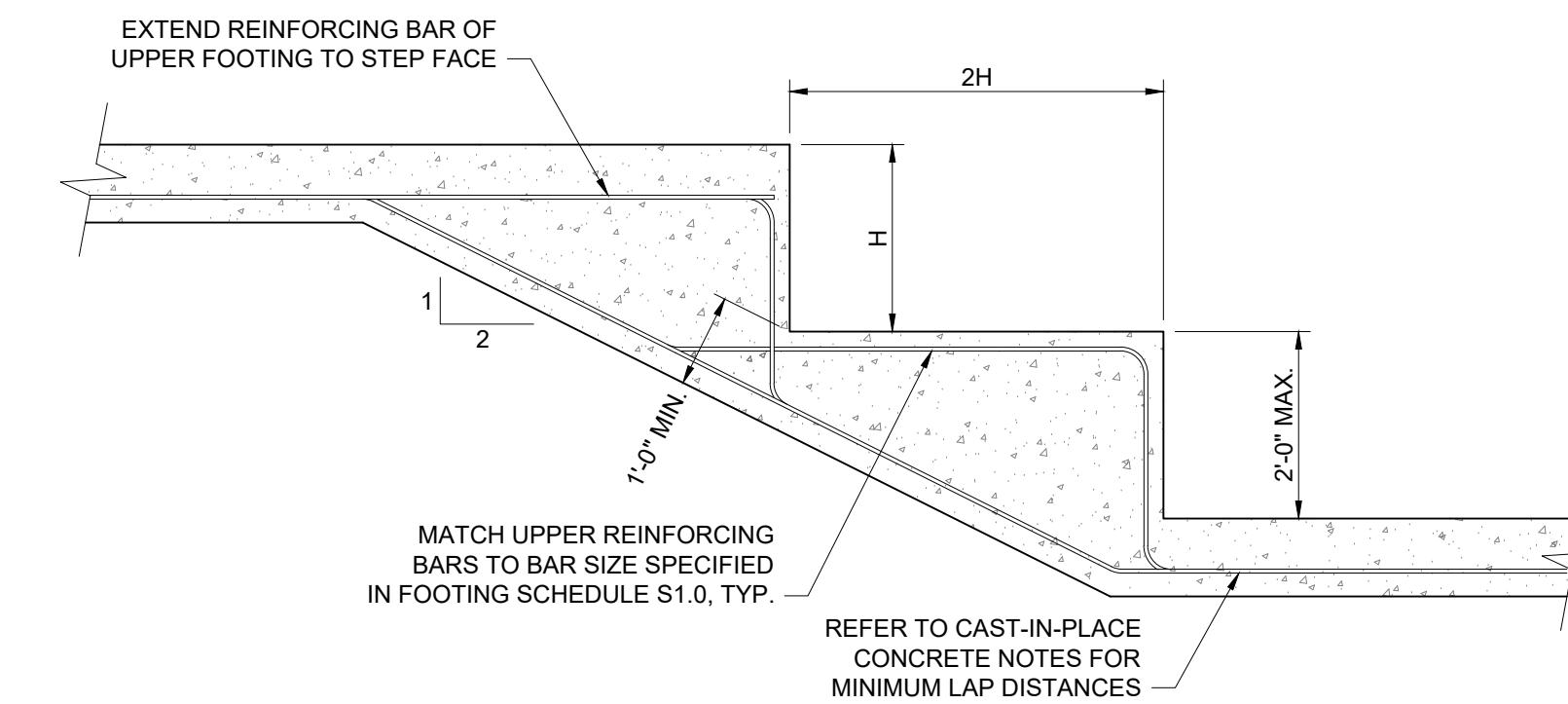


**MINIMUM REINFORCING BAR COVER DISTANCES**  
SCALE: 1/2"=1'-0"

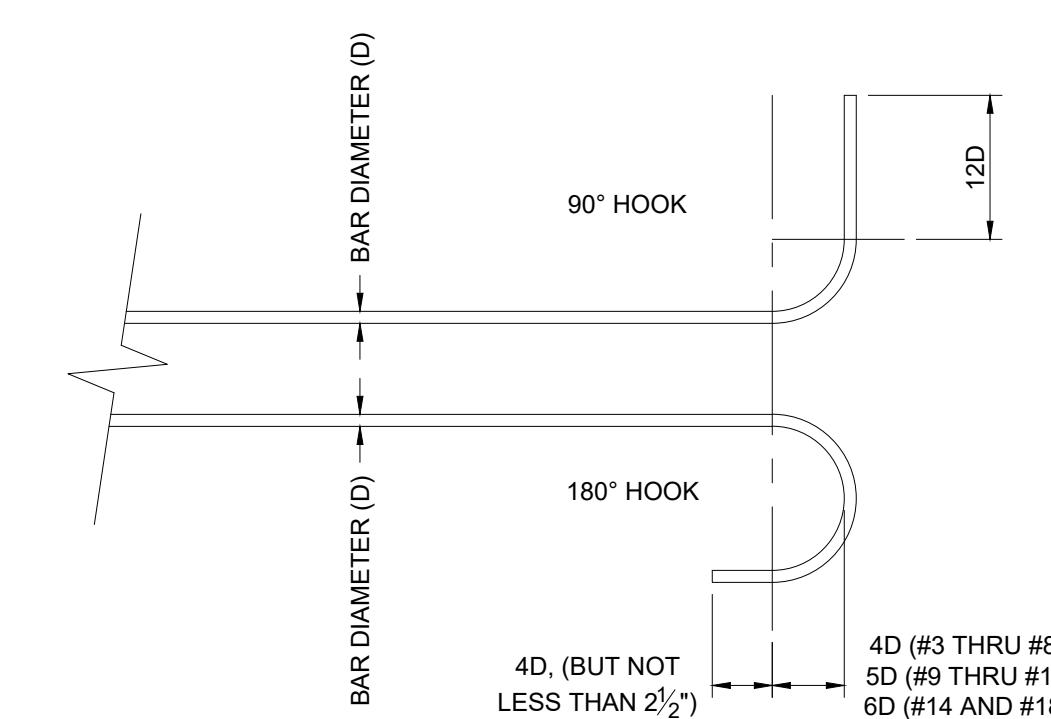
MINIMUM REINFORCING BAR COVER DISTANCES		
LOCATION	COVER DISTANCE	NOTES
'A'	3" MINIMUM	FOR ALL REINFORCING BAR SIZES
'B'	2" MINIMUM	FOR #6 BAR THROUGH #18 BAR
'B'	1 1/2" MINIMUM	FOR #5 BAR AND SMALLER
'C'	1 1/2" MINIMUM	FOR #14 AND #18 BARS
'C'	3/4" MINIMUM	FOR #11 BARS AND SMALLER
BEAMS AND COLUMNS	1 1/2" MINIMUM	FOR PRIMARY REINFORCEMENT, TIES, STIRRUPS, AND SPIRALS

NOTE:  
USE THE ABOVE MINIMUM COVER DISTANCES WHEN THE ACTUAL LOCATIONS ARE NOT SPECIFIED IN THE STRUCTURAL NOTES, SCHEDULES, OR STRUCTURAL DETAILS.

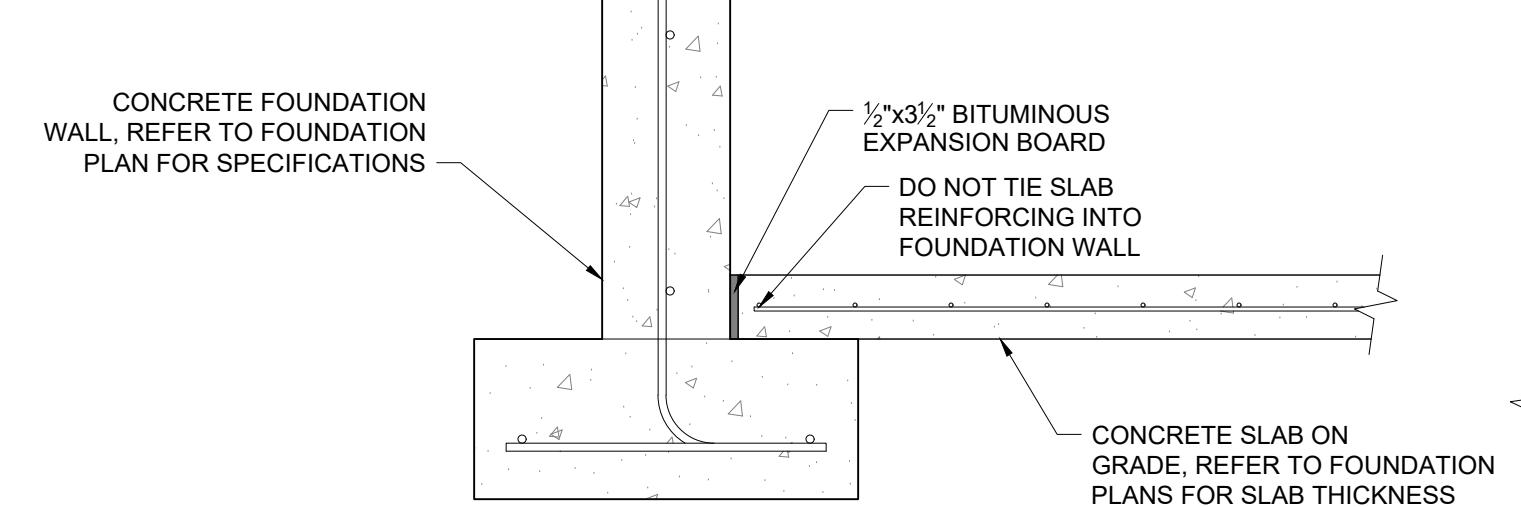
PER ACI 318-14, CHAPTER 20, SECTION 20.6.1.3.1



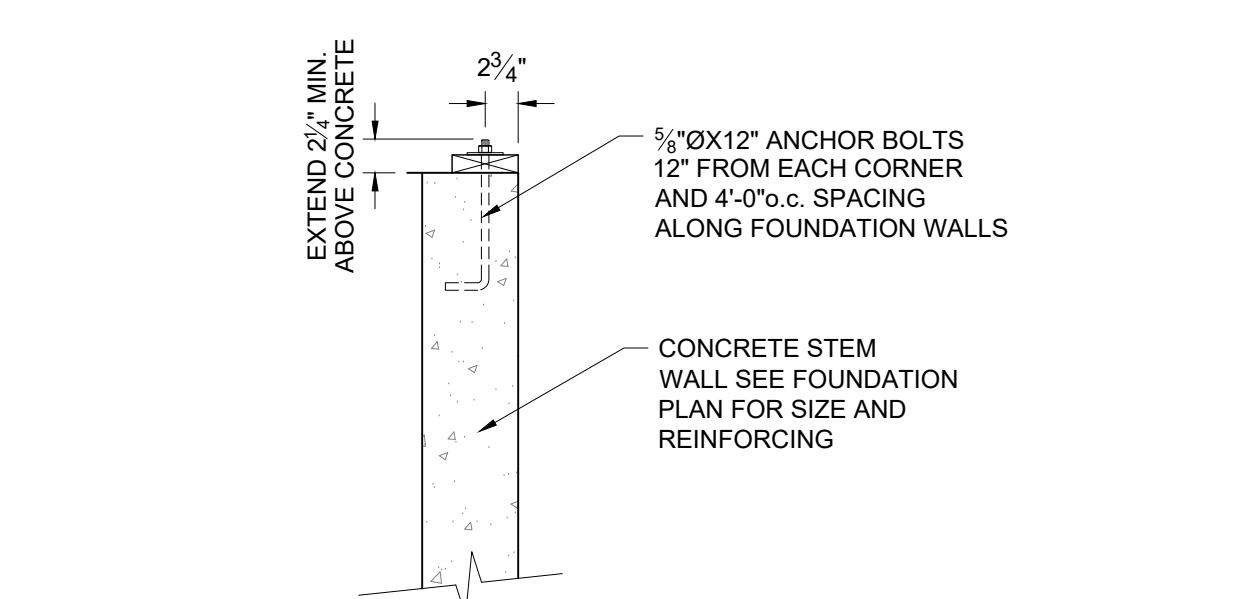
**TYPICAL FOOTING STEP DETAIL**  
SCALE: 1/2"=1'-0"



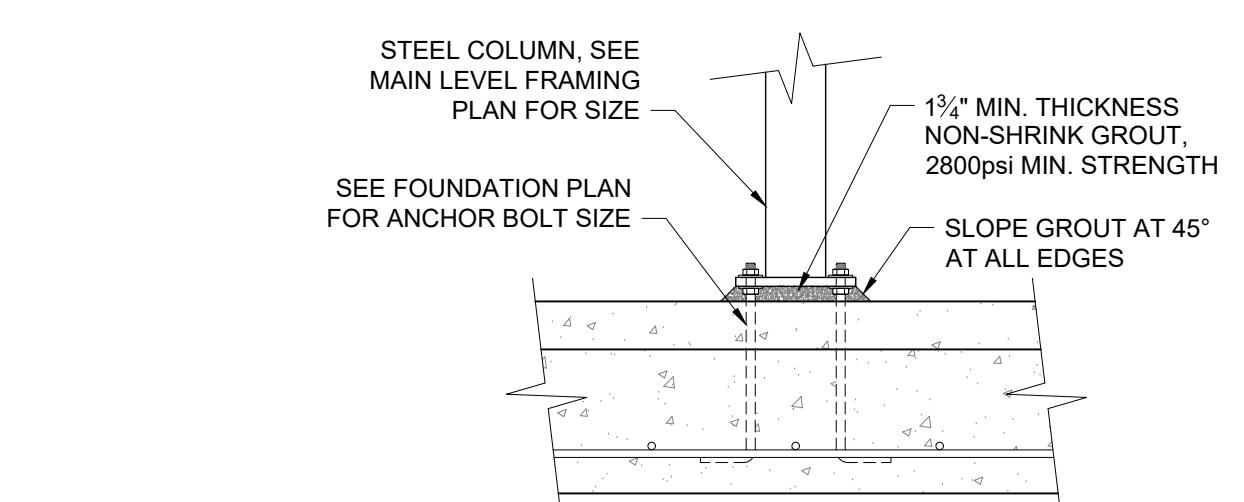
**STANDARD REBAR HOOK AND BEND**  
SCALE: 1 1/2"=1'-0"  
PER ACI 318-14, CHAPTER 25, SECTION 25.3.1



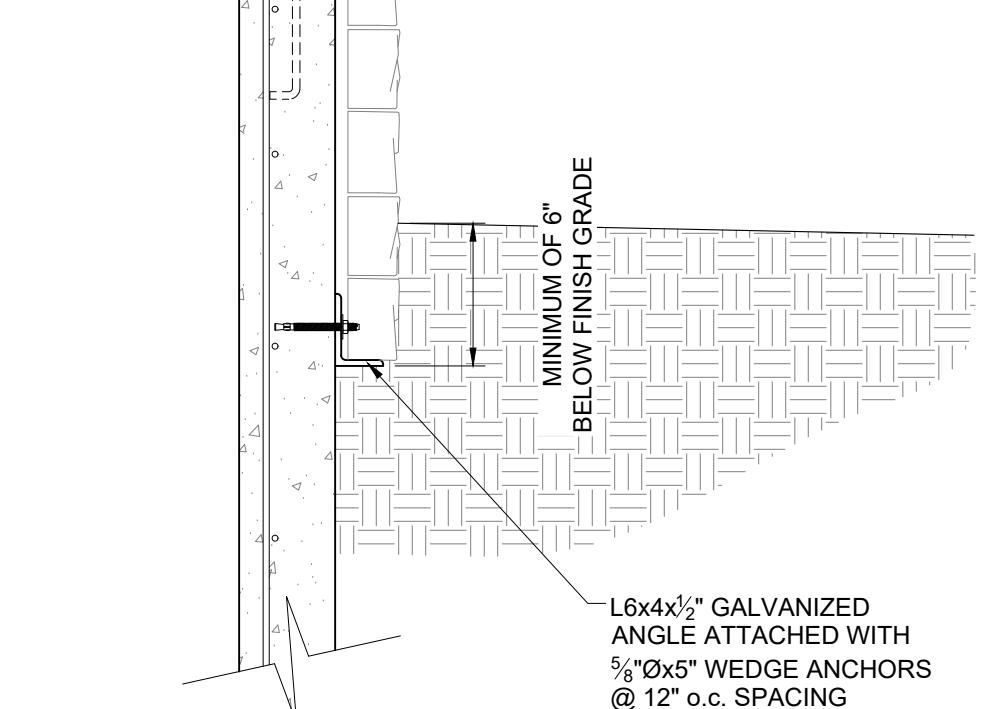
**TYPICAL SLAB/FOUNDATION CONNECTION**  
SCALE: 1"=1'-0"



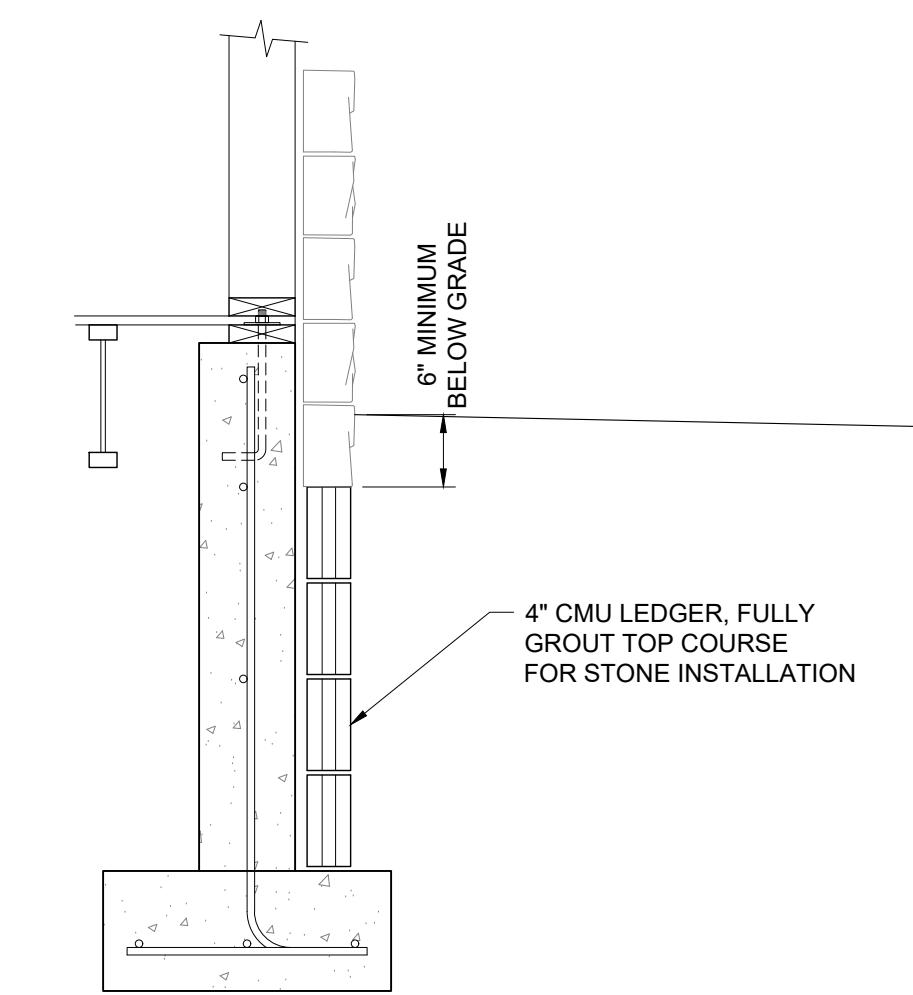
**TYPICAL ANCHOR BOLT LAYOUT**  
SCALE: 3/4"=1'-0"



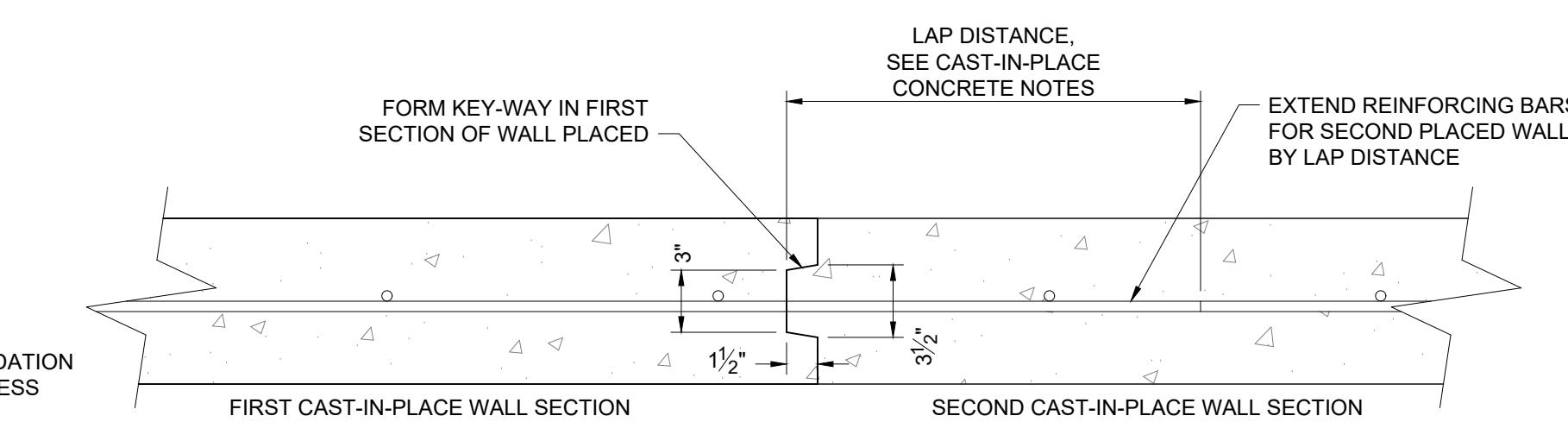
**TYPICAL GROUT DETAIL**  
SCALE: 3/4"=1'-0"  
@ STEEL COLUMN BASES



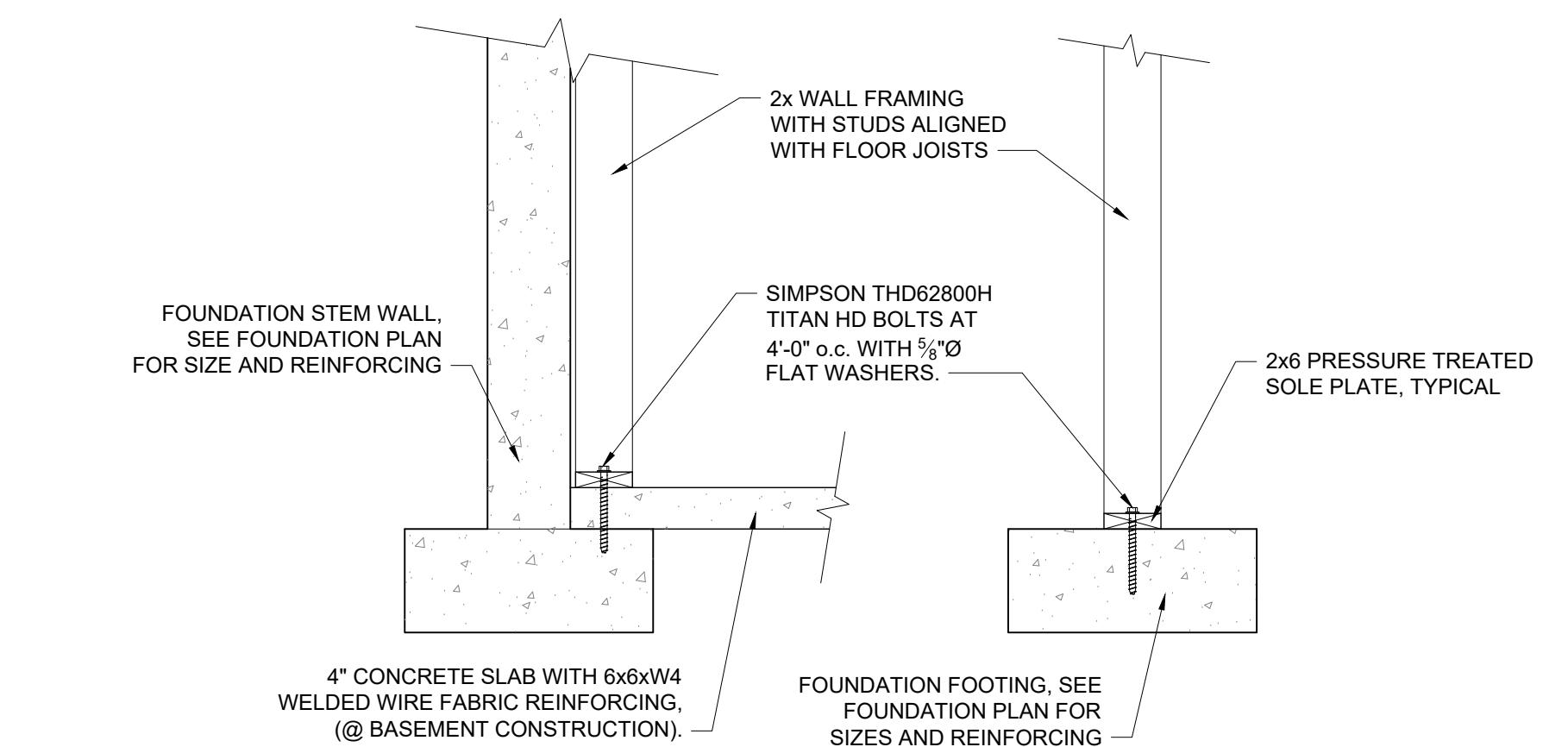
**STONE LEDGER DETAIL**  
SCALE: 3/4"=1'-0"



**STONE LEDGER DETAIL**  
SCALE: 3/4"=1'-0"  
@ SHORT FOUNDATION WALL



**CONSTRUCTION JOINT DETAIL**  
SCALE: 1 1/2"=1'-0"  
@ CAST-IN-PLACE CONCRETE WALLS



**WALL CONNECTION DETAIL**  
SCALE: 3/4"=1'-0"  
@ FOOTINGS AND SLABS

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SHEET TITLE:  
TYPICAL DETAILS

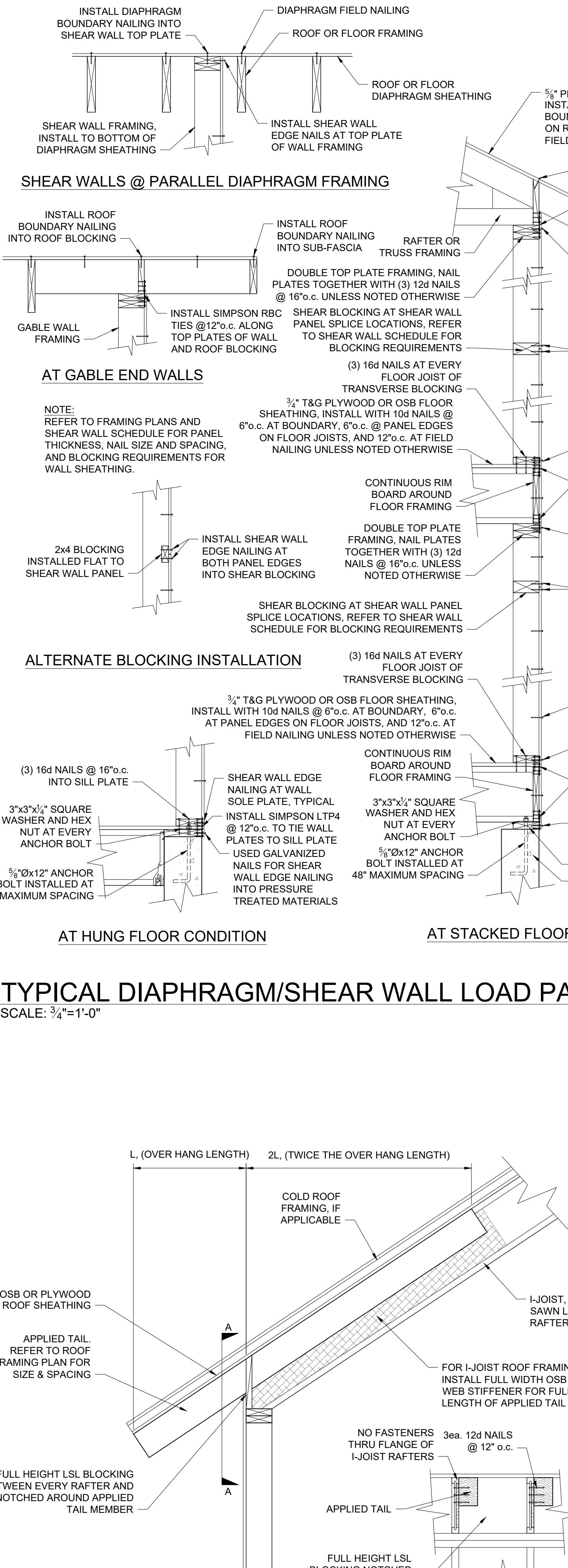
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PLAN VERSION DATE  
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SHEET S1.2



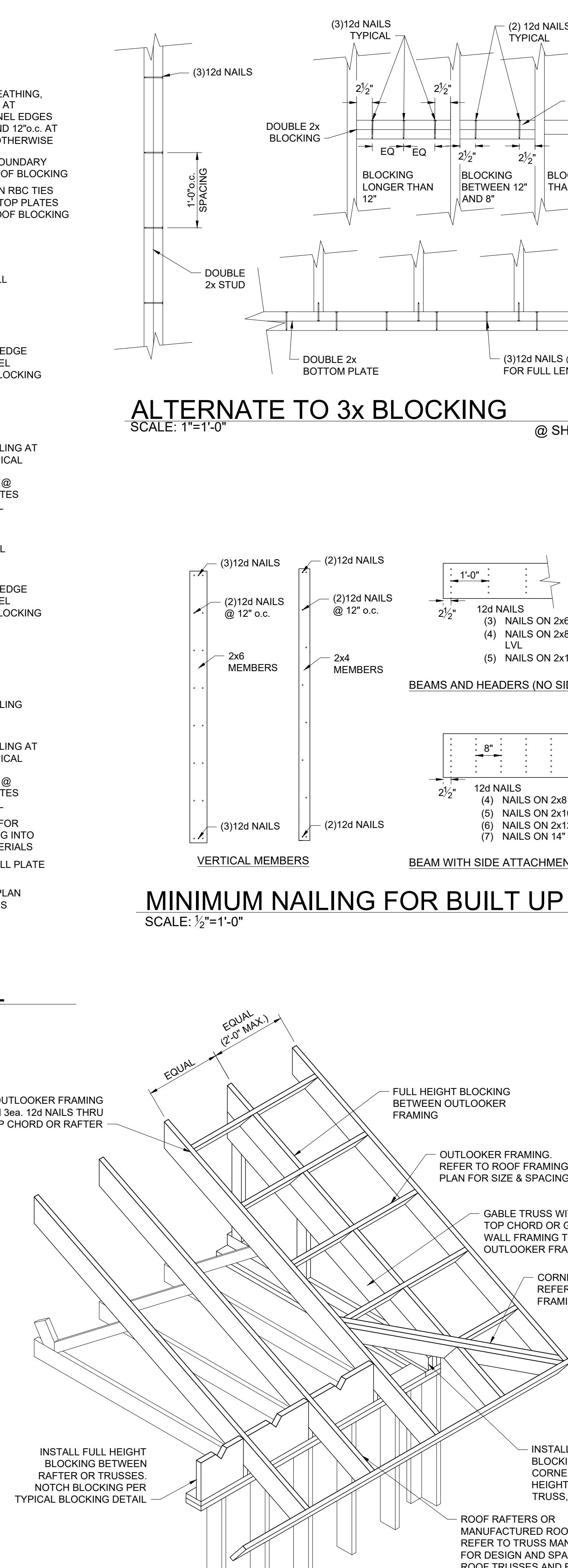


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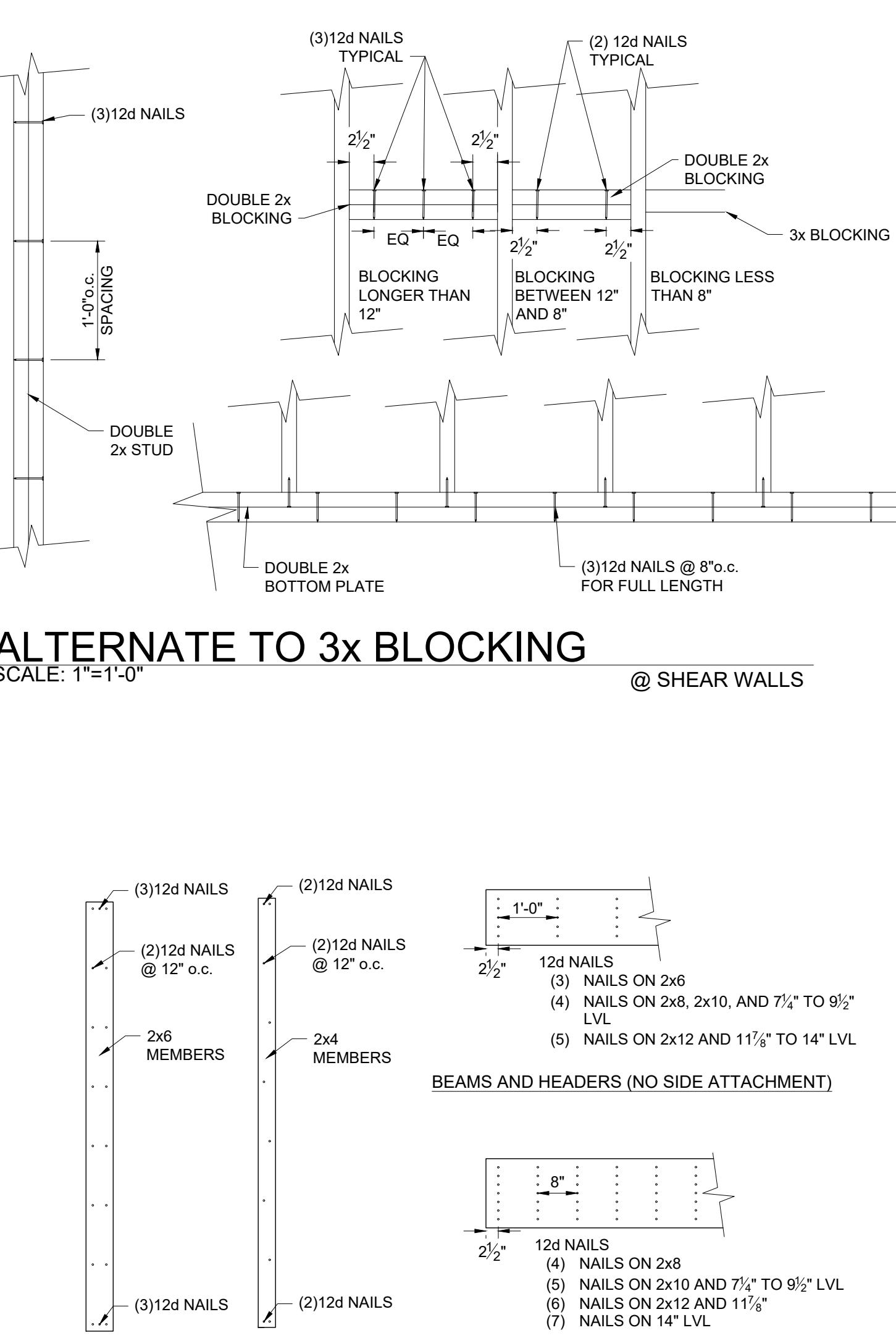
**TYPICAL APPLIED TAIL FRAMING**  
SCALE:  $\frac{3}{4}''=1'-0''$



**TYPICAL ROOF FRAMING**  
@ OVERHANG CORNERS  
SCALE:  $\frac{1}{2}''=1'-0''$



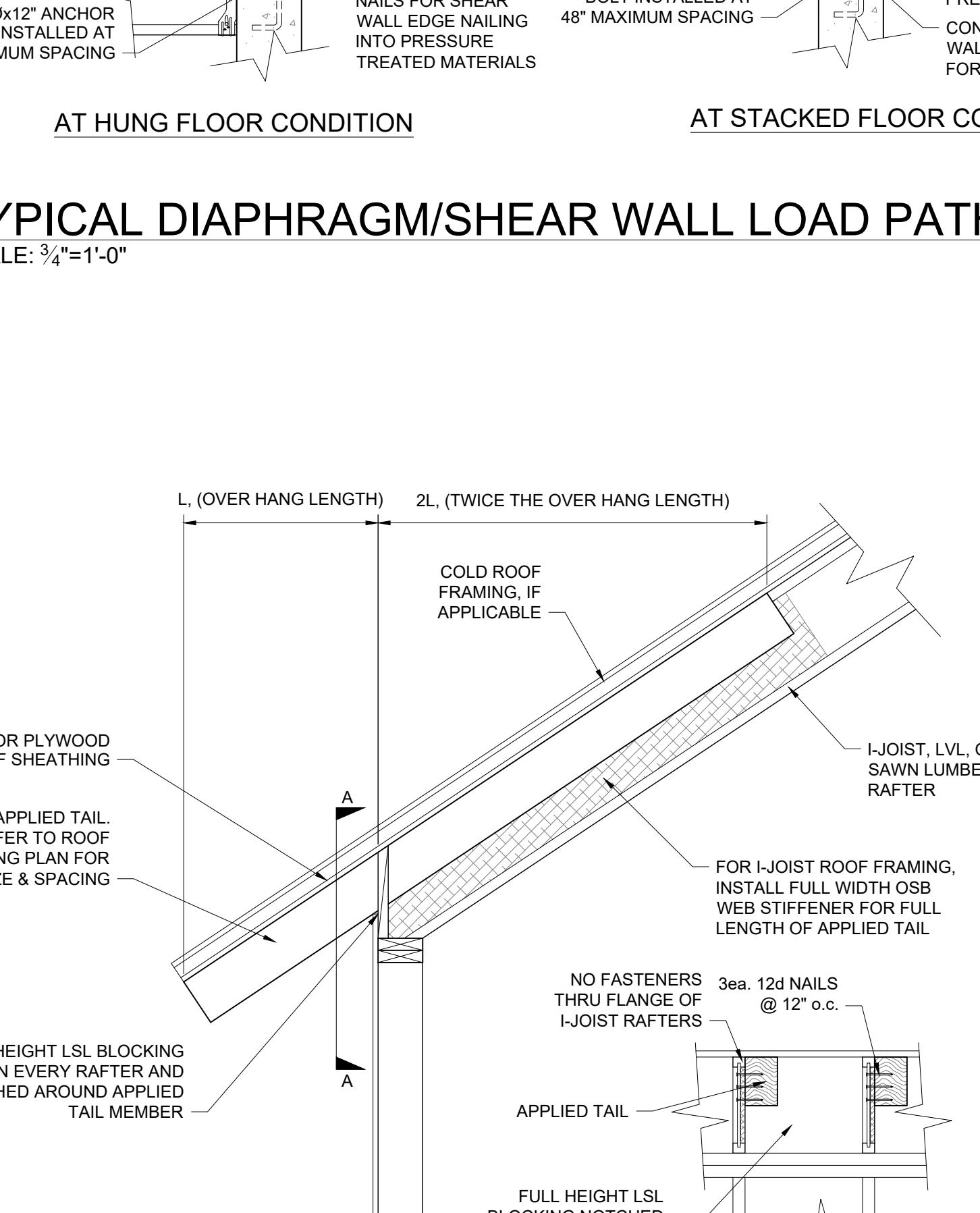
**MINIMUM NAILING FOR BUILT UP MEMBERS**  
SCALE:  $\frac{1}{2}''=1'-0''$



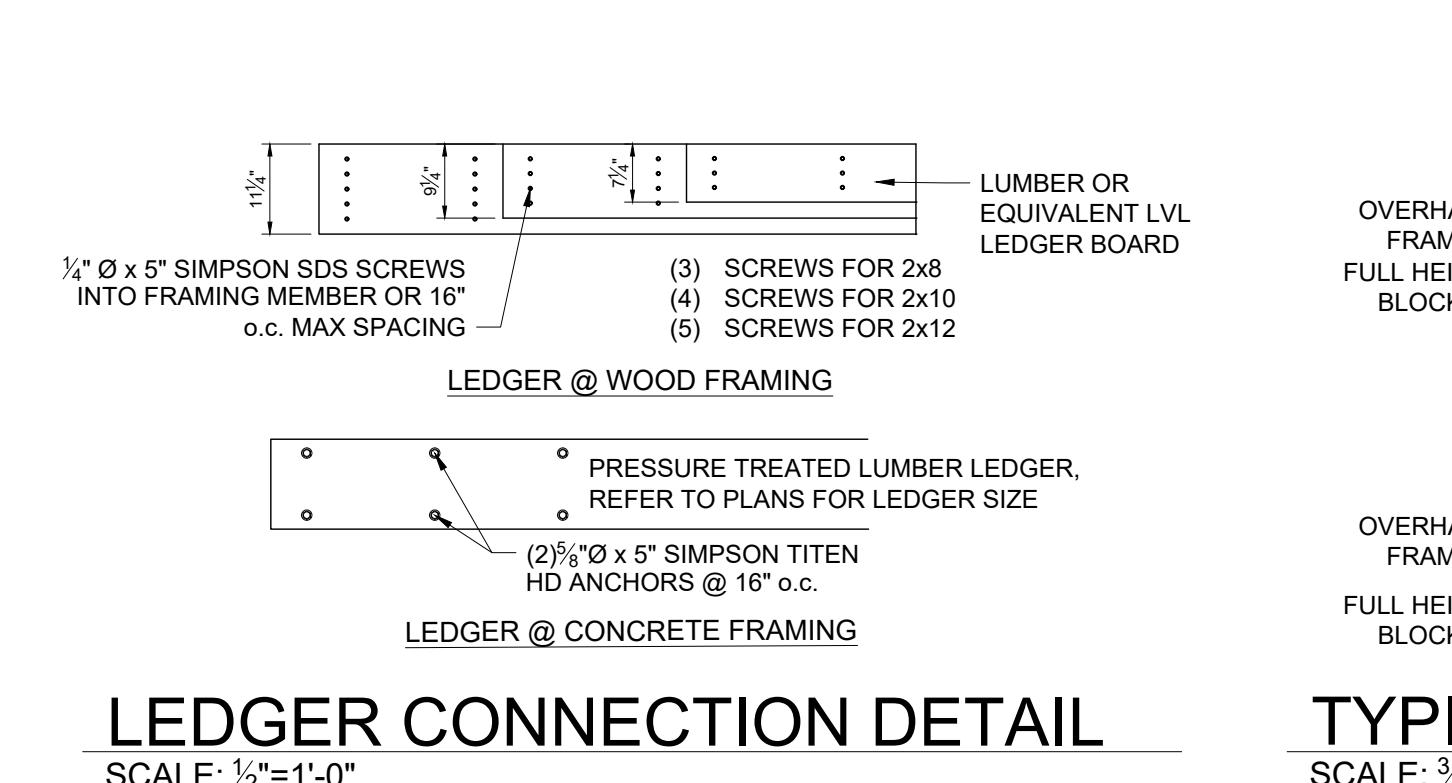
**ALTERNATE TO 3x BLOCKING**  
@ SHEAR WALLS  
SCALE:  $1''=1'-0''$



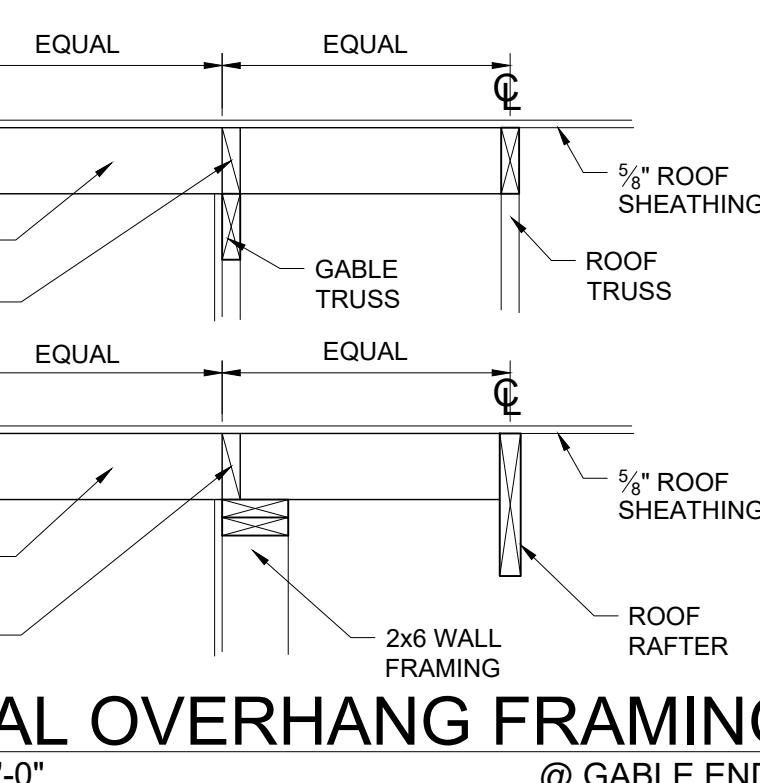
**TYPICAL DIAPHRAGM/SHEAR WALL LOAD PATH DETAIL**  
SCALE:  $\frac{3}{4}''=1'-0''$



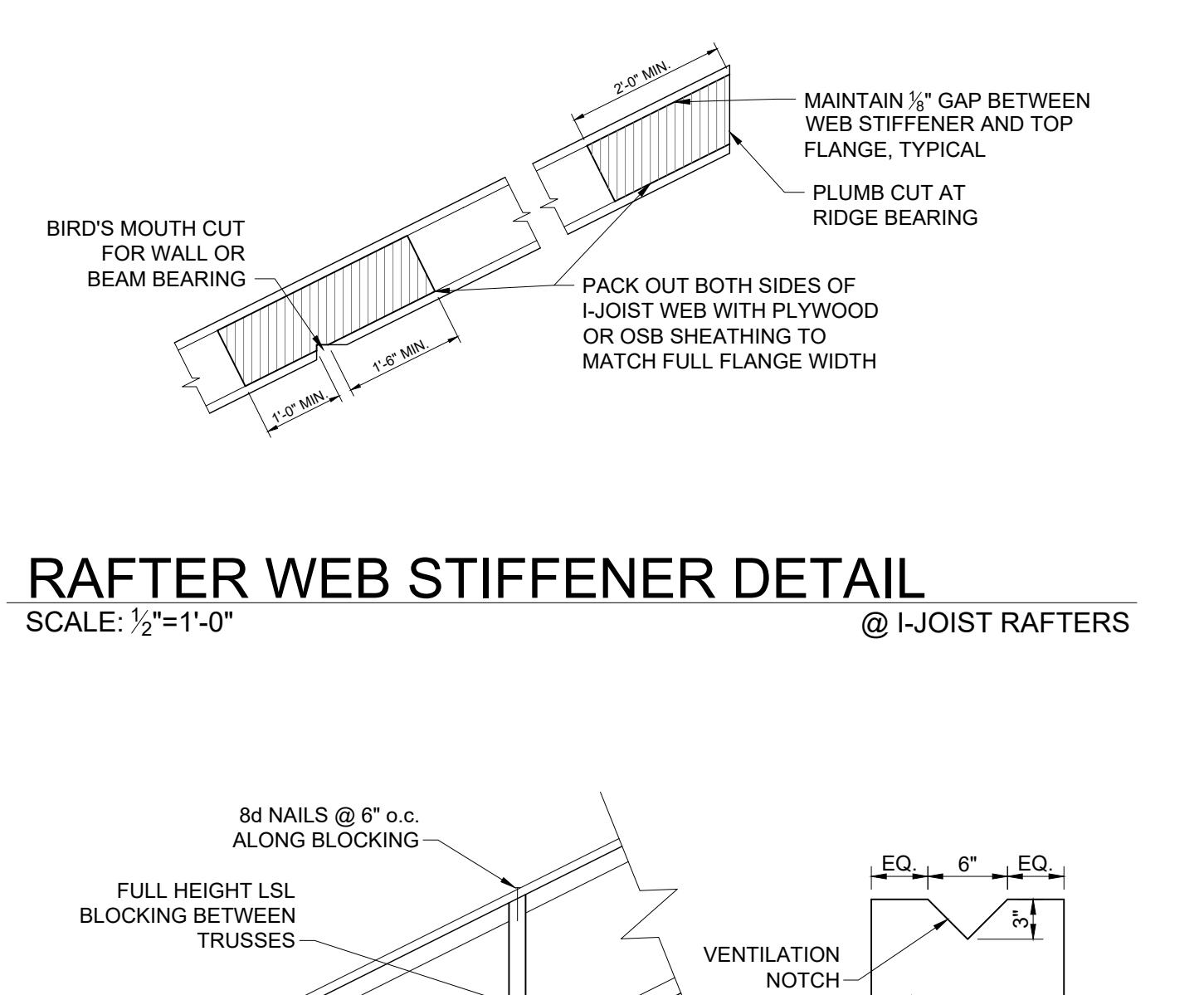
**LEDGER CONNECTION DETAIL**  
SCALE:  $\frac{1}{2}''=1'-0''$



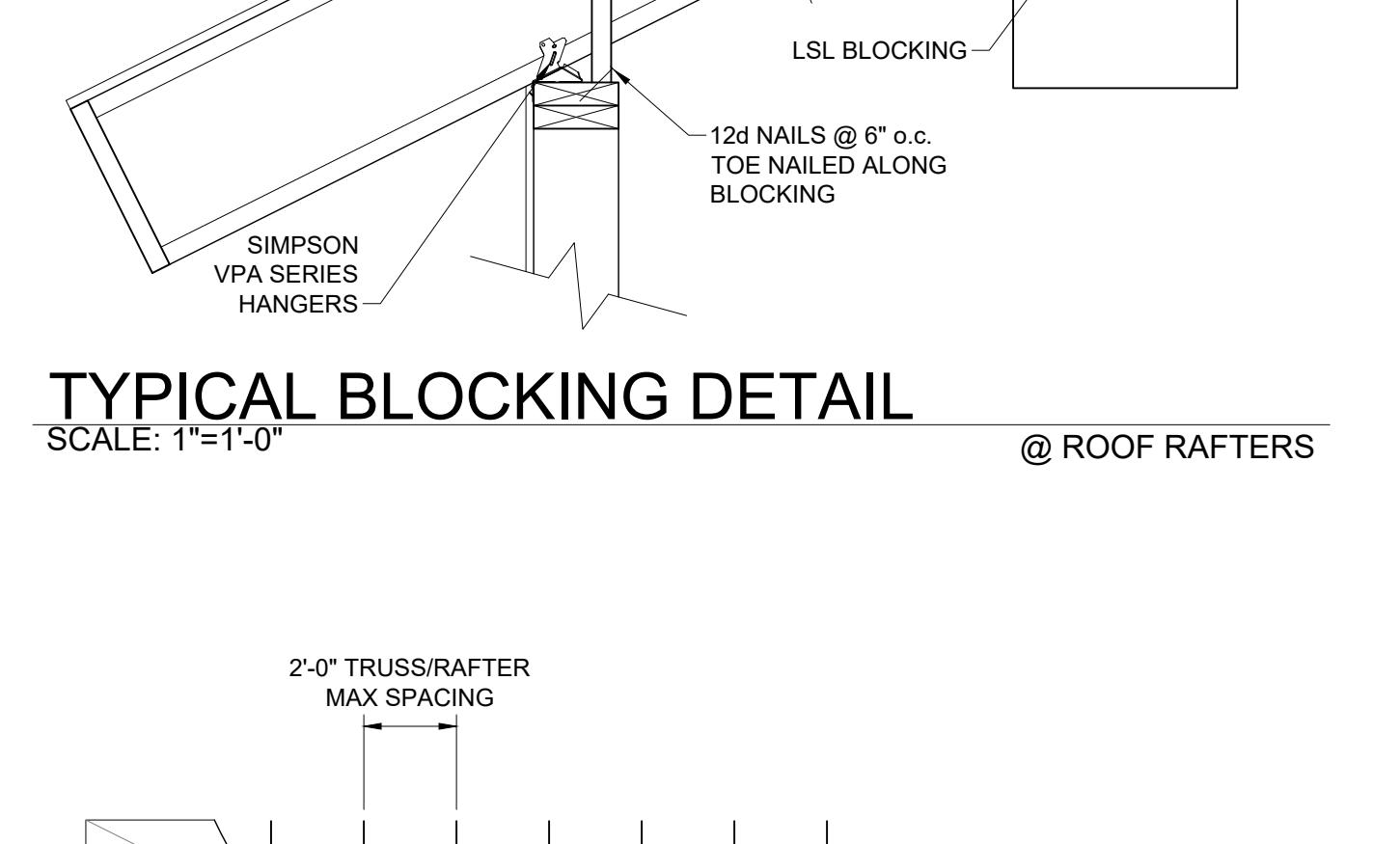
**TYPICAL OVERHANG FRAMING**  
@ GABLE ENDS  
SCALE:  $\frac{3}{4}''=1'-0''$



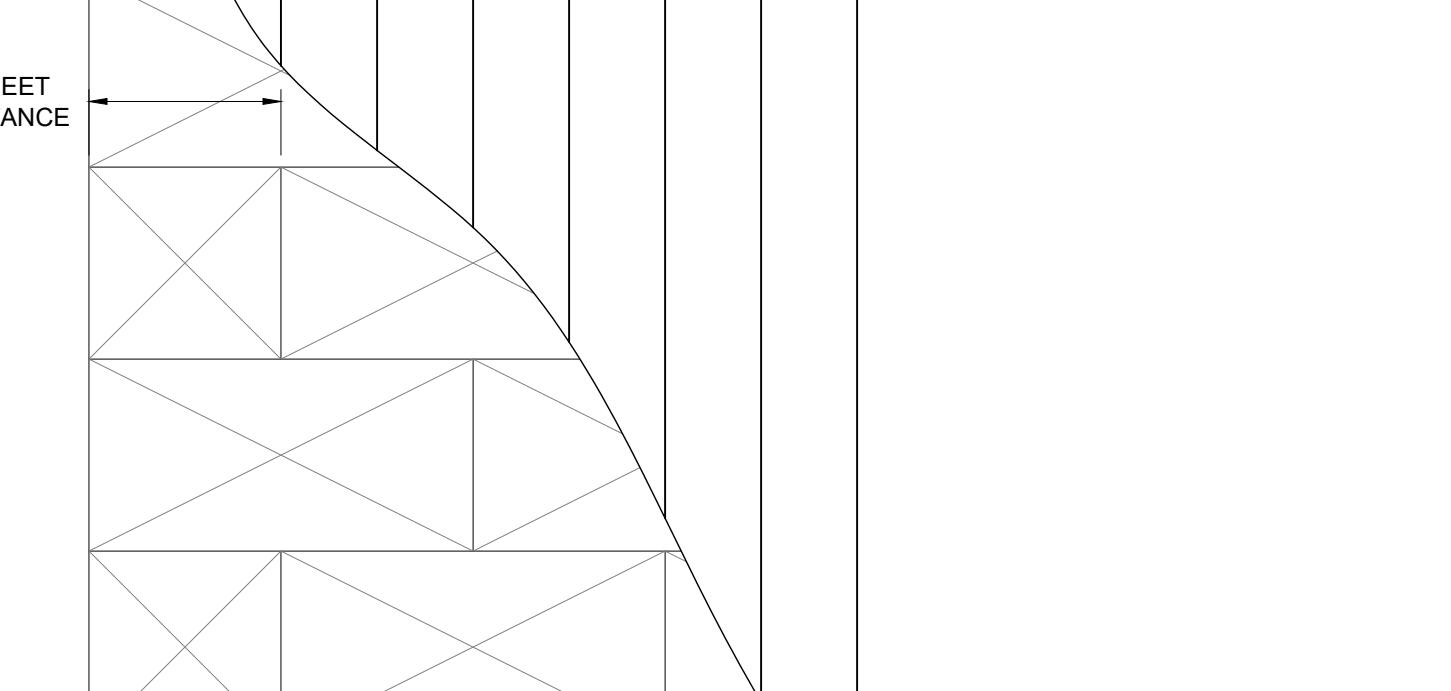
**Rafter Web Stiffener Detail**  
@ I-JOIST RAFTERS  
SCALE:  $\frac{1}{2}''=1'-0''$



**TYPICAL BLOCKING DETAIL**  
@ ROOF RAFTERS  
SCALE:  $1''=1'-0''$



**ROOF SHEATHING DETAIL**  
SCALE:  $\frac{1}{4}''=1'-0''$   
NOTE: ROOF SHEATHING NAILING TO BE:  
8d NAILS @ 4" EDGES & 6" INTERMEDIATE



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3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

**SHEET TITLE:**  
TYPICAL DETAILS

DRAFTED BY:	JM
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PLAN VERSION	
PERMIT RESUBMITTAL	4/30/2020
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SHEET	S 1.4



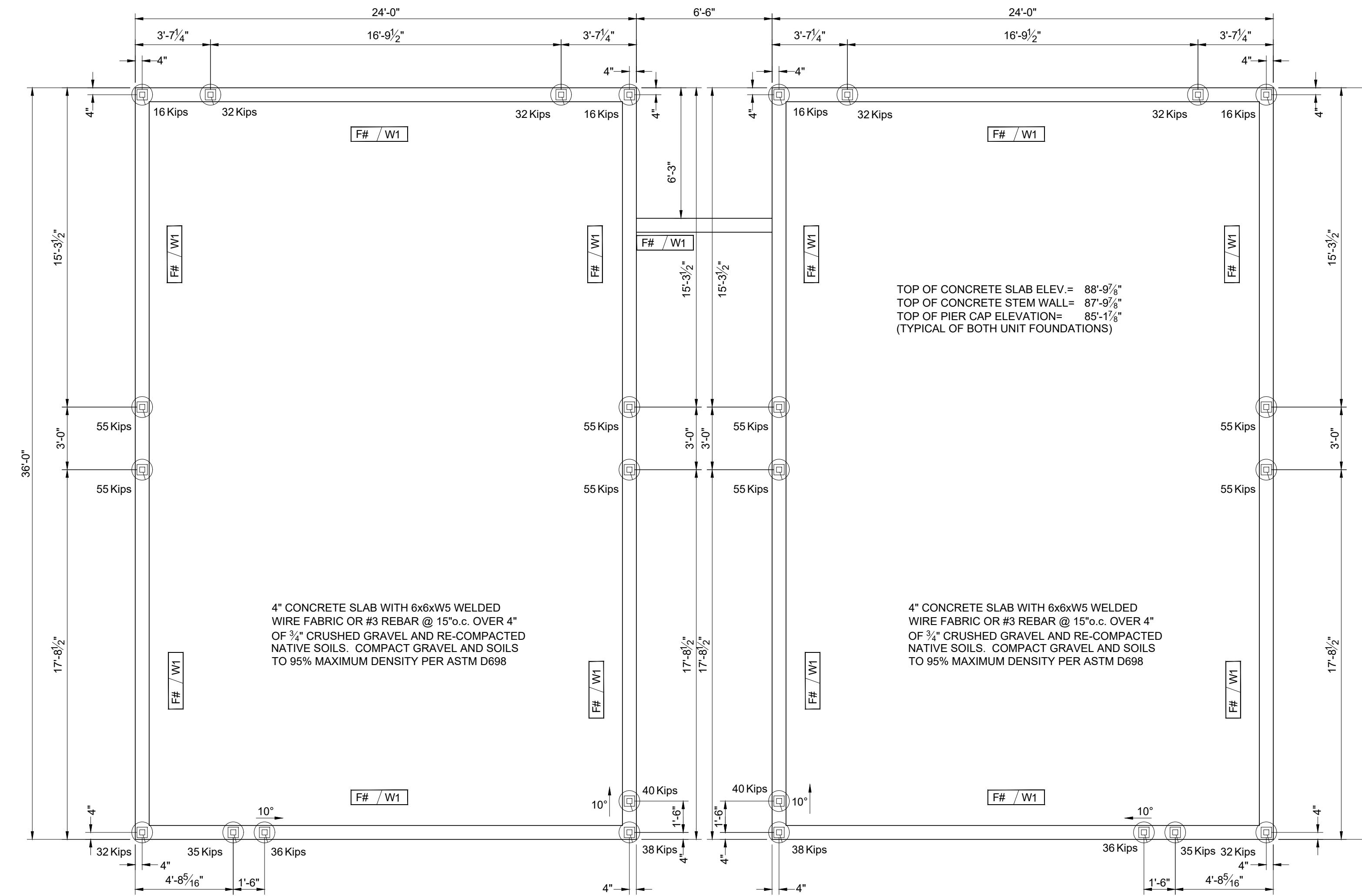
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WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
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SHEET ONE. FOUNDATION PL

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HEET	
S2.0	



# FOUNDATION PLAN

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SCALE:  $\frac{1}{4}$ "=1'-0"

---

## @ SOUTH 3 BEDROOM UNITS

HELICAL PIER, FINAL CONFIGURATION  
AND DEPTH OF EMBEDMENT TO BE  
DETERMINED BY INSTALLATION OF  
TEST PIERS PRIOR TO INSTALLATION

INDICATED HELICAL PIER TO BE  
INSTALLED AT A BATTERED ANGLE  
DIRECTION OF ARROW INDICATES  
DIRECTION OF TIP INSTALLATION

20°

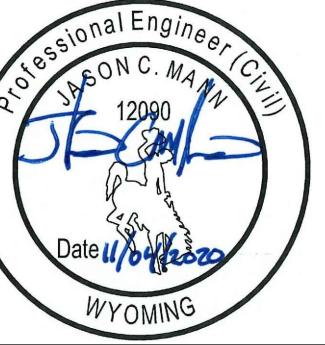
70Kips  
ANGLE OF BATTER  
MEASURED FROM VERTICAL  
HELICAL PIERS WITH NO BATTER  
INDICATION ARE INSTALLED VERTICAL.

# HELICAL PIER LEGEND

SCALE:  $\frac{1}{2}$ "=1'-0"



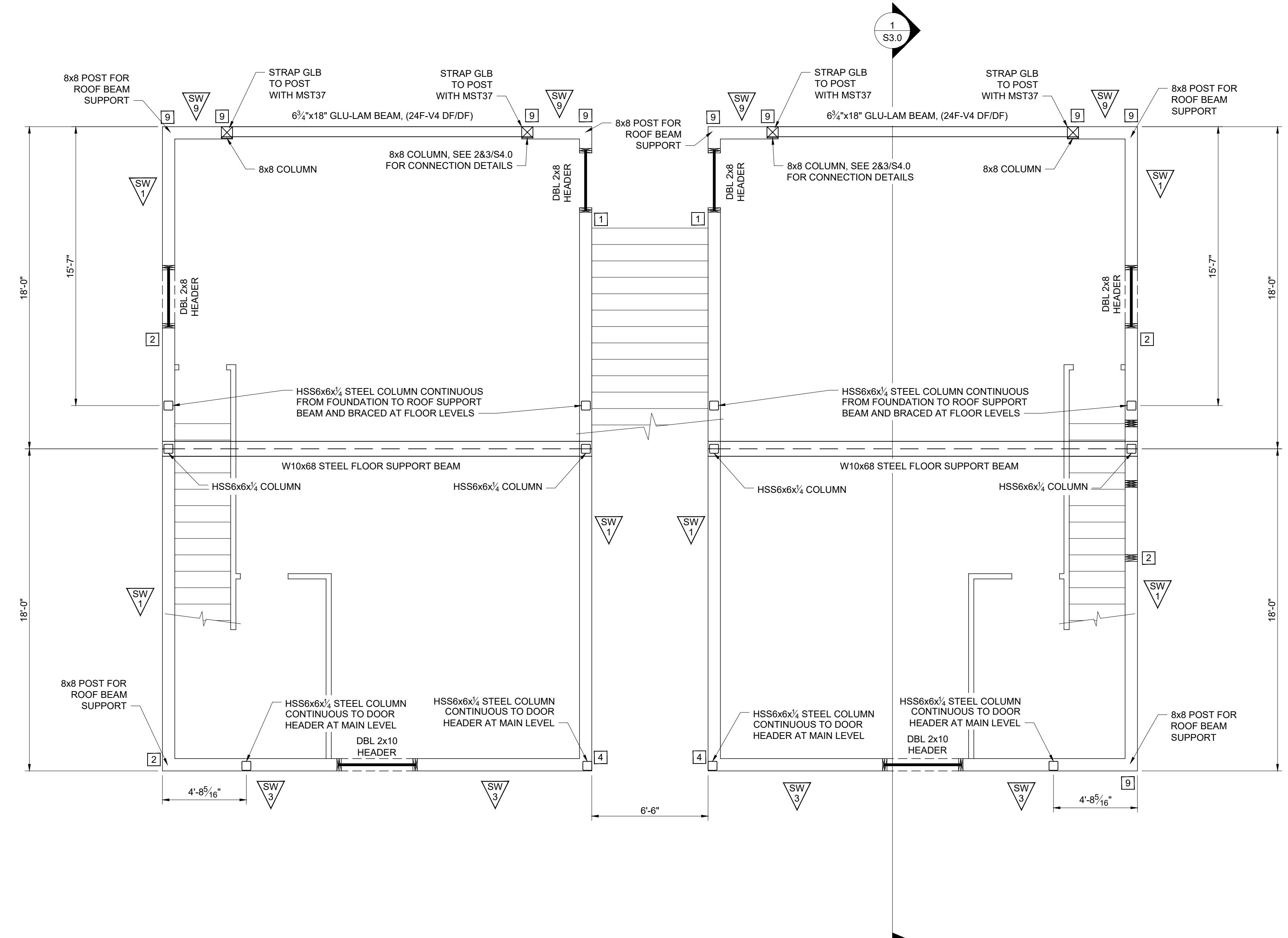
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# LOWER LEVEL FRAMING PLAN

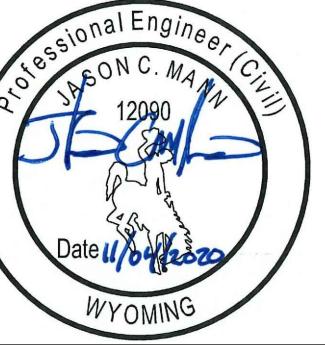
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## LOWER LEVEL FRAMING PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

@ SOUTH 3 BEDROOM UNITS

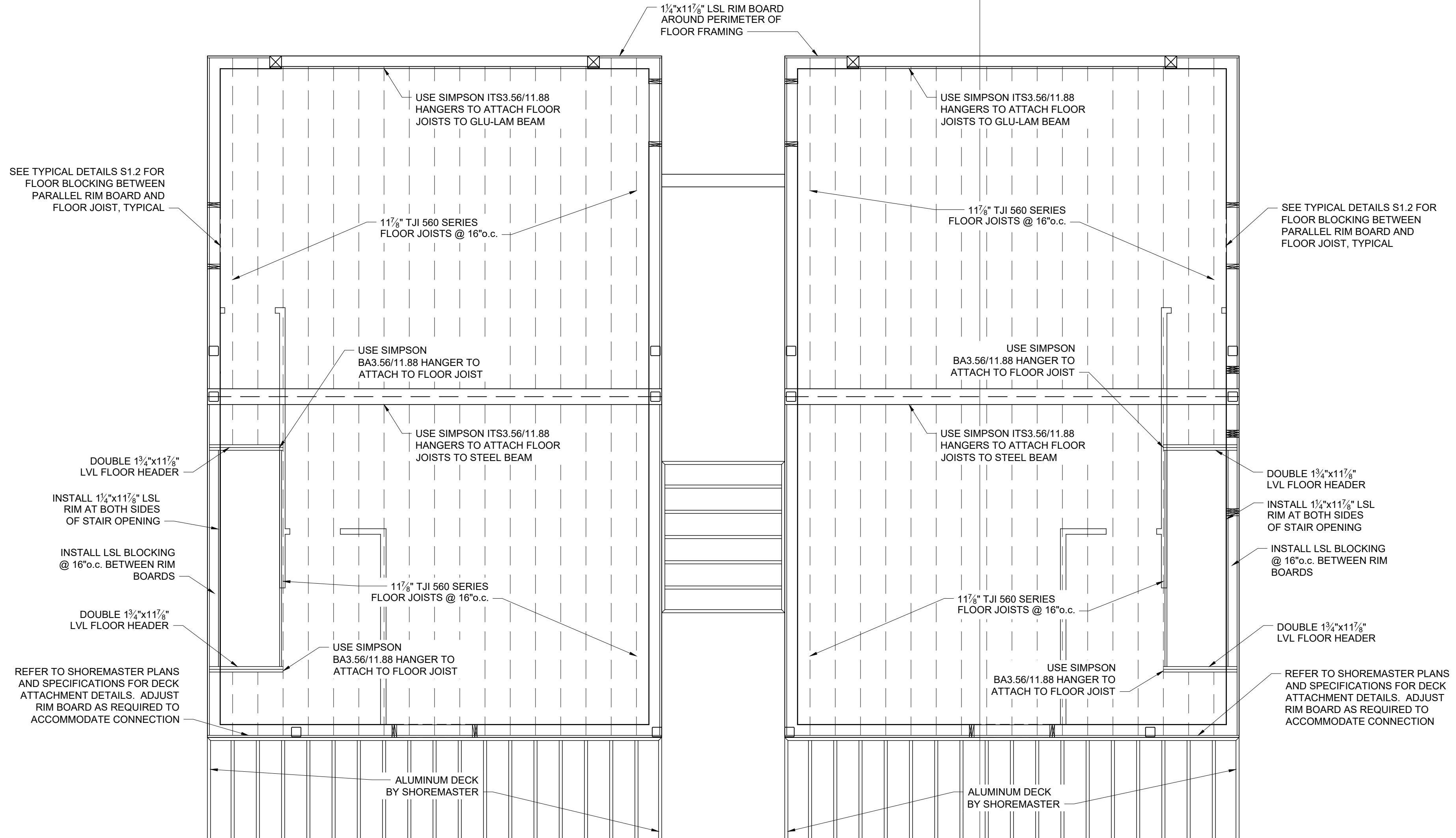


## MAIN LEVEL FLOOR PLAN

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SCALE:  $\frac{1}{4}$ "=1'-0"

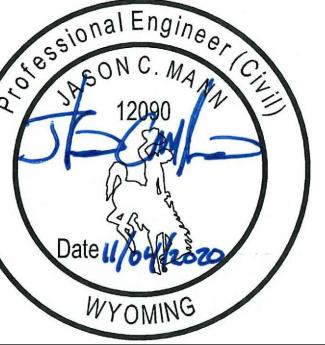
**@ SOUTH 3 BEDROOM UNITS**



PROJECT TITLE:  
**WEST VIEW TOWNHOMES**  
**3 BEDROOM UNITS**  
**1255 WEST HIGHWAY 22**  
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**MAIN LEVEL FLOOR PLAN**

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PROJECT TITLE:  
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3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING

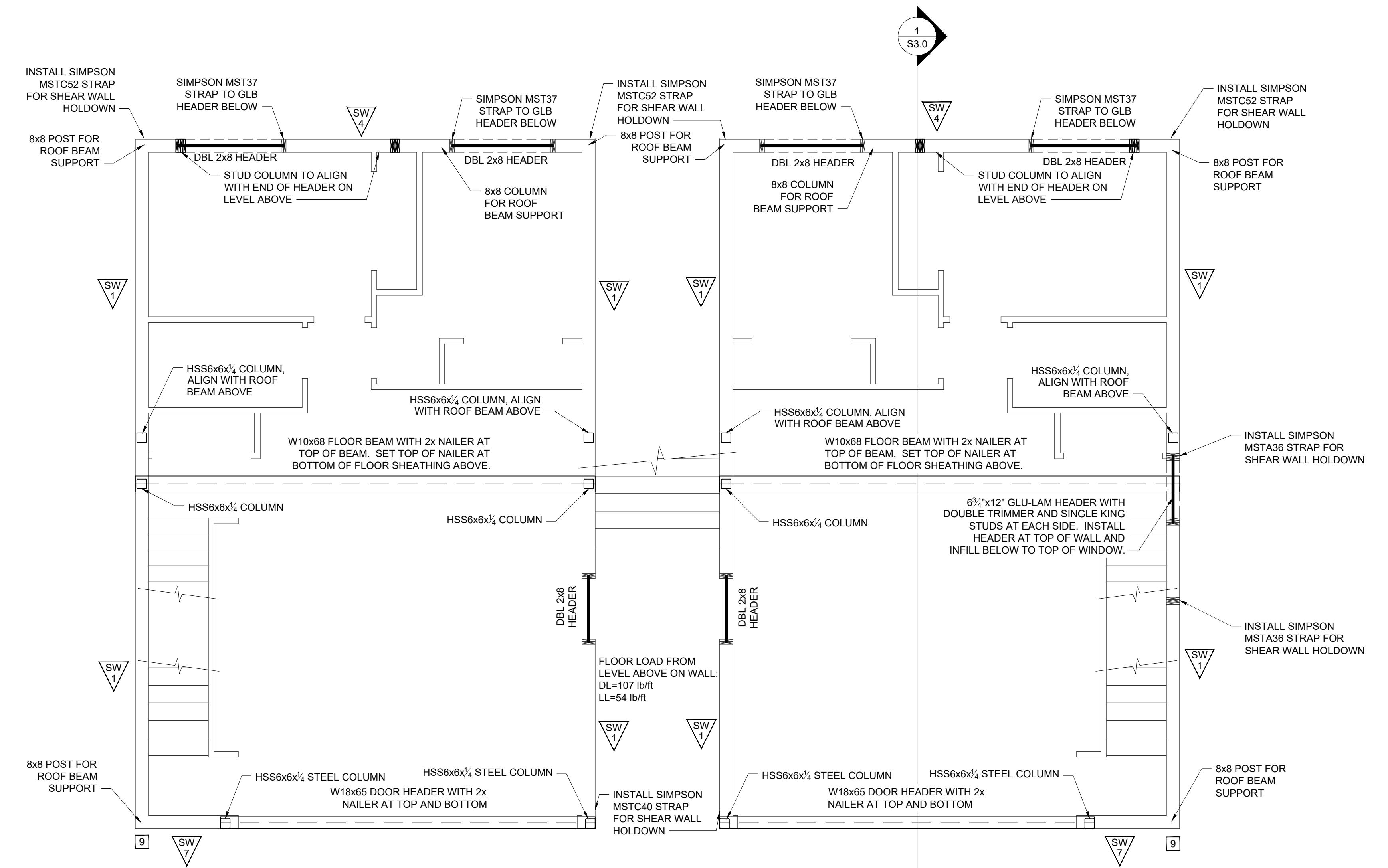
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**MAIN LEVEL FRAMING PLAN**

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### MAIN LEVEL FRAMING PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

@3 BEDROOM UNITS





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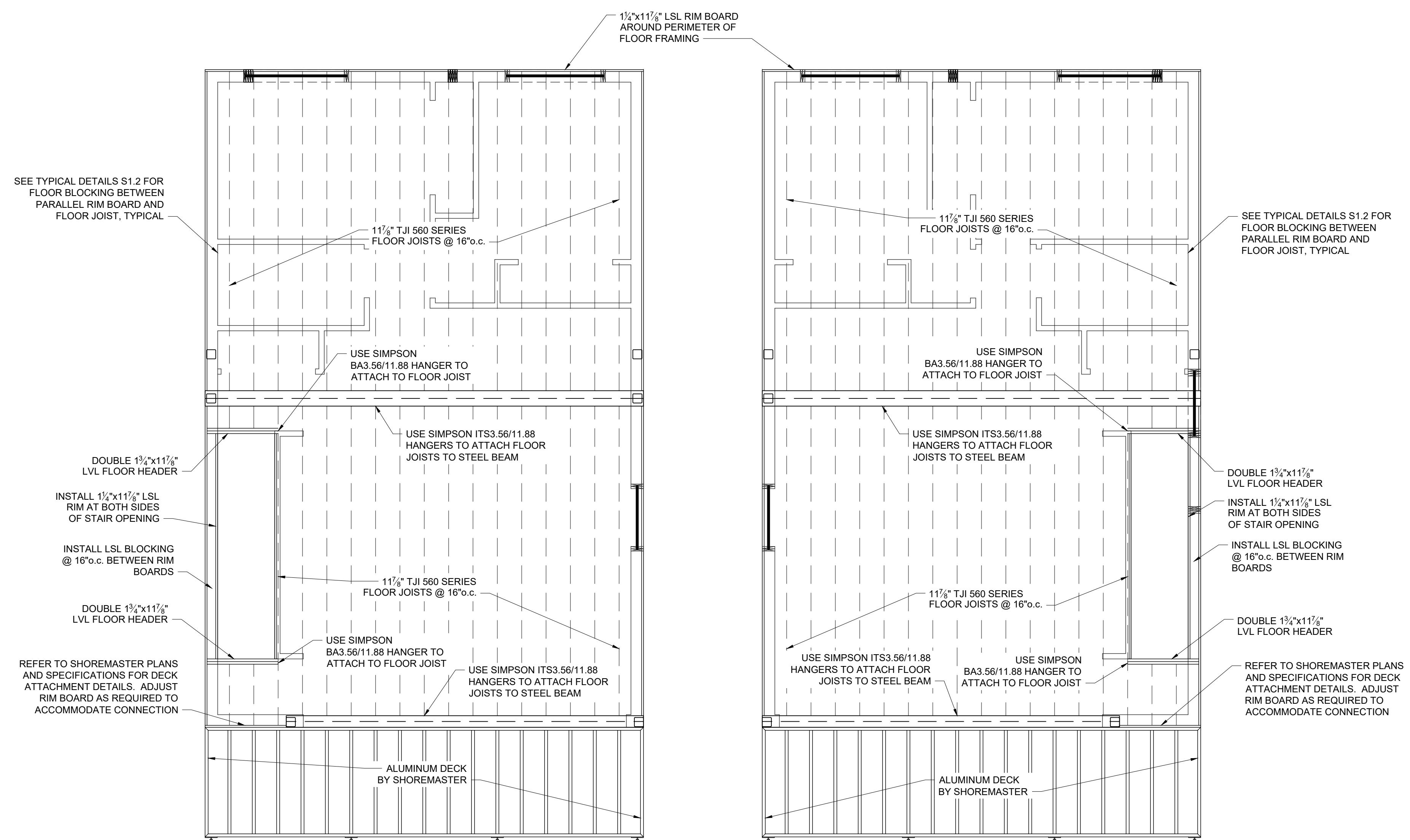


WEST VIEW TOWNHOMES  
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## UPPER LEVEL FLOOR PLAN

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S2.4	



## UPPER LEVEL FLOOR PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

**@3 BEDROOM UNITS**



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## UPPER LEVEL FRAMING PLAN

SCALE:  $\frac{1}{4}$ "=1'-0" @ SOUTH 3 BEDROOM UNITS

PROJECT TITLE:  
**WEST VIEW TOWNHOMES**  
**3 BEDROOM UNITS**  
**1255 WEST HIGHWAY 22**  
**JACKSON, WYOMING**

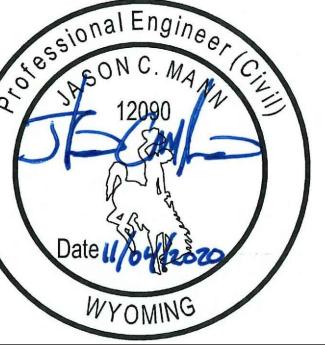
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SHEET TITLE: **UPPER LEVEL FRAMING PLAN**

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WEST VIEW TOWNHOMES  
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## ROOF FRAMING PLAN

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NST. DOCUMENTS	10/04/2020
JECT NUMBER	
09040	
EET	
S2.6	

STRUCTURAL INSULATED ROOF PANELS,  $11\frac{7}{8}$ " CORE THICKNESS WITH  $\frac{7}{16}$ " OSB AT INTERIOR FACE AND  $\frac{3}{4}$ " OSB AT EXTERIOR FACE. USE  $11\frac{7}{8}$ " I-JOISTS AT LONG PANEL EDGED. MINIMUM FLANGE WIDTH OF I-JOISTS IS  $2\frac{5}{16}$ ". CONSTRUCT AND INSTALL PANELS CONTINUOUS OVER A MINIMUM OF TWO SPANS AND ATTACH TO STEEL ROOF BEAMS.

1  
S3.0

6"

3'-0"

8'-0" TYPICAL PANEL WIDTH

6'-7"

3'-0"

Detailed description: This technical diagram illustrates the layout of structural insulated roof panels. It shows a grid of panels with a width of 8'-0" and a height of 3'-0". The panels are supported by vertical columns and horizontal joists. A note at the top specifies panel thickness, core material, and joist requirements. A callout in the top right corner identifies the panel as '1 S3.0'. Dimension lines indicate the panel width, height, and the distance between the top of the panels and the bottom of the joists.

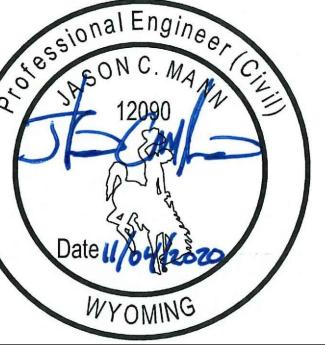
# ROOF FRAMING PLAN

SCALE:  $\frac{1}{4}$ "=1'-0"

---

## **@ SOUTH 3 BEDROOM UNITS**

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PROJECT TITLE:  
WEST VIEW TOWNHOMES  
3 BEDROOM UNITS  
1255 WEST HIGHWAY 22  
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SHEET TITLE:  
BUILDING SECTIONS

DRAFTED BY:	JM
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CONST. DOCUMENTS	10/04/2020
PROJECT NUMBER	09040
SHEET	S3.0

