



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☒ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: May 1, 2020	REQUESTS: The applicant is submitting a request for a Sewer Connect located at Deer Drive ROW (. For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.
Item #: P20-082	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Fax: 734-3563 Email: tvalentine@jacksonwy.gov	
Owner: Valley View Sewer Co – Jim Fowler PO Box 1248 Jackson, WY 83002 Applicant: Nelson Engineering – Matt Bowers PO Box 1599 Jackson, WY 83001	
Please respond by: May 22, 2020 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Valley View Sanitary Sewer Connection Project
Physical Address: Deer Dr
Lot, Subdivision: Deer Dr ROW, Valley View Subdivision PIDN: _____

PROPERTY OWNER.

Name: Jim Fowler, Valley View Sewer Co. Phone: 307-413-4863
Mailing Address: PO Box 1248 Jackson, WY ZIP: 83002
E-mail: jnf.ercmc@gmail.com

APPLICANT/AGENT.

Name: Matt Bowers, P.E., Nelson Engineering Phone: 307-733-2087
Mailing Address: PO Box 1599 Jackson, WY ZIP: 83001
E-mail: mbowers@nelsonengineering.net

DESIGNATED PRIMARY CONTACT.

_____ Property Owner ☒ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit	Physical Development	Interpretations
_____ Basic Use	_____ Sketch Plan	_____ Formal Interpretation
_____ Conditional Use	_____ Development Plan	_____ Zoning Compliance Verification
_____ Special Use	_____ Design Review	Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	_____ LDR Text Amendment
_____ Administrative Adjustment	_____ Subdivision Plat	_____ Map Amendment
_____ Variance	_____ Boundary Adjustment (replat)	Miscellaneous
_____ Beneficial Use Determination	_____ Boundary Adjustment (no plat)	<input checked="" type="checkbox"/> other: Sewer Connection
_____ Appeal of an Admin. Decision	_____ Development Option Plan	_____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

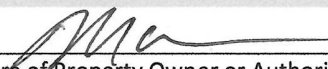
SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

- ☒ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.
- ☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.
- ☒ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent
Matt Bowers, P.E.

Name Printed

4/30/20

Date
Project Engineer

Title

Teton County Planning and Building Department
200 S. Willow, P.O. Box 1727
Jackson, WY 83001
Phone (307)733-7030



LETTER OF AUTHORIZATION BY OWNER

THE LETTER OF AUTHORIZATION IS TO BE SUBMITTED ONLY IF THE APPLICANT/AGENT IS NOT THE RECORDED OWNER OF THE PROPERTY. THE RECORDED OWNER MUST SIGN THE LETTER OF AUTHORIZATION AND HAVE IT NOTARIZED.

OWNER, CO-OWNER, OR CORPORATE OWNER:

Name: Valley View Sewer Company, L.L.C.
Physical Address of Property: N/A --- Valley View Subdivision -- Deer Drive
Mailing Address: PO Box 12483 Jackson, Wyoming
Zip code: 83002 Phone: Jim Fowler Manager/President 307-413-4863
Email: jnf.ercmc@gmail.com

AGENT OR CONTRACTOR: (If authorizing Agent and Contractor, fill out a form for each)

Name: Nelson Engineering --- Matt Bowers
Mailing Address: PO Box 1599 Jackson, Wyoming
Zip code: 83001 Phone: 307-733-2087
Email: mbowers@nelsonengineering.net

Owner, Co-Owner, or Corporate Owner, ("Owner") which property is specifically described as Valley View Subdivision -- Deer Drive # 22-17N W. Elk Ave # 22-17S

hereby authorizes Agent or Contractor, as stated above, to represent and/or act for Owner in making application for, receiving, and accepting on Owner's behalf, any permits or other action by the Teton County Commissioners, Planning and Development, Building, and/or Engineering Departments relating to Owner's Property in Teton County, and the modification, development, planning, platting, replatting, improvements, use or occupancy of land, or energy mitigation in Teton County. Owner acknowledges and agrees to be bound and must abide by the written terms or conditions of issuance of any such named Agent or Contractor, whether actually delivered to Owner or not. Owner agrees that no modification, development, planning, platting or replatting, improvements, use or occupancy of land, or energy mitigation involved in any application, as it relates to Owner's Property, shall take place until approved by the appropriate official(s) of Teton County, in accordance with all applicable codes and regulations. Owner agrees to pay any fines and/or mitigation fees to Teton County and will be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes, and/or regulations applicable to the action sought to be permitted by the application authorized herein. Owner agrees and authorizes Agent or Contractor to pay any fines and/or mitigation fees to Teton County and for the Agent or Contractor to accept and receive any reimbursement or fee payments due to Owner from Teton County, including but not limited to energy mitigation fees.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER, CO-OWNER, CORPORATE OWNER:

Print Name: J.N. (Jim) Fowler

Signature: 

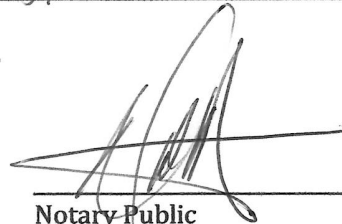
Title: Manager/President

STATE OF Wyoming
COUNTY OF Teton

SS.

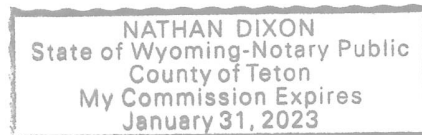
Subscribed and sworn to before me by Jim Fowler this
24 day of April, 2020.

WITNESS my hand and official seal.



Notary Public

My commission expires: 01-31-23



VALLEY VIEW SANITARY SEWER CONNECTION PROJECT

TETON COUNTY, WYOMING

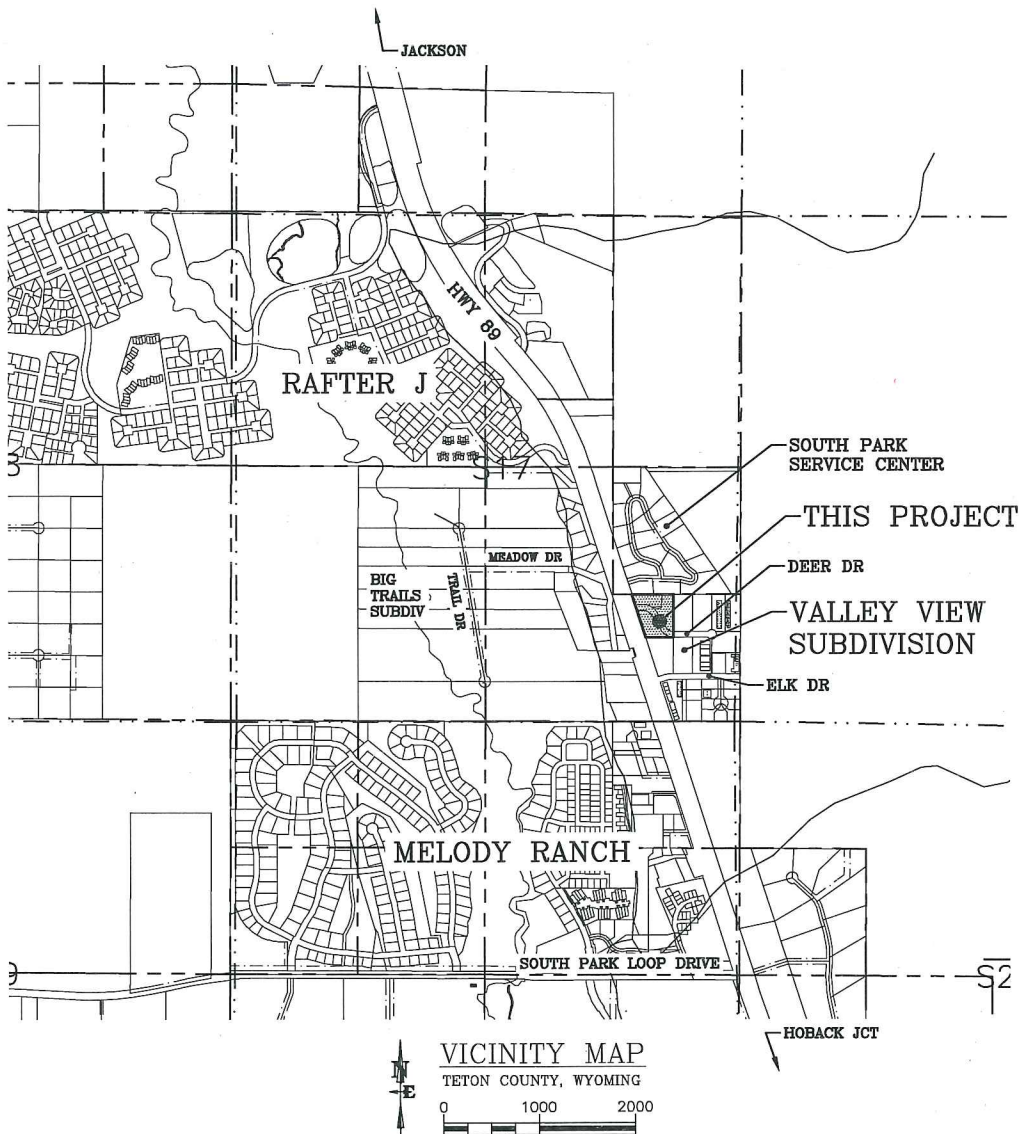
T40N R116W SECT 17

NE JOB NO. 16-133-01

PREPARED BY

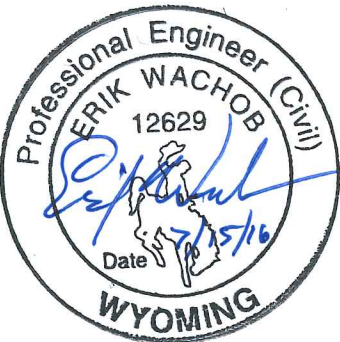
NELSON ENGINEERING

JULY, 2016



INDEX TO DRAWINGS

DWG #	DWG TITLE
-	TITLE SHEET
1	EXISTING SITE
2	PROJECT OVERVIEW
3	SEWER MAIN PLAN & PROFILE
4	SEWER DETAILS
5	MANHOLE DETAILS



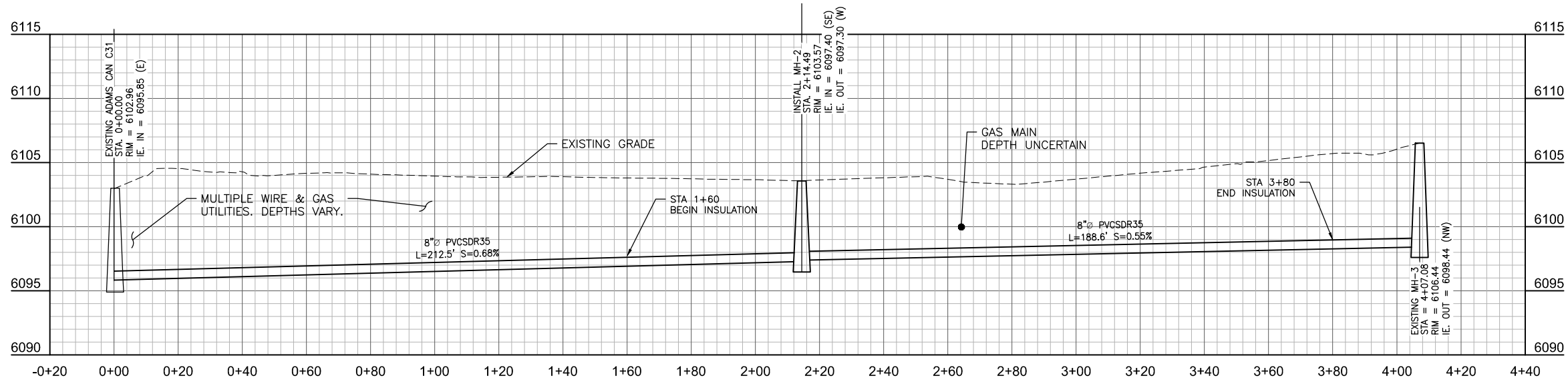
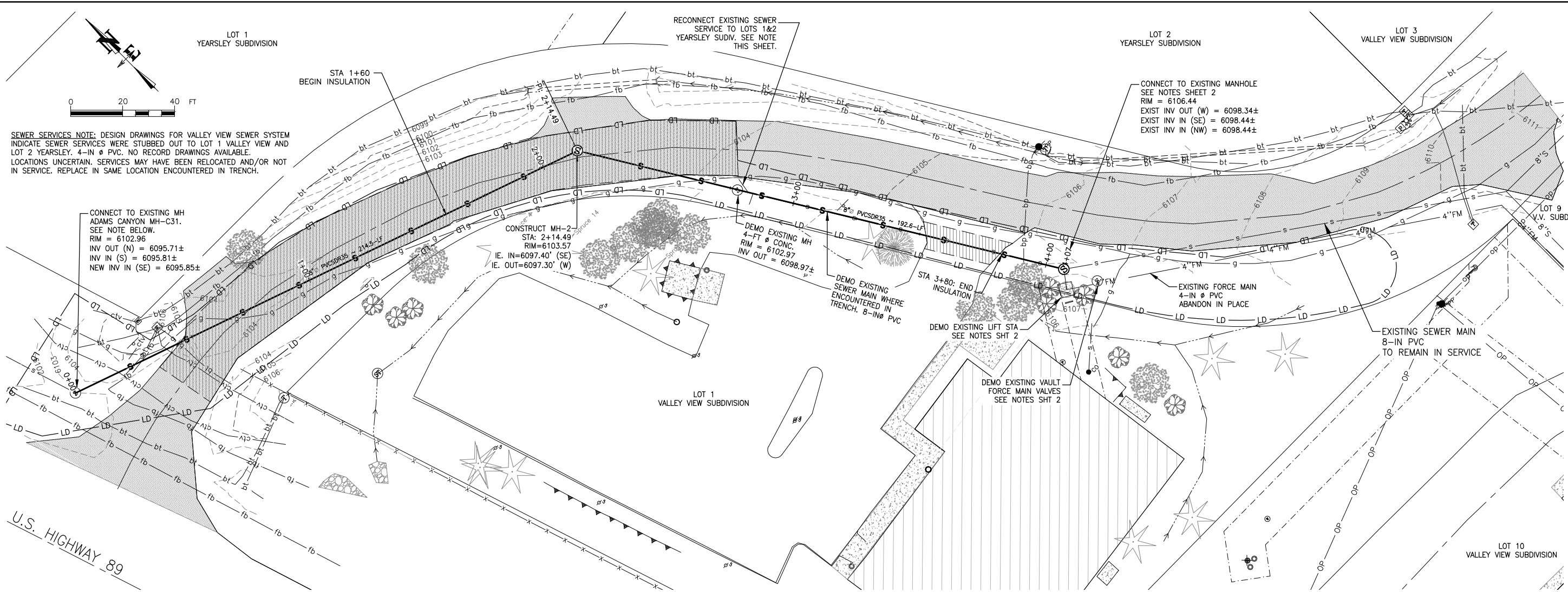
PERMIT SET
NOT FOR CONSTRUCTION

CONTRACTOR NOTE:

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

SET NO. _____

S:\p\2016\133-01 Valley View Sewer Connection\Drawings\DESIGN\Design.dwg (PLAN, PROFILE) - Apr 27 2020 10:26:23 am PLOTTED BY: bawmers DWG: FIRM: 11 250



EXISTING MANHOLE CONNECTION NOTE: CONSTRUCT NEW PIPE PENETRATION INTO MANHOLE AND CHANNEL WITHIN MANHOLE BY CORING MANHOLE WALL AND SHELF. COMPLETE PIPE PENETRATION WITH PIPE BOOT AND GROUT. SMOOTH NEW CHANNEL WITH GROUT. CONSTRUCT PER TYPICAL MANHOLE DETAILS, SEE SHEET 5.

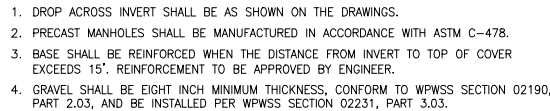
COORDINATE WORK IN VICINITY OF GAS MAIN WITH L.V.E.

INSULATE WHERE INDICATED ON PLANS, AND WHEREVER BURY DEPTH IS LESS THAN 6-FT.

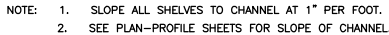
CONTRACTOR NOTE:

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

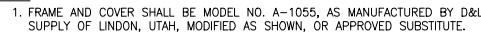
DRAWING NO	JOB NO	JOB TITLE	DRAWING TITLE	REV.				
				DATE	SURVEYED	ENGINEERED	DRAWN	APPROVED
3	16-133-01	VALLEY VIEW SEWER COMPANY SANITARY SEWER CONNECTION	SANITARY SEWER LINE PLAN AND PROFILE STA 0+00 - 4+08	11 AUG 2016	NE	EDW	EDW	MB
				4/22/2020				
				4/27/2020				



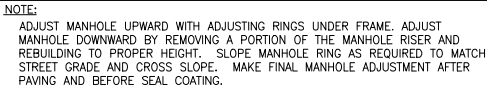
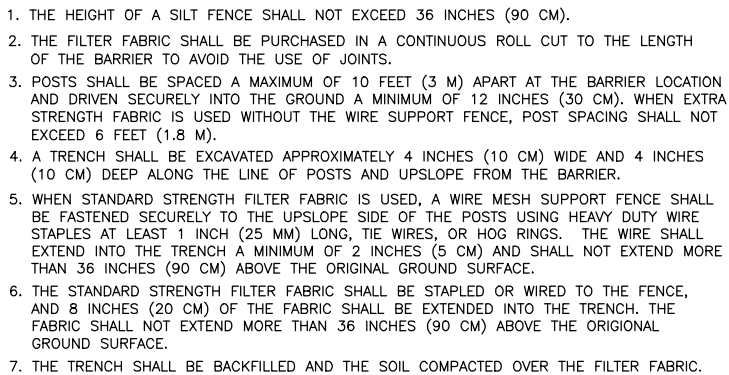
5 Scale: NTS



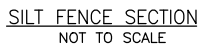
5 Scale: NTS



Scale: NTS



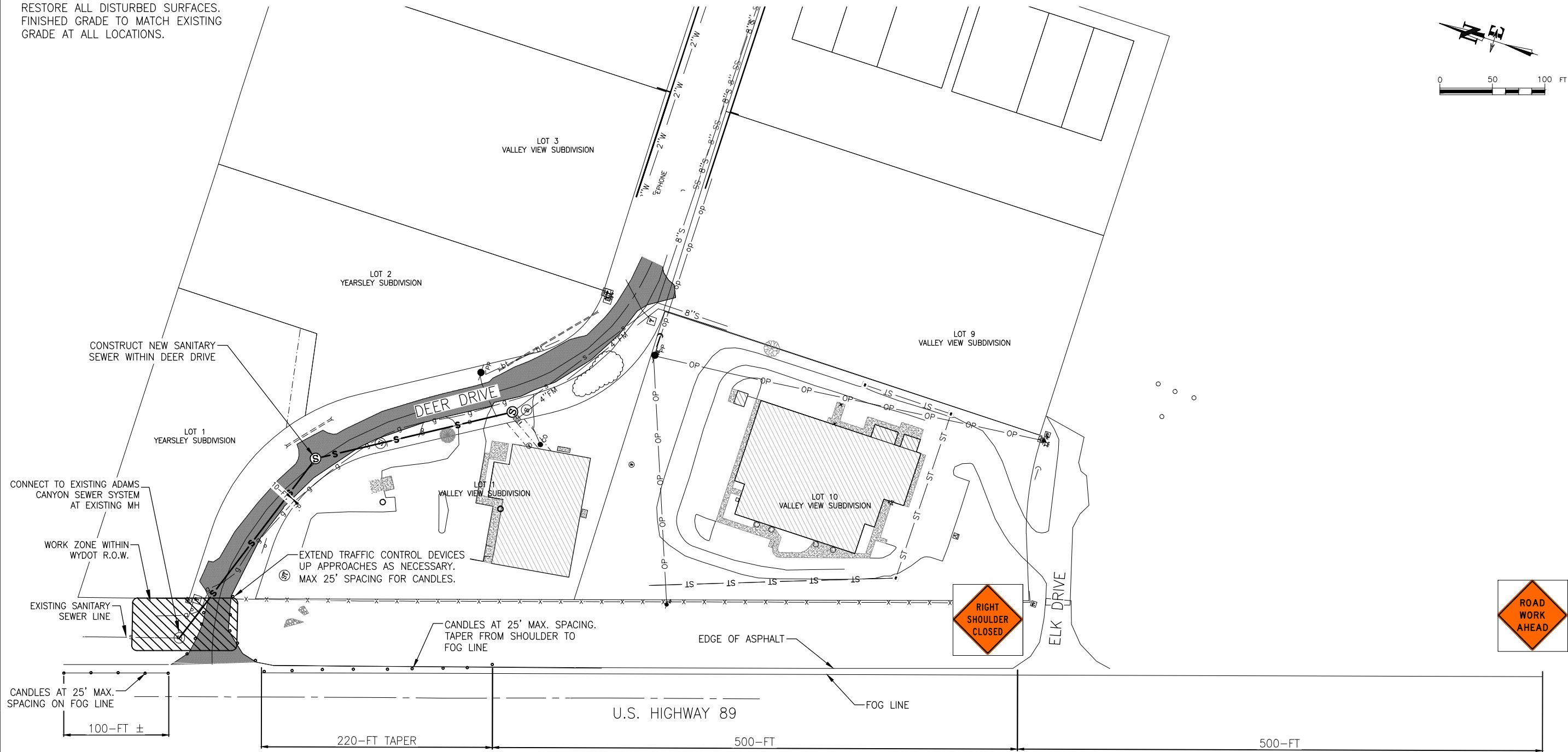
5 Scale: NTS



5 Scale: NTS

S:\p\2016\10-21\Valley View Sewer Connection\Drawings\DESIGN\Design.dwg (V1017) - Apr 27 2020 10:20:02 on PLOTTED IN: bower Dwg Format: 230

RESTORE ALL DISTURBED SURFACES.
FINISHED GRADE TO MATCH EXISTING
GRADE AT ALL LOCATIONS.



INSTALL SIGN
500-FT NORTH
FOR SOUTHBOUND TRAFFIC

A
6

MINIMUM TRAFFIC CONTROL WORKING WITHIN CLEAR ZONE

Scale: 1"=100' (11x17)

NOTES:

1. CLEAR ZONE DEFINED AS WITHIN 30 FEET OF FOG LINE OF HIGHWAY OR APPROACH.
2. ALL TEMPORARY TRAFFIC CONTROL SHALL CONFORM TO WYDOT STANDARDS, INCLUDING WYDOT "TEMPORARY CONTROL FOR ROADWAY WORK OPERATIONS 2011", AND MUTCD.
3. NO EXCAVATION WITHIN WYDOT ROW LEFT OPEN OVERNIGHT.
4. MINIMUM TRAFFIC CONTROL REQUIREMENTS SHOWN. CONTRACTOR SHALL DEVELOP TRAFFIC SAFETY PLAN THAT MEETS OR EXCEEDS THESE REQUIREMENTS.
5. ON DEER DRIVE, MAINTAIN MINIMUM ONE-LANE TRAFFIC OPEN AT ALL TIMES. PROVIDE FLAGGERS ON DEER DRIVE DURING ONE-LANE TRAFFIC. FLAGGERS SHALL GIVE PRIORITY TO TRAFFIC TURNING FROM SOUTH HWY 89.



DRAWING NO	JOB NO	JOB TITLE	DRAWING TITLE					REV.				
			MINIMUM TRAFFIC CONTROL REQUIREMENTS FOR WORK WITHIN WYDOT R.O.W.					DATE	11 AUG 2016	NE	4/22/2020	4/27/2020
6		VALLEY VIEW SEWER COMPANY SANITARY SEWER CONNECTION						SURVEYED		EDW		
								ENGINEERED				
								DRAWN		EDW		
								CHECKED		MB		
								APPROVED		MB		
			NELSON ENGINEERING					P.O. BOX 1599, JACKSON WYOMING (307) 733-2087				
			16-133-01									