



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☒ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Joint Housing Dept

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: August 4, 2020, 2020</p> <p>Item #: P20-145</p> <p>Planner: Tyler Valentine</p> <p>Phone: 733-0440 ext. 1302</p> <p>Email: tvalentine@jacksonwy.gov</p> <p>Owner Harrison Hospitality PO Box 1657 Jackson, WY 83001</p> <p>Applicant: Y2 Consultants – Vince Roux PO Box 2674 Jackson, WY 83001</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for an Encroachment Agreement for the property located at 175 N. Jackson Street, legally known as LOT 1, 2, 3, BLK. 4, JACKSON.</p> <p>For questions, please call Brian Lenz at 733-0440, x1410 or email to the address shown below. Thank you.</p>
<p>Please respond by:</p> <p style="text-align: center;">August 25, 2020 (with Comments)</p>	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



ENCROACHMENT AGREEMENT APPLICATION

Planning & Building Department

Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

OWNER OF PROPERTY:

Name: Harrison Hospitality Properties Limited Partnership Phone: Ron Harrison (307) 733-2000

Mailing Address: P.O. Box 1657, Jackson, WY ZIP: 83001-1657

E-mail: rharrison@rustyparrot.com

APPLICANT/AGENT:

Name: Ron Har175 North Jackson Street, Jackson, WY hone: (307) 733-2000

Mailing Address: P.O. Box 1657, Jackson, WY ZIP: 83001-1657

E-mail: rharrison@rustyparrot.com

DESIGNATED PRIMARY CONTACT:

Owner X Applicant/Agent

PROPERTY:

Physical Address of Property: 175 North Jackson Street, Jackson, WY 83001

Lot, Subdivision: Lot 1, 2, 3, Blk 4, Jackson

PIDN: 22-41-16-28-4-11-001

Description of Public Right-of Way: See attached.

SUBMITTAL REQUIREMENTS. Three (3) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

N/A **Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

10/29/15

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

_____ **Narrative Description of the Request.** Provide a detailed narrative description explaining the use of the noted public right-of-way.

_____ **Exhibit.** Provide an exhibit (picture, drawings, maps, plans) of the use of the noted public right-of-way including dimensions of requested encroachment.

FORMAT:

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of the Town of Jackson to enter upon the abovementioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

RON HARRISON
Signature of Owner or Authorized Applicant/Agent

Ron Harrison
Name Printed

7/31/2020
Date

Member
Title



ZCM, Inc.
P.O. Box 547
Teton Village, Wyoming 83025

Rusty Parrot Lodge Project
Encroachment Agreement Application Narrative
7-30-20

Description of Request

The proposed Rusty Parrot Lodge Project is a four-star, luxury boutique hotel. Included in the hotel are approximately 40 hotel guest rooms and suites, lobby reception, den, library, living lounge area, full-service bar and kitchen.

The approximate building gross area is 50,563 SF:

- Basement - 5,951 SF occupiable with approximately 12,219 SF of underground parking including ramp.
- Level 1 - 9,704 SF including lobby, kitchen, dining, bar, spa, den AHU, and admin spaces.
- Level 2 - 13,011 SF consisting of guest rooms and circulation spaces.
- Level 3 - 9,678 SF consisting of guest rooms and circulation spaces.

The requested use of the public right of way at this time, for Grading and Erosion Control (GEC) permit submittal, is to support site access, temporary facilities (trash, bathrooms, site fencing, staging, etc.) and temporary soil stabilization.

There are numerous utilities that will require connections to Town systems within Gill and Jackson streets. Also sidewalk and landscaping work is planned for the right-of-way. This work is planned for execution in the 15 April 2021 to 1 November 2021. As details are developed they will be communicated with the Town of Jackson.

Attachment/Exhibits

- Construction Management (CM) Site Plan and Narrative by ZCM dated 7/30/20
 - Refer to the attached Construction Management Plan narrative and site plan.
- Temporary Soil Stabilization Plans (stamped) by GSI dated 7/30/20
 - Refer to the attached Temporary Soil Stabilization Plans prepared by GeoStabilization International (GSI.) The east, north and west sides of the property will have shotcrete and soil nail retention systems. The south property line will be a micropile soil retention system. These systems will be executed within the limits of the Rusty Parrot property. The exception to this is the soil nails which will extend past the property limits. The current temporary soil stabilization plan details 166 soils nails 10ft deep or less in relation to finished grade.



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P.O. Box 547
Teton Village, Wyoming 83025

Rusty Parrot Lodge
Construction Management Plan
Narrative and Site Plan
7-30-20



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P.O. Box 547
Teton Village, Wyoming 83025

Rusty Parrot Lodge Project
Construction Management Plan
7-30-20

Project Summary:

This project is a four-star, luxury boutique hotel. Included in the hotel are approximately 40 hotel guest rooms and suites, lobby reception, den, library, living lounge area, full-service bar and kitchen.

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- Level 3 - 9,678 SF consisting of guest rooms and circulation spaces.

Project Schedule and Key Dates:

- ≈ 8 September 2020 - Start excavation and temporary soil stabilization.
- ≈ 16 November 2020 - Start foundation concrete work.
- ≈ 14 May 2022 - Substantial completion.

Schedule of Construction and Impacts within the Town's right of way, easement or land

There are numerous utilities that will require connections to Town systems within Gill and Jackson streets. This work is planned for execution in the 15 April 2021 to 1 November 2021. As details are developed they will be communicated with the Town of Jackson.

See page 3 if this narrative for description of temporary soil stabilization impacts.

Public Impact

ZCM will coordinate with the Town of Jackson to identify properties and businesses most impacted by the construction to create an email contact list to provide information as to the project schedule and work. This list to include Town of Jackson Engineering Division townengineering@jacksonwy.gov.

The owner and ZCM are aware that the right-of-way is a shared use area including community special events, Town capital improvement projects and that we will coordinate with the Town to accommodate these events.



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Teton Village, Wyoming 83025

Construction Parking

ZCM will implement a clear and self-enforcing construction parking plan that does not use/or encumber downtown on street and/or public parking lot parking spaces. The plan to specify that employee or contractor parking within time restricted parking zones, the Home Ranch, East Deloney, Miller Park and/or the Parking Garage lots is not allowed. ZCM will encourage carpooling and bus riding, and when possible provide shuttles into the project.

Site Logistics

Work Hours: Typically, Monday - Friday 7AM to 7PM, weekends and Holidays 8AM - 5PM

Temporary Facilities

See attached site plan for trash, bathrooms, site fencing, access gates etc.

Road use:

Access to site is off of Jackson and Gill Streets.

Stormwater Management

Stormwater will be detained on-site during construction until permanent stormwater and de-watering systems are installed. It is anticipated that Best Management Practices will be required at existing storm water inlets adjacent to the project site.

Site Plan

See attached Construction Management (CM) Site Plan dated 7/30/20.

Crane

See attached CM Site Plan dated 7/30/20. ZCM acknowledges that picks are not allowed adjacent to areas open to the public unless they are within a fenced construction zone. Cranes will be operated by a certified operator and follow industry and OSHA standards.

Stabilized Construction Access

A stabilized construction access will be provided and maintained. A sweeping broom to be provided to remove tracked soil and mud from road as necessary. ZCM understands that sweeping to the storm drain is not acceptable.

Traffic Control:

There will be limited impact to traffic flow and pedestrian flow per the attached site plan except when in street work is executed. For in street work specific work plans to cover scope of work,



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timing, traffic control and pedestrian flow will be prepared and reviewed with Town Engineering prior to execution.

Shoring

Refer to the attached Temporary Soil Stabilization Plans (dated 7/30/20) prepared by GeoStabilization International (GSI.)

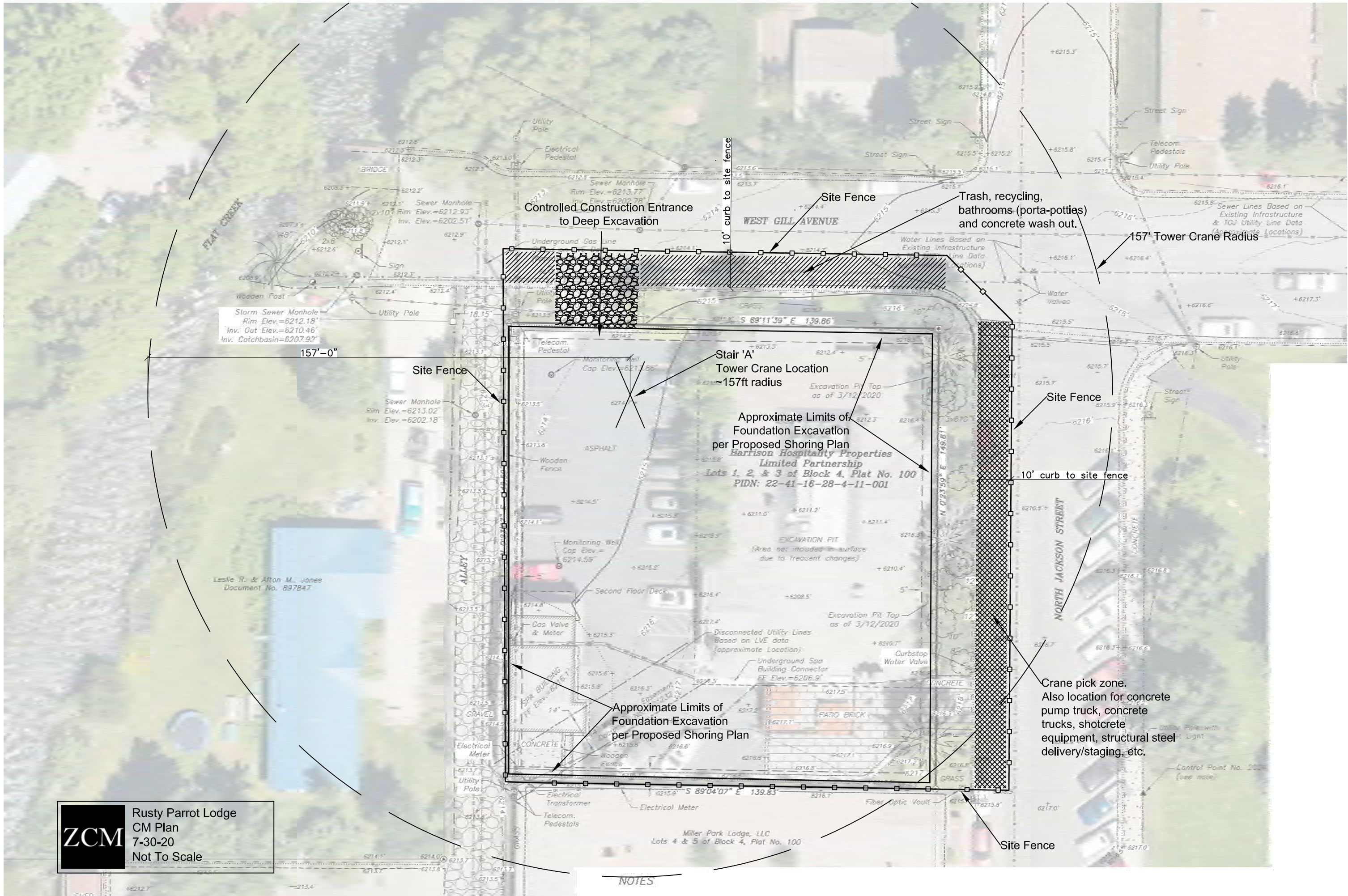
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Staging

The owner is currently assessing options for off-site staging areas. Upon selecting a specific location there will be communication with Town Engineering to address the details.

Attachments

- Construction Management (CM) Site Plan by ZCM dated 7/30/20
- Temporary Soil Stabilization Plans (stamped)by GSI dated 7/30/20



ZCM

Rusty Parrot Lodge
CM Plan
7-30-20
Not To Scale

NOTES



ZCM, Inc.
P.O. Box 547
Teton Village, Wyoming 83025

Rusty Parrot Lodge
Temporary Soil Stabilization Plans
by Geostabilization International (GSI)
7-30-20

TEMPORARY SOIL STABILIZATION PLANS

RUSTY PARROT LODGE



JACKSON, WY
ROWLAND+BROUGHTON



VICINITY MAP
(NOT TO SCALE)

SHEET INDEX

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	SITE PLAN
C-04	PROFILE VIEWS
C-05	PROFILE VIEWS (CONT.)
C-06	SECTION VIEWS
C-07	CASED MICROPILE DETAILS
C-08	SELF-DRILLING MICROPILE DETAILS
C-09	MICROPILE CAP DETAILS
C-10	SOIL NAIL DETAILS
C-11	NAIL SCHEDULE

<i>SHEET REVISIONS</i>			PROJECT NAME:			<i>RUSTY PARROT LODGE</i>		 Geostabilization International® Phone: 855.579.0536 Fax: 970.245.7737 www.geostabilization.com			
DATE	DESCRIPTION	NO	SHEET TITLE:								
04/17/20	ISSUED FOR REVIEW	IFR	<i>COVER SHEET</i>								
07/30/20	ISSUED FOR PERMIT	IFP									
THIS DRAWING IS FURNISHED SOLELY FOR THE USE OF OR IN CONNECTION WITH THIS PROJECT AND THE PROPRIETARY INFORMATION SHOWN HEREON IS NOT TO BE TRANSMITTED TO ANY OTHER ORGANIZATION WITHOUT SPECIFIC AUTHORIZATION BY GEOSTABILIZATION INTERNATIONAL (GSI). THE DESIGN IS ONLY VALID IF CONSTRUCTED AND SUPERVISED BY GSI OR ITS AUTHORIZED SUBCONTRACTOR.			DRAWN BY:	CHECKED BY:	DATE:	PROJECT NUMBER:	SHEET				
			DEB	NT	07/30/20	200###WY01	C-01				

C:\Users\damien.bosse\OneDrive\Documents\Drawings\Wyoming\Projects\A & B\A 2020 - Rusty Parrot Lodge\General Notes\General Notes C-02.dwg - 7/30/2020 9:38 AM

GENERAL INFORMATION:

- CONTRACTOR: GEOSTABILIZATION INTERNATIONAL “GSI”
- GSI PROJECT ENGINEER: DAMIEN BOSSE, PE
- GSI APPROVING REGISTERED ENGINEER: CAMERON LOBATO, PE, P.ENG
- ALL STEEL MATERIAL WILL BE NON-DOMESTIC ORIGIN, CERTIFICATIONS WILL BE PROVIDED UPON DELIVERY TO THE SITE.

SAFETY

- GSI WILL GENERATE A SITE SPECIFIC HEALTH AND SAFETY PLAN THAT MUST BE REVIEWED AND SIGNED BY ALL GSI EMPLOYEES, SUBCONTRACTORS, AND VISITORS TO THE SITE.
- ALL SAFETY PLANS FOR LIFTING, HEARING, DUST CONTROL, PPE ETC. ARE IN PLACE AND WILL BE FOLLOWED ACCORDINGLY. PPE WILL INCLUDE SAFETY VEST, STEEL TOED SHOES, HARD HAT, SAFETY GLASSES, AND GLOVES.
- GSI WILL LEAD A DAILY TAILGATE MEETING TO REVIEW JOB HAZARD ANALYSIS “JHA” FOR EACH OF THE DAYS ANTICIPATED TASKS.
- THE SITE WILL BE ORGANIZED AND CLEAR OF ANY TRASH OR DEBRIS. ALL TRASH WILL BE PLACED IN A PROPER CONTAINER AND SECURED OR REMOVED AT THE END OF EACH WORK DAY.

CONTRACTOR EMPLOYEE CERTIFICATIONS:

- ACI SHOTCRETE NOZZLEMEN CERTIFICATION
- 10-HOUR OCCUPATIONAL SAFETY AND HEALTH TRAINING COURSE IN CONSTRUCTION SAFETY & HEALTH
- AMERICAN RED CROSS STANDARD FIRST AID TRAINING
- AMERICAN RED CROSS BLOODBORNE PATHOGENS TRAINING: PDT

DIVISION OF WORK:

- GSI WILL PROVIDE AND INSTALL THE SPECIFIED SOILS NAILS AND SHOTCRETE FACING PER THESE DRAWINGS.
- GSI UNDERSTANDS AN ACTIVE DEWATERING SYSTEM WILL BE INSTALLED (BY OTHERS). LOWERING THE WATER LEVEL BELOW THE ELEVATION OF ANY EXCAVATION IS CRITICAL TO THE MICROPILE DESIGN.

CONSTRUCTION SEQUENCE

1. INSTALL MICROPILES:
 - 1.1. INSTALL CASED AND HOLLOW BAR MICROPILES.
 - 1.2. PREPARE MICROPILE CAP REINFORCEMENT.
 - 1.3. POUR CONCRETE FOR MICROPILE CAP.
2. EXCAVATE SITE (BY OTHERS). EXCAVATION WILL BE DIRECTED BY GSI ENGINEERS, SITE SUPERINTENDENT OR THEIR DESIGNATED REPRESENTATIVE(S).
3. INSTALLATION OF SELF-DRILLING SOIL NAILS (5 FT, SINGLE NAIL ROW LIFTS):
 - 3.1. LAYOUT STABILIZATION PATTERN.
 - 3.2. INSTALL ANCHOR ELEMENTS.
4. PREPARE WALL FOR SHOTCRETE:
 - 4.1. PLACE DRAIN STRIP.
 - 4.2. PLACE STEEL REINFORCING MESH WITH DOBIES, WALERS, PLATES AND HEX NUTS. WET SET OF PLATES STRONGLY PREFERRED, IF FEASIBLE.
5. PLACE SHOTCRETE:
6. REPEAT STEPS 2 THROUGH 5 FOR EACH EXCAVATED LIFT, AS REQUIRED.
7. CLEAN AND DEMOBILIZE FROM SITE.

INSTALLATION EQUIPMENT:

- ANCHORS AND MICROPILES WILL BE INSTALLED WITH A SUPERNAILER® MAST ADN CASING RIG MAST MOUNTED ON AN EXCAVATOR. A ROTARY PERCUSSION TOP HAMMER WILL BE UTILIZED AS NECESSARY.
- GROUT WILL BE MIXED AND PUMPED FROM A DOUBLE HOPPER GROUT PLANT UTILIZING A PROGRESSIVE CAVITY PUMP.
- SHOTCRETE WILL BE PLACED WITH A LINE PUMP.

STABILIZATION LAYOUT

- ZCM WILL LAYOUT PIPE ALIGNMENTS, STATIONING, ETC.
- PRIOR TO GSI MOBILIZATION ANY POTENTIAL CONFLICTS: UTILITIES, RIGHT-OF-WAY LIMITS, ETC SHALL BE MARKED (BY OTHERS). POTHOLING MAY BE REQUIRED TO DETERMINE ACTUAL LOCATION(S) AND DEPTH(S) OF UTILITY(IES) AND WILL BE PROVIDED BY OTHERS AS NEEDED TO ENSURE THE SAFETY OF WORKERS AND PROTECTION OF UTILITIES.
- GSI ENGINEERING STAFF OR THEIR DESIGNATED REPRESENTATIVE(S) WILL LAYOUT THE WALL ALIGNMENT. GSI MAY REQUEST ASSISTANCE FROM AMES CONSTRUCTION TO SURVEY IN THE DESIRED WALL ALIGNMENT.
- GSI WILL MARK THE LOCATIONS OF THE STABILIZATION ELEMENTS WITH SURVEY MARKING PAINT.
 - HORIZONTAL AND VERTICAL SPACING WILL BE AS SHOWN HEREIN.
 - ADJUSTMENTS, AS DIRECTED BY GSI ENGINEERING STAFF, MAY BE REQUIRED TO MEET ON-SITE CONDITIONS.

STABILIZATION ELEMENTS:

- THE SOIL NAIL ELEMENTS CONSIST OF FULLY GROUTED, PASSIVE, SELF-DRILLING SUPERNAILS®, INSTALLED IN 5 OR 10 FOOT LENGTHS.
- PHYSICAL PROPERTIES:
 - MINIMUM BAR YIELD WILL BE 96 KIPS.
 - BAR DIAMETER (OD/ID): 40MM/ 20MM
 - THREAD TYPE: WILLIAMSFORM CORP. T-THREAD (MEETS ASTM A519 OR A513)
 - BIT DIAMETER WILL BE AS SHOWN.
- DESIGN UNIT ALLOWABLE PULLOUT STRESS IS MATERIAL DEPENDENT. NAIL LENGTHS MAY BE ADJUSTED BY GSI ENGINEERING STAFF DEPENDING ON SOIL/ROCK CONDITIONS ENCOUNTERED.
- THE SUPERNAILS® WILL BE INSTALL BY INJECTING NEAT CEMENT GROUT THROUGH THE CENTER OF THE BAR DURING DRILLING; GROUT RETURN ALONG THE ANNULUS BETWEEN SOIL AND BAR WILL FLUSH CUTTINGS, PROVIDE ENCAPSULATION OF THE BAR, AND CENTRALIZE THE ANCHOR.

THE MICROPILE ELEMENTS WILL CONSIST OF 5.5" OD CASED MICROPILES WITH NO. 8 INNER BAR ON THE FRONT VERTICAL PILES AND WILLIAMS FORM T40S HOLLOW BAR FOR THE BATTERED BACK PILES. CASING WILL BE INSTALLED IN 5' LENGTHS AND STEEL BAR WILL BE INSTALLED IN 5 OR 10 FOOT LENGTHS AS NECESSARY.

NEAT CEMENT GROUT MIX DESIGN

- DESIGN 28 DAY COMPRESSIVE STRENGTH = 3,000 PSI
- TARGET RANGE WATER TO CEMENT RATIO = 0.5 TO 0.6

TYPICAL GROUT MIX DESIGN (PER 5-94LBBAG MIX)			
MATERIAL	WEIGHT (LBS.)	VOLUME (FT³)	FIELD UNIT VOLUME
WATER	235-282	3.8-4.5	28.4 - 33.7 GALLONS
CEMENT (TYPE I/II)	470	2.37	5 BAGS (94 LBS.)
TOTAL UNIT	705 - 752	6.17-6.87	--

TTYPICAL GROUT MIX DESIGN(PER 94 LB. BAG)			
MATERIAL	WEIGHT (LBS.)	VOLUME (FT³)	FIELD UNIT VOLUME
WATER	47 - 56.4	0.75 - 0.9	5.6 - 6.8 GALLONS
CEMENT (TYPE I/II)	94	0.47	1 BAG
TOTAL UNIT	141 - 150.4	1.22 - 1.37	--

FACING DRAINAGE:

PLACE GEOCOMPOSITE DRAIN STRIP AGAINST THE SOIL FACE AT THE APPROXIMATE LOCATIONS AS SHOWN. DRAIN STRIPS WILL BE CONTINUOUS AND ANY SPLICES SHALL BE MADE WITH A 1' MINIMUM OVERLAP. DRAIN STRIPS SHALL EXTEND BEYOND THE FACE OF THE SHOTCRETE AT THE DOWNHILL FACE. DRAIN STRIP DIMENSIONS AND SPACING SHOWN ON THE PROFILE VIEW.

REINFORCING STEEL:

REINFORCING STEEL FOR THE MICROPILE CAP WILL CONFORM TO THE FOLLOWING.

- NO. 5, GRADE 60 WALERS
- SPLICE LAP: 30" (ACI 318)
- 6" X 6" X 1/2" , GRADE A36 STEEL PLATES

REINFORCING STEEL FOR THE SOIL NAILS WILL CONFORM TO THE FOLLOWING.

- WELDED WIRE MESH “WWM”:
 - 4X4 - W4.0XW4.0 OR LARGER GAUGE, GR 60
 - SPLICE LAP: 2 SQUARES (ACI 318)
 - SEPARATION 2" BETWEEN SOIL AND BACK OF MESH
- WALERS:
 - NO. 4, GRADE 60
 - SPLICE LAP: 24" (ACI 318).
 - 36" VERTICAL WALERS, CONTINUOUS HORIZONTAL WALER
 - SECURE WALERS TO WWM WITH STEEL TIRE WIRE

SOIL NAIL HEAD ELEMENTS:

- ANCHOR HEAD ELEMENTS CONSIST OF 8" X 8" X 3/8", GRADE A36, STEEL PLATES ATTACHED WITH HEX NUT.
- SUPERNAIL® BAR EXTENDING BEYOND THE HEX NUTS WILL BE TRIMMED USING A GAS POWERED DEMOLITION SAW OR ELECTRICAL BAND SAW.

SHOTCRETE APPLICATION:

THE WET-MIX PROCESS CONSISTS OF THOROUGHLY MIXING ALL THE INGREDIENTS, INTRODUCING THE MIXTURE INTO THE DELIVERY EQUIPMENT AND DELIVERING IT, BY POSITIVE DISPLACEMENT, TO THE NOZZLE. AIR JET THE WET-MIX SHOTCRETE FROM THE NOZZLE AT HIGH VELOCITY ONTO THE SURFACE.



SHOTCRETE WILL BE PLACED FROM THE LOWER PART OF THE AREA UPWARDS TO PREVENT ACCUMULATION OF REBOUND. THE NOZZLE WILL BE ORIENTED A PROPER DISTANCE FROM AND APPROXIMATELY PERPENDICULAR TO THE WORKING FACE SO THAT REBOUND WILL BE MINIMAL AND COMPACTION WILL BE MAXIMIZED. CARE WILL BE TAKEN THAT SHOTCRETE PROPERLY ENCASES THE REINFORCEMENT AND PREVENT VOIDS OR POCKETS FROM FORMING.

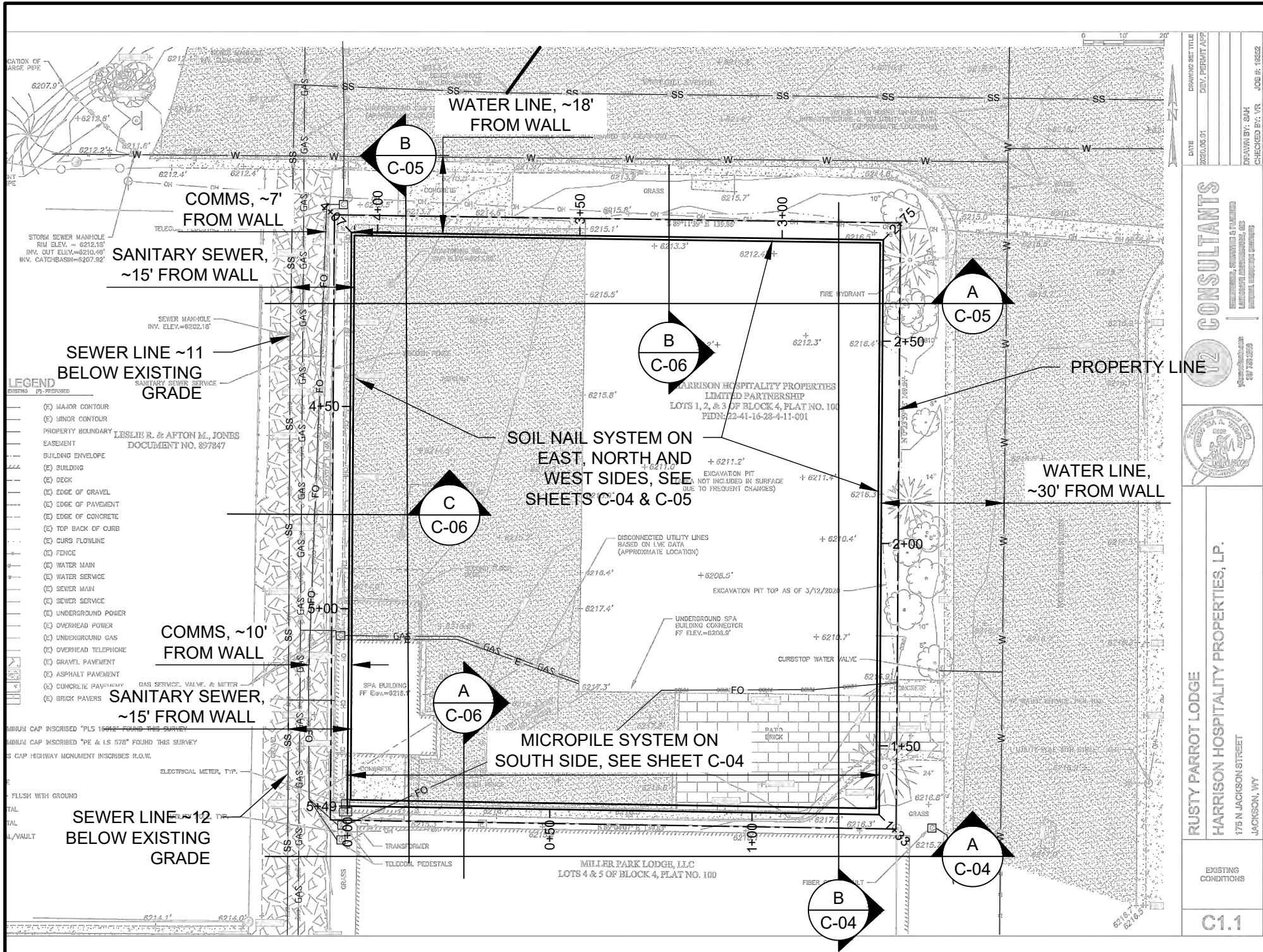
SHOTCRETE/CONCRETE MICROPILE CAP MIX DESIGN:

DESIGN 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
TARGET RANGE WATER TO CEMENT RATIO: 0.4 TO 0.5
SLUMP: 3 TO 4 INCHES

TYPICAL CONCRETE MIX DESIGN (PER YD³)			
MATERIAL	WEIGHT (LBS.)	VOLUME (FT³)	FIELD UNIT VOLUME
AGGREGATE NO. 1	¾" PEA	650	3.8
AGGREGATE NO. 2	CONCRETE SAND	1800	10.9
AIR	6% TOTAL	--	1.6
WATER	--	360	5.8
FLY ASH	TYPE F	150	1.1
CEMENT	TYPE I/II	750	3.8
TOTAL	--	3710	27.0

SHOTCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ACI 506.2, "SPECIFICATIONS FOR MATERIALS, PROPORTIONING AND APPLICATION OF SHOTCRETE", EXCEPT AS OTHERWISE SPECIFIED. SHOTCRETING CONSISTS OF APPLYING ONE OR MORE LAYERS OF CONCRETE CONVEYED THROUGH A HOSE PNEUMATICALLY PROJECTED AT A HIGH VELOCITY AGAINST A PREPARED SURFACE.

SHEET REVISIONS			PROJECT NAME: <i>RUSTY PARROT LODGE</i>				
DATE	DESCRIPTION	NO					
04/17/20	ISSUED FOR REVIEW	IFR					
07/30/20	ISSUED FOR PERMIT	IFP					
			SHEET TITLE: <i>GENERAL NOTES</i>				
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			Phone: 855.579.0536 Fax: 970.245.7737 www.geostabilization.com				
			 				



- NOTES:
- BACKGROUND IMAGE OBTAINED FROM ROWLAND+BROUGHTON AND Y2 CONSULTANTS SD PRICING SET DATED JUNE 18, 2020.
 - UTILITIES SHOWN ON THIS DRAWING ARE ASSUMED TO BE CORRECT. UTILITY LOCATING AND VERIFICATION (MARKING, HYDROVAC POTHOLING, ETC.) OF THESE UTILITIES WILL BE NECESSARY PRIOR TO INSTALLATION OF SOIL NAIL SYSTEMS. GSI WILL CALL PUBLIC UTILITY LOCATE. HOWEVER, PRIVATE UTILITY LOCATE (BY OTHERS) MAY BE NEEDED IF UTILITY LOCATE IS NEEDED TO SAFELY PERFORM OUR WORK.

ESTIMATED QUANTITIES			
DESCRIPTION	QT	QT (AB)	UNIT
SOIL NAILS	~349		EA
Nails at 10' or less depth	~168		EA
Nails deeper than 10'	~181		EA
SOIL NAILS (T40N)	~4655		LF
SHOTCRETE	~97		CY
MICROPILES (CASED)	~90		EA
5.5" CASING	~2000		LF
NO. 8 BAR	~2400		LF
MICROPILES (HOLLOW BAR)	~135		EA
T40S BAR	~2900		LF
CONCRETE CAP	~8		CY

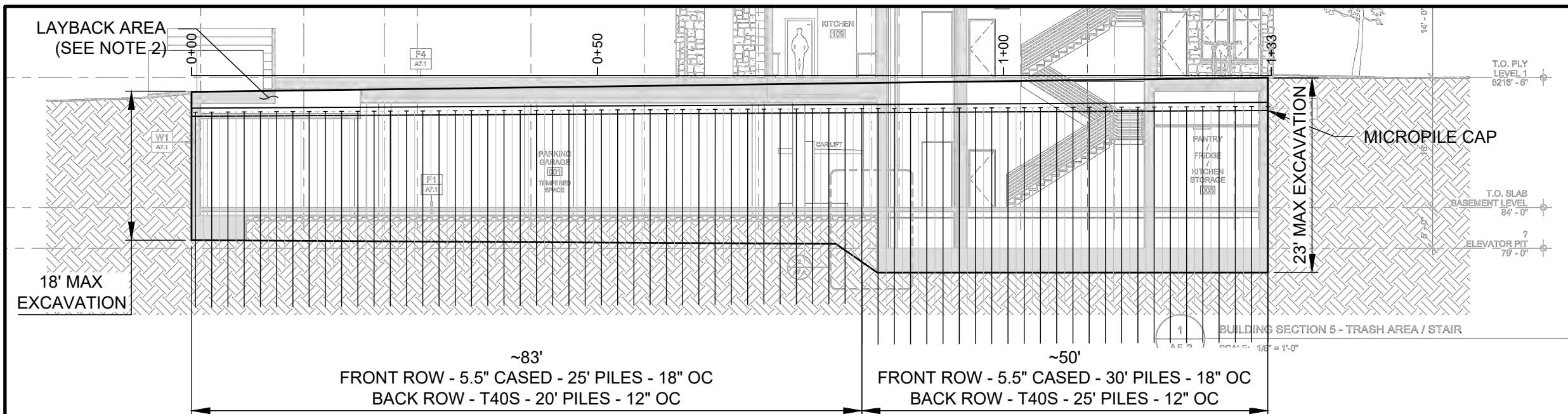
SHEET REVISIONS		
DATE	DESCRIPTION	NO
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07/30/20	ISSUED FOR PERMIT	IFP
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PROJECT NAME:	
RUSTY PARROT LODGE	
SHEET TITLE:	
SITE PLAN	
DRAWN BY:	CHECKED BY:
DEB	NT
DATE:	PROJECT NUMBER:
07/30/20	200###WY01
SHEET	
C-03	

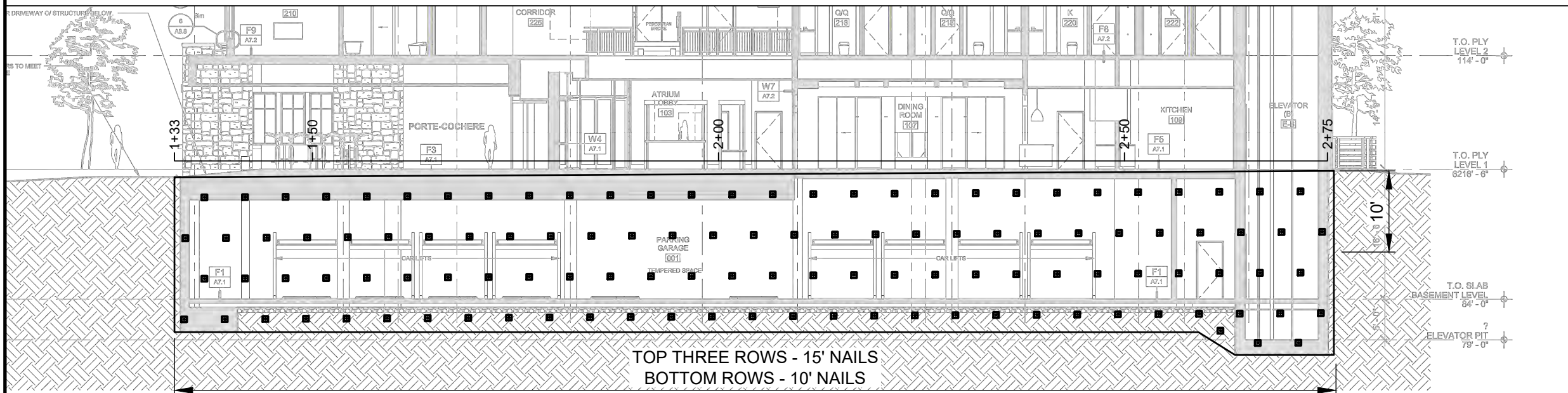


Phone: 855.579.0536 | Fax: 970.245.7737
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A SOUTH PROFILE - MICROPILE SYSTEM
SCALE: 1" = 15'



B EAST PROFILE - SOIL NAIL SYSTEM
SCALE: 1" = 15'

- NOTES:
- BACKGROUND IMAGE OBTAINED FROM ROWLAND+BROUGHTON AND Y2 CONSULTANTS SD PRICING SET DATED JUNE 18, 2020.
 - LAYBACK AREA ABOVE MICROPILE CAP WILL DEPEND ON ACTUAL SPACE BETWEEN EXCAVATION AND ADJACENT BUILDING. PLANNED FOR 1H:1V LAYBACK, SEE SHEET C-06 DETAIL A.

SHEET REVISIONS

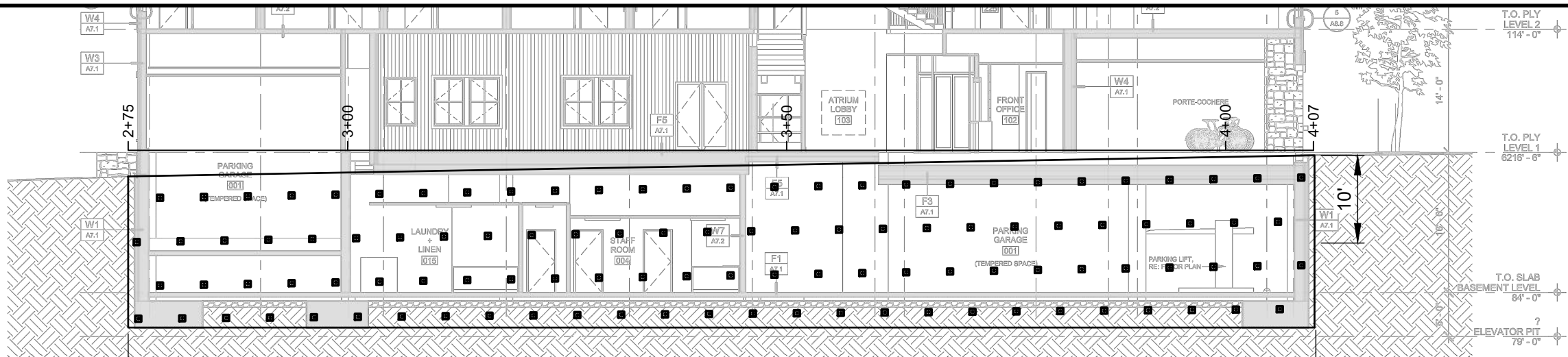
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04/17/20	ISSUED FOR REVIEW	IFR
07/30/20	ISSUED FOR PERMIT	IFP

PROJECT NAME:	
RUSTY PARROT LODGE	
SHEET TITLE:	
PROFILE VIEWS	
DRAWN BY:	CHECKED BY:
DEB	NT
DATE:	PROJECT NUMBER:
07/30/20	200###WY01
SHEET	
C-04	



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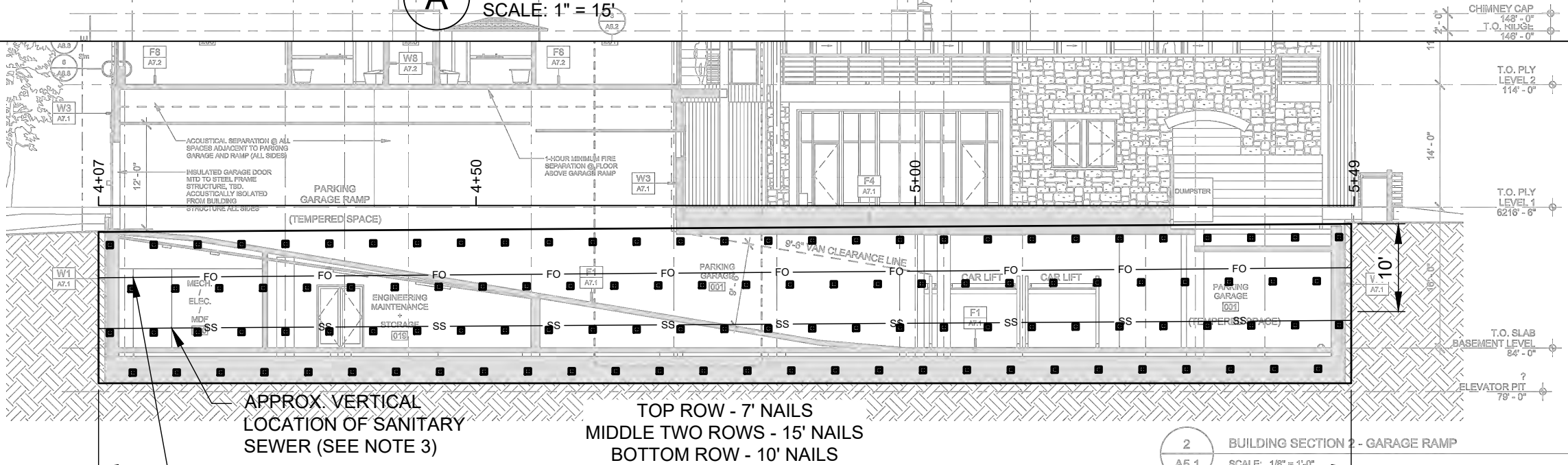




TOP THREE ROWS - 15' NAILS
BOTTOM ROW - 10' NAILS

1 BUILDING SECTION 1 - MAIN ENTRY
SCALE: 1/8" = 1'-0"

A NORTH PROFILE - SOIL NAIL SYSTEM
SCALE: 1" = 15'



APPROX. VERTICAL
LOCATION OF SANITARY
SEWER (SEE NOTE 3)

TOP ROW - 7' NAILS
MIDDLE TWO ROWS - 15' NAILS
BOTTOM ROW - 10' NAILS

2 BUILDING SECTION 2 - GARAGE RAMP
SCALE: 1/8" = 1'-0"

B WEST PROFILE - SOIL NAIL SYSTEM
SCALE: 1" = 15'

APPROX. VERTICAL
LOCATION OF COMMS
LINE (SEE NOTE 2)

- NOTES:
- BACKGROUND IMAGE OBTAINED FROM ROWLAND+BROUGHTON AND Y2 CONSULTANTS SD PRICING SET DATED JUNE 18, 2020.
 - UTILITIES ON THE WEST SIDE SHOULD BE POTHOLED/HYDROVAC'D (BY OTHERS) SO GSI ENGINEERS OR THEIR DESIGNATED REPRESENTATIVES CAN VISUALLY SEE UTILITIES, TAKE MEASUREMENTS, AND ADJUST NAIL GEOMETRY AS NEEDED.

SHEET REVISIONS

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04/17/20	ISSUED FOR REVIEW	IFR
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PROJECT NAME:

RUSTY PARROT LODGE

SHEET TITLE:

PROFILE VIEWS

DRAWN BY:

DEB

CHECKED BY:

NT

DATE:

07/30/20

PROJECT NUMBER:

200###WY01

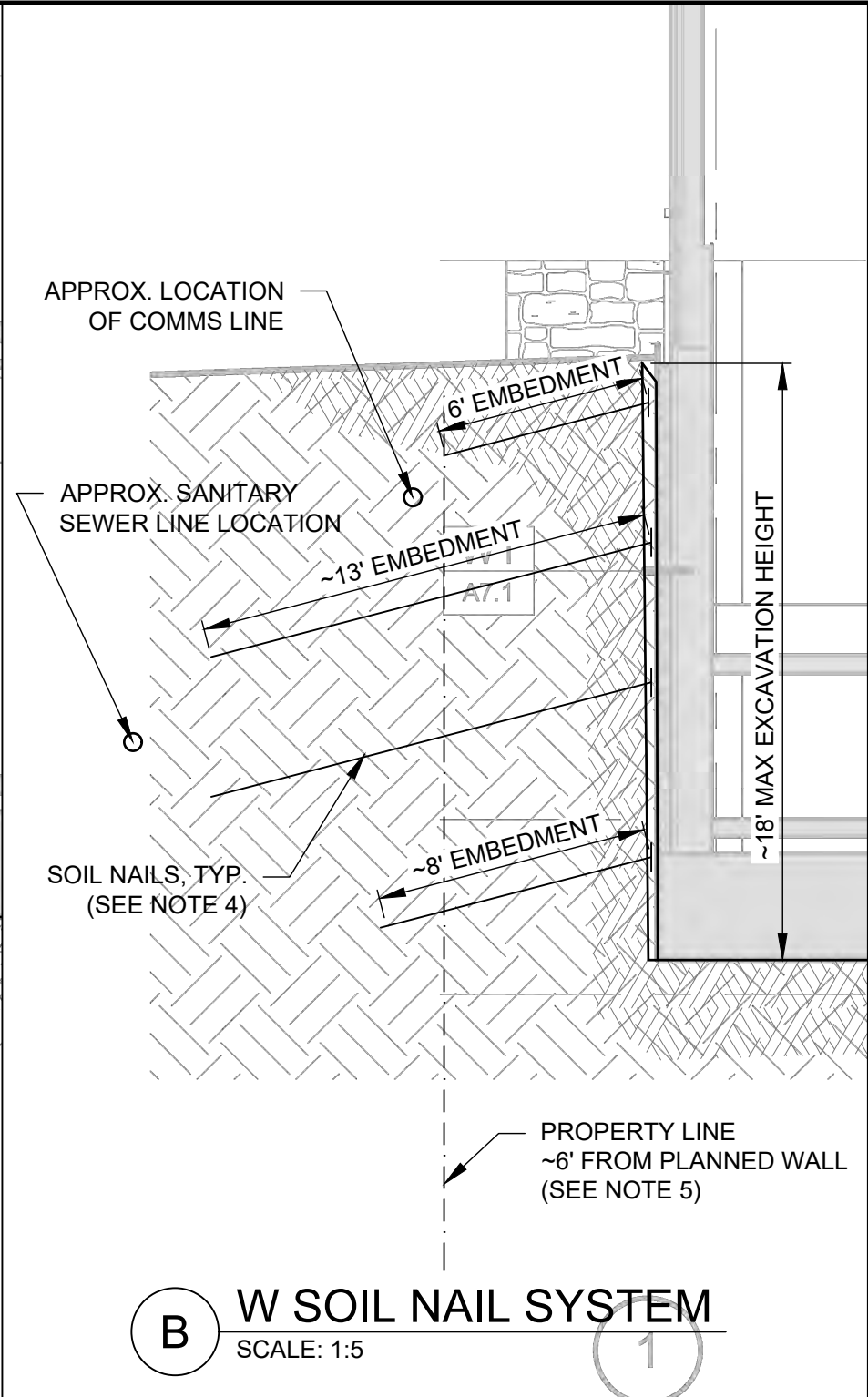
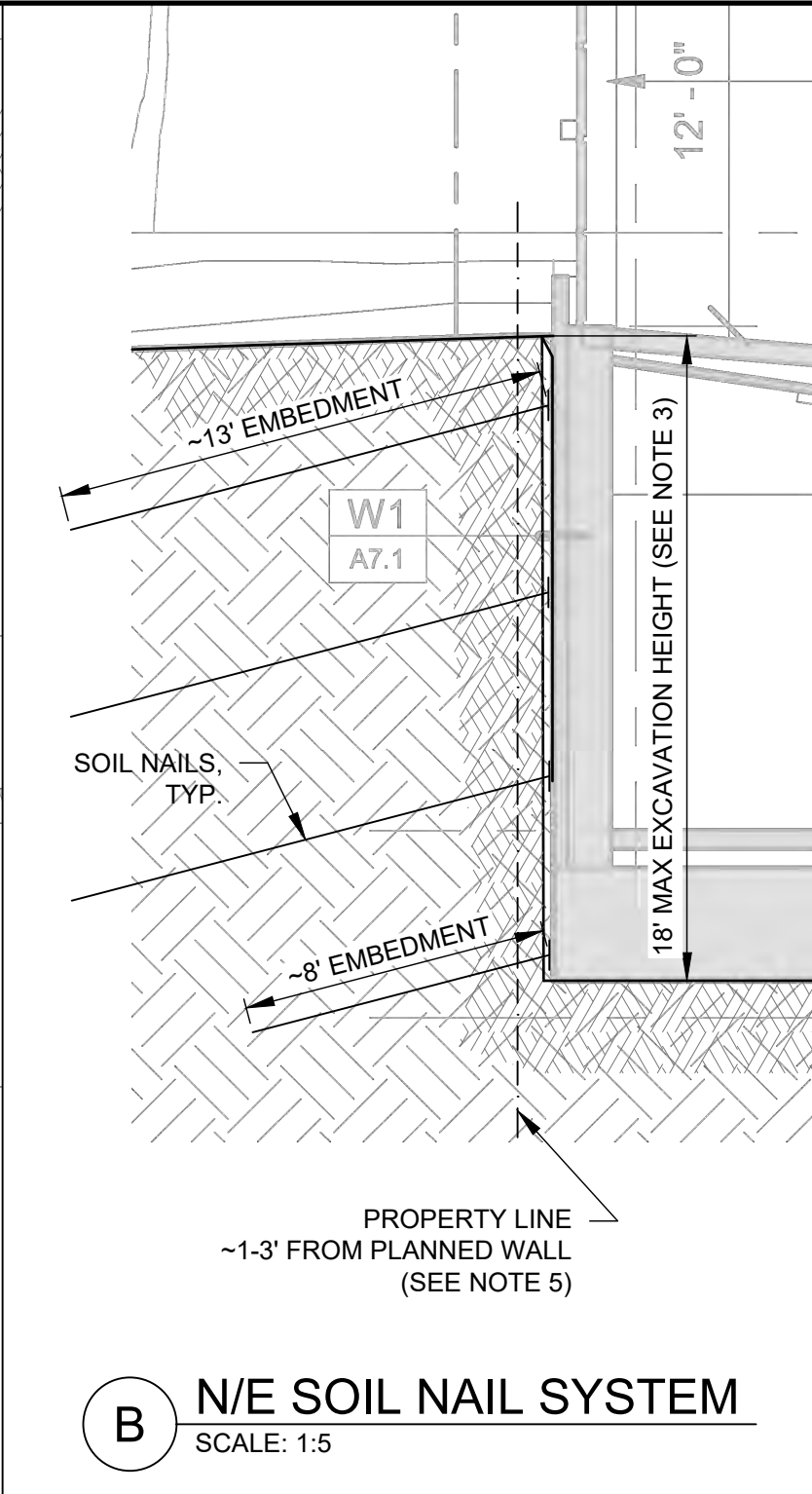
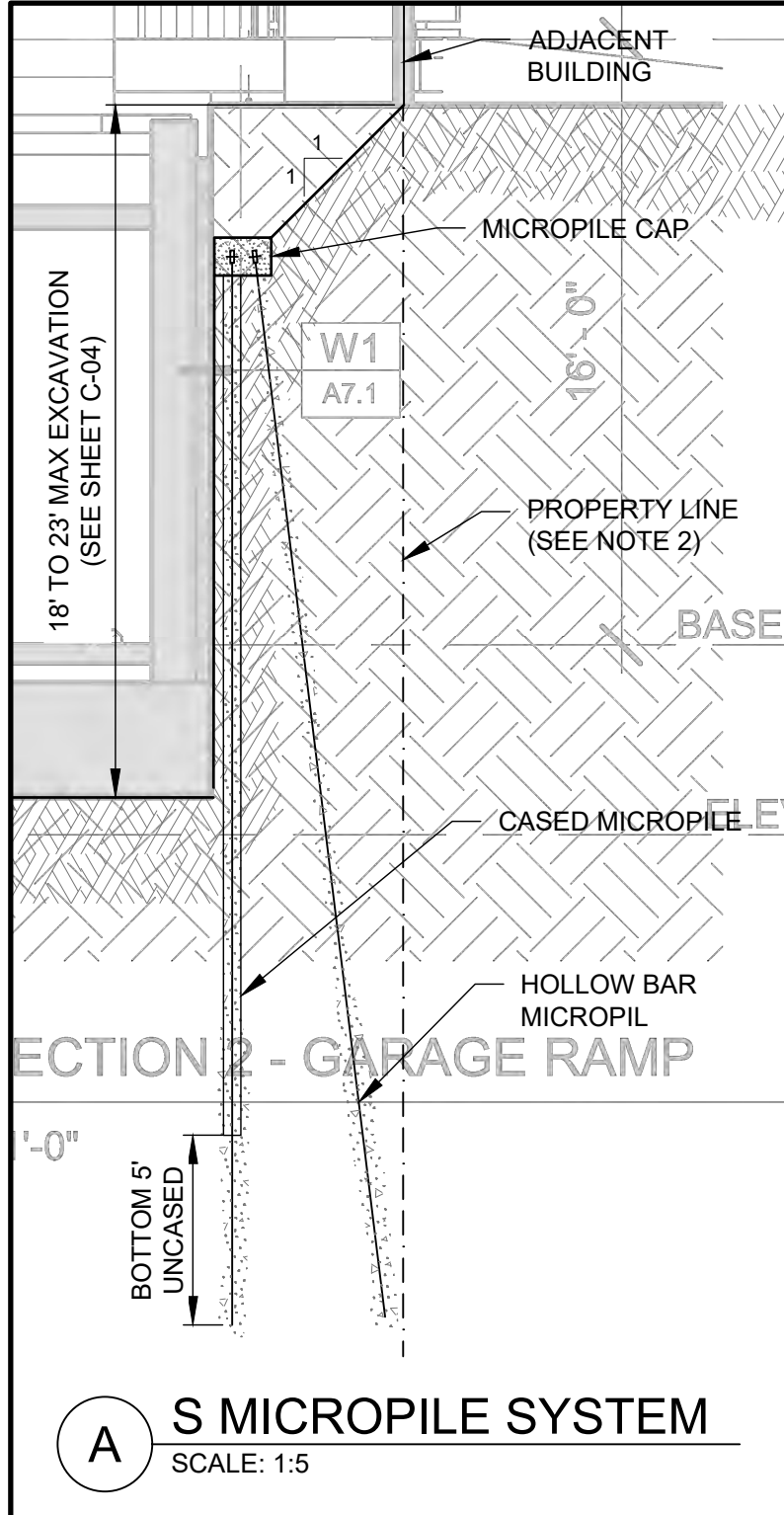
SHEET

C-05



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- NOTES:
1. BACKGROUND IMAGES OBTAINED FROM ROWLAND+BROUGHTON AND Y2 CONSULTANTS SD PRICING SET DATED JUNE 18, 2020.
 2. DETAIL A IS FOR THE SOUTHERN EXCAVATION SIDE AND CONSISTS OF CASED AND HOLLOWBAR MICROPILE SHORING SYSTEM. MICROPILE SYSTEM HAS BEEN DESIGNED TO STAY WITHIN PROPERTY BOUNDARY.
 3. DETAIL B IS FOR THE NORTH AND EAST SIDES OF THE EXCAVATION WHERE MAXIMUM 18' EXCAVATION IS PLANNED WITH SOIL NAIL WALL SYSTEM.
 4. DETAIL C IS FOR THE WESTERN EXCAVATION SIDE WHERE MULTIPLE UTILITIES EXIST. HOWEVER, THE SOIL NAIL SYSTEM HAS BEEN DESIGNED TO AVOID HAVING NAILS INSTALLED OVER THE UTILITIES. IF UTILITY LOCATIONS ARE ENCOUNTERED OTHER THAN SHOWN IN THE PROVIDED DRAWINGS, RE-DESIGN OF THE SOIL NAIL WALL WILL BE NECESSARY.
 5. GSI UNDERSTANDS A PROPERTY EASEMENT HAS BEEN GRANTED FOR THE NAIL SYSTEMS.

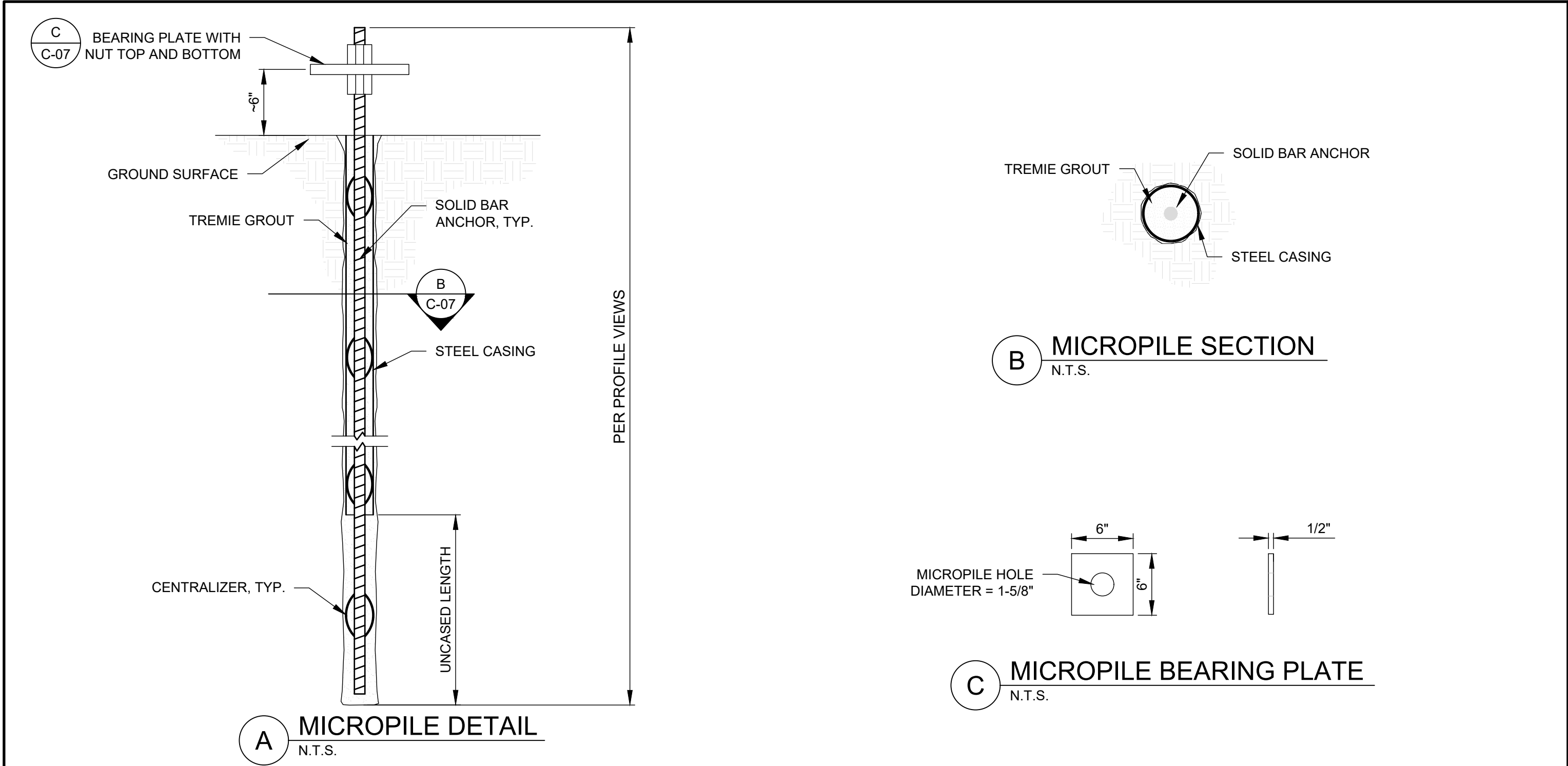
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PROJECT NAME: <i>RUSTY PARROT LODGE</i>				
SHEET TITLE: <i>SECTION VIEWS</i>				
DRAWN BY: DEB	CHECKED BY: NT	DATE: 07/30/20	PROJECT NUMBER: 200###WY01	SHEET C-06

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PROJECT NAME: <i>RUSTY PARROT LODGE</i>				
SHEET TITLE: <i>CASED MICROPILE DETAILS</i>				
DRAWN BY: DEB	CHECKED BY: NT	DATE: 07/30/20	PROJECT NUMBER: 200###WY01	SHEET C-07

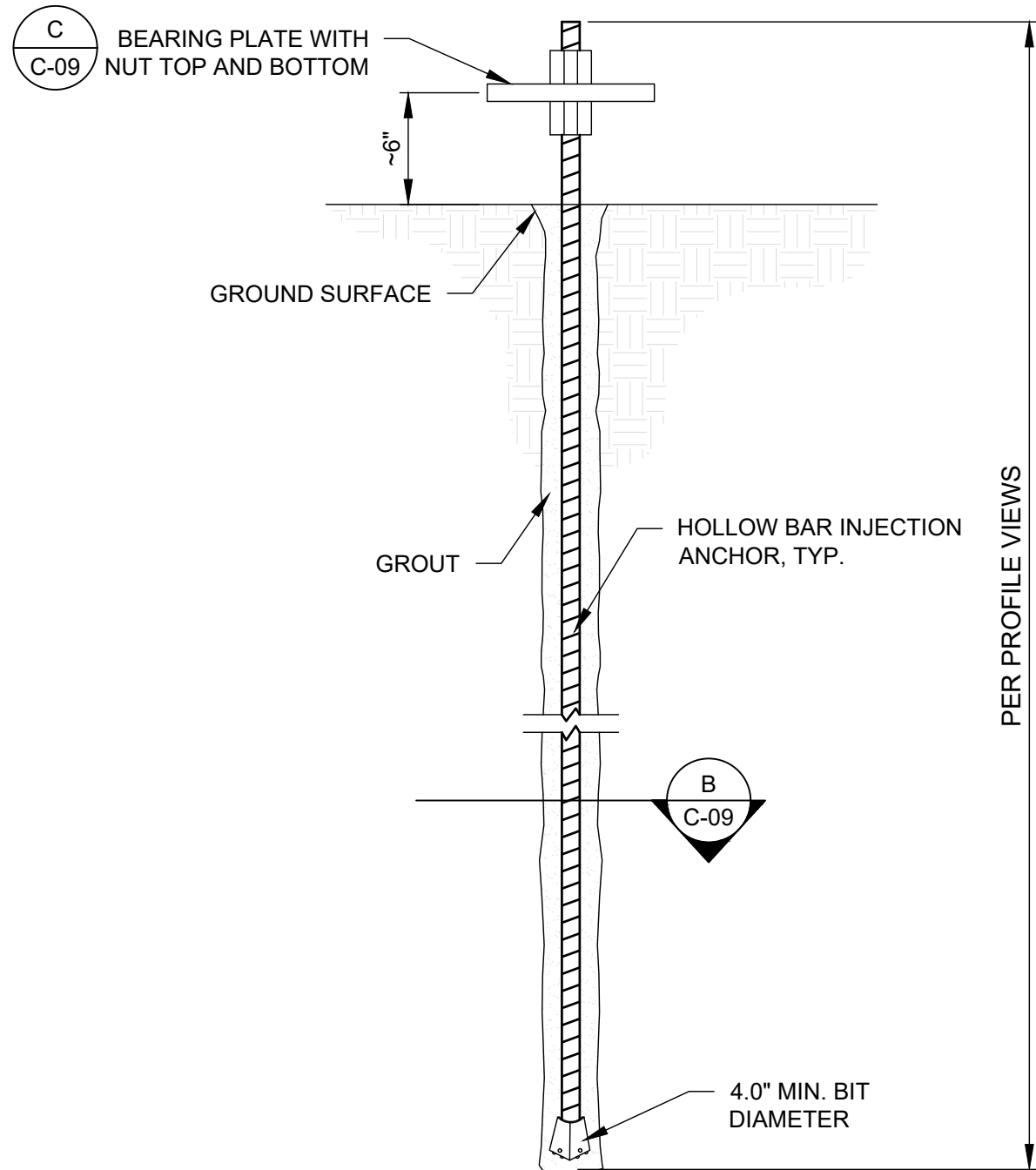


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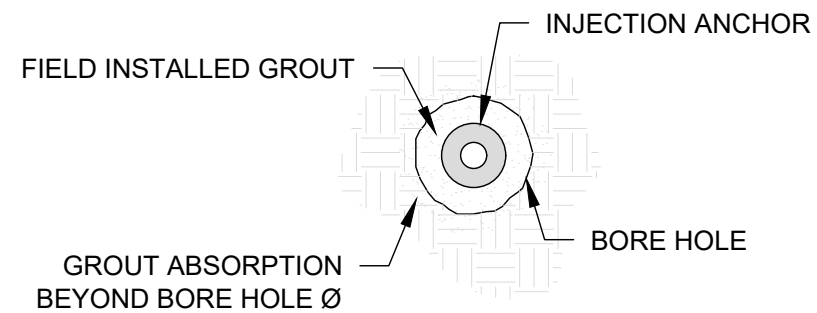
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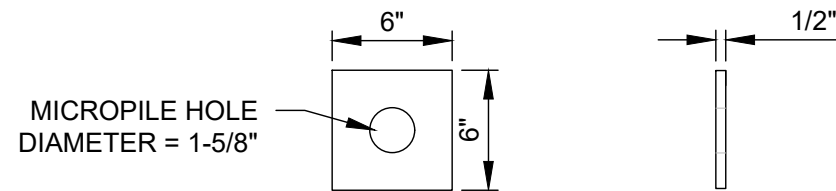
Professional Engineer
CAMERON A. LOGAN
11419
Date 07-30-20
WYOMING



A MICROPILE DETAIL
N.T.S.



B MICROPILE SECTION
N.T.S.



C MICROPILE BEARING PLATE
N.T.S.

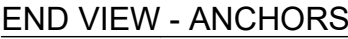
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PROJECT NAME: <i>RUSTY PARROT LODGE</i>				
SHEET TITLE: <i>SELF-DRILLING MICROPILE DETAILS</i>				
DRAWN BY: DEB	CHECKED BY: NT	DATE: 07/30/20	PROJECT NUMBER: 200###WY01	SHEET C-08



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A

MICROPILE CAP DETAIL

N.T.S.

<i>SHEET REVISIONS</i>		
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PROJECT NAME:

RUSTY PARROT LODGE

SHEET TITLE:

MICROPILE CAP DETAILS

DRAWN BY:

DEB

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NT

DATE:

07/30/20

PROJECT NUMBER:

200###WY01

SHEET

C-09

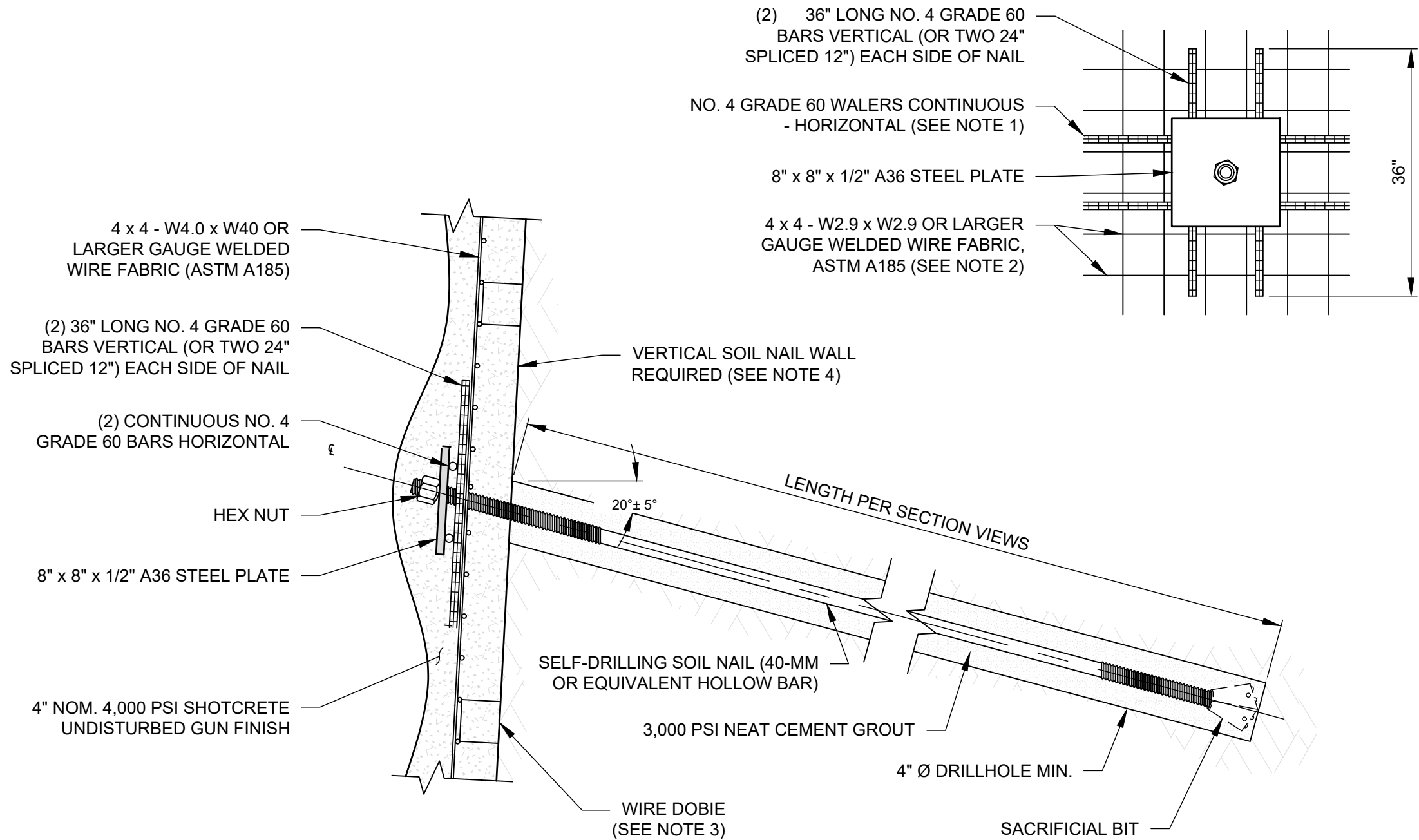


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A **STANDARD DETAILS**
SCALE: N.T.S.



- NOTES:**
1. LAP SPLICE LENGTH FOR NO. 4 REBAR IS 18" MINIMUM (ACI 318).
 2. WELDED WIRE FABRIC TO HAVE A MINIMUM OF 2 SQUARES OVERLAP (ACI 318).
 3. 2"X2" CONCRETE DOBIES OR EQUIVALENT SHALL BE USED TO ENSURE SUFFICIENT CONCRETE COVER. 2 TO 3 DOBIES PER 5'X10' SHEET OF MESH IS TYPICAL VARY AS NECESSARY ACCORDING TO SITE CONDITIONS.
 4. VERTICAL SOIL NAIL WALL NEEDED TO MINIMIZE WALL FOOTPRINT AND ENSURE TOE OF WALL DOES NOT ENCROACH ON PLANNED BUILDING FOUNDATIONS. USE STRING LINE, LASERS, ETC. AS NEEDED TO ENSURE VERTICALITY.

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PROJECT NAME: <i>RUSTY PARROT LODGE</i>				
SHEET TITLE: <i>SOIL NAIL DETAILS</i>				
DRAWN BY: DEB	CHECKED BY: NT	DATE: 07/30/20	PROJECT NUMBER: 200###WY01	SHEET C-10



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