



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

### Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: March 17, 2020	<b>REQUESTS:</b>  The applicant is submitting a request for a Grading Pre-Application for the property located at 265 Crabtree Lane legally known as, LOT 54, HORN ENTERPRISES.  For questions, please call Brain Lenz at 733-3079, x1410 or email to the address shown below. Thank you.
Item #: P20-050	
Planner: Brendan Conboy  Phone: 733-0440 ext. 1302  Email: bconboy@jacksonwy.gov	
<b>Owner:</b> Up a Creek, LLC PO Box 229 Jackson, WY 83001	
<b>Applicant:</b> Krikor Architechture PO Box 4659 Jackson, WY 83001	
<b>Please respond by: N/A</b>	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to: [tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)



## **PRE-APPLICATION CONFERENCE REQUEST (PAP)**

### **Planning & Building Department**

150 E Pearl Ave. | phone (307)733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

#### ***For Office Use Only***

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

**Please note:** Applications received after 3 PM will be process the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

#### **PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

#### **PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **APPLICANT/AGENT.**

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner \_\_\_\_\_ Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

\_\_\_\_\_ Physical Development Permit  
\_\_\_\_\_ Use Permit  
\_\_\_\_\_ Development Option or Subdivision Permit  
\_\_\_\_\_ Interpretations of the LDRs  
\_\_\_\_\_ Amendments to the LDRs  
\_\_\_\_\_ Relief from the LDRs  
\_\_\_\_\_ Environmental Analysis

**This pre-application conference is:**

\_\_\_\_\_ Required  
\_\_\_\_\_ Optional  
\_\_\_\_\_ For an Environmental Analysis  
\_\_\_\_\_ For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** ([tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)).

Have you attached the following?

\_\_\_\_\_ **Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.

\_\_\_\_\_ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at [www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF](http://www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF).

\_\_\_\_\_ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

\_\_\_\_\_ Existing property conditions (buildings, uses, natural resources, etc)  
\_\_\_\_\_ Character and magnitude of proposed physical development or use  
\_\_\_\_\_ Intended development options or subdivision proposal (if applicable)  
\_\_\_\_\_ Proposed amendments to the LDRs (if applicable)

\_\_\_\_\_ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

\_\_\_\_\_ Property boundaries  
\_\_\_\_\_ Existing and proposed physical development and the location of any uses not requiring physical development  
\_\_\_\_\_ Proposed parcel or lot lines (if applicable)  
\_\_\_\_\_ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

\_\_\_\_\_ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

\_\_\_\_\_ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

  
\_\_\_\_\_  
Signature of Owner or Authorized Applicant/Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name Printed

\_\_\_\_\_  
Title

**LETTER OF AUTHORIZATION**

Jeffrey H. Dahlin, "Owner" whose address is: 265 Crabtree  
Bx 410 Jackson, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

UP A Creek LLC

, as the owner of property

more specifically legally described as: 265 CRABTREE LANE

LOT 54 HORN ENTERPRISES, FIRST ADDITION

(If too lengthy, attach description)

**HEREBY AUTHORIZES** KRIKOR ARCHITECTURE, LLC GREGORY MASON

as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

**OWNER:**

Jeffrey H. Dahlin  
(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: President

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)  
)SS.

COUNTY OF Teton

)

The foregoing instrument was acknowledged before me by Jeffrey Dahlin this 13th day of March, 2020.

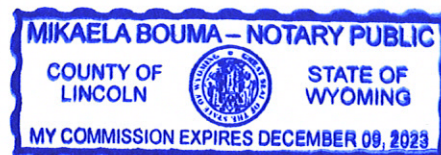
WITNESS my hand and official seal.

Stimule JZ

(Seal)

(Notary Public)

My commission expires: 12-9-23



DD/20-062-01

March 11, 2020

Town of Jackson  
Planning and Building Department  
150 E. Pearl Ave.  
PO Box 1687  
Jackson, WY 83001

ATTN: Town of Jackson Planning and Building Department  
**RE: Grading Pre-Application Conference Request for 265 Crabtree Lane,  
Jackson, Wyoming**

Dear Planning Personnel:

The attached Pre-Application Request Packet is for a proposed remodeling project of an existing house located at 265 Crabtree Lane, Jackson, Wyoming. In accordance with the existing site plan attached, there is an existing residence situated on a town lot with associated parking and utilities. The project area is zoned NL-5 (Neighborhood Low Density -5) and is used as a residence. Adjacent to the project area is Flat Creek which borders the property to the South East. This portion of the property is not expected to be graded or affected. Proposed development includes tearing down the existing single-family residence and rebuilding a 3-Apartment building largely on the same foundation. Two of the proposed apartments will be 2-bedroom units while the third apartment that occupies the entire first floor will be a 3-bedroom unit. The only anticipated grading changes are minor expansion of the existing structure and minor adjustments of the existing driveway as depicted in the attached plans. The sanitary sewer service line will be reattached to the existing stump this will likely not impact the grading area. The water service for this property will be replaced with a larger line to handle fire flows for the sprinklered apartments. Electrical, Natural Gas, and Communication connections will be replaced or adjusted as needed, this work will be coordinated with the utilities and the Town of Jackson as needed.

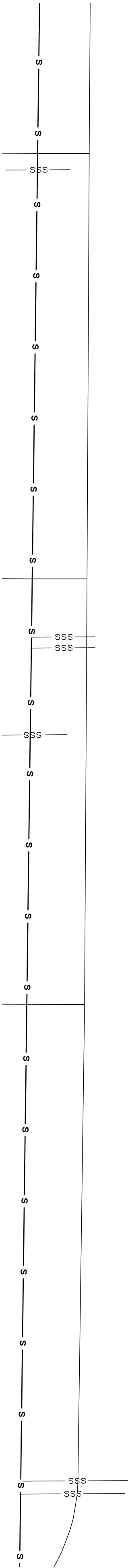
Please do not hesitate to contact me with project inquiries at (307) 733-2087 or [ddufault@nelsonengineering.net](mailto:ddufault@nelsonengineering.net).

Sincerely,

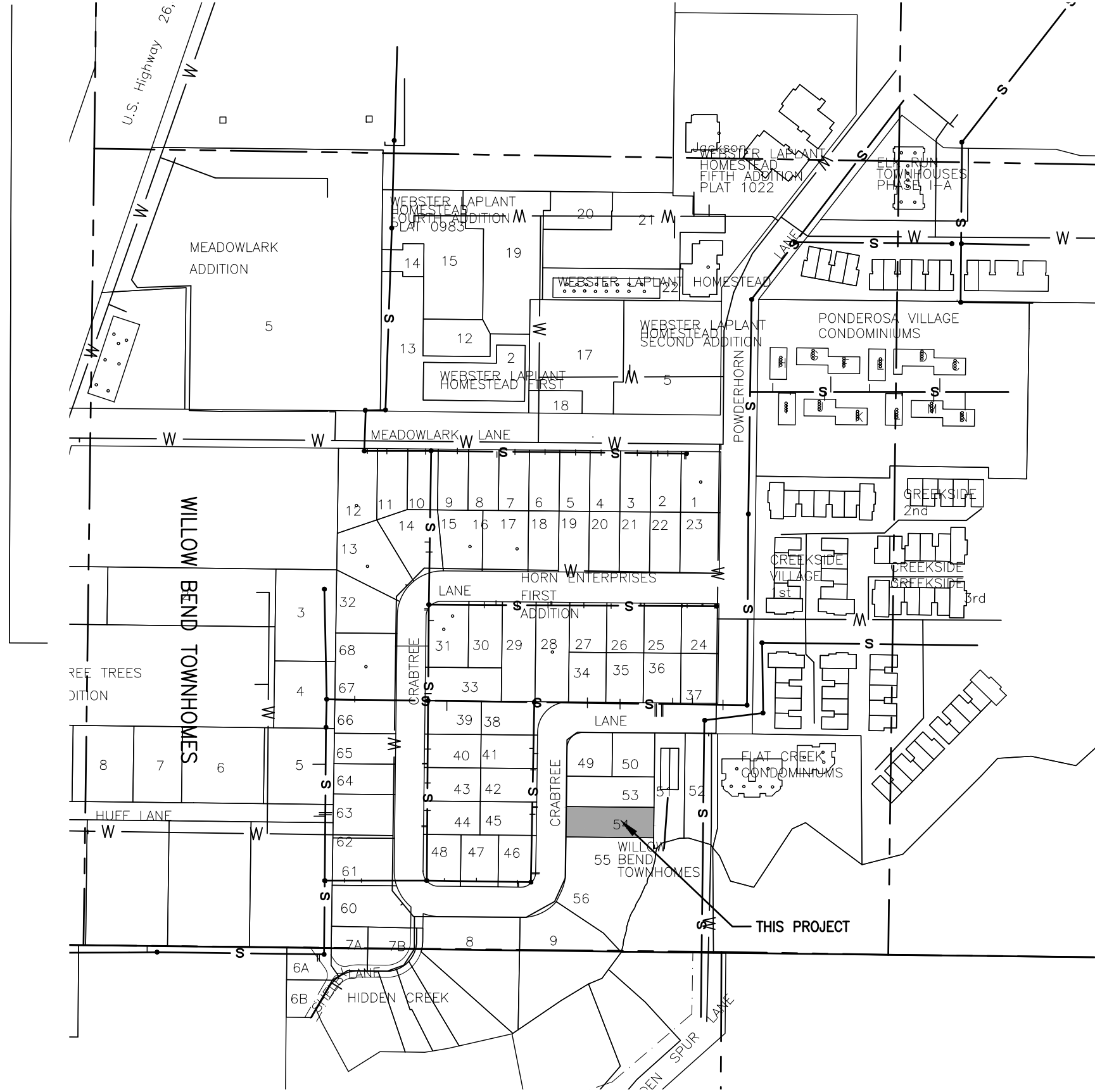
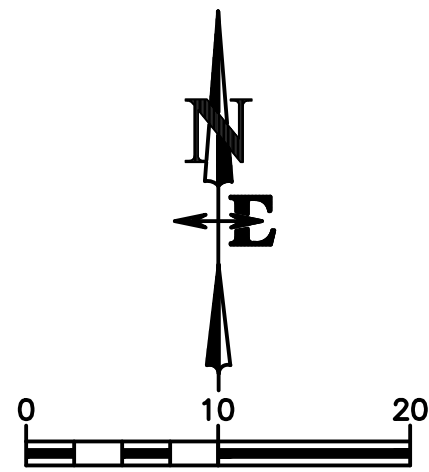
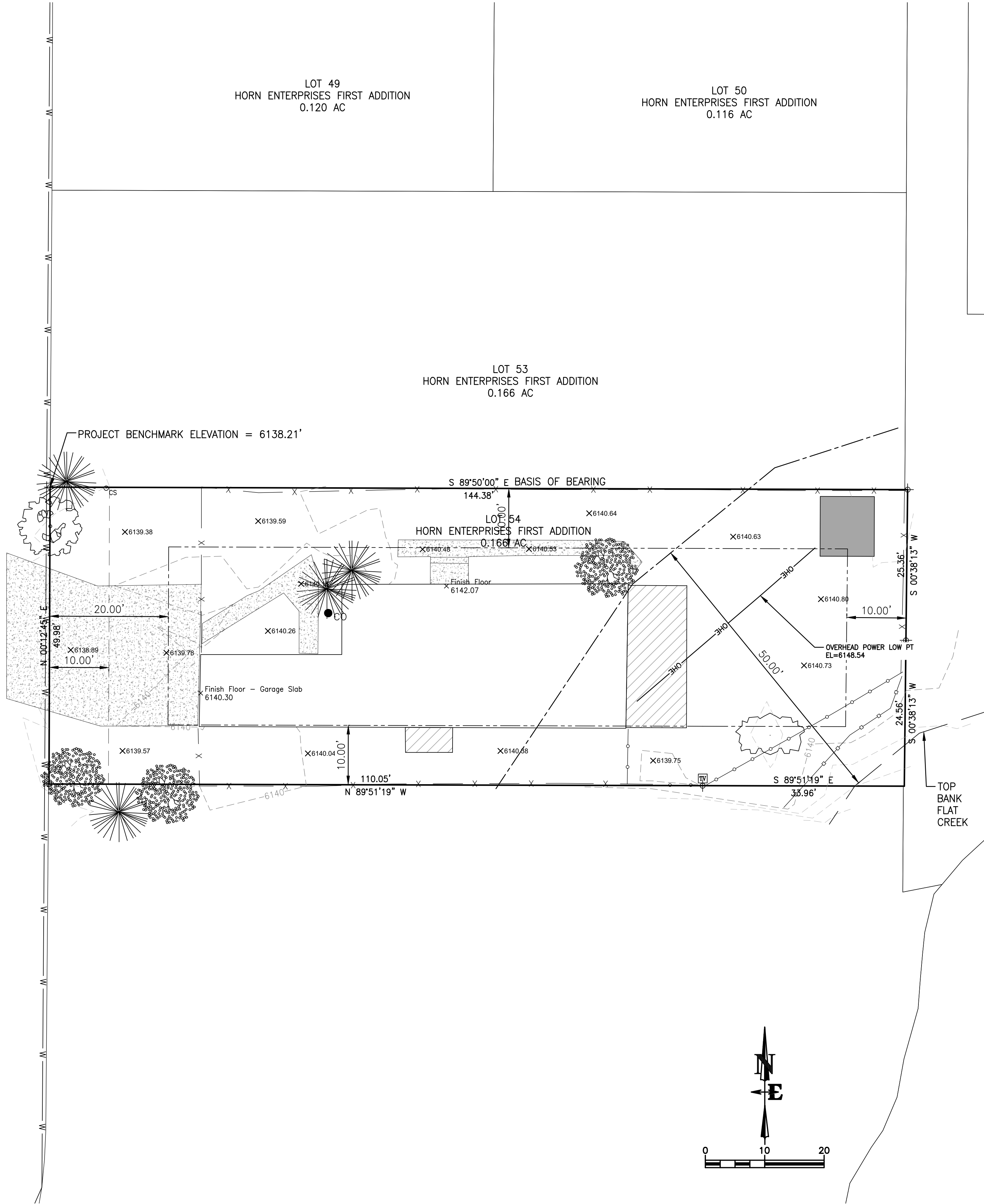
Dave Dufault, PE  
Project Manager



S:\Proj\2020\062-01\065 Crabtree Lane - David Dablin - Civil\Drawings\Sub\065\065A-1\Entire.dwg (2/4/20) - Plot 12 2020 02:10:26 pm PLOTTED BY: bering DWG FORMAT: 230



CRABTREE LANE



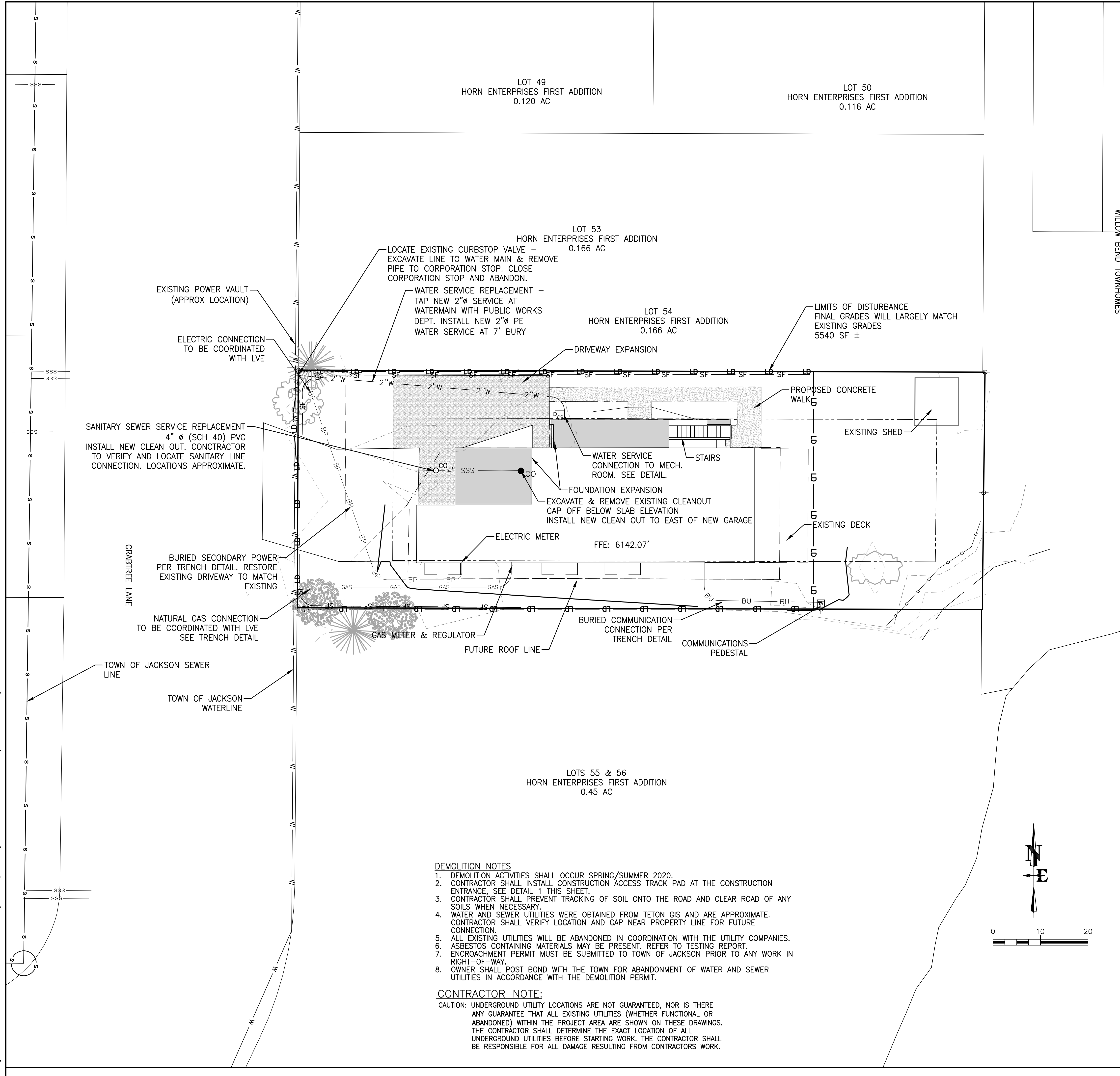
**VICINITY MAP**  
SW 1/4 SE 1/4  
SECTION 32  
T41N, R116W  
TETON COUNTY, WY  
0 200 400  
TOWN OF JACKSON ZONING: NL-5  
SETBACKS (MIN):  
PRIMARY STREET (FRONT)-20'  
SIDE-10'  
REAR-10'  
FLAT CREEK-50'  
BASIS OF ELEVATION: NAVD88

- LEGEND**
- = PROPERTY BOUNDARY
  - - - = PRIMARY BUILDING SETBACK
  - - - = 10' UTILITY EASEMENT
  - - - = 50' FLAT CREEK SETBACK
  - - - = SURVEYED TOP BANK FLAT CREEK
  - - - = CHAINLINK FENCE
  - X - X - = WOODEN BOARD FENCE
  - □ - □ - = WOODEN POST FENCE
  - OHE - OHE - = OVERHEAD POWER LINE
  - W - W - = WATER SYSTEM PER TOJ GIS
  - S - S - = SEWER SYSTEM PER TOJ GIS
  - = ASPEN TREE
  - = PINE TREE
  - = DECIDUOUS TREE
  - = COTTONWOOD TREE
  - CS = CURB STOP
  - TV = TV PEDESTAL
  - CO = SANITARY SEWER CLEANOUT
  - ⊕ = FOUND T-STAKE - RLS 164
  - = CONCRETE

DRAWING NO	JOB TITLE	DRAWING TITLE	DATE	REV.
C1.0	UP A CREEK LLC	EXISTING	3/11/2020	
JOB NO	265 CRABTREE LANE		SURVEYED	NB/DD
20-062-01	JACKSON, TETON COUNTY, WY		DRAWN	NB
			CHECKED	DD
			APPROVED	DD

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

S:\Proj\2020\062-01\GIS\Crabtree Lane - Crabtree Drawings\Crabtree.dwg (OVERVIEW) - Mar 12 2020 10:10:35 pm PLOTTED BY: hmling DWG: 1780x11 230



SITE CONSTRUCTION NOTES & SPECIFICATIONS

- CAUTION:** UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
  - CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
  - CONTRACTOR TO APPLY FOR & OBTAIN ENCROACHMENT PERMIT FROM TOJ FOR ALL WORK IN THE PUBLIC WAY OF CRABTREE LANE.
  - IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
  - STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN. CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C1.1 FOR LOCATIONS.
  - TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH SLOPES. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
  - DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
  - CONTRACTOR SHALL PREVENT TRACKING OF SOIL ONTO THE ROAD AND CLEAN ROAD OF SOILS WHEN NECESSARY.
  - IN ACCORDANCE WITH C1.1, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
  - REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
  - CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES ON SHEET C1.1 FOR WEED MANAGEMENT REQUIREMENTS.
  - LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SPRING 2020 THROUGH FALL 2020.
  - CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
  - INSTALL ORANGE CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C1.1
  - CONSTRUCTION PARKING AND STAGING WILL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTAGE. GRAVEL SURFACING WILL BE PLACED TO MINIMIZE MUD ISSUES DURING CONSTRUCTION.
  - FOLLOW GEOTECHNICAL REPORT RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.

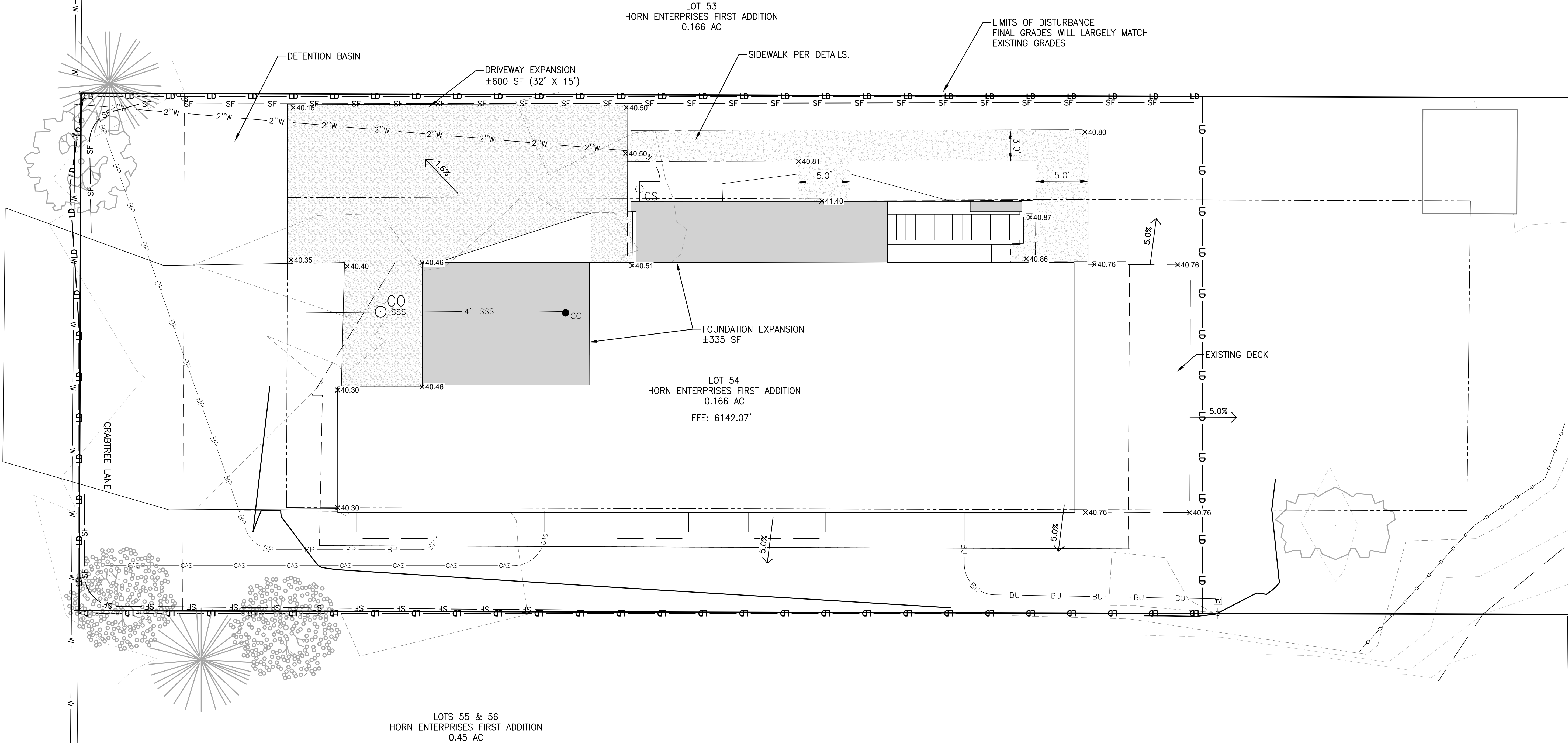
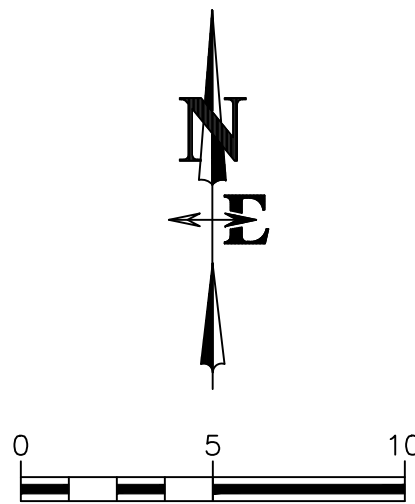
- LEGEND
- PROPERTY BOUNDARY
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  - FOUND T-STAKE - RLS 164
  - CONCRETE

DRAWING NO	JOB NO	JOB TITLE	DRAWING TITLE	REV.				
				DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED
C1.1	20-062-01	UP A CREEK LLC 265 CRABTREE LANE JACKSON, TETON COUNTY, WY	OVERVIEW & UTILITY PLAN	3/12/2020		NB/DD	NB	DD



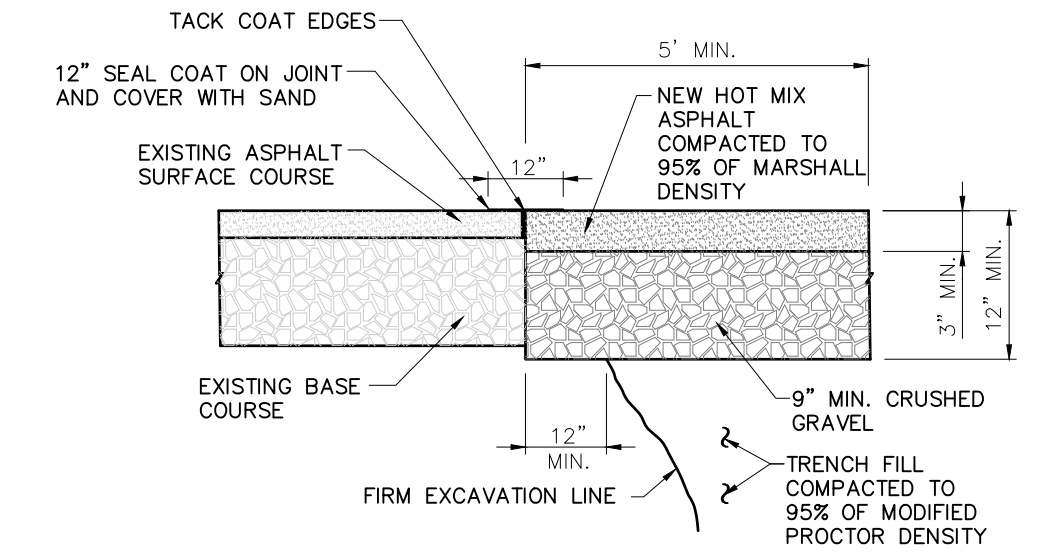
S:\Proj\2020\062-01\065 Crabtree Lane - David Dohlin - Civil\A Drawings\04\USDA CRABTREE.dwg (GRADING) - - May 12 2020 09:03:08 pm PLOTTED BY: bering DWG FORMAT: 233

**CONTRACTOR NOTE:**  
CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.



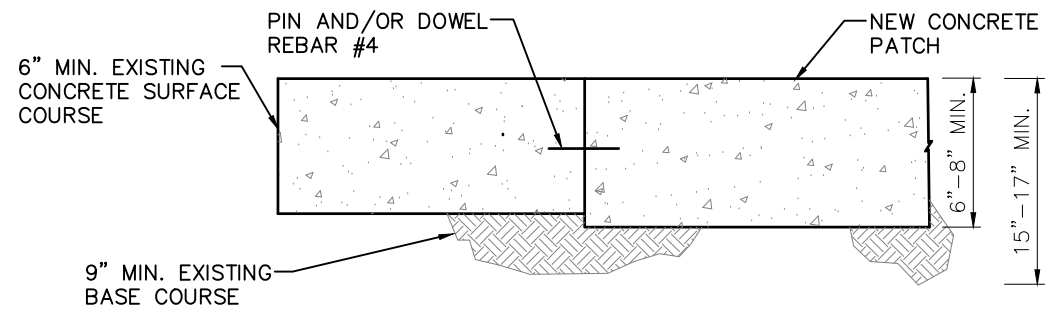
DRAWING NO	JOB TITLE	DRAWING TITLE	REV.				
			DATE	SURVEYED	ENGINEERED	CHECKED	APPROVED
C1.2	UP A CREEK LLC	GRADING	3/12/2020		NB/DD	NB	DD
JOB NO	20-062-01	JACKSON, TETON COUNTY, WY					

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545  
BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS

ASPHALT PATCH REPAIR DETAIL

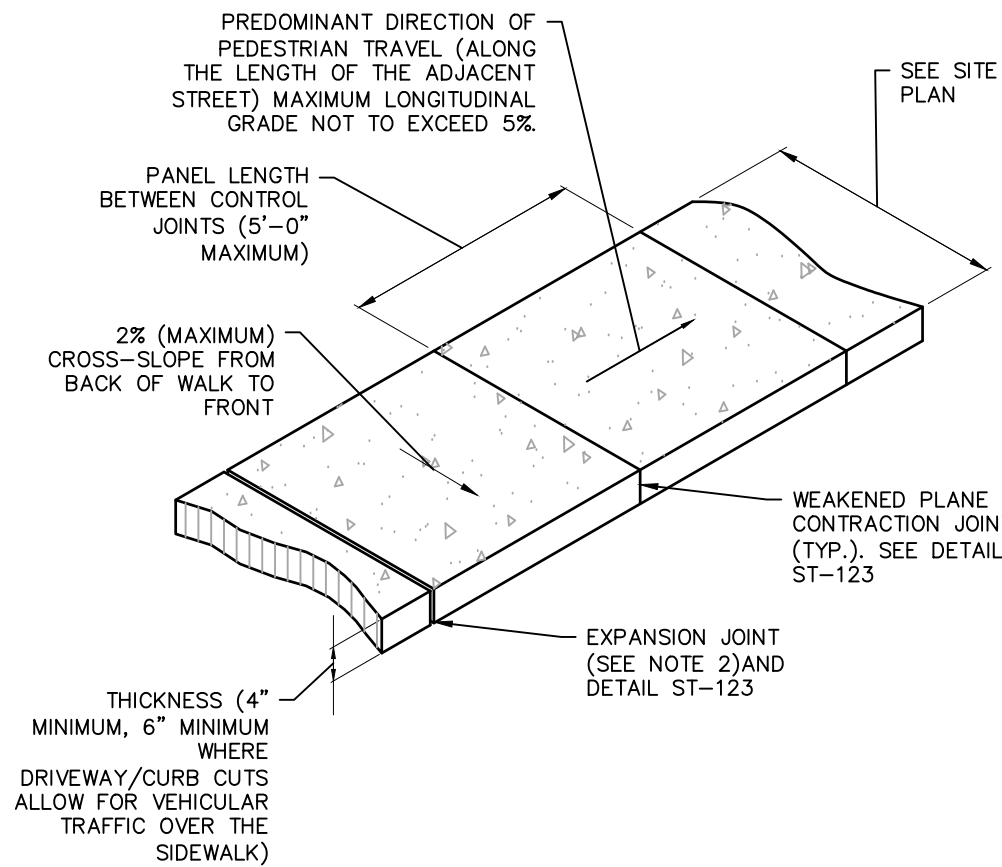


CONCRETE PATCH REPAIR DETAIL

NOTES:

1. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
3. PORTLAND CEMENT CONCRETE PAYMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.

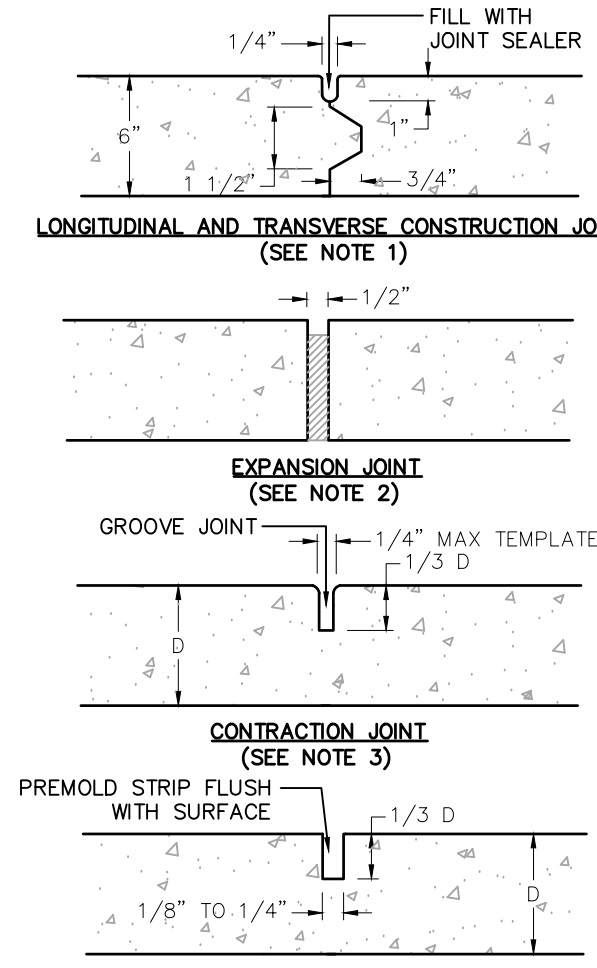
1 PATCH REPAIR SECTION  
TOJ STD DETAIL



NOTES:

1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPMSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPMSS SECTION 03304, PART 2.07.
2. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPMSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
3. FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
4. REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
5. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPMSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPMSS SECTION 02231, PART 3.03.

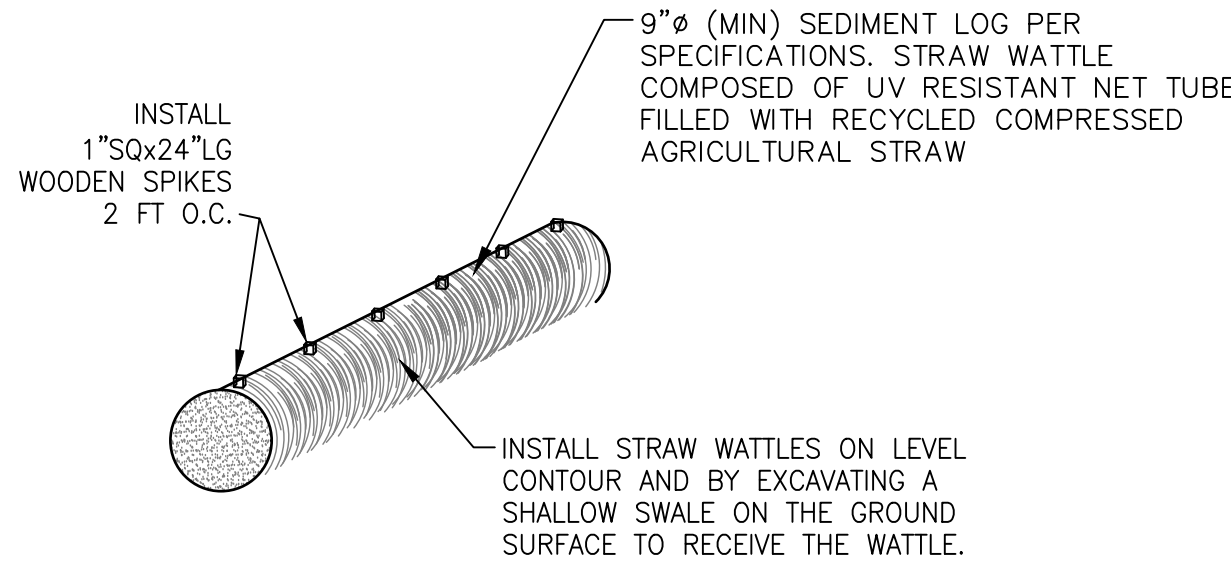
2 CONCRETE SIDEWALK  
TOJ STD DETAIL



NOTE:

1. KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
2. 1/2" PREMOLED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 300' ON LONG STRAIGHT CONCRETE STRETCHES.
3. FORM WITH TEMPLATE OR SAWCUT JOINTS. IF SAWCUT JOINTS ARE USED, THEY SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
4. JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

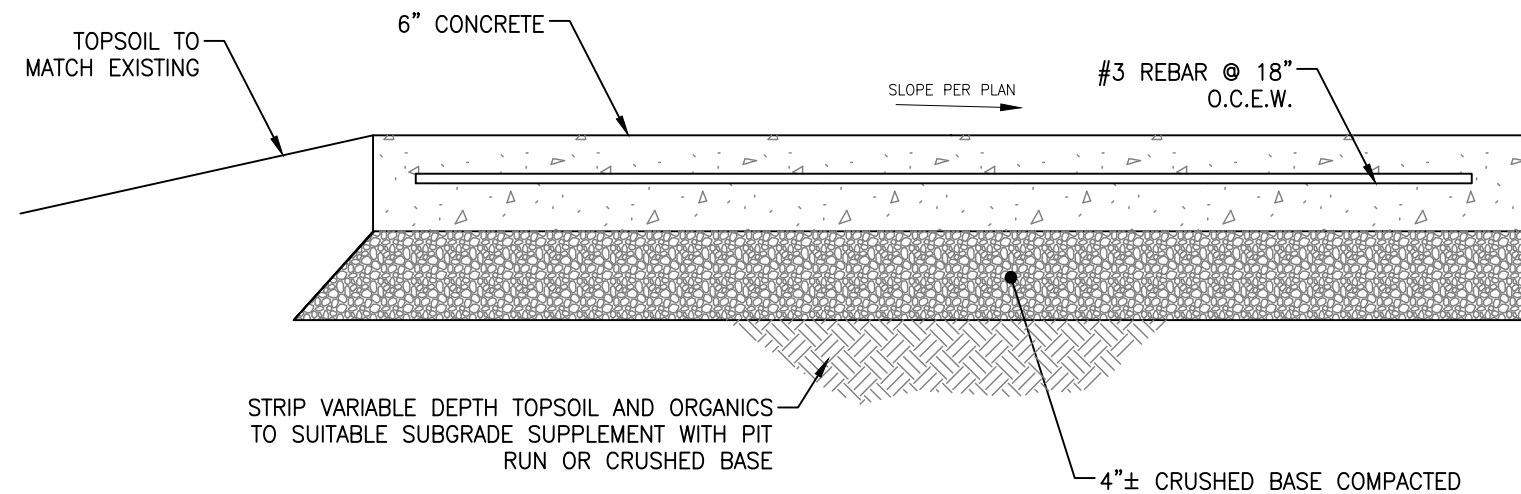
3 PAVING & CONCRETE JOINT DETAILS  
TOJ STD DETAIL



NOTE:

1. STRAW WATTLES SHALL BE INSTALLED TO LIMIT MIGRATION OF SOIL CAUSED BY STORM WATER RUNOFF IN ORDER TO PROTECT ADJACENT WATER BODIES AND NEIGHBORING PROPERTIES.
2. MAINTAIN WATTLE IN-PLACE UNTIL EXPOSED SOILS HAVE REVEGETATED SUFFICIENTLY TO PREVENT EROSION.
3. CONTINUOUS RUNS OF STRAW WATTLE SHALL BE MADE BY ABUTTING ENDS OF INDIVIDUAL WATTLES WITH NO GAPS BETWEEN.

5 STRAW WATTLE DETAIL  
SCALE: N.T.S.



6 TYPICAL CONCRETE DRIVEWAY SECTION  
SCALE: N.T.S.

DRAWING TITLE  
GRADING DETAILS

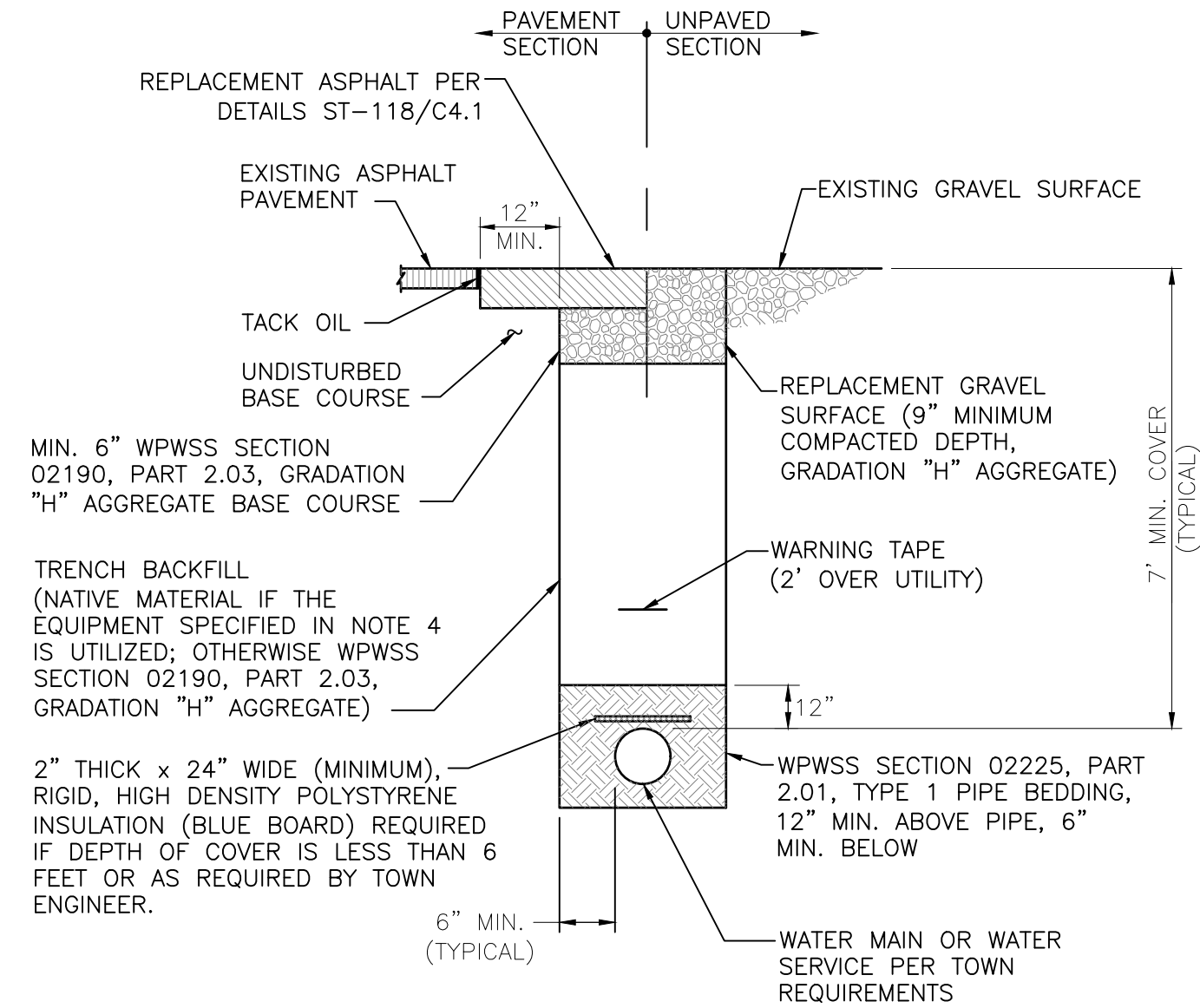
JOB TITLE  
UP A CREEK LLC  
265 CRAPTREE LANE  
JACKSON, TETON COUNTY, WY

DRAWING NO  
C2.0  
JOB NO  
20-062-01

DATE	3/12/2020	REV.
SURVEYED	ENGINEERED	NB/DD
DRAWN	CHECKED	NB
APPROVED		DD

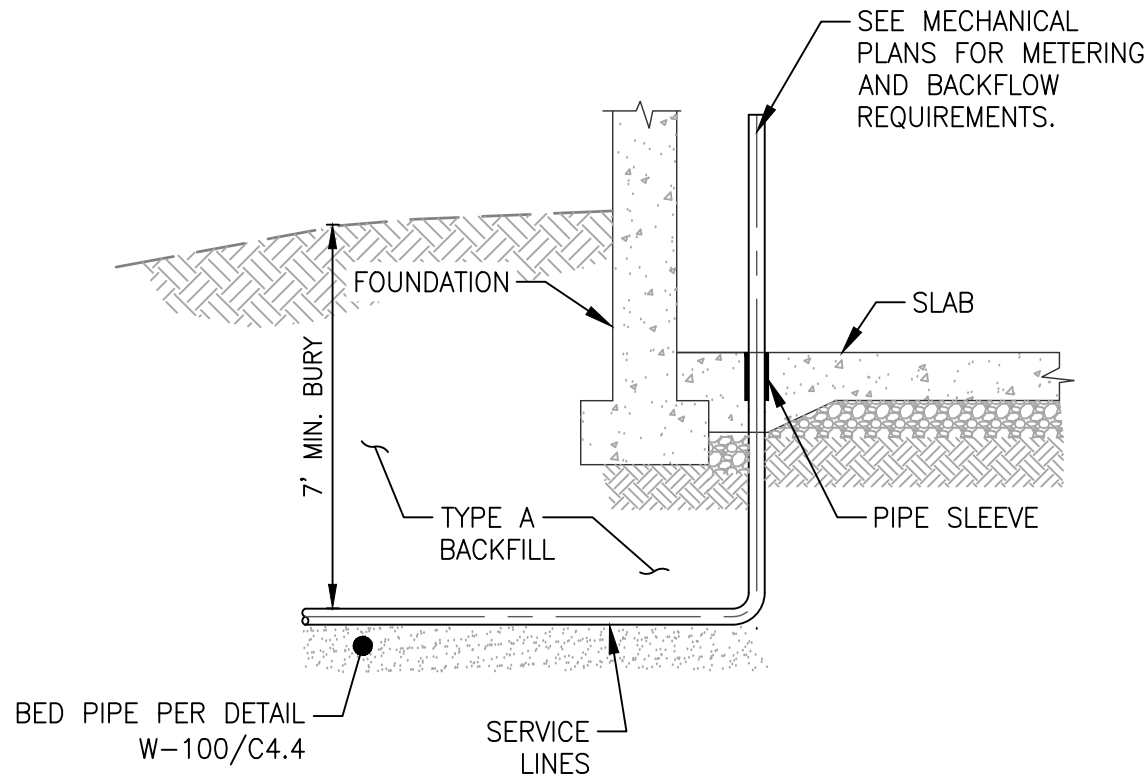
**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

S:\Proj\2020\062-01 C&S Craptree Lane - David Babin - C&S\Drawings\Utilities\Utility.dwg, CATED - Nov 12 2020 02:05 pm PLOTTED BY: bwinning DWG FORMAT: C2.0

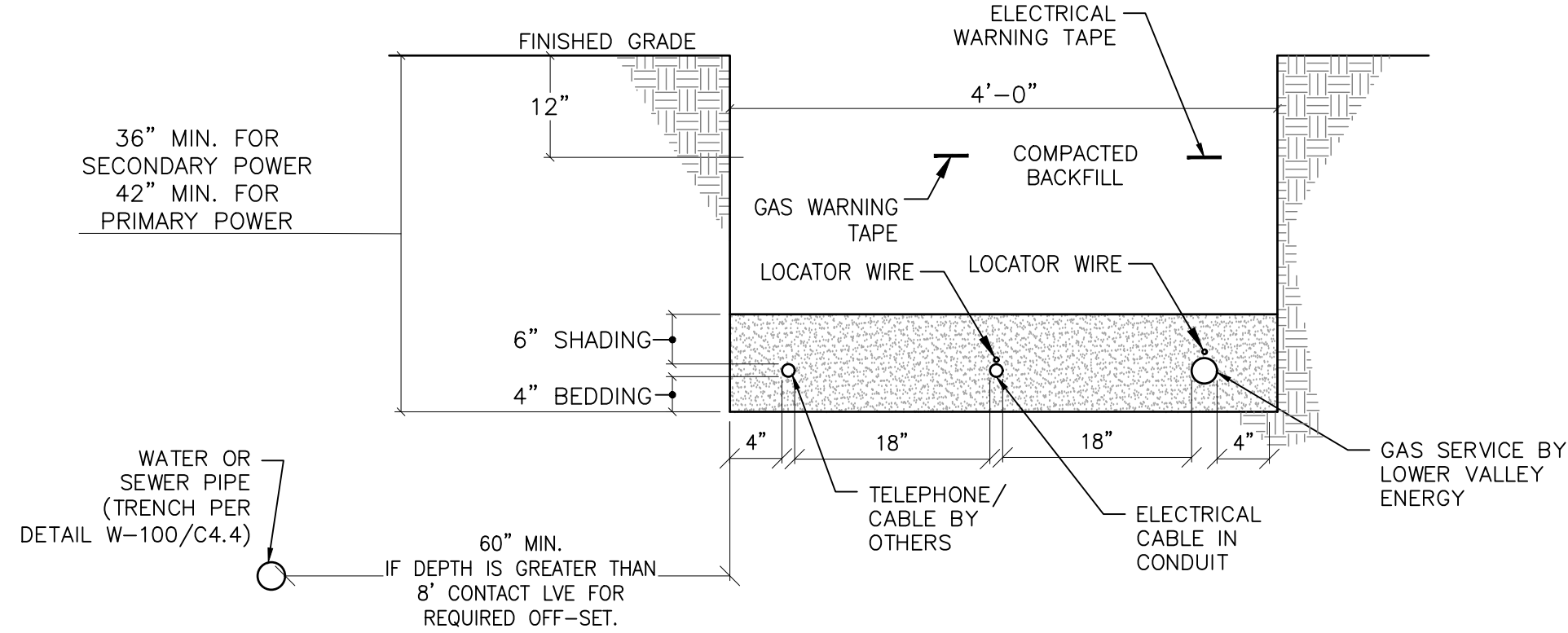


- NOTES:
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
    - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
    - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
  - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
  - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
  - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
  - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

1  
C2.1 WATER MAIN AND SERVICE LINE TRENCH  
TOJ STD DETAIL

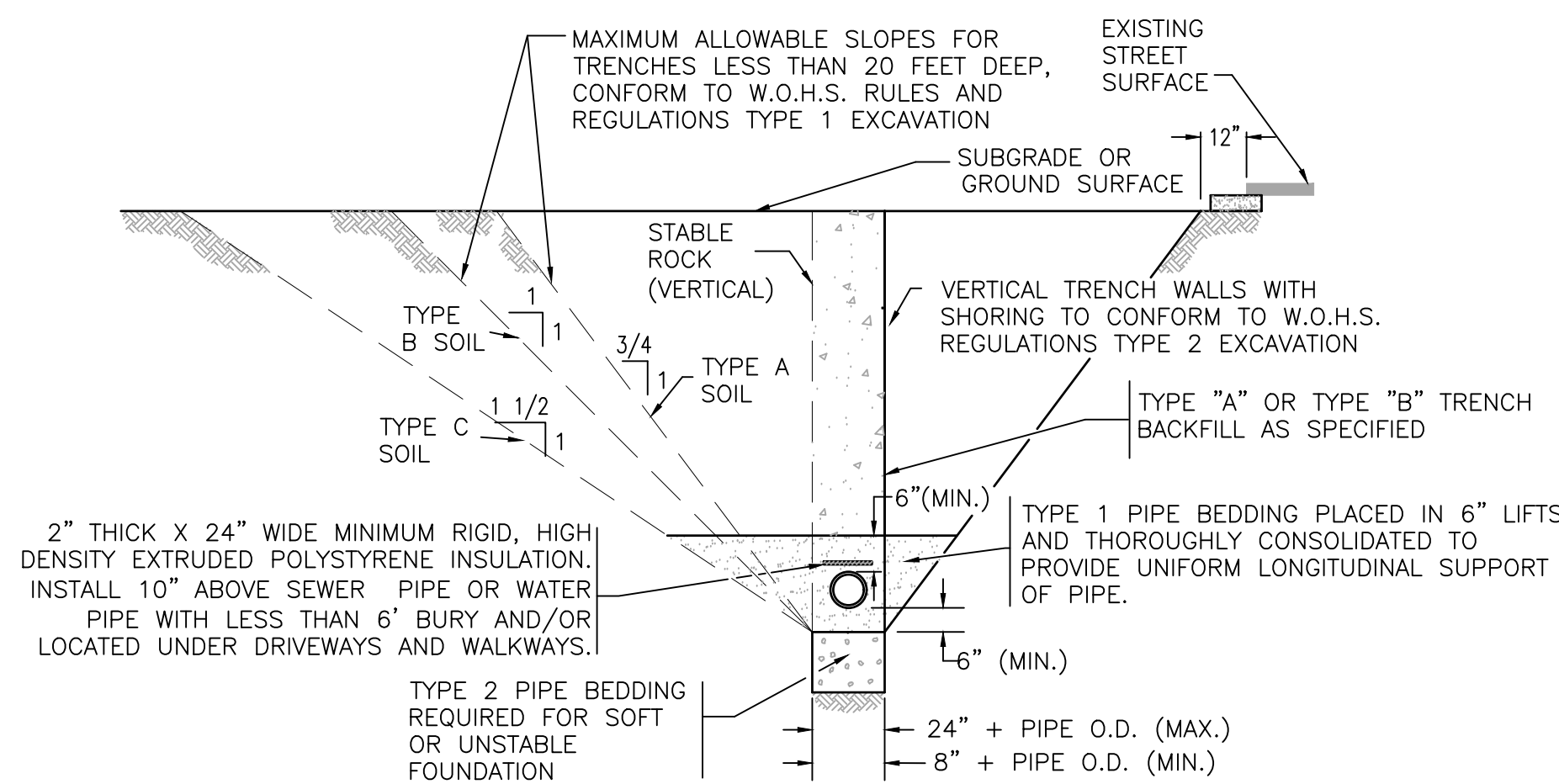


2  
C2.1 PIPE ENTRY DETAIL  
N.T.S.

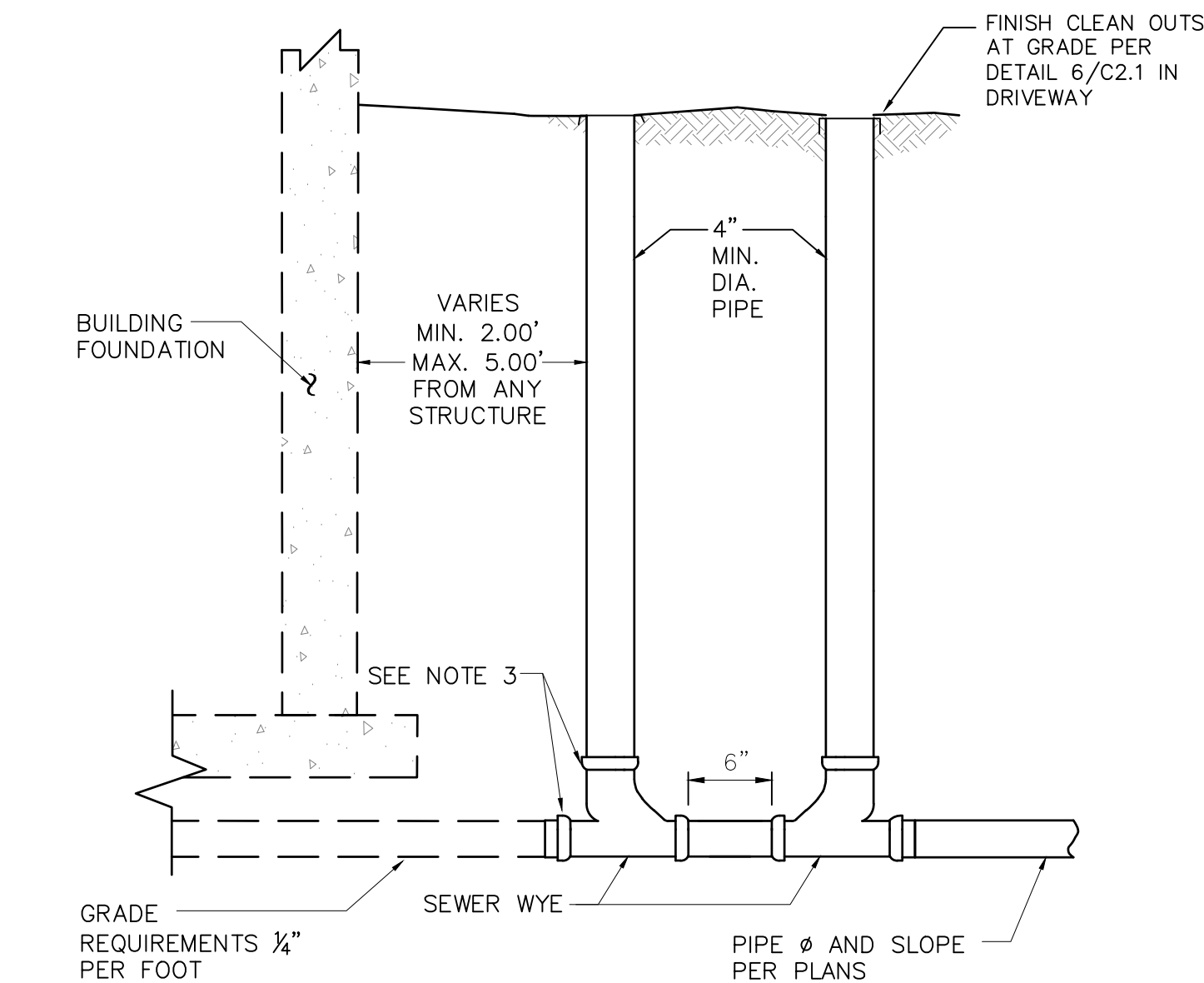


- NOTES:
- WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
  - CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
  - ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
  - 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
  - BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

3  
C2.1 UTILITY TRENCHING AND SPACING REQUIREMENTS  
SCALE: NTS

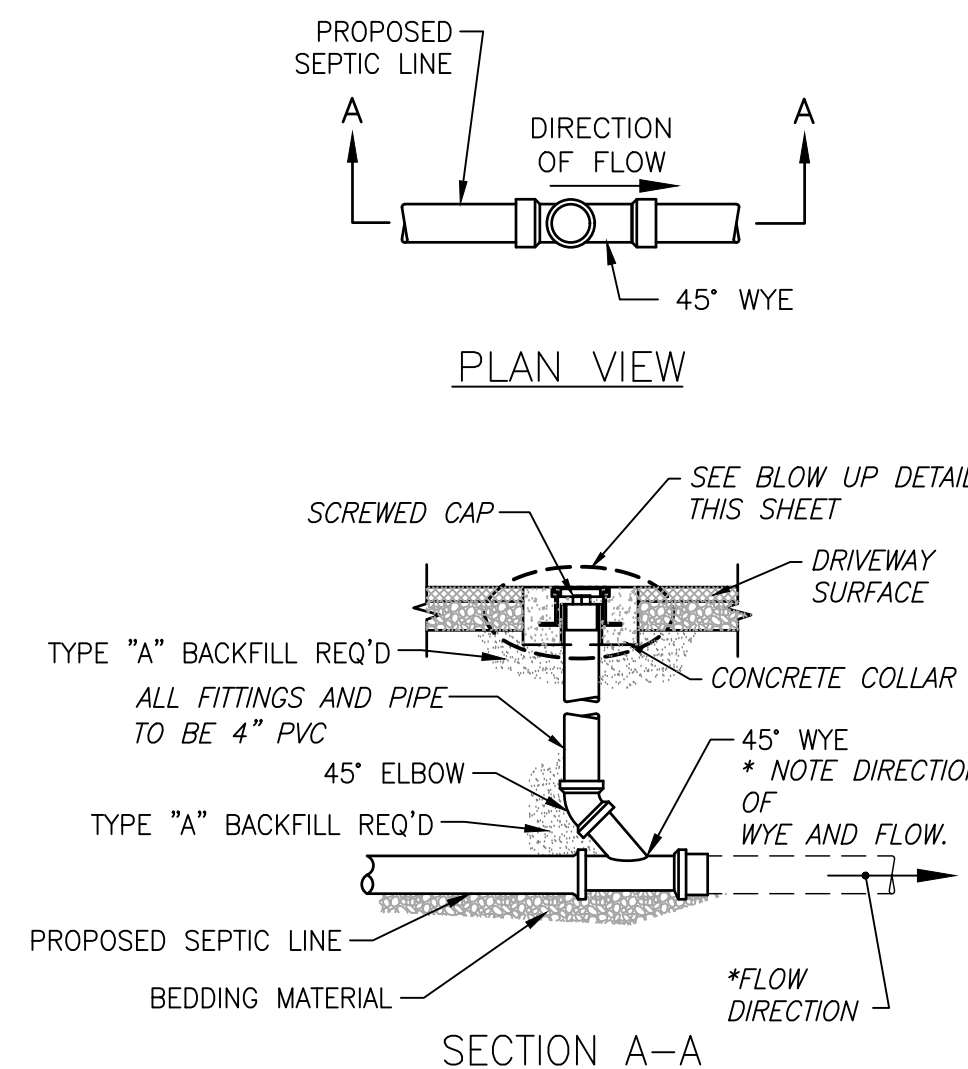


4  
C2.1 PIPE TRENCH DETAIL  
SCALE: N.T.S.

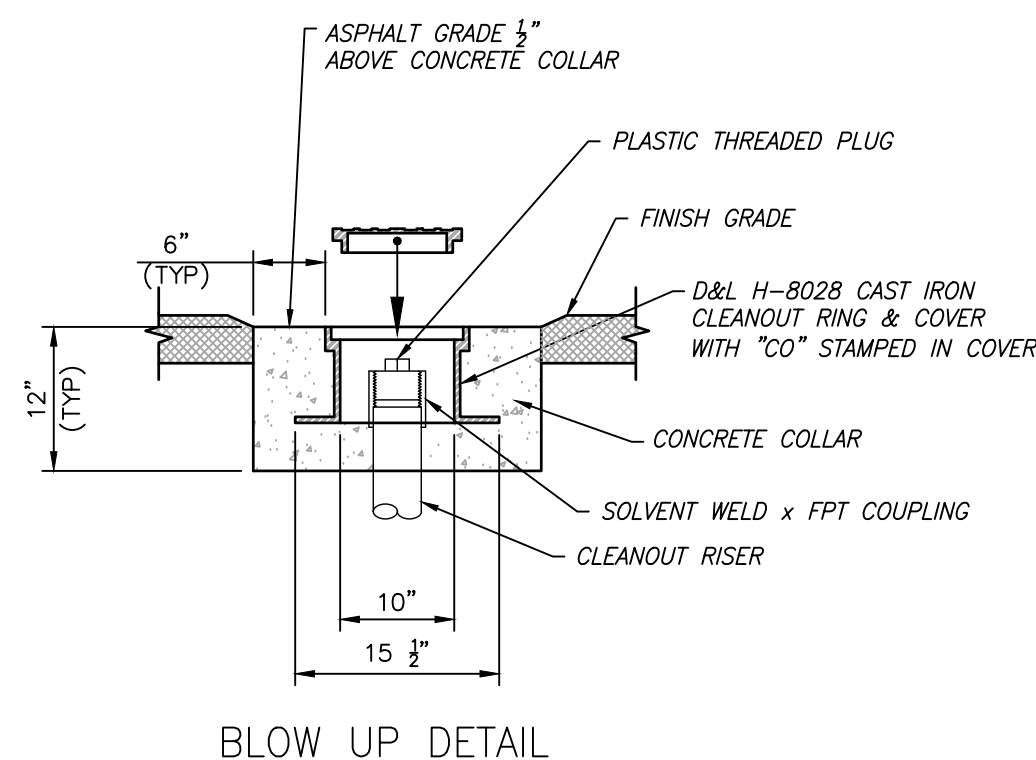


- NOTES:
- PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
  - INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
  - ALL PVC FITTINGS SHALL MEET ASTM D2665 SPECIFICATIONS.

5  
C2.1 SERVICE LATERAL BUILDING CLEANOUT



6  
C2.1 CLEANOUT W/ RING & COVER DETAIL  
SCALE: N.T.S.



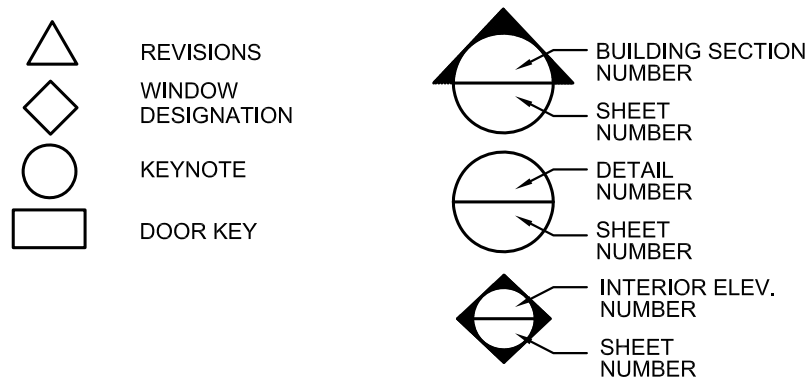
DRAWING NO	C2.1	JOB NO	20-062-01	JOB TITLE	UP A CREEK LLC 265 CRAPTREE LANE JACKSON, TETON COUNTY, WY	DRAWING TITLE	UTILITY DETAILS	DATE	3/12/2020	REV.	DD
								SURVEYED	ENGINEERED	NB/DD	DD
								DRAWN	CHECKED	NB	DD
								APPROVED			DD

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



ABBREVIATIONS			
A.F.F.	ABOVE FINISHED FLOOR	JST	JOIST
ARCH	ARCHITECT	MAX	MAXIMUM
BBH	BASEBOARD HEATER	MECH	MECHANICAL
BRD	BOARD	MIN	MINIMUM
BLK'G	BLOCKING	MTL	METAL
BM	BEAM	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF....	OC	ON CENTER
CHNL	CHANNEL	PL	PLATE
CLG	CEILING	PLMBG	PLUMBING
CLG	CENTERLINE	±	PLUS OR MINUS
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWD
COL	COLUMN	P.T.	PRESSURE TREATED
CONC	CONCRETE	RAD	RADIUS
DBL	DOUBLE	REINF	REINFORCEMENT (ING)
DM	DIMENSION(S)	RM	ROOM
DWGS	DRAWINGS	SCHED	SCHEDULE
DTL	DETAIL	SHEET	SHEET
DN	DOWN	SHT MTL	SHEET METAL
DN	ELEVATION HEIGHT	SM	SMALLER
ELEV	ELEVATION DRAWING	STL	STEEL
ELEC	ELECTRIC	STRUCT	STRUCTURAL
F.F.	FINISHED FLOOR	SUSP	SUSPENDED
FIN	FINISH	TEMP	TEMPERED
FLR	FLOOR	T&G	TONGUE AND GROOVE
FDN	FOUNDATION	T.O.	TOP OF ....
FRMG	FRAMING	TYP	TYPICAL
FTG	FOOTING	VERT	VERTICAL
G.C.	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GLB	GLUE LAMINATED BEAM	WP	WEATHERPROOF
G.L.	GLUE LAMINATED MEMBER	W.O.N.	UNLESS OTHERWISE NOTED
GYP	GYPSUM WALL BOARD		
HDR	HEADER		
HORIZ	HORIZONTAL		
HTR	HEATER		
INSUL	INSULATION		
INT	INTERIOR		

## KEY LEGEND



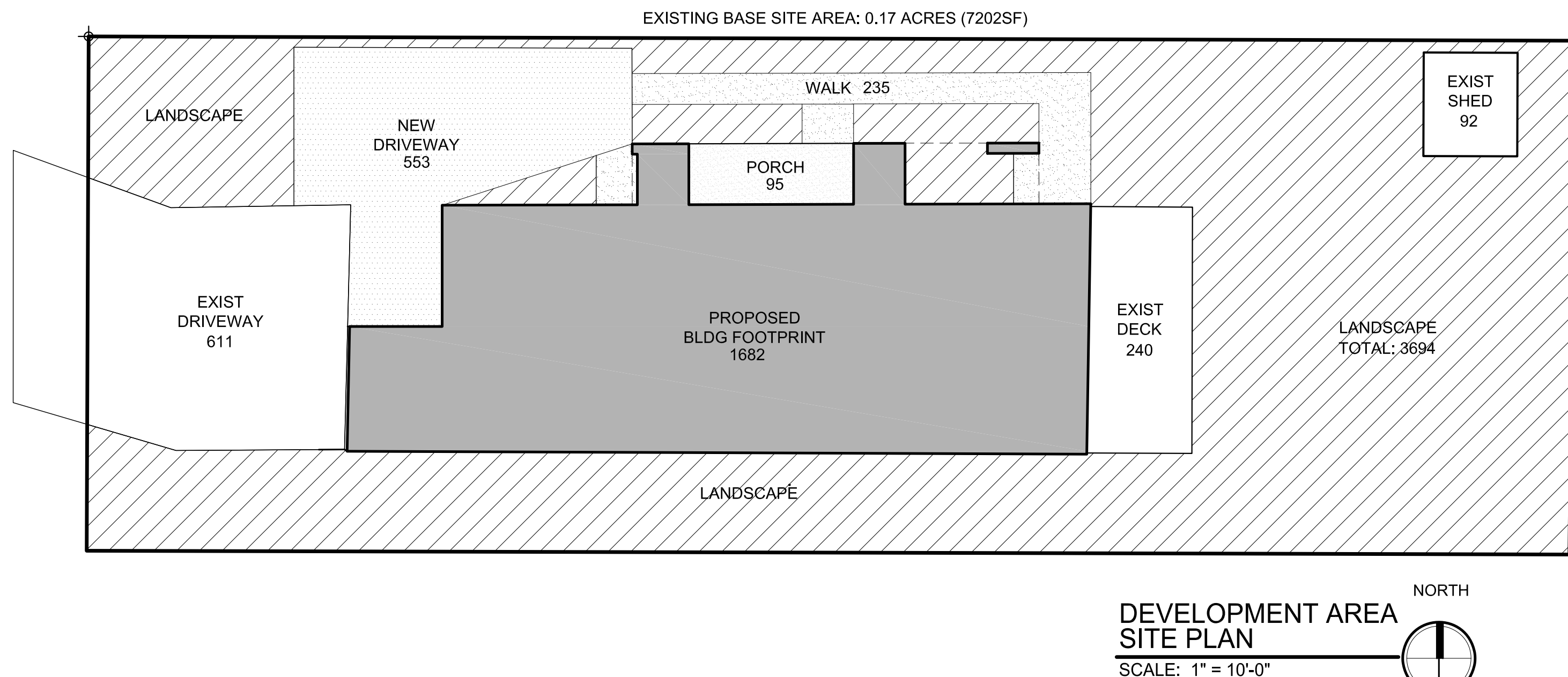
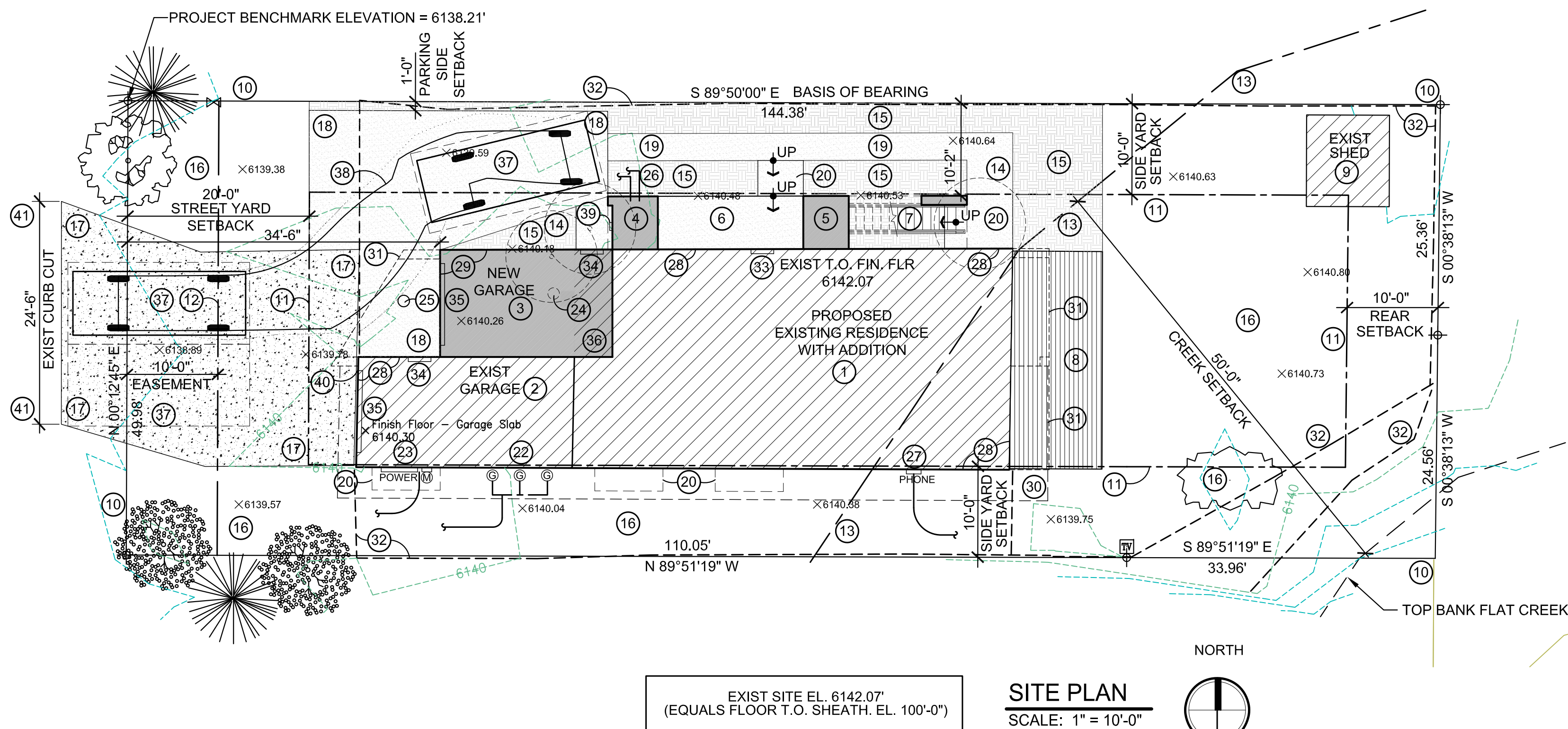
## KEY NOTES

- (1) EXISTING SINGLE STORY HOUSE REMOVED DOWN TO FLOOR SHEATHING  
NEW FIRST FLOOR AND SECOND FLOOR ADDITION TO FOLLOW EXISTING  
FOUNDATION FOOTPRINT
- (2) EXISTING SINGLE BAY GARAGE - 1 COVERED CAR PARKING SPACE
- (3) PROPOSED SINGLE BAY GARAGE - 1 COVERED CAR PARKING SPACE
- (4) PROPOSED FIRE SPRINKLER RISER ROOM - HEATED SPACE
- (5) PROPOSED TENANT STORAGE CLOSET - UNHEATED SPACE
- (6) COVERED PORCH
- (7) COVERED EXTERIOR EXIT STAIR FROM SECOND FLOOR
- (8) EXIST DECK AT GRADE WITH NEW FINISHED COMPOSITE WOOD PLANKS
- (9) EXISTING SHED - UNHEATED, NO POWER
- (10) PROPERTY LINE
- (11) BUILDING SETBACK LINE
- (12) EASEMENT LINE
- (13) FLAT CREEK SETBACK LINE
- (14) EXISTING TREE REMOVED
- (15) LANDSCAPE AREA - SEE LANDSCAPE DRAWING
- (16) EXIST LANDSCAPE TO REMAIN
- (17) EXIST CONCRETE DRIVEWAY AREA
- (18) NEW CONCRETE DRIVEWAY AREA
- (19) CONCRETE WALKWAY
- (20) CONCRETE STAIR LANDING AREA
- (21) SECOND FLOOR WINDOW BAY PROJECTION ABOVE
- (22) BURIED NATURAL GAS LINE TO (3) GAS METERS AND REGULATORS  
SEE CIVIL AND PLUMBING DWGS
- (23) BURIED POWER FROM EXIST TRANSFORMER TO (3) NEW METERS  
AND EMERGENCY DISCONNECT PANEL - SEE ELECTRICAL DWGS
- (24) EXIST SEWER CLEAN OUT REMOVED - SEE CIVIL DWGS
- (25) NEW SEWER CLEAN OUT LOCATION - SEE CIVIL DWGS
- (26) NEW DOMESTIC WATER LINE AND FIRE WATER LINE  
INTO BUILDING - SEE CIVIL DWGS
- (27) PHONE AND CABLE INTO BUILDING FROM PEDESTAL - SEE CIVIL DWGS
- (28) EXIST BUILDING WALL PERIMETER
- (29) NEW BUILDING WALL PERIMETER
- (30) LINE OF ROOF OVERHANG
- (31) LINE OF SECOND FLOOR COVERED DECK ABOVE
- (32) EXIST WOOD FENCE TO COMPLETELY REMOVED
- (33) UNIT PRIMARY ENTRANCE
- (34) GARAGE MAN DOOR ENTRANCE
- (35) GARAGE OVERHEAD DOOR ENTRANCE
- (36) NEW GARAGE EXPAND INTO EXISTING CRAWL SPACE / HABITABLE AREA
- (37) TENANT 9'x18' UNCOVERED PARKING AREA
- (38) PASSENGER CAR TURNING PATH - SEE CIVIL DWGS
- (39) FIRE DEPARTMENT CONNECTION (FDC) AND KNOX BOX - SEE CIVIL DWGS
- (40) MIN. 5" HIGH 1/2" WIDE EACH NUMERAL FOR BUILDING ADDRESS NUMBER  
VISIBLE FROM TRAVEL ON ROAD
- (41) EXISTING CURB CUT

## DRAWING INDEX

- |      |                                       |
|------|---------------------------------------|
| A001 | TITLE SHEET & ARCHITECTURAL SITE PLAN |
| C1.0 | EXISTING TOPOGRAPHIC SURVEY           |
| C1.1 | SITE OVERVIEW                         |
| C1.2 | SITE GRADING                          |
| C2.0 | GRADING DETAILS                       |
| C2.1 | WATER DETAILS                         |
| C2.2 | SEWER DETAILS                         |

- |      |                                     |
|------|-------------------------------------|
| A100 | CRAWL SPACE PLAN & FIRST FLOOR PLAN |
| A101 | SECOND FLOOR PLAN                   |
| A200 | BUILDING ELEVATIONS                 |
| A201 | BUILDING ELEVATIONS                 |



## PROJECT TEAM

OWNER: UP A CREEK, LLC  
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307.733.1616

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P.O. BOX 4659  
JACKSON, WY 83001  
307.413.6874

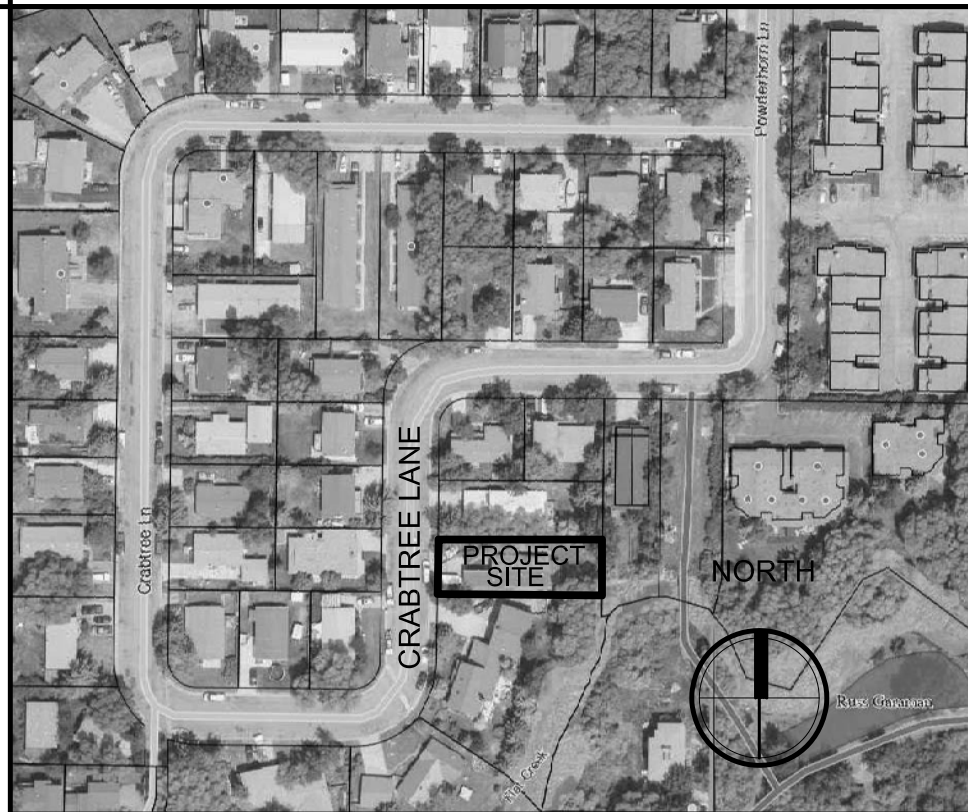
LANDSCAPE ARCHITECT  
INSIDE OUT LANDSCAPE ARCHITECTURE  
5263 TORRENCE ROAD  
WILSON, WYOMING 83014  
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307.733.2999

MEP ENGINEER  
ENGINEERING CONSULTING INCORPORATED (ECI)  
303 FEDERAL WAY  
BOISE, IDAHO 83705  
208.376.9820

## VICINITY MAP



LOT 54 HORN ENTERPRISES FIRST ADDITION

BASE SITE AREA (BSA) = 7202sf or .17 acres  
ADJUSTED SITE AREA = 6702sf or .15 acres

### F.A.R. CALCULATION

ALLOWABLE F.A.R. PER  
NON CONFORMING PHYSICAL DEVELOPMENT 1.9.2.B.3.a  
DETACHED SINGLE FAMILY UNIT WITH TWO ARU'S  
EXISTING: 1444 SF    PROPOSED: 3337 SF

### L.S.R. CALCULATION ( FOR 3 UNITS )

$$\frac{\text{MIN. ALLOWABLE L.S.R. } .30 \text{ OF BSA: } 7202 * 0.30 = 2160 \text{ SF}}{\text{PROPOSED L.S.R.} = 3694 \text{ SF}}$$

$$\frac{7202 \text{ (BSA)} - 3508 = 3694 \text{ SF}}{}$$

- EXIST DRIVEWAY = 611 SF
  - NEW DRIVEWAY = 553 SF
  - PROPOSED HOUSE FOOTPRINT TO REMAIN = 1682 SF
  - EXIST SHED FOOTPRINT = 92 SF
  - NEW COVERED AT GRADE PORCH = 95 SF
  - EXIST UNCOVERED AT GRADE WD DECK = 240 SF
  - NEW WALKWAYS = 235 SF
- 
- TOTAL AREA = 3508 SF

### PARKING REQUIREMENTS (FOR 3 UNITS)

SINGLE FAMILY RESIDENCE: 2 SPACES  
 ARU OVER 500SF : 1.5 SPACES EACH x 2 UNITS = 3 SPACES  
REQUIRED: 5 SPACES    PROPOSED: 5 SPACES

FLOOR AREA STATISTICS		(IN SQ.FT)	
LOCATION	HABITABLE	NON HABITABLE	TOTAL
EXIST GARAGE FOR SINGLE FAM. RESIDENCE	-	280	280
NEW GARAGE FOR ARU #2	-	248	248
EXIST FIRST FLR REMAINS SINGLE FAM. RESIDENCE	1094	-	1094
EXIST FIRST FLR REMOVED TO BECOME GARAGE	(-70)	-	-
NEW FIRST FLOOR HEATED FIRE RISER ROOM	-	30	30
NEW FIRST FLOOR UNHEATED TENANT STORG	-	30	30
NEW SECOND FLR ARU #1	820	-	820
NEW SECOND FLR ARU #2	835	-	835
TOTAL	2749	588	3337

## GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC), NFPA AND ANY LOCAL CODES & ORDINANCES CURRENTLY ACCEPTED BY THE LOCAL JURISDICTION.
2. UNLESS OTHERWISE NOTED ALL PLAN DIMENSIONS ARE TAKEN TO ROUGH FRAMING OR FACE OF STUD WALL.
3. PROPOSED FIRE SPRINKLER AND FIRE ALARM SYSTEMS ARE A DEFERRED SUBMITTAL BY THE GENERAL CONTRACTOR.
4. BUILDING DIMENSION LOCATIONS OFF PROPERTY LINE ARE APPROXIMATE. VERIFY PLACEMENT W/ SURVEYOR.
5. EXTERIOR LIGHT FIXTURES TO COMPLY WITH SECTION 5.3.1 OF THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS.
6. GENERAL CONTRACTOR AND SUBCONTRACTORS TO CROSS REFERENCE ALL DRAWINGS FOR COMPLETE UNDERSTANDING OF ALL SYSTEMS BEING CONSTRUCTED IN THE BUILDING

## SITE DATA

LOT 54 HORN ENTERPRISES FIRST ADDITION  
JACKSON, WYOMING

SITE PLAN TAKEN FROM SURVEY BY  
NELSON ENGINEERING  
(307) 733-2087  
PROJECT 2018 \364-01 DATE 10.23.19  
STREET ADDRESS: 265 CRABTREE LANE  
ZONING: NL-5

SITE AREA: 7202 SQ.FT. ( .17 ACRES )  
SITE TOPOGRAPHY: 0 - 1%  
TOWN SETBACK REQUIREMENTS:  
STREET: 20' REAR: 10' SIDES: 10' FLAT CREEK: 50'  
HEIGHT LIMITATIONS ROOF 4:12 OR 5:12 SLOPE: 28'  
CODES UTILIZED: 2018 IBC  
DESIGN CRITERIA UTILIZED: SEE STRUCT. DWGS  
TYPE OF CONSTRUCTION: V-B

BLDG OCCUPANCY CLASSIFICATION: GROUP R-2 APARTMENT  
NFPA 13R FIRE SPRINKLER SYSTEM PROPOSED (DEFERRED)  
FIRE ALARM SYSTEM PROPOSD (DEFERRED SUBMITTAL)

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**KRIKOR Architecture**  
 1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
 tel. 307.413.6874 email: KRIKORARCH@GMAIL.COM

COVER PAGE AND PROPOSED SITE PLAN

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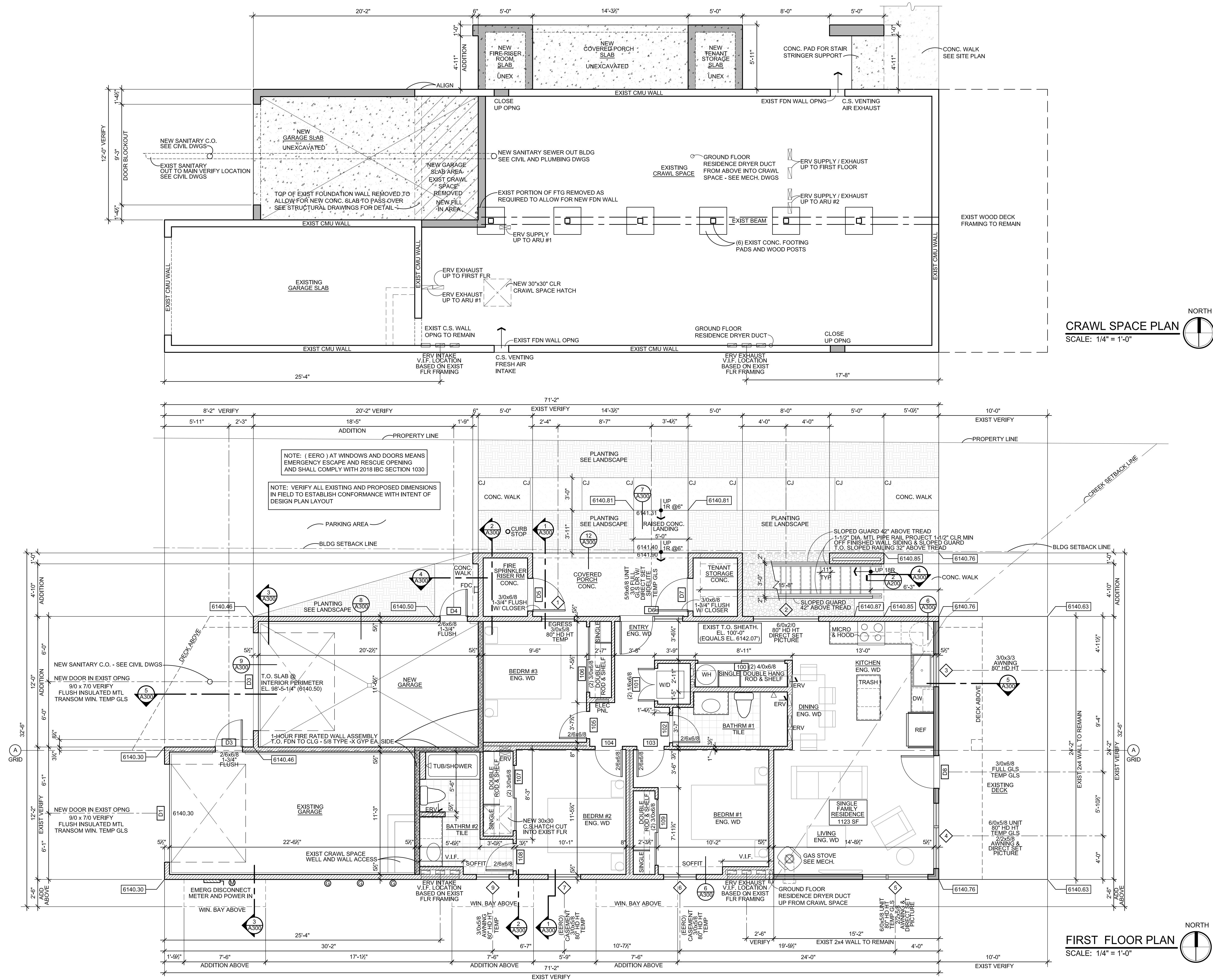
PROPOSED REMODEL & ADDITION  
FOR  
**P A CREEK, LLC**  
35 Crabtree Lane Jackson, Wyoming

REVISIONS		
1	TOU GEC PRE-APP SUBMITTAL	3.11.20

date	3.11.20
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A001

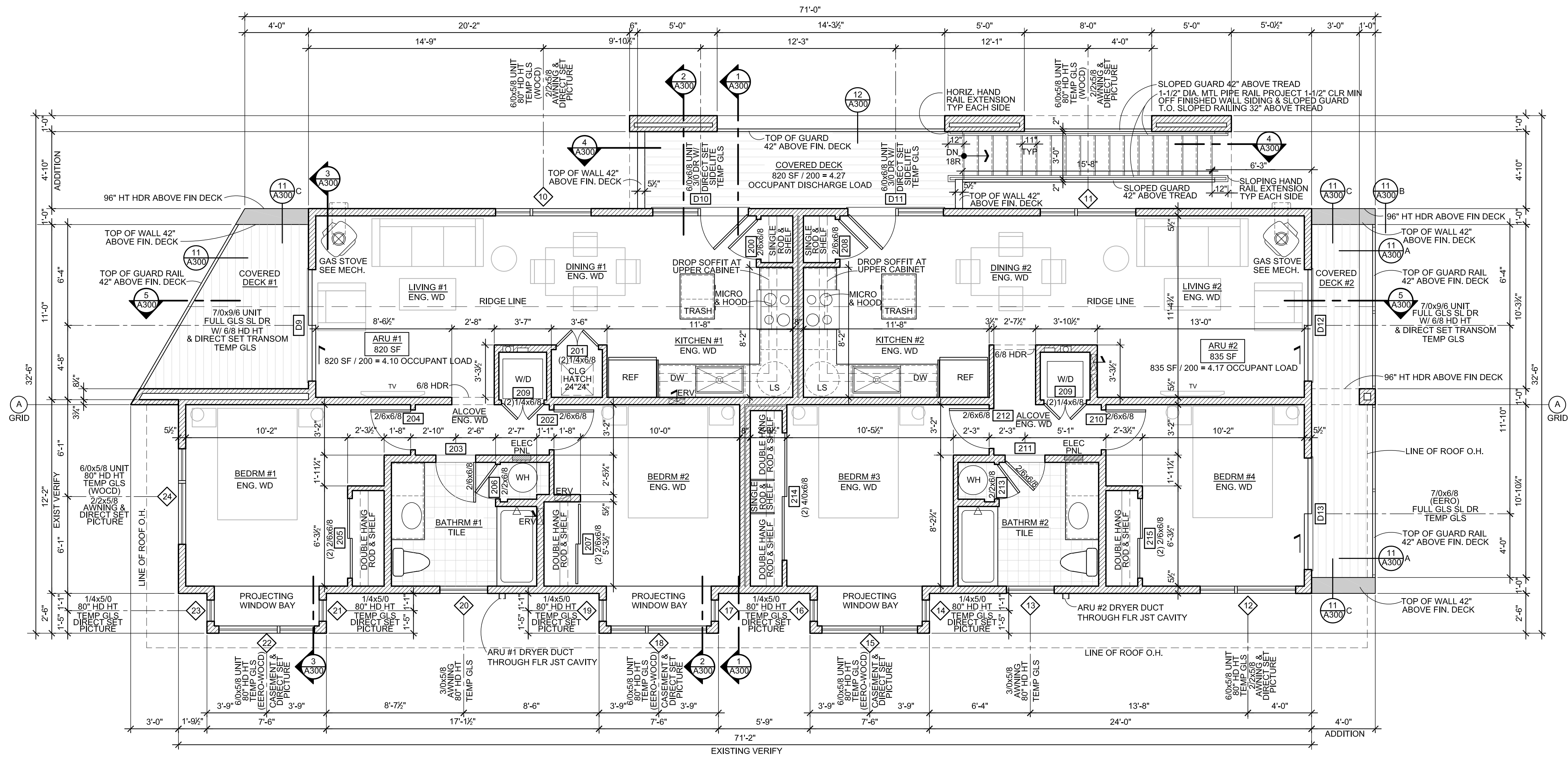




REVISIONS	
1	TO: GEC PRE-APP SUBMITTAL 3.11.20

date 3.11.20





NOTE:  
VERIFY ALL EXISTING AND PROPOSED DIMENSIONS IN FIELD TO  
ESTABLISH CONFORMANCE WITH INTENT OF DESIGN PLAN LAYOUT

NOTE: ( EERO ) AT WINDOWS AND DOORS MEANS EMERGENCY ESCAPE  
AND RESCUE OPENING AND SHALL COMPLY WITH 2018 IBC SECTION 1030

ALL SECOND FLOOR OPERABLE WINDOWS TO HAVE A WINDOW  
OPENING CONTROL DEVICE (WOCD) FOR FALL PREVENTION. ALL  
WINDOWS NOTED AS EERO TO HAVE WOCD DEVICE W/ EMERGENCY  
ESCAPE RELEASE MECHANISM CONFORMING WITH ASTM 2090-10

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLANS

FOR

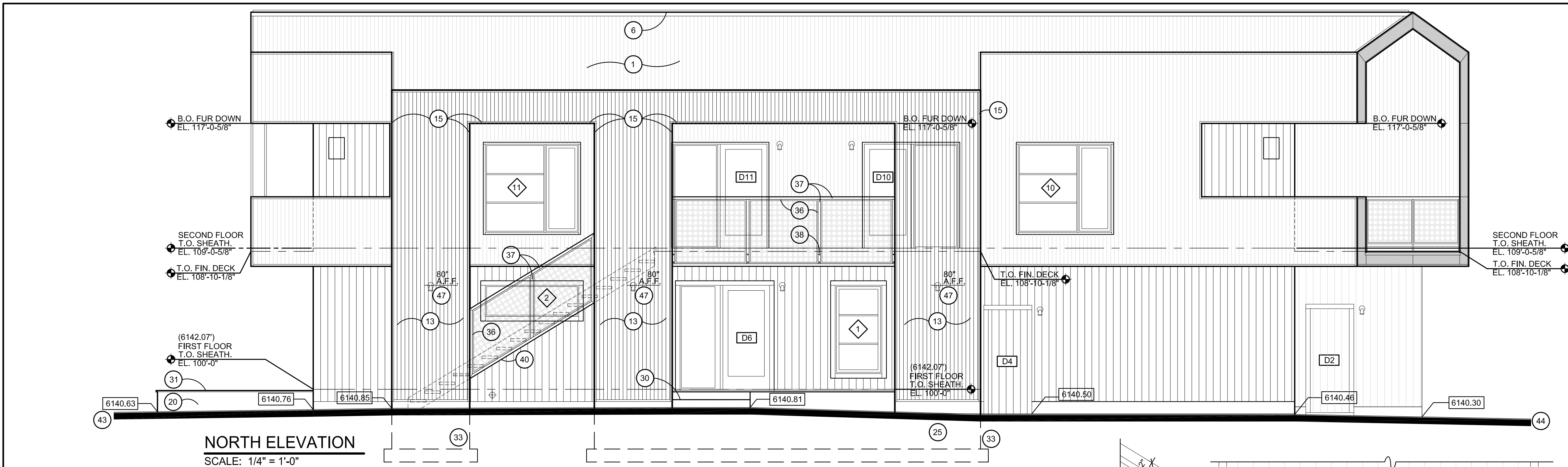
UP A CREEK, LLC

265 Crabtree Lane Jackson, Wyoming

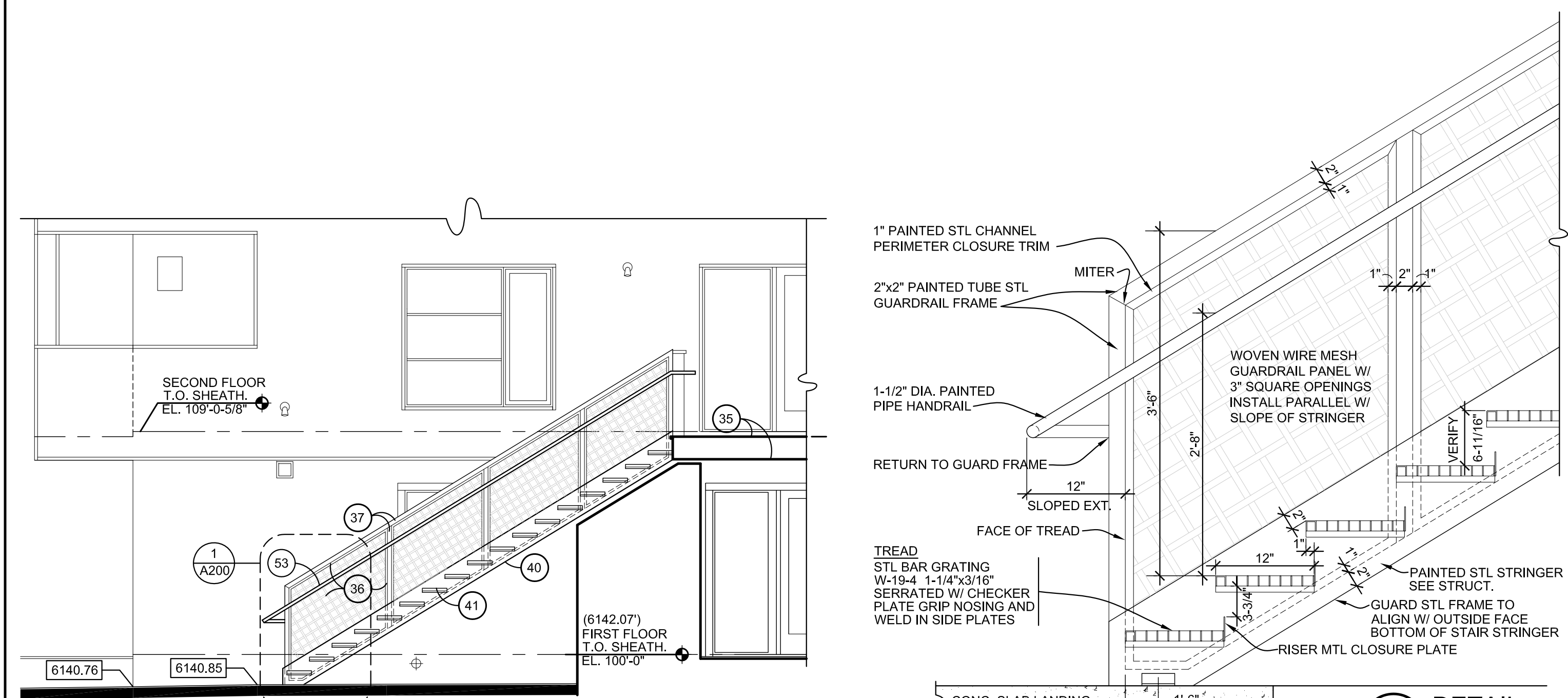
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date 3.11.20

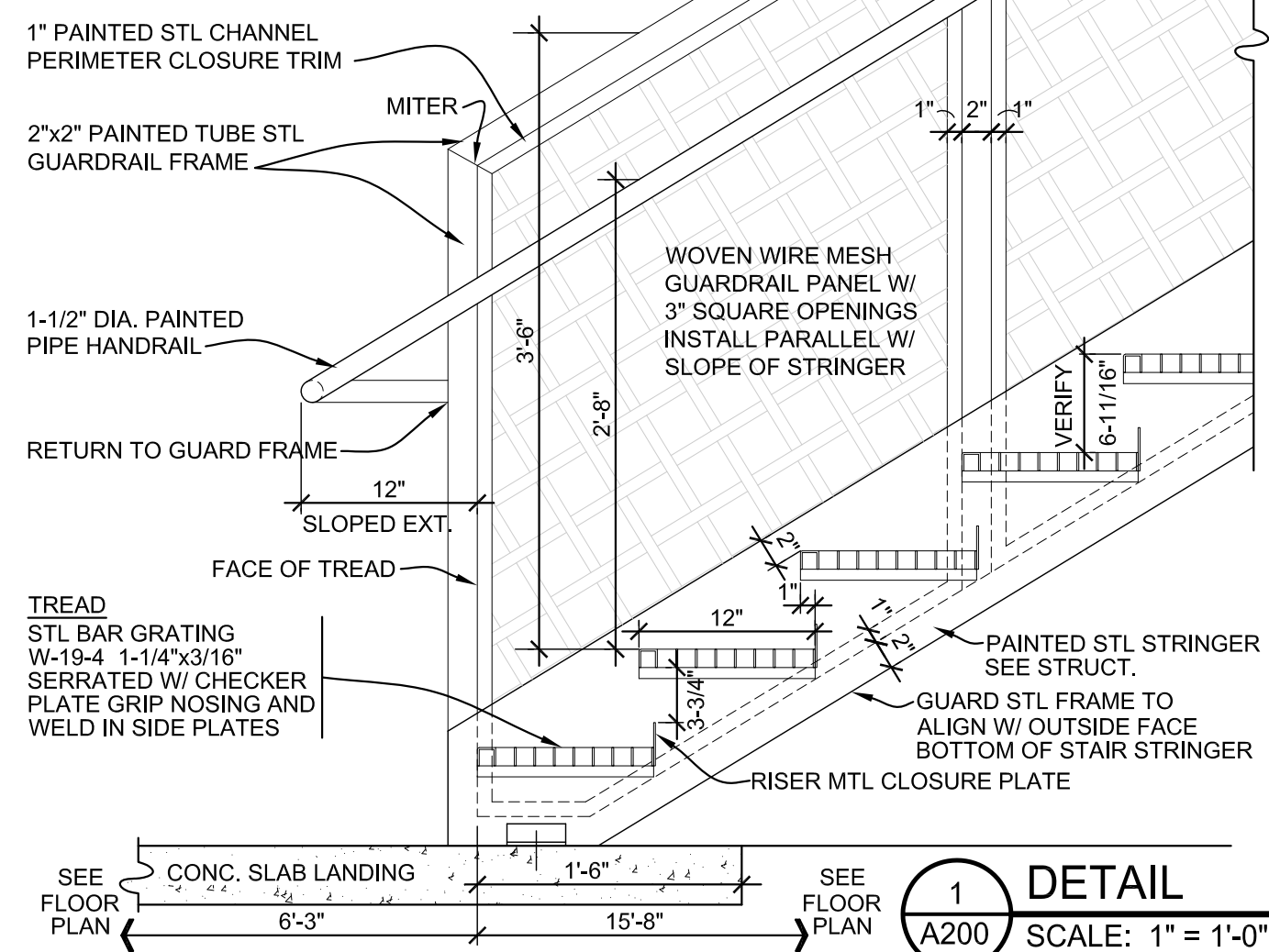
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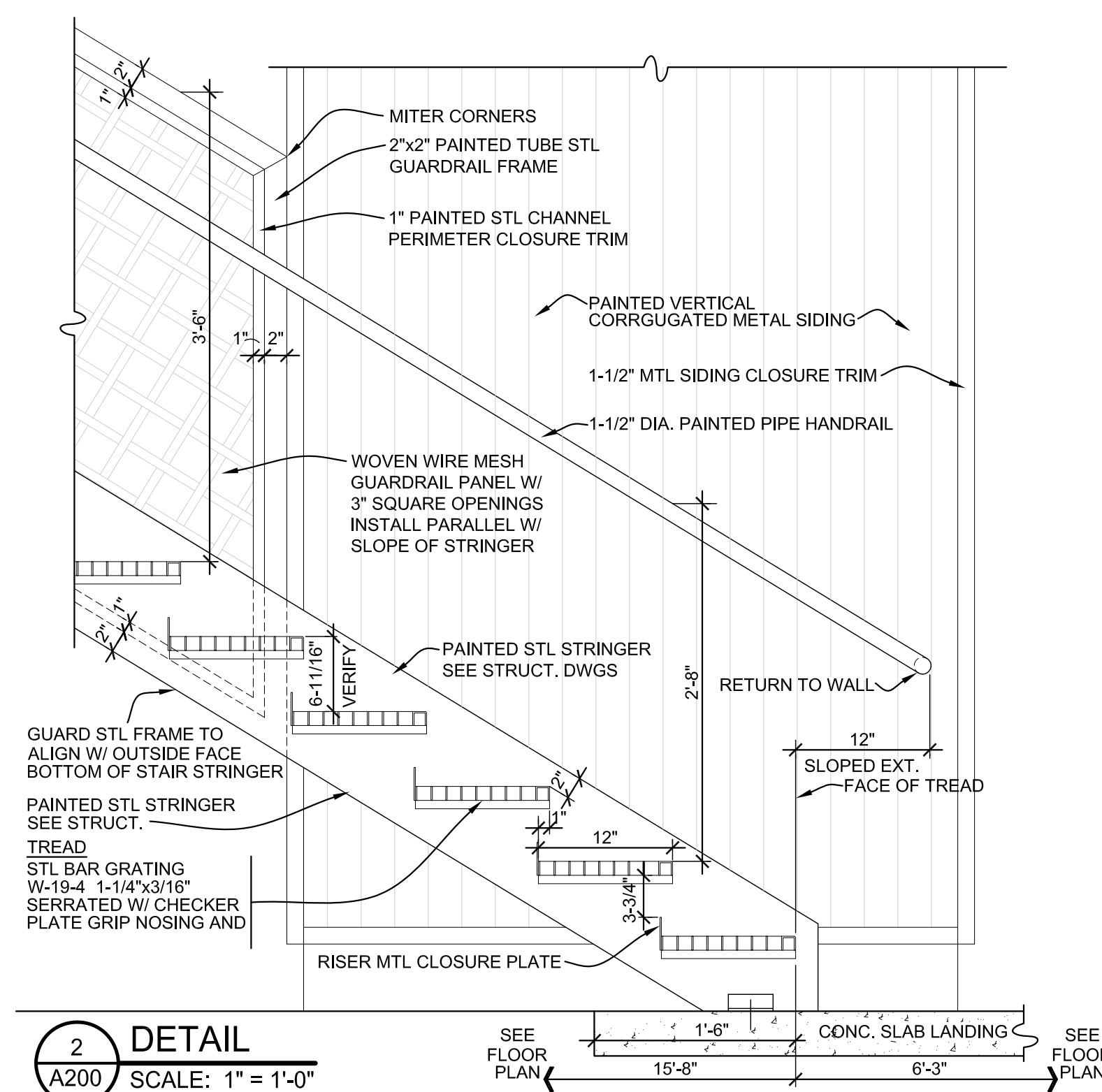
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



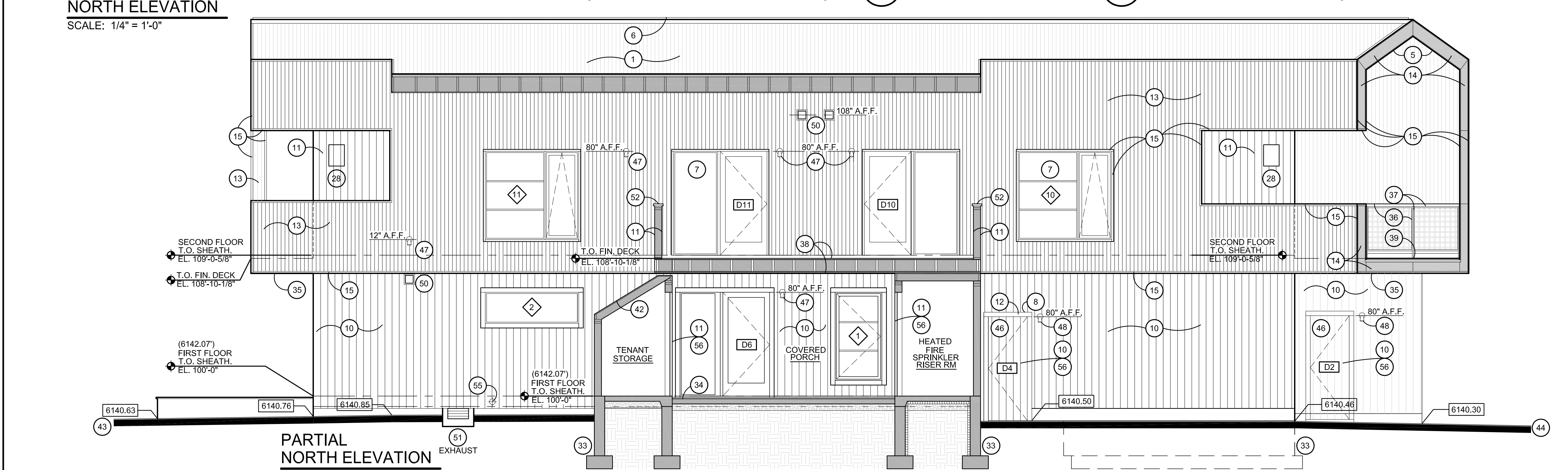
**PARTIAL NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 DETAIL**  
A200 SCALE: 1" = 1'-0"



**2 DETAIL**  
A200 SCALE: 1" = 1'-0"



**PARTIAL NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**BUILDING MATERIALS KEY**

- 1 PAINTED CORRUGATED METAL ROOF - MINIMUM CLASS B RATING
- 2 PAINTED STANDING SEAM METAL ROOF WITH CONCEALED FASTENERS MINIMUM CALSS B RATING
- 3 2" CONTINUOUS SOFFIT VENT WITH BUG SCREEN
- 4 STAINED ROUGH SAWN WOOD SOFFIT
- 5 PAINTED CORRUGATED METAL SOFFIT
- 6 PAINTED METAL CAP FLASH OVER CONTINUOUS RIDGE VENT
- 7 TYPICAL WOOD / METAL CLAD WINDOW / DOOR WITH 0.29 U-VALUE.
- 8 PAINTED METAL TRANSITION DRIP FLASH AT TOP TYPICAL EVERY DOOR AND WINDOW HEAD
- 9 STAINED 2x8 ROUGH SAWN WOOD FASCIA
- 10 STAIN COLOR #1 ON ROUGH SAWN SQUARE EDGE 1x6 VERTICAL T&G "FINE LINE" WOOD SIDING
- 11 STAIN COLOR #2 ON ROUGH SAWN SQUARE EDGE 1x6 VERTICAL T&G "FINE LINE" WOOD SIDING
- 12 STAINED 1x4 ROUGH SAWN WINDOW OR DOOR TRIM
- 13 PAINTED VERTICAL CORRUGATED METAL SIDING
- 14 PAINTED FLAT METAL SHEET SIDING W/ 1" BREAK AND LAP AT SEAMS
- 15 TYPICAL PAINTED 1-1/2" METAL SIDING CLOSURE TRIM AT MTL SIDING
- 16 NEW BURIED POWER FROM TRANSFORMER TO (4) POWER METERS AND WALL MOUNTED EMERGENCY POWER DISCONNECT AND GENERAL BLDG POWER SUBPANEL - SEE ELECTRICAL DRAWINGS
- 17 (3) NATURAL GAS METERS AND REGULATORS FOR GAS INTO BLDG
- 18 FIRE DEPARTMENT CONNECTION (FDC) AT FIRE SPRINKLER RISER ROOM WITH KNOX BOX MOUNTED @ 60" ABOVE GRADE
- 19 PAINTED FLUSH MTL INSULATED GARAGE DOOR WITH TEMPERED WINDOWS
- 20 RUSTED MTL SKIRT APPLIED TO EXIST DECK FASCIA RIM DN 4" INTO GRADE
- 21 ERV AIR EXHAUST - SEE MECH. DWGS
- 22 ERV AIR INTAKE - SEE MECH. DWGS.
- 23 DRYER EXHAUST AIR - SEE MECH. DWGS - INSTALL ON SOLID WOOD TRIM SURROUND TO MATCH SIDING. LOCATION DEPENDS ON FLR JST SPACING PROVIDE MIN. 36" CLEARANCE AROUND OUTLET. HT. MIN. 12" ABOVE GRADE
- 24 APPROX. LOCATION OF NEW SEWER SERVICE FROM BLDG W/ CONC. FTG SURROUND - SEE CIVIL AND PLUMBING DWGS
- 25 APPROX. LOCATION OF NEW DOMESTIC WATER SERVICE INTO BUILDING
- 26 NEW PLUMB. VENT THROUGH ROOF - SEE PLUMBING DWGS PROVIDE FLASHING BOOT AND VENT SNOW GUARD CRICKET SUPPORT STRAP
- 27 NEW RADON VENT THROUGH ROOF - SEE PLUMBING DWGS PROVIDE FLASHING BOOT AND VENT SNOW GUARD CRICKET SUPPORT STRAP
- 28 GAS FIREPLACE EXHAUST INSTALLED WITH CLEARANCES PER MANUFACTURERS REQUIREMENTS
- 29 MIN. 5" HIGH 1/2" WIDE EACH NUMERAL FOR BUILDING ADDRESS NUMBER VISIBLE FROM TRAVEL ON ROAD
- 30 CONC. WALKWAY OR LANDING
- 31 EXISTING WOOD DECK WITH NEW FINISH DECKING SURFACE
- 32 PAINTED METAL FLASHING AT ROOF TO WALL TRANSITION
- 33 NEW FROST PROTECTED CONC. FTG ON UNDISTURBED SOIL AND CONC. FOUNDATION WALL
- 34 CONC. PORCH
- 35 TREX SELECT SQUARE EDGE 1" (.875") COMPOSITE WOOD DECKING ON MTL MESH BUG SCREEN ON DECK JOIST
- 36 1" PAINTED METAL CLOSURE TRIM AROUND WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS
- 37 2"x2" PAINTED TUBE STEEL GUARDRAIL FRAME
- 38 GUARDRAIL POSTS ATTACHED TO FACE OF DECK RIM FASCIA
- 39 GUARDRAIL POSTS ATTACHED TO TOP OF DECK RIM FASCIA
- 40 GUARDRAIL FRAME ATTACHED TO OUTSIDE FACE OF STAIR STRINGER. ALIGN SLOPING BOTTOM OF FRAME W/ BOTTOM OF SLOPING STRINGER
- 41 PAINTED METAL STAIR STRINGER W/ METAL GRATE TREADS
- 42 FLAT METAL SHEETS W/ HEMMED SEAMS ON SLOPED ROOF OF CLOS.
- 43 APPROXIMATE GRADE SLOPED AWAY FROM BLDG
- 44 CONCRETE DRIVEWAY SLOPED AWAY FROM BLDG
- 45 PROJECTING WINDOW BAY
- 46 PAINTED FLUSH METAL INSULATED DOOR
- 47 EXTERIOR WALL MTD LIGHT FIXTURE OPERATED BY AUTO MOTION SENSOR - SEE ELECTRICAL DRAWINGS
- 48 EXTERIOR WALL MTD LIGHT FIXTURE OPERATED BY MANUAL INTERIOR LIGHT SWITCH - SEE ELECTRICAL DRAWINGS
- 49 LINE OF SLOPED CLG ON INTERIOR
- 50 RANGE EXHAUST HOOD VENT - SEE MECH DWGS
- 51 MECHANICALLY VENTED CRAWL SPACE INTAKE OR EXHAUST AIR LOUVER WITH AREA WELL TO HOLD BACK GRADE - SEE MECH DWGS
- 52 2x12 ROUGH SAWN WOOD CAP
- 53 PAINTED 1-1/2" DIAM. METAL SLOPED PIPE RAILING 1-1/2" CLR OF WALL
- 54 WATERPROOF OUTLET / LIGHT SWITCH FOR ADJACENT WALL LIGHT
- 55 FROST FREE HOSE BIB - SEE PLUMBING DWGS
- 56 APPLY SIDING FLUSH OVER OUTSIDE EXTERIOR FACE OF FLUSH WOOD DOOR
- 57 GAS METER CLEAR WALL AREA WITH NO WALL OPENINGS
- 58 UNDERGROUND PHONE UTILITY TO PANEL AT BLDG ENTRY - SEE CIVIL DWGS

PROPOSED BUILDING ELEVATIONS  
FOR  
PROPOSED REMODEL & ADDITION

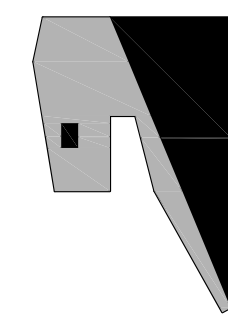
**UP A CREEK, LLC**  
265 Crabtree Lane Jackson, Wyoming

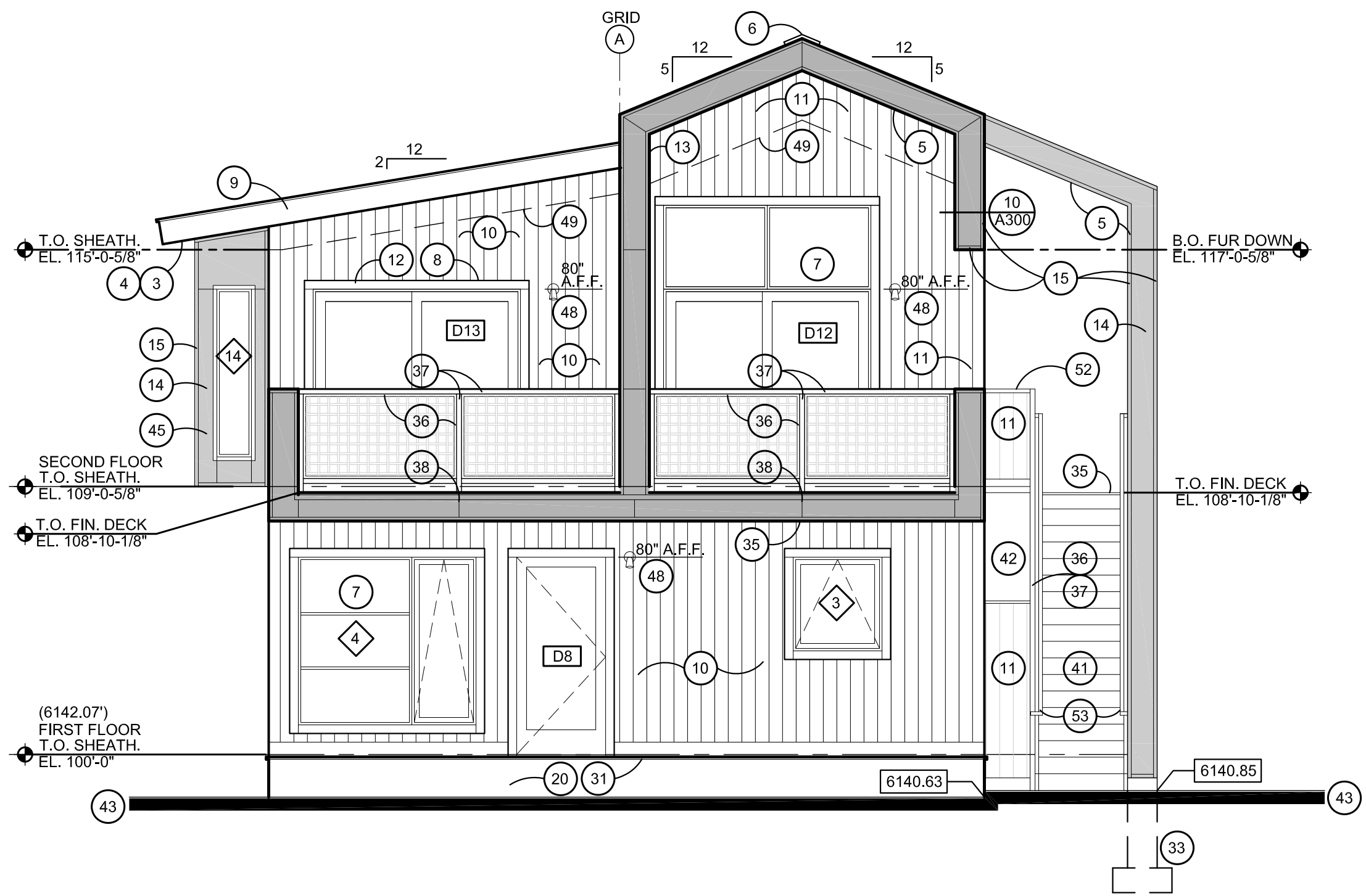
REVISIONS	DATE	DESCRIPTION
1	TOU GEC PRE-APP SUBMITAL	3.11.20

date 3.11.20

**A200**

**KRIKOR Architecture**  
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
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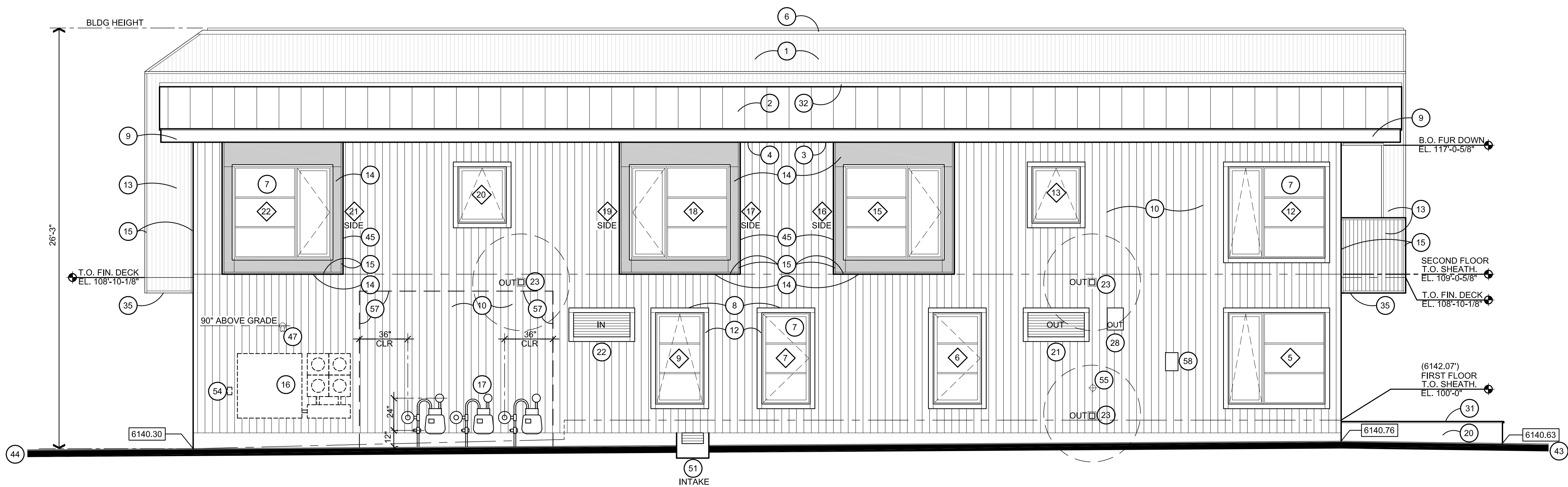




EAST ELEVATION  
SCALE: 1/4" = 1'-0"



WEST ELEVATION (CRABTREE LANE)  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

BUILDING MATERIALS KEY

- 1 PAINTED CORRUGATED METAL ROOF - MINIMUM CLASS B RATING
- 2 PAINTED STANDING SEAM METAL ROOF WITH CONCEALED FASTENERS MINIMUM CALSS B RATING
- 3 2" CONTINUOUS SOFFIT VENT WITH BUG SCREEN
- 4 STAINED ROUGH SAWN WOOD SOFFIT
- 5 PAINTED CORRUGATED METAL SOFFIT
- 6 PAINTED METAL CAP FLASH OVER CONTINUOUS RIDGE VENT
- 7 TYPICAL WOOD / METAL CLAD WINDOW / DOOR WITH 0.29 U-VALUE.
- 8 PAINTED METAL TRANSITION DRIP FLASH AT TOP
- 9 TYPICAL EVERY DOOR AND WINDOW HEAD
- 9 STAINED 2x8 ROUGH SAWN WOOD FASCIA
- 10 STAIN COLOR #1 ON ROUGH SAWN SQUARE EDGE 1x6 VERTICAL T&G "FINE LINE" WOOD SIDING
- 11 STAIN COLOR #2 ON ROUGH SAWN SQUARE EDGE 1x6 VERTICAL T&G "FINE LINE" WOOD SIDING
- 12 STAINED 1x4 ROUGH SAWN WINDOW OR DOOR TRIM
- 13 PAINTED VERTICAL CORRUGATED METAL SIDING
- 14 PAINTED FLAT METAL SHEET SIDING W/ 1" BREAK AND LAP AT SEAMS
- 15 TYPICAL PAINTED 1-1/2" METAL SIDING CLOSURE TRIM AT MTL SIDING
- 16 NEW BURIED POWER FROM TRANSFORMER TO (4) POWER METERS AND WALL MOUNTED EMERGENCY POWER DISCONNECT AND GENERAL BLDG POWER SUBPANEL - SEE ELECTRICAL DRAWINGS
- 17 (3) NATURAL GAS METERS AND REGULATORS FOR GAS INTO BLDG
- 18 FIRE DEPARTMENT CONNECTION (FDC) AT FIRE SPRINKLER RISER ROOM WITH KNOX BOX MOUNTED @ 60" ABOVE GRADE
- 19 PAINTED FLUSH MTL INSULATED GARAGE DOOR WITH TEMPERED WINDOWS
- 20 RUSTED MTL SKIRT APPLIED TO EXIST DECK FASCIA RIM DN 4" INTO GRADE
- 21 ERV AIR EXHAUST - SEE MECH. DWGS
- 22 ERV AIR INTAKE - SEE MECH. DWGS.
- 23 DRYER EXHAUST AIR - SEE MECH. DWGS - INSTALL ON SOLID WOOD TRIM SURROUND TO MATCH SIDING. LOCATION DEPENDS ON FLR JST SPACING PROVIDE MIN. 36" CLEARANCE AROUND OUTLET. HT. MIN. 12" ABOVE GRADE
- 24 APPROX. LOCATION OF NEW SEWER SERVICE FROM BLDG W/ CONC. FTG SURROUND - SEE CIVIL AND PLUMBING DWGS
- 25 APPROX. LOCATION OF NEW DOMESTIC WATER SERVICE INTO BUILDING
- 26 NEW PLUMB. VENT THROUGH ROOF - SEE PLUMBING DWGS PROVIDE FLASHING BOOT AND VENT SNOW GUARD CRICKET SUPPORT STRAP
- 27 NEW RADON VENT THROUGH ROOF - SEE PLUMBING DWGS PROVIDE FLASHING BOOT AND VENT SNOW GUARD CRICKET SUPPORT STRAP
- 28 GAS FIREPLACE EXHAUST INSTALLED WITH CLEARANCES PER MANUFACTURERS REQUIREMENTS
- 29 MIN. 5" HIGH 1/2" WIDE EACH NUMERAL FOR BUILDING ADDRESS NUMBER VISIBLE FROM TRAVEL ON ROAD
- 30 CONC. WALKWAY OR LANDING
- 31 EXISTING WOOD DECK WITH NEW FINISH DECKING SURFACE
- 32 PAINTED METAL FLASHING AT ROOF TO WALL TRANSITION
- 33 NEW FROST PROTECTED CONC. FTG ON UNDISTURBED SOIL AND CONC. FOUNDATION WALL
- 34 CONC. PORCH
- 35 TREX SELECT SQUARE EDGE 1" (.875") COMPOSITE WOOD DECKING ON MTL MESH BUG SCREEN ON DECK JOIST
- 36 1" PAINTED METAL CLOSURE TRIM AROUND WOVEN WIRE MESH GUARDRAIL PANEL W/ 3" SQUARE OPENINGS
- 37 2"x2" PAINTED TUBE STEEL GUARDRAIL FRAME
- 38 GUARDRAIL POSTS ATTACHED TO FACE OF DECK RIM FASCIA
- 39 GUARDRAIL POSTS ATTACHED TO TOP OF DECK RIM FASCIA
- 40 GUARDRAIL FRAME ATTACHED TO OUTSIDE FACE OF STAIR STRINGER. ALIGN SLOPING BOTTOM OF FRAME W/ BOTTOM OF SLOPING STRINGER
- 41 PAINTED METAL STAIR STRINGER W/ METAL GRATE TREADS
- 42 FLAT METAL SHEETS W/ HEMMED SEAMS ON SLOPED ROOF OF CLOS.
- 43 APPROXIMATE GRADE SLOPED AWAY FROM BLDG
- 44 CONCRETE DRIVEWAY SLOPED AWAY FROM BLDG
- 45 PROJECTING WINDOW BAY
- 46 PAINTED FLUSH METAL INSULATED DOOR
- 47 EXTERIOR WALL MTD LIGHT FIXTURE OPERATED BY AUTO MOTION SENSOR - SEE ELECTRICAL DRAWINGS
- 48 EXTERIOR WALL MTD LIGHT FIXTURE OPERATED BY MANUAL INTERIOR LIGHT SWITCH - SEE ELECTRICAL DRAWINGS
- 49 LINE OF SLOPED CLG ON INTERIOR
- 50 RANGE EXHAUST HOOD VENT - SEE MECH DWGS
- 51 MECHANICALLY VENTED CRAWL SPACE INTAKE OR EXHAUST AIR LOUVER WITH AREA WELL TO HOLD BACK GRADE - SEE MECH DWGS
- 52 2x12 ROUGH SAWN WOOD CAP
- 53 PAINTED 1-1/2" DIAM. METAL SLOPED PIPE RAILING 1-1/2" CLR OF WALL
- 54 WATERPROOF OUTLET / LIGHT SWITCH FOR ADJACENT WALL LIGHT
- 55 FROST FREE HOSE BIB - SEE PLUMBING DWGS
- 56 APPLY SIDING FLUSH OVER OUTSIDE EXTERIOR FACE OF FLUSH WOOD DOOR
- 57 GAS METER CLEAR WALL AREA WITH NO WALL OPENINGS
- 58 UNDERGROUND PHONE UTILITY TO PANEL AT BLDG ENTRY - SEE CIVIL DWGS

**KRIKOR Architecture**  
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PROPOSED BUILDING ELEVATIONS  
PROPOSED REMODEL & ADDITION  
FOR  
**UP A CREEK, LLC**  
265 Crabtree Lane Jackson, Wyoming

REVISIONS	
1	T.O. GEC PRE-APP SUBMITAL 3.11.20

date 3.11.20  
**A201**



# STORMWATER RUNOFF CALC'S 265 CRABTREE

20-062-01  
3-12-20  
NB

## PRE-DEVELOPMENT

### ROOF CALCULATIONS

ROOF AREA (FT^2)=	2000	
C-VALUE =	0.9	
S =	20%	
L (ft) =	20	
tc (min) =	0.59	tc = 1.8(1.1 - C)L^0.5/S^0.3333, (Corps of Eng. Eqn.)

### DRIVEWAY & HARDSCAPE CALCULATIONS

DRIVEWAY & HARDSCAPE	780	
C-VALUE =	0.9	
S =	5%	
L (ft) =	20	
tc (min) =	0.94	tc = 1.8(1.1 - C)L^0.5/S^0.3333, (Corps of Eng. Eqn.)

### LANDSCAPING CALCULATIONS

LANDSCAPING AREA (FT^2)	2760	
C-VALUE =	0.3	
S =	2%	
L (ft) =	50	
tc (min) =	8.90	tc = 1.8(1.1 - C)L^0.5/S^0.3333, (Corps of Eng. Eqn.)

TOTAL AREA= 6000 SF

**Total Time of Conc., Tc = 10.43 min (lawn, roof, & driveway)**  
**Composite Cc = 0.60**  
**Total Area, At = 5540 ft^2**

TABLE 4920.B JACKSON IDF* CURVE DATA - 100-YR STORM EVENT	
DURATION, Td (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

**Initial Flow Rate, Qi (cfs) = 0.18 cfs at tc= 12.11 min**

$$Q_i = C_c * I * A_t / (43200)$$

where,  
Composite Cc = 0.60  
Intensity, I = 2.29 in/hr at Td = 12.11 min  
Total Area, At = 5540 ft^2

# STORMWATER RUNOFF CALC'S 265 CRABTREE

20-062-01  
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## POST-DEVELOPMENT

### ROOF CALCULATIONS

ROOF AREA (FT^2)	2340	
C-VALUE =	0.9	
S =	8%	
L (ft) =	20	
tc (min) =	0.79	tc = 1.8(1.1 - C)L^0.5/S^0.3333, (Corps of Eng. Eqn.)

### DRIVEWAY & HARDSCAPE CALCULATIONS

DRIVEWAY & HARDSCAPE AREA (FT^2)	1540	
C-VALUE =	0.9	
S =	2%	
L (ft) =	20	
tc (min) =	1.28	tc = 1.8(1.1 - C)L^0.5/S^0.3333, (Corps of Eng. Eqn.)

### LAWN CALCULATIONS

LAWN AREA (FT^2)	1660	
C-VALUE =	0.3	
S =	5%	
L (ft) =	50	
tc (min) =	5.95	tc = 1.8(1.1 - C)L^0.5/S^0.3333, (Corps of Eng. Eqn.)

TOTAL SOUTH LOT AREA= 8550 SF

<b>Total Time of Conc., Tc =</b>	<b>8.03</b>	<b>min (roof, drive and lawn)</b>
<b>Composite Cc =</b>	<b>0.72</b>	
<b>Total Area, At =</b>	<b>5540</b>	<b>ft^2</b>

TABLE 4920.B JACKSON IDF* CURVE DATA - 100-YR STORM EVENT	
DURATION, T <sub>d</sub> (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

**Final Flow Rate, Q<sub>f</sub> (cfs) = 0.23 cfs at tc = 14.73 min**

$$Q_f = C_c * I * A_t / (43200)$$

where,

Composite C <sub>c</sub> =	0.72	
Intensity, I =	2.50	in/hr at T <sub>d</sub> = 14.73 min
Total Area, A <sub>t</sub> =	5540	ft^2



20-062-01  
3-12-20  
NB

EQUATIONS:  $Q_d = C_c \cdot I \cdot A_t / (43200)$   
 $V_d = (Q_d - Q_i) \cdot ((Q_d - Q_i) / Q_r \cdot T_d) \cdot 60$

Design Storage Volume (twice calculated)	14	ft^3
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