



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: November 16, 2020	REQUESTS: The applicant is submitting a request for a PUD and Development Plan Amendment for the properties located at 315, 317, 325, 327 Batch Plant Rd, legally known as 22-41-16-32-1-00-008.04. For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.
Item #: P20-215 & 216	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Email: tvalentine@jacksonwy.gov	
Owner Batch Plant, Partners, LLC PO Box 689 Wilson, WY 83014 Applicant: DA Architects – Chris PO Box 4615 Jackson, WY 83001	
Please respond by: November 30, 2020 (Sufficiency) December 7, 2020 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



WESTVIEW - UPPER UNITS

11-11-20

PLANNING DEPT COMPLIANCE WITH LDRS

Lot Info

Address:	1255 W Hwy 22
PIDN:	22-41-16-32-1-00-008
Area:	1.1 acres (47,916 s.f.)
Zoning:	PUD-NM-2
Overlays:	NA

Note: Upper Units (subject of this permit amendment) have since been split from the original lot. For PUD/ FAR calculation purposes they are still considered part of the original lot.

Permit Amendment Narrative:

The purpose of this permit amendment is to increase the depth of one of the upper lots by 6' as well as submit the updated interior layout to the Town of Jackson for approval.

The depth of unit 502 was increased by 6' resulting in an increase of 288 SF habitable area and 144 SF of non-habitable. This increase results in a total FAR SF of 22,325 SF which stays below the original allowable FAR of 0.52 or 22,560 SF. See page A002 & A003 for SF breakdowns and diagrams.

The minimum 25' driveway access has been maintained in front of unit 502. See Page A100.

In addition to this total SF increase this layout of each of the 4 units has been re-designed at the request of the new project owners. The attached drawings contain the original layout and the new proposed layout for comparison. While the exterior windows and doors have been updated, the overall material pallet has not been changed from the original permitted pallet.

There have been no changes made to the lower units that are currently under construction (Units 101 - 404).

Character & Size of Development - UPDATED

- 2 buildings each with 2 single-family townhomes with attached garages
- 6,965 total habitable s.f. and 3,585 total non-habitable s.f. across the 2 buildings
- 11,172 total s.f. of impervious surface
- New asphalt drive access off of S Batch Plant Rd at NW corner of the property
- New water line to tie into Town water at SE corner, new sewer line to tie into Town sewer along S side, new transformer installed at NW corner, existing overhead power lines to be buried (verify with Civil)

General Standard	LDR Standard	Existing	Proposed
Floor Area Ratio	.52		.51
Landscape Surface Ratio	.55		.43
Height	35'		35'
Front Setback	20'		20'
Side Setback	5'		5'
Rear Setback	24'		24'
Parking Spaces	55		58

Proposed Uses

-Building 1 - Residential townhomes (2 Units) 3,625 s.f. Habitable, 1,865 s.f Non-Habitable
 -Basic Use Permit

-Building 2 - Residential townhomes (2 Units) 3,340 s.f. Habitable, 1,720 s.f. Non-Habitable
 -Basic Use Permit

Pedestrian Frontage

-Minimum landscape furnishing zone of 6'
 -Minimum 5' detached sidewalk

Building Frontage

-Grade level entrance with limited glazing
 -10'-0" floor to floor heights, 9'-0" ceiling heights
 -Primary street transparency 394 s.f. (322 s.f. 20% min.)
 -24'-0" max blank wall area

Landscape Plan

-Completed by Dave Weaver Landscape Architect, see sheet L1

Housing Mitigation Plan

-See Westview PUD

Housing Mitigation Deed Restrictions

-See Westview PUD

Design Review Committee

-See Westview PUD

All other Development Standards

-See Westview PUD



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: _____
Physical Address: _____
Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

_____ Basic Use
_____ Conditional Use
_____ Special Use

Relief from the LDRs

_____ Administrative Adjustment
_____ Variance
_____ Beneficial Use Determination
_____ Appeal of an Admin. Decision

Physical Development

_____ Sketch Plan
_____ Development Plan
_____ Design Review

Subdivision/Development Option

_____ Subdivision Plat
_____ Boundary Adjustment (replat)
_____ Boundary Adjustment (no plat)
_____ Development Option Plan

Interpretations

_____ Formal Interpretation
_____ Zoning Compliance Verification

Amendments to the LDRs

_____ LDR Text Amendment
_____ Map Amendment

Miscellaneous

_____ Other: _____
_____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: D16-085 Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

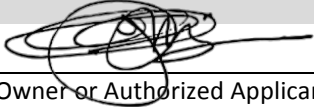
_____ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

_____ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent

Date

Name Printed

Title

LETTER OF AUTHORIZATION

Batch Plant Partners, LLC

, "Owner" whose address is: _____

PO Box 689, Wilson, WY 83014-0689

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Batch Plant Partners, LLC

, as the owner of property

more specifically legally described as: Batch Plant Rd Units

315-327 Batch Plant Road

(Formally known as West View Townhome - Upper Units)

(If too lengthy, attach description)

HEREBY AUTHORIZES DA Architects

as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Frank C. Fulle

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: MANAGING MEMBER

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF

Wyoming

) SS.

COUNTY OF

Teton

)

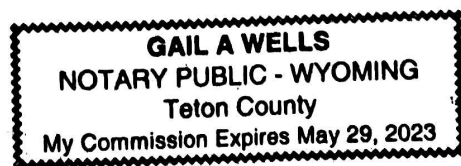
The foregoing instrument was acknowledged before me by Gail A. Wells this 11th day of November, 2020.

WITNESS my hand and official seal.

Gail A. Wells
(Notary Public)

My commission expires: May 29, 2023

(Seal)





BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD JACKSON WY
PERMIT AMENDMENT
11-9-20



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST STE 201 JACKSON WY 83001
(O) 307 733 3600
designassociatesarchitects.com
PROJECT NO. 20-07 ARCHITECT: CTL
© 2020 DESIGN ASSOCIATES ARCHITECTS



ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

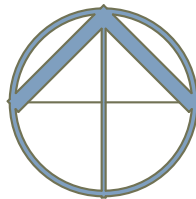
PERMIT AMENDMENT
11-9-20

A000

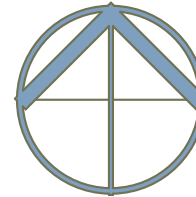
COVER



VICINITY MAP



EXISTING CONDITIONS



OWNER	FSD INVESTMENTS, LLC ERIC GROVE POB 9879 JACKSON, WY 83002 307 413 4088
ARCHITECT	DESIGN ASSOCIATES ARCHITECTS CHRISTOPHER LEE 50 S KING ST, STE 201 JACKSON, WY 83001 307 733 3600
STRUCTURAL/CIVIL	JORGENSEN ASSOCIATES JASON MANN/REED ARMIJO 1315 HWY 89 S JACKSON, WY 83002 307 733 5150
LANDSCAPE ARCHITECT	DAVID WEAVER & ASSOCIATES DAVID WEAVER 1605 S WOODRUFF AVE IDAHO FALLS, ID 83404 208 529 9504
STRUCTURAL INSUL PANELS	ENERCEPT, INC. WADE MOSS 3100 9TH AVE SE WATERTOWN, SD 57201 605 882 2222
DECKS/STAIRS	SHOREMASTER, LLC GARY HAFFLEY 1025 INTERNATIONAL DR FERGUS FALLS, MN 56537 800 328 8945
GENERAL CONTRACTOR	JINGCO CONSTRUCTION LLP MANUEL JINGCO 44589 ROOSEVELT DR EMILY, MN 56447

SET	TITLE	SHEET
PROJECT INFO		
	COVER	A000
	PROJECT INFO	A001
	PROJECT NOTES	A002
	SF DIAGRAM	A003
CONSTRUCTION DRAWINGS		
	SITE PLAN	A100
	PLAN	A200
	PLAN	A201
	PLAN	A202
	PLAN	A203
	PLAN	A204
	SECTIONS	A300
	SECTIONS	A301
	ELEVATIONS	A400
	ELEVATIONS	A401
	SCHEDULES	A500
	SCHEDULES	A501
	WALL SECTIONS	A600
	DETAILS	A700
ELECTRICAL		
	ELECTRICAL LAYOUT	E200
	ELECTRICAL PLAN	E201
	ELECTRICAL PLAN	E202
	ELECTRICAL PLAN	E203
	CALCS	E204
MECHANICAL		
	RESCHECK	M100
	MECHANICAL	M200
	MECHANICAL	M201
	MECHANICAL	M202



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY 83001
(O) 307 733 3600

designassociatesarchitects.com

PROJECT NO. 20-07 ARCHITECT: CTL
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BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

A001

PROJECT INFO

PLANNING NOTES

PROPERTY DESCRIPTION/NAME	WESTVIEW TOWNHOMES
	20 MULTI-FAMILY TOWNHOMES WITH ATTACHED GARAGES
PROPERTY ADDRESS	1255 W HIGHWAY 22 JACKSON, WY 83001
PROPERTY OWNER	FSD INVESTMENTS, LLC POB 9879 JACKSON, WY 83002
APPLICANT'S NAME	CHRISTOPHER LEE DESIGN ASSOCIATES ARCHITECTS 50 KING ST, SUITE 201 JACKSON, WY 83001
ZONING	PUD-NM-2
RESOURCE OVERLAYS	N/A
BUILDING OCCUPANCY & USE	R-3 RESIDENTIAL
TYPE OF CONSTRUCTION	V-A
GROSS SITE AREA	1.1 ACRES 47,916 SF
NET SITE AREA	.91 ACRES 43,385 SF
FAR	.51 (22,325 SF)
ALLOWED	.52 (22,560 SF)
LSR	.43 (20,676 SF)
MINIMUM	.55 (23,879 SF)
SITE DEVELOPMENT	.26 (11,172 SF)
ALLOWED	.24 (10,496 SF)
SLOPE TO BE DEVELOPED	
UNITS	<30%
DRIVEWAY	<2%
TERRACES	<2%
SETBACKS	
STREET	20'
REAR	24'
SIDE	5'
HEIGHT OF STRUCTURE	<35'
ALLOWED	35'
STORIES	3
ALLOWED	3
DENSITY	20 UNITS
ALLOWED	20 UNITS
PARKING	40 + 18 GUEST SPACES
MINIMUM	40 + 15 GUEST SPACES
GROSS SQUARE FOOTAGE	
EXISTING	0 SF
2BR UNITS (16 TOTAL) - BUILDINGS 1-4	
HABITABLE ABOVE	960 SF (per unit)
HABITABLE BELOW	0
TOTAL HABITABLE	15,360 SF
ALLOWED	
NON-HABITABLE ABOVE	480 SF (per unit)
NON-HABITABLE BELOW	0
TOTAL NON-HABITABLE	7,680 SF
ALLOWED	
PATIOS	
DECKS	2,336 SF
3BR UNITS (4 TOTAL) - BUILDINGS 5-6	
HABITABLE ABOVE	6,965 SF
HABITABLE BELOW	0
TOTAL HABITABLE	6,965 SF
ALLOWED	
NON-HABITABLE ABOVE	3,585 SF
NON-HABITABLE BELOW	0
TOTAL NON-HABITABLE	3,585 SF
ALLOWED	
PATIOS	
DECKS	1,450 SF
DEVELOPMENT	
TOTAL HABITABLE 2BR	15,360 SF
TOTAL HABITABLE 3BR	6,965 SF
TOTAL HABITABLE	22,325 SF
TOTAL NON-HABITABLE 2BR	7,680 SF
TOTAL NON-HABITABLE 3BR	3,585 SF
TOTAL NON-HABITABLE	11,265 SF
ALLOWED	
FENESTRATION CALCULATION	
GROSS SQUARE FOOTAGE	33,224 SF
FENESTRATION PROPOSED - WINDOWS	2,990
FENESTRATION PROPOSED - DOORS	3,946
TOTAL FENESTRATION	6,936
FENESTRATION ALLOWED (30%)	9,967
NUMBER OF BED/BATH/KITCHEN (EACH UNIT)	2BR - 3BR
EXISTING	0
PROPOSED	2 - 3
BEDROOMS	1.5 - 2.5
BATHROOMS	1 - 1
KITCHENS	
ICE MELT (EXTERIOR HYDRONIC HEAT)	0 SF

BUILDING NOTES

CODES USED:	2018 International Residential Code w/ TOJ Amendments 2018 International Fire Code w/ TOJ Amendments 2012 International Energy Conservation Code 2014 National Electric Code w/ TOJ Amendments 2018 International Mechanical Code w/ TOJ Amendments 2018 International Plumbing Code w/ TOJ Amendments
GENERAL CONSTRUCTION NOTES	
1.	General Contractor is responsible to assure he and all Sub-contractors requiring a license to work in the Town of Jackson have one. All work must comply with the above mentioned Building Codes and additional Resolutions as adopted by the Town of Jackson. Design criteria to meet Town of Jackson standards including: Type VA Construction, Seismic Zone D, 93 PSF snow load, 115 MPH/3 sec wind load.
2.	Slabs below living spaces will be ventilated. Ventilation system will consist of four (4) inch perforated pipe placed around the in of the exterior foundation. The pipe will be placed with holes down and bedded in 4 inches of washed gravel of pea size or larger without fines. The piping will be connected to a solid vertical pipe which will pass through the roof, see note 25. A barrier of polyethylene sheeting will be placed over the system and gravel. All laps of sheeting will be at least one foot. The sheeting will be sealed around penetrations and to the foundation walls. A cover of four inches of sand or crushed gravel will then be placed over the sheeting to receive the slab. All cracks in floor slabs, joints where the floor meets the foundation walls and penetration through the basement floor are to be similarly sealed.
3.	All wood in direct contact with concrete or masonry and within 8" of grade will be pressure treated wood or foundation grade redwood. This will include all sills plates, ledgers and foundation posts.
4.	36 inch high protective guardrails are provided for porches or decks more than 30 inches above grade, balconies and open sides of landings. Maximum opening between railings will be less than 4 inches. Guardrails shall be capable of withstanding a 20 pound per lineal foot force to the top of the rail.
5.	Handrails are provided on both sides of the stairway at a height of 34"-38" above the nosing of treads and landings. Handrails will be continuous the full length of the stairs. Ends are returned or terminate in safety terminals. Handrails projecting from the wall have a space of not less than 1-1/2 inches between the wall and the handrail and extend minimum 11"-12" beyond last tread.
6.	The handgrip portion of handrails is not less than 1-1/4 inches nor more than 2-inches in cross-sectional dimension. The handgrip portion of handrails has no sharp corners.
7.	The electric fireplace appliance installations will conform to all manufacturers recommendations for clearances. Provide firestopping per IRC.
8.	There is no gas for this project.
9.	There are no gas fuel appliances (fireplace) proposed in this project.
10.	All bathrooms have mechanical exhaust fans. Such exhaust fans shall be capable of providing 5 air changes per hour and ducted to outside air. See mechanical drawings for system design.
11.	Ducts used for bathroom venting shall be constructed of rigid metal having smooth interior surfaces with male joints running in the direction of the airflow.
12.	All mechanical and plumbing shall conform to the 2018 International Residential Code and 2018 International Plumbing Codes respectively as amended by the Town of Jackson Building Department. HVAC systems to be designed and loads calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances. All ventilation and air exchanger loads to be calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances. Duct construction and installation methods as well as penetrations through fire resistance rated assemblies including shaft, fire dampers and/or smoke damper locations shall be installed as req.
13.	All electrical shall conform to the 2014 National Electric Code as amended by the Town of Jackson Building Department. Electrical systems to be designed and loads calculated by installer per manufacturer's instructions including the equipment capacity, controls equipment locations, access and clearances.
14.	Drainage systems located under slab or permanently non-accessible, shall be tested prior to backfill and placement of slab. Test may be by water or air. If by water, all portions of the system being tested shall be tightly closed and the system filled with water to a point at least 10 feet above the lowest point of the system. If by air, all portions of the system being tested shall be tightly closed and the system shall be pressurized to a uniform pressure of not less than 5 pounds per square inch (10 inches of mercury column)amended In either case, all piping shall be fully supported by earth and shaded leaving the top of all fittings and pipe exposed for inspection. Mounding of long runs of piping at intervals of not less than 5 feet is acceptable.
15.	Ufer grounding system (as per NEC Art. 250-81 (c)); grounding conductor shall be attached to a single driven ground rod; secondary grounding protection shall also be made to metallic water system. Services of 200 Amps or less shall be a minimum of No. 4 bare copper wire connected to footing steel with an approved grounding clamp. Services larger than 200 Amps shall be sized in accordance with Table 250-66 and consist of a minimum of twenty feet of bare copper wire suspended in the footings with enough additional wire to ground to the panel without splice.
16.	GFCI protection outlets for the following locations: a. bathrooms; b. kitchens and coffee bar sinks for all countertop outlets and island counters; c. garages, for all non-dedicated outlets within 8 feet of the finished floor; d. crawl spaces; and e. exterior outlets.
17.	Smoke alarms are provided in all the required locations, see Electrical Sheets for locations. These alarms will be part of the security system contract and will meet all requirements called for in the building code.
18.	Electrical panels or sub panels will not be installed in the following locations: a. in any closet. b. In any one or two-hour fire-rated wall assembly; or c. behind any door, unless the door is lockable from the panel side for service.
19.	All branch circuits feeding outlets in bedrooms will be protected by arc-fault devices. This includes lighting and hard-wired smoke detectors.
20.	Exterior lighting will have total cutoff of light at an angle of less than 90 degrees and be located so that a bare light bulb, lamp, or light source is completely shielded from direct view from a vantage point five feet above the ground at a perimeter of the lighted area. The light, furthermore, will be contained entirely on-site. The maximum permitted mounting height of the luminaries or fixture is 15 feet. All common stairwell areas to have automatic lighting controls with sensors to control lights when sufficient daylight is available and lighting shall be reduced by at least 30% at 12:00am.
21.	Recessed lighting fixtures will not be installed in insulated ceilings unless there is adequate opportunity to maintain the insulation of the envelope.
22.	Insulation will meet or exceed the Town required minimums and the 2012 IECC for CZ 7, which are as follows: Ceilings/Roofs R-49 Wood Frame Walls R-20+5 or 13+10' Floors Over Unheated Crawl Space R-38 Basement and Crawlpace Walls R-15/19² Slab on Grade (perimeter to two feet outside exterior walls) R-10 - 4' min. ³

BUILDING NOTES

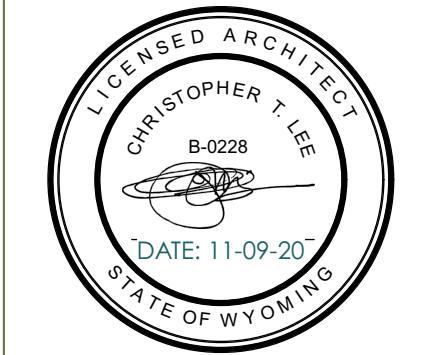
This Project will have:*		
Ceilings/Roofs	12" EPS	R-49
Walls	7 3/8" EPS	R-32 + 5²
Floors	12" FBI	R-42
Foundation Walls	2 1/2" RFI	R-12.5
Slabs	3" RFI	R-15 - 4' min. ³
¹ 20+5 means R20 cavity + R5 continuous. ² R15/19 means R-15 continuous or R-19 cavity ³ R-10 - 4 min. means R-10 for 4' in from exterior minimum.		
Insulation R-Values Used:		
CCSPII - Closed Cell Sprayed Polyurethane Foam Insulation		R-6.5/IN
EPS - Expanded Polystyrene		R-4.0/IN
FBI - Fiberglass Batt Insulation		R-3.5/IN
RFI - Rigid Foam Insulation		R-5.0/IN
All windows are NFRC certified - U-32 or better. * Or better if better products are available.		
23.	All windows have a maximum U- value of U-.32 (Low E windows). Windows will clearly indicate this value or appropriate documentation will be available.	
24.	All exterior doors, with the exception of the main entry, will have a minimum U- value of U-.32 (metal insulated doors or equal) amended. Appropriate documentation will be available.	
25.	Radon venting is not necessary for this project.	
26.	Roof covering will be Class B or better, the ventilation of the airspace is to be fire stopped.	
27.	Firewood will not be stored on the decks or under the roof overhangs.	
28.	There is NO LPG container proposed in this project.	
29.	The underside of all floors, beams, columns and supporting walls are protected as required for exterior 30 min to 2 hr fire resistance rated construction - 2 layers 5/8" type X GWB taped and sealed per 1 hr assembly.	
30.	No individual vent opening will exceed 144 sq. inches. Each will have a noncombustible corrosion resistance mesh w/ openings no greater than ¼".	
31.	The Residence Address is located on the drive entrance side of the building.	
32.	All Strctural Design Load Criteria are called out in Structural Sheets.	
33.	All Attic accesses are sized and located on the Architectural Sheets.	
34.	This project is NOT in the Wildland-Urban Interface.	
35.	This property is NOT within the FEMA Special Flood Hazard Area.	
36.	This project may not be subject to relatively high ground water.	
37.	This project will NOT be equipped with an automatic fire suppression system (sprinklers).	
38.	This project will use radiant heating (including garages) to be designed by installer. See Mech drawings for specs.	
39.	All Mechanical Equipment to have a minimum 30" x 30" access and clear path at unit access for maintenance. See Mech drawings for equipment locations.	
40.	Mechanical Contractor to provide HRV for Whole House Ventilation System per IRC.	
41.	All Baths to have exhaust fans, 80 - 100 CFM, Broan or Panasonic OAE.	
42.	Contractor to provide EPS MUA 950, 22KW at Kitchen Hood. Mechanical Contractor to provide MAU for Kitchen Hood apx. equal in size to hood exhaust per IRC 1503.4	
43.	Connection to water supply is to be protected by the use of back flow devices. Back flow devices to be as follows: Double for irrigation, Dual for Domestic, Reduced Pressure for Fire Suppression. Valves to be located by Plumbing Contractor in accord w/ 2018 IRC.	
44.	All plumbing to meet seismic requirements of the 2015 IRC, 2801.7. Water heaters to be installed per manufacturer's instructic and loads calculated by installer. All hot water piping to be insulated for full length of run.	
45.	All plumbing fixture specs including identification of the applicable referenced quality control standards and the maximum flow rates for the the plumbing fixtures to be provided by the installer.	
46.	This building has no ejectors or sumps.	
47.	There are no concealed slip joints in this project.	
48.	Landscaping shall conform with Division 5.5 of the Teton County LDRs.	
49.	Metal flashing shall be installed, including but not limited to, all windows, exterior doors, masonry intersecting with framing, above projecting trim and where exterior walls are intersected by roofs or decks.	
50.	All vents for dryer, kitchen and bath fans are to comply with applicable rated exterior wall assembly per IRC requirements.	
51.	Plumbing piping to be ABS with 3M Fire Barrier PPD3 (o.a.e.) fire collars and caulk at penetrations per IRC where necessary.	



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ISSUE HISTORY		
SYN	ISSUE	DATE
1	PRELIMINARY	9/24/20
19	REVISION CHANGES	10/28/20
2	PERMIT	11/28/20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

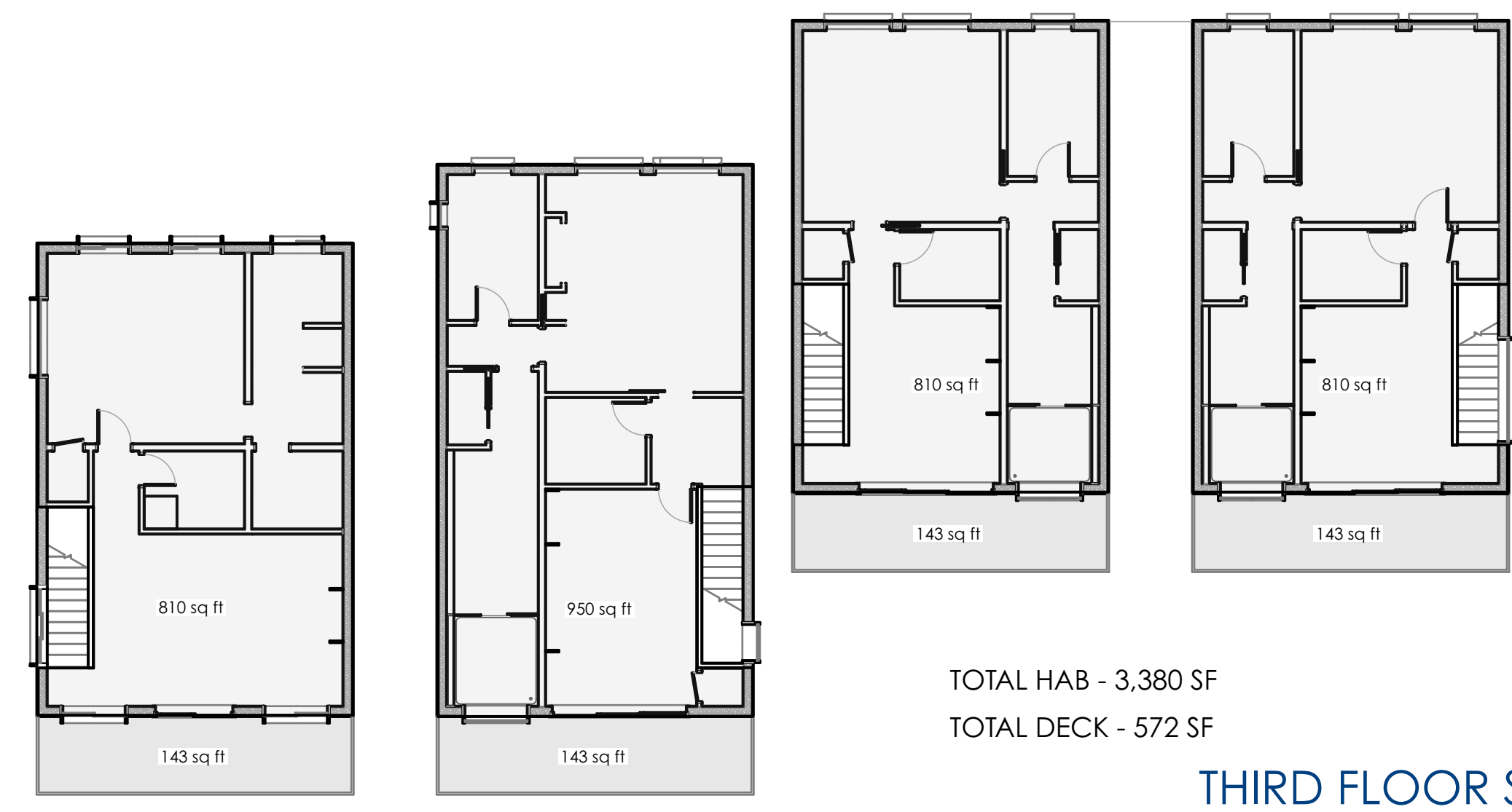
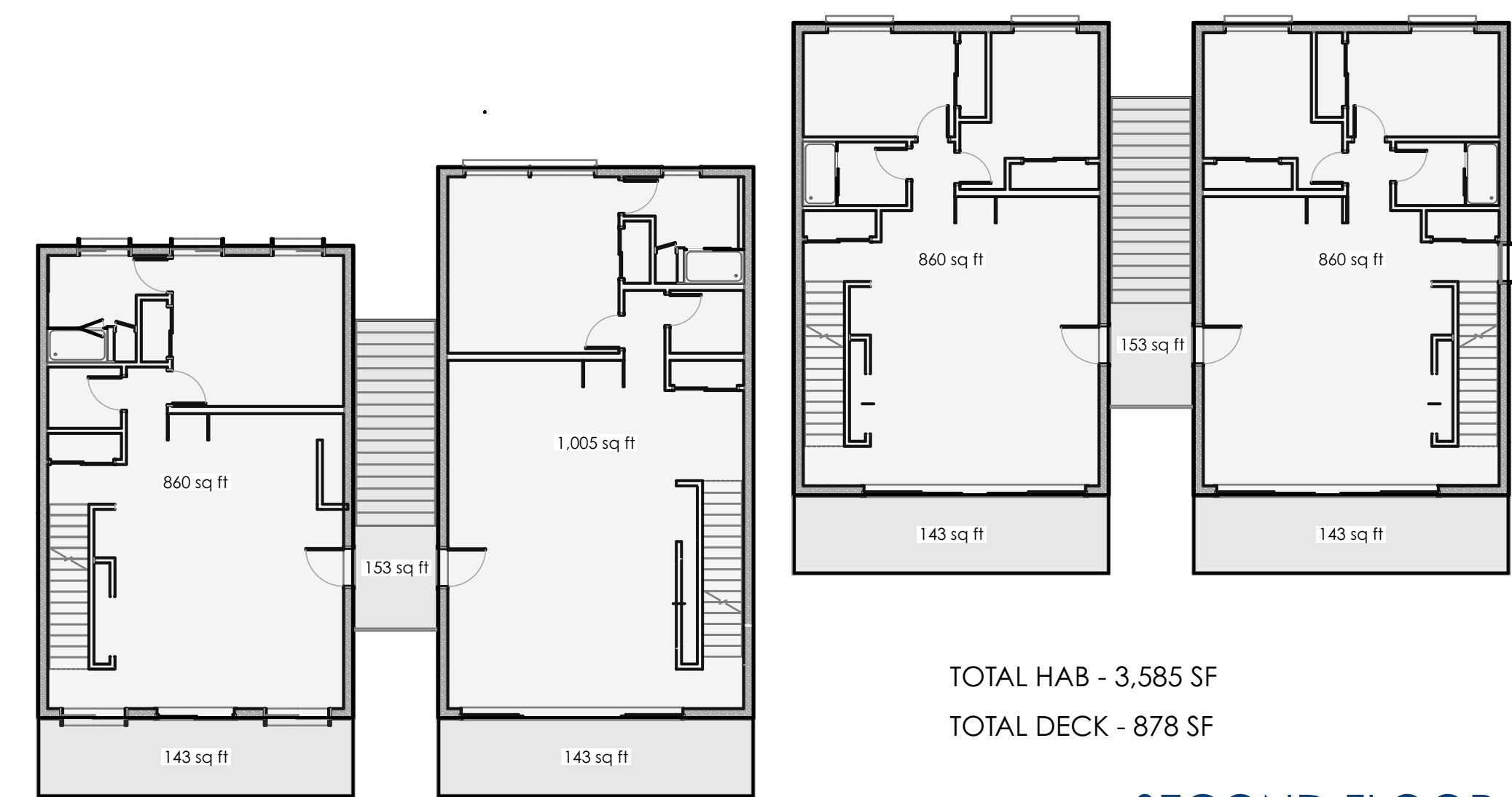
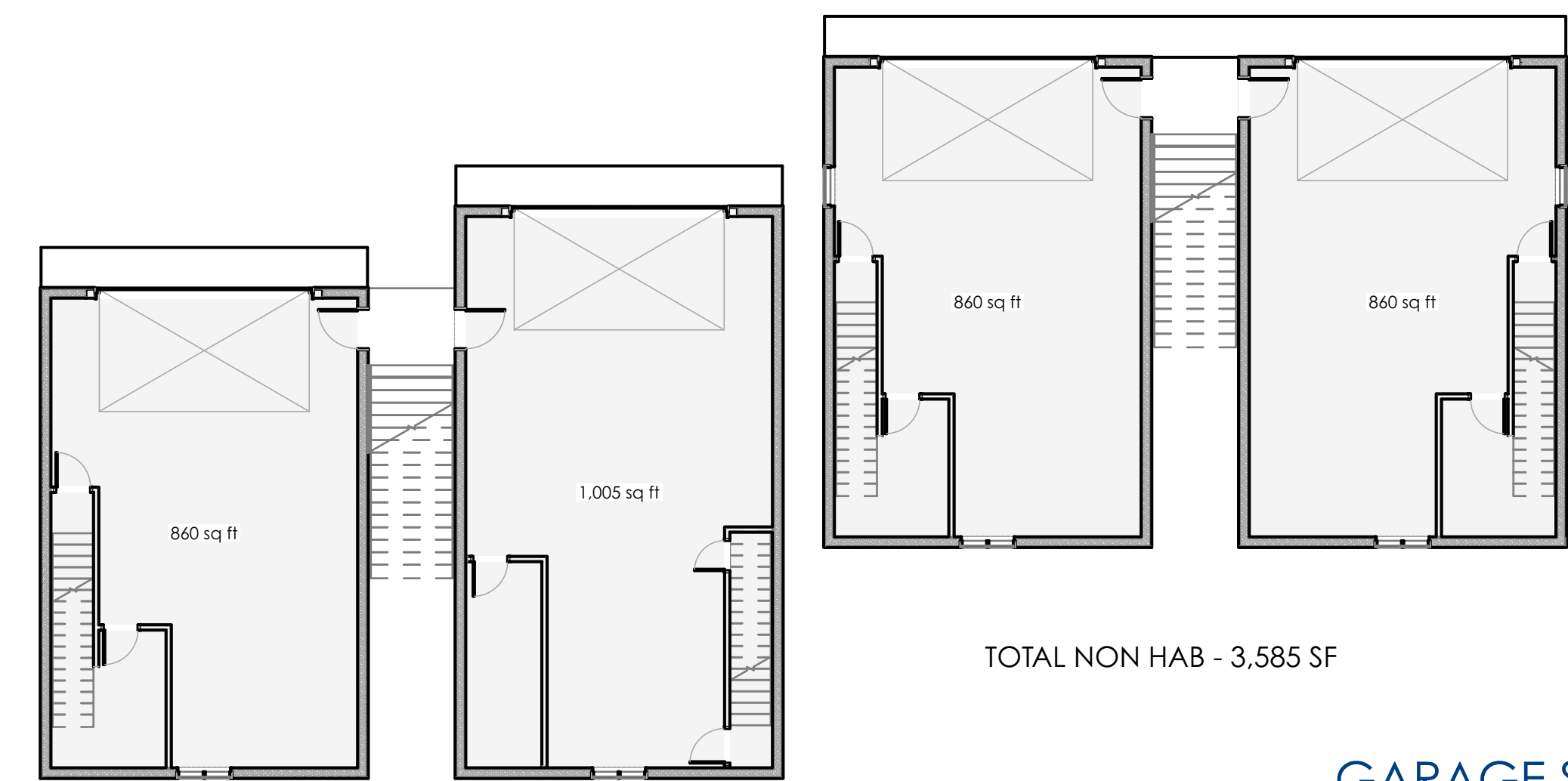
BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT

11-9-20

A002

PROJECT NOTES



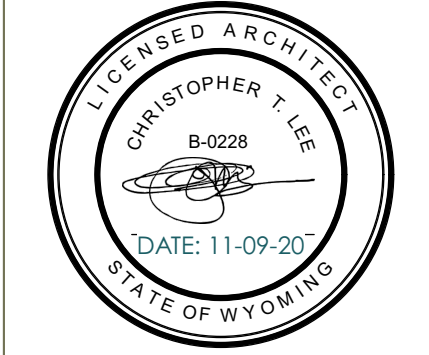
ISSUE HISTORY		
M.	ISSUE	DATE
1	PRELIMINARY	2-24-20
2	10-7-14 CHANGES PERMIT	8-29-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20



- SITE NOTES:
1. BUILDINGS 1-4 ARE THE 2BR UNITS
BUILDINGS 5-6 ARE THE 3BR UNITS
SEE CIVIL DRAWINGS FOR GRADING
& UTILITIES.
 2. SEE LANDSCAPE DRAWINGS FOR
LANDSCAPE DESIGN.



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ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	9/24/20
2	PERMIT	11/9/20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

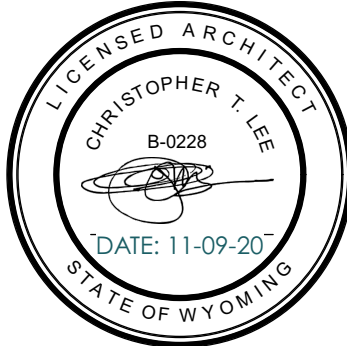
PERMIT AMENDMENT
11-9-20

A100

SITE PLAN



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ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD
JACKSON, WY

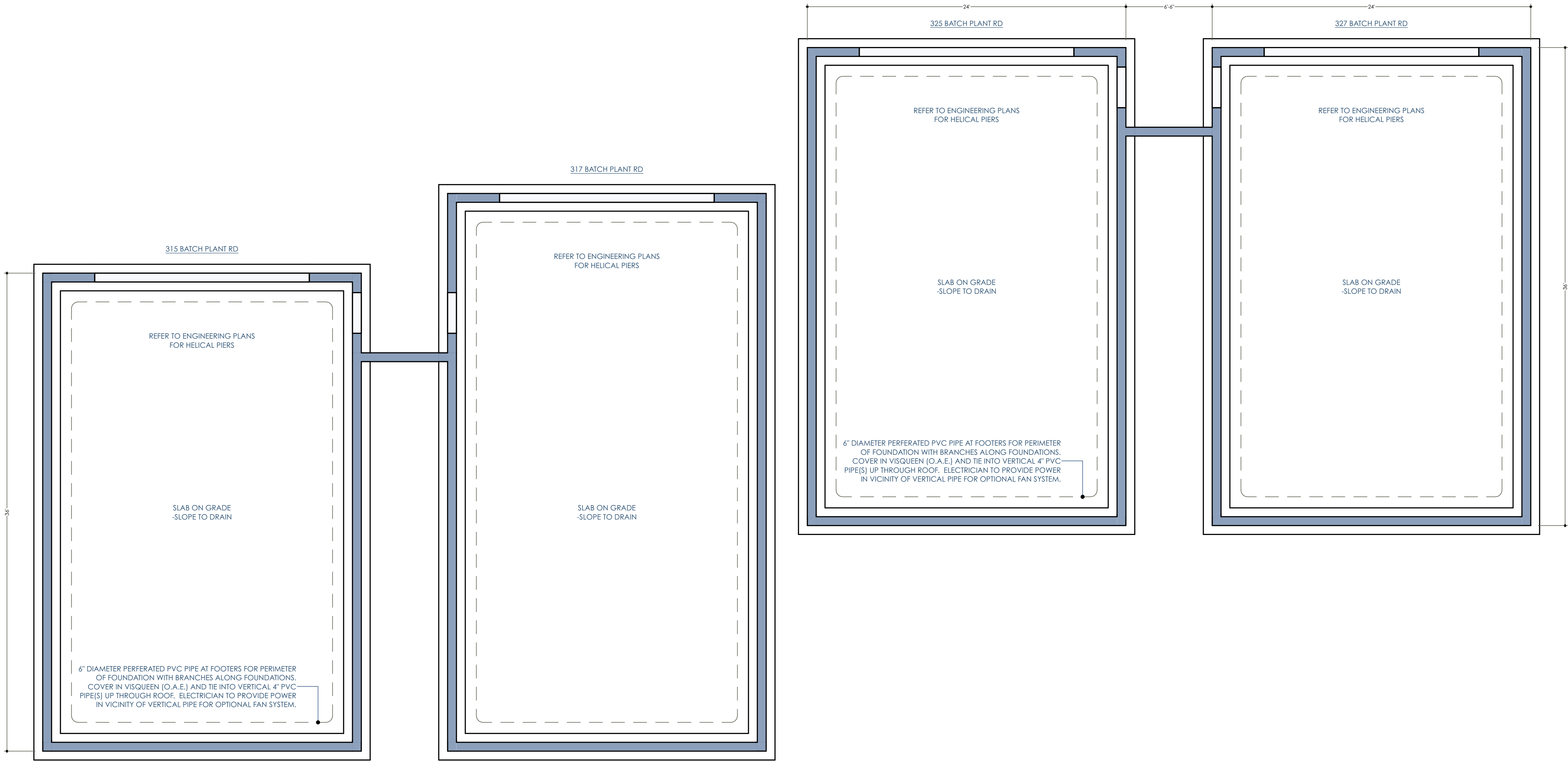
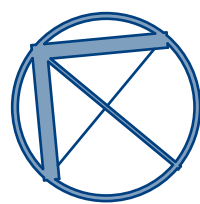
PERMIT AMENDMENT
11-9-20

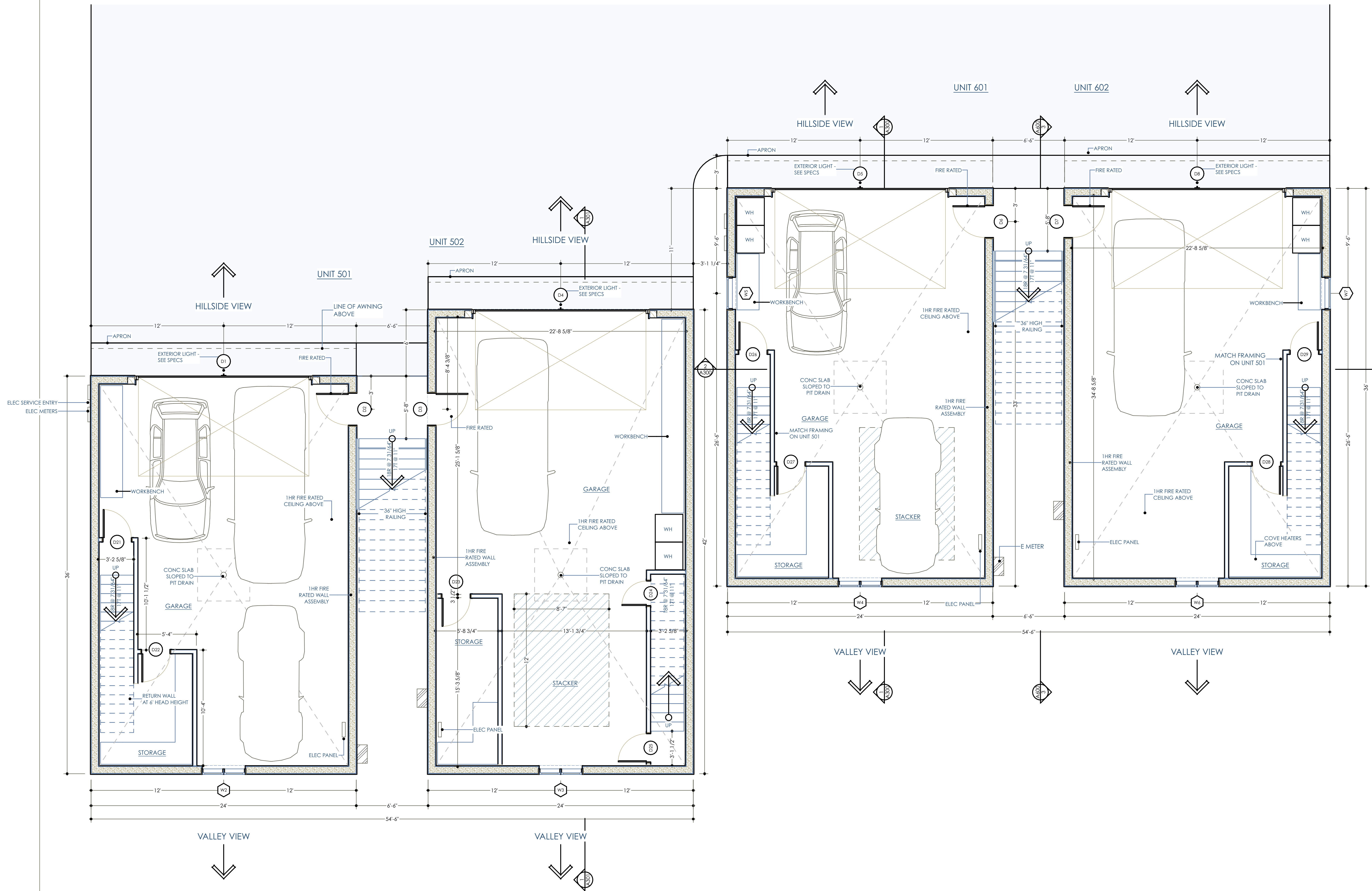
A200

PLAN

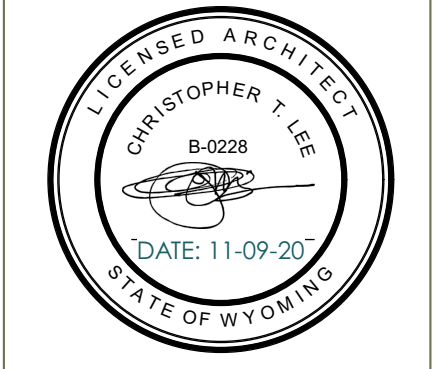
BASEMENT PLAN

SCALE: 1/4" = 1'-0"





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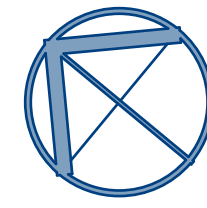
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

A201

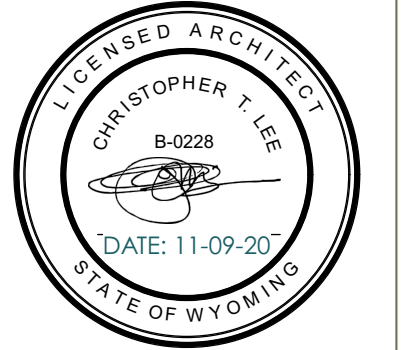
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN



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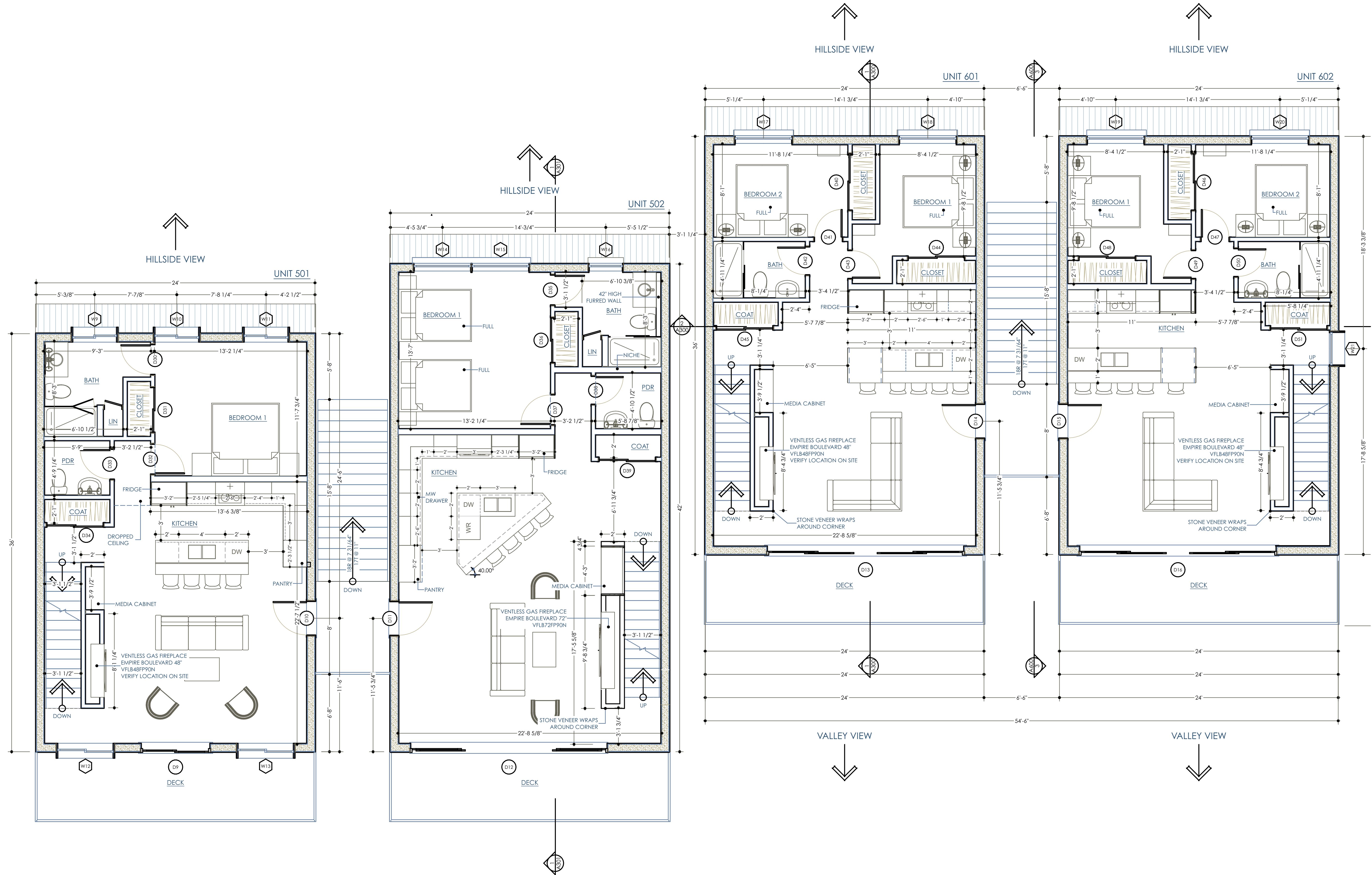
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

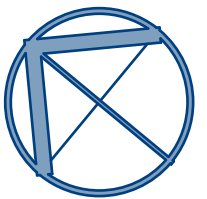
PERMIT AMENDMENT
11-9-20

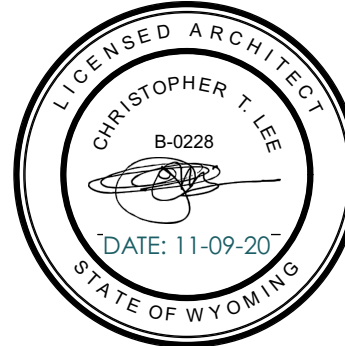
A202

PLAN



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"





ISSUE HISTORY

M.	ISSUE	DATE
1	PRELIMINARY	2-21-
2	PERMIT	4-30-
3	PERMIT ADDENDUM I	10-1-
4	PERMIT ADDENDUM II	10-1-
5	PERMIT ADDENDUM III	11-1-

BATCH PLANT RD UNITS

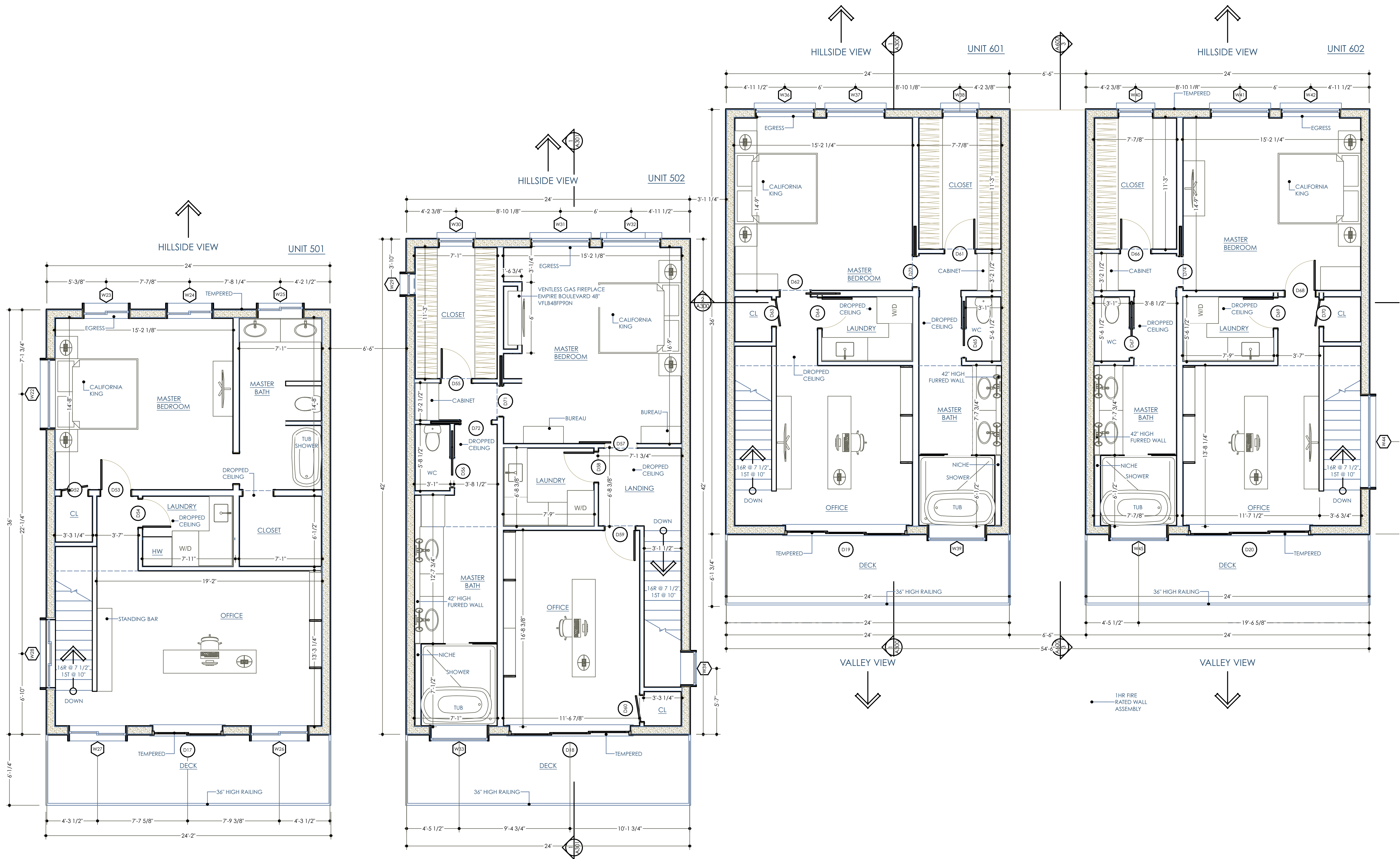
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT

11-9-20

A203

PLAN



THIRD FLOOR PLAN

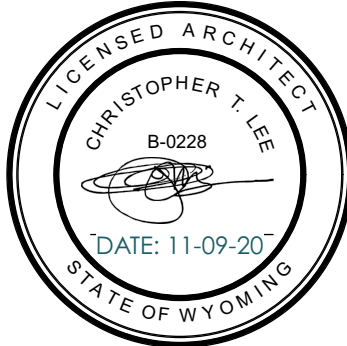
SCALE: 1/4" = 1'-0"





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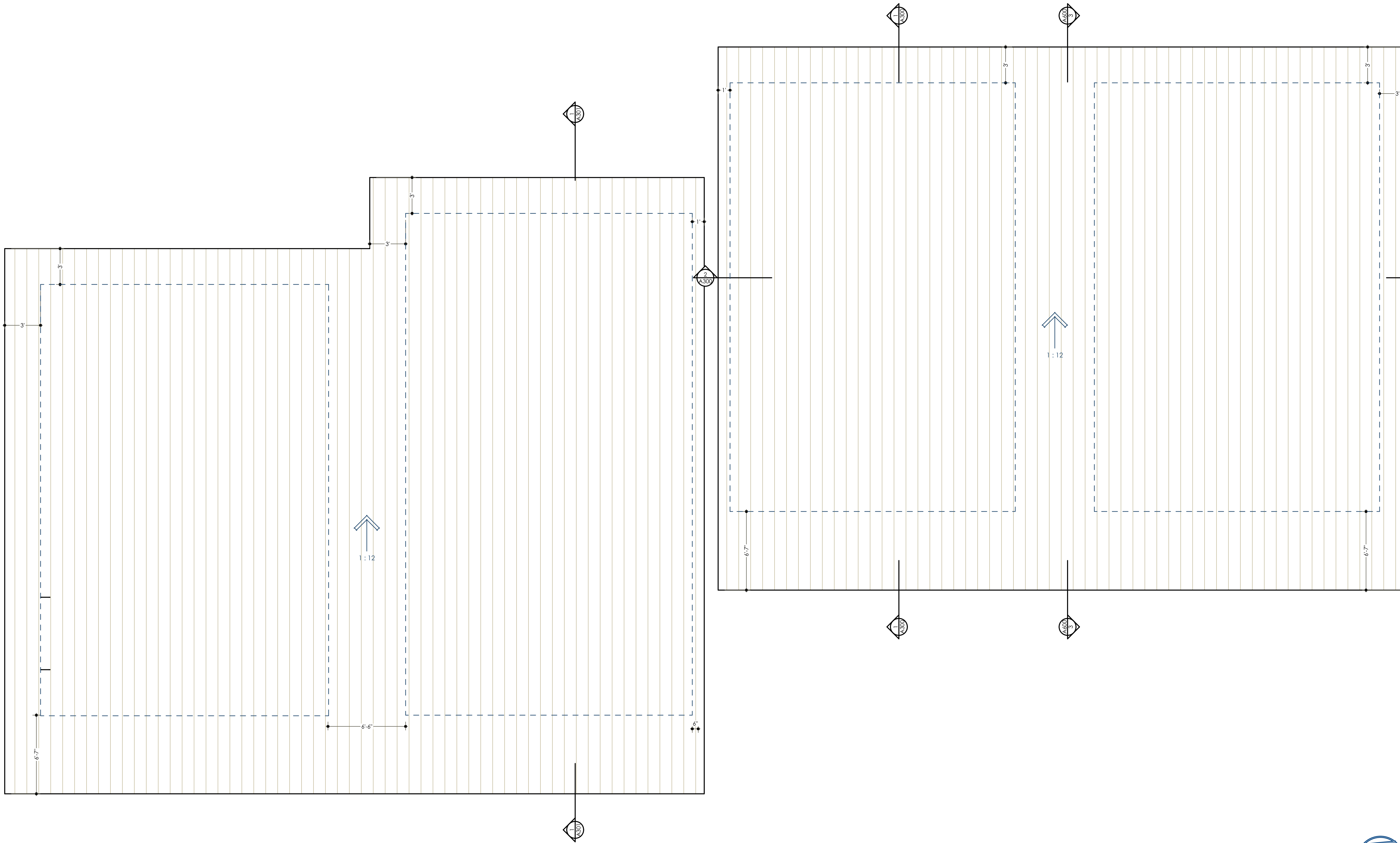
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

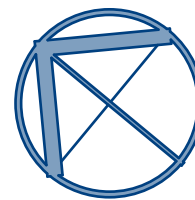
PERMIT AMENDMENT
11-9-20

A204

PLAN



ROOF PLAN
SCALE: 1/4" = 1'-0"





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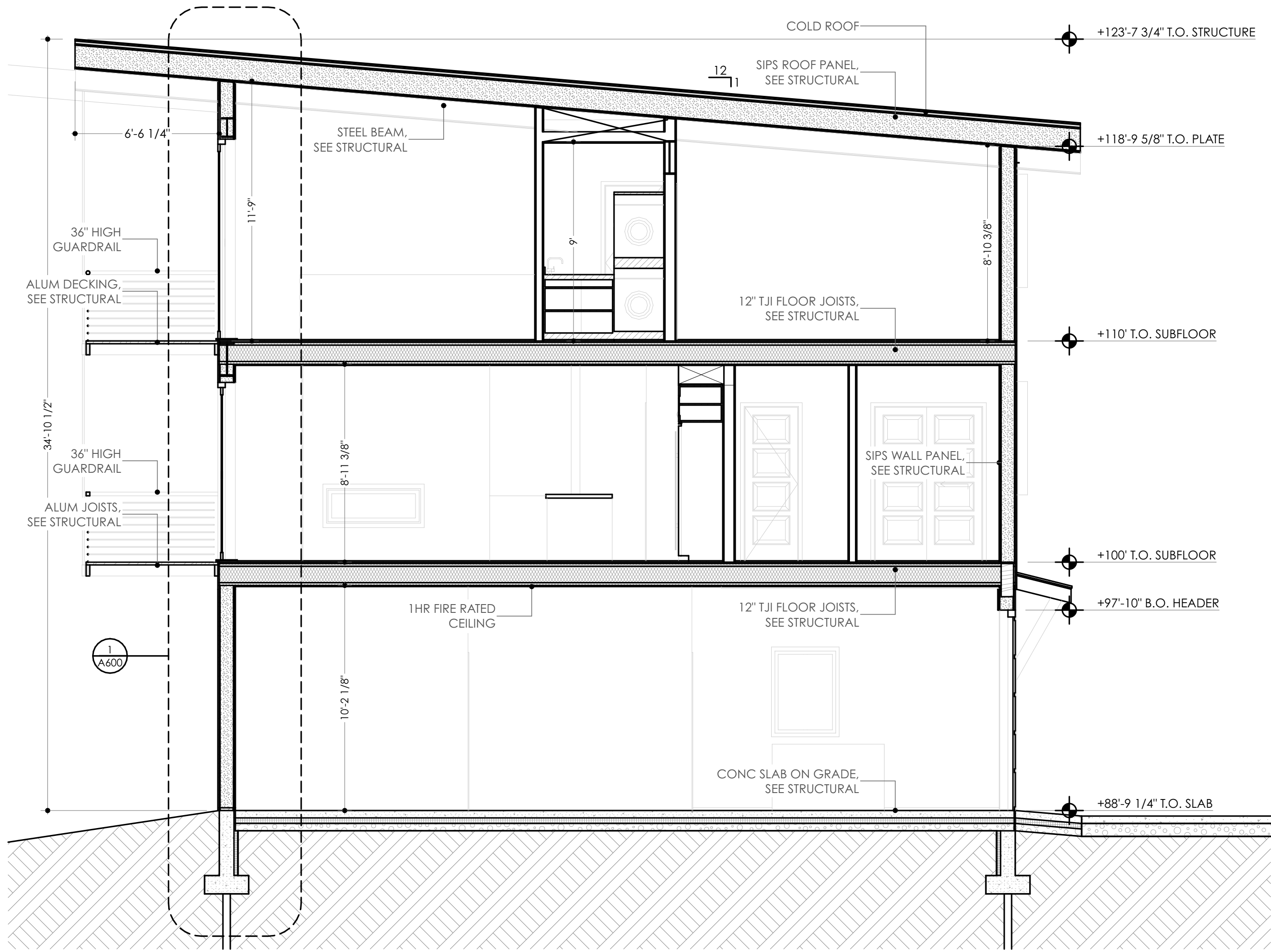
ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

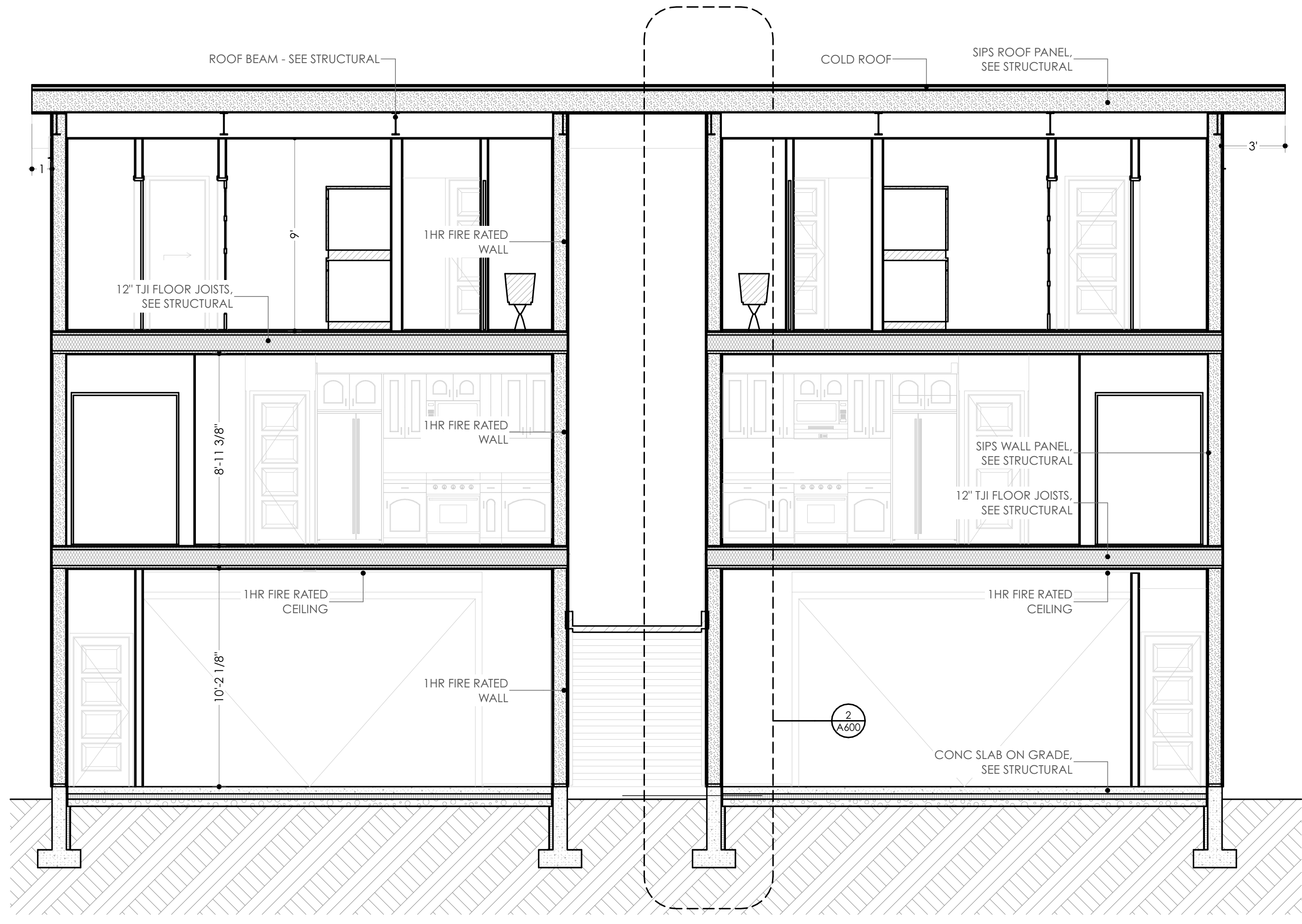
PERMIT AMENDMENT
11-9-20

A300

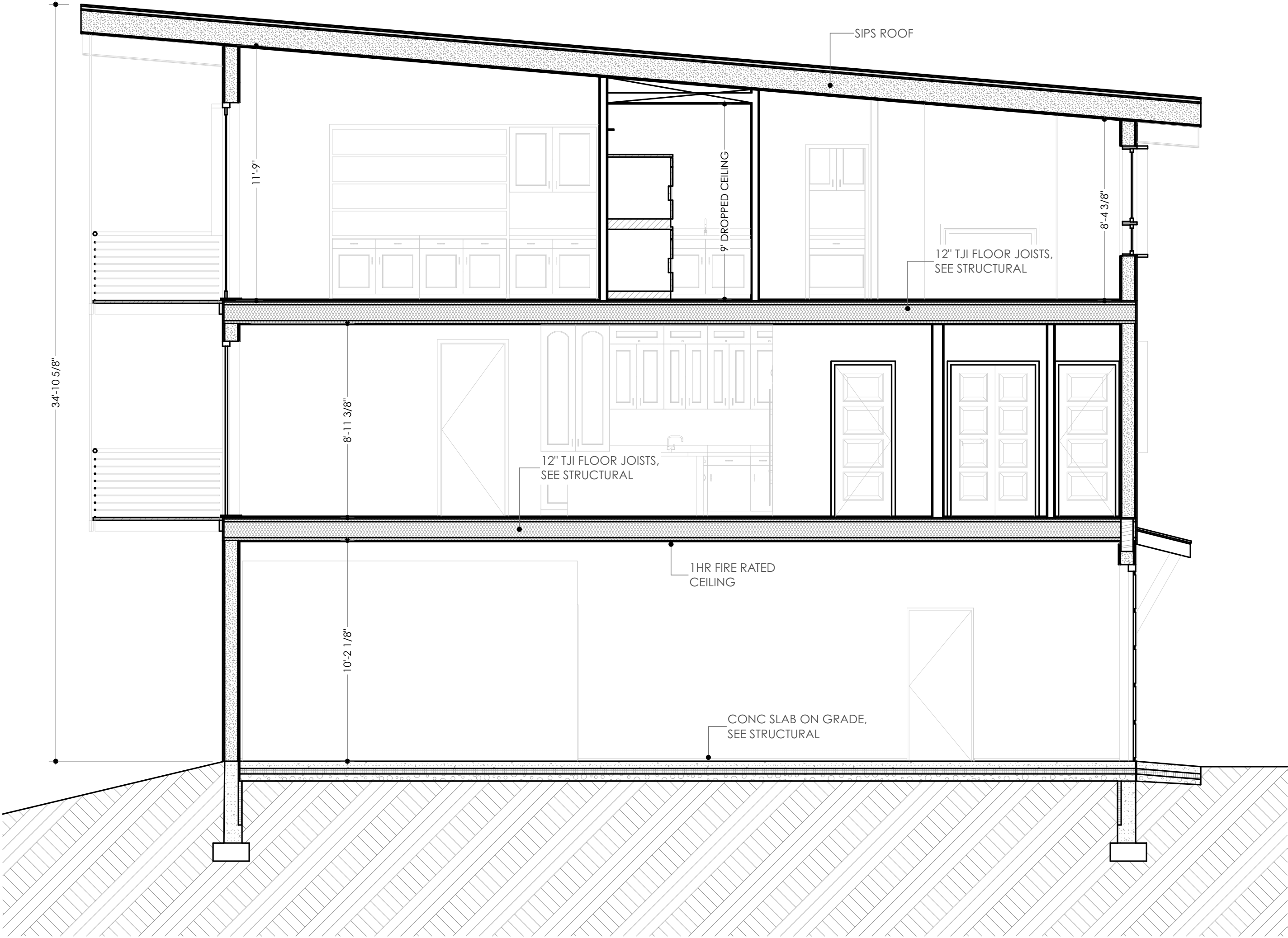
SECTIONS



SECTION 1
SCALE: 1/4" = 1'-0"



SECTION 2
SCALE: 1/4" = 1'-0"



1
A301

SECTION

SCALE: 1/4" = 1'-0"

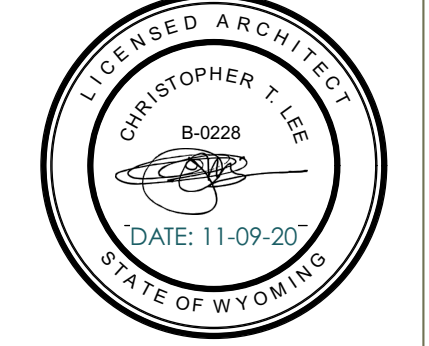


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ISSUE HISTORY

SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
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5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT

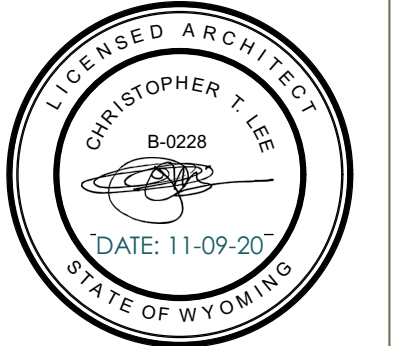
11-9-20

A301

SECTIONS



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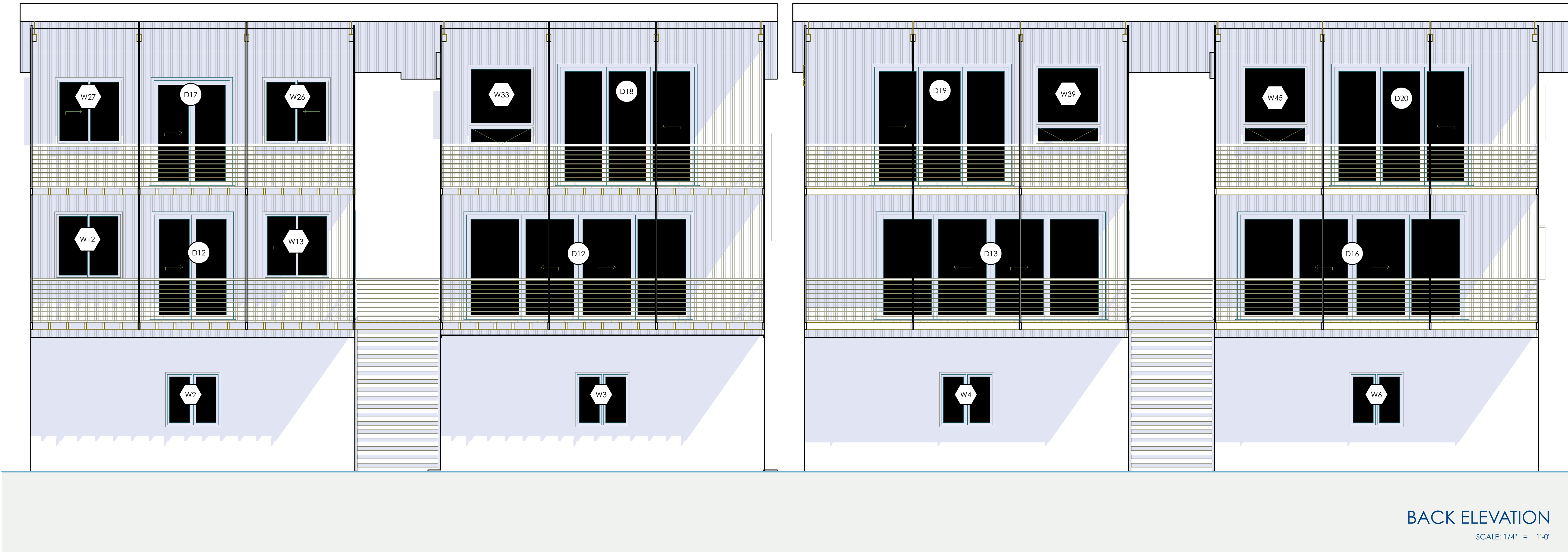
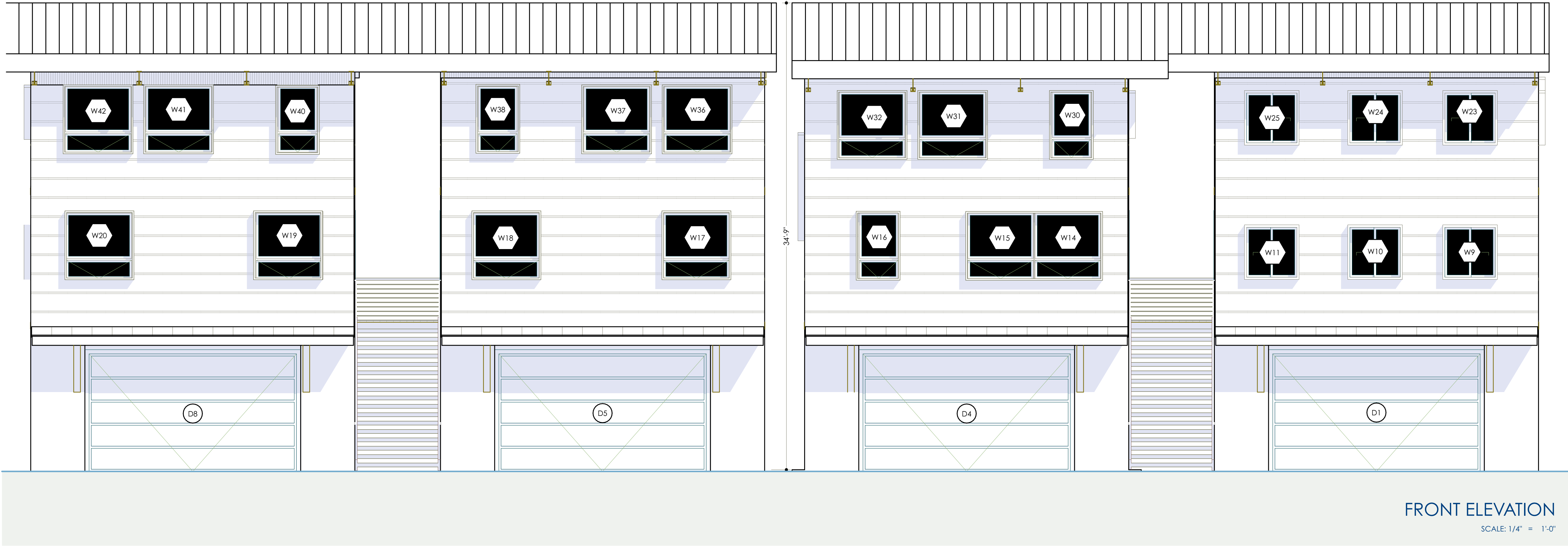
ISSUE HISTORY		
SYMBOL	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

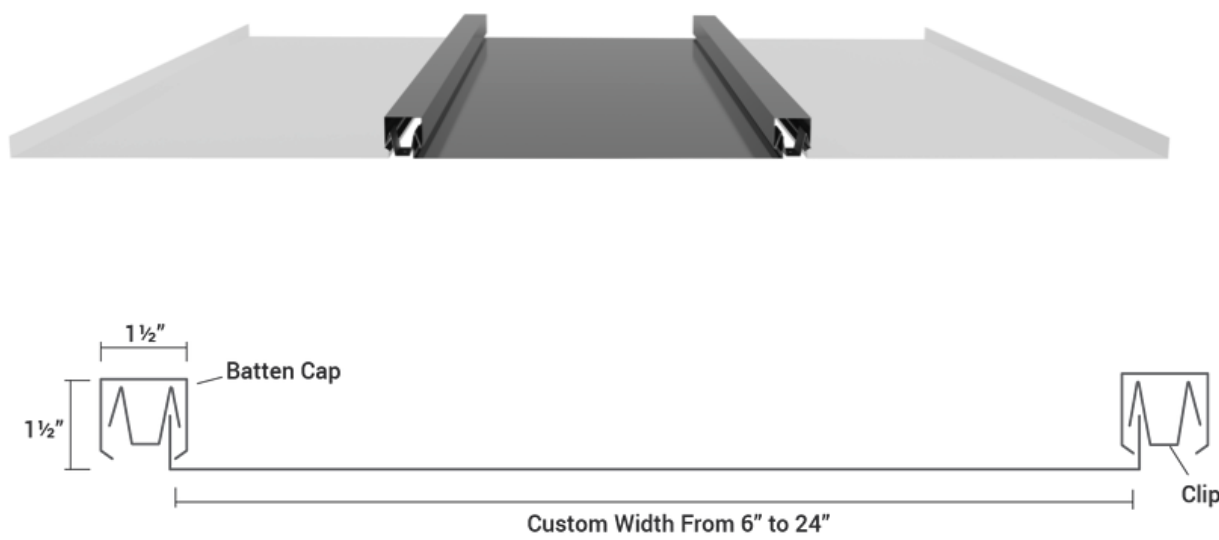
PERMIT AMENDMENT
11-9-20

A400

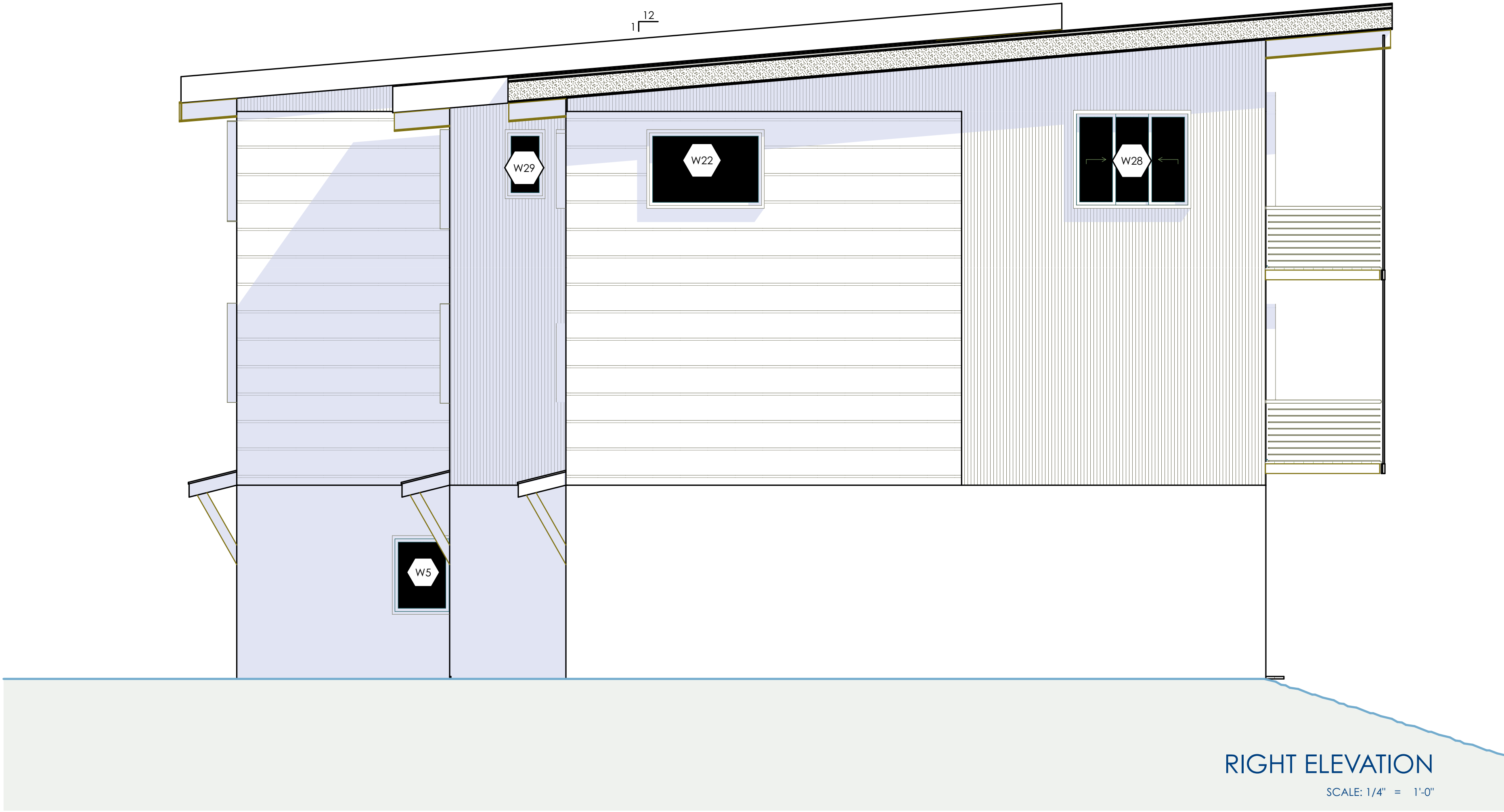
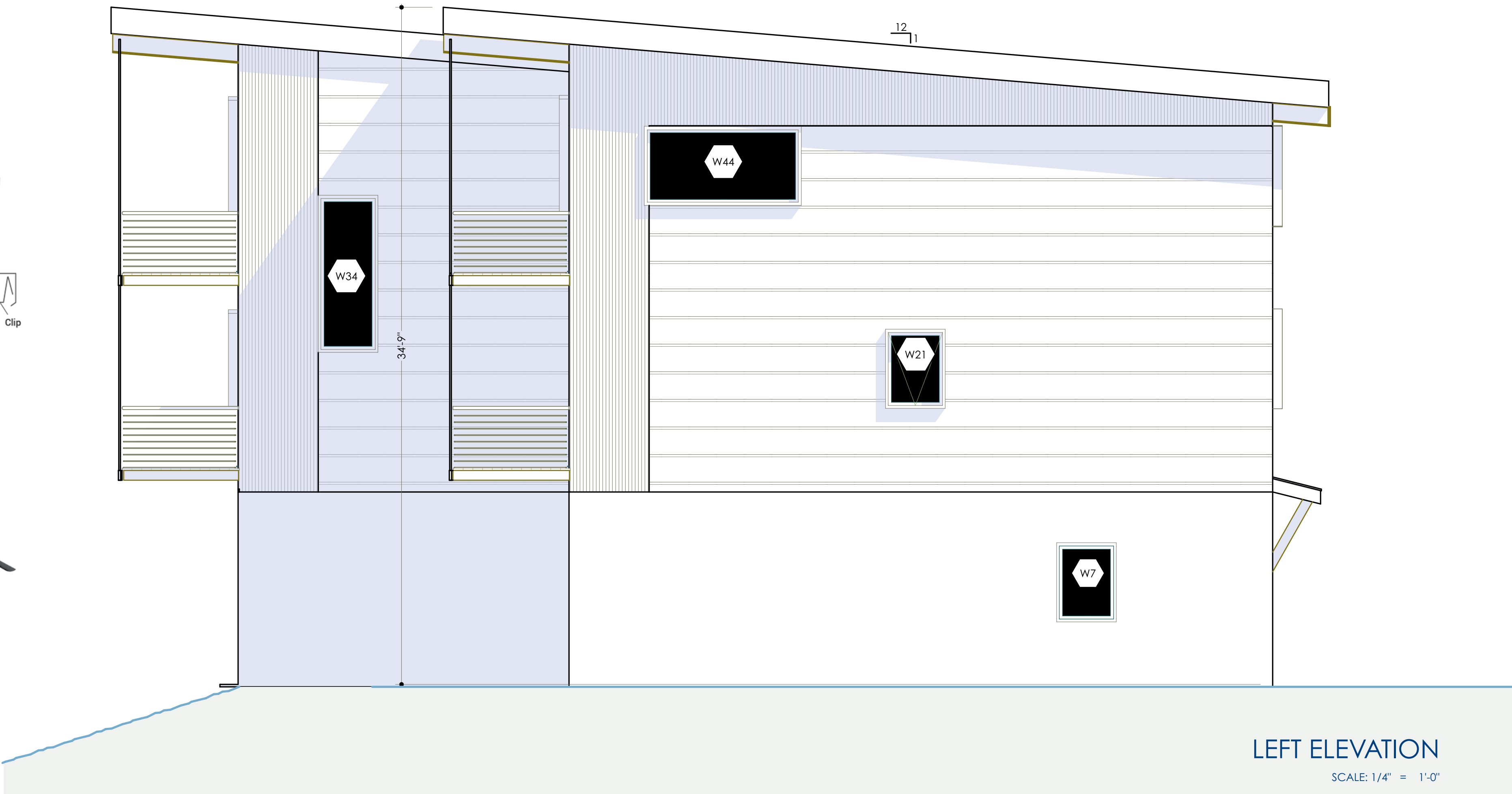
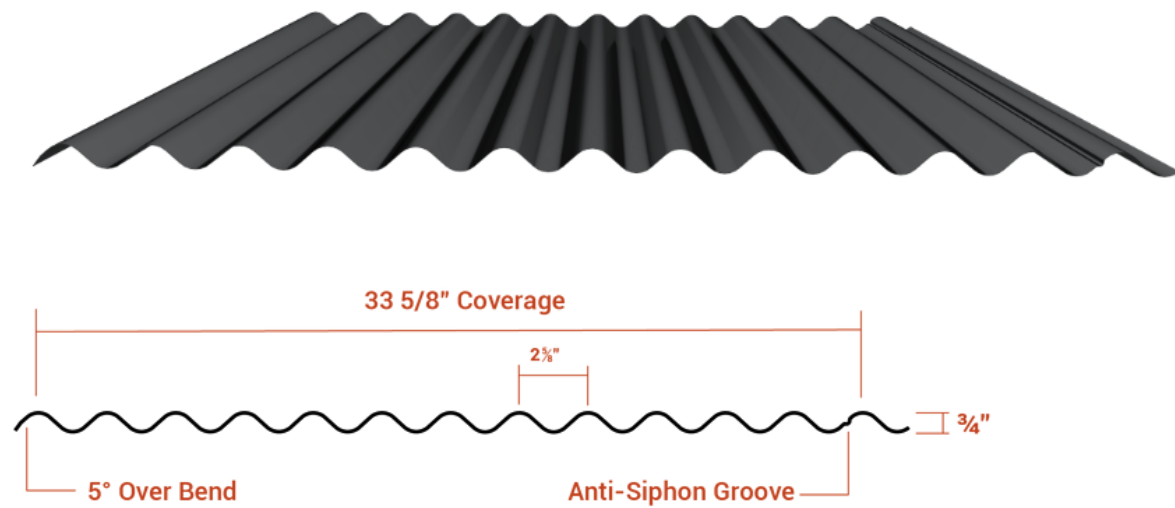
ELEVATIONS



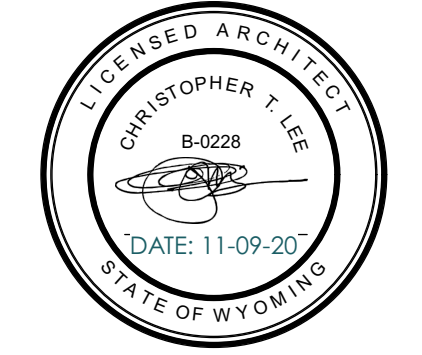
Horizontal Metal Siding



Vertical Metal Siding



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ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
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5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

A401

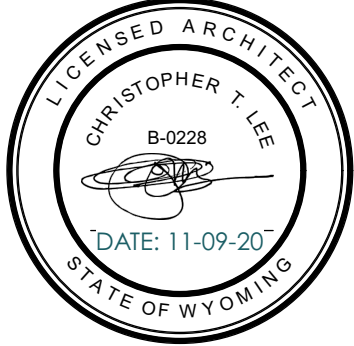
ELEVATIONS

WINDOW SCHEDULE

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HARDWARE	NOTES	SURFACE AREA
W2		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W3		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W4		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W5		3'x4'	3'-3/4"x4'-3/4"	7'-4 3/4"				12.441
W6		4'x4'	4'-3/4"x4'-3/4"	7'-4 3/4"				16.504
W7		3'x4'	3'-3/4"x4'-3/4"	7'-4 3/4"				12.441
W9		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W10		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W11		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W12		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W13		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W14		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W15		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W16		3'x5'	3'-3/4"x5'-3/4"	8'-1 1/2"				15.504
W17		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W18		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W19		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W20		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W21		3'x4'	3'-3/4"x4'-3/4"	7'-1 1/2"				12.441
W22		6'x4'	6'-3/4"x4'-3/4"	7'-1 1/2"				24.629
W23		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W24		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W25		4'x4'	4'-3/4"x4'-3/4"	7'-1 1/2"				16.504
W26		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W27		5'x5'	5'-3/4"x5'-3/4"	8'-1 1/2"				25.629
W28		6'x5'	6'-3/4"x5'-3/4"	8'-1 1/2"				30.691
W29		2'x3'-6"	2'-3/4"x3'-6 3/4"	7'-1 1/2"				7.348
W30		3'x5'	3'-3/4"x5'-3/4"	7'-1 1/2"				15.504
W31		5'x5'	5'-3/4"x5'-3/4"	7'-1 1/2"				25.629
W32		5'x5'	5'-3/4"x5'-3/4"	7'-1 1/2"				25.629
W33		5'x6'	5'-3/4"x6'-3/4"	9'-3/4"				30.691
W34		3'x8'	3'-3/4"x8'-3/4"	4'				24.691
W36		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W37		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W38		3'x5'	3'-3/4"x5'-3/4"	7'-6 1/2"				15.504
W39		5'x6'	5'-3/4"x6'-3/4"	9'-1 1/2"				30.691
W40		3'x5'	3'-3/4"x5'-3/4"	7'-6 1/2"				15.504
W41		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W42		5'x5'	5'-3/4"x5'-3/4"	7'-6 1/2"				25.629
W44		8'x4'	8'-3/4"x4'-3/4"	7'-6 1/2"				32.754
W45		5'x6'	5'-3/4"x6'-3/4"	9'-1 1/2"				30.691
								886.629 sq ft



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SYMB.	ISSUE	DATE
1	PRELIMINARY	2-26-20
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BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

A500

SCHEDULES

DOOR SCHEDULE EXTERNAL DOORS

SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HAND	HARDWARE	NOTES	SURFACE AREA
D1	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D2	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D3	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D4	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D5	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D6	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D7	ENTRY	3'×7'	3'-3/4"×7'-3/4"	7'-3/4"				1HR FIRE RATED	21.629
D8	GARAGE	15'-9 1/4"×8'-11"	16'-3/4"×9'-3/4"	9'-3/4"					145.566
D9	SLIDING	6'×8'	6'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	48.879
D10	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D11	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D12	SLIDING	17'×8'	17'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	137.566
D13	SLIDING	17'×8'	17'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	137.566
D14	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D15	ENTRY	3'×8'	3'-3/4"×8'-3/4"	8'-1 1/2"				1HR FIRE RATED	24.691
D16	SLIDING	17'×8'	17'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	137.566
D17	SLIDING	6'×8'	6'-3/4"×8'-3/4"	8'-1 1/2"				TEMPERED	48.879
D18	SLIDING	10'-4"×9'	10'-4 3/4"×9'-3/4"	9'-1 1/2"				TEMPERED	94.212
D19	SLIDING	10'-4"×9'	10'-4 3/4"×9'-3/4"	9'-1 1/2"				TEMPERED	94.212
D20	SLIDING	10'-4"×9'	10'-4 3/4"×9'-3/4"	9'-1 1/2"				TEMPERED	94.212

DOOR SCHEDULE INTERNAL DOORS

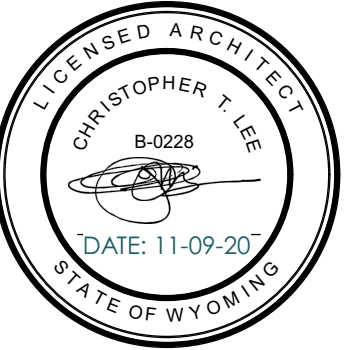
SYMB.	TYPE	UNIT SIZE	R.O.	HEAD HEIGHT	MANUF.	HAND	HARDWARE	NOTES	SURFACE AREA
D21		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D22		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D23		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D24		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-3/4"					16.921
D25		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D26		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D27		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-3/4"					19.275
D28		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D29		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D30		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D31		3'-11 1/4"×7'	4'×7'-3/4"	7'-1 1/2"					28.250
D32		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D33		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D34		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D35		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D36		3'-11 1/4"×7'	4'×7'-3/4"	7'-1 1/2"					28.250
D37		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D38		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D39		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D40		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D41		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D42		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D43		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D44		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D45		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D46		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D47		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D48		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D49		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D50		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D51		4'-11 1/4"×7'	5'×7'-3/4"	7'-1 1/2"					35.313
D52		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D53		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D54		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D55		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D56		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D57		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D58		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D59		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D60		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D61		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D62		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D63		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D64		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D65		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D66		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D67		2'-6"×7'	2'-6 3/4"×7'-3/4"	7'-1 1/2"					18.098
D68		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D69		2'-8"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D70		2'-4"×7'	2'-4 3/4"×7'-3/4"	7'-1 1/2"					16.921
D71		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D72		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D73		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275
D74		5'-2 1/4"×7'	2'-8 3/4"×7'-3/4"	7'-1 1/2"					19.275



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ISSUE HISTORY

M.	ISSUE	DATE
1	PRELIMINARY	2-26-2
2	PERMIT	4-30-2
3	PERMIT ADDENDUM I	10-7-2
4	PERMIT ADDENDUM II	10-14-
5	PERMIT ADDENDUM III	11-9-2

BATCH PLANT RD UNITS

315 - 327 BATCH PLANT ROAD
JACKSON WY

PERMIT AMENDMENT

11-9-20

A501

SCHEDULES

ISSUE HISTORY

M.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS

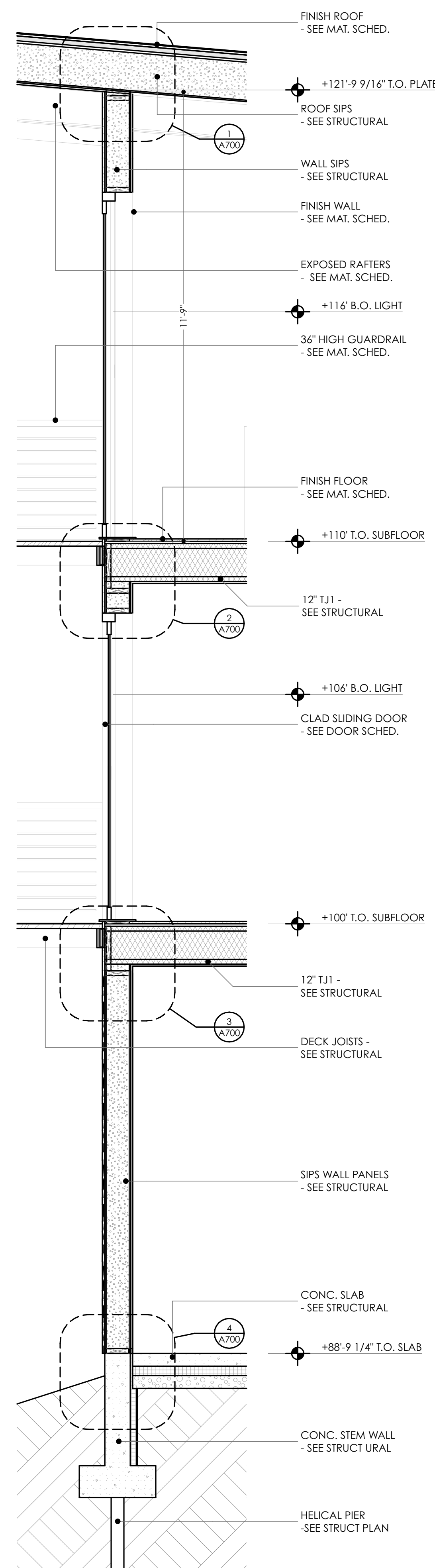
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT

1-9-20

A600

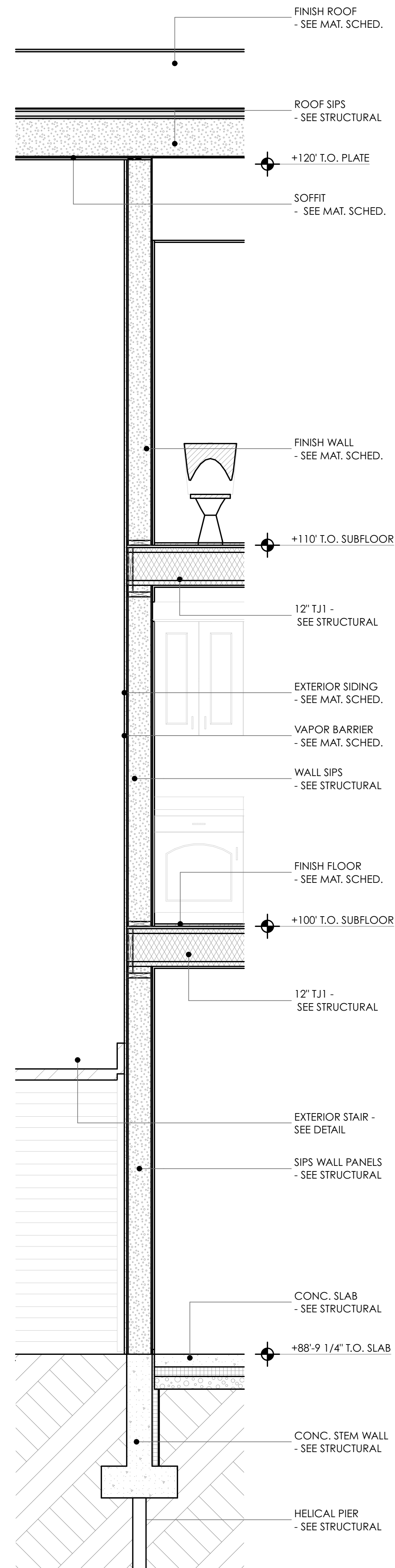
WALL SECTIONS



1
A600

WALL SECTION

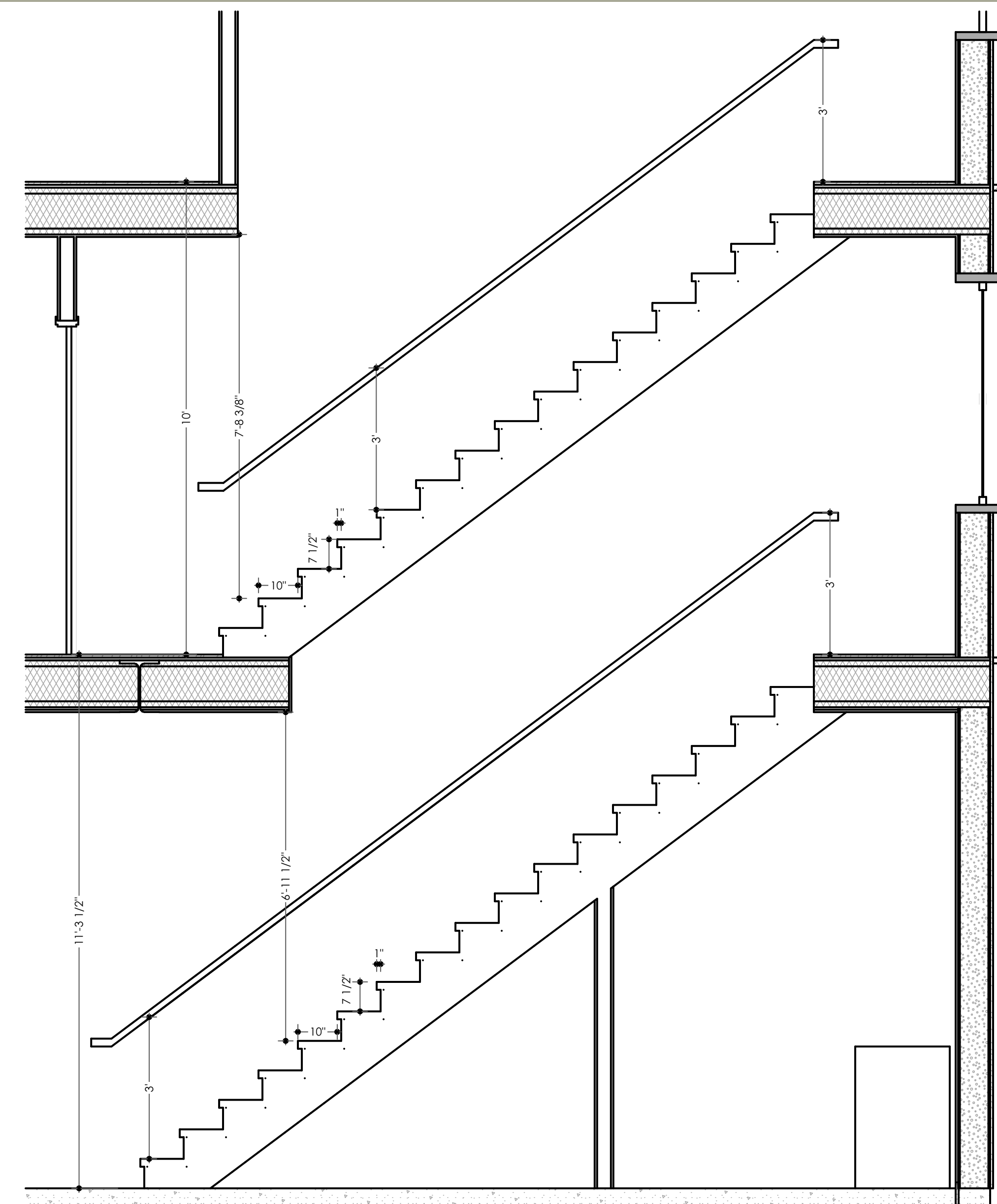
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2
A600

WALL SECTION

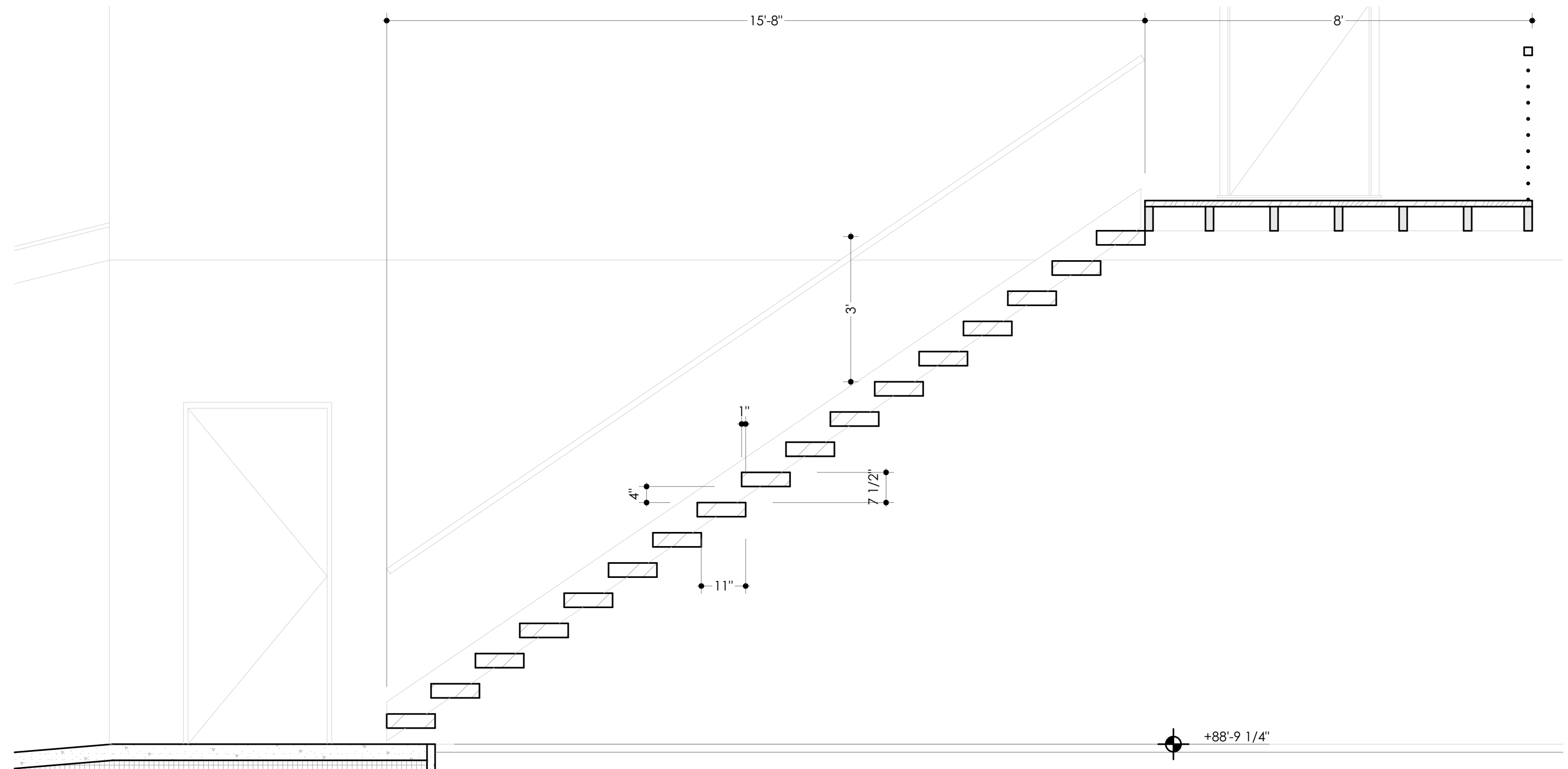
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4
A600

INTERIOR STAIR DETAIL

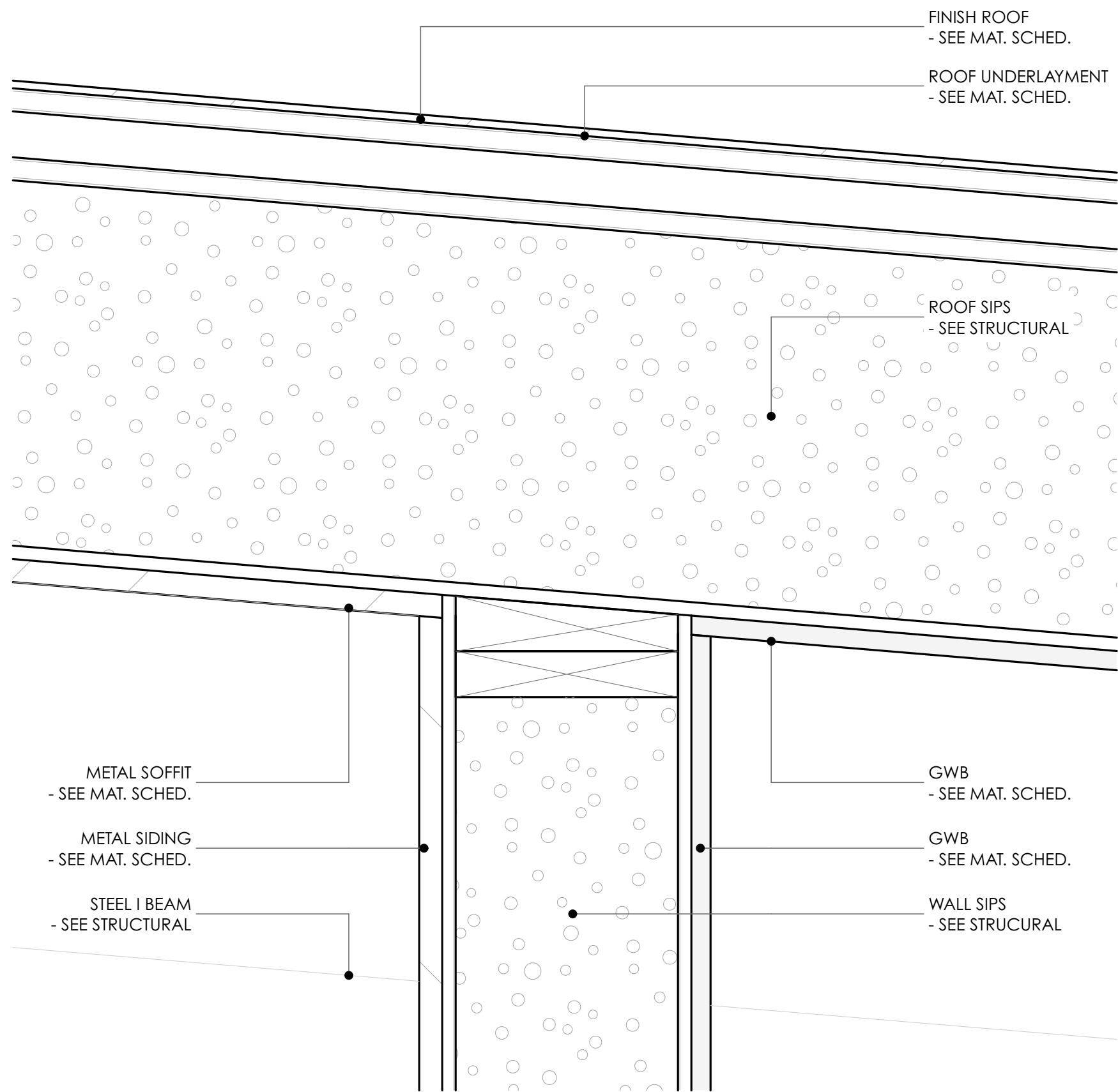
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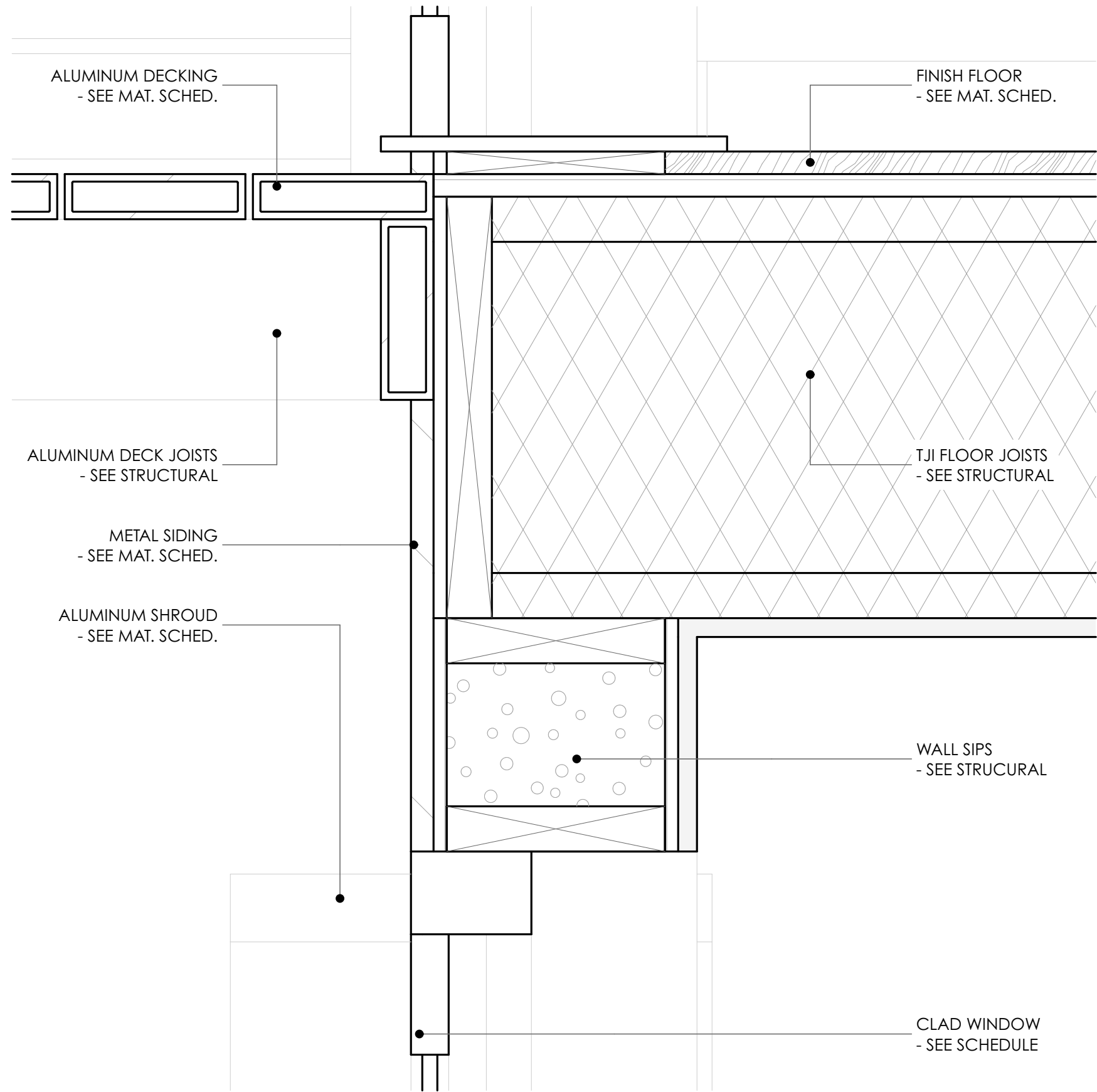
3
A600

EXTERIOR STAIR SECTION

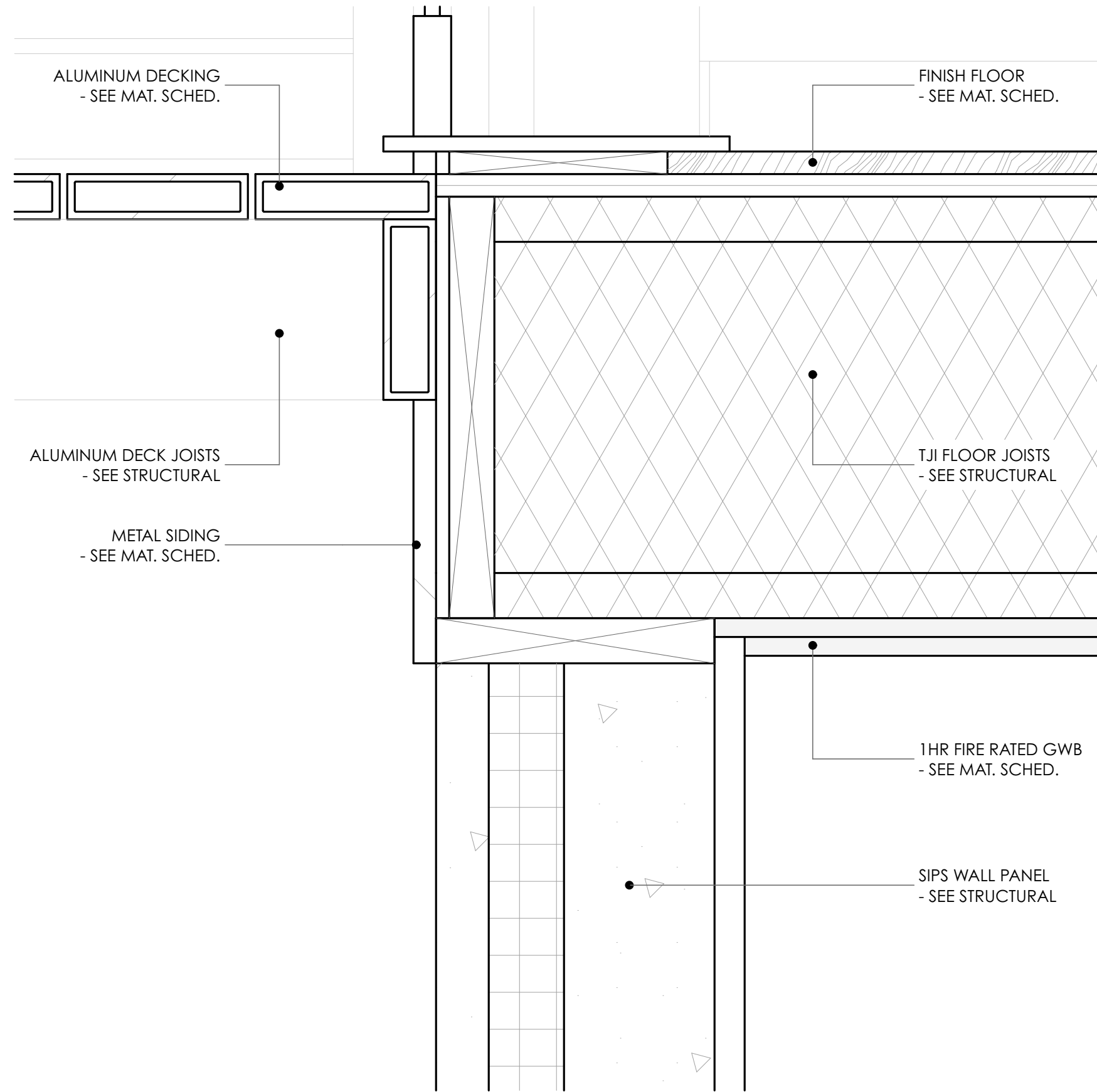
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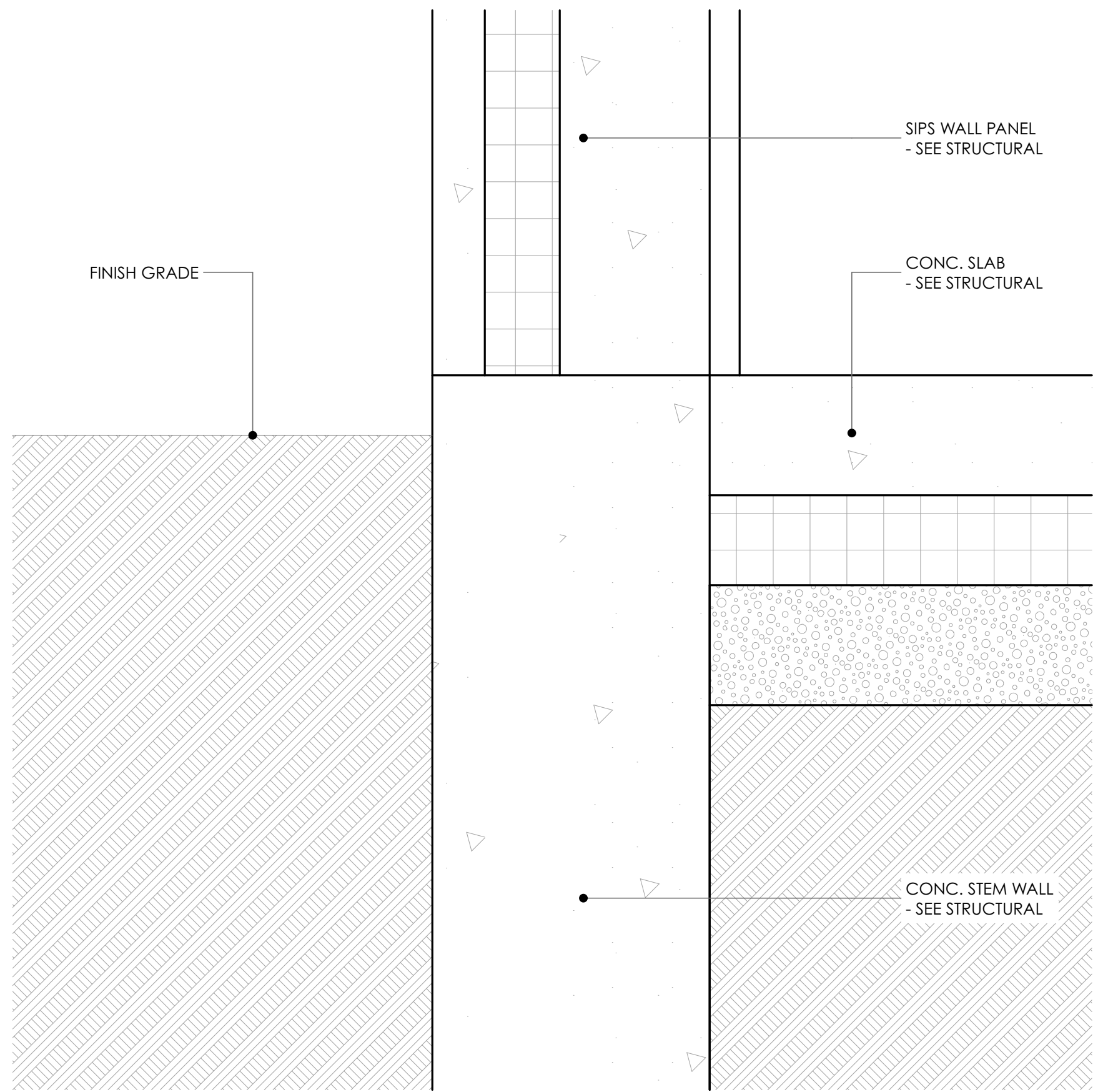
1
A700
DETAIL @ SIPS ROOF & SIPS WALL
SCALE: 3" = 1'-0"



2
A700
DETAIL @ WINDOW HEADER & SIPS WALL PANEL
SCALE: 3" = 1'-0"



3
A700
DETAIL @ FLOOR & CONCRETE WALL PANEL
SCALE: 3" = 1'-0"

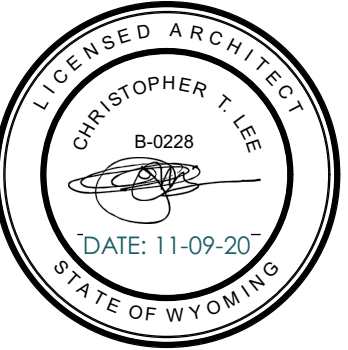


4
A700
DETAIL @ CONCRETE SLAB
SCALE: 3" = 1'-0"



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ISSUE HISTORY

SYN.	ISSUE	DATE
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5	PERMIT ADDENDUM III	11-9-20

BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

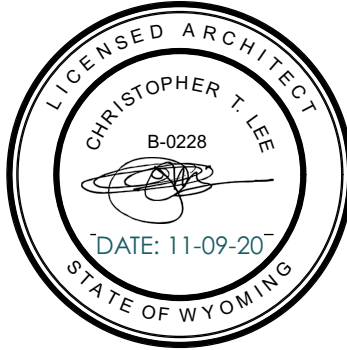
PERMIT AMENDMENT
11-9-20

A700

DETAILS



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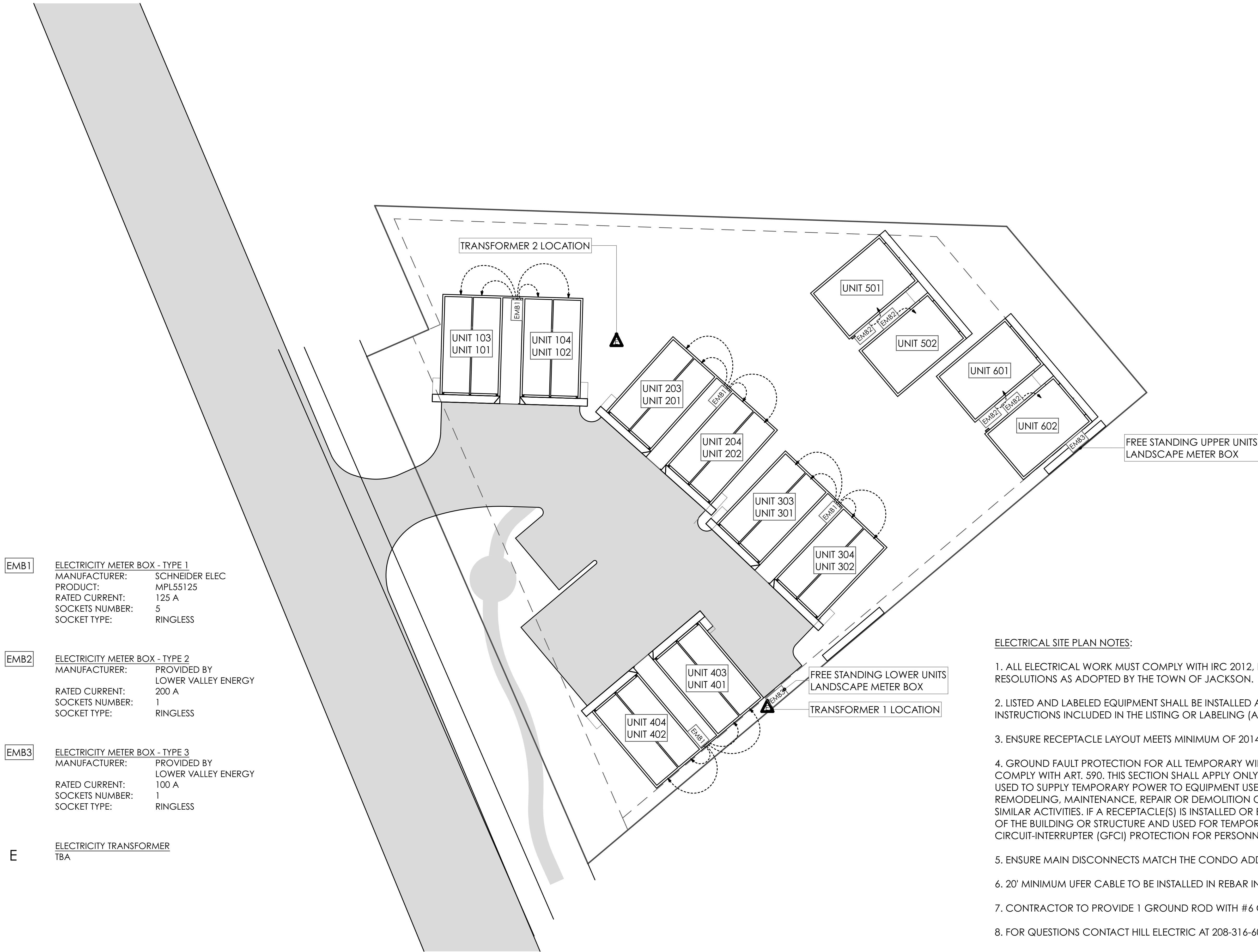
ISSUE HISTORY		
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BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

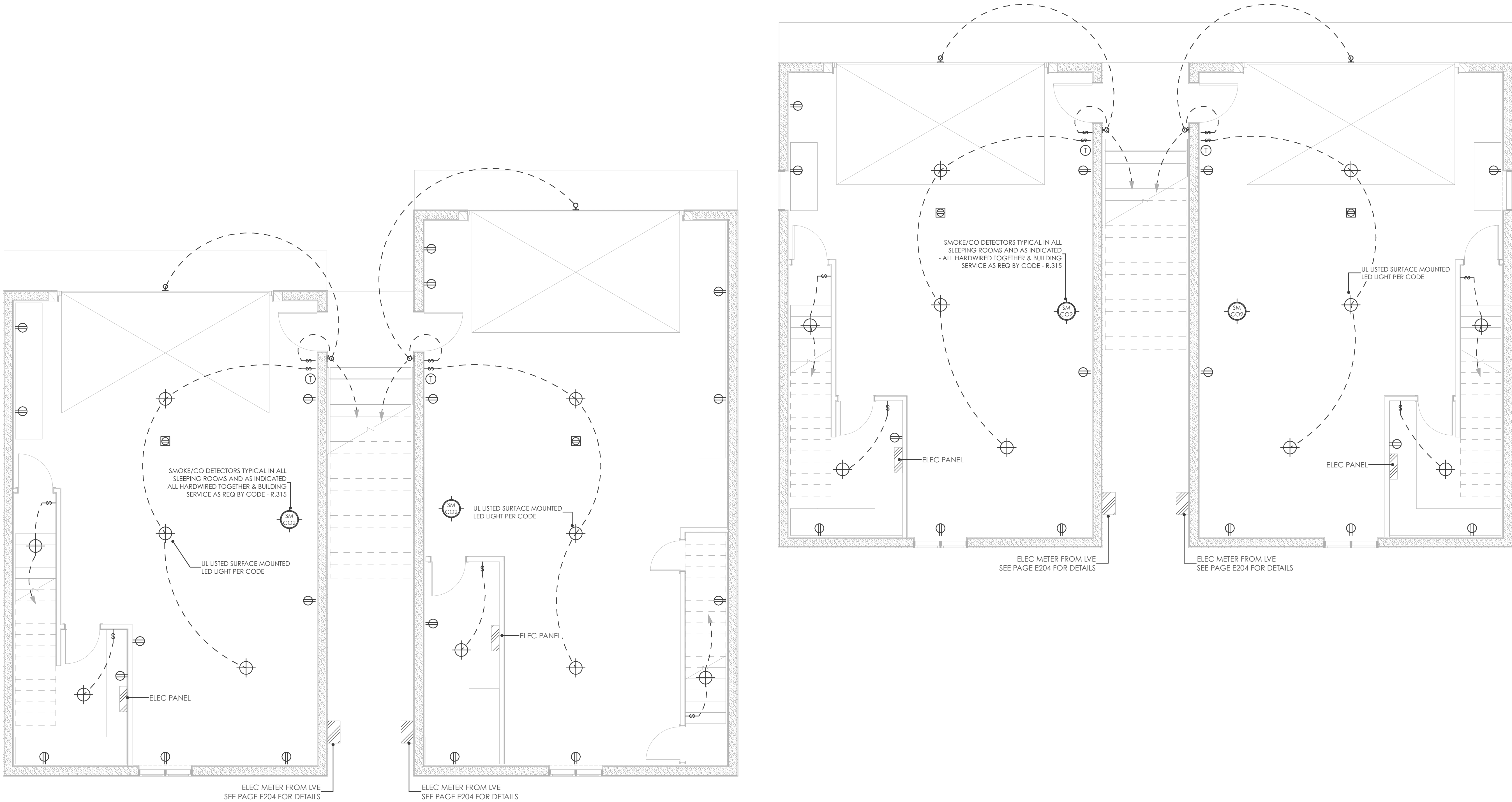
PERMIT AMENDMENT
11-9-20

E200

ELECTRICAL LAYOUT



ELECTRICAL SCHEMATIC PLAN
SCALE: 1" = 20'



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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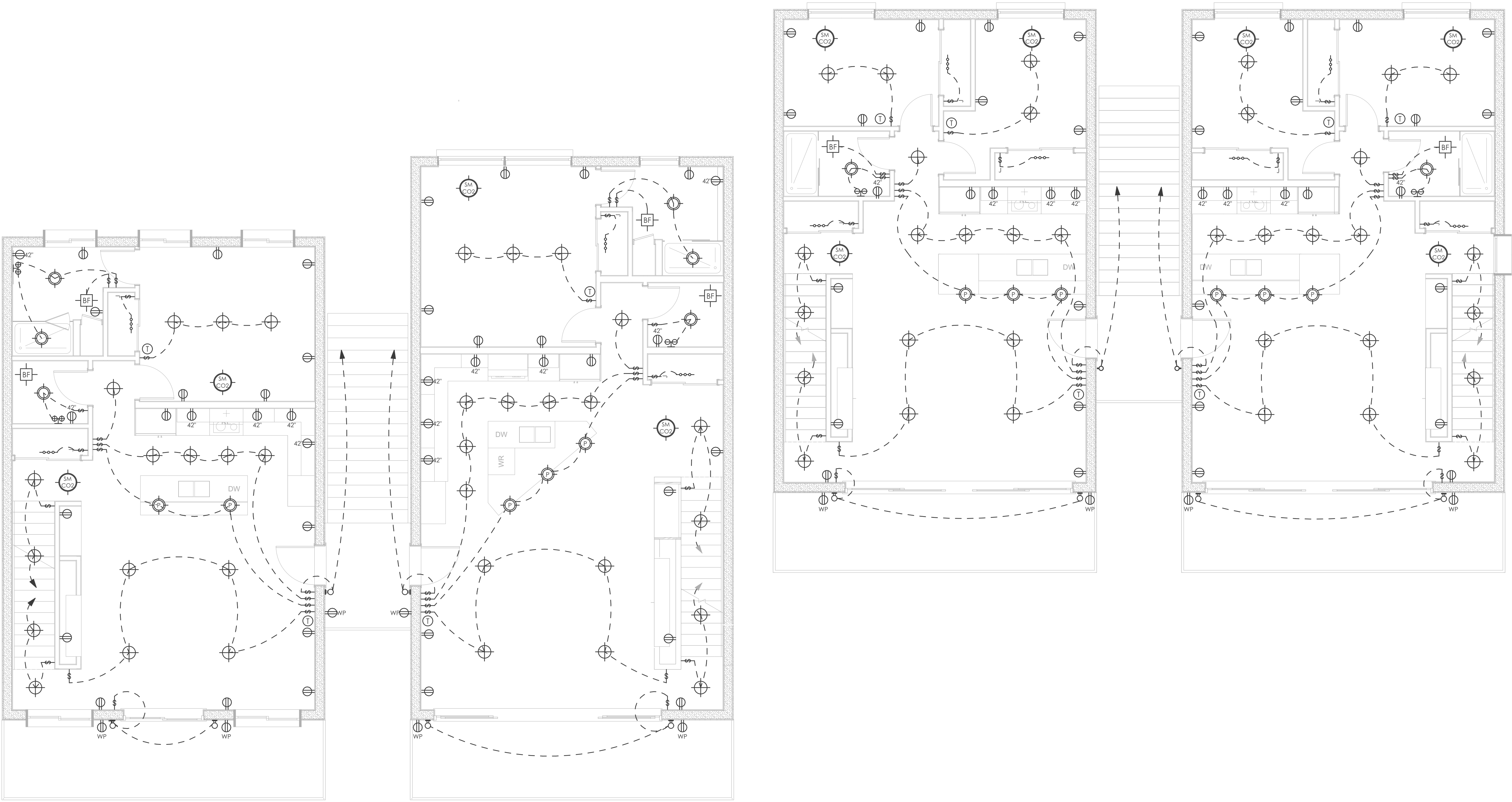


BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

E201

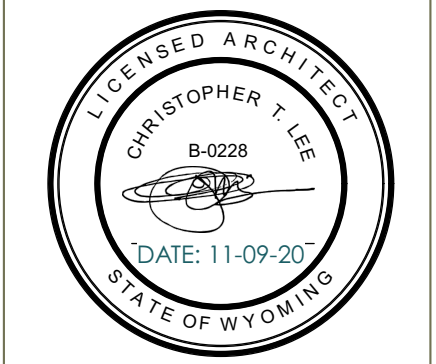
ELECTRICAL PLAN



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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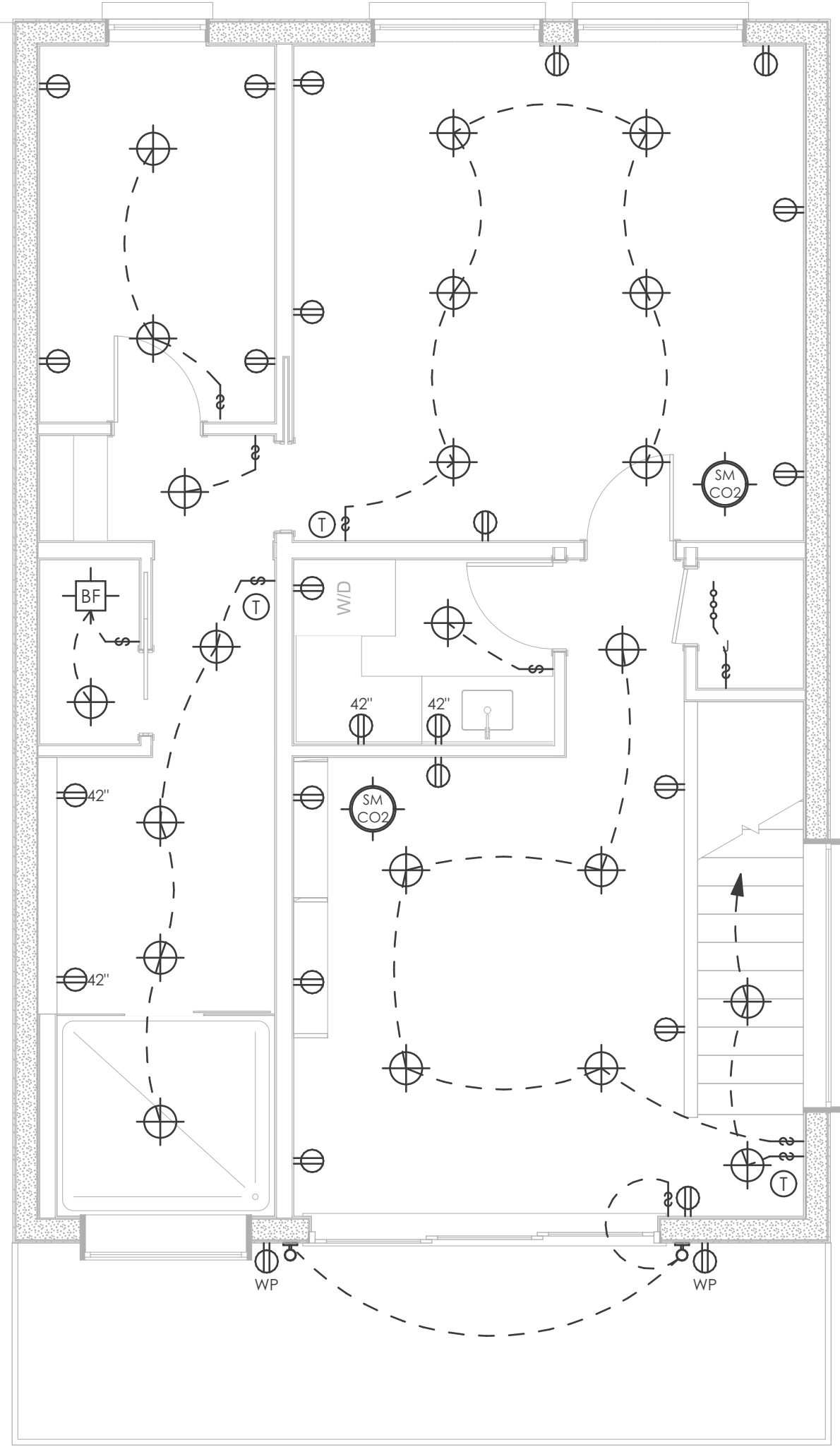
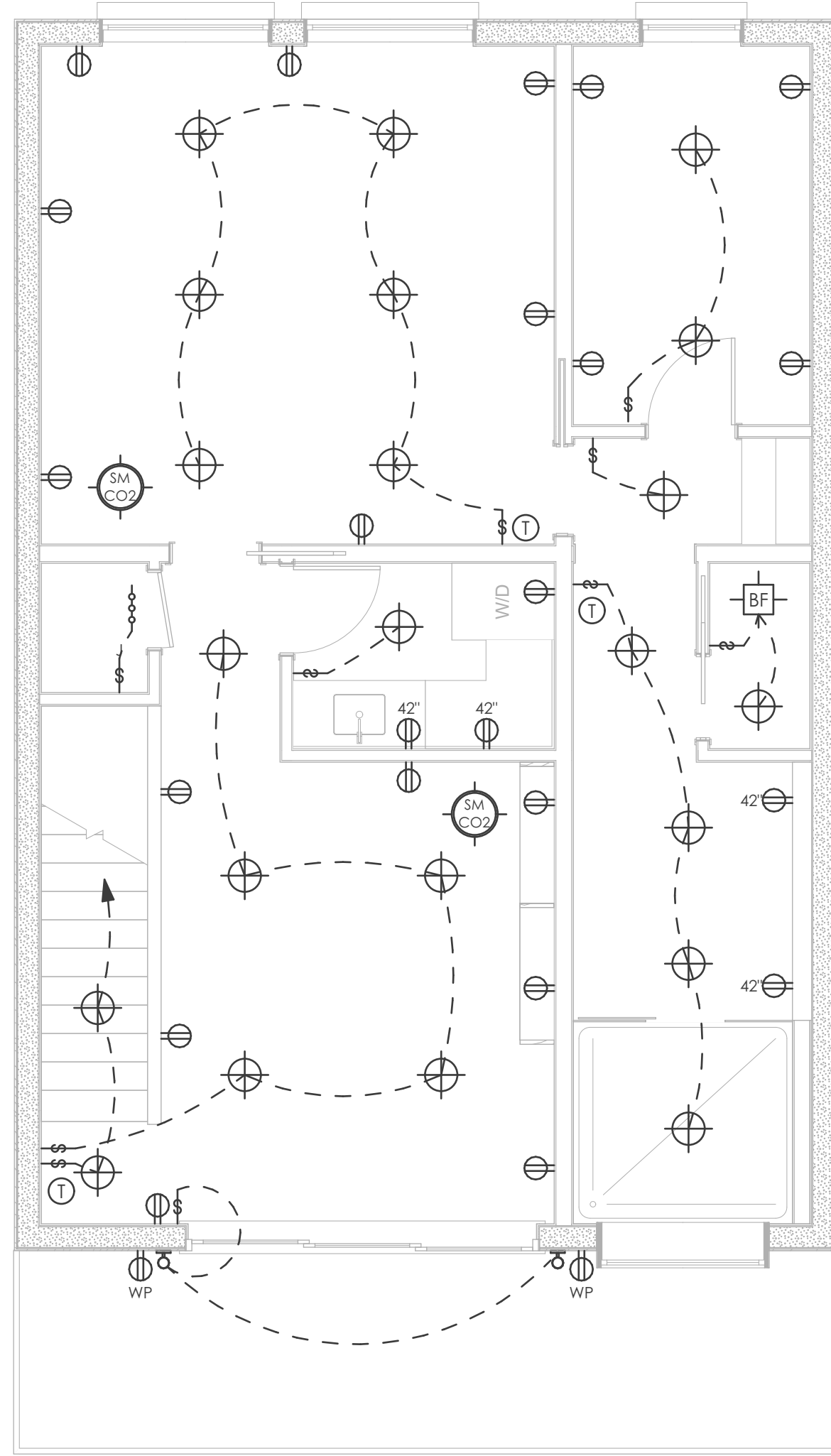
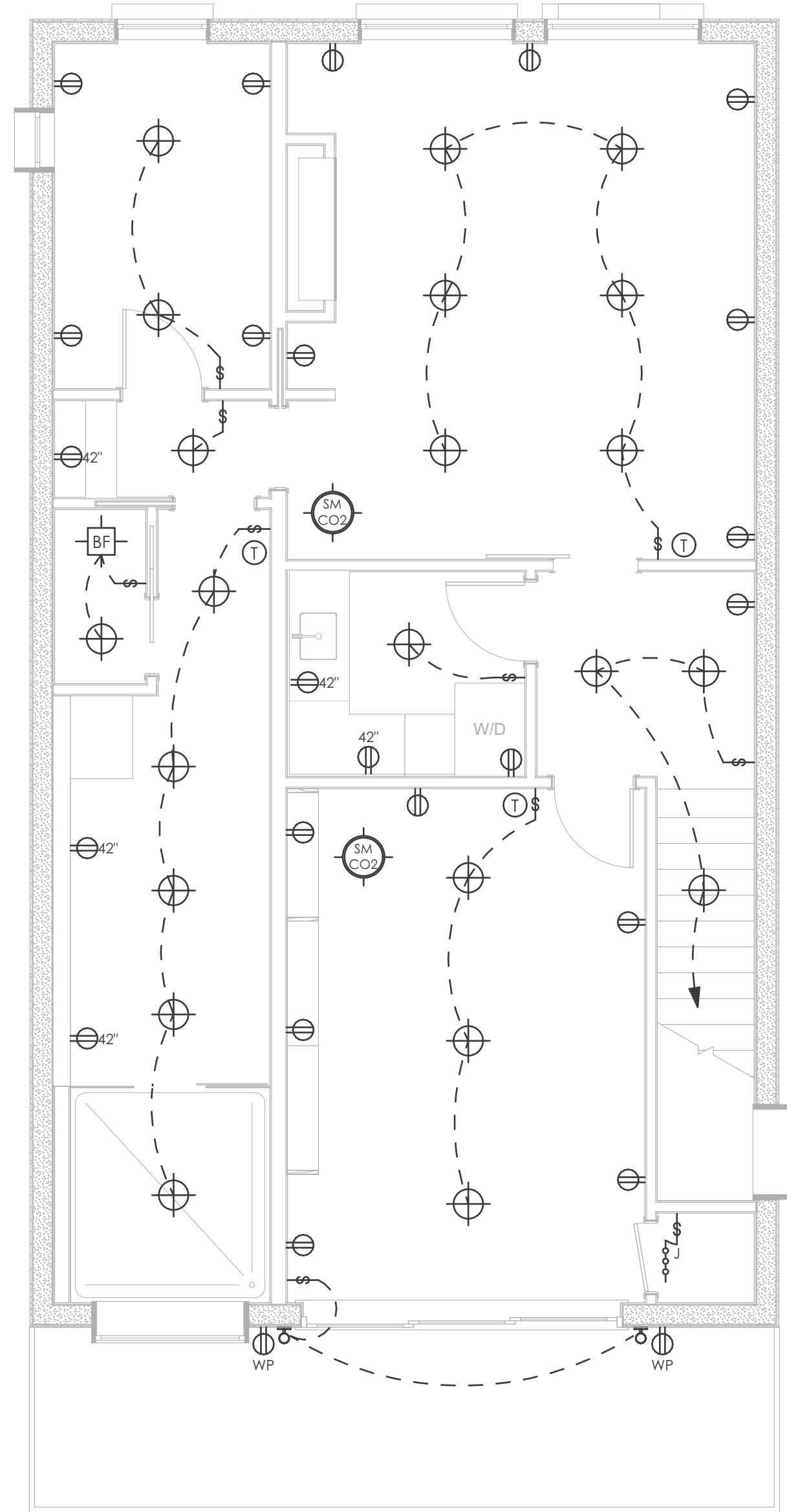
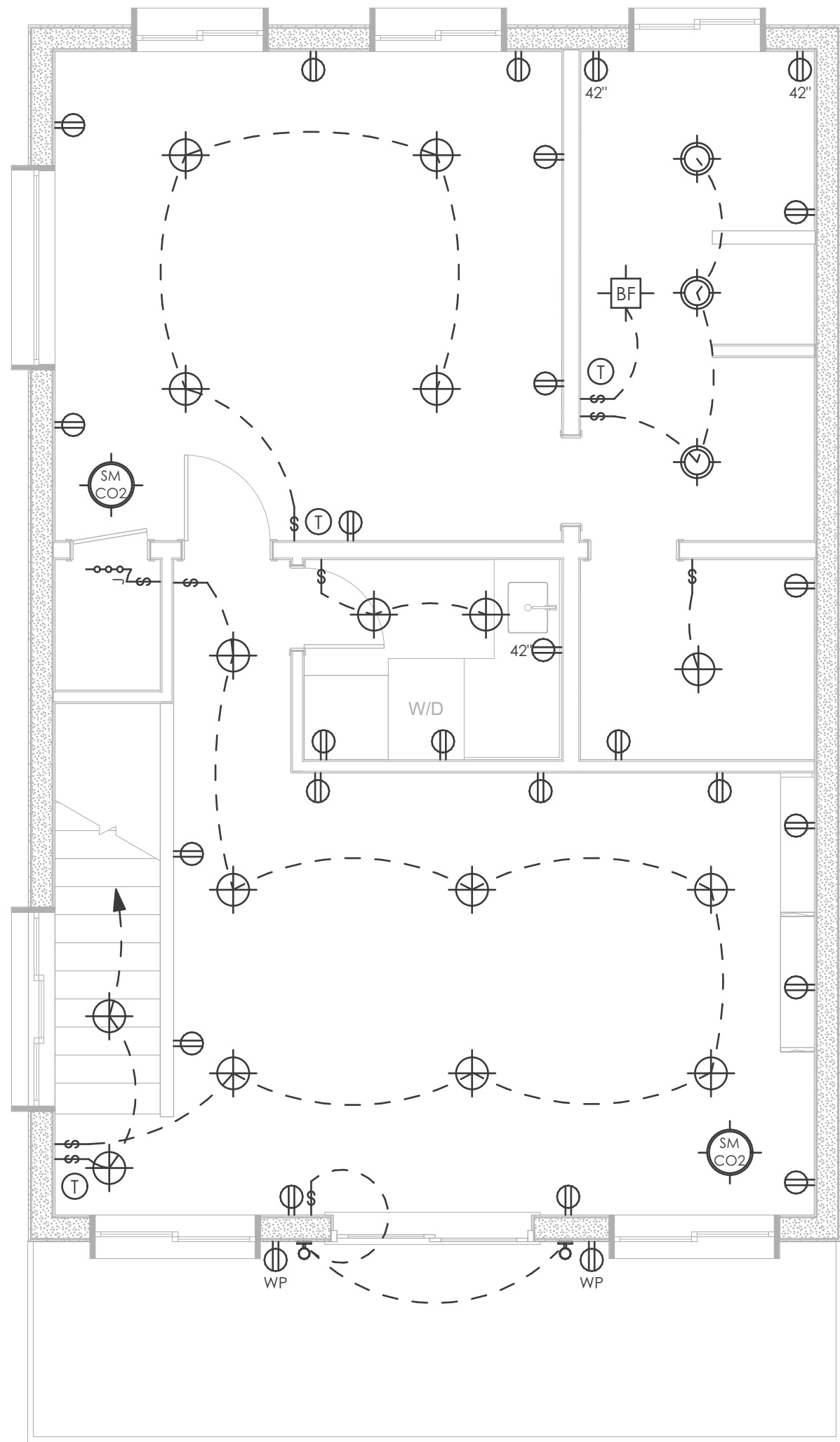


BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

E202

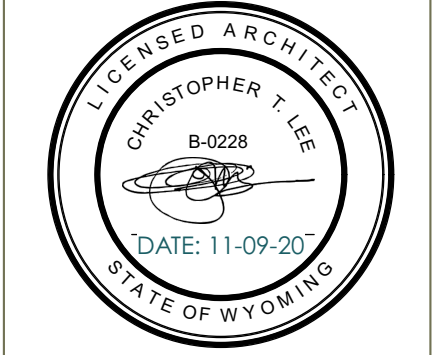
ELECTRICAL PLAN



THIRD FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

E203

ELECTRICAL PLAN

Residential Standard Calculation

Job Address

Version 2011.1.1

9/25/2017

Load Calculation for Upper Town Homes

STEP 1 Article 220.42 & 220.52			
sq. ft.	1728	General Lighting load	5,184 VA
	2	Small Appliance	3,000 VA
	1	Laundry circuit	1,500 VA
		Gen Lgt, Sm App & Laundry Load	9,684 VA
		VA @ 100% =	3,000 VA
		VA @ 35% =	2,339 VA
		VA @ 25% =	VA

Prepared for West View Town Homes by
Hill Electric, Inc.
208.313.6058

STEP 2 Article 220.50 & 220.51			
AC Condenser & Fixed Electric Space Heating			
AC #1	VA	AHU 1	11,600 VA
AC #2	VA	AHU 2	VA
AC #3	VA	AHU 3	VA
AC #4	VA	AHU 4	VA
AC #5	VA	AHU 5	VA

General Lighting Demand Load		5,339 VA
Total	1	
Hesting Load	11,600 VA	
CU Load	VA	
Greater of Heat @ 100% vs AC @ 100%		11,600 VA

STEP 3 Article 220.53			
4,500 VA	1	Water Heater	4,500 VA
1,400 VA	1	Refrigerator	1,400 VA
600 VA	0	Freezer	VA
1,200 VA	1	Dishwasher	1,200 VA
600 VA	1	Disposal	600 VA
400 VA	1	R / Hood	400 VA
1,630 VA	1	Microwave	1,630 VA
4,000 VA		Microwave	VA
170 VA		VA	VA
400 VA	1	Wine Cr	400 VA
5,000 VA		Insta Hot	VA
1,500 VA		Ironing Center	VA
select		Jacuzzi Tub	VA
select		Sprinkler Pump	VA
select		Well Pump	VA
select		Fountain Pump	VA
select		Elevator	VA
		Pool Equip. Panel	VA 100% Demand
		GATES	VA No Demand
		Other load	VA No Demand

Appliance Demand Load		7,538 VA
Dryer Demand Load		5,200 VA
Range Demand Load		8,000 VA
Service Demand		37,677 VA
Demand Load		157 A
Neutral Demand		77 A
Min. Service Req.		175 A
Min. Feeder size		1/0
Min. Neutral size		4
Eq. Grdng. Cond.		6
		<input type="checkbox"/> Copper
Total Appliance Load		10,550 VA
4 or more demand @ 75% plus 100% demand loads		7,538 VA

STEP 4 Article 220.54
Electric Clothes Dryers 5,200 VA

STEP 5 Article 220.55
Electric Ranges 1,800 W Col C demand 8000

or Number of appliances
☐ Check Box for Gas Range

Cooktop
Cooktop
Oven(s)
Cooktop & Oven Demand Load

Col B demand
Col B demand
Col B demand
Col B demand

Number of appliances 0 Dem Factor 0%
Cooktop & Oven Demand Load W

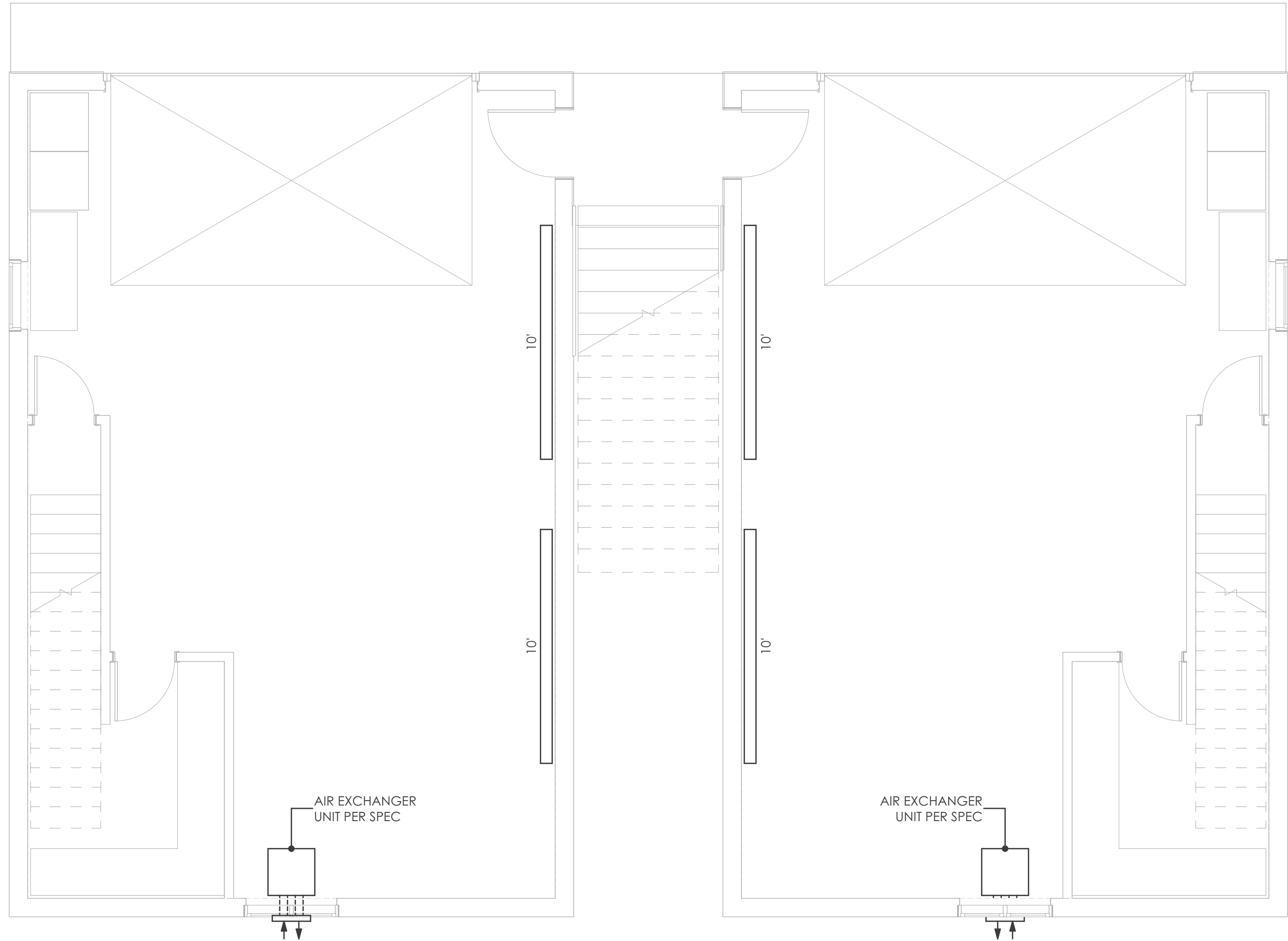
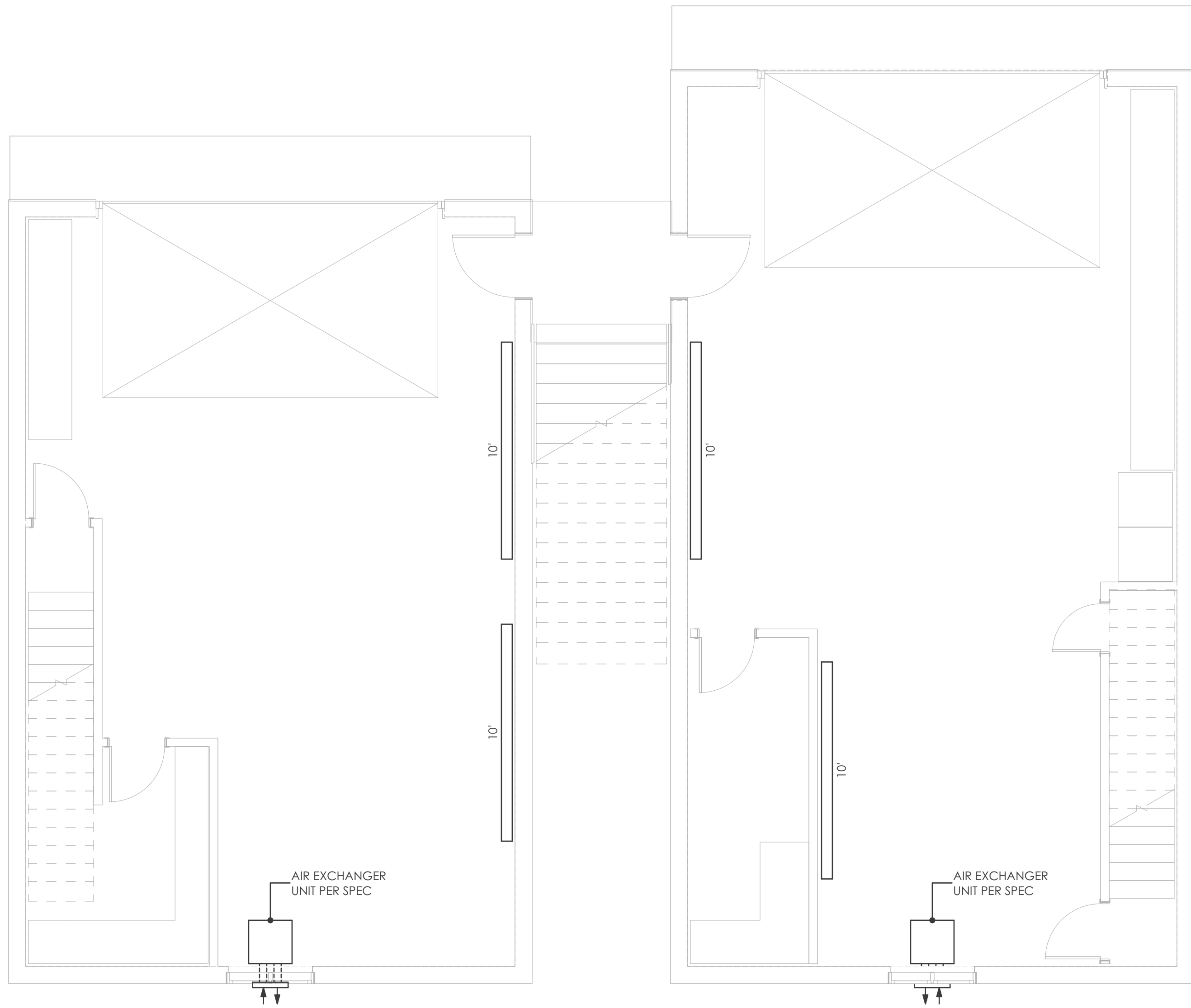
Each town house will have it's own 200 amp meter and load center. Wiring type will be installed in accordance with 2014 NEC, Teton County Wyoming and City of Jackson electrical codes. Exterior lighting and sprinkler system will be split evenly between each unit.

https://bit.ly/comcast-net

Pool Panel Feeder Calculation		(See Note)	A	B	N	0
Continuous Motors	0	.....	0	0	0	0
Non-continuous	0	.....	0	0	0	0
Spa heater 11 kVA	0	.....	0	0	0	0
Pool heater 3.5 ton	0	.....	0	0	0	0
Pool heater 5 ton	0	.....	0	0	0	0
Pool Light	select	0	0	0	0	0
Blower	select	0	0	0	0	0
gutter load	0	0 240v	0	0	0	0
other load	0	0 240v	0	0	0	0
Min Copper Pool Feeder	AWG	A	A	A	A	A
Minimum Panel Rating						

Continuous Motors		Continuous Motors	Non-continuous Motors
select	240v	select	240v
select	240v	select	240v
select	240v	select	240v
select	240v	select	240v
select	240v	select	240v
select	240v	select	240v
0.0		Motor Neutral Load	
Max Unbalanced Neutral Load			

LOAD CALCULATIONS



FIRST FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



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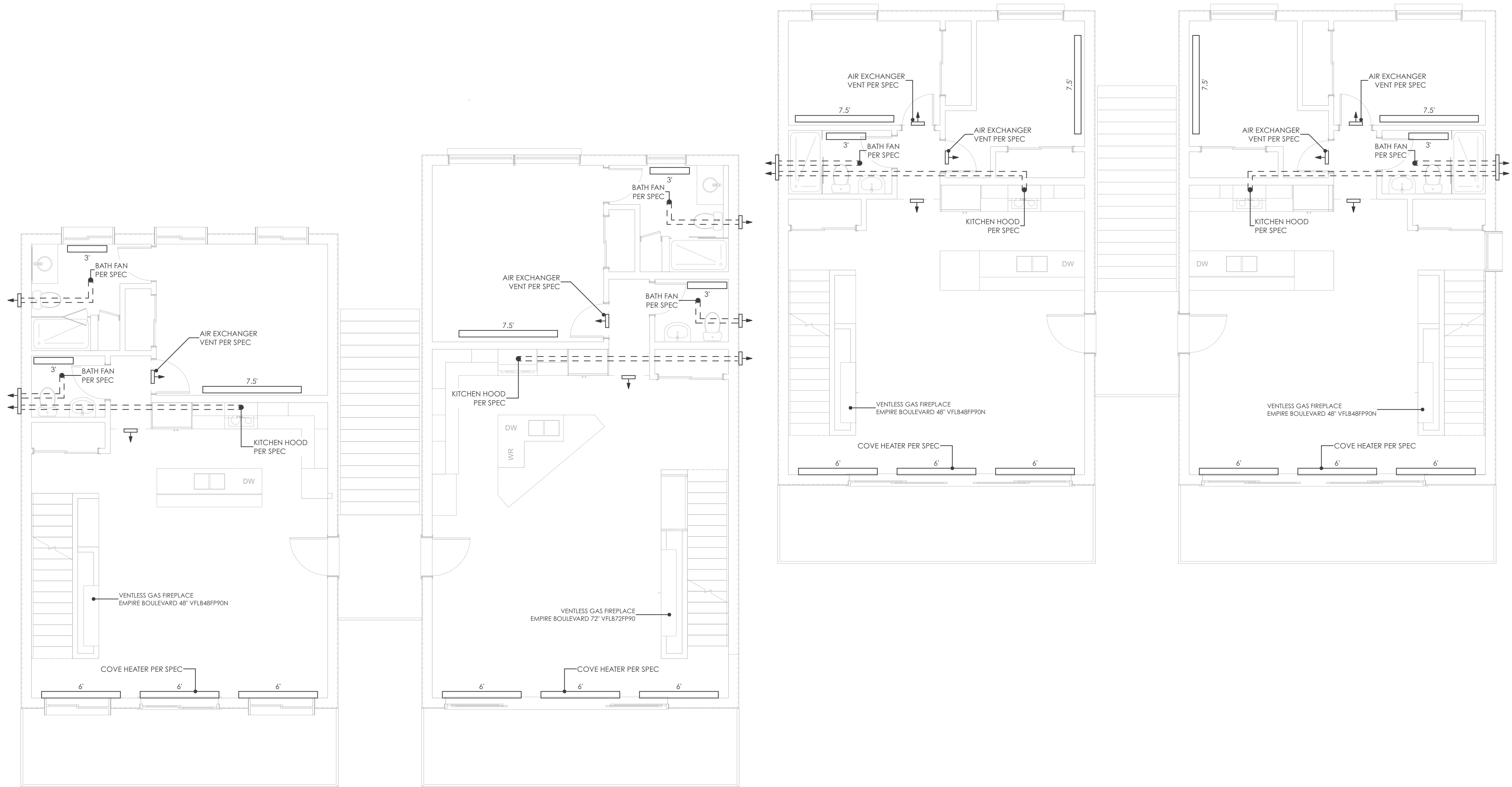
ISSUE HISTORY		
SYN.	ISSUE	DATE
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BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

M200

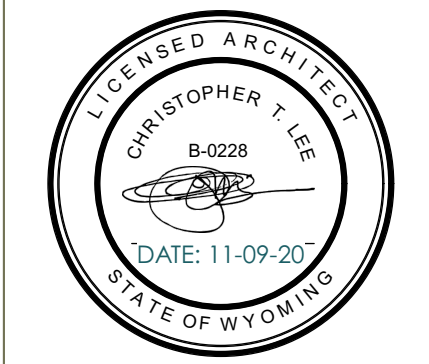
MECHANICAL



SECOND FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



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3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20

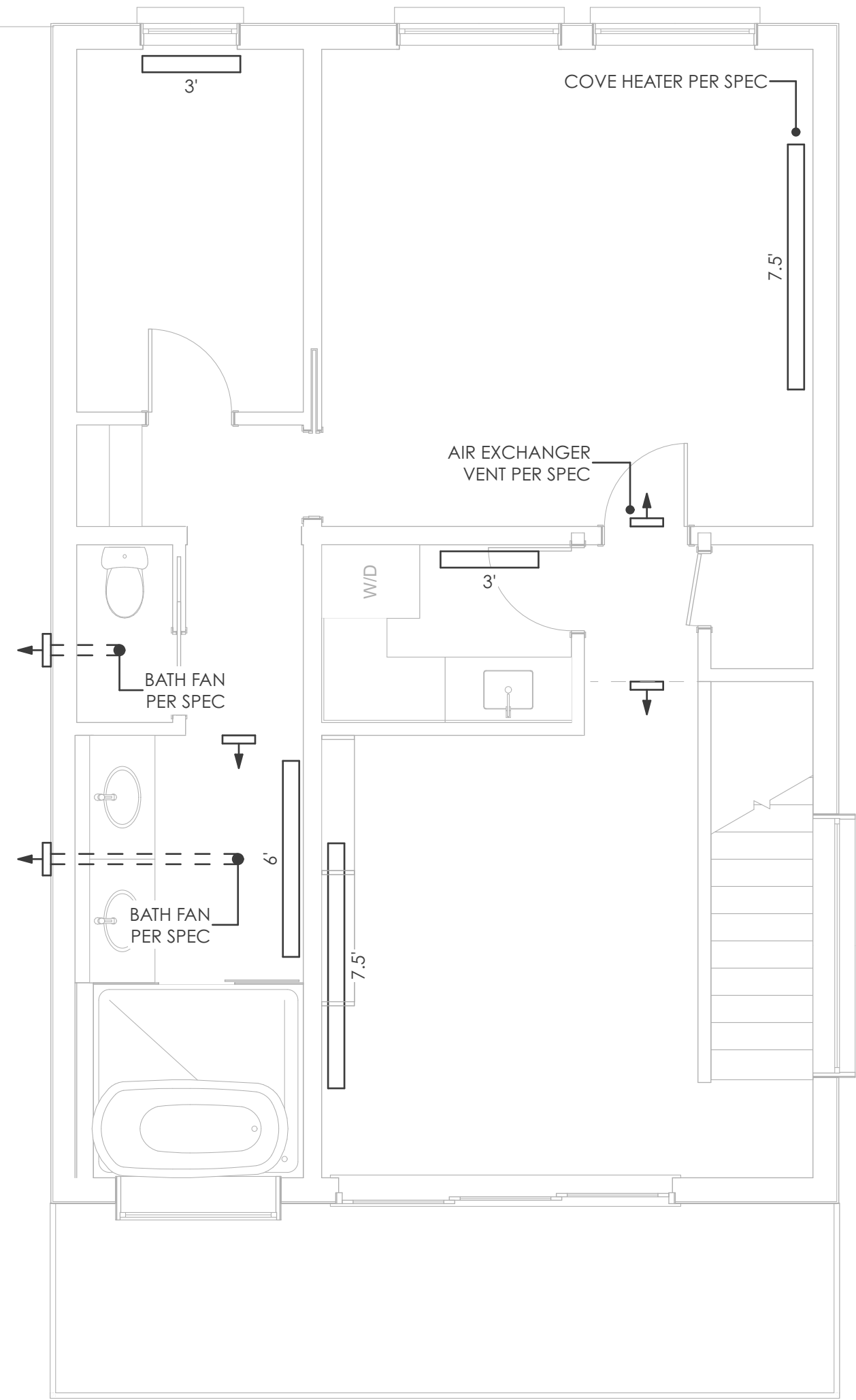
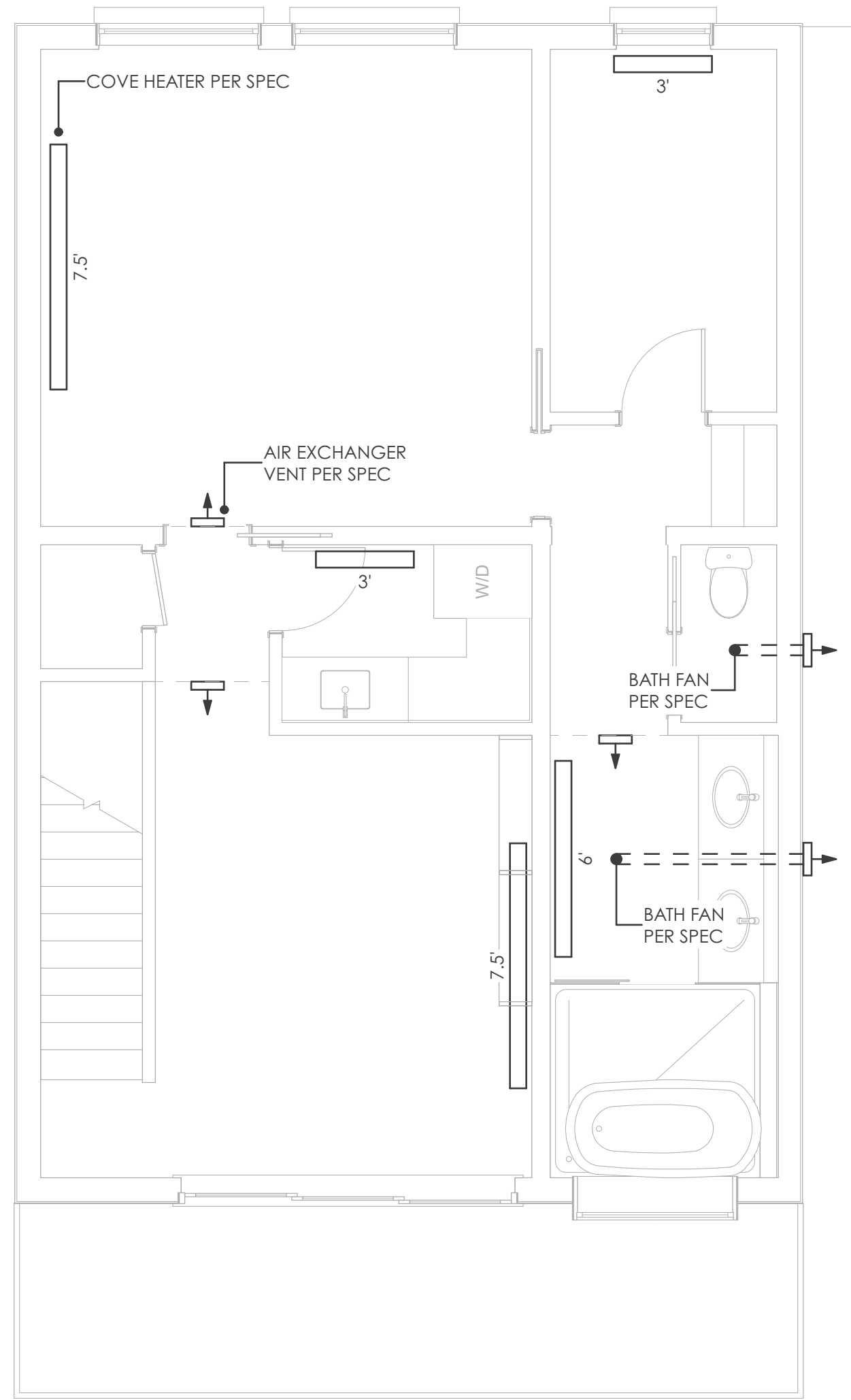
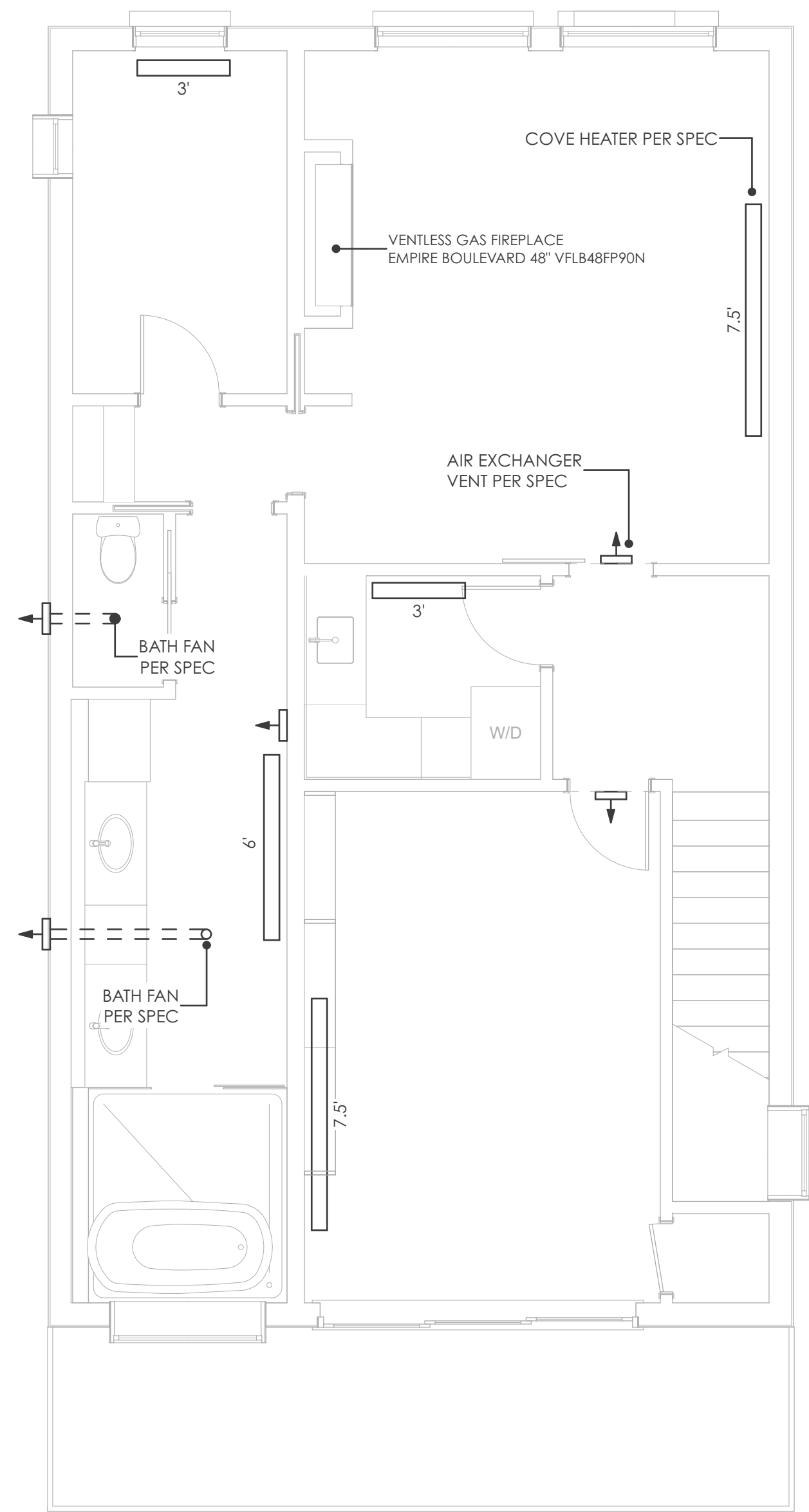
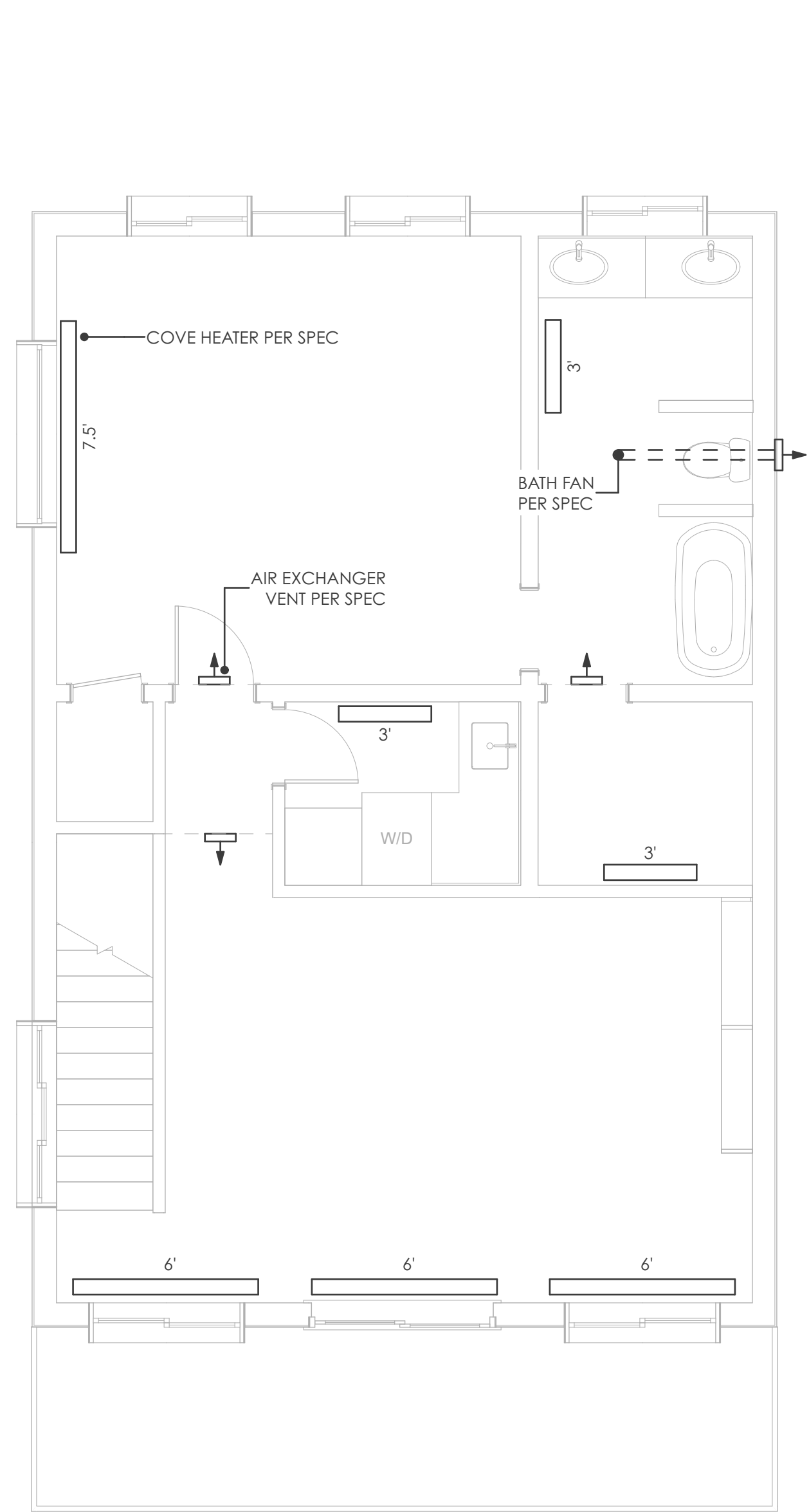


BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

M201

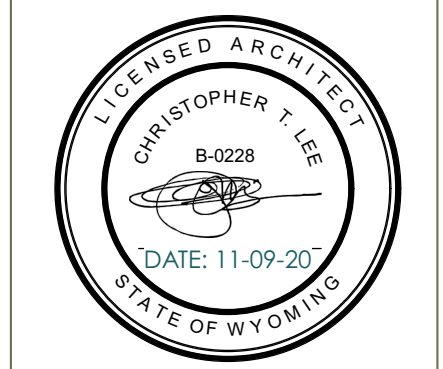
MECHANICAL



THIRD FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
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PROJECT NO. 20-07 ARCHITECT: CTL
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ISSUE HISTORY		
SYN.	ISSUE	DATE
1	PRELIMINARY	2-26-20
2	PERMIT	4-30-20
3	PERMIT ADDENDUM I	10-7-20
4	PERMIT ADDENDUM II	10-14-20
5	PERMIT ADDENDUM III	11-9-20



BATCH PLANT RD UNITS
315 - 327 BATCH PLANT ROAD
JACKSON, WY

PERMIT AMENDMENT
11-9-20

M202

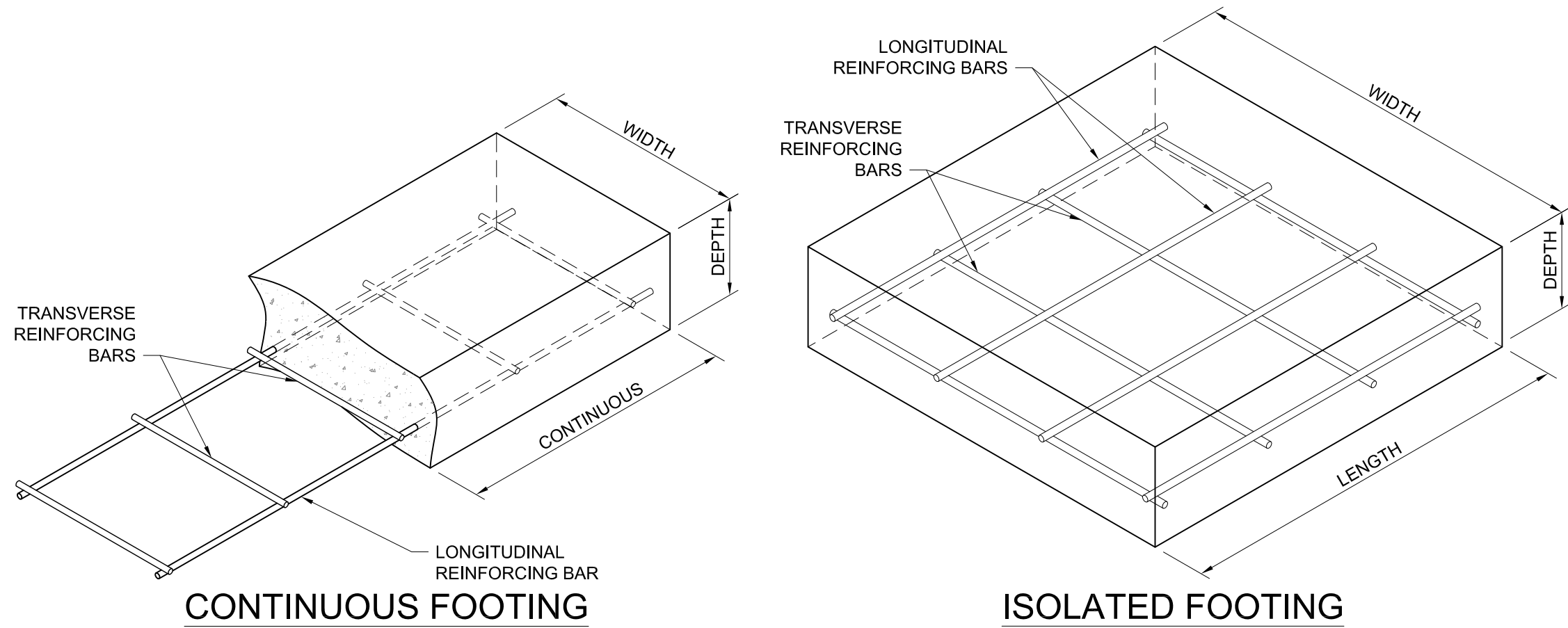
MECHANICAL

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C:\Users\jmc\Documents\2020\Barnes\10-06-2020\Signal Wyoming Stearns.dwg

Printed by jmc on Nov 04, 2025 - 4:40pm
Ver: 15.1

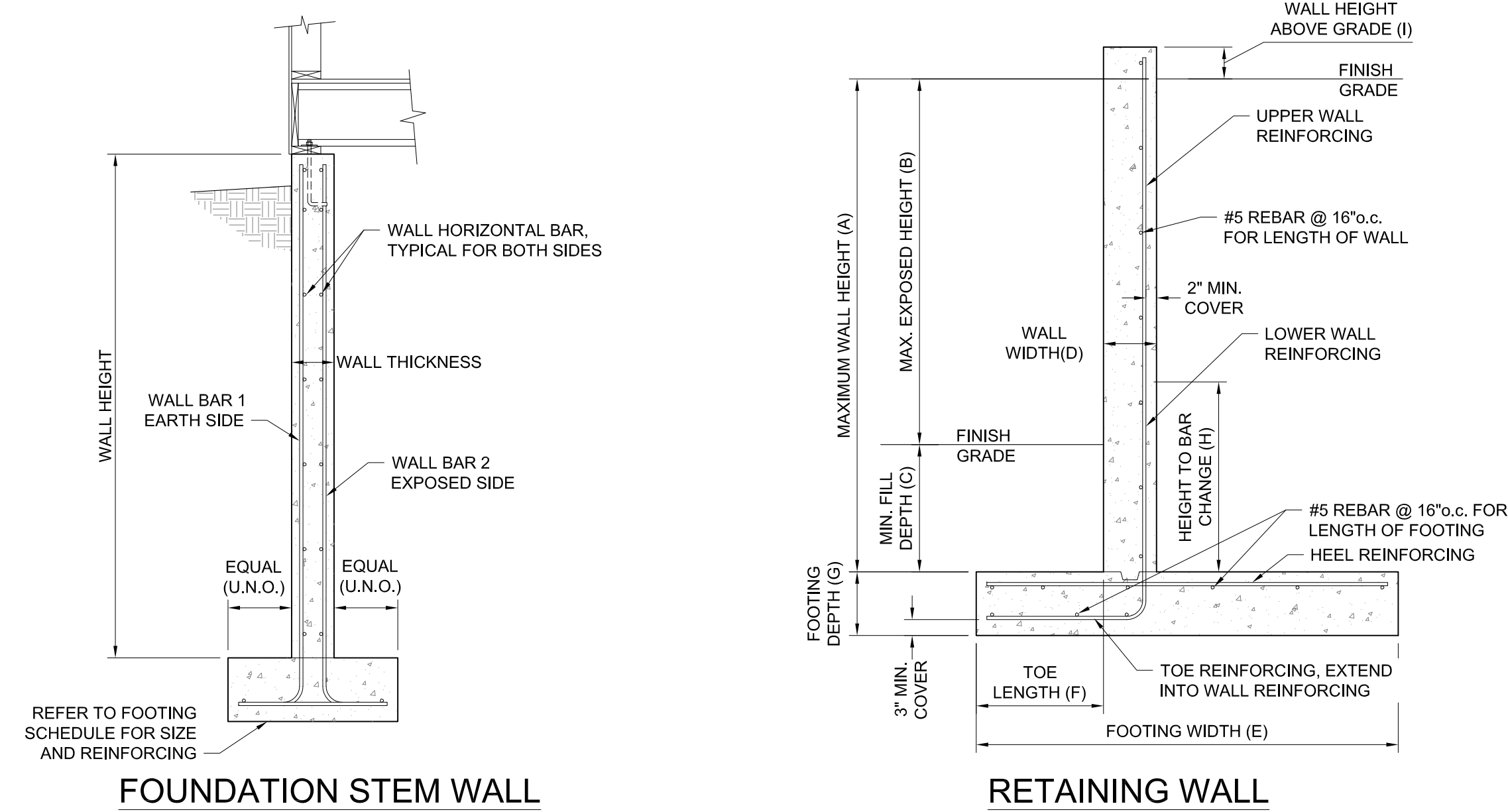
FOOTING SCHEDULE						
TYPE	WIDTH	LENGTH	DEPTH	LONGITUDINAL REINFORCEMENT	TRANSVERSE REINFORCEMENT	NOTES

NOTE:
MINIMUM COVER TO REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, AND 1½" FOR ALL OTHER CONCRETE EXPOSED TO WEATHER, UNLESS NOTED OTHERWISE IN PLANS, SEE TYPICAL DETAILS ON S1.1 FOR TYPICAL REINFORCING BAR COVER DETAILS.



FOUNDATION WALL SCHEDULE						
TYPE	HEIGHT	WALL THICKNESS	WALL BAR 1 EARTH SIDE	WALL BAR 2 EXPOSED SIDE	WALL HORZ.	NOTES

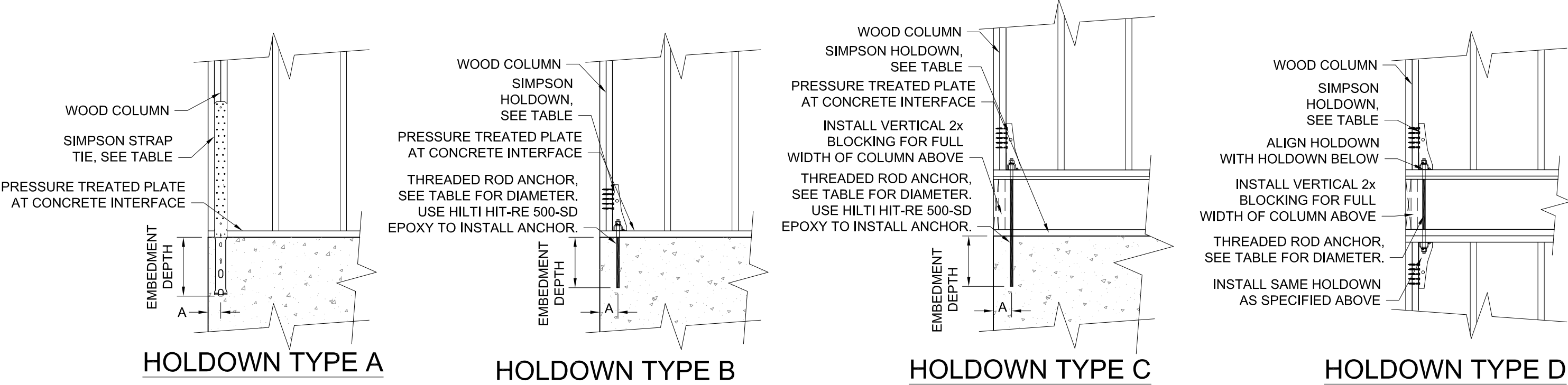
RETAINING WALL SCHEDULE														
TYPE	MAX. WALL HEIGHT (A)	MAX. EXPOSED WALL HEIGHT (B)	MIN. FILL DEPTH (C)	WALL WIDTH (D)	FOOTING WIDTH (E)	TOE LENGTH (F)	FOOTING DEPTH (G)	TOE REINFORCING	HEEL REINFORCING	LOWER WALL REINFORCING	UPPER WALL REINFORCING	HEIGHT TO BAR CHANGE (H)	WALL HEIGHT ABOVE GRADE (I)	NOTES



SHEAR WALL SCHEDULE								
TYPE	SILL PLATE / BOTTOM PLATE (1)	TOP PLATE DETAIL	WALL STUDS	EDGE BLOCKING	SHEATHING THICKNESS (2)	NAIL SIZE	EDGE NAILING SPACING	INTERMEDIATE NAILING SPACING
SW/V	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 8" o.c.	@ 12" o.c.
SW/V	2x	SEE TYPICAL DETAIL ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 4" o.c.	@ 8" o.c.
SW/V	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	8d, (0.131"Øx2½")	@ 3" o.c.	@ 6" o.c.
SW/V	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON ONE SIDE	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.
SW/V	2x	SEE TYPICAL DETAILS ON S1.2	2x @ PANEL EDGES	2x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 4" o.c.	@ 8" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 3" o.c.	@ 6" o.c.
SW/V	3x	SEE TYPICAL DETAILS ON S1.2	3x @ PANEL EDGES	3x @ PANEL EDGES	1½" ON TWO SIDES	10d, (0.131"Øx3")	@ 2" o.c.	@ 6" o.c.

- (1) USE PRESSURE TREATED WOOD WHEN IN CONTACT WITH CONCRETE. ATTACH SHEATHING PANELS WITH GALVANIZED NAILS IN PRESSURE TREATED WOOD.
- (2) SHEATHING TO BE PLYWOOD OR O.S.B. (VERTICAL OR HORIZONTAL ORIENTATION). WHEN REQUIRED, PROVIDE BLOCKING AT UNSUPPORTED EDGES ABOVE AND BELOW OPENINGS.

HOLDOWN SCHEDULE								
TYPE	HOLDOWN SIZE	HOLDOWN TYPE	ANCHOR DIAMETER	MINIMUM ANCHOR	ANCHOR OFFSET DIMENSION "A"	MINIMUM COLUMN SIZE	FASTENERS TO COLUMN	NOTES
1	LSTDH8	A	N/A	N/A	3"	TRIPLE 2x	16ea. 16d SINKERS	USE SIMPSON LSTDH8RJ WHEN INSTALLING OVER RIM BOARD
2	STHD10	A	N/A	N/A	3"	TRIPLE 2x	20ea. 16d SINKERS	USE SIMPSON STHD10RJ WHEN INSTALLING OVER RIM BOARD
3	HDU2	B, C, & D	5⁄8"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	6ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
4	STHD14	A	N/A	N/A	3"	TRIPLE 2x	24ea. 16d SINKERS	USE SIMPSON STHD14RJ WHEN INSTALLING OVER RIM BOARD
5	HDU4	B, C, & D	5⁄8"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	10ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
6	HDU5	B, C, & D	5⁄8"Ø	SIMPSON SSTB24	4½"	DOUBLE 2x	14ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
7	HDU8	B, C, & D	7⁄8"Ø	SIMPSON SB7⁄8x24	4½"	4x POST	20ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
8	HDU8	B, C, & D	7⁄8"Ø	SIMPSON SB7⁄8x24	5½"	TRIPLE 2x	20ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
9	HDU11	B, C, & D	1"Ø	SIMPSON SB1x30	6½"	6x6 POST	30ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING
10	HDU14	B, C, & D	1"Ø	SIMPSON SB1x30	8½"	6x6 POST	36ea. SDS ½"Øx2½" SCREWS	INSTALL AT CENTERLINE OF WALL FRAMING



MINIMUM FASTENING SCHEDULE		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
Roof		
Blocking between ceiling joists, rafters or trusses to top plate or other framing below	3ea. 3"x0.131"Ø nails	Each end, toenail
Ceiling joists to top plate	3ea. 3"x0.131"Ø nails	Each joist, toenail
Ceiling joist not attached to parallel rafter, laps over partitions (no thrust) (see Section 2308.7.3.1, Table 2308.7.3.1)	3ea. 12d common (¾"x0.162"Ø); or 4ea. 3"x0.131"Ø nails	Face nail
Ceiling joist attached to parallel rafter (heel joint) (see Section 2308.7.3.1, Table 2308.7.3.1)	2ea. 16d common (¾"x0.162"Ø) to top plate 3ea. 16d common (¾"x0.162"Ø) to parallel rafter	Toenail Face nail
Rafter or roof truss to top plate (See Section 2308.7.5, Table 2308.7.5)	3ea. 12d common (¾"x0.135"Ø); or 4ea. 3"x0.131"Ø nail	Toenail
Roof rafters to ridge valley or hip rafters; or roof rafter to 2-inch ridge beam	2ea. 12d common (¾"x0.162"Ø); or 3ea. 3"x0.131"Ø nails	End nail
Wall		
Stud to stud (not at braced wall panels)	12d common (¾"x0.162"Ø)	24" o.c. face nail
Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	12d common (¾"x0.162"Ø)	16" o.c. face nail
Built-up header (2" to 2" header)	12d common (¾"x0.162"Ø)	16" o.c. each edge, face nail
Continuous header to stud	4ea. 12d common (¾"x0.162"Ø)	Toenail
Top plate to top plate	2ea. 12d common (¾"x0.162"Ø) for 2x4 studs 3ea. 12d common (¾"x0.162"Ø)	16" o.c. face nail
Top plate to top plate, at end joints	2ea. 12d common (¾"x0.162"Ø) @16"o.c. (2x4) 3ea. 12d common (¾"x0.162"Ø) @16"o.c. (2x6)	Each side of end joint, face nail (minimum 48" lap splice length each side of end joint)
Bottom plate to joist, rim joist band joist or blocking (not at braced wall panels)	12d common (¾"x0.162"Ø)	16" o.c. face nail
Bottom plate to joist, rim joist, band joist or blocking at braced wall panels	2ea. 12d common (¾"x0.162"Ø)	16" o.c. face nail
Top or bottom plate to stud	2ea. 12d common (¾"x0.162"Ø) for 2x4 studs 3ea. 12d common (¾"x0.162"Ø) for 2x6 studs	End nail
Top plates, laps at corners and intersections	4ea. 12d common (¾"x0.162"Ø)	Face nail
Floor		
Joist to sill, top plate, or girder	3ea. 10d common (3"x0.128"Ø)	Toenail
Rim joist, band joist, or blocking to top plate, sill or other framing below	10d common (3"x0.128"Ø)	6" o.c., toenail
Ledger strip supporting joists or rafters	3ea. 12d common (¾"x0.162"Ø) for 2x6 studs 4ea. 12d common (¾"x0.162"Ø) for 2x8 studs 5ea. 12d common (¾"x0.162"Ø) for 2x10 studs	Each joist or rafter, face nail
Joist to band joist or rim joist	3ea. 12d common (¾"x0.162"Ø)	End nail
Bridging or blocking to joist, rafter or truss	2ea. 10d common (3"x0.128"Ø)	Each end, toenail

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION	
Wood structural panels (WSP), subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing			
		Edges (inches)	Intermediate supports (inches)
3/8" - 1 1/2"	8d common (2 1/2"x0.131"Ø) (roof and wall)	6	12
1 1/2" - 3 1/4"	10d common (3"x0.131"Ø) (roof and wall)	6	12
Wood structural panels, combination subfloor underlayment to framing			
3/4" and less	8d common (2 1/2"x0.131"Ø)	6	12

ALTERNATE STAPLE SCHEDULE FOR APA RATED SHEATHING			
0.131"Øx2½" NAIL SPACING AS SPECIFIED IN SHEAR WALL SCHEDULE	14 GAUGE	15 GAUGE	16 GAUGE
@ 12" o.c.	@ 8" o.c.	@ 8" o.c.	@ 6" o.c.
@ 6" o.c.	@ 4" o.c.	@ 4" o.c.	@ 3" o.c.
@ 4" o.c.	@ 3" o.c.	@ 2" o.c.	@ 2" o.c.
@ 3" o.c.	@ 3" o.c.	@ 2" o.c.	NONE
@ 2" o.c.	NONE	NONE	NONE

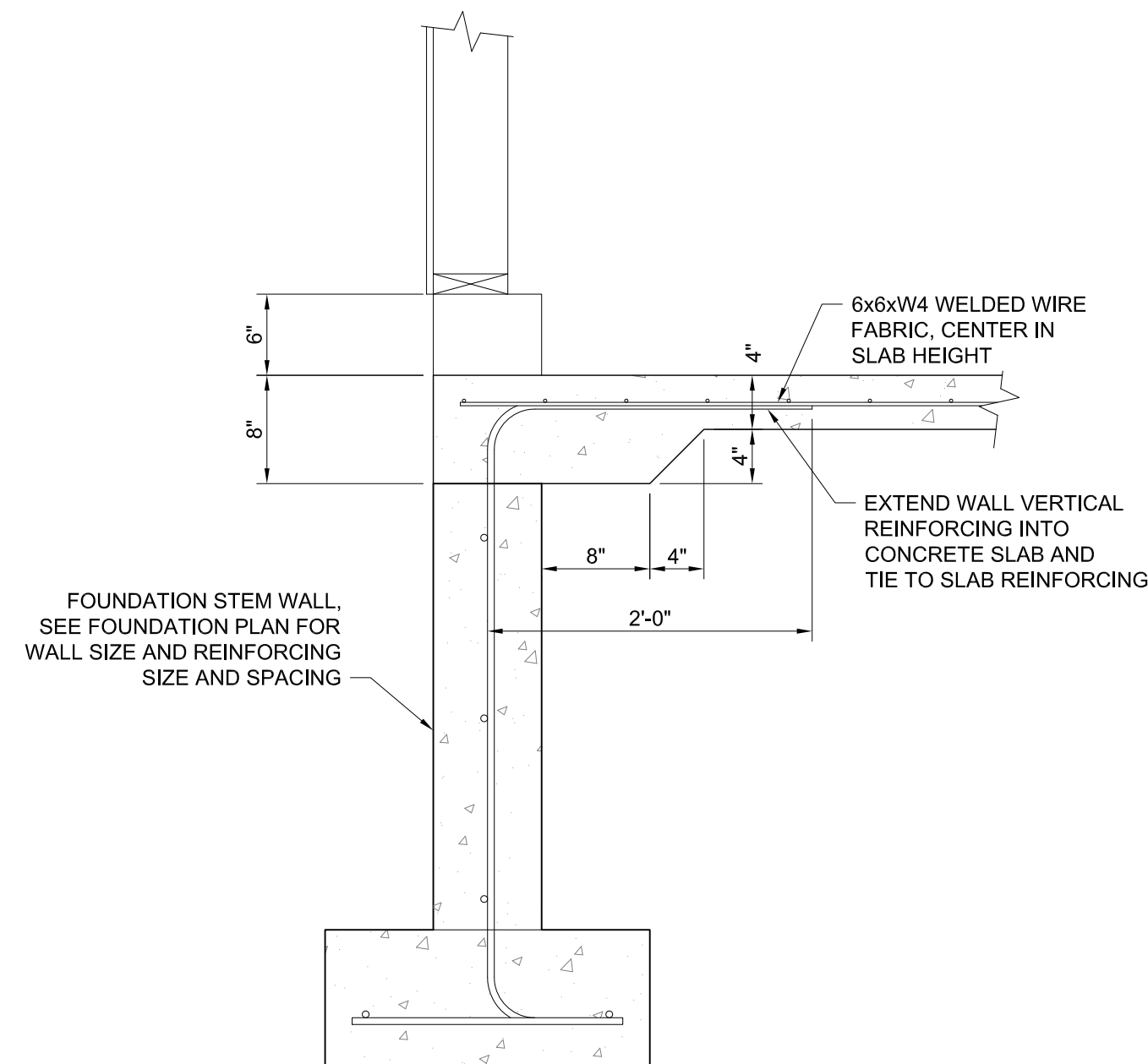
1. ALL STAPLES TO HAVE ⅛" MIN. CROWN WIDTH AND MUST BE INSTALLED WITH THEIR CROWN PARALLEL TO LONG DIMENSION OF THE FRAMING MEMBER.
2. MINIMUM PENETRATION FOR ALL STAPLE GAUGES IS 1½".
3. FASTENER SPACING @ 2" o.c. OR LESS REQUIRES NOMINAL 3x MEMBERS.



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

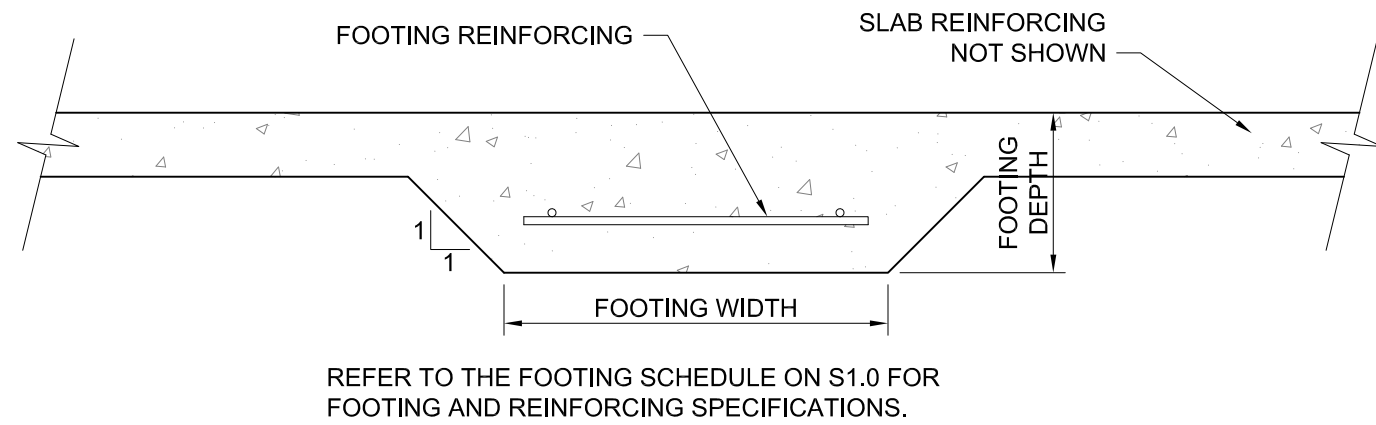
SHEET TITLE:
SCHEDULES

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020
PROJECT NUMBER	
09040	
SHEET	
S1.1	

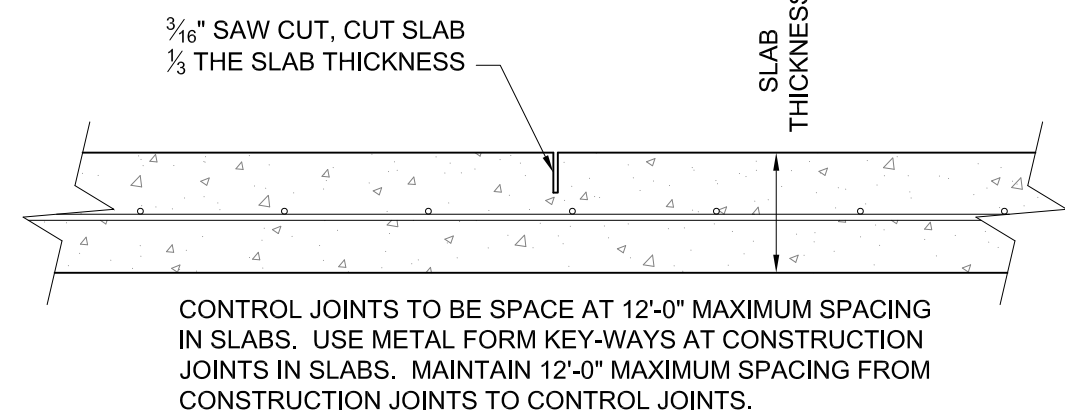


TYPICAL BLOCK-OUT DETAIL

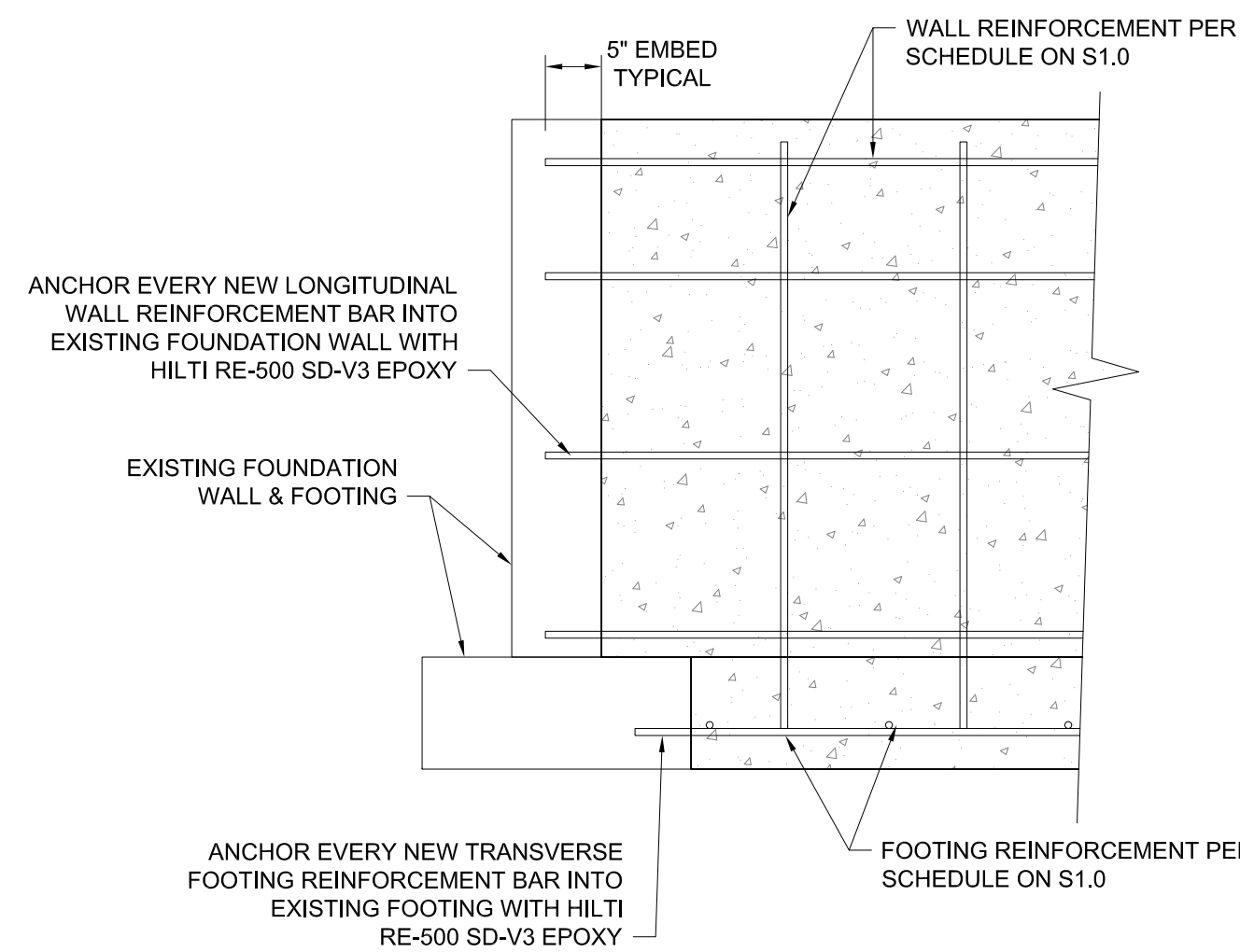
SCALE: 1"=1'-0" @ EXTERIOR DOOR LOCATIONS



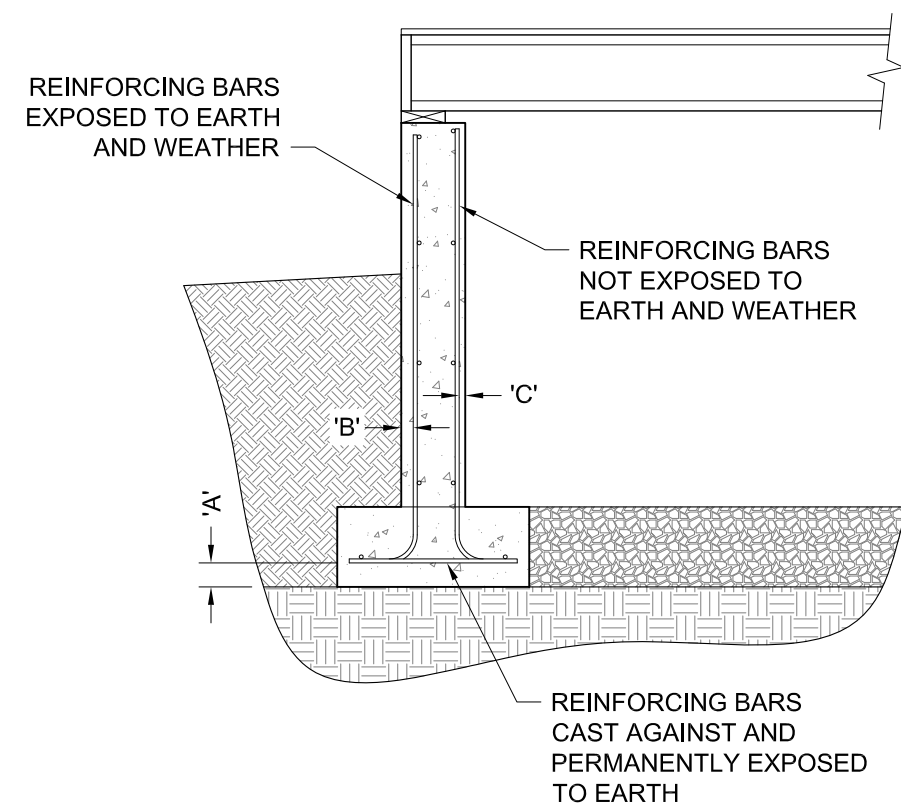
TYPICAL MONOLITHIC FOOTING DETAIL
SCALE: 1"=1'-0" @ CONCRETE SLABS



TYPICAL SLAB CONTROL JOINTS



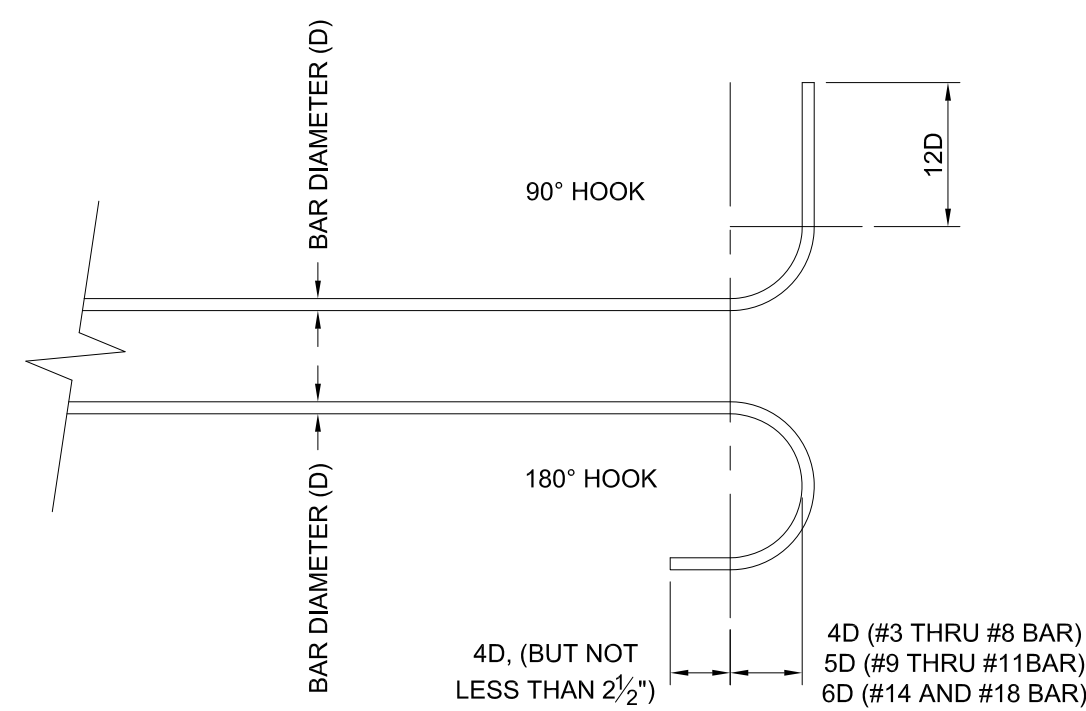
TYPICAL NEW FND TO EXISTING FND DETAIL
SCALE: 3/4"=1'-0"



MINIMUM REINFORCING BAR COVER DISTANCES

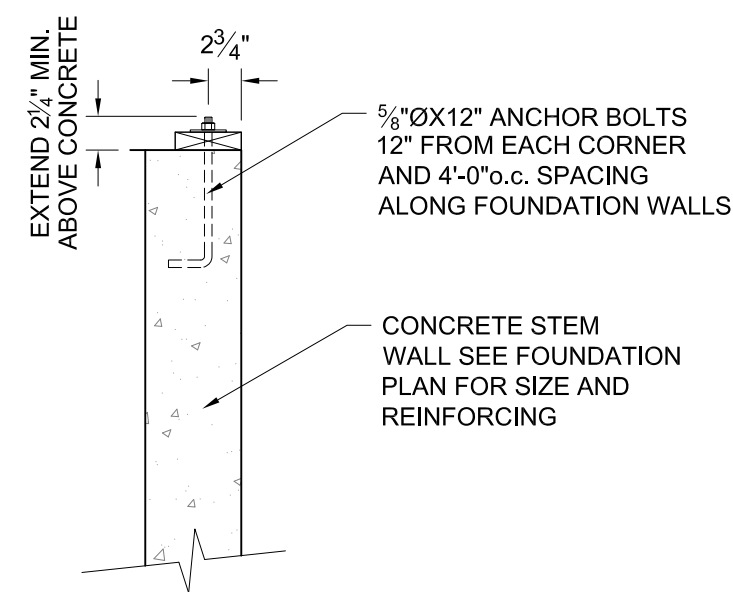
MINIMUM REINFORCING BAR COVER DISTANCES		
LOCATION	COVER DISTANCE	NOTES
'A'	3" MINIMUM	FOR ALL REINFORCING BAR SIZES
'B'	2" MINIMUM	FOR #6 BAR THROUGH #18 BAR
'B'	1½" MINIMUM	FOR #5 BAR AND SMALLER
'C'	1½" MINIMUM	FOR #14 AND #18 BARS
'C'	¾" MINIMUM	FOR #11 BARS AND SMALLER
BEAMS AND COLUMNS	1½" MINIMUM	FOR PRIMARY REINFORCEMENT, TIES, STIRRUPS, AND SPIRALS

NOTE:
USE THE ABOVE MINIMUM COVER DISTANCES WHEN THE ACTUAL
LOCATIONS ARE NOT SPECIFIED IN THE STRUCTURAL NOTES,
SCHEDULES, OR STRUCTURAL DETAILS.



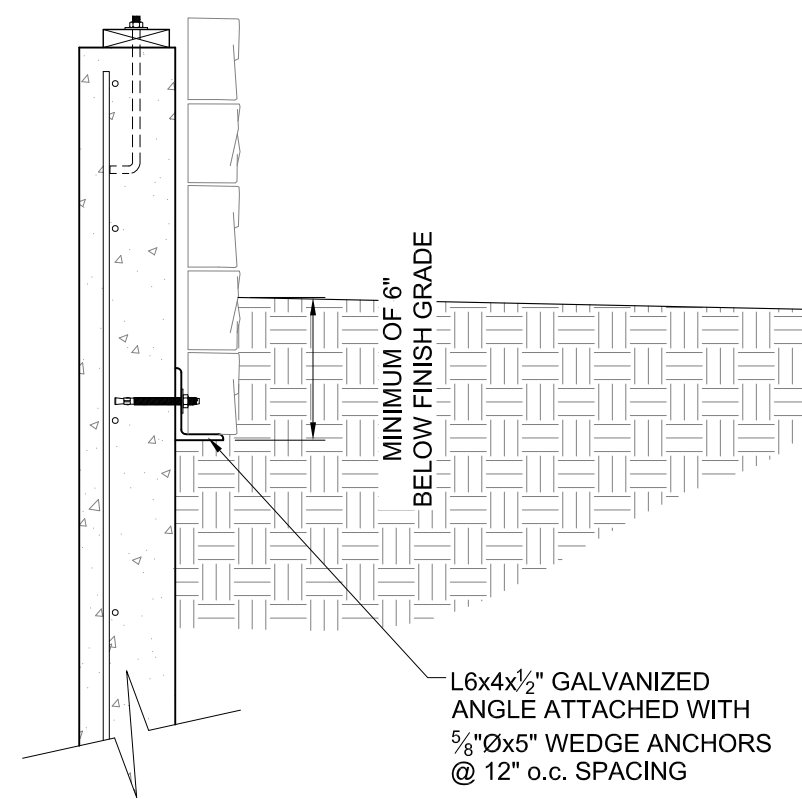
STANDARD REBAR HOOK AND BEND

SCALE: 1½"=1'-0" PER ACI 318-14, CHAPTER 25, SECTION 25.3.1



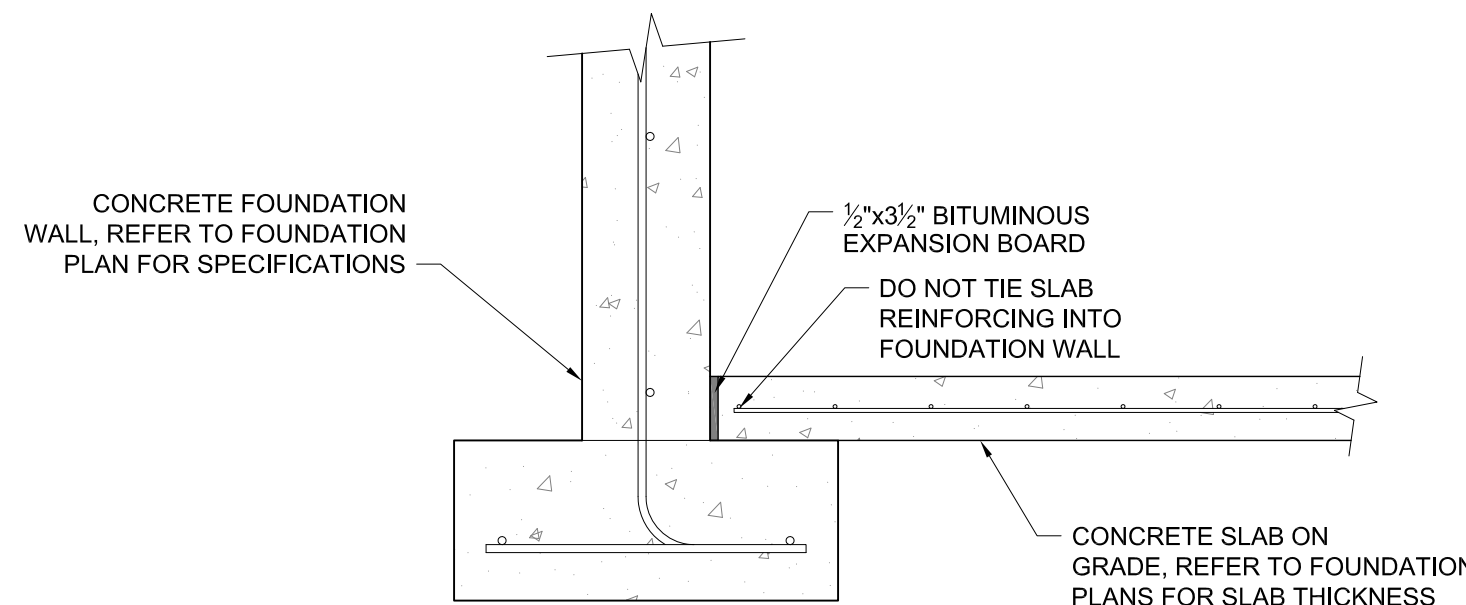
TYPICAL ANCHOR BOLT LAYOUT

SCALE: $\frac{3}{4}"=1'-0"$

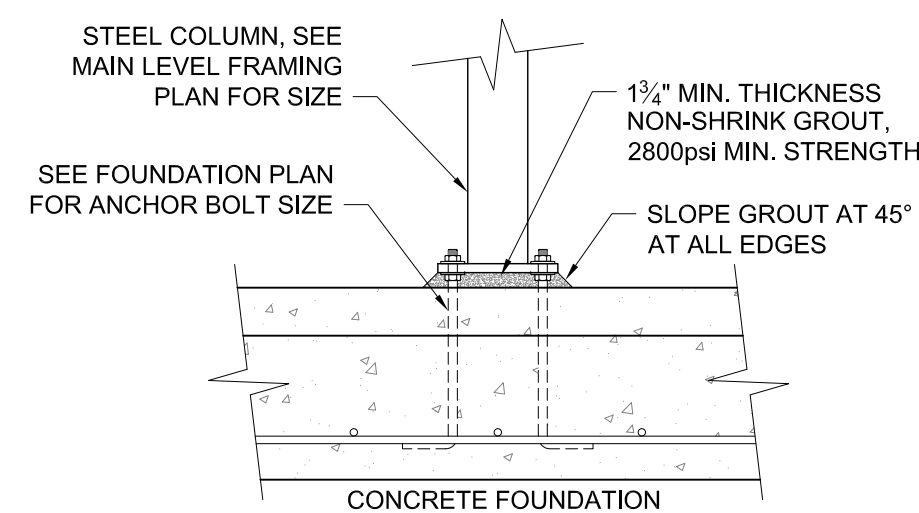


STONE LEDGER DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ TALL FOUNDATION WALL

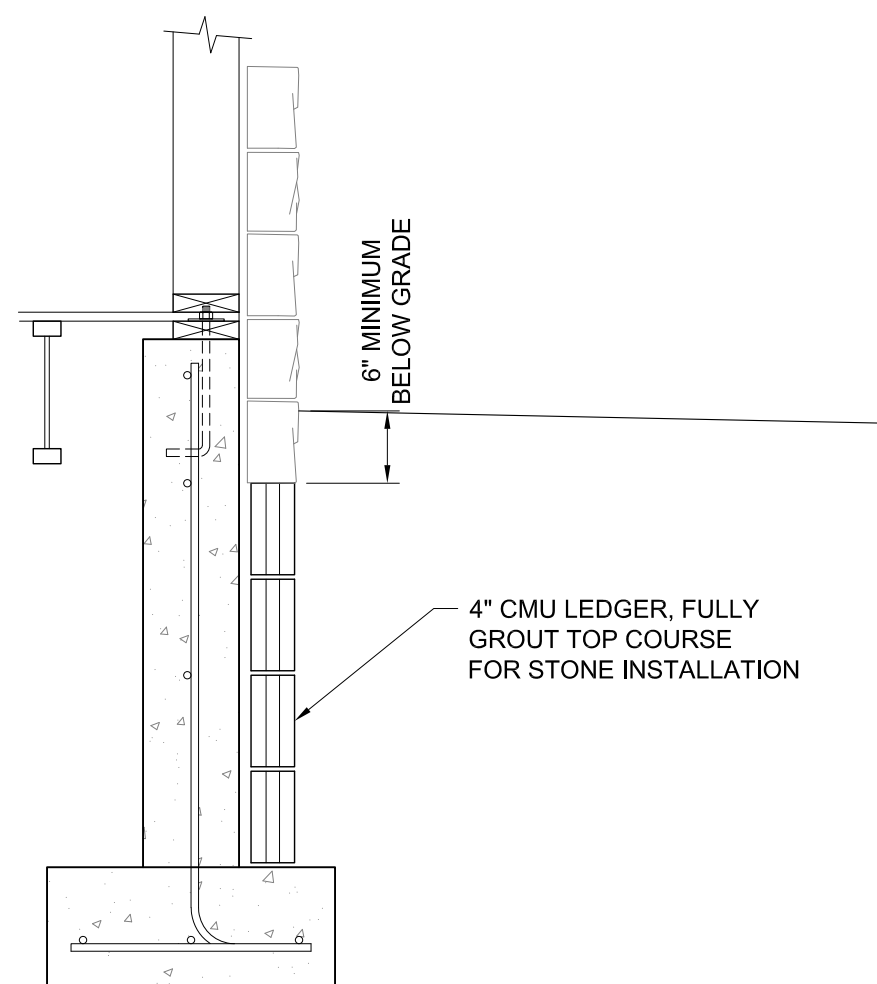


TYPICAL SLAB/FOUNDATION CONNECTION
SCALE: 1"=1'-0"



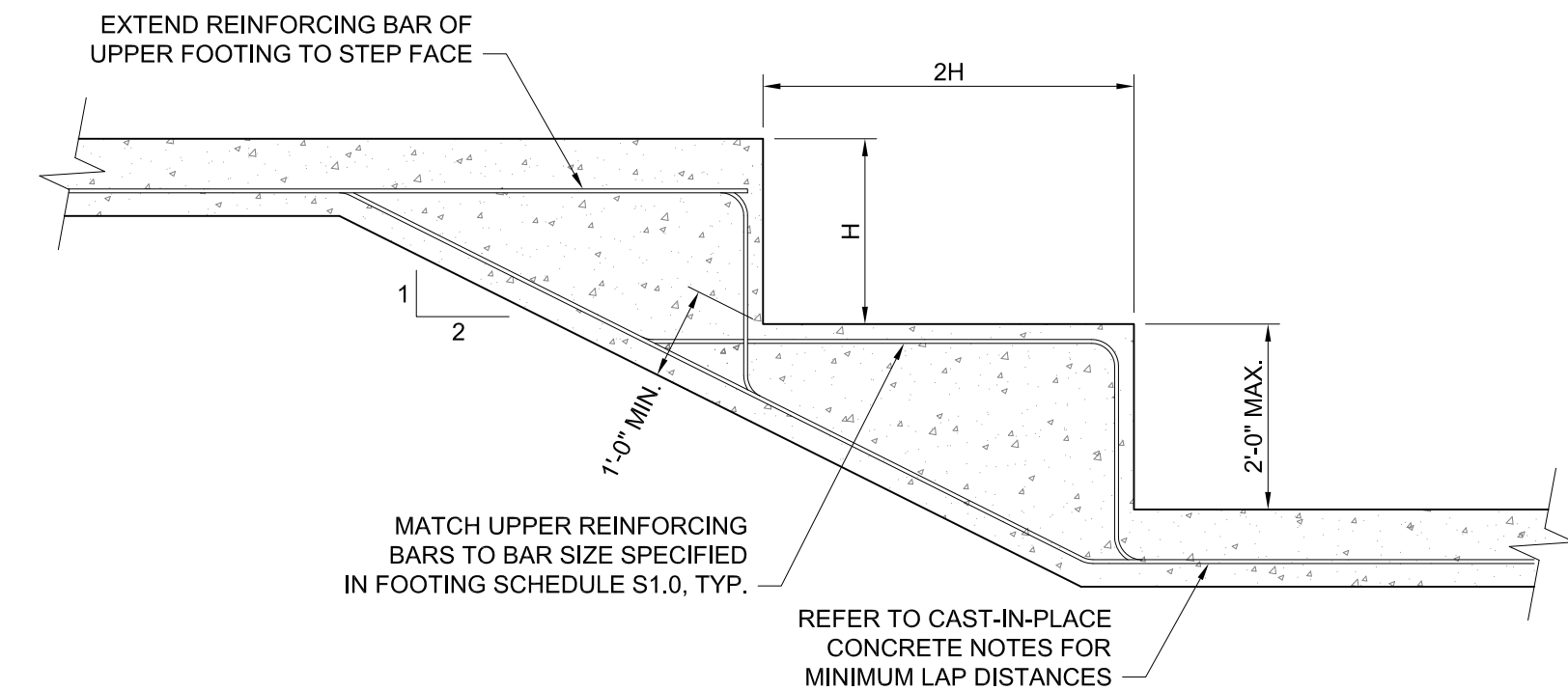
TYPICAL GROUT DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ STEEL COLUMN BASES

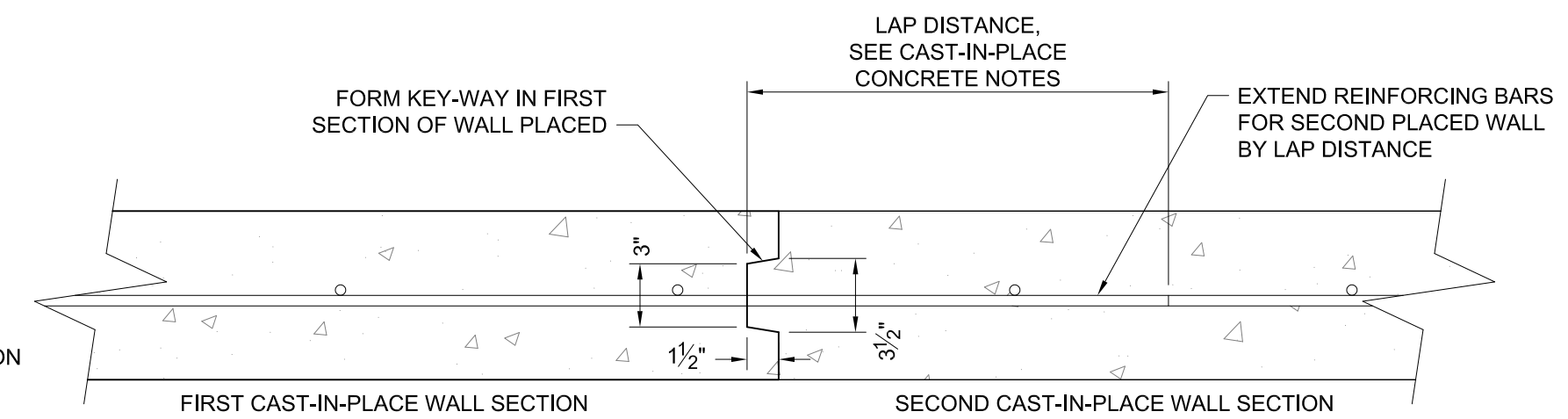


STONE LEDGER DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ SHORT FOUNDATION WALL

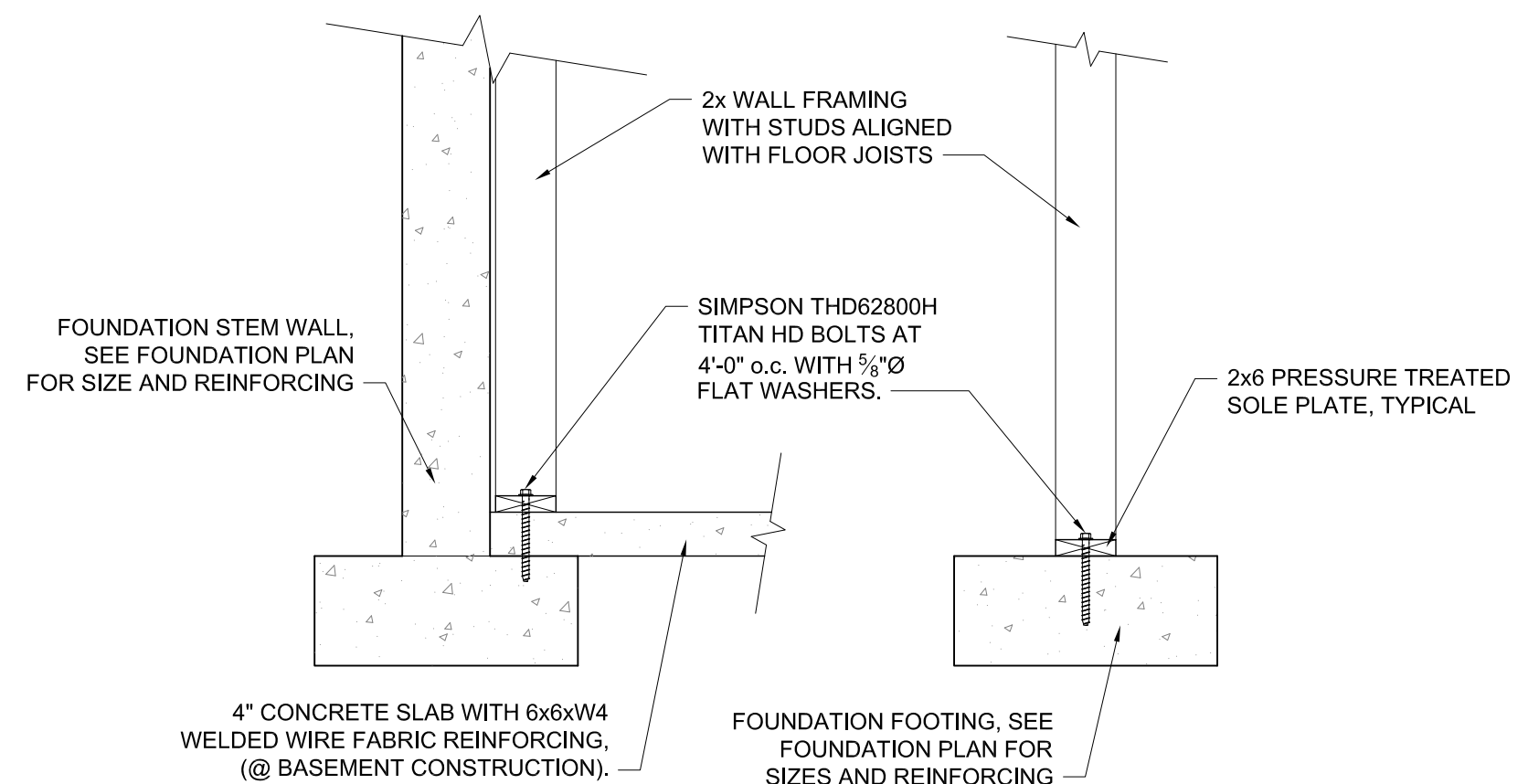


TYPICAL FOOTING STEP DETAIL



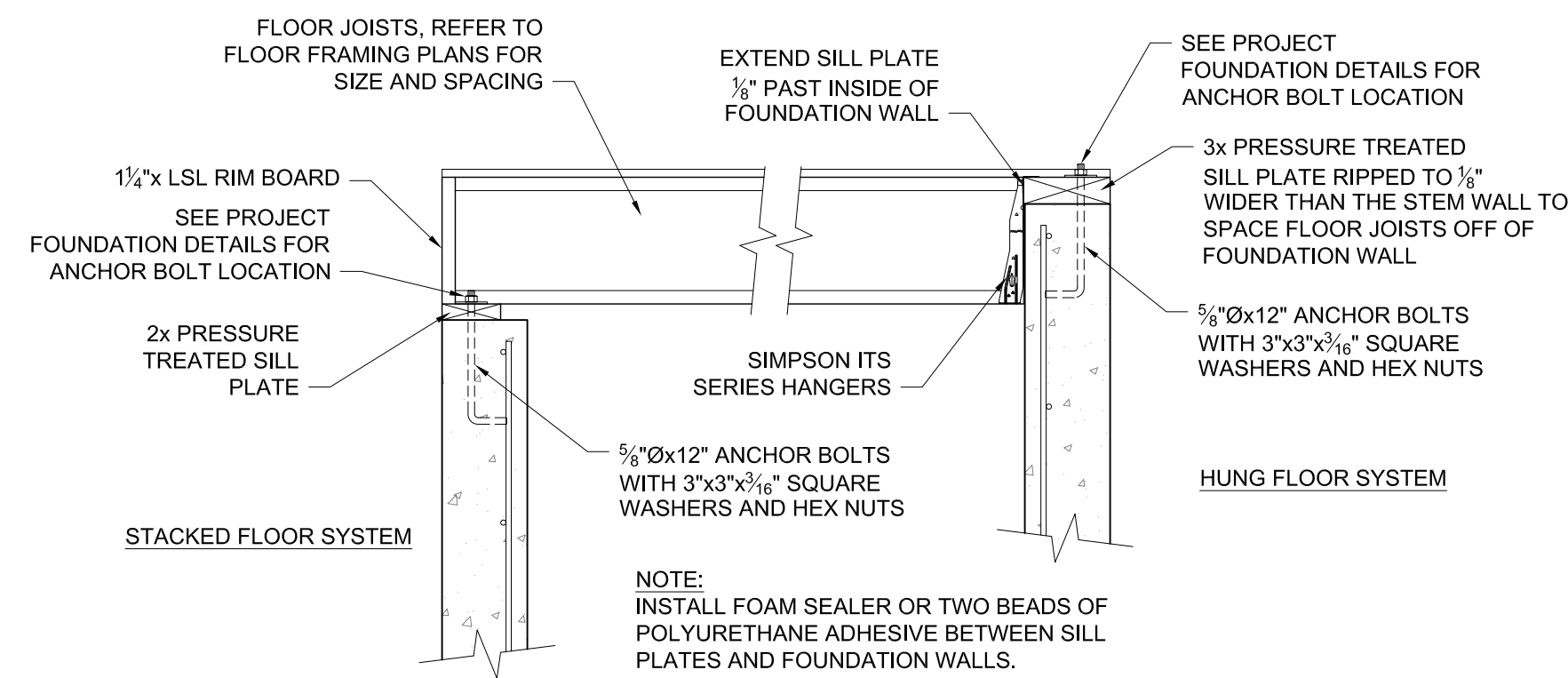
CONSTRUCTION JOINT DETAIL

SCALE: 1½"=1'-0" @ CAST-IN-PLACE CONCRETE WALLS

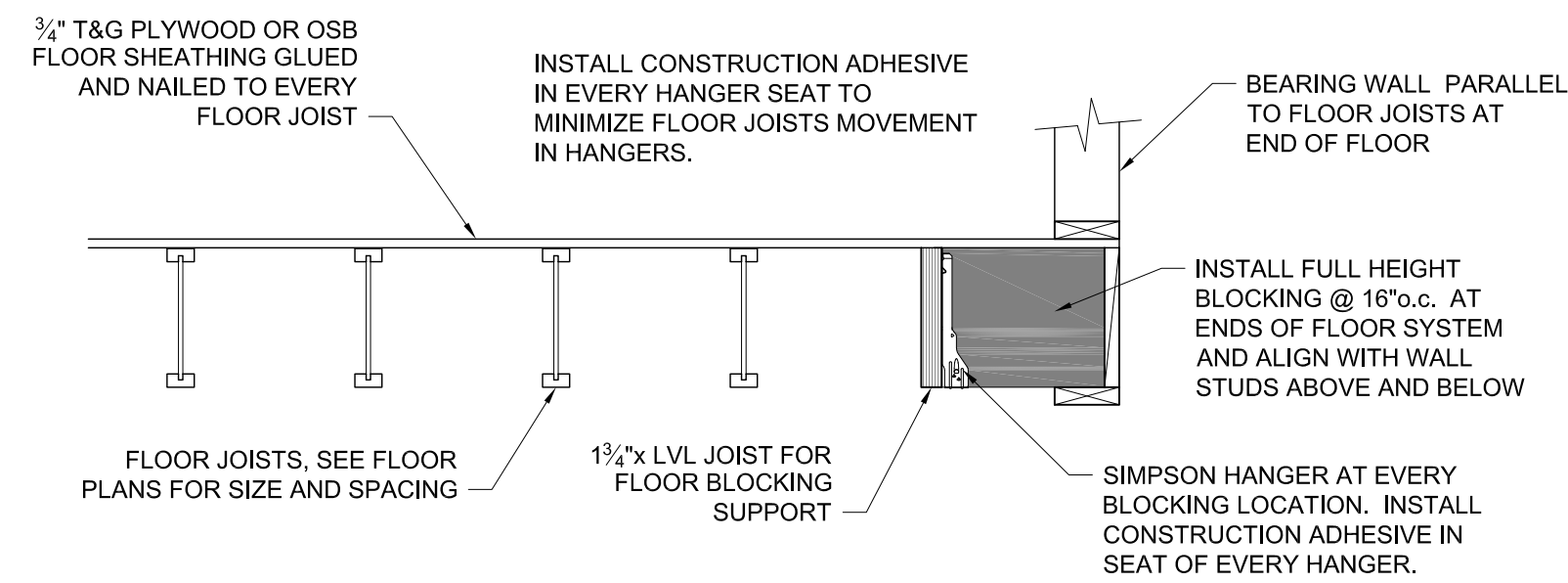


WALL CONNECTION DETAIL

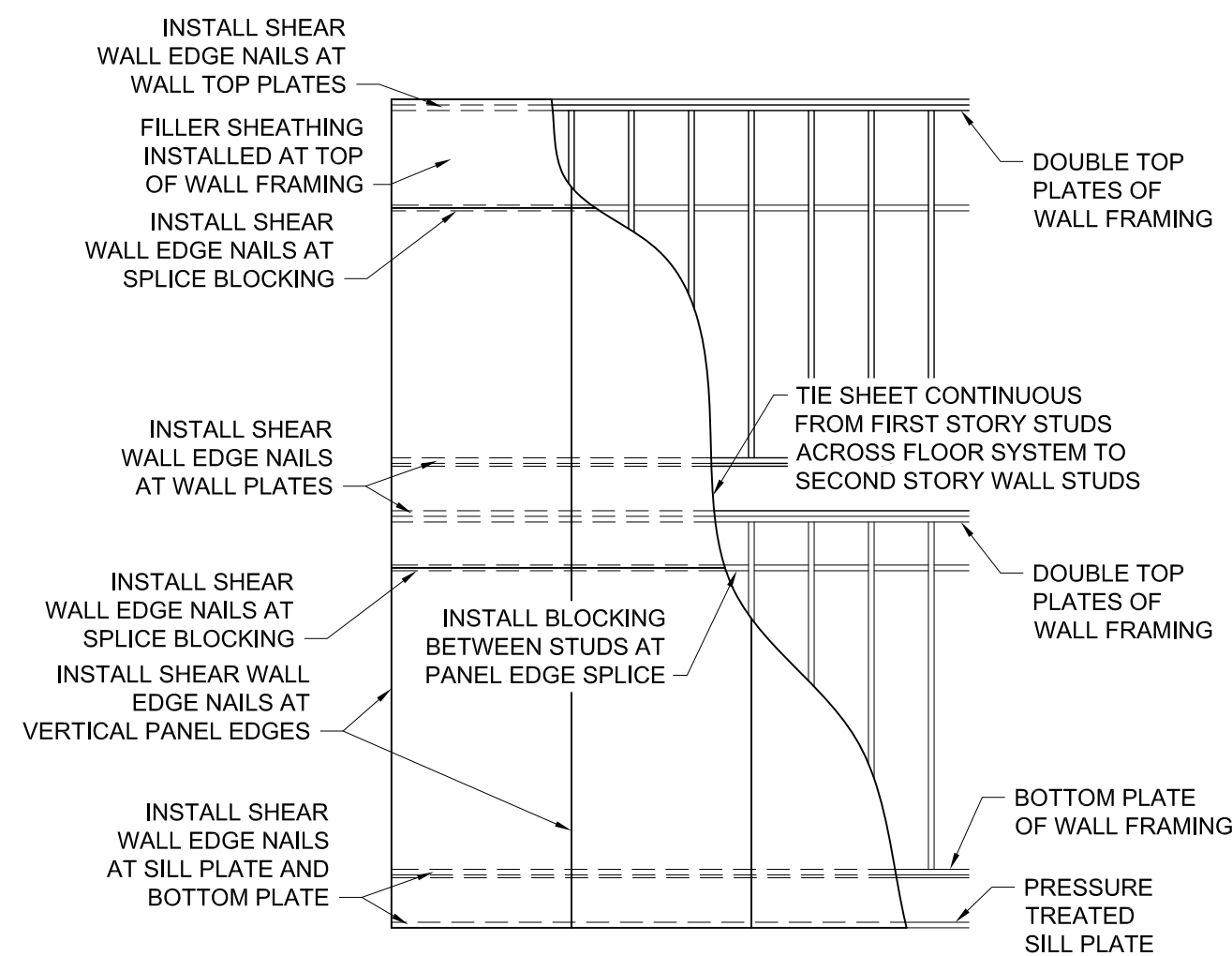
SCALE: $\frac{3}{4}"=1'-0"$ @ FOOTINGS AND SLABS



TYPICAL SILL PLATE INSTALLATION

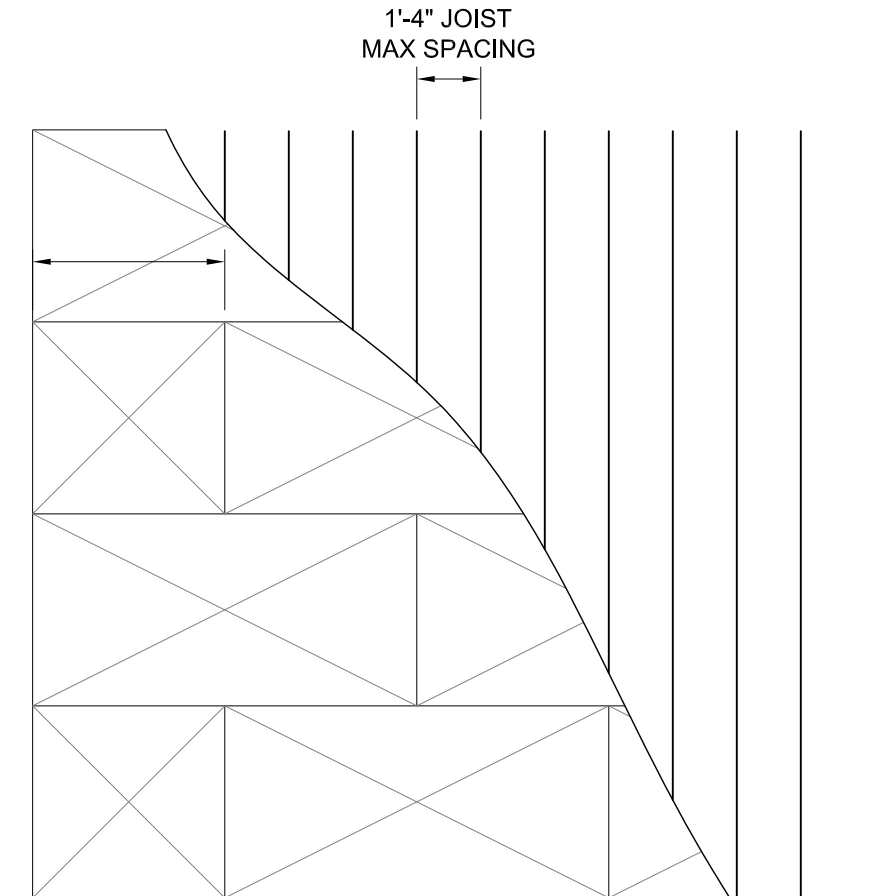


TYPICAL FLOOR CONSTRUCTION DETAIL
SCALE: 3/4"=1'-0" @ BEARING WALLS



WALL SHEATHING DETAIL

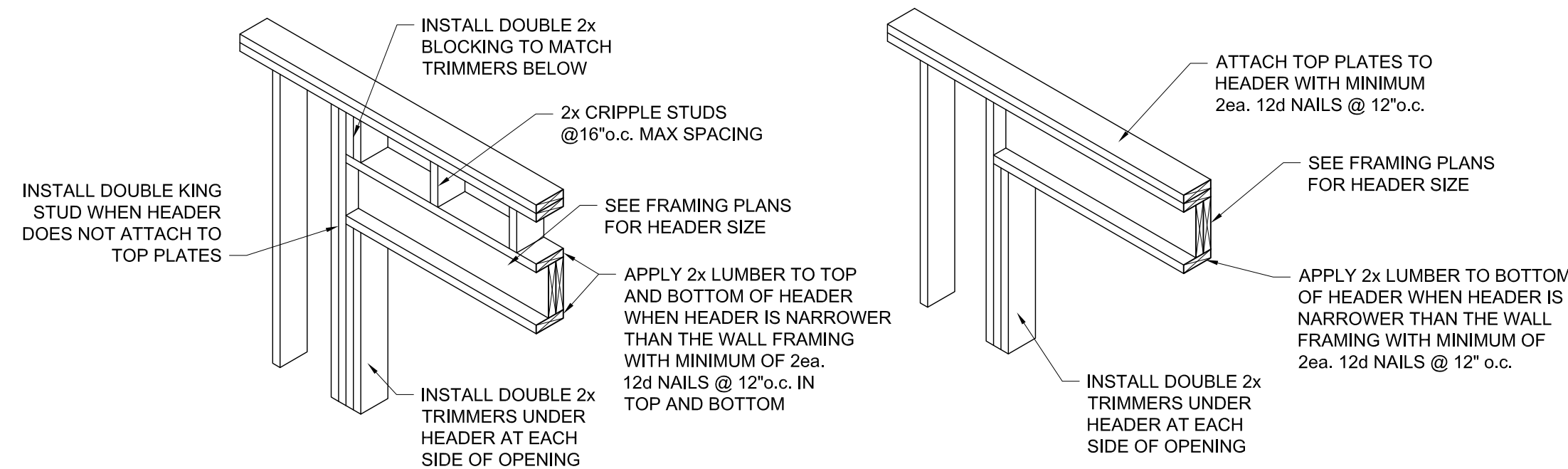
SCALE: $\frac{1}{4}"=1'-0"$



FLOOR SHEATHING DETAIL

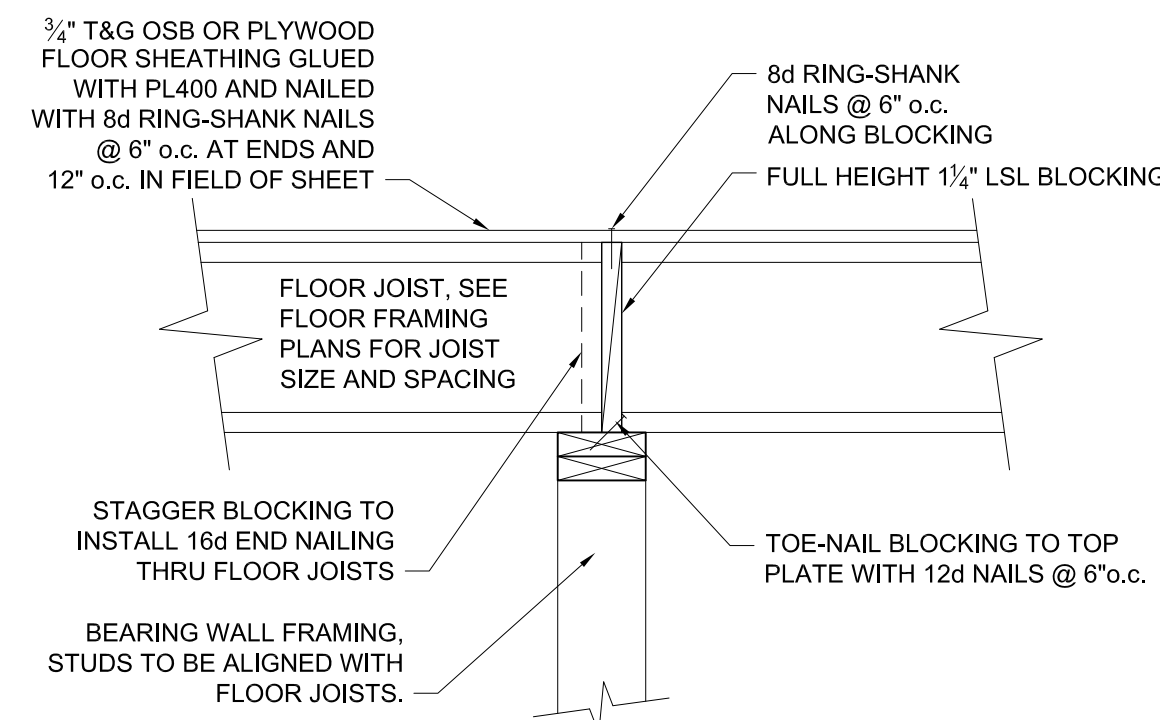
SCALE: 1/4"=1'-0"

**NOTE: FLOOR SHEATHING NAILING TO BE MINIMUM:
8d NAILS @ 4" EDGES & 8" INTERMEDIATE**



TYPICAL HEADER INSTALLATION DETAIL
SCALE: 1/2"=1'-0"

APPLICABLE TO OPENING UP TO 6'-0" WIDE



TYPICAL BLOCKING DETAIL

@ FLOOR JOISTS

MINIMUM DISTANCE (D) FROM ANY SUPPORT TO CENTERLINE OF THE HOLE

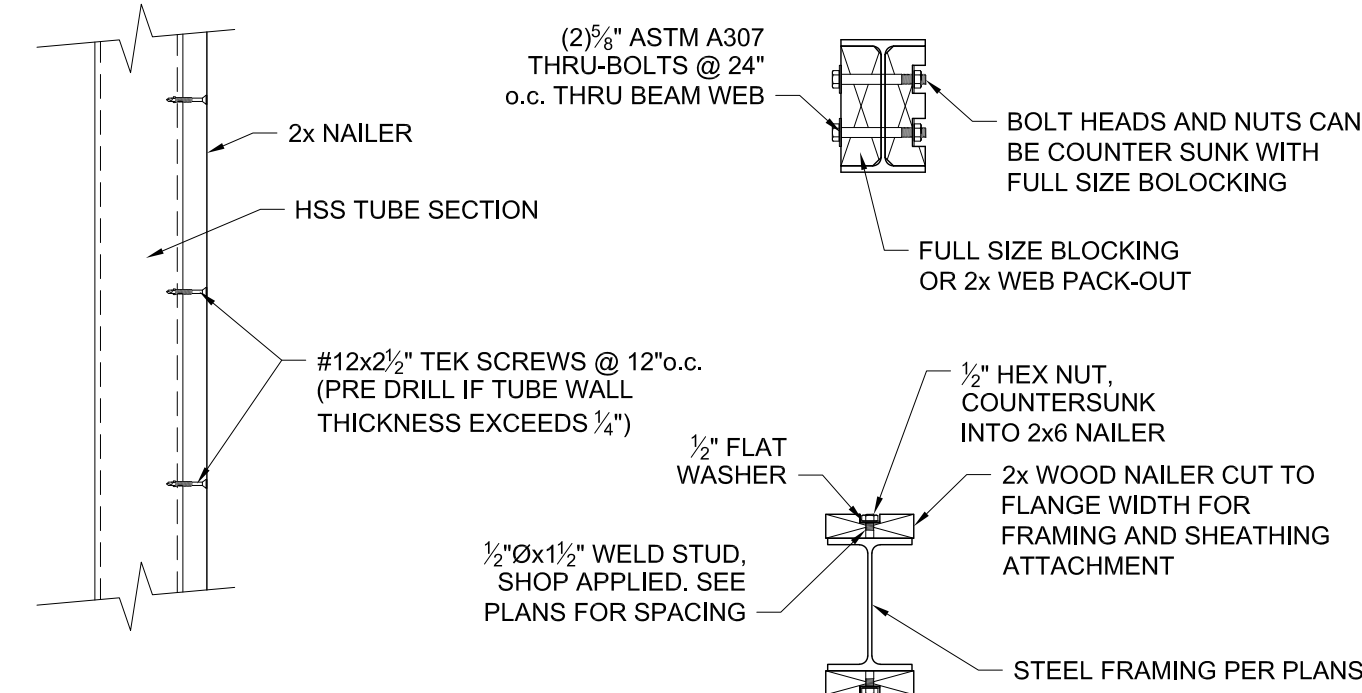
Round Hole Diameter [in]		2	3	4	5	6	7												
Rectangular Side [in]		-	-	-	3	5	7												
ANY 9/16" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-8"	2'-4"	2'-11"	3'-7"											
		12	1'-0"	1'-7"	2'-7"	3'-6"	4'-5"	5'-4"											
		16	1'-10"	2'-2"	3'-5"	4'-8"	5'-11"	7'-2"											
Round Hole Diameter [in]		2	3	4	5	6	7	8	8 1/2										
Rectangular Side [in]		-	-	-	2	3	5	7	8										
ANY 1 1/8" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-6"	2'-0"	2'-5"	2'-11"	3'-5"	3'-10"									
		12	1'-0"	1'-7"	2'-3"	3'-0"	3'-8"	4'-5"	5'-1"	5'-9"									
		16	1'-2"	2'-1"	3'-0"	4'-0"	4'-11"	5'-10"	6'-10"	7'-8"									
		20	1'-5"	2'-7"	3'-10"	5'-0"	6'-2"	7'-4"	8'-6"	9'-7"									
Round Hole Diameter [in]		2	3	4	5	6	7	8	8 1/2	10	11								
Rectangular Side [in]		-	-	-	2	3	5	6	8	9									
ANY 1 1/4" JOIST	SPAN [ft]	8	1'-0"	1'-1"	1'-2"	1'-6"	1'-11"	2'-4"	2'-9"	3'-3"	3'-8"								
		12	1'-0"	1'-1"	1'-2"	1'-7"	2'-3"	2'-11"	3'-6"	4'-1"	4'-10"								
		16	1'-0"	1'-1"	1'-3"	2'-2"	3'-0"	3'-10"	4'-9"	5'-6"	6'-6"								
		20	1'-0"	1'-1"	1'-7"	2'-8"	3'-9"	4'-11"	6'-10"	8'-1"	9'-4"								
		24	1'-0"	1'-1"	1'-11"	3'-3"	4'-6"	5'-10"	7'-1"	8'-3"	9'-9"								
		28	1'-0"	1'-1"	1'-11"	3'-3"	4'-6"	5'-10"	7'-1"	8'-3"	9'-9"								

NOTE: HOLES MAY BE POSITIONED VERTICALLY ANYWHERE IN THE WEB. DO NOT CUT FLANGES

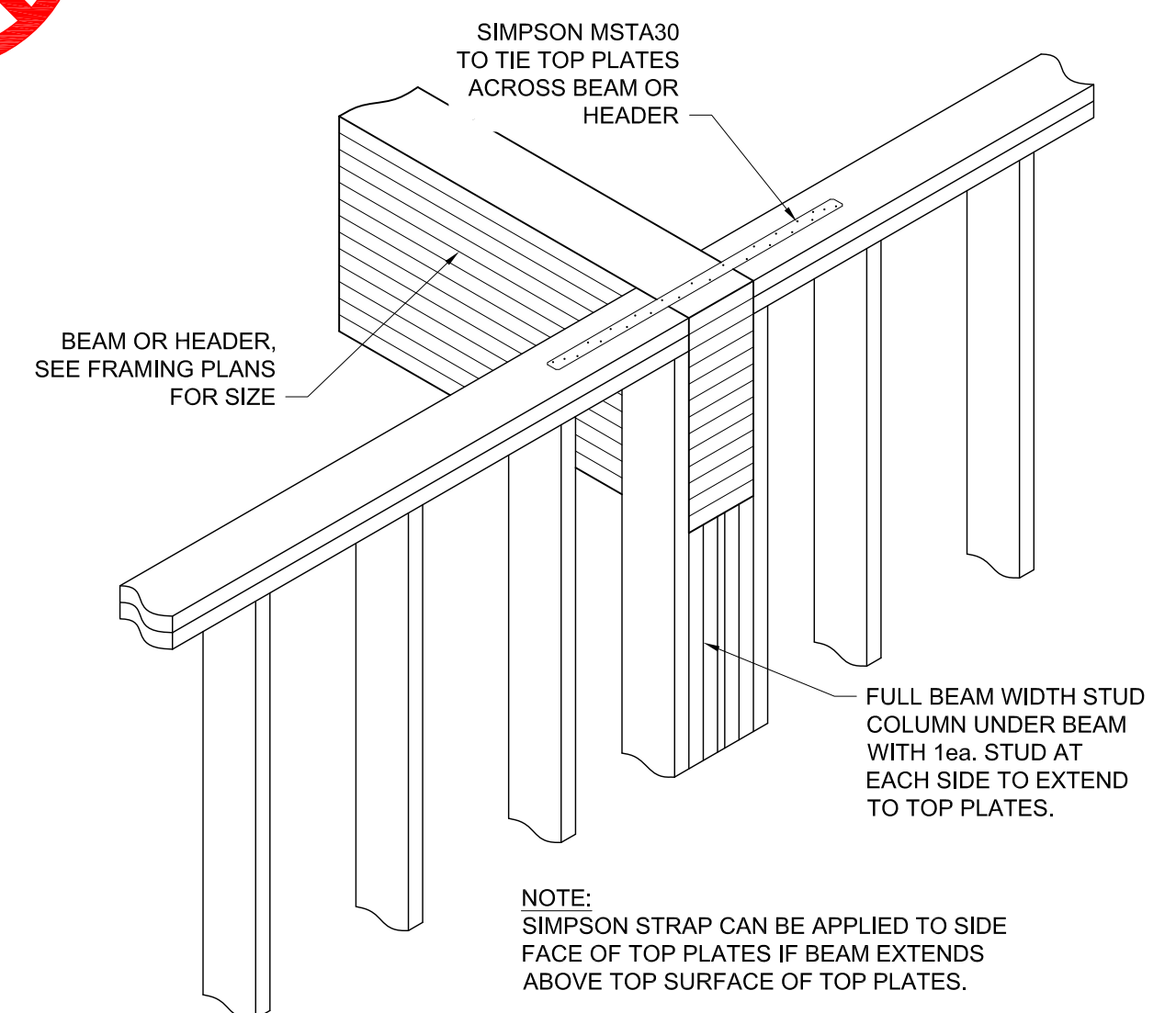
'I'-JOIST NOTCHING DETAIL

SCALE: $\frac{3}{4}"=1'-0"$

TYP. OF FLOOR AND ROOF FRAMING

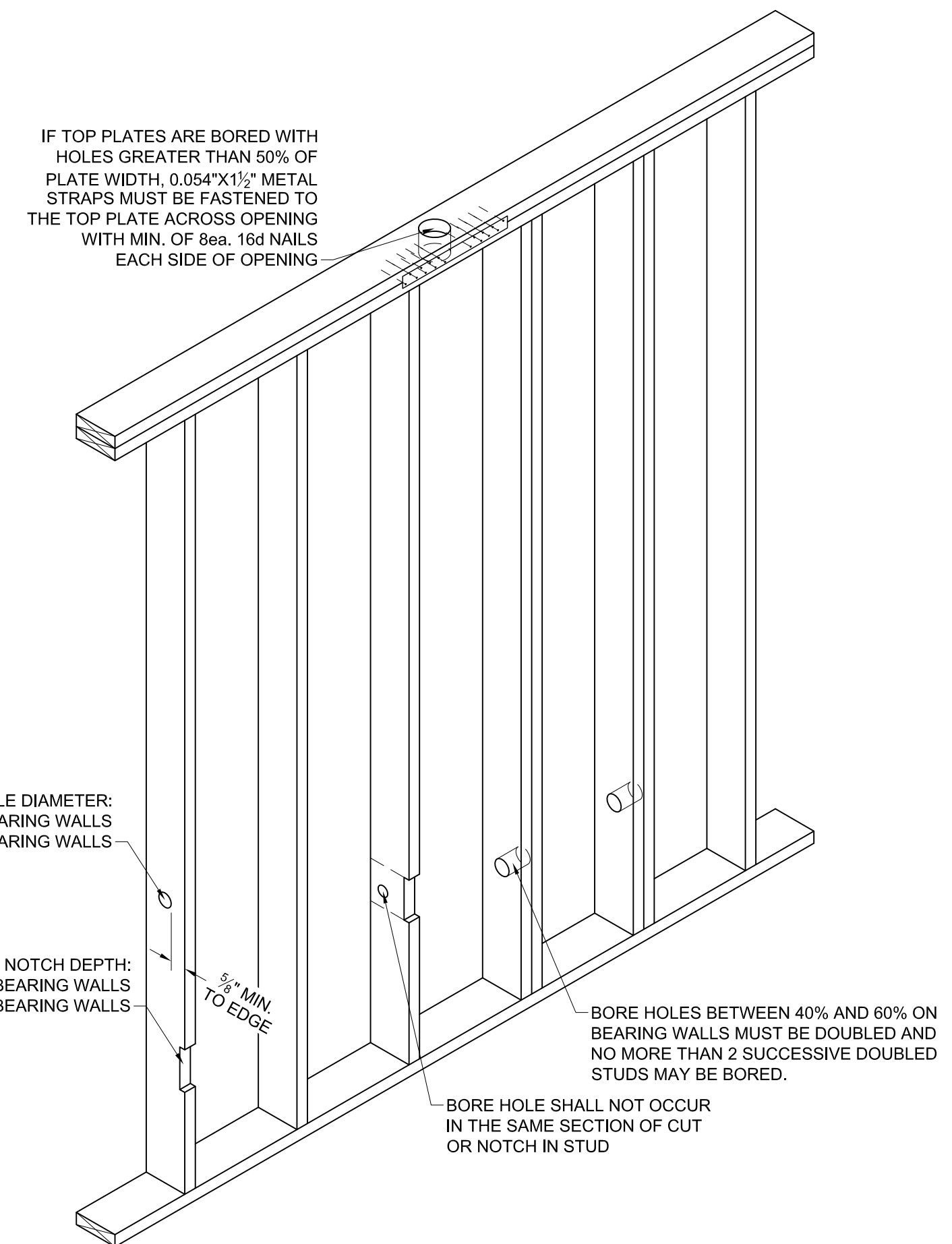


TYPICAL NAILER ATTACHMENT DETAIL



TYPICAL BEAM SUPPORT DETAIL

SCALE: $\frac{3}{4}"=1'-0"$



WALL FRAMING NOTCHING DETAIL

SCALE: $\frac{3}{4}"=1'-0"$

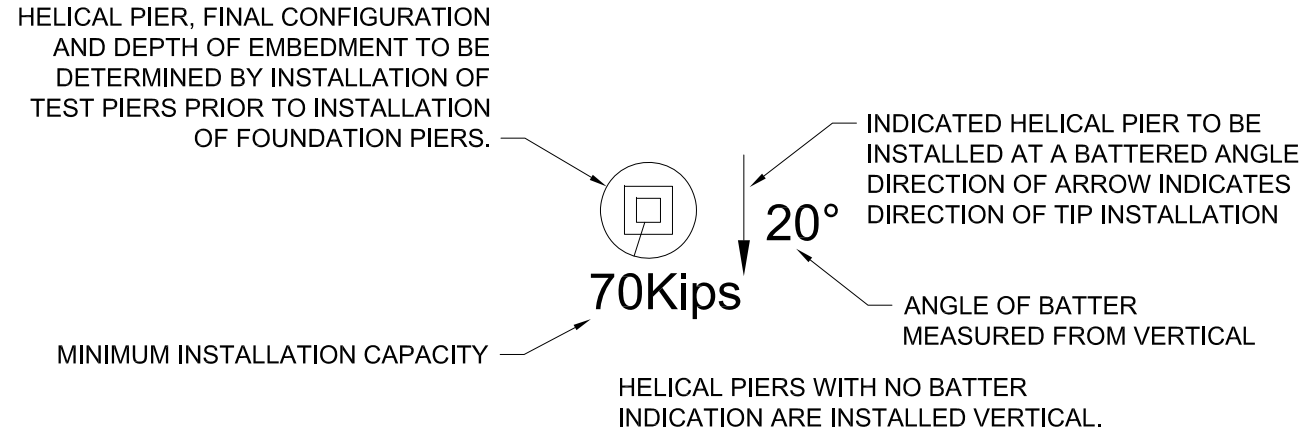
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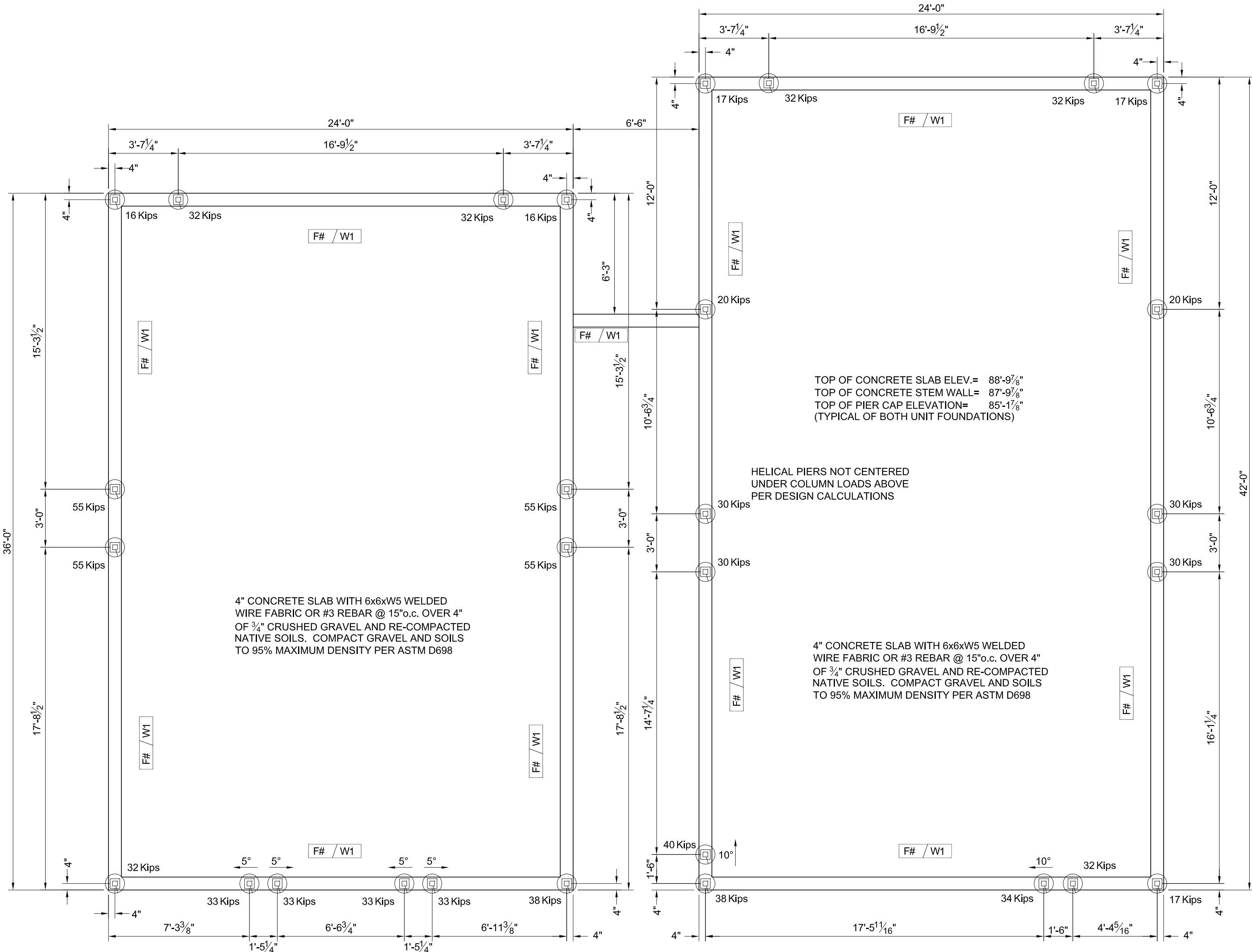
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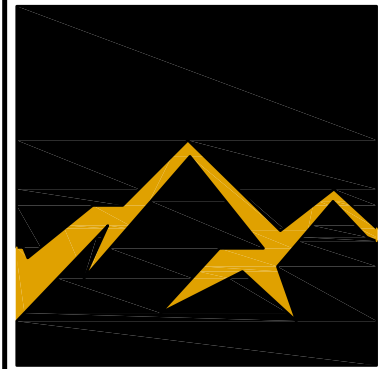
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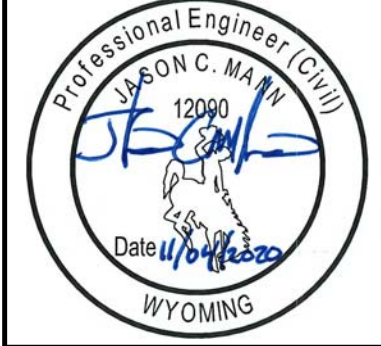
HELICAL PIER LEGEND

SCALE: 1/2"=1'-0"





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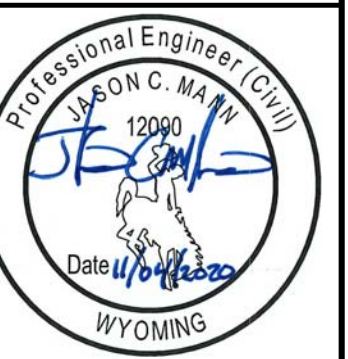
Professional Engineer (CPE)
JORGENSEN C. MAJ
12090
Date 11/04/2020
WYOMING

PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
FOUNDATION PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040
SHEET
S2.0

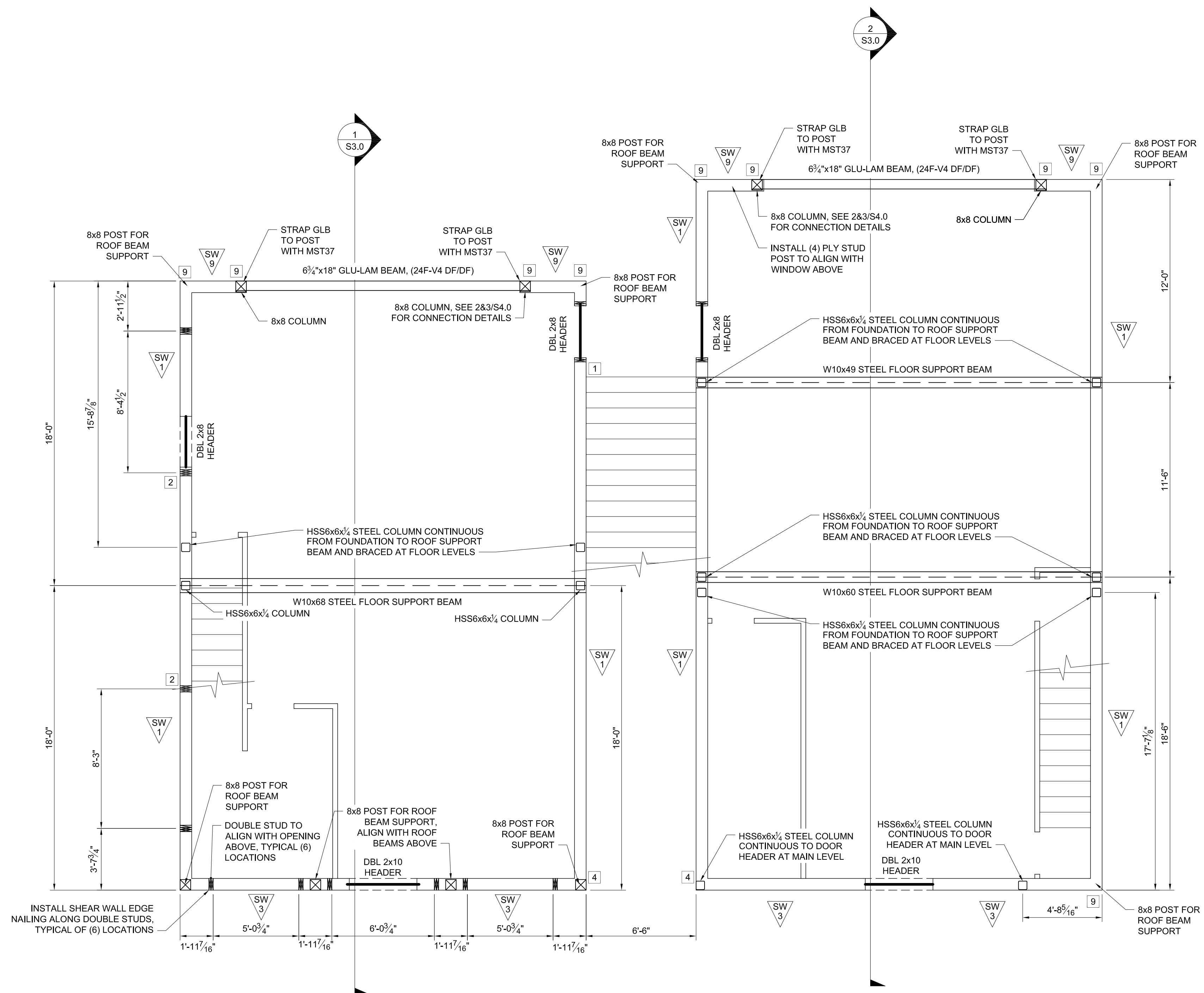


WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

LOWER LEVEL FRAMING PLAN

RAFTED BY:	TJ
VIEWED BY:	JM
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
INST. DOCUMENTS	11/04/2020

PROJECT NUMBER	09040
SHEET	S2.1



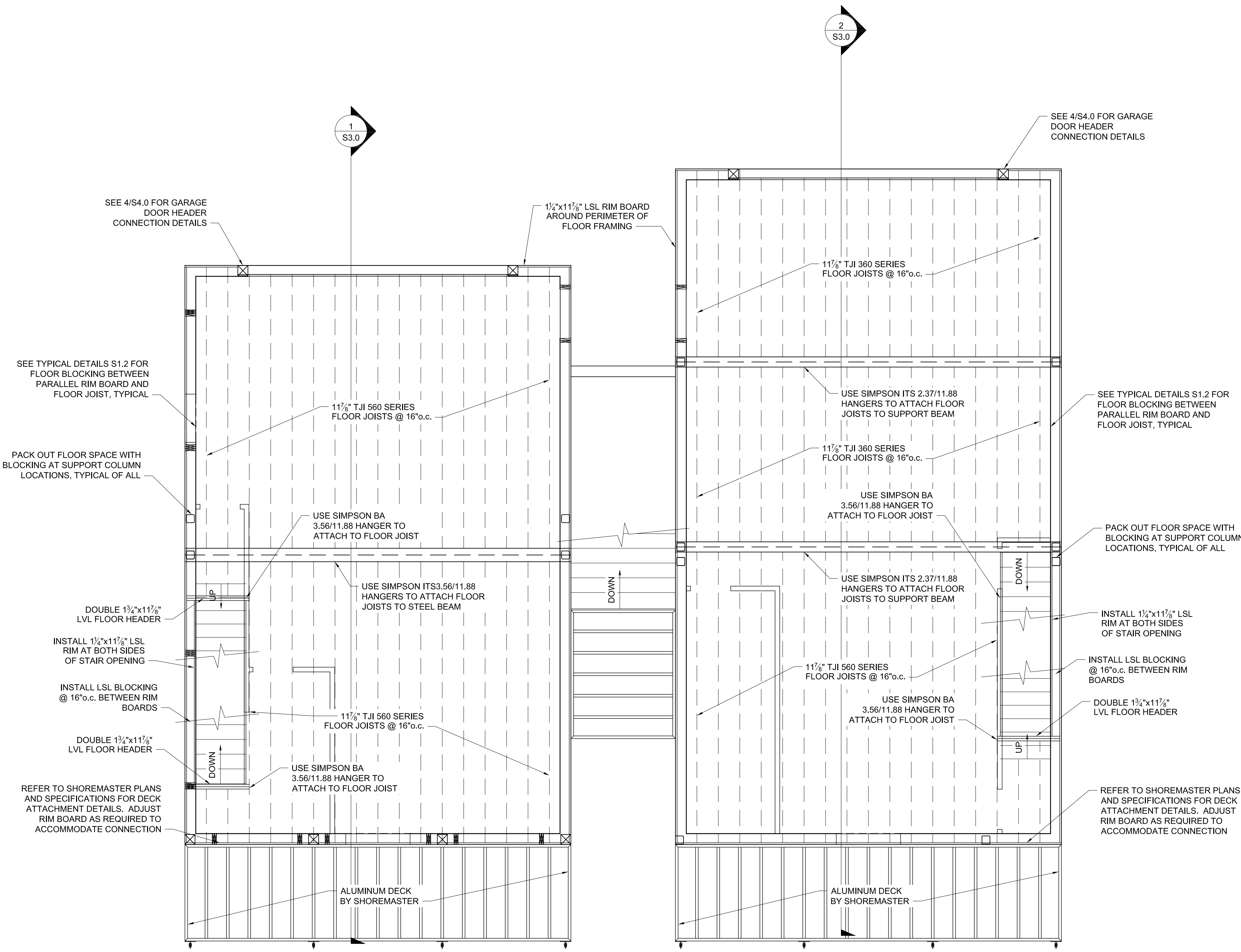
LOWER LEVEL FRAMING PLAN

SCALE: $\frac{1}{4}"=1'-0"$ @3 BEDROOM UNITS

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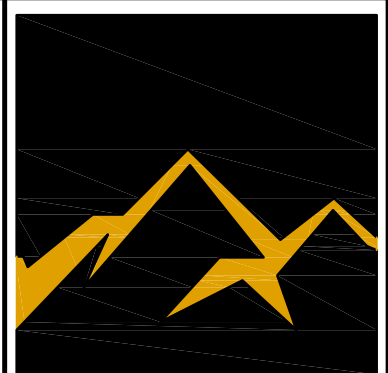
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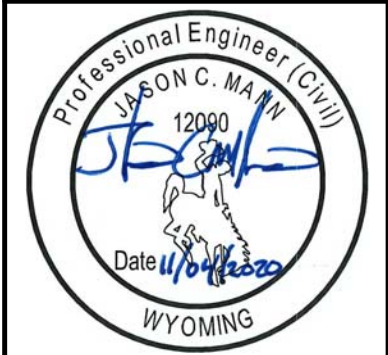
MAIN LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

@3 BEDROOM UNITS



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PROJECT TITLE:
**WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE:
MAIN LEVEL FLOOR PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

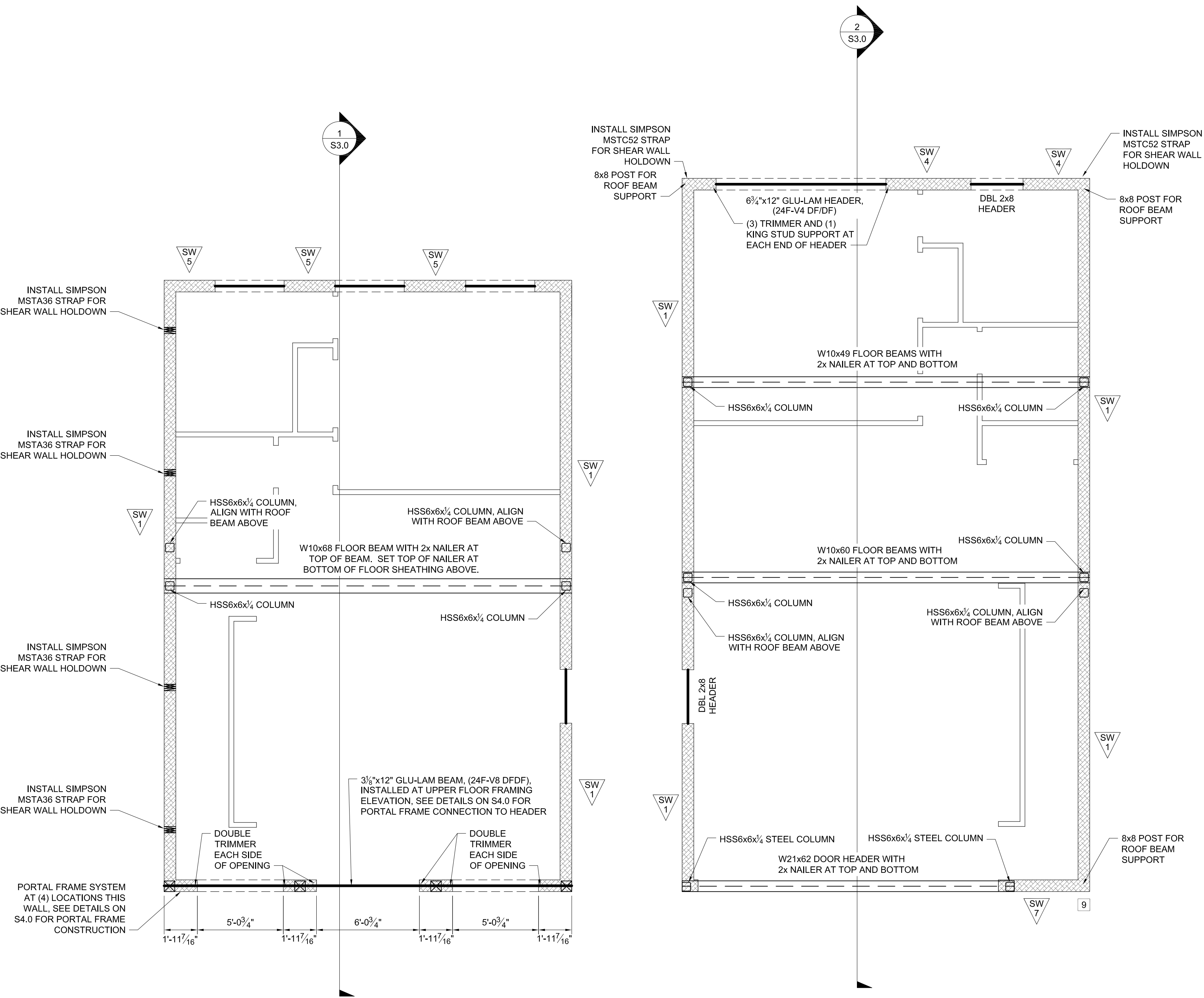
PROJECT NUMBER
09040

SHEET
S2.2

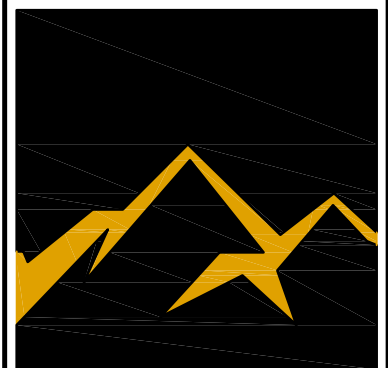
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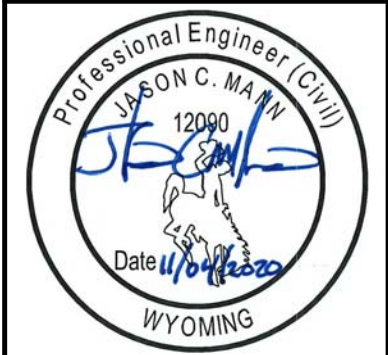
Ver: 15.1
Printed by jorgensen on Nov 04, 2025 - 4:08pm



MAIN LEVEL FRAMING PLAN
SCALE: 1/4"=1'-0" @3 BEDROOM UNITS



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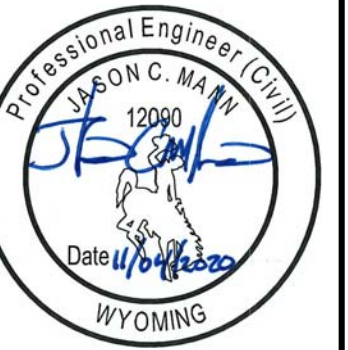


PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
MAIN LEVEL FRAMING PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040
SHEET
S2.3

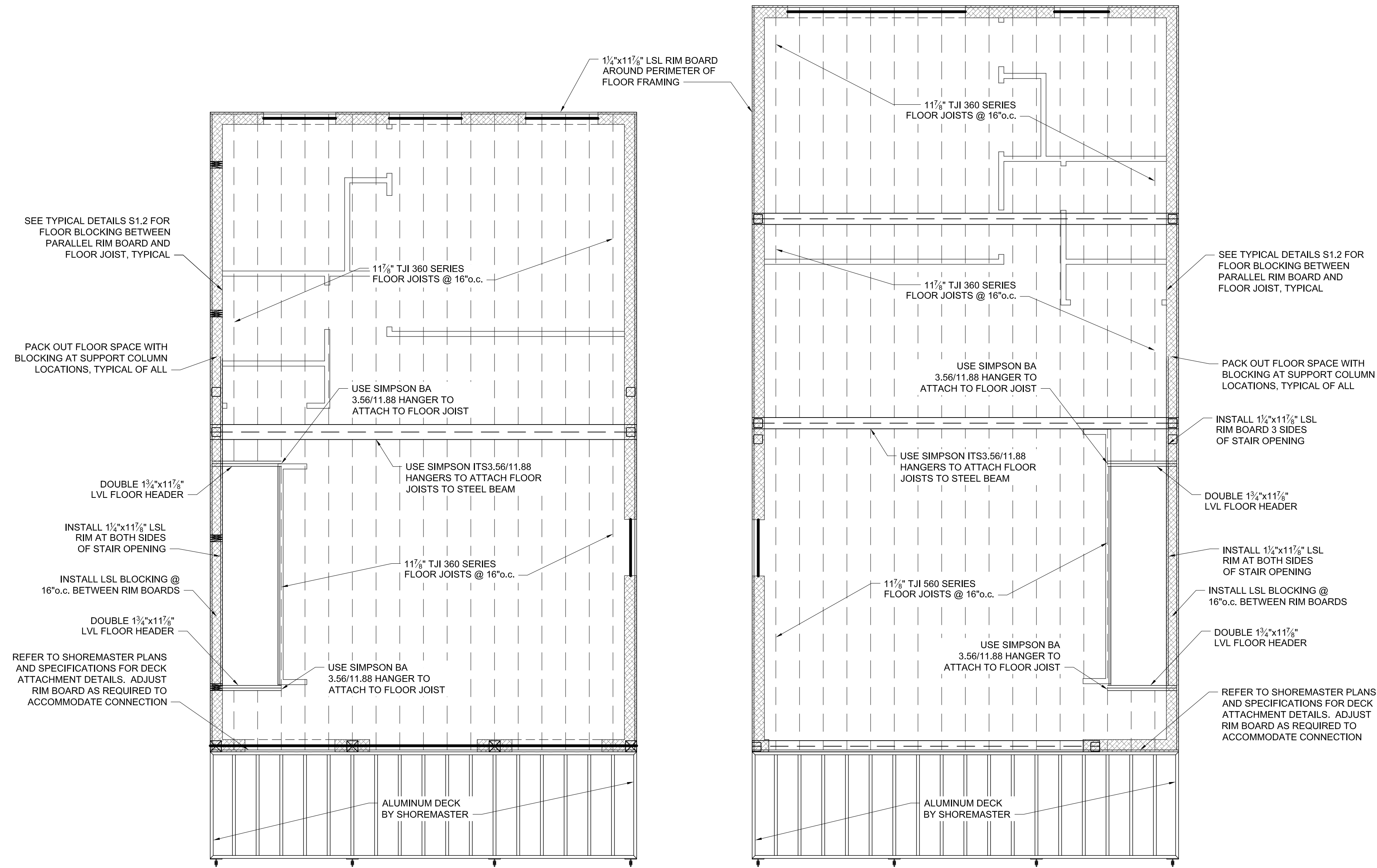


WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

UPPER LEVEL FLOOR PLAN

RAFTED BY:	TJ
VIEWED BY:	JM
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
INST. DOCUMENTS	11/04/2020

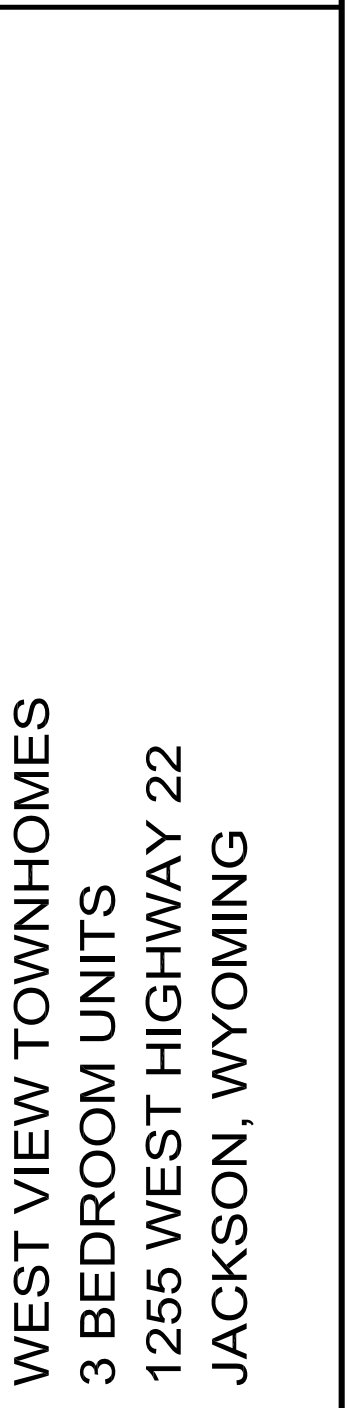
PROJECT NUMBER	09040
SHEET	S2.4



UPPER LEVEL FLOOR PLAN

SCALE: $\frac{1}{4}"=1'-0"$

@3 BEDROOM UNITS

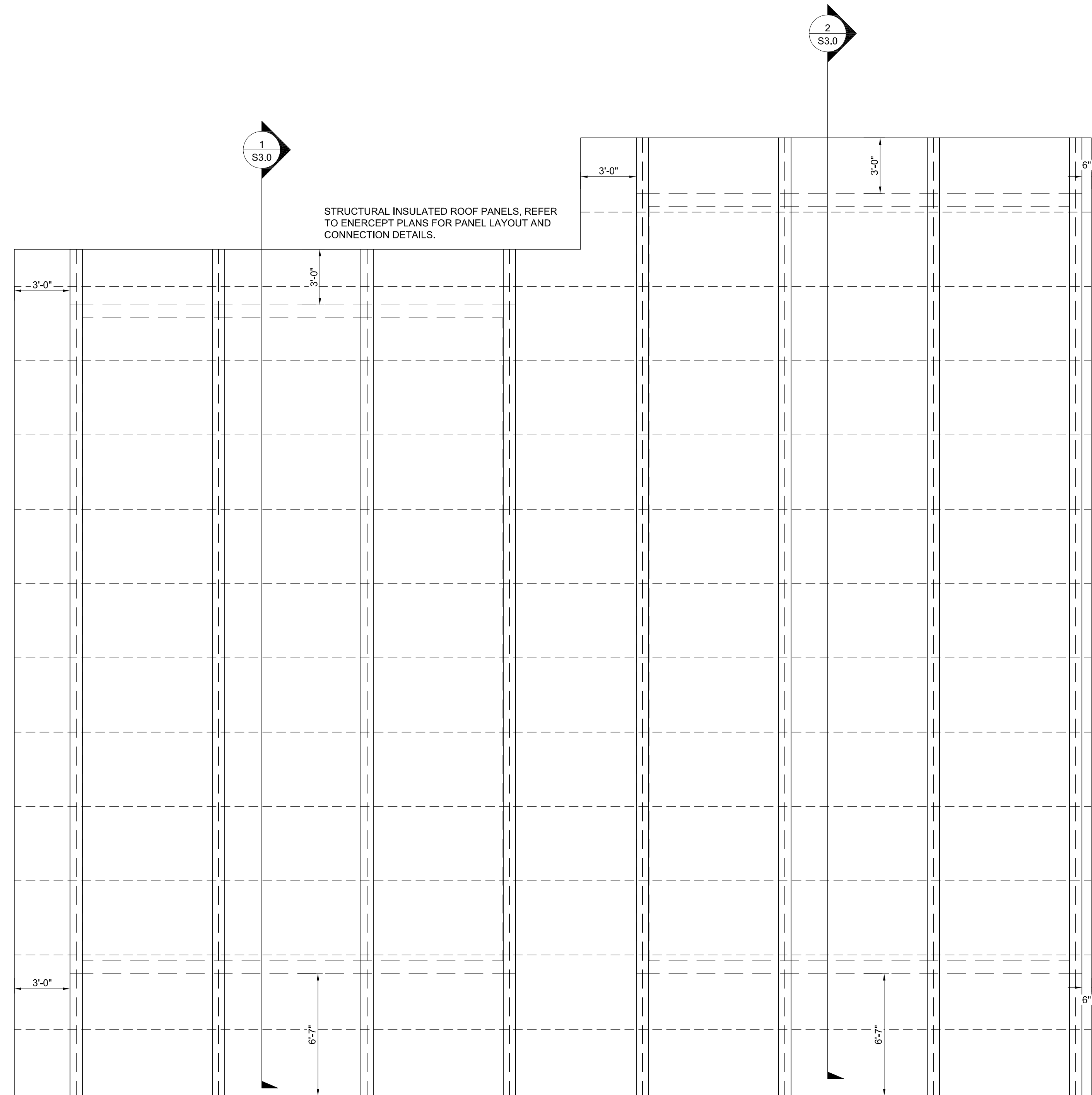


RAFTED BY:	TJ
VIEWED BY:	JM
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
INST. DOCUMENTS	11/04/2020

PROJECT NUMBER	09040
SHEET	S2.5



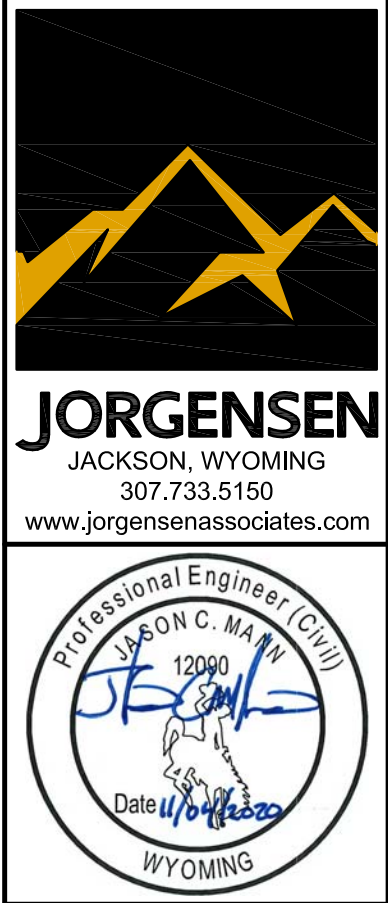
@3 BEDROOM UNITS



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

@3 BEDROOM UNITS



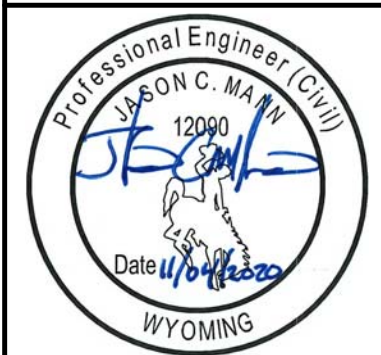
PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
ROOF FRAMING PLAN

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040

SHEET
S2.6



PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

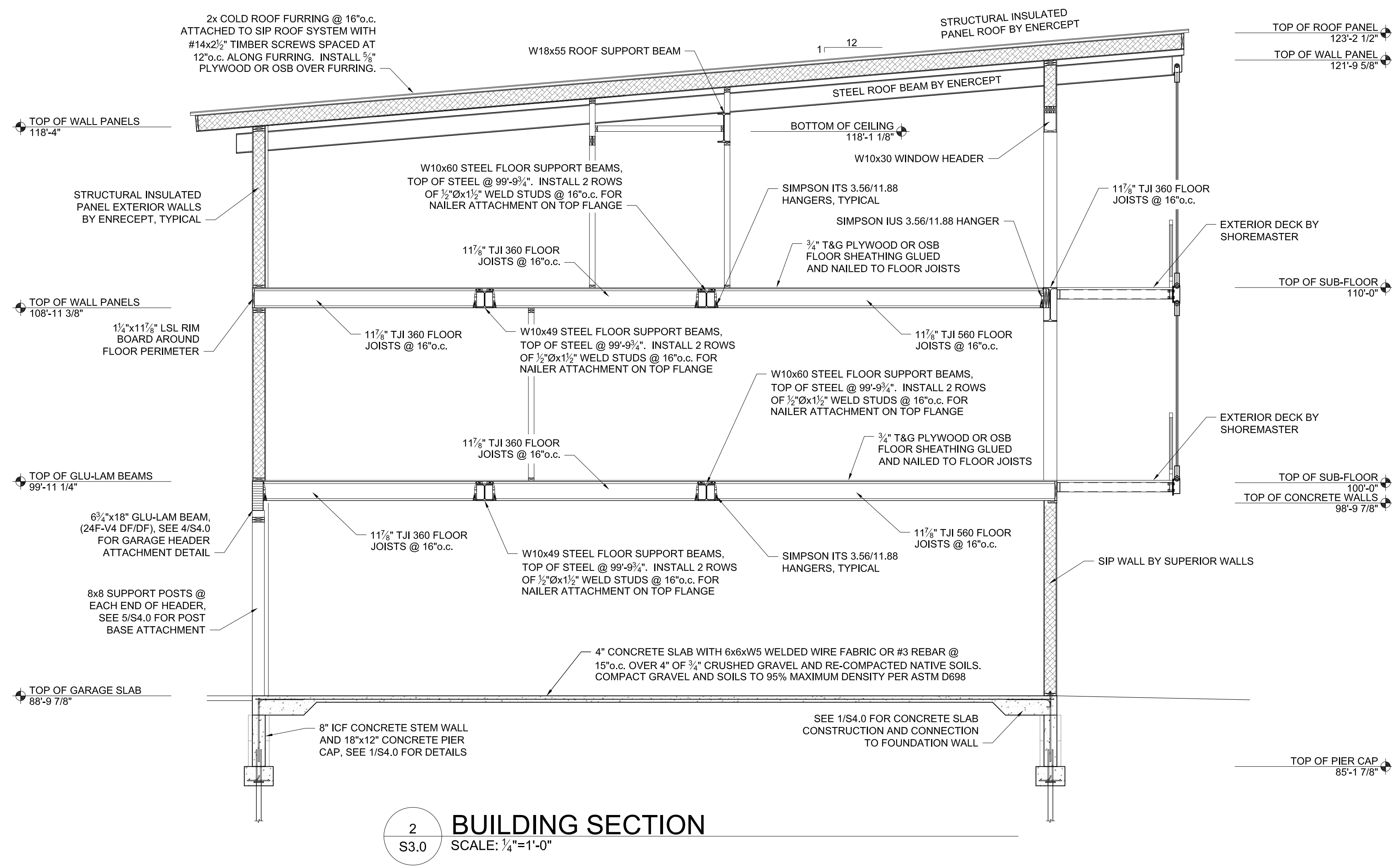
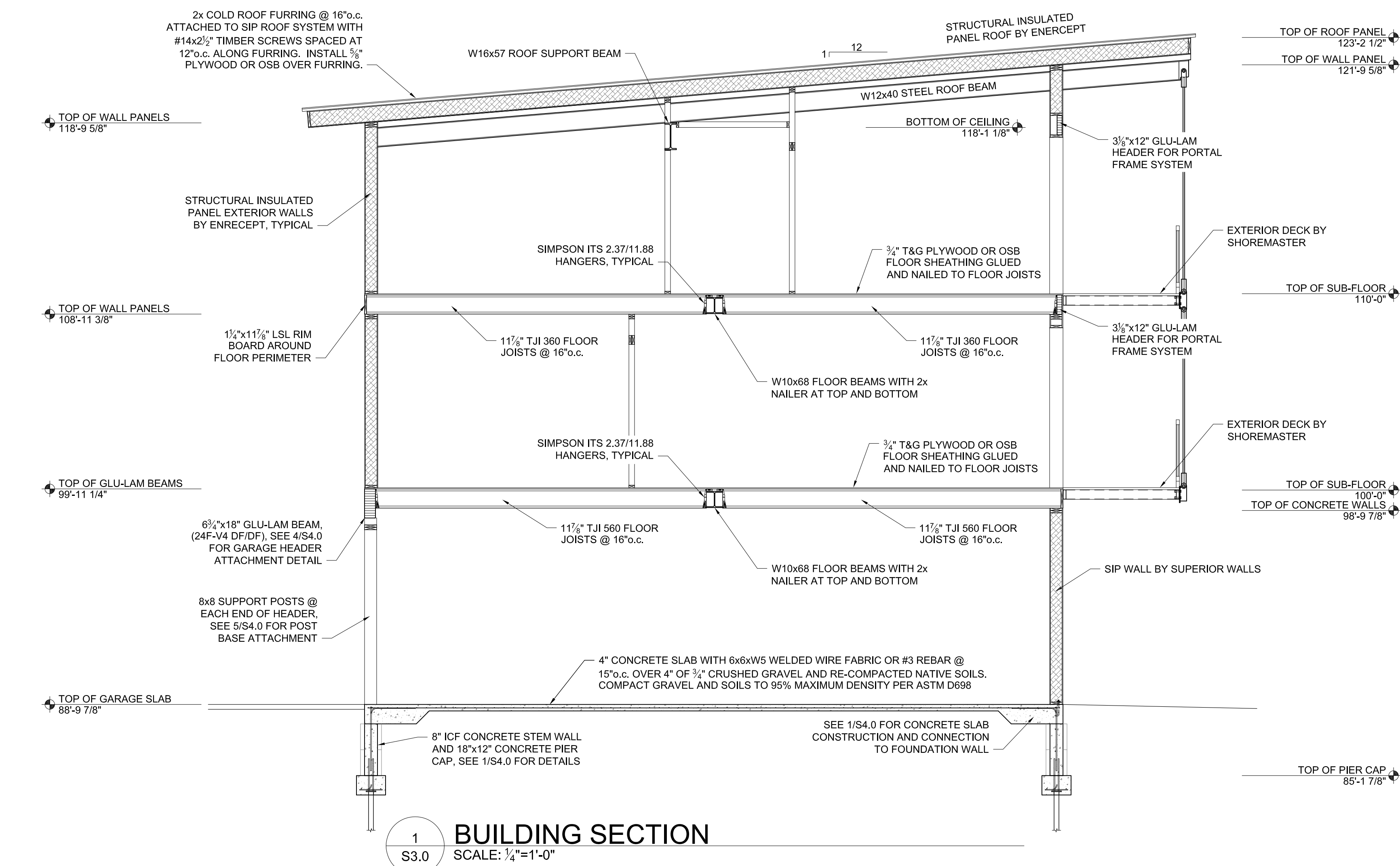
SHEET TITLE:
BUILDING SECTIONS

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040

SHEET

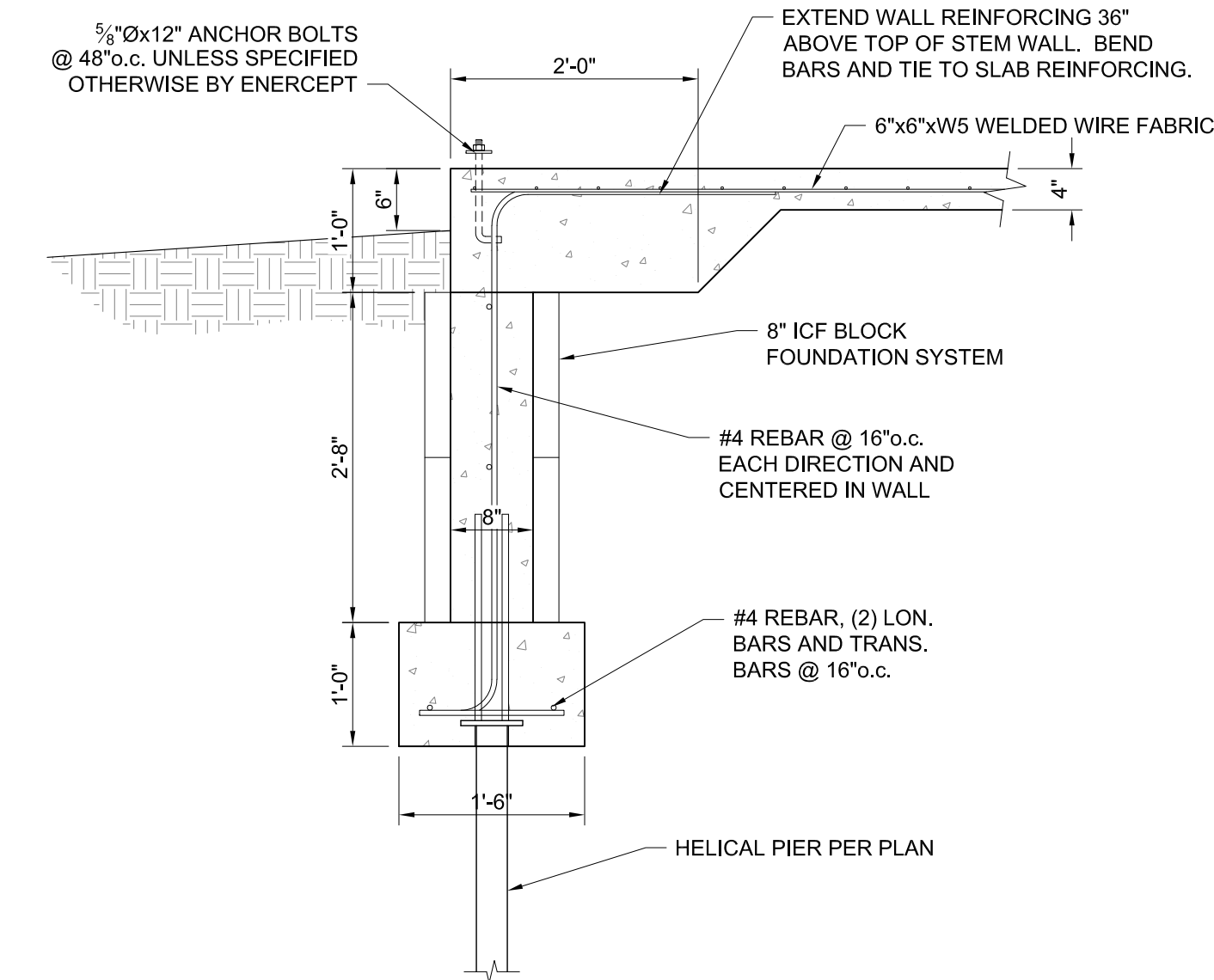
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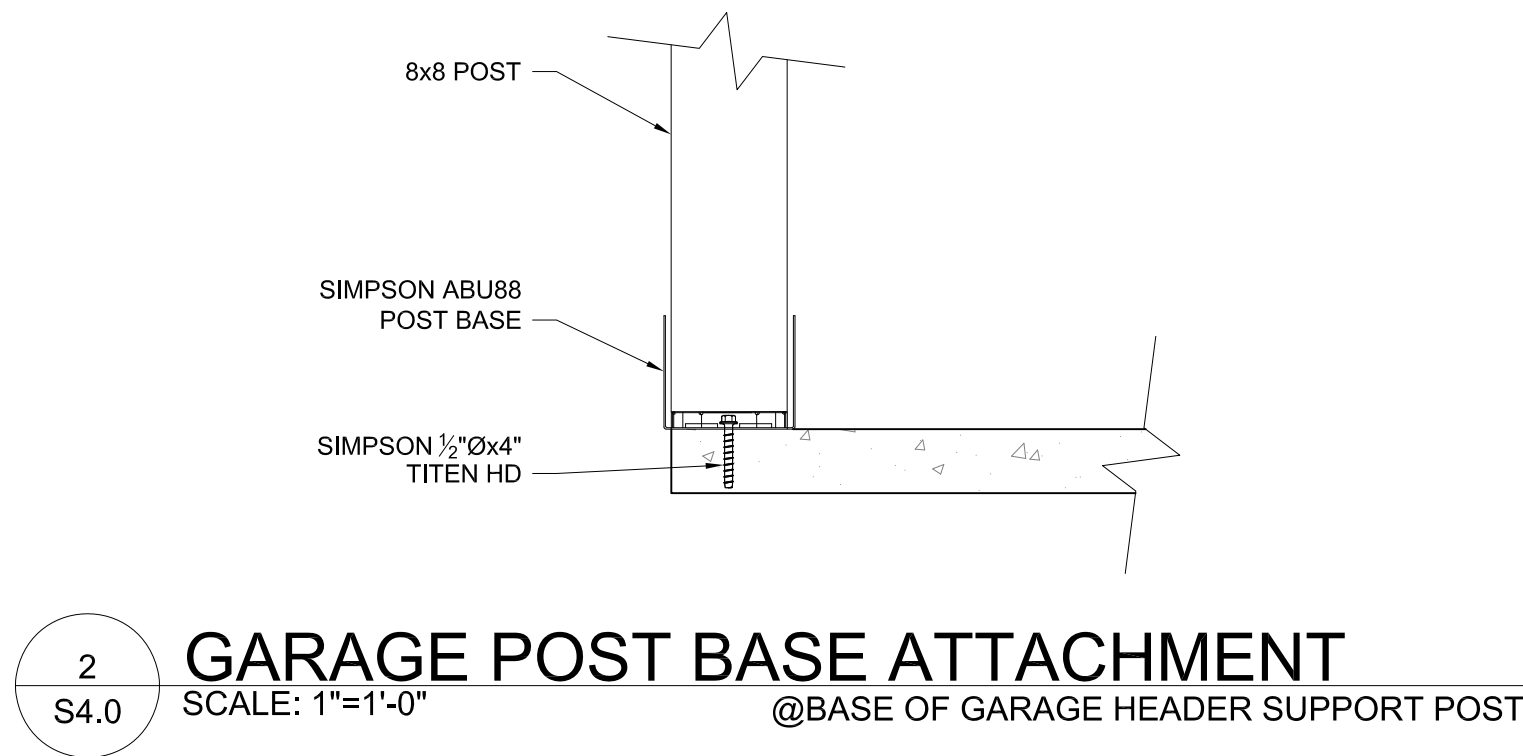
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C:\Users\jmc\Documents\2020\Structural\04040001\04040001.dwg

11/20/2020 10:04:00 AM
JMC
Structural

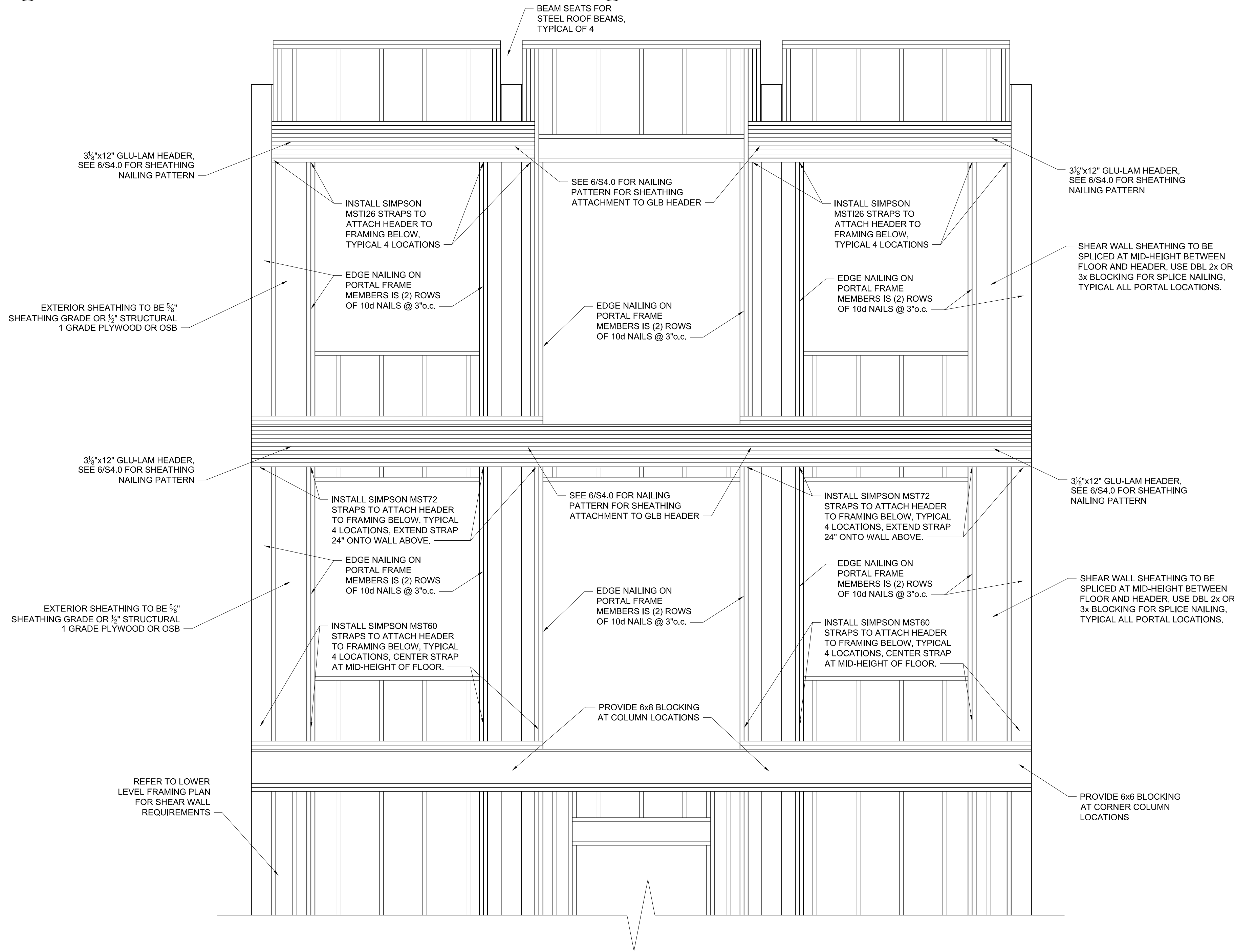
Ver: 15.1
Printed by jmc on Nov 04, 2020 - 4:00pm



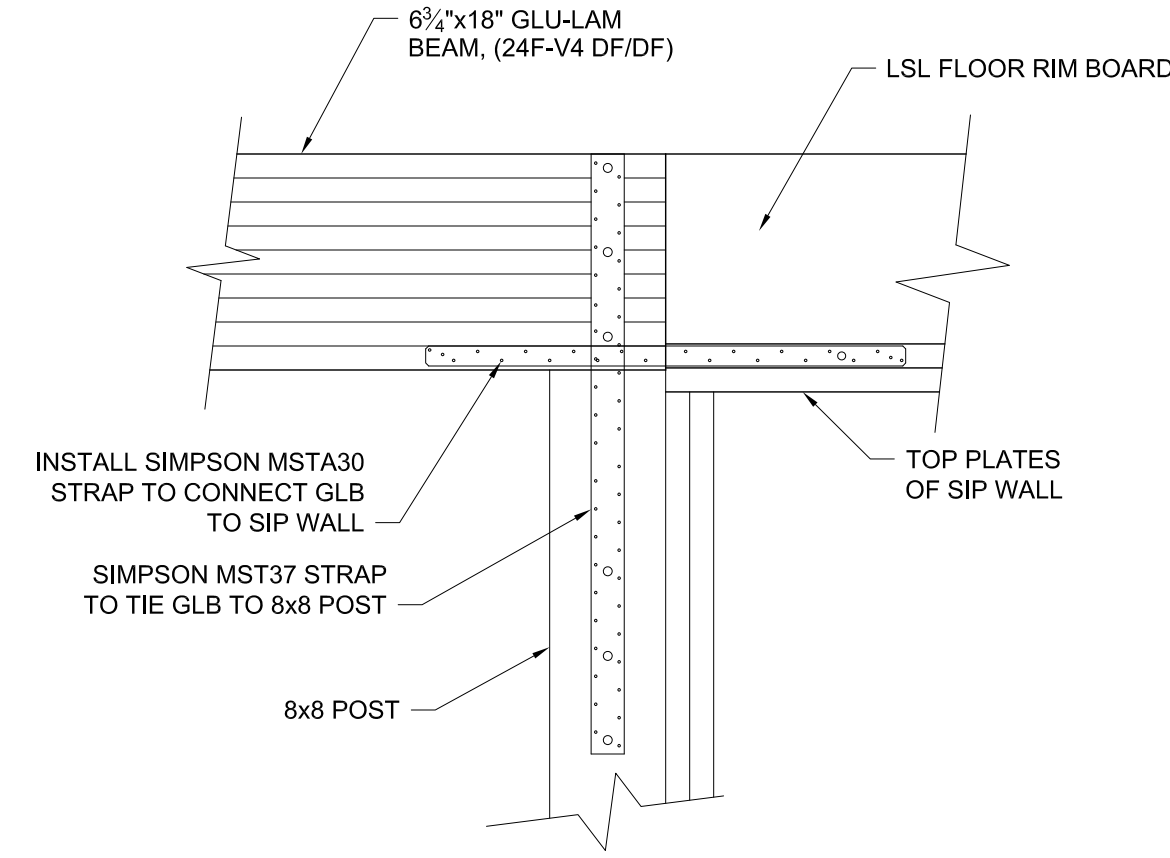
1 FOUNDATION DETAIL
S4.0 SCALE: 3/4"=1'-0"



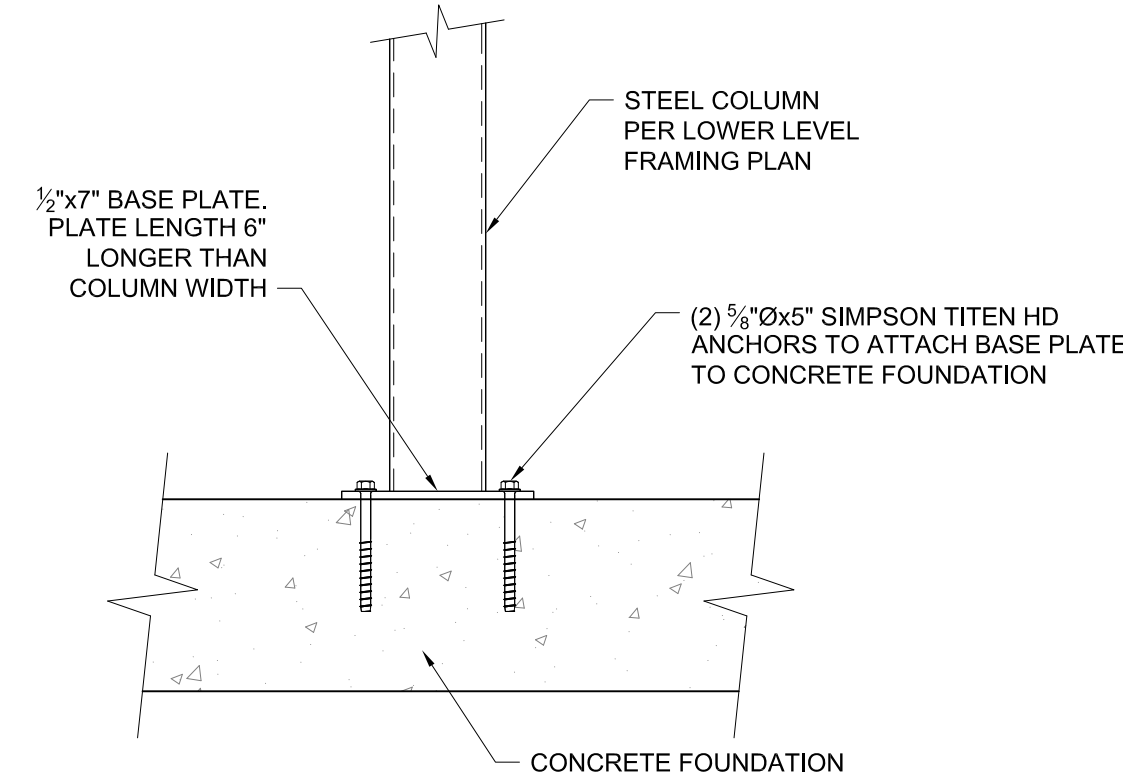
2 GARAGE POST BASE ATTACHMENT
S4.0 SCALE: 1"=1'-0" @BASE OF GARAGE HEADER SUPPORT POST



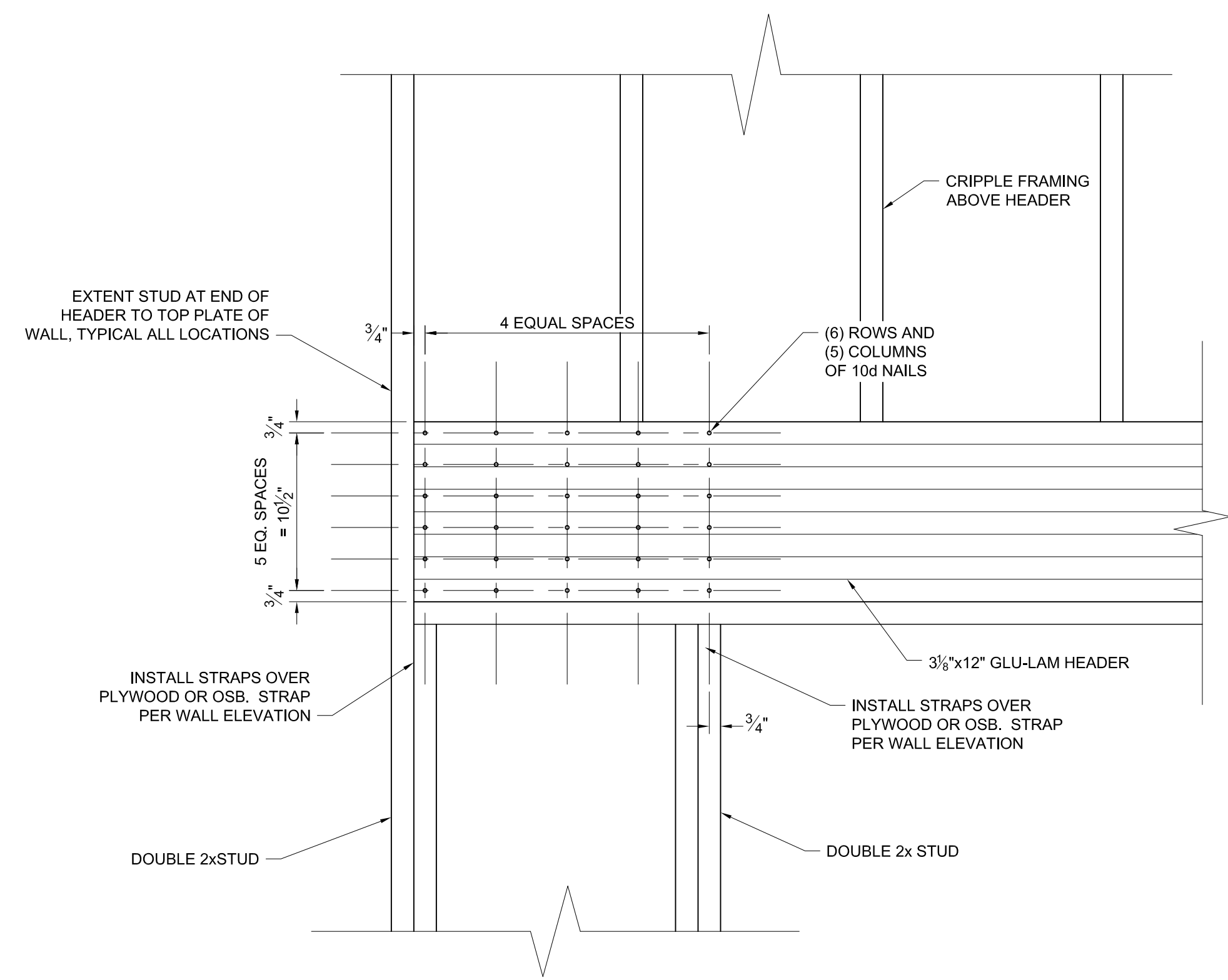
5 PORTAL WALL CONSTRUCTION DETAIL
S4.0 SCALE: 1/2"=1'-0"



3 GARAGE HEADER ATTACHMENT DETAIL
S4.0 SCALE: 1"=1'-0" @HEADER/8x8 COLUMN



4 COLUMN CONNECTION DETAIL
S4.0 SCALE: 1"=1'-0" @ COLUMN BASE



6 PORTAL HEADER NAILING
S4.0 SCALE: 1 1/2"=1'-0" @ ALL PORTAL FRAME LOCATIONS

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PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
STRUCTURAL DETAILS

DRAFTED BY:	TJ
REVIEWED BY:	JM
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/18/2020
FOUNDATION PLAN	10/06/2020
CONST. DOCUMENTS	11/04/2020

PROJECT NUMBER
09040
SHEET
S4.0

STRUCTURAL NOTES:

GOVERNING DESIGN CODES AND REFERENCES:

International Building Code (IBC), 2018 Edition
International Residential Code (IRC), 2018 Edition
Minimum Design Loads and Associated Criteria for Buildings and Other Structures, ASCE 7-16
Steel Construction Manual, American Institute of Steel Construction, AISC 360-16, 15th Edition
Building Code Requirements for Structural Concrete, ACI 318-14
National Design Specification (NDS) for Wood Construction, 2018 Edition
Building Code Requirements and Specifications for Masonry Structures, TMS 402/602-16

DESIGN LOADS:

DEAD LOADS:
OVERBURDEN SOIL UNIT WEIGHT - 125 pcf. ASSUMED WEIGHT OF BACKFILL
CONCRETE UNIT WEIGHT - 150 pcf.
ROOF DEAD LOAD - 20 psf.
FLOOR DEAD LOAD - 20 psf.
FLOOR w/ CONCRETE DEAD LOAD - 40 psf. ASSUMES 1½" CONCRETE
WALL DEAD LOAD - 15 psf.
STONE MASONRY LOAD - 60 psf. ASSUMES 6" STONE THICKNESS

LIVE LOADS:
ROOF LIVE LOAD - 20 psf., CONSTRUCTION LOAD
FLOOR LIVE LOAD - 40 psf., RESIDENTIAL LIVE LOAD

SNOW LOAD (ASCE7-16 CHAPTER 7):
FLAT ROOF SNOW LOAD - 75 psf. PER TOWN OF JACKSON
EXPOSURE FACTOR (Ce) - 1.00
THERMAL FACTOR (Ci) - 1.10
IMPORTANCE FACTOR (Is) - 1.00

WIND LOADING (ASCE7-16 CHAPTER 27):
ULTIMATE DESIGN WIND SPEED - 115 mph., (3 sec. GUST)
WIND DIRECTIONALITY FACTOR (Kd) - 0.85
TOPOGRAPHIC FACTOR (Kzt) - 1.0
PRESSURE EXPOSURE FACTOR (Kz) - 0.995
GROUND ELEVATION FACTOR (Ke) - 0.799
EXPOSURE CATEGORY - CATEGORY C
VELOCITY PRESSURE (q) - 22.89 psf.
GUST EFFECT FACTOR (G) - 0.85
EXTERNAL PRESSURE COEFFICIENT (Cp) - SEE ASCE 7-16, FIGURE 27.3-1
- 32.5ft (mean roof height)
- 1:12 (roof pitch)

INTERNAL PRESSURE COEFFICIENT (GCpi) - ±0.18

SEISMIC LOADING (ASCE7-16 CHAPTER 12):
Risk Category - Category II
Seismic Importance Factor - I=1.0
Mapped Spectral Accelerations - Ss=1.203g
- S1=0.368g
Site Class - Site Class D,
Site Coefficients - Fa=1.019
- Fv=1.665
Design Spectral Accelerations - Sds=0.817g
- Sd1=0.408g
Seismic Design Category - Design Category D

SOILS:
ALLOWABLE SOIL BEARING - 1500 psf. (PER JORGENSEN GEOTECHNICAL REPORT DATED JULY 27th, 2016)
PASSIVE LATERAL PRESSURE - 103 psf/FT
ACTIVE LATERAL PRESSURE - 84psf/FT
AT-REST LATERAL PRESSURE - 99 psf/FT
SEISMIC LATERAL PRESSURE - PER JORGENSEN GEOTECHNICAL REPORT DATED JULY 27th, 2016

(ABOVE LISTED LATERAL LOADS BASED ON SOIL UNIT WEIGHT OF 110pcf AND INTERNAL FRICTION ANGLE OF 30°)
(SEE LATERAL LOADING DETAILS ON S1.1 FOR GRAPHICAL REPRESENTATION)

FOUNDATIONS:

1. FOOTINGS AROUND THE PERIMETER OR IN UNHEATED AREAS ARE TO BEAR A MINIMUM OF 36" BELOW EXISTING GRADE UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
2. BOTTOM OF ALL FOOTINGS TO BEAR ON RE-COMPACTED NATIVE INORGANIC SOIL.
3. BACK FILL UNDER SLABS ON GRADE IS TO CONSIST OF 4" CRUSHED GRAVEL (GRADING H) COMPACTED TO 95% MAXIMUM DRY DENSITY. (ASTM D-698 MODIFIED PROCTOR), OVER RE-COMPACTED NATIVE SOIL.
4. THE MAIN LEVEL FLOOR FRAMING AND FLOOR SHEATHING TO BE COMPLETED PRIOR TO PLACING BACKFILL AGAINST THE FOUNDATION STEM WALLS.
5. RETAINING WALLS MUST CURE FOR 21 DAYS MINIMUM OR MEET MINIMUM REQUIRED CONCRETE COMPRESSIVE STRENGTH OF 4500psi PRIOR TO PLACING BACKFILL AGAINST THE RETAINING WALLS.
6. WHERE THE NATIVE SITE SOILS ARE NOT CLEAN SANDY GRAVELS, A CONTINUOUS FOUNDATION DRAIN SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTINGS. THE FOUNDATION DRAIN SHALL DRAIN TO DAYLIGHT OR TO A MECHANICALLY DISCHARGED SUMP. IT IS RECOMMENDED INSTALLING A BACKFLOW PREVENTION DEVICE TO PREVENT WATER TO FLOW FROM THE DISCHARGE POINT TO THE FOUNDATION.

ALTERNATE BUILDING COMPONENTS:

1. ALL MANUFACTURERS AND MODEL NUMBERS INDICATED IN THESE PLANS ARE A BASIS-OF-DESIGN PRODUCT. ALTERNATE "OR EQUAL" MANUFACTURERS WILL BE ACCEPTABLE ONLY AFTER PROJECT AWARD AND EVALUATION UNDER A FORMAL REVIEW TRANSMITTAL PROVIDED EACH PRODUCT MEETS OR EXCEEDS THE LISTED SALIENT CHARACTERISTICS OF THE SPECIFIED PRODUCT.

CAST-IN-PLACE CONCRETE:

1. CONCRETE CONSTRUCTION SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318-14.

2. CAST-IN-PLACE CONCRETE SHALL CONFORM TO:

Walls: Minimum 28 day compressive strength = 4500 psi
Entrained Air Content: 6% ±1%
Slump Range: 2-4 Inches
Maximum water/cement ratio: 0.45

Footings: Minimum 28 day compressive strength = 3500 psi
Entrained Air Content: 6% ±1%
Slump Range: 2-4 Inches
Maximum water/cement ratio: 0.55

Interior Slabs: Minimum 28 day compressive strength = 2500 psi
Entrained Air Content: 6% ±1%
Slump Range: 4-6 Inches
Maximum water/cement ratio: Not Applicable

Exterior Slabs: Minimum 28 day compressive strength = 5000 psi
Entrained Air Content: 6% ±1%
Slump Range: 4-6 Inches
Maximum water/cement ratio: 0.40

3. CONCRETE COVER OVER REINFORCING BARS SHALL BE 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR CONCRETE NOT CAST AGAINST BUT PERMANENTLY EXPOSED TO EARTH, 1½" MIN. FOR ALL OTHER CONCRETE EXPOSED TO EARTH OR WEATHER, UNLESS NOTED OTHERWISE IN PLANS.

4. ALL EXTERIOR WALLS BELOW GRADE TO BE DAMP PROOFED. FOR BASEMENTS IN HIGH GROUND WATER AREAS, WATERPROOF WALLS TO 1'-0" ABOVE HIGH GROUND WATER ELEVATION.

5. LAP REINFORCING BARS AT SPLICES, CORNERS AND INTERSECTIONS.

#3 Reinforcing Bars - 1'-3"
#4 Reinforcing Bars - 1'-8"
#5 Reinforcing Bars - 2'-0"
#6 Reinforcing Bars - 2'-6"
#7 Reinforcing Bars - 3'-6"
#8 Reinforcing Bars - 4'-0"
#9 Reinforcing Bars - 4'-6"

UNLESS OTHERWISE NOTED ON THE FOUNDATION PLAN AND DETAILS.

6. USE DEFORMED STEEL BAR CONFORMING TO ASTM A615 GRADE 60, EXCEPT #3 BAR STIRRUPS AND TIES AND FIELD BENT DOWELS WHICH SHALL BE ASTM A615 GRADE 40.

7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 OR A185 AND SHALL BE PROVIDED IN FLAT SHEETS.

8. ALL REINFORCING IS TO BE SUPPORTED BY CHAIRS OR CONCRETE BRICKS AND SECURELY TIED IN PLACE.

9. REINFORCING STEEL SHALL NOT BE WELDED.

MASONRY (CMU):

1. CONCRETE MASONRY UNITS SHALL BE GRADE N UNITS CONFORMING TO ASTM DESIGNATION C90 AND SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2800 PSI ON THE NET SECTION.
2. MORTAR SHALL CONFORM TO ASTM C270, TYPE "S" (SECTION 2103.2 OF THE INTERNATIONAL BUILDING CODE). USE PORTLAND CEMENT, TYPE I OR II.
3. ALL MASONRY SHALL BE REINFORCED WITH BOTH HORIZONTAL AND VERTICAL REINFORCEMENT. ALL GROUTED BLOCK CELLS OR BRICK CAVITIES WITH REINFORCEMENT SHALL BE GROUTED FULL USING 2000 PSI GROUT. CELLS SHALL BE ALIGNED TO PRESERVE UNOBSTRUCTED VERTICAL CAVITIES OF 2"x3".
4. GROUT SHALL HAVE 3/8" MAXIMUM SIZE COURSE AGGREGATE AND SUFFICIENT WATER SO THE CONCRETE WILL FLOW INTO THE BLOCK CELLS WITHOUT LEAVING VOIDS.
5. MASONRY REINFORCEMENT: UNLESS NOTED OTHERWISE ON THE DRAWING, THE MINIMUM REINFORCEMENT IN GROUTED CELLS FOR ALL MASONRY WALLS SHALL BE AS FOLLOWS:
5.1. 10" WALLS: #6 @ 32" OC VERTICAL AND #5 @ 48" OC HORIZONTAL
5.2. 8" WALLS: #5 @ 32" OC VERTICAL AND #5 @ 48" OC HORIZONTAL
6. ALL HORIZONTAL REINFORCING AT ENDS OF WALLS SHALL TERMINATE WITH A HOOK AROUND VERTICAL REINFORCING
7. REINFORCEMENT PROTECTION (COVER):
7.1. JOINT REINFORCEMENT SHALL HAVE NOT LESS THAN 5/8" MORTAR COVERAGE FROM THE EXPOSED FACE
7.2. OTHER REINFORCEMENT SHALL HAVE A MINIMUM COVERAGE OF ONE BAR DIAMETER OVER ALL THE BARS, BUT NOT LESS THAN ½" WHEN MASONRY IS EXPOSED TO WEATHER OR SOIL. MINIMUM COVERAGE SHALL BE 2".
8. CONTINUE VERTICAL REINFORCING BARS IN MASONRY COLUMNS THROUGH FOUNDATION WALL INTO FOOTINGS WITH MATCHING BARS AND DOWELS. ENCLOSE THESE BARS WITH SAME SIZE TIES AT SAME SPACING AS IN MASONRY COLUMN. PROVIDE MATCHING DOWELS FOR VERTICAL BARS IN MASONRY WALLS TO STRUCTURE BELOW.
9. CONTINUE HORIZONTAL REINFORCEMENT IN WALLS THROUGH MASONRY COLUMNS AND PLASTERS. THIS REINFORCEMENT SHALL HAVE MATCHING DOWELS, CORNER BARS, AT CORNERS AND AT INTERSECTIONS OF THE WALLS WITH REQUIRED LAP LENGTHS
10. UNLESS NOTED OTHERWISE, HOLLOW CELLS AT ALL FOUR (4) SIDES OF OPENINGS IN WALLS SHALL BE GROUTED AND REINFORCED WITH (2) #5, MINIMUM WITH 2'-8" PROJECTION BEYOND EDGES OF OPENINGS AT EACH END.
11. HORIZONTAL BARS SHALL BE PLACED IN BOND BEAMS FILLED WITH GROUT AT THE TOP OF ALL WALLS AND AT 48" OC MAXIMUM BETWEEN TOP OF WALL AND FOUNDATION. BOND BEAM UNITS AND REINFORCING SHALL CONTINUE UNINTERRUPTED AROUND ALL CORNERS AND WALL INTERSECTIONS. WHERE STRUCTURAL STEEL COLUMNS OR BEAMS INTERRUPT THE CONTINUITY OF A BOND BEAM, DOWELS MATCHING BOND BEAM REINFORCEMENT SHALL BE WELDED TO THE STRUCTURAL STEEL TO PROVIDE CONTINUITY.
12. IN ADDITION LADDER-TYPE REINFORCING CONSISTING OF #9 WIRE FOR EACH FACE SHELL OF EACH WYTHE SHALL BE USED AT 16" OC HORIZONTALLY IN ALL MASONRY WALLS. REINFORCEMENT SHALL BE FOR TOTAL WIDTH OF CAVITY WALLS.
13. ALL VERTICAL REINFORCING BARS SHALL BE DOWELED TO STRUCTURE BELOW WITH BARS OF SAME SIZE AND SPACING. LAP ALL SPLICES IN MASONRY 48 BAR DIAMETER. PLACE ALL BARS SECURELY PRIOR TO GROUTING.

14. STOP GROUT POURS ½" BELOW TOP OF BLOCK UNITS BETWEEN GROUT LIFTS.

15. ALL ANCHOR BOLTS MUST BE PLACED IN GROUTED CELLS.

16. WHERE BEAMS BEAR ON CONCRETE BLOCK WALLS, BLOCK CELLS SHALL BE FILLED WITH GROUT 1'-4" WIDE TO FOUNDATION AND REINFORCE WITH A #5 EACH CELL. UNLESS OTHERWISE SHOWN.

17. AN ADDITIONAL VERTICAL BAR (MATCHING WALL REINFORCEMENT) SHALL BE PLACED AT EACH CORNER, END OF WALL, AND JAMB OF ALL OPENINGS.

18. ALL STEEL JOIST, JOIST GIRDER, AND STEEL BEAM POCKETS IN MASONRY SHALL BE GROUTED SOLID UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

19. NO MASONRY SHALL BE LAID WHEN THE TEMPERATURE OF THE OUTSIDE AIR IS BELOW 40 DEGREES FAHRENHEIT, UNLESS APPROVED METHODS ARE USED DURING CONSTRUCTION TO PREVENT DAMAGE TO THE MASONRY. SUCH METHODS SHALL INCLUDE PROTECTION OF THE MASONRY FOR A PERIOD OF AT LEAST 48 HOURS

20. ALL REINFORCING SHALL BE IN PLACE PRIOR TO GROUTING VERTICAL REINFORCING. BARS SHALL BE HELD IN POSITION AT THE TOP, BOTTOM AND AT INTERVALS NOT FARTHER APART THAN 200 BAR DIAMETERS. PROVIDE WIRE TIES AT ALL LAP SPLICES

21. ALL MASONRY SHALL HAVE VERTICAL CONTROL JOINTS AT: MAJOR CHANGES IN WALL HEIGHT, AT CHANGES IN WALL THICKNESS, AT BUILDING CONSTRUCTION JOINTS, AND NOT FARTHER APART THAN 40 FEET ELSEWHERE. PROVIDE MATCHING CONTROL JOINTS FOR BRICKS VENEER. CONSULT ARCHITECTURAL DRAWINGS FOR LOCATIONS. VERTICAL CELLS EACH SIDE OF CONTROL JOINTS SHALL BE GROUTED AND REINFORCED WITH REBARS TO MATCH VERTICAL REINFORCEMENT USED THROUGHOUT THAT WALL. ONLY HORIZONTAL REBARS IN BOND BEAMS AT FLOORS AND AT ROOF LEVEL SHALL CONTINUE THROUGH CONTROL JOINTS. PROVIDE FULL HEIGHT HARD RUBBER KEY AT JOINT. WHERE JOINT LOCATIONS ARE NOT SHOWN ON THE DRAWINGS THE CONTRACTOR SHALL SUBMIT PROPOSED LOCATIONS TO ARCHITECT/ ENGINEER FOR REVIEW.

DIMENSIONAL LUMBER AND TIMBERS:

1. SAWN LUMBER MATERIALS. (U.N.O. ON PLANS AND DETAILS):
-MULTI-PLY LUMBER BEAMS, RAFTERS, JOISTS, AND COLUMNS TO BE SELECT STRUCTURAL DOUGLAS FIR - LARCH.
-SOLID SAWN TIMBER BEAMS AND COLUMNS TO BE DENSE No. 1 OR BETTER DOUGLAS FIR-LARCH.
-TOP AND BOTTOM WALL PLATES TO BE No. 1 & BTR DOUGLAS FIR-LARCH.
-STUDS TO BE No. 2 OR BETTER DOUGLAS FIR - LARCH.

2. ALL DIMENSIONAL LUMBER TO BE NOMINAL SIZES UNLESS SPECIFIED AS FULL SIZE IN THE PLANS AND DETAILS.

3. EXTERIOR WALL HEADERS TO BE MINIMUM DOUBLE 2x8 WITH 4ea. 12d NAILS @ 16" o.c., UNLESS OTHERWISE NOTED ON FRAMING PLANS. INTERIOR WALL HEADERS TO BE MINIMUM DOUBLE 2x4 WITH 2ea. 12d NAILS @ 16"o.c. UNLESS NOTED OTHERWISE.

4. PRE-ENGINEERED "PLATE" TRUSSES SHALL BE DESIGNED BY THE TRUSS FABRICATOR TO SUPPORT THE FULL DEAD LOADS AND THE SUPERIMPOSED DESIGN LOADS NOTED ABOVE OR ON THE DRAWINGS. WEB ARRANGEMENTS AND MEMBER FORCES SHALL BE DETERMINED BY THE FABRICATOR. STAMPED AND SEALED TRUSS ENGINEERING SHEET SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO FABRICATION OF THE TRUSSES.

5. FRAMING ANCHORS AND CONNECTORS TO BE "STRONG TIE" BY SIMPSON OR APPROVED AND EQUAL INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

6. SILL PLATES TO BE ATTACHED TO THE FOUNDATION WITH ⅝"x12" @ 4'-0" o.c. ANCHOR BOLTS WITH 3"x3"x¾" SQUARE WASHERS AND HEX NUTS. REFER TO TYPICAL FOUNDATION DETAILS FOR ANCHOR BOLT PLACEMENT.

7. FOR NAILING NOT SHOWN ON PLANS USE THE FASTENING SCHEDULE IN THE TYPICAL FRAMING DETAILS OR THE INTERNATIONAL BUILDING CODE NAILING SCHEDULE (2018 I.B.C. TABLE 2304.10.1).

8. WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE FOUNDATION, USE PRESSURE TREATED WOOD PRODUCTS.

9. USE GALVANIZED OR STAINLESS STEEL FASTENERS WHEN NAILING INTO PRESSURE TREATED MATERIALS.

10. ALL FRAMING NAILS TO HAVE A MINIMUM SHANK DIAMETER AS SPECIFIED IN THE MINIMUM FASTENING SCHEDULE IN THE TYPICAL FRAMING DETAILS. ALL SHEATHING NAILS TO HAVE A MINIMUM SHANK DIAMETER OF 0.131"Ø. FLOOR SHEATHING FASTENERS TO ALSO BE RING SHANKED.

ENGINEERED WOOD PRODUCTS:

1. LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 2.0E+6psi AND MARKED ACCORDINGLY. SUBSTITUTION OF A LOWER GRADE WILL REQUIRE A REVIEW OF ALL AFFECTED BUILDING ELEMENTS AND POSSIBLE REDESIGN.
2. ALL LAMINATED VENEER LUMBER (LVL) TO BE SUPPLIED AT THE NOMINAL SIZE INDICATED IN THE PLANS OR BUILT UP ON SITE WITH 1½" WIDE BY FULL HEIGHT MEMBERS. CONNECT BUILT UP PLIES WITH 16dx0.164"Ø NAILS. EACH ROW OF NAILS TO BE SPACED @ 2½"o.c. AND ROWS SPACED AT MAXIMUM OF 12"o.c.
3. GLUED LAMINATED SOFTWOOD TIMBER (GLULAM) SHALL BE 24F-V4 DF/DF IN ACCORDANCE WITH 2018, UNLESS OTHERWISE NOTED, AND HAVE A MODULUS OF ELASTICITY OF 1.8E+6psi AND MARKED ACCORDINGLY. AT MULTI-SPAN BEAM CONDITIONS AND CANTILEVERS, GLUED LAMINATED TIMBER (GLULAM) SHALL BE 24F-V8 DF/DF AND HAVE A MODULUS OF ELASTICITY OF 1.8E+6psi AND MARKED ACCORDINGLY.
4. ALL GLUED LAMINATED TIMBER (GLULAM) TO BE SUPPLIED AT THE NOMINAL SIZE INDICATED IN PLANS.
5. ALL WOOD I-JOIST FRAMING TO BE TRUS JOIST TJI BY "WEYERHAEUSER", OR APPROVED EQUAL, AND SUPPLIED AT THE NOMINAL DEPTH AND SERIES AS INDICATED IN PLANS AND MARKED ACCORDINGLY. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE SHEET S1.3 FOR I-JOIST NOTCHING DETAIL. SUBSTITUTION OF A LESSER GRADE I-JOIST WILL REQUIRE A REVIEW OF ALL AFFECTED ELEMENTS AND POSSIBLE REDESIGN.

SHEATHING:

1. ALL STRUCTURAL SHEATHING SHALL BE RATED WITH A "WOOD APA" RATED STAMP ON THE PANELS. THE STRUCTURAL SHEATHING INCLUDES VENEER PLYWOOD, ORIENTED STRAND BOARD (OSB), WAFERBOARD, AND COMPOSITES OF VENEER AND WOOD BASED MATERIALS WITH TONGUE AND GROOVE EDGES.

2. REFER TO TYPICAL DETAILS ON TYPICAL DETAILS SHEETS FOR SHEATHING LAYOUT FOR FLOORS, WALLS, AND ROOF. BLOCK EDGES AS NECESSARY OR AS INDICATED BY SHEATHING SCHEDULES.

3. UNLESS NOTED OTHERWISE ON THE PLANS AND DETAILS, INSTALL FLOOR AND ROOF SHEATHING WITH LONG PANEL EDGES PERPENDICULAR TO SUPPORTING JOISTS. INSTALL PANELS CONTINUOUS OVER MINIMUM OF TWO JOIST SPACES. OFFSET ROWS OF PANELS BY MINIMUM OF 32".

4. UNLESS NOTED OTHERWISE ON THE PLANS AND DETAILS, INSTALL WALL SHEATHING WITH LONG PANEL EDGES ALIGNED WITH SUPPORTING STUDS. ALIGN VERTICAL AND HORIZONTAL PANEL EDGES AND INSTALL EDGE BLOCKING AS REQUIRED BY THE SHEAR WALL SCHEDULE.

5. SHEATHING USE, MINIMUM PANEL THICKNESS, AND SPAN RATING:

- 5.1. FLOOR: ⅜" T&G, 24"o.c. SPAN RATING
5.2. WALLS: ⅝", 32/16 SPAN RATING
5.3. ROOF: ⅞", 40/20 SPAN RATING

STRUCTURAL CONNECTIONS:

1. ANCHOR BOLTS TO BE INSTALLED @ 4'-0" o.c. UNLESS OTHERWISE NOTED ON PLANS AND ONE INSTALLED WITHIN 12" EACH DIRECTION FROM FOUNDATION CORNERS. USE ⅝"x12" "J" TYPE ANCHOR BOLTS IN EXTERIOR STEM WALLS WITH 3"x3"x¾" SQUARE WASHERS AND STANDARD HEX NUTS.

2. SHEAR WALL HOLDDOWNS ARE TO BE LOCATED ON THE CENTERLINE OF THE WALL FRAMING OF THE SHEAR WALLS. FOR ACTUAL CONNECTION DETAILS, REFER TO THE HOLDOWN SCHEDULE FOR CALLOUTS.

3. HANGERS/STRAPS/TIES TO BE "SIMPSON STRONGTIE" OR APPROVED EQUIVALENT AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS. REFER TO PLANS, SECTIONS AND DETAILS FOR CALLOUTS.

4. STRUCTURAL KNIFE PLATES TO BE CUT INTO WOOD WITH A MAXIMUM OF ¾" GREATER THICKNESS AND 1" GREATER WIDTH THAN THE KNIFE PLATE DIMENSIONS. CONNECT KNIFE PLATE AND WOOD MEMBERS WITH A MINIMUM OF 2 EACH ¾"xØ THROUGH BOLTS, REFER TO DETAILS FOR ACTUAL SIZE AND QUANTITY OF BOLTS.

STRUCTURAL STEEL SPECIFICATIONS:

1. MATERIALS
- 1.1. STRUCTURAL STEEL SHAPES, PLATES AND BARS
- 1.1.1. M, S, C, AND L SHAPES ASTM A36
1.1.2. W SHAPES ASTM A992
1.1.3. HP SHAPES ASTM A572, GRADE 50
- 1.2. PLATES AND BARS ASTM A36
- 1.3. STRUCTURAL STEEL TUBING
- 1.3.1. RECTANGULAR SHAPES ASTM A 500, GRADE B, MIN. YIELD STRESS= 46ksi
1.3.2. CIRCULAR SHAPES ASTM A 500, GRADE B, MIN. YIELD STRESS= 42ksi
1.3.3. STEEL PIPE ASTM A63, TYPE-E, GRADE B, WEIGHT CLASS STANDARD.
- 1.4. BOLTS AND HARDWARE
- 1.4.1. HIGH STRENGTH BOLTS - ASTM A325
1.4.2. CONVENTIONAL BOLTS - ASTM A307
1.4.3. WASHERS - ASTM A36
2. WELDING ELECTRODES: COMPLY WITH AWS REQUIREMENTS

FIRE BLOCKING:

CONTRACTOR TO SUPPLY FIRE BLOCKING AS PER INTERNATIONAL BUILDING AND RESIDENTIAL CODES FOR VERTICAL AND HORIZONTAL STUD AND SOFFIT CAVITIES AND CHIMNEYS.

EXCAVATION AND GRADING:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.

2. STRUCTURAL MEMBERS SHALL BE ADEQUATELY SHORED AND BRACED DURING CONSTRUCTION.

3. ENGINEER SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE CONSTRUCTION OBSERVATION WHEN ENGINEER'S CERTIFICATION IS REQUIRED FOR THE COMPLETED STRUCTURE.

4. ALL EXCAVATION ACTIVITIES SHALL COMPLY WITH PERMIT REQUIREMENTS ISSUED FOR THE PROJECT. CONTRACTOR SHALL REVIEW AND BE RESPONSIBLE FOR PERMIT COMPLIANCE.

5. TOPSOIL, VEGETATION AND UNSTABLE OR FROZEN SOIL SHALL BE REMOVED PRIOR TO CONSTRUCTION OF THE STRUCTURE OR EMBANKMENT.

SPECIAL INSPECTIONS:

IN ACCORDANCE WITH THE SPECIAL INSPECTIONS SECTION 1704 OF CHAPTER 17 OF THE 2018 INTERNATIONAL BUILDING CODE, THE FOLLOWING LIST OF SPECIAL INSPECTIONS ARE REQUIRED DURING THE CONSTRUCTION OF THE PROJECT:

NO SPECIAL INSPECTIONS ARE REQUIRED FOR THIS PROJECT.

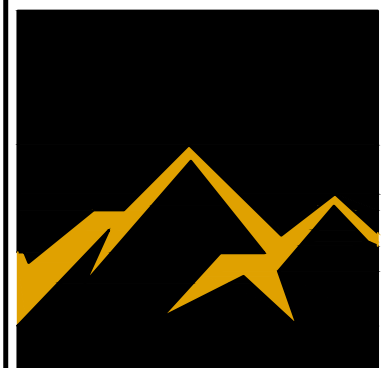
GENERAL CONTRACTOR IS REQUIRED TO COORDINATE SPECIAL INSPECTIONS WITH DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION NOTES:

THESE STRUCTURAL DRAWINGS ILLUSTRATE THE COMPLETED STRUCTURE WITH ELEMENTS IN THEIR FINAL POSITION, PROPERLY SUPPORTED AND BRACED. THESE CONSTRUCTION DOCUMENTS CONTAIN TYPICAL AND REPRESENTATIVE DETAILS TO ASSIST THE CONTRACTOR. DETAILS SHOWN APPLY AT ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED, (U.N.O.). ALTHOUGH DUE DILIGENCE HAS BEEN APPLIED TO MAKE THE DRAWINGS AS COMPLETE AS POSSIBLE, NOT EVERY DETAIL IS ILLUSTRATED, NOR IS EVERY EXCEPTIONAL CONDITION ADDRESSED. ALL PROPRIETARY CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS. ALL WORK SHALL BE IN COMPLIANCE WITH THE 2018 IBC OR IRC AND LOCAL CODES, COVENANTS, ORDINANCES AND BUILDING PERMIT.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK, INCLUDING LAYOUT AND DIMENSION VERIFICATION, MATERIAL CONDITION, SHOP DRAWING REVIEW, AND THE WORK OF SUBCONTRACTORS. ANY DISCREPANCIES OR OMISSIONS DISCOVERED DURING THE COURSE OF THE WORK SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT AND ENGINEER. UNLESS OTHERWISE SPECIFICALLY INDICATED, THE DRAWINGS DO NOT DESCRIBE METHODS OF CONSTRUCTION.

WHERE PERIODIC OR CONTINUOUS INSPECTION IS REQUIRED BY THESE DOCUMENTS, GOVERNING BUILDING CODES, OR LOCAL ORDINANCES, THE OWNER SHALL EMPLOY AN INDEPENDENT INSPECTOR CERTIFIED IN THE PARTICULAR AREA OF THE REQUIRED INSPECTION. THE INSPECTOR SHALL BE RESPONSIBLE TO, AND REPORT TO, THE ARCHITECT AND BUILDING OFFICIAL.



JORGENSEN
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PROJECT TITLE:
**WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE:
STRUCTURAL NOTES

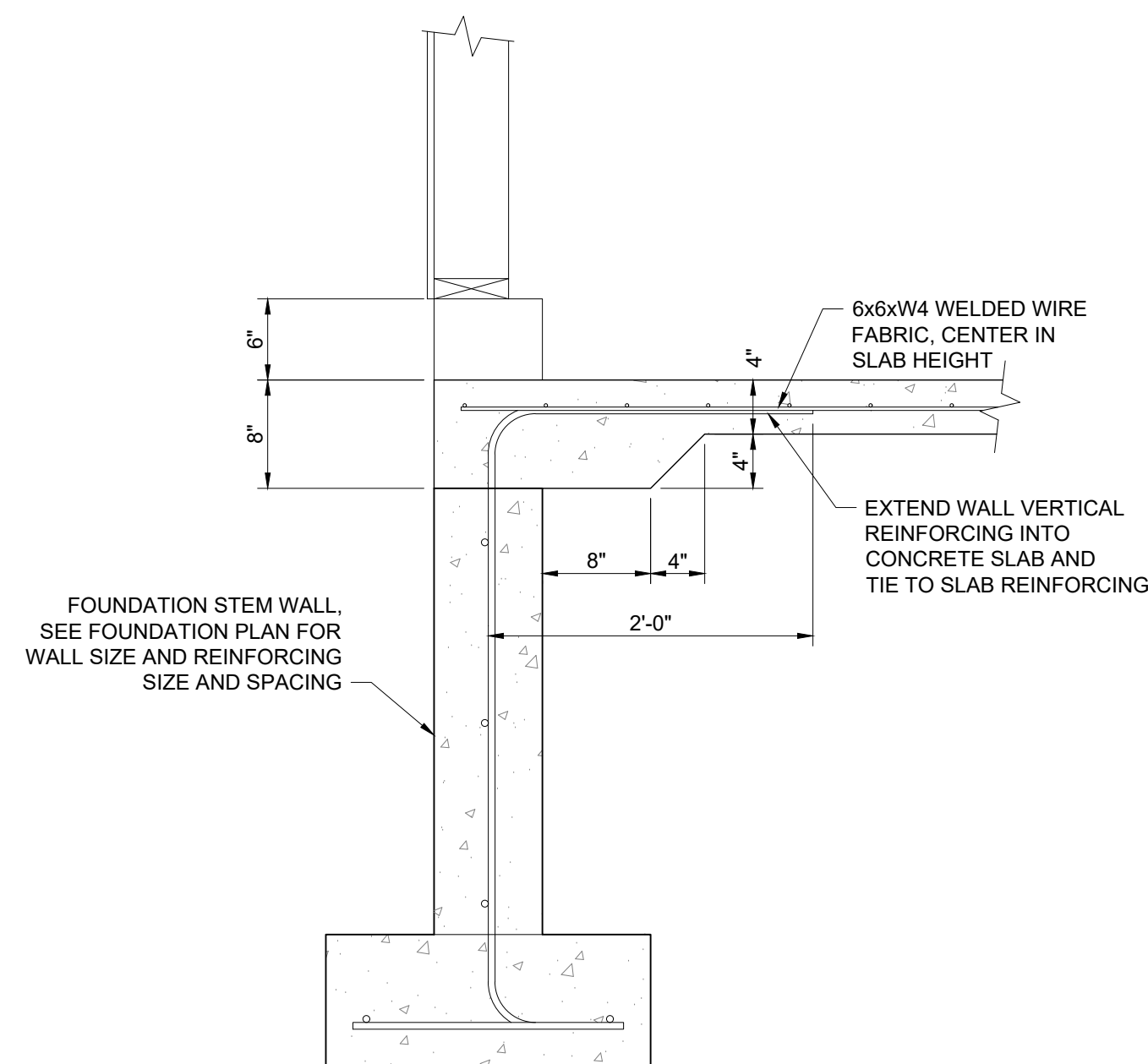
DRAFTED BY:	JM
REVIEWED BY:	

PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

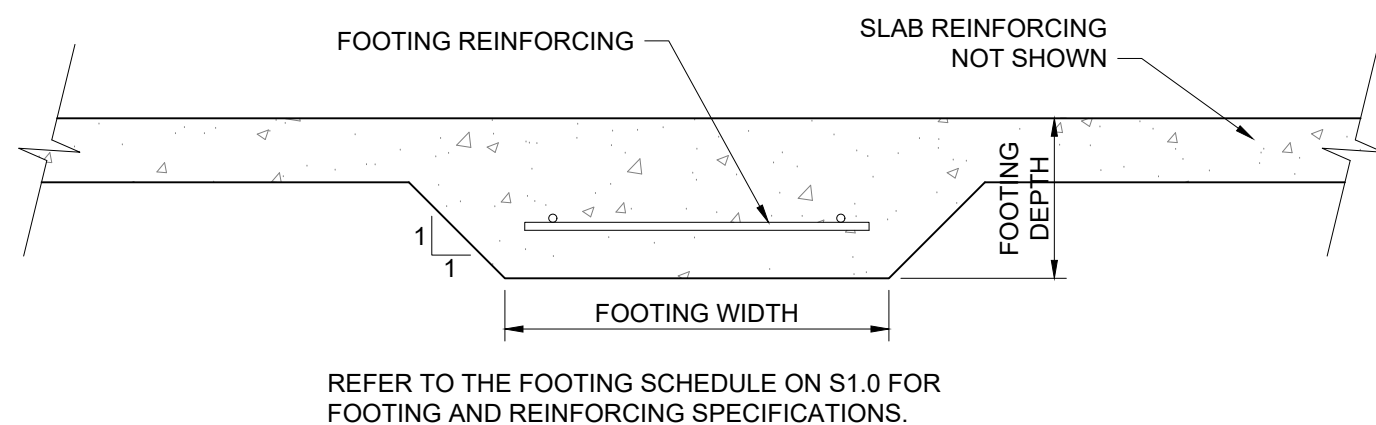
PROJECT NUMBER
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Call Jones\T.Johns and associates local\term\AcPublish 1469200340 VW Townhomes South 38PDM Structural dwg

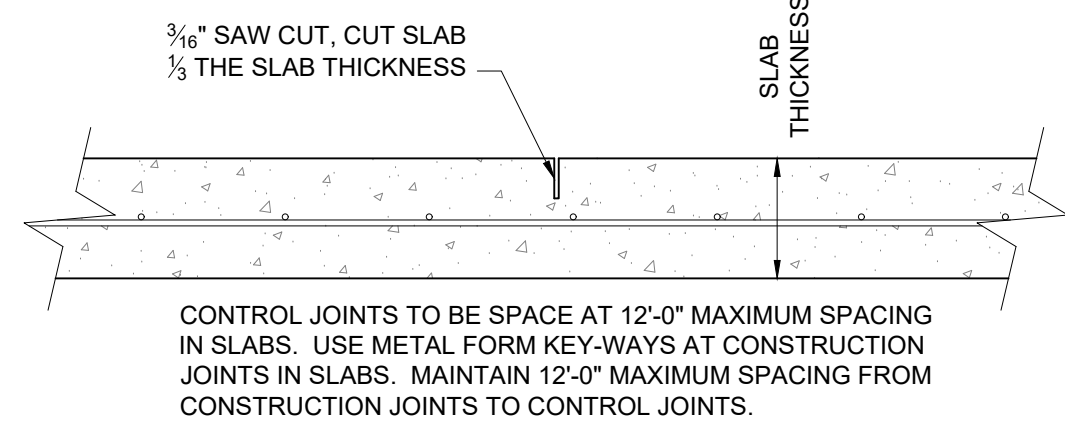


TYPICAL BLOCK-OUT DETAIL
SCALE: 1"=1'-0" @ EXTERIOR DOOR LOCATIONS

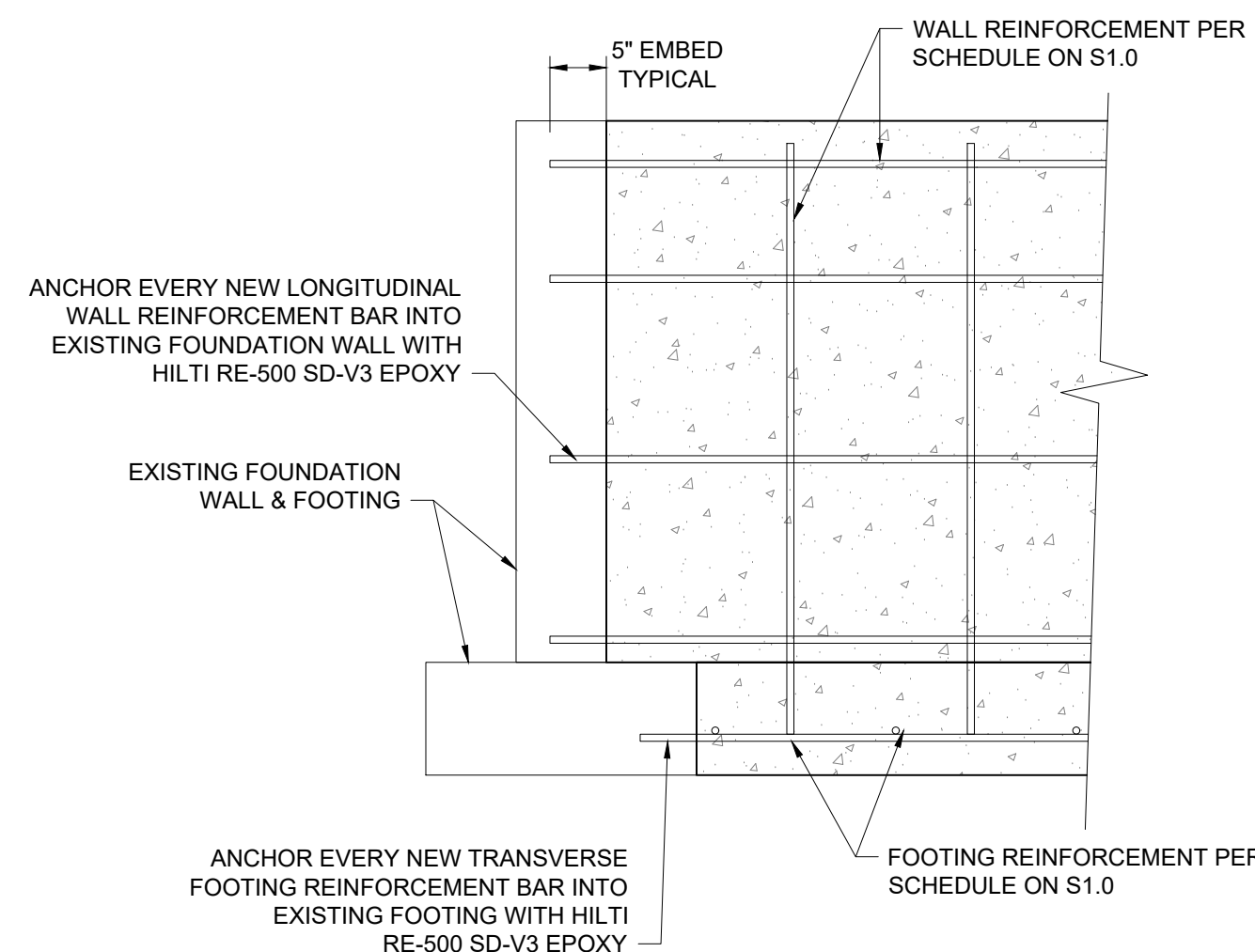


TYPICAL MONOLITHIC FOOTING DETAIL

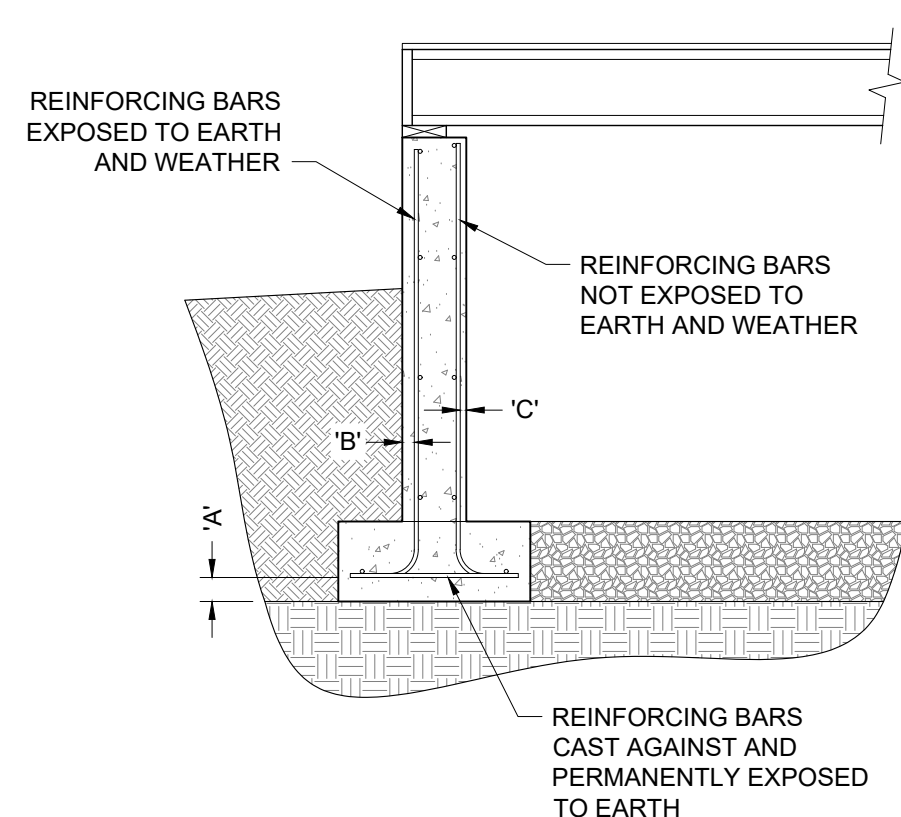
SCALE: 1"=1'-0" @ CONCRETE SLABS



TYPICAL SLAB CONTROL JOINTS



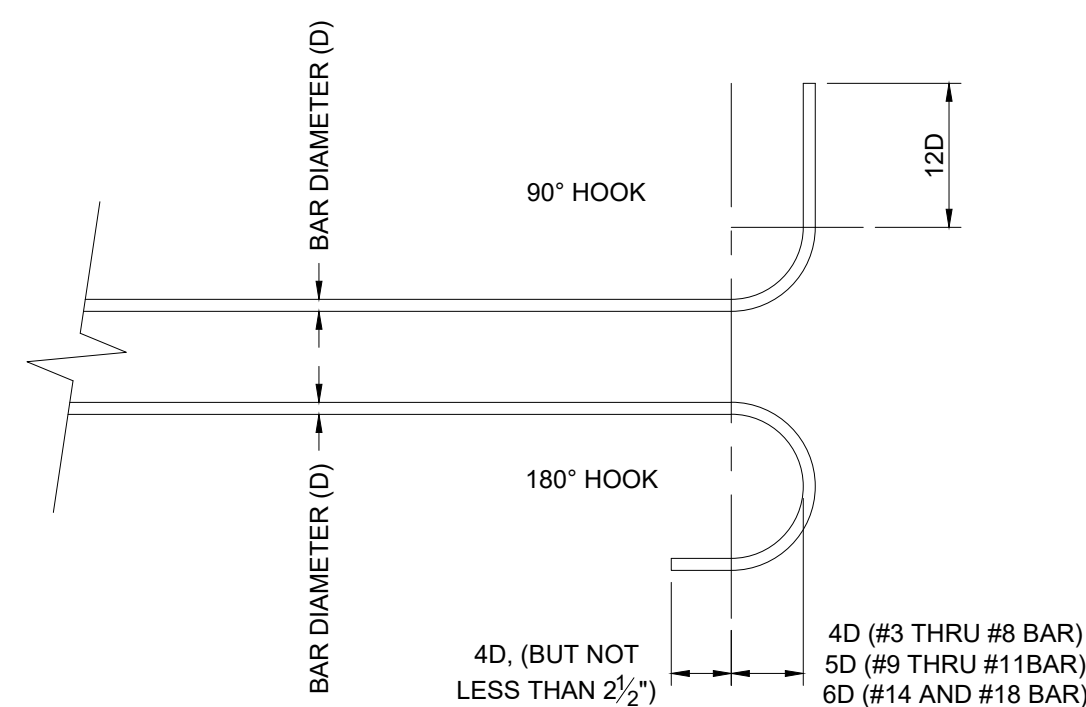
TYPICAL NEW FND TO EXISTING FND DETAIL
SCALE: $\frac{3}{4}"=1'-0"$



MINIMUM REINFORCING BAR COVER DISTANCES		
LOCATION	COVER DISTANCE	NOTES
'A'	3" MINIMUM	FOR ALL REINFORCING BAR SIZES
'B'	2" MINIMUM	FOR #6 BAR THROUGH #18 BAR
'B'	1½" MINIMUM	FOR #5 BAR AND SMALLER
'C'	1½" MINIMUM	FOR #14 AND #18 BARS
'C'	¾" MINIMUM	FOR #11 BARS AND SMALLER
BEAMS AND COLUMNS	1½" MINIMUM	FOR PRIMARY REINFORCEMENT, TIES, STIRRUPS, AND SPIRALS

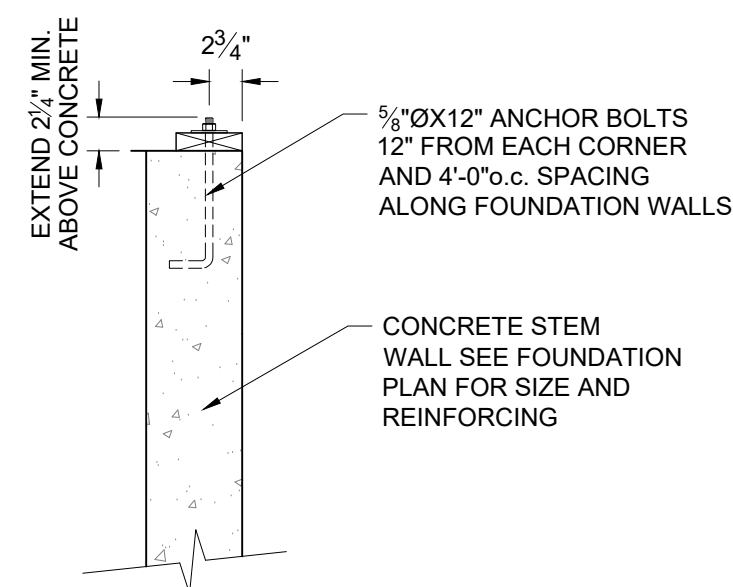
NOTE:
USE THE ABOVE MINIMUM COVER DISTANCES WHEN THE ACTUAL
LOCATIONS ARE NOT SPECIFIED IN THE STRUCTURAL NOTES,
SCHEDULES, OR STRUCTURAL DETAILS.

MINIMUM REINFORCING BAR COVER DISTANCES

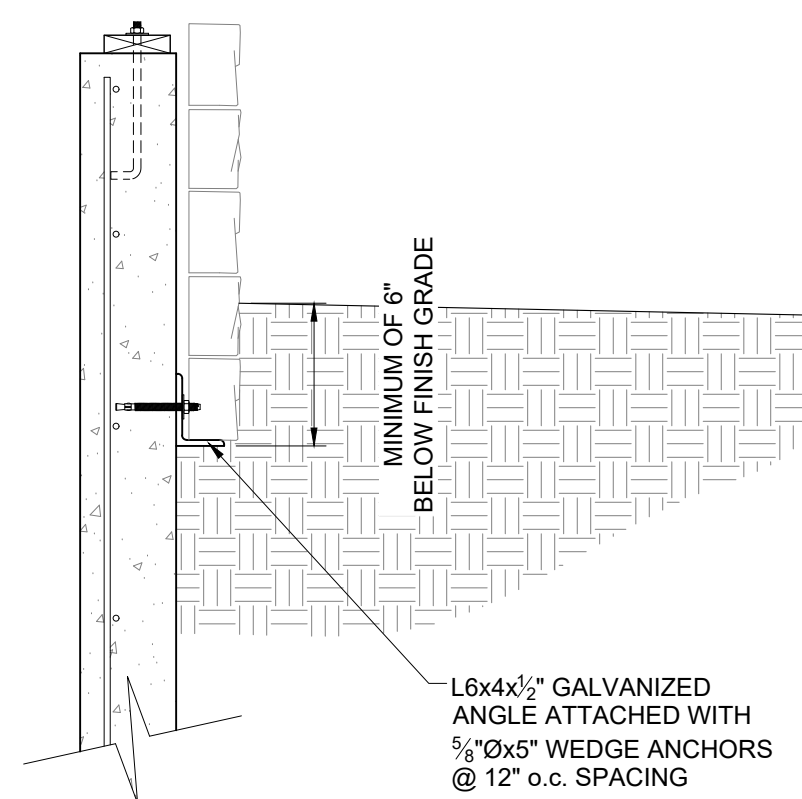


STANDARD REBAR HOOK AND BEND

SCALE: 1½"=1'-0" PER ACI 318-14, CHAPTER 25, SECTION 25.3.1

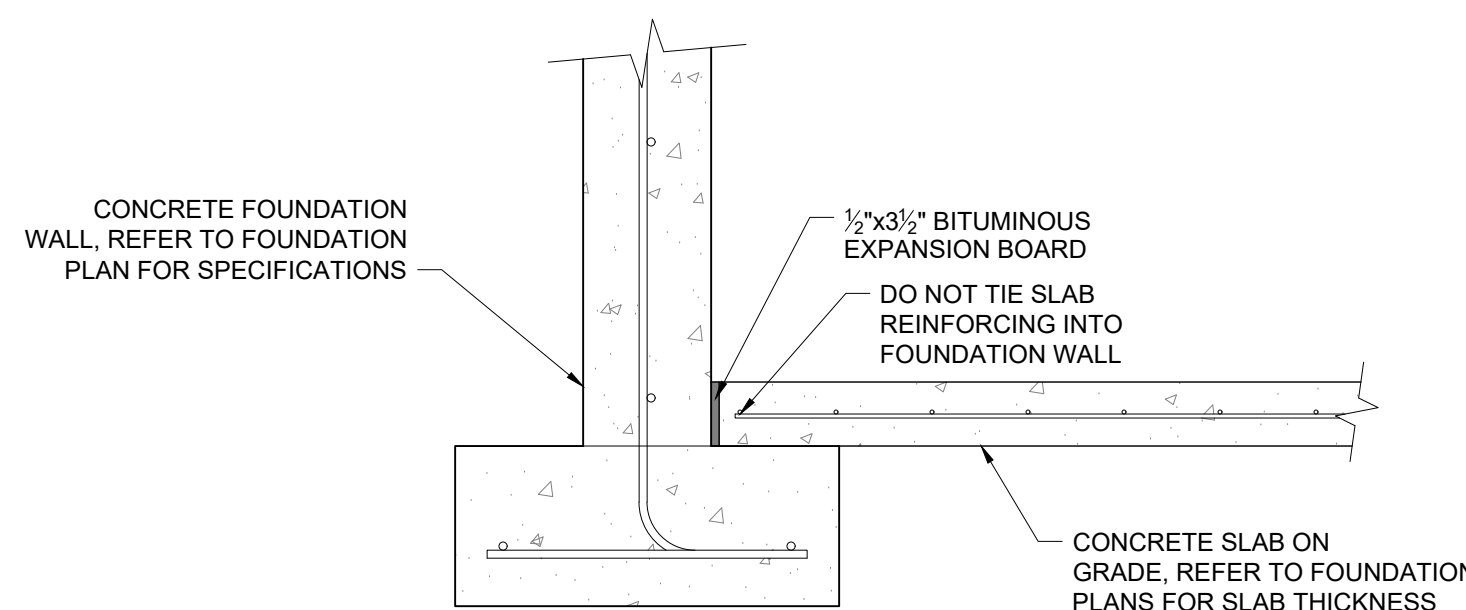


TYPICAL ANCHOR BOLT LAYOUT

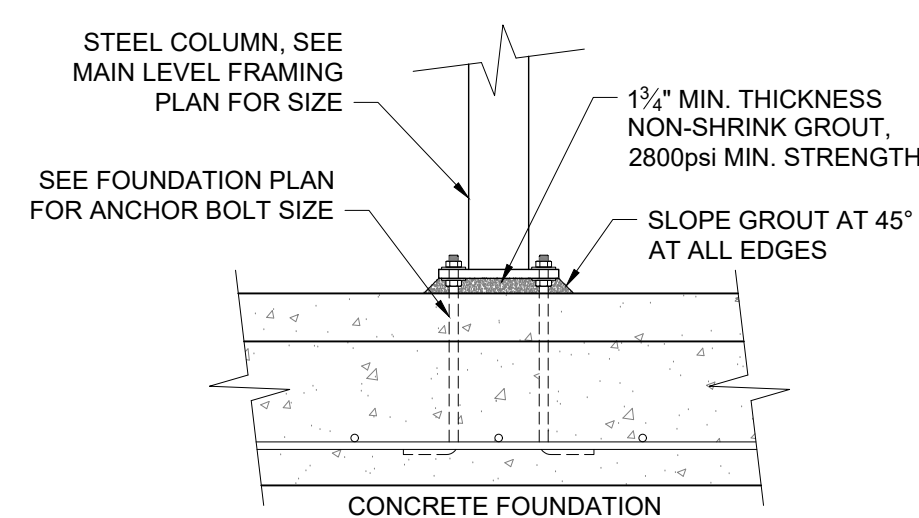


STONE LEDGER DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ TALL FOUNDATION WALL

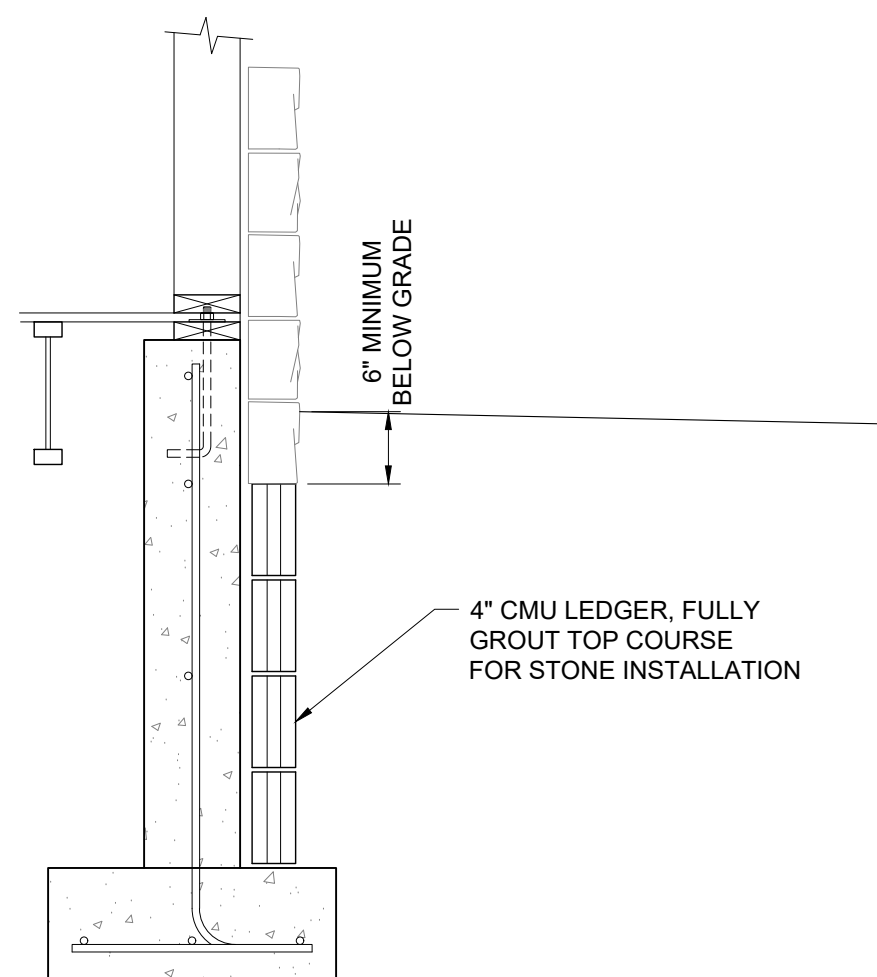


TYPICAL SLAB/FOUNDATION CONNECTION



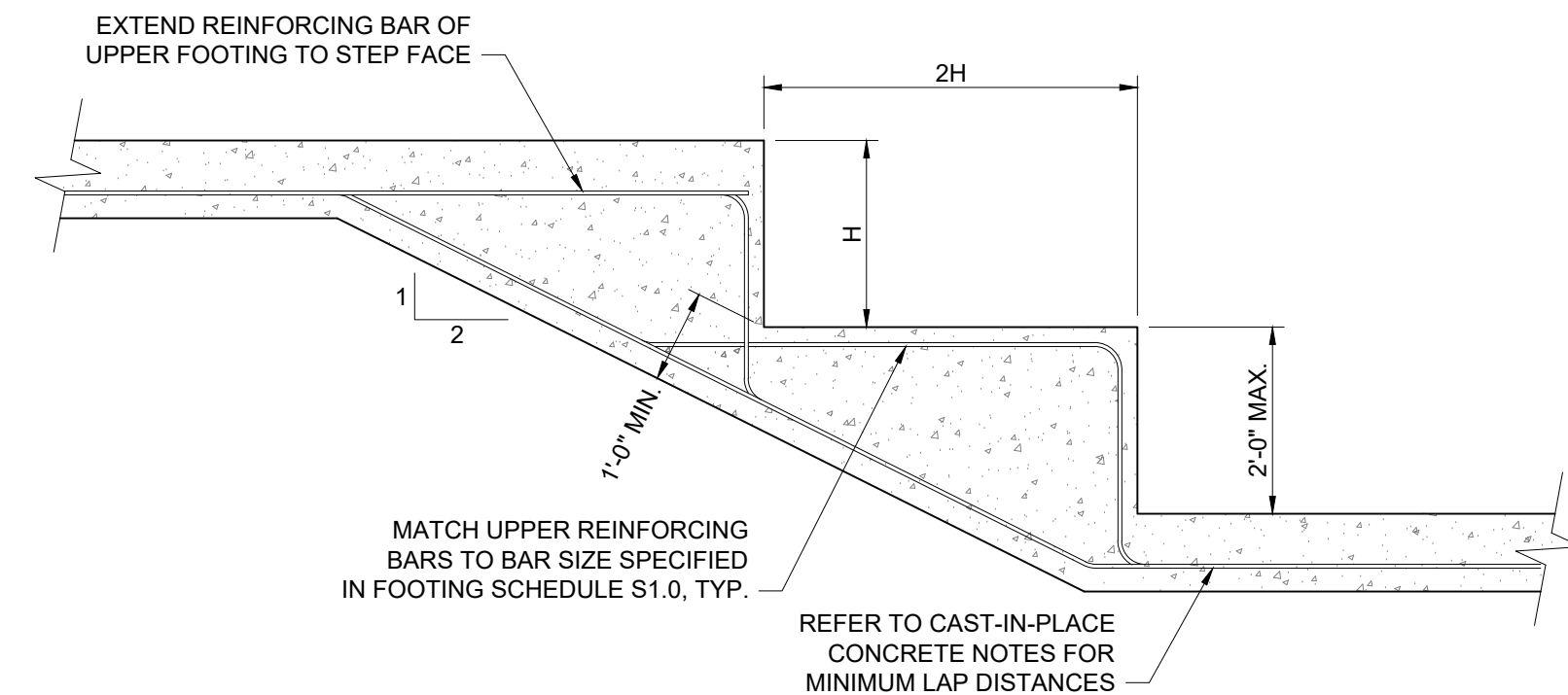
TYPICAL GROUT DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ STEEL COLUMN BASES



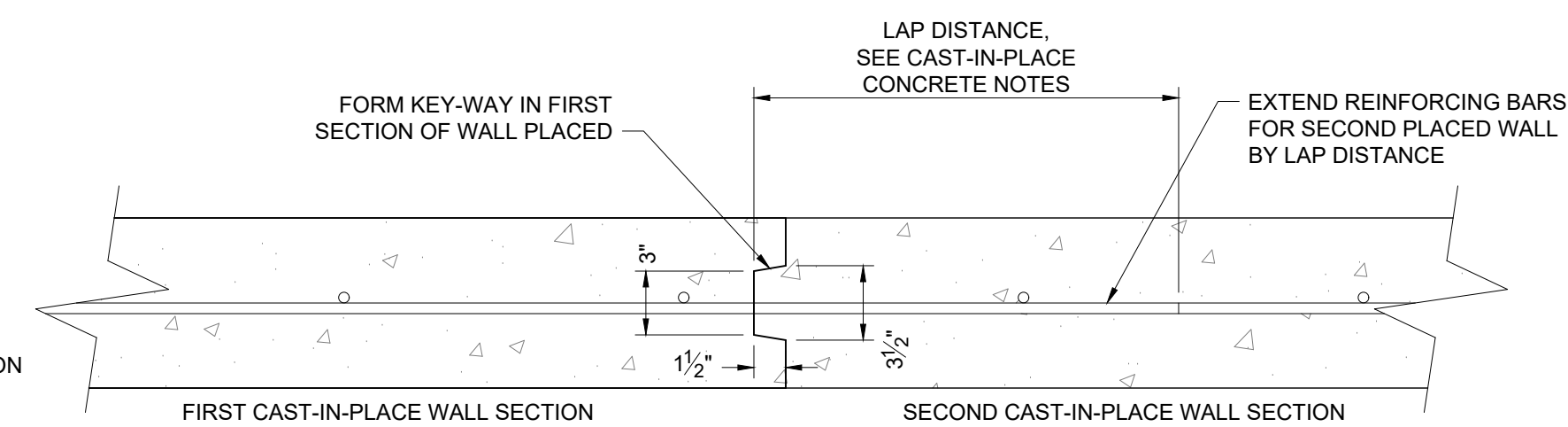
STONE LEDGER DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ SHORT FOUNDATION WALL



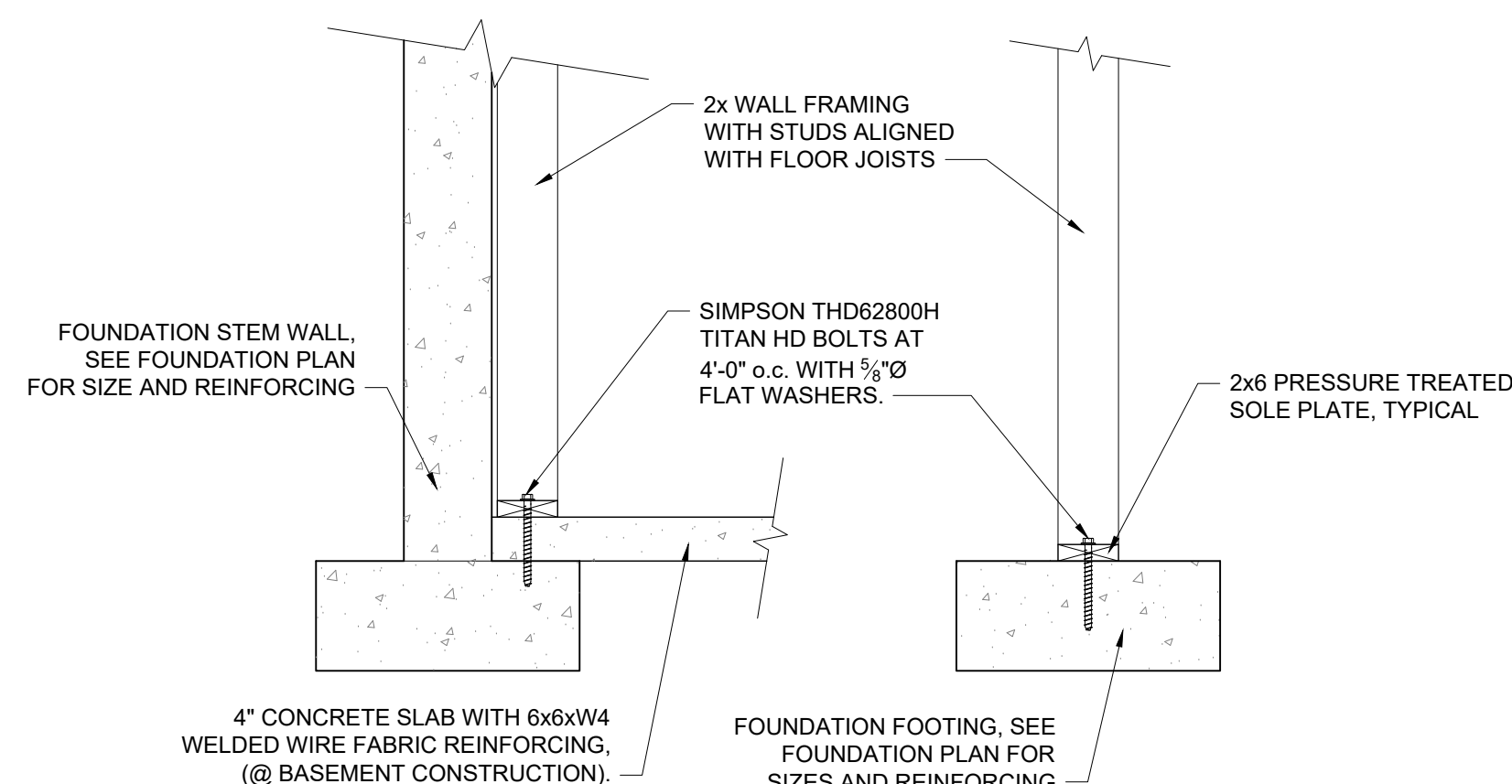
TYPICAL FOOTING STEP DETAIL

SCALE: 1/2"=1'-0"



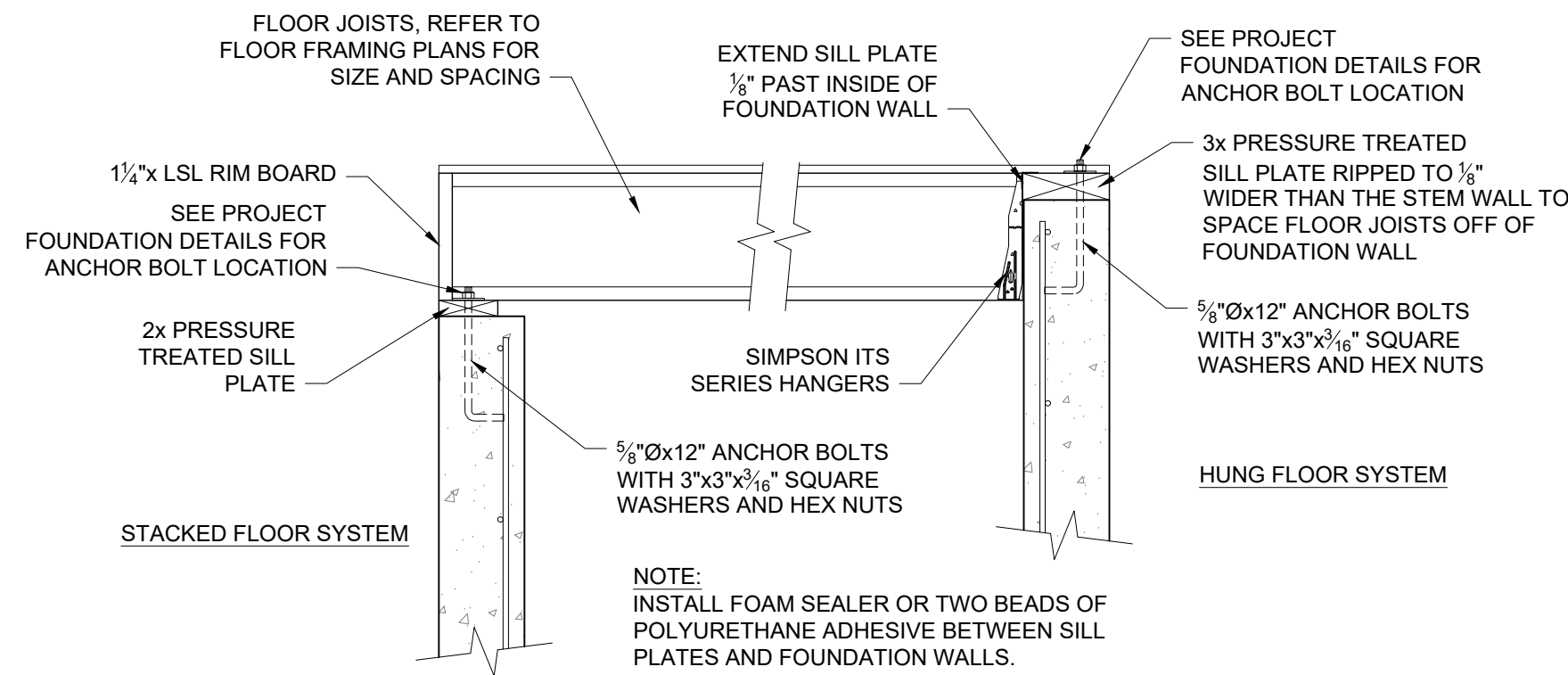
CONSTRUCTION JOINT DETAIL

SCALE: 1½"=1'-0" @ CAST-IN-PLACE CONCRETE WALLS

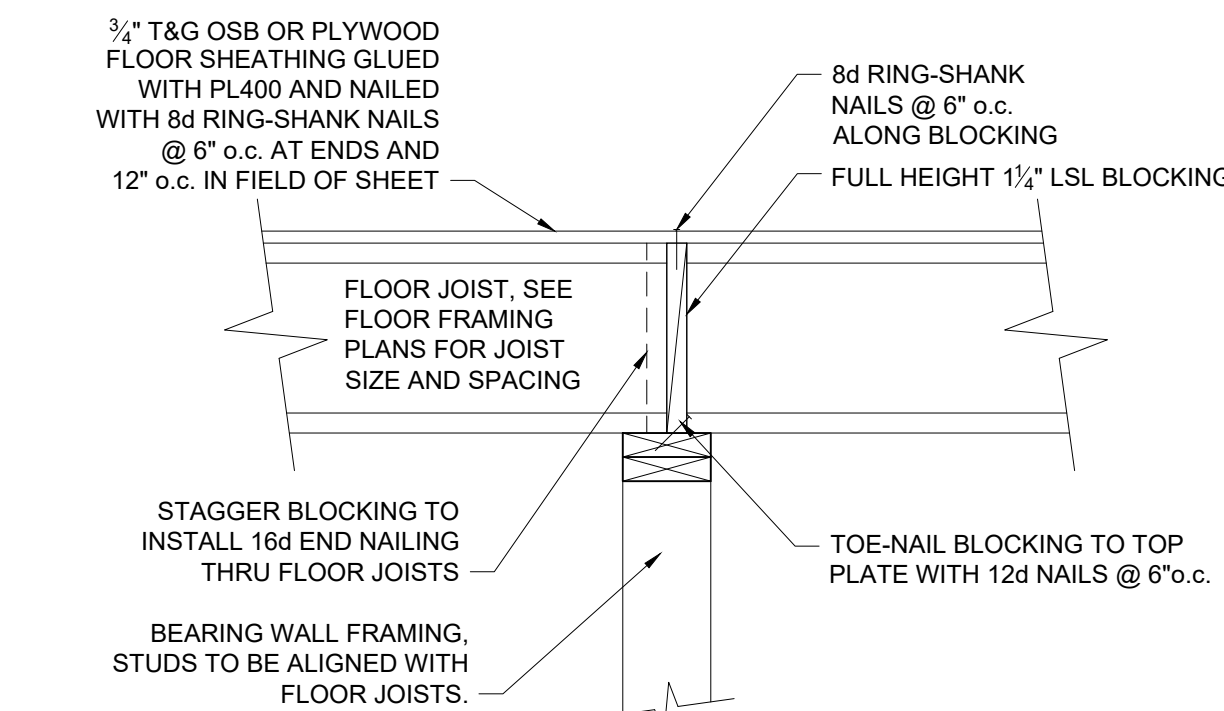


WALL CONNECTION DETAIL

SCALE: $\frac{3}{4}"=1'-0"$ @ FOOTINGS AND SLABS

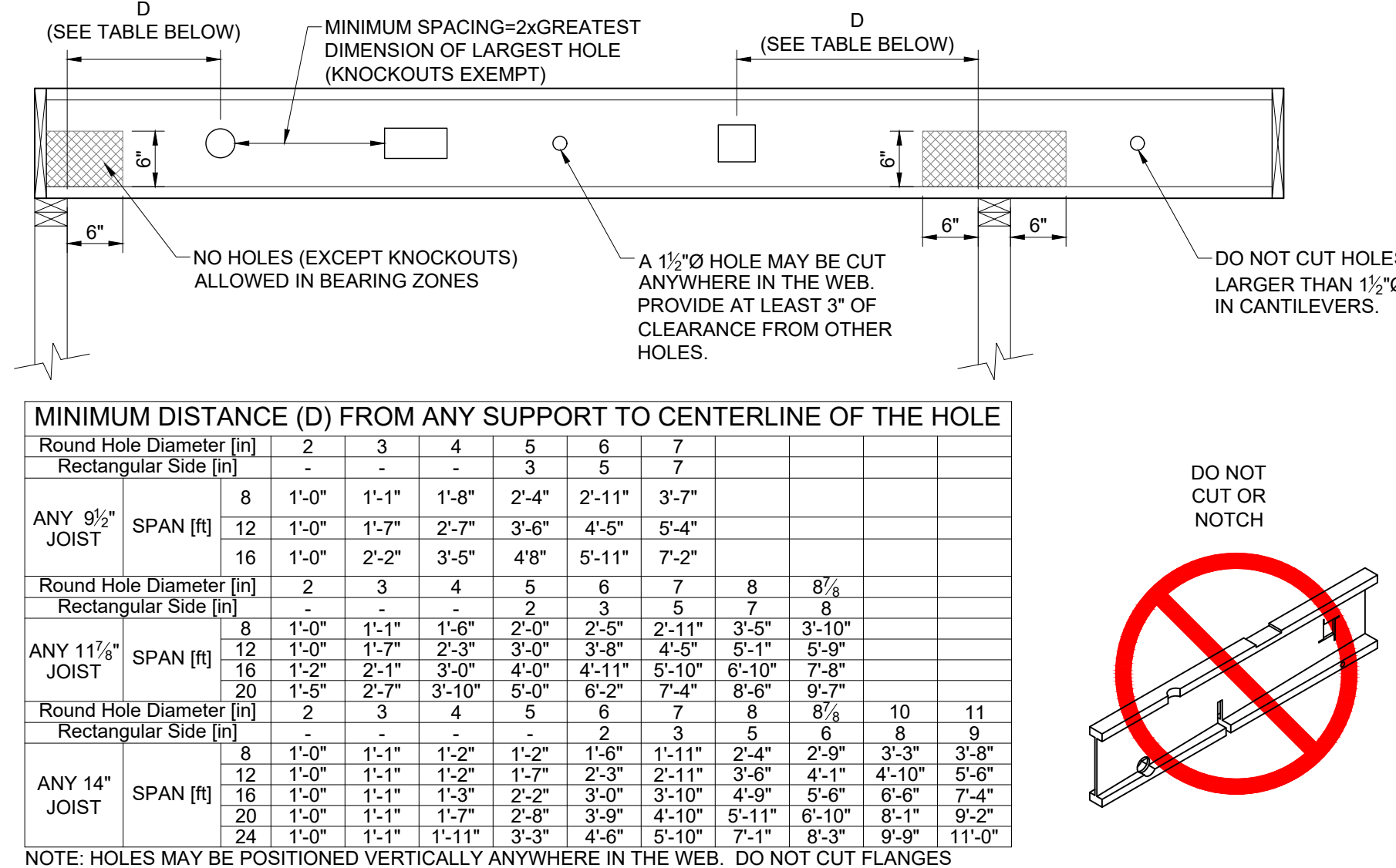


TYPICAL SILL PLATE INSTALLATION

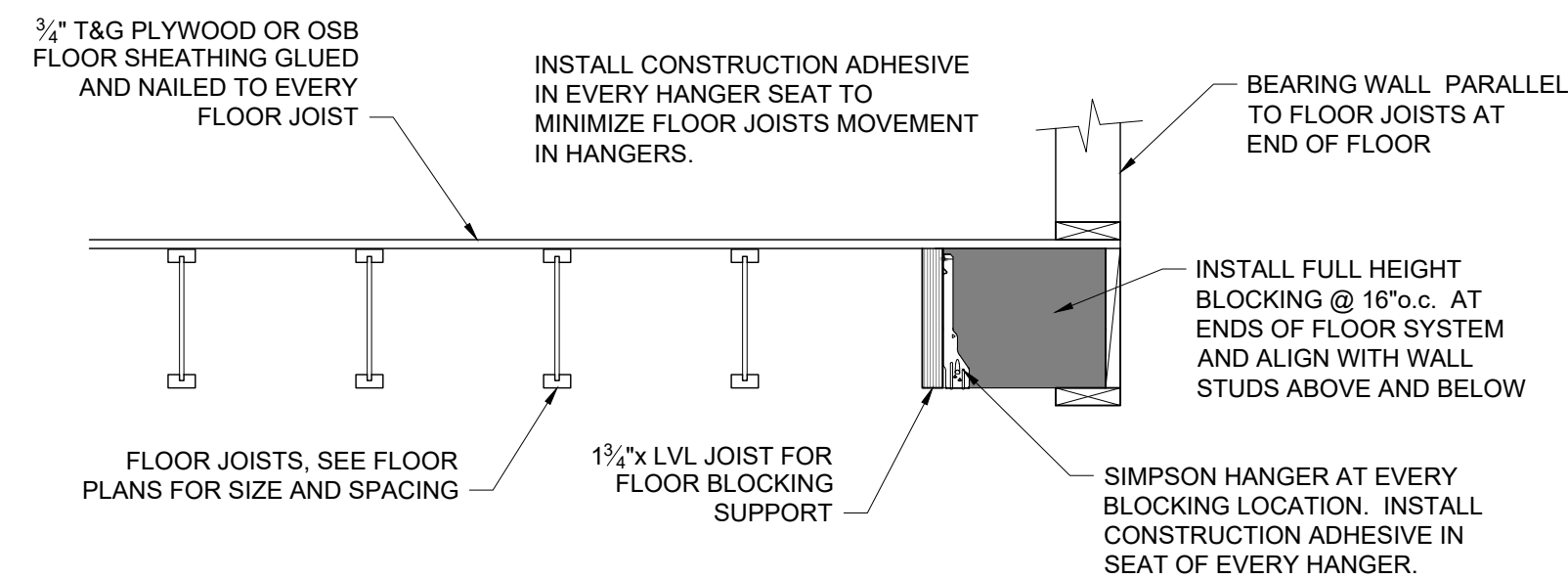


TYPICAL BLOCKING DETAIL

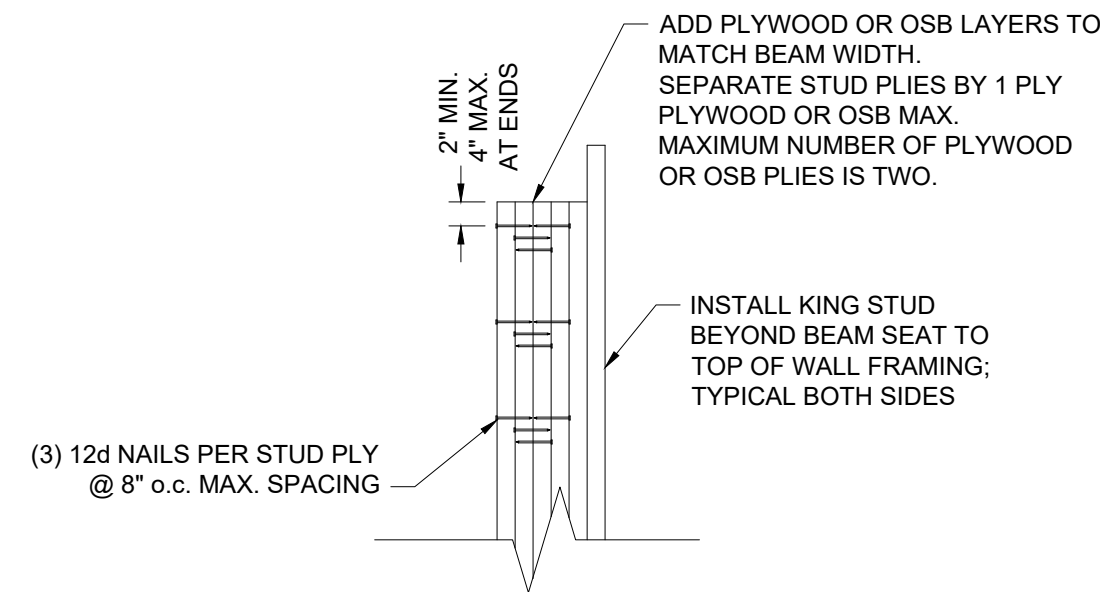
SCALE: 1"=1'-0" @ FLOOR JOISTS



'I'-JOIST NOTCHING DETAIL

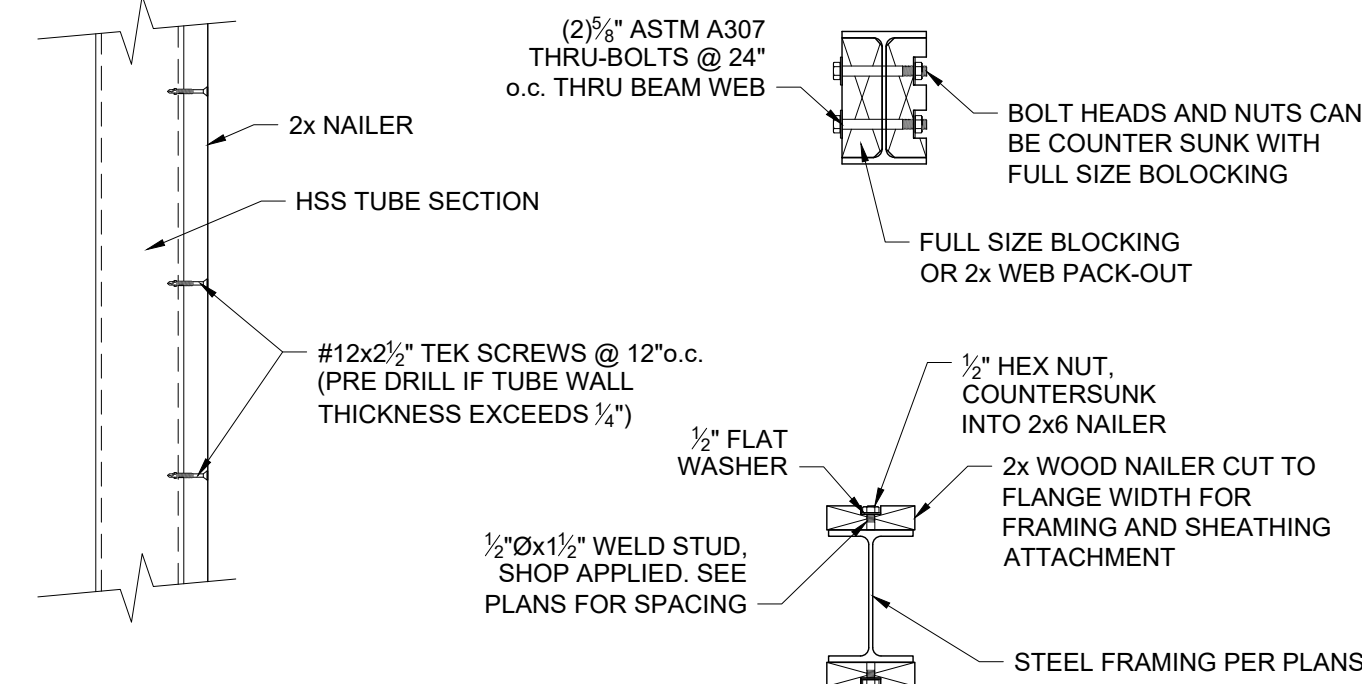


TYPICAL FLOOR CONSTRUCTION DETAIL
SCALE: $\frac{3}{4}"=1'-0"$ @ BEARING WALLS

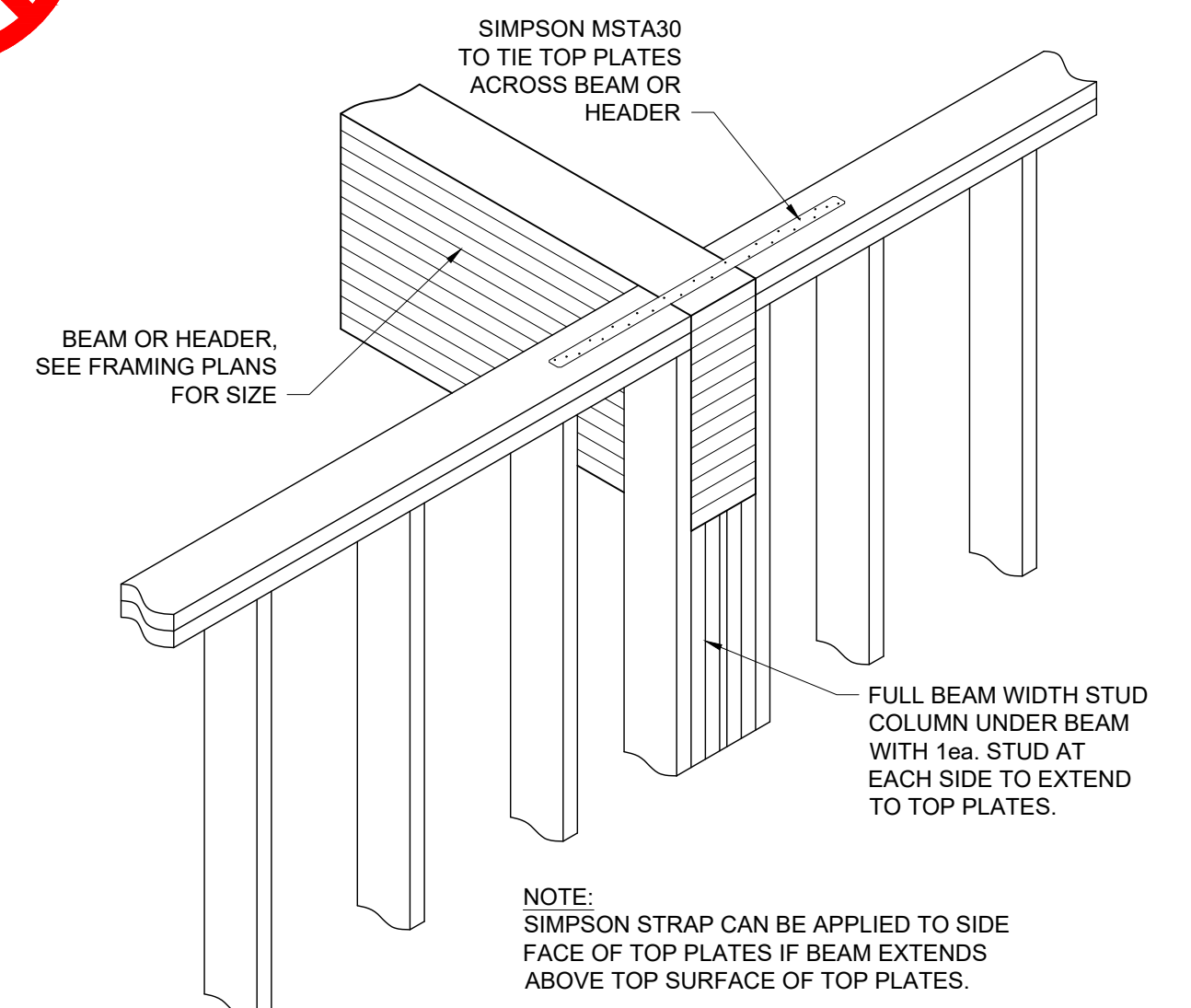


TYPICAL BUILT-UP POST DETAIL

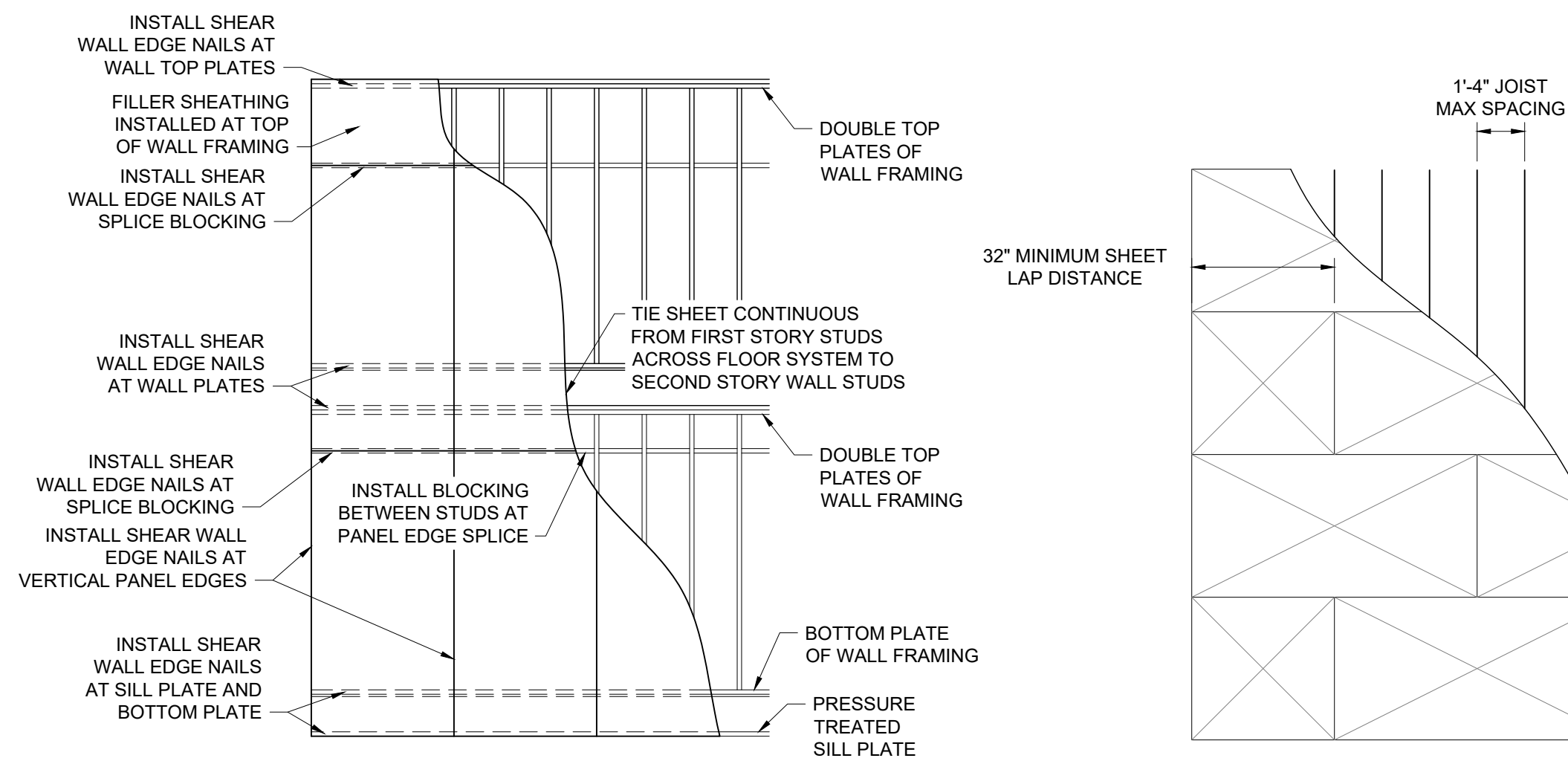
SCALE: $\frac{3}{4}"=1'-0"$



TYPICAL NAILER ATTACHMENT DETAIL

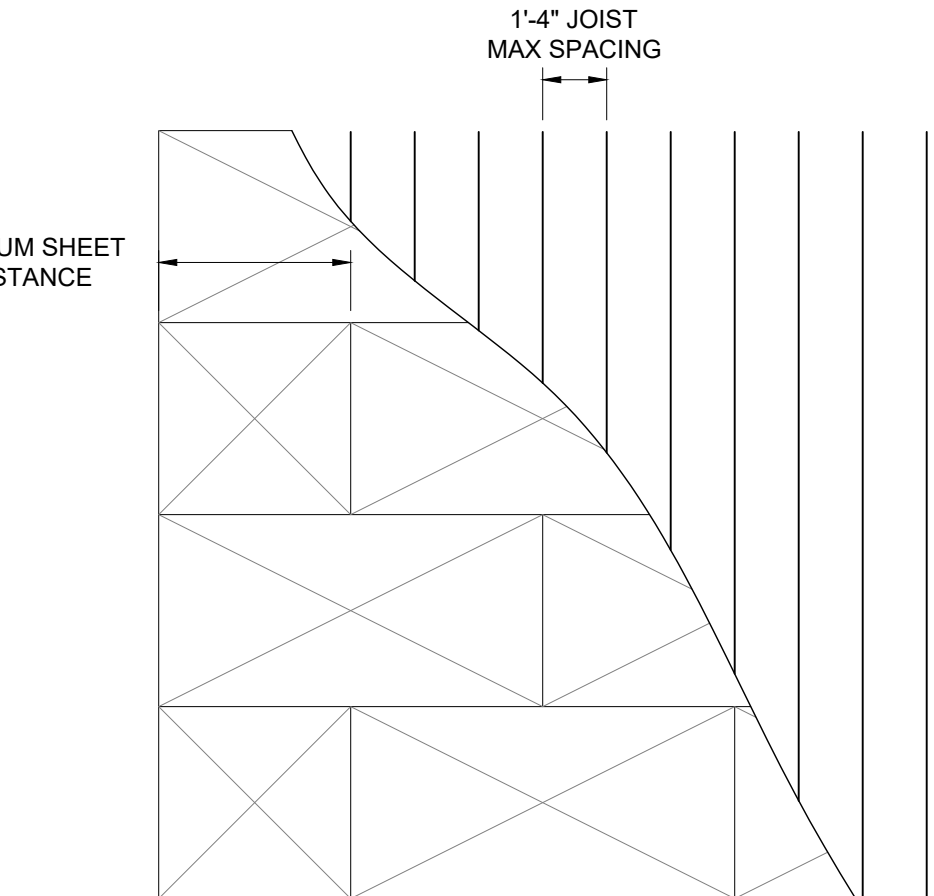


TYPICAL BEAM SUPPORT DETAIL



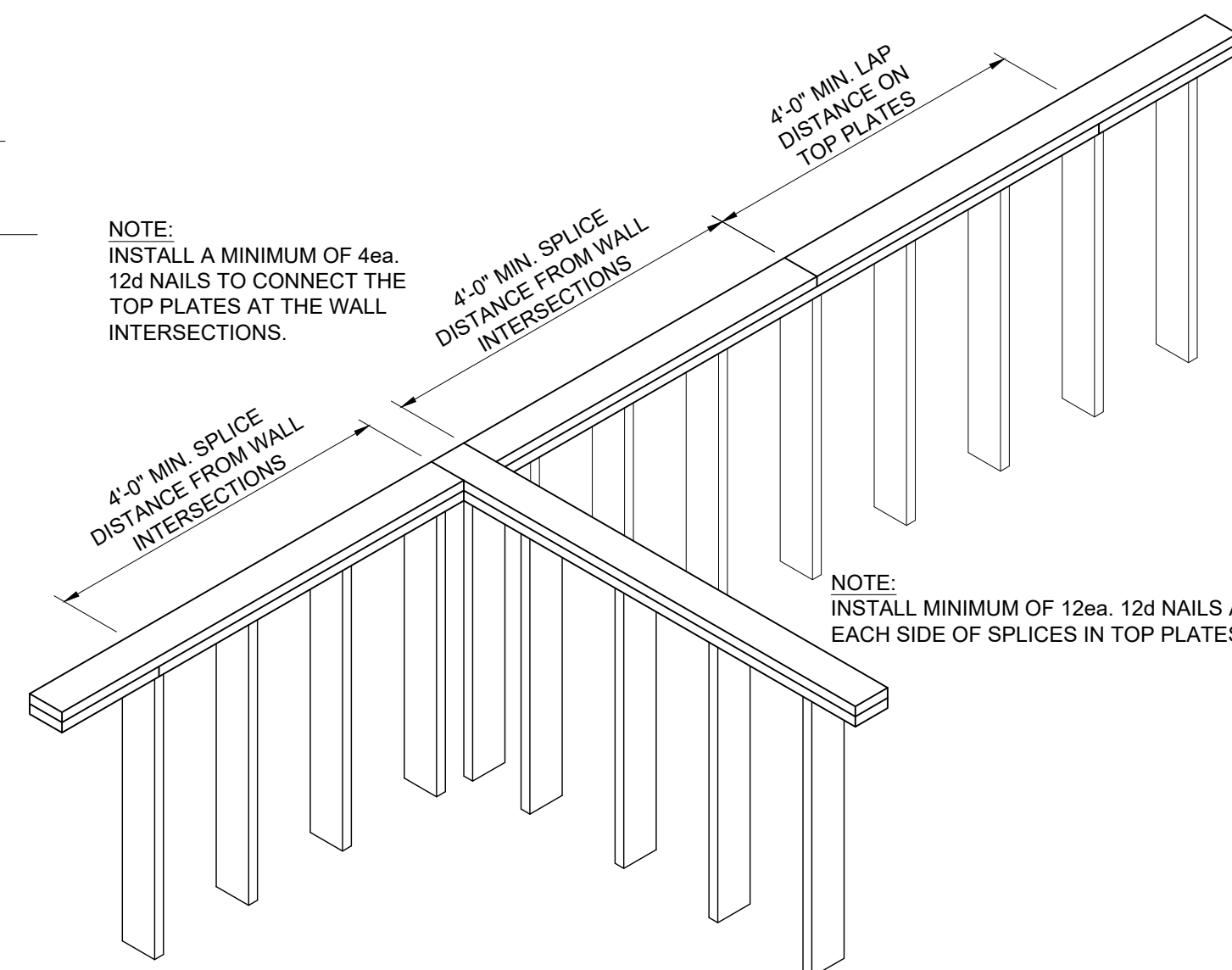
WALL SHEATHING DETAIL

SCALE: 1/4"=1'-0"

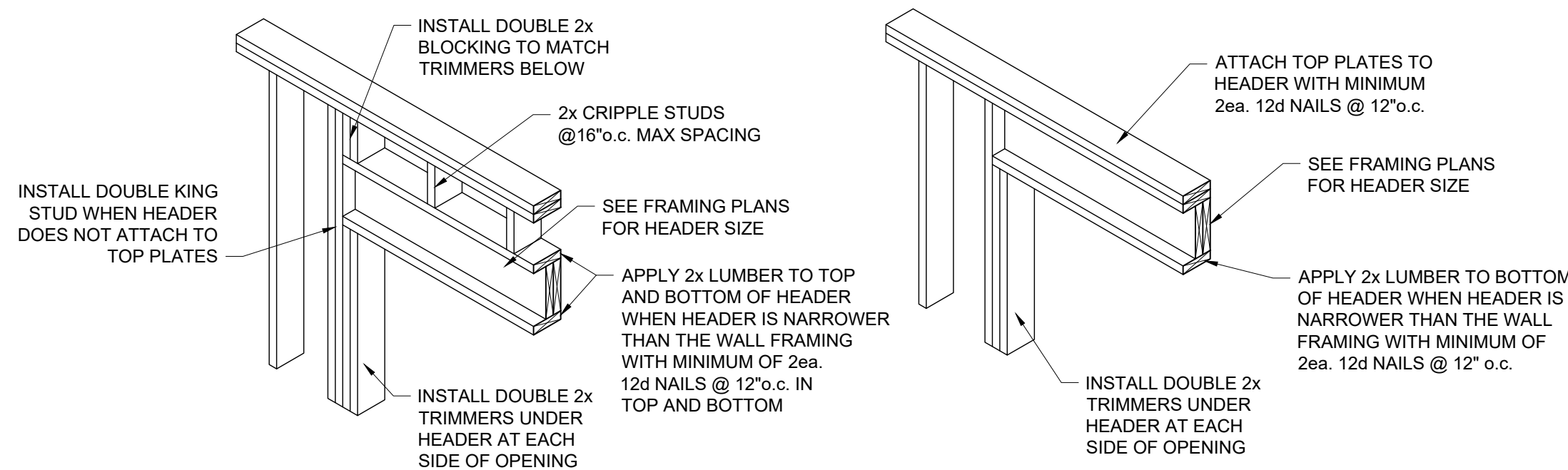


FLOOR SHEATHING DETAIL

NOTE:
INSTALL A MINIMUM
OF 12d NAILS TO CONNECT
TOP PLATES AT T-JUNCTION
INTERSECTIONS.



TYPICAL TOP PLATE SPLICE DETAIL
SCALE: $\frac{1}{2}"=1'-0"$

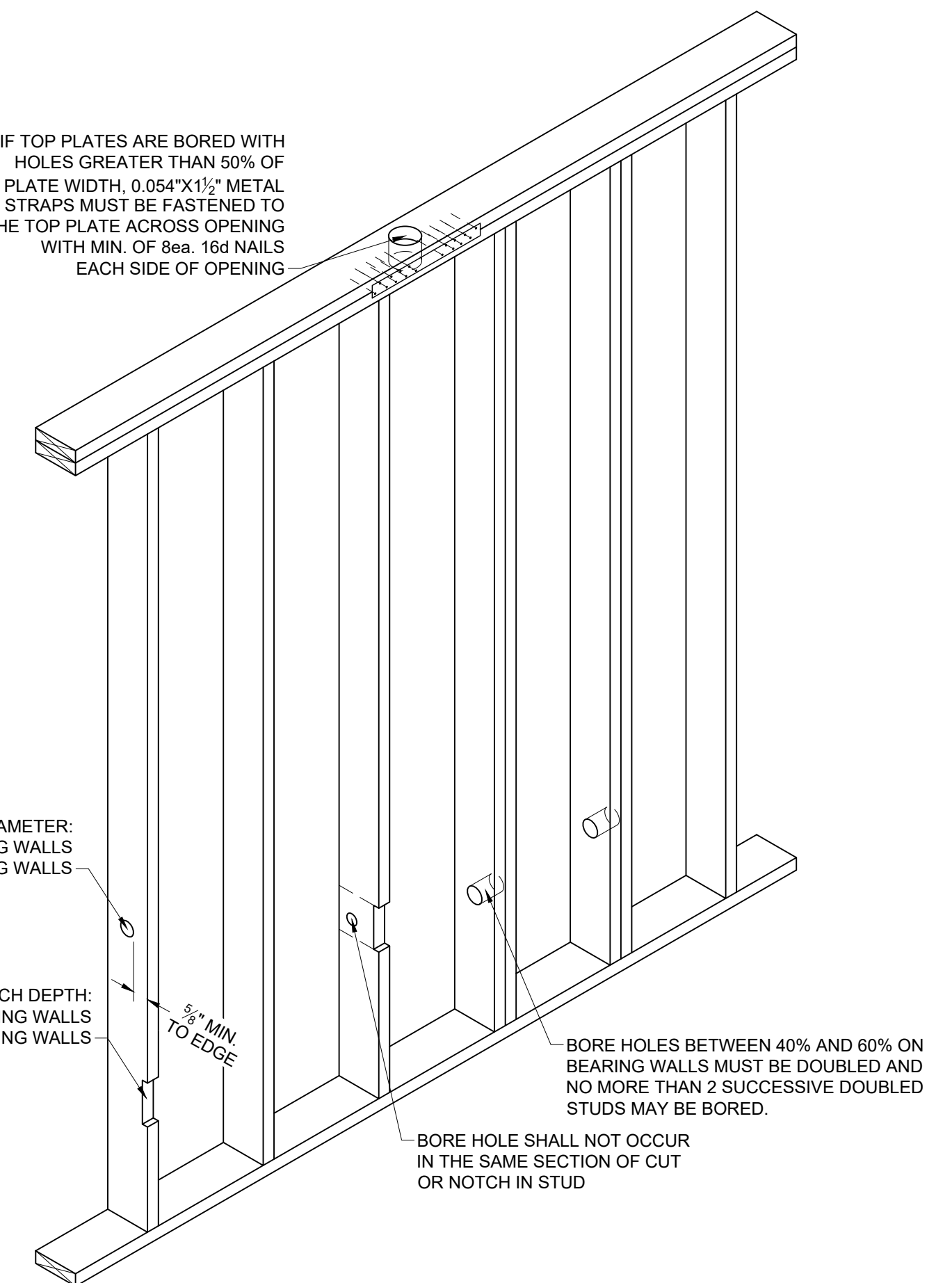


TYPICAL HEADER INSTALLATION DETAIL

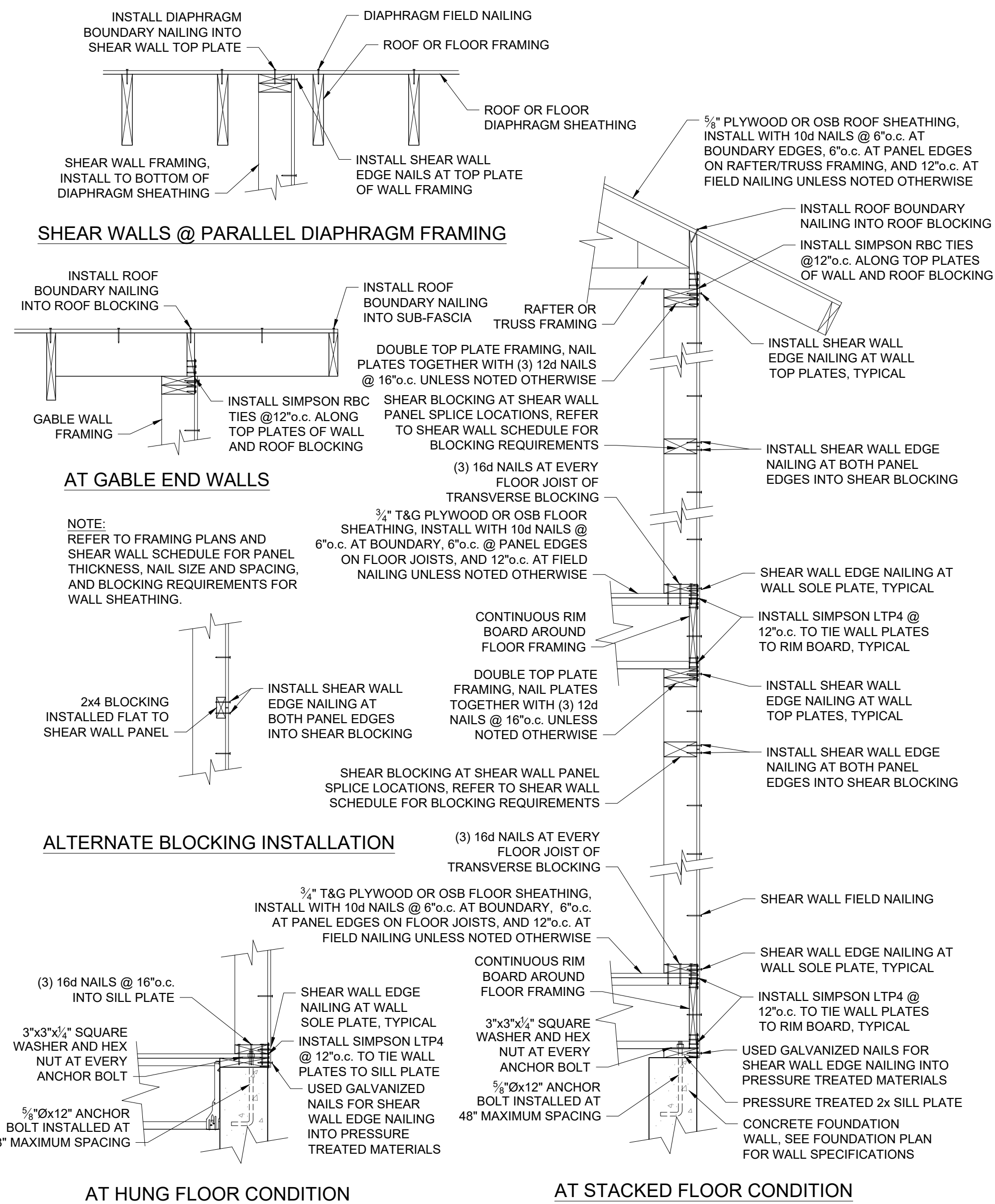
SCALE: 1/2"=1'-0" APPLICABLE TO OPENING UP TO 6'-0" WIDE

MAXIMUM BORE HOLE DIAMETER:
40% STUD DEPTH- BEARING WALLS
60% STUD DEPTH- NON-BEARING WALLS

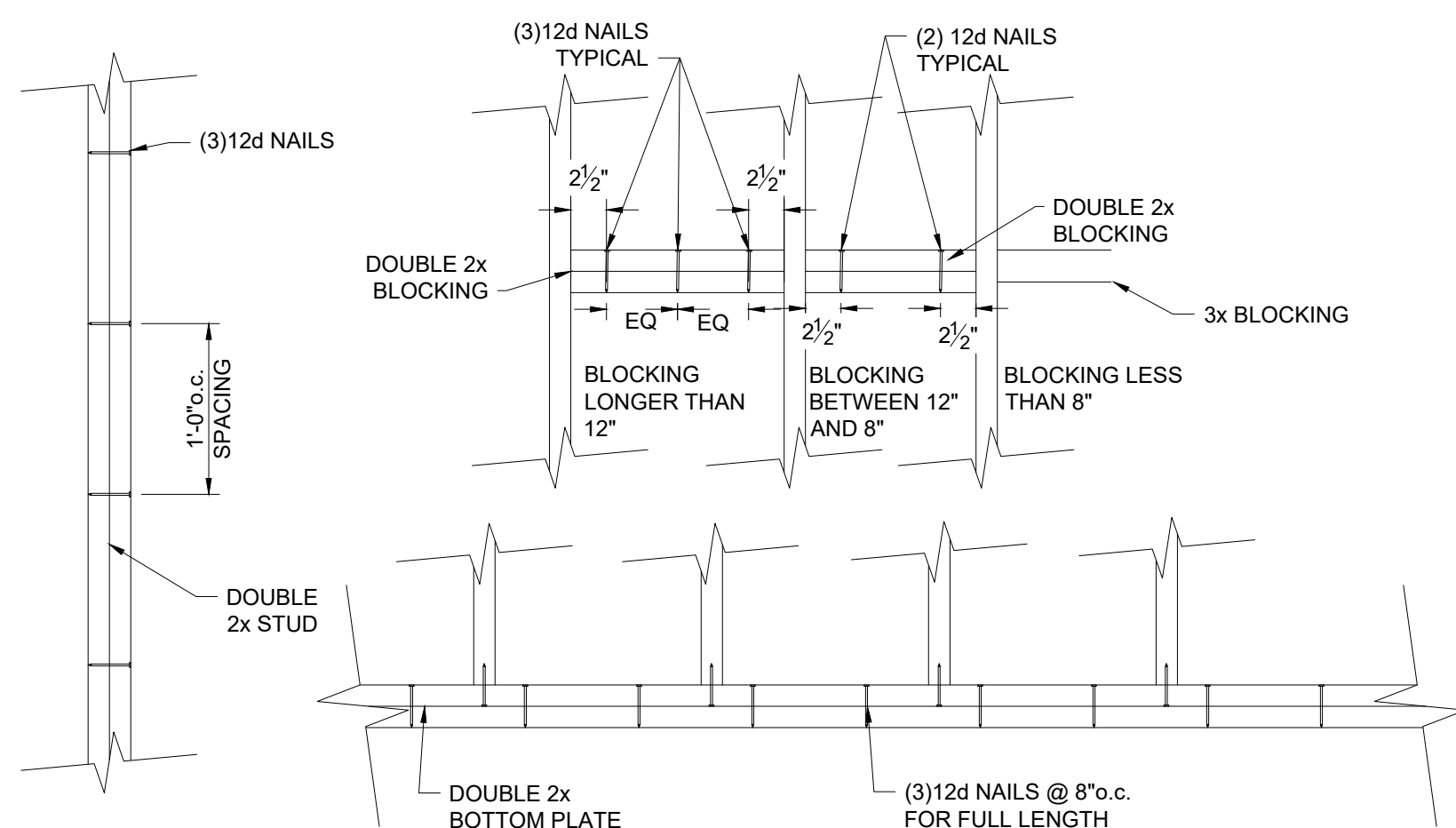
MAXIMUM NOTCH DEPT
25% STUD DEPTH- BEARING WALL
40% STUD DEPTH- NON-BEARING WALL



WALL FRAMING NOTCHING DETAIL

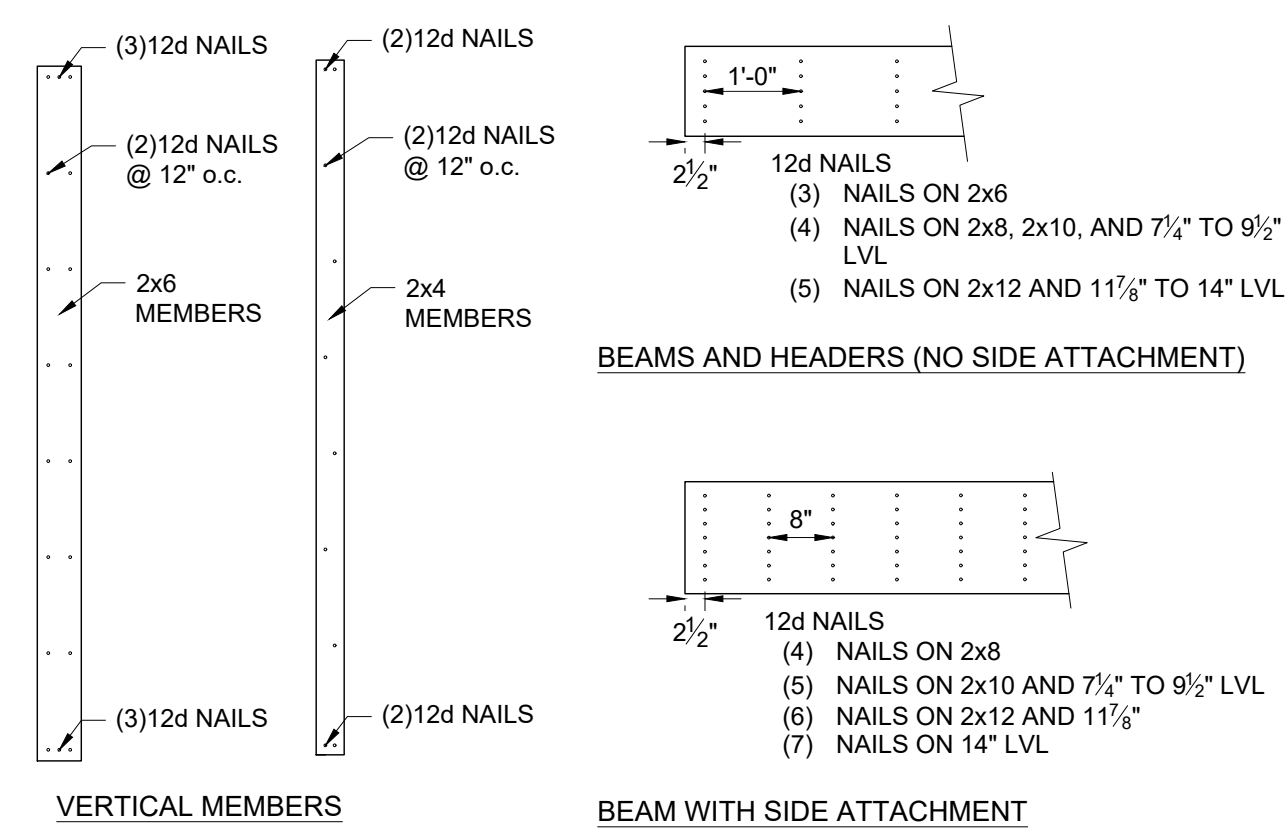


TYPICAL DIAPHRAGM/SHEAR WALL LOAD PATH DETAIL
SCALE: 3/4"=1'-0"

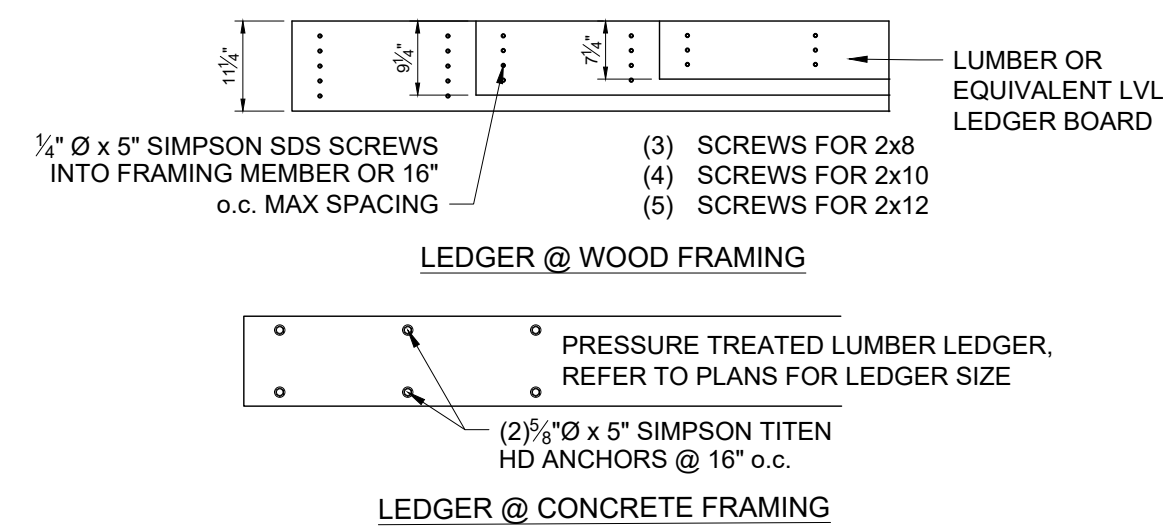


ALTERNATE TO 3x BLOCKING

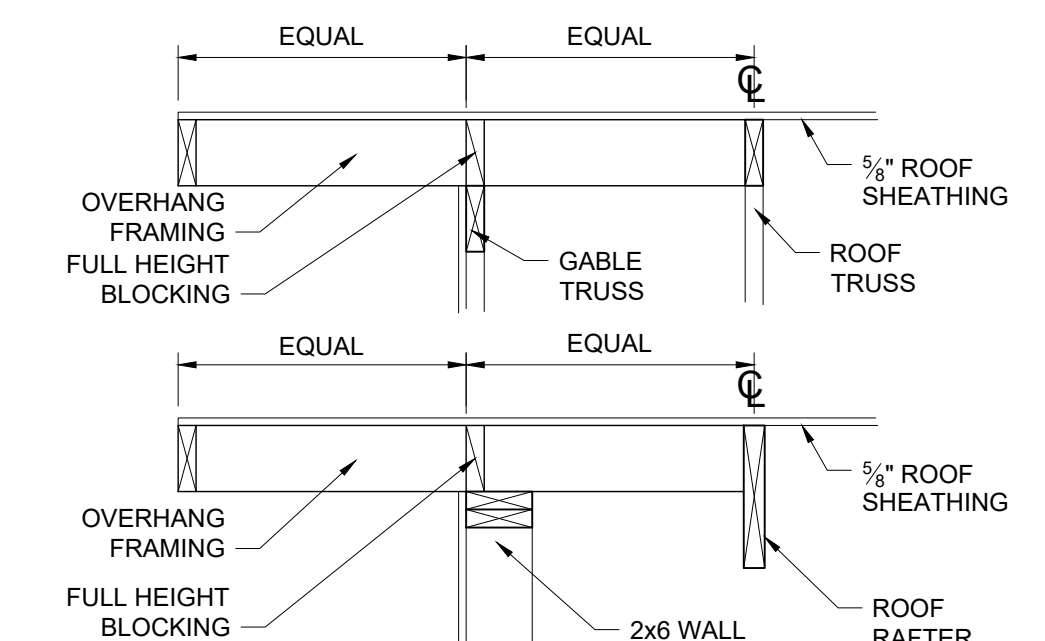
SCALE: 1"=1'-0" @ SHEAR WALLS



MINIMUM NAILING FOR BUILT UP MEMBERS

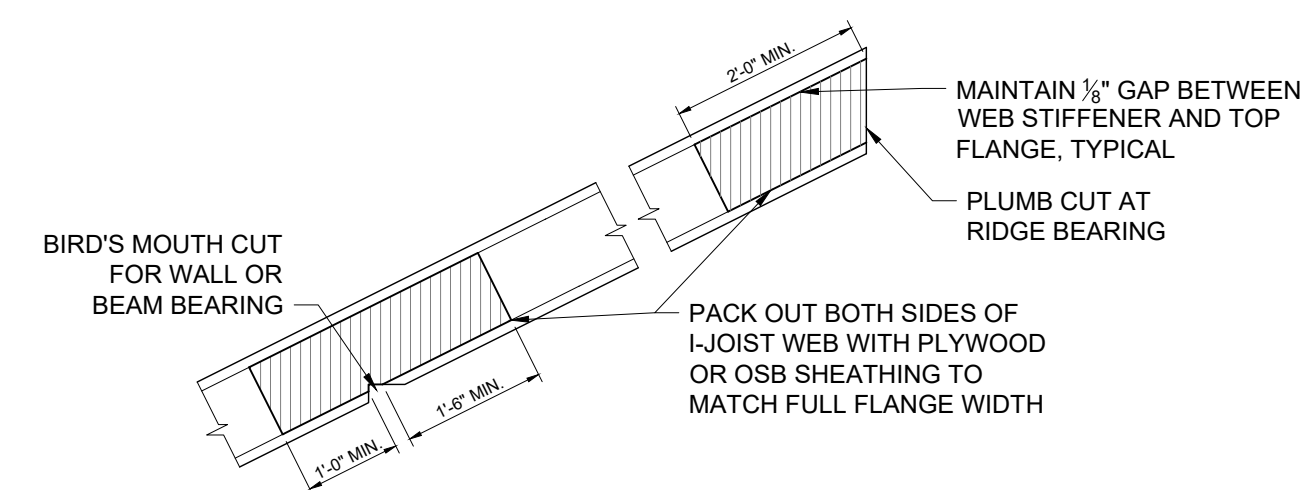


LEDGER CONNECTION DETAIL



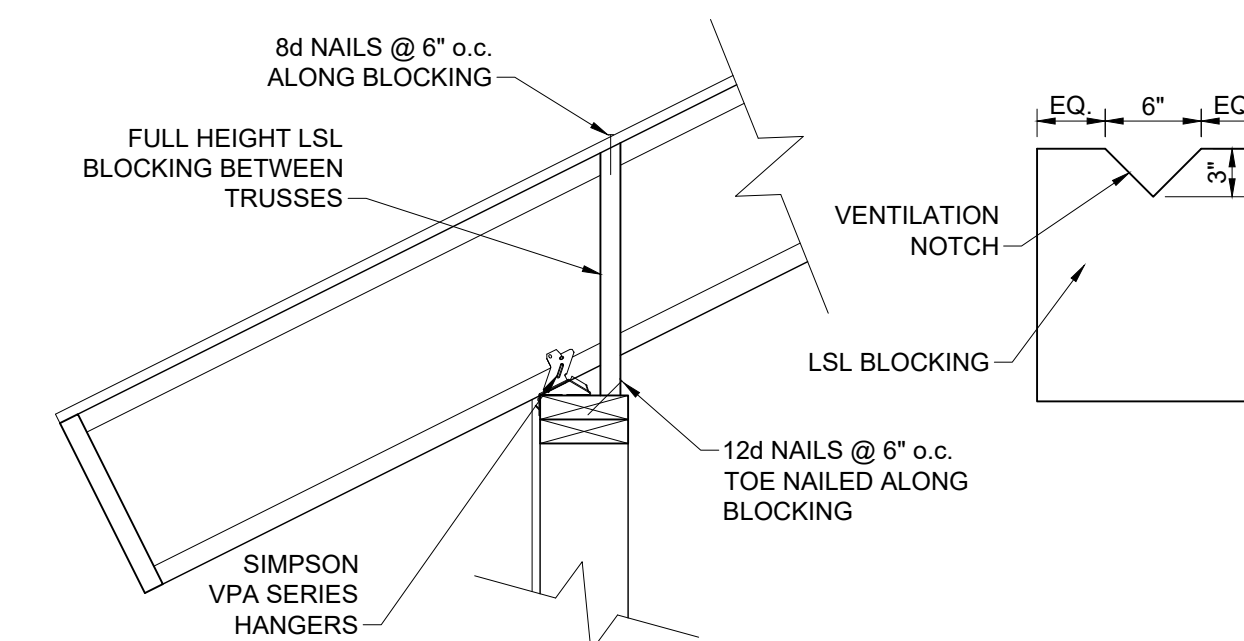
TYPICAL OVERHANG FRAMING

SCALE: $\frac{3}{4}"=1'-0"$ @ GABLE ENDS

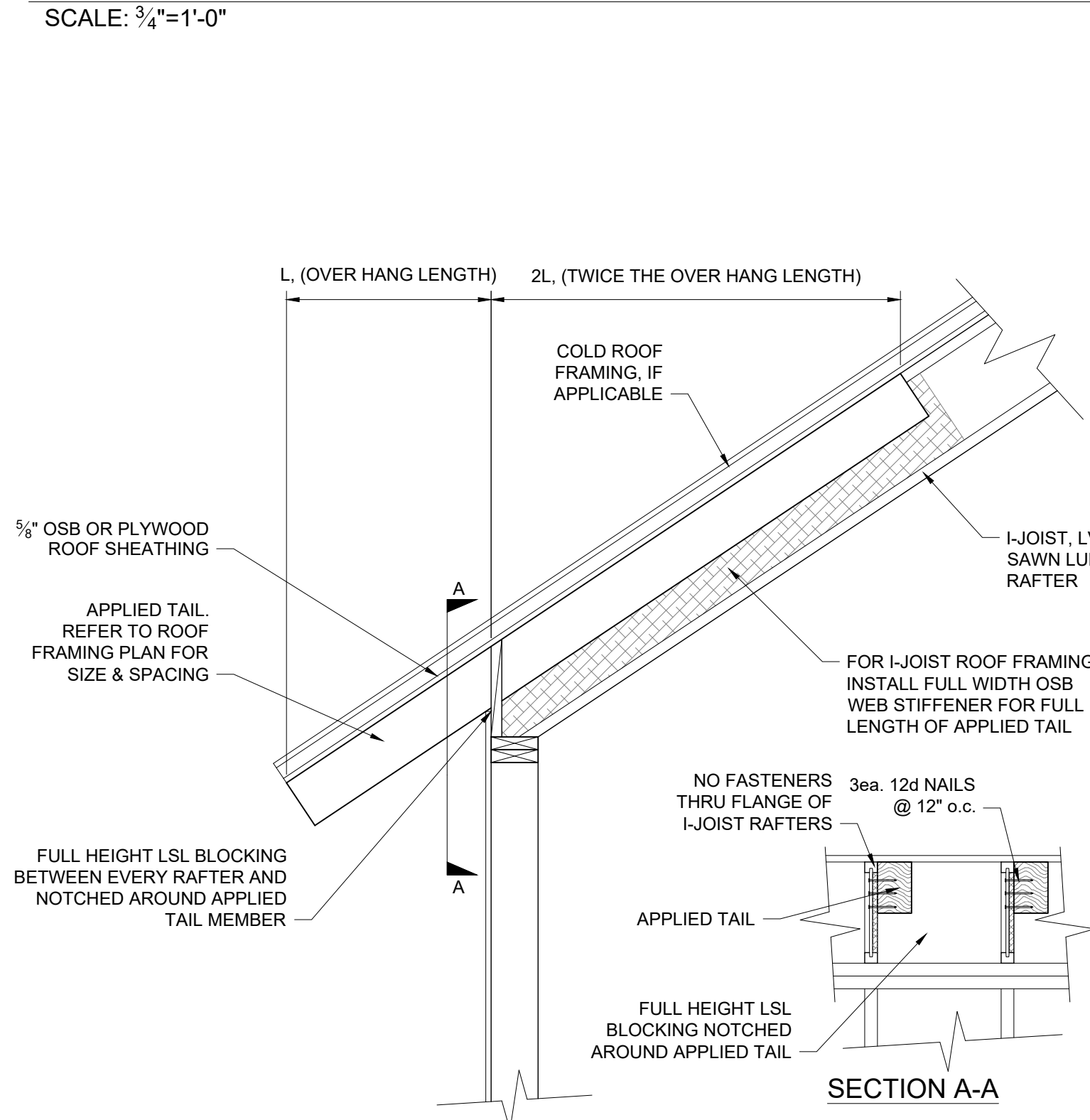


RAFTER WEB STIFFENER DETAIL

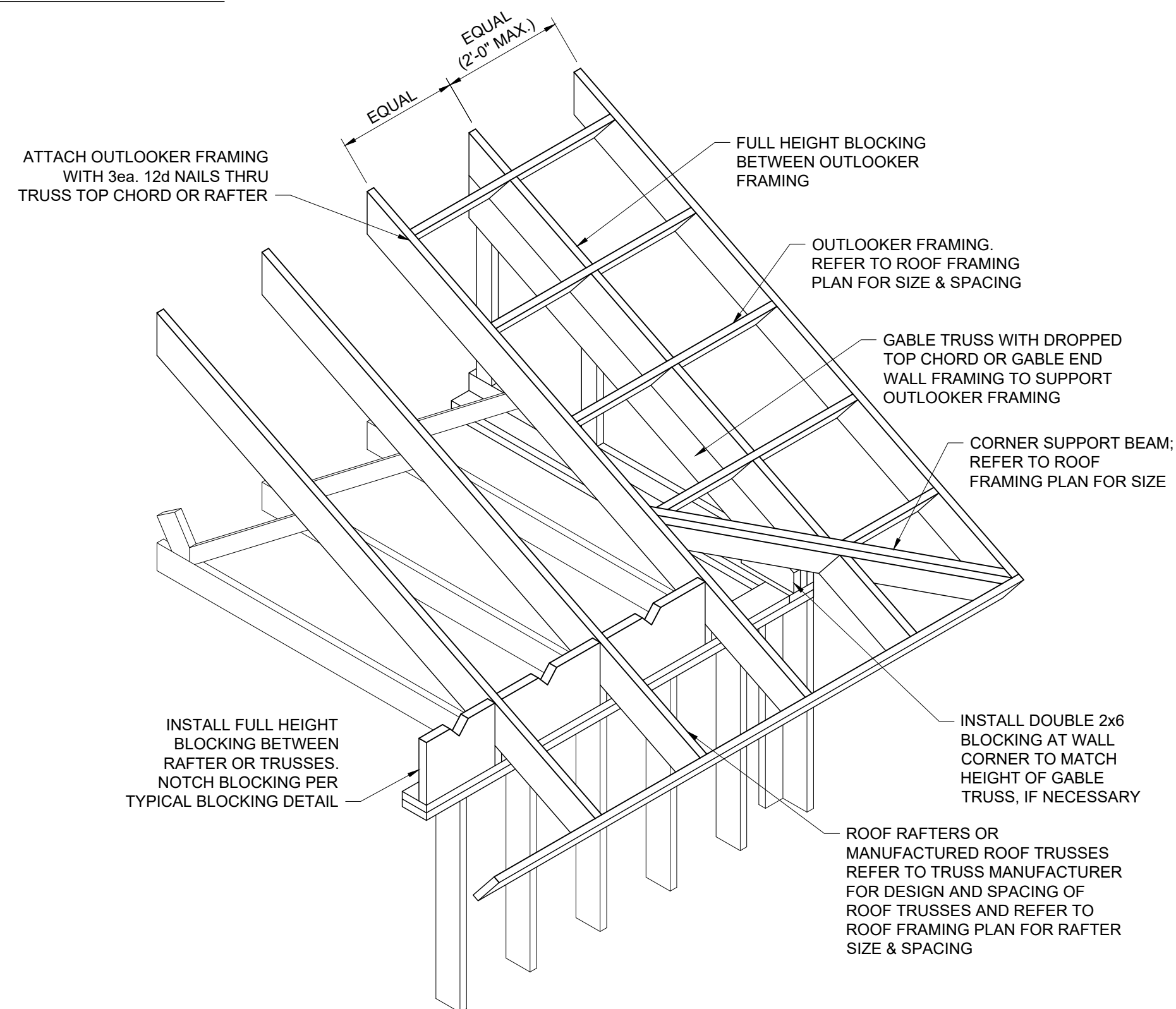
SCALE: 1/2"=1'-0" @ I-JOIST RAFTERS



TYPICAL BLOCKING DETAIL
SCALE: 1"=1'-0" @ ROOF RAFTERS

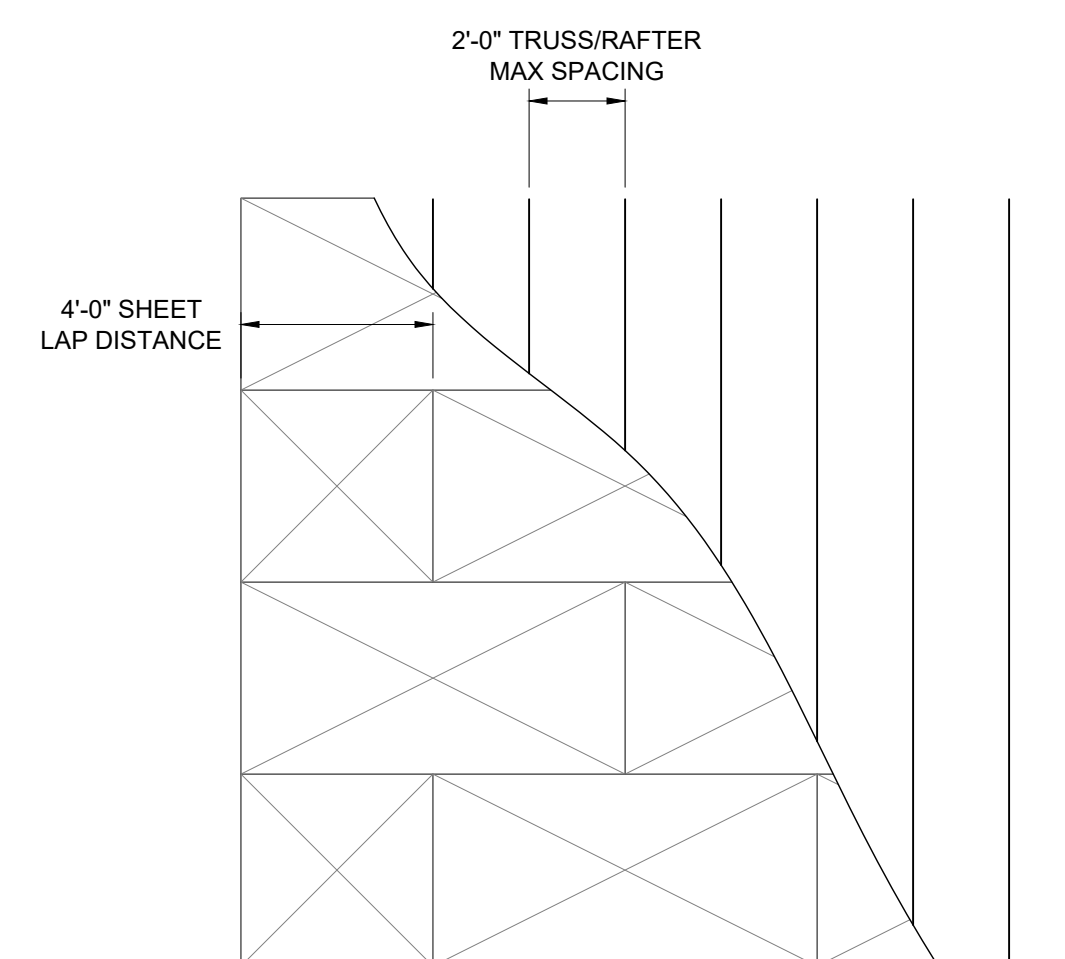


TYPICAL APPLIED TAIL FRAMING



TYPICAL ROOF FRAMING

SCALE: $\frac{1}{2}"=1'-0"$ @ OVERHANG CORNERS



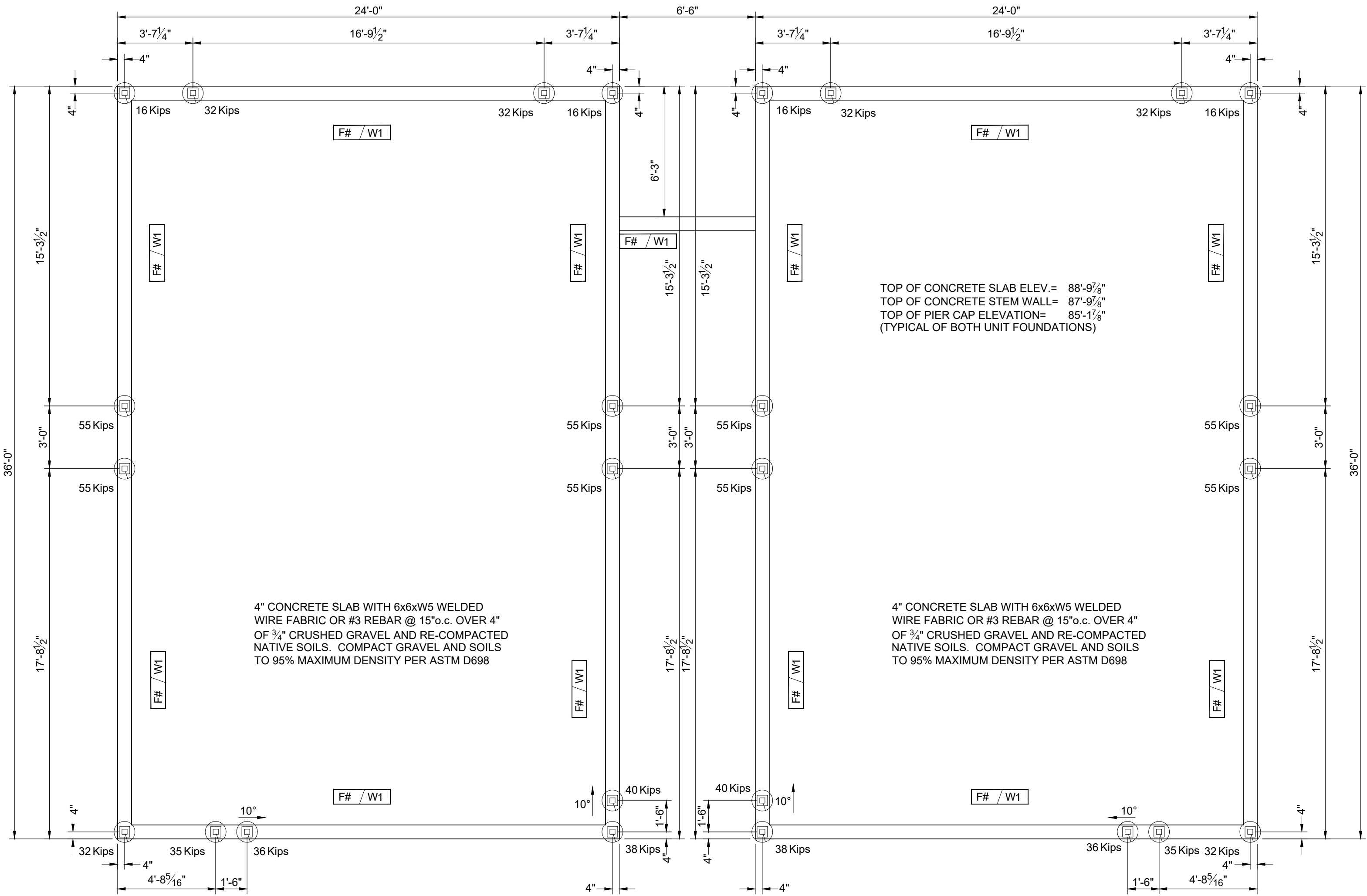
ROOF SHEATHING DETAIL

SCALE: 1/4"=1'-0"

NOTE: ROOF SHEATHING NAILING TO BE:
8d NAILS @ 4" EDGES & 6" INTERMEDIATE

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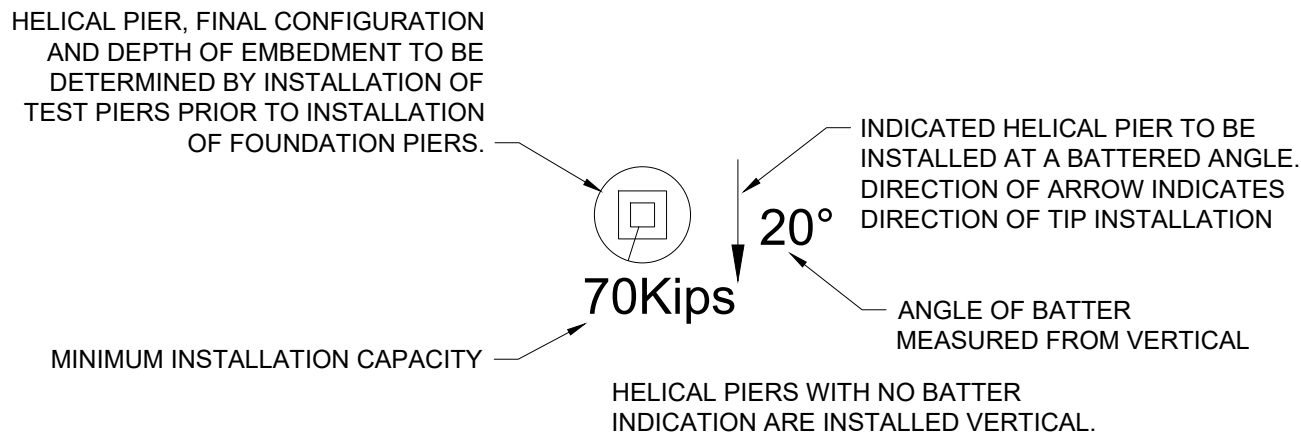


- NOTE:
- SEE S2.1 FOR HOLDOWN SPECIFICATIONS AND LOCATIONS.
 - INSTALL 5/8"x12" ANCHOR BOLTS @ 48"o.c. OMIT ANCHOR BOLTS AT DOOR LOCATIONS. SEE S2.1 FOR DOOR LOCATIONS.
 - INSTALL SIMPSON S81x30 ANCHOR BOLTS IN THE STEM WALL FOR THE HDU11 HOLDOWNS AND POUR SLAB AROUND ANCHOR BOLTS.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

@ SOUTH 3 BEDROOM UNITS



HELICAL PIER LEGEND

SCALE: 1/2"=1'-0"



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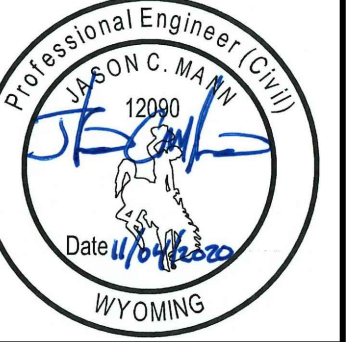
PROJECT TITLE:
**WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE:
FOUNDATION PLAN

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040

SHEET
S2.0



WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

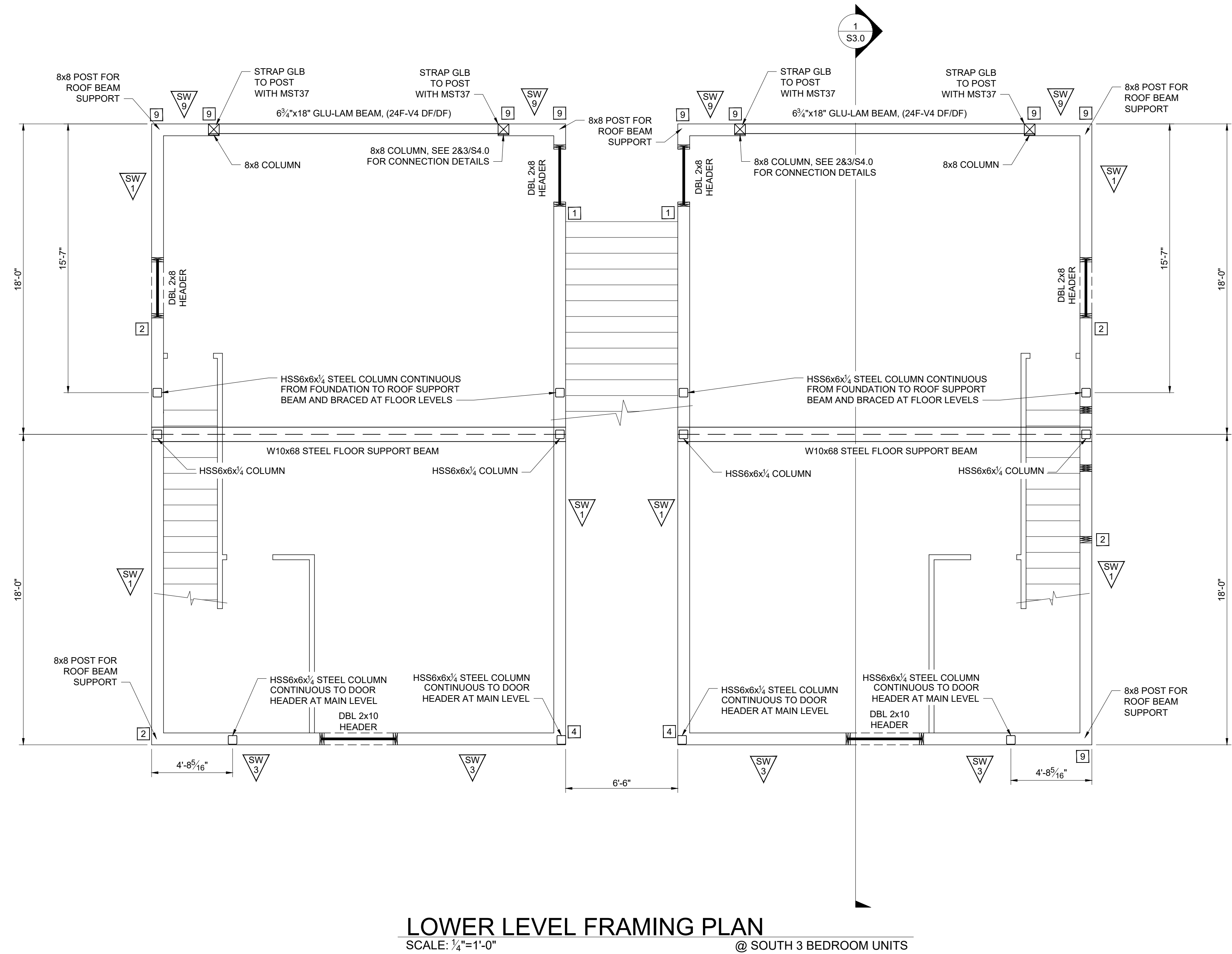
LOWER LEVEL FRAMING PLAN

RAFTED BY:	JM
VIEWED BY:	
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/13/2020
INST. DOCUMENTS	10/01/2020
INST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040

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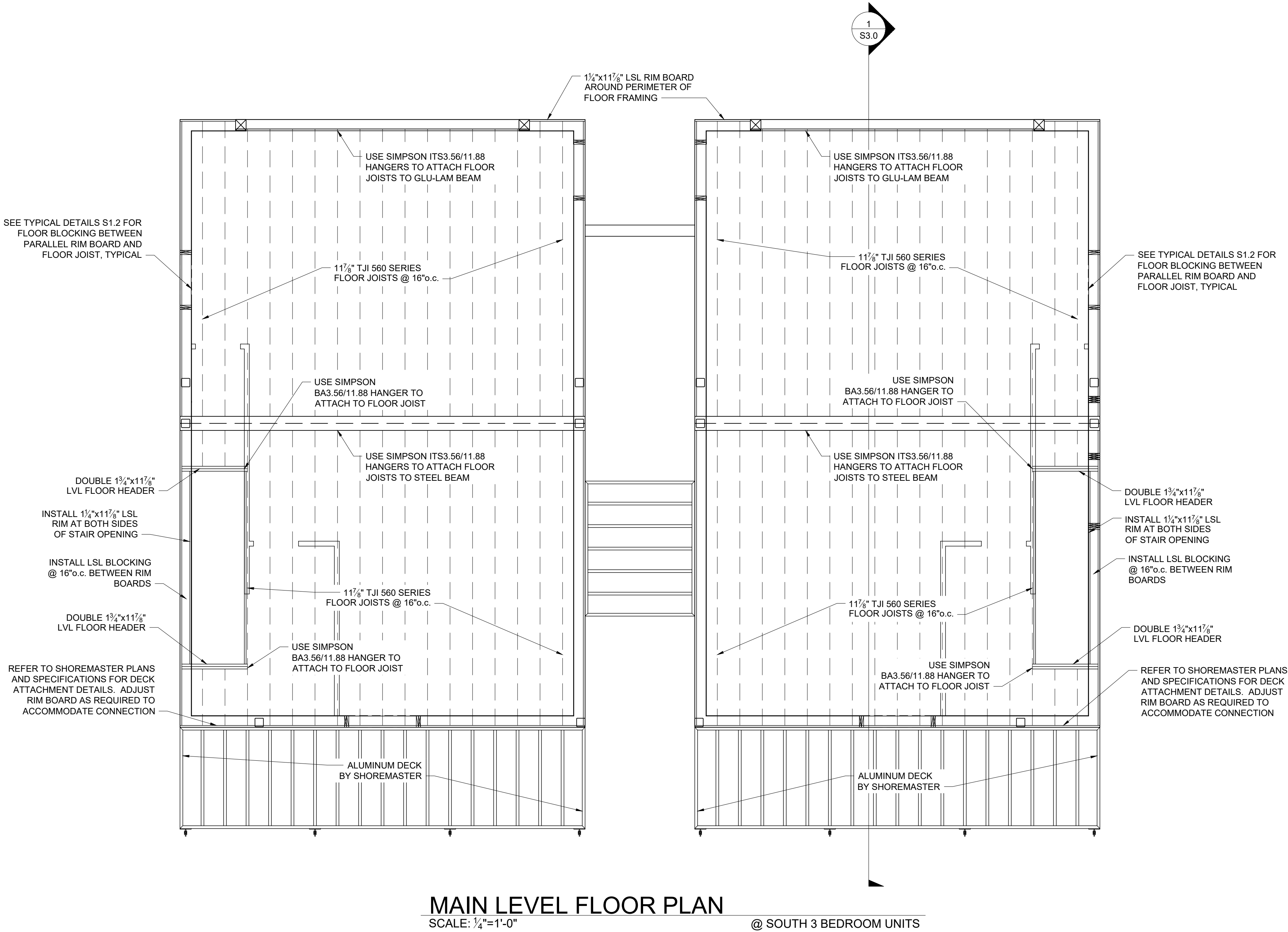
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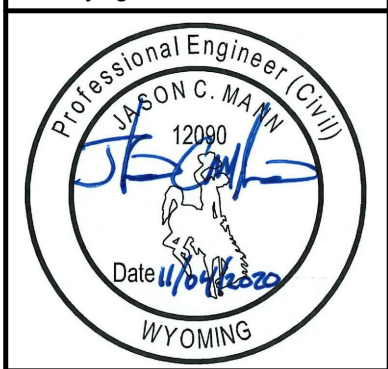
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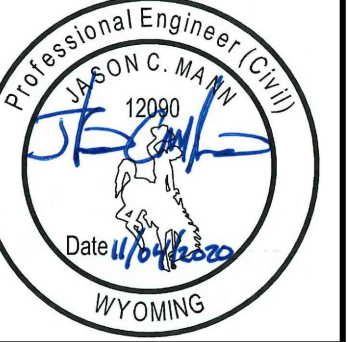
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**WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE:
MAIN LEVEL FLOOR PLAN

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040

SHEET
S2.2

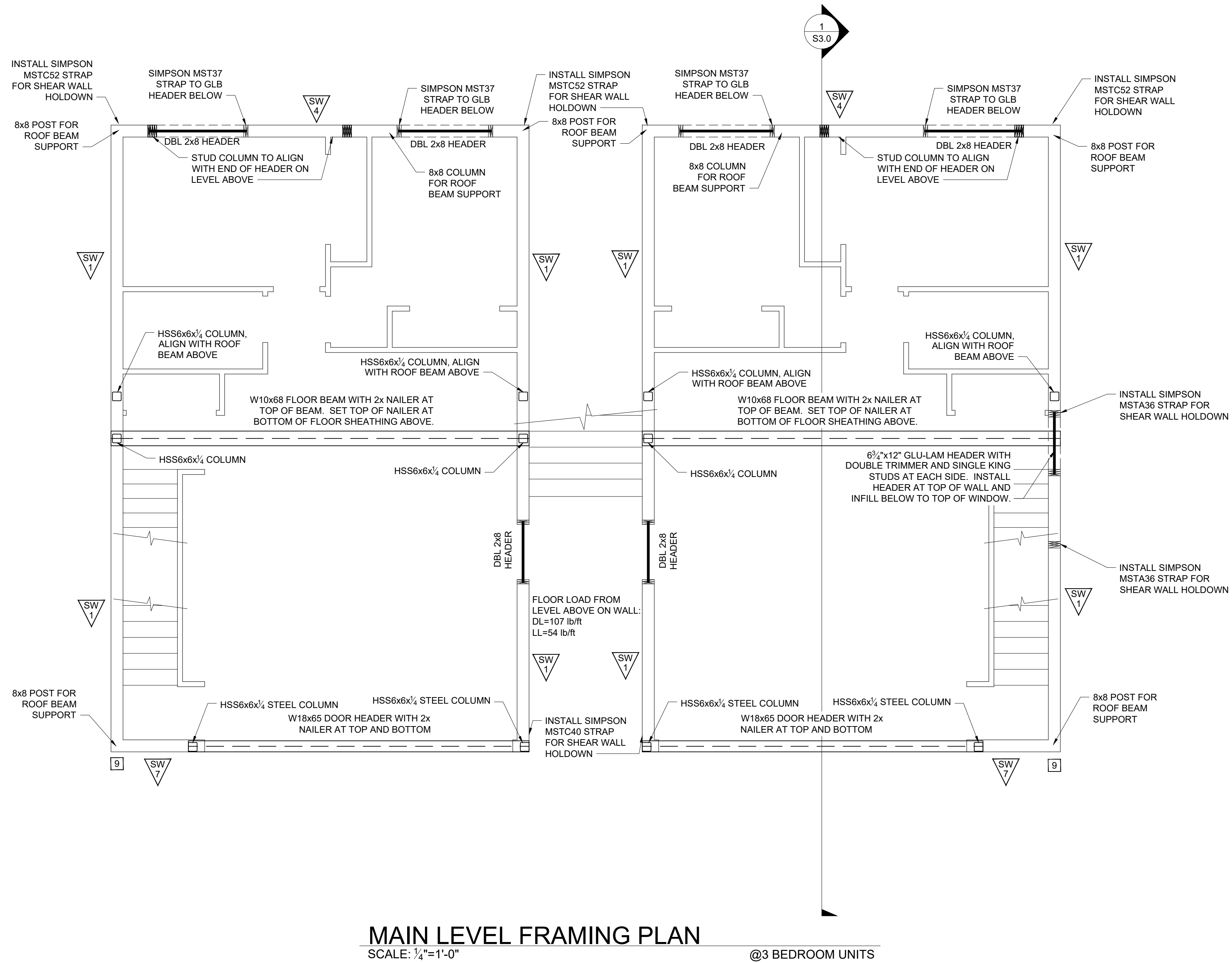


WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

MAIN LEVEL FRAMING PLAN

RAFTED BY:	JM
VIEWED BY:	
AN VERSION	DATE
MIT RESUBMITTAL	4/30/2020
ORD. SET	8/13/2020
INST. DOCUMENTS	10/01/2020
INST. DOCUMENTS	10/04/2020

PROJECT NUMBER	09040
SHEET	S2.3



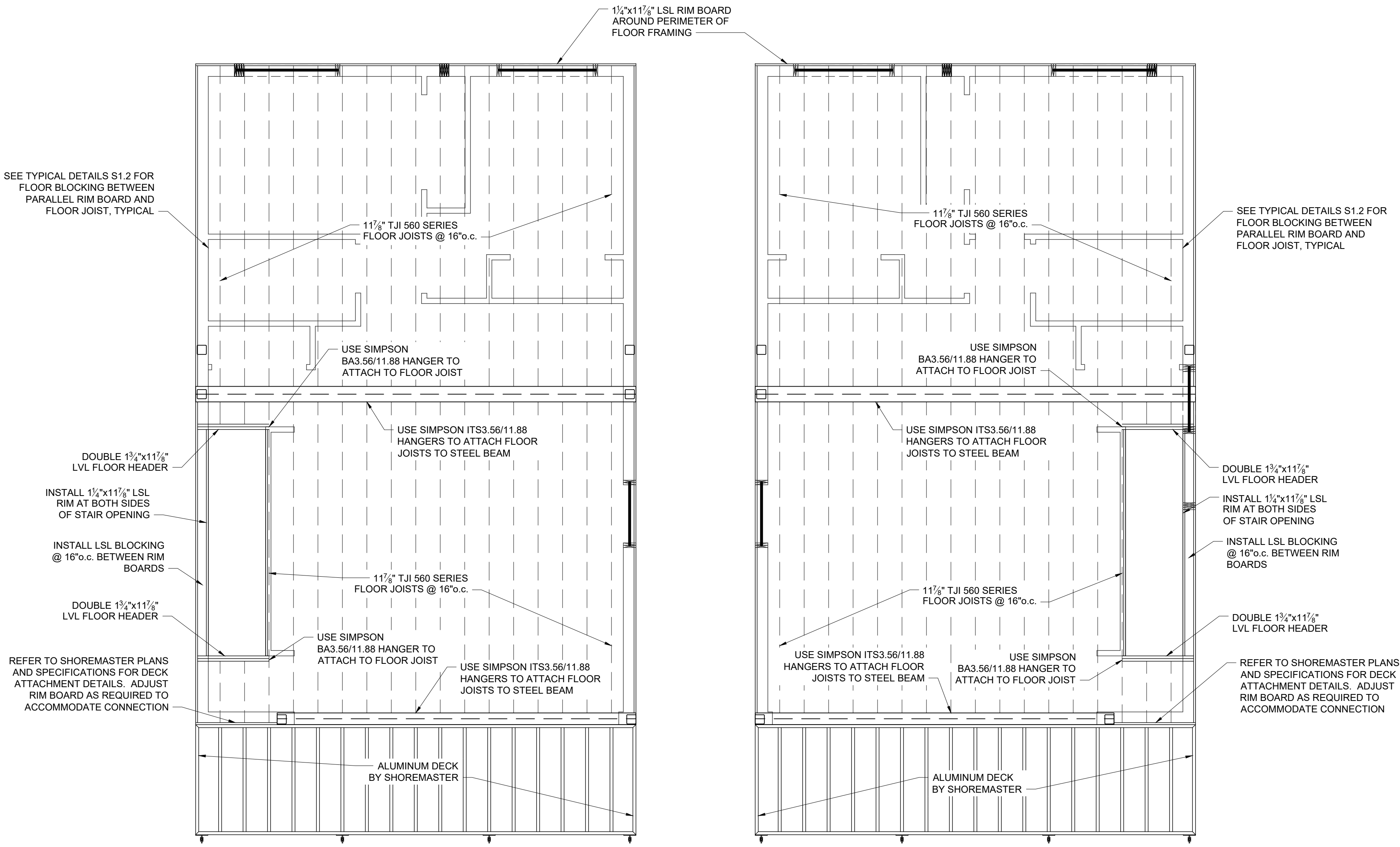
MAIN LEVEL FRAMING PLAN

SCALE: 1/4"=1'-0" @3 BEDROOM UNITS


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UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0" @3 BEDROOM UNITS



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PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
UPPER LEVEL FLOOR PLAN

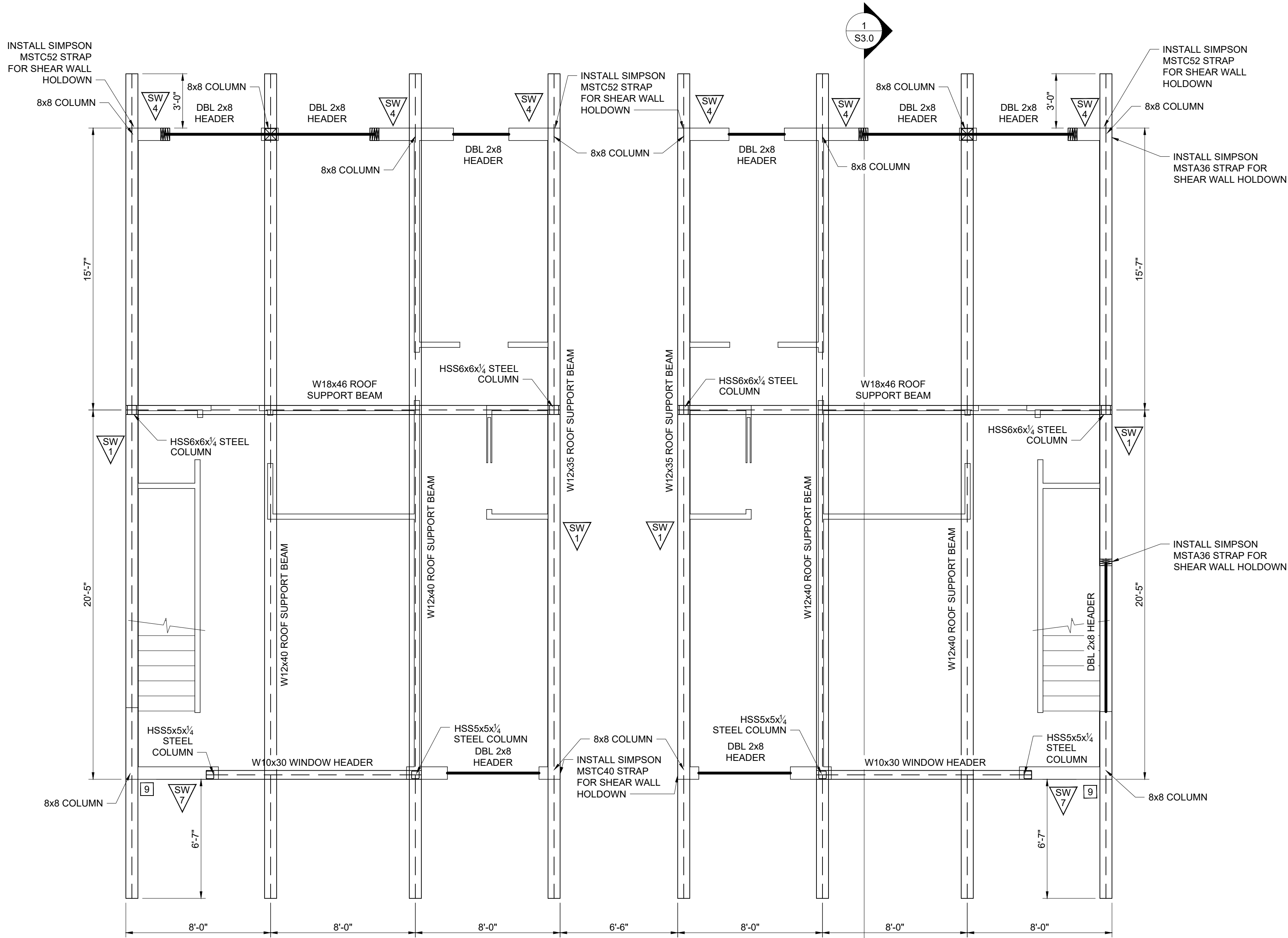
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CONST. DOCUMENTS	10/01/2020
CONST. DOCUMENTS	10/04/2020

PROJECT NUMBER
09040
SHEET
S2.4

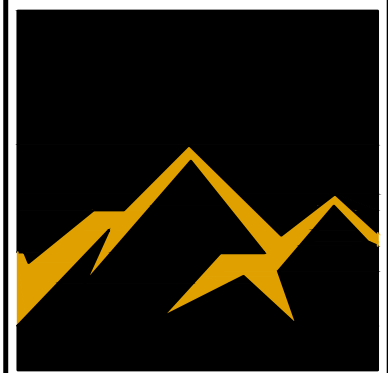
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UPPER LEVEL FRAMING PLAN
SCALE: 1/4"=1'-0" @ SOUTH 3 BEDROOM UNITS



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PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

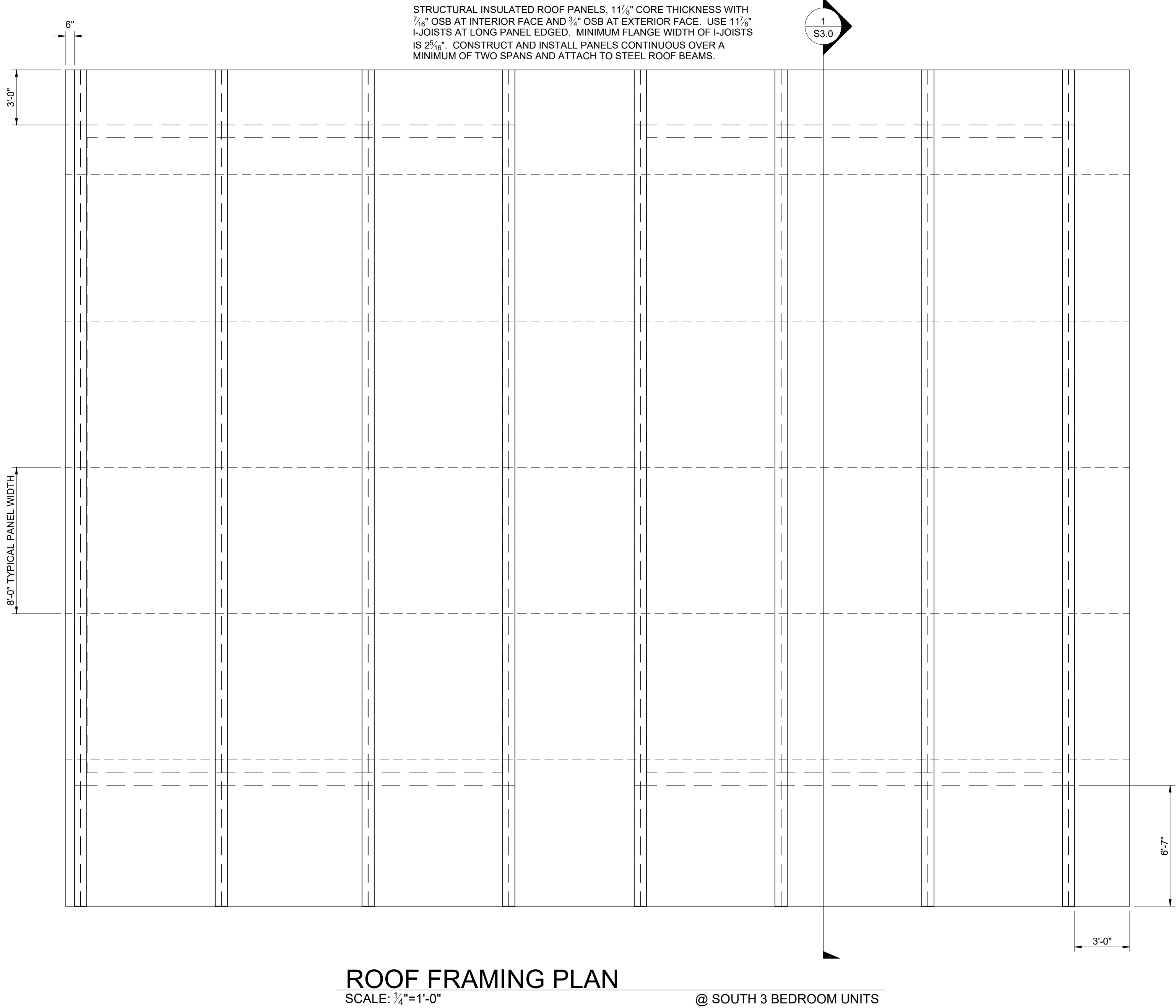
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UPPER LEVEL FRAMING PLAN

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PLAN VERSION	DATE
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S2.5

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ROOF FRAMING PLAN
SCALE: 1/4"=1'-0" @ SOUTH 3 BEDROOM UNITS



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PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
ROOF FRAMING PLAN

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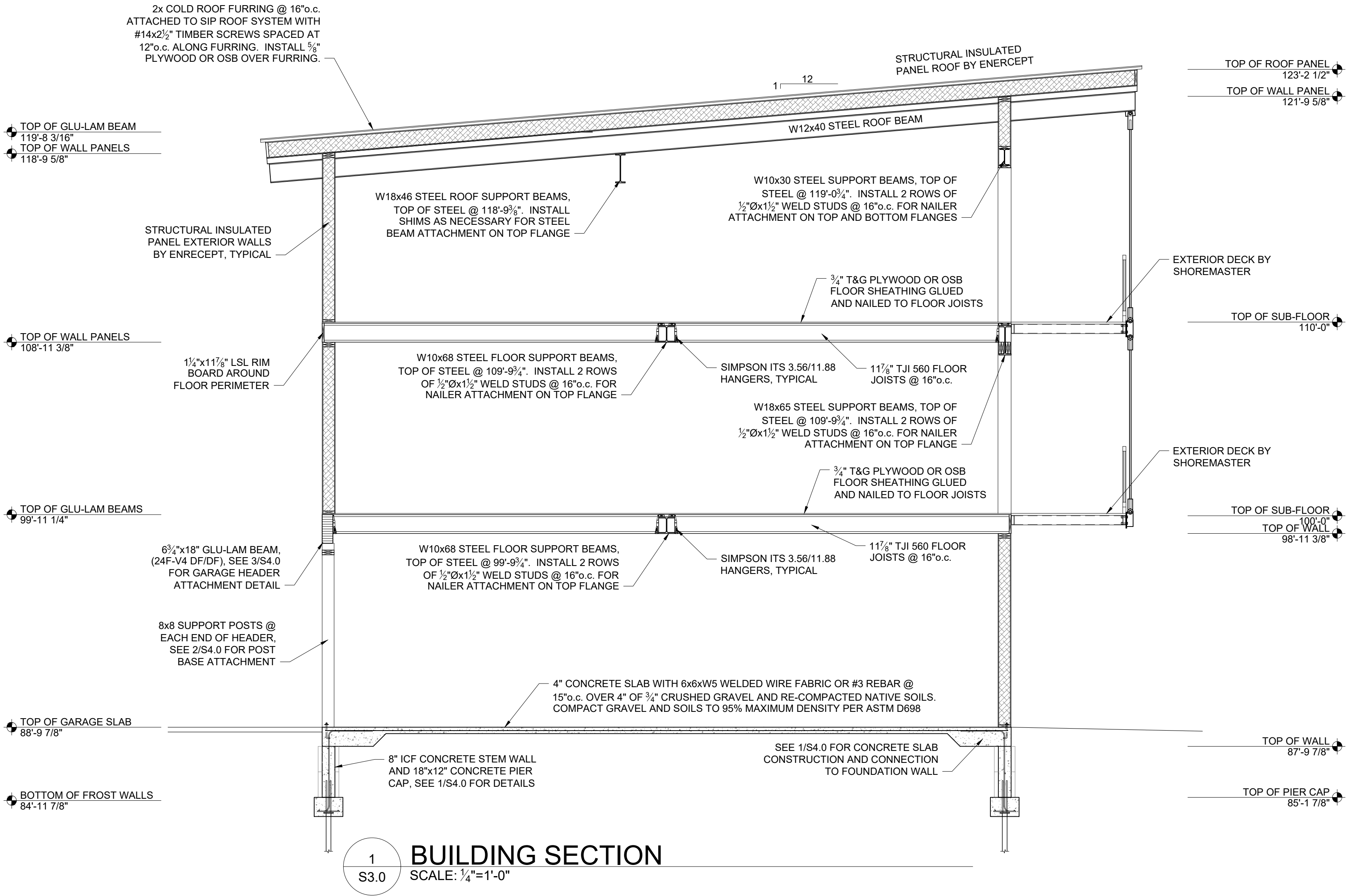
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S2.6

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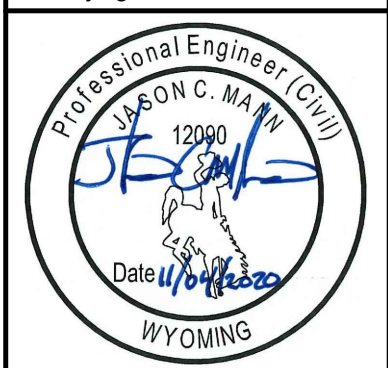
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Professional Engineer (CPE)
T. JOHNSON
12090
Date 11/10/2020
WYOMING

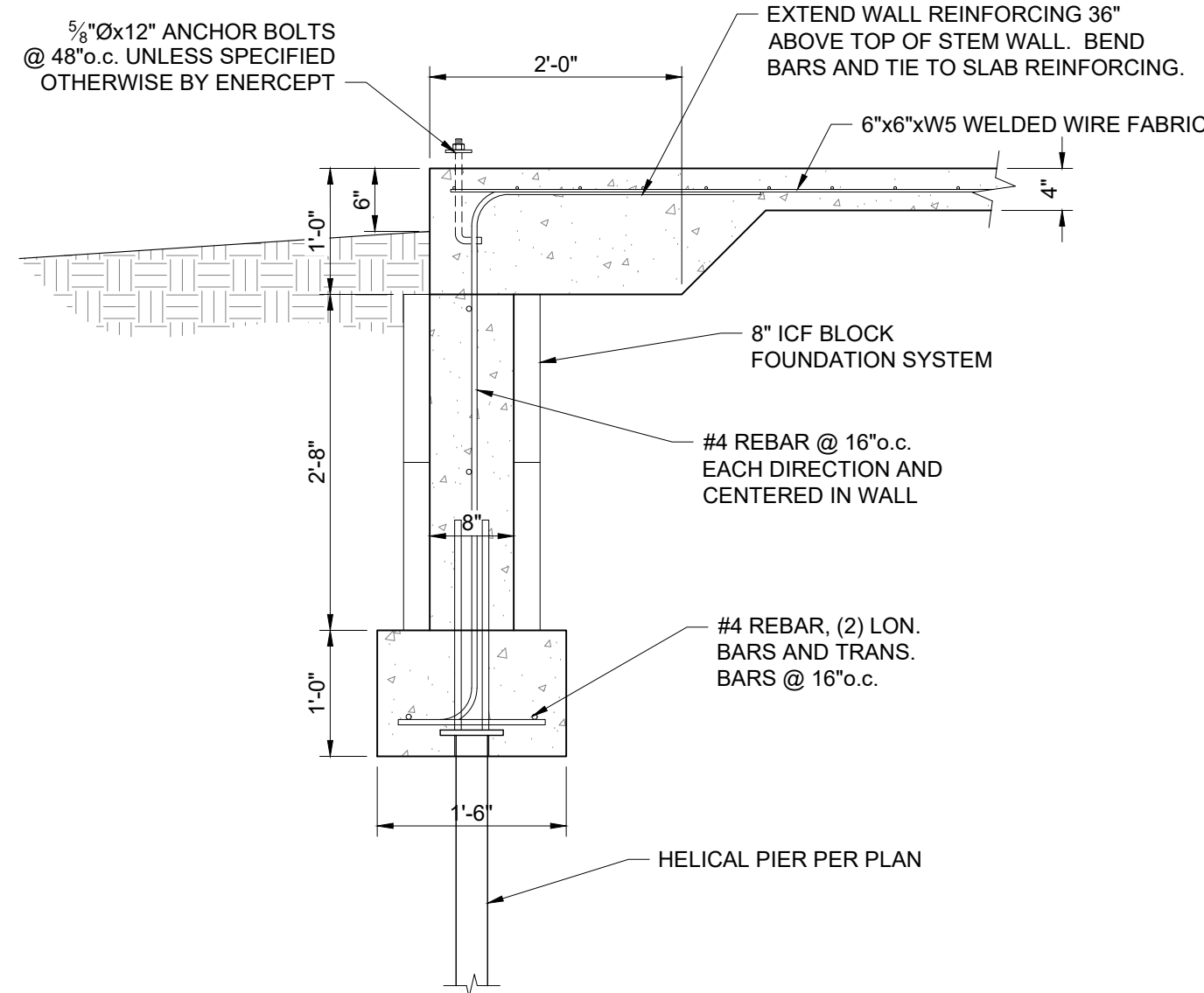
PROJECT TITLE:
**WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE: BUILDING SECTIONS	
DRAFTED BY:	JM
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PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
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PROJECT NUMBER 09040	
SHEET	S3.0

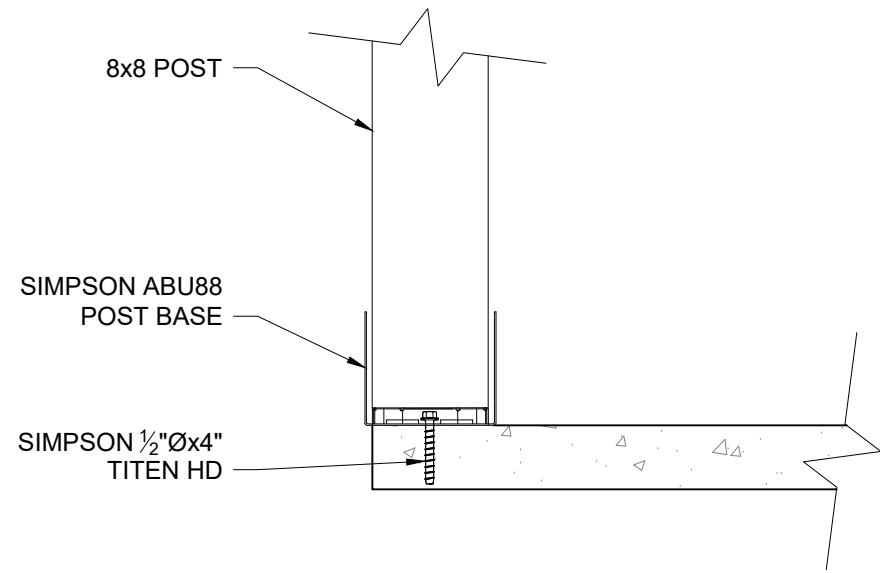
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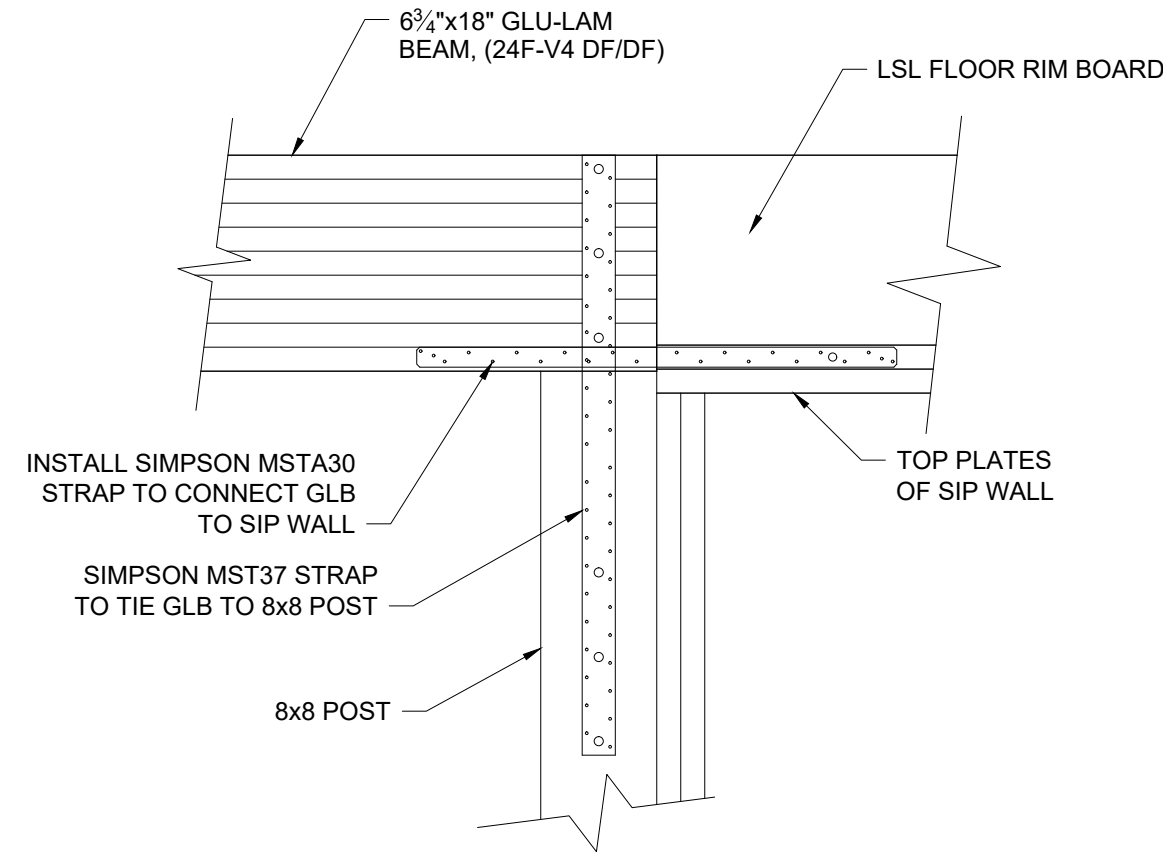
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Ver 15.1
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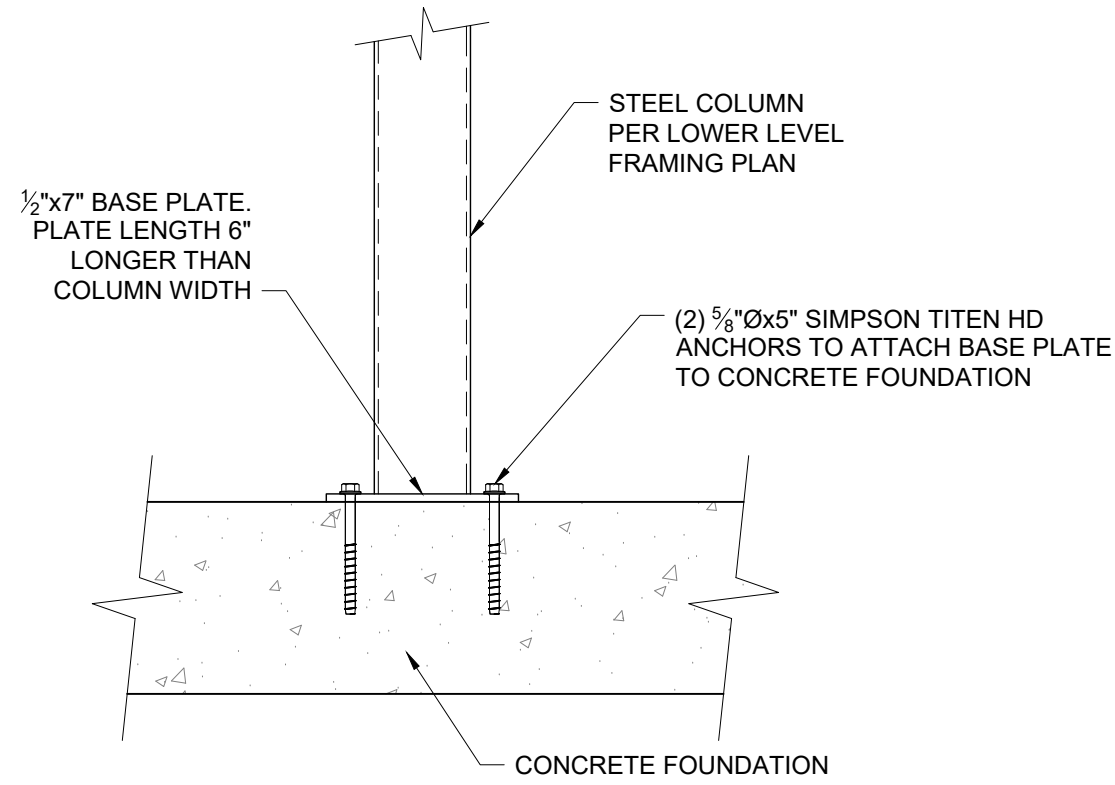
1 FOUNDATION DETAIL
S4.0 SCALE: 3/4"=1'-0"



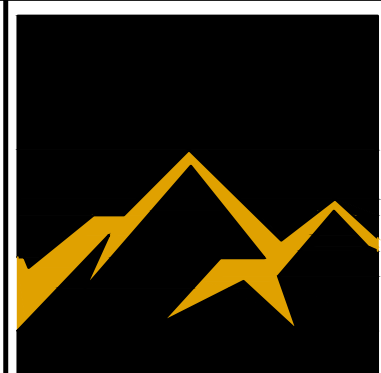
2 GARAGE POST BASE ATTACHMENT
S4.0 SCALE: 1"=1'-0" @BASE OF GARAGE HEADER SUPPORT POST



3 GARAGE HEADER ATTACHMENT DETAIL
S4.0 SCALE: 1"=1'-0" @HEADER/8x8 COLUMN



4 COLUMN CONNECTION DETAIL
S4.0 SCALE: 1"=1'-0" @ COLUMN BASE



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PROJECT TITLE:
WEST VIEW TOWNHOMES
3 BEDROOM UNITS
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
STRUCTURAL DETAILS

DRAFTED BY:	JM
REVIEWED BY:	
PLAN VERSION	DATE
PERMIT RESUBMITTAL	4/30/2020
COORD. SET	8/13/2020
CONST. DOCUMENTS	10/01/2020
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PROJECT NUMBER
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SHEET
S4.0