



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: July 27, 2020	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 115 E. Broadway Ave, 170 & 180 E. Deloney. For questions, please call Brian Lenz at 307-733-0440, x1410 or email to the address shown to the left. Thank you.
Item #: P20-139	
Planner: Brendan Conboy Phone: 733-0440 ext. 1302 Email: bconboy@jacksonwy.gov	
Owner: Cage G, LLC PO Box 7372 Jackson, WY 83002 Applicant: Cirque Consulting - George Putnam PO Box 7775 Jackson, WY 83002	
Please respond by: N/A	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



PO Box 7775
Jackson, WY 83002 307-413-5424

July 24, 2020

Kelly Bowlin
Development Coordinator
Town of Jackson
PO Box 1687
Jackson, WY 83001

Via email to: kbowlin@jacksonwy.gov

RE: Grading Pre-App conference request – Lot 1 Genevieve Block Addition to the Town of Jackson

Dear Kelly,

On behalf of the applicant/owner, Cafe, G LLC, please accept this letter and the accompanying materials as a formal request for Grading Pre-Application conference for proposed reclamation and landscape improvements on Lot 1, Genevieve Block Addition to the Town of Jackson, Plat No. 1412.

Included for your review are the following:

- Check for \$150 (hand delivered)
- Pre-Application Conference Request
- Letter of Authorization
- Narrative Project Description
- Concept Site Plan & Grading Plan prepared by The Land Group

Please do not hesitate to contact me at (307) 413-5424 should you have any questions with this submittal. We look forward to hearing from you to schedule a meeting time.

Sincerely,

George Putnam
Cirque Consulting, LLC



PO Box 7775
Jackson, WY 83002 307-413-5424

Narrative Project Description

Grading Plan

Lot 1 Genevieve Block Addition to the Town of Jackson, Plat No. 1412

The proposed project will reclaim existing gravel surfaces on Lot 1 and convert much of the lot to irrigated lawn. A single curb cut from Deloney Ave. will be retained and a gravel access drive with 4 parking spaces will service the three existing businesses.

The current alley between Lots 1 & 2 of the Genevieve Block Addition, currently asphalt, will be reclaimed and a walking path installed. The existing curb cut at Broadway Ave. will be replaced with boardwalk according to Town of Jackson specifications and tie into the existing boardwalk along Broadway.



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: Lot 1 Genevieve Block Addition to the Town of Jackson - Grading Plan

Physical Address: 115 E. Broadway, 170 & 180 E. Deloney Ave.

Lot, Subdivision: Lot 1 Genevieve Block Addition to the Town of Jackson, Plat No. 1412

PIDN: 22-41-16-27-3-35-001

PROPERTY OWNER.

Name: Cafe G, LLC

Phone: 307-733-7057

Mailing Address: PO Box 7372, Jackson WY

ZIP: 83002

E-mail: rlevy@jhattorneys.com

APPLICANT/AGENT.

Name, Agency: Cirque Consulting, LLC Attn. George Putnam

Phone: 307-413-5424

Mailing Address: PO Box 7775 Jackson WY

ZIP: 83002

E-mail: gputnam@cirqueconsulting.com

DESIGNATED PRIMARY CONTACT.

_____ Property Owner ☒ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
☒ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (tstolte@jacksonwy.gov).

Have you attached the following?

☒ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

☒ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

- ☒ Existing property conditions (buildings, uses, natural resources, etc)
- ☒ Character and magnitude of proposed physical development or use
- _____ Intended development options or subdivision proposal (if applicable)
- _____ Proposed amendments to the LDRs (if applicable)

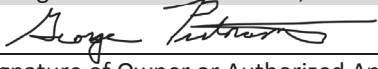
_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

- _____ Property boundaries
- _____ Existing and proposed physical development and the location of any uses not requiring physical development
- _____ Proposed parcel or lot lines (if applicable)
- _____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

☒ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

George Putnam, Cirque Consulting, LLC

Name Printed

7/24/2020

Date

Owner

Title

LETTER OF AUTHORIZATION

Cafe G, LLC

, "Owner" whose address is: PO Box 7372 Jackson, WY

83002

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

_____, as the owner of property
more specifically legally described as: 135 & 175 E. Broadway Ave. Pt. SW1/4 SW1/4
Section 27 T41N, R117W, 6th P.M. Town of Jackson, Teton County, Wyoming

(If too lengthy, attach description)

HEREBY AUTHORIZES Cirque Consulting, LLC, George Putnam as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing
on behalf of a corporation, partnership, limited liability company or other entity, the
undersigned swears that this authorization is given with the appropriate approval of such
entity, if required.

OWNER:

[Signature]

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: MANAGER

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or
other non-individual Owner)

STATE OF Wyoming)
)SS.
COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Robbin Lem this 4th day of
November, 2019.

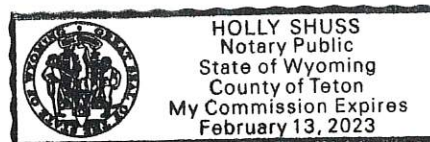
WITNESS my hand and official seal.

Holly Shuss
(Notary Public)

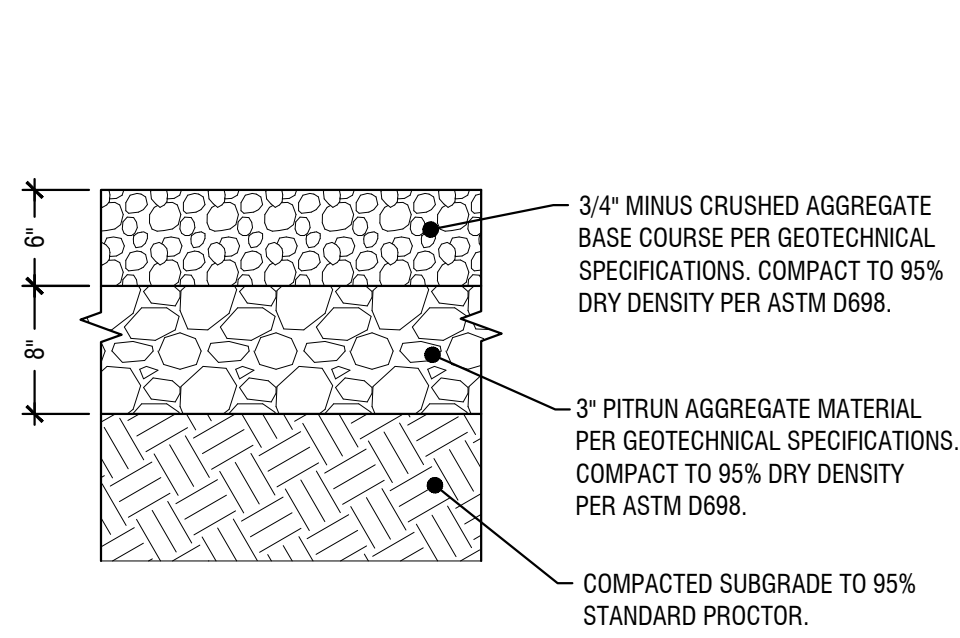
My commission expires:

February 13, 2023

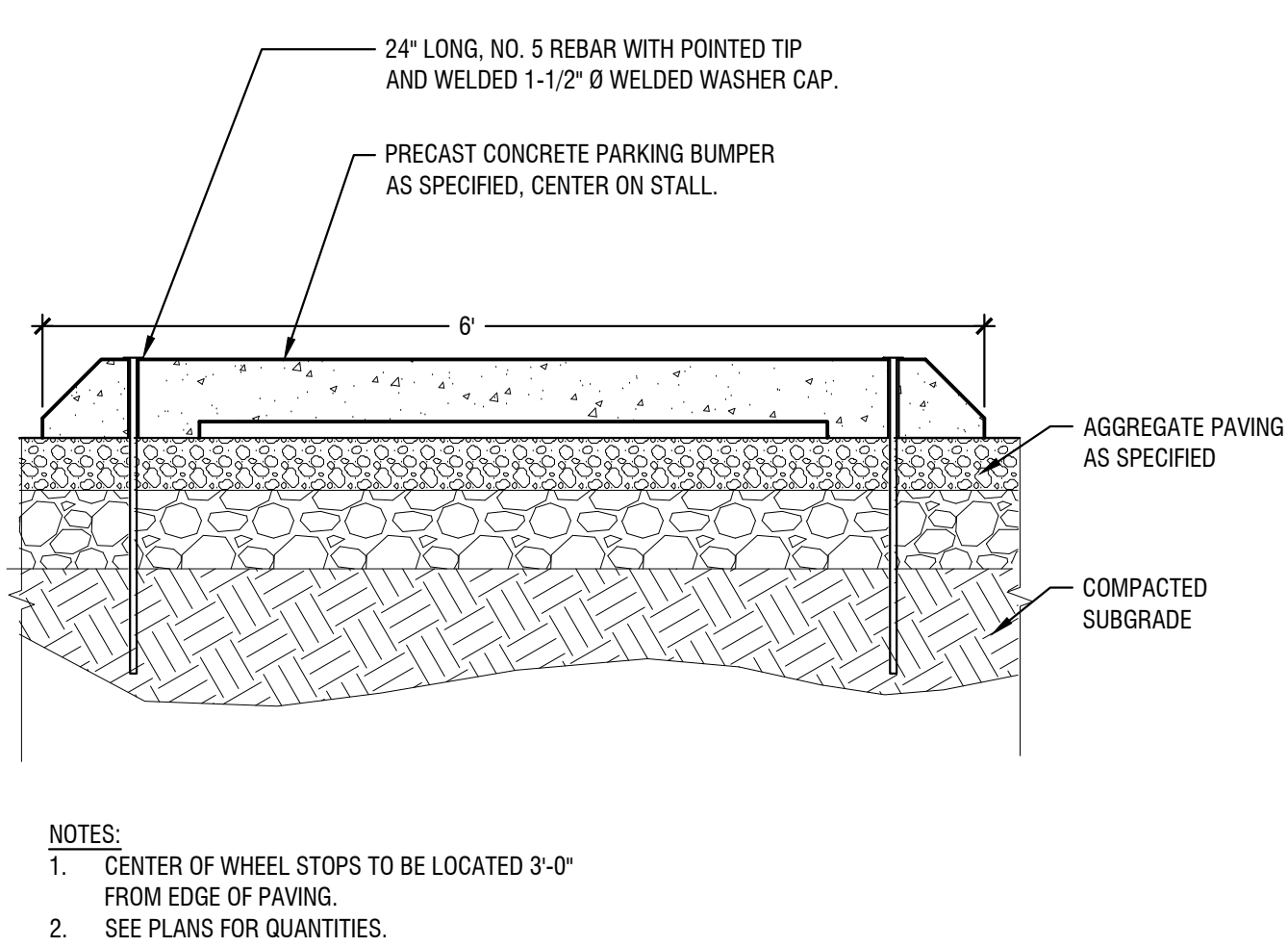
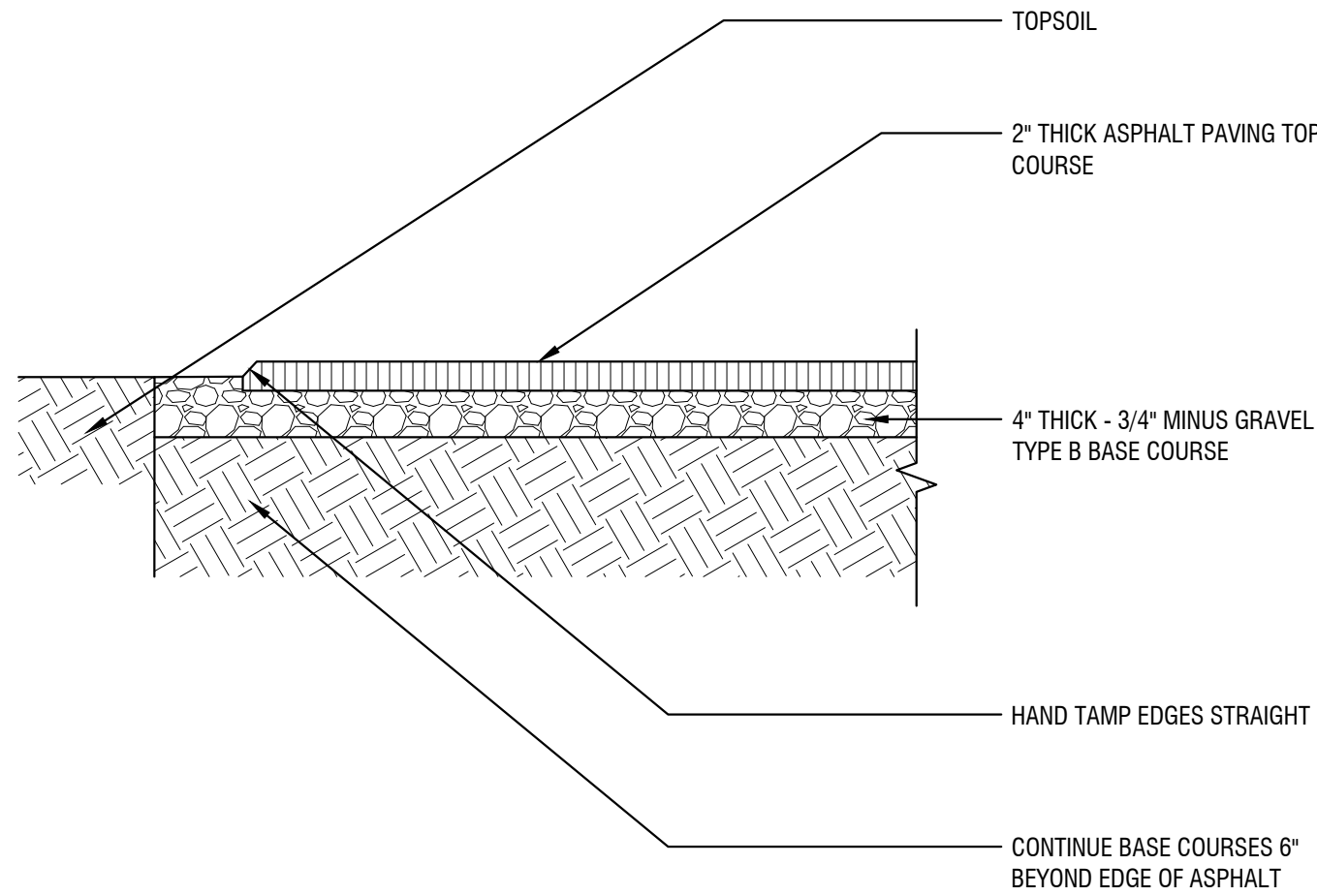
(Seal)



Horizontal Scale: 1" = 20'



NOTE:
1. SUBGRADE UNDER PAVEMENT SECTIONS SHALL BE PROPERLY STRIPPED TO A 6-IN DEPTH AND THE UPPER 6-IN OF EXPOSED SUBGRADE COMPACTED TO 95% OF ASTM D-689.



1 Gravel Pavement Section

Scale: NTS

2 Asphalt Walking Path

Scale: NTS

3 Concrete Parking Bumper

Scale: NTS

GENEVIEVE BLOCK - LOT 1
Cafe G. LLC
EAST BROADWAY AVE.
Jackson, WY 83001

Revisions	
1.	



Project No.: 119147
Date of Issuance: 07.24.20
Project Milestone: 75% CD

Construction Documents
Site Details

1. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
2. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS AND SPECIFICATIONS, CAREFULLY EXAMINE ALL OF THE CONTRACT DOCUMENTS, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREETS OR SIDEWALKS DURING THE CONSTRUCTION OF THIS PROJECT, AND SHALL REPAIR SUCH DAMAGE TO THE SATISFACTION OF THE GOVERNING AGENCY, AT NO EXTRA COST TO THE OWNER.
4. ALL MATERIALS AND FINISHES SHALL BE AS PER DRAWINGS, DETAILS AND SPECIFICATIONS. SOME MATERIALS MAY REQUIRE SEVERAL WEEK ORDER LEAD TIME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY AND ALL ORDERING LEAD TIMES, AND PROVIDING REQUIRED MATERIALS AT THE PROJECT SITE IN A TIMELY MANNER. NO UNAPPROVED SUBSTITUTIONS WILL BE ALLOWED. CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A SPECIFIED MATERIAL IS NOT AVAILABLE.
5. ALL EXISTING CONDITIONS AND STRUCTURES, NOT SPECIFICALLY NOTED FOR REMOVAL, SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTIONS SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. ALL CONTRACTORS WORKING WITHIN THE PUBLIC RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM THE TOWN OF JACKSON AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION.
7. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF JACKSON UTILITY STANDARDS AND THE LATEST EDITION OF THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) AS APPLICABLE. NO EXCEPTIONS TO THESE STANDARDS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE GOVERNING AGENCY.
8. THE CONTRACTOR SHALL PERFORM ALL CLEARING AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK INDICATED ON THESE PLANS AND SPECIFICATIONS.
9. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNER'S REPRESENTATIVE TO REQUEST CLARIFICATION OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT OFFICIAL CLARIFICATION FROM THE OWNER'S REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT.
11. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
12. IF ANY ARCHEOLOGICAL, CULTURAL OR HISTORICAL RESOURCES, OR ARTIFACTS OR OTHER FEATURES ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION ANYWHERE ON THE PROJECT SITE, WORK SHALL BE SUSPENDED IN THAT LOCATION UNTIL A QUALIFIED PROFESSIONAL ARCHEOLOGIST ASSESSES THE SIGNIFICANCE OF THE DISCOVERY. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY FINDS. IN CONSULTATION WITH THE ARCHEOLOGIST AND THE GOVERNING AGENCY, APPROPRIATE MEASURES FOR PRESERVATION SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF WORK.
13. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONTACT ONE CALL OF WYOMING 48 HOURS PRIOR TO ANY EXCAVATION. 811 OR 1-800-849-2476.
14. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL COORDINATE AND ACCOMMODATE OTHER CONTRACTORS OPERATIONS OF THE OWNER, AND LOCAL AGENCIES.
15. NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION IF INCONSISTENCIES, ERRORS OR DISCREPANCIES ARE FOUND IN THESE PLANS.
16. CONTRACTOR SHALL HAVE AN APPROVED SET OF PLANS, PROJECT SPECIFICATIONS, A COMPLETE COPY OF THE LATEST EDITION OF THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) AND THE TOWN OF JACKSON UTILITY STANDARDS.

1.1. DEFINITIONS

- 1.1. STRUCTURAL FILL: SOIL MATERIALS USED TO RAISE THE GRADES BENEATH BUILDINGS, FOOTINGS, FOUNDATIONS, RETAINING WALLS, SLABS, CURBS, MECHANICAL AND ELECTRICAL APPURTENANCES, OR OTHER MAN-MADE STATIONARY FEATURES CONSTRUCTED ABOVE OR BELOW THE GROUND SURFACE.
- 1.2. BUILDING PAD AREAS: THE LIMITS DESIGNATED ON THE GRADING PLAN WITHIN WHICH A BUILDING FOUNDATION IS LIKELY TO OCCUR. BUILDINGS LOCATED OUTSIDE OF THESE LIMITS MAY REQUIRE REEAVACATION AND REPLACEMENT OF STRUCTURAL FILL AT THE TIME OF CONSTRUCTION BY THE BUILDING CONTRACTOR.
- 1.3. LOAD STRESS ENVELOPE: A 1 VERTICAL TO 1 HORIZONTAL (1:1) PLANE EXTENDING DOWNWARD FROM THE OUTSIDE EDGE OF THE FOOTING.
- 1.4. MOISTURE CONDITIONING: THE PROCESS OF RAISING THE MOISTURE LEVELS IN THE SOIL TO LEVELS AT OR NEAR OPTIMUM. INCLUDES SCARIIFYING, ADDING WATER, MIXING OF SOIL AND RECOMPACTION FOLLOWED BY TESTING TO CONFIRM THAT MOISTURE LEVELS HAVE BEEN MET.
- 1.5. AIR DRYING: THE PROCESS OF LOWERING THE MOISTURE LEVELS IN THE SOIL TO LEVELS AT OR NEAR OPTIMUM.

2. GENERAL

- 2.1. WHERE IT IS NOT SPECIFICALLY STATED IN THESE SPECIFICATIONS THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SHALL GOVERN.
- 2.2. CONTRACTOR SHALL CONTACT "ONE CALL OF WYOMING" 48 HOURS PRIOR TO ANY EXCAVATION. 811 OR 1-800-949-2471.
- 2.3. WORK SHALL COMPLY WITH ALL CONSTRUCTION RECOMMENDATIONS PROVIDED IN A GEOTECHNICAL INVESTIGATION REPORT PREPARED SPECIFICALLY FOR THIS PROJECT (GEOTECHNICAL INVESTIGATION, CAFE G, LLC, NELSON ENGINEERING, JULY 2019, PROJECT NO. 19-148-01).

3. STRIP

- 3.1. THE STRIPPED SURFACE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO SUBSEQUENT EXCAVATION OR FILLING.
- 3.2. STOCKPILE EXCAVATED LANDSCAPE FILL MATERIALS AND STRUCTURAL FILL MATERIAL SEPARATELY WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER.

4. EXCAVATION

- 4.1. STOCKPILE EXCAVATED LANDSCAPE FILL MATERIALS AND STRUCTURAL FILL MATERIAL SEPARATELY WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER.

5. SUBGRADE INSPECTION

- 5.1. NOTIFY GEOTECHNICAL ENGINEER WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADE FOR APPROVAL AFTER STRIP AND PRIOR TO FILL.
- 5.2. IF UPON INSPECTION OF SUBGRADE, GEOTECHNICAL ENGINEER DETERMINES THAT ADDITIONAL STRIP IS NECESSARY OR THAT UNSATISFACTORY SOIL IS PRESENT, CONTINUE EXCAVATION AND REPLACE WITH COMPACTED FILL MATERIAL AS DIRECTED.
- 5.3. IF GEOTECHNICAL ENGINEER DETERMINES THAT THE SUBGRADE AREAS THAT HAVE BEEN "MOISTURE CONDITIONED" OR "AIR DRIED" DO NOT MEET THE REQUIRED MOISTURE LEVELS, REPEAT MOISTURE CONDITIONING OR AIR DRYING PROCESS WITHOUT ADDITIONAL COMPENSATION.
- 5.4. WHEN APPROVAL OF SUBGRADE HAS BEEN OBTAINED FROM THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL KEEP THE SUBGRADE SOILS DRY, UNFROZEN AND FREE OF TRAFFIC UNTIL THE FULL PAVEMENT SECTION HAS BEEN INSTALLED.
- 5.5. RECONSTRUCT SUBGRADES DAMAGED BY FREEZING TEMPERATURES, FROST, RAIN, ACCUMULATED WATER, OR CONSTRUCTION ACTIVITIES, AS DIRECTED BY GEOTECHNICAL ENGINEER, WITHOUT ADDITIONAL COMPENSATION.

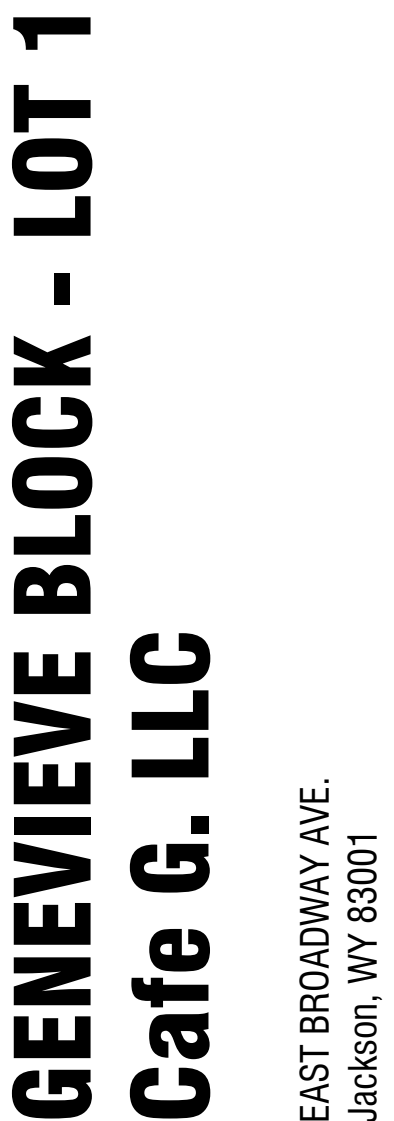
6. SOIL FILL

- 6.1. STRUCTURAL FILL: ACCEPTABLE SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, SM AND MLR OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 6 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER. SILT SOILS (GM, SM AND ML) MAY BE USED AS STRUCTURAL FILL IF IT CONTAINS LESS THAN 3% ORGANICS AS DETERMINED BY THE GEOTECHNICAL ENGINEER AND THE PLACEMENT AND COMPACTION OF THE MATERIAL IS SUPERVISED AND APPROVED BY THE GEOTECHNICAL ENGINEER. USE OF SILT SOILS AS STRUCTURAL FILL IS PROHIBITED BELOW FOOTINGS.
- 6.2. LANDSCAPE SOIL FILL: THE STRIP MATERIAL (ML) WHICH CANNOT BE USED AS STRUCTURAL MATERIAL, (I.E., GREATER THAN 3% ORGANICS), MAY BE USED AS LANDSCAPE FILL MATERIAL.
- 6.3. PLOW, SCARIIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
- 6.4. DO NOT PLACE BACKFILL OR FILL SOIL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.
- 6.5. UNFORMALLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL SOIL LAYER BEFORE COMPACTION TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. SOILS NOT MAINTAINED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION SHALL BE CONSIDERED UNSATISFACTORY.
- 6.6. REMOVE AND REPLACE, OR SCARIIFY AND AIR DRY OTHERWISE SATISFACTORY SOIL MATERIAL THAT EXCEEDS OPTIMUM MOISTURE CONTENT BY 2 PERCENT AND IS TOO WET TO COMPACT TO SPECIFIED DRY UNIT WEIGHT.
- 6.7. PROTECT APPROVED SUBGRADE SOIL FROM RECEIVING EXCESS MOISTURE. IF THIS SOIL IS ALLOWED TO RECEIVE MOISTURE, WHICH RAISES IT ABOVE ITS OPTIMUM LEVELS, IT WILL BECOME INSTABLE AND NOT BE COMPACTABLE. INSTABLE SOIL SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL AT THE CONTRACTOR'S EXPENSE.
- 6.8. SUBGRADE MATERIALS WHICH HAVE BEEN PREVIOUSLY APPROVED BUT HAVE BEEN DRIED OR DAMPENED CAUSING THE SOIL TO BE OUTSIDE OF REQUIRED MOISTURE LEVELS SHALL BE RE-MOISTURE CONDITIONED AT CONTRACTOR'S EXPENSE.
- 6.9. SANDY SILT (ML) USED AS STRUCTURAL FILL MAY REQUIRE MOISTURE CONDITIONING, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. MOISTURE CONDITIONING SHALL BE AS FOLLOWS: SCARIIFY TO A DEPTH OF 12 INCHES. APPLY WATER TO RAISE THE MOISTURE LEVEL IN THE SOIL TO 4 PERCENTAGE POINTS ABOVE OPTIMUM. RECOMPACT TO AT LEAST 95% AND NO MORE THAN 98% OF THE MAXIMUM DENSITY AS REQUIRED BY ASTM D 1557 "MODIFIED PROCTOR".
- 6.10. COMPACTION OF STRUCTURAL FILL: PLACE MATERIALS IN LAYERS NOT MORE THAN 12 INCHES IN LOOSE DEPTH.
- 6.11. COMPACT STRUCTURAL FILL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY:
 - 6.11.1. BELOW STRUCTURES: COMPACT EACH LAYER OF STRUCTURAL FILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
 - 6.11.2. BELOW RIGID PAVEMENTS: COMPACT 12 INCHES OF EXISTING SUBGRADE TO 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698. COMPACT EACH LAYER OF STRUCTURAL FILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
 - 6.11.3. BELOW FLEXIBLE PAVEMENTS: COMPACT 12 INCHES OF EXISTING SUBGRADE TO 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698. COMPACT EACH LAYER OF STRUCTURAL FILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
 - 6.11.4. UNDER LAWN OR UNPAVED AREAS: SCARIIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL TO A MINIMUM OF 90 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
 - 6.11.5. UTILITY TRENCHES: COMPACT EACH LAYER OF INITIAL AND FINAL BACKFILL SOIL MATERIAL TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
 - 6.11.6. STRUCTURAL FILL WITHIN THE BUILDING PAD AREAS DESCRIBED ABOVE AND WITHIN THE "LOAD STRESS ENVELOPE" SHALL BE PLACED AND COMPACTED TO THE ELEVATIONS SHOWN ON THE GRADING PLAN.

7. GRADING

- 7.1. UNFORMALLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES. CUT OUT SOFT SPOTS AND FILL USING COMPACTION GUIDELINES PER THE GEOTECHNICAL ENGINEER, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.

9. PROTECTION
- 9.1. PROTECT EXCAVATED SUBGRADE AREAS OR AREAS STRIPPED FOR SUBSEQUENT FILL MATERIAL PLACEMENT BENEATH AREAS TO BE PAVED; IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE AND CONSTRUCT WORK, AND PROVIDE PROTECTION, IN A MANNER TO AVOID CAUSING INSTABILITY OF THE EXISTING SOILS. SUCH PROTECTION MAY INCLUDE AVOIDING TRAFFIC OVER SUCH AREAS WITHOUT PROVISION OF A PROTECTIVE CONSTRUCTION ACCESS ROAD. CONTRACTOR SHALL KEEP SURFACES WELL DRAINED FREE FROM PUDDLING, PONDING, OR POTENTIAL MOISTURE BUILD UP IN THE FORM OF SNOW OR OTHERWISE, WHICH MAY CAUSE THE INSTABILITY OF THE SURFACE SOILS OR UNDERLYING SOILS.
- 9.2. UPON COMPLETION OF EXCAVATION TO SUBGRADE LEVELS BENEATH SUBSEQUENT FILL, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN COMPACTION LEVELS AS REQUIRED. IF, AFTER APPROVAL, THE SUBGRADE SOILS RECEIVE MOISTURE WHICH RAISES THE MOISTURE CONTENT TO A LEVEL EXCEEDING THE TARGET MOISTURE LEVELS, THEY SHALL BE SCARIFIED AND ALLOWED TO DRY OR REMOVED AND REPLACED WITH ENGINEERED FILL AT THE CONTRACTOR'S EXPENSE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO KEEP THESE SUBGRADE SOILS DRY AND FREE OF TRAFFIC PRIOR TO AND DURING COMPACTION EFFORTS AND UNTIL THE FULL PAVEMENT SECTION HAS BEEN INSTALLED. THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE SUBGRADE IMMEDIATELY AFTER COMPLETION OF SUBGRADE MOISTURE CONDITIONING AND/OR COMPACTION EFFORTS.
- 9.3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND IMPROVEMENTS. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS RESULTING FROM THE CONTRACTORS OPERATIONS, SHALL BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE.



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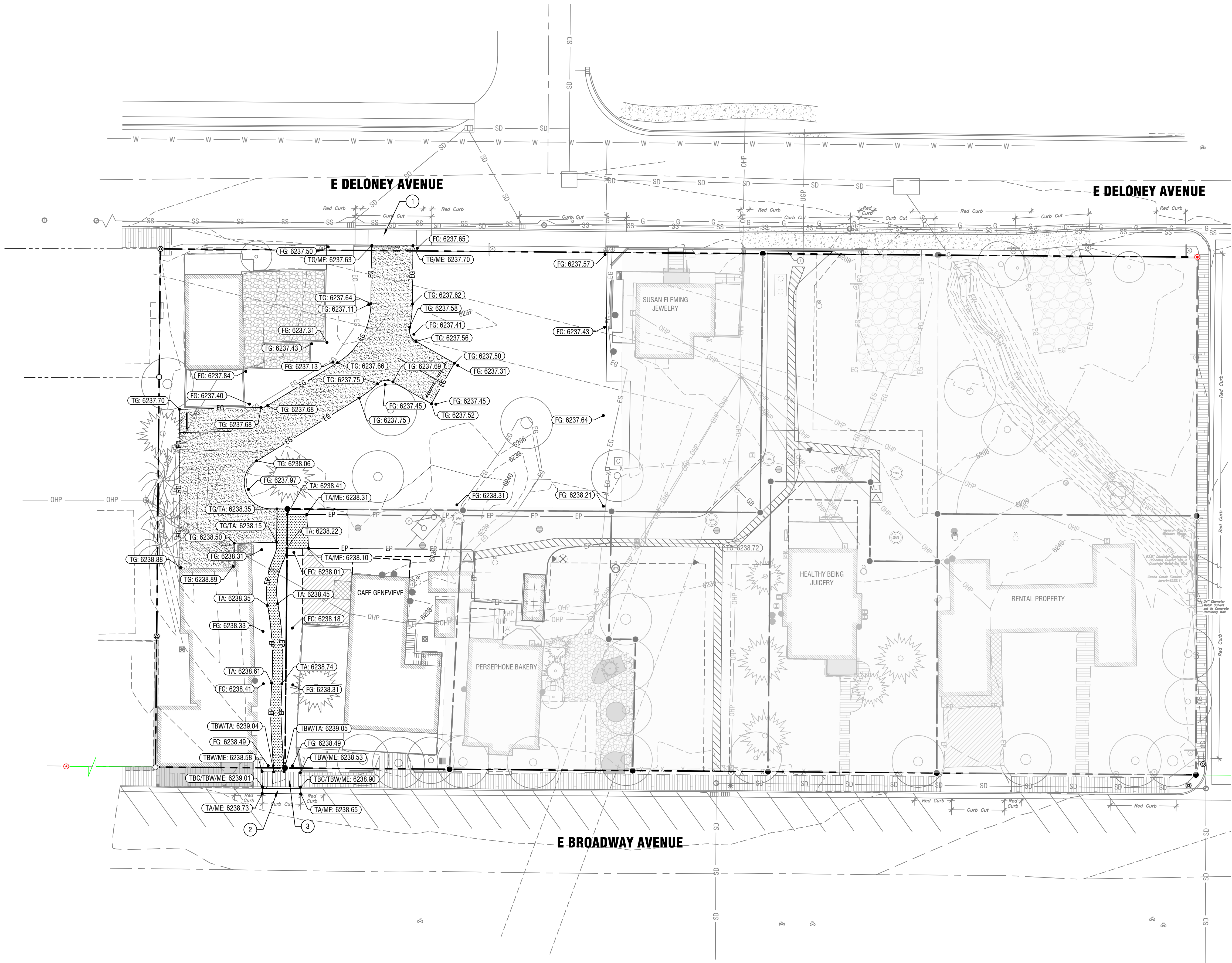


Sheet Notes:

- A. EXISTING AND PROPOSED CONTOURS ARE AT A 1-FT INTERVAL.
- B. SLOPE IN THE DIRECTION OF TRAVEL ON ALL SIDEWALKS SHALL NOT EXCEED 5% CROSS SLOPE SHALL NOT EXCEED 2% NO TOLERANCE ALLOWED. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION.
- C. SPOT ELEVATIONS INDICATE FINISHED GRADE SURFACE UNLESS NOTED OTHERWISE AS FOLLOWS:
 - C.A. FF = FINISH FLOOR
 - C.B. LIP = LIP OF GUTTER
 - C.C. ME = MATCH EXISTING
 - C.D. TA = TOP OF ASPHALT
 - C.E. TBC = TOP BACK OF CURB
 - C.F. TC = TOP OF CONCRETE
 - C.G. FG = FINISH GRADE
 - C.H. TBW = TOP OF BOARDWALK

Keynotes:

- ## Keynotes:
-  CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.
1. RETAIN AND PROTECT EXISTING CURB CUT APPROACH.
 2. REMOVE EXISTING CURB CUT AND REPLACE WITH NEW VERTICAL CURB PER TOWN OF JACKSON ST-110.
 3. INSTALL NEW BOARDWALK PER TOWN OF JACKSON ST-111.



GENEVIEVE BLOCK - LOT 1
Cafe G. LLC

EAST BROADWAY AVE.
Jackson, WY 83001

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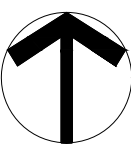
CONSTRUCTION

Project No.:	119147
Date of Issuance:	07.24.20
Project Milestone:	75% CD

Construction Documents

Grading Plan

C4.00



GRADING PLAN

Horizontal Scale: 1" = 20'



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