



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: March 17, 2020

Item #: P20-050

Planner: Brendan Conboy

Phone: 733-0440 ext. 1302

Email: bconboy@jacksonwy.gov

Owner:

Up a Creek, LLC
PO Box 229
Jackson, WY 83001

Applicant:

Krikor Architechture
PO Box 4659
Jackson, WY 83001

REQUESTS:

The applicant is submitting a request for a Grading Pre-Application for the property located at 265 Crabtree Lane legally known as, LOT 54, HORN ENTERPRISES.

For questions, please call Brain Lenz at 733-3079, x1410 or email to the address shown below. Thank you.

Please respond by: **N/A**

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (tstolte@jacksonwy.gov).

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Narrative Project Description. Please attach a short narrative description of the project that addresses:

Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

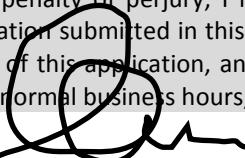
Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title

LETTER OF AUTHORIZATION

OWNER OR ACQUISITION
Jeffrey H. Dahlin, "Owner" whose address is: 265 Crabtree
BX 410 Jackson, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)
Up A Creek LLC, as the owner of property
more specifically legally described as: 265 CRABTREE LANE
LOT 54 HORN ENTERPRISES, FIRST ADDITION

(If too lengthy, attach description)

(A 100 ft long, 1/4 inch description.)

HEREBY AUTHORIZES KRIKOR ARCHITECTURE, LLC GREGORY MASON _____ as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: President

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)
)SS.

COUNTY OF *Teton*

The foregoing instrument was acknowledged before me by Joffrey Dahlin this 13th day of March, 2020.

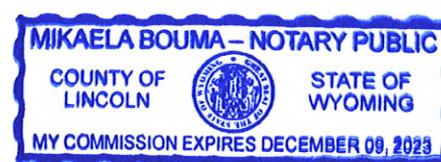
_____, 20_____.
WITNESS my hand and official seal.

WITNESS my hand and

(Notary Public)

My commission expires: 12-9-23

(Seal)



NELSON ENGINEERING since 1964

Professional Engineers & Land Surveyors

JACKSON, WY • BUFFALO, WY •

WWW.NELSONENGINEERING.NET

DD/20-062-01

March 11, 2020

Town of Jackson
Planning and Building Department
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

ATTN: Town of Jackson Planning and Building Department
RE: Grading Pre-Application Conference Request for 265 Crabtree Lane, Jackson, Wyoming

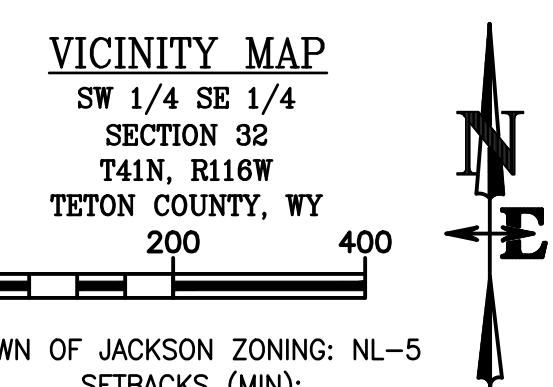
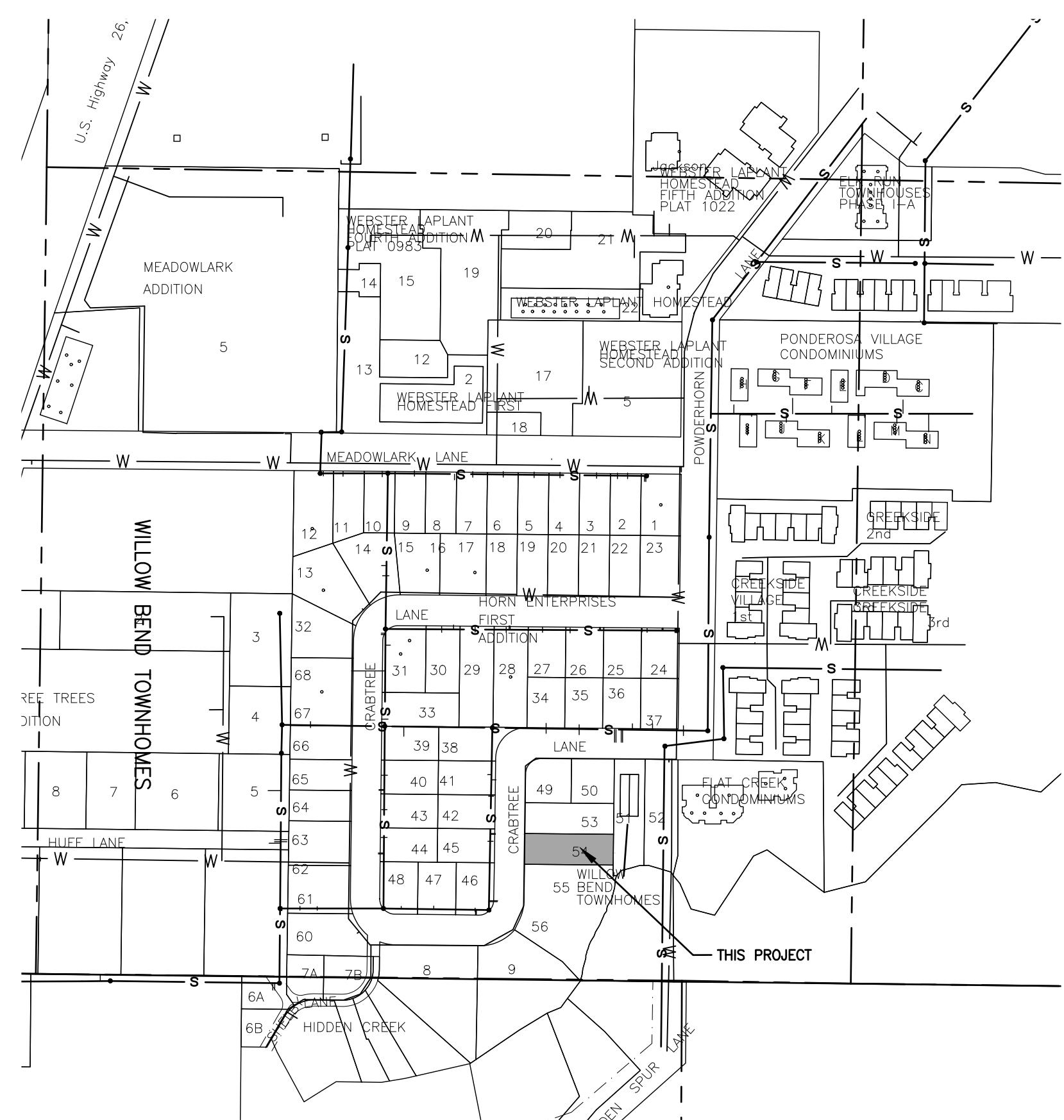
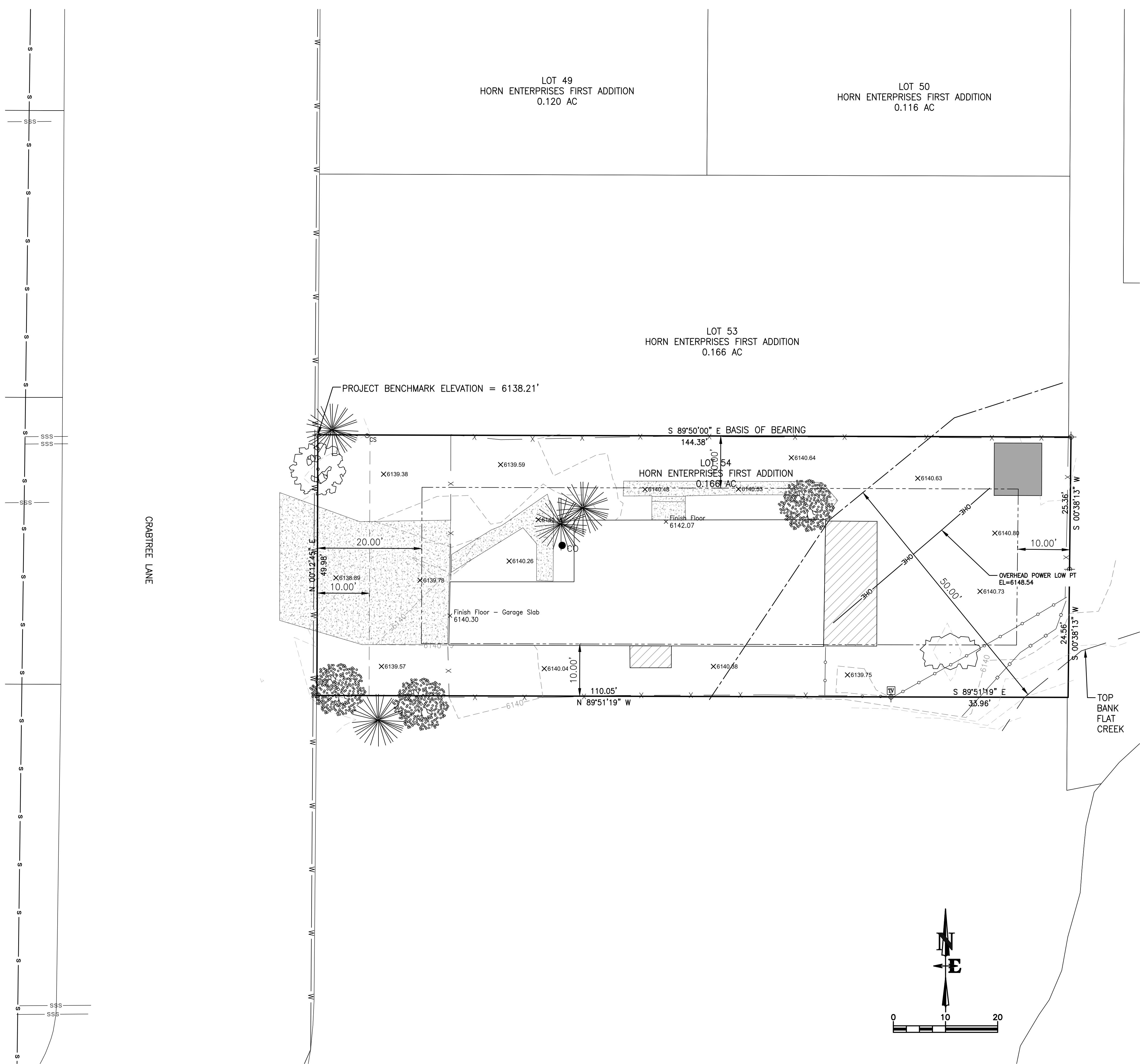
Dear Planning Personnel:

The attached Pre-Application Request Packet is for a proposed remodeling project of an existing house located at 265 Crabtree Lane, Jackson, Wyoming. In accordance with the existing site plan attached, there is an existing residence situated on a town lot with associated parking and utilities. The project area is zoned NL-5 (Neighborhood Low Density -5) and is used as a residence. Adjacent to the project area is Flat Creek which borders the property to the South East. This portion of the property is not expected to be graded or affected. Proposed development includes tearing down the existing single-family residence and rebuilding a 3-Apartment building largely on the same foundation. Two of the proposed apartments will be 2-bedroom units while the third apartment that occupies the entire first floor will be a 3-bedroom unit. The only anticipated grading changes are minor expansion of the existing structure and minor adjustments of the existing driveway as depicted in the attached plans. The sanitary sewer service line will be reattached to the existing stub this will likely not impact the grading area. The water service for this property will be replaced with a larger line to handle fire flows for the sprinklered apartments. Electrical, Natural Gas, and Communication connections will be replaced or adjusted as needed, this work will be coordinated with the utilities and the Town of Jackson as needed.

Please do not hesitate to contact me with project inquiries at (307) 733-2087 or ddufault@nelsonengineering.net.

Sincerely,

Dave Dufault, PE
Project Manager

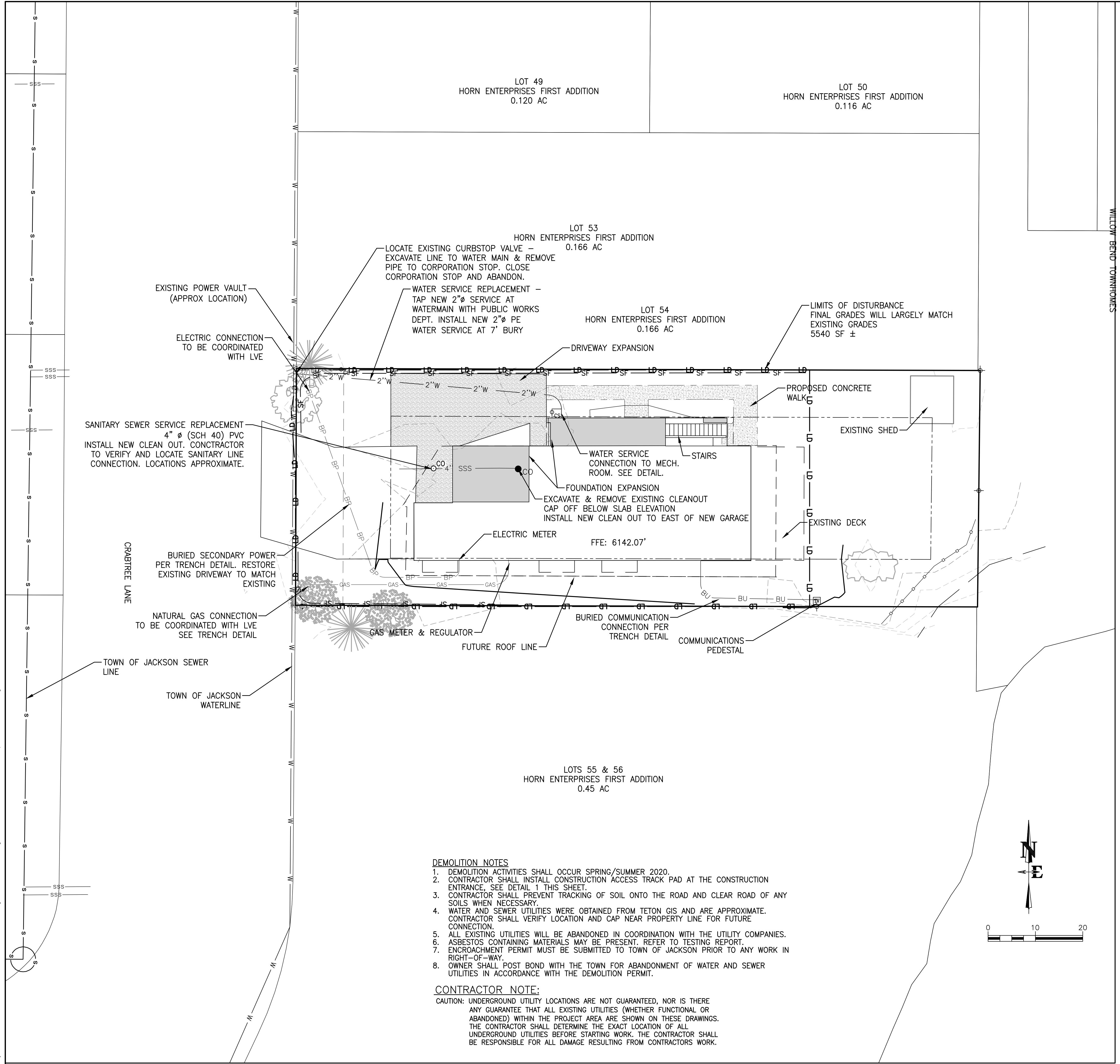


OWN OF JACKSON ZONING: NL-5
SETBACKS (MIN):
PRIMARY STREET (FRONT)-20'
SIDE-10'
REAR-10'
FLAT CREEK-50'

LEGEND

—	= PROPERTY BOUNDARY
— — — — —	= PRIMARY BUILDING SETBACK
— — — — —	= 10' UTILITY EASEMENT
— — — — —	= 50' FLAT CREEK SETBACK
— — — — —	= SURVEYED TOP BANK FLAT CREEK
○ ○ ○ ○ ○	= CHAINLINK FENCE
X — — — X — —	= WOODEN BOARD FENCE
□ □ □ □ □	= WOODEN POST FENCE
OHE — — — OHE	= OVERHEAD POWER LINE
W — — — W — —	= WATER SYSTEM PER TOJ GIS
S — — — S — —	= SEWER SYSTEM PER TOJ GIS
	= ASPEN TREE
	= PINE TREE
	= DECIDUOUS TREE
	= COTTONWOOD TREE
○ CS	= CURB STOP
TV	= TV PEDESTAL
● CO	= SANITARY SEWER CLEANOUT
⊕	= FOUND T-STAKE - RLS 164
	= CONCRETE

DRAWING TITLE		JOB TITLE		REV.	
EXISTING		UP A CREEK LLC		3/11/2020	
C1.0		265 CRAIBTREE LANE		DATE SURVEYED	
JOB NO		JACKSON, WYOMING (307) 733-2087		ENGINEERED	
20-0622-01		P.O. BOX 1599, JACKSON, WY		DRAWN	
				CHECKED	
				APPROVED	
				DD	



SITE CONSTRUCTION NOTES & SPECIFICATIONS

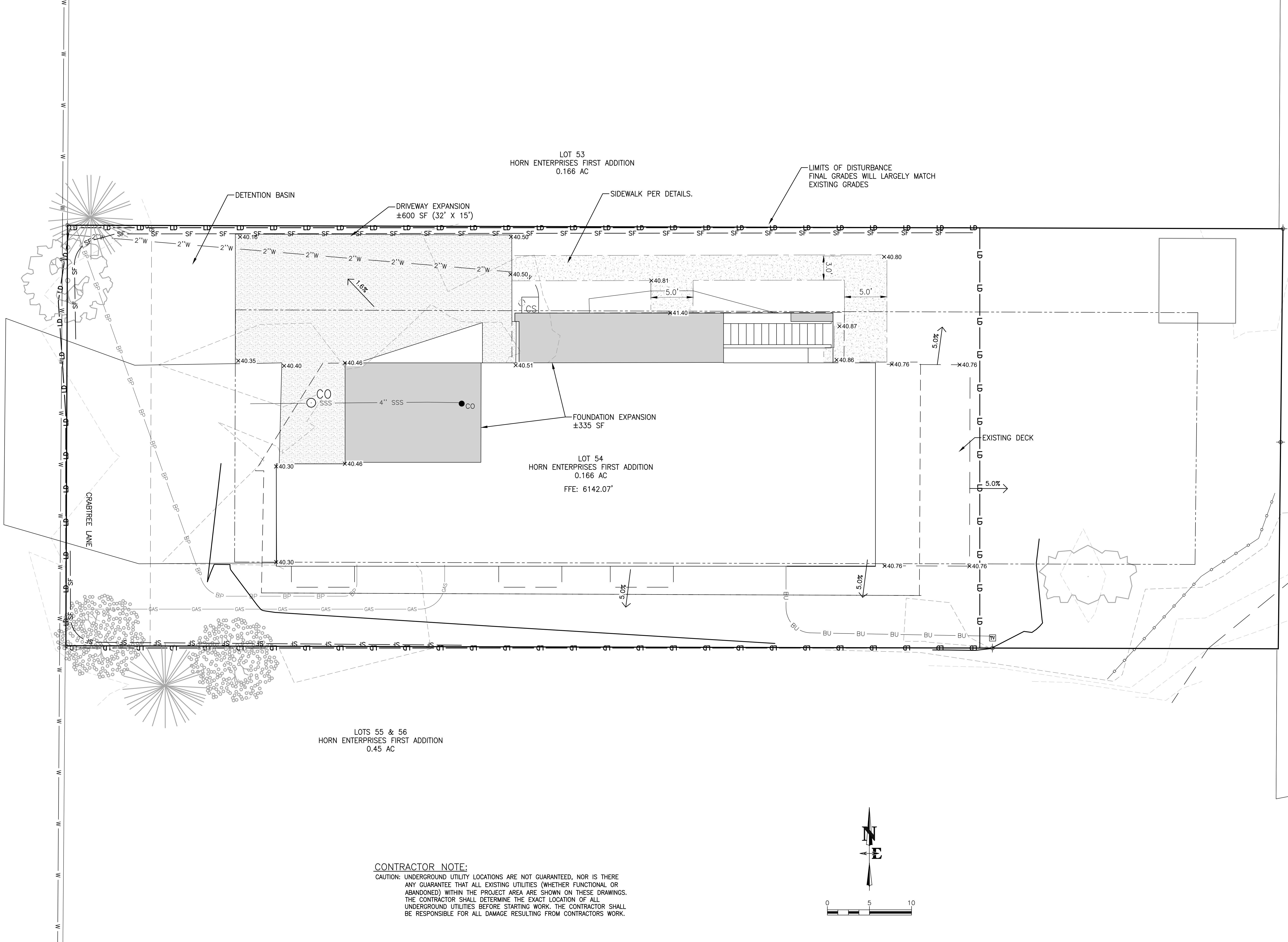
CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
2. CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
3. CONTRACTOR TO APPLY FOR & OBTAIN ENCROACHMENT PERMIT FROM TOJ FOR ALL WORK IN THE PUBLIC WAY OF CRABTREE LANE.
4. IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
5. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C1.1 FOR LOCATIONS.
6. TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH SLOPES. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
7. DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
8. CONTRACTOR SHALL PREVENT TRACKING OF SOIL ONTO THE ROAD AND CLEAN ROAD OF SOILS WHEN NECESSARY.
9. IN ACCORDANCE WITH C1.1, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
10. REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
11. CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES ON SHEET C1.1 FOR WEED MANAGEMENT REQUIREMENTS.
12. LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SPRING 2020 THROUGH FALL 2020.
13. CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
14. INSTALL ORANGE CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C1.1
15. CONSTRUCTION PARKING AND STAGING WILL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTAGE. GRAVEL SURFACING WILL BE PLACED TO MINIMIZE MUD ISSUES DURING CONSTRUCTION.
16. FOLLOW GEOTECHNICAL REPORT RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES

NEILSON ENGINEERING

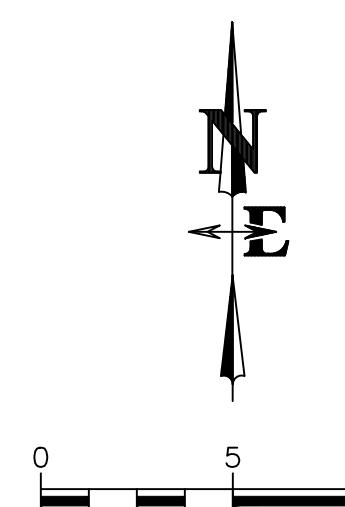
JUNIOR ENGINEERING
P.O. BOX 1599, JACKSON, WYOMING (307) 733-2087

DRAWING NO		JOB TITLE		DRAWING TITLE	
JOB NO		UP A CREEK LLC		OVERVIEW & UTILITY PLAN	
20-062-01		365 CRAIBREE LANE		P.O. BOX 1599, JACKSON WYOMING (307) 733-2087	
J.1		JACKSON, TETON COUNTY, WY			
DRA		SURVEYED		3/12/2020	
WING NO		ENGINEERED		REV.	
3		NB/DD			
S		DRAWN		NB	
C		CHECKED		DD	
E		APPROVED		DD	

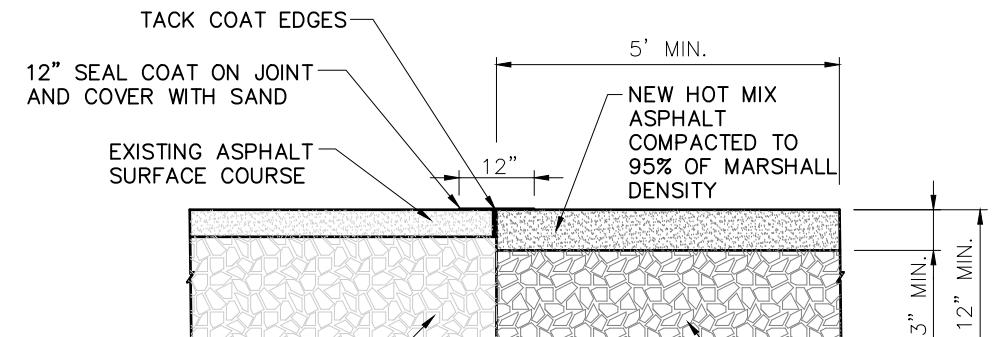


CONTRACTOR NO:

CONTRACTOR NOTE:
CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTOR'S WORK.

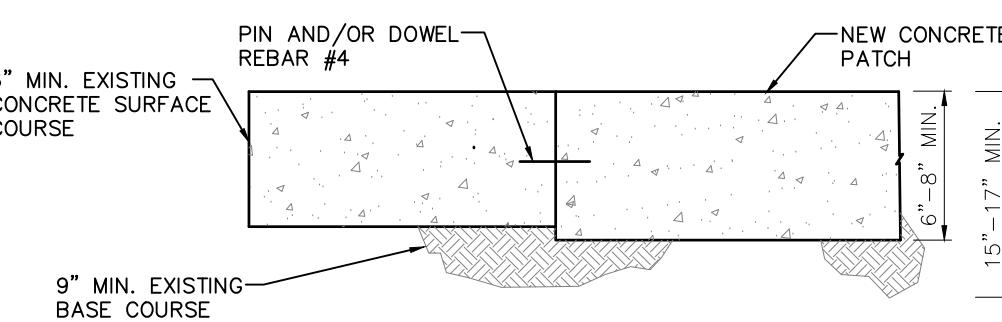


DRAWING TITLE		JOB TITLE		DRAFTING NO		REV.	
GRADING		C12		20-062-01		3/12/2020	
NELSON ENGINEERING		UP A CREEK LLC		265 CRABTREE LANE		733-2087	
P.O. BOX 1599, JACKSON WYOMING (307)		JACKSON COUNTY, WY		JACKSON COUNTY, WY		APPROVED	
						DD	
						NB	
						NB/DD	
						REV.	



BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545
BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS

ASPHALT PATCH REPAIR DETAIL

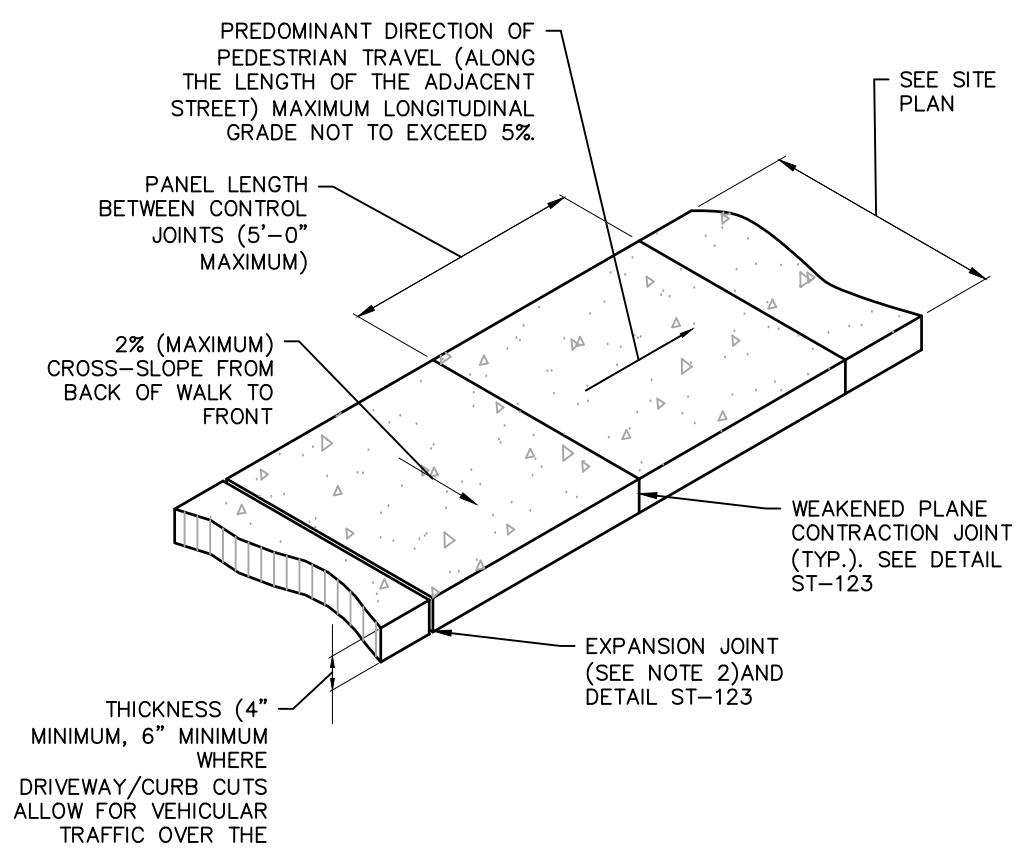


CONCRETE PATCH REPAIR DETAIL

NOTES:
1. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
3. PRE-EXISTING CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.

1 PATCH REPAIR SECTION

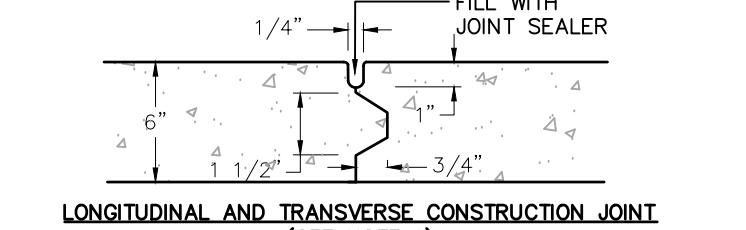
TOJ STD DETAIL



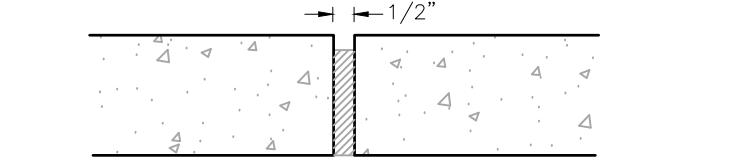
NOTES:
1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS. SIDEWALK SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03251, PART 3.0.
2. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.0, SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
3. FOR SIDEWALKS WITH A 12" MIN. WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
4. REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
5. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.0.3, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.0.

2 CONCRETE SIDEWALK

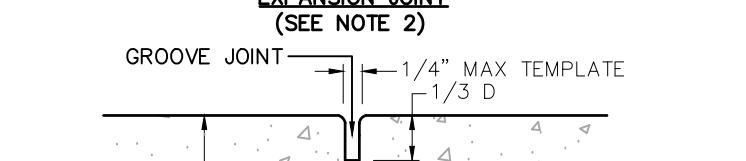
TOJ STD DETAIL



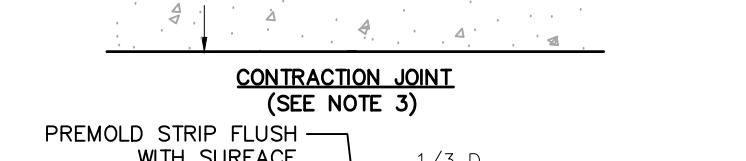
LONGITUDINAL AND TRANSVERSE CONSTRUCTION JOINT
(SEE NOTE 1)



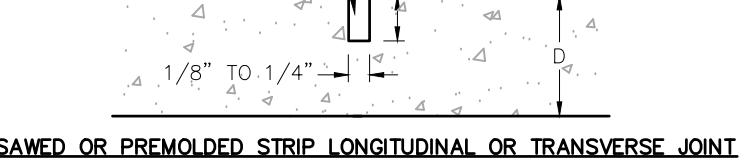
EXPANSION JOINT
(SEE NOTE 2)



GROOVE JOINT
(SEE NOTE 2)



CONTRACTION JOINT
(SEE NOTE 3)

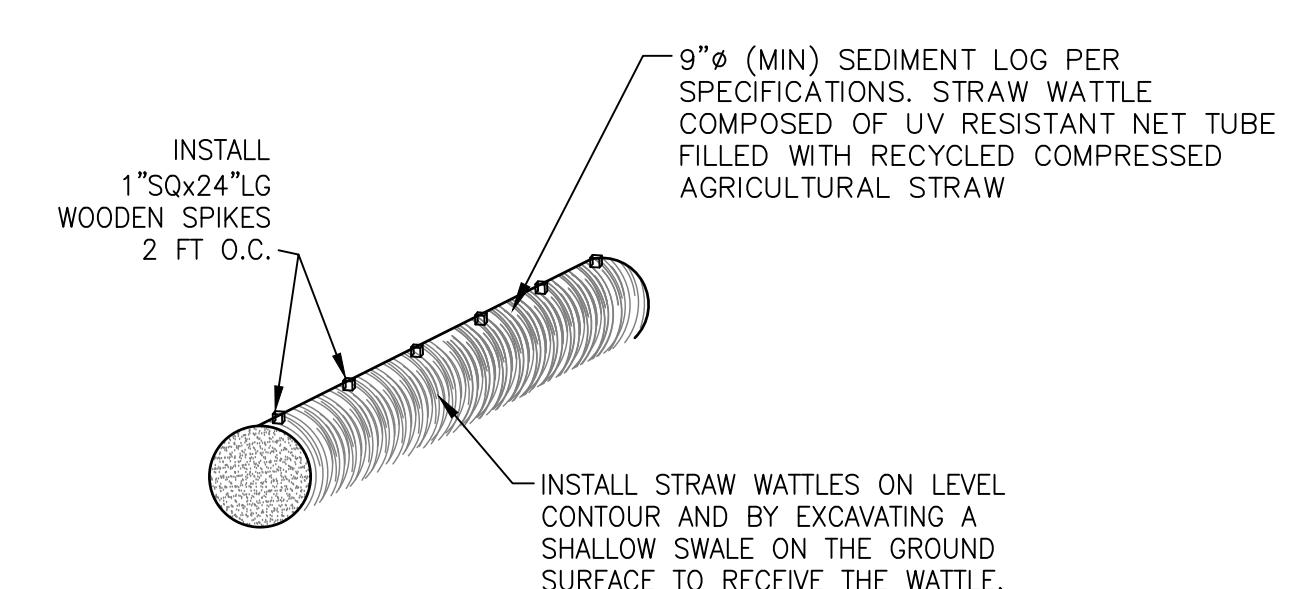


SAWED OR PREMOLDED STRIP LONGITUDINAL OR TRANSVERSE JOINT
(SEE NOTE 3)

NOTES:
1. KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
2. PREMOLDED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59.
3. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 30' ON LONG STRAIGHT CONCRETE STRETCHES.
4. FORM WORK FOR EXPANSION JOINTS ARE TO BE REMOVED AS CONCRETE IS HARDEDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
5. JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

3 PAVING & CONCRETE JOINT DETAILS

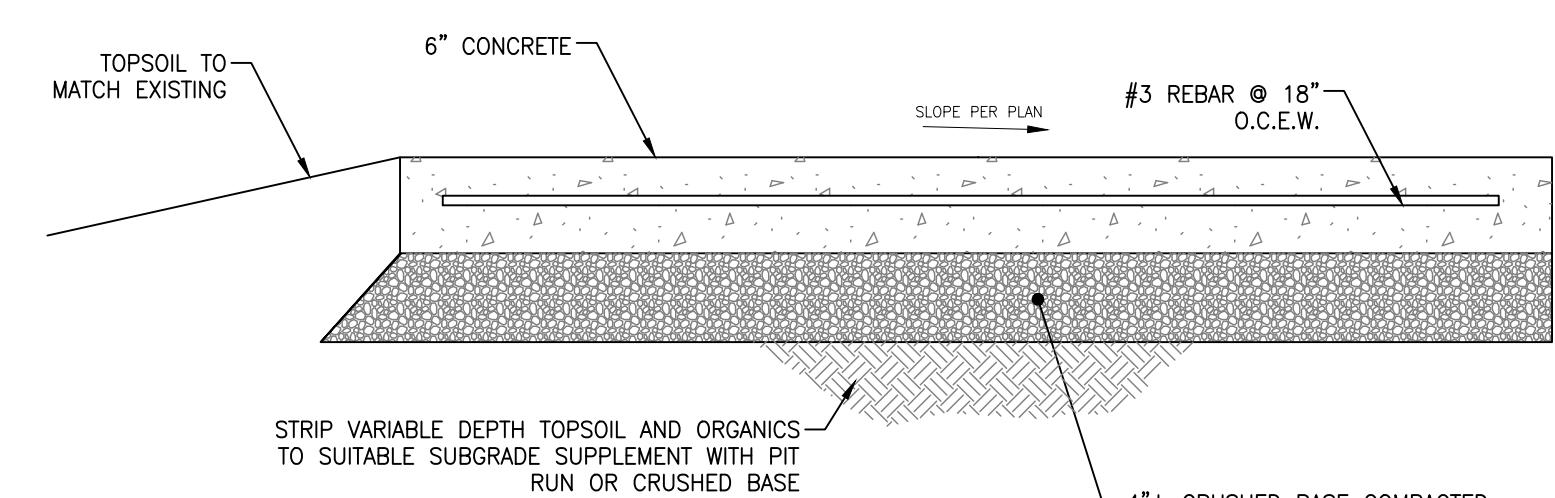
TOJ STD DETAIL



NOTE:
1. STRAW WATTELS SHALL BE INSTALLED TO LIMIT MIGRATION OF SOIL CAUSED BY STORM WATER RUNOFF IN ORDER TO PROTECT ADJACENT WATER BODIES AND NEIGHBORING PROPERTIES.
2. MAINTAIN WATTEL IN-PLACE UNTIL EXPOSED SOILS HAVE REVEGETATED SUFFICIENTLY TO PREVENT EROSION.
3. CONTINUOUS RUNS OF STRAW WATTEL SHALL BE MADE BY ABUTTING ENDS OF INDIVIDUAL WATTELS WITH NO GAPS BETWEEN.

5 STRAW WATTELE DETAIL

SCALE: N.T.S.



6 TYPICAL CONCRETE DRIVEWAY SECTION

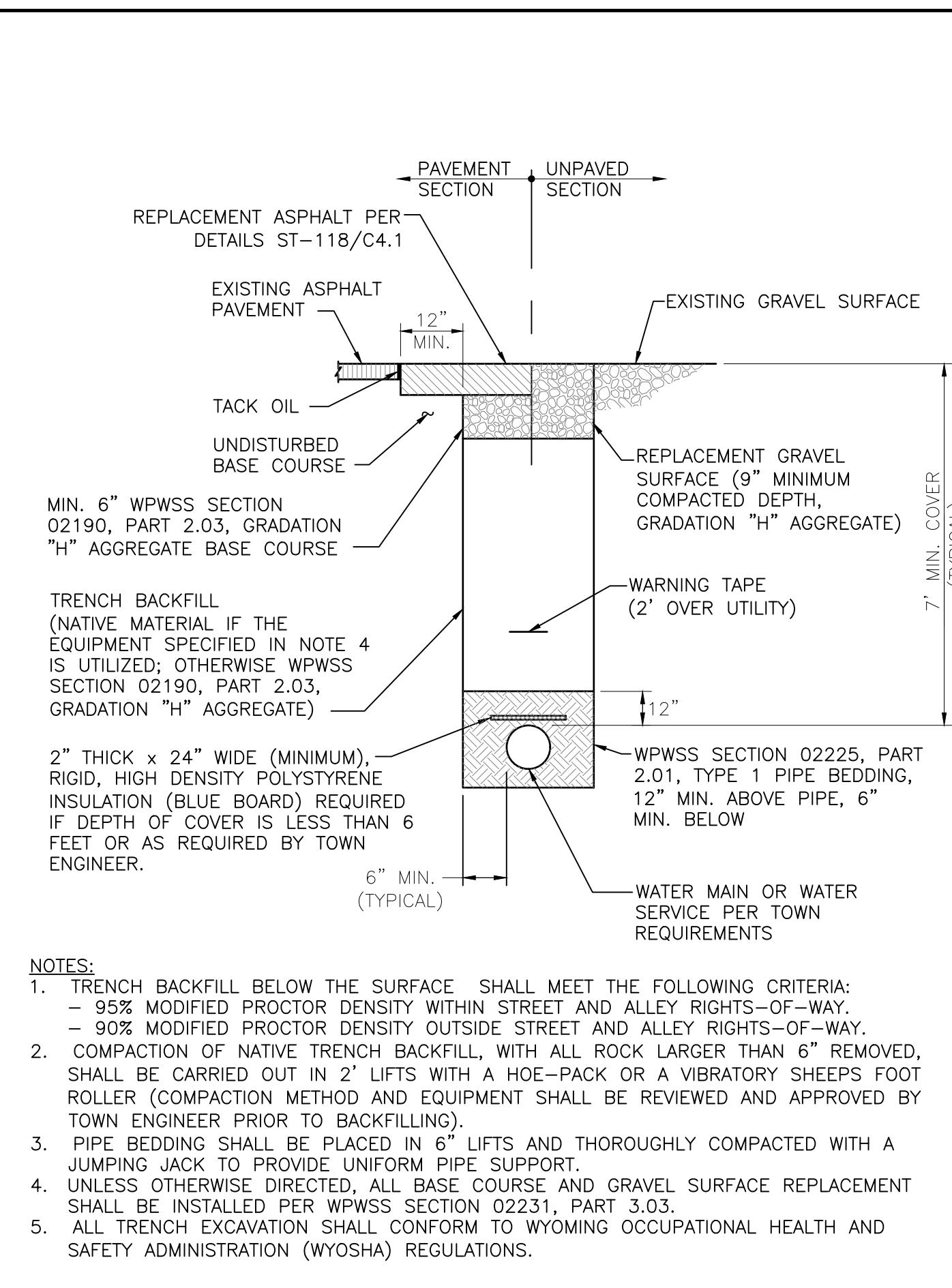
SCALE: N.T.S.

DRAWING NO	JOB TITLE	GRADING DETAILS
C2.0	UP A CREEK LLC 265 CRABTREE LANE JACKSON, TETON COUNTY, WY 20-062-01	

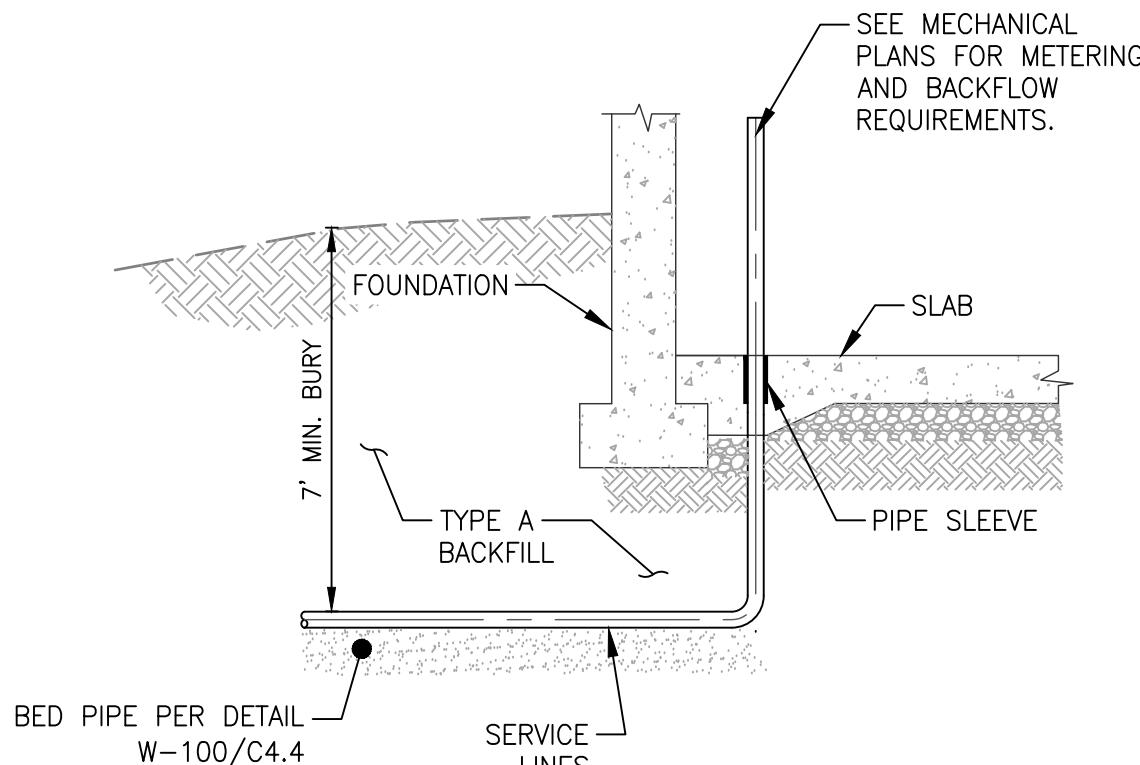
DRAWING NO	JOB TITLE	GRADING DETAILS

DATE	3/12/2020	REV.
SURVEYED		
ENGINEERED	NB/DD	
DRAWN	NB	
CHECKED	DD	
APPROVED	DD	

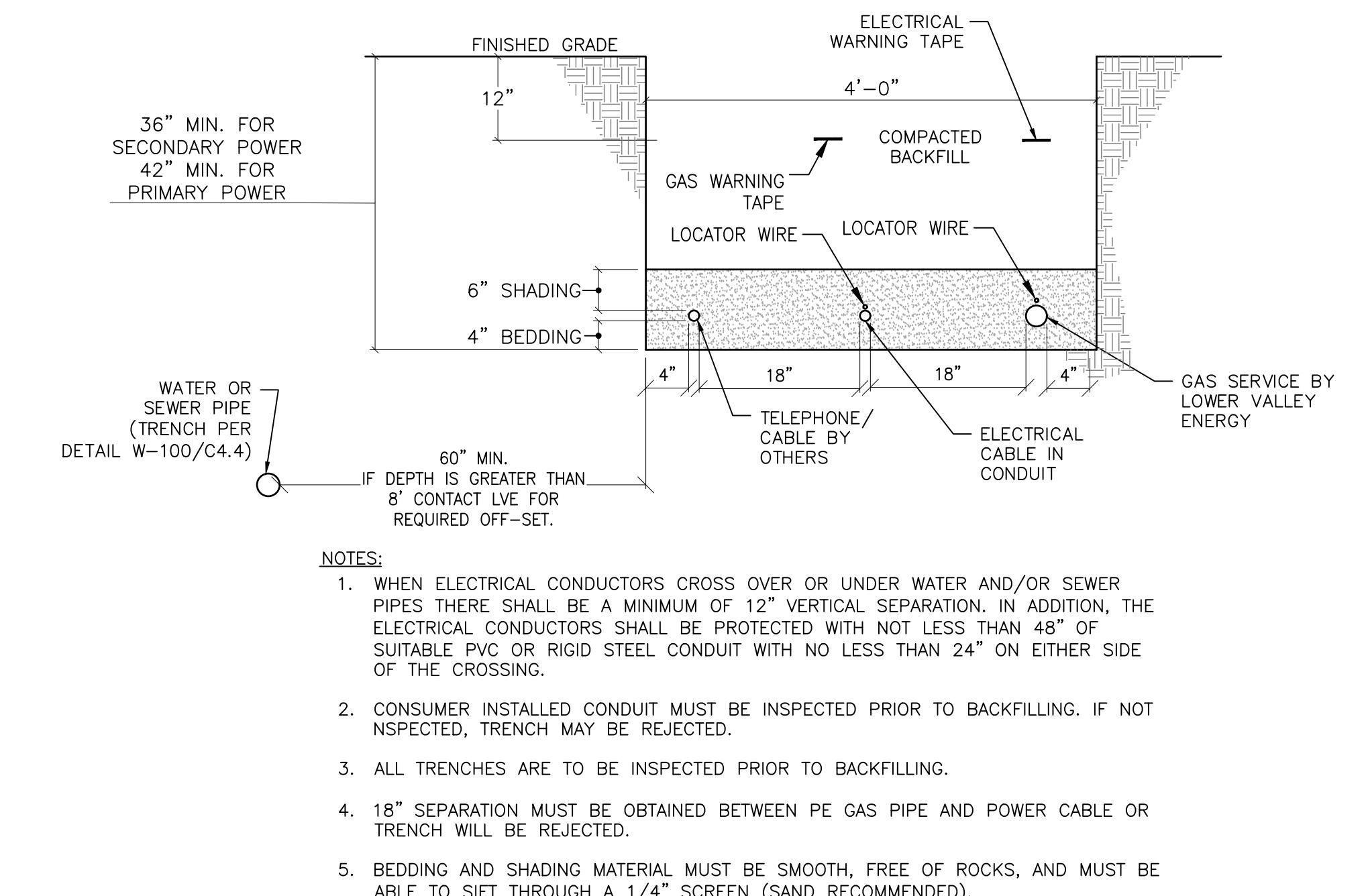
NELSON
ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



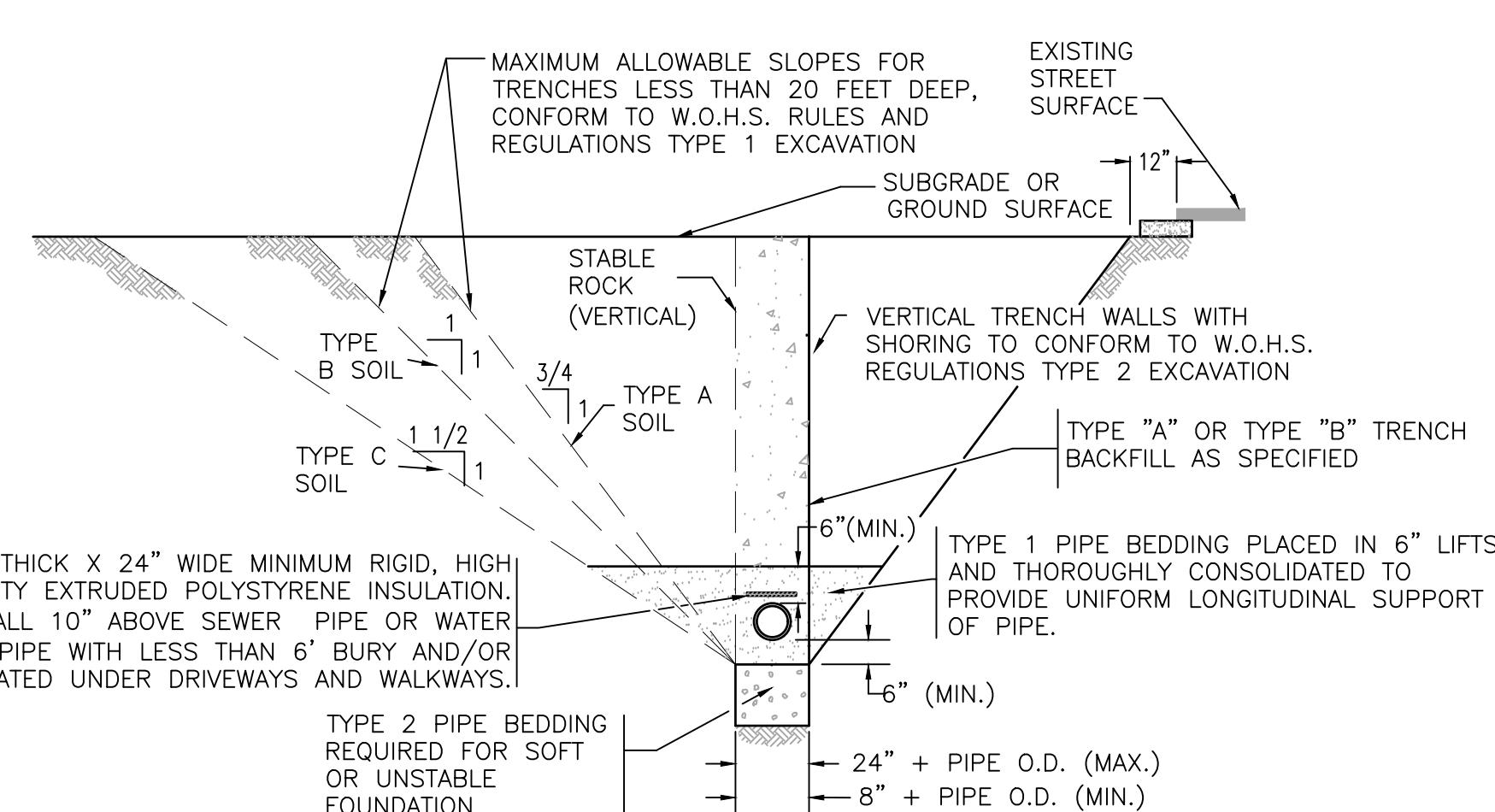
1 WATER MAIN AND SERVICE LINE TRENCH
C2.1 TOJ STD DETAIL



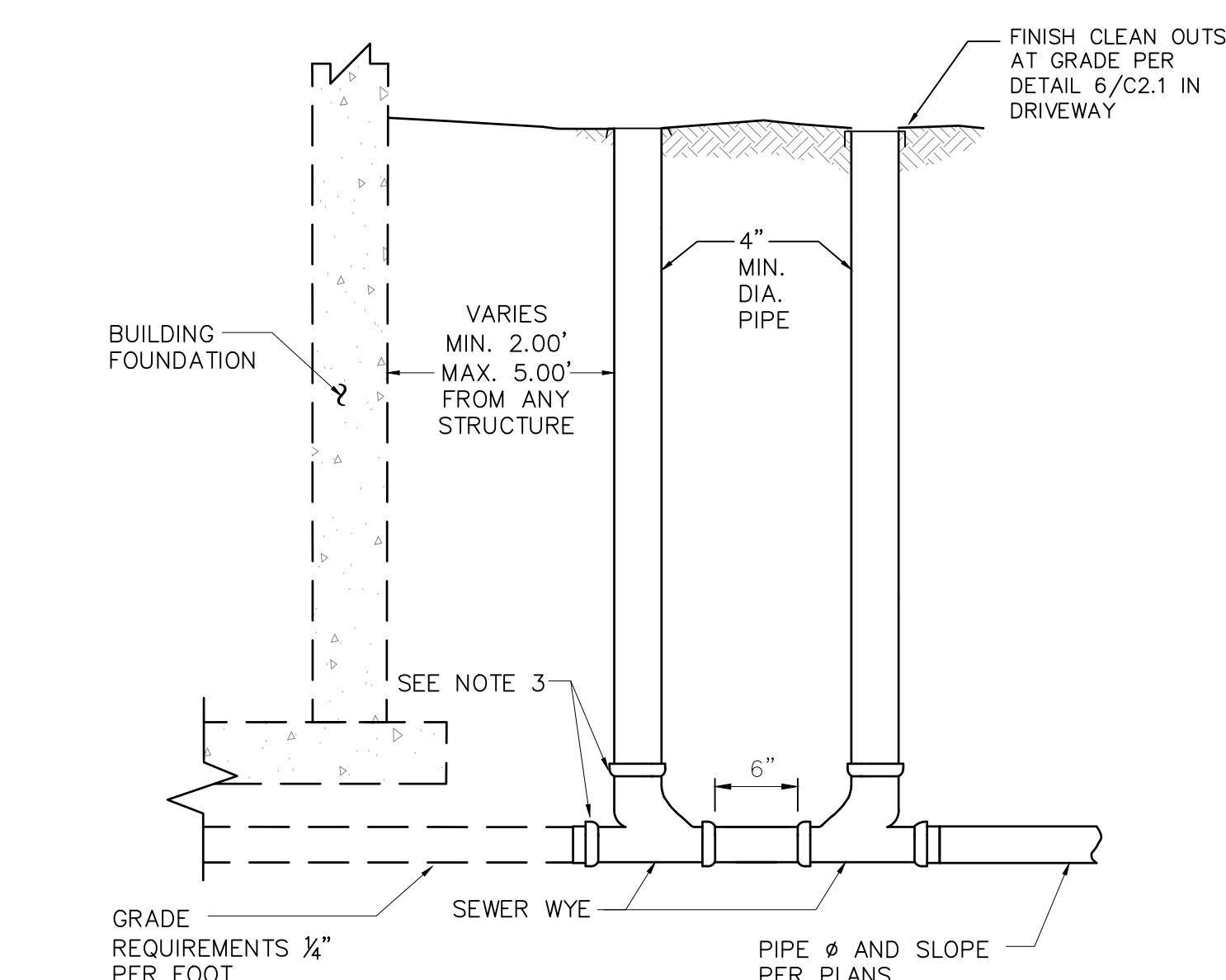
2 PIPE ENTRY DETAIL
C2.1 N



UTILITY TRENCHING AND SPACING REQUIREMENTS

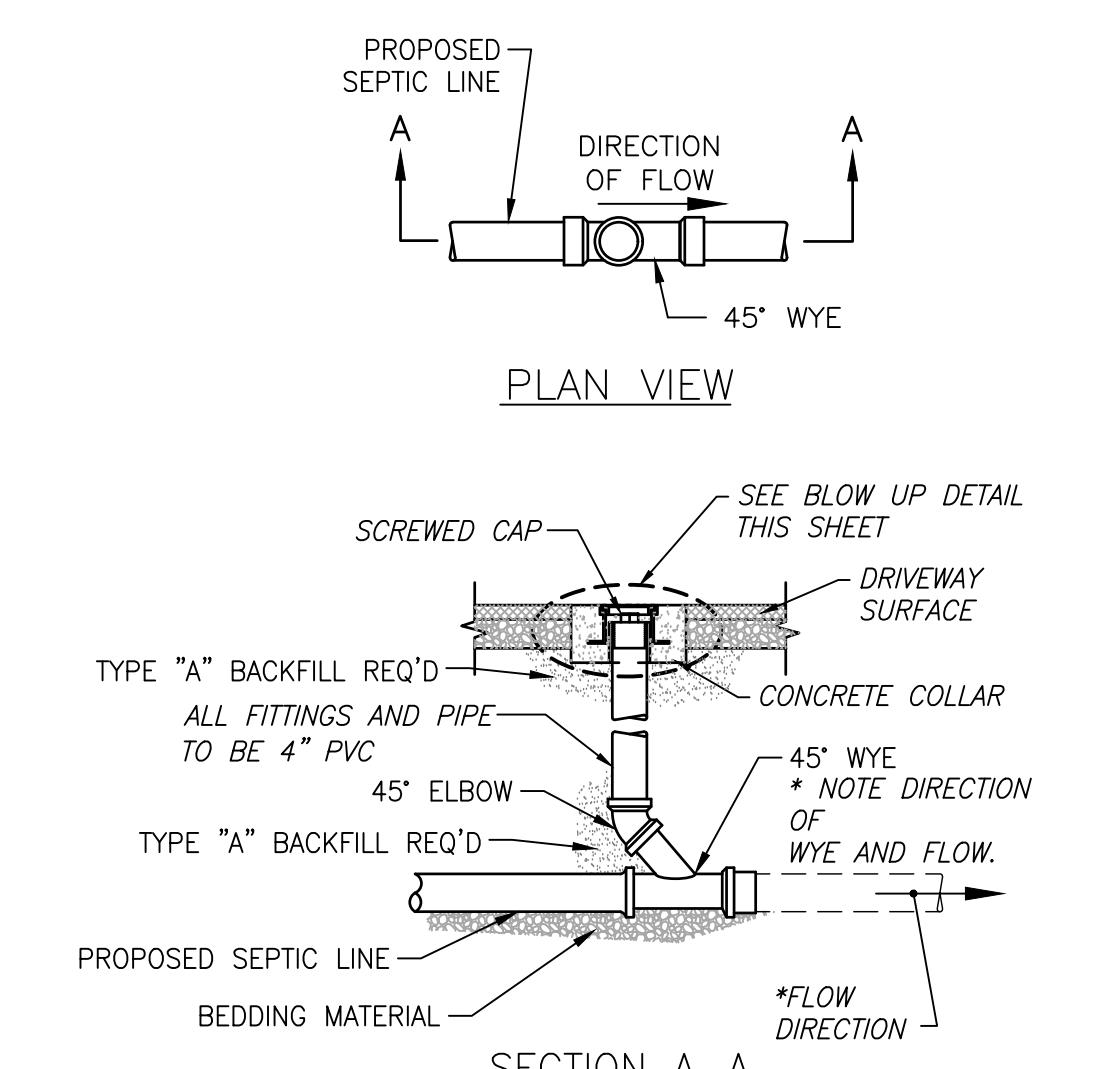


4
C2.1 PIPE TRENCH DETAIL SCALE: N.T.S.

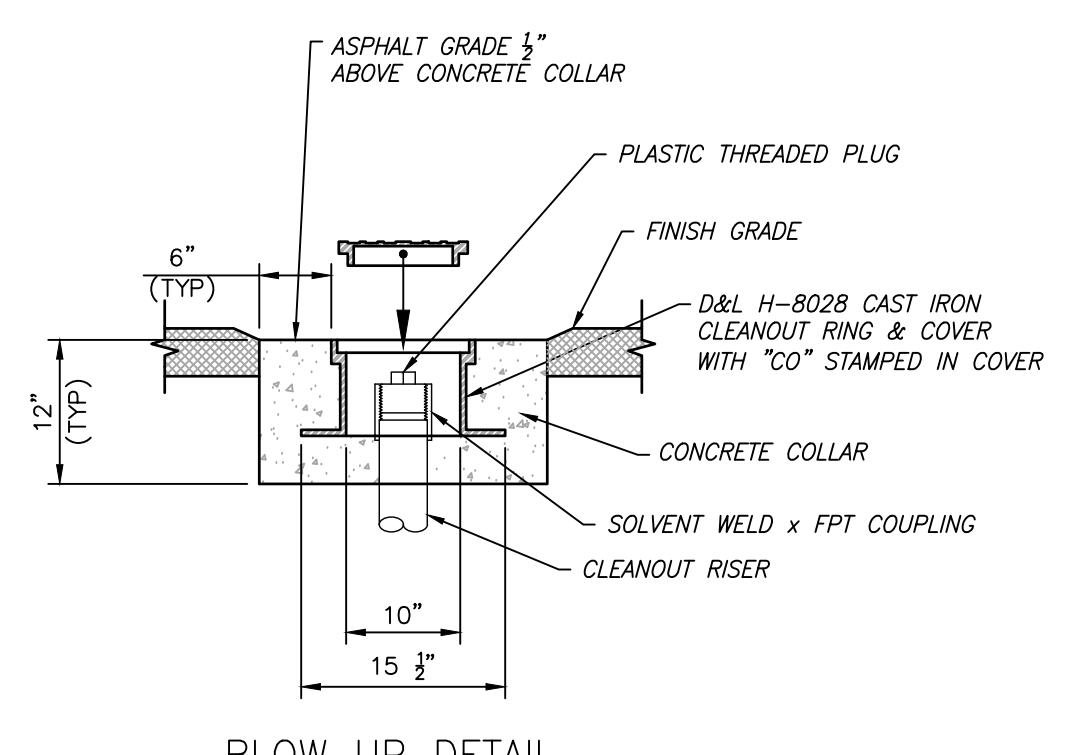


NOTES:

1. PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
2. INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
3. ALL PVC FITTINGS SHALL MEET ASTM D2665 SPECIFICATIONS.



CLEANOUT W/ RING & COVER DETAIL



ING & COVER DETAIL

DRAWING TITLE		UTILITY DETAILS	
JOB TITLE	UP A CREEK LLC	REV.	3/12/2020
DRAWING NO	265 CRAFTREE LANE	DATE	3/12/2020
JOB NO	JACKSON, TETON COUNTY, WY	SURVEYED	
APPROVED	DD	ENGINEERED	NB/DD
CHECKED	DD	DRAWN	NB
REV.	DD		

ABBREVIATIONS		DRAWING INDEX		PROJECT TEAM		VICINITY MAP																																									
<p>A.F.F. ABOVE FINISHED FLOOR ARCH. ARCHITECT BBH BASEBOARD HEATER BRD BOARD BLKG BLOCKING BM BEAM B.O. BOTTOM OF.... CHNL CHANNEL CLG CEILING CMU CONCRETE MASONRY UNIT COL COLUMN CONC CONCRETE DBL DOUBLE DIM. DIMENSION(S) DWGS DRAWINGS DTL DETAIL DN DOWN EL ELEVATION HEIGHT ELEV ELEVATION DRAWING ELEC ELECTRIC F.F. FINISHED FLOOR FLR FLOOR FDN FOUNDATION FRM/G FRAMING FTG FOOTING G.C. GENERAL CONTRACTOR GLB GLUE LAMINATED BEAM G.L. GLUE LAMINATED MEMBER GYP GYPSUM WALL BOARD HTR HORIZONTAL HTR HEATER INSUL INSULATION INT INTERIOR</p> <p>JST JOIST MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM MTL METAL N.I.C. NOT IN CONTRACT OC ON CENTER PL. PLATE PLMBG PLUMBING PLYWD PLYWOOD OR MINUS P.T. PRESSURE TREATED RAD RADIUS REINF. REINFORCEMENT (ING) RM ROOM SCHED. SCHEDULE SHT SHEET SHT MTL SHEET METAL SIM SIMILAR STL STEEL STRUCT. STRUCTURAL SUSPENDED SUSPENDED T.C.P. TONGUE AND GROOVE T.O. TOP OF.... TYP. TYPICAL VERT. VERTICAL V.I.F. VERIFY IN FIELD WP. WEATHERPROOF U.O.N. UNLESS OTHERWISE NOTED</p>		<p>A001 TITLE SHEET & ARCHITECTURAL SITE PLAN C1.0 EXISTING TOPOGRAPHIC SURVEY C1.1 SITE OVERVIEW C1.2 SITE GRADING C2.0 GRADING DETAILS C2.1 WATER DETAILS C2.2 SEWER DETAILS</p> <p>A100 CRAWL SPACE PLAN & FIRST FLOOR PLAN A101 SECOND FLOOR PLAN A200 BUILDING ELEVATIONS A201 BUILDING ELEVATIONS</p>		<p>OWNER: UP A CREEK, LLC P.O. BOX 4100 JACKSON, WY 83001 307.733.1616</p> <p>ARCHITECT KRIKOR ARCHITECTURE, GREGORY MASON P.O. BOX 4659 JACKSON, WY 83001 307.413.6874</p> <p>LANDSCAPE ARCHITECT INSIDE OUT LANDSCAPE ARCHITECTURE 5263 TORRENCE ROAD WILSON, WYOMING 83014 307.690.4907</p> <p>CIVIL ENGINEER NELSON ENGINEERING P.O. BOX 1599 JACKSON, WY 83001 307.733.2087</p> <p>STRUCTURAL ENGINEER Y2 CONSULTANTS P.O. BOX 2674 JACKSON, WY 83001 307.733.2999</p> <p>MEP ENGINEER ENGINEERING CONSULTING INCORPORATED (ECI) 303 FEDERAL WAY BOISE, IDAHO 83705 208.376.9820</p>																																											
<p>KEY LEGEND</p>				<p>KEY NOTES</p> <p>1 EXISTING SINGLE STORY HOUSE REMOVED DOWN TO FLOOR SHEATHING NEW FIRST FLOOR AND SECOND FLOOR ADDITION TO FOLLOW EXISTING FOUNDATION FOOTPRINT 2 EXISTING SINGLE BAY GARAGE - 1 COVERED CAR PARKING SPACE 3 PROPOSED SINGLE BAY GARAGE - 1 COVERED CAR PARKING SPACE 4 PROPOSED FIRE SPRINKLER RISER ROOM - HEATED SPACE 5 PROPOSED TENANT STORAGE CLOSET - UNHEATED SPACE 6 COVERED PORCH 7 COVERED EXTERIOR EXIT STAIR FROM SECOND FLOOR 8 EXIST DECK AT GRADE WITH NEW FINISHED COMPOSITE WOOD PLANKS 9 EXISTING SHED - UNHEATED, NO POWER 10 PROPERTY LINE 11 BUILDING SETBACK LINE 12 EASEMENT LINE 13 FLAT CREEK SETBACK LINE 14 EXISTING TREE REMOVED 15 LANDSCAPE AREA - SEE LANDSCAPE DRAWING 16 EXIST LANDSCAPE TO REMAIN 17 EXIST CONCRETE DRIVEWAY AREA 18 NEW CONCRETE DRIVEWAY AREA 19 CONCRETE WALKWAY 20 CONCRETE STAIR LANDING AREA 21 SECOND FLOOR WINDOW BAY PROJECTION ABOVE 22 BURIED NATURAL GAS LINE TO (3) GAS METERS AND REGULATORS SEE CIVIL AND PLUMBING DWGS 23 BURIED POWER FROM EXIST TRANSFORMER TO (3) NEW METERS AND EMERGENCY DISCONNECT PANEL - SEE ELECTRICAL DWGS 24 EXIST SEWER CLEAN OUT REMOVED - SEE CIVIL DWGS 25 NEW SEWER CLEAN OUT LOCATION - SEE CIVIL DWGS 26 NEW DOMESTIC WATER LINE AND FIRE WATER LINE INTO BUILDING - SEE CIVIL DWGS 27 PHONE AND CABLE INTO BUILDING FROM PEDESTAL - SEE CIVIL DWGS 28 EXIST BUILDING WALL PERIMETER 29 NEW BUILDING WALL PERIMETER 30 LINE OF ROOF OVERHANG 31 LINE OF SECOND FLOOR COVERED DECK ABOVE 32 EXIST WOOD FENCE TO COMPLETELY REMOVED 33 UNIT PRIMARY ENTRANCE 34 GARAGE MAN DOOR ENTRANCE 35 GARAGE OVERHEAD DOOR ENTRANCE 36 NEW GARAGE EXPAND INTO EXISTING CRAWL SPACE / HABITABLE AREA 37 TENANT 9'x18' UNCOVERED PARKING AREA 38 PASSENGER CAR TURNING PATH - SEE CIVIL DWGS 39 FIRE DEPARTMENT CONNECTION (FDC) AND KNOX BOX - SEE CIVIL DWGS 40 MIN. 5' HIGH 1/2" WIDE EACH NUMERAL FOR BUILDING ADDRESS NUMBER VISIBLE FROM TRAVEL ON ROAD 41 EXISTING CURB CUT</p>		<p>LOT 54 HORN ENTERPRISES FIRST ADDITION BASE SITE AREA (BSA) = 7202sf or .17 acres ADJUSTED SITE AREA = 6702sf or .15 acres</p> <p>F.A.R. CALCULATION ALLOWABLE F.A.R. PER NON CONFORMING PHYSICAL DEVELOPMENT 1.9.B.3.a DETACHED SINGLE FAMILY UNIT WITH TWO ARU'S EXISTING: 1444 SF PROPOSED: 3337 SF</p> <p>L.S.R. CALCULATION (FOR 3 UNITS) MIN. ALLOWABLE L.S.R. .30 of BSA: 7202 * .30 = 2160 SF PROPOSED L.S.R. = 3694 SF 7202 (BSA) - 3508 = 3694 SF</p> <ul style="list-style-type: none"> • EXIST DRIVEWAY = 611 SF • NEW DRIVEWAY = 553 SF • PROPOSED HOUSE FOOTPRINT TO REMAIN = 1682 SF • EXIST SHED FOOTPRINT = 92 SF • NEW COVERED AT GRADE PORCH = 95 SF • EXIST UNCOVERED AT GRADE WD DECK = 240 SF • NEW WALKWAYS = 235 SF • TOTAL AREA = 3508 SF <p>PARKING REQUIREMENTS (FOR 3 UNITS) SINGLE FAMILY RESIDENCE: 2 SPACES ARU OVER 500 SF: 1.5 SPACES EACH x 2 UNITS = 3 SPACES REQUIRED: 5 SPACES PROPOSED: 5 SPACES</p> <p>FLOOR AREA STATISTICS (IN SQ.FT.)</p> <table border="1"> <thead> <tr> <th>LOCATION</th> <th>HABITABLE</th> <th>NON HABITABLE</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>EXIST GARAGE FOR SINGLE FAM. RESIDENCE</td> <td>-</td> <td>280</td> <td>280</td> </tr> <tr> <td>NEW GARAGE FOR ARU #2</td> <td>-</td> <td>248</td> <td>248</td> </tr> <tr> <td>EXIST FIRST FLR REMAINS</td> <td>1094</td> <td>-</td> <td>1094</td> </tr> <tr> <td>EXIST FIRST FLR REMOVED TO BECOME GARAGE</td> <td>(-70)</td> <td>-</td> <td>-</td> </tr> <tr> <td>NEW FIRST FLOOR HEATED FIRE RISER ROOM</td> <td>-</td> <td>30</td> <td>30</td> </tr> <tr> <td>NEW FIRST FLOOR UNHEATED TENANT STORG</td> <td>30</td> <td>-</td> <td>30</td> </tr> <tr> <td>NEW SECOND FLR ARU #1</td> <td>820</td> <td>-</td> <td>820</td> </tr> <tr> <td>NEW SECOND FLR ARU #2</td> <td>835</td> <td>-</td> <td>835</td> </tr> <tr> <td>TOTAL</td> <td>2749</td> <td>588</td> <td>3337</td> </tr> </tbody> </table> <p>GENERAL NOTES</p> <ol style="list-style-type: none"> 1. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC), NFPA AND ANY LOCAL CODES & ORDINANCES CURRENTLY ACCEPTED BY THE LOCAL JURISDICTION. 2. UNLESS OTHERWISE NOTED ALL PLAN DIMENSIONS ARE TAKEN TO ROUGH FRAMING OR FACE OF STUD WALL. PROPOSED FIRE SPRINKLER AND FIRE ALARM SYSTEMS ARE 3. A DEFERRED SUBMITTAL BY THE GENERAL CONTRACTOR. BUILDING DIMENSION LOCATIONS OFF PROPERTY LINE ARE 4. APPROXIMATE. VERIFY PLACEMENT W/ SURVEYOR. 5. EXTERIOR LIGHT FIXTURES TO COMPLY WITH SECTION 5.3.1 OF THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS. 6. GENERAL CONTRACTOR AND SUBCONTRACTORS TO CROSS REFERENCE ALL DRAWINGS FOR COMPLETE UNDERSTANDING OF ALL SYSTEMS BEING CONSTRUCTED IN THE BUILDING <p>SITE DATA</p> <p>LOT 54 HORN ENTERPRISES FIRST ADDITION JACKSON, WYOMING SITE PLAN TAKEN FROM SURVEY BY NELSON ENGINEERING (307) 733-2087 PROJECT 2018 364-01 DATE 10.23.19 STREET ADDRESS: 265 CRABTREE LANE ZONING: NL-5 SITE AREA: 7202 SQ.FT. (.17 ACRES) SITE TOPOGRAPHY: 0 - 1 % TOWN SETBACK REQUIREMENTS: STREET: 20' REAR: 10' SIDES: 10' FLAT CREEK: 50' HEIGHT LIMITATIONS ROOF 4:12 OR 5:12 SLOPE: 28' CODES UTILIZED: 2018 IBC DESIGN CRITERIA UTILIZED: SEE STRUCT. DWGS TYPE OF CONSTRUCTION: V-B BLDG OCCUPANCY CLASSIFICATION: GROUP R-2 APARTMENT NFPA 13R FIRE SPRINKLER SYSTEM PROPOSED (DEFERRED) FIRE ALARM SYSTEM PROPOSED (DEFERRED SUBMITTAL)</p> <p>COVER PAGE AND PROPOSED SITE PLAN FOR PROPOSED REMODEL & ADDITION UP A CREEK, LLC 265 Crabtree Lane Jackson, Wyoming</p> <p>REVISIONS TO JEC PRE-APP SUBMITTAL 3.11.20</p> <p>date 3.11.20</p> <p>A001</p>		LOCATION	HABITABLE	NON HABITABLE	TOTAL	EXIST GARAGE FOR SINGLE FAM. RESIDENCE	-	280	280	NEW GARAGE FOR ARU #2	-	248	248	EXIST FIRST FLR REMAINS	1094	-	1094	EXIST FIRST FLR REMOVED TO BECOME GARAGE	(-70)	-	-	NEW FIRST FLOOR HEATED FIRE RISER ROOM	-	30	30	NEW FIRST FLOOR UNHEATED TENANT STORG	30	-	30	NEW SECOND FLR ARU #1	820	-	820	NEW SECOND FLR ARU #2	835	-	835	TOTAL	2749	588	3337
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UP ACREEK, LLC

265 Crabtree Lane Jackson, Wyoming

PROPOSED FLOOR PLANS

FOR

PROPOSED REMODEL & ADDITION

REVISIONS

1 TO J GEC PRE-APP SUBMITTAL

3.11.20

date

3.11.20

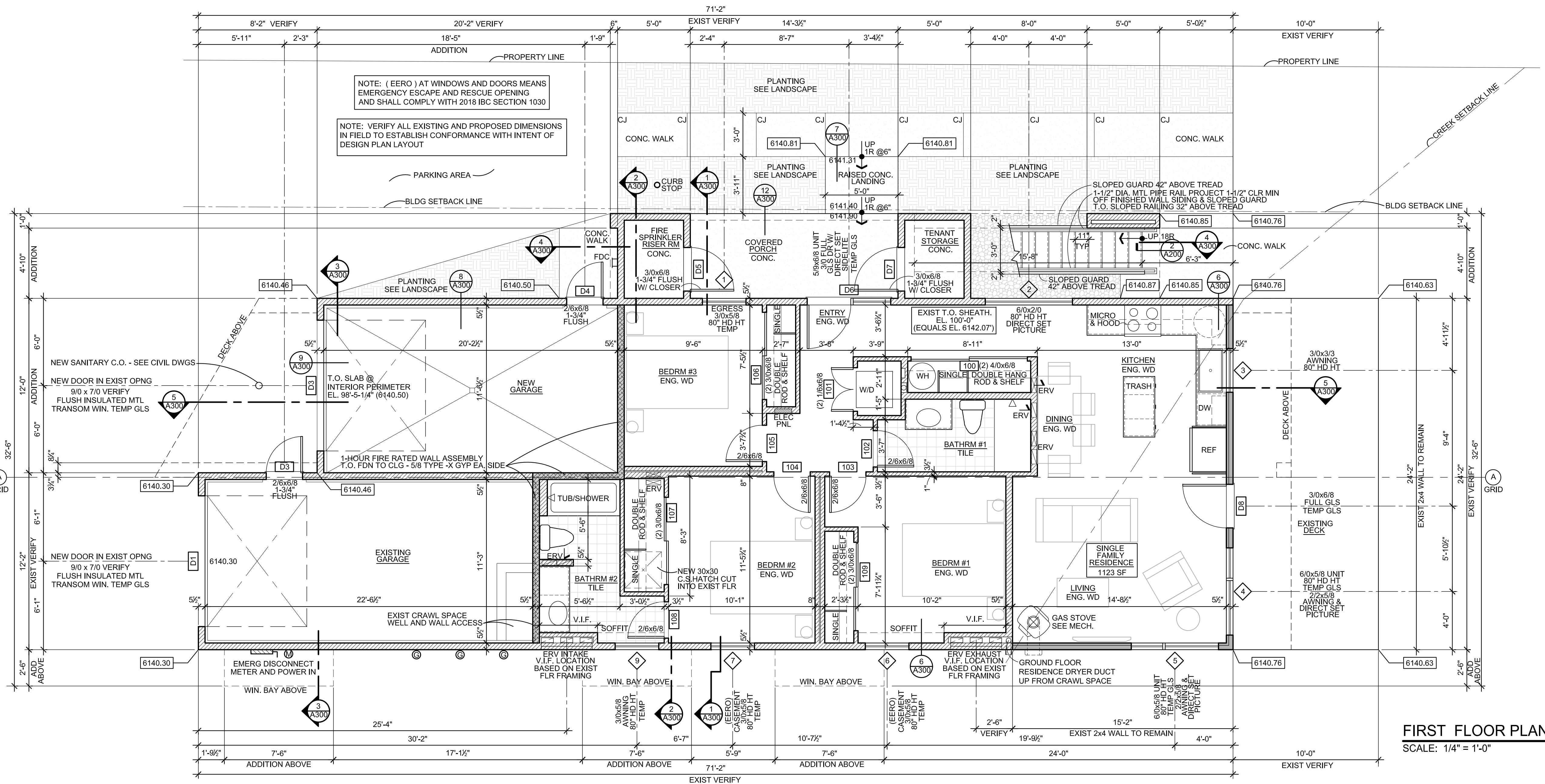
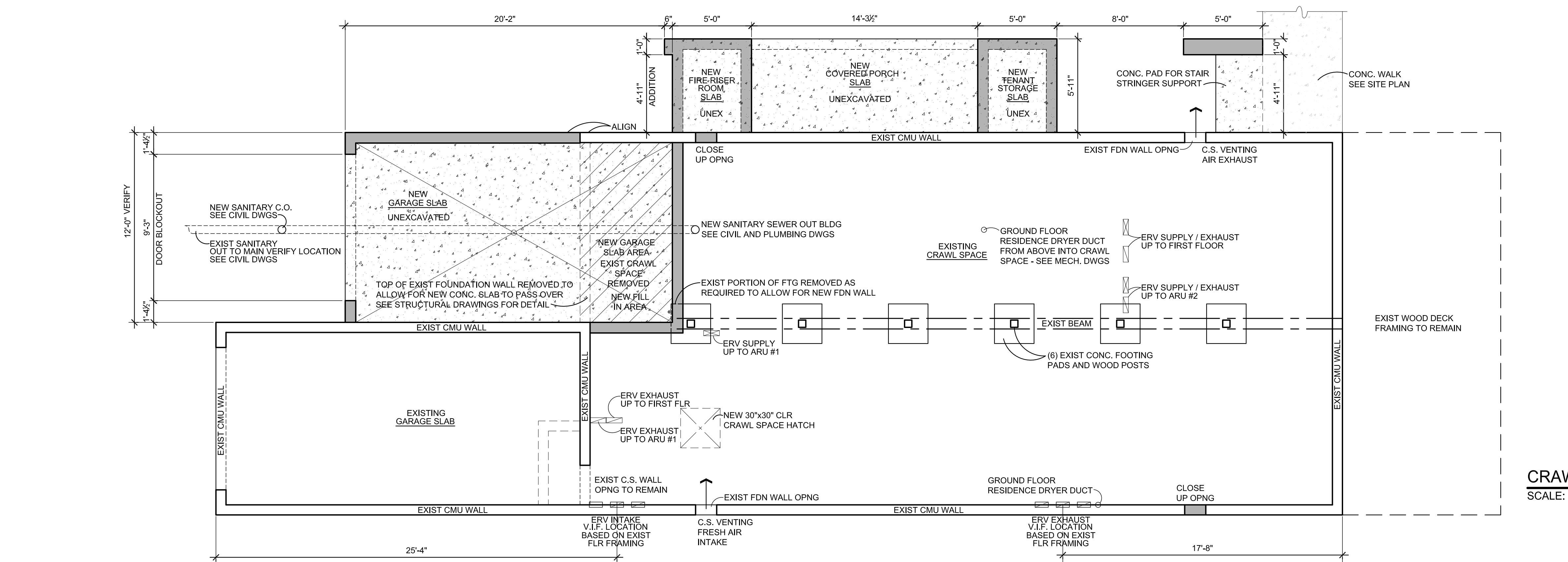
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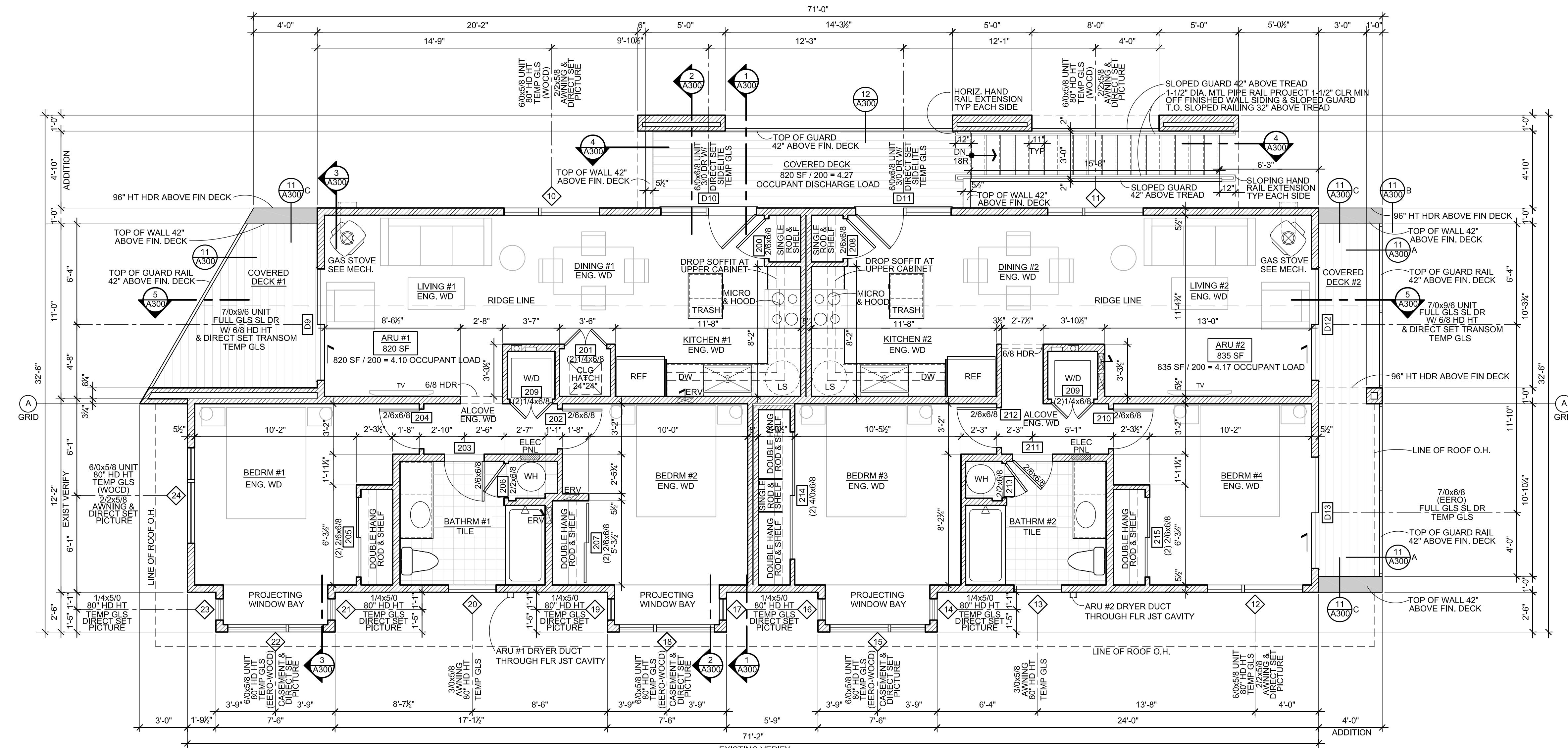
ABOVE

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NORTH

A100





SECOND FLOOR PLAN

NOTE:
VERIFY ALL EXISTING AND PROPOSED DIMENSIONS IN FIELD TO
ESTABLISH CONFORMANCE WITH INTENT OF DESIGN PLAN LAY

NOTE: (EERO) AT WINDOWS AND DOORS MEANS EMERGENCY ESCAPE AND RESCUE OPENING AND SHALL COMPLY WITH 2018 IBC SECTION 1012.6.2

ALL SECOND FLOOR OPERABLE WINDOWS TO HAVE A WINDOW OPENING CONTROL DEVICE (WOC) FOR FALL PREVENTION. ALL WINDOWS NOTED AS EERO TO HAVE WOC DEVICE W/ EMERGENCY ESCAPE RELEASE MECHANISM CONFORMING WITH ASTM 2090.

KRIKOR Architecture

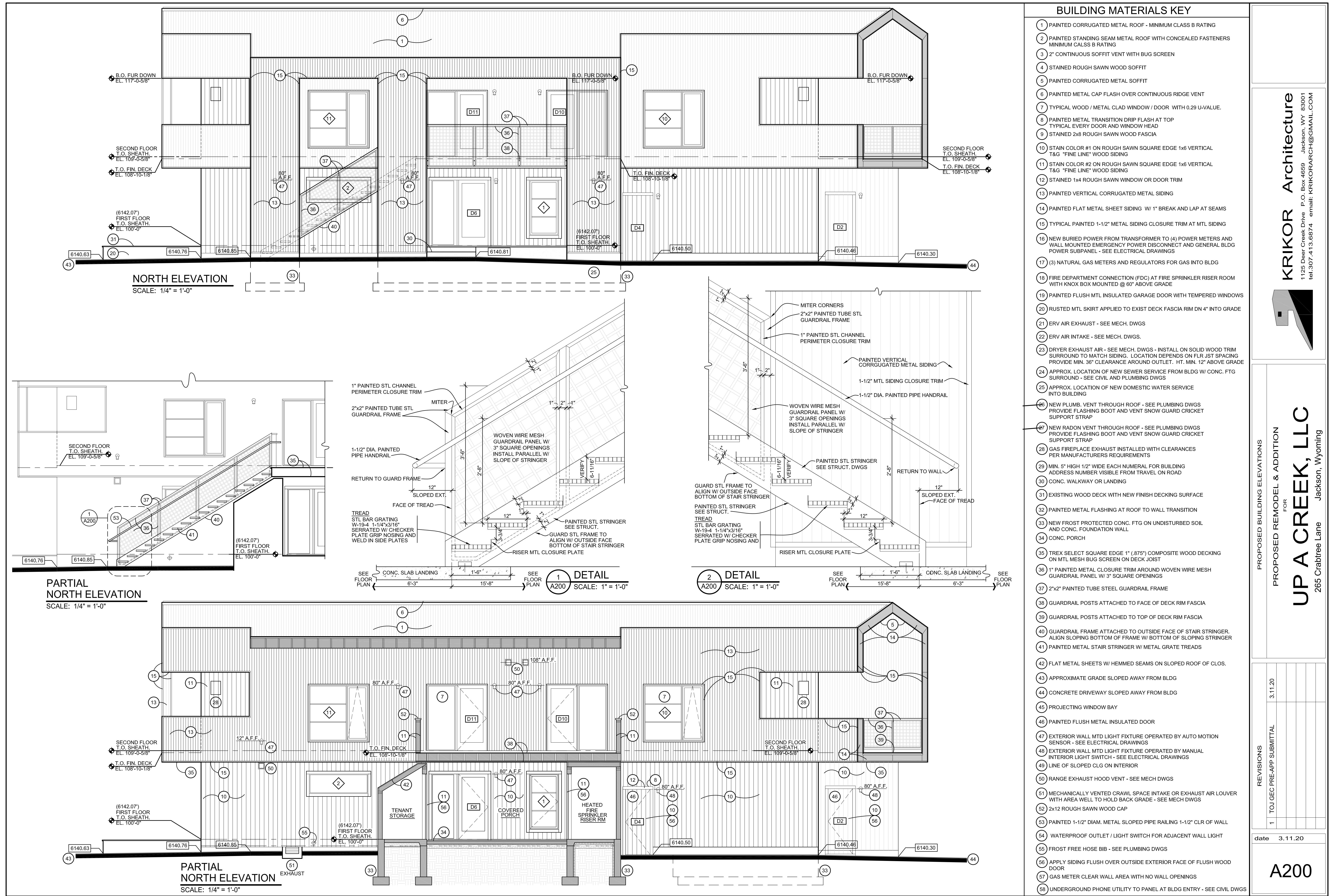
KIKURAI麒麟
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001
tel.307.413.6874 email: KRIKORARUCH@GMAIL.COM

**PROPOSED REMODEL & ADDITION
FOR
UP A CREEK, LLC**

POSED REMODEL & ADDIT

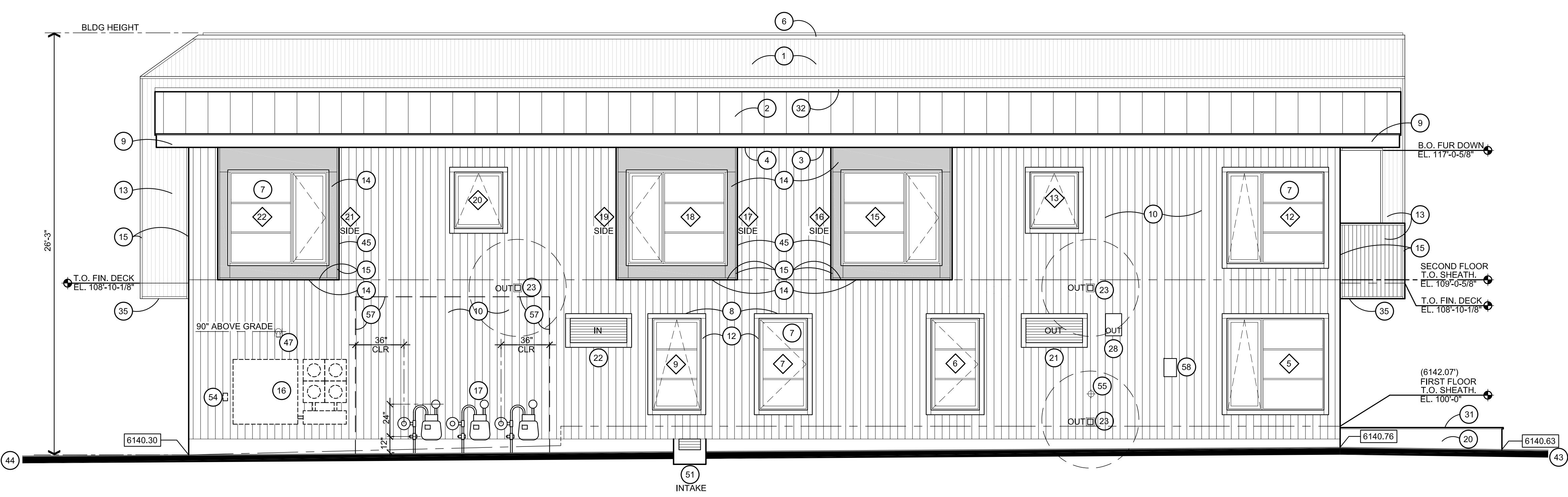
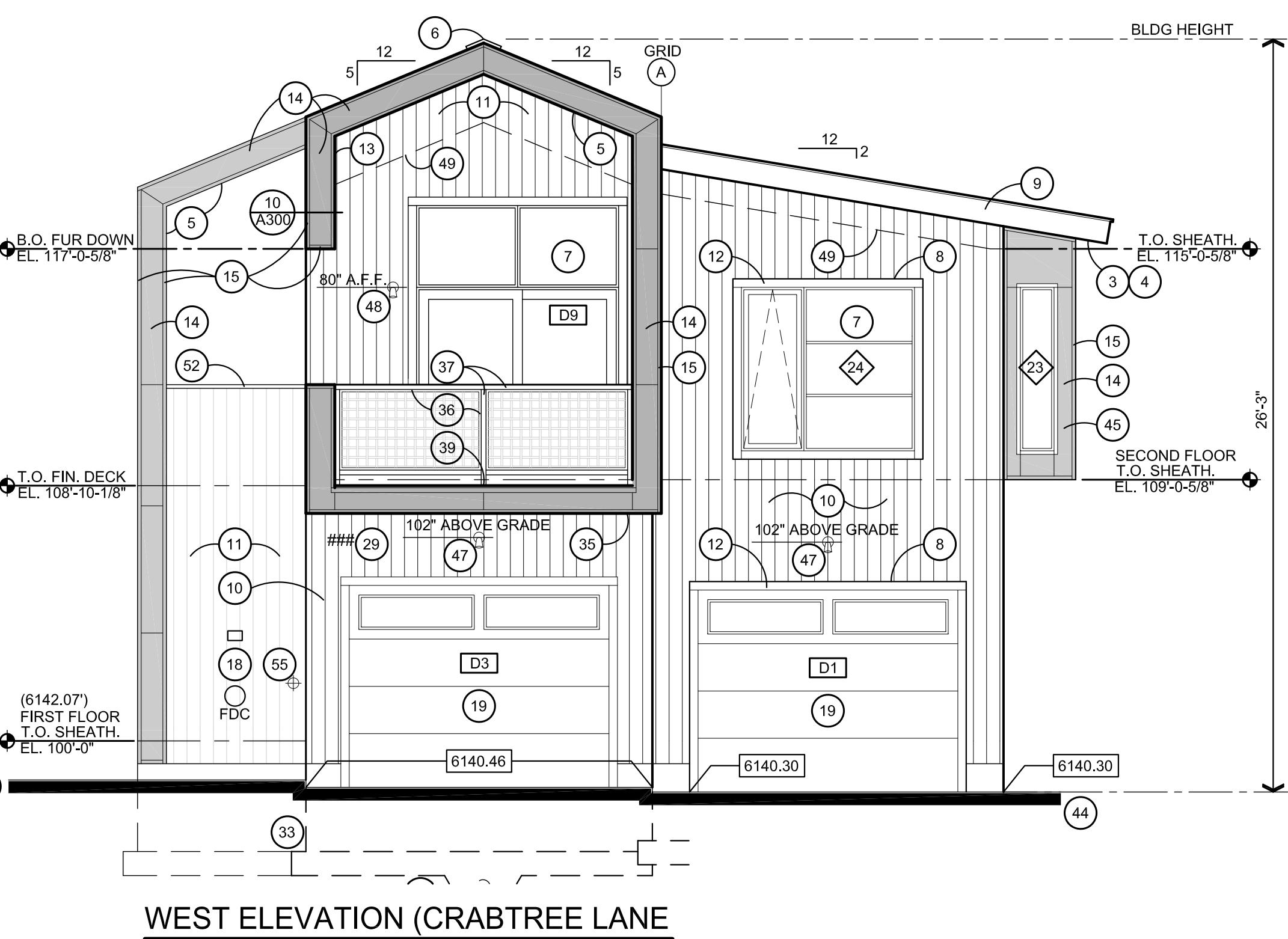
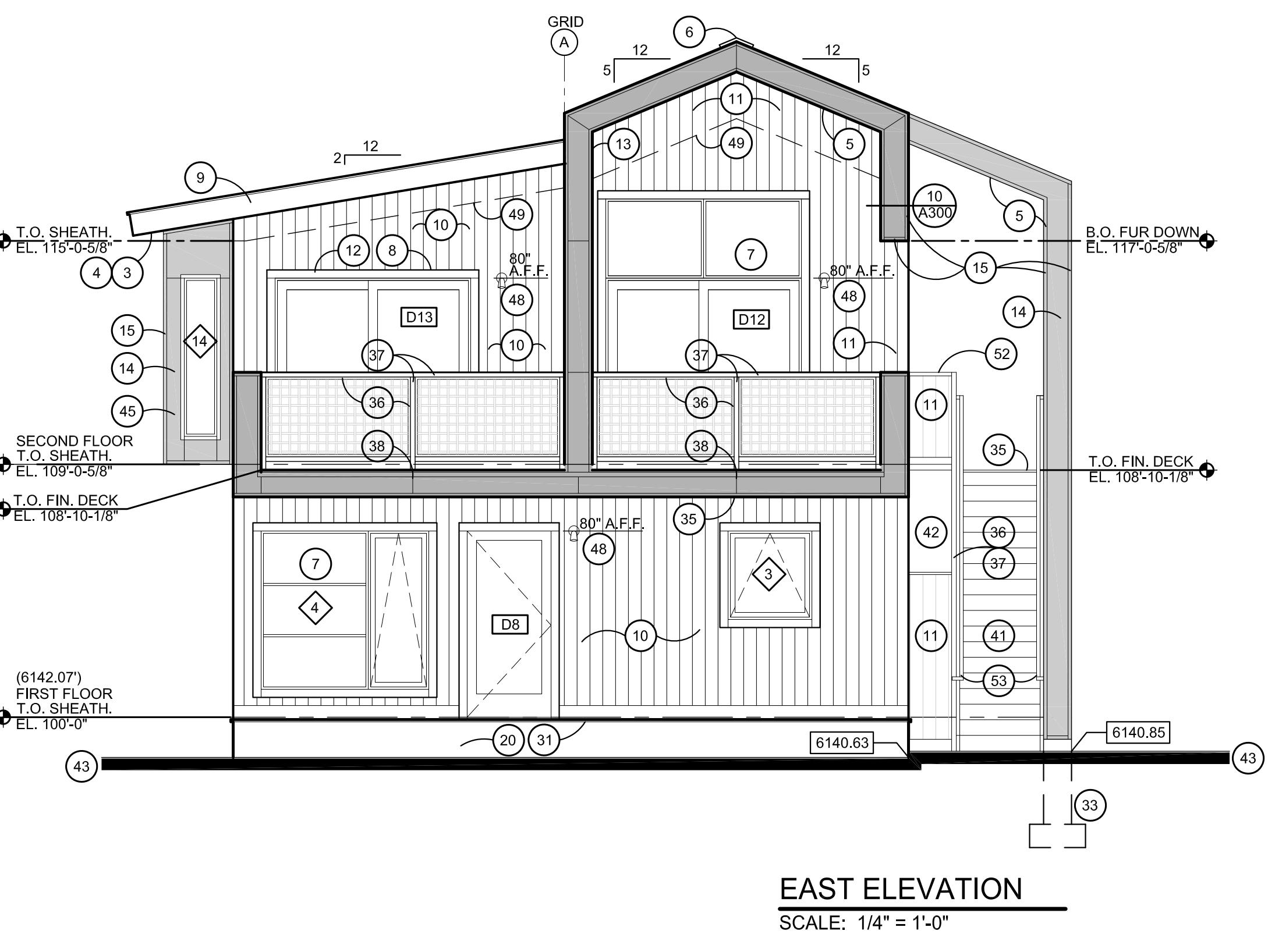
PRE-APP SUBM

A101



BUILDING MATERIALS KEY

- 1 PAINTED CORRUGATED METAL ROOF - MINIMUM CLASS B RATING
- 2 PAINTED STANDING SEAM METAL ROOF WITH CONCEALED FASTENERS MINIMUM CALSS B RATING
- 3 2" CONTINUOUS SOFFIT VENT WITH BUG SCREEN
- 4 STAINED ROUGH SAWN WOOD SOFFIT
- 5 PAINTED CORRUGATED METAL SOFFIT
- 6 PAINTED METAL CAP FLASH OVER CONTINUOUS RIDGE VENT
- 7 TYPICAL WOOD / METAL CLAD WINDOW / DOOR WITH 0.29 U-VALUE.
- 8 PAINTED METAL TRANSITION DRIP FLASH AT TOP TYPICAL EVERY DOOR AND WINDOW HEAD
- 9 STAINED 2x8 ROUGH SAWN WOOD FASCIA
- 10 STAIN COLOR #1 ON ROUGH SAWN SQUARE EDGE 1x6 VERTICAL T&G "FINE LINE" WOOD SIDING
- 11 STAIN COLOR #2 ON ROUGH SAWN SQUARE EDGE 1x6 VERTICAL T&G "FINE LINE" WOOD SIDING
- 12 STAINED 1x4 ROUGH SAWN WINDOW OR DOOR TRIM
- 13 PAINTED VERTICAL CORRUGATED METAL SIDING
- 14 PAINTED FLAT METAL SHEET SIDING W/ 1" BREAK AND LAP AT SEAMS
- 15 TYPICAL PAINTED 1-1/2" METAL SIDING CLOSURE TRIM AT MTL SIDING
- 16 NEW BURIED POWER FROM TRANSFORMER TO (4) POWER METERS AND WALL MOUNTED EMERGENCY POWER DISCONNECT AND GENERAL BLDG POWER SUBPANEL - SEE ELECTRICAL DRAWINGS
- 17 (3) NATURAL GAS METERS AND REGULATORS FOR GAS INTO BLDG
- 18 FIRE DEPARTMENT CONNECTION (FDC) AT FIRE SPRINKLER RISER ROOM WITH KNOX BOX MOUNTED @ 60" ABOVE GRADE
- 19 PAINTED FLUSH MTL INSULATED GARAGE DOOR WITH TEMPERED WINDOWS
- 20 RUSTED MTL SKIRT APPLIED TO EXIST DECK FASCIA RIM DN 4" INTO GRADE
- 21 ERV AIR EXHAUST - SEE MECH. DWGS
- 22 ERV AIR INTAKE - SEE MECH. DWGS.
- 23 DRYER EXHAUST AIR - SEE MECH. DWGS - INSTALL ON SOLID WOOD TRIM SURROUND TO MATCH SIDING. LOCATION DEPENDS ON FLR JST SPACING PROVIDE MIN. 36" CLEARANCE AROUND OUTLET. HT. MIN. 12" ABOVE GRADE
- 24 APPROX. LOCATION OF NEW SEWER SERVICE FROM BLDG W/ CONC. FTG SURROUND - SEE CIVIL AND PLUMBING DWGS
- 25 APPROX. LOCATION OF NEW DOMESTIC WATER SERVICE INTO BUILDING
- 26 NEW PLUMB. VENT THROUGH ROOF - SEE PLUMBING DWGS PROVIDE FLASHING BOOT AND VENT SNOW GUARD CRICKET SUPPORT STRAP
- 27 NEW RADON VENT THROUGH ROOF - SEE PLUMBING DWGS PROVIDE FLASHING BOOT AND VENT SNOW GUARD CRICKET SUPPORT STRAP
- 28 GAS FIREPLACE EXHAUST INSTALLED WITH CLEARANCES PER MANUFACTURERS REQUIREMENTS
- 29 MIN. 5" HIGH 1/2" WIDE EACH NUMERAL FOR BUILDING ADDRESS NUMBER VISIBLE FROM TRAVEL ON ROAD
- 30 CONC. WALKWAY OR LANDING
- 31 EXISTING WOOD DECK WITH NEW FINISH DECKING SURFACE
- 32 PAINTED METAL FLASHING AT ROOF TO WALL TRANSITION
- 33 NEW FROST PROTECTED CONC. FTG ON UNDISTURBED SOIL AND CONC. FOUNDATION WALL
- 34 CONC. PORCH
- 35 TREX SELECT SQUARE EDGE 1" (.875") COMPOSITE WOOD DECKING ON MTL MESH BUG SCREEN ON DECK JOIST
- 36 1" PAINTED METAL CLOSURE TRIM AROUND WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS
- 37 2"x2" PAINTED TUBE STEEL GUARDRAIL FRAME
- 38 GUARDRAIL POSTS ATTACHED TO FACE OF DECK RIM FASCIA
- 39 GUARDRAIL POSTS ATTACHED TO TOP OF DECK RIM FASCIA
- 40 GUARDRAIL FRAME ATTACHED TO OUTSIDE FACE OF STAIR STRINGER. ALIGN SLOPING BOTTOM OF FRAME W/ BOTTOM OF SLOPING STRINGER
- 41 PAINTED METAL STAIR STRINGER W/ METAL GRATE TREADS
- 42 FLAT METAL SHEETS W/ HEMMED SEAMS ON SLOPED ROOF OF CLOS.
- 43 APPROXIMATE GRADE SLOPED AWAY FROM BLDG
- 44 CONCRETE DRIVEWAY SLOPED AWAY FROM BLDG
- 45 PROJECTING WINDOW BAY
- 46 PAINTED FLUSH METAL INSULATED DOOR
- 47 EXTERIOR WALL MTD LIGHT FIXTURE OPERATED BY AUTO MOTION SENSOR - SEE ELECTRICAL DRAWINGS
- 48 EXTERIOR WALL MTD LIGHT FIXTURE OPERATED BY MANUAL INTERIOR LIGHT SWITCH - SEE ELECTRICAL DRAWINGS
- 49 LINE OF SLOPED CLG ON INTERIOR
- 50 RANGE EXHAUST HOOD VENT - SEE MECH DWGS
- 51 MECHANICALLY VENTED CRAWL SPACE INTAKE OR EXHAUST AIR LOUVER WITH AREA WELL TO HOLD BACK GRADE - SEE MECH DWGS
- 52 2x12 ROUGH SAWN WOOD CAP
- 53 PAINTED 1-1/2" DIAM. METAL SLOPED PIPE RAILING 1-1/2" CLR OF WALL
- 54 WATERPROOF OUTLET / LIGHT SWITCH FOR ADJACENT WALL LIGHT
- 55 FROST FREE HOSE BIB - SEE PLUMBING DWGS
- 56 APPLY SIDING FLUSH OVER OUTSIDE EXTERIOR FACE OF FLUSH WOOD DOOR
- 57 GAS METER CLEAR WALL AREA WITH NO WALL OPENINGS
- 58 UNDERGROUND PHONE UTILITY TO PANEL AT BLDG ENTRY - SEE CIVIL DWGS



REVISIONS

1 TO JEC PRE-APP SUBMITTAL

3.11.20

date 3.11.20

A201

STORMWATER RUNOFF CALC'S
265 CRABTREE

20-062-01
3-12-20
NB

PRE-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT^2)=	2000	
C-VALUE =	0.9	
S =	20%	
L (ft) =	20	
tc (min) =	0.59	tc = 1.8(1.1 - C)L^.5/S^.3333, (Corps of Eng. Eqn.)

DRIVEWAY & HARDSCAPE CALCULATIONS

DRIVEWAY & HARDSCAPE	780	
C-VALUE =	0.9	
S =	5%	
L (ft) =	20	
tc (min) =	0.94	tc = 1.8(1.1 - C)L^.5/S^.3333, (Corps of Eng. Eqn.)

LANDSCAPING CALCULATIONS

LANDSCAPING AREA (FT^2)	2760	
C-VALUE =	0.3	
S =	2%	
L (ft) =	50	
tc (min) =	8.90	tc = 1.8(1.1 - C)L^.5/S^.3333, (Corps of Eng. Eqn.)

TOTAL AREA= 6000 SF

Total Time of Conc., Tc =	10.43	min (lawn, roof, & driveway)
Composite Cc =	0.60	
Total Area, At =	5540	ft^2

TABLE 4920.B
JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, Td (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

Initial Flow Rate, Qi (cfs) = 0.18 cfs at tc= 12.11 min

$$Qi = Cc \cdot I \cdot At / (43200)$$

where,
Composite Cc = 0.60
Intensity, I = 2.29 in/hr at Td = 12.11 min
Total Area, At = 5540 ft^2

STORMWATER RUNOFF CALC'S
265 CRABTREE

20-062-01
3-12-20
NB

POST-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT ²)	2340	
C-VALUE =	0.9	
S =	8%	
L (ft) =	20	
tc (min) =	0.79	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

DRIVEWAY & HARDSCAPE CALCULATIONS

DRIVEWAY & HARDSCAPE		
AREA (FT ²)	1540	
C-VALUE =	0.9	
S =	2%	
L (ft) =	20	
tc (min) =	1.28	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LAWN CALCULATIONS

LAWN AREA (FT ²)	1660	
C-VALUE =	0.3	
S =	5%	
L (ft) =	50	
tc (min) =	5.95	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

TOTAL SOUTH LOT AREA= 8550 SF

Total Time of Conc., Tc = 8.03 **min (roof, drive and lawn)**
Composite Cc = 0.72
Total Area, At = 5540 **ft²**

TABLE 4920.B
JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, T _d (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

Final Flow Rate, Q_f (cfs) = 0.23 **cfs at tc = 14.73 min**

$$Q_f = Cc \cdot I \cdot A_t / (43200)$$

where,

Composite Cc = 0.72
Intensity, I = 2.50 **in/hr at T_d = 14.73 min**
Total Area, At = 5540 **ft²**

STORMWATER RUNOFF CALC'S
265 CRABTREE

20-062-01
3-12-20
NB

Post and Pre-Development Diff = 0.05 cfs

EQUATIONS: $Q_d = C_c \cdot I \cdot A_t / (43200)$

$$V_d = (Q_d - Q_i) * ((Q_d - Q_i) / Q_f \cdot T_d) * 60$$

Where,

Composite Cc =	0.72	
Intensity, I =	2.50	in/hr
Total Area, At =	5540	ft ²
Final Flow Rate, Qd (cfs) =	0.23	cfs at tc = 14.73 min
Initial Flow Rate, Qi (cfs) =	0.18	cfs at tc = 12.11 min
Duration, Td =	8.03	(min)

Storage Volume = 7 ft³
Dry Bottom Basins to be Utilized for Stormwater Detention

Design Storage Volume 14 ft³
(twice calculated)