



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: May 1, 2020

Item #: P20-082

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Fax: 734-3563

Email: tvalentine@jacksonwy.gov

Owner:

Valley View Sewer Co – Jim Fowler
PO Box 1248
Jackson, WY 83002

Applicant:

Nelson Engineering – Matt Bowers
PO Box 1599
Jackson, WY 83001

REQUESTS:

The applicant is submitting a request for a Sewer Connect located at Deer Drive ROW ().

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

Please respond by:

May 22, 2020 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: **Valley View Sanitary Sewer Connection Project**

Physical Address: **Deer Dr**

Lot, Subdivision: **Deer Dr ROW, Valley View Subdivision**

PIDN: _____

PROPERTY OWNER.

Name: **Jim Fowler, Valley View Sewer Co.**

Phone: **307-413-4863**

Mailing Address: **PO Box 1248 Jackson, WY**

ZIP: **83002**

E-mail: **jnf.ercmc@gmail.com**

APPLICANT/AGENT.

Name: **Matt Bowers, P.E., Nelson Engineering**

Phone: **307-733-2087**

Mailing Address: **PO Box 1599 Jackson, WY**

ZIP: **83001**

E-mail: **mbowers@nelsonengineering.net**

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit	Physical Development	Interpretations
<input type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input type="checkbox"/> Design Review	Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	Miscellaneous
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input checked="" type="checkbox"/> Other: Sewer Connection
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

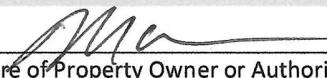
Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

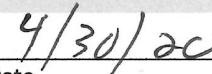
Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Property Owner or Authorized Applicant/Agent

Matt Bowers, P.E.

Name Printed


Date

Project Engineer

Title

Teton County Planning and Building Department
200 S. Willow, P.O. Box 1727
Jackson, WY 83001
Phone (307)733-7030



LETTER OF AUTHORIZATION BY OWNER

THE LETTER OF AUTHORIZATION IS TO BE SUBMITTED ONLY IF THE APPLICANT/AGENT IS NOT THE RECORDED OWNER OF THE PROPERTY. THE RECORDED OWNER MUST SIGN THE LETTER OF AUTHORIZATION AND HAVE IT NOTARIZED.

OWNER, CO-OWNER, OR CORPORATE OWNER:

Name: Valley View Sewer Company, L.L.C.

Physical Address of Property: N/A -- Valley View Subdivision -- Deer Drive

Mailing Address: PO Box 12483 Jackson, Wyoming

Zip code: 83002 Phone: Jim Fowler Manager/President 307-413-4863

Email: jnf.ercmc@gmail.com

AGENT OR CONTRACTOR: (If authorizing Agent and Contractor, fill out a form for each)

Name: Nelson Engineering --- Matt Bowers

Mailing Address: PO Box 1599 Jackson, Wyoming

Zip code: 83001 Phone: 307-733-2087

Email: mbowers@nelsonengineering.net

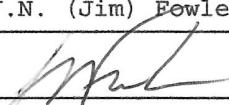
Owner, Co-Owner, or Corporate Owner, ("Owner") which property is specifically described as Valley View Subdivision -- Deer Drive # 22-17N W. Elk Ave # 22-17S

hereby authorizes Agent or Contractor, as stated above, to represent and/or act for Owner in making application for, receiving, and accepting on Owner's behalf, any permits or other action by the Teton County Commissioners, Planning and Development, Building, and/or Engineering Departments relating to Owner's Property in Teton County, and the modification, development, planning, platting, replatting, improvements, use or occupancy of land, or energy mitigation in Teton County. Owner acknowledges and agrees to be bound and must abide by the written terms or conditions of issuance of any such named Agent or Contractor, whether actually delivered to Owner or not. Owner agrees that no modification, development, planning, platting or replatting, improvements, use or occupancy of land, or energy mitigation involved in any application, as it relates to Owner's Property, shall take place until approved by the appropriate official(s) of Teton County, in accordance with all applicable codes and regulations. Owner agrees to pay any fines and/or mitigation fees to Teton County and will be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes, and/or regulations applicable to the action sought to be permitted by the application authorized herein. Owner agrees and authorizes Agent or Contractor to pay any fines and/or mitigation fees to Teton County and for the Agent or Contractor to accept and receive any reimbursement or fee payments due to Owner from Teton County, including but not limited to energy mitigation fees.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER, CO-OWNER, CORPORATE OWNER:

Print Name: J.N. (Jim) Fowler

Signature: 

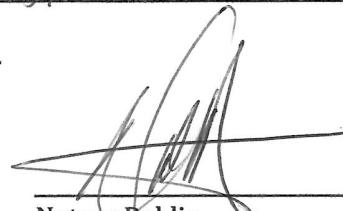
Title: Manager/President

STATE OF Wyoming ss.

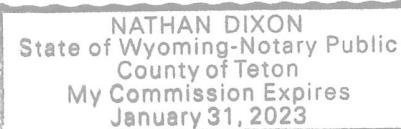
COUNTY OF Teton

Subscribed and sworn to before me by Jim Fowler this
24 day of April, 2020.

WITNESS my hand and official seal.


Notary Public

My commission expires: 01-31-23



VALLEY VIEW SANITARY SEWER CONNECTION PROJECT

TETON COUNTY, WYOMING

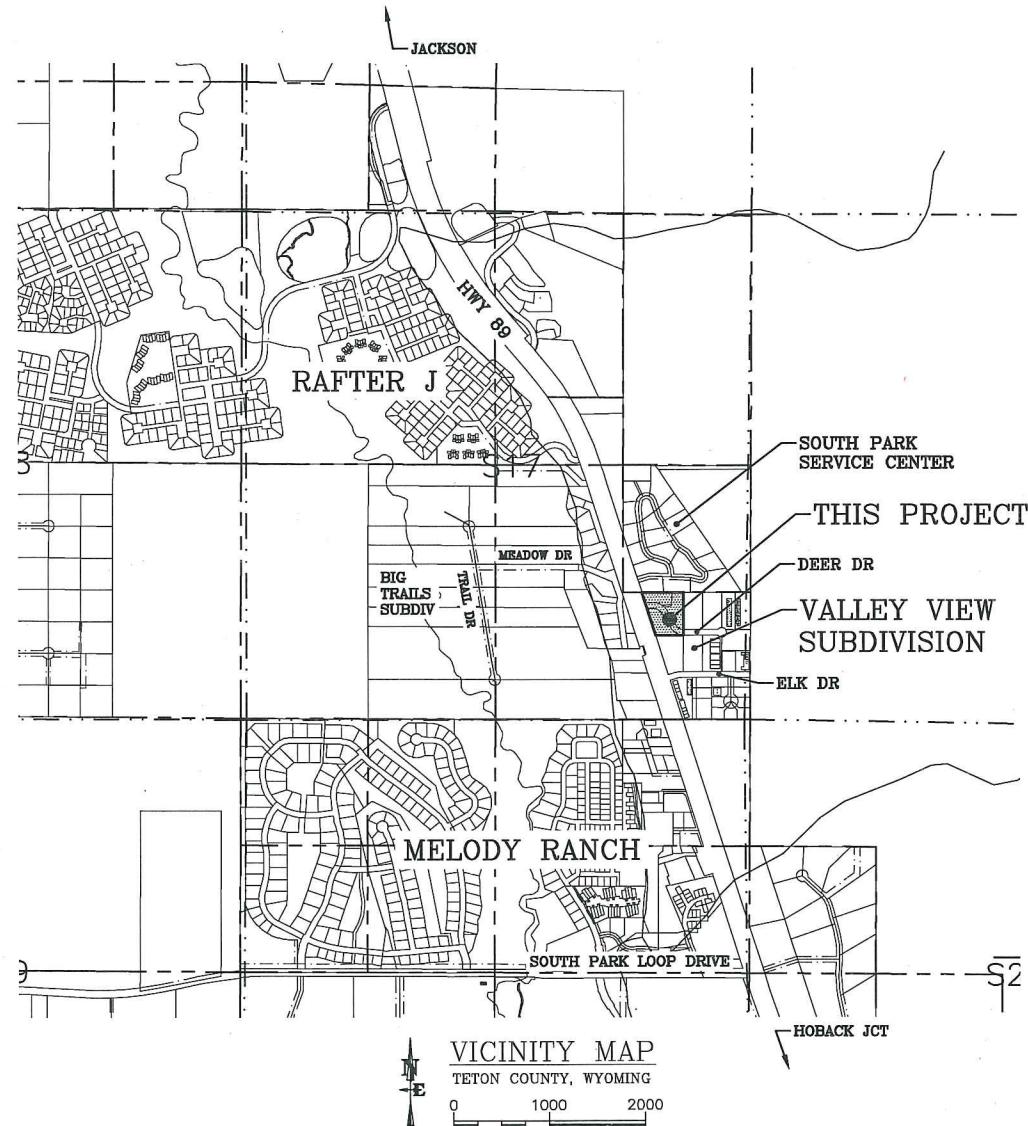
T40N R116W SECT 17

NE JOB NO. 16-133-01

PREPARED BY

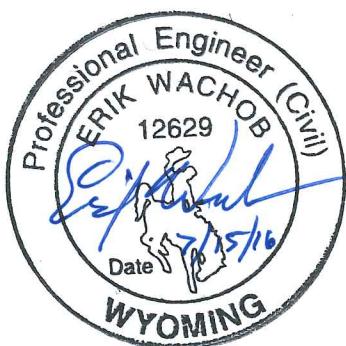
NELSON ENGINEERING

JULY, 2016



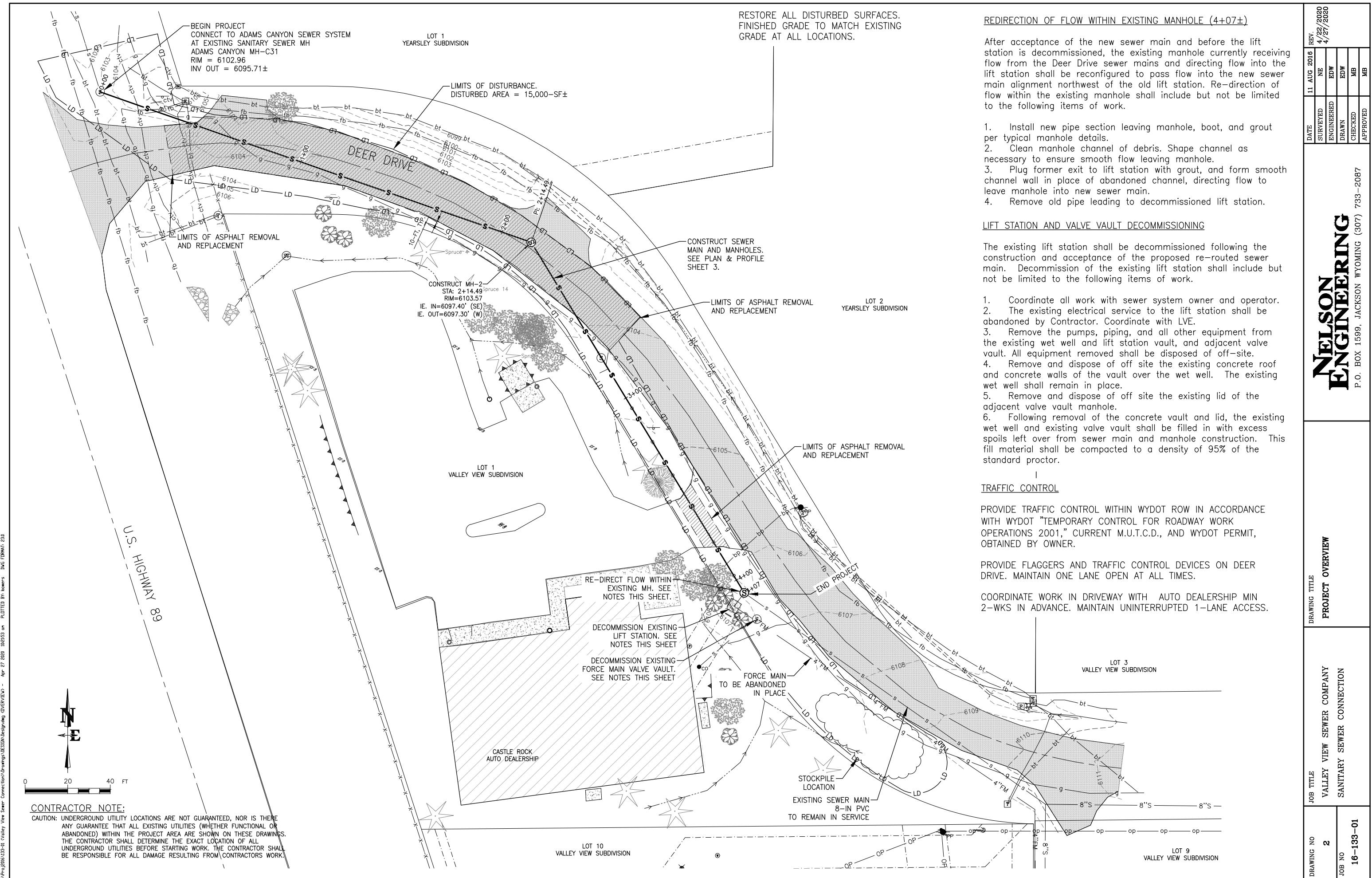
INDEX TO DRAWINGS

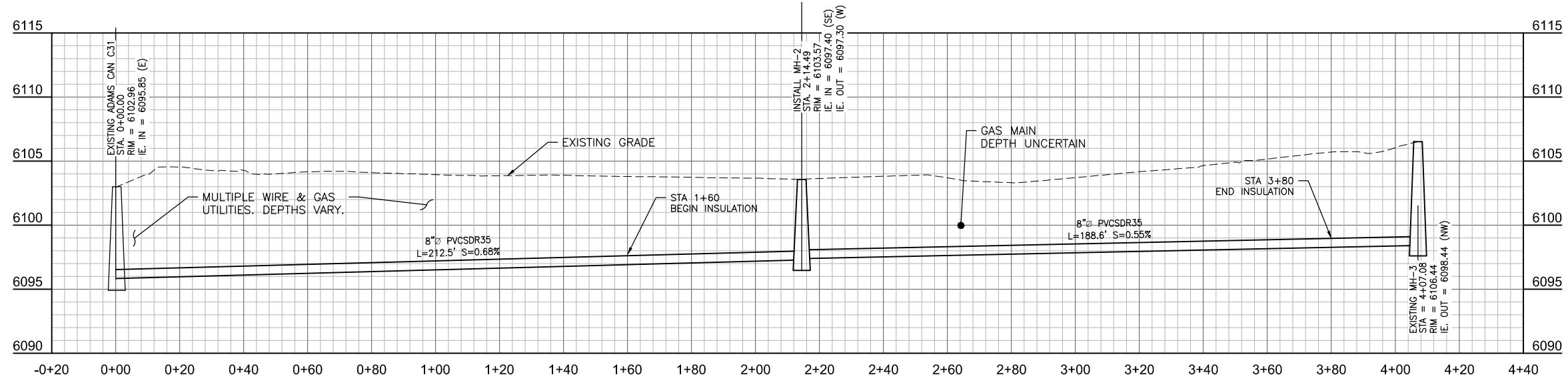
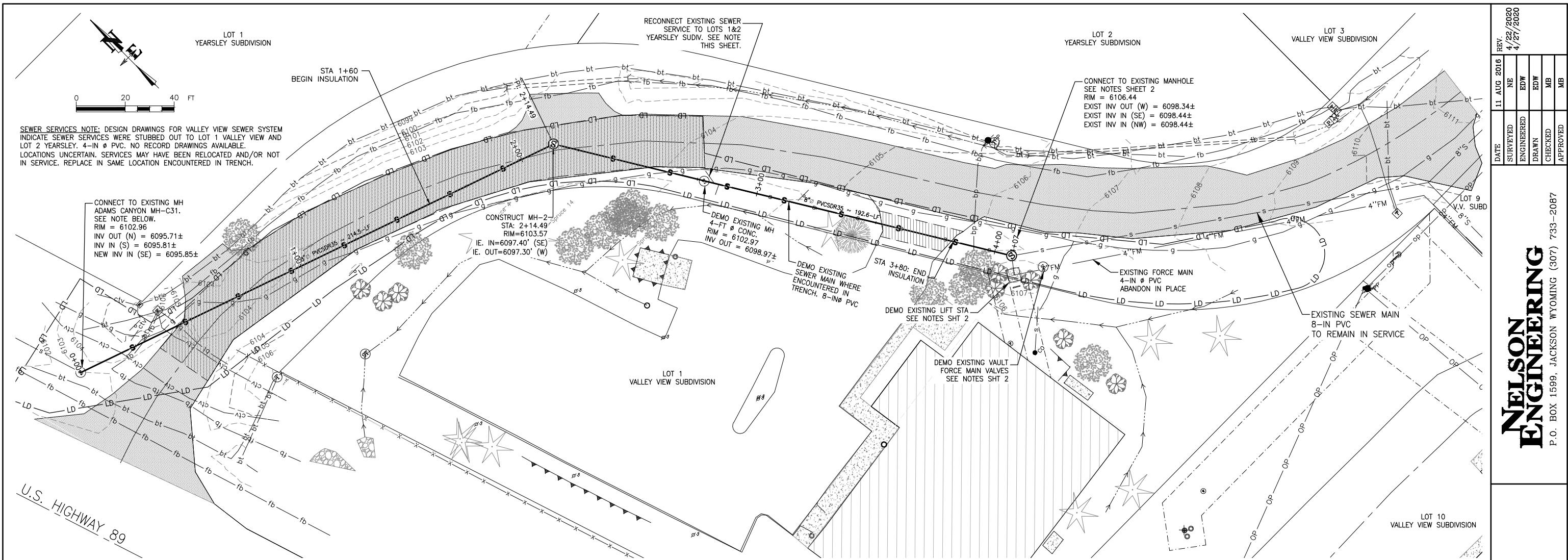
DWG #	DWG TITLE
-	TITLE SHEET
1	EXISTING SITE
2	PROJECT OVERVIEW
3	SEWER MAIN PLAN & PROFILE
4	SEWER DETAILS
5	MANHOLE DETAILS



CONTRACTOR NOTE:

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTOR'S WORK.





Existing Manhole Connection Note: Construct new pipe penetration into manhole and channel within manhole by coring manhole wall and shelf. Complete pipe penetration with pipe boot and grout. Smooth new channel with grout. Construct per typical manhole details, see Sheet 5.

Coordinate work in vicinity of gas main with L.V.E.

Insulate where indicated on plans, and wherever bury depth is less than 6-ft.

CONTRACTOR NOTE:

Caution: Underground utility locations are not guaranteed, nor is there any guarantee that all existing utilities (whether functional or abandoned) within the project area are shown on these drawings. The contractor shall determine the exact location of all underground utilities before starting work. The contractor shall be responsible for all damage resulting from contractors work.

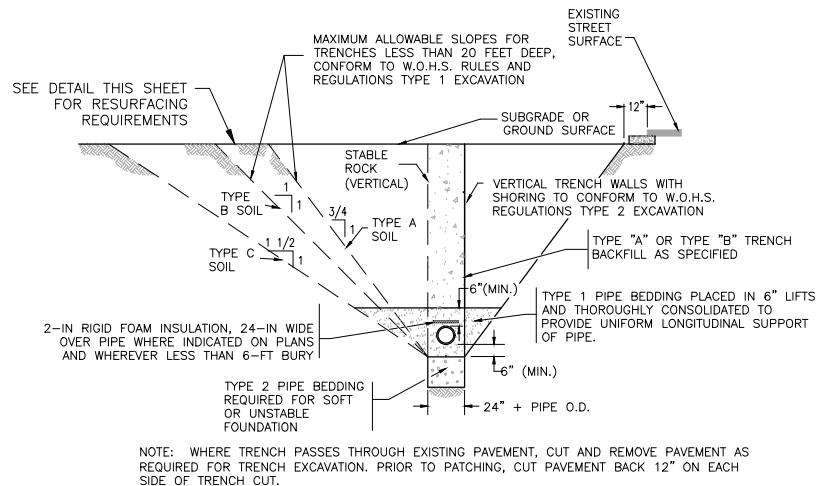
**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DATE	11 AUG 2016	REV	4/22/2020
SURVEYED	NE	EDW	EDW
ENGINEERED			
DRAWN			
CHECDED	MB	MB	MB
APPROVED			

DRAWING TITLE: SANITARY SEWER LINE PLAN AND PROFILE
STA 0+00 - 4+08

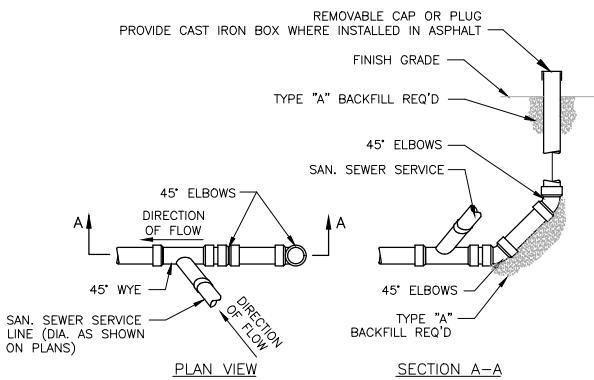
JOB TITLE: VALLEY VIEW SEWER COMPANY SANITARY SEWER CONNECTION

DRAWING NO: 3
JOB NO: 16-133-01



A 4 STANDARD TRENCH DETAIL

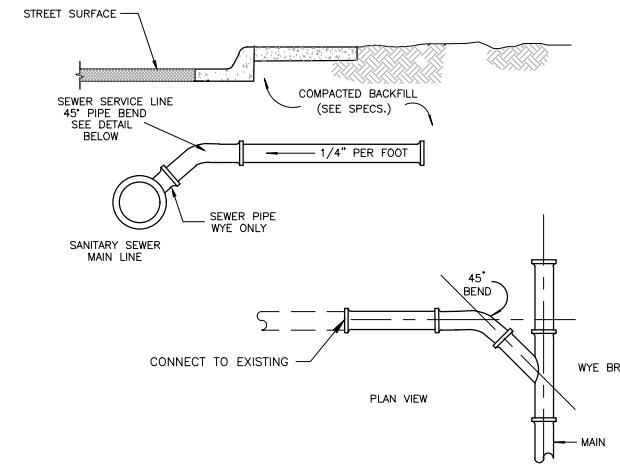
Scale: NTS



B 4 CLEANOUT DETAIL

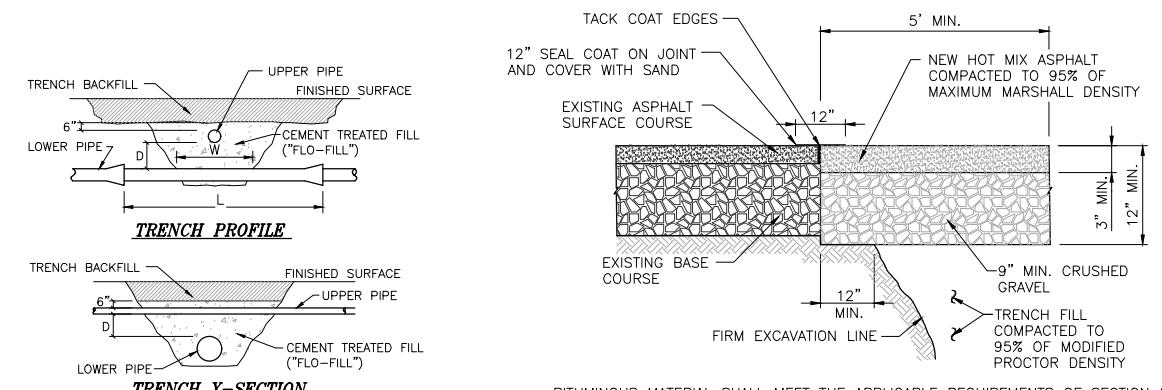
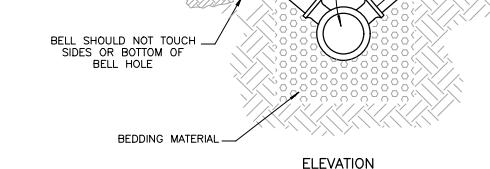
Scale: NTS

NOTE: CLEANOUT SHALL HAVE THE SAME DIAMETER AS SEWER LINE.



C 4 SANITARY SEWER CONNECTION DETAIL

Scale: NTS



E 4 ASPHALT REPLACEMENT DETAIL

N.T.S.

Scale: N.T.S.

CONSTRUCTION SPECIFICATIONS

All work shall be done in accordance with Wyoming Public Works Standard Specifications (WPWSS) 2015 Edition. Special provisions amending, supplementing and clarifying the above-referenced specifications are as follows:

Section 02225 - Trench Backfill

- 3.01.A.3 Type A trench backfill shall be used at all locations.
- 3.01.B.1 Type A trench backfill shall be placed in maximum 8-inch lifts and compacted to 95% of the maximum density as determined by ASTM D1557 (Modified Proctor).

Section 02700 - Sanitary Sewer Systems

- 2.01.A All sewer pipe shall be PVC, SDR35 with push-on joints, conforming to ASTM D-3034.
- 3.02.F Manhole covers shall be provided with a 1" lift hole.
- 3.03.A.3 Minimum pipe diameter for sewer services shall be 4-inch. Sewer services shall be installed at a minimum slope of 2.0%.
- 3.04.C.2.b Leakage test. New sewerlines, manholes and services shall be tested for leakage. The maximum allowable infiltration / exfiltration is 50 gallons per day per mile per inch of pipe diameter. Town of Jackson personnel shall witness all performance testing.

D 4 SEWER & WATER MAIN OR SERVICE CROSSING DETAIL

Scale: NTS

SITE CONSTRUCTION NOTES

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
2. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED.
3. TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH SLOPES. IMPORT ADDITIONAL TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. ALL AREAS OF DISTURBANCE SHALL RECEIVE A MINIMUM 4-INCH OF TOPSOIL.
4. DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
5. CONTRACTOR MUST MINIMIZE TRACKING OF SOIL ONTO THE ROAD OR CLEAN ROAD OF SOILS WHEN NECESSARY.
6. INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
7. REVEGETATION SHALL BE NATIVE AND SEMI-NATIVE SEED.
8. CONTRACTOR SHOULD HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION.
9. LAND DISTURBING ACTIVITIES SHALL BEGIN SUMMER 2020 AND CONTINUE THROUGH FALL 2020.
10. COORDINATE AND INSTALL UTILITIES IN ACCORDANCE WITH THE SPECIFIC UTILITY COMPANY REQUIREMENTS AND THESE PLANS.
11. DISPOSE OF ALL DEMOLISHED MATERIAL OFF-STE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

DATE	11 AUG 2016	REV	4/22/2020
SURVEYED	NE	EDW	EDW
ENGINEERED	EDW	EDW	EDW
DRAWN	EDW	EDW	EDW
CHECKED	MB	MB	MB
APPROVED	MB	MB	MB

NELSON
ENGINEERING

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE
SEWER DETAILS
AND SPECIFICATIONS

JOB TITLE
VALLEY VIEW SEWER COMPANY
SANITARY SEWER CONNECTION

DRAWING NO
4
JOB NO
16-133-01

RESTORE ALL DISTURBED SURFACES.
FINISHED GRADE TO MATCH EXISTING
GRADE AT ALL LOCATIONS.

— **רִבְבָּה** מִצְמָאָה וְמִצְמָאָה אֲמִינָה וְאֲמִינָה בְּרִיבָּה וְרִיבָּה —

← INSTALL SIGN
500-FT NORTH
FOR SOUTHBOUND TRAFFIC

A 6 MINIMUM TRAFFIC CONTROL WORKING WITHIN CLEAR ZONE
Scale: 1"=100' (11x17)

Scale: 1"=100' (11x1)

NOTES:

1. CLEAR ZONE DEFINED AS WITHIN 30 FEET OF FOG LINE OF HIGHWAY OR APPROACH.
2. ALL TEMPORARY TRAFFIC CONTROL SHALL CONFORM TO WYDOT STANDARDS, INCLUDING WYDOT "TEMPORARY CONTROL FOR ROADWAY WORK OPERATIONS 2011", AND MUTCD.
3. NO EXCAVATION WITHIN WYDOT ROW LEFT OPEN OVERNIGHT.
4. MINIMUM TRAFFIC CONTROL REQUIREMENTS SHOWN. CONTRACTOR SHALL DEVELOP TRAFFIC SAFETY PLAN THAT MEETS OR EXCEEDS THESE REQUIREMENTS.
5. ON DEER DRIVE, MAINTAIN MINIMUM ONE-LANE TRAFFIC OPEN AT ALL TIMES. PROVIDE FLAGGERS ON DEER DRIVE DURING ONE-LANE TRAFFIC. FLAGGERS SHALL GIVE PRIORITY TO TRAFFIC TURNING FROM SOUTH HWY 89.

OB TITLE
VALLEY VIEW SEWER COMPANY
SANITARY SEWER CONNECTION

NELSON	
ENGINEERING	
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087	
DATE	11 AUG 2016
SURVEYED	NE
ENGINEERED	EDW
DRAWN	EDW
CHICKED	MB
APPROVED	MB
REV.	
4/22/2020	
4/27/2020	

A diagram showing a tall, thin building with a lightning bolt striking its roof. A vertical line extends from the base of the building to the ground, with a scale below it marked at 0, 50, and 100 feet. The text '100 FT' is written next to the 100 mark.

DATE	11 AUG 2016	REV.
SURVEYED	NE	4/22/2020
ENGINEERED	EDW	4/27/2020
DRAWN	EDW	
CHECKED	MB	
APPROVED	MR	