



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: February 20, 2020

Item #: P20-029

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Fax: 734-3563

Email: tvalentine@jacksonwy.gov

Owner:

Base Camp, LLC
2120 Carey Ave.
Cheyenne, WY

Applicant:

Long Reimer Winegar, LLP – Erika
Nash
PO Box 3070
Jackson, WY 83001

REQUESTS:

The applicant is submitting a request for a Grading Pre-Application for the property located at 640-650 S. Glenwood Street legally known as, LOT 4, 5, 6 & 7 BLK. 4 Karns 2nd Addition, Plat 128.

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

Please respond by: **N/A**

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

Fees Paid _____

For Office Use Only

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: South Glenwood Apartments

Physical Address: 640-650 S. Glenwood, Jackson 83001

Lot, Subdivision: Lot 4,5,6 & 7 BLK. 4 Karns 2nd Addition, Plat 128

PIDN: 22-41-16-33-1-38-006/011

PROPERTY OWNER.

Name: Base Camp, LLC Phone: 307.734.1908

Mailing Address: 2120 Carey Ave, Cheyenne, WY ZIP: 83001

E-mail: plockitt@cohenandassociates.com

APPLICANT/AGENT.

Name, Agency: Erika M. Nash, Long Reimer Winegar LLP Phone: 307.734.1908

Mailing Address: PO Box 3070 Jackson, WY ZIP: 83001

E-mail: enash@lrw-law.com

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types:

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide one electronic copy (tstolte@jacksonwy.gov).

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees. \$150.00
 Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 NA Intended development options or subdivision proposal (if applicable)
 NA Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 NA Proposed parcel or lot lines (if applicable)
 NA Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Erin M. Nash 2-18-20
Signature of Owner or Authorized Applicant/Agent Date

Erin M. Nash
Name Printed Title

LETTER OF AUTHORIZATION

Basecamp, LLC _____, "Owner" whose address is: P.O. Box 87
Cheyenne, WY 82001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)
Base Camp, LLC , as the owner of property
more specifically legally described as: See Exhibit A

(If too lengthy, attach description)

HEREBY AUTHORIZES Erika M. Nash _____ as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Special Limited Manager Agent
(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming)
COUNTY OF Teton)SS.

The foregoing instrument was acknowledged before me by Erica M. Nash this 18th day of February, 2020.

RECORDED, INDEXED, FILED
WITNESS my hand and official seal.

Marisa N. Watsabayang
(Notary Public)

Notary Public

(Notary Publics)

(Seal)

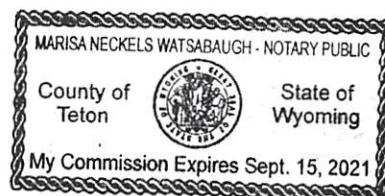


EXHIBIT "A"
LEGAL DESCRIPTION

The land described herein is situated in the State of Wyoming, County of Teton, City of Jackson, described as follows:

AS TO PARCEL 1:

Lot 4 of Block 4 of the Second Karns Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on March 13, 1939 as Plat No. 128.

AS TO PARCEL 2:

Lots 5, 6, and 7 of Block 4 of the Second Karns Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on March 13, 1939 as Plat No. 128.

PIDN: 22-41-16-33-1-38-006, 22-41-16-33-1-38-011

South Glenwood Apartments

Project Narrative

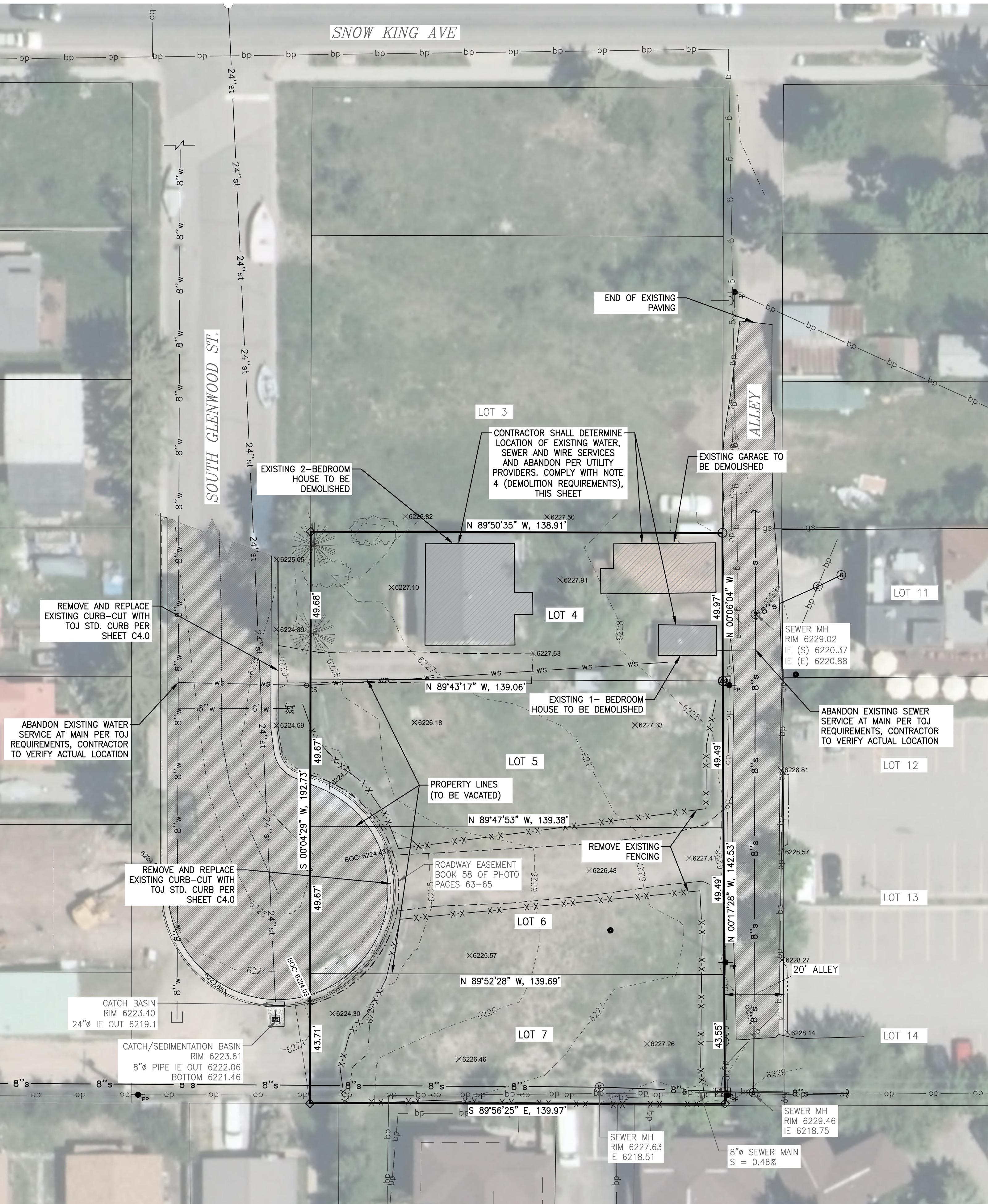
Existing Site

The existing site consists of Lots 4, 5, 6 and 7 of BLK. 4, Karns 2nd Addition and addressed at 640 and 650 South Glenwood Street. Each lot is roughly 40-ft by 150 ft (6,000 sf). Access to the lots is from South Glenwood St. to the west and the gravel alley to the east. Existing utilities include an 8-inch dia. water main in South Glenwood, gas in the east alley, stormwater drain at the southern end of the South Glenwood cul-de-sac, and 8-inch dia. sewer main and wire utilities (power CATV, phone, internet, etc.) located on the south lot boundary of Lot 7. Lot 4 (northernmost lot) has an existing residence to be removed as a result of this development. The existing site is most accurately described on drawings C1.0, "Existing Site & Demo Plan."

Proposed Project

The South Glenwood Apartments (SGA) project includes a proposal for one building, three-stories in height, comprised of 20 (total) rental apartments constructed at addresses 640 and 650 South Glenwood Street. The Owner will maintain leases on all units to be used for long-term workforce housing. Unit types include 4 studios of 400 sf, 2 one-bedrooms of 575 sf, 11 two-bedrooms of 725-800 sf, and 3 three bedrooms of 975-1125 sf. Parking will be provided at grade within garages and the proposed parking lot. Spaces are included for 32 cars; 29 intended for residents and 3 for visitors.

Excerpted from "Final Development Plan: Engineer's Design Report," pages 4 & 5, by Nelson Engineering (originally issued 03/13/19). Additional information is available upon request.



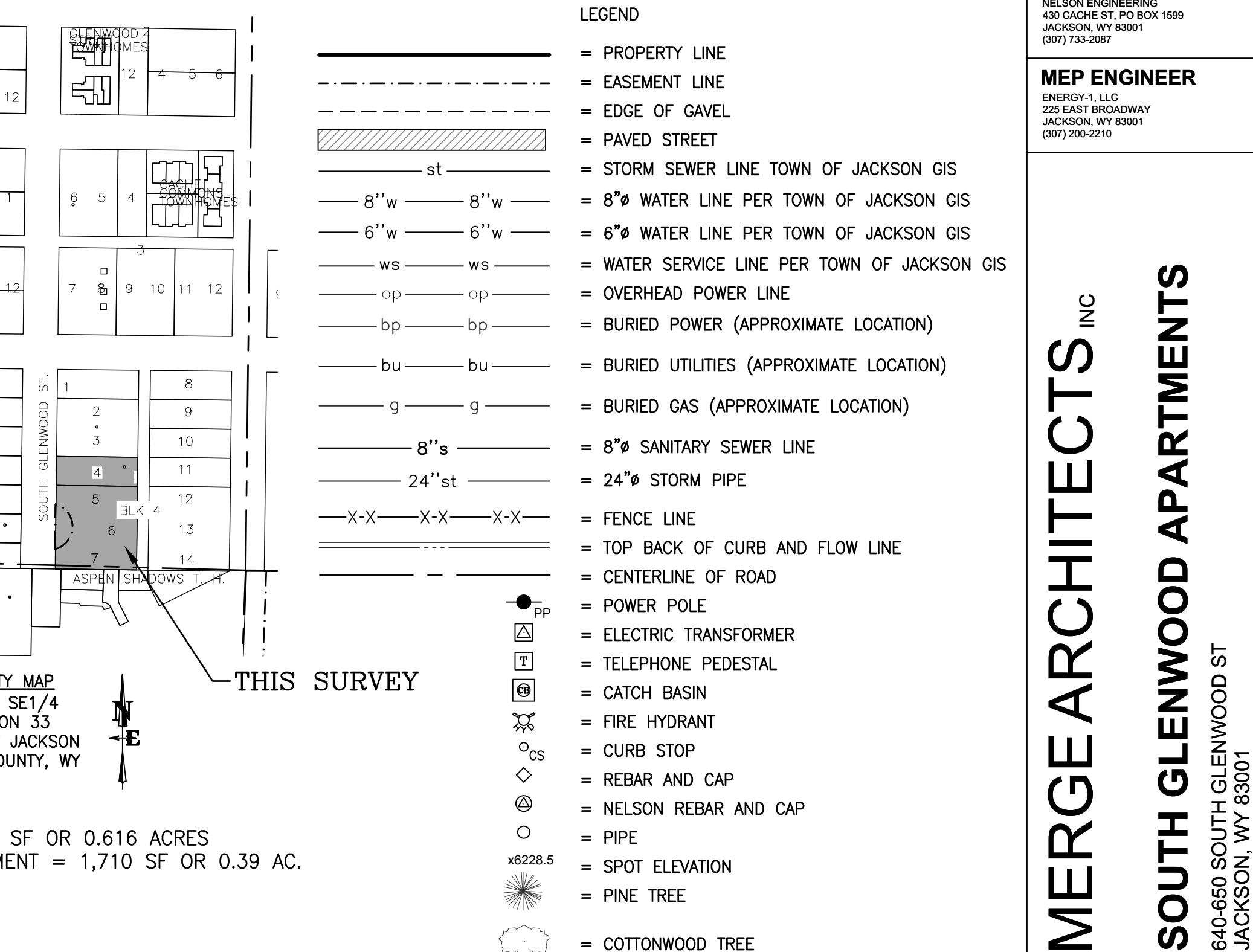
EXISTING SITE & DEMO PLAN

SCALE: 1" = 20' (24X36)



CIVIL DRAWING INDEX

DWG NO.	DESCRIPTION
C1.0	EXISTING SITE & DEMO PLAN
C1.1	FINAL SITE PLAN
C2.0	CONSTRUCTION STAGING & PHASING PLAN
C3.0	UTILITY PLAN
C3.1	WATER SERVICE PLAN AND PROFILE
C3.2	SEWER SERVICE PLAN AND PROFILE
C3.3	UTILITY DETAILS
C3.4	UTILITY DETAILS
C3.5	UTILITY DETAILS
C3.6	UTILITY DETAILS
C4.0	GRADING PLAN
C4.1	GRADING DETAILS
C4.2	GRADING DETAILS
C5.0	SIGN & STRIPING PLAN



LOTS 4-7 = 26,846 SF OR 0.616 ACRES
RIGHT OF WAY EASEMENT = 1,710 SF OR 0.39 AC.

DEMOLITION REQUIREMENTS:

1. COMPLY WITH THE GENERAL CONSTRUCTION NOTES ON SHEET C1.1.
2. CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE TOWN OF JACKSON FOR WORK COMPLETED IN THE PUBLIC RIGHT-OF-WAY.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR DISCONNECTION OF SERVICES PRIOR TO DEMOLITION.
4. ACTUAL LOCATION OF SEWER, WATER AND WIRE UTILITIES TO BUILDINGS ARE UNKNOWN. CONTRACTOR SHALL CONTACT LOCAL UTILITY PROVIDERS FOR LOCATES, OR USE LOCATING METHODS INCLUDING, BUT NOT LIMITED TO, UTILIZING LOCATING DEVICES (MAGNETIC OR PIPE/CABLE LOCATOR WITH SIGNAL TRANSMITTER TECHNOLOGY), POT-HOLING AND CAMERA INSPECTION. EXISTING WATER AND SEWER SERVICES SHALL BE ABANDONED AT THE MAIN AND INSPECTED AND APPROVED BY TOWN OFFICIALS PRIOR TO BACKFILL. WIRE UTILITIES SHALL BE ABANDONED PER UTILITY PROVIDER REQUIREMENTS.

MERGE ARCHITECTS INC
SOUTH GLENWOOD APARTMENTS
640-650 SOUTH GLENWOOD ST
JACKSON, WY 83001

REGISTRATION

CLIENT
BASE CAMP LLC/C/O COHEN & ASSOCIATES LLC
49 RICHMONDVILLE AVE, SUITE 105
WESTPORT, CT 06880
(203) 227-2390

ARCHITECT
MERGE ARCHITECTS, INC.
332 CONGRESS ST, FLOOR 6
BOSTON, MA 02210
(617) 874-0488

LANDSCAPE ARCHITECT
AGROSTIS, INC.
1130 MAPLE WAY, SUITE 2C
PO BOX 3074 JACKSON, WY 83001
(307) 433-1883

CIVIL/STRUCTURAL ENGINEER
NELSON ENGINEERING
430 CACHE ST, PO BOX 1599
JACKSON, WY 83001
(307) 433-0487

MEP ENGINEER
ENERGY-1, LLC
225 EAST BROADWAY
JACKSON, WY 83001
(307) 259-2210

12/19/19 DD SET
1/24/20 PRE-APPLICATION SET

THE CONTRACTOR IS RESPONSIBLE
FOR MATERIALS, DETAILS AND
ACCURACY, FOR ALL QUANTITIES AND
DIMENSIONS, FOR SELECTING
FABRICATION PROCESSES, FOR
TECHNIQUES OF ASSEMBLY, FOR
PERFORMING WORK IN A SAFE MANNER,
AND FOR COORDINATING WORK WITH
THAT OF ALL TRADES

JOB NO.: 17261

SCALE: AS INDICATED

DATE: 12/19/19

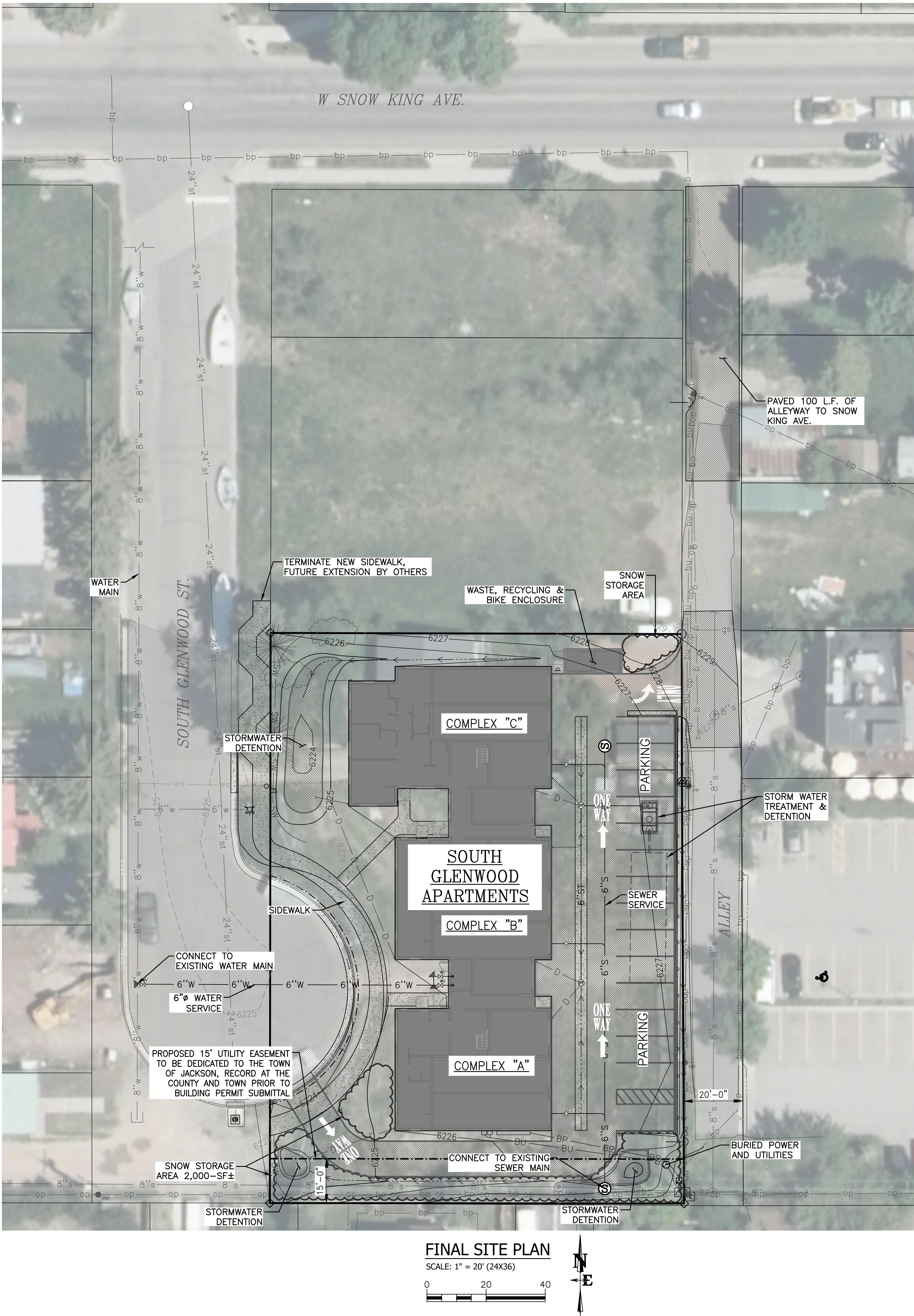
DRAWING TITLE
EXISTING SITE
& DEMOLITION PLAN

SHEET NO.

1-24-19 - GEC PRE-APP. SET
NOT FOR CONSTRUCTION

**NELSON
ENGINEERING** since 1964
Professional Engineers & Land Surveyors
www.NELSONENGINEERING.NET
PO Box 1599 | 430 South Cache St | Jackson, WY 83001
Jackson 307.733.2087 | Buffalo 307.684.7029

C1.0



GENERAL CONSTRUCTION NOTES:

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

1. ENCROACHMENT PERMIT MUST BE SUBMITTED TO TOWN OF JACKSON PRIOR TO ANY WORK IN PUBLIC (TOWN) STREET RIGHT-OF-WAYS.

2. ALL BEDDING AND BACKFILL WITHIN THE TOWN OF JACKSON RIGHT-OF-WAY MUST MEET TO SPECIFICATIONS AND STANDARD DETAILS, COMPACTION OF BACKFILL SHALL BE COMPLETED WITH A BACKHOE MOUNTED HOE PACK, OR JUMPING JACK COMPACTOR.

3. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE APPROVED CONSTRUCTION MANAGEMENT PLAN, BUILDING PERMIT, AND DEMOLITION AND ENCROACHMENT PERMITS ISSUED BY THE TOWN OF JACKSON.

4. INSTALL CONSTRUCTION FENCING IN ORDER TO CONFINE WORK WITHIN AFFECTED LOTS. COMPLY WITH SHEET C2.0.

5. THERE ARE SEVERAL OVERHEAD POWER LINES ONSITE. CONTRACTOR SHALL PROVIDE A SPOTTER WHEN COMPLETING WORK BENEATH OR NEAR POWER LINES AND MAINTAIN 10-FT (MINIMUM) VERTICAL CLEARANCE FROM OVERHEAD TRANSMISSION PHASES AND WORKING EQUIPMENT.

LEGEND
(DESIGN)

- 6225 INDEX CONTOUR
- 6226 MINOR CONTOUR
- 6" W 6" Ø DIP WATER SERVICE (FIRE)
- 4" W 4" Ø DIP WATER SERVICE (DOMESTIC)
- 6" S 6" Ø SEWER
- 4" S 4" Ø SEWER SERVICE
- 8" ST 8" Ø STORM SEWER
- 4" ST 4" Ø STORM SEWER
- BU BU BURIED UTILITIES
- BP BP BURIED POWER
- LD LD LIMITS OF DISTURBANCE
- ↔ FLOWLINE DITCH/SWALE
- SF SF SILT FENCE
- SW SW STRAW WATTLE
- REPLACEMENT CONCRETE/ASPHALT PAVEMENT
- WATER VALVE
- CURB STOP
- SEWER MANHOLE
- CLEANOUT
- STORM SEWER MANHOLE
- POWER TRANSFORMER
- XEG 28₃₃ EXISTING GRADE ELEVATION
- X28₃₁ FINISH GRADE ELEVATION
- XBOC 28₃₃ BACK OF CURB ELEVATION
- XHP 28₃₃ HIGH POINT ELEVATION

REGISTRATION

CLIENT
BASE CAMP LLC C/O COHEN & ASSOCIATES LLC
49 RICHMONDVILLE AVE, SUITE 105
WESTPORT, CT 06880
(203) 227-2390

ARCHITECT
MERGE ARCHITECTS, INC.
332 CONGRESS ST, FLOOR 6
BOSTON, MA 02210
(617) 874-0385

LANDSCAPE ARCHITECT
AGROSTIS, INC.
1130 MAPLE WAY, SUITE 2C
PO BOX 30747 JACKSON, WY 83001
(307) 433-1983

CIVIL/STRUCTURAL ENGINEER
NELSON ENGINEERING
430 CACHE ST, PO BOX 1599
JACKSON, WY 83001
(307) 252-2487

MEP ENGINEER
ENERGY-1 LLC
225 EAST BROADWAY
JACKSON, WY 83001
(307) 250-2210

MERGE ARCHITECTS INC

SOUTH GLENWOOD APARTMENTS

640-650 SOUTH GLENWOOD ST
JACKSON, WY 83001

12/19/19 DD SET

1/24/20 PRE-APPLICATION SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 17261

SCALE: AS INDICATED

DATE: 12/19/19

DRAWING TITLE

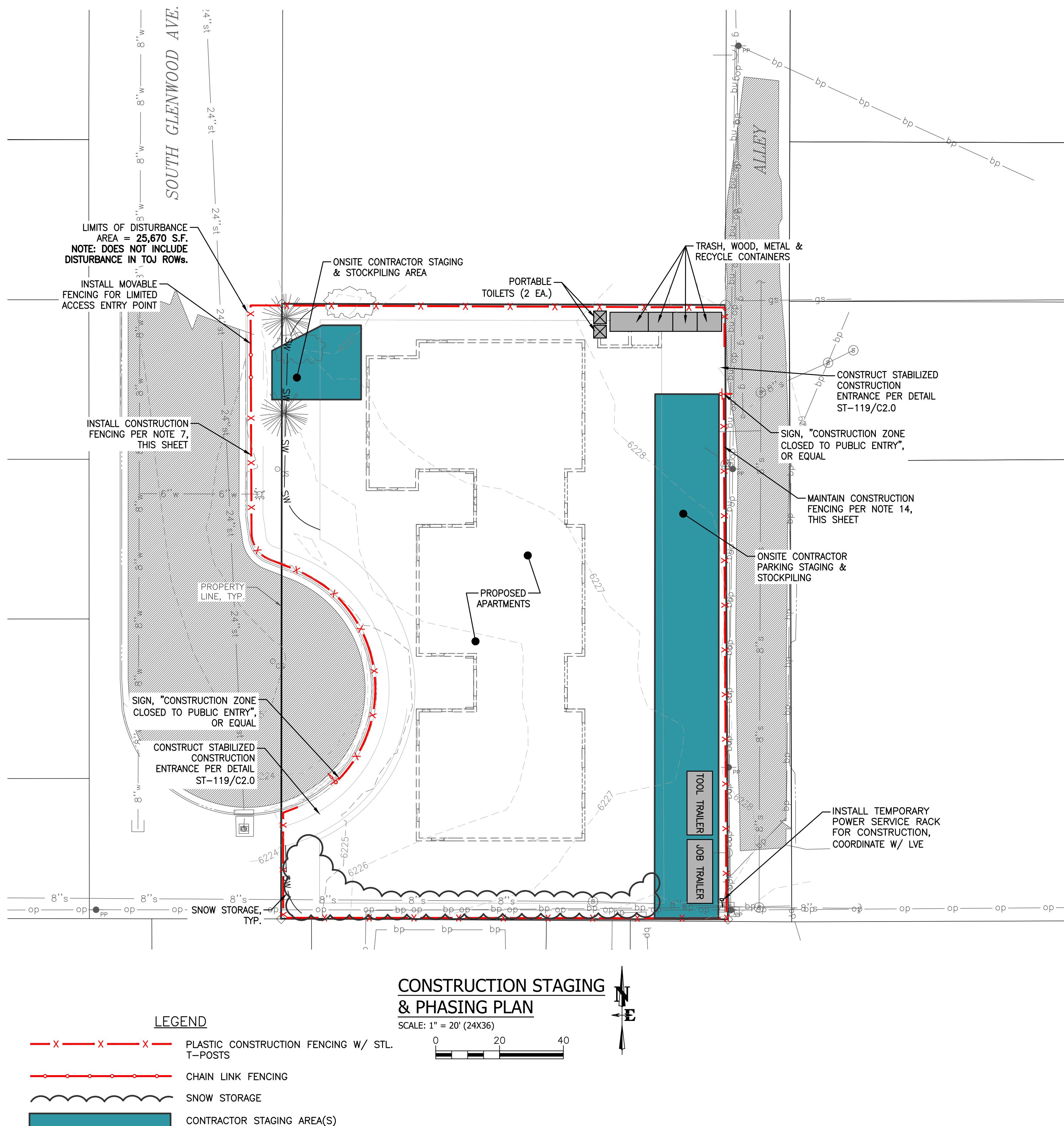
FINAL SITE PLAN

SHEET NO.

1-24-19 - GEC PRE-APP. SET
NOT FOR CONSTRUCTION

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C1.1

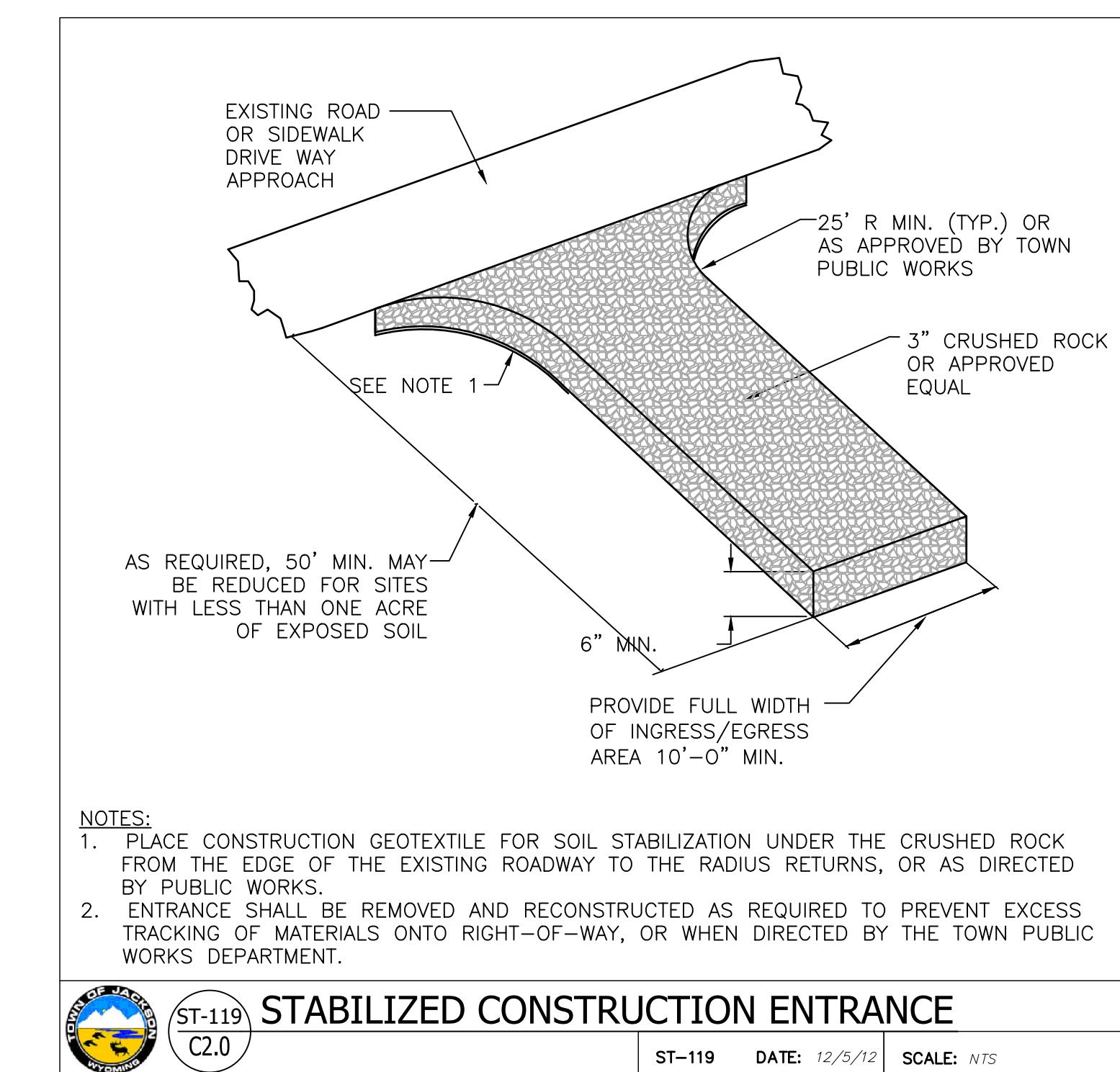


CONSTRUCTION MANAGEMENT NOTES

1. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE APPROVED CONSTRUCTION MANAGEMENT PLAN, AND DEMOLITION AND ENCROACHMENT PERMITS ISSUED BY THE TOWN OF JACKSON.
2. PRIOR TO ISSUANCE OF DEMOLITION OR ENCROACHMENT (ROW) PERMITS FOR THIS PROJECT, THE CONTRACTOR IS REQUIRED TO CONTACT ALL ADJACENT PROPERTY OWNERS AND BUSINESSES ADJACENT TO NOTIFY THEM OF THE PROJECT AND OBTAIN CONTACT INFORMATION TO ALLOW FOR FUTURE COMMUNICATIONS REGARDING THE PROJECT AND CONSTRUCTION ACTIVITY IN THE AREA.
3. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL BOND ALL WORK W/ THE TOWN OF JACKSON.
4. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH TOJ.
5. ENCROACHMENT PERMIT APPLICATION MUST BE SUBMITTED TO TOWN OF JACKSON FOR ANY WORK TAKING PLACE WITHIN TOJ STREET RIGHT-OF-WAYS (ROW). WORK WITHIN THE ROW SHALL NOT COMMENCE UNTIL A PERMIT HAS BEEN ISSUED BY THE TOWN. WORK IN THE ROW IS LIMITED TO APRIL 15TH THROUGH OCTOBER 15TH, 7AM TO 7PM. COORDINATE SAFETY, FENCING, SIGNAGE AND BARRICADE REQUIREMENTS WITH TOJ PRIOR TO CONSTRUCTION W/IN STREET ROWs.
6. CONSTRUCTION WORKER PARKING: PARKING SHALL BE PROVIDED WITHIN CONTRACTOR STAGING AREAS.
7. INSTALL PLASTIC CONSTRUCTION FENCING AS INDICATED IN PLAN.
 - c. CONSTRUCTION FENCING, SHOWN IN **RED**, SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT THE PUBLIC FROM CONSTRUCTION OPERATIONS.
 - d. WHERE REQUIRED, CONTRACTOR SHALL MOVE FENCING AND BARRICADES OUTSIDE THE PROPERTY BOUNDARY TO PROTECT THE PUBLIC DURING STREET AND UTILITY IMPROVEMENTS.
 - e. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING SNOW CLEAR FROM THE CONSTRUCTION FENCE ALONG GLENWOOD ST. AND THE ADJACENT ALLEY.
 - f. FENCING SHALL NOT PROTRUDE INTO SIDEWALKS WHERE IT CAN POSE A TRIPPING HAZARD OR IMPEDE SNOW REMOVAL OPERATIONS.
9. COMPLETE DUST CONTROL VIA. WATERING STOCKPILES AND OPEN GRAVEL AREAS.
10. CONTRACTOR SHALL PREVENT TRACKING OF SOIL ONTO PUBLIC ROADS. ROADWAYS SHALL BE MONITORED AND CLEANED BY THE CONTRACTOR WHEN NECESSARY.
11. TRASH & RECYCLING CONTAINERS: CONTRACTOR SHALL PROVIDE TRASH AND RECYCLING CONTAINERS FOR SEPARATION OF WASTES.
 - a. CONTAINERS SHALL PROVIDE COVERS TO PREVENT ANIMAL ENTRY.
 - b. CONTRACTOR SHALL SCHEDULE REGULAR TRASH AND RECYCLING REMOVAL. OVERFLOW OF CONTAINERS WILL NOT BE ALLOWED.
12. CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING FIRE HYDRANTS INCLUDING PROVIDING A MINIMUM CLEARANCE DISTANCES, AS WELL AS, PROVIDING SNOW REMOVAL. NOTIFY THE FIRE DEPT. OF ANY HYDRANTS SHIELDED BY CONSTRUCTION AND PROVIDE HYDRANT LOCATION SIGNAGE.
13. COMPLY WITH THE FOLLOWING REGARDING CONSTRUCTION TRAFFIC:
 - a. LOADING AND OFFLOADING OF MATERIALS SHALL TAKE PLACE W/IN CONTRACTOR STAGING AREAS SHOWN IN PLAN, OR OTHERWISE COORDINATED WITH THE TOWN WHEN TAKING PLACE W/IN PUBLIC ROWs AND ALLEYS. .
 - b. CONTRACTOR SHALL NOTIFY NEIGHBORING PROPERTY OWNERS AND BUSINESSES AFFECTED BY CONSTRUCTION TRAFFIC.
14. COORDINATE TEMPORARY UTILITY REQUIREMENTS (POWER, WATER, SEWER, ETC.) FOR CONSTRUCTION WITH UTILITY PROVIDERS.
15. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS, STOCKPILED OR HAULED OFFSITE.
16. CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES PRIOR TO CONSTRUCTION AND MAINTAIN THEM THROUGHOUT. MITIGATE OFFSITE MIGRATION OF STORM WATER AND SEDIMENT TO ADJACENT PROPERTIES BY CONSTRUCTION OF TEMPORARY DETENTION BASINS AND INSTALLING SILT FENCE. OR STRAW WATTLES.

PRELIMINARY
CONSTRUCTION SCHEDULE

PROJECT MILESTONES	
No:	MILESTONES:
1	START CONSTRUCTION
2	PROJECT COMPLETION



1-24-19 - GEC PRE-APP. SET NOT FOR CONSTRUCTION

REGISTRATION

CLIENT

BASE CAMP LLC C/O COHEN & ASSOCIATES LLC
49 RICHMONDVILLE AVE, SUITE 105
WESTPORT, CT 06880
(203) 227-2390

ARCHITECT

MERGE ARCHITECTS, INC.
332 CONGRESS ST, FLOOR 6
BOSTON, MA 02210

LANDSCAPE ARCHITECT
AGROSTIS, INC.
1130 MAPLE WAY, SUITE 2C
PO BOX 3074 / JACKSON, WY 83001
(307) 413-1883

CIVIL/STRUCTURAL ENGINEER
NELSON ENGINEERING
430 CACHE ST, PO BOX 1599
JACKSON, WY 83001
(307) 733-2087

MEP ENGINEER
ENERGY-1, LLC
225 EAST BROADWAY
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MERGE ARCHITECTS INC

SOUTH GLENWOOD APARTMENTS

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JOB NO.	17261
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SCAL E: **AS INDICATED**

DATE: 12/19/19

DRAWING TITLE

CONSTRUCTION

PHASING & PHASING P

SHEET NO.

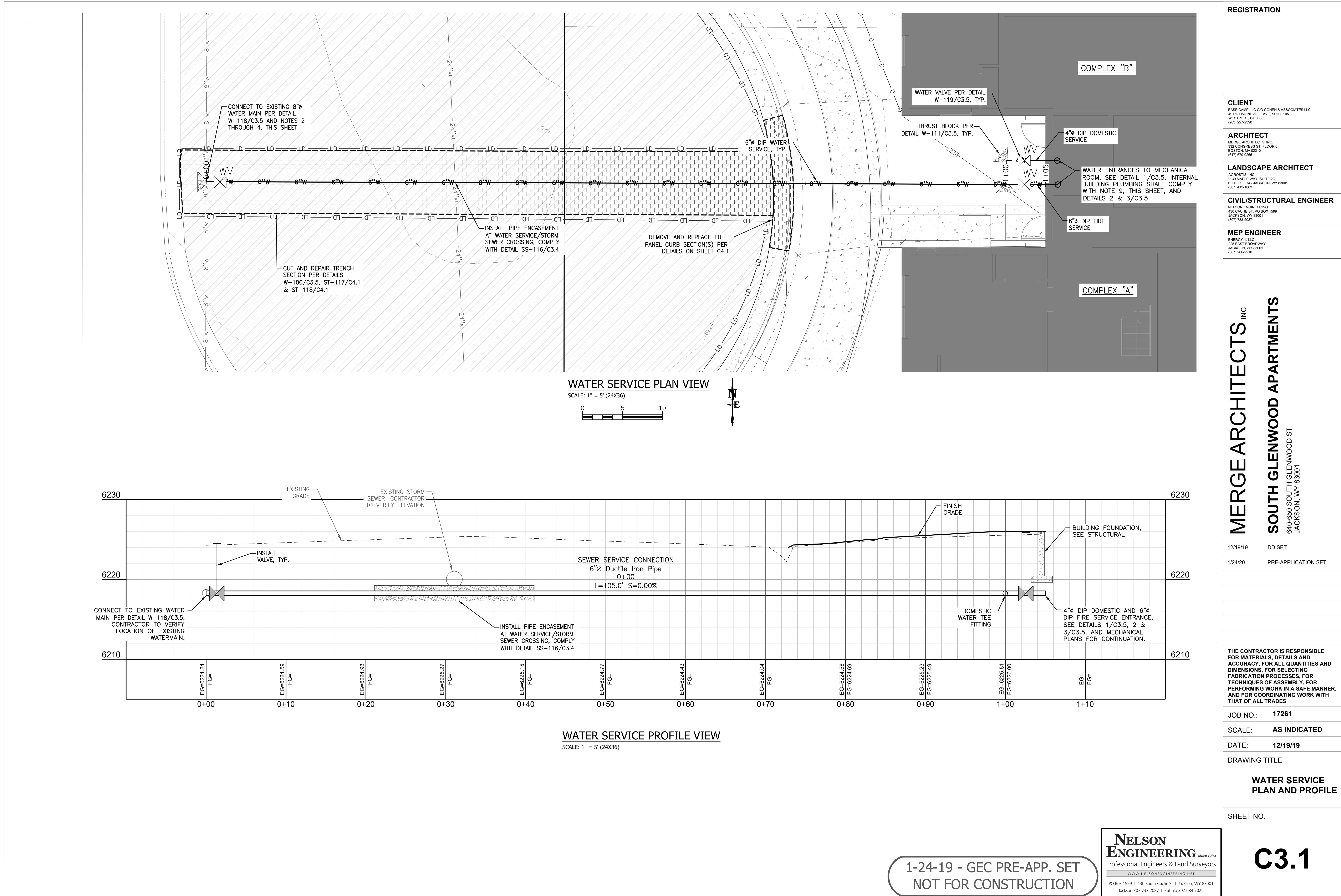
NELSON ENGINEERING since 1964

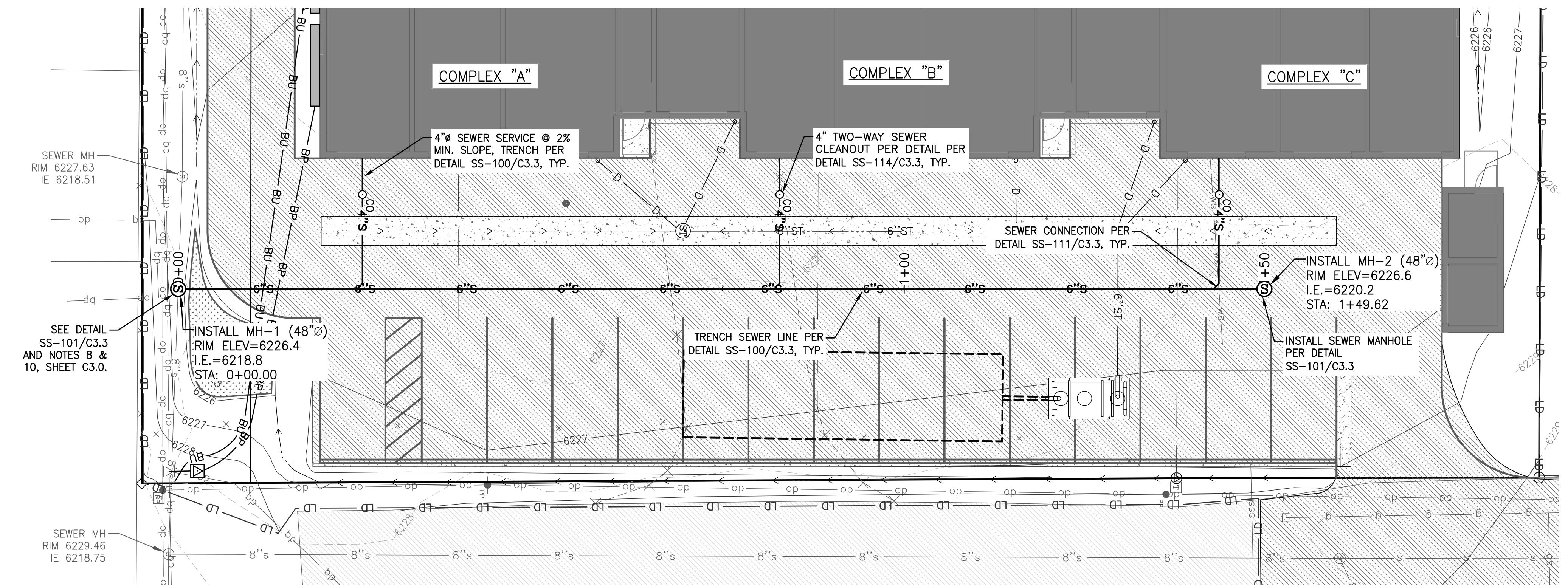
Professional Engineers & Land Surveyors

WWW.NELSONENGINEERING.NET

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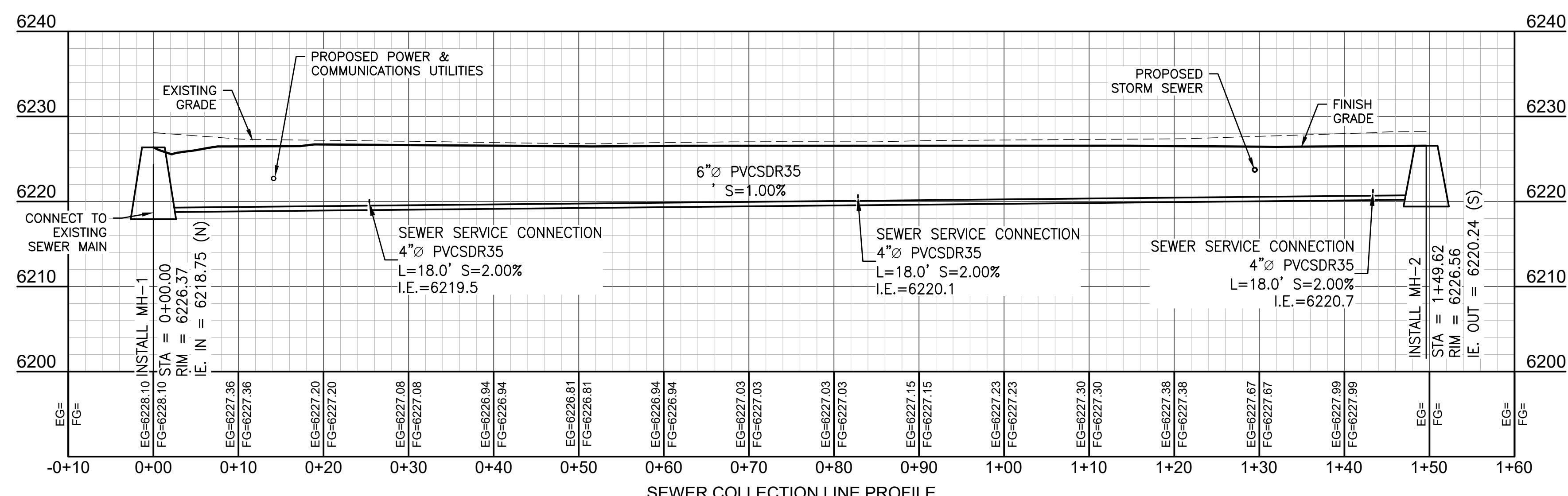
C2.0





SEWER SERVICE PLAN VIEW

SCALE: 1" = 10' (24X36)



SEWER SERVICE PROFILE VIEW

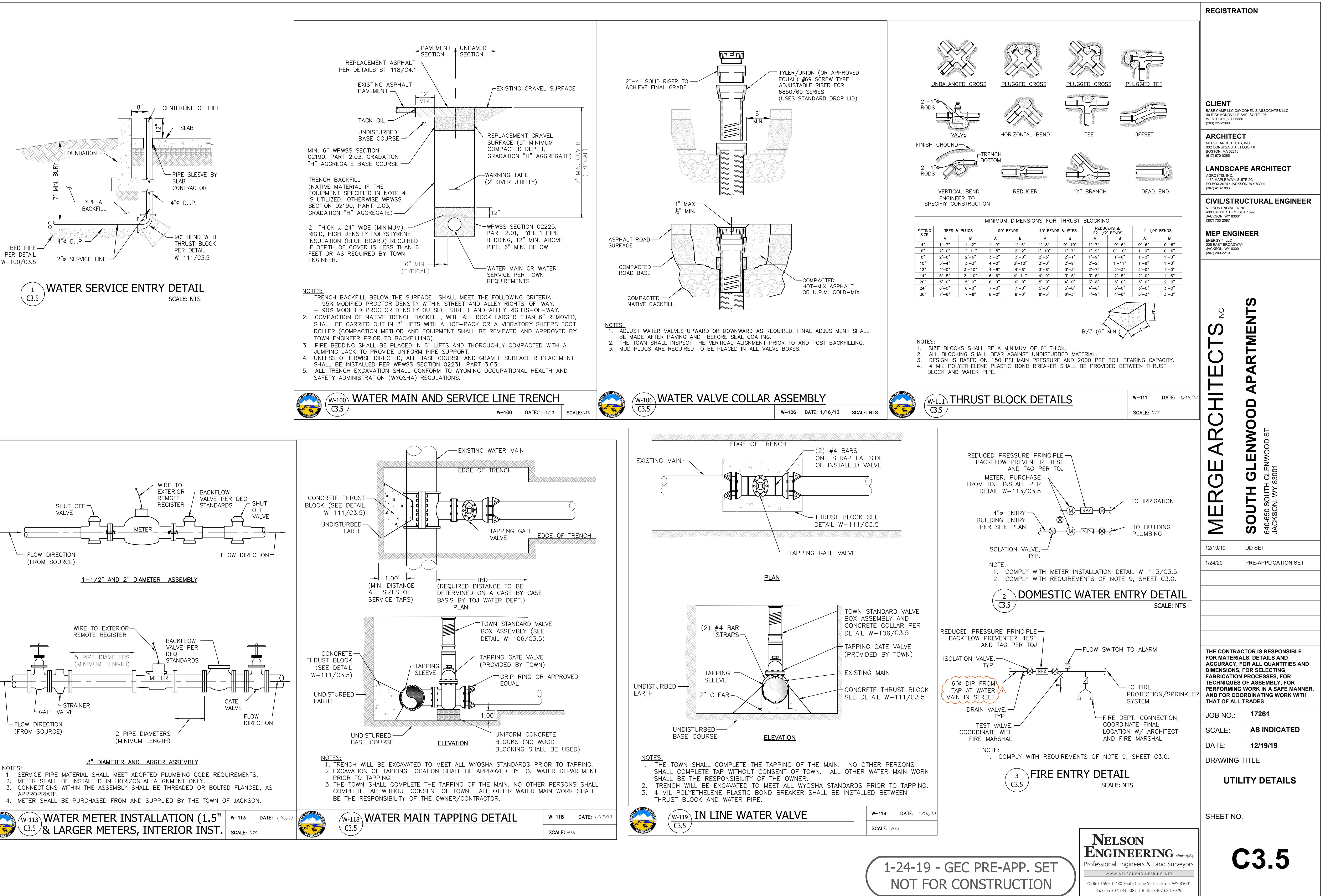
SCALE: 1" = 5' (24X36)

REGISTRATION	
CLIENT	BASE CAMP LLC C/O COHEN & ASSOCIATES LLC 49 RICHMOND ST, SUITE 105 WESTPORT, CT 06880 (203) 227-2390
ARCHITECT	MERGE ARCHITECTS, INC. 332 CONGRESS ST, FLOOR 6 BOSTON, MA 02210 (617) 874-0385
LANDSCAPE ARCHITECT	AGROSTIS, INC. 1130 MAPLE WAY, SUITE 2C PO BOX 30747 JACKSON, WY 83001 (307) 433-1883
CIVIL/STRUCTURAL ENGINEER	NELSON ENGINEERING 430 CACHE ST, PO BOX 1599 JACKSON, WY 83001 (307) 234-2487
MEP ENGINEER	ENERGY-1 LLC 225 EAST BROADWAY JACKSON, WY 83001 (307) 234-2210
MERGE ARCHITECTS INC	
SOUTH GLENWOOD APARTMENTS	
640-650 SOUTH GLENWOOD ST JACKSON, WY 83001	
12/19/19	DD SET
1/24/20	PRE-APPLICATION SET
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES	
JOB NO.:	17261
SCALE:	AS INDICATED
DATE:	12/19/19
DRAWING TITLE	
SEWER SERVICE PLAN AND PROFILE	
SHEET NO.	

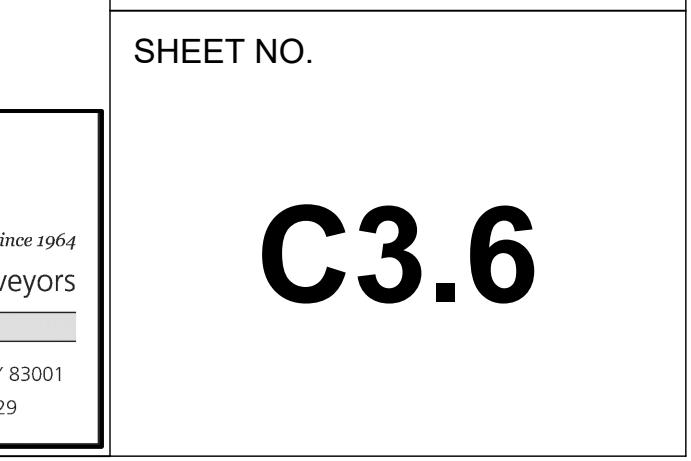
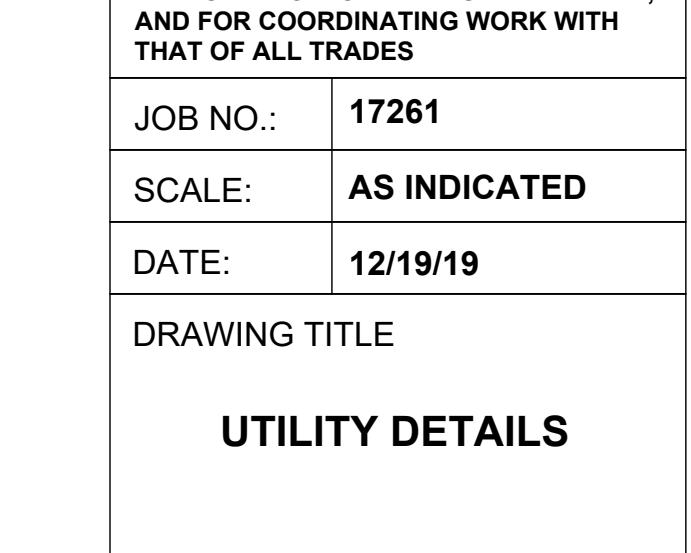
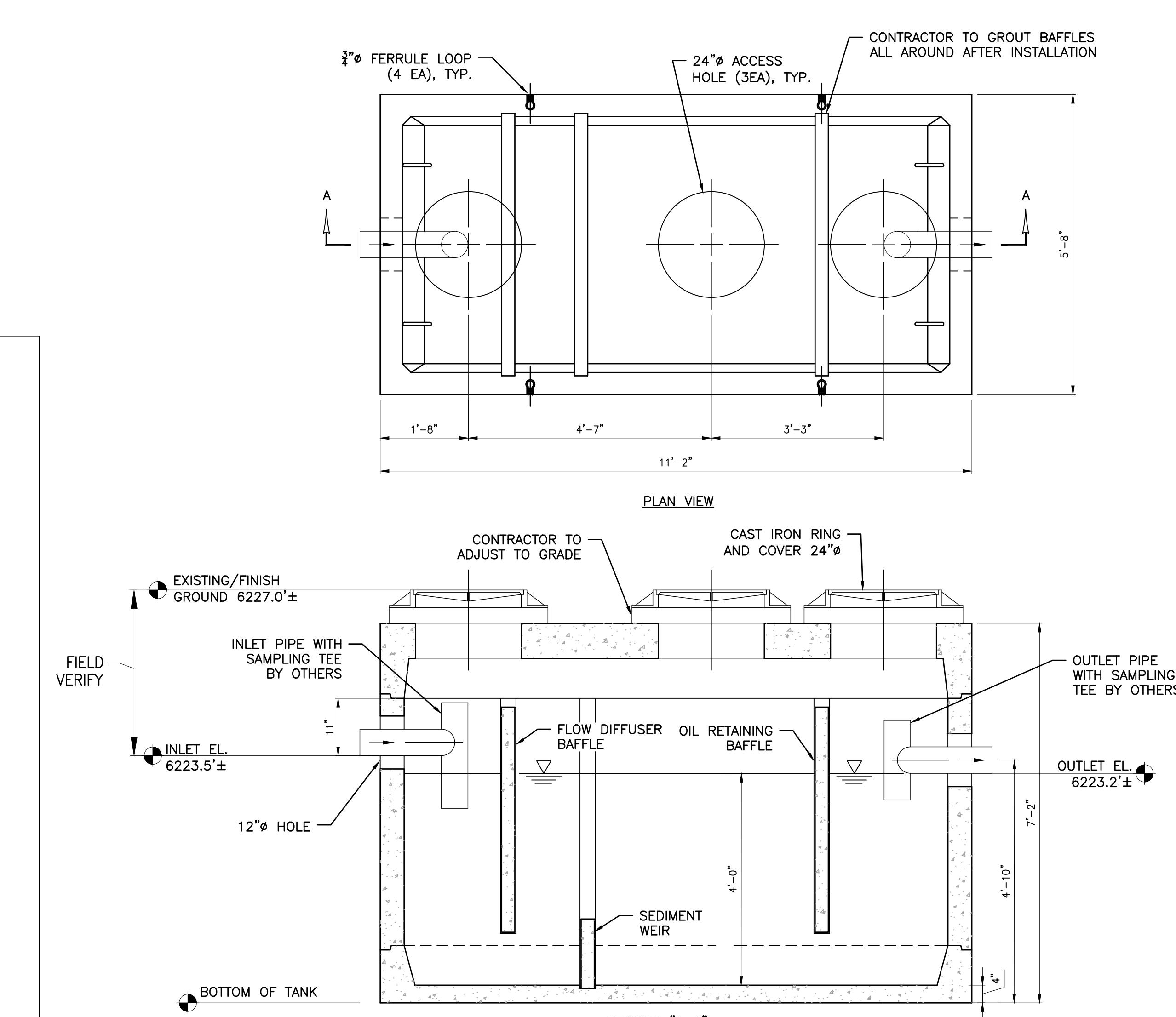
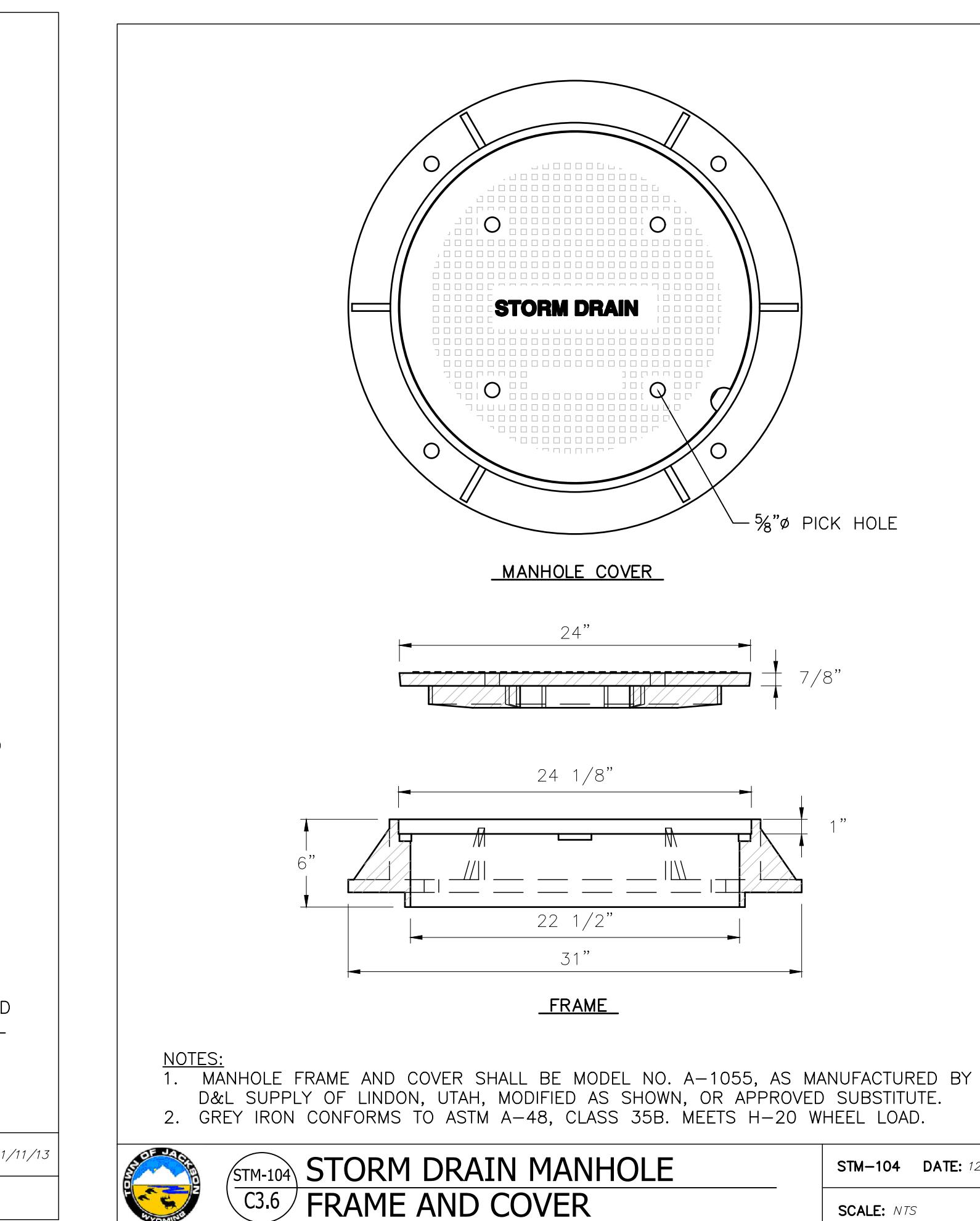
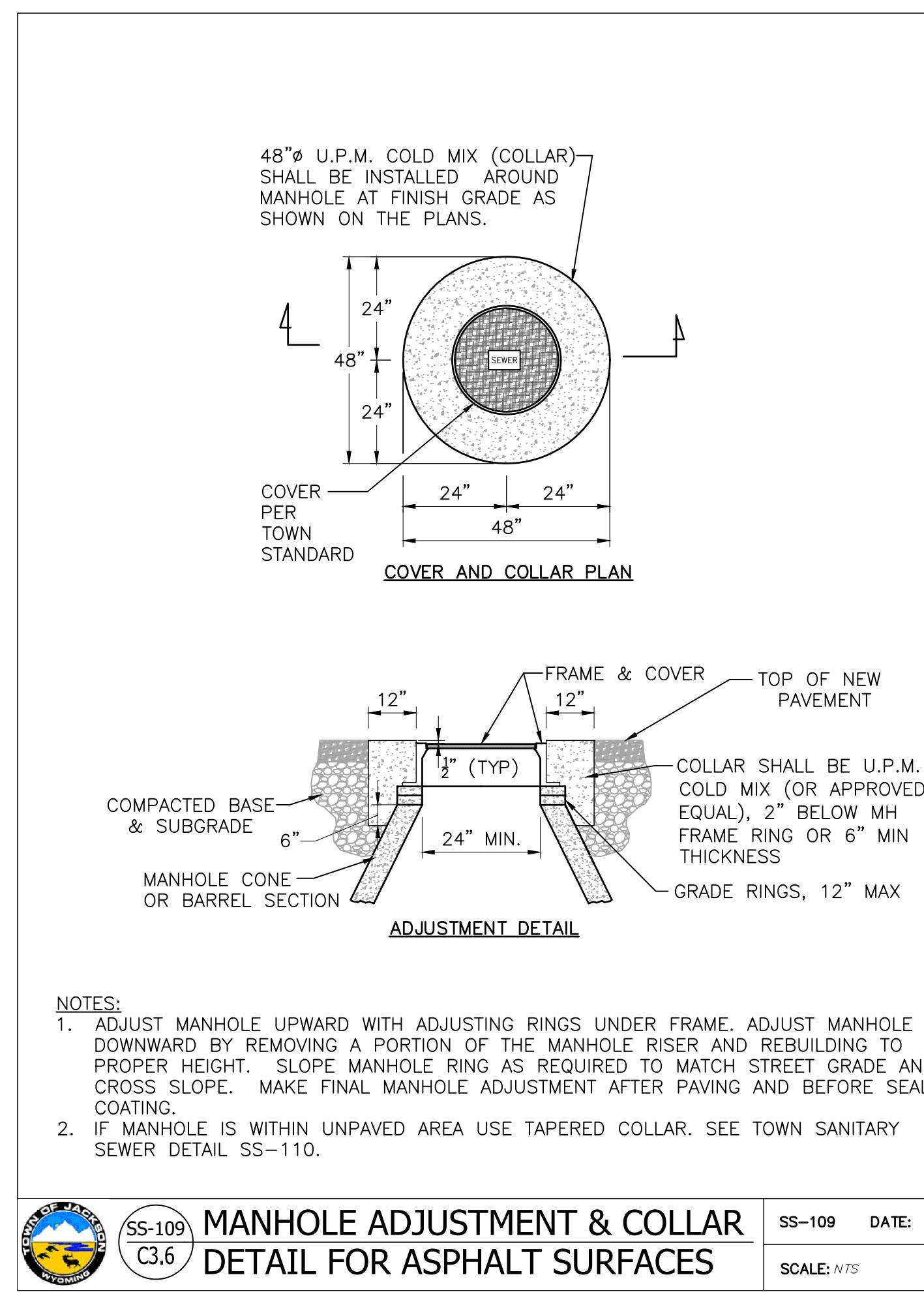
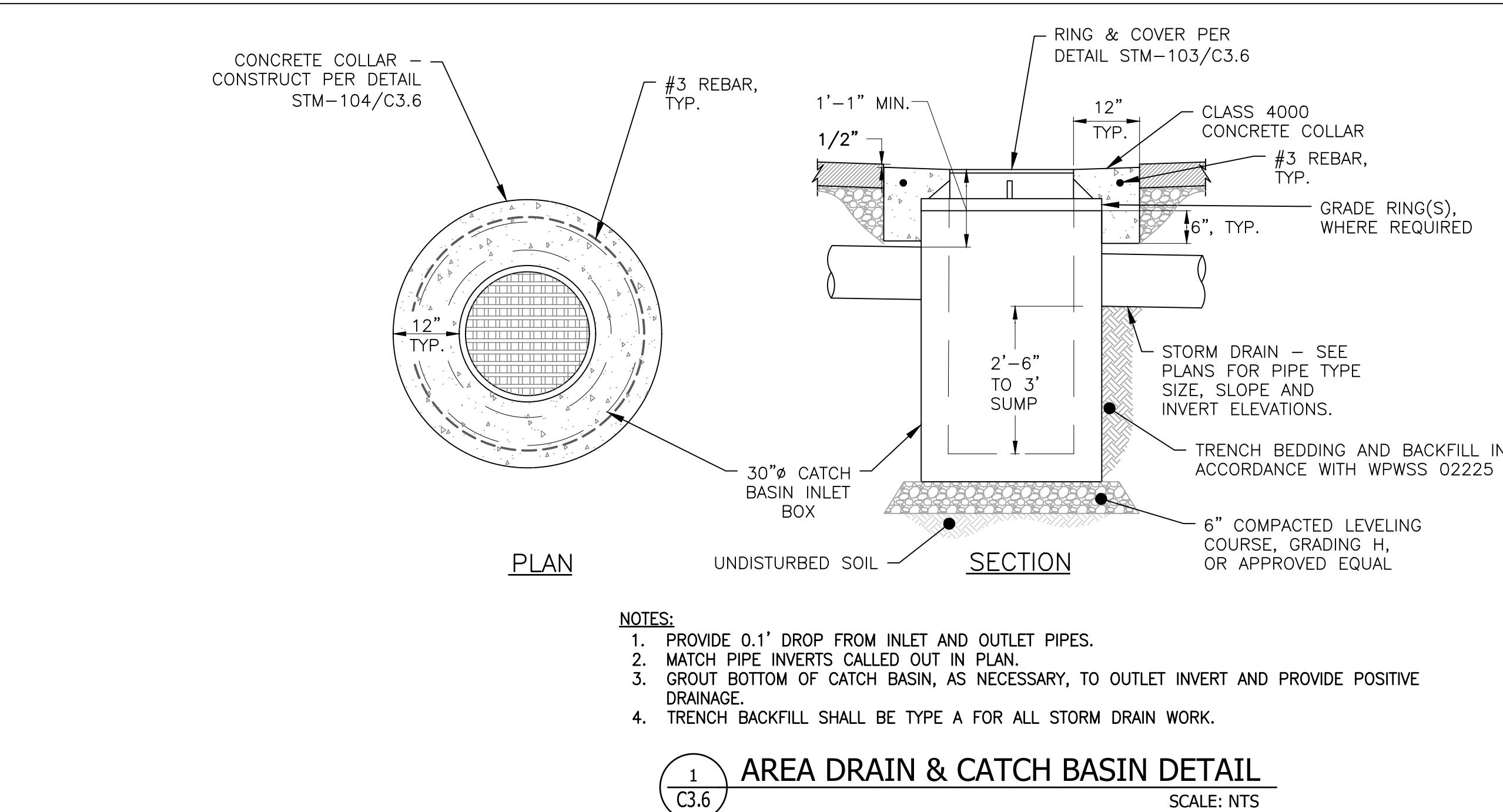
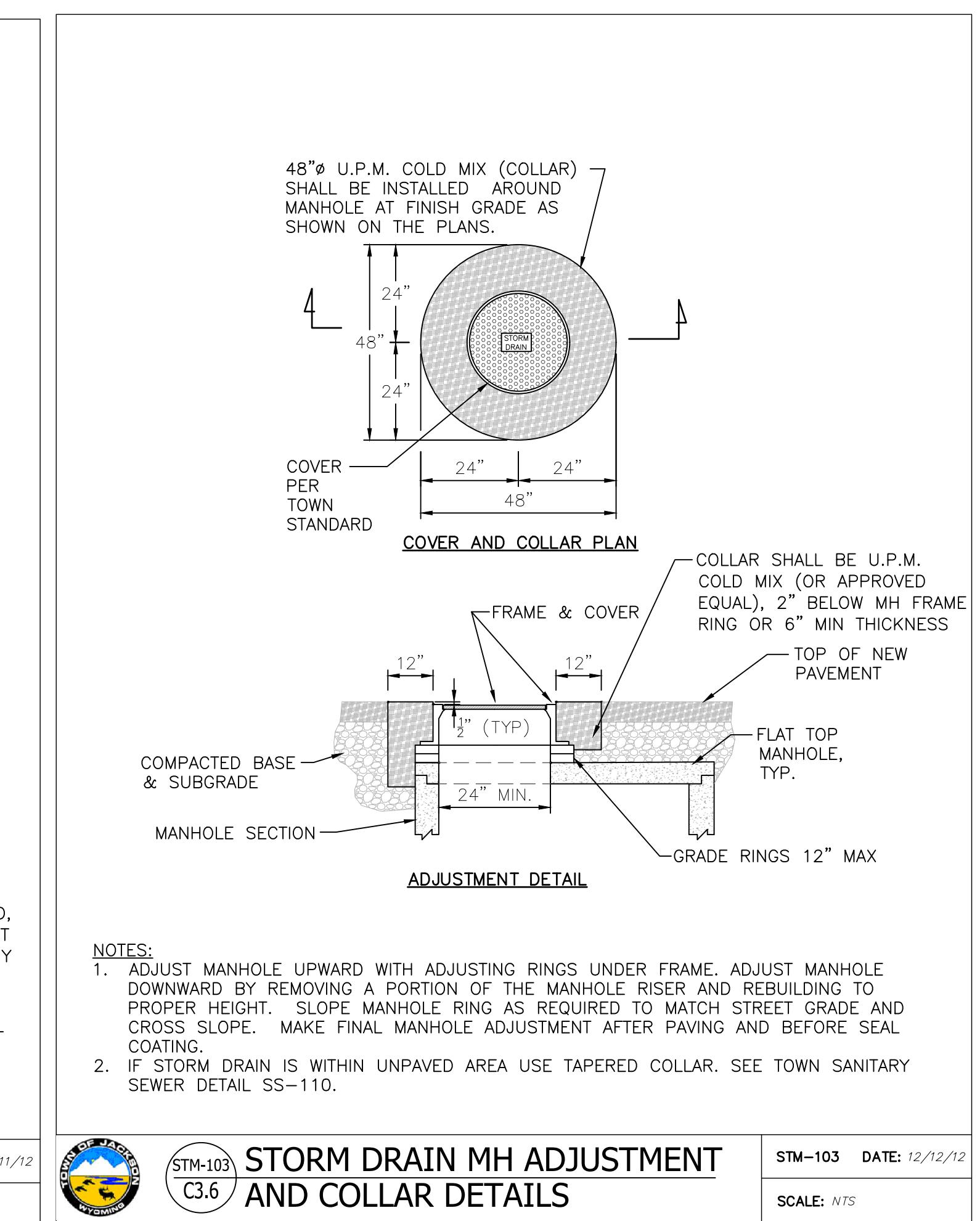
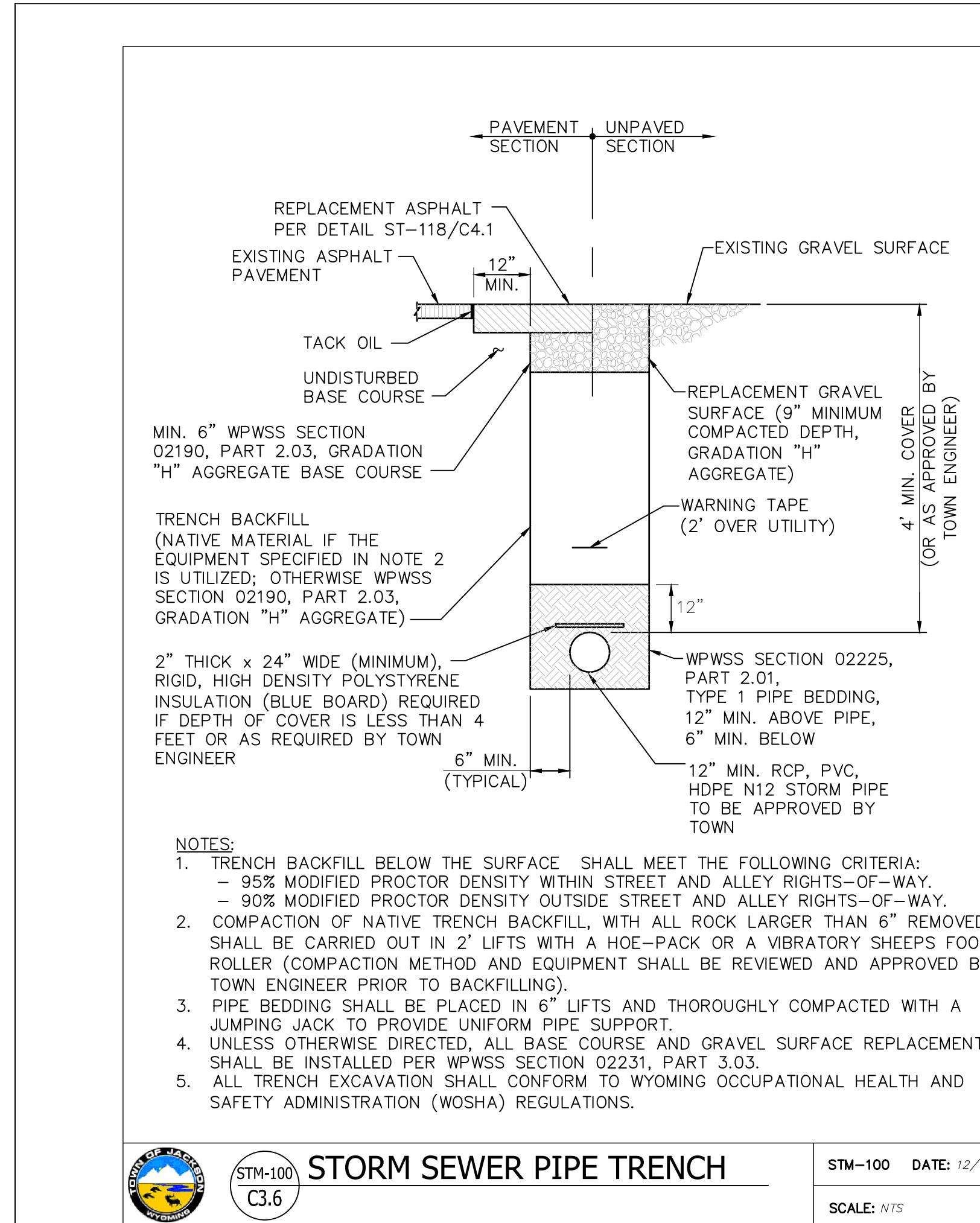


1-24-19 - GEC PRE-APP. SET
NOT FOR CONSTRUCTION

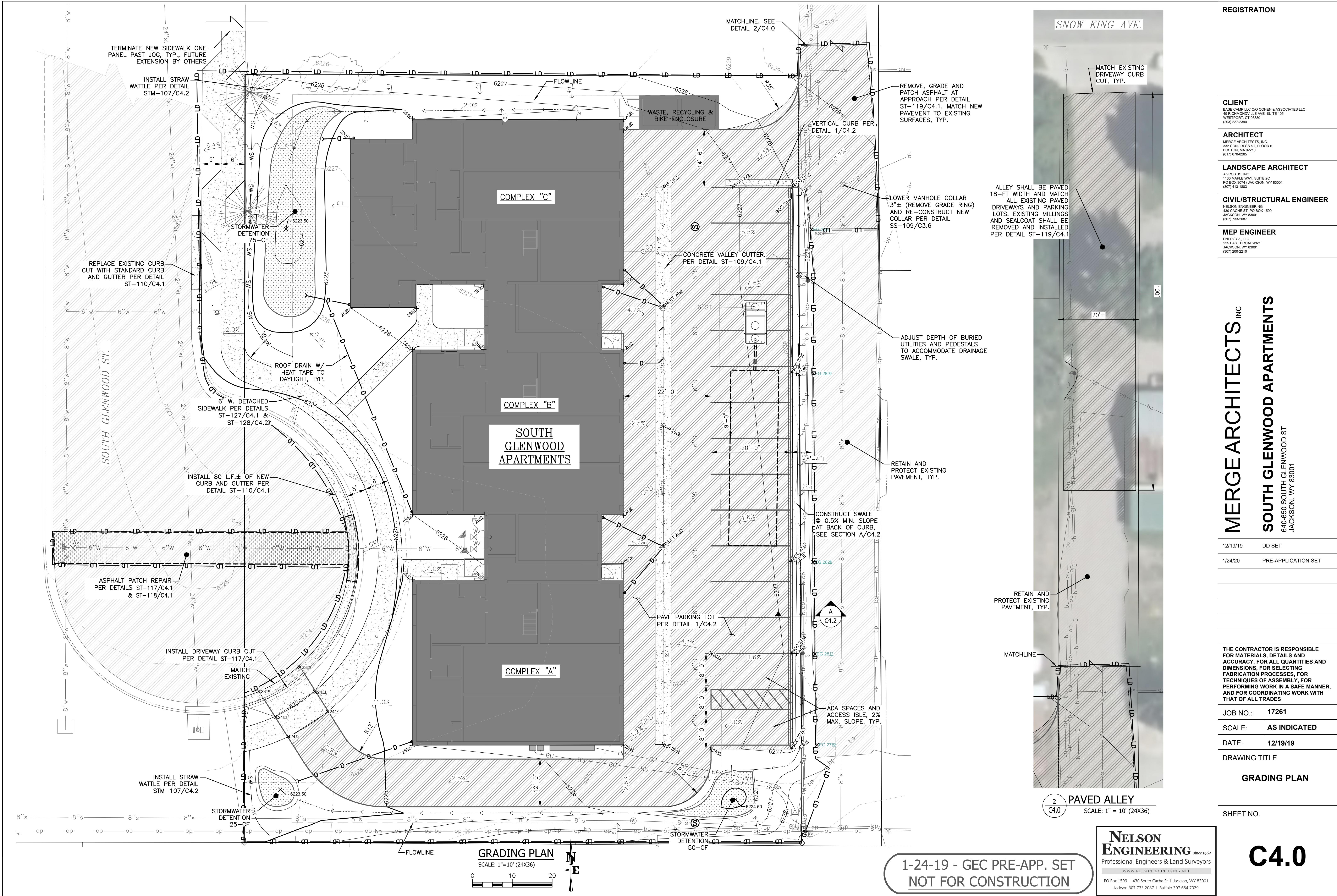
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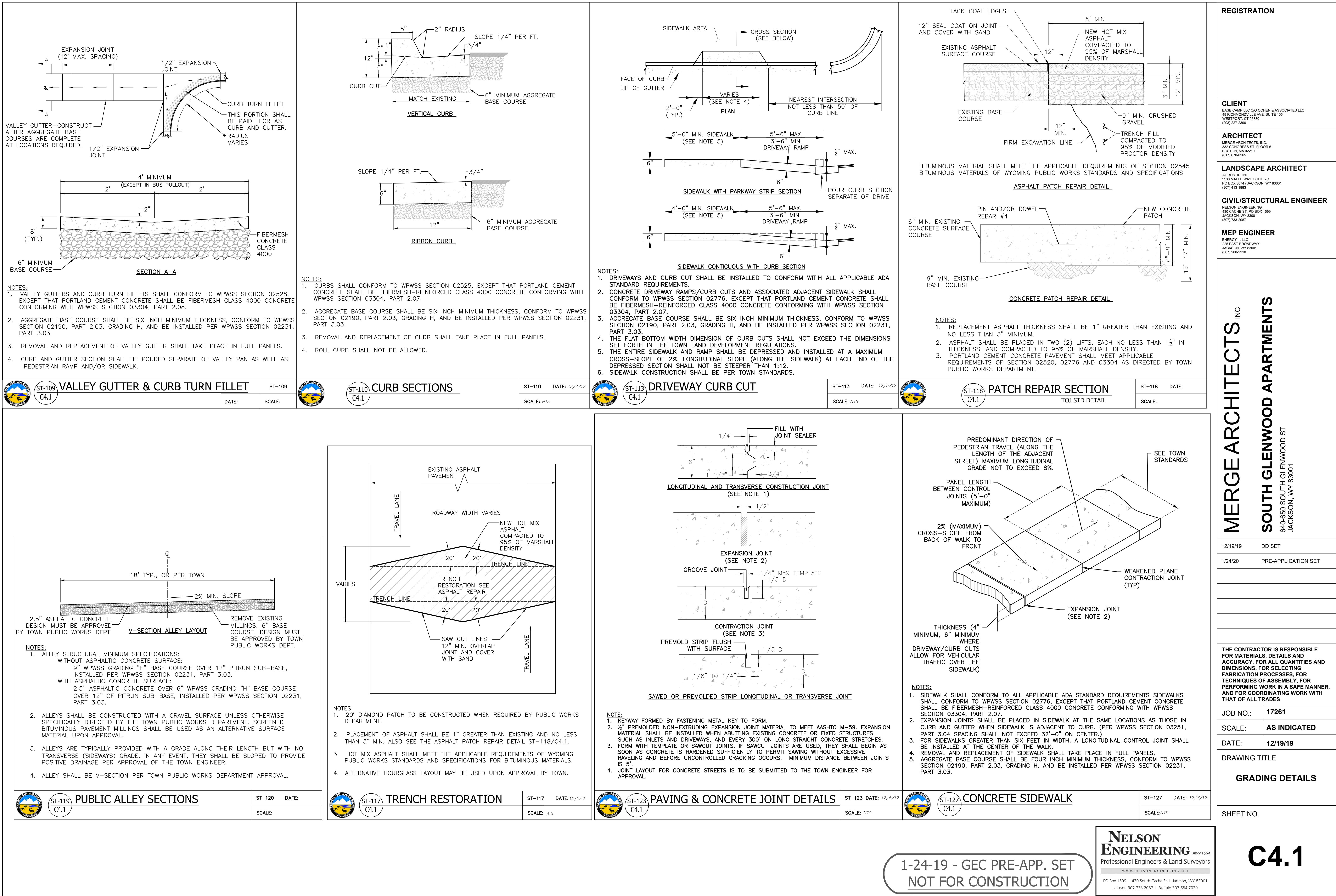


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REGISTRATION

CLIENT
BASE CAMP LLC/CO COHEN & ASSOCIATES LLC
49 RICHMONDVILLE AVE, SUITE 105
WESTPORT, CT 06880
(203) 227-2390

ARCHITECT
MERGE ARCHITECTS, INC.
332 CONGRESS ST, FLOOR 6
BOSTON, MA 02210
(617) 870-0386

LANDSCAPE ARCHITECT
AGROSTIS, INC.
1130 MAPLE WAY, SUITE 2C
PO BOX 30747 JACKSON, WY 83001
(307) 433-1883

CIVIL/STRUCTURAL ENGINEER
NELSON ENGINEERING
430 CACHE ST, PO BOX 1599
JACKSON, WY 83001
(307) 232-2487

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SOUTH GLENWOOD APARTMENTS
640-650 SOUTH GLENWOOD ST
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12/19/19 DD SET
1/24/20 PRE-APPLICATION SET

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JOB NO.: 17261

SCALE: AS INDICATED

DATE: 12/19/19

DRAWING TITLE

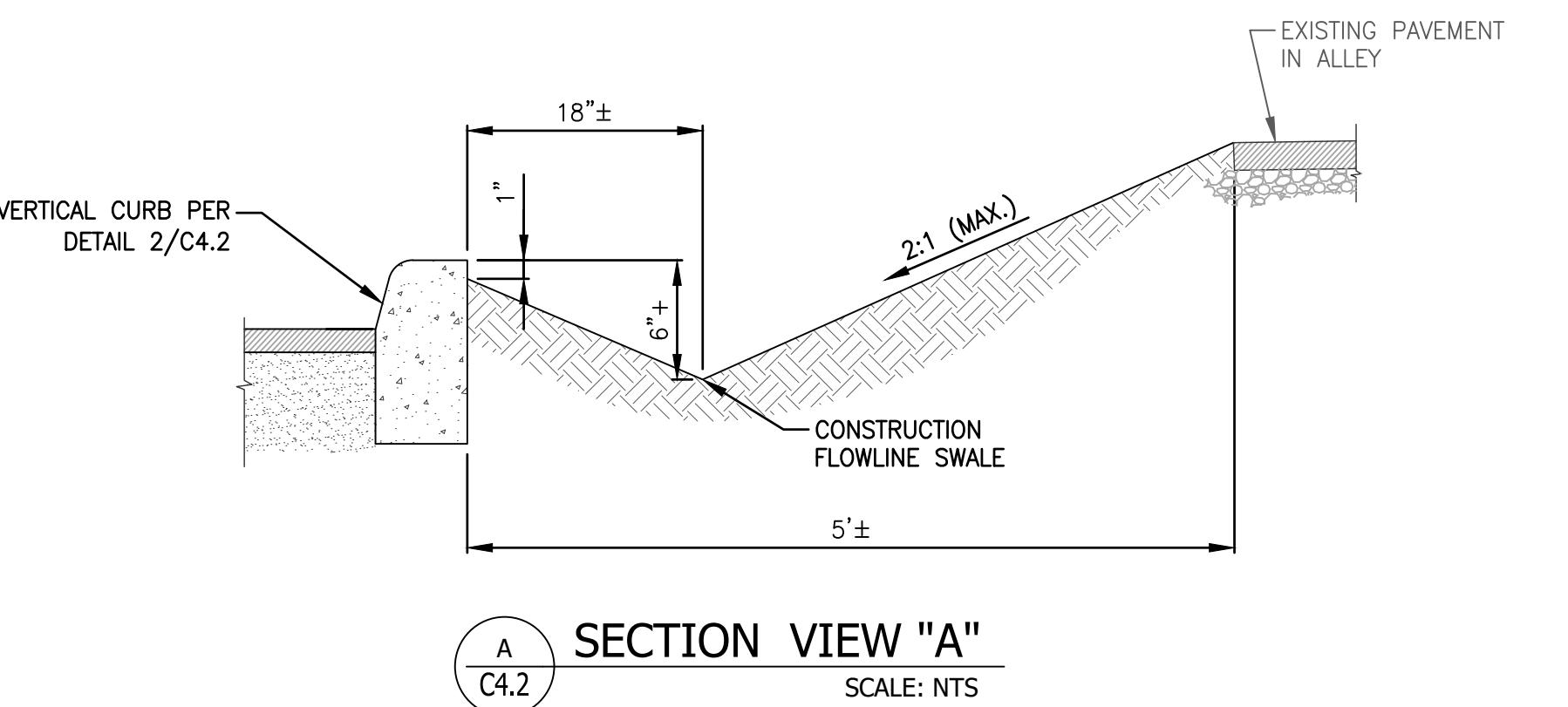
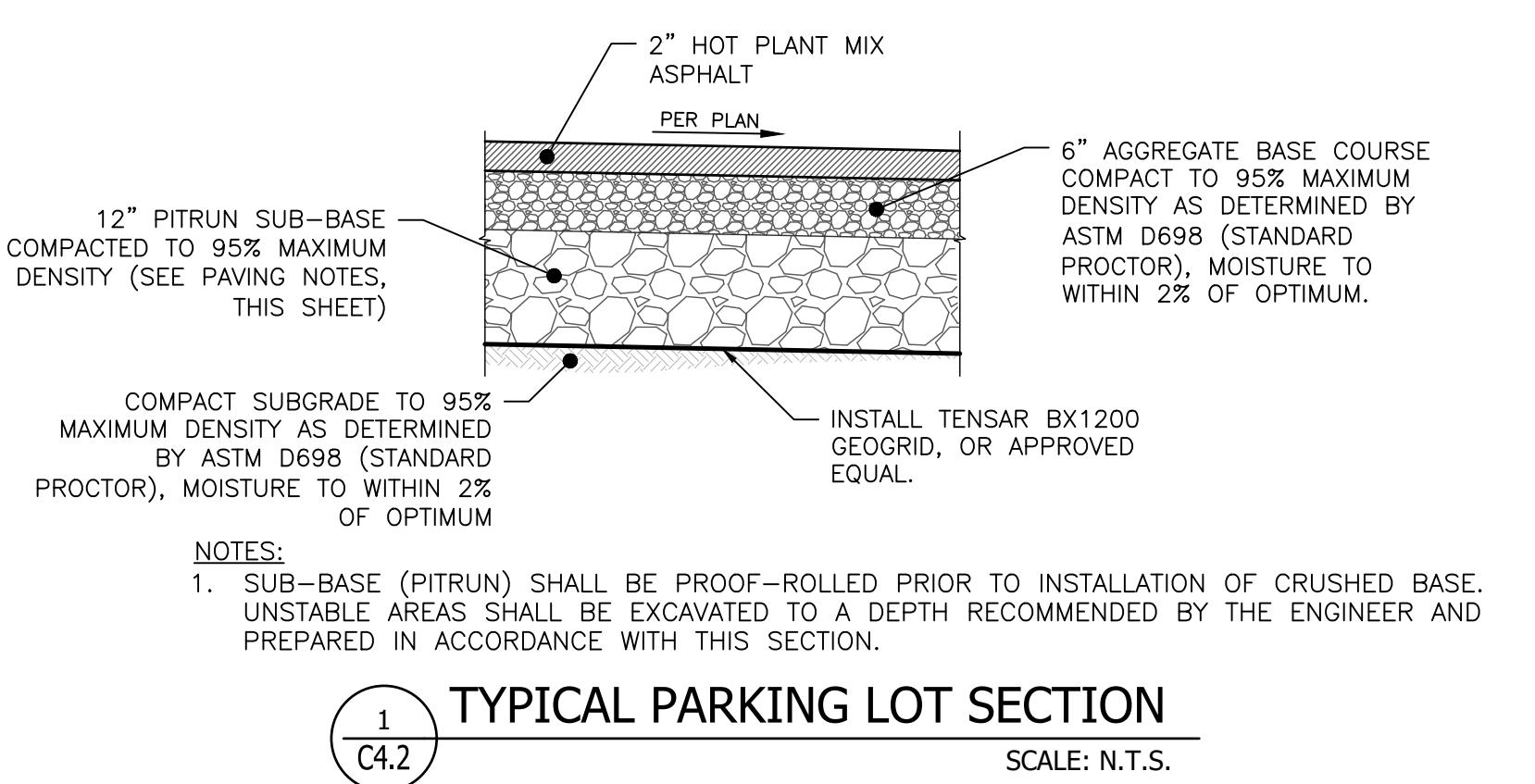
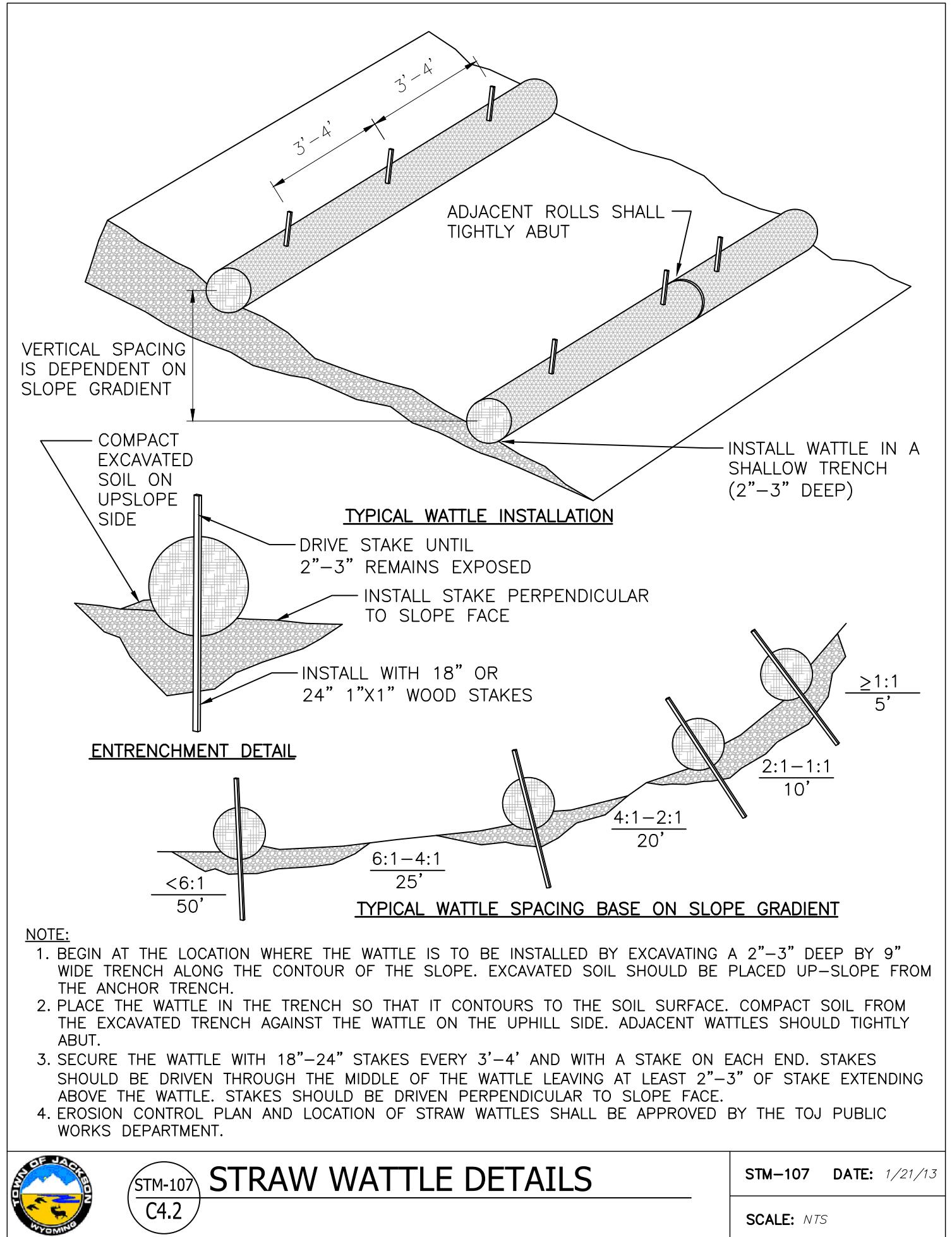
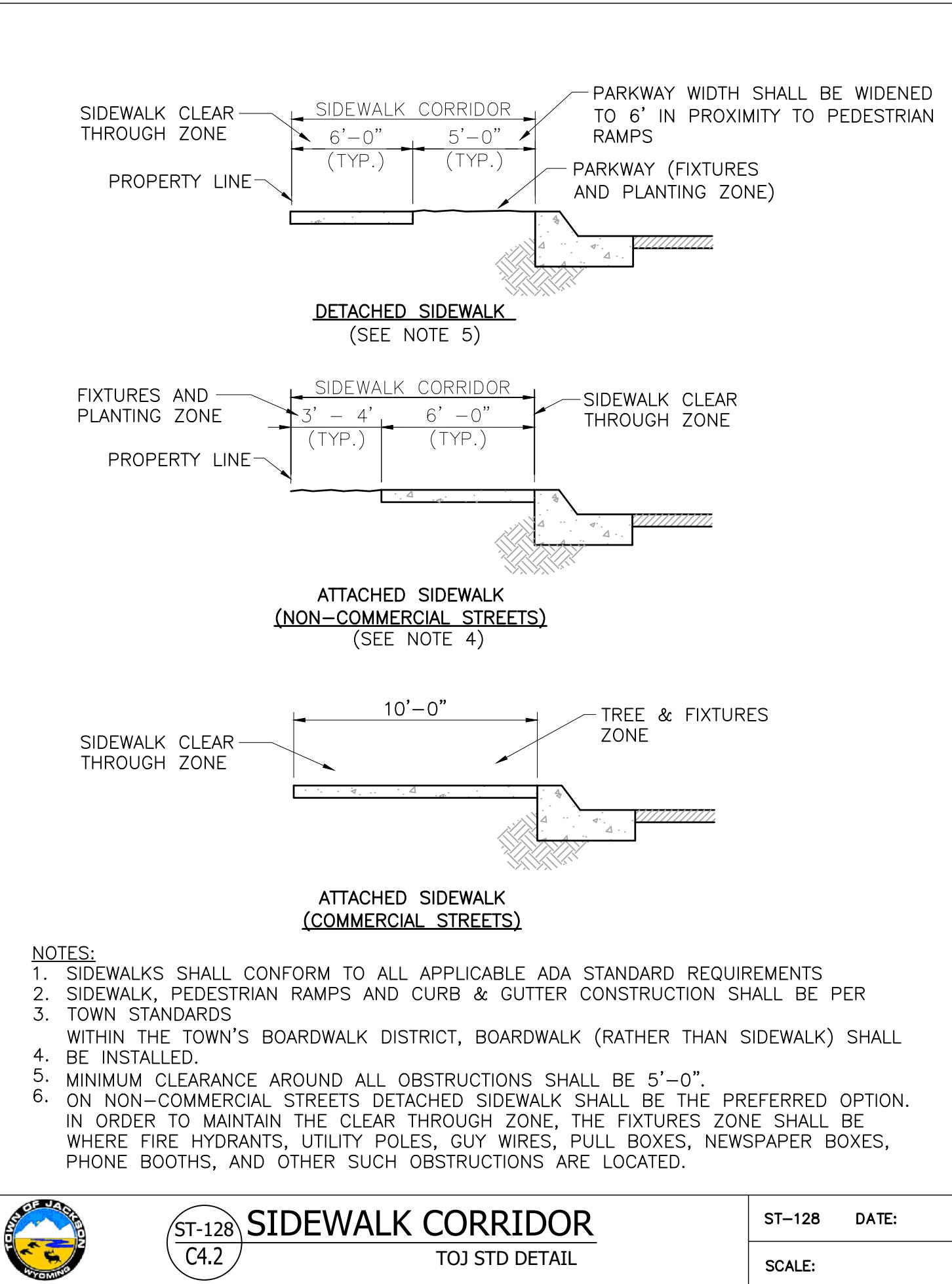
GRADING DETAILS

SHEET NO.



C4.2

1-24-19 - GEC PRE-APP. SET
NOT FOR CONSTRUCTION



SECTION VIEW "A"
C4.2
SCALE: NTS

