



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

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- ☐ Building
- ☐ Title Company
- ☒ Town Attorney
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- ☐ Housing Department

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- ☐ TC School District #1
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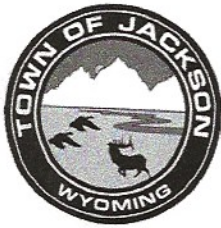
- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: May 13, 2020</p> <p>Item #: P20-047</p> <p>Planner: Brendan Conboy</p> <p>Phone: 733-0440 ext. 1302</p> <p>Email: bconboy@jacksonwy.gov</p> <p>Owner: Arts District Development PO 1569 Jackson, WY 83001</p> <p>Applicant: Abigail Moore PO Box 1569 Jackson, WY 83001</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for a Construction Management Plan for the property located at 175 S. Glenwood Street, legally known as, Lots 11-12, BLK 2, WORT-2.</p> <p>For questions, please call Brian Lenz at 733-3097, x1410 or email to the address shown below. Thank you.</p> <p style="text-align: center;">SECOND APPLICANT SUBMITTAL</p>
<p>Please respond by: May 22, 2020 (with Comments)</p>	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

Fees Paid _____

For Office Use Only

Application #s _____

Date & Time Received _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Glenwood + Simpson Mixed-use Building (Phase II Millward + Simpson Master Plan)

Physical Address: 175 S. Glenwood Street

Lot, Subdivision: Lots 11-12, Block 2, 2nd Wort Addition to Town of Jackson

PIDN: 22-41-16-33-1-08-004

PROPERTY OWNER.

Name: Arts District Development LLC

Phone: 307-413-7073

Mailing Address: PO Box 1569 / 25 E. Simpson / Jackson, WY

ZIP: 83001

E-mail: jv@jhdevelopment.net

APPLICANT/AGENT.

Name: Abigail S. Moore

Phone: 307-690-1211

Mailing Address: PO Box 1569 / 25 E. Simpson / Jackson, WY

ZIP: 83001

E-mail: _____

DESIGNATED PRIMARY CONTACT.

____ Property Owner ☒ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

____ Basic Use

____ Conditional Use

____ Special Use

Relief from the LDRs

____ Administrative Adjustment

____ Variance

____ Beneficial Use Determination

____ Appeal of an Admin. Decision

Physical Development

____ Sketch Plan

____ Development Plan

____ Design Review

Subdivision/Development Option

____ Subdivision Plat

____ Boundary Adjustment (replat)

____ Boundary Adjustment (no plat)

____ Development Option Plan

Interpretations

____ Formal Interpretation

____ Zoning Compliance Verification

Amendments to the LDRs

____ LDR Text Amendment

____ Map Amendment

Miscellaneous

☒ Other: REVISED CMP

____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: P18-001 Environmental Analysis #: N/A
Original Permit #: B19-0323 Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

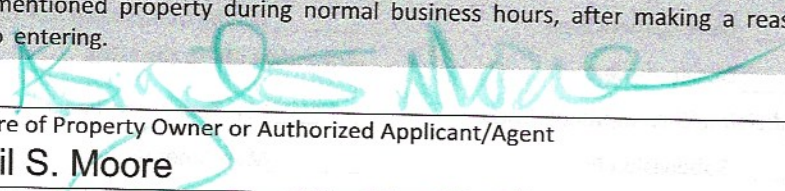
N/A **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

on file **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

_____ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Property Owner or Authorized Applicant/Agent
Abigail S. Moore
Name Printed

5/08/2020 (revised CMP)

Date

Agent/Attorney

Title



CONSTRUCTION MANAGEMENT PLAN
for
GLENWOOD + SIMPSON MIXED USE BUILDING
175 South Glenwood Street

May 8, 2020
Town of Jackson
150 East Pearl Avenue
Jackson, WY 83001

INTRODUCTION

Glenwood + Simpson Mixed Use Building is a 40,846 square foot commercial mixed-use building located at 175 South Glenwood Street in Jackson, WY. The project is due to begin construction in summer of 2020 with a projected 21-month construction schedule. The general contractor is New West Building Company, the owner is Arts District West, LLC, and the architect is Harger Architects, LLC.

Construction activity shall be contained to the construction site at 175 South Glenwood Street. During construction, a staging area will be maintained at 235 South Millward Street. The site will be fully fenced in for the duration of construction. Track pads will be placed at site entrances and a track pad will be utilized at the laydown at 235 South Millward on the entrance at the north side along W. Simpson.

DEMOLITION – June 2020

During the demolition phase, a site fence will be set up around the project boundary to ensure clear delineation of the project site as well as neighborhood safety during the work. All demolition equipment will be staged within the lot. The scope of demolition work includes dismantling the building, removing existing utilities, removing asphalt within the project boundaries, removing and storing existing Town of Jackson signage, and clearing and grubbing the site to prepare for excavation.

All traffic for the duration of the project will be brought onto the site from north alley between the site and Medicine Wheel Wellness. Traffic will always travel from the west to east (see Traffic Flow Diagram) for the entire duration of the project. The trucks will be loaded/unloaded before travelling west on Simpson. Trucks will then take a right at the intersection of Simpson and Millward. All traffic will flow north onto the stop sign controlled intersection at Pearl. This will cause minimal traffic delays as vehicles will be restricted to right hand turns.

EXCAVATION AND SHORING – July 2020

During excavation and shoring, vehicles will be loaded within the construction fence as much as possible. In addition to the site fence, jersey barriers will be erected around the property boundary to ensure pedestrian safety and distance from construction activities. Temporary



sanitation facilities will be brought onto site at this time for the duration of the project. At this time, the traffic flow will adjust from moving directly through the site to moving along the property boundary on South Glenwood Street. The parking ramp will be excavated throughout the shoring process and will be maintained throughout excavation, concrete and steel construction to better accommodate alley traffic flow. Traffic will flow per the traffic plan described above and reflected on Diagram 2: Excavation.

The team will dig 3'-4' past the property line to provide room for the shoring and site walls to be safely performed. Shoring plan is being submitted separately from this CMP. Prior to installing shoring, we will request as-builts from the Town of Jackson so we can ensure that the helical piers that are part of the parking garage construction are avoided during shoring install. The team will complete a video utility survey of the adjacent sewer and stormwater both before and after drilling to confirm that these critical infrastructure items were avoided.

During this time, the excavation team will complete all utility work that will be done in the street. The team will pull the appropriate PROW and encroachment permits to complete this scope of work prior to commencing.

CONCRETE – August 2020 – September 2020

Once shoring is complete, the ramp will be maintained to allow access into the hole for the concrete team. Forms and equipment will be moved onto the site from the ramp. A crane will be brought onto the site and staged from within excavated. Once all materials have been located, the ramp will be removed. Concrete scope will start with forming footers and stem walls, installing rebar, and pouring concrete. The pours will be isolated to one day events and will function on PROW's with minimal street or alley shutdowns, if shutdowns are necessary traffic control flaggers and signs will be utilized per TOJ rules. There are three pre-established for pump trucks during the concrete stage. Concrete trucks will follow the described flow of traffic (see Diagram 3: Concrete). Wash out locations will be provided at the main contractor lay down yard at 235 South Millward to preserve the Town Right of Way.

The ramp will be put back in place after concrete placement. Steel erection for the first floor and first floor deck will be performed from within the parking structure until the foundation is fully backfilled. Steel erection will begin in the northeast of the site and move to the south and finish to allow the crane to back out up the ramp. Once the first-floor walls and deck are complete, the shoring walls will be backfilled or removed if needed. The excavation team will backfill against the foundation and shoring per building documents.

STEEL ERECTION – September 2020 – January 2020

After backfill is complete and the road level is poured, a crane will be set on the eastern side of the site between the road and the property boundary. The building will be hung from this location, ensuring that no overhead lifts would go over public spaces. Loaded 20' flatbeds will travel along the established traffic route. A small number of flatbeds will be used cyclically during



steel construction, shuttling from the laydown yard to the crane pick area. Flatbeds will load at South Millward street before travelling north on South Millward. They will turn right along the alley to the north of the site, travelling east to west. Trailers will then pull adjacent to the building; all steel will be rigged and hung from this location. Empty trailers will be towed back to the laydown area while a loaded trailer arrives for the next pick, streamlining steel erection. We believe that this allows for minimal impact for the community.

During steel erection, (3) concrete pours will occur. The crane will be demobilized during these pours and the concrete pump truck will be staged in its place on the ramp access to the site. During this phase, concrete washout stations will be provided within the eastern staging access. All concrete deliveries will follow the established traffic plan.

Steel erection and concrete pours will be coordinated with the beginning of cold-formed metal framing. As the steel erection moves up the building, the cold formed metal framing scope will follow, beginning on the bottom floor and moving up.

After steel erection is completed and all the concrete decks have been poured, the fence line will be moved back to the canopy line and the town can either have parking returned or we would place covered pedestrian ways in on the Millward side of the street. The Simpson side would be provided a covered pedestrian shed to allow for access to the parking garage from the existing sidewalk on the east side of Millward and the Center for the Arts. These will remain in place for the duration of the project until site work can begin and permanent installations are possible.

INTERIOR FRAMING/MEPS AND EXTERIOR DRY-IN– January 2021 – June 2021

Following the completion of framing, exterior sheathing, windows, rainscreen and siding will be installed with the use of scaffolding. Scaffolding will also be used to allow roof access for the roofing team.

MEP rough-in will take place following the completion of framing.

INTERIOR BUILD-OUT – June 2021 – December 2021

Following the completion of MEP rough in, the finishes phase of the project will begin. This includes insulation, drywall, painting, finish carpentry, finishes (tile, hardwood flooring, cabinets, appliances). During this phase of construction, work will be contained to within the fenced property boundary. Traffic will follow the same flow as outlined previously in this management plan.

LANDSCAPING AND CLOSE OUT – January 2022

All landscaping and final utility work that takes place will have appropriate encroachment or PROW permits pulled with the Town of Jackson prior to commencement of work. All work in



new west
building company

the road will be well marked with construction signage and supervision of traffic to ensure traffic is flowing as seamlessly as possible.

ADDITIONAL NOTES

During all phases of construction, the construction team enforce that ALL subcontractor parking be located on the north side of Simpson, adjacent to the laydown yard. An overarching project rule will be enforced that no subcontractors will park in the parking structure during the busy seasons. We will also request, given the limited town space, that subcontractors rideshare or use mass transit as possible.

Normal work hours for the project will be 7am to 7 pm, Monday through Friday, some situations, such as concrete pours, may happen outside of these times.

NWBC understands that the areas surrounding the project site are shared and highly trafficked streets in Jackson. NWBC is committed to mitigating all impact of construction activity on the surrounding streets during construction.

As with all NWBC jobs, we will continue to enforce our rules of neighborhood etiquette and will have our contact info posted around the site if there are any issues or concerns. NWBC prides itself on being a community focused contractor and has a proven track record of maintaining a happy neighborhood.

PROJECT CONTACT LIST

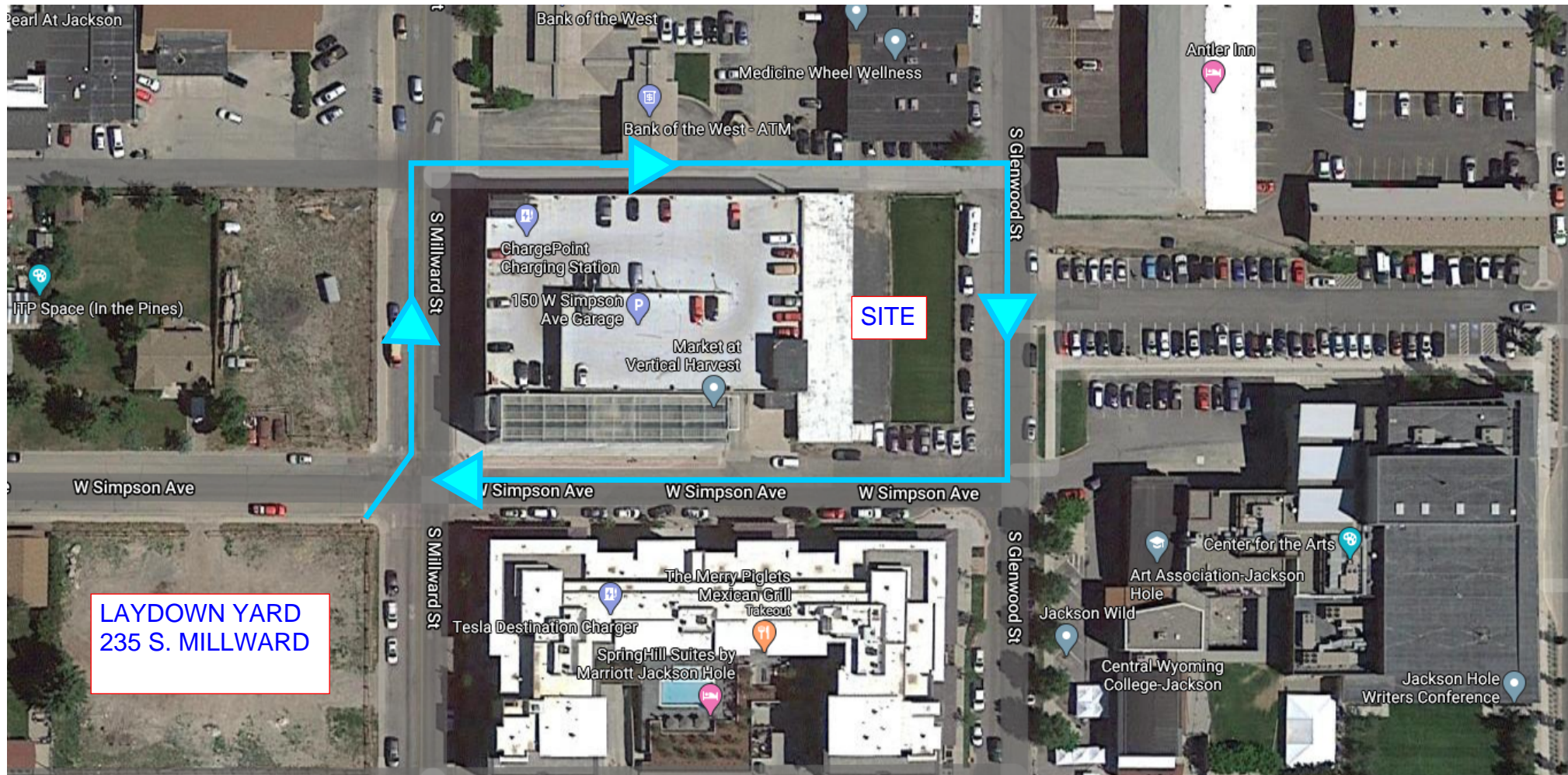
With any questions or issues, please reach out to: community@newwestbc.com. This e-mail will ensure quick communication to the following members of the project:

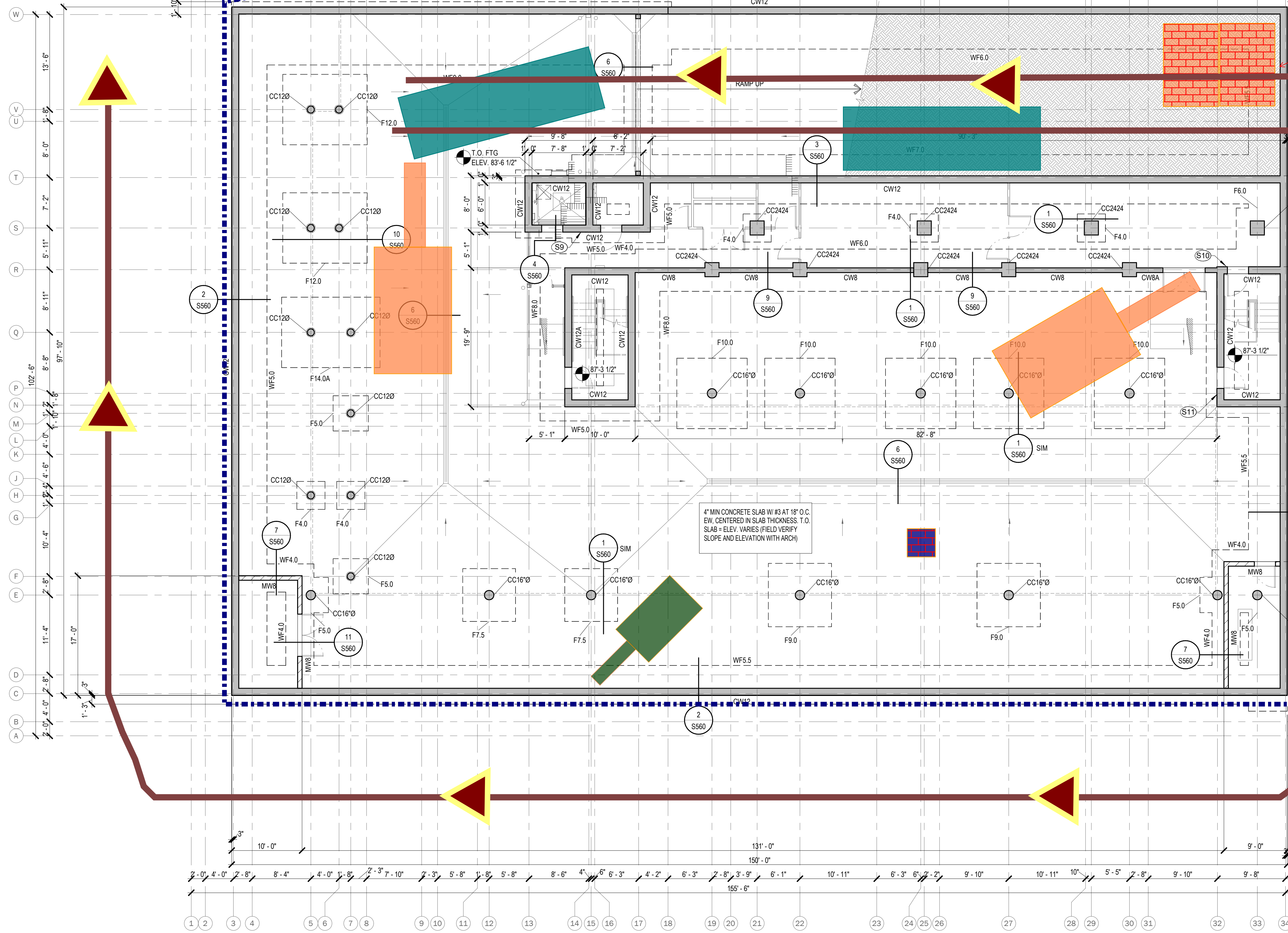
Tyson Slater – VP of Construction Operations

Jerren Ancira – Superintendent

Haley Mahar – Project Manager

**TRAFFIC FLOW PLAN
GLENWOOD + SIMPSON MIXED USE**





FOUNDATION PLAN NOTES

- EMBEDMENT:**
A. MIN EMBEDMENT DEPTH: 36". ALL FTGS SHALL EXTEND BELOW GRADE THE MIN EMBEDMENT DEPTH AS NOTED.
- CONCRETE:**
A. TYP T.O. FOOTING = 99'-0". UNO. TYP T.O. FOOTING AT INT STEEL COLUMN = 99'-0". UNO.
B. SLAB SHALL BE UNDERLAIN W/ 2" SAND OVER 6" BASE OF 3/4" CLEAN AGGREGATE OVER PROPERLY COMPACTED MATERIAL PER THE SOILS REPORT. A MIN 15 MIL VAPOR BARRIER SHALL BE PLACED BETWEEN THE SAND AND THE AGGREGATE BASE.
C. 2'-6" SQUARE OR SMALLER OPENINGS IN CONCRETE WALL "DETAIL FOR OPENINGS IN COORDINATE OPENINGS W/ ARCH DWGS."
- MASONRY:**
A. MASONRY WALLS SHALL BE 8" THICK W/ #5 AT 8" O.C. VERT AND #5 AT 18" O.C. HORIZ. UNO IN DETAILS OR ON PLANS.
- MISC:**
A. TYP DETAILS AND NOTES SHALL APPLY, THOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON PLANS.

TRACK PAD

SITE PLANNING LEGEND

- Description**
- DIRECTION OF TRAFFIC
 - SITE FENCE
 - FLOW OF TRAFFIC
 - Excavator
 - Micropile Drill Rig
 - DUMP TRUCK
 - TRACK PAD

FOOTING SCHEDULE

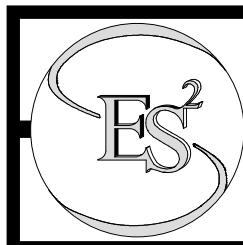
MARK	THICKNESS	WIDTH	LENGTH	TOP REINFORCING	BOTTOM REINFORCING
F10	36"	3'-6"	3'-6"	-	(6) #5 EA WAY BOT
F10	12"	4'-0"	4'-0"	-	(4) #5 EA WAY BOT
F10	36"	4'-6"	4'-6"	-	(8) #5 EA WAY BOT
F10	12"	5'-0"	5'-0"	-	(6) #5 EA WAY BOT
F10	18"	6'-0"	6'-0"	-	#6 BARS AT 14" O.C. EA WAY BOT
F10	24"	7'-6"	7'-6"	-	(13) #5 EA WAY BOT
F10	24"	9'-0"	9'-0"	-	(16) #5 EA WAY BOT
F10	15"	10'-0"	10'-0"	-	(20) #5 EA WAY BOT
F10	24"	10'-0"	12'-0"	-	#6 BARS AT 12" O.C. EA WAY BOT
F10	24"	10'-0"	14'-0"	-	#6 BARS AT 12" O.C. EA WAY BOT
F10	20"	4'-0"	CONT	#6 BARS AT 8" O.C. TOP	#6 BARS AT 4" O.C. BOT
F10	20"	5'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT
F10	20"	5'-6"	CONT	#6 BARS AT 9" O.C. TOP	#6 BARS AT 12" O.C. BOT
F10	22"	6'-0"	CONT	#6 BARS AT 10" O.C. TOP	#6 BARS AT 10" O.C. BOT
F10	22"	7'-0"	CONT	#6 BARS AT 14" O.C. TOP	#6 BARS AT 14" O.C. BOT
F10	20"	8'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT
F10	20"	9'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT

CONCRETE COLUMN SCHEDULE

MARK	WIDTH/DIAMETER	DEPTH	VERTICAL REBAR	TIES	TYPE
C120	12"	-	(6) #6 BARS	#3 AT 12" O.C.	E
C120	16"	-	(12) #7 BARS	#3 AT 12" O.C.	E
C120	12"	12"	(4) #6 BARS	#3 AT 12" O.C.	A
C120	24"	24"	(20) #5 BARS	#3 AT 10" O.C.	A

CONCRETE WALL SCHEDULE

MARK	WIDTH	VERTICAL REINFORCING	HORIZONTAL REINFORCING	COMMENTS
CW8	8"	#6 AT 6" O.C. EA FACE	#4 AT 10" O.C. EA FACE	
CW8A	8"	#6 AT 4" O.C. EA FACE	#6 AT 18" O.C. EA FACE	
CW12	12"	#6 AT 18" O.C. EA FACE	#6 AT 16" O.C. EA FACE	
CW12A	12"	#6 AT 6" O.C. EA FACE	#4 AT 6" O.C. EA FACE	



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IDAHO FALLS, IDAHO 83401
PHONE: (208) 552-9874
3632 N RANCHO DRIVE
LAS VEGAS, NV 89130
PHONE: (702) 616-3107
1677 EUREKA ROAD, STE. #102
ROSENVILLE, CA 95661
PHONE: (916) 790-2030
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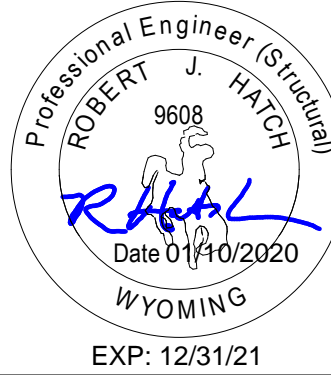
HARGER architects
P.O. Box 487
Jackson, Wyoming 83001
phone 307.690.9955

Civil Engineers & Landscape Architects:
Y2 Consultants, Inc.
210 S. Simpson St.
Jackson, WY 83001
phone 307.733.2999

Structural, Mechanical, Electrical & Plumbing Engineers:

Engineering System Solutions

4394 North 29th East, Suite A
Idaho Falls, ID 83401
phone 208.552.9874
3632 North Rancho Drive
Las Vegas, NV 89103
phone 702.616.3107



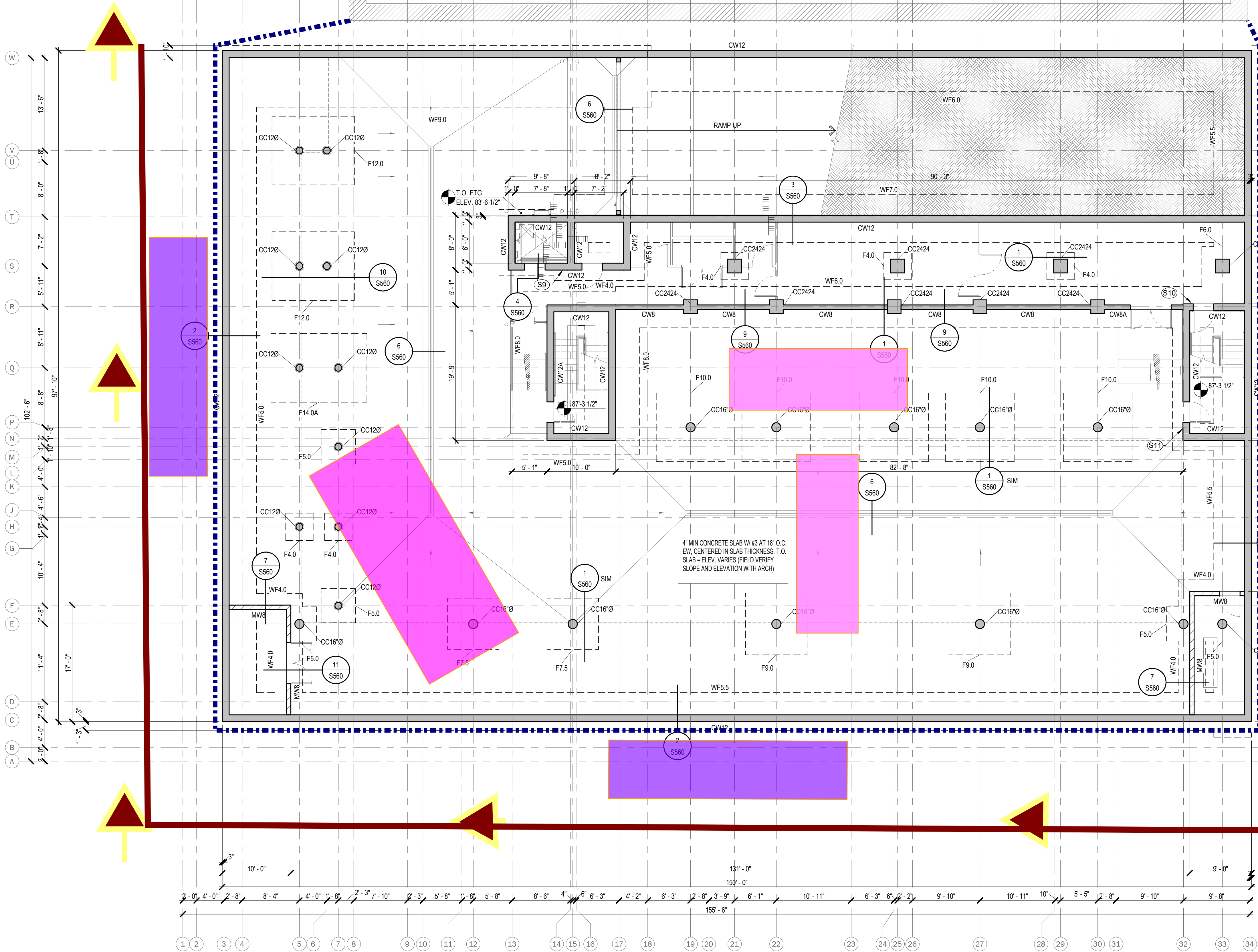
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Glenwood + Simpson Mixed Use Building
(Phase II of the Milward + Simpson PMD)

Lots 11 & 12, Block 2, 2nd Wort Addition
Jackson, Wyoming 83001

Date 01/10/2020

Revisions



FOUNDATION PLAN NOTES

- EMBEDMENT:**
A. MIN EMBEDMENT DEPTH: 36". ALL FTGS SHALL EXTEND BELOW GRADE THE MIN EMBEDMENT DEPTH AS NOTED.
- CONCRETE:**
A. TYP T.O. FOOTING = 99'-0". UNO. TYP T.O. FOOTING AT INT STEEL COLUMN = 99'-0". UNO.
B. SLAB SHALL BE UNDERLAIN W/ 2" SAND OVER 6" BASE OF 3/4" CLEAN AGGREGATE OVER PROPERLY COMPACTED MATERIAL PER THE SOILS REPORT. A MIN 15 MIL VAPOR BARRIER SHALL BE PLACED BETWEEN THE SAND AND THE AGGREGATE BASE.
C. SEE "TYPICAL 2'-6" SQUARE OR SMALLER OPENINGS IN CONCRETE WALL" DETAIL FOR OPENINGS IN CONC WALL. COORDINATE OPENINGS W/ ARCH DWGS.
- MASONRY:**
A. MASONRY WALLS SHALL BE 8" THICK W/ #5 AT 8" O.C. VERT AND #5 AT 18" O.C. HORIZ. UNO IN DETAILS OR ON PLANS.
- MISC:**
A. TYP DETAILS AND NOTES SHALL APPLY, THOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON PLANS.

SITE PLANNING LEGEND

- Description
- DIRECTION OF TRAFFIC
 - SITE FENCE
 - FLOW OF TRAFFIC
 - STEEL TRAILER
 - FORM TRAILER
 - CRANE BASE

FOOTING SCHEDULE

MARK	THICKNESS	WIDTH	LENGTH	TOP REINFORCING	BOTTOM REINFORCING
F3.5	36"	3'-6"	3'-6"	-	(6) #5 EA WAY BOT
F4.0	12"	4'-0"	4'-0"	-	(4) #5 EA WAY BOT
F4.5	36"	4'-6"	4'-6"	-	(8) #5 EA WAY BOT
F5.0	12"	5'-0"	5'-0"	-	(6) #5 EA WAY BOT
F6.0	18"	6'-0"	6'-0"	-	#6 BARS AT 14" O.C. EA WAY BOT
F7.5	24"	7'-6"	7'-6"	-	(13) #5 EA WAY BOT
12.0	24"	9'-0"	9'-0"	-	(16) #5 EA WAY BOT
12.0	15"	10'-0"	10'-0"	-	(20) #5 EA WAY BOT
F14.0A	24"	10'-0"	14'-0"	-	#6 BARS AT 12" O.C. EA WAY BOT
WF4.0	20"	4'-0"	CONT	#6 BARS AT 8" O.C. TOP	#6 BARS AT 4" O.C. BOT
WF5.0	20"	5'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF5.5	20"	5'-6"	CONT	#6 BARS AT 9" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF6.0	22"	6'-0"	CONT	#6 BARS AT 10" O.C. TOP	#6 BARS AT 10" O.C. BOT
WF7.0	22"	7'-0"	CONT	#6 BARS AT 14" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF8.0	20"	8'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF9.0	20"	9'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT

CONCRETE COLUMN SCHEDULE

MARK	WIDTH/DIAMETER	DEPTH	VERTICAL REBAR	TIES	TYPE
CC120	12"	-	(6) #6 BARS	#3 AT 12" O.C.	E
CC16'0	16"	-	(12) #7 BARS	#3 AT 12" O.C.	E
CC1212	12"	12"	(4) #6 BARS	#3 AT 12" O.C.	A
CC2424	24"	24"	(20) #5 BARS	#3 AT 10" O.C.	A

CONCRETE WALL SCHEDULE

MARK	WIDTH	VERTICAL REINFORCING	HORIZONTAL REINFORCING	COMMENTS
CW8	8"	#6 AT 6" O.C. EA FACE	#4 AT 10" O.C. EA FACE	
CW8A	8"	#6 AT 4" O.C. EA FACE	#6 AT 18" O.C. EA FACE	
CW12	12"	#6 AT 18" O.C. EA FACE	#6 AT 16" O.C. EA FACE	
CW12A	12"	#6 AT 6" O.C. EA FACE	#4 AT 6" O.C. EA FACE	

FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

HARGER architects

P.O. Box 487
Jackson, Wyoming 83001
phone 307.690.9955

Civil Engineers &
Landscape Architects:

Y2 Consultants, Inc.

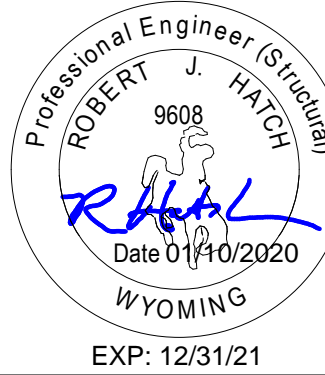
210 S. Simpson St.
Jackson, WY 83001
phone 307.733.2999

Structural, Mechanical,
Electrical & Plumbing
Engineers:

Engineering System
Solutions

4304 North 29th East, Suite A
Idaho Falls, ID 83401
phone 208.552.8874

3632 North Rancho Drive
Las Vegas, NV 89103
phone 702.616.3107



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Glenwood + Simpson Mixed Use Building
(Phase II of the Milward + Simpson PMD)

Lots 11 & 12, Block 2, 2nd Wort Addition
Jackson, Wyoming 83001

Date 01/10/2020

Revisions

MAIN LEVEL FRAMING PLAN

SCALE: 1/8" = 1'-0"

KEYNOTES

- S8 L6x6x1/2 COLLECTOR ELEMENTS.
- S10 PROVIDE #6 VERT BARS AT 4" O.C. EA FACE AND #6 HORIZ BARS AT 2" O.C. EA FACE HOOPS.
- S11 PROVIDE #6 VERT BARS AT 10" O.C. EA FACE AND #6 HORIZ BARS AT 4" O.C. EA FACE HOOPS.

FLOOR FRAMING PLAN NOTES

- WALLS:
- A. AT HIGH ROOF LOFT WALLS ATTACH 1/2" DENSECK SHEATHING TO METAL STUDS W/ #10 SCREWS AT 4" O.C. BOUNDARY NAILING AND 12" O.C. FIELD NAILING UNO.
- B. TYP STUD WALL FRAMING SHALL BE 600S200-54 STEEL STUDS AT 16" O.C. UNO.
- FRAMING:
- A. TYP ROOF DECKING SHALL BE 18 GA PLB-36 x 1 1/2" DEEP STEEL ROOF DECK. PROVIDE (3) SPAN MIN. UNO ON PLANS. ROOF DECK ATTACHMENT SHALL BE AS FOLLOWS UNO PER "TYPICAL STEEL DECK ATTACHMENT" DETAIL: 1/2" PUDDLE WELDS PER SHEET AT ENDS, END LAPS, AND INTERMEDIATE SUPPORTS AT DRAGLINES/COLLECTORS. 1/2" PUDDLE WELDS AT 6" O.C. AT PERIMETER SUPPORTS. EDGES OF OPENINGS PARALLEL W/ DECK NOTED ON PLANS, AND INTERMEDIATE SUPPORTS AND DRAGLINES/COLLECTORS. SIDE SEAM ATTACHMENT SHALL BE BUTT PUNCHES AT 12" O.C.
- B. TYP FLOOR SHALL BE 4" NORMAL WEIGHT CONC OVER PLW2 18 GA STEEL DECK. MAX SPAN SHALL NOT EXCEED 8'-0". REINF CONC W/ 6x6-W1.4xW1.4 WWF. FLR DECK ATTACHMENT SHALL BE AS FOLLOWS UNO PER "TYPICAL STEEL DECK ATTACHMENT" DETAIL: (6/5S30) 1/2" PUDDLE WELDS PER SHEET AT ENDS, END LAPS, AND INTERMEDIATE SUPPORTS AT DRAGLINES/COLLECTS. 1/2" PUDDLE WELDS AT 6" O.C. AT PERIMETER. EDGES OF OPENINGS PARALLEL W/ DECK NOTED ON PLAN, AND INTERMEDIATE SUPPORTS AND DRAGLINES/COLLECTORS. SIDE SEAM ATTACHMENT SHALL BE BUTT PUNCHES AT 12" O.C.

SITE PLANNING LEGEND

- Description
- DIRECTION OF TRAFFIC
- SITE FENCE
- FLOW OF TRAFFIC
- STEEL TRAILER
- FORM TRAILER
- CRANE BASE

- A. TYP DETAILS AND NOTES SHALL APPLY, THOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON THE PLANS.
- B. "RME" INDICATES ROOF MOUNTED EQUIPMENT. JOIST/TRUSS MFR SHALL DESIGN JOISTS/TRUSSES FOR WT AS INDICATED ON PLANS AND SHALL ADD ADDL 100# OR 15% OF UNIT WT FOR CURB ALLOWNCE. PROVIDE FRAMING BELOW RME PER "TYPICAL OPENING AT SUPPORT FOR RME" DETAIL AND AROUND OPENING PER TYP DETAIL. FRAMING NOT SHOWN ON PLAN FOR CLARITY.
- C. ADDL MECH OPENINGS IN DECK OR WALLS NOT SHOWN SHALL BE COORDINATED W THE ENGINEER PRIOR TO PENETRATING STRUCTURE.
- D. CONTRACTOR TO VERIFY ALL DIMS AND CONDITIONS PRIOR TO CONSTRUCTION. RESOLVE ANY DISCREPANCIES W/ ARCHITECTS.
- E. REFER TO NOTES ON ROOF FRAMING PLAN FOR ANY LOW ROOFS SHOWN ON THIS SHEET.

CONCRETE WALL SCHEDULE

MARK	WIDTH	VERTICAL REINFORCING	HORIZONTAL REINFORCING	COMMENTS
CW1	8"	#6 AT 6" O.C. EA FACE	#4 AT 10" O.C. EA FACE	
CW1A	8"	#6 AT 4" O.C. EA FACE	#6 AT 18" O.C. EA FACE	
CW2	12"	#6 AT 18" O.C. EA FACE	#6 AT 16" O.C. EA FACE	
CW2A	12"	#6 AT 6" O.C. EA FACE	#4 AT 6" O.C. EA FACE	

CONCRETE COLUMN SCHEDULE

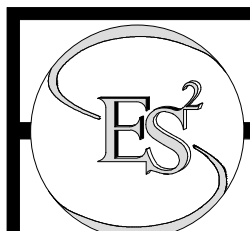
MARK	WIDTH/ DIAMETER	DEPTH	VERTICAL REBAR	TIES	TYPE
C10	12"	-	(6) #6 BARS	#3 AT 12" O.C.	E
C10A	16"	-	(12) #7 BARS	#3 AT 12" O.C.	E
C10B	12"	12"	(4) #6 BARS	#3 AT 12" O.C.	A
C10C	24"	24"	(20) #5 BARS	#3 AT 10" O.C.	A

FOOTING SCHEDULE

MARK	THICKNESS	WIDTH	LENGTH	TOP REINFORCING	BOTTOM REINFORCING
F10	36"	3'-6"	3'-6"	-	(6) #5 EA WAY BOT
F10A	12"	4'-0"	4'-0"	-	(4) #5 EA WAY BOT
F10B	36"	4'-6"	4'-6"	-	(6) #5 EA WAY BOT
F10C	12"	5'-0"	5'-0"	-	(6) #5 EA WAY BOT
F10D	18"	6'-0"	6'-0"	-	#6 BARS AT 14" O.C. EA WAY BOT
F10E	24"	7'-6"	7'-6"	-	(13) #5 EA WAY BOT
F10F	24"	9'-0"	9'-0"	-	(16) #5 EA WAY BOT
F10G	15"	10'-0"	10'-0"	-	(20) #5 EA WAY BOT
F10H	24"	10'-0"	12'-0"	-	#6 BARS AT 12" O.C. EA WAY BOT
F10I	24"	10'-0"	14'-0"	-	#6 BARS AT 12" O.C. EA WAY BOT
WF10	20"	4'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 4" O.C. BOT
WF5.0	20"	5'-0"	CONT	#6 BARS AT 9" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF5.5	20"	5'-6"	CONT	#6 BARS AT 9" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF6.0	22"	6'-0"	CONT	#6 BARS AT 10" O.C. TOP	#6 BARS AT 14" O.C. BOT
WF7.0	22"	7'-0"	CONT	#6 BARS AT 14" O.C. TOP	#6 BARS AT 14" O.C. BOT
WF8.0	20"	8'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF9.0	20"	9'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT

STEEL COLUMN SCHEDULE

MARK	COLUMN SIZE	BASE PLATE AND ANCHORAGE	TYPE
C8.6250	HSS8.625X10.500	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A
C44	HSS44X14	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A
C66	HSS66X38	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A
C88	HSS88X38	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A



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EXCEEDING EXPECTATIONS

JOB NUMBER: 19.1004-L18

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LAS VEGAS, NV 89130
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1677 EUREKA ROAD STE. #102
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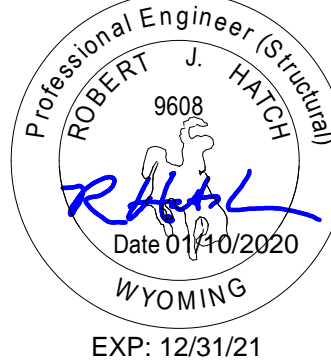
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Jackson, WY 83001
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Glenwood + Simpson Mixed Use Building
(Phase II of the Milward + Simpson PMD)

Lots 11 & 12, Block 2, 2nd Wort Addition
Jackson, Wyoming 83001

Date 01/10/2020

Revisions

S110

MAIN LEVEL
FRAMING PLAN

KEYNOTES

- S8 L6x6x1/2 COLLECTOR ELEMENTS.
- S10 PROVIDE #6 VERT BARS AT 4" O.C. EA FACE AND #6 HORIZ BARS AT 2" O.C. EA FACE HOOPS.
- S11 PROVIDE #6 VERT BARS AT 10" O.C. EA FACE AND #6 HORIZ BARS AT 4" O.C. EA FACE HOOPS.

FLOOR FRAMING PLAN NOTES

- WALLS:
- A. AT HIGH ROOF LOFT WALLS ATTACH 1/2" DENSDECK SHEATHING TO METAL STUDS W/ #10 SCREWS AT 4" O.C. BOUNDARY NAILING AND 12" O.C. FIELD NAILING UNO.
- B. TYP STUD WALL FRAMING SHALL BE 600S200-54 STEEL STUDS AT 16" O.C. UNO.
- FRAMING:
- A. TYP ROOF DECKING SHALL BE 18 GA PLB-36 x 1 1/2" DEEP STEEL ROOF DECK. PROVIDE (3) SPAN MIN. UNO ON PLANS. ROOF DECK ATTACHMENT SHALL BE AS FOLLOWS UNO PER "TYPICAL STEEL DECK ATTACHMENT" DETAIL: 1/2" PUDDLE WELDS PER SHEET AT ENDS, END LAPS, AND INTERMEDIATE SUPPORTS AT DRAGLINES/COLLECTORS. 1/2" PUDDLE WELDS AT 6" O.C. AT PERIMETER EDGES OF OPENINGS PARALLEL W/ DECK NOTED ON PLANS, AND INTERMEDIATE SUPPORTS AND DRAGLINES/COLLECTORS. SIDE SEAM ATTACHMENT SHALL BE BUTTON PUNCHES AT 12" O.C.
- B. TYP FLOOR SHALL BE 4" NORMAL WEIGHT CONC OVER PLW2 18 GA STEEL DECK. MAX SPAN SHALL NOT EXCEED 8'-0". REINF CONC W/ 6x6-W1.4xW1.4 WWF. FLR DECK ATTACHMENT SHALL BE AS FOLLOWS UNO PER "TYPICAL STEEL DECK ATTACHMENT" DETAIL: (6/5S30) 1/2" PUDDLE WELDS PER SHEET AT ENDS, END LAPS, AND INTERMEDIATE SUPPORTS AT DRAGLINES/COLLECTS. 1/2" PUDDLE WELDS AT 6" O.C. AT PERIMETER. EDGES OF OPENINGS PARALLEL W/ DECK NOTED ON PLAN, AND INTERMEDIATE SUPPORTS AND DRAGLINES/COLLECTORS. SIDE SEAM ATTACHMENT SHALL BE BUTTON PUNCHES AT 36" O.C.
- C. ALL LEDGERS AT CONCRETE WALLS SHALL BE C66 UNO. SEE "TYPICAL STEEL LEDGER AT MASONRY/CONCRETE WALL" DETAIL.

JOISTS:

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SITE PLANNING LEGEND

- Description
- DIRECTION OF TRAFFIC
- SITE FENCE
- FLOW OF TRAFFIC
- STEEL TRAILER
- CRANE BASE

CONCRETE WALL SCHEDULE

WIDTH	VERTICAL REINFORCING	HORIZONTAL REINFORCING	COMMENTS
8"	#6 AT 6" O.C. EA FACE	#4 AT 10" O.C. EA FACE	
8"	#6 AT 4" O.C. EA FACE	#6 AT 18" O.C. EA FACE	
12"	#6 AT 18" O.C. EA FACE	#6 AT 16" O.C. EA FACE	
12"	#6 AT 6" O.C. EA FACE	#4 AT 6" O.C. EA FACE	

CONCRETE COLUMN SCHEDULE

MARK	WIDTH/ DIAMETER	DEPTH	VERTICAL REBAR	TIES	TYPE
CC120	12"	-	(6) #6 BARS	#3 AT 12" O.C.	E
CC16"0	16"	-	(12) #7 BARS	#3 AT 12" O.C.	E
CC1212	12"	12"	(4) #6 BARS	#3 AT 12" O.C.	A
CC2424	24"	24"	(20) #5 BARS	#3 AT 10" O.C.	A

FOOTING SCHEDULE

MARK	THICKNESS	WIDTH	LENGTH	TOP REINFORCING	BOTTOM REINFORCING
F3.5	36"	3'-6"	3'-6"	-	(6) #5 EA WAY BOT
F4.0	12"	4'-0"	4'-0"	-	(4) #5 EA WAY BOT
F4.5	36"	4'-6"	4'-6"	-	(6) #5 EA WAY BOT
F5.0	12"	5'-0"	5'-0"	-	(6) #5 EA WAY BOT
F6.0	18"	6'-0"	6'-0"	-	#6 BARS AT 14" O.C. EA WAY BOT
F7.5	24"	7'-6"	7'-6"	-	(13) #5 EA WAY BOT
F9.0	24"	9'-0"	9'-0"	-	(16) #5 EA WAY BOT
F10.0	15"	10'-0"	10'-0"	-	(20) #5 EA WAY BOT
F12.0	24"	10'-0"	12'-0"	-	#6 BARS AT 12" O.C. EA WAY BOT
F14.0A	24"	10'-0"	14'-0"	-	#6 BARS AT 12" O.C. EA WAY BOT
WF4.0	20"	4'-0"	CONT	#6 BARS AT 8" O.C. TOP	#6 BARS AT 4" O.C. BOT
WF5.0	20"	5'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF5.5	20"	5'-6"	CONT	#6 BARS AT 9" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF6.0	22"	6'-0"	CONT	#6 BARS AT 10" O.C. TOP	#6 BARS AT 10" O.C. BOT
WF7.0	22"	7'-0"	CONT	#6 BARS AT 14" O.C. TOP	#6 BARS AT 14" O.C. BOT
WF8.0	20"	8'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT
WF9.0	20"	9'-0"	CONT	#6 BARS AT 12" O.C. TOP	#6 BARS AT 12" O.C. BOT

STEEL COLUMN SCHEDULE

MARK	COLUMN SIZE	BASE PLATE AND ANCHORAGE	TYPE
C8.6250	HSS8.625X10.500	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A
C44	HSS44X14	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A
C66	HSS66X38	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A
C88	HSS88X38	1"x12" SQ BASE PL W (4) 3/4"x12" EMBED	A



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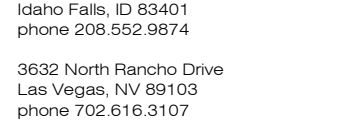
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PROFESSIONAL ENGINEER (STRUCTURAL)
ROBERT J. HATCH
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Date 01/10/2020
WYOMING
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