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May 1, 2020

Paul Anthony, Planning Director  
Town of Jackson Planning and Building Department  
150 E Pearl Avenue  
Jackson, WY 83001

*Via Digital to: tstolte@jacksonwy.gov*

Dear Mr. Anthony,

As the applicant for Harrison Hospitality Properties, owner of the Rusty Parrot Lodge and Spa, we are pleased to submit a Development Plan application for the reconstruction of the Rusty Parrot Lodge. Enclosed with this application are all the submittal requirements, based on the Pre-application Conference held on April 17, 2020 (PAP#20-013)

Included with this application for a Development Plan are associated applications for a variance to LDR Section 2.2.10.B.1. Lot Standards (Access), a variance to LDR Section 2.2.10.B.3 – Form Standards (Pedestrian Frontage) and an Administrative Adjustment to LDR Section 2.2.1.C.2 and/or 2.2.1.C.3 to allow a decrease in the Pedestrian Frontage Dimensions.

A review by the Design Review Committee is also required as part of the Development Plan review. We are requesting that the Design Review Committee hold a workshop to review the project plans during their regularly scheduled meeting on May 13, 2020. To that end, I will be submitting a separate packet, providing only architectural plans, and a narrative addressing compliance with the Design Review Guidelines on Monday May 4, 2020.

We will be providing application fee payment via check to the Town of Jackson offices later today in the following amounts:

Development Plan Application Fee:	\$2,500.00
Variance Application Fee:	\$500.00
Variance Application Fee:	\$500.00
Administrative Adjustment Application Fee:	\$500.00
Design Review Fee:	\$200.00

Please contact me with any questions.

Sincerely,

Hal Hutchinson



# Rusty Parrot Lodge and Spa

**Application for:**

**Development Plan**

**Design Review**

**Variance to Curb Cut Maximum**

**Variance to Pedestrian Frontage Form Standards**

**Administrative Adjustment to Pedestrian Frontage Dimension**

**Submitted: May 1, 2020**

<b>Owner:</b>	<b>Applicant:</b>	<b>Land Planning:</b>
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## **Project Goals and Applications:**

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### **Project Goals:**

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A long standing and outstanding lodge in Jackson Hole, The Rusty Parrot suffered a devastating fire on November 18, 2019. The owners, Harrison Hospitality Properties, L.P. are committed to rebuild. Their goal is to return to the Town of Jackson a first-class accommodation and develop a building of the highest quality of architecture and design that will endure and become a treasured Jackson Hole landmark for years to come.

To achieve this goal, the owners are submitting a Development Plan application for approval of a new lodge building that will contain a total of 40 hotel rooms, 6 spa treatment rooms, a restaurant, and various hotel amenities, including common areas for guests, and an outdoor gathering area and spa. The plans for this new lodge building include an off-street Porte-cochere for guest vehicular drop off and pick up and an underground garage to accommodate the parking needs for the project.

In the interest of providing an attractive, first class lodging facility, the owners seek to construct a new facility that is designed in the style and form of a traditional western lodge building while including a modern design approach using high quality materials and creative elements.

### **Applications:**

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The Rusty Parrot reconstruction project includes 40 hotel units, an underground garage, a restaurant, spa facilities and hotel amenities including interior and exterior common areas. The total square footage of the proposed building is 26,902 s.f. Therefore, this proposal requires submittal of a Development Plan application. Review by the Design Review Committee is also required. For required information please see the section of this report titled Development Plan – Description, Submittal Requirements and Findings for Approval.

In association with the Development Plan application we are seeking approval of two variances and an administrative adjustment.

The first variance is for relief from LDR Section 2.2.10.B.1. Lot Standards (Access) in the DC Zone District, which limits the width of curb cuts along a street frontage to 24'. For a number of reasons, as discussed in the section of this report titled Variance – Lot Standards (Access) Curb Cut we are seeking relief to this standard to allow two curb cuts along the Gill Avenue frontage of the property that total 32', 8' beyond the maximum curb cut standard.

The second variance is for relief to LDR Section 2.2.10.B.3 – Form Standards (Pedestrian Frontage) in the DC Zone District. This pedestrian frontage standards limits the form of pedestrian frontages to the option of “Trees in Grates” or “Covered Walkway”. As discussed in the section of this report titled Variance – Form Standards (Pedestrian Frontage), the limitation

on pedestrian frontages to “Trees in Grates” or “Covered Walkways” within the DC Zone District is appropriate for most the properties within the DC Zone. However, due to the character of the neighborhood surrounding the Rusty Parrot property, and the limited pedestrian traffic fronting the property we are seeking approval to allow the “Trees in Lawn” pedestrian frontage standard.

The administrative adjustment we are seeking is to LDR Section 2.2.1.C.2 and/or 2.2.1.C.3 to allow a decrease in the Pedestrian Frontage Dimensions limitations for pedestrian frontage options “Trees in Grates” and/or “Trees in Lawn”. As discussed in the section of this report titled Administrative Adjustment – Pedestrian Frontage Dimensions, due to the skewed nature of the exterior boundary of the property, which presents challenges in maintaining the required 13.5' pedestrian frontage dimension requirement. As such, we are seeking the approval to decrease this dimension to up to 1'-3" which will allow encroachment into the transition zone and will not impact the sidewalk width and planting area width minimum standards.

In summary, this development proposal seeks approval of the following applications:

1. Development Plan
2. Variance to LDR Section 2.2.10.B.1 – Lot Standards (Access)
3. Variance to LDR Section 2.2.10.B.3 – Form Standards (Pedestrian Frontage)
4. Administrative Adjustment to LDR Section 2.2.1.C.2 and/or 2.2.1.C.3 Pedestrian Frontage Dimensions

## **Development Plan**

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### **General Information:**

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The general information required by the submittal checklist includes administrative requirements such as providing a planning permit application, application fees, any applicable review fees, a mailed notice fee, and submittal of the application in digital format. All of these administrative requirements have been provided within the application.

### **Narrative Description of Proposed Development:**

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**Property Description:** Located at 175 N. Jackson Street, the Rusty Parrot Lodge property is zoned Downtown Commercial (DC) and is within the Lodging Overlay. It consists of three (3) original Jackson Townsite lots totaling approximately .48 acres. The property is bordered on the east by Jackson Street, on the North by Gill Avenue and on the West by an alley. To the South is the Miller Park Lodge, which is constructed at the common property line with the Rusty Parrot Lodge property. Across Jackson Street to the east is Miller Park. Properties across Gill Avenue are zoned Commercial Residential-2 and the property across the alley to the West is zoned Neighborhood High Density-1. The property is not within the Flat Creek flood zone.

Jackson Street is configured with parallel parking fronting the subject parking and diagonal parking across Jackson Street fronting Miller Park. The West side of the Jackson Street along the block has no typical sidewalks and has a character that consists of lawn and trees in the right-of-way between the curb and property line. Gill Avenue includes parallel paring configuration on both sides of the street. This block of Gill Avenue also has no sidewalks. Gill avenue terminates a half block from the alley at Flat Creek, where a private bridge accesses a private property west of the creek. Due to this dead end there is very little traffic on the block of Gill Avenue fronted by the Rusty Parrot Lodge.

The alley west of the subject property extends from West Deloney Avenue north to Gill Avenue. The southern 325 feet of this alley fronts the Town Creek development, which effectively uses the alley for head in parking over this distance. The remaining northern 175 feet of the has a traditional alley character. The alley in this area is unimproved, has drainage problems and contains encroachments in the form of trees and a fence on the west side of the alley across from the Rusty Parrot property.

The Rusty Parrot property is flat, with minimal grades flowing west along Gill avenue and north along Jackson Street. The high point of the property is 6217.5 near the Southeast corner and the low point is 6213.5 at the Northeast corner.

It is important to note that, based on the survey completed in early 2020 the exterior boundary of the subject property is not square, resulting in a skewed site that contains no parallel boundary lines. Essentially the exterior boundary is a polygon rather than a parallelogram. With a 90.41-degree corner at the Jackson and Gill Street corner this skewed site makes siting the building and complying with all the regulations a challenge. While we have made every effort to site the building to comply with the regulations, we are seeking some minor relief as discussed in the Administrative Adjustment – Pedestrian Frontage Dimensions section of this report.

As a result of the fire, and efforts to clean the property, the original lodge building and the foundation have been removed. While the fire did impact the Rusty Parrot's Spa building, located at the southwest corner of the property it remains on site in a damaged state. The Spa building remains but is slated to be demolished as part of the Development Plan application.

**Project Description:** The Rusty Parrot redevelopment project seeks to develop a new conventional lodging building that will contain a total of 40 hotel rooms, including two suites that contain a single bedroom. These are located on the second and third floor of the building. The old lodge building contained 33 hotel rooms.

The new project will all be contained within a single building, located along the north and east portions of the property. The Southwest portions of the property will contain an outdoor gathering and spa area.

A restaurant of containing 934 s.f. proposed primarily as a hotel amenity is included in the new lodge building. It will be used in a manner consistent with the restaurant in the previous Rusty

Parrot lodge, where over 90% of the breakfast patrons were hotel guests, no lunch service was provided, and the majority of the dinner patrons were guests of the hotel.

The new lodge will also contain a spa (service) use as an amenity to the hotel. This includes a spa common area and 6 treatment rooms containing a total of 813 s.f. Similarly, to the restaurant situation, while the spa is open to the public on a limited basis, the majority of the spa patronage is anticipated to be hotel guests, as was the case in the past.

The lodge also includes traditional lobby, check in, office and common gathering areas for hotel guests. The outdoor patio will provide outdoor gathering areas and spa (hot tub) amenities.

The lodge will provide a covered porte cochere area accessed in one direction from Jackson Street and exiting in one direction to Gill Avenue. This approach to pick up and drop off will be the most efficient traffic movement pattern for guests. In addition, the lodge will include a basement garage providing parking for 30 cars including required ADA parking spaces. This underground garage (entrance) is proposed to be located along Gill Avenue at the west side of the block adjacent to the west alley. The majority of the guests will be provided with valet parking for the underground spaces. The operational pattern for vehicles will be to drop off at the porte cochere, with a valet taking the vehicle to the underground parking. The traffic pattern will therefore include three turning movements for guest drop off and valet parking and three turning movements for guest pick up of vehicles.

The curb cut on Jackson Street for the porte cochere is designed to have a two-lane entrance with a 20-foot curb cut. The exit from the porte cochere is designed to have a one lane exit with a 12-foot curb cut. The entrance to the underground garage will have a 20' curb cut allowing for two-way traffic in and out of the underground garage. The overall curb cut length along Gill Avenue is proposed at 32 feet, exceeding the maximum curb cut length of 24'. This is necessary to minimize the traffic pattern movements and to make access to the underground garage feasible and functional. If access were taken from the alley, the underground garage movements and layout would be infeasible and an underground garage would not be provided within the project. Furthermore, the alley to the west of the property contains encroachments and is infeasible for a functional garage entrance. As such, this development plan includes a variance request to the curb cut maximum, more fully discussed in the Variance section of this report.

Along the South property line, the building is setback 5 feet allowing for functional access from service areas of the building to the dumpster and recycling area located at the southwest corner of the property along the ally. Along the street frontage the building is located within the required setback range and along the secondary property line along the alley the building is located 5' from the property line.

The building will contain a total of 26,902 s.f., below the 1.3 maximum FAR of 27,205 s.f. The height of the proposed building will be within the required height limitation except for

architectural projections that are not visible from the street or are mechanical as allowed by the regulations.

## **Proposed Development Program**

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The project's compliance with primary development standards is summarized below. Please see architectural plans for details/notes/descriptions/illustrations of compliance.

<b>Development Standard</b>	<b>Permitted</b>	<b>Proposed</b>	<b>Drawing #</b>
Primary street setback range (min-max)	0'-5'	0'-5'	A1.1 / A1.2
Secondary street setback range	0'-5'	0'-5'	A1.1 / A1.2
Side interior (min)	0' or 5'	5'	A1.1 / A1.2
Rear (min)	0' or 5'	5'	A1.1 / A1.2
Fencing height – street yard	4'	4'	A1.1
Fencing height - rear yard	6'	6'	A1.1
Parking setback (Structured)	0'	0' - >0'	N/A / A1.2
Access – curb cut width Jackson Street (Max)	24'	20'	A1.1 / A1.2
Access – curb cut width Gill Avenue (Max)	24'	32' (see variance)	A1.1 / A1.2
Street Façade % of lot width (min)	80%	>80%	A1.1 / A4.X_A
Length from street corner Jackson St. (min)	30'	48-8 3/4'	A1.2
Length from street corner Gill Ave. (min)	30'	51-8'	A1.2
Height (max) if roof pitch > 5/12	46'	<46'	A4.X_A
Height (max if roof pitch < 5/12	42'	<42'	A4.X_A
Building Stepback 3rd story (min)	10'	10'	A2.3 / A4.X_A
Encroachment into Building Stepback (Max%)	60%	<60%	A4.X_A
FAR (Max)	1.3 (27,205)	<1.3 (26,902)	A0.6

## **Architectural plans including site plans, floor plans, elevations and renderings**

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Please refer to enclosed architectural site plans, floor plans, elevations, renderings and LDR compliance drawings completed by Rowland and Broughton Architects.

## **Structure Location and Mass**

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Please refer to enclosed architectural site plans, floor plans, elevations, renderings and LDR compliance drawings completed by Rowland and Broughton Architects.

## **Design Review**

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To be provided under separate cover on May 4, 2020 as part of the Design Review Committee review submittal

## **Site Development**

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Please refer to discussion in Narrative Description of Proposed Development, Proposed Development Program, and Variance – Lot Standards (Access) Curb Cut sections of this report for discussion on driveway and assess limits as related to site development.

## **Fencing**

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The proposed development will include fencing along the south, side property line, and short portion of fencing, including a gate along the south end of the Jackson Street property line and a wall along the rear property line. Please refer to architectural plans. The fencing along the side (south) and Jackson street property line will be 4' in height from finished grade. The wall along the rear (west) property line will be 6' in height from finished grade on property line.

## **Scenic Standards**

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The property is not within the Scenic Resource Overlay and scenic resource Overlay standards do not apply.

Exterior lighting standards apply. Please refer to architectural plans, specifically Sheet A 1.4 - Proposed Site Lighting Concepts and Sheet A 1.5 Proposed Site Lighting Concepts for detailed information.

## **Natural Hazards to Avoid**

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No steep slopes are present on site. The property is not within the Flat Creek floodplain. Soil and groundwater studies have been completed revealing no hazards. Please refer to the attached engineering plan completed by Y2 Consultants for any additional information on soil stability and excavation, erosion control and shoring.

## **Grading and Erosion Control, Stormwater, etc.**

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Preliminary grading, erosion control, shoring approach, and stormwater management plans has been provided by Y2 Consultants. Please see plans. These plans provide information on compliance with relevant LDR standards and proposed utility locations.

## Allowed uses

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The proposed Rusty Parrot Lodge and Spa includes Conventional Lodging (hotel uses, and all support and amenity uses such as front deck, back office and common guest areas associated with such use. All lodging units are located on the second and third floor.

The project also includes a restaurant use, a spa (service) use and a workforce housing use within the proposed building. The building also includes underground parking. All uses are consistent with the previous use of the site and are permitted uses within the DC Zone District. Total floor area and number of lodging units are detailed within the Employee Housing section of this report.

## Parking

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Below is a breakdown of the uses proposed and scale and intensity of uses within the Rusty Parrot project for the purpose of calculating parking requirements:

- 40 Lodging Units
- 934 s.f. of "Restaurant" space provided primarily as a hotel amenity
- 6 spa treatment rooms (Service Use) totaling 813 s.f. provided primarily as a hotel amenity.
- 1 on-site Employee Housing Unit

Other uses, such as office, reception, lobby, restaurant, and spa treatment are considered a part of the lodging use and any parking requirement for these uses are included in the "Conventional Lodging" use parking requirements.

The following are the parking requirements for the uses listed above:

- Conventional Lodging: .75 space/lodging unit
- Housing Unit: 2 spaces per Dwelling Unit

Based on the above uses, and their scale and intensity, below is a calculation of the parking requirements under the LDRs:

- Conventional Lodging: 40 Lodging Units x .75 = **30 spaces)**
- On-site employee housing: 2/ DU **2 spaces**
- **Total Parking Requirement:** **32 spaces**

Parking is proposed to be provided as follows:

- Underground Garage: **30 spaces**
- On Street parking: **7 spaces (3 on Gill and 4 on Jackson)**

- Parking Credits: **2 spaces**
- **Total Parking Provided:** **39 spaces**

Based on the above, the proposed project exceeds the parking requirement by 9 spaces. To the extent that the restaurant and spa will be used by persons other than hotel guests, this excess parking will accommodate that use.

## **Employee housing**

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Provided within submittal packet as separate document titled: Town of Jackson Affordable/Workforce Housing Checklist and Housing Mitigation Plan

## **Operational standards**

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Refuse and recycling enclosure will be provided pre he LDR requirements. Please refer to site plans provided by the architect, engineer and landscape architect.

## **Infrastructure**

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Please refer to enclosed architectural, engineering and landscape architecture plans for further information and compliance with LDR Sections 7.6 and 7.7.

Of importance regarding the stormwater management, and street and alley grading is the following:

During the Dev. Plan pre-application conference, the Applicant and their Agents discussed options for the Rusty Parrot stormwater management plan with TOJ staff. The option considered with TOJ Engineering was design the terminus of a potential future TOJ stormwater system buildout to which the Rusty Parrot will connect. The stormwater system will discharge to Flat Creek via a treatment system installed at the West end of Gill Avenue.

Included in in these plans and as part of this application is a proposed design for said system. It has been designed to accommodate buildout of a larger TOJ stormwater system to the east in Gill Avenue, to the south in Jackson Street, and to the south in the Alley. This has been accomplished in the following manners:

1. Match Flat Creek discharge invert elevation to existing discharge pipe.
2. Maintain minimum pipe slope for pipe size in accordance with WYDEQ Rules. (Pipe size has been approximated due to lack of data on total flows) except where potential utility conflicts exist.
3. Generate conceptual grading and stormwater piping plans for the Alley - provided as the last sheet in this plan set "Feasibility Grading - Alley P&P" - that illustrate how the Alley could be regraded, and stormwater piping installed, to correct existing drainage problem.

The applicant proposes this design as an optimal solution for both the applicant and TOJ. As the stormwater infrastructure in the ROW is proposed as a future TOJ system the final design and construction will occur in close cooperation with TOJ Public Works. However, the applicant proposes this solution under the assumption that TOJ will participate in cost-sharing for this infrastructure and the cost sharing on the part of the TOJ should be commensurate with the significant benefit it provides to the overall TOJ infrastructure. The alternative is for the applicant to propose a stormwater collection system that only serves the project thereby missing out on the opportunity to resolve the broader drainage problems within the neighborhood.

### **Construction Staging:**

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The applicant will provide a complete construction staging and management plan along with a building permit application. However, at the request of the Town we provide the following conceptual construction staging plan:

The applicant is currently in discussions with a neighboring property owner to the north to secure some of their land for construction staging. This has not been finalized.

However, we anticipate that regardless of whether we can secure this area for additional construction staging, we request to utilize that portion of the Jackson and Gill street frontages of the property from the edge of parallel parking to the property line.

### **Findings for Approval**

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A development plan shall be approved upon finding the application:

**1. Is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan;**

**Complies:** The purpose of the LDRs is to implement the Jackson/Teton County Comprehensive Plan and promote the health, safety and general welfare of the present and future inhabitants of the community. The subject property is located in Comprehensive Plan Subarea 2.3 – Town Commercial Core, which forms the basis of the DC zone district and was used to establish DC zoning for properties surrounding the subject property. The goal of this subarea is to create a vibrant mixed-use area by accommodating a variety of uses and amenities. This project helps achieve this goal. The block in which the subject property is located has traditionally contained lodging and associated uses. This is consistent with the current and future character of this sub-area.

2. Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable;

**Not applicable.**

3. Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMS facilities;

**Complies:** The proposal is a replacement of a previous use on the property with only a slight increase in intensity of use. It will have no significant impact on public facilities.

4. Complies with the Town of Jackson Design Guidelines, if applicable;

**Complies:** The applicant has made every effort to comply with the Town of Jackson Design guidelines. We are seeking a workshop and a formal hearing before the Design Review Committee to confirm the project's compliance with these design guidelines.

5. Complies with all relevant standards of these LDRs and other Town Ordinances;

**Complies:** With the exception of the three issues where we are seeking two variances and an administrative adjustment, all three of which we believe will result in a better compliance with both the Comprehensive Plan and the purpose of the LDRs, the project complies with relevant standards and Town ordinances.

6. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

**Not Applicable.**

## **Variance – Lot Standards (Access) Curb Cut**

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### **Description of Variance and Justification:**

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This variance is for relief from LDR Section 2.2.10.B.1. Lot Standards (Access) in the DC Zone District, which limits the width of curb cuts along a street frontage to 24'. For a number of reasons, we are seeking relief to this standard to allow two curb cuts along the Gill Avenue frontage of the property that total 32', 8' beyond the maximum curb cut standard.

First, the alley where access to an underground parking garage is substandard and requires improvement. It drains poorly and contains encroachments along the neighboring property that would have to be removed for access to an underground garage to be feasible. Currently

encroachments render the alley to have an effective travel width of 18.15 feet. It is unlikely that the neighbor would be accepting of the removal of these improvements or of an underground garage entry and exit adjacent to their single-family home.

Second, access to an underground garage at the alley would result in an underground garage design that would include a number of turning movements and drive aisle location and configuration that would make the parking layout infeasible.

Third, the traffic movement and number of turns that would be required to move guest cars from the proposed porte cochere to the parking garage would increase, resulting in additional pressure on both Gill Avenue and the alley traffic patterns.

Fourth, Gill Avenue is a dead-end street terminating at the bridge over Flat Creek just west of the subject property. Because of this, Gill Avenue has very little traffic on it and further less pedestrian traffic. The purpose of the limitation on curb cuts is to ensure prioritization of pedestrians over vehicles entering and exiting individual properties and retaining on-street parking. The addition of a single additional curb cut to access the parking garage on Gill will not result in obstruction of pedestrian traffic and will only eliminate a single parking space in an area where parking is not limited due to the minimal use of the dead-end street.

Fifth, when considering this option, the applicant initially proposed a wider curb cut for both the porte cochere exit and the underground garage entrance. As a result of discussions with the Planning staff they reduced this significantly, reducing both the width of the parking entrance and the width of the porte cochere exit, reducing it from a two-lane exit to a one lane exit.

Finally, the applicant has proposed a porte cochere for pick up and drop off, resulting in the overall curb cut width to exceed the 24' limitation. Without the curb cuts associated with the porte cochere, the loss of on street parking from porte cochere curb cut is less than the on-street parking that would be lost if the porte-cochere was not present and instead required curb side queuing and designated valet spaces on Jackson Street.

The provision of underground parking for the project is a significant benefit to the town and the neighborhood while incurring significant expense to the applicant. If not permitted a slight increase in the allowable curb cut width along Gill Avenue, which represents a very minor impact to a little used dead-end street, the owner may need to rethink the design and provide parking at grade.

### **Findings for Approval:**

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- 1. There are special circumstances or conditions which are peculiar to the land or building for which the variance is sought that do not apply generally to land or buildings in the neighborhood;**

**Complies:** The special circumstances involve the dead-end nature of Gill Avenue, which have very little vehicular and pedestrian traffic. Because of this special circumstance, as well and the condition of the alley, the challenges to make an underground parking garage work if accessed from the alley and the unique nature of the neighborhood this Variance is justified.

**2. The special circumstances and conditions have not resulted from any willful modification of the land or building;**

**Complies:** The special circumstances were inherited by the applicant, where the street layout in this area of town has created the special circumstance.

**3. The special circumstances and conditions are such that the strict application of the regulation sought to be varied would create a hardship on the applicant far greater than the protection afforded to the community**

**Complies:** The hardship would be that the applicant would have to revise the design and provide at grade parking. This would negatively impact the applicant as well as the immediate neighbors. The protection provided the community by restricting curb cut widths is minimal at this location due to the characteristics of the neighborhood and the dead end nature of the Gill Avenue frontage where minimal pedestrian and vehicular traffic exists or is reasonable anticipated in the future. Furthermore, the protection afforded the community by limiting curb cuts would be negated if the porte cochere curb cuts were not included, requiring significant curb side queuing and designated valet spaces on Jackson Street.

**4. The variance sought is the minimum variance necessary to provide balance between the purpose of the regulation sought to be varied and its impact on the applicant;**

**Complies:** The applicant has made every effort to minimize the overall width of the curb cuts which is the minimal amount to allow for one way exit from the porte cochere and two-way entry and exit to the parking garage.

**5. The granting of the variance will not be injurious to the neighborhood surrounding the land where the variance is proposed, and is otherwise not detrimental to the public welfare; and**

**Complies:** By allowing the variance the impact to the neighborhood will be minimized by allowing for underground parking. Furthermore, less turning movements and headlight and vehicular disturbance will result even if the applicant could find a feasible way to achieve underground parking accessed from the alley, which is unlikely.

**6. The granting of the variance is consistent with the general purpose and intent of these LDRs**

**Complies:** The purpose of the LDRs is to allow development that allows for the appropriate use of individual property which minimizes impacts to neighbors and providing for the public health and welfare. Granting this variance will achieve all these purposes.

## **Variance – Form Standards (Pedestrian Frontage)**

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### **Description of Variance and Justification:**

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This variance is for relief to LDR Section 2.2.10.B.3 – Form Standards (Pedestrian Frontage) in the DC Zone District. This pedestrian frontage standards limits the form of pedestrian frontages to the option of “Trees in Grates” or “Covered Walkway”. The limitation on pedestrian frontages to “Trees in Grates” or “Covered Walkways” within the DC Zone District is appropriate for most the properties within the DC Zone. However, due to the character of the neighborhood surrounding the Rusty Parrot property, and the limited pedestrian traffic fronting the property we are seeking approval to allow the “Trees in Lawn” pedestrian frontage standard.

All along the subject property’s block of Jackson Street and Gill Avenue the character of the street is one where sidewalks do not exist, and lawn and trees are within the right-of way between the curb and the property lines. The applicant values the presence of sidewalks and desire to provide them as well as a planning area in the widths prescribed by the LDRs. However, due to the existing character of the neighborhood, and how it differs from most of the DC zone district they would like the opportunity to add to, or accentuate the vegetative character of both blocks by being allowed to have a “Trees in Lawn” character fronting their property.

Prior to the fire at the Rusty Parrot, there was no sidewalk and the space between the curb and the property line was entirely filled with lawn and trees. The approach of allowing a “Trees in Grass” pedestrian frontage option allows for the continued existing and past character of the street while accommodating the desired sidewalk.

Because of the DC Zone district only allows the “Trees in Grate” or “Covered Walkway” options, the applicant is forced to seek a variance because it is the only option available to them. Though they would prefer not to have to apply for a variance, it is the only approach to maintain and enhance the character of the street frontages and the neighborhood overall.

### **Findings for Approval:**

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- 1. There are special circumstances or conditions which are peculiar to the land or building for which the variance is sought that do not apply generally to land or buildings in the neighborhood;**

**Complies:** This neighborhood is not a typical DC neighborhood because it contains street frontages with lawn and trees and the imposition of a “Trees in Grate” street frontage would be incongruous to the neighborhood character.

**2. The special circumstances and conditions have not resulted from any willful modification of the land or building;**

**Complies:** The neighborhood character existed prior to the applicant’s ownership of the property and the owner did not create this special circumstance.

**3. The special circumstances and conditions are such that the strict application of the regulation sought to be varied would create a hardship on the applicant far greater than the protection afforded to the community**

**Complies:** The hardship would not be overly great to the applicant but would cause a hardship to the neighborhood and its overall character.

**4. The variance sought is the minimum variance necessary to provide balance between the purpose of the regulation sought to be varied and its impact on the applicant;**

**Complies:** The applicant seeks only to allow trees in lawn in the vegetative portion of the pedestrian frontage and will provide the clear sidewalk width and vegetative zone width as required by the LDRs.

**5. The granting of the variance will not be injurious to the neighborhood surrounding the land where the variance is proposed, and is otherwise not detrimental to the public welfare; and**

**Complies:** The variance would serve to allow sidewalks fronting the property while preserving and enhancing the character of the neighborhood.

**6. The granting of the variance is consistent with the general purpose and intent of these LDRs**

**Complies:** One purpose of the LDRs is to protect and enhance neighborhood character and granting this variance which achieve this purpose.

## **Administrative Adjustment – Pedestrian Frontage Dimensions**

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### **Description of Administrative Adjustment and Justification:**

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The administrative adjustment we are seeking is to LDR Section 2.2.1.C.2 and/or 2.2.1.C.3 to allow a decrease in the Pedestrian Frontage Dimensions limitations for pedestrian frontage options “Trees in Grates” and/or “Trees in Lawn”. The skewed nature of the exterior boundary

of the property, presents challenges in maintaining the required 13.5' pedestrian frontage dimension requirement. As such, we are seeking the approval to decrease this dimension to up to 1'-3" which will allow encroachment into the transition zone and will not impact the sidewalk width and planting area width minimum standards.

Please refer to the survey and site plan included with the application. They show a lot that has no parallel lines where the polygon is skewed in all direction in relation to the compass as well as the street and curbs. Because of this we are seeking a slight reduction in the transition zone portion of the pedestrian frontage requirements of the DC Zone. No deviation from the clear sidewalk width and vegetative zone is being requested.

### **Findings for Approval:**

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**1. Complies with the applicability standards of this Section;**

**Complies:** This request is consistent with the standards under which an Administrative Adjustment may be considered.

**2. Either:**

**a. Compensates for some unusual constraint of the site or proposal that is not shared by landowners generally, or**

**Complies:** The lot configuration is an unusual constraint.

**b. Better protects natural and scenic resources, or**

**Not applicable.**

**c. Better supports the purpose of the zone;**

**Not applicable**

**3. Is consistent with the purpose of the zone and the desired future character for the area described in the Comprehensive Plan;**

**Complies.** The purpose is to have a functional and attractive pedestrian zone, and this will not reduce or erode this purpose.

**4. Will not pose a danger to the public health or safety; and**

**Complies:** The request is minor, resulting in a reduction of only 1'-3" feet of the transition zone only and will maintain required sidewalk and vegetative zone widths.

**5. The site is not subject to a series of incremental administrative adjustments that circumvent the purpose of this Section.**

**Complies:** No additional administrative adjustments are being sought or are anticipated to be sought for this site.



**PLANNING PERMIT APPLICATION**  
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

*For Office Use Only*

Fees Paid \_\_\_\_\_

Date & Time Received \_\_\_\_\_

Application #s \_\_\_\_\_

**Please note:** Applications received after 3 PM will be processed the next business day.

**PROJECT.**

Name/Description: **Rusty Parrot Lodge**  
Physical Address: **175 N. Jackson Street**  
Lot, Subdivision: **Lots 1, 2, 3, Block 4, Town of Jackson** PIDN: **22-41-16-28-4-11-001**

**PROPERTY OWNER.**

Name: **Harrison Hospitality Properties, L.P.** Phone: \_\_\_\_\_  
Mailing Address: **PO Box 1657, Jackson, WY** ZIP: **83001-1657**  
E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: **Y2 Consultants, Hal Hutchinson** Phone: **733-2999 or 699-0265**  
Mailing Address: **PO Box 2870** ZIP: **83001**  
E-mail: **hal@y2consultants.com or hal@hhlandstrategies.com**

**DESIGNATED PRIMARY CONTACT.**

Property Owner  Applicant/Agent

**TYPE OF APPLICATION.** Please check all that apply; review the type of application at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning)

Use Permit	Physical Development	Interpretations
<input type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input checked="" type="checkbox"/> Design Review	<b>Amendments to the LDRs</b>
Relief from the LDRs	Subdivision/Development Option	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	<b>Miscellaneous</b>
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input checked="" type="checkbox"/> Other Admin. Adjustment
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis

**PRE-SUBMITTAL STEPS.** To see if pre-submittal steps apply to you, go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #:	P20-013	Environmental Analysis #:	n/a
Original Permit #:	n/a	Date of Neighborhood Meeting:	n/a

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for submittal requirements.

Have you attached the following?

**Application Fee.** Fees are cumulative. Go to [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) and select the relevant application type for the fees.

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at [www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF](http://www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF).

**Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at [www.townofjackson.com/200/Planning](http://www.townofjackson.com/200/Planning) under the relevant application type.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

RON HARRISON

Signature of Property Owner or Authorized Applicant/Agent

Ronald H. Harrison

Name Printed

4/30/2020

Date

Member

Title

## **Rusty Parrot Lodge and Spa**

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### **Town of Jackson Affordable/Workforce Housing Checklist And Housing Mitigation Plan**



## **Jackson/Teton County Affordable/Workforce Housing Checklist - Housing Mitigation Plan (LDR Division 6.3.6)**

Every development application must include a Housing Mitigation Plan for sufficiency. Every Housing Mitigation Plan is required to contain the following information:

### **Applicability (LDR 6.3.6.A.3.a)**

1. Does your development qualify for an exemption from a housing mitigation requirement? Yes  No  If yes, explain and refer to LDR Section 6.3.2.c \_\_\_\_\_

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2. Are there credits associated with your development? Yes  No  If yes, explain where the existing credits came from, provide the calculation, and refer to LDR Section 6.3.5.D.3. \_\_\_\_\_

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### **Calculation of Requirement (LDR 6.3.6.A.3.b)**

3. Does your development require or are you otherwise requesting approval of an Independent Calculation (see LDR section 6.3.3.B)? Yes  No

If yes, provide the calculation according to LDR Section 6.3.3.B.2 along with impact analysis, verifiable local information, industry specific rather than business specific data, etc. The Planning Department is available to help with this calculation prior to submittal of your application. Attach as a separate sheet.

I have attached a separate sheet with the calculation and supporting data for my Independent Calculation

**Housing Mitigation Requirements Calculator.** If no to 1 and 3 above, calculate your development's requirement, using the Housing Mitigation Requirements Calculator. A link to the Town of Jackson download can be found here: [www.jacksonwy.gov/200/Planning](http://www.jacksonwy.gov/200/Planning) A link to the Teton County Calculator can be found (TBD). Attach a copy of the first page of the calculator showing the calculations and requirements with your Housing Mitigation Plan. The Planning Department is available to help with this calculation prior to submittal of your application.

I have attached the first page of the Housing Mitigation Requirements Calculator which includes my requirement and unit types.

**Type of Affordable Housing Provided – Standard Restrictions. (LDR 6.3.4)**

4. How many ownership or rental units are you proposing in which income ranges with how many bedrooms?  
Please complete the matrix below:

Bedrooms	0 – 50%	50% - 80%	80% - 120%	Workforce	Ownership or Rental
1-bedroom				1	RENTAL
2-bedroom			1		RENTAL
3-bedroom					

**Special Restriction.** The Special Restriction is a contract between The Board of County Commissioners or the Town Council and the owner of real property developed or designated to satisfy the development requirements. The Special Restrictions will be recorded on the property. Appropriate restriction templates can be obtained from the Jackson/Teton County Affordable Housing Department or from their website .  
[www.jhaffordablehousing.org/1856/Deed-Restriction-Templates](http://www.jhaffordablehousing.org/1856/Deed-Restriction-Templates)

I have attached a draft of the Standard Restrictions for each unit.

**Livability Standards** (LDR 6.3.4.D and E) (Rules and Regs Section 2-3). Restricted housing must comply with the Livability Standards in the Jackson/Teton County Housing Department Rules and Regulations. The Livability Standards include amount of cabinetry/counter space, storage, closets, room sizes, appliances, laundry facilities, bathrooms, etc. The Rules and Regulations can be found on the Housing Department's website.  
[www.jhaffordablehousing.org/1790/Housing-Department-Rules-Regulations](http://www.jhaffordablehousing.org/1790/Housing-Department-Rules-Regulations)

I have reviewed the Livability Standards and understand the requirements. I have/will contact the Housing Department for approval of my units early in the design process to get their approval prior to submitting for building permit.

**Method for Providing Required Housing (LDR 6.3.5):**

One or a combination of the below methods may be proposed to satisfy your housing requirement. They are listed in the order of preference/priority. Highest priority must be used unless it is demonstrated that a higher priority is impracticable (LDR 6.3.5.C)

1. Construction of new units either on-site or off-site (LDR 6.3.5.D.1).
2. Conveyance of land for affordable/workforce housing (LDR 6.3.5.D.2).
3. Utilization of a banked affordable or workforce housing unit (LDR 6.3.5.D.3).
4. Restriction of an existing residential units as an affordable/workforce housing unit (LDR 6.3.5.D.4).
5. Payment of an in-lieu fee (LDR 6.3.5.D.5).

I have attached a detailed explanation of my proposed method of providing Required Housing.

**Phasing Plan** (LDR 6.3.5.A.3). Restricted Housing Units shall be ready for occupancy no later than the free market portion of the development is occupied. If the free market portion is to be developed in phases, then the Restricted Housing Units shall be developed prior to or in proportion to the free market portion.

I have attached a detailed description of my phasing plan as it pertains to Affordable/Workforce units.

## Rusty Parrot Lodge Housing Mitigation Plan:

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### **Pre-Existing Development (Please note that calculations are based on Housing Department provided spreadsheets and are rounded up):**

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Based on LDR Division 6.3.2.A, development that was existed on 12/18/1995 or a building or use that was legally established since that date is credited against current Affordable Workforce Housing Standards. This includes the uses that generated the highest affordable housing requirement since the establishment of a development or use. This credit offsets the Affordable Workforce Housing Requirement of a new development.

The pre-existing development of the Rusty Parrot Lodge and Spa, includes the following:

- **Conventional Lodging Units:** 33 Units (This includes a Lodging Unit that was in the building in 2005 but since has been removed and replaced with "Den" space.)
- **Restaurant/bar dining floor area:** 859 s.f. (based on s.f. calculations from previous lodge plans as measured by R+B Architects)
- **Spa (Service) use:** 789 s.f. (Based on spa building plans and previous lodge plan, broken down as follows:
  - Treatment Room Main Lodge: 8x16 = 128 s.f.
  - Treatment Room, Spa Building 1st floor: 24x12 = 288 s.f.
  - Treatment room, Spa Building 2nd floor: 13.4x10= 133 s.f.
  - Treatment room, Spa Building 2nd floor: 13x9.3= 120 s.f.
  - Treatment room, Spa Building 2nd floor: 13x9.3= 120 s.f.
  - **Total:** **789 s.f.**

Based on the above the total preexisting housing "credit" is as follows:

- Conventional Lodging: .204 Units/Room (.204 x 33)= 6.742 Units
- Restaurant/Bar Space: .001197 Units/s.f. .001197 x 859)= 1.029 Units
- Spa (Service) Use: .000431 Units/s.f. (.000431 x 789)= .340 Unit
- **Total Credit:** **8.111 Units**

### **Proposed Development (Please note that calculations are based on Housing Department provided spreadsheets and are rounded up):**

---

The proposed development that is subject the affordable Workforce Housing Requirements is as follows:

- Conventional Lodging Units: 40 Units
- Restaurant/bar dining floor area: 934 s.f.
- Spa (Service) use: 813 s.f. Based on proposed building plans, broken down as follows:

○ Treatment Room 1 Basement:	110 s.f.
○ Treatment Room 2 Basement	185 s.f.
○ Treatment Room 3, Basement	122 s.f.
○ Treatment Room 4, 1st floor:	147 s.f.
○ Treatment Room 5, 1st floor:	123 s.f.
○ Treatment Room 6, 1st floor:	<u>126 s.f.</u>
○ <b>Total:</b>	<b>813 s.f.</b>

Based on the above the total Affordable Workforce Requirement for the new development is as follows:

• Conventional Lodging:	.204 Units/Room (.204 x 40)=	8.172 Units
• Restaurant/Bar Space:	.001197 Units/s.f (.001197 x 934)	1.118 Units
• Spa (Service) Use:	.000431 Units/s.f. (.000431 x 813)=	<u>.351 Units</u>
• <b>Total Requirement:</b>		<b>9.641 Units</b>

#### **Total Credit Less Housing “Credit”:**

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This is simply the total housing requirement less the total housing “credit” as follows:

**Total Requirement (9.641 Units) - Total Credit (8.111) = 1.53 Units Required to be provided**

#### **Method for Providing Housing:**

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The applicant proposes to provide two separate units for Workforce Housing. The first is a two bedroom, 744 s.f. unit located in the Town Creek condominium development. This is unit 1-A, Antelope Building, Town Creek (Meadowbrook Condominiums). The second is a 623 s.f. one-bedroom unit within the main lodge.

- Provide 1.0 of the required units in the 2-bedroom Town Creek unit and deed restrict for persons making 120% median income.
- Deed restrict the one-bedroom unit in the proposed lodge building as a workforce rental unit.

#### **Phasing Plan:**

---

All required housing will be provided prior to issuance of a certificate of occupancy for the Rusty Parrot Lodge and Spa.

## Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted June 26, 2018. Cells that can be modified are highlighted in gold, other cells are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, it is best to start with a fresh worksheet in order to reset the auto population equations for the gold cells.

**Step 1. Describe your project.** Enter as many rows as needed to describe the different uses and unit types proposed. Select a use from the use table in the left most gold boxes. In the other gold boxes, describe each use's size in floor area and bedrooms (if applicable), then describe how many units of each use type are proposed. The required affordable housing will calculate for each unit and populate the Total box. See also Sections 6.3.2 and 6.3.3 of the proposed LDRs.

# Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted June 26, 2018. Cells that can be modified are highlighted in gold, other cells are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, it is best to start with a fresh worksheet in order to reset the auto population equations for the gold cells.

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Use	LDR Rate	Proposed Use Size (bedrooms)	Proposed Use Size (sf)	Proposed Use Quantity	Affordable Units Required
Conventional Lodging	0.204 * bedrooms	1	370	40	<b>8.172</b>
Restaurant/Bar	0.001197 * sf		934	1	<b>1.118</b>
Service	0.000431 * sf		813	1	<b>0.351</b>
Workforce Housing Bonus Unit	Exempt		623	1	<b>0.000</b>
					?
					?
					?
					?
					?
					?
<b>Total</b>		1	2740	43	<b>9.641</b>

# Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted June 26, 2018. Cells that can be modified are highlighted in gold, other cells are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, it is best to start with a fresh worksheet in order to reset the auto population equations for the gold cells.

**Step 1. Describe your project. Enter as many rows as needed to describe the different uses and unit types proposed. Select a use from the use table in the left most gold boxes. In the other gold boxes, describe each use's size in floor area and bedrooms (if applicable), then describe how many units of each use type are proposed. The required affordable housing will calculate for each unit and populate the Total box. See also Sections 6.3.2 and 6.3.3 of the proposed LDRs.**

Use	LDR Rate	Proposed Use Size (bedrooms)	Proposed Use Size (sf)	Proposed Use Quantity	Affordable Units Required
Conventional Lodging	0.204 * bedrooms	1	370	7	1.430
Restaurant/Bar	0.001197 * sf		75	1	0.090
Service	0.000431 * sf		24	1	0.010
Workforce Housing Bonus Unit	Exempt		623	1	0.000
				?	
				?	
				?	
				?	
				?	
				?	
<b>Total</b>		1	1092	10	<b>1.530</b>

**Special Restrictions  
for Affordable Condominium Rental Housing  
Located at \_\_\_\_\_, Town of Jackson**

These Special Restrictions for Affordable Condominium Rental Housing ("Special Restrictions"), are made and entered into this day of \_\_\_\_\_, 20\_\_\_\_\_, by the undersigned Owner ("Owner") the Town of Jackson, Wyoming.

**RECITALS:**

**WHEREAS**, Owner holds fee ownership interest in that certain real property, located in the Town of Jackson, Wyoming, and more specifically described as follows:

A Condominium Subdivision within \_\_\_\_\_ Town of Jackson, Teton County Wyoming.

PIDN: \_\_\_\_\_ ("Residential Unit")

**WHEREAS**, as a condition of its approval for permit #\_\_\_\_\_ received \_\_\_\_\_(Date) ("FDP Approval") Owner was required to provide and restrict as follows:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(hereinafter "Residential Unit").

The Income Ranges are different than the Income Ranges defined in the Jackson/Teton County Housing Department Rules and Regulations because the FDP approval was received before the update to the Housing Rules and Regulations. The Rules and Regulations are enforced by the Jackson/Teton County Affordable Housing Department, such Rules and Regulations are defined in Section 1 below;

**WHEREAS**, in accordance with the FDP Approval, the Residential Unit is intended to address the need for rental housing for employees in Teton County, Wyoming and therefore Owner agrees it will not be owner-occupied;

**WHEREAS**, the Jackson Town Council and Teton County Board of County Commissioners resolved to form the Jackson/Teton County Housing Authority, a duly constituted housing authority pursuant to W.S. §15-10-116, as amended, and its successors or assigns, known as the Jackson/Teton County Housing Authority ("JTCHA");

**WHEREAS**, the Jackson Town Council and Teton County Board of County Commissioners further

resolved to create the Jackson/Teton County Affordable Housing Department ("Housing Department") who are employees of Teton County and agents acting on behalf of the JTCHA, empowered to enforce this Special Restriction;

**WHEREAS**, in furtherance of the goals, objectives, requirements and conditions of FDP Approval, and consistent with the Town of Jackson's goal of providing decent, safe and sanitary housing to qualified employees working in Teton County, Wyoming, that is affordable, Owner agrees to restrict the use and occupancy of the Residential Unit to a "Qualified Household," which meets employment, income and asset ownership qualifications as set forth herein and as further defined in the Jackson/Teton County Housing Department Rules and Regulations;

**WHEREAS**, Owner desires to adopt these Special Restrictions and declare that the Residential Unit ~~and Land~~ shall be held, sold, and conveyed in perpetuity subject to these Special Restrictions, which Special Restrictions shall be in addition to all other covenants, conditions or restrictions of record affecting the Residential Unit and shall be enforceable by Housing Department and Town of Jackson, Wyoming.

#### **RESTRICTIONS:**

**NOW, THEREFORE**, in satisfaction of the FDP Approval, and in further consideration of the foregoing Recitals, which are incorporated herein by this reference, Owner hereby declares, covenants and agrees for itself and each and every person acquiring ownership of the Residential Unit, that the Residential Unit shall be held, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity.

**SECTION 1. JACKSON/TETON COUNTY HOUSING DEPARTMENT RULES AND REGULATIONS.** References made herein to the "Rules and Regulations" are references to the written policies, procedures and guidelines of the Housing Department, as the same may be amended, modified, or updated from time to time and which policies, procedures, and guidelines are on file with the Housing Department or otherwise with Town of Jackson, Wyoming, or if there are no such written policies, procedures or guidelines (or a written policy, procedure or guideline with respect to a specific matter) then the reference shall be to the current applied policy or policies of the Housing Department or its successor. Procedural and administrative matters not otherwise addressed in these Special Restrictions shall be as set forth in the Rules and Regulations.

**SECTION 2. RESTRICTIONS ON OCCUPANCY AND USE OF RESIDENTIAL UNIT.** In addition to any restrictions included in the current Housing Rules and Regulations, occupancy and use of the Residential Unit shall be restricted as follows:

A. Qualified Household. The rental, use and occupancy of the Residential Unit shall be limited to a Qualified Household, as set forth below ("Qualified Household"):

1. Employment Requirement. At least one (1) member of the Qualified Household must maintain an average of thirty (30) hours per week employment on an annual basis, or a minimum of one thousand five hundred and sixty hours (1,560) per year, for a local business. A "local business" means a business physically located within Teton County, Wyoming, holding a business license with the Town of Jackson, Wyoming or one that can provide other verification of business status physically located in Teton County, Wyoming, and the business serves clients or customers who are physically located in Teton County, Wyoming.
2. Income Restriction. The Qualified Household's gross income shall fall between 0 – 80% of the median family income in Teton County, Wyoming, as determined by the current year's published Federal Department of Housing & Urban Development median family income chart for Teton County, Wyoming ("Income Cap").
3. No Teton County Residential Real Estate. No member of the Qualified Household may own (whether individually, in trust, or through an entity including without limitation a partnership, limited partnership, limited liability company, corporation, association, or the like) residential real estate within one hundred and fifty (150) miles of Teton County, Wyoming at any time during occupancy of the Residential Unit.
4. Initial Determination by Owner. Owner shall require each prospective renter of a Residential Unit to provide information sufficient to show eligibility as a Qualified Household under the Affordable Housing Program pursuant to the requirements of this restriction and the Housing Rules and Regulations. The determination shall be based upon written applications, representations, information and verifications, including at a minimum, a W-2 for each adult renter or other IRS filing showing source of earnings, a signed and sworn statement regarding ownership of other real estate and a list of current employer(s), hours worked as well as contact information for each employer(s) and other such information reasonably requested by the Housing Department to verify and substantiate as a Qualified Household.
5. Continuing Obligation to Remain a Qualified Household. The occupants of the Residential Unit shall satisfy the definition of a Qualified Household at all times during the occupancy of the Residential Unit.
6. Occupancy. Each Residential Unit shall be occupied as the Qualified Household's sole and exclusive primary residence, and each tenant of a Residential Unit shall physically reside therein on a full-time basis, at least eighty percent (80%) of the term of the lease. Except for permitted guests, no persons other than the members of the Qualified Household may occupy the Residential Unit.
7. Reporting Requirement – Housing Department Determination. Owner shall, by January 31 of each year, provide to the Housing Department a summary of the eligibility verification information contained above for each occupant of a

Residential Unit as set forth on the Housing Department Template that will be provided to Owner. Upon written request by the Housing Department for supporting documentation, Owner shall provide the same within fifteen (15) business days of receipt of such written request. Additionally, Owner shall, by January 31 of each year, provide the Housing Department with its most current lease form for Residential Unit. Each Residential Unit Lease must state, and it is a material consideration of this restriction, that the Housing Department has the ultimate and final authority to determine eligibility of households renting the Residential Unit. If the Housing Department, upon review of supporting documentation determines that an occupant of the Residential Unit does not qualify as a Qualified Household, the Housing Department shall have the authority to require the Owner to terminate the lease between Owner and the occupant of the Residential Unit pursuant to Sections 4 & 5 below.

- B. No Legal Action. No owner of the Residential Unit, prospective purchaser of the Residential Unit, Tenant, renter or occupant, or other party shall have the right to sue or bring other legal process against the Town of Jackson, Wyoming or the Housing Department, or any person affiliated with the Town of Jackson, Wyoming or the Housing Department arising out of these Special Restrictions, and neither shall the Town of Jackson, Wyoming or the Housing Department have any liability to any person aggrieved by the decision of the Town of Jackson, Wyoming or the Housing Department regarding qualification of a Qualified Household or any other matter relating to these Special Restrictions.
- C. No Owner Occupancy. Owner shall not reside in or occupy the Residential Unit. For purposes of this paragraph, if Owner is an entity (including without limitation, a partnership, limited partnership, Limited Liability Company, corporation, association, or other) or a trust, this prohibition on owner-occupancy shall extend to any partner, member, shareholder, other principal or owner of the entity, and any trustee or beneficiary of the trust.
- D. Household Composition. Only members of the Qualified Household may occupy a Residential Unit, except that Owner may restrict who may reside in a Residential Unit, provided that such owner-restriction does not violate Federal or state fair housing laws. Notwithstanding the foregoing, occupancy of the Residential Unit shall be in compliance with any and all building codes (or other relevant law, code, statute, ordinance or the like) regarding maximum occupancy standards or limitations.
- E. Written Lease Requirement. Occupancy of the Residential Unit shall be pursuant to a written lease, the form of which may be approved by Housing Department as it may require. Owner of the Residential Unit shall obtain written verification of income, asset ownership, and employment in Teton County, Wyoming for each Qualified Household

proposing to rent the Residential Unit prior to such Household's occupancy, and upon each extension or renewal of any lease therefore.

- F. Rental Term. The Residential Unit shall be offered for rent in periods of not less than six (6) months.
- G. Rental Rate. The household size used to determine the median family income is based on one (1) person per bedroom. A studio Residential Unit's maximum rent will be fifteen percent (15%) less than the maximum rental rate for a one-bedroom Residential Unit. The maximum Rental Rate that may be charged for the Residential Unit is variable annually based on the Housing and Urban Development Department's Median Family Income standard for Teton County, Wyoming. The Housing Department will calculate the maximum Rental Rate every year for the Residential Unit after the Housing and Urban Development Department issues the Median Family Income for Teton County, Wyoming in the following manner: The maximum monthly rental rate for 0 – 80% Income range for 2018 is: \$34,475 (50% of 2018 median family income for one (1) person household) multiplied by thirty percent (30%) with the product divided by twelve (12) and multiplied by 85% for a Studio = \$733. The rent charged must include basic utilities (electric, gas, water, sewer) and trash removal. Notwithstanding the foregoing to the contrary, the rental rate charged by Owner may at any time be less than the maximum rent calculation.
- H. Rental Unit: Except as provided herein, the Residential Unit shall remain a rental unit for Qualified Households.
- I. Guests. No persons other than those comprising the Qualified Household shall be permitted to occupy the Residential Unit for periods in excess of ten percent (10%) of the Rental Term in cumulative days per calendar year.
- J. Vacancies. The Residential Unit may be vacant intermittently between tenancies to allow for proper advertisement and verification for Qualified Households and reasonable maintenance. However, a Residential Unit shall not be vacant for a period greater than sixty (60) days, unless authorized by the Housing Department. If any Residential Unit remains vacant for more than sixty (60) days without approval, the Housing Department has the right, but not the obligation, to identify a Qualified Household to rent the Residential Unit.
- K. Business Activity. No business activities shall occur in a Residential Unit, other than a home occupation use that is allowed by applicable zoning and properly permitted.
- L. Compliance with Laws, Declaration. The Residential Unit shall be occupied in full compliance with these Special Restrictions and the Rules and Regulations, along with all laws, statutes, codes, rules, or regulations, covenants, conditions and restrictions, and all supplements and amendments thereto, and any other rules and regulations of any applicable homeowner's association, as the same may be adopted from time to time.

- M. Insurance. Owner shall keep the Residential Unit continuously insured against "all risks" of physical loss (not otherwise covered by a homeowner's association insurance), for the full replacement value of the Residential Unit.
- N. Maintenance. Owner shall be responsible for the cost and expense to keep and maintain the interior of the Residential Unit and all other aspects of the Residential Unit not otherwise maintained by a homeowner's association in a safe, decent and sanitary condition. In the event Owner fails to maintain the Residential Unit in a safe, decent and sanitary condition and such condition continues for fourteen (14) days after notice from the Housing Department, the Housing Department shall have the right but not the obligation to enter the Residential Unit and repair such condition and Owner shall reimburse Housing Department for such reasonable repair costs. Payment to Housing Department from Owner shall be due upon receipt of invoice.
- O. Periodic Reporting, Inspection. In order to confirm compliance with these Special Restrictions, each Owner shall comply, and cause its tenants to comply, with any reporting or inspection requirements as set forth herein and as may be required by the Housing Department from time to time. Upon reasonable notice to Owner, the Housing Department shall have the right to inspect the Residential Unit from time to time to determine compliance with these Special Restrictions and to review the written records required to be maintained by Owner. Owner shall maintain such records for a period of not less than two (2) years.
- P. Preference. Owner may give first-priority to rent the Residential Unit to Qualified Households of which a member of the Household is an employee of Owner. In the event there are no persons directly employed by Owner to whom Owner desires to rent the Residential Unit, then Owner may rent to any Qualified Household.

**SECTION 3. SALE OF THE RESIDENTIAL UNIT.** The Residential Unit ~~Complex~~—may be bought and sold as Owner may determine except that all reporting and record-keeping required herein shall be continuous and any new owner shall obtain the required records from the prior owner. Any such conveyance of the Residential Unit shall be subject to these Special Restrictions. Not less than ten (10) days prior to the closing of the sale or other transfer of the Residential Unit, Owner shall notify the Housing Department of the pending sale or transfer and, prior to closing, provide the Housing Department with contact information (including without limitation, mailing address, phone number and email) for the new owner.

**SECTION 4. DEFAULT.** Subject to the notice and cure provisions, if any, of the Housing Department Rules and Regulations, each of the following shall be considered a default ("Default"):

- A. A violation of any term of these Special Restrictions, the Rules and Regulations, the Declaration, or any laws affecting a Residential Unit.

- B. A violation of any term of these Special Restrictions or any laws affecting the Residential Unit.
- C. Vacancy of a Residential Unit for more than sixty (60) days continuously.
- D. Fraud or misrepresentation by Owner and/or occupant in the provision of an application, reporting requirement, inspection requirement or any other informational requirement to the Housing Department.
- E. If the Residential Unit is taken by execution or by other process of law, or if Owner is judicially insolvent according to law, or if any assignment is made of the property of Owner for the benefit of creditors, or if a receiver, trustee or other similar officer is appointed to take charge of any substantial part of the Residential Unit or Owner's property by a court of competent jurisdiction.

In the event the Housing Department believes there to be a Default, the Housing Manager, or a Designee of the Housing Department shall send written notice to Owner of such violation, the required action to cure and the timing for such cure. If Owner disputes the Housing Department's decision, Owner shall proceed in accordance with the Rules and Regulations.

**SECTION 5. DEFAULT REMEDIES.**-Subject to the notice and cure provisions, if any, of the Housing Department Rules and Regulations, in addition to any other remedies the Housing Department may have at law or equity, in the event of a Default, after notice and opportunity to cure as set forth in the preceding section, the Housing Department's remedies shall include, without limitation, as an exercise of its regulatory authority, the following:

- A. Specific Performance. The Housing Department shall have the right of specific performance of these Special Restrictions and the Rules and Regulations, and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance.
- B. Equitable Relief. In addition to subsection A, any equitable relief provided for herein may be sought singly or in combination with such other remedies as the Housing Department may be entitled to, either pursuant to these Special Restrictions or any other action authorized under the laws of the State of Wyoming.
- C. Revocation. The Housing Department may, for purposes of enforcing these Special Restrictions or the Rules and Regulations, revoke or seek revocation of the rights to use or occupy the Residential Unit.
- D. Enforcement. The Housing Department may, for purposes of enforcing these Special Restrictions or the Rules and Regulations, seek enforcement through the Town or County Land Development Regulations, including but not limited to Division 8.9 Enforcement.

**SECTION 6. TERMINATION, AMENDMENT AND CORRECTION OF SPECIAL RESTRICTIONS.**

- A. Termination. These Special Restrictions may be terminated after a determination by the Town of Jackson, Wyoming that these Special Restrictions are no longer consistent with the Town of Jackson, Wyoming goals for affordable housing.
- B. Amendment. These Special Restrictions may be amended by a signed, written amendment executed by the Parties hereto and recorded in the Teton County Clerk's Office against the title to the Residential Unit, with the written consent of Owner of the Residential Unit ~~Complex~~ and Town of Jackson, Wyoming.
- C. Correction. The Housing Department may unilaterally correct these Special Restrictions to address scrivener's errors, erroneous legal descriptions or typographical errors.

**SECTION 7. SPECIAL RESTRICTIONS AS COVENANT.** These Special Restrictions shall constitute covenants running with the Residential Unit, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Residential Unit, or any part thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by JTCHA, the Housing Department and Town of Jackson. These Special Restrictions shall be prior and superior to any mortgage or lien interest encumbering the ~~Land and/or~~ Residential Unit ~~Complex~~.

**SECTION 8. NOTICES.** All notices required to be served upon the parties to this Special Restriction shall be transmitted by one of the following methods: hand delivery; prepaid overnight courier; or by postage paid certified mail, return receipt requested, at the address set forth below for said party; or at such other address as one party notifies the other in writing pursuant to this paragraph. Notice shall be effective when hand delivered, one (1) day after being deposited with an overnight courier or five (5) business days after being placed in the mail. Either party may change its address and/or owner and/or other contact information in the manner provided for giving notice.

**To Housing Department**

Jackson/Teton County Affordable Housing Department  
P.O. Box 714  
Jackson, WY 83001

**With a Copy to:**

Town of Jackson  
P.O. Box 1687  
Jackson, WY 83001

**To Owner**

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Jackson, WY 83001

**SECTION 9. ATTORNEY'S FEES.** In the event any party shall be required to retain counsel and file

suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

**SECTION 10. CHOICE OF LAW, FORUM.** These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming. The parties agree that the appropriate court in Teton County, Wyoming and/or the Ninth Judicial District for the State of Wyoming shall have sole and exclusive jurisdiction over any dispute, claim, or controversy which may arise involving these Special Restrictions or its subject matter. Owner by accepting a deed for the Residential Unit hereby submits to the personal jurisdiction of any such court in any action or proceeding arising out of or relating to this Special Restrictions

**SECTION 11. SEVERABILITY.** Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision, or any portion thereof, of any of the foregoing shall be invalid or prohibited under said applicable law, such provision shall be deemed modified to the extent necessary and possible to render it valid and enforceable, or if such modification is not possible, such provision shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provision(s) of such document.

**SECTION 12. SECTION HEADINGS.** Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and shall not govern, limit or aid in the construction of any terms or provisions contained herein.

**SECTION 13. WAIVER.** No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

**SECTION 14. INDEMNIFICATION.** Owner shall indemnify, defend, and hold the Housing Department and the Town of Jackson, and its directors, officers, agents and employees harmless against any and all loss, liability, claim, or cost (including reasonable attorneys' fees and expenses) for damage or injury to persons or property from any cause whatsoever on or about the Residential Unit, or for an Owner's breach of any provision of these Special Restrictions. Owner waives any and all such claims against the Housing Department and the Town of Jackson.

**SECTION 15. SUCCESSORS AND ASSIGNS.** These Special Restrictions shall be binding upon, and inure to the benefit of, the parties hereto and their respective successors, heirs, devisees, administrators and assigns.

**SECTION 16. GOVERNMENTAL IMMUNITY.** Neither the Town of Jackson, JTCHA, nor the Housing Department waive governmental immunity by executing these Special Restrictions and specifically retain immunity and all defenses available to them as sovereigns pursuant to Wyo. Stat. Ann. § 1-39-104(a) and any other applicable law.

IN WITNESS WHEREOF, Owner has executed this instrument on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ (the "Effective Date").

**OWNER:**

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Its:

STATE OF WYOMING      )  
                            ) ss.  
COUNTY OF TETON      )

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the foregoing Special Restrictions for Employee Housing was acknowledged before me by \_\_\_\_\_ as \_\_\_\_\_ President of \_\_\_\_\_.

Witness my hand and official seal.

(Seal)

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Notary Public

**TOWN OF JACKSON:**

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Pete Muldoon, Mayor

**ATTEST:**

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Sandy Birdyshaw, Town Clerk

STATE OF WYOMING )  
 ) ss.  
COUNTY OF TETON )

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, the foregoing instrument was acknowledged before me by Pete Muldoon as Mayor of the Town of Jackson, Wyoming.

Witness my hand and official seal.

(Seal)

Notary Public  
My commission expires:

## JACKSON/TETON COUNTY AFFORDABLE HOUSING DEPARTMENT:

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**Stacy Stoker, Housing Manager**

STATE OF WYOMING )  
 ) SS.  
COUNTY OF TETON )

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, the foregoing instrument was acknowledged before me by Stacy Stoker, as Housing Manager of the Jackson/The Town of Jackson Affordable Housing Department.

Witness my hand and official seal.

(Seal)

Notary Public  
My commission expires:

**Special Restrictions  
for Workforce Condominium Rental Housing  
Located at insert Town of Jackson or Teton County, Wyoming**

These Special Restrictions for Workforce Rental Housing, ("Special Restrictions"), are made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_(the "Effective Date"), by the undersigned Owner ("Owner") and insert the Town of Jackson or Teton County, Wyoming.

**RECITALS:**

**WHEREAS**, Owner holds fee ownership interest in that certain real property, located in insert the Town of Jackson or Teton County, Wyoming, and more specifically described as follows:

Click here to add legal description of property.

PIDN: \_\_\_\_\_ ("Residential Unit")

**WHEREAS**, as a condition of its approval for permit #Click here to enter Permit #. ("\_\_\_\_\_ Approval"), Owner was required to provide and restrict as follows:

*Owner developed property addressed as \_\_\_\_\_, \_\_\_\_\_, Wyoming 830\_\_\_\_ for a \_\_\_\_\_ square foot retail/service/office/residential/etc. building. This development generated the obligation to provide Workforce Ownership Housing in accordance with \_\_\_\_\_ Approval. Owner is restricting:*

- *Unit \_\_\_\_\_, with \_\_\_\_\_ number of bedrooms.*
- *Unit \_\_\_\_\_, with \_\_\_\_\_ number of bedrooms.*
- *Unit \_\_\_\_\_, with \_\_\_\_\_ number of bedrooms.*

*(hereinafter each is a "Residential Unit").*

**WHEREAS**, the Jackson Town Council and Teton County Board of County Commissioners resolved to form the Jackson/Teton County Housing Authority, a duly constituted housing authority pursuant to W.S. §15-10-116, as amended, and its successors or assigns, known as the Jackson/Teton County Housing Authority ("JTCHA");

**WHEREAS**, the Jackson Town Council and Teton County Board of County Commissioners further resolved to create the Jackson/Teton County Affordable Housing Department ("Housing Department") who are employees of Teton County and agents acting on behalf of the JTCHA, empowered to enforce this Special Restriction;

**WHEREAS**, in furtherance of the goals, objectives, requirements and conditions of insert approval type (FDP, CUP, etc.) Approval, and consistent with the insert the Town of Jackson or Teton County's goal of providing decent, safe and sanitary housing to qualified employees working in Teton County, Wyoming, that is affordable, Owner agrees to restrict the use and occupancy of the Residential Unit to a "Qualified Household," which meets employment, income and asset ownership qualifications as set forth herein and as further defined in the Jackson/Teton County Housing Department Rules and Regulations;

**WHEREAS**, Owner desires to adopt these Special Restrictions and declare that the Residential Unit shall be held, sold, and conveyed in perpetuity subject to these Special Restrictions, which Special Restrictions shall be in addition to all other covenants, conditions or restrictions of record affecting the Residential Unit, and shall be enforceable by Housing Department and insert the Town of Jackson or Teton County, Wyoming.

**RESTRICTIONS:**

**NOW THEREFORE**, in satisfaction of the conditions in the \_\_\_\_\_ Approval, and in consideration of such \_\_\_\_\_ Approval and further consideration of the foregoing Recitals, which are by this reference incorporated herein, Owner hereby declares, covenants and agrees for itself and each and every person acquiring ownership of the Residential Unit, shall be owned, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity.

**SECTION 1. JACKSON/TETON COUNTY HOUSING DEPARTMENT RULES AND REGULATIONS.**

References made herein to the "Rules and Regulations" are references to the written policies, procedures and guidelines of the Housing Department, as the same may be amended, modified, or updated from time to time and which policies, procedures, and guidelines are on file with the Housing Department or otherwise with insert the Town of Jackson or Teton County, Wyoming, or if there are no such written policies, procedures or guidelines (or a written policy, procedure or guideline with respect to a specific matter) then the reference shall be to the current applied policy or policies of the Housing Department or its successor. Procedural and administrative matters not otherwise addressed in these Special Restrictions shall be as set forth in the Rules and Regulations.

**SECTION 2. RESTRICTIONS ON OCCUPATION AND USE OF RESIDENTIAL UNIT.** In addition to any restrictions included in the current Housing Rules and Regulations, occupancy and use of the Residential Unit shall be restricted as follows:

A. Qualified Household. The rental, use and occupancy of the Residential Units shall be limited to natural persons who meet the definition of a Qualified Household for Workforce Housing, as set forth below ("Qualified Household").

1. Employment Requirement. At least one (1) member of the Qualified Household must maintain an average of thirty (30) hours per week employment on an annual basis, or a minimum of one thousand five hundred and sixty hours (1,560) per year, for a local business.

A.) A local business means (1) a business physically located within Teton County, Wyoming, holding a business license with the Town of Jackson, Wyoming or one that can provide other verification of business status physically located in Teton County, Wyoming, and (2) the business serves clients or customers who are physically located in Teton County, Wyoming, and (3) the employees/owners must work in Teton County, Wyoming to perform their job.

Or

B.) A business physically located in Teton County Wyoming who employs two or more Qualified Employees, which qualified employees must work in Teton County Wyoming

to perform their job.

2. Income Requirement. The entire Qualified Household must earn at least seventy-five percent (75%) of the Household's income from a local business, as defined above.
3. No Teton County Residential Real Estate. No member of the Qualified Household may own or have any interest (whether individually, in trust, or through an entity including without limitation a partnership, limited partnership, limited liability company, corporation, association, or the like) in whole or in part in any other residential real estate within one hundred and fifty (150) miles of Teton County, Wyoming at any time during occupancy of the Residential Unit.
4. Initial Determination by the Owner. Owner shall require each prospective renter of a Residential Unit to provide information sufficient to show eligibility as a Qualified Household under the Workforce Housing Program pursuant to the requirements of this restriction and the Housing Rules and Regulations. The determination shall be based upon written applications, representations, information and verifications, including *at a minimum*, a W-2 for each adult renter or other IRS filing showing source of earnings, a signed and sworn statement regarding ownership of other real estate and a list of current employer(s), hours worked as well as contact information for each employer(s) and other such information reasonably requested by the Housing Department to verify and substantiate as a Qualified Household.
5. Continuing Obligation to Remain a Qualified Household. The occupants of the Residential Unit shall satisfy the definition of a Qualified Household at all times during the occupancy of the Residential Unit.
6. Occupancy. Each Residential Unit shall be occupied as the Qualified Household's sole and exclusive primary residence, and each tenant of a Residential Unit shall physically reside therein on a fulltime basis, at least eighty percent (80%) of the term of the lease. Except for permitted guests, no persons other than the members of the Qualified Household may occupy the Residential Unit.
7. Reporting Requirement – Housing Department Determination. Owner shall, by January 31 of each year, provide to the Housing Department a summary of the eligibility verification information contained above for each occupant of a Residential Unit as set forth on the Housing Department Template that will be provided to Owner. Upon written request by the Housing Department for supporting documentation, Owner shall provide the same within fifteen (15) business days of receipt of such written request. Additionally, Owner shall, by January 31 of each year, provide the Housing Department with its most current lease form for Residential Units. Each Residential Unit Lease must state, and it is a material consideration of this restriction, that the Housing Department has the ultimate and final authority to determine eligibility of households renting Residential Units. If the Housing Department, upon review of supporting documentation determines that an occupant of a Residential Unit does not qualify as a Qualified Household, the Housing Department shall have the authority to require the Owner to terminate the lease between Owner and the occupant of a Residential Unit pursuant to Sections 4 & 5 below.

B. No Legal Action. No Owner of the Residential Unit, prospective purchaser of the Residential Unit, Tenant, renter or occupant, or other party shall have the right to sue or bring other legal process against ~~insert the Town of Jackson or Teton County, Wyoming or the Housing Department, or any person affiliated with~~ ~~insert the Town of Jackson or Teton County, Wyoming or the Housing Department~~ arising out of these Special Restrictions, and neither shall ~~insert the Town of Jackson~~

or Teton County, Wyoming or the Housing Department have any liability to any person aggrieved by the decision of insert the Town of Jackson or Teton County, Wyoming or the Housing Department regarding qualification of a Qualified Household or any other matter relating to these Special Restrictions.

- C. Household Composition. Only members of the Qualified Household may occupy a Residential Unit, except that Owner may restrict who may reside in a Residential Unit, provided that such owner-restriction does not violate Federal or state fair housing laws. Notwithstanding the foregoing, occupancy of the Residential Unit shall be in compliance with any and all building codes (or other relevant law, code, statute, ordinance or the like) regarding maximum occupancy standards or limitations.
- D. Written Lease Requirement. Occupancy of the Residential Unit shall be pursuant to a written lease, the form of which may be approved by Housing Department as it may require. Owner of the Residential Unit shall obtain written verification of income, asset ownership, and employment in Teton County, Wyoming for each Qualified Household proposing to rent the Residential Unit prior to such Household's occupancy, and upon each extension or renewal of any lease therefore.
- E. Rental Term. The Residential Unit shall be offered for rent in periods of not less than six (6) months.
- F. Rental Rate: Owner shall set the rent. There is no cap on rent or rent appreciation.
- G. Rental Unit: Except as provided herein, the Residential Unit shall remain a rental unit for Qualified Households.
- H. Guests. No persons other than those comprising the Qualified Household shall be permitted to occupy the Residential Unit for periods in excess of ten percent (10%) of the Rental Term in cumulative days per calendar year
- I. Vacancies. The Residential Unit may be vacant intermittently between tenancies to allow for proper advertisement and verification for Qualified Households and reasonable maintenance. However, a Residential Unit shall not be vacant for a period greater than sixty (60) days, unless authorized by the Housing Department. If any Residential Unit remains vacant for more than sixty (60) days without approval, the Housing Department has the right, but not the obligation, to identify a Qualified Household to rent the Residential Unit.
- J. Business Activity. No business activities shall occur in a Residential Unit, other than a home occupation use that is allowed by applicable zoning and properly permitted.
- K. Compliance with Laws, Declaration. The Residential Unit shall be occupied in full compliance with these Special Restrictions and the Rules and Regulations, along with all laws, statutes, codes, rules, or regulations, covenants, conditions and restrictions, and all supplements and amendments thereto, and any other rules and regulations of any applicable homeowner's association, as the same may be adopted from time to time.
- L. Insurance. Owner shall keep the Residential Unit continuously insured against physical loss for the full replacement value of the Residential Unit.

- M. Maintenance. Owner shall be responsible for the cost and expense to keep and maintain the interior of the Residential Unit and all other aspects of the Residential Unit not otherwise maintained by a homeowner's association in a safe, decent and sanitary condition. In the event Owner fails to maintain the Residential Unit in a safe, decent and sanitary condition and such condition continues for fourteen (14) days after notice from the Housing Department, the Housing Department shall have the right but not the obligation to enter the Residential Unit and repair such condition and Owner shall reimburse Housing Department for such reasonable repair costs. Payment to Housing Department from Owner shall be due upon receipt of invoice.
- N. Periodic Reporting, Inspection. In order to confirm compliance with these Special Restrictions, each owner shall comply, and cause its tenants to comply, with any reporting or inspection requirements as set forth herein and as may be required by the Housing Department from time to time. Upon reasonable notice to owner, the Housing Department shall have the right to inspect the Residential Unit from time to time to determine compliance with these Special Restrictions and to review the written records required to be maintained by Owner. Owner shall maintain such records for a period of two (2) years.
- O. Preference. Owner may give first-priority to rent the Residential Unit to Qualified Households of which a member of the Household is an employee of Owner. In the event there are no persons directly employed by Owner to whom Owner desires to rent the Residential Unit, then Owner may rent to any Qualified Household.

**SECTION 3. SALE OF THE RESIDENTIAL UNIT.** The Residential Unit may be bought and sold as Owner may determine except that all reporting and record-keeping required herein shall be continuous and any new owner shall obtain the required records from the prior owner. Any such conveyance of a Residential Unit shall be subject to these Special Restrictions. Not less than ten (10) days prior to the closing of the sale or other transfer of the Residential Unit, Owner shall notify the Housing Department of the pending sale or transfer and, prior to closing, provide the Housing Department with contact information (including without limitation, mailing address, phone number and email) for the new owner.

**SECTION 4. DEFAULT.** Subject to the notice and cure provisions, if any, of the Housing Department Rules and Regulations, each of the following shall be considered a default ("Default"):

- A. A violation of any term of these Special Restrictions, the Rules and Regulations, the Declaration, or any laws affecting a Residential Unit.
- B. A violation of any term of these Special Restrictions or any laws affecting the Residential Unit.
- C. Vacancy of a Residential Unit for more than sixty (60) days continuously.
- D. Fraud or misrepresentation by Owner and/or occupant in the provision of an application, reporting requirement, inspection requirement or any other informational requirement to the Housing Department.
- E. If the Residential Unit is taken by execution or by other process of law, or if Owner is judicially insolvent according to law, or if any assignment is made of the property of Owner for the benefit of creditors, or if a receiver, trustee or other similar officer is appointed to take charge of any

substantial part of the Residential Unit, or Owner's property by a court of competent jurisdiction.

In the event the Housing Department believes there to be a Default, the Housing Manager, or a Designee of the Housing Department, shall send written notice to Owner of such violation, the required action to cure and the timing for such cure. If Owner disputes the Housing Department's decision, Owner shall proceed in accordance with the Rules and Regulations.

**SECTION 5. DEFAULT REMEDIES.** Subject to the notice and cure provisions, if any, of the Housing Department Rules and Regulations, in addition to any other remedies the Housing Department may have at law or equity, in the event of a Default, after notice and opportunity to cure as set forth in the preceding section, the Housing Department's remedies shall include, without limitation, as an exercise of its regulatory authority, the following:

- A. Specific Performance. The Housing Department shall have the right of specific performance of these Special Restrictions and the Rules and Regulations, and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance.
- B. Equitable Relief. In addition to subsection A, any equitable relief provided for herein may be sought singly or in combination with such other remedies as the Housing Department may be entitled to, either pursuant to these Special Restrictions or any other action authorized under the laws of the State of Wyoming.
- C. Revocation. The Housing Department may, for purposes of enforcing these Special Restrictions or the Rules and Regulations, revoke or seek revocation of the rights to use or occupy the Residential Unit.
- D. Enforcement. The Housing Department may, for purposes of enforcing these Special Restrictions or the Rules and Regulations, seek enforcement through the Town or County Land Development Regulations, including but not limited to Division 8.9 Enforcement.

**SECTION 6. TERMINATION, AMENDMENT AND CORRECTION OF SPECIAL RESTRICTIONS.**

- A. Termination. These Special Restrictions may be terminated after a determination by the insert the Town of Jackson or Teton County, Wyoming that these Special Restrictions are no longer consistent with the insert the Town of Jackson or Teton County, Wyoming goals for affordable housing.
- B. Amendment. These Special Restrictions may be amended by a signed, written amendment executed by the Parties hereto and recorded in the Teton County Clerk's Office against the title to the Residential Unit, in whole or in part, with the written consent of Owner of the Residential Unit and insert the Town of Jackson or Teton County, Wyoming.
- C. Correction. The Housing Department may unilaterally correct these Special Restrictions to address scrivener's errors, erroneous legal descriptions or typographical errors.

**SECTION 7. SPECIAL RESTRICTIONS AS COVENANT.** These Special Restrictions shall constitute covenants

running with the Residential Units, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Residential Units, or any part thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by the Housing Department and ~~insert~~ the Town of Jackson or Teton County, Wyoming. Where these Special Restrictions are silent, the Housing Rules and Regulations govern. These Special Restrictions shall be prior and superior to any mortgage or lien interest encumbering the Residential Unit.

**SECTION 8. NOTICES.** All notices required to be served upon the parties to this Special Restriction shall be transmitted by one of the following methods: hand delivery; prepaid overnight courier; or by postage paid certified mail, return receipt requested, at the address set forth below for said party; or at such other address as one party notifies the other in writing pursuant to this paragraph. Notice shall be effective when hand delivered, one (1) day after being deposited with an overnight courier or five (5) business days after being placed in the mail. Either party may change its address and/or owner and/or other contact information in the manner provided for giving notice.

**To Housing Department**

Jackson/Teton County Affordable Housing Department  
P.O. Box 714  
Jackson, WY 83001

**With a Copy to:**

~~insert the Town of Jackson or Teton County.~~  
~~insert the Town of Jackson or Teton County.~~  
Jackson, WY 83001.

**To Owner**

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**SECTION 9. ATTORNEY'S FEES.** In the event any party shall be required to retain counsel and file suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

**SECTION 10. CHOICE OF LAW, FORUM.** These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming. The parties agree that the appropriate court in Teton County, Wyoming and/or the Ninth Judicial District for the State of Wyoming shall have sole and exclusive jurisdiction over any dispute, claim, or controversy which may arise involving these Special Restrictions or its subject matter. Owner by accepting a deed for the Residential Unit hereby submits to the personal jurisdiction of any such court in any action or proceeding arising out of or relating to this Special Restrictions.

**SECTION 11. SEVERABILITY.** Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision, or any portion thereof, of any of the foregoing shall be invalid or prohibited under said applicable law, such provision shall be deemed modified to the extent necessary and possible to render it valid and enforceable, or if such modification is not possible, such provision shall be ineffective to the extent of such

invalidity or prohibition without invalidating the remaining provision(s) of such document.

**SECTION 12. SECTION HEADINGS.** Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and shall not govern, limit or aid in the construction of any terms or provisions contained herein.

**SECTION 13. WAIVER.** No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

**SECTION 14. INDEMNIFICATION.** Owner shall indemnify, defend, and hold, the Housing Department and ~~insert the Town of Jackson or Teton County~~, and its directors, officers, agents and employees harmless against any and all loss, liability, claim, or cost (including reasonable attorneys' fees and expenses) for damage or injury to persons or property from any cause whatsoever on or about the Residential Unit, or for an owner's breach of any provision of these Special Restrictions. Owner waives any and all such claims against the Housing Department and ~~insert the Town of Jackson or Teton County~~.

**SECTION 15. SUCCESSORS AND ASSIGNS.** These Special Restrictions shall be binding upon, and inure to the benefit of, the parties hereto and their respective successors, heirs, devisees, administrators and assigns.

**SECTION 16. GOVERNMENTAL IMMUNITY.** Neither ~~insert the Town of Jackson or Teton County~~, JTCHA, nor the Housing Department waive governmental immunity by executing these Special Restrictions and specifically retain immunity and all defenses available to them as sovereigns pursuant to Wyo. Stat. Ann. § 1-39-104(a) and any other applicable law.

**IN WITNESS WHEREOF**, the undersigned have executed this instrument as of the Effective Date.

**Owner:**

---

---

---

STATE OF WYOMING      )  
                            )        ss  
COUNTY OF TETON      )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned Notary Public,  
personally appeared \_\_\_\_\_ for \_\_\_\_\_, LLC, a

Special Restrictions

8 of 12  
7 23 2019

Rental Workforce Housing

Wyoming limited liability company, and known to me, or proven by satisfactory evidence, to be the \_\_\_\_\_ of the company that executed the foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of the company, by authority of Statute, its articles of organization or its operating agreement, for the uses and purposes therein mentioned, and on oath stated that such person is authorized to execute said instrument on behalf of the limited liability company.

[SEAL]

---

Notary Public

**TOWN OF JACKSON**

---

Pete Muldoon, Mayor

ATTEST: \_\_\_\_\_  
By: Sandy Birdyshaw, Town Clerk

STATE OF WYOMING    )  
                          ) ss.  
COUNTY OF TETON    )

On the \_\_\_\_\_, 20\_\_\_\_\_, the foregoing instrument was acknowledged before me by Pete Muldoon  
as Mayor, of the Town of Jackson, Wyoming.

Witness my hand and official seal.

(Seal)

---

Notary Public  
My commission expires:

STATE OF WYOMING    )  
                          ) ss.  
COUNTY OF TETON    )

On the \_\_\_\_\_, 20\_\_\_\_\_, the foregoing instrument was acknowledged before me by Sandy  
Birdyshaw as Town Clerk, of the Town of Jackson, Wyoming.

Witness my hand and official seal.

(Seal)

---

Notary Public  
My commission expires:

Approved as to form:

**JACKSON/TETON COUNTY AFFORDABLE HOUSING DEPARTMENT:**

---

Insert name of Housing Manager, Housing Manager

STATE OF WYOMING        )  
                              ) ss.  
COUNTY OF TETON        )

On the day \_\_\_\_\_ of \_\_\_\_\_, 20\_\_\_\_, the foregoing instrument was acknowledged before me by Insert name of Housing Manager, as Housing Manager of the Jackson/Teton County Affordable Housing Department.

Witness my hand and official seal.

(Seal)

---

Notary Public  
My commission expires:

## PROJECT IMAGES



APPROACH ON GILL AVE.



PEDESTRIAN APPROACH N. JACKSON STREET

## VICINITY MAP (N.T.S.)



## PROJECT DIRECTORY

**OWNER:** HARRISON HOSPITALITY PROPERTIES, LP  
175 N JACKSON ST  
JACKSON, WY 83001  
PHONE: 307-733-2000  
CONTACT: BRANDON HARRISON  
RON HARRISON  
CELL: 307-690-6968  
email: bharrison@rustyparrot.com

**ARCHITECT:** ROWLAND+BROUGHTON  
ARCHITECTURE AND URBAN DESIGN  
500 W. MAIN ST.  
ASPEN, CO 81611  
PHONE: 970.544.9006  
FAX: 970.544.3473  
CONTACT: SCOTT MCRAE  
scott@rowlandbroughton.com  
cell: 970.708.5035

**PRECON CONTRACTOR:** BIG D SIGNATURE  
705 HIGH SCHOOL RD  
BLK 100, SUITE 150  
JACKSON, WY 83002  
PHONE: 307-215-8097  
CONTACT: SHANDON BRINKERHOFF  
cell: 307-413-9881  
email: shandon.brinkerhoff@big-d.com

**LAND PLANNER:** Y2 CONSULTANTS  
180 S. WILLOW ST.  
JACKSON, WY 83001  
PHONE: 307-733-2999  
CONTACT: SCOTT PIERSON  
HAL HUTCHINSON  
cell: 307-699-0265 Hal  
307-413-8522 Scott  
email: scott@y2consultants.com  
hal@y2consultants.com

**SURVEYOR:** Y2 CONSULTANTS  
180 S. WILLOW ST.  
JACKSON, WY 83001  
PHONE: 307-733-2999  
CONTACT: MARK FELLERMAN  
cell: 307-413-5429  
email: mark@y2consultants.com

**CIVIL ENGINEER:** Y2 CONSULTANTS  
180 S. WILLOW ST.  
JACKSON, WY 83001  
PHONE: 307-733-2999  
CONTACT: VINCE ROUX  
cell:  
email: vince@y2consultants.com

**GEOTECHNICAL ENGINEER:** Y2 CONSULTANTS  
180 S. WILLOW ST.  
JACKSON, WY 83001  
PHONE: 307-733-2999  
CONTACT: ZIA YASROBI, PE  
cell:  
email: zia@y2consultants.com

**LANDSCAPE ARCHITECT:** AGROSTIS, INC.  
PO BOX 3074  
1130 MARBLE WAY, SUITE #2C  
JACKSON, WY 83001  
CONTACT: HEATH KUSZACK, PLA, CLARB, ASLA  
cell: 307-413-1883  
email: health@agrostisinc.com

**STRUCTURAL ENGINEER:** KLAAS, INC.  
215 N. 12TH STREET, UNIT E  
CARBONDALE, CO 81623  
CONTACT: DAN DOHERTY  
cell: 970-948-7464  
email: ddoherty@klaas.com

**PROJECT DIRECTORY**

**ARCHITECTURAL**

A0.1 COVER  
A0.6 FLOOR AREA CALCULATIONS  
A1.1 PROPOSED SITE PLAN  
A1.2 PROPOSED PEDESTRIAN FRONTAGE PLAN  
A1.3 PROPOSED SITE PLAN @ BASEMENT LEVEL  
A1.4 PROPOSED SITE LIGHTING CONCEPTS  
A1.5 PROPOSED SITE LIGHTING EXAMPLES  
A1.6 PROPOSED SNOW STORAGE PLAN  
A2.0 PROPOSED BASEMENT FLOOR PLAN  
A2.1 PROPOSED LEVEL 1 FLOOR PLAN  
A2.3 PROPOSED LEVEL 3 FLOOR PLAN  
A2.4 PROPOSED ROOF LEVEL PLAN  
A4.1 EXTERIOR ELEVATIONS  
A4.1.A EXTERIOR ELEVATIONS LDR COMPLIANCE  
A4.2 EXTERIOR ELEVATIONS  
A4.2.A EXTERIOR ELEVATIONS LDR COMPLIANCE  
A4.3 EXTERIOR ELEVATIONS  
A4.3.A EXTERIOR ELEVATIONS TOJ COMPLIANCE  
A4.4 EXTERIOR ELEVATIONS  
A4.4.A EXTERIOR ELEVATIONS TOJ COMPLIANCE

**CIVIL**

C0.1 NOTES  
C1.1 EXISTING CONDITIONS  
C2.1 FINISHED CONDITIONS  
C3.1 GRADING PLANS - SITE PLAN  
C3.2 GRADING PLANS - BASEMENT PLAN  
C3.3 GRADING PLANS - CURB & GUTTER P & P 1  
C3.4 GRADING PLANS - CURB & GUTTER P & P 2  
C3.5 GRADING PLANS - CURB & GUTTER P & P 3  
C3.6 GRADING PLANS - RAMP P & P  
C4.1 UTILITY PLANS - SITE PLAN  
C4.2 UTILITY PLANS - POWER  
C4.3 UTILITY PLANS - BASEMENT PLAN  
C4.4 STORMWATER PLAN  
C4.5 STORMWATER P&P  
C5.1 FEASIBILITY GRADING - ALLEY P&P

**LANDSCAPE**

L1.0 DEVELOPMENT PERMIT APPLICATION - LANDSCAPE PLAN

Consultants:

Issuances and Revisions:  
2020.05.01 DEVELOPMENT PERMIT APPLICATION

## SHEET INDEX

### ARCHITECTURAL

1 OF 2 SURVEY  
2 OF 2 SURVEY

**CIVIL**

C0.1 NOTES  
C1.1 EXISTING CONDITIONS  
C2.1 FINISHED CONDITIONS  
C3.1 GRADING PLANS - SITE PLAN  
C3.2 GRADING PLANS - BASEMENT PLAN  
C3.3 GRADING PLANS - CURB & GUTTER P & P 1  
C3.4 GRADING PLANS - CURB & GUTTER P & P 2  
C3.5 GRADING PLANS - CURB & GUTTER P & P 3  
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C4.3 UTILITY PLANS - BASEMENT PLAN  
C4.4 STORMWATER PLAN  
C4.5 STORMWATER P&P  
C5.1 FEASIBILITY GRADING - ALLEY P&P

**LANDSCAPE**

L1.0 DEVELOPMENT PERMIT APPLICATION - LANDSCAPE PLAN

## PROJECT INFORMATION AND ZONING SUMMARY

**PROJECT:** 175 N JACKSON ST  
JACKSON, WY 83001  
**PARCEL ID:** 22-41-16-28-4-11-001  
**PERMIT #:** PENDING  
**LEGAL DESCRIPTION:** LOT 1,2,3, BLK 4, JACKSON  
**ZONE DISTRICT:** DC, DOWNTOWN CORE  
**HEIGHT LIMIT:** 46' FOR 5/12 OR STEEPER;  
42' FOR LESS THAN 5/12  
**LOT SIZE:** 20,908 ± SF (0.48ACRES ±)  
**OCCUPANCY CLASSIFICATION:** R-1, A-2, A-3, B, S-2 MIXED USE  
**BUILDING TYPE:** TYPE VA, 1 HR, SEE CODE SHEETS  
**FIRE SPRINKLER:** NFPA 13

**FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS):**  
1 HOUR, STRUCTURE, SEE CODE SHEETS

**SETBACKS**  
SIDE: 5' PRIMARY: 0' or 5'-0" SEE SITE PLAN  
REAR: 5'-0" RANGE FROM PEDESTRIAN FRONTAGE SETBACK SEE SITE PLAN  
0' or 5'-0" SEE SITE PLAN  
**INSULATION REQUIREMENTS**  
PER 2012/2015 IECC  
TETON COUNTY : CLIMATE ZONE 7  
MAXIMUM GLAZING U-FACTOR: 0.37 OPERABLE / 0.29 FIXED  
MIN. CEILING R-VALUE: R-49 OR R-35ci  
MIN. WALL R-VALUE: R-13 & R-7.5ci OR R-20 & R-3.8ci  
MIN. FLOOR R-VALUE: R-30  
MIN. BASEMENT WALL R-VALUE: R10ci  
MIN. SLAB PERIMETER R-VALUE: R-15, 24" BELOW  
MIN. CRAWL SPACE WALL R-VALUE: R-10ci

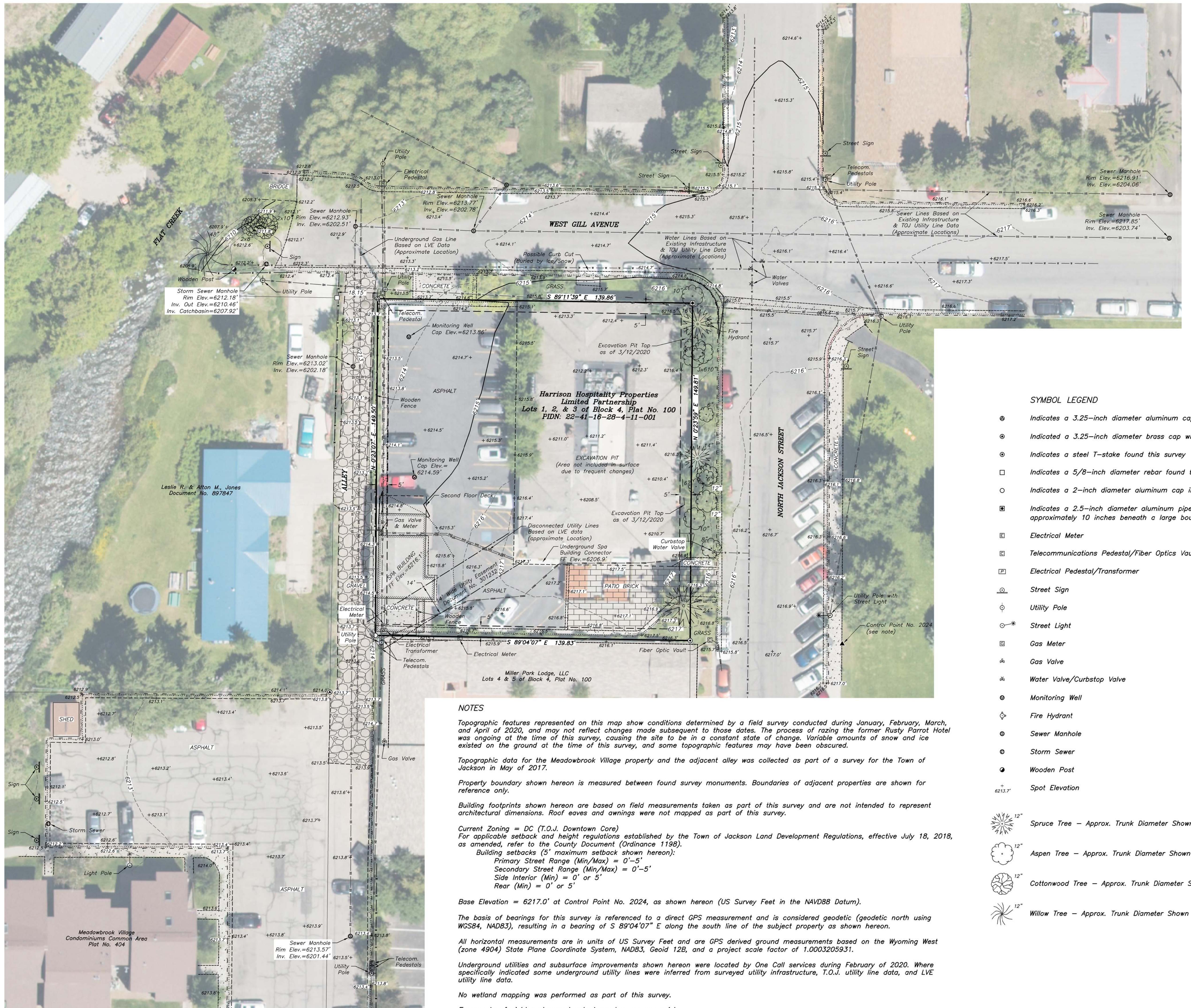
**RUSTY PARROT LODGE**  
175 N. JACKSON ST.  
JACKSON, WY 83001

**PROJECT NO:**  
22007

**SHEET TITLE:**  
COVER

**SCALE:** 12" = 1'-0"

**A0.1**

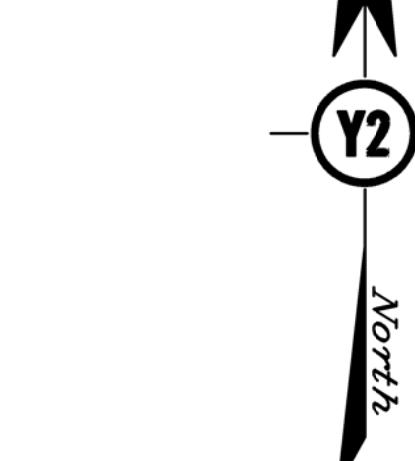


## LINELINE WORK LEGEND

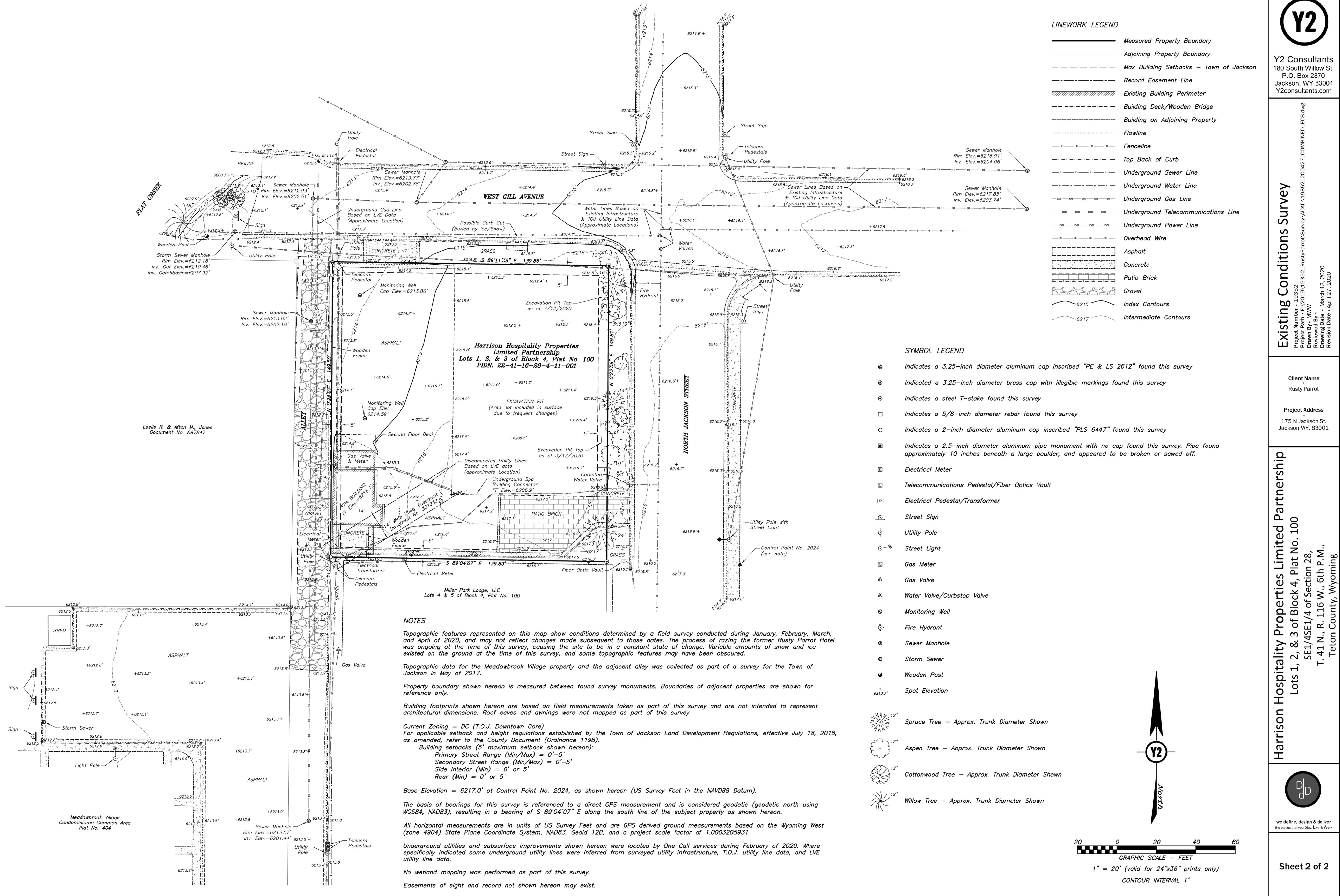
- Measured Property Boundary
- Adjoining Property Boundary
- Max Building Setbacks – Town of Jackson
- Record Easement Line
- Existing Building Perimeter
- Building Deck/Wooden Bridge
- Building on Adjoining Property
- Flowline
- Fenceline
- Top Back of Curb
- Underground Sewer Line
- Underground Water Line
- Underground Gas Line
- Underground Telecommunications Line
- Underground Power Line
- Overhead Wire
- Asphalt
- Concrete
- Patio Brick
- Gravel
- Index Contours
- Intermediate Contours

## SYMBOL LEGEND

- Ⓐ Indicates a 3.25-inch diameter aluminum cap inscribed "PE & LS 2612" found this survey
- Ⓑ Indicates a 3.25-inch diameter brass cap with illegible markings found this survey
- Ⓒ Indicates a steel T-stake found this survey
- Ⓓ Indicates a 5/8-inch diameter rebar found this survey
- Ⓔ Indicates a 2-inch diameter aluminum cap inscribed "PLS 6447" found this survey
- Ⓕ Indicates a 2.5-inch diameter aluminum pipe monument with no cap found this survey. Pipe found approximately 10 inches beneath a large boulder, and appeared to be broken or sawed off.
- Ⓖ Electrical Meter
- Ⓗ Telecommunications Pedestal/Fiber Optics Vault
- Ⓣ Electrical Pedestal/Transformer
- Ⓢ Street Sign
- Ⓣ Utility Pole
- Ⓐ Street Light
- Ⓖ Gas Meter
- Ⓐ Gas Valve
- Ⓐ Water Valve/Curbstop Valve
- Ⓜ Monitoring Well
- ⓐ Fire Hydrant
- ⓐ Sewer Manhole
- ⓐ Storm Sewer
- ⓐ Wooden Post
- ⊕ Spot Elevation
- Ⓐ Spruce Tree – Approx. Trunk Diameter Shown
- Ⓐ Aspen Tree – Approx. Trunk Diameter Shown
- Ⓐ Cottonwood Tree – Approx. Trunk Diameter Shown
- Ⓐ Willow Tree – Approx. Trunk Diameter Shown



20 0 20 40 60  
GRAPHIC SCALE – FEET  
1" = 20' (valid for 24"x36" prints only)  
CONTOUR INTERVAL 1'



## SURVEY NOTES

- TOPOGRAPHIC FEATURES REPRESENTED ON THIS MAP SHOW CONDITIONS DETERMINED BY A FIELD SURVEY CONDUCTED DURING JANUARY, FEBRUARY, MARCH, AND APRIL OF 2020, AND MAY NOT REFLECT CHANGES MADE SUBSEQUENT TO THOSE DATES. THE PROCESS OF RAZING THE FORMER RUSTY PARROT HOTEL WAS ONGOING AT THE TIME OF THIS SURVEY, CAUSING THE SITE TO BE IN A CONSTANT STATE OF CHANGE. VARIABLE AMOUNTS OF SNOW AND ICE EXISTED ON THE GROUND AT THE TIME OF THIS SURVEY, AND SOME TOPOGRAPHIC FEATURES MAY HAVE BEEN OBSCURED.
- TOPOGRAPHIC DATA FOR THE MEADOWBROOK VILLAGE PROPERTY AND THE ADJACENT ALLEY WAS COLLECTED AS PART OF A SURVEY FOR THE TOWN OF JACKSON IN MAY OF 2017.
- PROPERTY BOUNDARY SHOWN HEREON IS MEASURED BETWEEN FOUND SURVEY MONUMENTS. BOUNDARIES OF ADJACENT PROPERTIES ARE SHOWN FOR REFERENCE ONLY.
- BUILDING FOOTPRINTS SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS TAKEN AS PART OF THIS SURVEY AND ARE NOT INTENDED TO REPRESENT ARCHITECTURAL DIMENSIONS. ROOF EAVES AND AWNINGS WERE NOT MAPPED AS PART OF THIS SURVEY.
- CURRENT ZONING = DC (T.O.J. DOWNTOWN CORE)
- FOR APPLICABLE SETBACK AND HEIGHT REGULATIONS ESTABLISHED BY THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS, EFFECTIVE JULY 18, 2018, AS AMENDED, REFER TO THE COUNTY DOCUMENT (ORDINANCE 1198).
- BUILDING SETBACKS (5' MAXIMUM SETBACK SHOWN HEREON):
  - PRIMARY STREET RANGE (MIN/MAX) = 0'-5'
  - SECONDARY STREET RANGE (MIN/MAX) = 0'-5'
  - SIDE INTERIOR (MIN) = 0' OR 5'
  - REAR (MIN) = 0' OR 5'
- BASE ELEVATION = 6217.0' AT CONTROL POINT NO. 2024, AS SHOWN HEREON (US SURVEY FEET IN THE NAVD88 DATUM).
- THE BASIS OF BEARINGS FOR THIS SURVEY IS REFERENCED TO A DIRECT GPS MEASUREMENT AND IS CONSIDERED GEODETIC (GEODETIC NORTH USING WGS84, NAD83), RESULTING IN A BEARING OF S 89°0'07" E ALONG THE SOUTH LINE OF THE SUBJECT PROPERTY AS SHOWN HEREON.
- ALL HORIZONTAL MEASUREMENTS ARE IN UNITS OF US SURVEY FEET AND ARE GPS DERIVED GROUND MEASUREMENTS BASED ON THE WYOMING WEST (ZONE 4904) STATE PLANE COORDINATE SYSTEM, NAD83, GEOID 12B, AND A PROJECT SCALE FACTOR OF 1.0003205931.
- UNDERGROUND UTILITIES AND SUBSURFACE IMPROVEMENTS SHOWN HEREON WERE LOCATED BY ONE CALL SERVICES DURING FEBRUARY OF 2020, WHERE SPECIFICALLY INDICATED SOME UNDERGROUND UTILITY LINES WERE INFERRED FROM SURVEYED UTILITY INFRASTRUCTURE, T.O.J. UTILITY LINE DATA, AND LVE UTILITY LINE DATA.
- NO WETLAND MAPPING WAS PERFORMED AS PART OF THIS SURVEY.
- EASEMENTS OF SIGHT AND RECORD NOT SHOWN HEREON MAY EXIST.

## DEVELOPMENT PLAN NARRATIVE

This narrative supplements the Development Plan Application narrative with sections specific to the Civil Engineering plans and relevant sections of the TOJ LDRs.

### Excavation and Shoring

Excavation will take place within the property boundaries in accordance with TOJ LDRs Section 5.7.2.B.8. *Cut and Fill within Site Boundaries*, except for re-grading of adjacent streetscapes in the ROW, and trenching for utilities. Construction barriers and/or fencing will surround the project during construction in order to protect pedestrians and restrict access.

In accordance with TOJ LDR Section 5.7.2.B.10 *Cut and Fill Slopes*, all cut and fill slopes will be graded at 2:1 or shallower, except where permanent and temporary retaining walls are proposed. Retaining walls greater than 4 ft in height will be designed by a Wyoming PE per 5.7.2.B.3.

Construction of the basement level will require vertical excavation at or near the property boundary. This will be accomplished using one of several potential soil stabilization methods to be later determined and specified in detail by the General Contractor in a shoring plan. The shoring plan will be prepared by a team that includes the project Geotechnical Engineer, Civil Engineer, Architect, and Shoring Contractor. The final documents will be provided as part of the Construction Management Plan and submitted with the Building Permit application.

Shoring techniques can include both vertical and horizontal components. Horizontal shoring components have the potential to extend across the property boundary and into the subsurface of adjacent lands. Where potential conflicts with utilities exist the shoring design will use a combination vertical and horizontal system to avoid those conflicts. The combination system employs vertical elements at upper elevations in order to avoid major encroachment beyond the property boundary. As shoring is constructed and excavation deepens below the depth of the utilities other shoring designs with horizontal elements that encroach into the ROW may be implemented. These horizontal components would be sufficiently deep to avoid utility conflicts and would be designed such that they would not destabilize the foundation/bedding materials for those utilities.

In accordance with TOJ LDR Section 5.7.2.B.8. *Cut and Fill within Site Boundaries*; shoring components will remain within the property boundary, or an easement and/or encroachment agreement will be sought. Shoring elements that are temporary will be abandoned in place as the basement foundation and walls are constructed and replace the shoring as the structural building support and provide stabilization of the surrounding soils. The abandoned shoring elements would not be of concern for subsequent excavations on adjacent projects, particularly those related to typical work occurring in the ROW including street grading and maintenance, and utility installation, maintenance or replacement, but could be altered removed if necessary.

### Dewatering

Should dewatering become necessary during construction it will comply with section 5.7.4.B. *Design Criteria, Standards, and Specifications for Erosion Control Measures*. All necessary State permitting and discharge requirements will be met. Method and location of discharge will be determined once dewatering is determined to be necessary, and would be coordinated with TOJ Public Works.

## DESIGN NOTES

### Water and Sewer Demand

Water demand was calculated using the original Hunter's Curve and water fixture unit counts:

Appurtenance	Private or Public	Quantity	WFSU
Shower (per head)	Private	44	61.6
Bathtub or Bath/Shower	Private	42	168.0
Lavatory	Public	15	30.0
Lavatory	Private	81	81.0
Clothes Washer (Res.)	Public	3	18.0
Water Closet (flush valve)	Public	9	90.0
Water Closet (flush tank)	Private	41	90.2
Dishwasher (Comm.)	Public	1	15.0
Sink-Service/Mop	Public	2	6.0
Sink-Bar	Public	3	9.0
Sink-Laundry	Public	1	1.5
Urinal (flush tank)	Public	3	9.0
Sink-Kitchen	Private	11	16.5

Total WFSU = 596. Total peak hourly flow rate per Hunter's Curve = 170 gpm.

Irrigation demand = 30 gpm

Total peak, hourly water demand = 200 gpm

Total, average, hourly water demand = 100 gpm (assume peaking factor of 2).

Maximum daily water demand = 24,480 gpd (assume peaking factor of 10 per Georgia Environmental Protection Division's Minimum Standards for Public Water Systems).

Sewer flows were calculated according to WYDEQ Rules & Regulations:

40 "motel" bedrooms at 140 gpd each	= 5,600 gpd
3 laundry machines at 450 gpd each	= 1,350 gpd
145 meals per day at 10 gpd each	= 1,450 gpd
45 staff at 15 gpd each	= 675 gpd
	Total flow rate = 9,075 gpd

Stormwater System and Alley Grading

During the Dev. Plan pre-application conference the Applicant and their Agents discussed options for the Rusty Parrot stormwater management plan with TOJ staff. The option considered with TOJ Engineering was design of the terminus of a potential future TOJ stormwater system buildout to which the Rusty Parrot will connect. The stormwater system will discharge to Flat Creek via a treatment system installed at the West end of Gill Avenue.

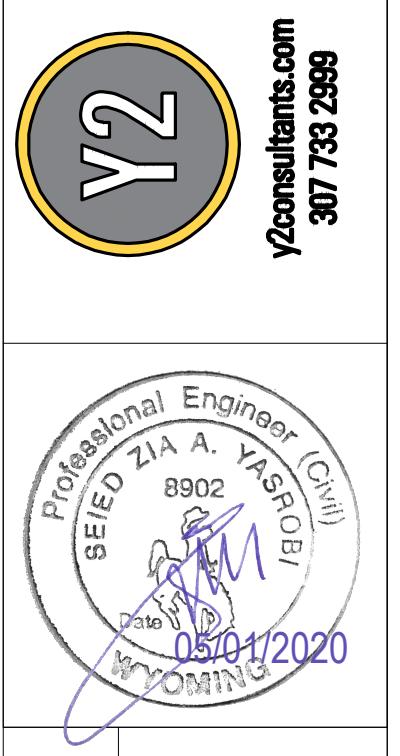
Included in these plans and as part of this application is a proposed design for said system. It has been designed to accommodate buildout of a larger TOJ stormwater system (final pipe sizing to be determined with TOJ) to the east in Gill Avenue, to the south in Jackson Street, and to the south in the Alley. This has been accomplished in the following manners:

- Match Flat Creek discharge invert elevation to existing discharge pipe.
- Maintain minimum pipe slope for pipe size in accordance with WYDEQ Rules. (Pipe size has been approximated due to lack of data on total flows) except where potential utility conflicts exist.
- Generate conceptual grading and stormwater piping plans for the Alley – provided as the last sheet in this plan set "Feasibility Grading – Alley P&P" – that illustrate how the Alley could be regraded, and stormwater piping installed, to correct existing drainage problem.

The applicant proposes this design as an optimal solution for both the applicant and TOJ. As the stormwater infrastructure in the ROW is proposed as a future TOJ system the final design and construction will occur in close cooperation with TOJ Public Works. However, the applicant proposes this solution under the assumption that TOJ will participate in cost-sharing for this infrastructure and the cost sharing on the part of the TOJ should be commensurate with the significant benefit it provides to the overall TOJ infrastructure. The alternative is for the applicant to propose a stormwater collection system that only serves the project thereby missing out on the opportunity to resolve the broader drainage problems within the neighborhood.

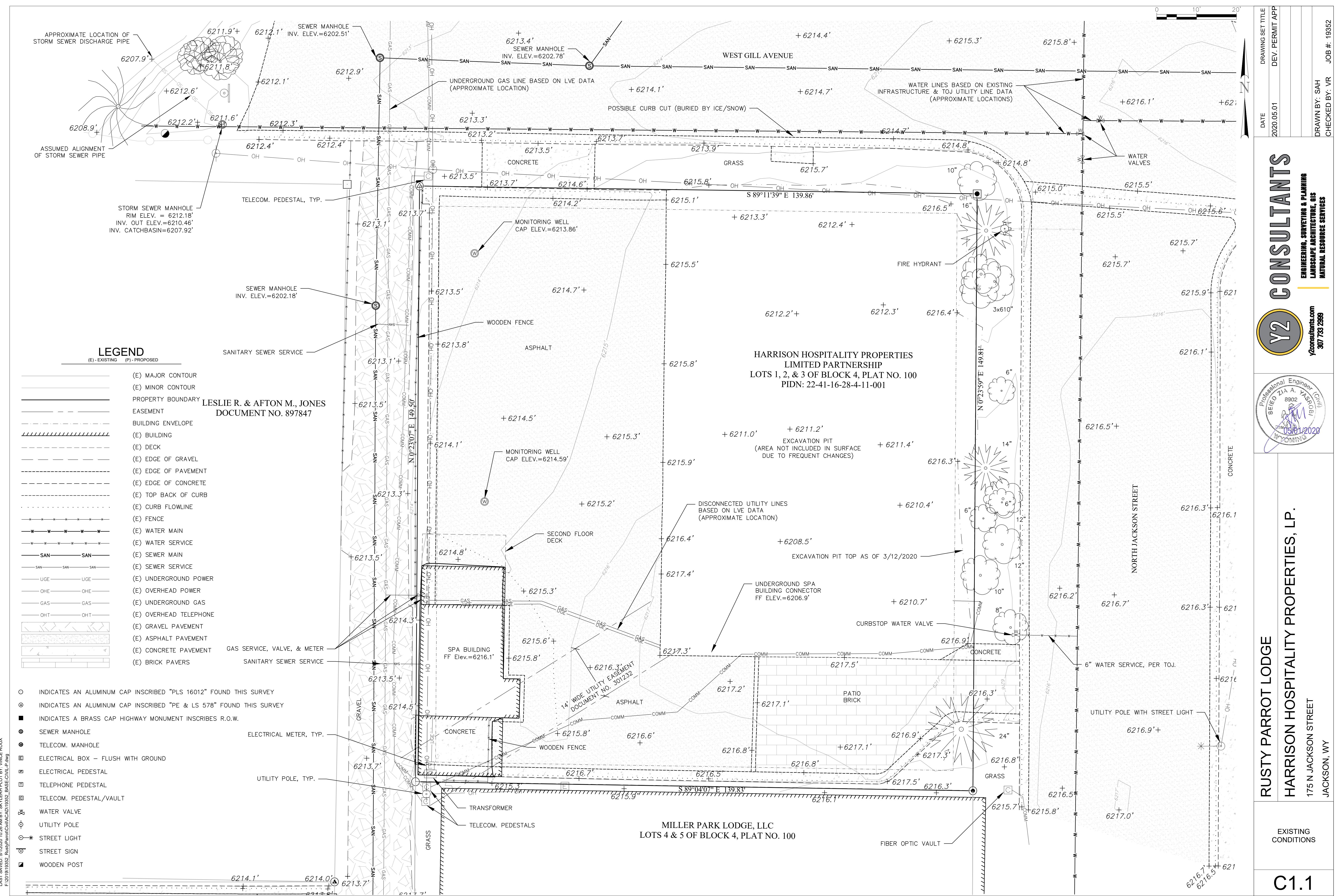
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DRAWN BY:	SAH	CHECKED BY:	VR
JOB #: 19352			

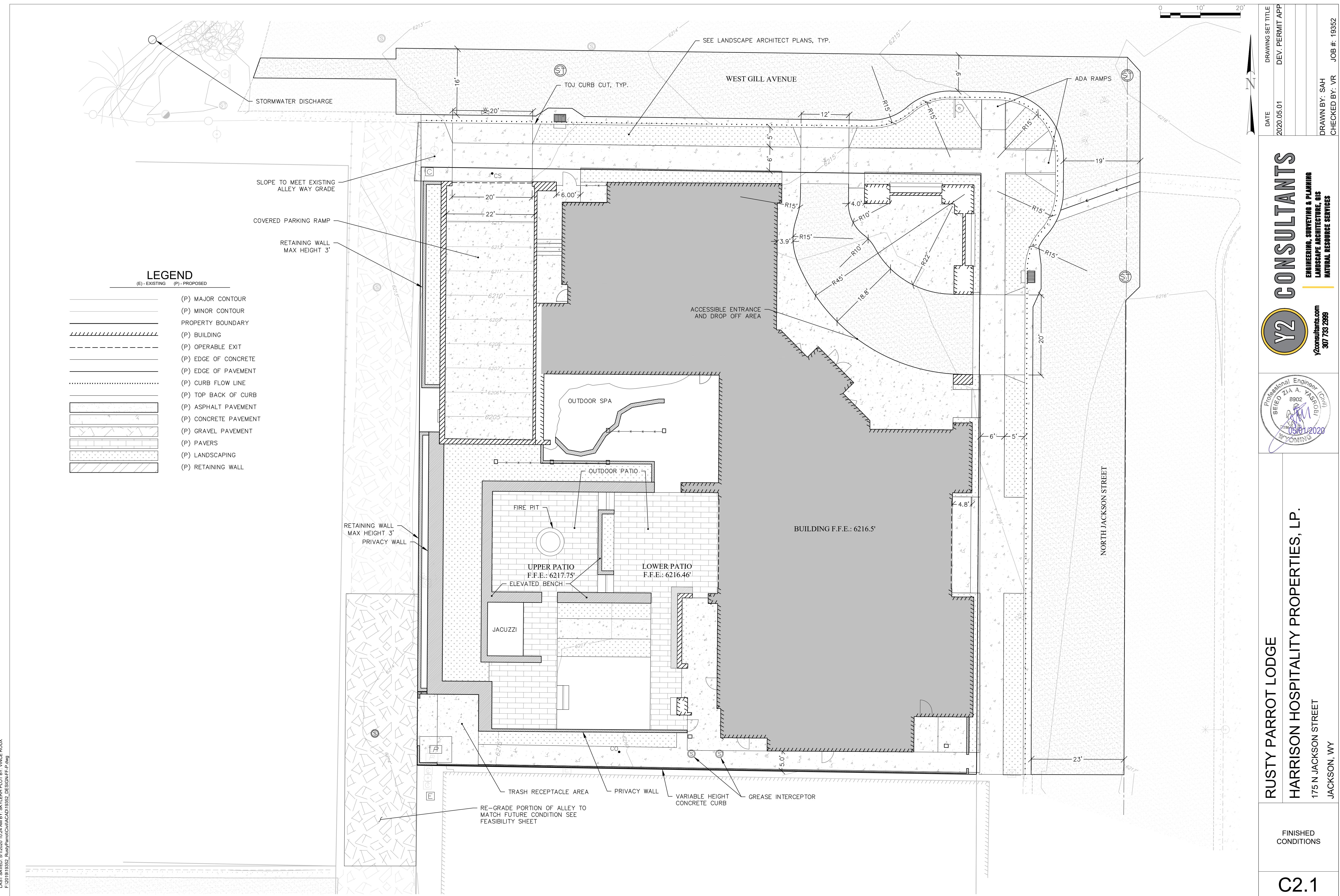
**CONSULTANTS**  
ENGINEERING, SURVEYING & PLANNING  
LANDSCAPE ARCHITECTURE, GIS  
NATURAL RESOURCE SERVICES

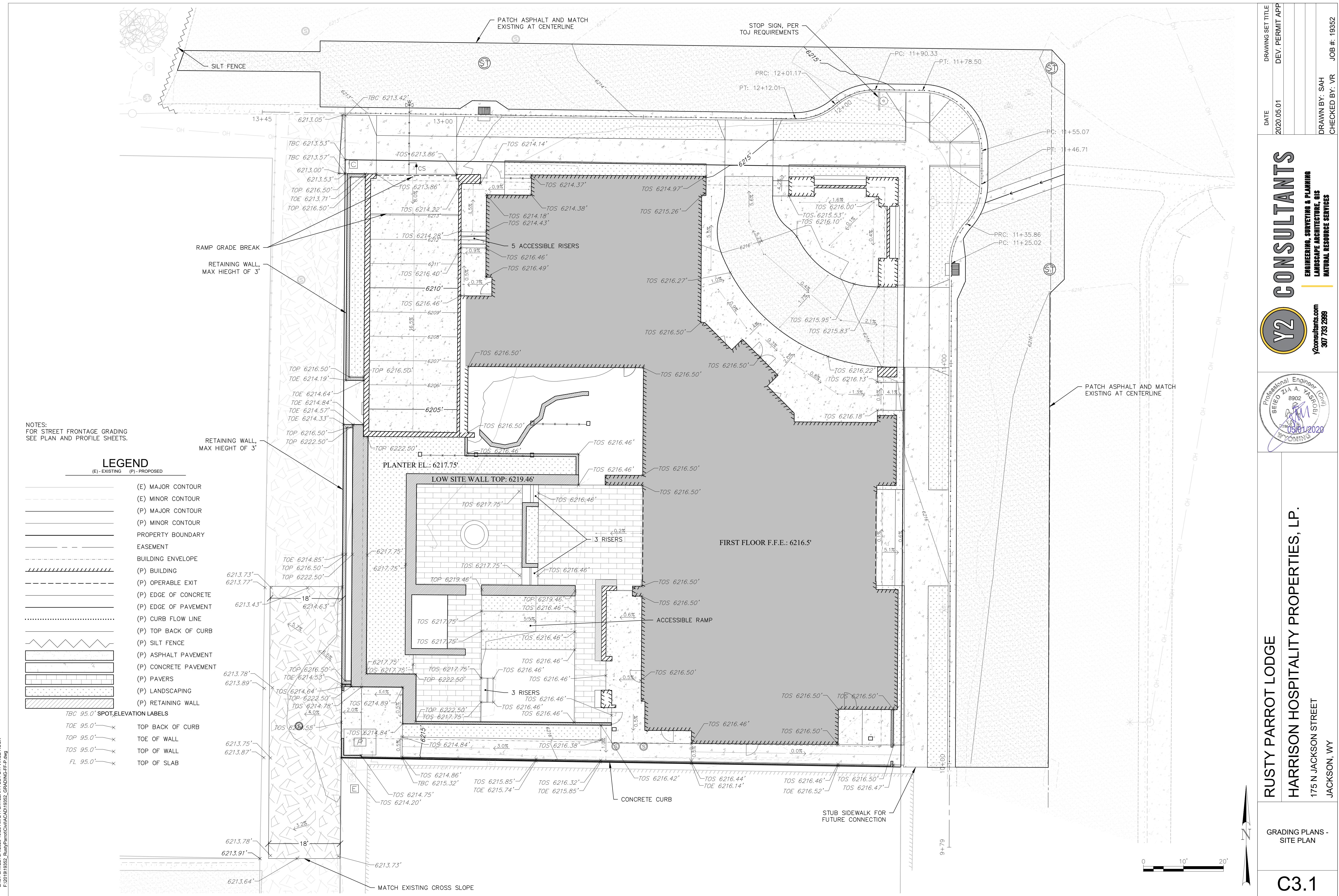


**RUSTY PARROT LODGE**  
**HARRISON HOSPITALITY PROPERTIES, LP.**  
175 N JACKSON STREET  
JACKSON, WY

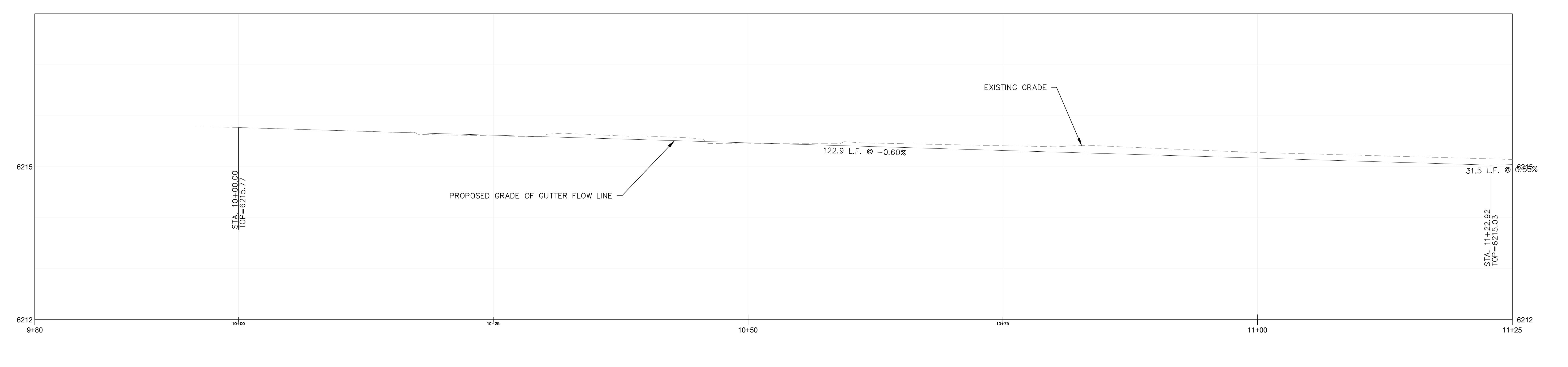
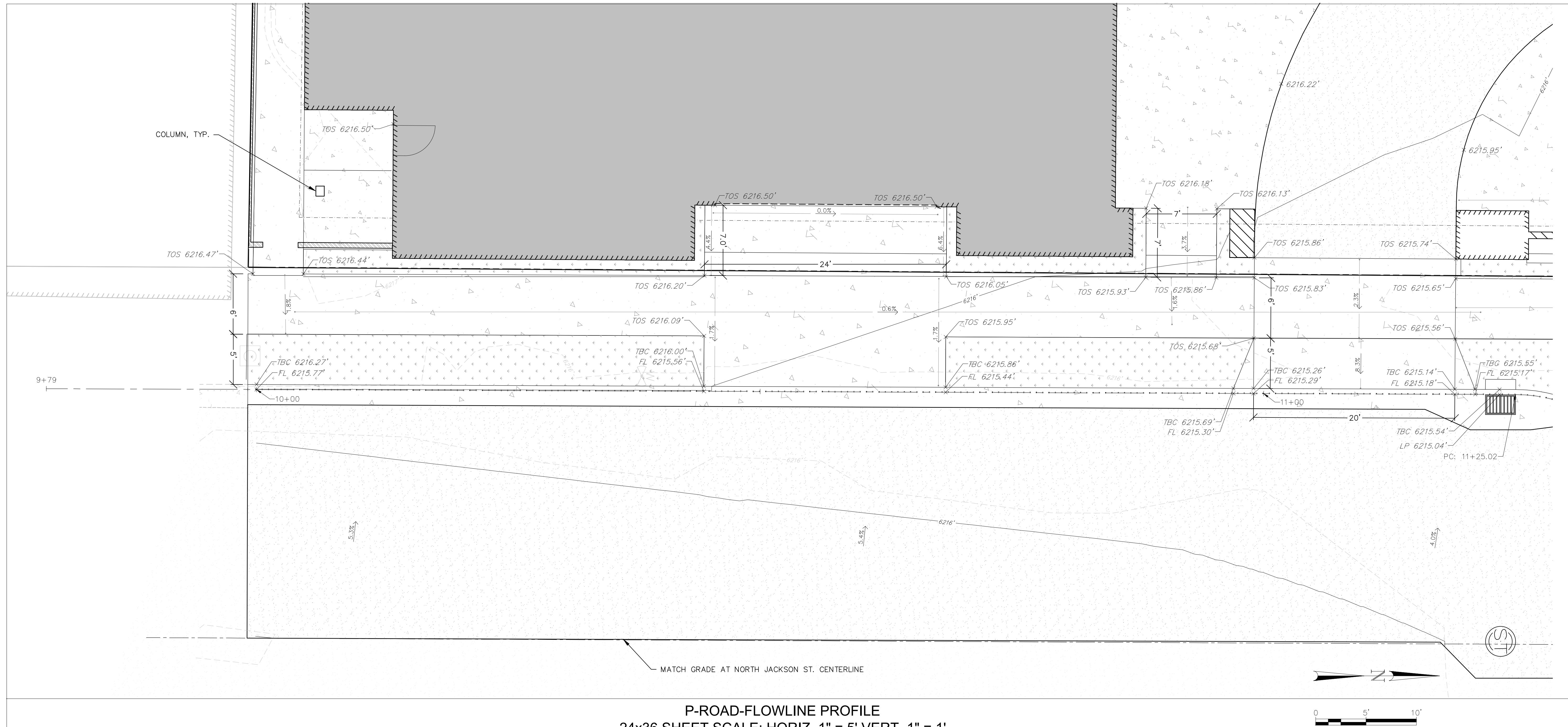
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C0.1











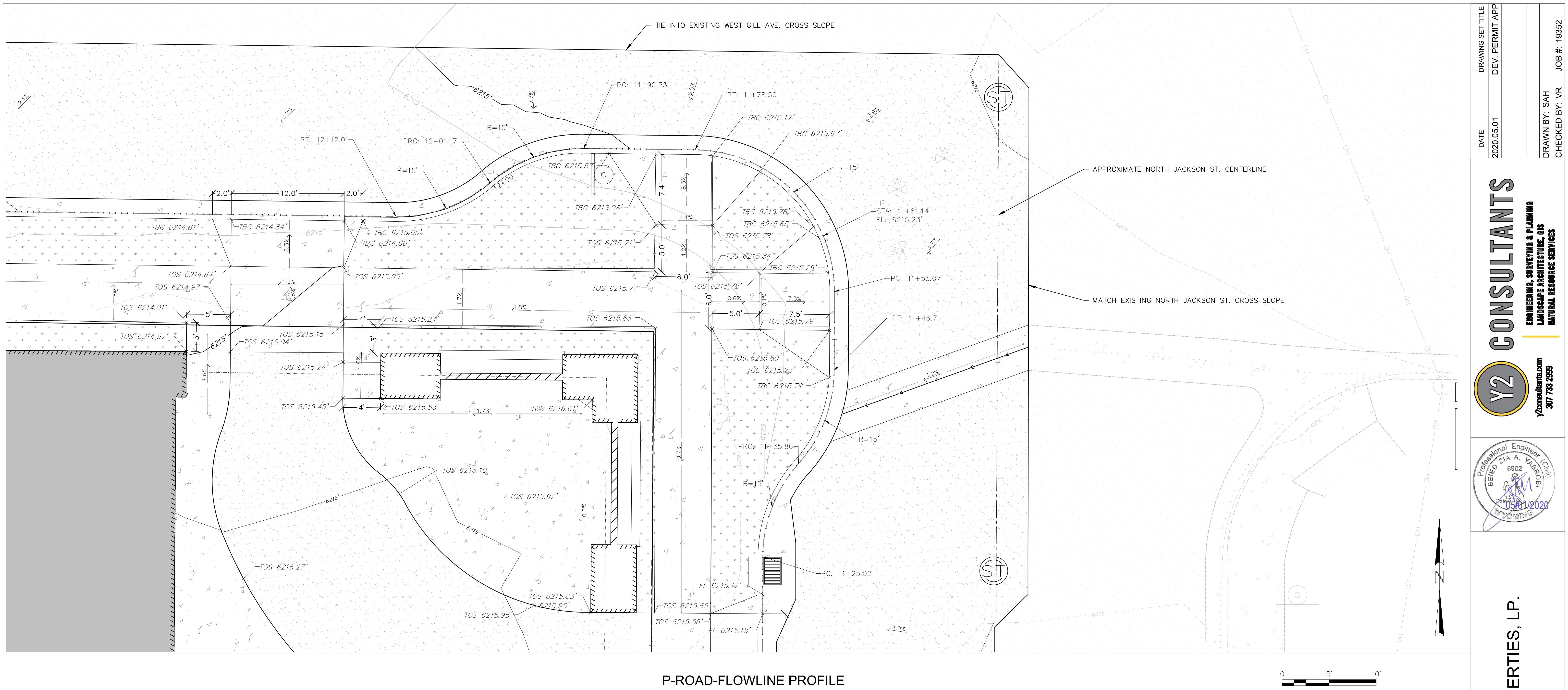
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<b>CONSULTANTS</b>		<b>ENGINEERING, SURVEYING &amp; PLANNING</b>
		<b>LANDSCAPE ARCHITECTURE, GIS</b>
		<b>NATURAL RESOURCE SERVICES</b>
 <a href="http://y2consultants.com">y2consultants.com</a> <b>307 733 2999</b>		
 <i>05/01/2020</i>		
DATE	DRAWING SET TITLE	DEV. PERMIT APP
2020.05.01		
		DRAWN BY: SAH
		CHECKED BY: VR
		JOB #: 19352

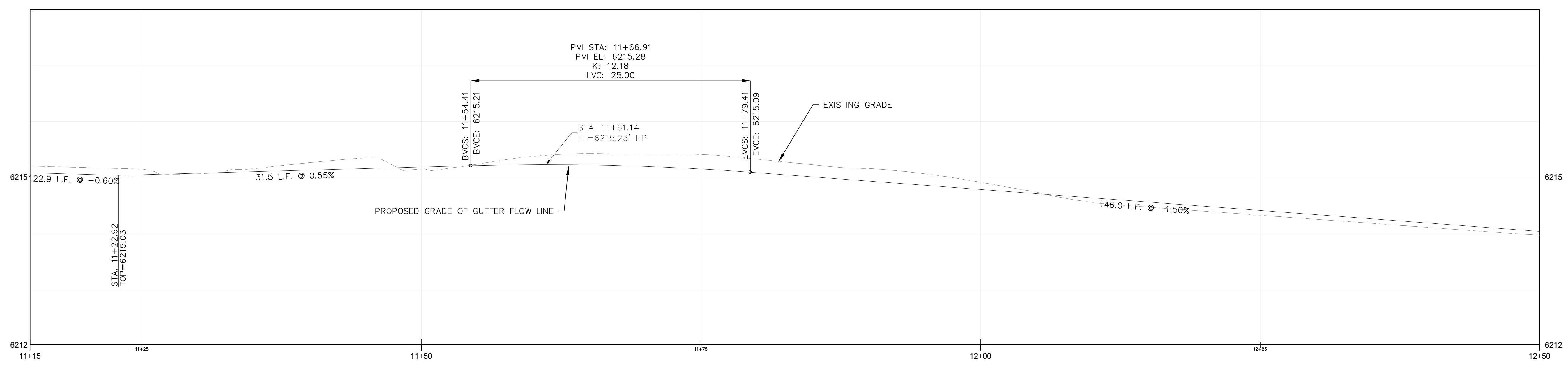
RUSTY PARROT LODGE  
HARRISON HOSPITALITY PROPERTIES, LP.  
75 N JACKSON STREET  
JACKSON, WY

## GRADING PLANS - CURB & GUTTER P&P

### C3.3



**P-ROAD-FLOWLINE PROFILE**  
24x36 SHEET SCALE: HORIZ. 1" = 5' VERT. 1" = 1'  
START STA: 11+15.00, END STA: 12+50.00



**RUSTY PARROT LODGE**

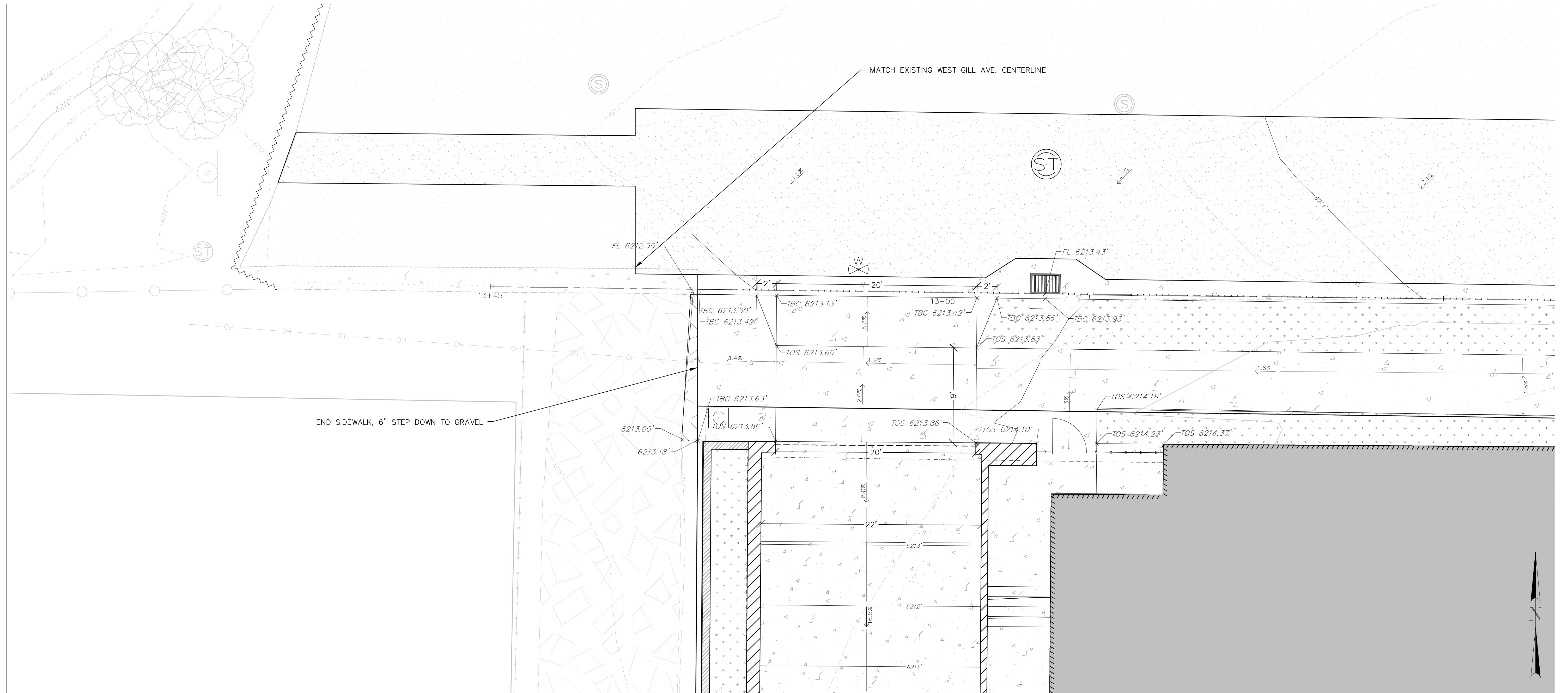
---

**HARRISON HOSPITALITY PROPERTIES, LP.**

## TRADING PLANS - TB & GUTTER P&P

## C3.4

LAST SAVED: 5/1/2020 10:19 AM BY: JACOBG PLOT BY: VINCE ROUX  
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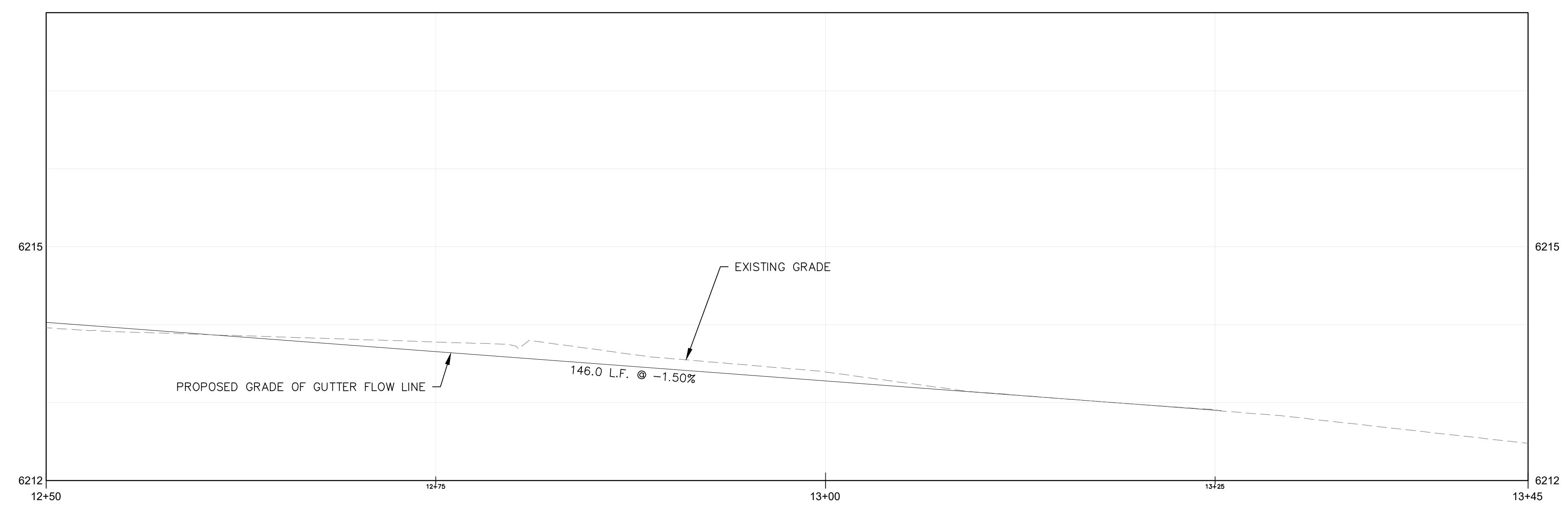


## P-ROAD-FLOWLINE PROFILE

24x36 SHEET SCALE: HORIZ. 1" = 5' VERT. 1" = 1'

START STA: 12+50.00, END STA: 13+45.08

A diagram of a DNA double helix segment. The 5' end is at the top and the 10' end is at the bottom. The DNA is represented by a black and white striped pattern.



LAST SAVED: 5/1/2020 10:19 AM BY: JACOBG PLOT BY: VINCE ROUX  
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**RUSTY PARROT LODGE**

**HARRISON HOSPITALITY PROPERTIES, LP.**

1175 N JACKSON STREET

# RUSTY PARROT LODGE

# HARRISON HOS 1175 N JACKSON STREET

C3.5

DATE  
2020 05 0

B E V E R Y D A Y

DRAWING SET TITL DEV PERMIT AP

111

3

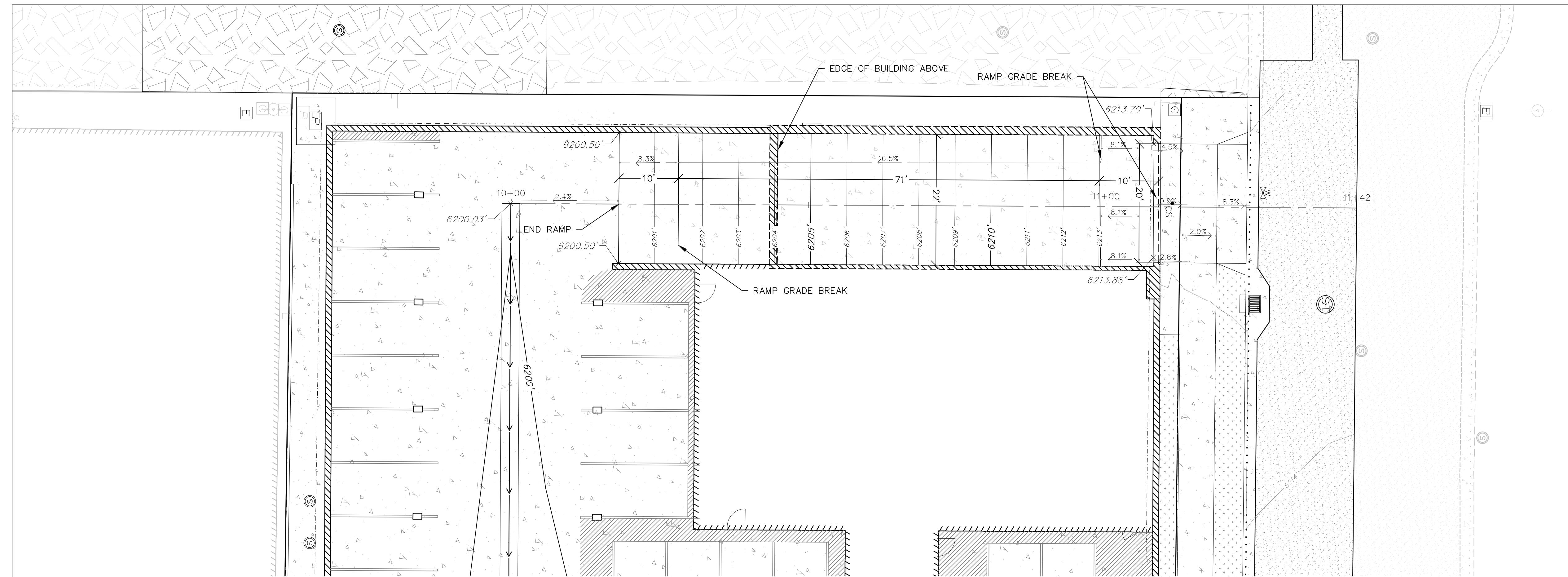
200

A circular logo with the word "Professional" at the top and "SE/ED" in the center, with a blue swoosh underneath.

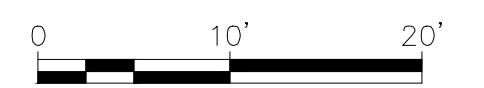
A circular state engineer's seal for Wyoming. The outer ring contains the text 'State of Wyoming' at the top and 'Engineers' at the bottom. The center features a map of Wyoming with a plow, a sheaf of wheat, and a pick. The text 'WYOMING' is at the bottom of the map. Overlaid on the seal is a handwritten signature in blue ink that appears to read 'ZIA A. YASH' and a blue ink stamp that reads '05/01/20'.

1

## C3.5



P-RAMP PROFILE  
24x36 SHEET SCALE: HORIZ. 1" = 10' VERT. 1" = 2'  
START STA: 10+00.00, END STA: 11+42.17



RUSTY PARROT LODGE  
HARRISON HOSPITALITY PROPERTIES, LP.  
175 N JACKSON STREET  
JACKSON, WY

GRADING PLANS -  
RAMP P&P

C3.6

LAST SAVED: 5/1/2020 10:50 AM BY: SKYLER PLOT BY: VINCE ROUX  
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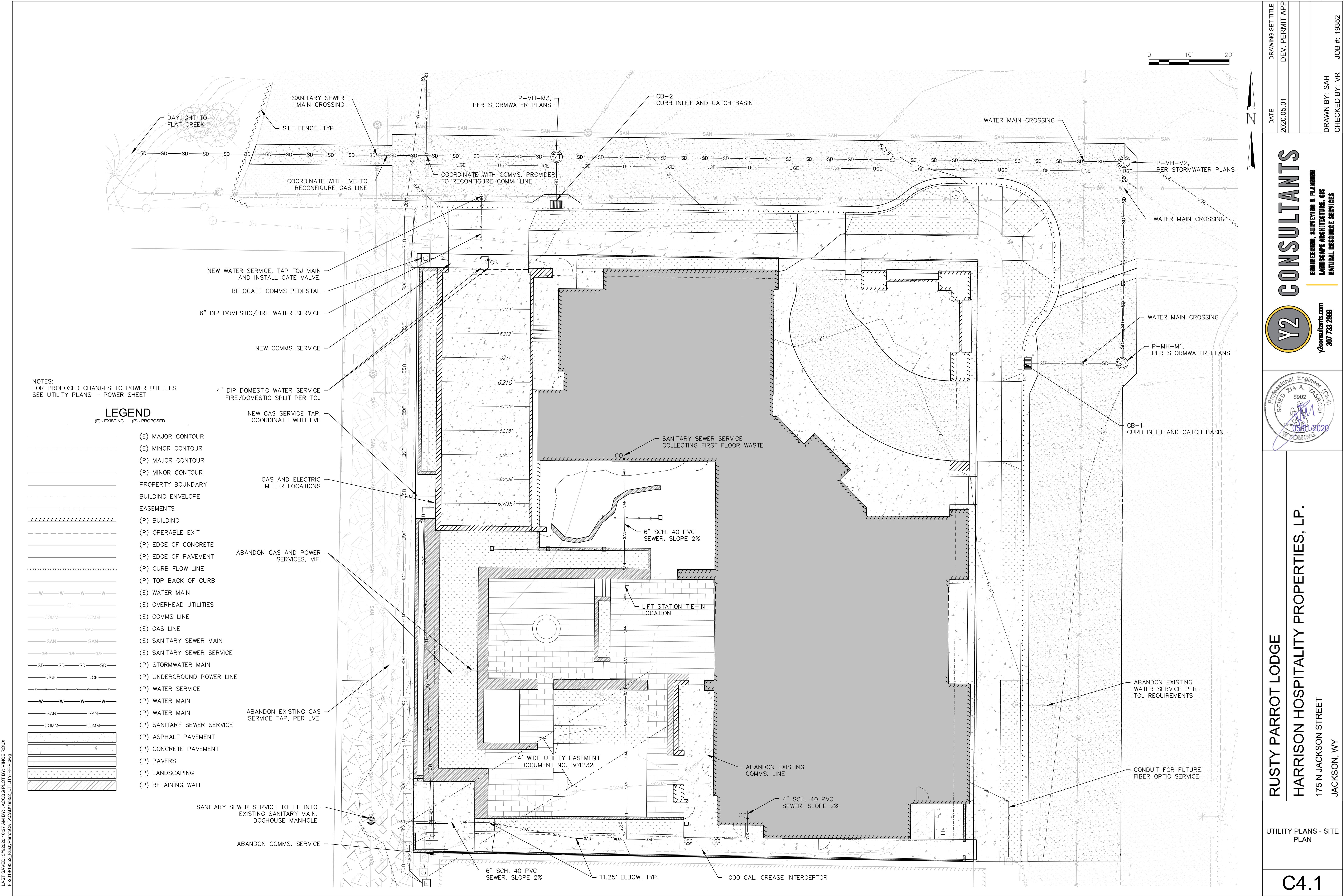
DATE 2020.05.01 DRAWING SET TITLE DEV. PERMIT APP

DRAWN BY: SAH CHECKED BY: VR JOB #: 19352

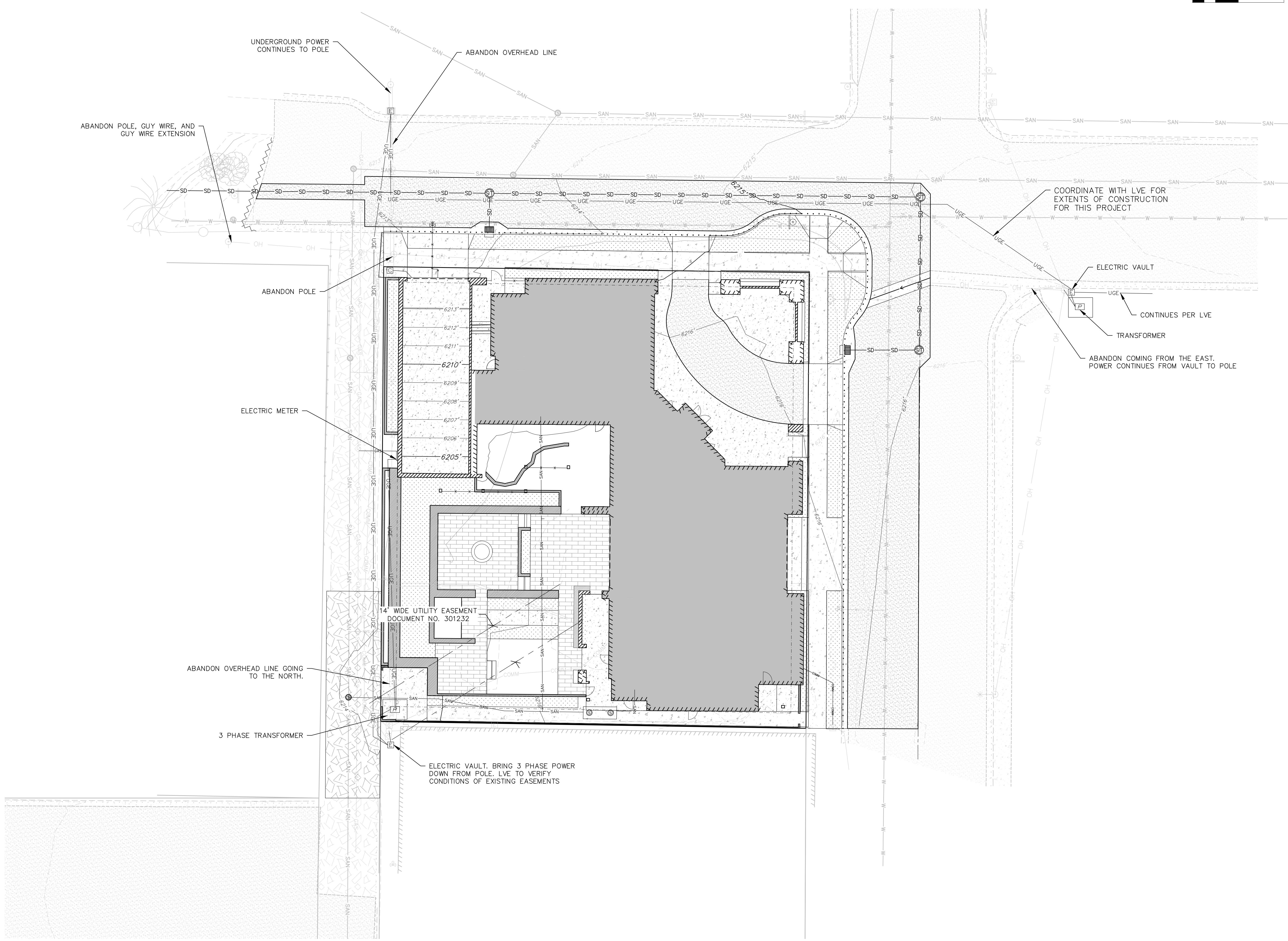
Y2 CONSULTANTS  
ENGINEERING, SURVEYING & PLANNING  
LANDSCAPE ARCHITECTURE, GIS  
NATURAL RESOURCE SERVICES

Y2consultants.com  
307.733.2588

Professional Engineer  
SERIAL # ZIA A. YASRO  
CONTRACTOR  
WYOMING  
05/01/2020



LAST SAVED: 5/1/2020 10:27 AM BY: JACOBG PLOT BY: VINCE ROUX  
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C4.2

**RUSTY PARROT LODGE**  
**HARRISON HOSPITALITY PROPERTIES, LP.**  
175 N JACKSON STREET

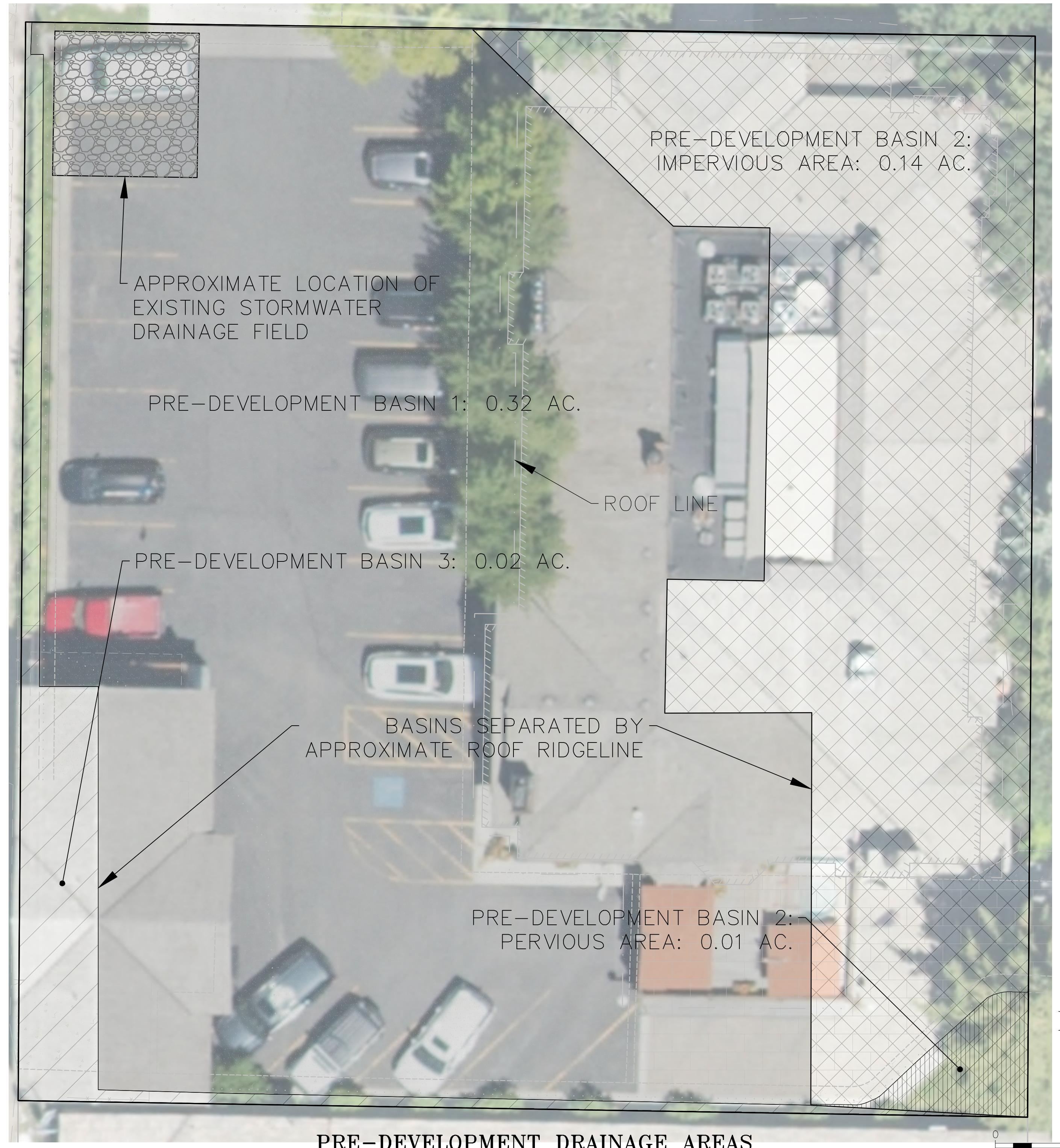
**Y2 CONSULTANTS**

ENGINEERING, SURVEYING & PLANNING  
LANDSCAPE ARCHITECTURE, GIS  
NATURAL RESOURCE SERVICES

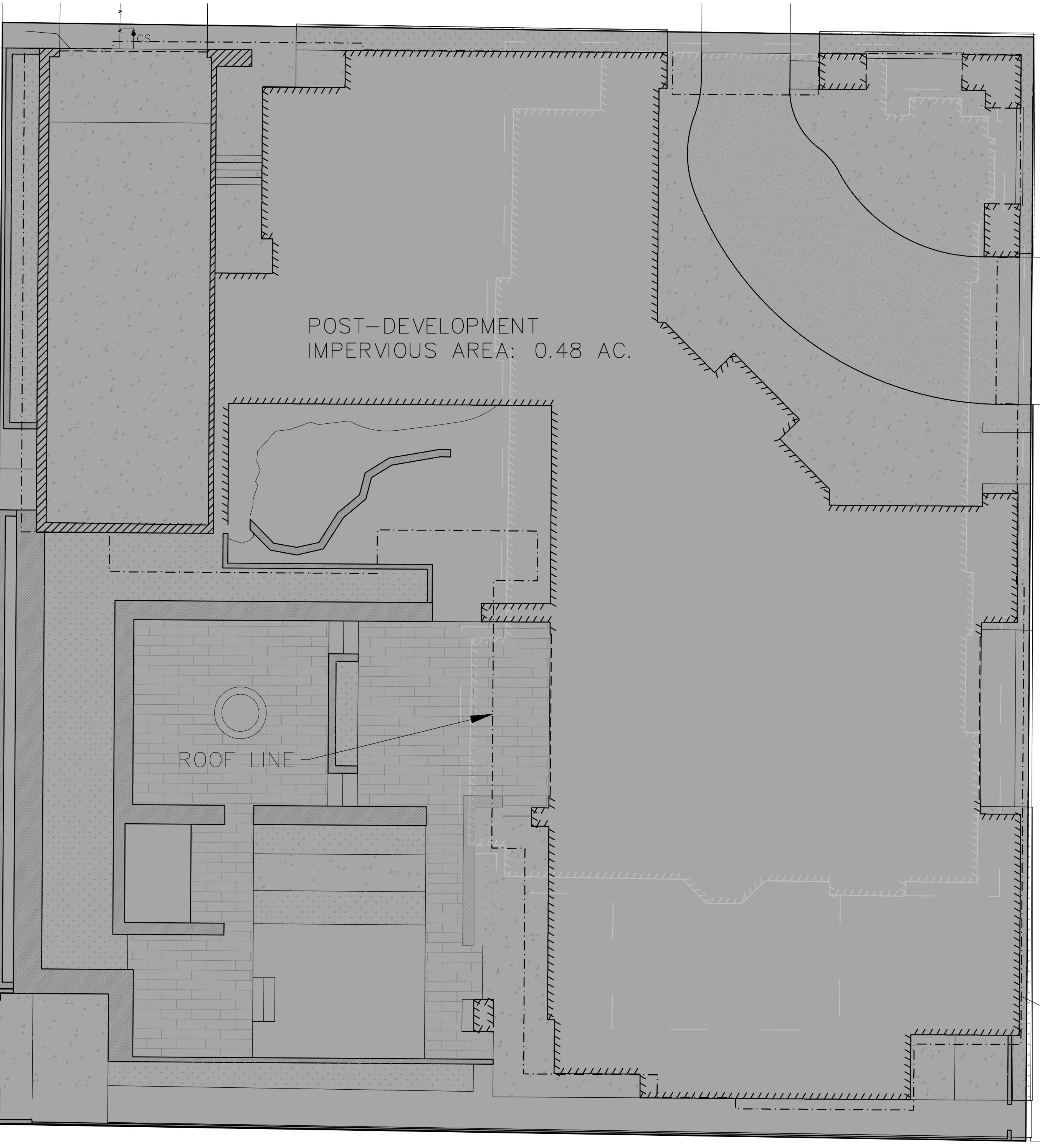
y2consultants.com  
307 733 2999

Professional Engineer  
SE/ED ZIA A. YASROBI (Civil)  
8902  
Date: 05/01/2020  
WYOMING





PRE-DEVELOPMENT DRAINAGE AREAS



POST-DEVELOPMENT DRAINAGE AREAS

## STORMWATER CALCULATIONS

### STORMWATER DEFINITIONS, ASSUMPTIONS, AND COEFFICIENTS

STORMWATER FLOWS CALCULATED USING RATIONAL METHOD

STORMWATER STORAGE VOLUMES CALCULATED USING MODIFIED RATIONAL METHOD

$C_f$  = RUNOFF COEFFICIENT ADJUSTMENT FACTOR = 1.25  
 COMPOSITE  $C$  = COMPOSITE RUNOFF COEFFICIENT  
 $T_c$  = TIME OF CONCENTRATION (MIN)  
 $T_d$  = DURATION (MIN)  
 $A$  = AREA OF LOT (ACRES)  
 $Q_{100}$  = FLOW RATE OF THE 100 YEAR STORM FOR TETON COUNTY  
 $Q_{PRE}$  = FLOW RATE OF PRE-DEVELOPMENT SITE CONDITIONS FOR 100 YEAR STORM  
 $V$  = VOLUME (CUBIC FEET)  
 $Q_{100}$  (CUBIC FEET/SECOND) =  $C_f \times C \times A$   
 WHERE  $T_d < T_c$ ,  $Q_{100} = Q \times (T_d/T_c)$   
 WHERE  $T_d > T_c$ ,  $Q_{100} = Q$   
 $Q_{PRE}$  (CUBIC FEET/SECOND) =  $Q_{PRE} = (Q_{100} - Q_{PRE}) \times (T_d - (Q_{PRE}/Q) \times T_c) \times 60(\text{SEC/MIN})$   
 WHERE  $Q_{100} < Q_{PRE}$ ,  $V = 0$   
 WHERE  $Q_{100} > Q_{PRE}$ ,  $V = (Q_{100} - Q_{PRE}) \times (T_d - (Q_{PRE}/Q) \times T_c) \times 60(\text{SEC/MIN})$

LAST SAVED: 5/1/2020 2:06 PM BY: VINCENT ROUX  
F:\2019\1932\RustyParrotChwaca\201932-STORMWATER.dwg

### PRE-DEVELOPMENT: BASIN 1

BASIN SIZE: 0.32 ACRES  
LENGTH OF TRAVEL: 180 LF  
SLOPE: 5%

Hardscape Area: 0.32 ACRES  $C = 0.9$

$T_c = 2.84$  MINUTES - USE 5 MINUTES

PER TETON COUNTY/TOJ LDRs, 100 YEAR STORM INTENSITY  
FOR 5 MINUTE DURATION = 3 INCH/HOUR

BASIN 1 DRAINAGE SHALL BE RETAINED ON SITE

AREA = 0.32 ACRES

$Qr = CIA = 1.069 \text{ CFS}$

### PRE-DEVELOPMENT: BASIN 2

BASIN SIZE: 0.14 ACRES  
LENGTH OF TRAVEL: 40 LF  
SLOPE: 20%

Hardscape Area: 0.13 ACRES  $C = 0.9$

Landscape Area: 0.01 ACRES  $C = 0.22$

Composite  $C = 0.87$

$T_c = 7.52$  MINUTES - USE 10 MINUTES

PER TETON COUNTY/TOJ LDRs, 100 YEAR STORM INTENSITY  
FOR 10 MINUTE DURATION = 2.33 INCH/HOUR

BASIN 2 DRAINAGE SHALL EXIT THE PROPERTY

AREA = 0.14 ACRES

$Qr = CIA = 0.357 \text{ CFS}$

### PRE-DEVELOPMENT: BASIN 3

BASIN SIZE: 0.02 ACRES  
LENGTH OF TRAVEL: 30 LF  
SLOPE: 10%

Lawn Area: 0.023 ACRES  $C = 0.35$

$T_{OF} = 5.88$  MINUTES - USE 10 MINUTES

PER TETON COUNTY/TOJ LDRs, 100 YEAR STORM INTENSITY  
FOR 10 MINUTE DURATION = 2.33 INCH/HOUR

BASIN 3 DRAINAGE SHALL EXIT THE PROPERTY

AREA = 0.023 ACRES

$Qr = CIA = 0.030 \text{ CFS}$

CUMULATIVE  $Qr = 0.357 + 0.030 = 0.387 \text{ CFS}$

FOR THE PURPOSES OF THIS DEVELOPMENT ANALYSIS, THE PROPOSED  
DEVELOPMENT WILL BE CONSIDERED AS ONE DRAINAGE BASIN:

IMPERVIOUS AREA: 0.48 ACRES

AREA TYPES: AREA (ACRES) C VALUE

PAVEMENT & ROOFS 0.48 0.9

BASIN SIZE: 0.48 ACRES

LENGTH OF TRAVEL: 60 LF

SLOPE: 20%

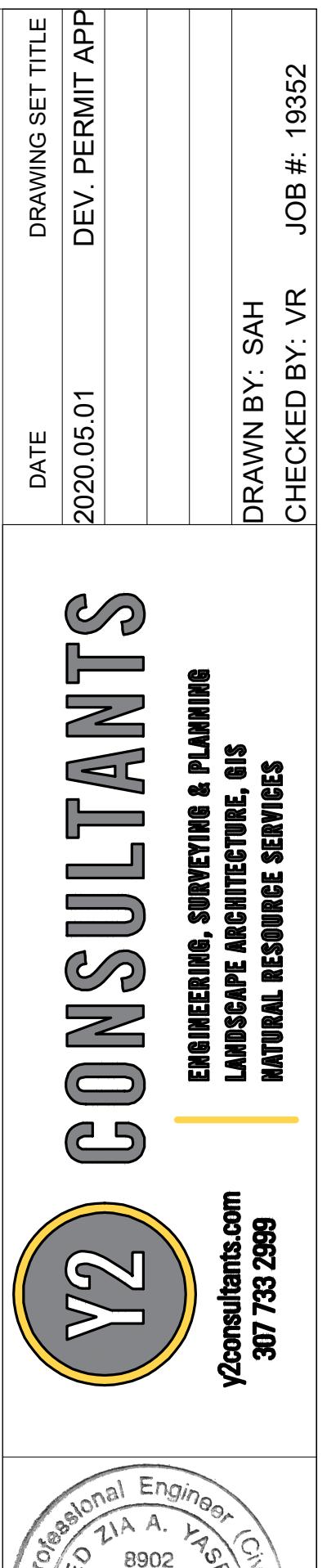
PRE-DEVELOPMENT FLOW RATE  $Qr = 0.496 \text{ CFS}$

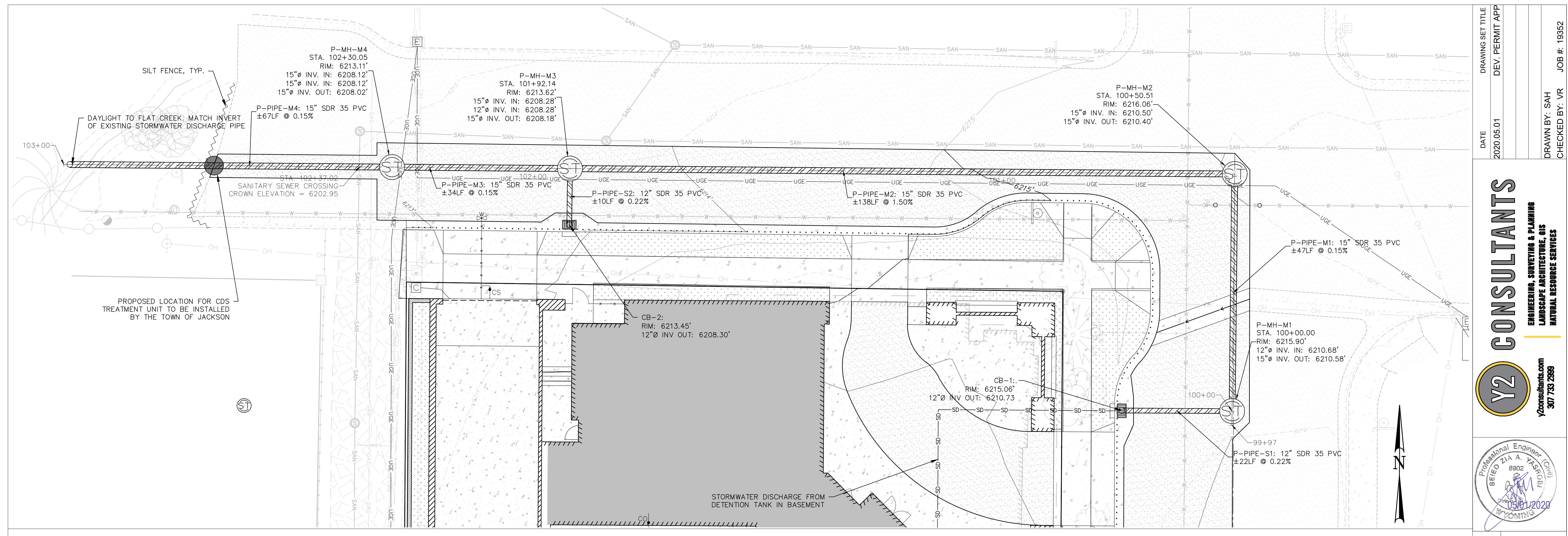
$T_d$ (DURATION, MINS)	I (INTENSITY, INCHES/HOUR)	Q (FLOW RATE, POST DEV., CFS)	MAX Q (CFS)	V (VOLUME, CF)
5.00	3.00	1.62	1.62	319.10
10.00	2.33	1.26	1.26	441.50
15.00	1.90	1.03	1.03	463.60
20.00	1.65	0.89	0.89	462.50
25.00	1.30	0.70	0.70	363.20
30.00	1.08	0.58	0.58	205.40

MAX STORAGE VOLUME = 593.3 CF. = 4,438 GAL.

WATER WILL BE STORED ON SITE AND RELEASED TO THE PROPOSED STORMWATER INFRASTRUCTURE IN W. GILL AVE. AT THE PRE-EXISTING RATE.

NOTES:  
STORMWATER CALCULATIONS ARE PRELIMINARY AND SUBJECT TO  
REVISION. PERVERIOUS AREAS MAY NOT BE ACCURATELY SHOWN.

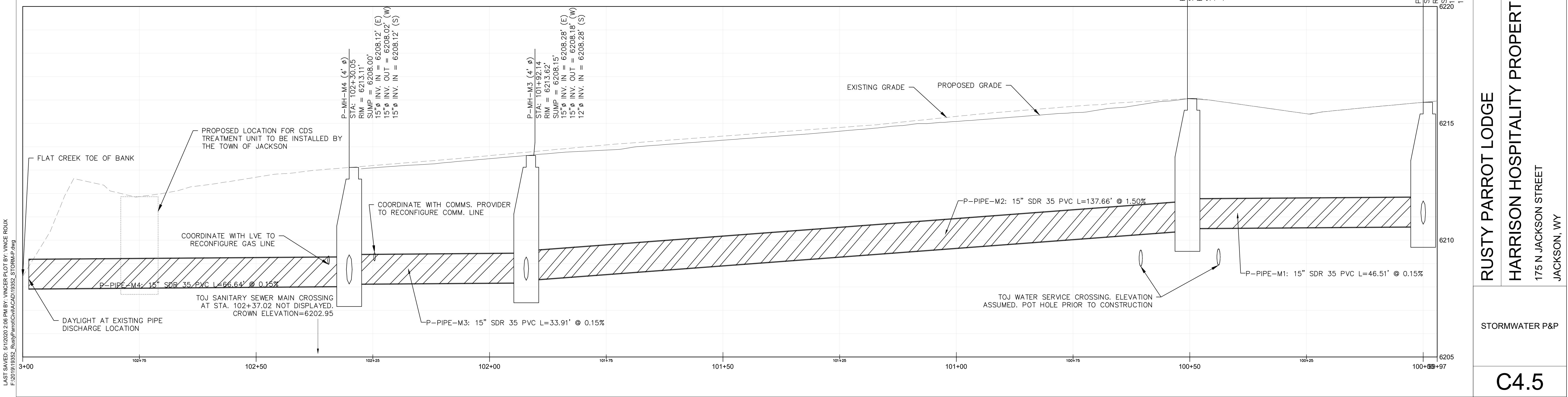
	
<b>RUSTY PARROT LODGE</b> <b>HARRISON HOSPITALITY PROPERTIES, LP.</b> 175 N JACKSON STREET JACKSON, WY	DRAWING SET TITLE: DEV. PERMIT APP DATE: 2020.05.01 DRAWN BY: SAH CHECKED BY: VR JOB #: 19352 DRAWN BY: SAH CHECKED BY: VR JOB #: 19352
<b>C4.4</b>	

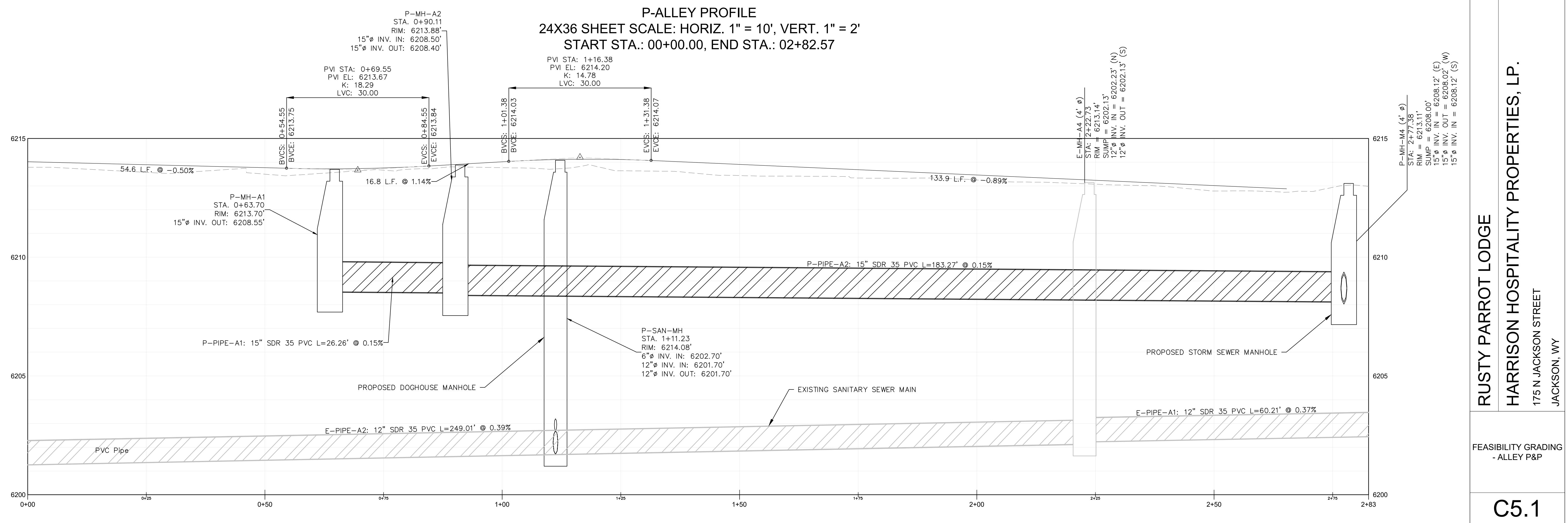
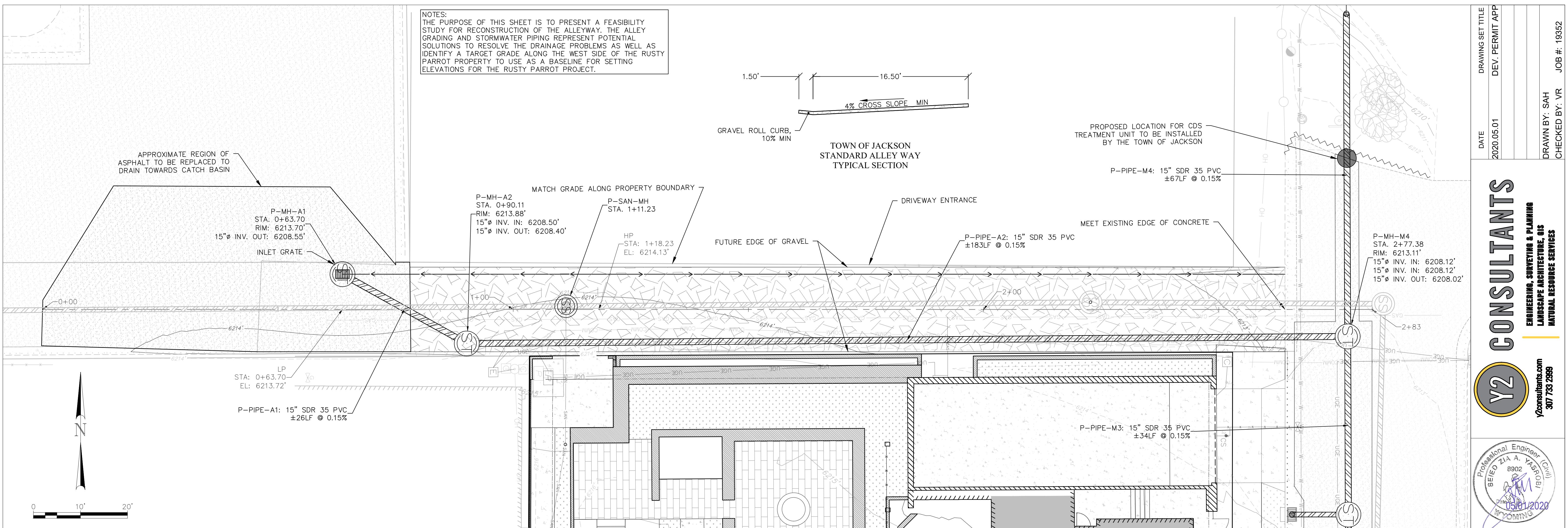


**STORMWATER DESIGN NOTES:**  
The applicant proposes this design as an optimal solution for both the applicant and TOJ. As the stormwater infrastructure in the ROW is proposed as a future TOJ system the final design and construction will occur in close cooperation with TOJ Public Works. However, the applicant proposes this solution under the assumption that TOJ will participate in cost-sharing for this infrastructure and the cost sharing on the part of the TOJ should be commensurate with the significant benefit it provides to the overall TOJ infrastructure. The alternative is for the applicant to propose a stormwater collection system that only serves the project thereby missing out on the opportunity to resolve the broader drainage problems within the neighborhood.

**GENERAL NOTES:**  
1. COMMS. AND GAS LINE ELEVATIONS ARE ASSUMED AND WERE NOT SURVEYED. POTENTIAL CONFLICTS WITH PROPOSED STORMWATER PIPE WILL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.  
2. FINAL STORMWATER PIPE SIZING TO BE DETERMINED PENDING DISCUSSION WITH TOWN OF JACKSON.

**P-STORM-MAIN PROFILE**  
24x36 SHEET SCALE: HORIZ. 1" = 10' VERT. 1" = 2'  
START STA: 99+97.00, END STA: 103+00.00







#### Landscape Plan Notes

##### Zoning - Downtown Core (DC)

- Per Town of Jackson LDR Section 2.2.10, Figure 1 - Lot Standards, both minimums for Landscape Surface Ratio and Plant Units are listed as *not applicable* resulting in no requirement for landscaping.

- Section 5.5.3.B states that plant units shall be provided at a rate of one plant unit per 1,000 square feet of required landscaped surface area. Since the DC zone has no minimum for required Landscape Surface Ratio, the requirement is zero.

- Section 5.5.3.C.1 - development in the DC zone requires zero plant units for any use.

- Section 5.5.3.D - development in the DC zone is exempted from plant unit requirements for loading bays.

##### Maintenance and Irrigation Notes

- All proposed landscaping to be maintained by an automatic underground irrigation system. Locations for the backflow preventer, point of connection, main line routing, sleeves are to be determined.

- Property owner will maintain landscaping to the standard of the intent of this development plan - including Town of Jackson rights of way.

##### Landscape Lighting Notes:

- All proposed landscape lighting to be downcast with a 90 degree cut-off and shall comply to all Town of Jackson exterior lighting regulations.

##### Reclamation Methods

- Grade all areas as shown on the plan while providing for smooth transitions to existing grade. Scarify all compacted areas to a depth of 4" to provide an adequate substrate for plant growth. Remove rocks and other material greater than 3" in diameter.

- All disturbed areas to receive seed shall have a minimum of 3" of clean topsoil applied prior to seeding or planting.

- Prior to placing topsoil, the area to receive seed shall be raked or tilled to ensure adequate bonding between subgrade and the topsoil layer.

- Seed shall be spread at the rate indicated below and between the dates of October 15th and May 15th. Use approved mechanical broadcasting methods to evenly distribute the seed mix across the surface to be seeded. DO NOT apply seed during high wind conditions and take care not to disturb existing improvements. After seeding is applied, take the surface of the soil to ensure good contact between seed and soil particles.

- The seed used in the reclamation mix shall be fresh, pure live seed (PLS), of the most recent crop and mixed in the quantities shown below.

Botanical Name	Common Name	#'s PLS/Acre
<i>Bromus marginatus</i>	Mountain Brome	9.0
<i>Elymus trachycarpus</i>	Slender Wheatgrass	5.0
<i>Agropyron desertorum</i>	Intermediate Wheatgrass	3.0
<i>Pascopyrum smithii</i>	Western Wheatgrass	7.0
<i>Pseudoroegneria spicata</i>	Blue Bunch Wheatgrass	6.0
TOTAL =		30.0
pounds PLS/Acre		

- Fertilizer shall be 10-6-4, or approved alternate, and shall be applied at a rate of ten pounds (10 lbs) per one thousand square feet (1,000 sf).

#### Legend

<b>Existing</b>	<b>Property Line</b>
<b>—</b>	<b>Adjacent Property Line</b>
<b>—</b>	<b>Edge of Pavement</b>
<b>○</b>	<b>Street Sign</b>
<b>■</b>	<b>Electric Transformer</b>
<b>□</b>	<b>Communications Vault</b>
<b>○</b>	<b>Utility Pole</b>
<b>○</b>	<b>Sewer Manhole</b>
<b>○</b>	<b>Water Service</b>
<b>○</b>	<b>Water Valve</b>
<b>○</b>	<b>Stormwater Manhole</b>
<b>W</b>	<b>Buried Water Line</b>
<b>SS</b>	<b>Buried Sewer Line</b>
<b>OH</b>	<b>Overhead Power Line</b>
<b>G</b>	<b>Buried Gas Line</b>
<b>E</b>	<b>Buried Power Line</b>
<b>SD</b>	<b>Buried Stormwater Line</b>

**Rusty Parrot Lodge & Spa**  
175 N Jackson Street  
Lots 1, 2, & 3 - Block 4  
Town of Jackson, Wyoming  
Project # 2002



#### Revisions

#	Date	Description
5.1.20		original
-	-	-
-	-	-
-	-	-
-	-	-

0 10 20  
scale: 1" = 10'

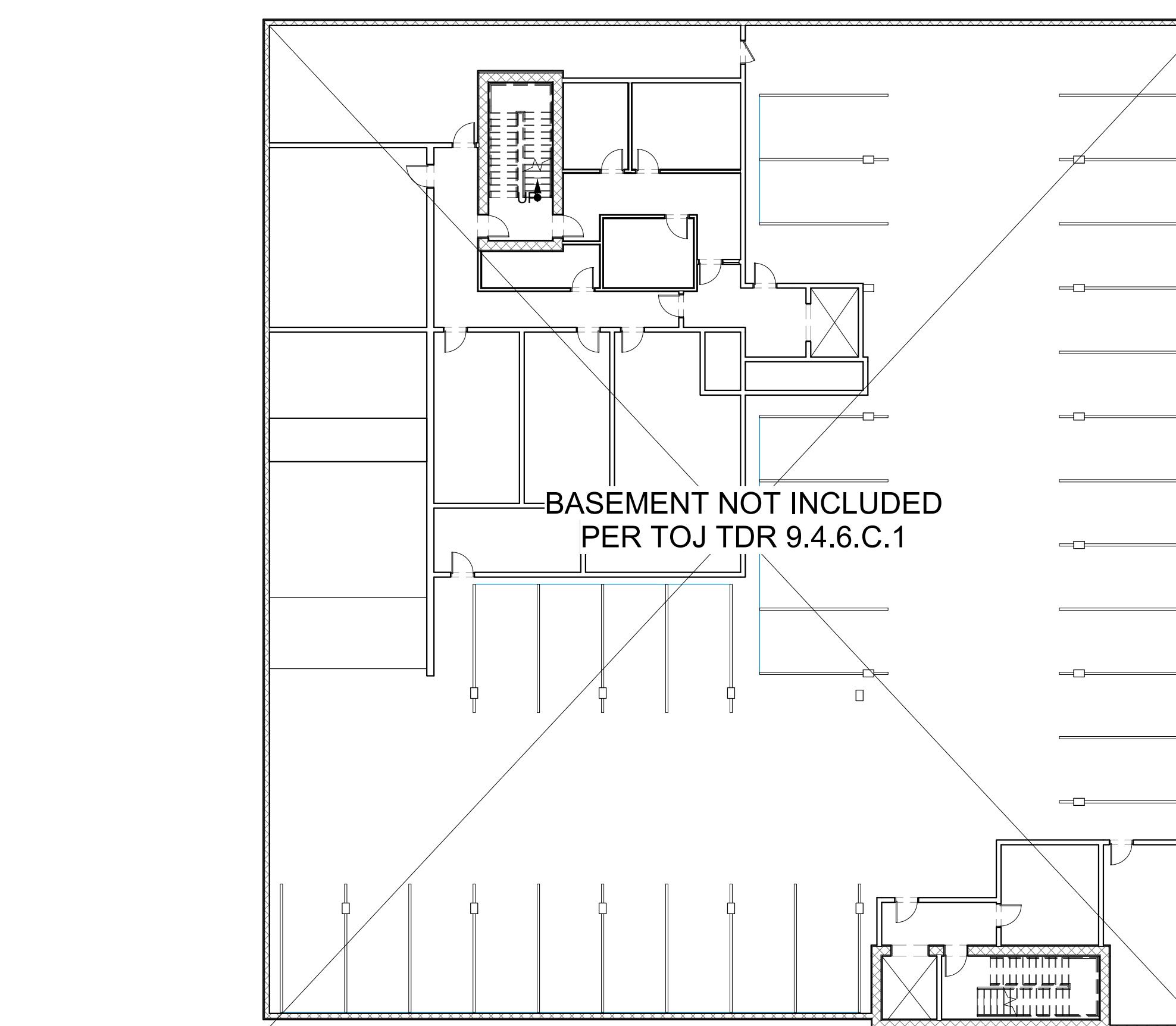
Development Permit Application

-- Landscape Plan

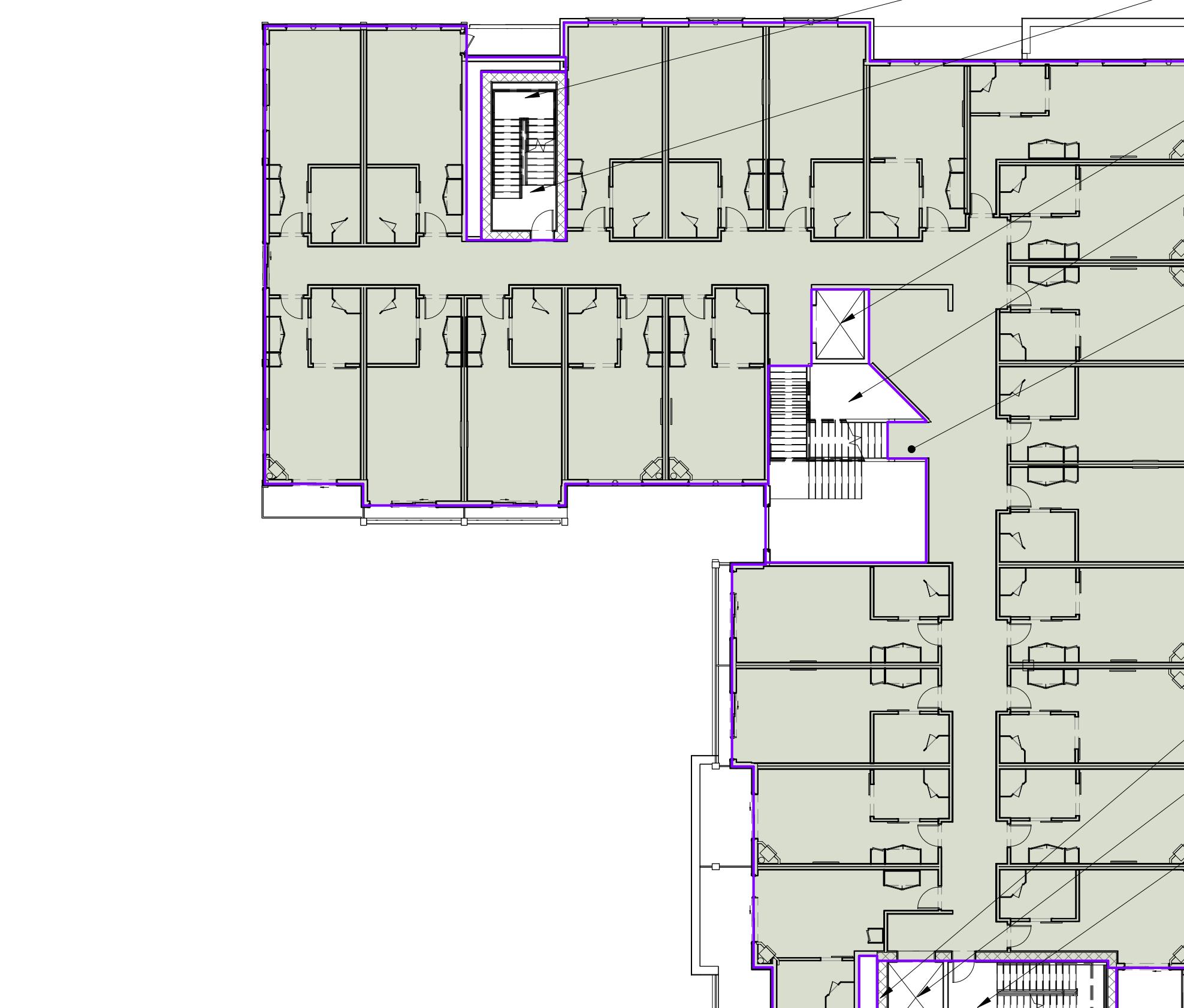
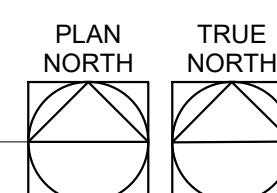
L1.0

#### TREE & SHRUB SCHEDULE

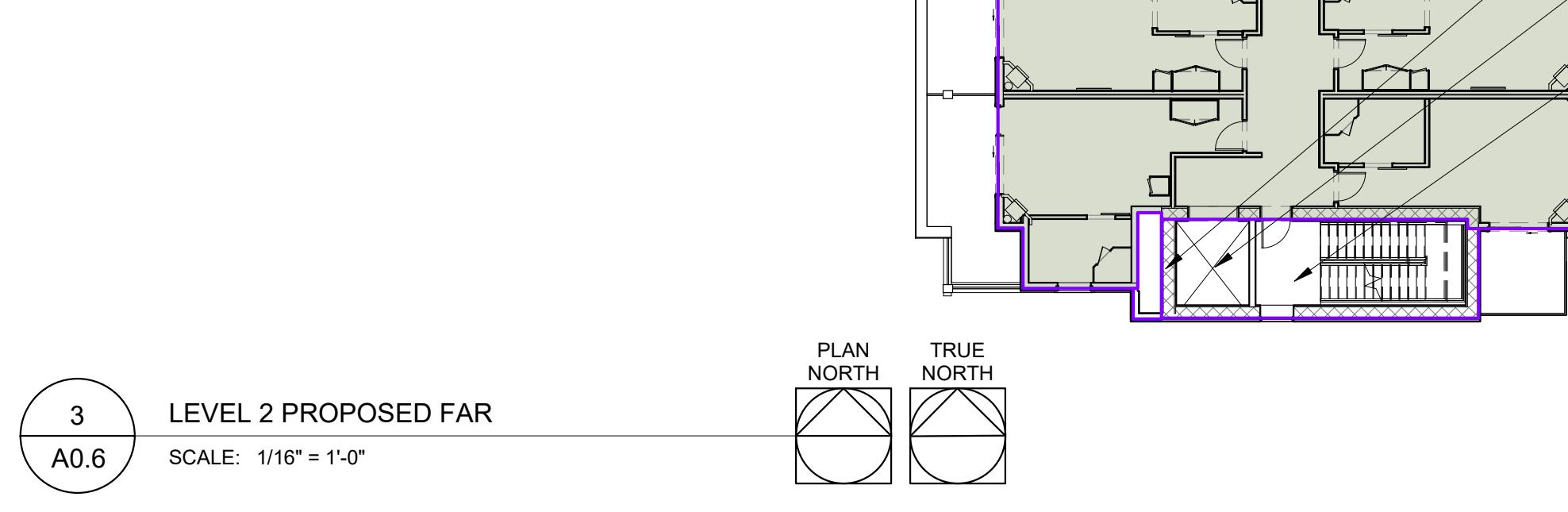
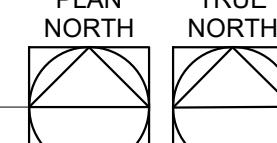
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
<b>Trees</b>				
	<i>Populus tremuloides</i>	Quaking Aspen	5" - 7" Cal.	1
	<i>Fraxinus pennsylvanica 'Patmore'</i>	Patmore Ash	3" Cal.	8
<b>Multi-stemmed Tree or Large Shrub</b>				
	<i>Philadelphus lewisi 'Blizzard'</i>	Blizzard Mock Orange	6' - 8' B+B	10
	<i>Acer ginnala</i>	Amur Maple	8' - 10' B+B	6
<b>Grasses and Perennials</b>				
	<i>Calamagrostis acutiflora</i>	Feather Reed Grass	1 Gal.	33
	<i>Poa pratensis</i>	Kentucky Bluegrass	Sod	1,680 sf
	Varies	Native Grass / Wildflower Mix	Sod / Seed	180 sf
	Varies	Perennial Mix	1 Gal. / 4" pot	1,750 sf



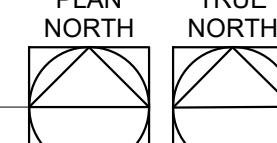
1 A0.6 BASEMENT LEVEL PROPOSED FAR  
SCALE: 1/16" = 1'-0"



3 A0.6 LEVEL 2 PROPOSED FAR  
SCALE: 1/16" = 1'-0"

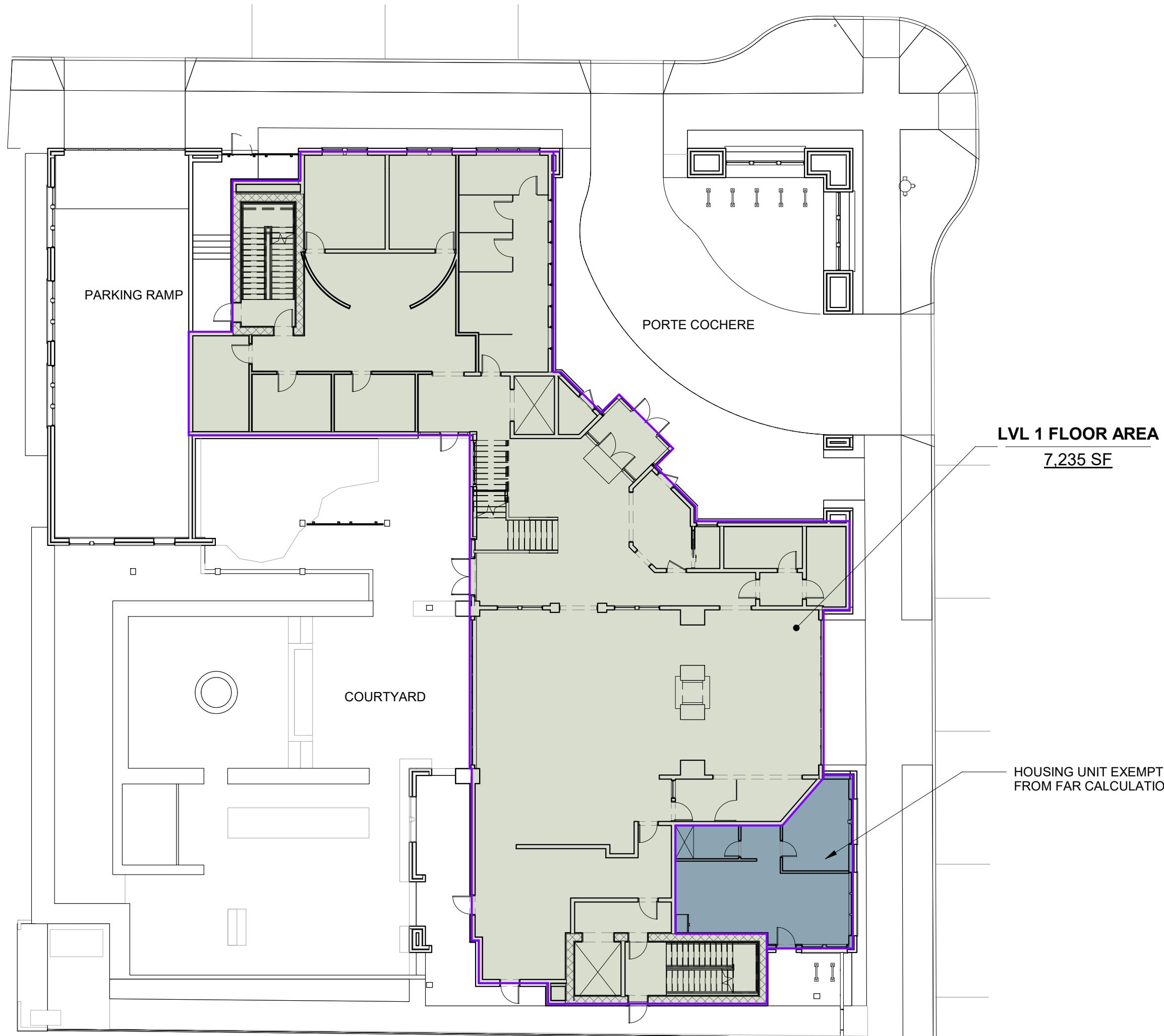


4 A0.6 LEVEL 3 PROPOSED FAR  
SCALE: 1/16" = 1'-0"

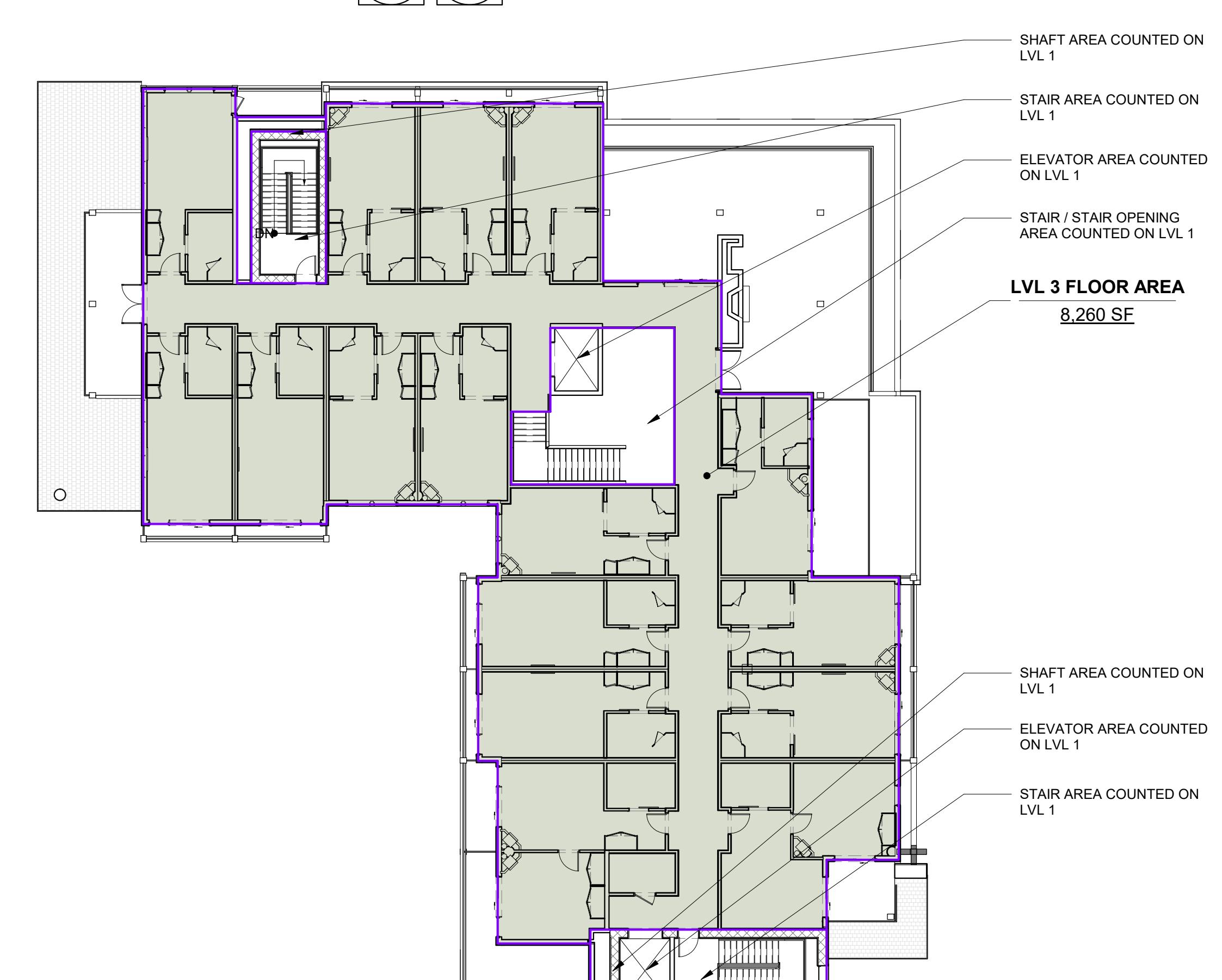


SITE AREA: 20927.57 SF  
BUILDABLE AREA: 20,927.57 SF  
FAR RATIO (TOJ LDR 2.2.10.2): 1.3  
TOTAL ALLOWED FAR: 27,205.8 SF

PROPOSED FAR (GROSS AREA)	
AREA NAME	AREA
LVL 3 FLOOR AREA	8,260 SF
LVL 2 FLOOR AREA	11,407 SF
LVL 1 FLOOR AREA	7,235 SF
TOTAL FAR (27,205.8 SF ALLOWED)	26,902 SF



2 A0.6 LEVEL 1 PROPOSED FAR  
SCALE: 1/16" = 1'-0"



4 A0.6 LEVEL 3 PROPOSED FAR  
SCALE: 1/16" = 1'-0"



RUSTY PARROT LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
FLOOR AREA  
CALCULATIONS

SCALE: 1/16" = 1'-0"

A0.6

## **SITE PLAN / PROJECT DATA:**

### **SETBACKS PER LDR 2.2.10.1:**

PRIMARY STREET 0' TO 5' RANGE  
SECONDARY STREET 0' TO 5' RANGE  
SIDE INTERIOR 5'  
REAR 5'

**FLOOR AREA:**  
SEE A0.6 FOR DETAILED CALCULATION

**PEDESTRIAN FRONTAGE:**  
SEE A1.2 FOR DETAILED PEDESTRIAN FRONTAGE DIMENSIONS

**HEIGHT:**  
3-STORY STRUCTURE  
SEE ELEVATIONS (A1 X A) FOR DETAILED HEIGHT ANALYSIS

**SNOW STORAGE:**  
SEE A1.6 FOR SNOW STORAGE PLAN.

uances and Revisions:  
20.05.01 DEVELOPMENT PERMIT  
APPLICATION

## MEET TITLE: PROPOSED SITE PLAN

#### SCALE: As indicated

1 1

VOLUME 1

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1 PROPOSED SITE PLAN  
A1.1 SCALE: 3/32" = 1'-0"

## **PEDESTRIAN FRONTAGE DIAGRAM:**

## **TREES IN LAWN (2.2.1.C.3) PROPOSED AS ALTERNATE TO TREES IN GRATES (2.2.1.C.2)**

PEDESTRIAN FRONTAGE LINES INDICATED IN RED ARE MEASURED FROM BACK OF PROPOSED CURB.

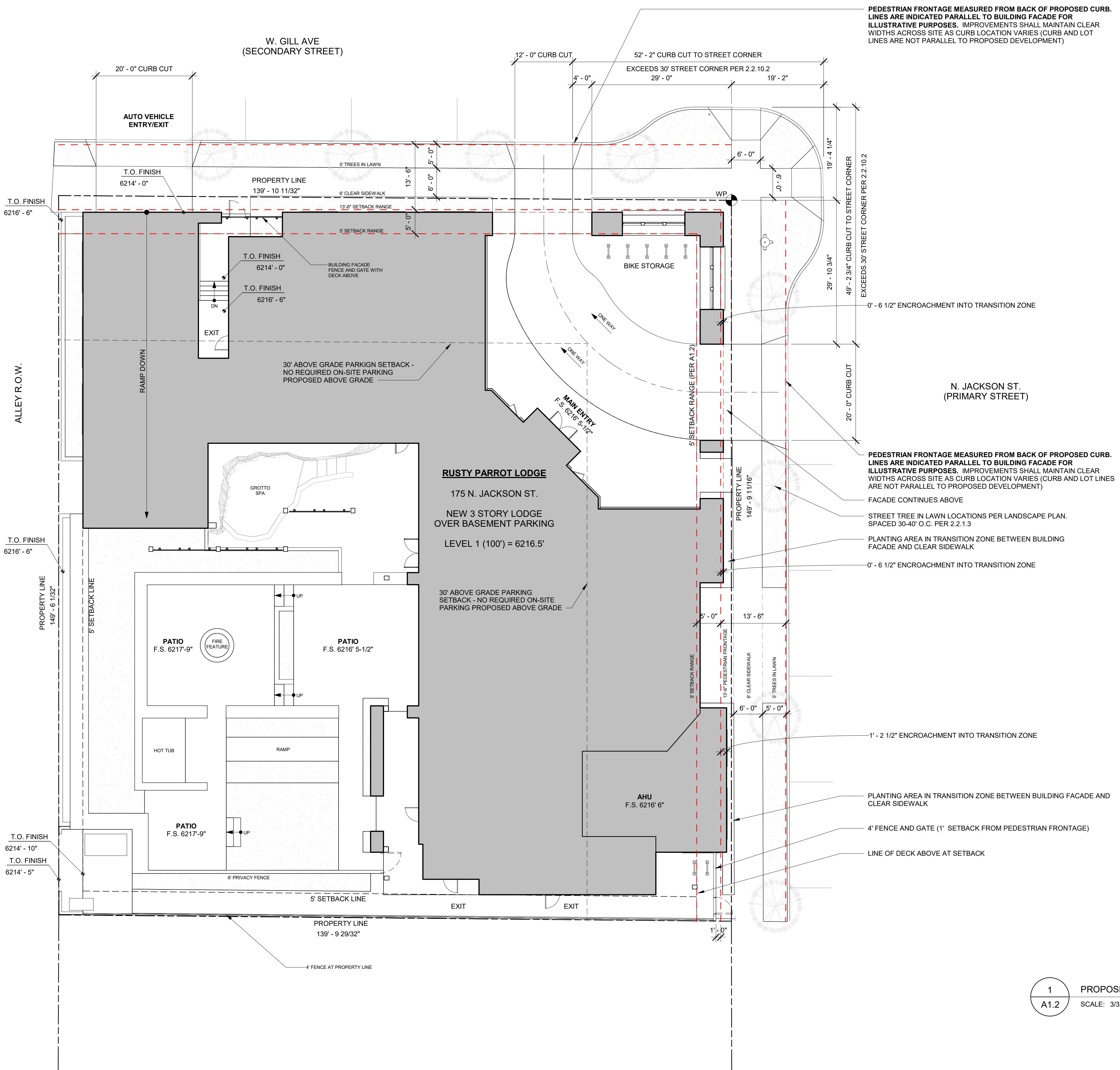
LINES ARE INDICATED PARALLEL TO BUILDING FAÇADE FOR ILLUSTRATIVE PURPOSES. IMPROVEMENTS SHALL MAINTAIN CLEAR WIDTHS ACROSS SITE AS CURB LOCATION VARIES (CURB AND LOT LINES ARE NOT PARALLEL TO PROPOSED DEVELOPMENT)

## **DIAGRAM FOR ILLUSTRATIVE PURPOSES ONLY:**

MAX. PROPOSED ENCROACHMENT 1'-21/2"

ELLOP CONSET

Applications and Revisions:  
2020.05.01 DEVELOPMENT PERMIT  
APPLICATION



# RUSTY PARROT LODGE

75 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
2007

HEET TITLE:  
**PROPOSED  
PEDESTRIAN  
FRONTAGE PLAN**  
SCALE: As indicated

A large, bold, black sans-serif font displays the text "A1.2" on the left. To the right, a smaller black font contains the following text:

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Consultants:

Issuances and Revisions:  
2020.05.01 DEVELOPMENT PERMIT APPLICATION

**BASEMENT LEVEL CONSTRUCTION, EXCAVATION AND SHORING:**  
CONSTRUCTION OF THE BASEMENT WILL REQUIRE VERTICAL EXCAVATION AT OR NEAR THE PROPERTY LINE, ACCOMPLISHED USING ONE OR MORE POTENTIAL SOIL STABILIZATION METHODS TO BE LATER DETERMINED AND SPECIFIED IN DETAIL BY THE DESIGN TEAM. A SHORING PLAN TO BE PREPARED BY THE DESIGN TEAM.

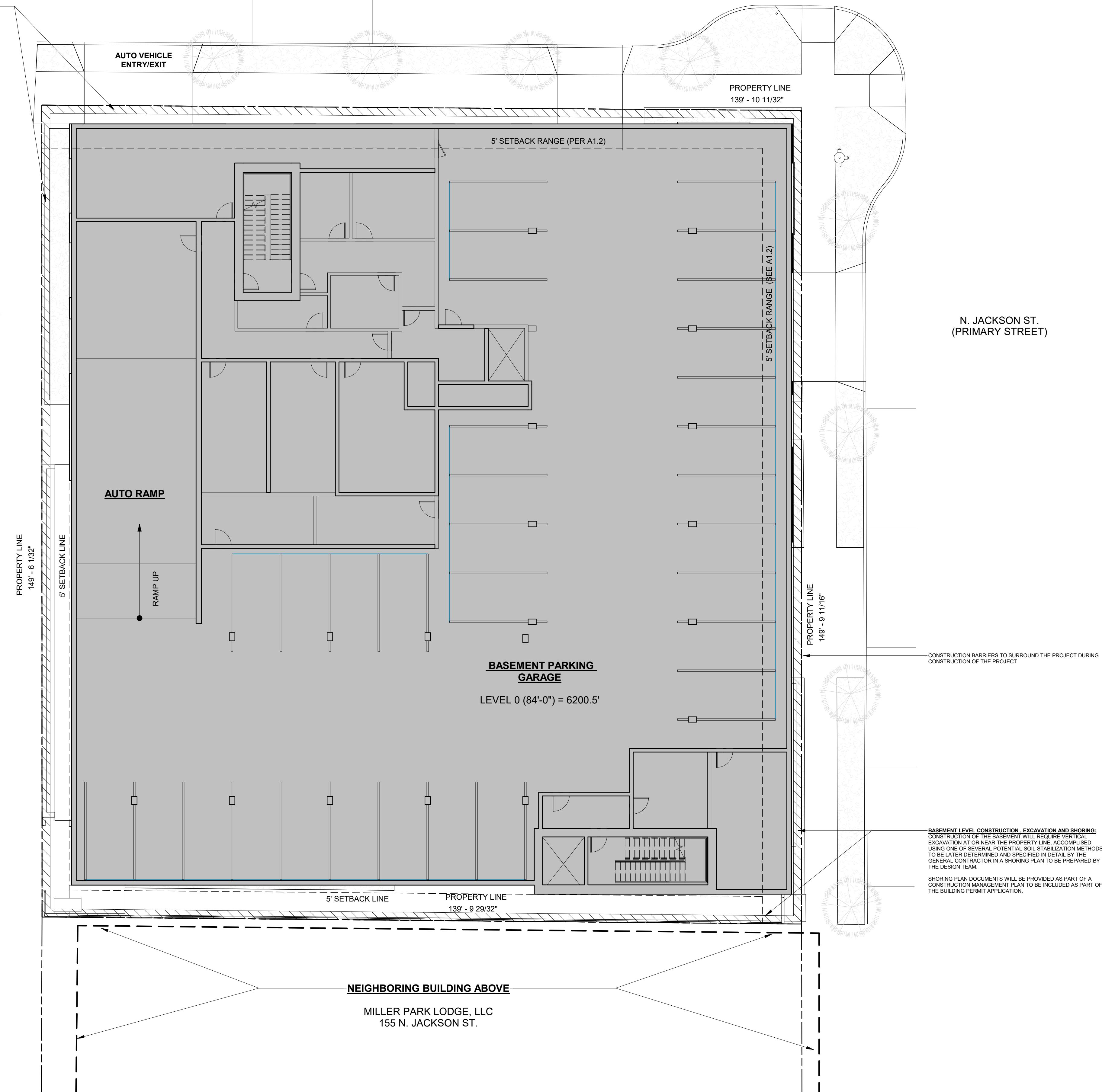
SHORING PLAN DOCUMENTS WILL BE PROVIDED AS PART OF A CONSTRUCTION MANAGEMENT PLAN TO BE INCLUDED AS PART OF THE BUILDING PERMIT APPLICATION.

**NEIGHBORING PROPERTY**  
LESLIE R. & AFTON M. JONES  
DOCUMENT No. 897847

W. GILL AVE  
(SECONDARY STREET)

N. JACKSON ST.  
(PRIMARY STREET)

ALLEY R.O.W.



#### EXCAVATION AND SHORING GENERAL NOTES

**EXCAVATIONS:**  
ALL EXCAVATIONS EXCAVATION WORK WITHIN THE PROPERTY TO BE IN ACCORDANCE WITH TOJ LDR SECTION 7.2.8, EXCEPT FOR RE-GRADING OF ADJACENT STREETSCAPES IN THE ROW AND TRENCHING FOR UTILITIES.

**CUT AND FILL SLOPES:**  
ALL CUT AND FILL SLOPES WILL BE GRADED PER TOJ LDR SECTION 5.7.2.10, EXCEPT WHERE PERMANENT OR TEMPORARY RETAINING WALLS ARE PROPOSED.

**RETAINING WALLS:**  
ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT WILL BE DESIGNED BY A WYOMING PE PER 5.7.2.8.

**SHORING TECHNIQUES:**  
SHORING TECHNIQUES CAN INCLUDE BOTH VERTICAL AND HORIZONTAL COMPONENTS. HORIZONTAL SHORING COMPONENTS HAVE THE POTENTIAL TO PENETRATE ACROSS THE PROPERTY BOUNDARY AND INTO THE SUBSURFACE OF THE ADJACENT LANDS, WHERE POTENTIAL CONFLICTS WITH UTILITIES EXIST THE SHORING DESIGN WILL USE A COMBINATION OF VERTICAL AND HORIZONTAL SHORING ELEMENTS. VERTICAL SHORING ELEMENTS IN COMBINATION SYSTEMS WILL EMPLOY VERTICAL ELEMENTS AT UPPER ELEVATIONS IN ORDER TO AVOID MAJOR ENCROACHMENTS BEYOND THE PROPERTY BOUNDARY. BELOW THE PROPERTY BOUNDARY, HORIZONTAL SHORING ELEMENTS AND HORIZONTAL ELEMENTS THAT ENCROACH INTO THE ROW MAY BE EMPLOYED AND WHICH WILL BE SUFFICIENTLY DEEP TO AVOID CONFLICTS AND DESTABILIZATION OF FOUNDATION/BEDDING MATERIALS FOR THOSE ELEMENTS.

**SHORING PLAN DOCUMENTS:**  
CONSTRUCTION OF THE BASEMENT WILL REQUIRE VERTICAL EXCAVATION AT OR NEAR THE PROPERTY LINE, ACCOMPLISHED USING ONE OR MORE POTENTIAL SOIL STABILIZATION METHODS TO BE LATER DETERMINED AND SPECIFIED IN DETAIL BY THE DESIGN TEAM. A SHORING PLAN TO BE PREPARED BY THE DESIGN TEAM.

SHORING PLAN DOCUMENTS WILL BE PROVIDED AS PART OF A CONSTRUCTION MANAGEMENT PLAN TO BE INCLUDED AS PART OF THE BUILDING PERMIT APPLICATION.

**DEWATERING:**  
SHOULD DEWATERING BECOME NECESSARY DURING CONSTRUCTION IT WILL COMPLY WITH SECTION 5.7.4.B, AND ALL NECESSARY DRAINS, PIPING, TRENCHING AND CHAMBER REQUIREMENTS WILL BE LOCATED AND LOCATED OF CHAMBERS WILL BE DETERMINED ONCE DEWATERING IS DETERMINED TO BE NECESSARY, AND WOULD BE COORDINATED WITH PUBLIC WORKS.

**RUSTY PARROT LODGE**

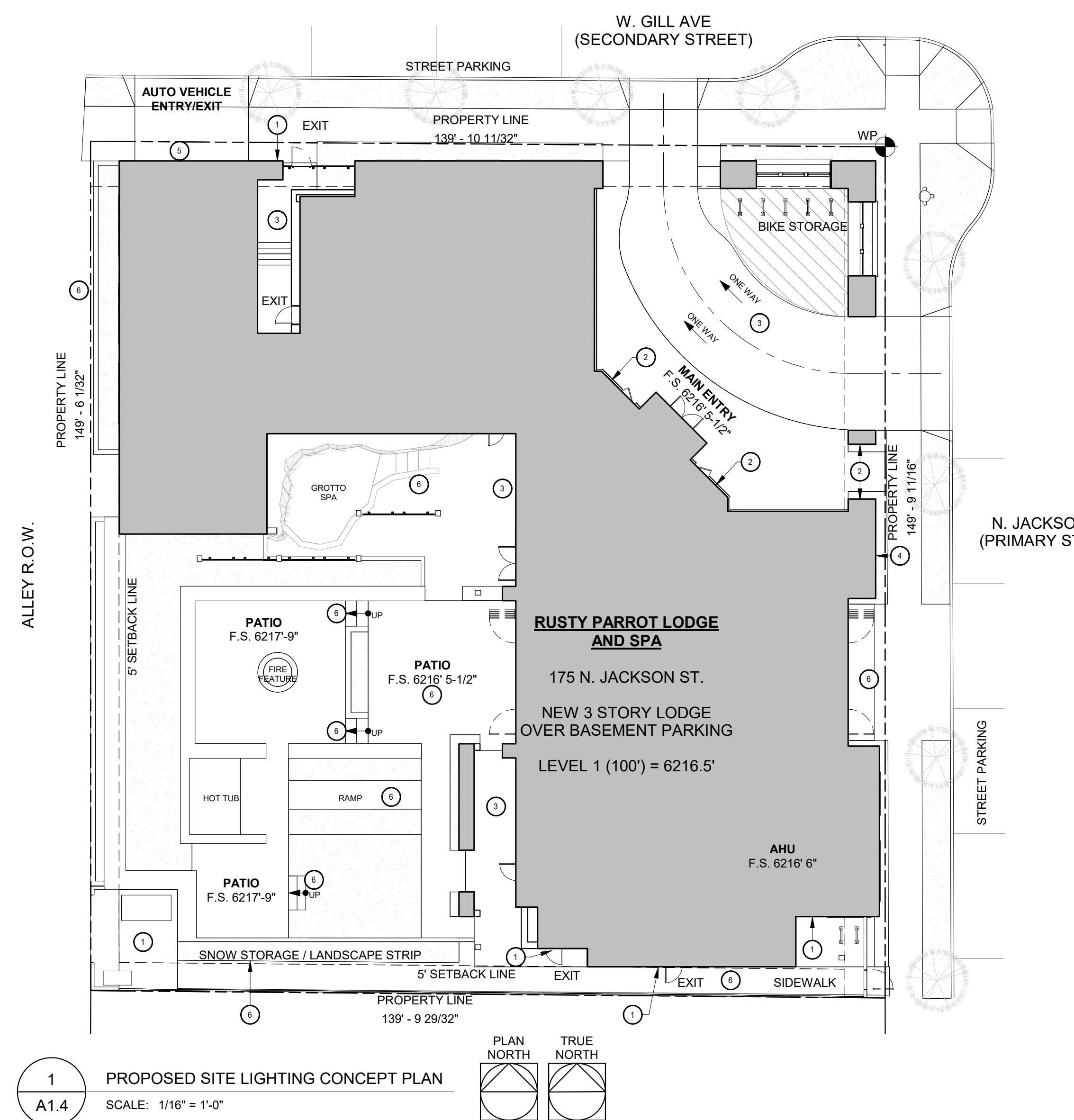
175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

**PROPOSED SITE PLAN @ BASEMENT LEVEL**  
SCALE: 3/32" = 1'-0"

**A1.3**

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## **SITE LIGHTING PLAN LEGEND**

- ① WALL-MOUNTED DOWNLIGHT
- ② WALL-MOUNTED EXT. SCONCE
- ③ RECESSED CEILING LIGHTS
- ④ SIGNAGE LIGHTING
- ⑤ GARAGE DOOR ENTRY LIGHT:  
RECESSED LIGHT INTEGRATED WITH  
GARAGE DOOR
- ⑥ PATH LIGHTING / BOLLARD

**NOTE:**

- ALL SITE LIGHTING WILL MEET DARK SKY COMPLIANCE
- (5) SIGNAGE LIGHTING EXEMPT PER TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS 5.3.1: EXTERIOR LIGHTING STANDARDS

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**Consultants:**

---

Issuances and Revisions:

2020.05.01 DEVELOPMENT PERMIT  
APPLICATION

# RUSTY PARROT LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
**PROPOSED SITE  
LIGHTING CONCEPTS**

SCALE: As indicated

## A1.4

**RUSTY PARROT LODGE  
AND SPA**

**LEVEL 3**

**LEVEL 3 FLOOR PLAN**

3  
A1.4

SCALE: 1/16" = 1'-0"

PLAN  
NORTH

TRUE  
NORTH

# Urban Indoor/Outdoor LED Wall Sconce

By Modern Forms

LUMENS

Light and Living

Call Us 877.445.4486

## Product Options

**Finish:** Black, Bronze, Graphite

**Size:** Small, Medium, Large

## Details

- Aluminum shade
- Aluminum body
- Dimmable with electronic low voltage (ELV) dimmer (not included)
- LED Average Rated Life: 50,000 hours
- LED Color Temperature: 3000K
- CRI: 85
- Lumens: 720 (Small), 960 (Medium), 1200 (Large)
- UL Listed Wet
- ADA Compliant
- Dark Sky Compliant
- Material: Aluminum
- Shade Material: Aluminum
- Electronic low voltage (ELV) Dimmer
- ADA compliant, Dark Sky compliant
- Made In China



Shown in Bronze finish, Medium size, lit

## Dimensions

**Small Option Fixture:** Height 10", Width 7", Depth 2"

**Medium Option Fixture:** Height 16", Width 7", Depth 2"

**Large Option Fixture:** Height 22"

## Notes:

## Lighting

- Small option utilizes 12 Watt 120 Volt LED array (integrated).
- Medium option utilizes 16 Watt 120 Volt LED array (integrated).
- Large option utilizes 20 Watt 120 Volt LED array (included).

## Additional Details

**Product URL:** <https://www.lumens.com/urban-indoor-outdoor-led-all-sconce-by-modern-forms-uu504623.html>

**Rating:** UL Listed Wet

**Product ID:** uu504623

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:



Created April 28th, 2020

# Ripley Outdoor Wall Sconce

By Kichler

LUMENS

LIGHT AND LIVING

Call Us 877.445.4486

## Product Options

**Size:** Small, Medium, Large

## Details

- Aluminum construction
- Olde Bronze finish
- Round wall plate
- UL Listed Wet
- Dark Sky compliant when used with R14 40-W lamp (not included)
- Finish: Olde Bronze
- Made In China

## Dimensions

**Small Option Fixture:** Height 7.5", Width 8", Depth 9.5"

**Small Option Plate:** Diameter 5.12"

**Medium Option Fixture:** Height 9.5", Width 10", Depth 11.5"

**Medium Option Plate:** Diameter 5.87"

**Large Option Fixture:** Height 10", Width 12", Depth 13"

Shown in Small size

## Lighting

- One 40 Watt 120 Volt R14 E26 Medium Base Incandescent lamp (not included), or one 60 Watt 120 Volt G40 E26 Medium Base Incandescent lamp (not included).

## Notes:

## Additional Details

**Product URL:** <https://www.lumens.com/ripley-outdoor-wall-sconce-by-kichler-uu302778.html>

**Rating:** UL Listed Wet

**Product ID:** uu302778

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:

Created April 28th, 2020

The advertisement features the B-K Lighting logo with the tagline 'Power of Light' and 'B-KSL™'. The main product, 'MINI DRIVESTAR™', is shown in a surface mount style with a 'm² SURFACE MOUNT' label. A testimonial from Kimberly Stuart of Ron Rule Consultants Ltd. is included, stating: "I love this fixture because it is a great, inconspicuous light for garden pathways. Ron (the boss) hates using bollards in our landscape designs... they are far too commercial and distracting. The Mini DriveStar™ lights the pathway while letting the plants shine." The fixture is shown in a clear anodized powder (CAP) finish. Technical drawings provide dimensions for the fixture, including height (9 1/4" / 235mm), width (6" Dia. / 152mm), and depth (1 5/8" Dia. / 41mm). The fixture is shown in a landscape setting with a building in the background. A vertical sidebar on the right lists 'MATERIAL' options (ALU, BR, SS) and 'FOR USE WITH' options (Power Supplies, Options). The page number 119 is at the bottom right.

## **SITE LIGHTING PLAN LEGEND**

- ① WALL-MOUNTED DOWNLIGHT
- ② WALL-MOUNTED EXT. SCONCE
- ③ RECESSED CEILING LIGHTS
- ④ SIGNAGE LIGHTING
- ⑤ GARAGE DOOR ENTRY LIGHT:  
RECESSED LIGHT INTEGRATED WITH  
GARAGE DOOR
- ⑥ PATH LIGHTING / BOLLARD

**NOTE:**

- ALL SITE LIGHTING WILL MEET DARK SKY COMPLIANCE
- (5) SIGNAGE LIGHTING EXEMPT PER TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS 5.3.1: EXTERIOR LIGHTING STANDARDS

*architecture / urban design / interior design*

970.544.9006 303.308.1373

---

**Issuances and Revisions:**  
**2020.05.01 DEVELOPMENT PERMIT  
APPLICATION**

## ① WALL-MOUNTED DOWNLIGHT

## ② WALL-MOUNTED EXT. SCONCE

## PATH LIGHTING / BOLLARD

**LED recessed wall - shielded**

**BEGA**

**Application**  
Designed for low mounting heights for interior and exterior locations, the shielded light distribution is ideal for the glare-free illumination of ground surfaces, building entrances, stairs, and footpaths.

**Materials**  
Luminaire housing and faceplate constructed of die-cast marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy  
White safety glass  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 2.2lbs

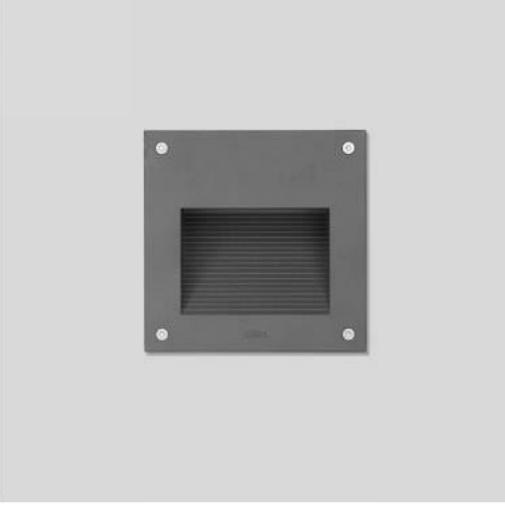
**Electrical**  
Operating voltage 120-277VAC  
Minimum start temperature -30°C  
LED module wattage 3.9W  
System wattage 6.0W  
Controllability 0-10V dimmable  
Color rendering index Ra > 90  
Luminaire lumens 159 lumens (3000K)  
Lifetime at Ta = 15°C >500,000 h (L70)  
Lifetime at Ta = 45°C 172,000 h (L70)

**LED color temperature**  
 4000K - Product number + **K4**  
 3500K - Product number + **K35**  
 3000K - Product number + **K3 (EXPRESS)**  
 2700K - Product number + **K27**  
 Amber - Product number + **AMB**

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors  Black (BLK)  White (WHT)  RAL:   
 Bronze (BRZ)  Silver (SLV)  CUS: 

**LED recessed wall - shielded**

LED	A	B	C
22272 ADA 3.9W	5 7/8	5 7/8	4 1/8

**BEGA** 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com  
 Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to [bega-us.com](http://bega-us.com)  
 © copyright BEGA 2018

## ⑥ PATH LIGHTING / BOLLARD

# RUSTY PARROT LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

---

PROJECT NO:  
22007

**SHEET TITLE:**  
**PROPOSED SITE  
LIGHTING EXAMPLE**

SCALE: 12" = 1' 0"

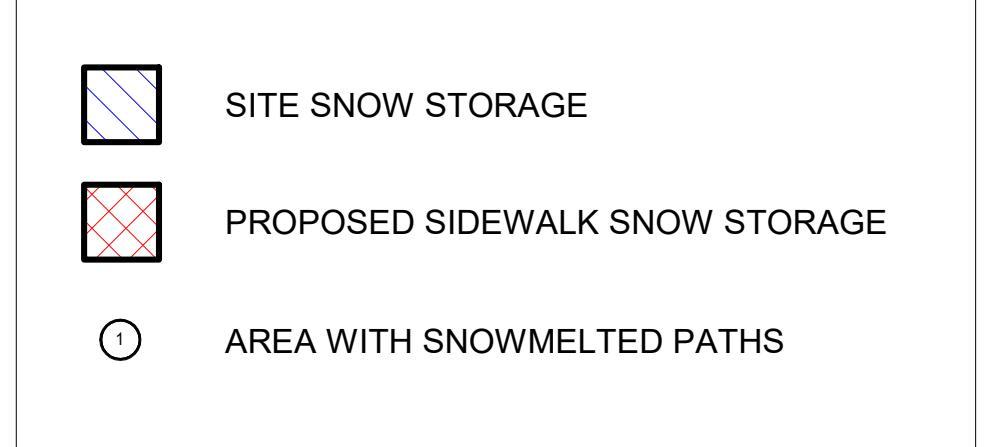
A 1 F

## A 1.3

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## **SNOW STORAGE PLAN LEGEND**



## **NOTES:**

- SNOW STORAGE WILL BE KEPT ON THE PROPERTY.
- ALL ROOFS ARE DESIGNED TO HOLD SNOW, SEE SHEET A2.4.
- SNOWMELTED PATHS TBD IN COURTYARD AREA. ALL SNOWMELT TO BE HANDLED ON SITE PER T.O.J. L.D.R ARTICLE 6.2.5C.
- OTHER SNOW STORAGE TO BE HELD ON THE PROPERTY IN THE COURTYARD

uances and Revisions:  
**20.05.01 DEVELOPMENT PERMIT  
APPLICATION**

# RUSTY PARROT ODGE

5 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
007

MEET TITLE:  
**PROPOSED SNOW  
STORAGE PLAN**

CALE: As indicated

A1.6

A1.6

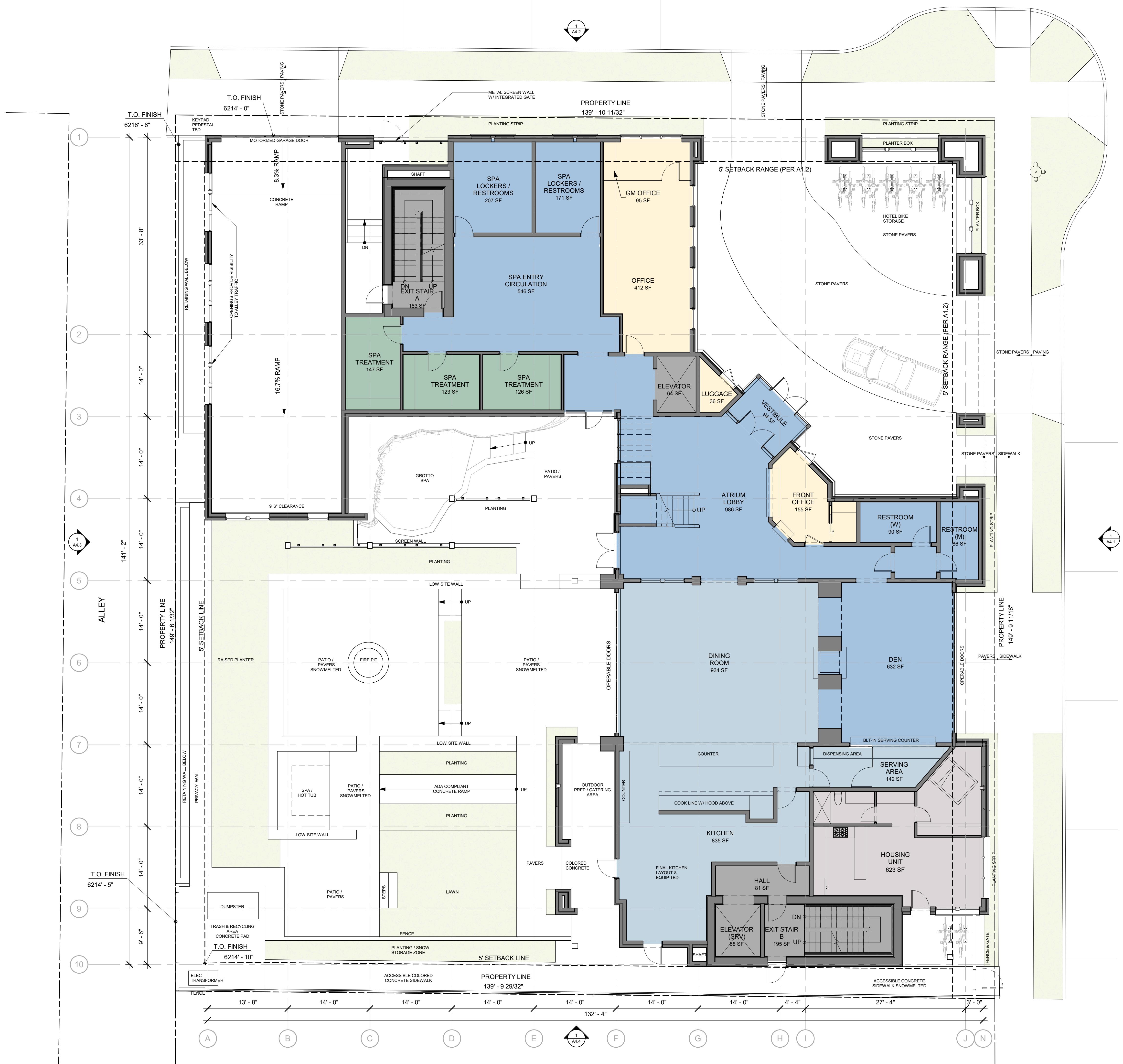
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1  
A1.6 PROPOSED SNOW STORAGE PLAN  
SCALE: 3/32" = 1'-0" PLAN NORTH TRUE NORTH





## 5.01 DEVELOPMENT PERMIT APPLICATION



# RUSTY PARROT LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
**PROPOSED LEVEL  
FLOOR PLAN**

SCALE: 1/8" = 1'-0"

A.2.1

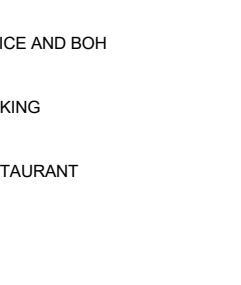
## A2.1

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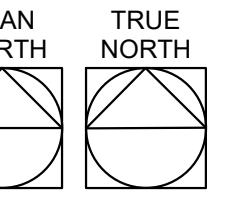
THERETO.

## FLOOR AREA USES



## LEVEL 1 FLOOR PLAN (100' = 6216.5')

SCALE: 1/8" = 1'-0"



A2 1

AZ. I

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0.05.01 DEVELOPMENT PERMIT  
APPLICATION

# USTY PARROT ODGE

5 N. JACKSON ST.  
JACKSON, WY 83001

OBJECT NO:  
007

MEET TITLE:  
**PROPOSED LEVEL 2  
LOOR PLAN**

SCALE: 1/8" = 1'-0"

---

## A2.2

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HOTEL ROOM COUNT AND NET AREA	
# OF ROOMS	NET LODGING AREA THIS LEVEL
24	8,571 SF

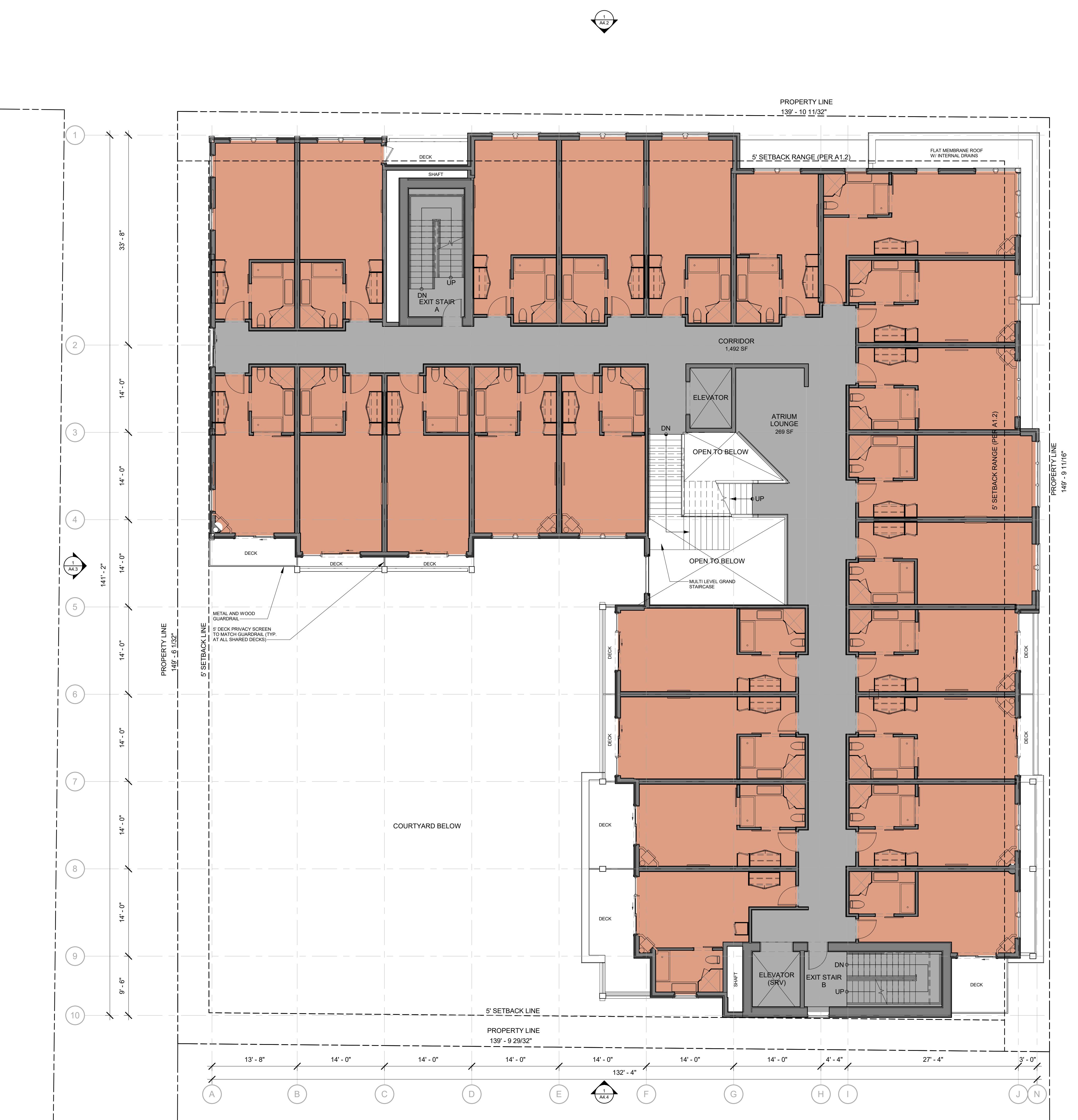
LOOR AREA USES

LOOR AREA USE	DESCRIPTION
CIRCULATION	Grey square
COMMON	Blue square
DECK	Light blue square
HOUSING UNIT	Pink square
LODGE	Orange square
OFFICE AND BOH	Yellow square
PARKING	Grey square
RESTAURANT	Light blue square
SPA	Green square

## EVEL 2 FLOOR PLAN

---

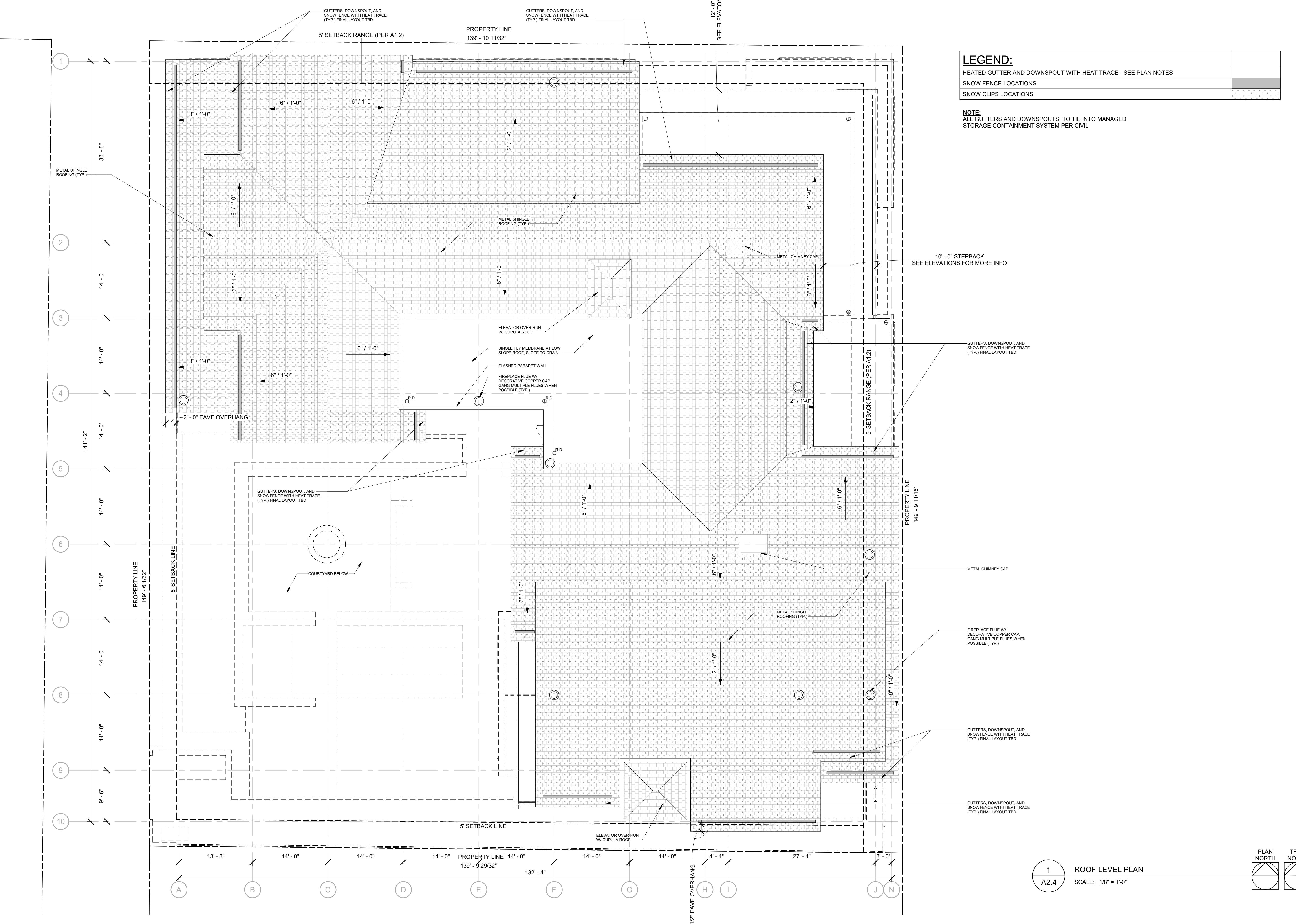
The diagram consists of two side-by-side circular representations. The left circle shows a diagonal line from the top-left to the bottom-right, with the upper-left portion shaded. The right circle shows a vertical line from top to bottom, with the upper portion shaded.





Consultants:

Issuances and Revisions:  
2020.05.01 DEVELOPMENT PERMIT APPLICATION



Consultants:

Issuances and Revisions:  
2020.05.01 DEVELOPMENT PERMIT APPLICATION



1 EAST ELEVATION - N. JACKSON STREET  
A4.1  
SCALE: 1/8" = 1'-0"

FINISH LIST - EXTERIOR							
MARK	NUMBER	MANUFACTURER	COLOR/FINISH	PATTERN/STYLE	SIZE	CONTACT	APPROX. LEAD TIME
<b>METAL</b>							
MTL	01	BERRIDGE OR SIM.	DARK BRONZE / ZINC TONE		VARIES		
MTL	02	TBD	DARK BRONZE / ZINC TONE	METAL SHINGLE TBD	TBD		
<b>STONE</b>							
ST	01	TBD	DRY STACK	TBD	VARIES W/ LARGEST STONES AT BASE		
<b>WOOD</b>							
WD	01	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	HORIZONTAL SIDING	12" BOARD		
WD	02	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	VERTICAL SIDING	4" BOARD		
WD	03	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	BEAM HAND HEWN TIMBERS	TIMBER SIZE VARIES	ALL EXPOSED TIMBERS SHALL MEET TYPE IV CONSTRUCTION & HEAVY TIMBER DIMENSIONAL AND CONNECTION REQUIREMENTS (REQ'S TO BE VERIFIED W/ LOCAL BUILDING DEPARTMENT)	

RUSTY PARROT  
LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

CONCEPT MATERIAL IMAGES

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PROJECT NO:  
22007

SHEET TITLE:  
EXTERIOR  
ELEVATIONS

SCALE: 1/8" = 1'-0"

A4.1

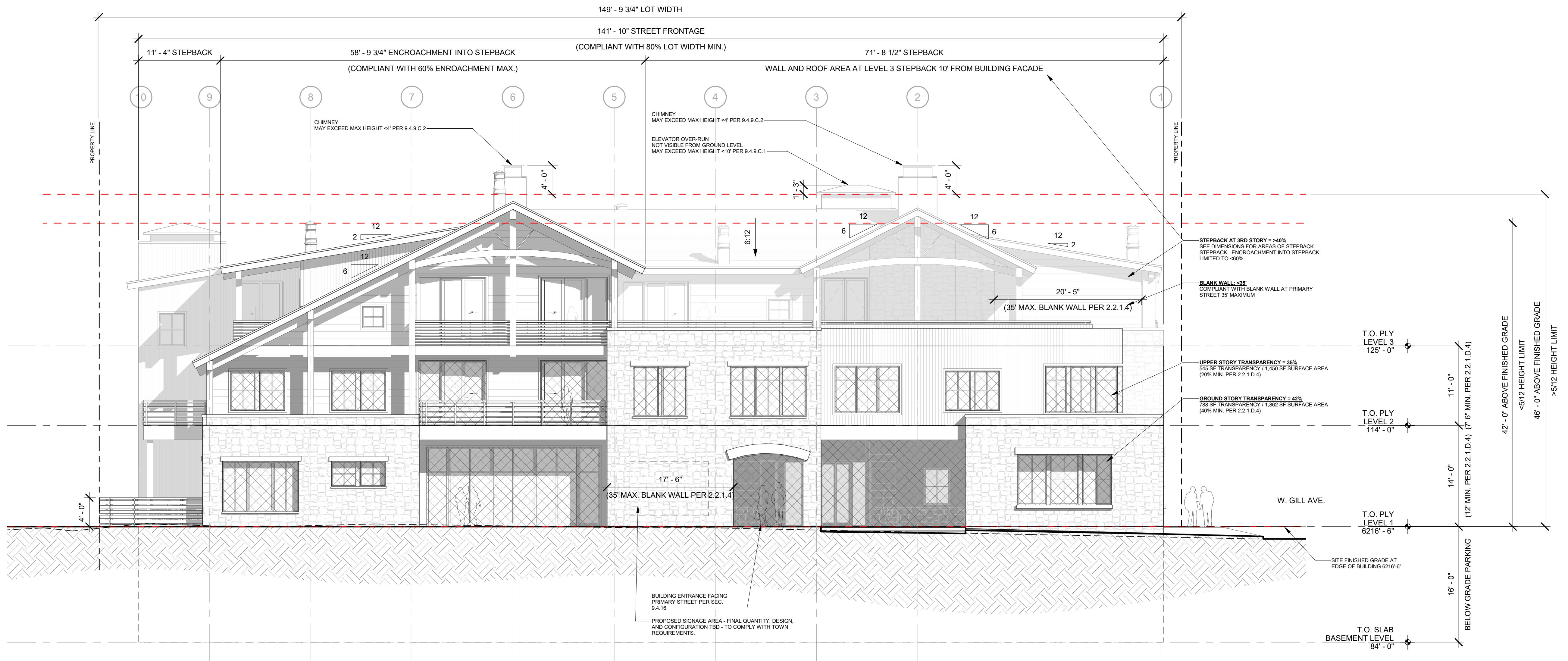


# owland+broughton

hitecture / urban design / interior design  
9 w. main st. 1830 blake st.  
den, co 81611 denver, co 80202  
544.9006 303.308.1372

## consultant

uances and Revisions:  
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1  
A4.1

## EAST ELEVATION - N. JACKSON STREET (PRIMARY STREET)

SCALE: 1/8" = 1'-0"

# RUSTY PARROT LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
**EXTERIOR  
ELEVATIONS LDR  
COMPLIANCE**  
SCALE: 1/8" = 1'-0"

## A4.1 A



1  
A4.2  
NORTH ELEVATION - GILL AVE.  
SCALE: 1/8" = 1'-0"

FINISH LIST - EXTERIOR							
MARK	NUMBER	MANUFACTURER	COLOR/FINISH	PATTERN/STYLE	SIZE	CONTACT	APPROX. LEAD TIME
METAL							NOTES
MTL	01	BERRIDGE OR SIM.	DARK BRONZE / ZINC TONE		VARIES		
MTL	02	TBD	DARK BRONZE / ZINC TONE	METAL SHINGLE TBD	TBD		
STONE							
ST	01	TBD	DRY STACK	TBD	VARIES W/ LARGEST STONES AT BASE		
WOOD							
WD	01	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	HORIZONTAL SIDING	12" BOARD		
WD	02	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	VERTICAL SIDING	4" BOARD		
WD	03	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	BEAM HAND HEWN TIMBERS	TIMBER SIZE VARIES	ALL EXPOSED TIMBERS SHALL MEET TYPE IV CONSTRUCTION & HEAVY TIMBER DIMENSIONAL AND CONNECTION REQUIREMENTS (REQ'S TO BE VERIFIED W/ LOCAL BUILDING DEPARTMENT)	

RUSTY PARROT  
LODGE

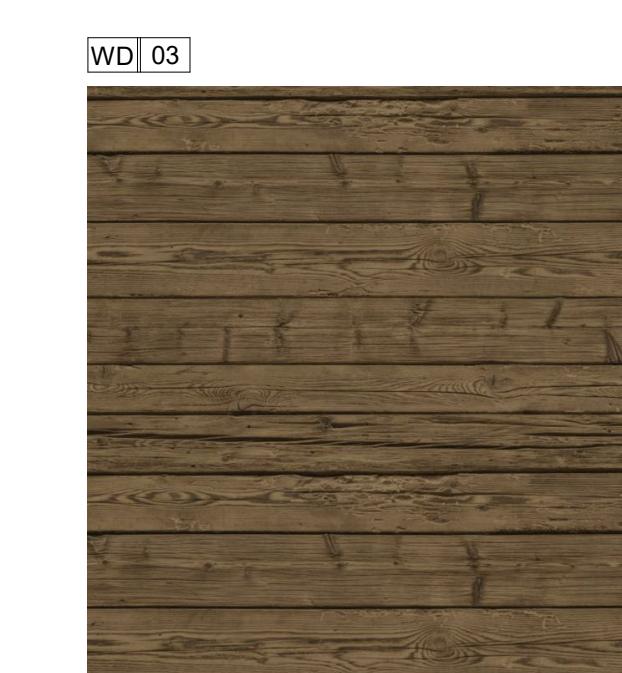
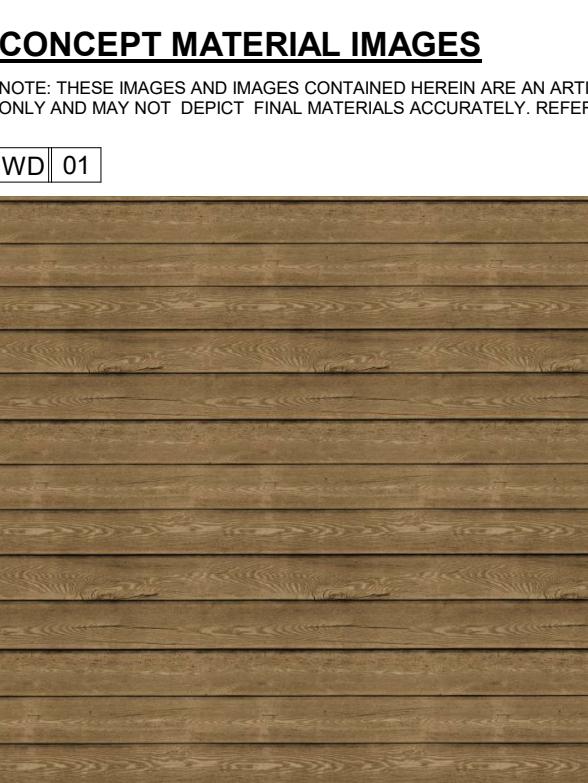
175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
EXTERIOR  
ELEVATIONS

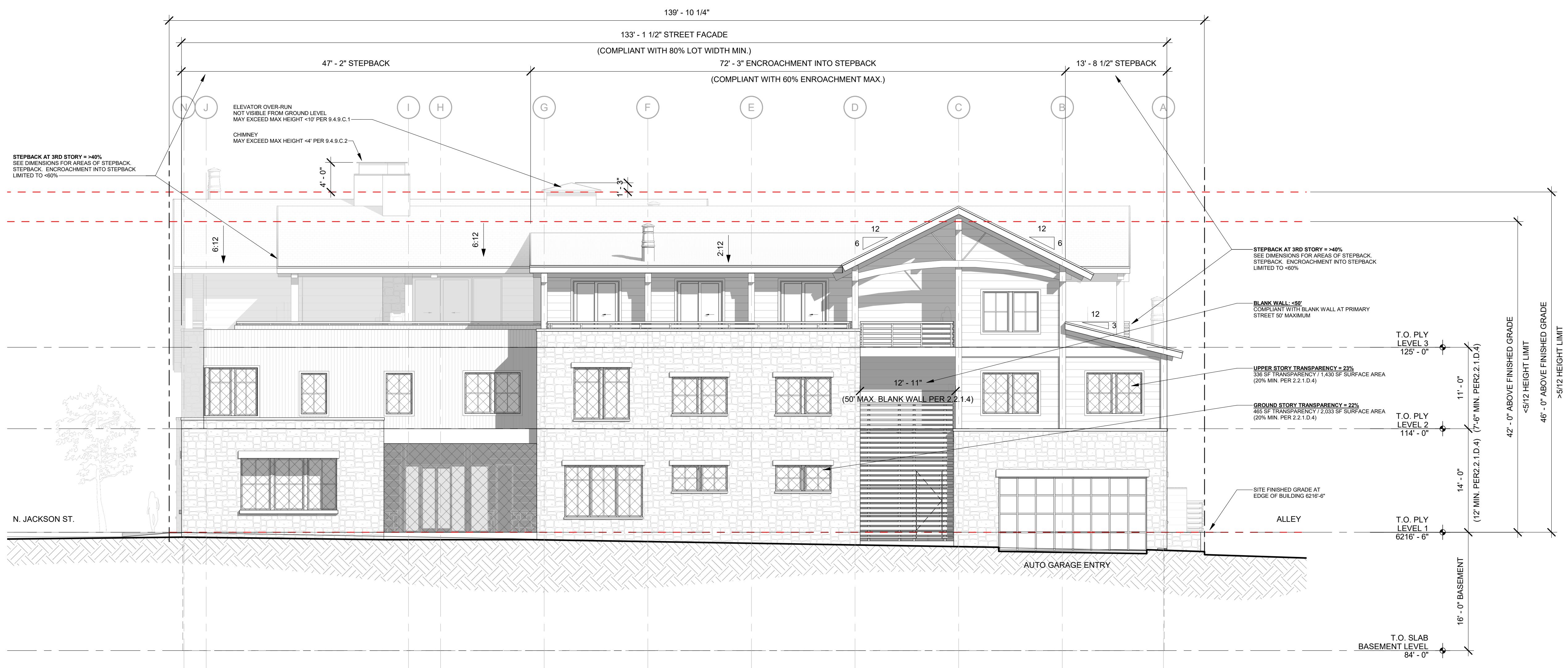
SCALE: 1/8" = 1'-0"

A4.2



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RUSTY PARROT  
LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
EXTERIOR  
ELEVATIONS LDR  
COMPLIANCE  
SCALE: 1/8" = 1'-0"

A4.2\_A

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FINISH LIST - EXTERIOR							
MARK	NUMBER	MANUFACTURER	COLOR/FINISH	PATTERN/STYLE	SIZE	CONTACT	APPROX. LEAD TIME
<b>METAL</b>							
MTL	01	BERRIDGE OR SIM.	DARK BRONZE / ZINC TONE		VARIES		
MTL	02	TBD	DARK BRONZE / ZINC TONE	METAL SHINGLE TBD	TBD		
<b>STONE</b>							
ST	01	TBD	DRY STACK	TBD	VARIES W/ LARGEST STONES AT BASE		
<b>WOOD</b>							
WD	01	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	HORIZONTAL SIDING	12" BOARD		
WD	02	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	VERTICAL SIDING	4" BOARD		
WD	03	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	BEAM HAND HEWN TIMBERS	TIMBER SIZE VARIES	ALL EXPOSED TIMBERS SHALL MEET TYPE IV CONSTRUCTION & HEAVY TIMBER DIMENSIONAL AND CONNECTION REQUIREMENTS (REQ'S TO BE VERIFIED W/ LOCAL BUILDING DEPARTMENT)	

RUSTY PARROT LODGE

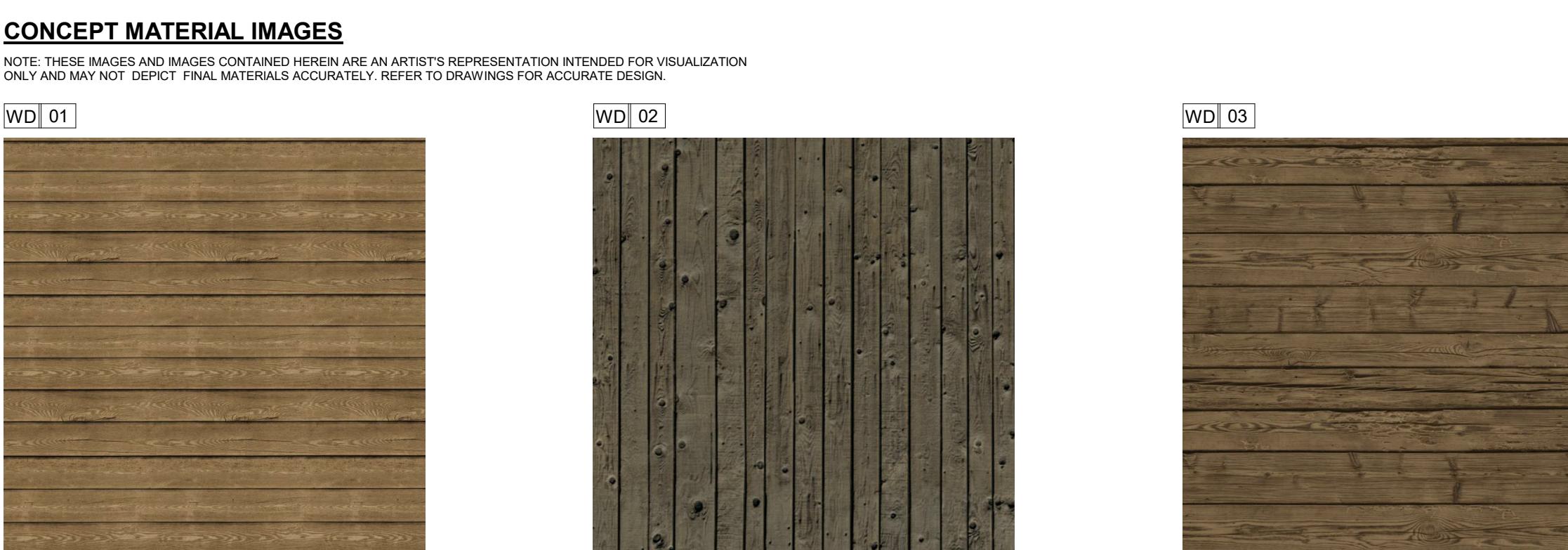
175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
EXTERIOR ELEVATIONS

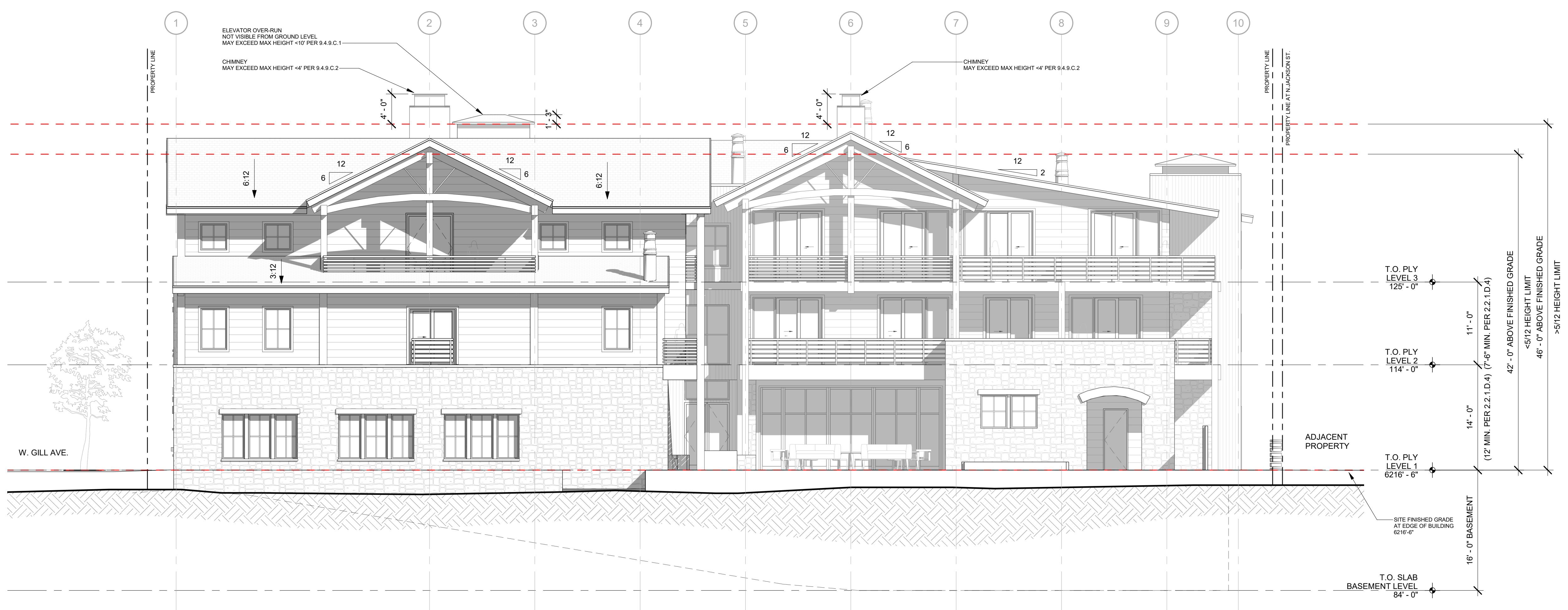
SCALE: 1/8" = 1'-0"

A4.3



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Issuances and Revisions:  
2020.05.01 DEVELOPMENT PERMIT  
APPLICATION



RUSTY PARROT  
LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
EXTERIOR  
ELEVATIONS TOJ  
COMPLIANCE  
SCALE: 1/8" = 1'-0"

A4.3\_A

Consultants:

Issuances and Revisions:  
2020.05.01 DEVELOPMENT PERMIT APPLICATION



1  
A4.4  
SOUTH ELEVATION - INTERIOR COURTYARD  
SCALE: 1/8" = 1'-0"

FINISH LIST - EXTERIOR							
MARK	NUMBER	MANUFACTURER	COLOR/FINISH	PATTERN/STYLE	SIZE	CONTACT	APPROX. LEAD TIME
<b>METAL</b>							
MTL	01	BERRIDGE OR SIM.	DARK BRONZE / ZINC TONE		VARIES		
MTL	02	TBD	DARK BRONZE / ZINC TONE	METAL SHINGLE TBD	TBD		
<b>STONE</b>							
ST	01	TBD	DRY STACK	TBD	VARIES W/ LARGEST STONES AT BASE		
<b>WOOD</b>							
WD	01	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	HORIZONTAL SIDING	12" BOARD		
WD	02	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	VERTICAL SIDING	4" BOARD		
WD	03	MONTANA TIMBER PRODUCTS OR SIM.	WEATHERED STAIN	BEAM HAND HEWN TIMBERS	TIMBER SIZE VARIES	ALL EXPOSED TIMBERS SHALL MEET TYPE IV CONSTRUCTION & HEAVY TIMBER DIMENSIONAL AND CONNECTION REQUIREMENTS (REQ'S TO BE VERIFIED W/ LOCAL BUILDING DEPARTMENT)	

RUSTY PARROT  
LODGE

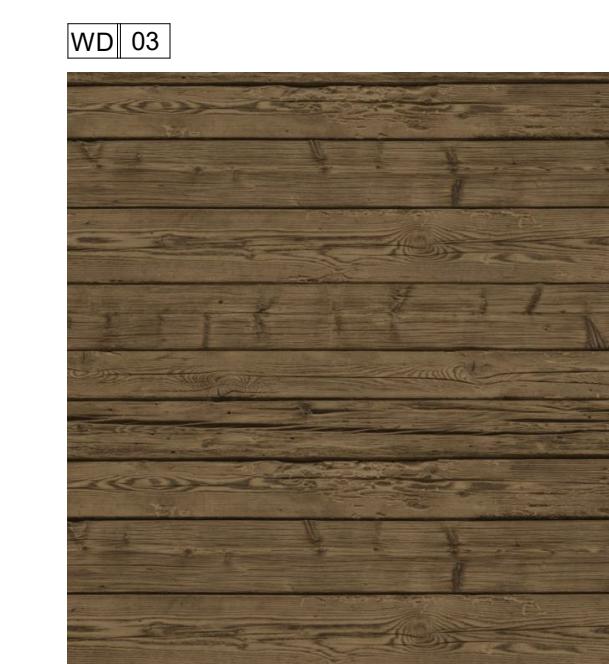
175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
EXTERIOR  
ELEVATIONS

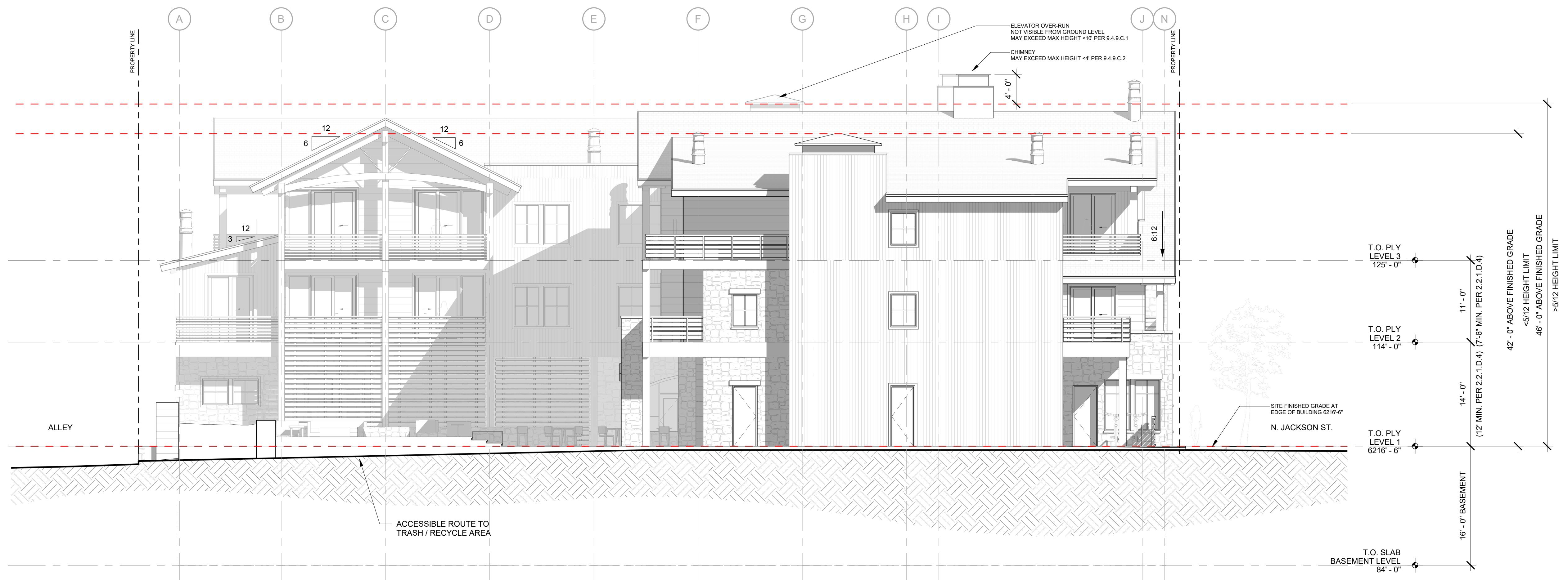
SCALE: 1/8" = 1'-0"

A4.4



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Issuances and Revisions:  
2020.05.01 DEVELOPMENT PERMIT  
APPLICATION



1  
A4.4\_A

SOUTH ELEVATION - TOJ COMPLIANCE

SCALE: 1/8" = 1'-0"

RUSTY PARROT  
LODGE

175 N. JACKSON ST.  
JACKSON, WY 83001

PROJECT NO:  
22007

SHEET TITLE:  
EXTERIOR  
ELEVATIONS TOJ  
COMPLIANCE  
SCALE: 1/8" = 1'-0"

A4.4\_A

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# RUSTY PARROT LODGE

JACKSON, WY

## DEVELOPMENT PERMIT APPLICATION



# RUSTY PARROT LODGE

1 MAY 2020

## GILL AVENUE APPROACH



Note: These images and images contained herein are an artist's representation intended for visualization only and may not depict all conditions accurately. Refer to drawings for accurate design.

# RUSTY PARROT LODGE

1 MAY 2020

## N. JACKSON STREET AND GILL AVENUE CORNER



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# RUSTY PARROT LODGE

1 MAY 2020

## GILL AVENUE PARKING ENTRANCE



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## COURTYARD



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# RUSTY PARROT LODGE

1 MAY 2020

## N. JACKSON STREET PEDESTRIAN



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# CONSULTANTS

ENGINEERING, SURVEYING & PLANNING  
LANDSCAPE ARCHITECTURE, GIS  
NATURAL RESOURCE SERVICES

## GEOTECHNICAL INVESTIGATION REPORT

RUSTY PARROT LODGE

**Prepared by:**

Y2 Consultants, LLC  
Zia Yasrobi, PE

**Prepared for:**

Harrison Hospitality Properties  
175 North Jackson Street  
Jackson, Wyoming

April 3, 2020



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- Figure 1. Vicinity Map
- Figure 2. Proposed Development
- Figure 3. Geologic Map
- Figure 4. Seismic Criteria Map
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- Figure 6. Borehole Locations Map
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### GEOTECHNICAL LABORATORY TEST RESULTS

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# INTRODUCTION

## SITE DESCRIPTION

The subject property is located at 175 North Jackson Street, Jackson, Wyoming (Appendix Figure 1), in the southwest corner of the North Jackson Street and West Gill Avenue intersection. At the time of the investigation the Rusty Parrot Lodge building, recently damaged by fire, was in the process of being demolished.

## PROPOSED DEVELOPMENT

The proposed development includes construction of a new multi-story hotel building with one underground parking garage for which the footprint generally spans the entire site (Appendix Figure 2; garage level not shown).

## SCOPE OF SERVICES

Y2 Consultants LLC (Y2) performed a geotechnical investigation at the subject site to provide geotechnical engineering recommendations for the proposed development. The results of this investigation are included in this report along with recommendations for foundation, slab-on-grade, excavation and pavement construction.

Scope of services for this work included a review of published geology, seismic, and soils information for the project site, advancing and logging four (4) exploratory boreholes, and performing laboratory analyses to provide geotechnical engineering recommendations for the proposed development. Two (2) of those boreholes were equipped with monitoring wells to track groundwater level.

## GEOLOGY

The geology of the subject property is found on the Geologic map of the Jackson Quadrangle, Teton County, Wyoming. An adapted version of this map is included in Appendix Figure 3. According to the map and other iterations of the map (1972, 2000, 2003), soils beneath the property are classified as Alluvium, Alluvial-fan deposits, and border Flood-plain deposits. These are further described on the map as follows:

*Alluvium – Valley and stream deposits of gravel with lesser amounts of sand, silt, and clay. T-1. gravel and sand at and slightly above Snake River level. T-2. dashes mark outer boundary of terrace surface 10 to 15 (3-4.5 m) feet above Snake River. surface is gravel overlain by thin discontinuous deposits of sand and silt.*

*Alluvial-fan deposits – Water-laid gravel, sand, silt, and clay spreading out from mouths of ravines and canyons; show linear sorting along distributaries; finer-grained debris becomes progressively more abundant toward downstream margin of fan.*

*Flood-plain deposits – Sand, silt, clay, and minor lenses of gravel; lesser amount of gravel at surface distinguishes these deposits from alluvium along topographically lower stream valleys. T-3 marks outer boundary of terrace surface 15 to 25 feet above T-2 and 10 to 15 feet below T-4; 1 to 3 feet of fines above gravel. T-4 dashes mark outer boundary of broad alluvial surface 30 to 40 feet above Snake River, has 2 to 4 feet of fines above gravel.*

## SEISMICITY AND GEOLOGIC HAZARDS

Teton County is located within the Intermountain Seismic Belt (ISB), a zone of seismicity extending south to Arizona and north into Montana. The subject property is located approximately 200 feet north of a segment of the Cache Creek thrust fault, 1,000 feet east of an unnamed normal fault, and 3,700 feet north of another segment of the Cache Creek thrust fault. The Jackson thrust fault is located approximately 4500ft south of the property (Appendix Figure 3).

According to the Wyoming Multi-Hazard Mitigation Plan, the Teton Fault and other Quaternary faults in northwestern Wyoming are considered capable of generating magnitude 7.0 to 7.5 earthquakes (Wyoming Office of Homeland Security 2016-2021). Strong ground motion at the project site can be expected if a sizeable earthquake occurs along the Teton Fault or other regional faults. Seismic design criteria, provided by the USGS, are shown in Figure 4 of this report.

Loose saturated sands and silts may liquify when exposed to seismic shaking. Evaluation of the potential for liquefaction during a large magnitude earthquake is beyond the scope of the investigation for this site.

The site is located approximately 1,800 ft from the nearest landslide area as shown in the Appendix Figure 5.

## SITE INVESTIGATION

### FIELD INVESTIGATION

On February 26<sup>th</sup> and 27<sup>th</sup>, 2020, Y2 conducted a subsurface investigation at the site which included drilling and sampling of four (4) boreholes to a depth of about 31.5 ft below grade. Boreholes were located within the footprint of the proposed building and underground parking to identify the stratigraphy of the site. The locations of the boreholes are shown on Figure 6 in the Appendix.

The boreholes were drilled by a subcontractor retained by Y2 using a truck mounted drill rig with hollow stem augers and were sampled with conventional split barrel samplers when the Standard Penetration Test (SPT) was carried out (ASTM D1586). A Professional Geotechnical Engineer from Y2 supervised the work and logged the boreholes. Soils were classified in the field, logged, and sampled by the geotechnical field crew. Soil classifications, moisture conditions, and presence of organic or other notable features were recorded in the field logs.

Samples were taken from the boreholes for further geotechnical laboratory testing at Y2. The geotechnical laboratory testing consisted of water content determination, sieve, and hydrometer analysis tests on selected soil samples. Test results for individual samples are labeled on the Borehole Logs at respective sampling depths. The results from the geotechnical lab testing are enclosed in the Appendix.

Groundwater levels were measured in the open boreholes upon completion of drilling. Monitoring wells consisting of 2 inch diameter PVC tubing were installed in all boreholes for ground water level monitoring. Ground water levels were measured in the wells at the time of drilling and at intervals thereafter. The results of the ground water level monitoring are summarized in the following sections and provided in the Appendix.

## OBSERVED SOILS

The boreholes encountered a surficial layer of topsoil/paver stones/concrete at the ground surface underlain by a sand and gravel. Underlying the sand and gravel, a layer of sandy silt till with trace amounts of clay and gravel was encountered below 25 ft depth in Boreholes 1 and 3, located at the easterly portion of the site. Intermittent layers of silty sand/silt/sand were encountered from 20 to 30 ft depth in Boreholes 2 and 4 located at the westerly portion of the site.

The sand and gravel deposit were generally loose to compact, above, and dense to very dense, below a depth of 5 ft, while the sandy silt till and silty sand/silt/sand deposits were compact to very dense (generally compact) in relative density.

## GROUNDWATER

The groundwater levels were measured in the boreholes upon completion and in the monitoring wells installed in the boreholes at intervals thereafter. The following table summarizes the results of groundwater level monitoring to date.

Table 1. Groundwater Level Monitoring Results

<b>Borehole No.</b>	<b>Groundwater Depth/Elevation(ft)</b>	
	Upon Completion of Drilling	April 2nd, 2020
BH 1	24	N/A
BH 2	21 / 6192.9	17.2 / 6196.7
BH 3	24	N/A
BH 4	25 / 6189.6	18.6 / 6196.2

## GEOTECHNICAL RECOMMENDATIONS

### FOUNDATION

Based on the information provided by the client, we understand that the proposed building will have one level of underground parking garage. The proposed foundations would be at about 16-18 ft below grade according to the conceptual plans.

The soils encountered in the boreholes below 10 ft are suitable to support the proposed building foundations. The topsoil and loose material are not suitable to provide support for the proposed foundations. The topsoil, vegetation, and loose materials should be removed from the construction area. The unsuitable materials in the building foundation area should be excavated to the underlying layer of dense to very dense sand and gravel prior to placement of foundations.

The foundations should be at least two feet above seasonally high groundwater level and footings below the frost depth of 36-inches. Accurate, seasonal high depth-to-groundwater should be determined prior to construction. At the time of the investigation and preparation of this report, groundwater has not yet reached levels that would impact construction at this site.

Based on the results of boreholes, the underlying dense to very dense layer of sand and gravel is competent to support conventional spread footings for the proposed building. The footings can be designed on the underlying dense to very dense sand and gravel layer with a bearing pressure of 6,000 pounds per square foot (psf) at 10 ft, and a bearing

pressure of 4,000 pounds per square foot (psf) at the founding level of 20 ft below grade. The recommended soil bearing pressure assumes a minimum footing depth of 36 inches and a maximum total settlement of 0.5 inches for individual footing and 0.3 inches for differential settlement between the footings.

The above analyses assume a maximum width of 2 feet for continuous footings and a maximum dimension of 4 feet for isolated footings. Construction of large footing sizes can lead to increased settlement as the bearing pressure bulb can extend deeper into the soil profile resulting in larger settlement than specified.

Any excessively loose material or soft spots encountered in the footing subgrade will require sub-excavation to the level of underlying competent soil and backfilling with structural fill placed in layers with a maximum thickness of 8 inches, compacted to 98% of maximum density per ASTM D698 (Standard Proctor). The compaction and testing should be carried out under the supervision of Y2.

Structural fill should meet the gradation specifications defined in Table 2. Structural fill material should be clean sand and gravel free of topsoil, organic debris such as roots or brush, with all material greater than 6-inches removed.

Table 2. Structural Fill Specifications

Sieve	% Passing
6-inch greater	Removed
5-inch	90 to 100
3/4-inch	60
No. 200	0 to 5

Bearing capacity values and settlement shall be checked for each combination of load to determine whether settlement or bearing capacity will control the response of the footing. Foundation elements supporting large concentrated loads should be analyzed on an individual basis to determine settlement and bearing characteristics.

The sand and gravel layer contain large size particles that should not bear directly against the footings and foundation walls. Oversize material, such as large cobble greater than 6 inches in diameter, should not be used as backfill against footings or foundation walls.

A waterproof barrier should be installed on the exterior surface of the foundation wall between the foundation wall and backfill and should extend from above grade to the bottom of the footer. The waterproof barrier should be either liquid-applied (roll or spray) or a sheet membrane. Prior to installing the waterproof barrier any holes, spalling, or recesses in the concrete wall resulting from removal of the forms should be filled using an appropriate cement surface sealant. See Table 3 for waterproof barrier specification, and Appendix Figure 7 for an illustration of foundation installation.

## SLAB-ON-GRADE CONSTRUCTION

For slab-on-grade construction loose materials including topsoil should be removed to the level of underlying sand and gravel deposit. Thickened edge slab should be at least two feet above seasonal high groundwater and native soils compacted to 95% of maximum density per ASTM D698 (Standard Proctor). A moisture barrier should be installed above the compacted native material finished by placing 6 to 8 inches of angular fill material, such as 3/4 inch minus crush base (Table 3). Rebar or wire mesh may be installed and will be designed by a structural engineer during the structural design phase of the project.

Table 3. Slab-on-Grade Construction

Material	Thickness (in inches)
Concrete Slab	4
Angular Course - $\frac{3}{4}$ inch Minus Crush Base Material	6 to 8
Waterproofing Barrier	10 mil Polypropylene or approved equal
Vapor Barrier (interior slabs)	15 mil Stegowrap, or approved equal
Vapor Retarder (exterior slabs, eg: garage)	10 mil Stegowrap, or approved equal
Compacted Fill	To meet finished grade

## PAVEMENT

The sand and gravel deposit are considered suitable subgrade for the proposed access road. The topsoil and loose materials should be removed from the footprint of the proposed access road. Structural fill should be placed in maximum 8-inch layers, compacted to 95% of maximum density per ASTM D698 (Standard Proctor) below the granular base of the access road to meet the finished grade. Four inches of compacted,  $\frac{3}{4}$  inch Minus Crush Base material shall overlay the structural fill. A minimum of 3 inches of asphalt surface is recommended if the access driveway is paved (Table 4).

Table 4. Driveway Specifications

Access Driveway Components	Thickness (in inches)
Asphalt Surface (optional)	3
$\frac{3}{4}$ inch Minus Crush Base Material	4
Structural Fill	As necessary to reach finished grade
Compacted Native Soil	Not required
Geotextile	Not required

## SURFACE DRAINAGE

Proposed grades should provide positive drainage away from structures. General recommendations are 5% for 10 feet or 10% for 5 feet. It is the responsibility of the civil engineer or other qualified professional to provide an appropriate grading plan that ensure protection of structures from excessive moisture.

## LATERAL EARTH PRESSURE

Structural fill or native sand and gravel may be used as back fill material for foundation walls. Large cobbles and large angular boulders, greater than 6 inches in diameter, should not be used as backfill against footings and foundations walls.

Lateral earth pressure parameters were calculated using Rankine and Jaky's theory with the assumption that the foundations are above groundwater elevation. Results are depicted in Table 5, assuming a horizontal backfill behind the wall:

Table 5. Lateral Earth Pressures

<b>Backfill Material</b>	<b>Unit Weight (pcf)</b>	<b>Earth Pressure Coefficients</b>		
		$K_o$	$K_a$	$K_p$
Structural Fill	130	0.50	0.33	3.00
Silty Sand/Silt/Sand/Till	130	0.47	0.31	3.25
Loose to Compact Sand and Gravel	140	0.44	0.28	3.54
Dense to very Dense Sand and Gravel	140	0.41	0.26	3.85

## EXCAVATION AND SHORING

Excavations for retaining walls and foundations shall conform to applicable OSHA and State of Wyoming safety standards. Excavations shall be laid back to safe slopes or properly shored. Excavations and shoring operations shall be conducted in accordance with the most recent versions of the OSHA Construction Standards for Excavations, Part 1926, Subpart P and Wyoming Public Works Standard Specifications. If site conditions observed during the excavation stage of construction are different than those detailed in this report, the structural design may need to be adjusted. A Professional Geologist and/or Structural Engineer from Y2 should observe the site conditions after the unsuitable material is excavated and before the imported fill is placed and compacted to ensure that site conditions have not changed and to verify bearing soils. More information on applicable shoring can be found in the OSHA Excavations: [Hazard Recognition in Trenching and Shoring Technical Manual Section VL Chapter 2](#).

## DEWATERING

As described above, groundwater elevation has not yet reached the level of the proposed footers. However, as the weather warms, and Spring runoff develops, the groundwater level may continue to rise. The contractor should be prepared for potential excavation dewatering depending on the time of year foundation construction takes place. Should the groundwater level rise to within 2 feet of the bottom of footings appropriate long-term dewatering measures will need to be developed.

## COMPACTION

Structural fill shall be placed in layers of not more than 8 inches in thickness. Each layer of structural fill should be moisture conditioned to within 2% of optimum moisture content and compacted to a minimum density of 95% of the maximum dry density as determined by ASTM Designation D 698. The maximum density of material containing more than 30% oversize (greater than  $\frac{3}{4}$ " diameter) cannot be determined by use of the ASTM Designation D 698. In this case, a field maximum density may be determined by a test strip method. The material shall be compacted at or near optimum moisture content and a field density test shall be taken after each pass of the compaction equipment. This sequence shall continue until the maximum field density is achieved. This maximum field density shall be used for subsequent field compaction tests. Enough density tests should be taken to monitor proper compaction.

## OTHER CONSIDERATIONS

- Topsoil should be stripped and stockpiled for future use.
- Final grade, slopes and landscaping should be sloped away from foundation areas. Site drainage recommendations should be provided by a Civil Engineer. Trees should be kept away from foundation and other structural elements.

- Y2 should be retained to provide comment on final plans and specifications to ensure the geotechnical recommendations in this report are enough.
- Foundation recommendations were made assuming the removal of unsuitable material and replacement with structural fill material.
- The Scope of Services was for geotechnical information only and does not address any environmental or biological issues on the subject property.

## **CONCLUSIONS**

Based on the results of geotechnical investigation, we are of the opinion that the subsurface condition at the site is suitable for the proposed development provided that the recommendations and instructions provided in this report be followed.

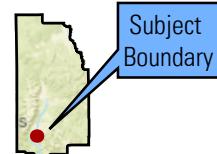
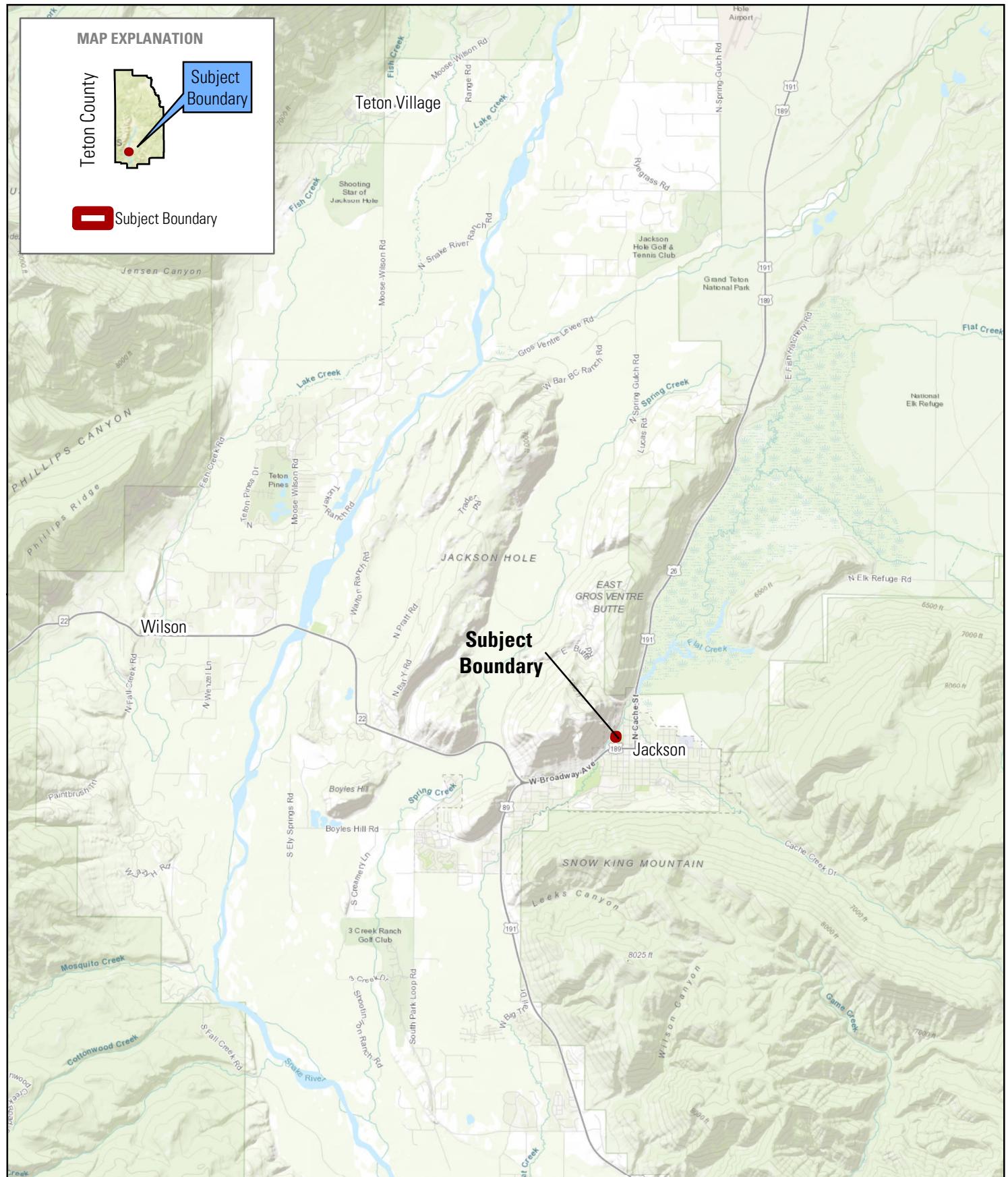
## **LIMITATIONS**

The geotechnical recommendations in this report are based on limited subsurface investigation and review of published literature. Subsurface conditions vary, and the possibility exists that unfavorable conditions exist on the property that were not identified during this limited investigation. Findings in this report are limited to data collected onsite and do not account for fill zones, and variability in soils throughout the property. Recommendations in this report are based on general engineering properties of soils and conditions observed onsite. Y2 Consultants should be retained to observe actual subsurface conditions during excavation activities to provide additional recommendations as needed.

The information and recommendations contained in this report are specific to the defined subject property. This report is for the sole use of Harrison Hospitality Properties (the "Client"), LLC and Y2 Consultants, LLC; no other use is authorized without written permission from Y2 Consultants, LLC.

**MAP EXPLANATION**

Teton County

**Subject Boundary**

1 inch = 2 miles

Miles

0 0.5 1 2

**Vicinity Map**

Geotechnical Investigation Report  
Harrison Hospitality Properties  
175 North Jackson Street  
Jackson, Wyoming



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1 inch = 40 feet  
Feet

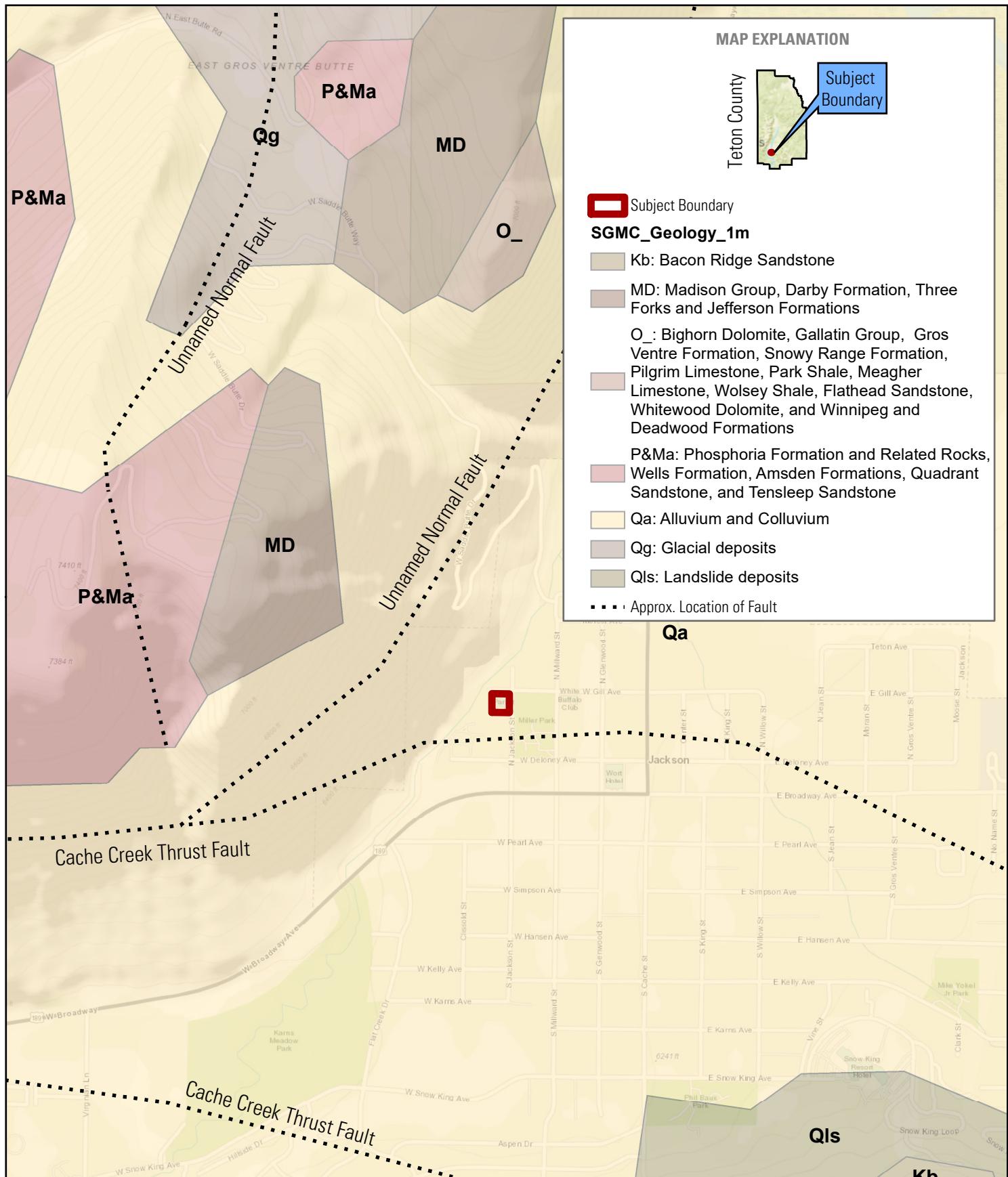
0 15 30 60

## Proposed Development

Geotechnical Investigation Report  
Harrison Hospitality Properties  
175 North Jackson Street  
Jackson, Wyoming



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1 inch = 1,042 feet  
0 260 520 1,040



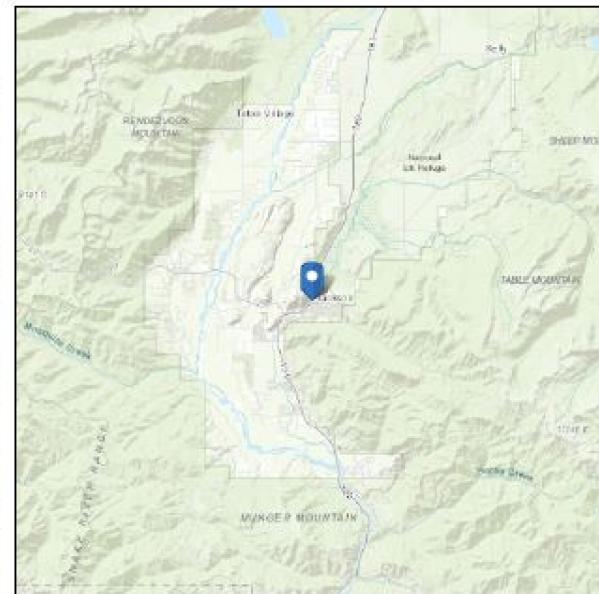
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**Address:**  
No Address at This Location

## ASCE 7 Hazards Report

**Standard:** ASCE/SEI 7-16    **Elevation:** 6209.06 ft (NAVD 88)  
**Risk Category:** IV    **Latitude:** 43.481659  
**Soil Class:** D - Default (see Section 11.4.3)    **Longitude:** -110.766722



### Seismic

**Site Soil Class:** D - Default (see Section 11.4.3)

**Results:**

$S_s$ :	1.039	$S_{D1}$ :	N/A
$S_1$ :	0.343	$T_L$ :	8
$F_a$ :	1.2	PGA :	0.461
$F_v$ :	N/A	PGA <sub>M</sub> :	0.553
$S_{MS}$ :	1.246	$F_{PGA}$ :	1.2
$S_{M1}$ :	N/A	$I_e$ :	1.5
$S_{DS}$ :	0.831	$C_v$ :	1.308

Ground motion hazard analysis may be required. See ASCE/SEI 7-16 Section 11.4.8.

**Data Accessed:** Thu Mar 12 2020

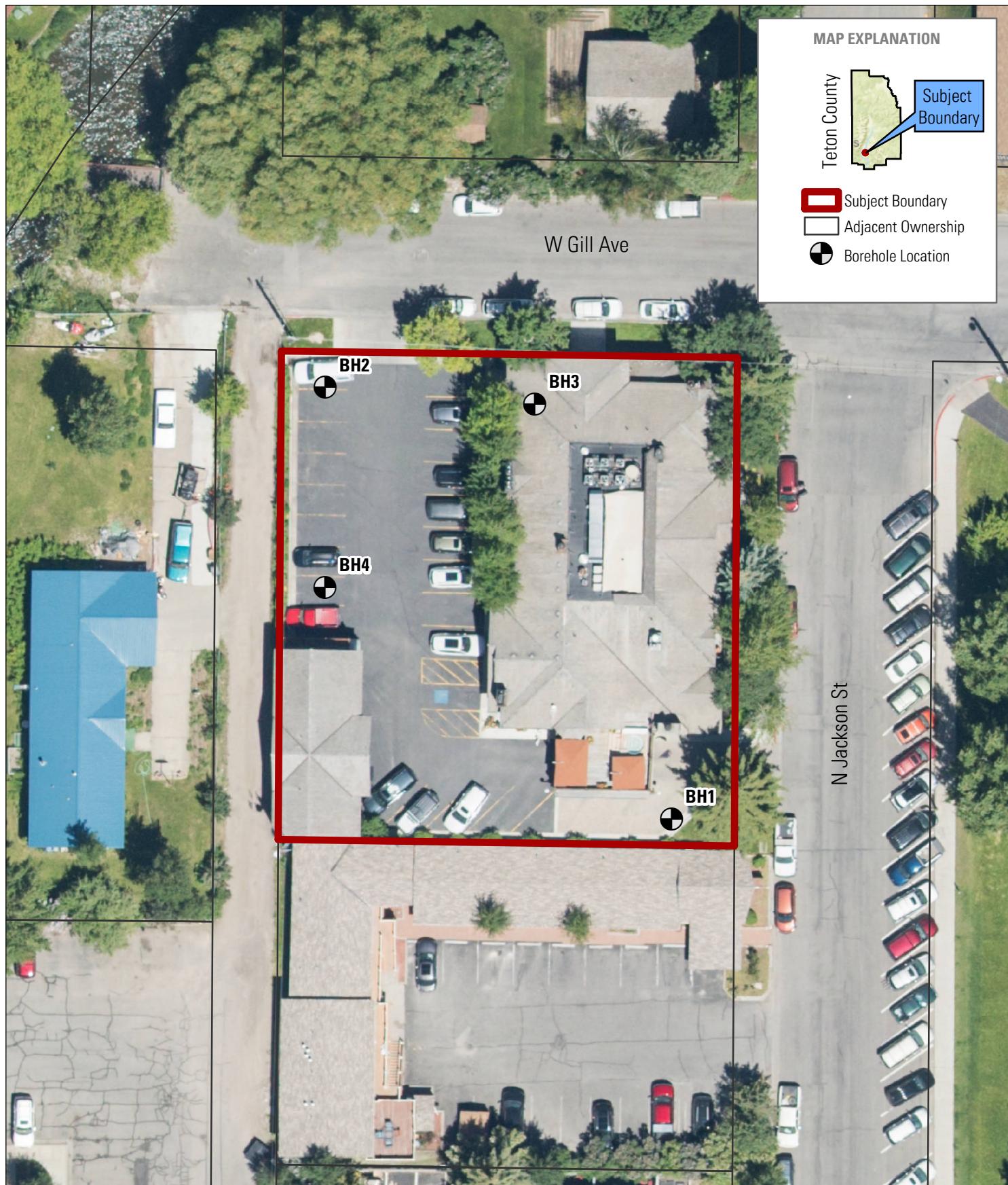
**Date Source:** [USGS Seismic Design Maps](#)

<https://asce7hazardtool.online/>  
Date: 3/12/2020

**Seismic Criteria**  
Geotechnical Investigation Report  
Harrison Hospitality Properties  
175 North Jackson Street  
Jackson, Wyoming



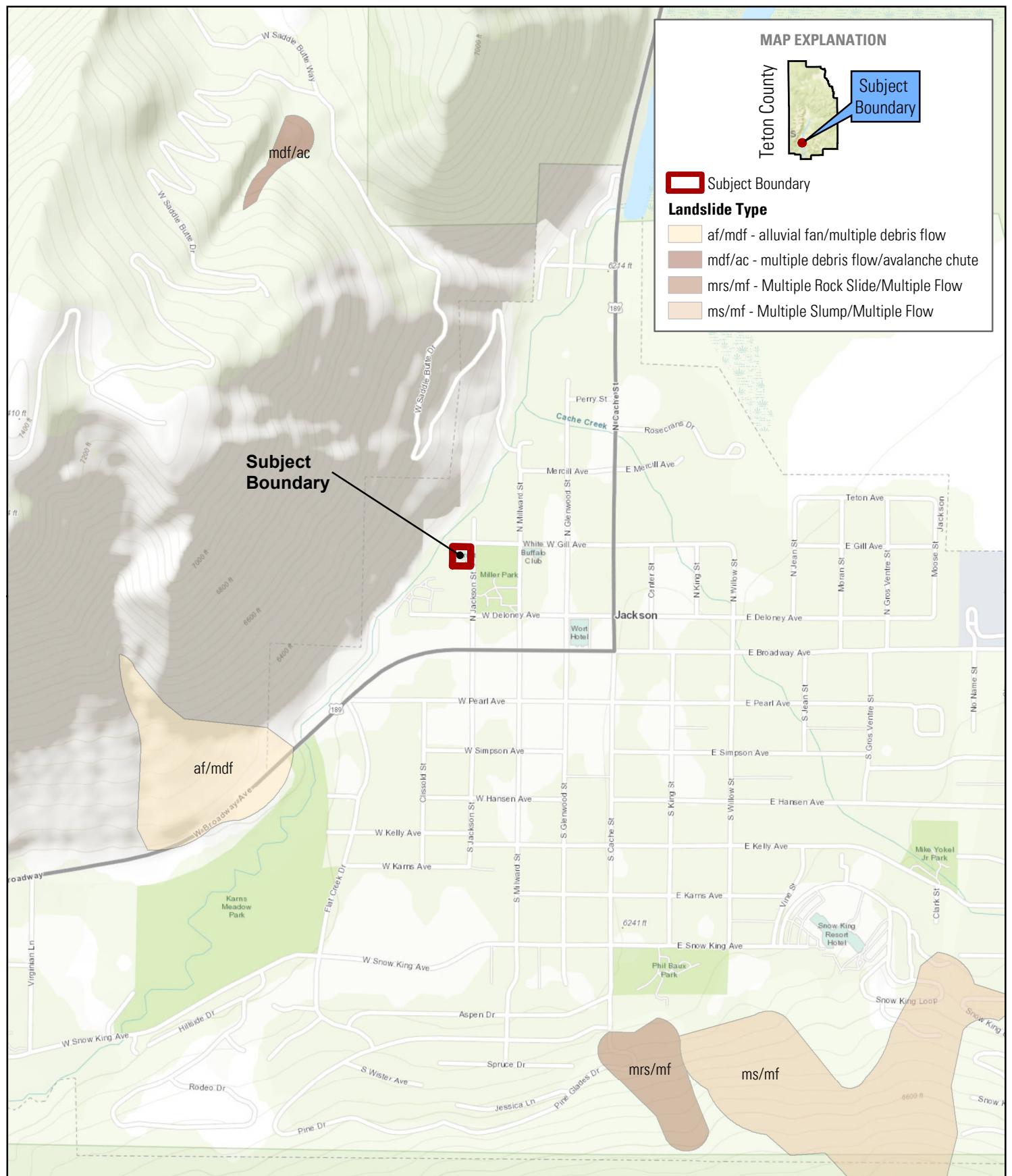
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**Test Pit Location Map**  
Geotechnical Investigation Report  
Harrison Hospitality Properties  
175 North Jackson Street  
Jackson, Wyoming



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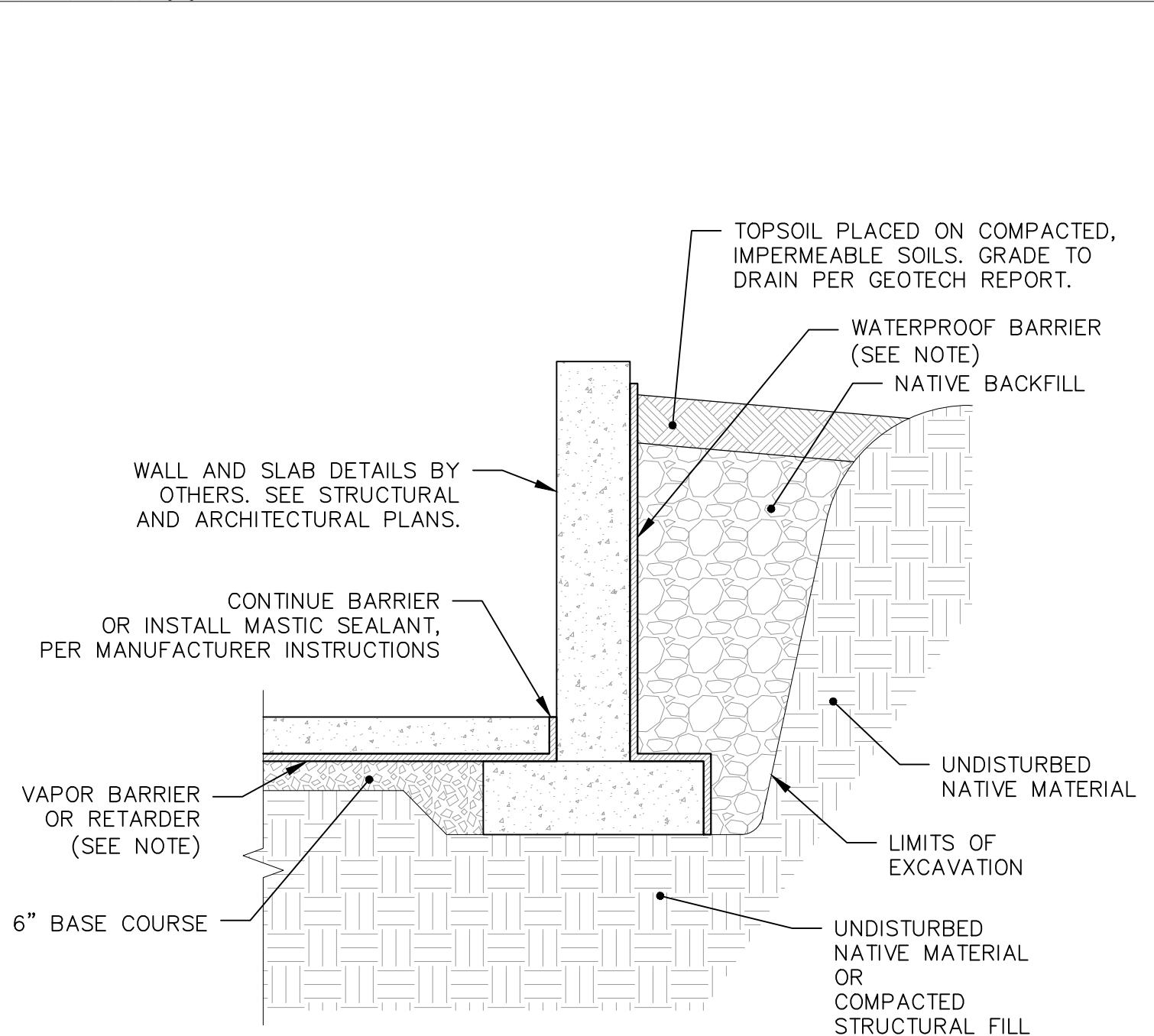
1 inch = 1,000 feet  
Feet

0 300 600 1,200

**Landslide Map**  
Geotechnical Investigation Report  
Harrison Hospitality Properties  
175 North Jackson Street  
Jackson, Wyoming



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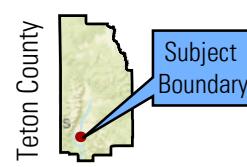
NOTES:

1. INSULATION NOT SHOWN, SEE ARCHITECTURAL PLANS FOR REQUIREMENTS.
2. FOUNDATION WALL EXTERIOR WATERPROOF BARRIER CAN BE ROLL-ON OR SHEET MEMBRANE. SEE GEOTECH REPORT FOR ADDITIONAL SPECIFICATIONS.
3. FOR INTERIOR SLABS USE VAPOR BARRIER. FOR EXTERIOR SLABS (EG. GARAGE) USE VAPOR RETARDER. SEE GEOTECH REPORT FOR ADDITIONAL SPECIFICATIONS.

FOUNDATION DETAIL	PLOT DATE:		SET TITLE:		DRAWN BY:	REVIEWED BY:
	TITLE DATE					
SHEET:						
<b>G1.1</b>						
JOB NO:						

**Y2**  
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### MAP EXPLANATION



Subject Boundary

#### MUSYM, MUNAME

12: Cryaquolls-Cryofibrists complex

13: Cryorthents-Cryborolls complex, 60 to 90 percent slopes

14: Greyback gravelly loam, 0 to 3 percent slopes

19: Greyback-Thayne complex, 10 to 20 percent slopes

20: Greyback-Thayne complex, 20 to 30 percent slopes

21: Grobutte-Thayne gravelly loams, 30 to 60 percent slopes

29: Newfork fine sandy loam

46: Starman-Owlcan association

52: Tetonia-Lantonia silt loams, 10 to 20 percent slopes

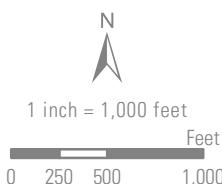
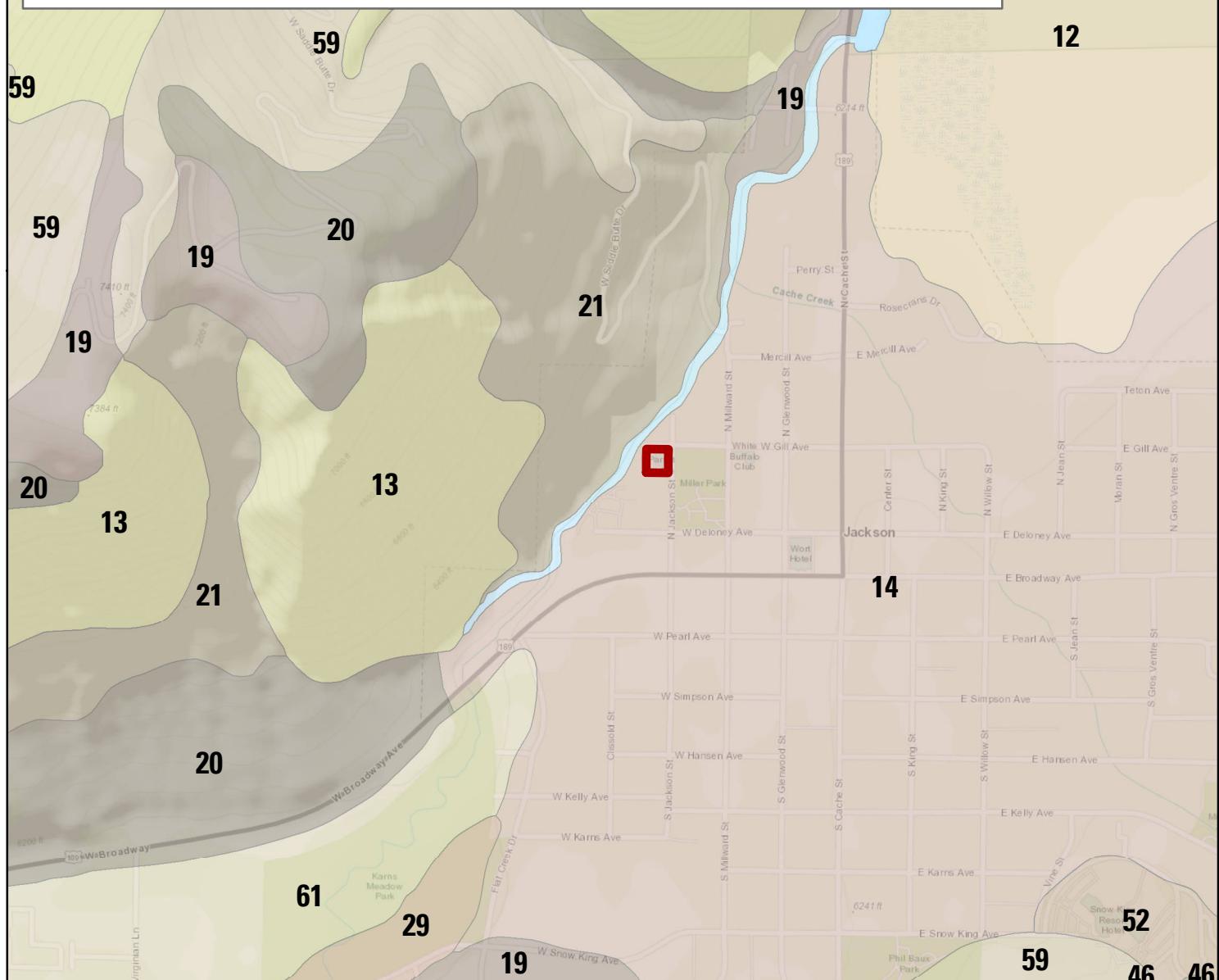
53: Tetonia-Lantonia silt loams, 20 to 30 percent slopes

59: Thayne-Adel complex, 30 to 60 percent slopes

61: Tineman gravelly loam, wet

69: Turnerville silt loam, 0 to 30 percent slopes

73: Water



**Soils Map**  
Geotechnical Investigation Report  
Harrison Hospitality Properties  
175 North Jackson Street  
Jackson, Wyoming



Y2consultants.com  
307.733.2999

<b>Boring Number</b>		BH-1	<b>Drilling Contractor</b>	IME - Truck	<b>Date</b>	2/26/2020
<b>Time Start</b>		11:00am	<b>Drilling Method</b>	HAS	<b>Project No</b>	19352
<b>Time Finished</b>		1:30pm	<b>Backfill material</b>	Cuttings	<b>Water depth at drilling</b>	24'
<b>Page 1 of</b>		2	<b>Total Depth</b>	30'	<b>Static Water Level</b>	-
Depth in Feet	Sample Type	Sample No.	Blows per 6 IN.	N-value	Sample Description	Notes
			13			4" paver stone
1		SS1	11	20		
			9		Sand and gravel	
2						
3			6			
			4			
4		SS2	4	8	Moist sand and gravel	
5						
6		SS3	50/5"	50/5"		
			-			
			-		Sand and gravel, pieces of boulder	Spoon bouncing
7		SS4		90/8"		
8			23			
			40			
9		SS5	50/2"	50/5"	Sand and gravel	
10						Auger grinding
11		SS6	48	66/11"		
			50/5"			
			-		Sand and gravel	
12		SS6		66/11"		
13						
14						
15						
16			4			
			11			
					Sand, some gravel, top 2" sand and gravel	
17		SS6		66/11"		
18						
19						
20						



<b>Boring Number</b>		BH-2	<b>Drilling Contractor</b>	IME - Truck	<b>Date</b>	2/26/2020
<b>Time Start</b>		11:00am	<b>Drilling Method</b>	HAS	<b>Project No</b>	19352
<b>Time Finished</b>		1:30pm	<b>Backfill material</b>	Cuttings	<b>Water depth at drilling</b>	21'
<b>Page 1 of</b>		2	<b>Total Depth</b>	30'	<b>Static Water Level</b>	-
Depth in Feet	Sample Type	Sample No.	Blows per 6 IN.	N-value	Sample Description	Notes
			24			6" asphalt
1		SS1	15	28	Fill	
			13		Sand and gravel	
2						
3			6			
			8			
4		SS2	7	15	Sand and gravel	
5		SS3		8		Auger grinding
6			3			
			3			
			5		Gravel and sand	
7		SS4		47		
8			11			
			20			
9			27		Sand and gravel	
10		SS5		63		Auger grinding
11			9			
			27			
			36		Sand and gravel	
12		SS6		50/5"		
13						
14						
15						
			41			Auger grinding
16		SS6	50/5"	50/5"		
			-		Sand and gravel	
17						
18						
19						
20						

<b>Boring Number</b>		BH-2	<b>Drilling Contractor</b>	IME - Truck	<b>Date</b>	2/26/2020
<b>Time Start</b>		11:00am	<b>Drilling Method</b>	HAS	<b>Project No</b>	19352
<b>Time Finished</b>		1:30pm	<b>Backfill material</b>	Cuttings	<b>Water depth at drilling</b>	21'
<b>Page 2 of</b>		2	<b>Total Depth</b>	30'	<b>Static Water Level</b>	-
Depth in Feet	Sample Type	Sample No.	Blows per 6 IN.	N-value	Sample Description	Notes
20	SS7		23	29		Auger grinding
			20			Groundwater @21'
21.5'			9		Silty sand, tr clay, tr gravel, till, wet	
25			3			
			7			
26.5	SS8		17	24	Silt, tr clay, tr gravel, wet, cohesive	
30			20			
			30			
31.5	SS9		24	54	Sand and gravel, tr silt, wet	
35						

<b>Boring Number</b>		BH-3	<b>Drilling Contractor</b>	IME - Truck	<b>Date</b>	2/26/2020
<b>Time Start</b>		8:00am	<b>Drilling Method</b>	HAS	<b>Project No</b>	19352
<b>Time Finished</b>		1:00pm	<b>Backfill material</b>	Cuttings	<b>Water depth at drilling</b>	24'
<b>Page 1 of</b>		2	<b>Total Depth</b>	30'	<b>Static Water Level</b>	-
Depth in Feet	Sample Type	Sample No.	Blows per 6 IN.	N-value	Sample Description	Notes
	SS1		18	51		3" conc and surface
1			39			Fill
			12			Sand and gravel
2	SS2			7		
3			4			
4			3			
	SS3		4	49		Sandy silt
5						
6			9			
			13			
			36			Sand and gravel
7	SS4			52		
8			13			Auger grinding
			24			
9			28			Sand and gravel
10	SS5			37		
11			7			
			15			
			22			Sand and gravel
12	SS6			50/5"		
13						
14						
15						
			13			
16			50/5"			
			-			Sand and gravel
17						
18						
19						
20						

<b>Boring Number</b>		BH-3	<b>Drilling Contractor</b>	IME - Truck	<b>Date</b>	2/26/2020
<b>Time Start</b>		8:00am	<b>Drilling Method</b>	HAS	<b>Project No</b>	19352
<b>Time Finished</b>		1:00pm	<b>Backfill material</b>	Cuttings	<b>Water depth at drilling</b>	24'
<b>Page 2 of</b>		2	<b>Total Depth</b>	30'	<b>Static Water Level</b>	-
Depth in Feet	Sample Type	Sample No.	Blows per 6 IN.	N-value	Sample Description	Notes
20	SS7		24	50/4"		Auger grinding
			50/4"			
21.5'			-		Sand and gravel, some silt, wet	
	SS8			15		
25			5			
			6			
					Sandy silt till, tr gravel, tr clay, compact, gray, wet	
26.5			9			
	SS9			77/10"		
30			6			Auger grinding
	SS9		27	77/10"	9A - As above	
31.5			50/4"		9B - sand and gravel	
	SS9					
35						

<b>Boring Number</b>		BH-4	<b>Drilling Contractor</b>	IME - Truck	<b>Date</b>	2/26/2020
<b>Time Start</b>		2:00pm	<b>Drilling Method</b>	HAS	<b>Project No</b>	19352
<b>Time Finished</b>		5:00pm	<b>Backfill material</b>	Cuttings	<b>Water depth at drilling</b>	25'
<b>Page 1 of</b>		2	<b>Total Depth</b>	30'	<b>Static Water Level</b>	19'
Depth in Feet	Sample Type	Sample No.	Blows per 6 IN.	N-value	Sample Description	Notes
	SS1		50/5"	50/5"	Sand and gravel	3" asphalt
1			-			Granular base
			-			
2	SS2			41	2A - 12" Sandy silt till 2B - 6" Sand and gravel	
3			14			Auger grinding
			20			
4			21			
5	SS3			60	Sand and gravel	
6			10			
			24			
			36			
7	SS4			75	Sand and gravel	
8			18			
			43			
9			32			
10	SS5			43	Sand and gravel	
11			10			
			23			
			20			
12	SS6			85	Sand and gravel	
13						
14						Auger grinding
15						
			27			
16			43			
			42			
17						
18						
19						
20						

<b>Boring Number</b>		BH-4	<b>Drilling Contractor</b>	IME - Truck	<b>Date</b>	2/26/2020
<b>Time Start</b>		2:00pm	<b>Drilling Method</b>	HAS	<b>Project No</b>	19352
<b>Time Finished</b>		5:00pm	<b>Backfill material</b>	Cuttings	<b>Water depth at drilling</b>	25'
<b>Page 2 of</b>		2	<b>Total Depth</b>	30'	<b>Static Water Level</b>	19'
Depth in Feet	Sample Type	Sample No.	Blows per 6 IN.	N-value	Sample Description	Notes
20	SS7		25	50/5"		Auger grinding
			50/5"			
21.5'			-		Sand and gravel, wet	
	SS8			24		
25			20			Groundwater @25'
			15			
26.5			9		Sand and gravel, wet	
	SS9			41		
30			2			
			11			
31.5			30		Sand, tr gravel, tr silt	
35						

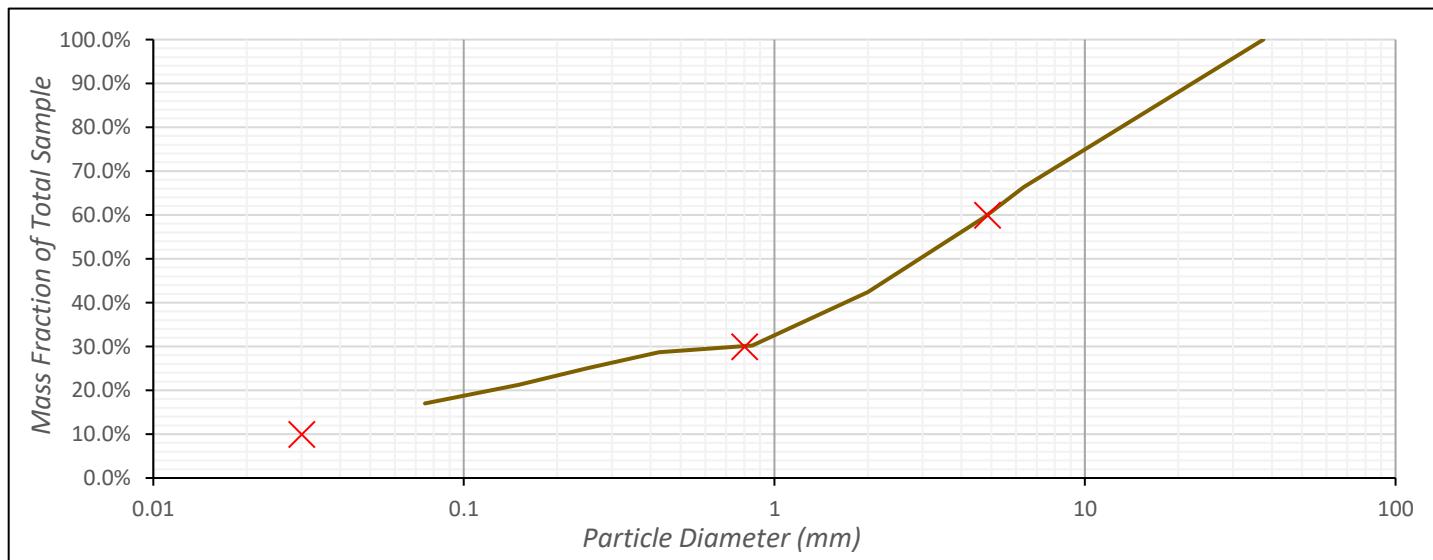
## Soil Analyses

(Sieve, Atterberg, Hydrometer &amp; Moisture)



CONSULTANTS

Project Number:	19352		Sample No:	19352-BH1-SS5		
Sample Depth:	11.5		Tested By:	AK	Checked By:	
Sample Date:	2/26/2020					
Sieve Number	Diameter (mm)	Mass of Empty Sieve (g)	Mass of Sieve + Soil Retained (g)	Soil Retained (g)	Soil Retained (%)	Soil Passing (%)
1 1/2"	37.5	0.0	0.0	0.0	0.0%	100.0%
1/4"	6.35	789.6	975.6	186.0	33.6%	66.4%
#4	4.75	509.8	547.9	38.1	6.9%	59.5%
#10	2	478.8	573.4	94.6	17.1%	42.4%
#20	0.85	636.1	703.2	67.1	12.1%	30.2%
#40	0.425	362.7	371.2	8.5	1.5%	28.7%
#60	0.25	554.8	575.0	20.2	3.7%	25.0%
#100	0.15	522.3	543.3	21.0	3.8%	21.2%
#200	0.075	320.6	344.0	23.4	4.2%	17.0%
Pan	0	372.6	374.6	2.0	0.4%	16.7%
				Washed Material	92.1	16.7%
				Sum of Total Sample	553.0	100.0%



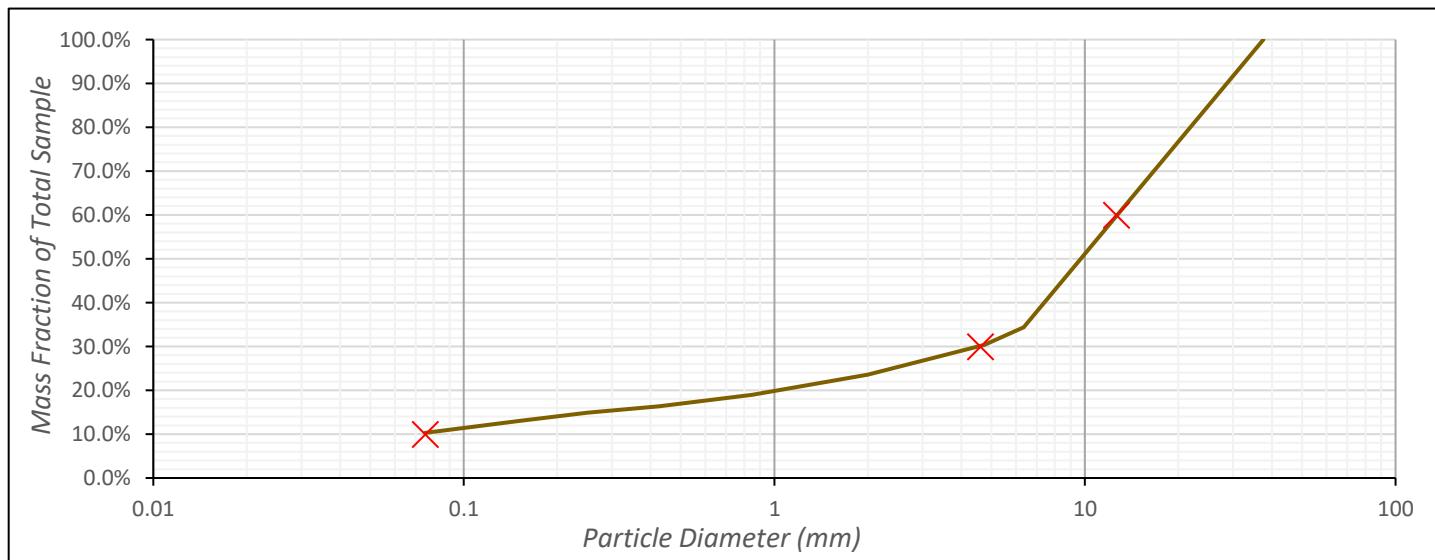
Gravel Content	40.5%	$D_{10}$ (mm) =	0.03	$Cu$ =	161.67
Sand Content	42.5%	$D_{30}$ (mm) =	0.80	$Cc$ =	4.40
Fines Content	17.0%	$D_{60}$ (mm) =	4.85		
Sample Classification	Silty Sand with Gravel			Plastic Limit	0.0%
Classification Abbreviation	SM			Liquid Limit	0.0%
Fine Classification	ML			Plasticity Index	0.0%
Moisture Content					
Mass of Container (g)		0.0	Moisture Content		
Mass of Container + Wet Soil (g)		153.1	4%		
Mass of Container + Dry Soil (g)		146.7			



## Soil Analyses

### (Sieve, Atterberg, Hydrometer & Moisture)

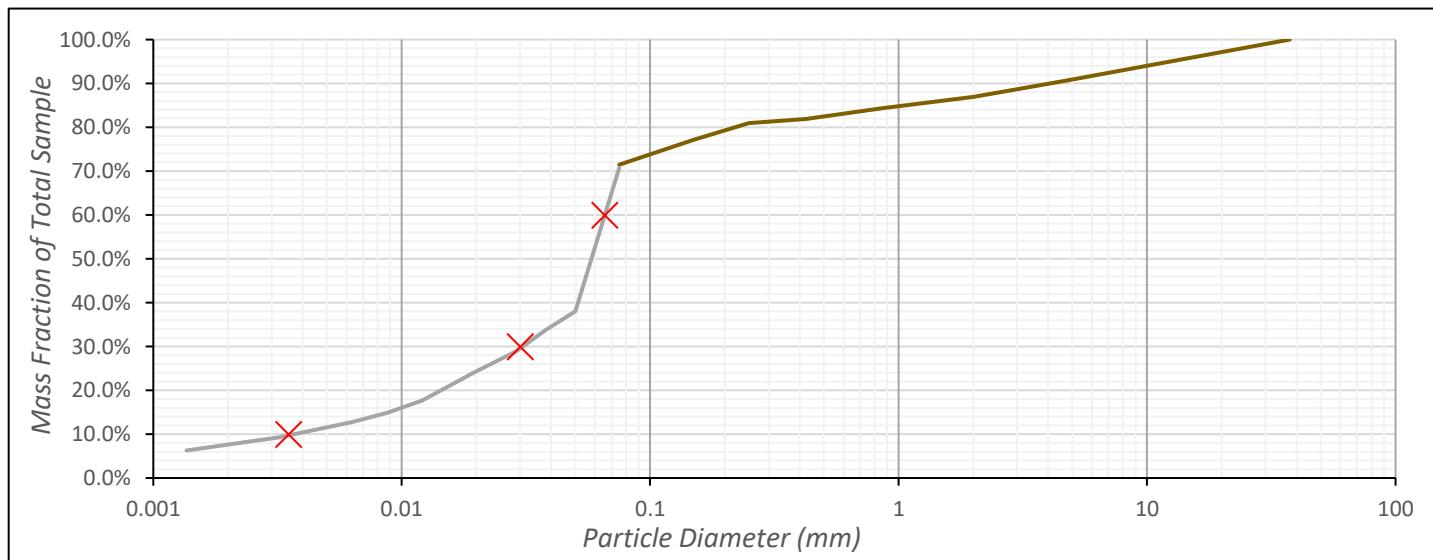
Project Number:	19352		Sample No:	19352-BH2-SS3		
Sample Depth:	6.5		Tested By:	AK	Checked By:	
Sample Date:	2/26/2020					
Sieve Number	Diameter (mm)	Mass of Empty Sieve (g)	Mass of Sieve + Soil Retained (g)	Soil Retained (g)	Soil Retained (%)	Soil Passing (%)
1 1/2"	37.5	0.0	0.0	0.0	0.0%	100.0%
1/4"	6.35	789.6	1014.8	225.2	65.6%	34.4%
#4	4.75	509.8	523.6	13.8	4.0%	30.3%
#10	2	478.8	502.0	23.2	6.8%	23.6%
#20	0.85	636.1	651.9	15.8	4.6%	19.0%
#40	0.425	362.7	371.7	9.0	2.6%	16.4%
#60	0.25	554.8	559.8	5.0	1.5%	14.9%
#100	0.15	522.3	528.9	6.6	1.9%	13.0%
#200	0.075	320.6	329.7	9.1	2.7%	10.3%
Pan	0	372.6	373.8	1.2	0.3%	10.0%
				Washed Material	34.2	10.0%
				Sum of Total Sample	343.1	100.0%



Gravel Content	69.7%	D <sub>10</sub> (mm) =	0.08	Cu =	168.00
Sand Content	20.0%	D <sub>30</sub> (mm) =	4.60	Cc =	22.39
Fines Content	10.3%	D <sub>60</sub> (mm) =	12.60		
Sample Classification	Poorly-graded Gravel with Silt and Sand			Plastic Limit	0.0%
Classification Abbreviation	GP-GM			Liquid Limit	0.0%
Fine Classification	ML			Plasticity Index	0.0%
Moisture Content					
Mass of Container (g)		0.0	Moisture Content		
Mass of Container + Wet Soil (g)		206.0	4%		
Mass of Container + Dry Soil (g)		198.0			

**Soil Analyses****(Sieve, Atterberg, Hydrometer & Moisture)****CONSULTANTS**

<b>Project Number:</b>	19352		<b>Sample No:</b>	19352-BH3-SS8		
<b>Sample Depth:</b>	26.5			<b>Tested By:</b>	AK	<b>Checked By:</b>
<b>Sample Date:</b>	2/26/2020					
Sieve Number	Diameter (mm)	Mass of Empty Sieve (g)	Mass of Sieve + Soil Retained (g)	Soil Retained (g)	Soil Retained (%)	Soil Passing (%)
1 1/2"	37.5	0.0	0.0	0.0	0.0%	100.0%
1/4"	6.35	789.6	852.2	62.6	8.0%	92.0%
#4	4.75	509.8	520.3	10.5	1.3%	90.6%
#10	2	478.8	507.4	28.6	3.7%	87.0%
#20	0.85	636.1	657.1	21.0	2.7%	84.3%
#40	0.425	362.7	381.2	18.5	2.4%	81.9%
#60	0.25	554.8	562.0	7.2	0.9%	81.0%
#100	0.15	522.3	552.0	29.7	3.8%	77.2%
#200	0.075	320.6	364.5	43.9	5.6%	71.5%
Pan	0	372.6	378.5	5.9	0.8%	70.8%
				Washed Material	551.6	70.8%
				Sum of Total Sample	779.5	100.0%



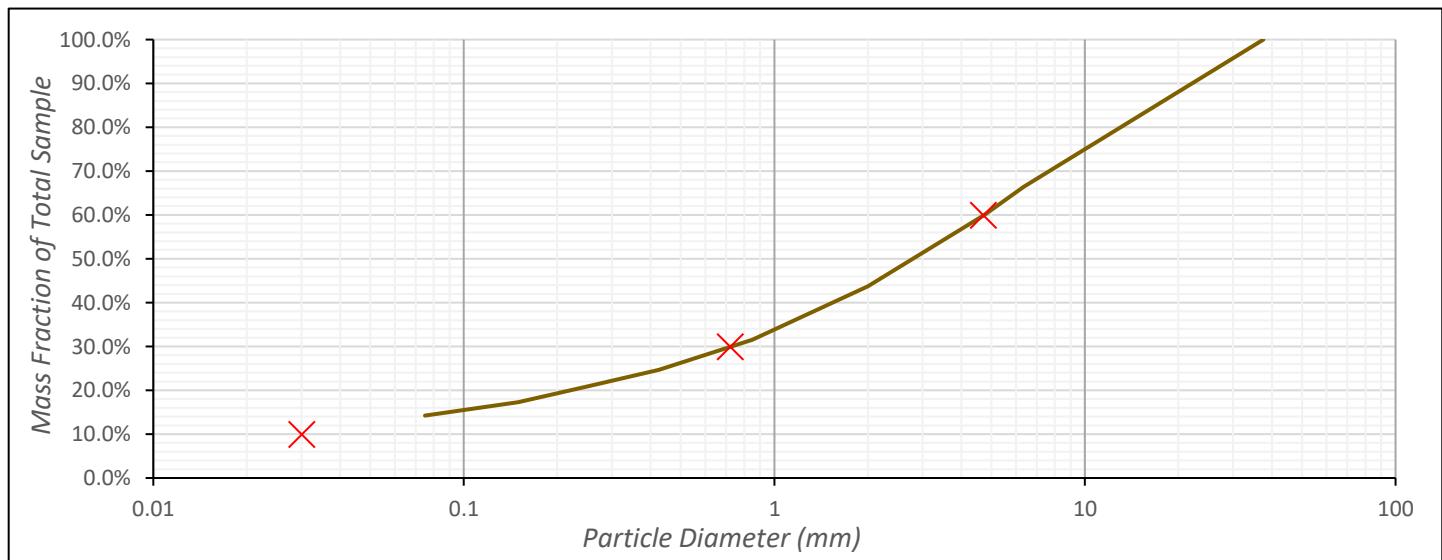
<b>Gravel Content</b>	9.4%	<b>D<sub>10</sub> (mm) =</b>	0.00	<b>Cu =</b>	18.71
<b>Sand Content</b>	19.1%	<b>D<sub>30</sub> (mm) =</b>	0.03	<b>Cc =</b>	3.93
<b>Fines Content</b>	71.5%	<b>D<sub>60</sub> (mm) =</b>	0.07		
<b>Sample Classification</b>	Silt with Sand			<b>Plastic Limit</b>	0.0%
<b>Classification Abbreviation</b>	ML			<b>Liquid Limit</b>	16.5%
<b>Fine Classification</b>	ML			<b>Plasticity Index</b>	0.0%
<b>Moisture Content</b>					
<b>Mass of Container (g)</b>		0.0	<b>Moisture Content</b>		
<b>Mass of Container + Wet Soil (g)</b>		311.5	25%		
<b>Mass of Container + Dry Soil (g)</b>		249.8			



## Soil Analyses

### (Sieve, Atterberg, Hydrometer & Moisture)

Project Number:	19352		Sample No:	19352-BH4-337		
Sample Depth:	21.5		Tested By:	AK	Checked By:	
Sample Date:	2/26/2020					
Sieve Number	Diameter (mm)	Mass of Empty Sieve (g)	Mass of Sieve + Soil Retained (g)	Soil Retained (g)	Soil Retained (%)	Soil Passing (%)
1 1/2"	37.5	0.0	0.0	0.0	0.0%	100.0%
1/4"	6.35	789.6	1003.9	214.3	33.6%	66.4%
#4	4.75	509.8	551.1	41.3	6.5%	60.0%
#10	2	478.8	582.6	103.8	16.3%	43.7%
#20	0.85	636.1	714.1	78.0	12.2%	31.5%
#40	0.425	362.7	406.4	43.7	6.8%	24.7%
#60	0.25	554.8	579.2	24.4	3.8%	20.8%
#100	0.15	522.3	544.8	22.5	3.5%	17.3%
#200	0.075	320.6	340.2	19.6	3.1%	14.2%
Pan	0	372.6	375.0	2.4	0.4%	13.9%
				Washed Material	88.6	13.9%
				Sum of Total Sample	638.6	100.0%



Gravel Content	40.0%	$D_{10}$ (mm) =	0.03	$Cu$ =	156.67
Sand Content	45.7%	$D_{30}$ (mm) =	0.72	$Cc$ =	3.68
Fines Content	14.2%	$D_{60}$ (mm) =	4.70		
Sample Classification	Silty Sand with Gravel			Plastic Limit	0.0%
Classification Abbreviation	SM			Liquid Limit	0.0%
Fine Classification	ML			Plasticity Index	0.0%
Moisture Content					
Mass of Container (g)		0.0	Moisture Content		
Mass of Container + Wet Soil (g)		210.7	12%		
Mass of Container + Dry Soil (g)		188.4			



Figure 1: BH-1



Figure 2: BH-2 Monitoring well



Figure 3: BH-3



Figure 4: BH-3 Split spoon sample from 21.5' bgs



Figure 5: BH-3 Typical soil from borehole.



Figure 6: BH-4



Figure 7: BH-4 Monitoring well and typical soil from borehole.

### 19352 Rusty Parrot Well Monitoring

Borehole	Cap Elevation	Ground Elevation	
BH2	6213.86	6214	2/26/2020
BH4	6214.59	6214	4/2/2020

Date	Water Level Reading			Conditions	Notes	
	BH-2	Elevation	BH-4	Elevation		
26-Feb-20	21.0	6192.9	25.0	6189.6	Cold, cloudy	Initial measurement taken at groundwater
26-Mar-20	17.2	6196.7	18.6	6196.0	Sunny, 30F	Had to find BH-4 under ice, about 20 mins of chipping ice
30-Mar-20	17.2	6196.7	18.1	6196.5	Sunny, 30F	Bentonite had melted and made a mess inside the well casings in BH-2, pictures in folder
2-Apr-20	17.2	6196.7	18.4	6196.2	Sunny, 20F	N/A

## Rusty Parrot Groundwater Levels

