



TOWN OF JACKSON

PLANNING & BUILDING

DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Joint Housing Dept

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: August 4, 2020, 2020

Item #: P20-145

Planner: Tyler Valentine

Phone: 733-0440 ext. 1302

Email: tvalentine@jacksonwy.gov

Owner

Harrison Hospitality
PO Box 1657
Jackson, WY 83001

Applicant:

Y2 Consultants – Vince Roux
PO Box 2674
Jackson, WY 83001

REQUESTS:

The applicant is submitting a request for an Encroachment Agreement for the property located at 175 N. Jackson Street, legally known as LOT 1, 2, 3, BLK. 4, JACKSON.

For questions, please call Brian Lenz at 733-0440, x1410 or email to the address shown below. Thank you.

Please respond by:

August 25, 2020 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



ENCROACHMENT AGREEMENT APPLICATION

Planning & Building Department

Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

OWNER OF PROPERTY:

Name: Harrison Hospitality Properties Limited Partnership Phone: Ron Harrison (307) 733-2000

Mailing Address: P.O. Box 1657, Jackson, WY ZIP: 83001-1657

E-mail: rharrison@rustyparrot.com

APPLICANT/AGENT:

Name: Ron Har175 North Jackson Street, Jackson, WY hone: (307) 733-2000

Mailing Address: P.O. Box 1657, Jackson, WY ZIP: 83001-1657

E-mail: rharrison@rustyparrot.com

DESIGNATED PRIMARY CONTACT:

Owner X Applicant/Agent

PROPERTY:

Physical Address of Property: 175 North Jackson Street, Jackson, WY 83001

Lot, Subdivision: Lot 1, 2, 3, Blk 4, Jackson

PIDN: 22-41-16-28-4-11-001

Description of Public Right-of Way: See attached.

SUBMITTAL REQUIREMENTS. Three (3) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

N/A **Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

Narrative Description of the Request. Provide a detailed narrative description explaining the use of the noted public right-of-way.

Exhibit. Provide an exhibit (picture, drawings, maps, plans) of the use of the noted public right-of-way including dimensions of requested encroachment.

FORMAT:

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of the Town of Jackson to enter upon the abovementioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

RON HARRISON
Signature of Owner or Authorized Applicant/Agent

Ron Harrison
Name Printed

7/31/2020
Date

Member
Title

Rusty Parrot Lodge Project
Encroachment Agreement Application Narrative
7-30-20

Description of Request

The proposed Rusty Parrot Lodge Project is a four-star, luxury boutique hotel. Included in the hotel are approximately 40 hotel guest rooms and suites, lobby reception, den, library, living lounge area, full-service bar and kitchen.

The approximate building gross area is 50,563 SF:

- Basement - 5,951 SF occupiable with approximately 12,219 SF of underground parking including ramp.
- Level 1 - 9,704 SF including lobby, kitchen, dining, bar, spa, den AHU, and admin spaces.
- Level 2 - 13,011 SF consisting of guest rooms and circulation spaces.
- Level 3 - 9,678 SF consisting of guest rooms and circulation spaces.

The requested use of the public right of way at this time, for Grading and Erosion Control (GEC) permit submittal, is to support site access, temporary facilities (trash, bathrooms, site fencing, staging, etc.) and temporary soil stabilization.

There are numerous utilities that will require connections to Town systems within Gill and Jackson streets. Also sidewalk and landscaping work is planned for the right-of-way. This work is planned for execution in the 15 April 2021 to 1 November 2021. As details are developed they will be communicated with the Town of Jackson.

Attachment/Exhibits

- Construction Management (CM) Site Plan and Narrative by ZCM dated 7/30/20
 - Refer to the attached Construction Management Plan narrative and site plan.
- Temporary Soil Stabilization Plans (stamped) by GSI dated 7/30/20
 - Refer to the attached Temporary Soil Stabilization Plans prepared by GeoStabilization International (GSI.) The east, north and west sides of the property will have shotcrete and soil nail retention systems. The south property line will be a micropile soil retention system. These systems will be executed within the limits of the Rusty Parrot property. The exception to this is the soil nails which will extend past the property limits. The current temporary soil stabilization plan details 166 soil nails 10ft deep or less in relation to finished grade.



ZCM

ZCM, Inc.
P.O. Box 547
Teton Village, Wyoming 83025

Rusty Parrot Lodge
Construction Management Plan
Narrative and Site Plan

7-30-20

Rusty Parrot Lodge Project
Construction Management Plan
7-30-20

Project Summary:

This project is a four-star, luxury boutique hotel. Included in the hotel are approximately 40 hotel guest rooms and suites, lobby reception, den, library, living lounge area, full-service bar and kitchen.

The approximate building gross area is 50,563 SF:

- Basement - 5,951 SF occupiable with approximately 12,219 SF of underground parking including ramp.
- Level 1 - 9,704 SF including lobby, kitchen, dining, bar, spa, den AHU, and admin spaces.
- Level 2 - 13,011 SF consisting of guest rooms and circulation spaces.
- Level 3 - 9,678 SF consisting of guest rooms and circulation spaces.

Project Schedule and Key Dates:

- ≈ 8 September 2020 - Start excavation and temporary soil stabilization.
- ≈ 16 November 2020 - Start foundation concrete work.
- ≈ 14 May 2022 - Substantial completion.

Schedule of Construction and Impacts within the Town's right of way, easement or land

There are numerous utilities that will require connections to Town systems within Gill and Jackson streets. This work is planned for execution in the 15 April 2021 to 1 November 2021. As details are developed they will be communicated with the Town of Jackson.

See page 3 if this narrative for description of temporary soil stabilization impacts.

Public Impact

ZCM will coordinate with the Town of Jackson to identify properties and businesses most impacted by the construction to create an email contact list to provide information as to the project schedule and work. This list to include Town of Jackson Engineering Division townengineering@jacksonwy.gov.

The owner and ZCM are aware that the right-of-way is a shared use area including community special events, Town capital improvement projects and that we will coordinate with the Town to accommodate these events.

Construction Parking

ZCM will implement a clear and self-enforcing construction parking plan that does not use/or encumber downtown on street and/or public parking lot parking spaces. The plan to specify that employee or contractor parking within time restricted parking zones, the Home Ranch, East Deloney, Miller Park and/or the Parking Garage lots is not allowed. ZCM will encourage carpooling and bus riding, and when possible provide shuttles into the project.

Site Logistics

Work Hours: Typically, Monday - Friday 7AM to 7PM, weekends and Holidays 8AM - 5PM

Temporary Facilities

See attached site plan for trash, bathrooms, site fencing, access gates etc.

Road use:

Access to site is off of Jackson and Gill Streets.

Stormwater Management

Stormwater will be detained on-site during construction until permanent stormwater and de-watering systems are installed. It is anticipated that Best Management Practices will be required at existing storm water inlets adjacent to the project site.

Site Plan

See attached Construction Management (CM) Site Plan dated 7/30/20.

Crane

See attached CM Site Plan dated 7/30/20. ZCM acknowledges that picks are not allowed adjacent to areas open to the public unless they are within a fenced construction zone. Cranes will be operated by a certified operator and follow industry and OSHA standards.

Stabilized Construction Access

A stabilized construction access will be provided and maintained. A sweeping broom to be provided to remove tracked soil and mud from road as necessary. ZCM understands that sweeping to the storm drain is not acceptable.

Traffic Control:

There will be limited impact to traffic flow and pedestrian flow per the attached site plan except when in street work is executed. For in street work specific work plans to cover scope of work,

timing, traffic control and pedestrian flow will be prepared and reviewed with Town Engineering prior to execution.

Shoring

Refer to the attached Temporary Soil Stabilization Plans (dated 7/30/20) prepared by GeoStabilization International (GSI.)

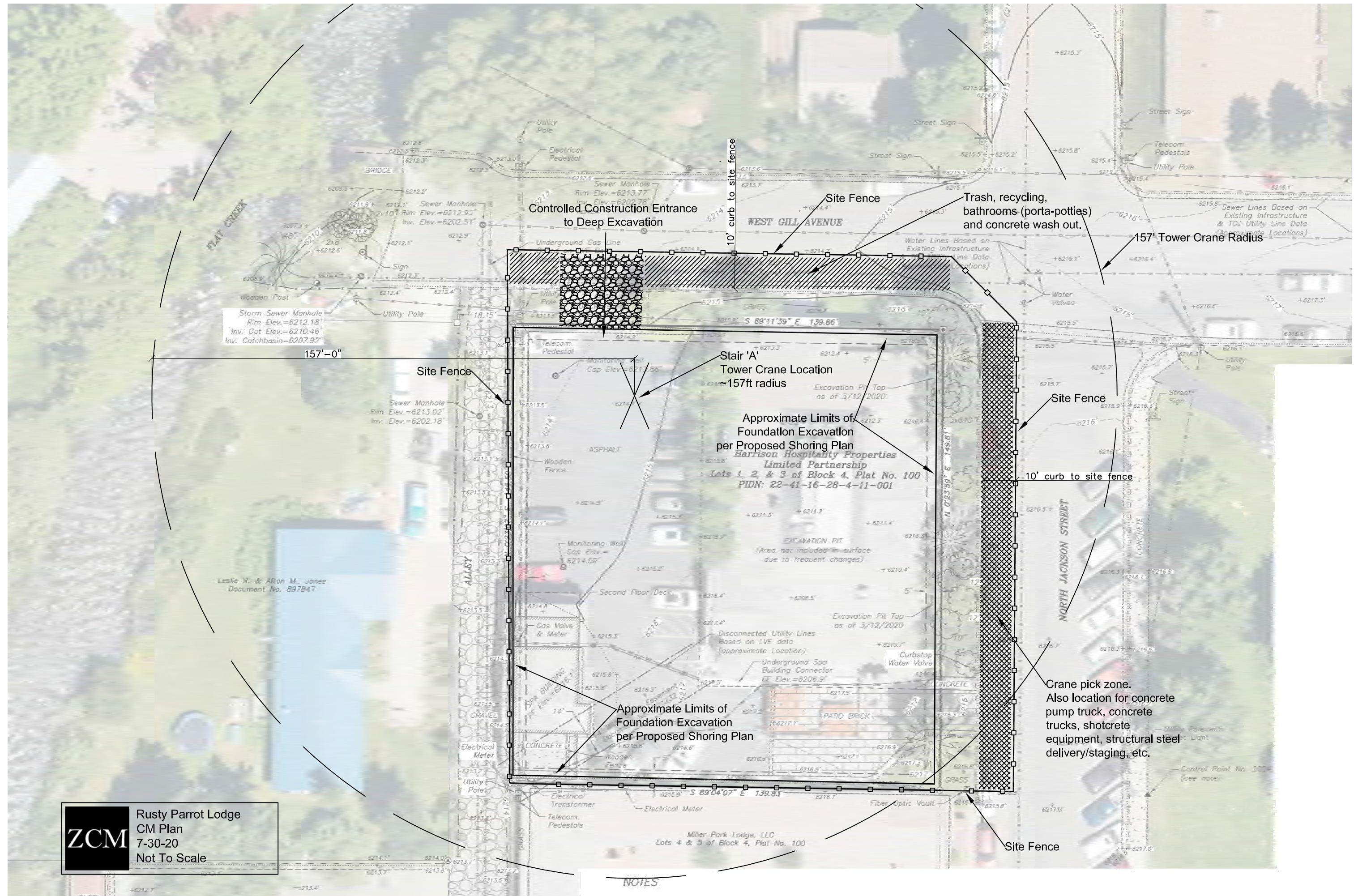
The east, north and west sides of the property will have shotcrete and soil nail retention systems. The south property line will be a micropile soil retention system. These systems will be executed within the limits of the Rusty Parrot property. The exception to this is the soil nails which will extend past the property limits. The current temporary soil stabilization plan details 166 soils nails 10ft deep or less in relation to finished grade.

Staging

The owner is currently assessing options for off-site staging areas. Upon selecting a specific location there will be communication with Town Engineering to address the details.

Attachments

- Construction Management (CM) Site Plan by ZCM dated 7/30/20
- Temporary Soil Stabilization Plans (stamped) by GSI dated 7/30/20





ZCM

ZCM, Inc.
P.O. Box 547
Teton Village, Wyoming 83025

**Rusty Parrot Lodge
Temporary Soil Stabilization Plans
by Geostabilization International (GSI)**

7-30-20

TEMPORARY SOIL STABILIZATION PLANS

RUSTY PARROT LODGE

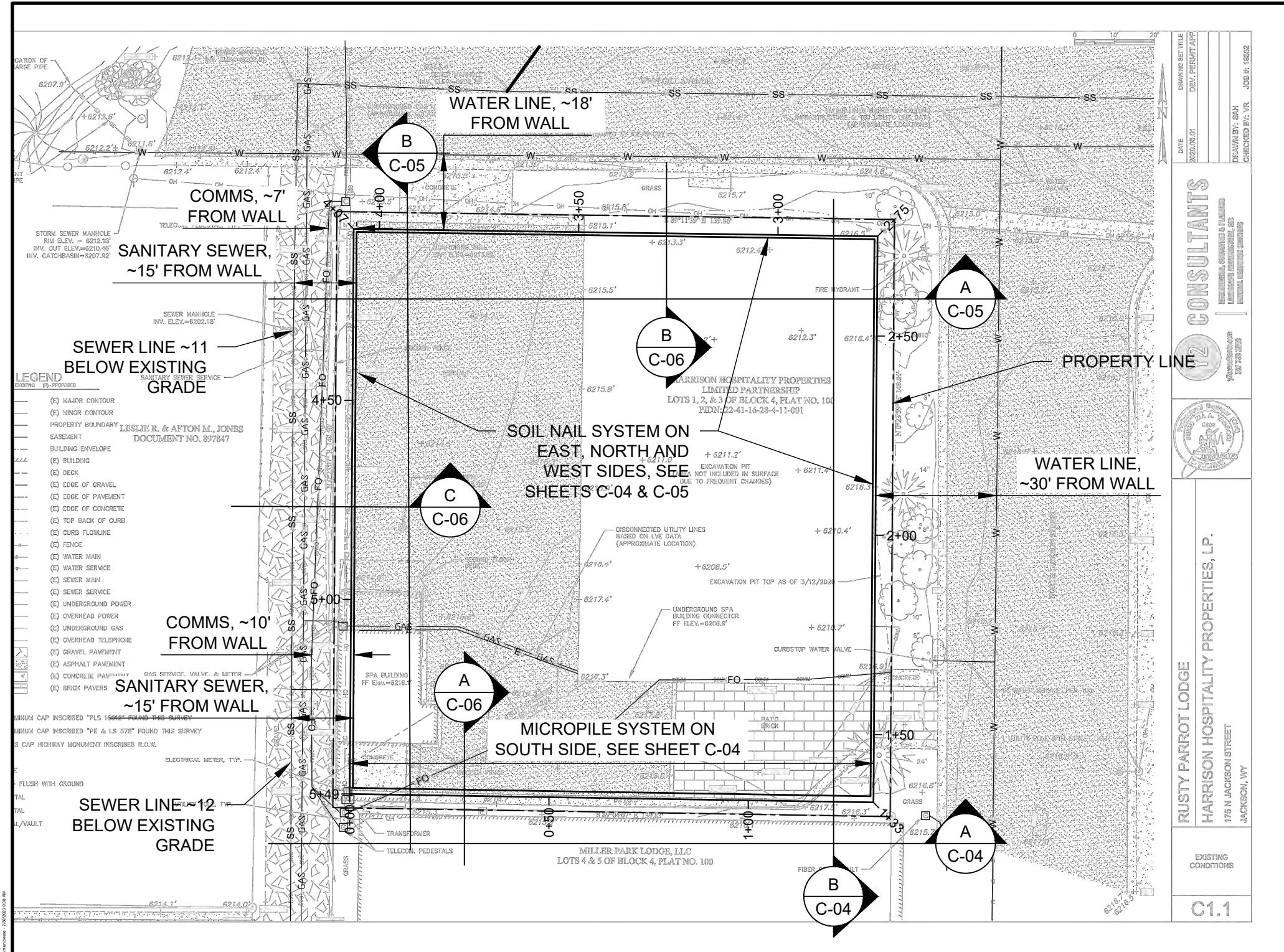
JACKSON, WY
ROWLAND+BROUGHTON



VICINITY MAP

SHEET INDEX

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	SITE PLAN
C-04	PROFILE VIEWS
C-05	PROFILE VIEWS (CONT.)
C-06	SECTION VIEWS
C-07	CASED MICROPILE DETAILS
C-08	SELF-DRILLING MICROPILE DETAILS
C-09	MICROPILE CAP DETAILS
C-10	SOIL NAIL DETAILS
C-11	NAIL SCHEDULE



PROJECT NAME

RUSTY PARROT LODGE

SHEET TITLE F

SITE PLAN

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PROJECT AND THE PROPRIETARY INFORMATION SHOWN HEREON IS NOT TO BE
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Phone: 855.579.0536 | Fax: 970.245.7737
www.geostabilization.com



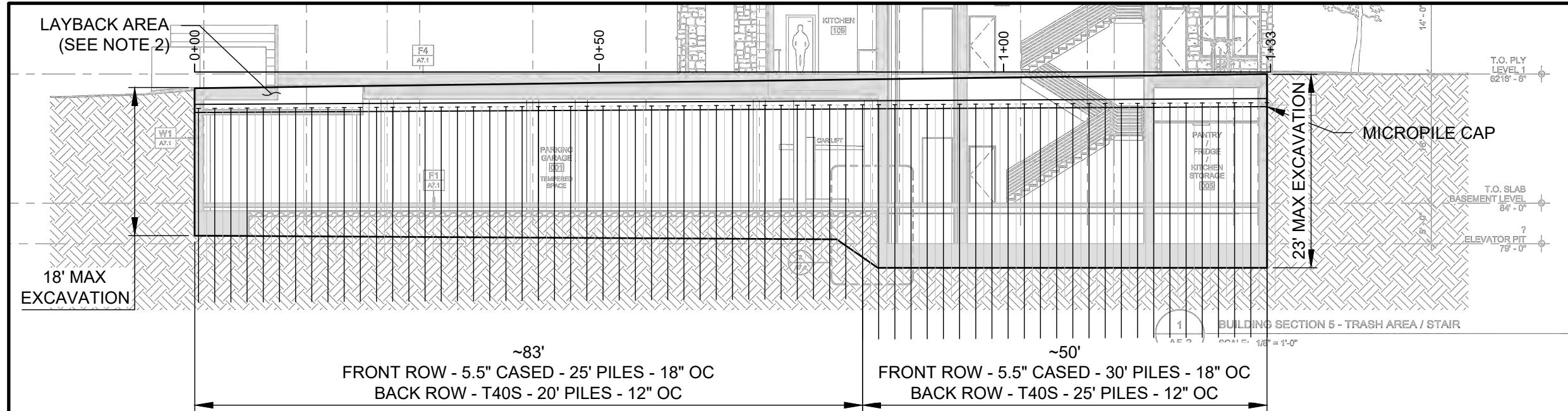
NOTES:

1. BACKGROUND IMAGE OBTAINED FROM ROWLAND+BROUGHTON AND Y2 CONSULTANTS SD PRICING SET DATED JUNE 18, 2020.
2. UTILITIES SHOWN ON THIS DRAWING ARE ASSUMED TO BE CORRECT. UTILITY LOCATING AND VERIFICATION (MARKING, HYDROVAC POTHOLING, ETC.) OF THESE UTILITIES WILL BE NECESSARY PRIOR TO INSTALLATION OF SOIL NAIL SYSTEMS. GSI WILL CALL PUBLIC UTILITY LOCATE. HOWEVER, PRIVATE UTILITY LOCATE (BY OTHERS) MAY BE NEEDED IF UTILITY LOCATE IS NEEDED TO SAFELY PERFORM OUR WORK.

ESTIMATED QUANTITIES

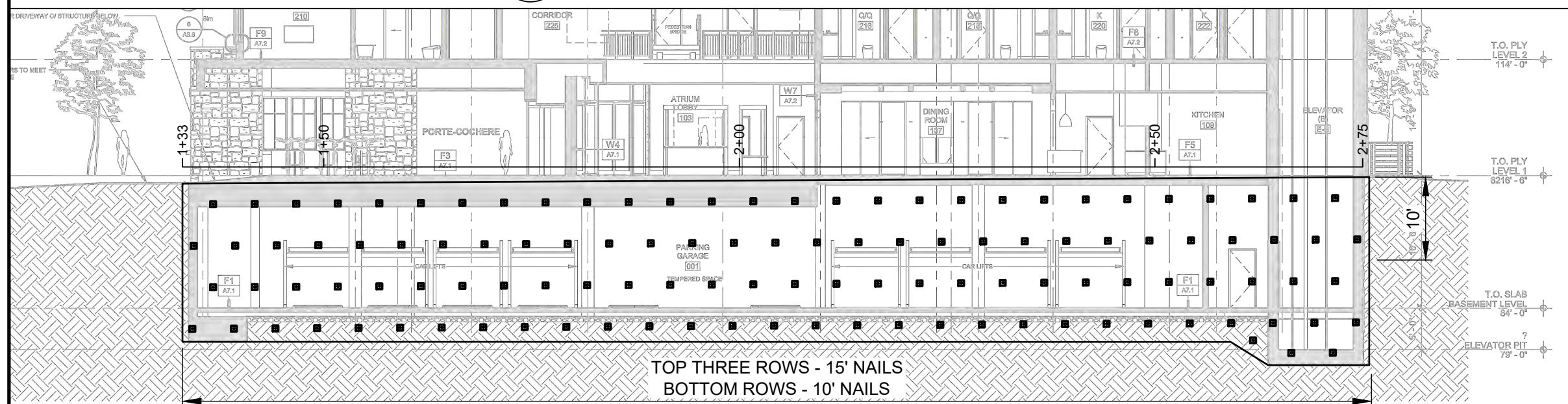
DESCRIPTION	QT	QT (AB)	UNIT
SOIL NAILS	~349		EA
Nails at 10' or less depth	~168		EA
Nails deeper than 10'	~181		EA
SOIL NAILS (T40N)	~4655		LF
SHOTCRETE	~97		CY
MICROPILES (CASED)	~90		EA
5.5" CASING	~2000		LF
NO. 8 BAR	~2400		LF
MICROPILES (HOLLOW BAR)	~135		EA
T40S BAR	~2900		LF
CONCRETE CAP	~8		CY

0 30' 60'



A **SOUTH PROFILE - MICROPILE SYSTEM**
SCALE: 1" = 15'

SCALE: 1" = 15'



B EAST PROFILE - SOIL NAIL SYSTEM

SCALE 1" = 15"

PROJECT NAME

RUSTY PARROT LODGE

SHEET TITLE F

PROFILE VIEWS

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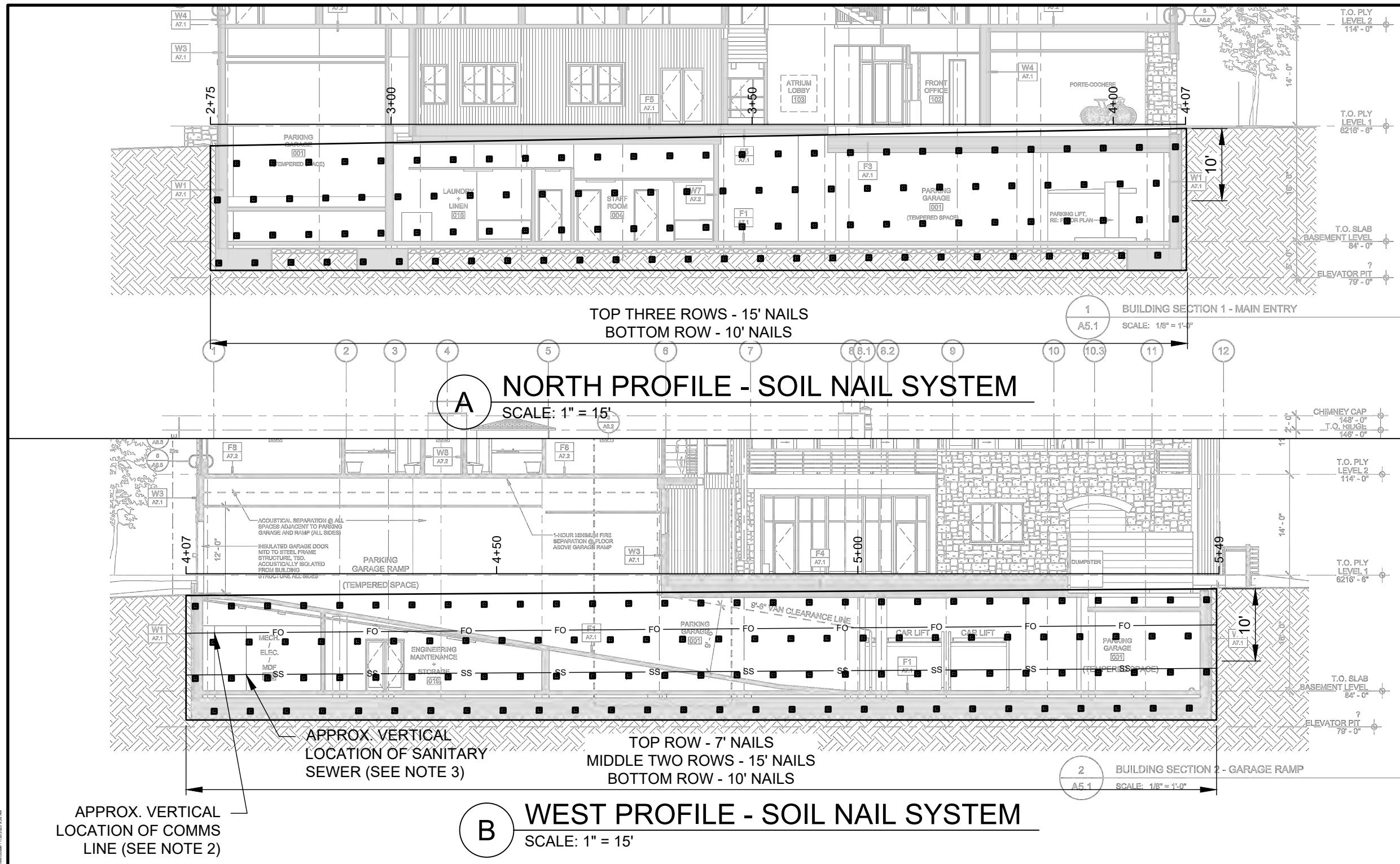
PROJECT NUMBER:

SHEET



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SHEET REVISIONS

DATE	DESCRIPTION	NO
04/17/20	ISSUED FOR REVIEW	IFR
07/30/20	ISSUED FOR PERMIT	IFP

PROJECT NAME:

RUSTY PARROT LODGE

SHEET TITLE:

PROFILE VIEWS

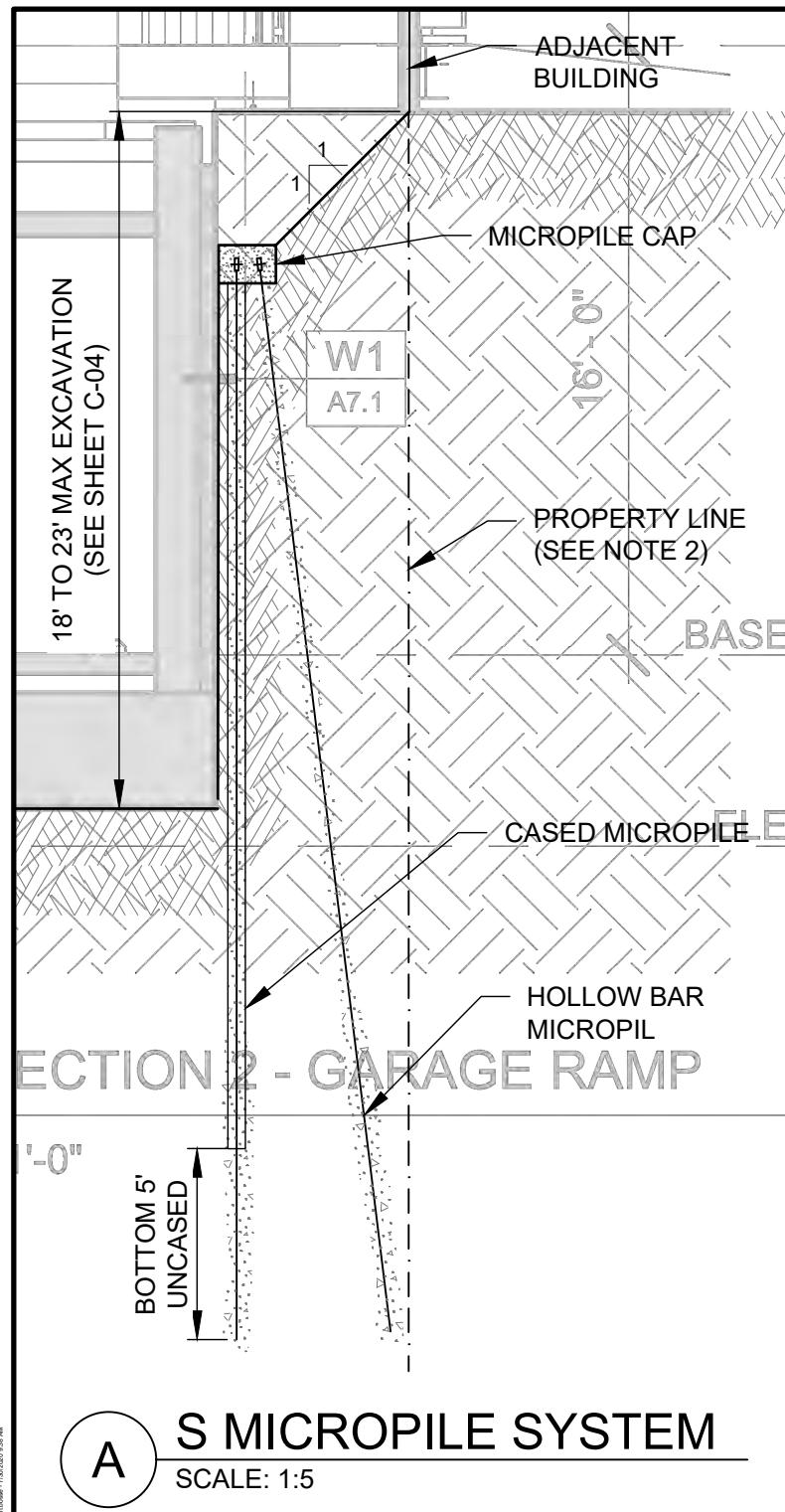
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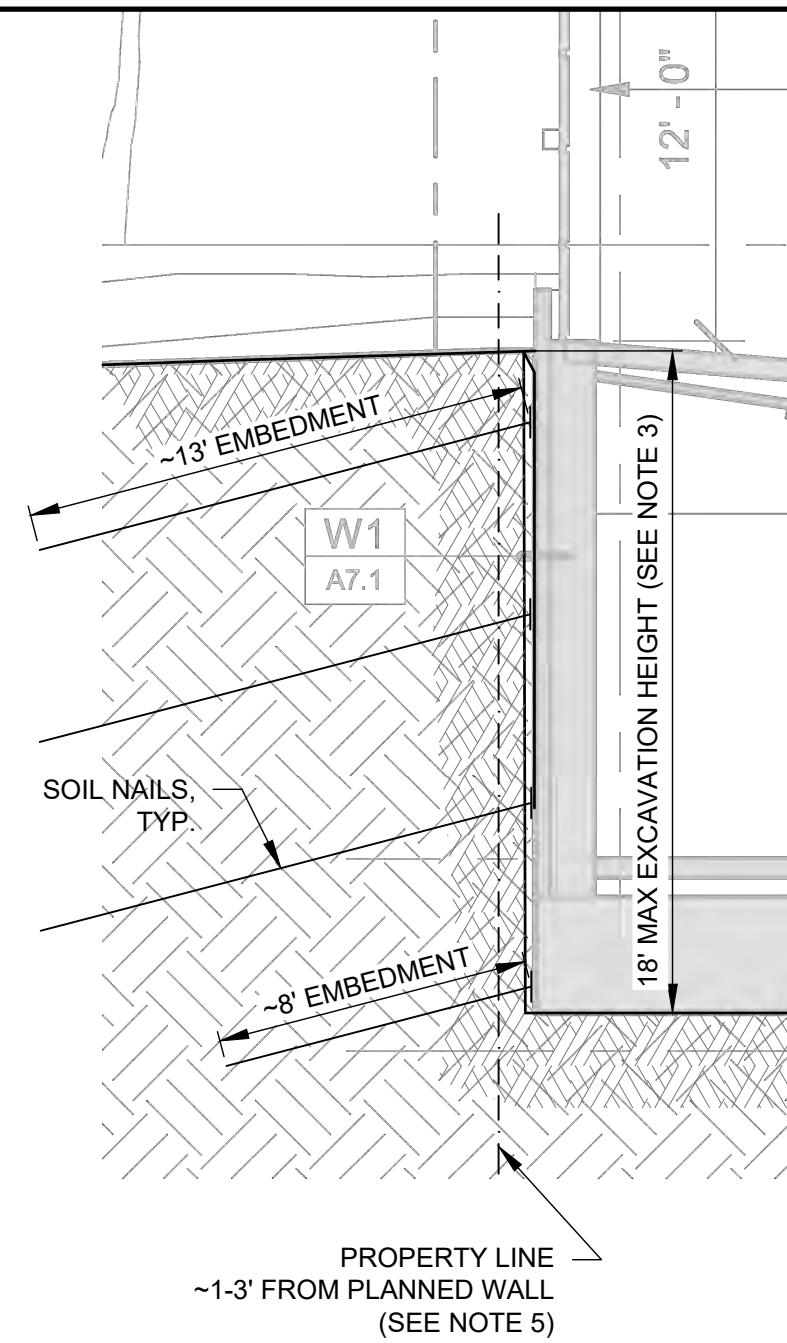
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A S MICROPILE SYSTEM

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B N/E SOIL NAIL SYSTEM
SCALE: 1:5

PROJECT NAME

RUSTY PARROT LODGE

SHEET TITLE

SECTION VIEWS

SECTION VIEWS

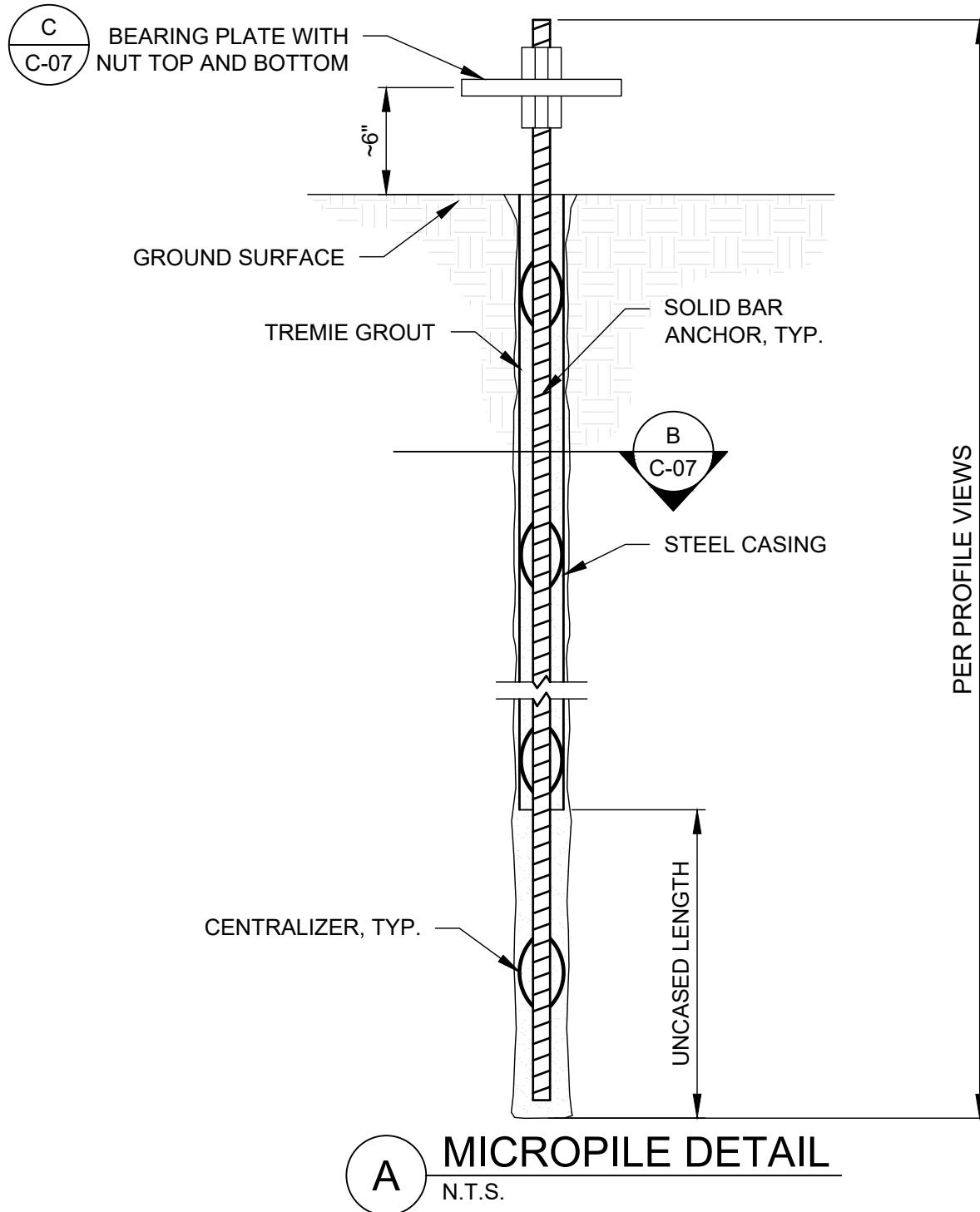
DATE: 07/30/2020 PROJECT NUMBER: 200###WY01

W SOIL NAIL SYSTEM

SCALE: 1:5

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A **MICROPILE DETAIL**
N.T.S.

PROJECT NAME

RUSTY PARROT LODGE

SHEET TITLE

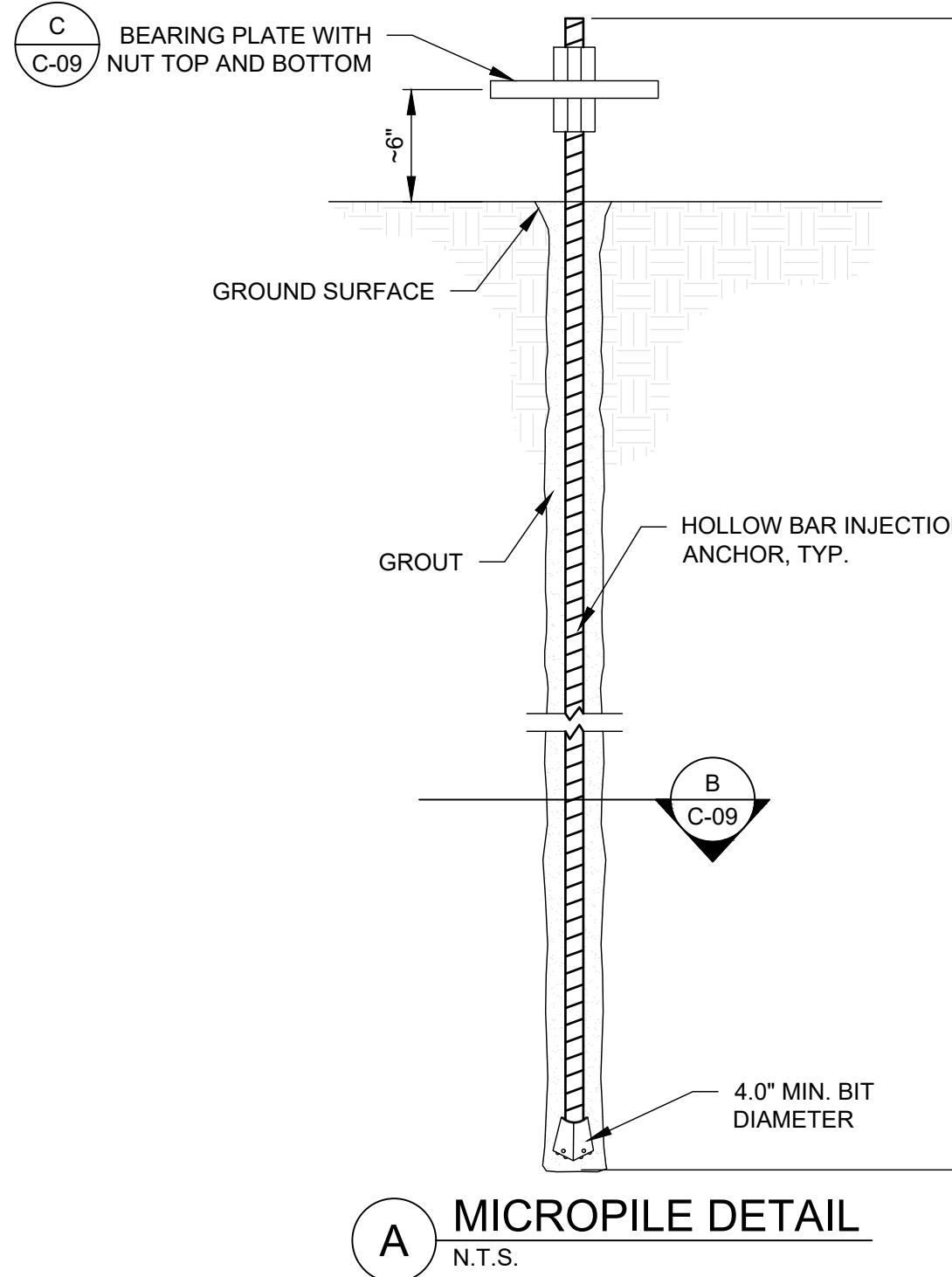
CASED MICROPILE DETAILS

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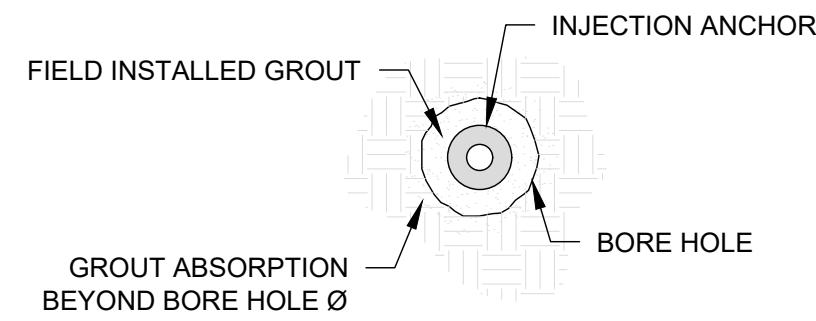
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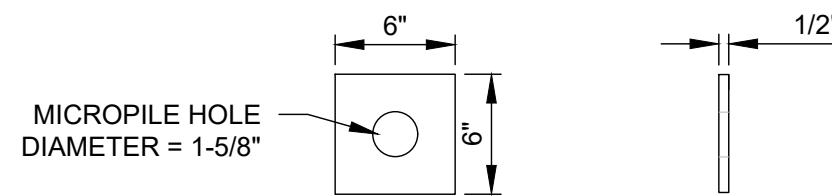




A MICROPILE DETAIL
N.T.S.



B MICROPILE SECTION
N.T.S.



C MICROPILE BEARING PLATE
N.T.S.

SHEET REVISIONS

DATE	DESCRIPTION	NO
04/17/20	ISSUED FOR REVIEW	IFR
07/30/20	ISSUED FOR PERMIT	IFP

PROJECT NAME:

RUSTY PARROT LODGE

SHEET TITLE:

SELF-DRILLING MICROPILE DETAILS

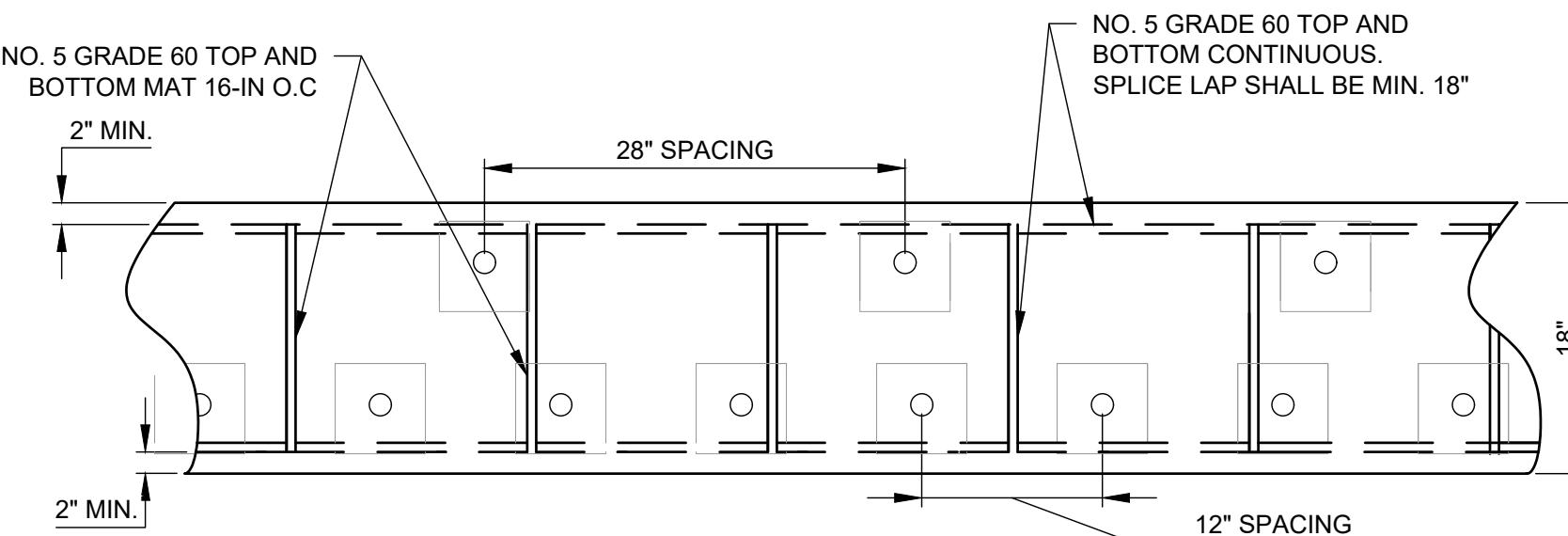
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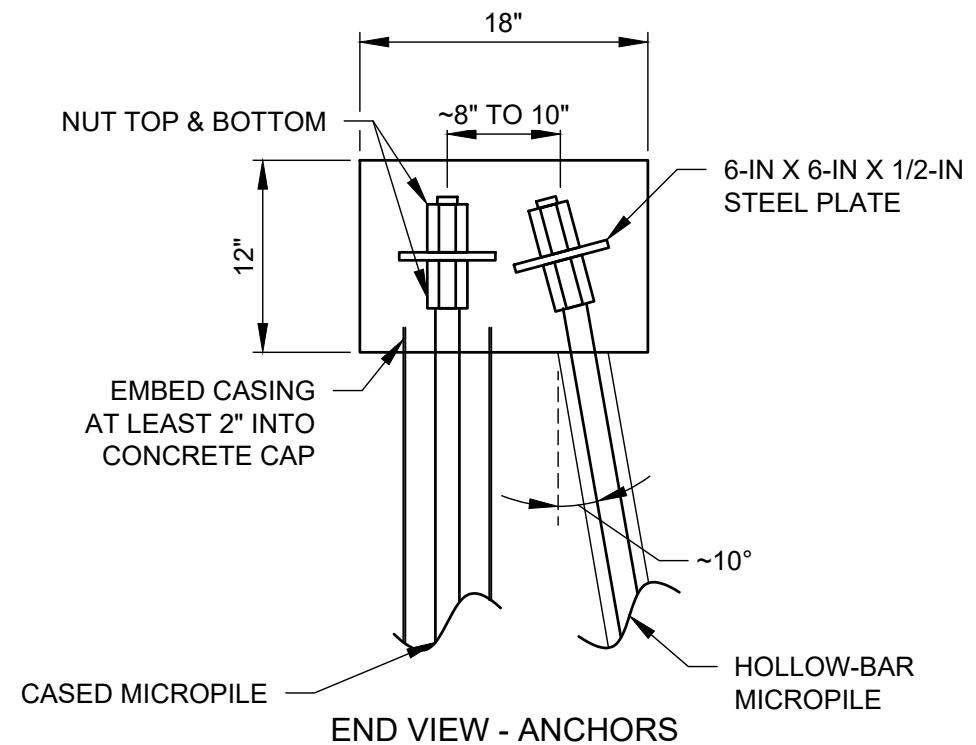


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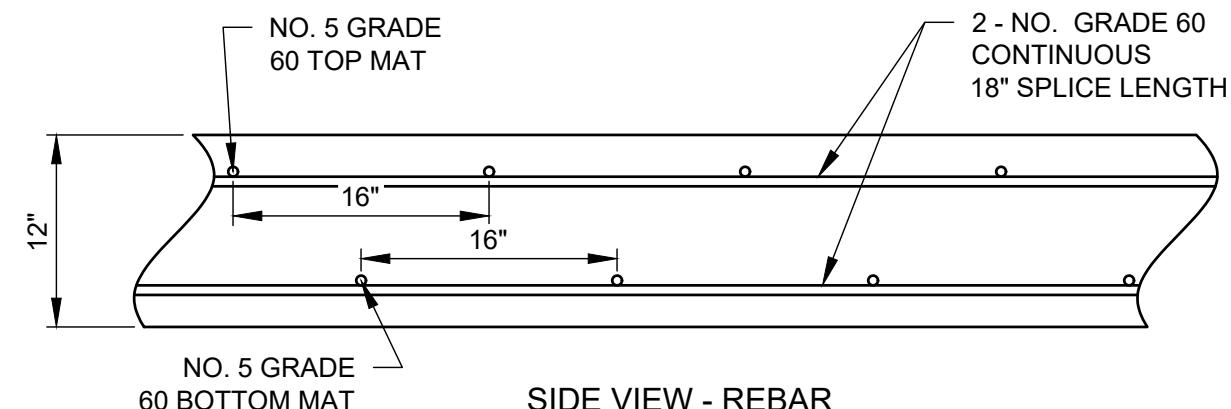




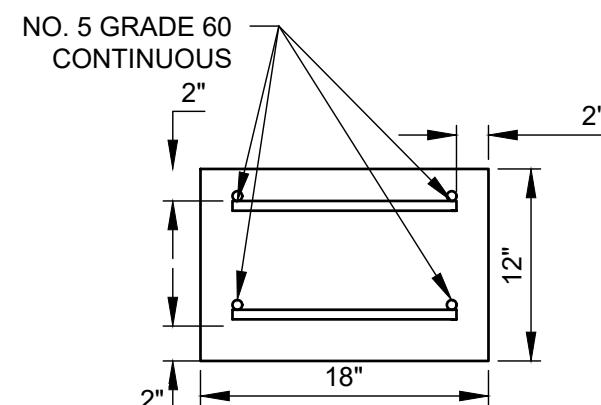
TOP VIEW - REBAR & ANCHORS



END VIEW - ANCHORS



SIDE VIEW - REBAR



END VIEW - REBAR

A MICROPILE CAP DETAIL
N.T.S.

SHEET REVISIONS

DATE	DESCRIPTION	NO
04/17/20	ISSUED FOR REVIEW	IFR
07/30/20	ISSUED FOR PERMIT	IFP

PROJECT NAME:

RUSTY PARROT LODGE

SHEET TITLE:

MICROPILE CAP DETAILS

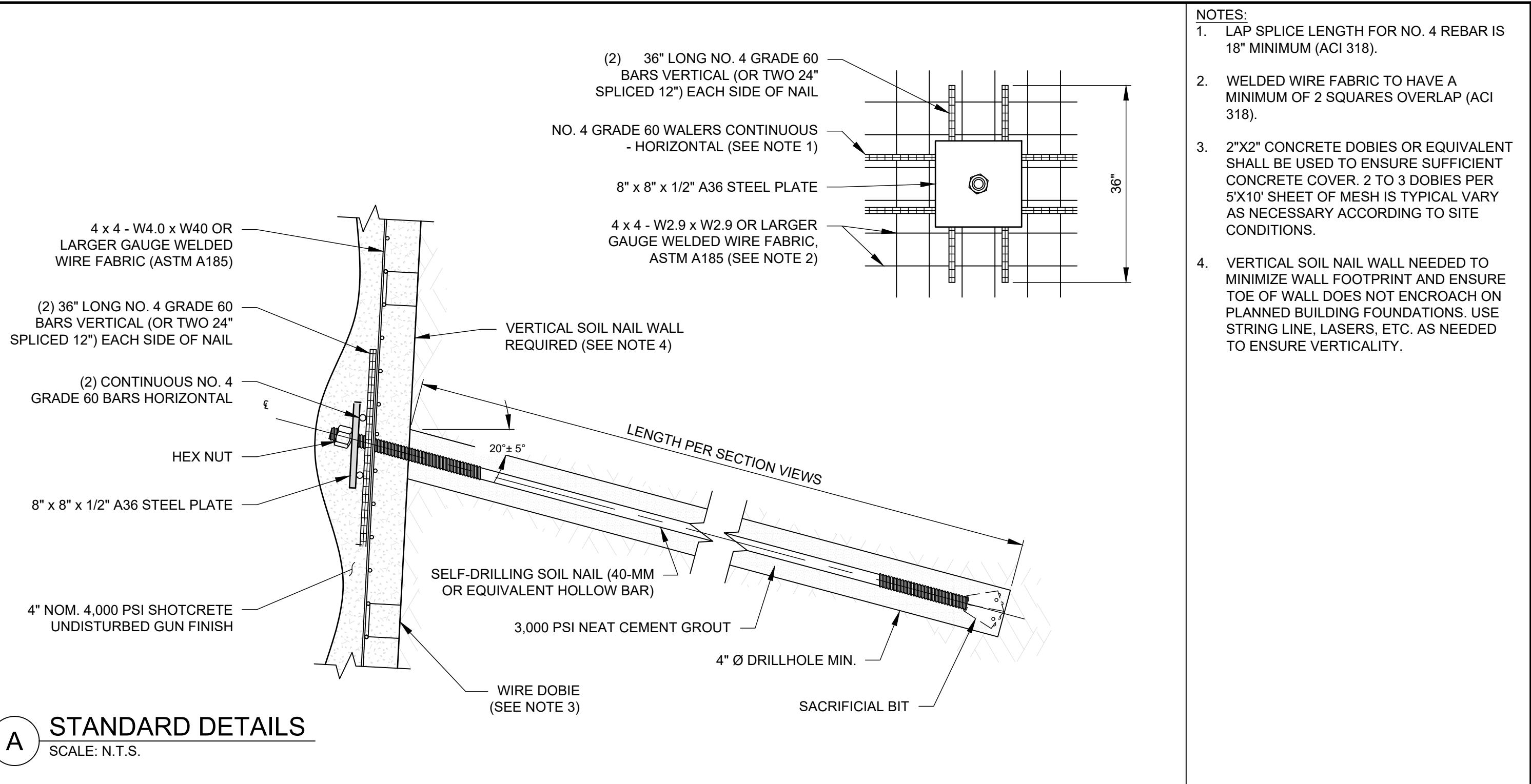
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A STANDARD DETAILS
SCALE: N.T.S.

SCALE: N.T.S.

PROJECT NAME

RUSTY PARROT LODGE

SHEET TITLE

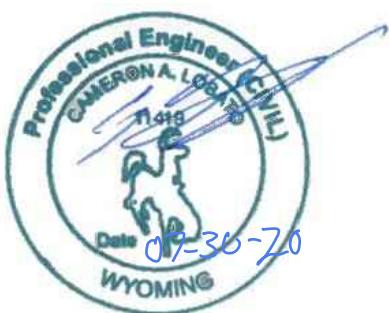
SOIL NAIL DETAILS

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DATE	DESCRIPTION
04/17/20	ISSUED FOR REVIEW
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PROJECT NAME:

RUSTY PARROT LODGE

SHEET TITLE

MICROPILE & NAIL SCHEDULE

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