



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

### Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: February 20, 2020	<b>REQUESTS:</b>  The applicant is submitting a request for a Grading Pre-Application for the property located at 640-650 S. Glenwood Street legally known as, LOT 4, 5, 6 & 7 BLK. 4 Karns 2 <sup>nd</sup> Addition, Plat 128.  For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.
Item #: P20-029	
Planner: Tyler Valentine  Phone: 733-0440 ext. 1305  Fax: 734-3563  Email: tvalentine@jacksonwy.gov	
<b>Owner:</b> Base Camp, LLC 2120 Carey Ave. Cheyenne, WY  <b>Applicant:</b> Long Reimer Winegar, LLP – Erika Nash PO Box 3070 Jackson, WY 83001	
<b>Please respond by: N/A</b>	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to: [tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)





## PRE-APPLICATION CONFERENCE REQUEST (PAP)

### Planning & Building Department

150 E Pearl Ave.  
P.O. Box 1687  
Jackson, WY 83001

phone (307)733-0440  
[www.townofjackson.com](http://www.townofjackson.com)

#### *For Office Use Only*

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

**Please note:** Applications received after 3 PM will be process the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

#### **PROJECT.**

Name/Description: South Glenwood Apartments

Physical Address: 640-650 S. Glenwood, Jackson 83001

Lot, Subdivision: Lot 4,5,6 & 7 BLK. 4 Karns 2nd Addition, Plat 128

PIDN: 22-41-16-33-1-38-006/011

#### **PROPERTY OWNER.**

Name: Base Camp, LLC

Phone: 307.734.1908

Mailing Address: 2120 Carey Ave, Cheyenne, WY

ZIP: 83001

E-mail: plockitt@cohenandassociates.com

#### **APPLICANT/AGENT.**

Name, Agency: Erika M. Nash, Long Reimer Winegar LLP

Phone: 307.734.1908

Mailing Address: PO Box 3070 Jackson, WY

ZIP: 83001

E-mail: enash@lrw-law.com

#### **DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner

x \_\_\_\_\_ Applicant/Agent



**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

\_\_\_\_\_ Physical Development Permit  
\_\_\_\_\_ Use Permit  
\_\_\_\_\_ Development Option or Subdivision Permit  
\_\_\_\_\_ Interpretations of the LDRs  
\_\_\_\_\_ Amendments to the LDRs  
\_\_\_\_\_ Relief from the LDRs  
\_\_\_\_\_ Environmental Analysis

**This pre-application conference is:**  
\_\_\_\_\_ Required  
\_\_\_\_\_ Optional  
\_\_\_\_\_ For an Environmental Analysis  
☒ For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide one electronic copy ([tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)).

*Have you attached the following?*

- ☒ **Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees. \$150.00
- ☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at [www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF](http://www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF).
- ☒ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:
- ☒ Existing property conditions (buildings, uses, natural resources, etc)
  - ☒ Character and magnitude of proposed physical development or use
  - ☐ Intended development options or subdivision proposal (if applicable)
  - ☐ Proposed amendments to the LDRs (if applicable)
- ☒ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
- ☒ Property boundaries
  - ☒ Existing and proposed physical development and the location of any uses not requiring physical development
  - ☐ Proposed parcel or lot lines (if applicable)
  - ☐ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference
- ☒ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.
- ☒ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.



Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Sammy Spauld Limited Manager Agent 2-18-20  
Signature of Owner or Authorized Applicant/Agent Date

ERIKA M. NASH  
Name Printed Title



## LETTER OF AUTHORIZATION

Basecamp, LLC

, "Owner" whose address is: P.O. Box 87

Cheyenne, WY 82001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Base Camp, LLC

, as the owner of property

more specifically legally described as: See Exhibit A

(If too lengthy, attach description)

HEREBY AUTHORIZES Erika M. Nash

as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Special Limited Manager Agent

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)

)SS.

COUNTY OF Teton

)

The foregoing instrument was acknowledged before me by Erika M. Nash this 18<sup>th</sup> day of February, 2020.

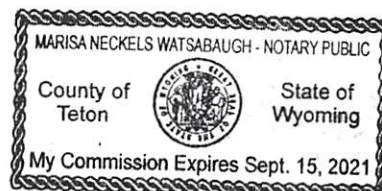
WITNESS my hand and official seal.

Marisa N. Watsabaugh

(Seal)

(Notary Public)

My commission expires:





**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

The land described herein is situated in the State of Wyoming, County of Teton, City of Jackson, described as follows:

**AS TO PARCEL 1:**

Lot 4 of Block 4 of the Second Karns Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on March 13, 1939 as Plat No. 128.

**AS TO PARCEL 2:**

Lots 5, 6, and 7 of Block 4 of the Second Karns Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on March 13, 1939 as Plat No. 128.

**PIDN: 22-41-16-33-1-38-006, 22-41-16-33-1-38-011**



## South Glenwood Apartments

### Project Narrative

#### Existing Site

The existing site consists of Lots 4, 5, 6 and 7 of BLK. 4, Karns 2nd Addition and addressed at 640 and 650 South Glenwood Street. Each lot is roughly 40-ft by 150 ft (6,000 sf). Access to the lots is from South Glenwood St. to the west and the gravel alley to the east. Existing utilities include an 8-inch dia. water main in South Glenwood, gas in the east alley, stormwater drain at the southern end of the South Glenwood cul-de-sac, and 8-inch dia. sewer main and wire utilities (power CATV, phone, internet, etc.) located on the south lot boundary of Lot 7. Lot 4 (northernmost lot) has an existing residence to be removed as a result of this development. The existing site is most accurately described on drawings C1.0, "Existing Site & Demo Plan."

#### Proposed Project

The South Glenwood Apartments (SGA) project includes a proposal for one building, three-stories in height, comprised of 20 (total) rental apartments constructed at addresses 640 and 650 South Glenwood Street. The Owner will maintain leases on all units to be used for long-term workforce housing. Unit types include 4 studios of 400 sf, 2 one-bedrooms of 575 sf, 11 two-bedrooms of 725-800 sf, and 3 three bedrooms of 975-1125 sf. Parking will be provided at grade within garages and the proposed parking lot. Spaces are included for 32 cars; 29 intended for residents and 3 for visitors.

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Excerpted from "Final Development Plan: Engineer's Design Report," pages 4 & 5, by Nelson Engineering (originally issued 03/13/19). Additional information is available upon request.

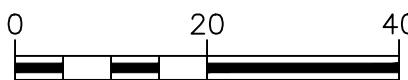


S:\proj\2017\296-02 (640-650) Glenwood Subdividing Site.dwg - Jan 24 2020 10:06:52 am - PLOTTED BY: HJG/PLT-CK DWG: F100W01 230



# EXISTING SITE & DEMO PLAN

SCALE: 1" = 20' (24X36)



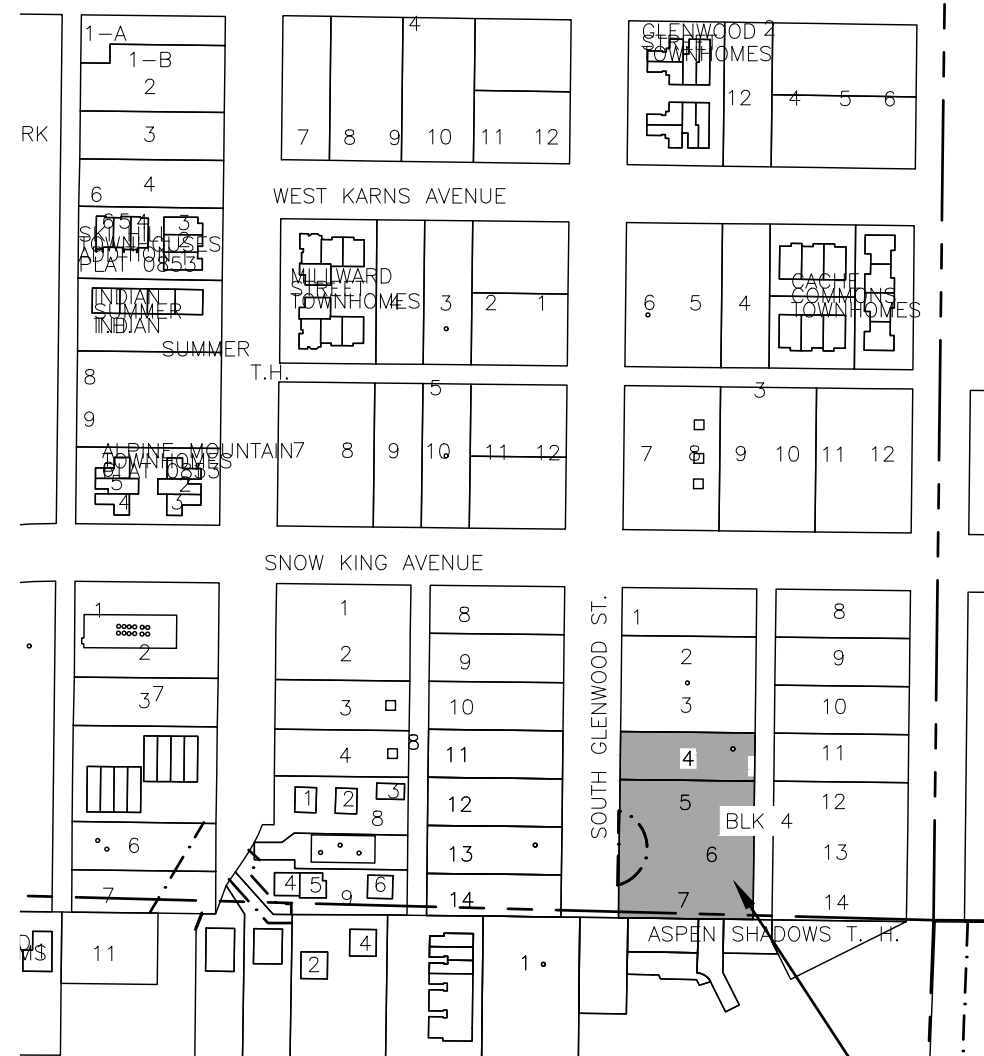
## CIVIL DRAWING INDEX

### DWG. NO.

C1.0  
C1.1  
C2.0  
C3.0  
C3.1  
C3.2  
C3.3  
C3.4  
C3.5  
C3.6  
C4.0  
C4.1  
C4.2  
C5.0

### DESCRIPTION

EXISTING SITE & DEMO PLAN  
FINAL SITE PLAN  
CONSTRUCTION STAGING & PHASING PLAN  
UTILITY PLAN  
WATER SERVICE PLAN AND PROFILE  
SEWER SERVICE PLAN AND PROFILE  
UTILITY DETAILS  
UTILITY DETAILS  
UTILITY DETAILS  
UTILITY DETAILS  
GRADING PLAN  
GRADING DETAILS  
GRADING DETAILS  
SIGN & STRIPING PLAN



VICINITY MAP  
NE1/4 SE1/4  
SECTION 33  
TOWN OF JACKSON  
TETON COUNTY, WY

THIS SURVEY

### LEGEND

—	= PROPERTY LINE
- - - - -	= EASEMENT LINE
- - - - -	= EDGE OF GAVEL
=====	= PAVED STREET
— st —	= STORM SEWER LINE TOWN OF JACKSON GIS
— 8" w — 8" w —	= 8" WATER LINE PER TOWN OF JACKSON GIS
— 6" w — 6" w —	= 6" WATER LINE PER TOWN OF JACKSON GIS
— ws — ws —	= WATER SERVICE LINE PER TOWN OF JACKSON GIS
— op — op —	= OVERHEAD POWER LINE
— bp — bp —	= BURIED POWER (APPROXIMATE LOCATION)
— bu — bu —	= BURIED UTILITIES (APPROXIMATE LOCATION)
— g — g —	= BURIED GAS (APPROXIMATE LOCATION)
— 8" s —	= 8" SANITARY SEWER LINE
— 24" st —	= 24" STORM PIPE
— X-X — X-X — X-X —	= FENCE LINE
— — — — —	= TOP BACK OF CURB AND FLOW LINE
— — — — —	= CENTERLINE OF ROAD
● PP	= POWER POLE
⬢	= ELECTRIC TRANSFORMER
⬢	= TELEPHONE PEDESTAL
⬢	= CATCH BASIN
⬢	= FIRE HYDRANT
⬢	= CURB STOP
⬢	= REBAR AND CAP
⬢	= NELSON REBAR AND CAP
⬢	= PIPE
⬢	= SPOT ELEVATION
⬢	= PINE TREE
⬢	= COTTONWOOD TREE

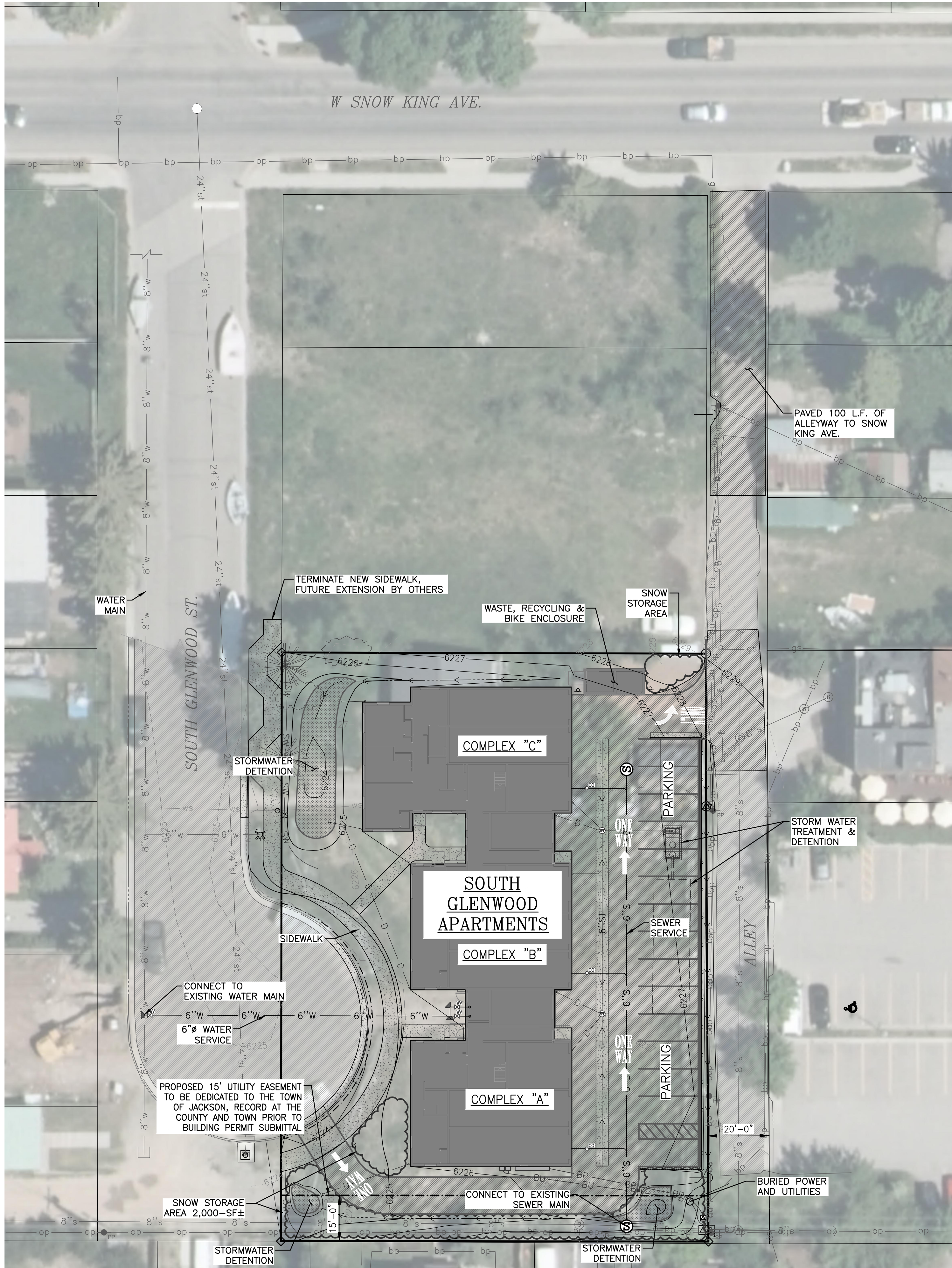
LOTS 4-7 = 26,846 SF OR 0.616 ACRES  
RIGHT OF WAY EASEMENT = 1,710 SF OR 0.39 AC.

### DEMOLITION REQUIREMENTS:

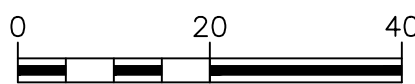
- COMPLY WITH THE GENERAL CONSTRUCTION NOTES ON SHEET C1.1.
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE TOWN OF JACKSON FOR WORK COMPLETED IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPAN



S:\Projects\2017\206-12 640-650 Glenwood Road\MapX drawings\Glenwood\Pub - Final Site and Striping Plan.dwg - Jan 24 2020 10:07:17 am PLOTTED BY: kapa-rchx DWG: F100W1 230



FINAL SITE PLAN  
SCALE: 1" = 20' (24X36)



GENERAL CONSTRUCTION NOTES:

- CAUTION:** UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.
1. ENCROACHMENT PERMIT MUST BE SUBMITTED TO TOWN OF JACKSON PRIOR TO ANY WORK IN PUBLIC (TOWN) STREET RIGHT-OF-WAYS.
  2. ALL BEDDING AND BACKFILL WITHIN THE TOWN OF JACKSON RIGHT-OF-WAY MUST MEET TOJ SPECIFICATIONS AND STANDARD DETAILS. COMPACTION OF BACKFILL SHALL BE COMPLETED WITH A BACKHOE MOUNTED HOE PACK, OR JUMPING JACK COMPACTOR.
  3. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE APPROVED CONSTRUCTION MANAGEMENT PLAN, BUILDING PERMIT, AND DEMOLITION AND ENCROACHMENT PERMITS ISSUED BY THE TOWN OF JACKSON.
  4. INSTALL CONSTRUCTION FENCING IN ORDER TO CONFINE WORK WITHIN AFFECTED LOTS. COMPLY WITH SHEET C2.0.
  5. THERE ARE SEVERAL OVERHEAD POWER LINES ONSITE. CONTRACTOR SHALL PROVIDE A SPOTTER WHEN COMPLETING WORK BENEATH OR NEAR POWER LINES AND MAINTAIN 10-FT (MINIMUM) VERTICAL CLEARANCE FROM OVERHEAD TRANSMISSION PHASES AND WORKING EQUIPMENT.

LEGEND

(DESIGN)

————— 6225 ———	INDEX CONTOUR
————— 6226 ———	MINOR CONTOUR
————— 6"W ———	6"Ø DIP WATER SERVICE (FIRE)
————— 4"W ———	4"Ø DIP WATER SERVICE (DOMESTIC)
————— 6"S ———	6"Ø SEWER
————— 4"S ———	4"Ø SEWER SERVICE
————— 8"ST ———	8"Ø STORM SEWER
————— 4"ST ———	4"Ø STORM SEWER
————— BU ———	BURIED UTILITIES
————— BP ———	BURIED POWER
————— LD ———	LIMITS OF DISTURBANCE
————— SF ———	FLOWLINE DITCH/SWALE
————— SW ———	SILT FENCE
————— SW ———	STRAW WATTLE
—————	REPLACEMENT CONCRETE/ASPHALT PAVEMENT
WV	WATER VALVE
CS	CURB STOP
S	SEWER MANHOLE
CO	CLEANOUT
ST	STORM SEWER MANHOLE
△	POWER TRANSFORMER
XEG 28.11	EXISTING GRADE ELEVATION
X28.11	FINISH GRADE ELEVATION
XBOC 28.11	BACK OF CURB ELEVATION
XHP 28.11	HIGH POINT ELEVATION

1-24-19 - GEC PRE-APP. SET  
NOT FOR CONSTRUCTION

**NELSON  
ENGINEERING** since 1964  
Professional Engineers & Land Surveyors  
[WWW.NELSONENGINEERING.NET](http://WWW.NELSONENGINEERING.NET)  
PO Box 1599 | 430 South Cache St | Jackson, WY 83001  
Jackson 307.733.2087 | Buffalo 307.684.7029

REGISTRATION

CLIENT

BASE CAMP LLC c/o COHEN & ASSOCIATES LLC  
49 RICHMONDVILLE AVE, SUITE 105  
WESTPORT, CT 06880  
(203) 227-2390

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST, FLOOR 6  
BOSTON, MA 02210  
(617) 670-0265

LANDSCAPE ARCHITECT

AGROSTIS, INC.  
1130 MARLE WAY, SUITE 2C  
PO BOX 3074 | JACKSON, WY 83001  
(307) 415-1685

CIVIL/STRUCTURAL ENGINEER

NELSON ENGINEERING  
430 CACHE ST, PO BOX 1599  
JACKSON, WY 83001  
(307) 733-2087

MEP ENGINEER

ENERGY-1, LLC  
225 EAST BROADWAY  
JACKSON, WY 83001  
(307) 200-2210

**MERGE ARCHITECTS** INC  
**SOUTH GLENWOOD APARTMENTS**  
640-650 SOUTH GLENWOOD ST  
JACKSON, WY 83001

12/19/19	DD SET
1/24/20	PRE-APPLICATION SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:	17261
SCALE:	AS INDICATED
DATE:	12/19/19

DRAWING TITLE  
**FINAL SITE PLAN**

SHEET NO.

**C1.1**









**CAUTION:** UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPSS) 2015 EDITION, THE TOWN OF JACKSON STANDARDS, THESE PLANS AND UTILITY PROVIDERS.
2. ENCROACHMENT PERMIT MUST BE SUBMITTED TO TOWN OF JACKSON PRIOR TO ANY WORK IN STREET RIGHT-OF-WAYS.
3. UTILITY WORK WITHIN STREETS SHALL BE LIMITED TO APRIL 15TH THROUGH JUNE 15TH, AND/OR SEPT. 25TH THROUGH OCT. 15TH PER TOJ MUNICIPAL CODE 12.08.040. CONTRACTOR MAY SEEK APPROVAL FORM THE TOWN FOR WORK OUTSIDE THESE DATES.
4. COORDINATE WATER AND SEWER UTILITY WORK WITH THE TOWN OF JACKSON PUBLIC WORKS.
5. ALL BEDDING AND BACKFILL WITHIN THE TOWN OF JACKSON RIGHT-OF-WAY MUST MEET TO SPECIFICATIONS AND DETAILS PROVIDED IN THIS PLAN.
6. IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, GRADING AND PARKING.
7. CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
8. THE VERTICAL PROFILE AND HORIZONTAL ALIGNMENT OF THE PROPOSED SEWER AND WATERLINES MAY CHANGE DEPENDING ON THE LOCATION OF EXISTING WATER AND SEWER UTILITIES. PRIOR TO CONSTRUCTION OF THE SEWER AND WATER LINE SERVICES, CONTRACTOR SHALL UTILIZE EXPLORATORY EXCAVATION TO DETERMINE ACTUAL VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL CONSULT WITH THE PROJECT ENGINEER IF THERE ARE ANY VERTICAL CONFLICTS.
9. DOMESTIC WATER AND FIRE SYSTEM PLUMBING SHALL BE COMPLETED BY A LICENSED PLUMBER. IN ORDER TO PROTECT PUBLIC WATER SUPPLY, PLUMBING CONTRACTOR SHALL COMPLY WITH THE FOLLOWING:
  - A. METERING AND BACKFLOW DEVICES SHALL BE LOCATED WITHIN BUILDING MECHANICAL SPACES AS NOTED IN PLAN AND REQUIRED BY TOJ.
  - B. BACKFLOW PREVENTION DEVICES SHALL CONFORM TO AWWA MANUAL OF PRACTICE M-14 REQUIREMENTS. BACKFLOW DEVICES SHALL BE TESTED BY A THIRD-PARTY CERTIFIED TESTER.
  - C. INSTALL ISOLATION VALVES, DOUBLE CHECK BACKFLOW ASSEMBLY AND METER ON DOMESTIC WATER SUPPLY IN ACCORDANCE WITH DETAIL W-113/C3.5.
  - D. IRRIGATION SUPPLY TAKE-OFFS SHALL BE LOCATED UPSTREAM OF THE DOMESTIC WATER METER AND PROVIDE SEPARATE METER, ISOLATION VALVES AND REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY.
  - E. FIRE SUPPRESSION SYSTEM REQUIREMENTS:
    - 1) INSTALL ISOLATION VALVE AND REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY ON FIRE SUPPRESSION LINES.
    - 2) WATER LINES SHALL BE INSTALLED IN ACCORDANCE TO NFPA 13 AND NFPA 24 TO PROVIDE PROPER CLEARANCES, SEISMIC REQUIREMENTS, FLUSHING AND HYDRO TESTING. (IFC 901.4.1)
    - 3) FIRE FLOW REQUIREMENTS SHALL MEET APPENDIX B OF THE INTERNATIONAL FIRE CODE (IFC).
    - 4) PIVOT WATER FLOW-TEST IS REQUIRED ON ALL NEW FIRE SPRINKLER INSTALLATIONS FOR NFPA 13R AND NFPA 13 SYSTEMS. SYSTEM PLANS WILL NOT BE APPROVED BY TETON COUNTY FIRE/EMS W/OUT A CERTIFIED TEST. (NFPA 291)
10. BASE SECTION OF SEWER MANHOLE SHALL BE CONSTRUCTED BY UTILIZING A CAST-IN-PLACE BASE SECTION. CONTRACTOR SHALL EXCAVATE BELOW THE EXISTING SEWER MAIN FOR PREPARATION OF SUITABLE FOUNDATION FOR CONCRETE PLACEMENT; POUR BASE INCLUDING FORMING 6" W. CHANNEL (NORTH) AND PREPARING FOR RECEIVING MANHOLE SECTION; PLACE DOG-HOUSE MANHOLE SECTION; AND GROUT SECTION JOINTS AND PIPE ANNULUSES. CONTRACTOR SHALL CUT AND REMOVE THE EXISTING SEWER MAIN WITHIN THE CAST-IN-PLACE BASE SECTION FOLLOWING CONSTRUCTION OF THE NEW SEWER COLLECTION SYSTEM, TESTING, AND APPROVAL (BY TOJ).
11. COORDINATE ALL POWER SERVICE WORK WITH LOWER VALLEY ENERGY (LVE). CONTRACTOR SHALL ASSIST LVE WITH TRANSFORMER AND POWER SERVICE INSTALLATION, INCLUDING, FURNISHING AND/OR INSTALLING ALL EXCAVATION, BEDDING, BACKFILL, CONCRETE TRANSFORMER PAD (VERIFY IF REQ'D BY LVE), AND SURFACE RESTORATION. TRENCHING AND BACKFILL REQUIREMENTS SHALL COMPLY WITH DETAIL 1/C3.3 AND THE PROJECT SPECIFICATIONS.
12. ALL DECK AND ROOF DRAINS INSTALLED BELOW GRADE SHALL BE 4"Ø SCH. 40 PVC WITH A CLEANOUT PROVIDED AT THE BUILDING WALL PRIOR TO DROPPING BELOW GRADE. DRAIN LINES SHALL LAID AT 2% MIN. SLOPE AND INSTALLED WITH HAT TAPE FOR FREEZE PREVENTION.

## REGISTRATION

## CLIENT

BASE CAMP LLC C/O COHEN & ASSOCIATES LLC  
49 RICHMONDVILLE AVE, SUITE 105  
WESTPORT, CT 06880  
(203) 227-2390

## ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST, FLOOR 8  
BOSTON, MA 02210  
(617) 670-0265

## LANDSCAPE ARCHITECT

AGROSTIS, INC.  
1130 MAPLE WAY, SUITE 2C  
PO BOX 3074 / JACKSON, WY 83001  
(307) 413-1883

**CIVIL/STRUCTURAL ENGINEER**

NELSON ENGINEERING  
430 CACHE ST, PO BOX 1599  
JACKSON, WY 83001  
(307) 733-2087

## MEP ENGINEER

ENERGY-1, LLC  
225 EAST BROADWAY  
JACKSON, WY 83001  
(307) 200-2210

MERGE ARCHITECTS<sup>INC</sup>

# SOUTH GLENWOOD APARTMENTS

640-650 SOUTH GLENWOOD ST  
JACKSON WY 83001

**THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER AND FOR COORDINATING WORK WITH THAT OF ALL TRADES**

DRAWING TITLE

## UTILITY PLAN

SHEET NO.

**NELSON  
ENGINEERING** since 1961  
Professional Engineers & Land Surveyors

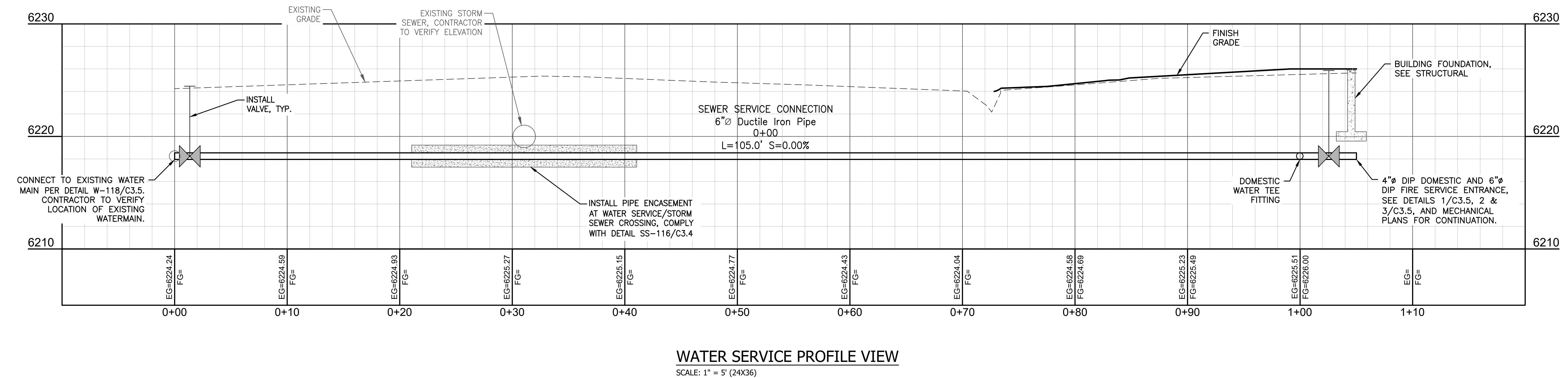
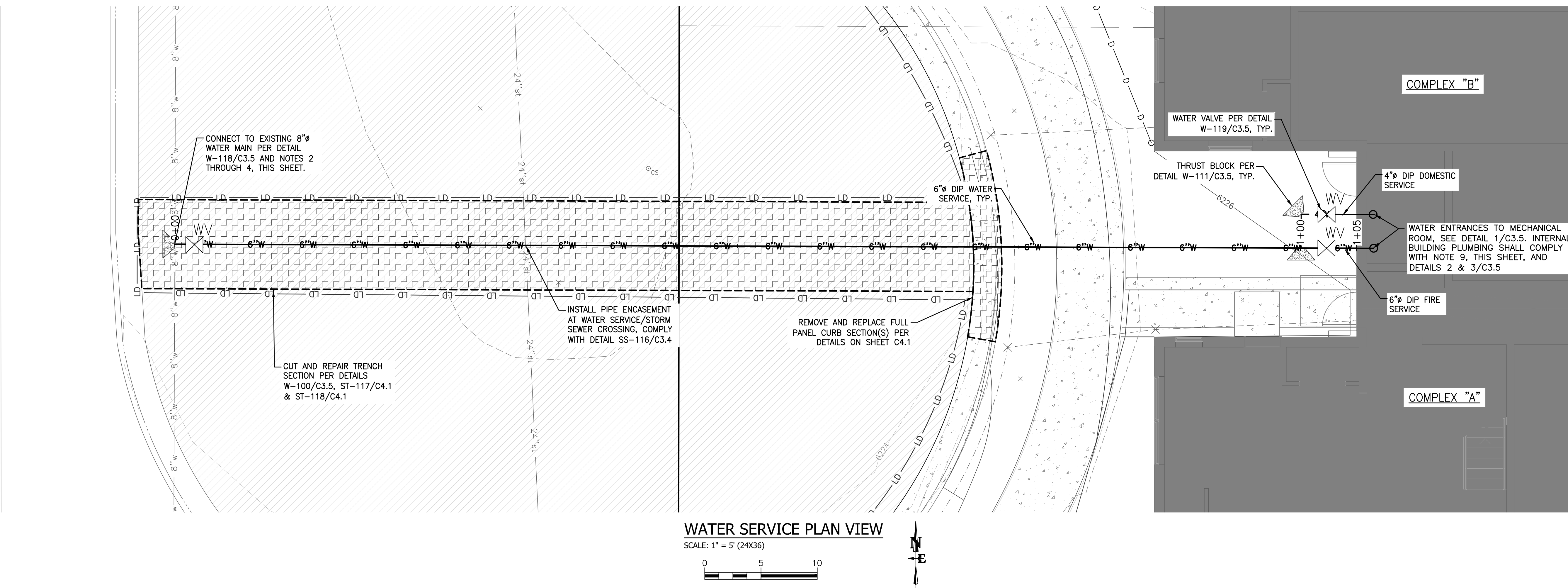
WWW.NELSONENGINEERING.NET  
PO Box 1599 | 430 South Cache St | Jackson, WY 83001  
Jackson 307.733.2087 | Buffalo 307.684.7029

# C3.0

1-24-19 - GEC PRE-APP. SET  
NOT FOR CONSTRUCTION



S:\Projects\2017\206-12 640-650 Glenwood Road\404\404-650 Glenwood Road.dwg (C3.1) WATER SERVICE PLAN AND PROFILE - Jun 24 2020 10:08:01 am PLOTTED BY: adpatrick DWG FORMAT: 230



REGISTRATION

CLIENT

BASE CAMP LLC C/O COHEN & ASSOCIATES LLC  
49 RICHMOND AVE, SUITE 105  
WESTPORT, CT 06880  
(203) 227-2390

ARCHITECT

MERGE ARCHITECTS, INC.  
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BOSTON, MA 02210  
(617) 870-0265

LANDSCAPE ARCHITECT

AGROSTIS, INC.  
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(307) 415-1885

CIVIL/STRUCTURAL ENGINEER

NELSON ENGINEERING  
430 CACHE ST, PO BOX 1599  
JACKSON, WY 83001  
(307) 733-2087

MEP ENGINEER

ENERGY-1, LLC  
225 EAST BROADWAY  
JACKSON, WY 83001  
(307) 200-2210

**MERGE ARCHITECTS** INC  
**SOUTH GLENWOOD APARTMENTS**  
640-650 SOUTH GLENWOOD ST  
JACKSON, WY 83001

12/19/19 DD SET  
1/24/20 PRE-APPLICATION SET

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JOB NO.: 17261

SCALE: AS INDICATED

DATE: 12/19/19

DRAWING TITLE

**WATER SERVICE  
PLAN AND PROFILE**

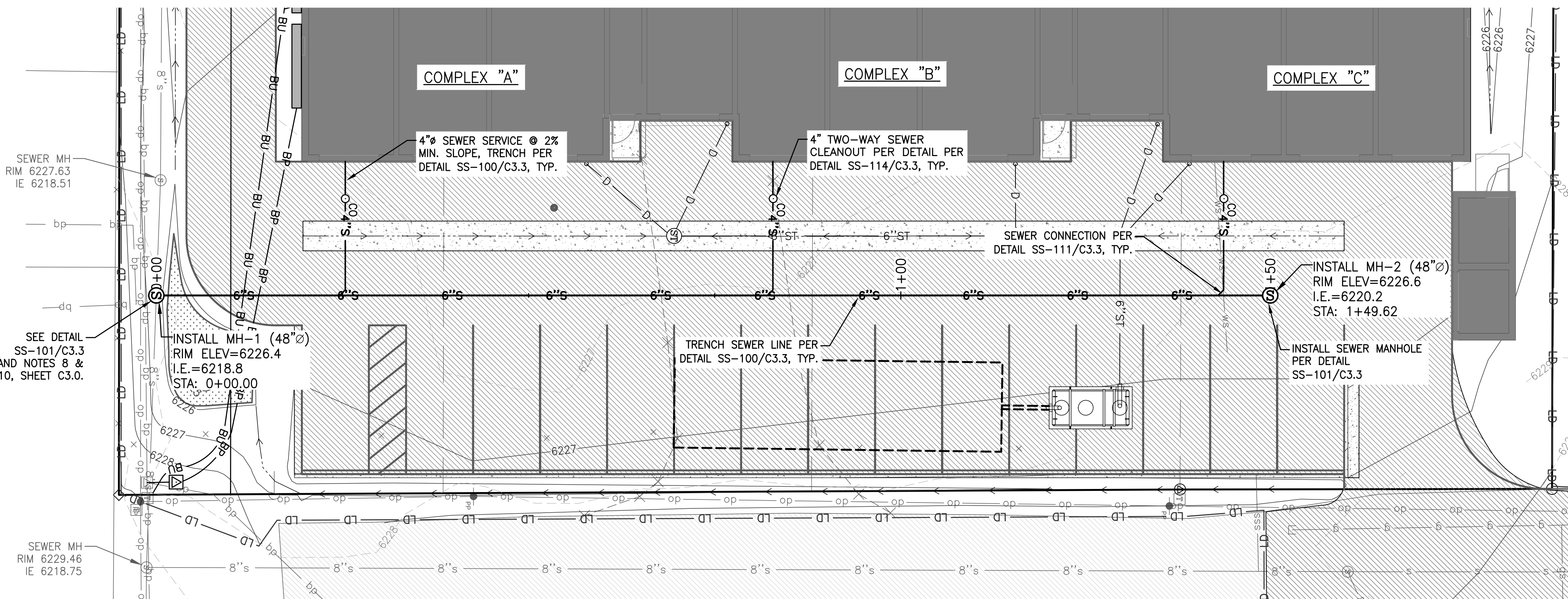
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**C3.1**

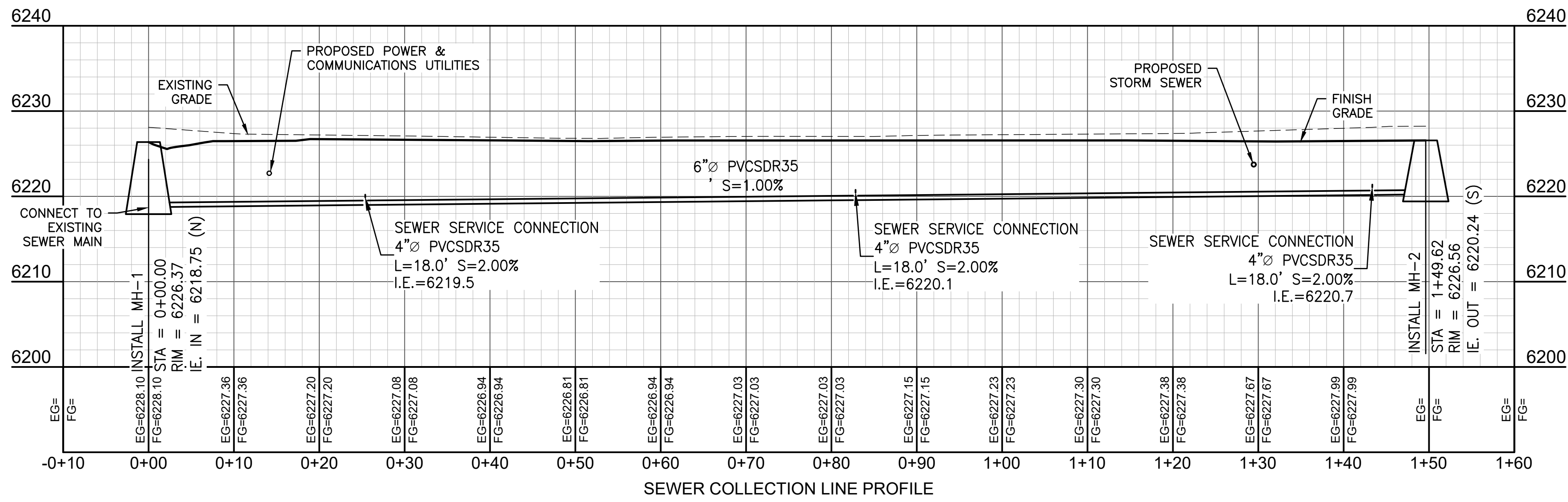
**NELSON  
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Professional Engineers & Land Surveyors  
WWW.NELSONENGINEERING.NET  
PO Box 1599 | 430 South Cache St | Jackson, WY 83001  
Jackson 307.733.2087 | Buffalo 307.684.7029

1-24-19 - GEC PRE-APP. SET  
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**SEWER SERVICE PLAN VIEW**  
SCALE: 1" = 10' (24X36)



**SEWER SERVICE PROFILE VIEW**  
SCALE: 1" = 5' (24X36)

1-24-19 - GEC PRE-APP. SET  
NOT FOR CONSTRUCTION

**NELSON  
ENGINEERING**  
Professional Engineers & Land Surveyors  
since 1964  
www.nelsonengineering.net  
PO Box 1599 | 430 South Cache St | Jackson, WY 83001  
Jackson 307.733.2087 | Buffalo 307.684.7029

**REGISTRATION**

**CLIENT**  
BASE CAMP LLC c/o COHEN & ASSOCIATES LLC  
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WESTPORT, CT 06880  
(203) 227-2390

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(307) 415-1685

**CIVIL/STRUCTURAL ENGINEER**  
NELSON ENGINEERING  
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ENERGY-1, LLC  
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JOB NO.: 17261

SCALE: AS INDICATED

DATE: 12/19/19

DRAWING TITLE

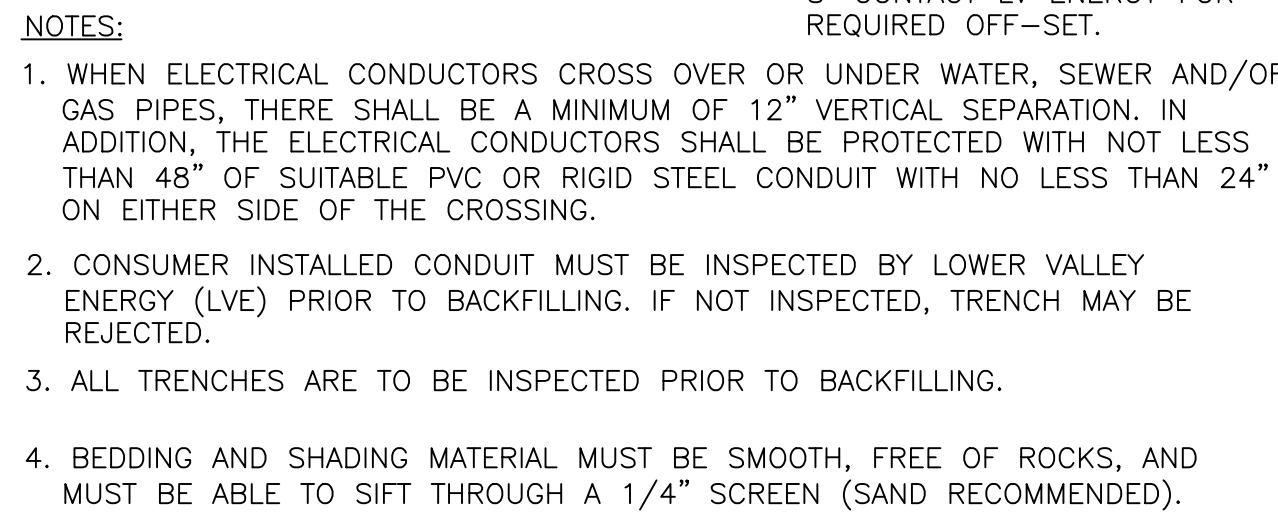
**SEWER SERVICE PLAN AND PROFILE**

SHEET NO.

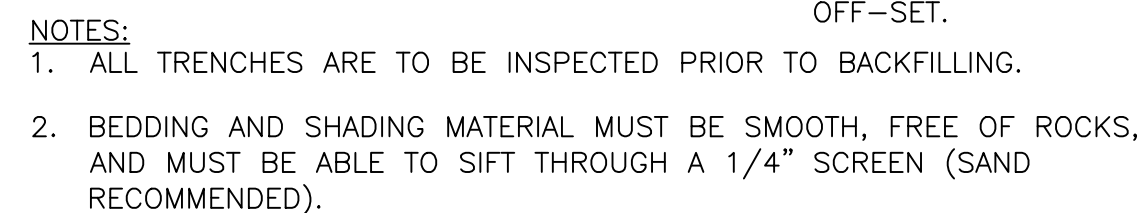
**MERGE ARCHITECTS INC**  
**SOUTH GLENWOOD APARTMENTS**  
640-650 SOUTH GLENWOOD ST  
JACKSON, WY 83001

**C3.2**

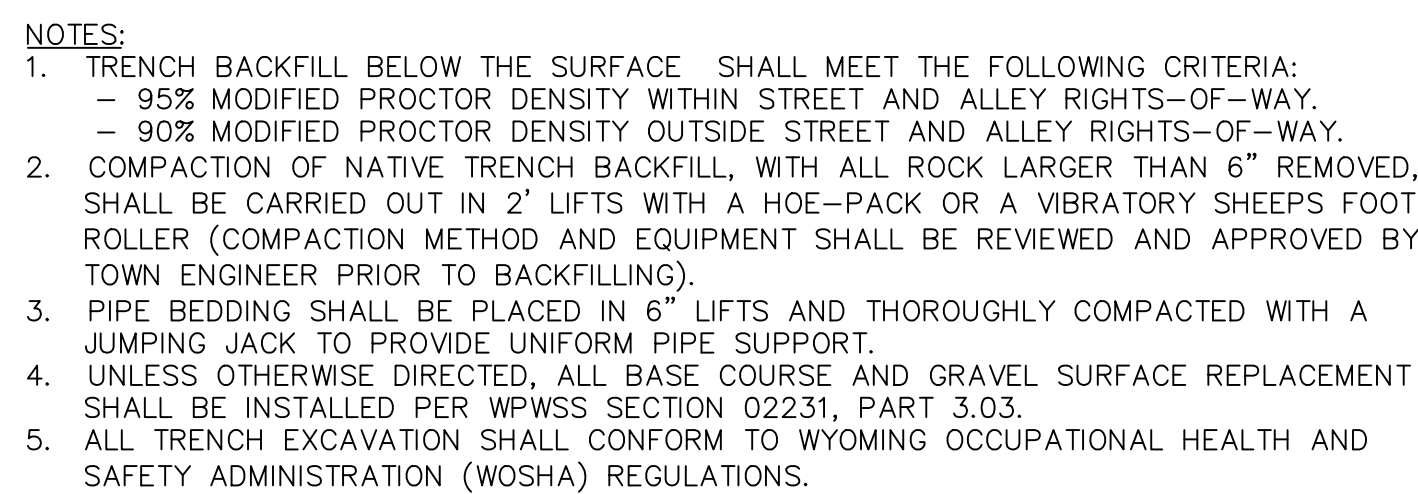




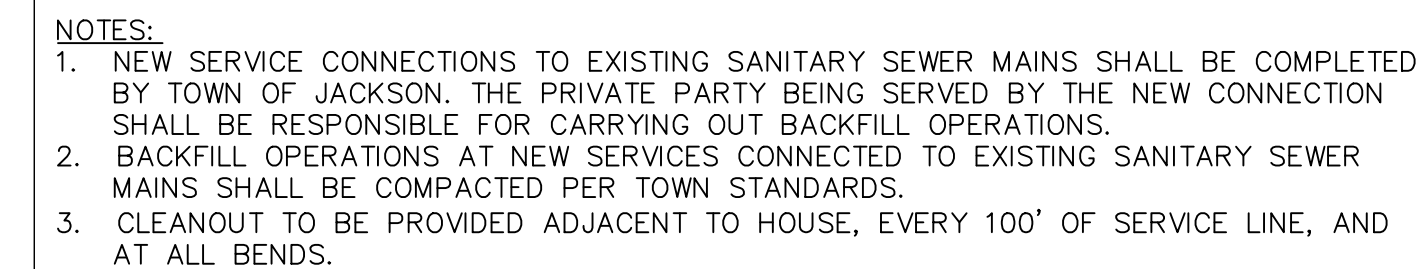
## 2 C3.3 TELEPHONE, INTERNET & T.V CABLE TRENCH DETAIL SCALE: NTS



SS-100	DATE: 1/10/13	SCALE: NTS
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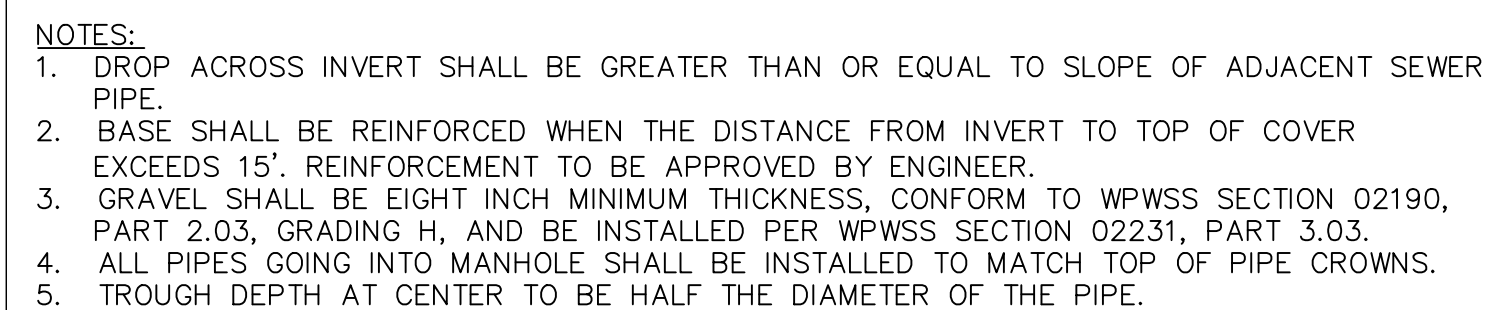
## SS-111 DATE: 1/14/13



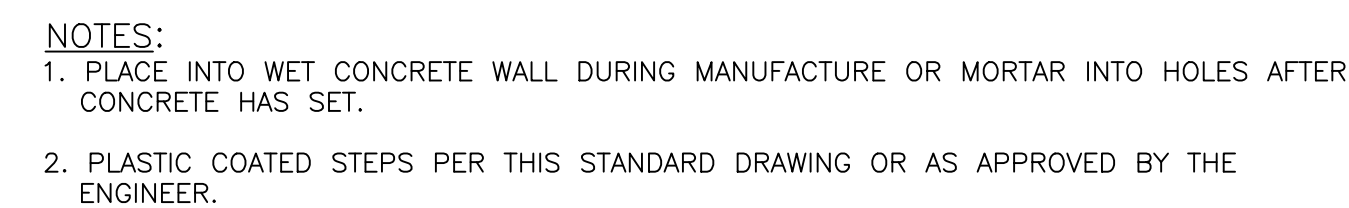
NOTES:

1. PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
2. INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
3. ALL PVC FITTINGS SHALL MEET ASTM D2665 SPECIFICATIONS.

SS-114	DATE: 1/14/13	SCALE: NTS
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## SS-101 DATE: 1/11/13



## SS-106 DATE: 1/11/13



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Jackson 307.733.2087 | Buffalo 307.684.7029

MEP ENGINEER

SHEET NO.

1-24-19 - GEC PRE-APP. SET  
NOT FOR CONSTRUCTION

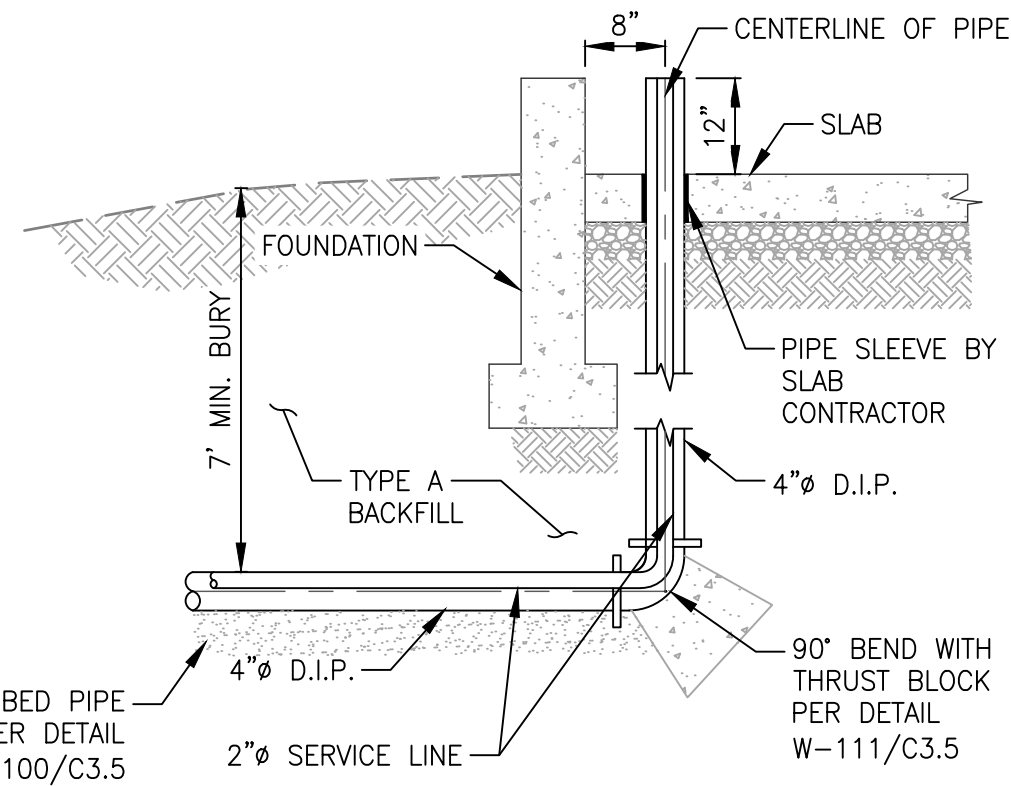
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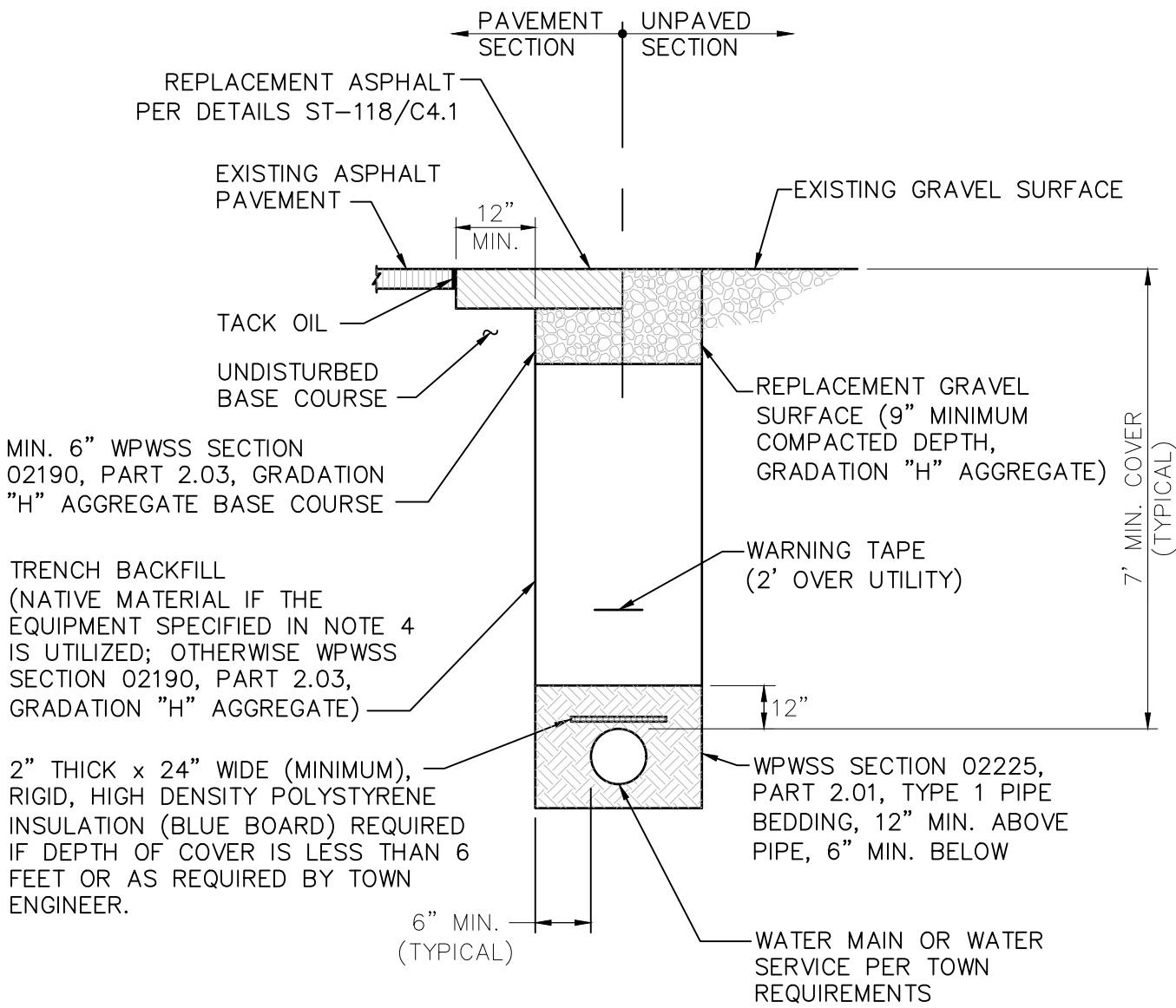




S:\Projects\2017\2017-02-04-050 Glenwood and 4th\Drawings\GLENWOOD PUB - UTILITY.dwg (C3.5 - UTILITY.dwg) P10 - UTILITY.dwg (C3.5 - UTILITY.dwg) - Jun 24 2020 10:00:20 am PLOTTED BY: dpatrick DWG CROWN: 230

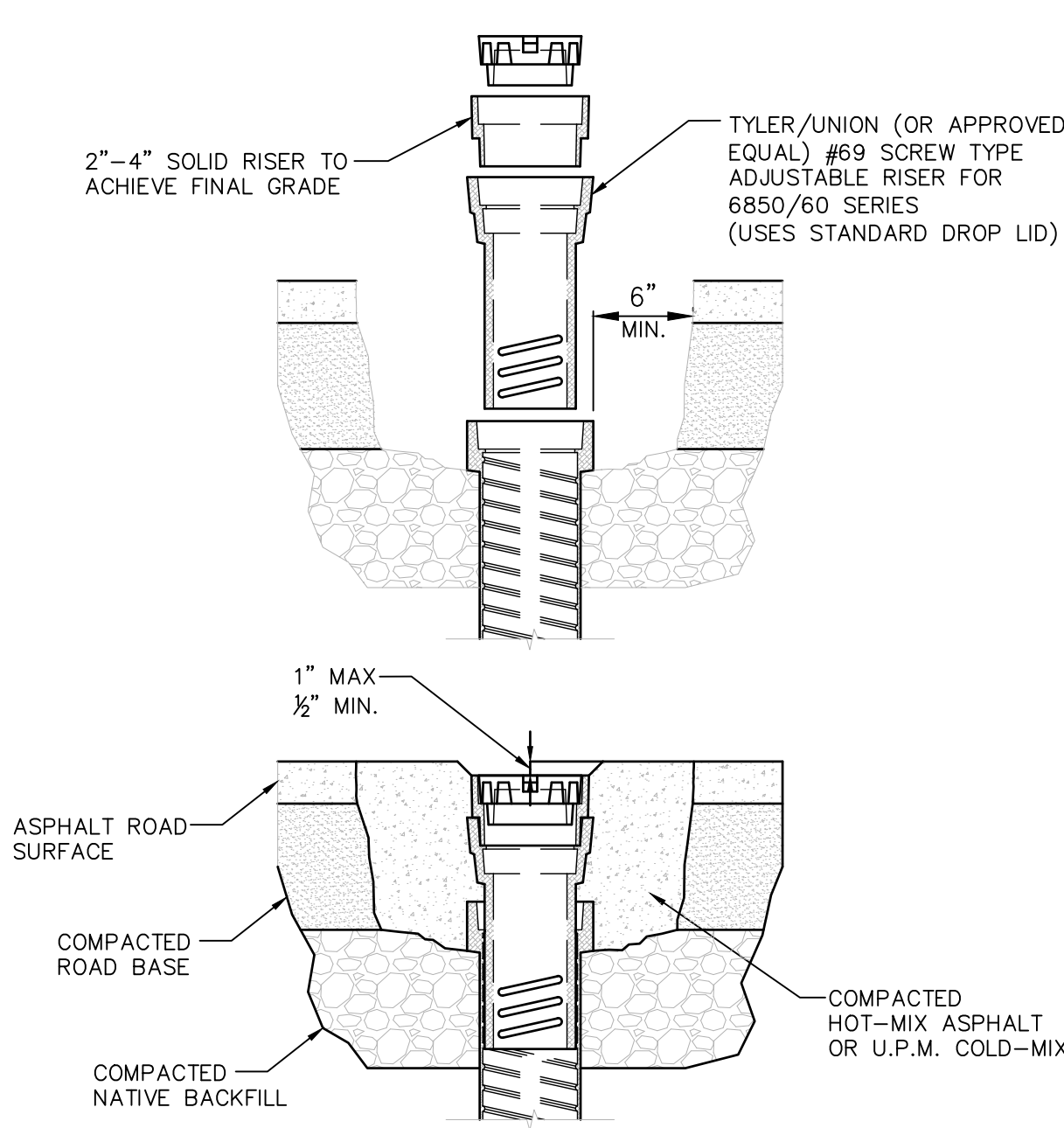


1  
C3.5 WATER SERVICE ENTRY DETAIL  
SCALE: NTS



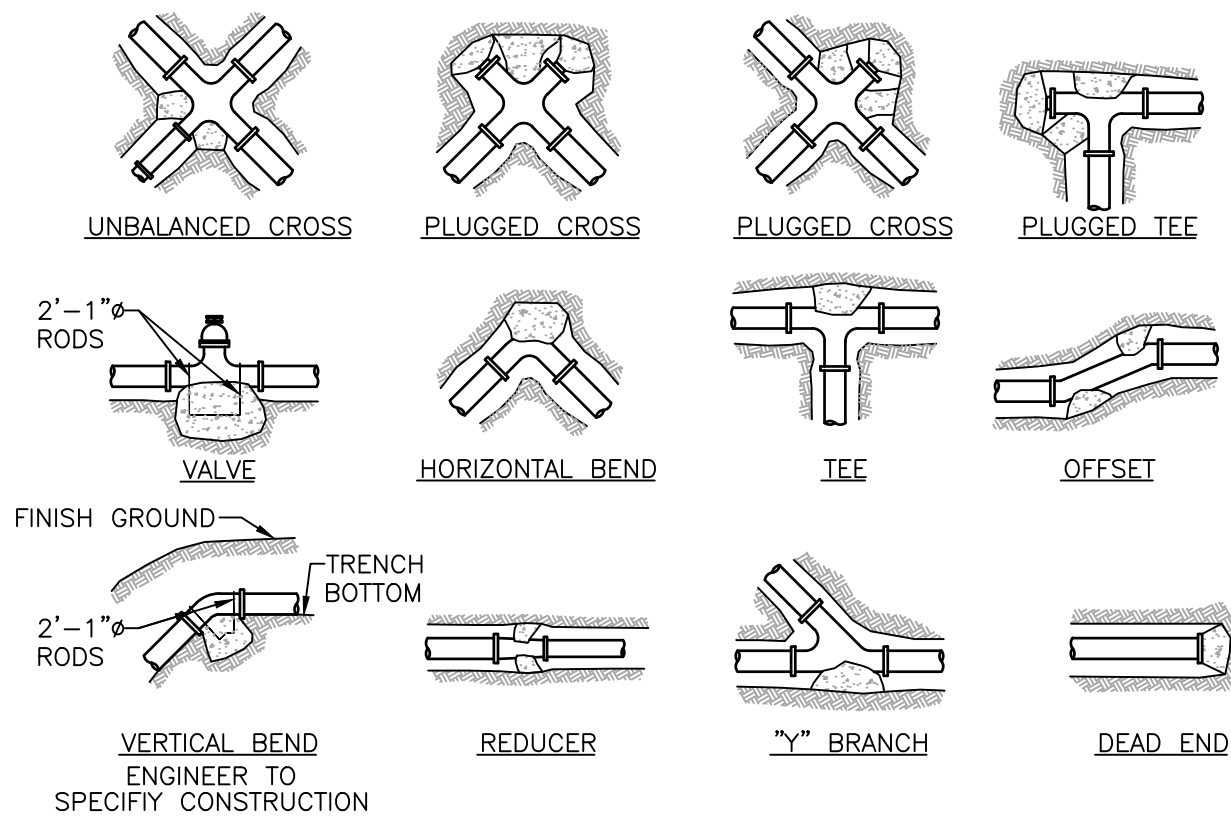
- NOTES:
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
    - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
    - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
  - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
  - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
  - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
  - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

W-100 WATER MAIN AND SERVICE LINE TRENCH  
DATE: 1/14/13 SCALE: NTS



- NOTES:
- ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING.
  - THE TOWN SHALL INSPECT THE VERTICAL ALIGNMENT PRIOR TO AND POST BACKFILLING.
  - MUD PLUGS ARE REQUIRED TO BE PLACED IN ALL VALVE BOXES.

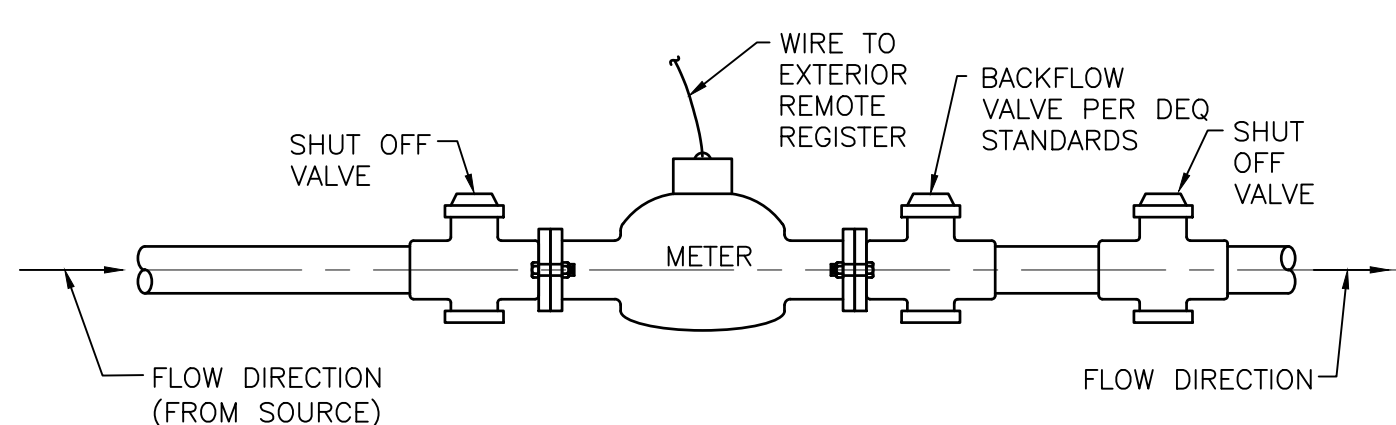
W-106 WATER VALVE COLLAR ASSEMBLY  
DATE: 1/16/13 SCALE: NTS



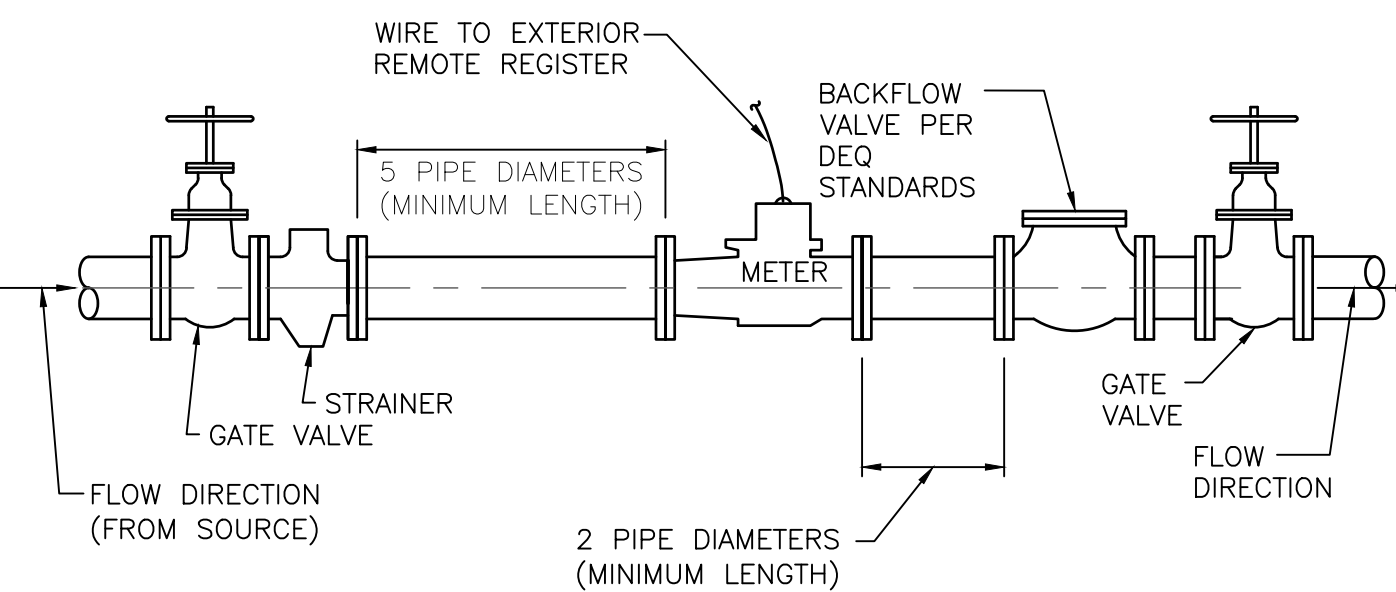
MINIMUM DIMENSIONS FOR THRUST BLOCKING											
FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS		
	A	B	A	B	A	B	A	B	A	B	B
4"	1'-7"	1'-2"	1'-9"	1'-6"	1'-8"	0'-10"	1'-7"	0'-6"	0'-6"	0'-6"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-8"	0'-8"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"	1'-0"
14"	5'-0"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"	3'-3"

- NOTES:
- SIZE BLOCKS SHALL BE A MINIMUM OF 6" THICK.
  - ALL BLOCKING SHALL BEAR AGAINST UNDISTURBED MATERIAL.
  - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
  - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE PROVIDED BETWEEN THRUST BLOCK AND WATER PIPE.

W-111 THRUST BLOCK DETAILS  
DATE: 1/16/13 SCALE: NTS



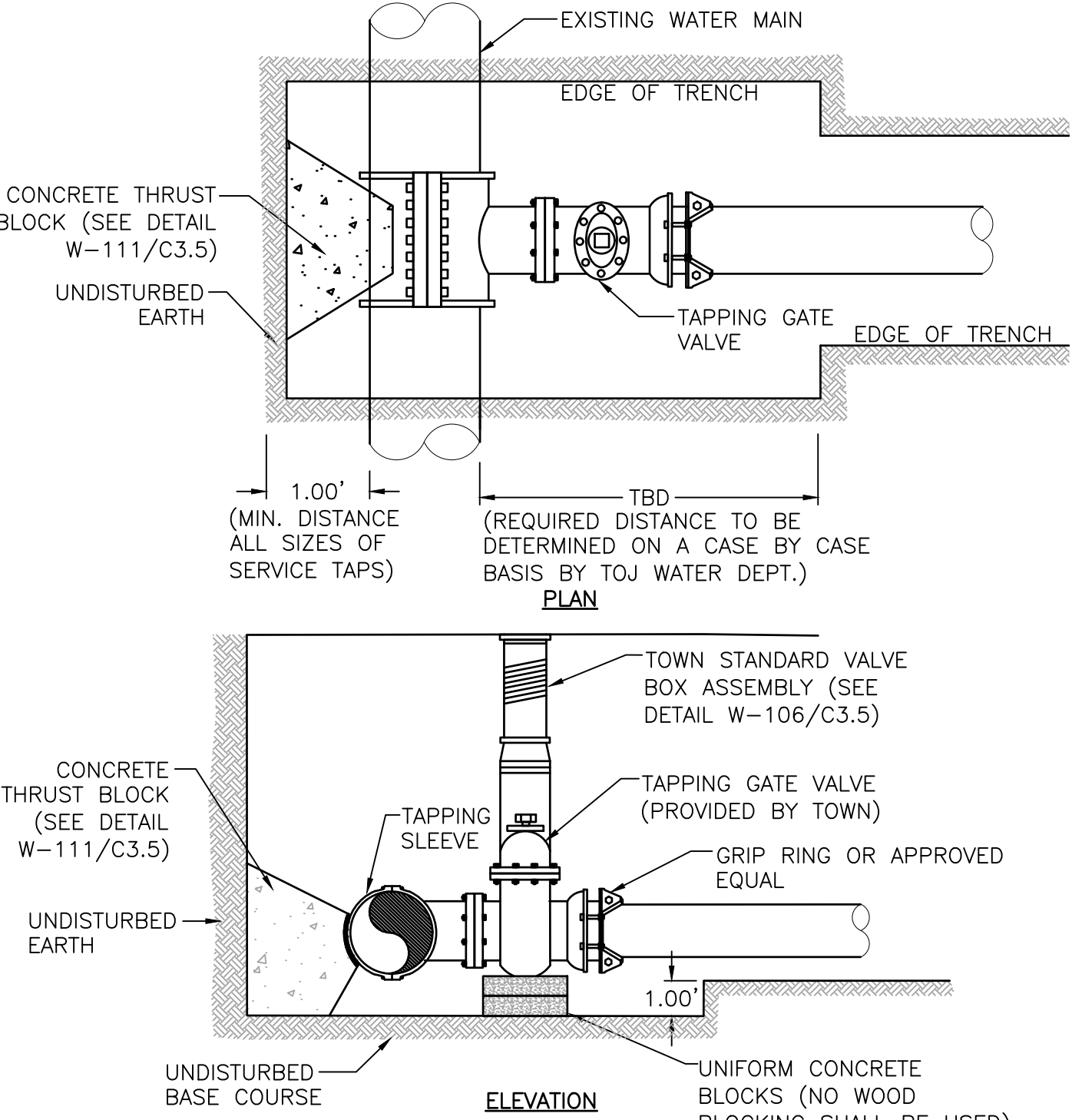
1-1/2" AND 2" DIAMETER ASSEMBLY



3" DIAMETER AND LARGER ASSEMBLY

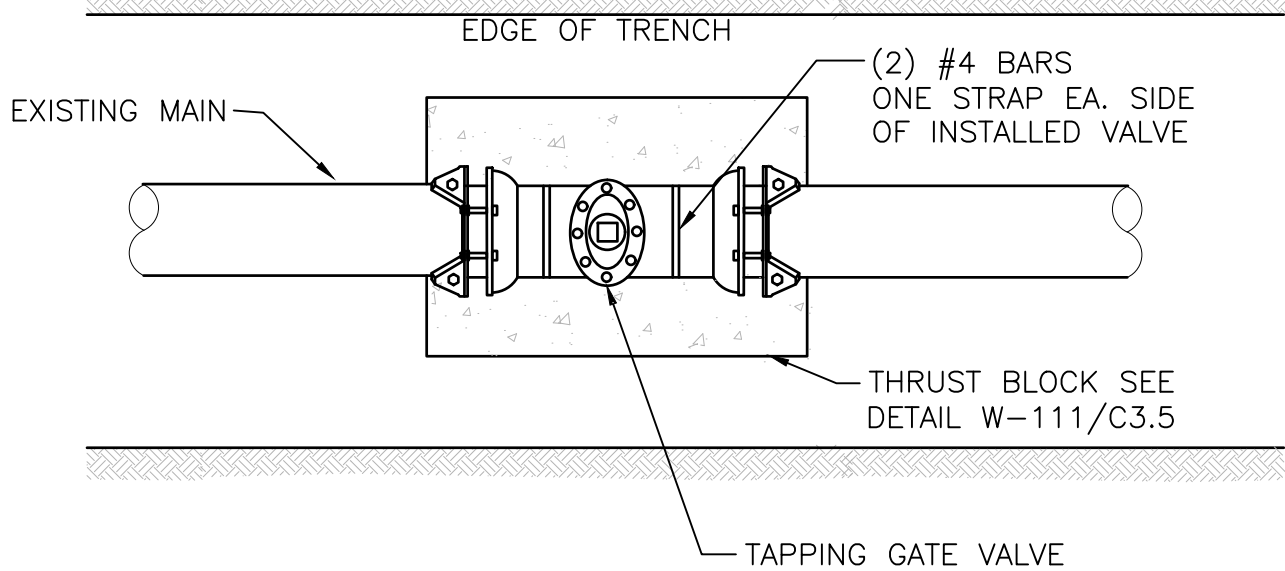
- NOTES:
- SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
  - METER SHALL BE INSTALLED IN HORIZONTAL ALIGNMENT ONLY.
  - CONNECTIONS WITHIN THE ASSEMBLY SHALL BE THREADED OR BOLTED FLANGED, AS APPROPRIATE.
  - METER SHALL BE PURCHASED FROM AND SUPPLIED BY THE TOWN OF JACKSON.

W-113 WATER METER INSTALLATION (1.5" & LARGER METERS, INTERIOR INST.)  
DATE: 1/16/13 SCALE: NTS

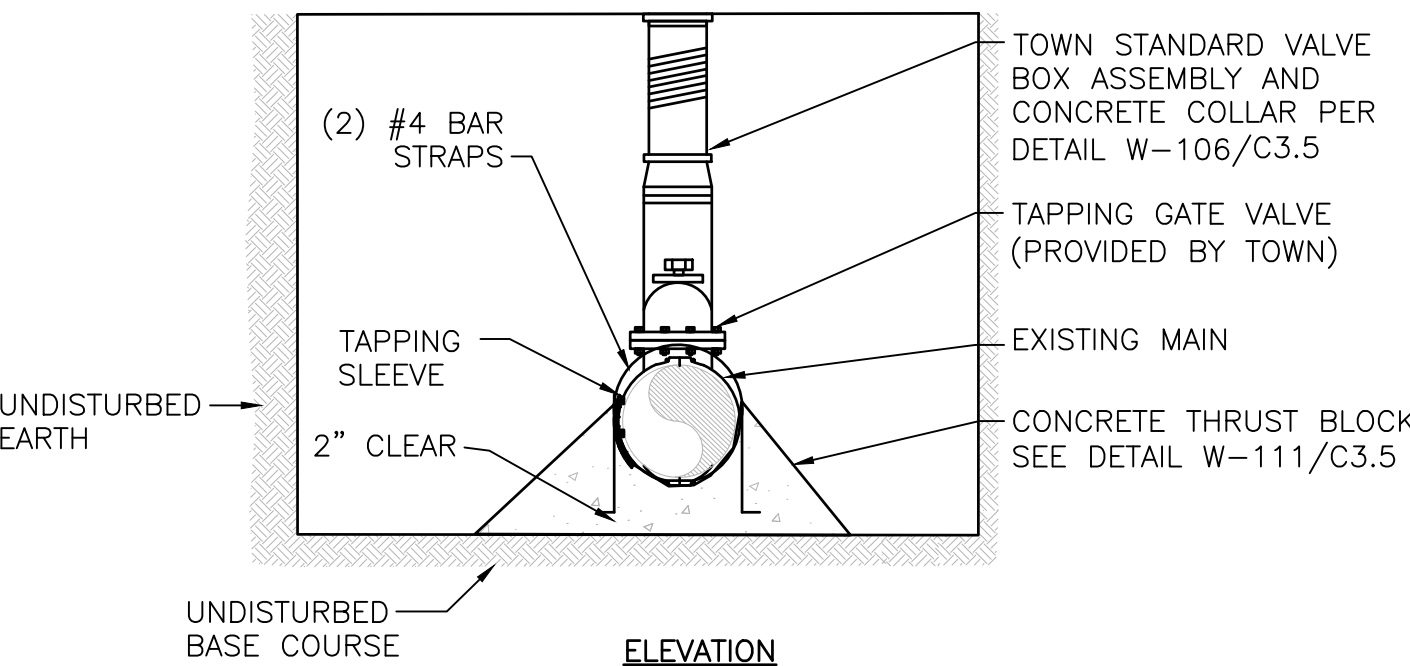


- NOTES:
- TRENCH WILL BE EXCAVATED TO MEET ALL WYOSHA STANDARDS PRIOR TO TAPPING.
  - EXCAVATION OF TAPPING LOCATION SHALL BE APPROVED BY TOJ WATER DEPARTMENT PRIOR TO TAPPING.
  - THE TOWN SHALL COMPLETE THE TAPPING OF THE MAIN. NO OTHER PERSONS SHALL COMPLETE TAP WITHOUT CONSENT OF TOWN. ALL OTHER WATER MAIN WORK SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

W-118 WATER MAIN TAPPING DETAIL  
DATE: 1/17/13 SCALE: NTS



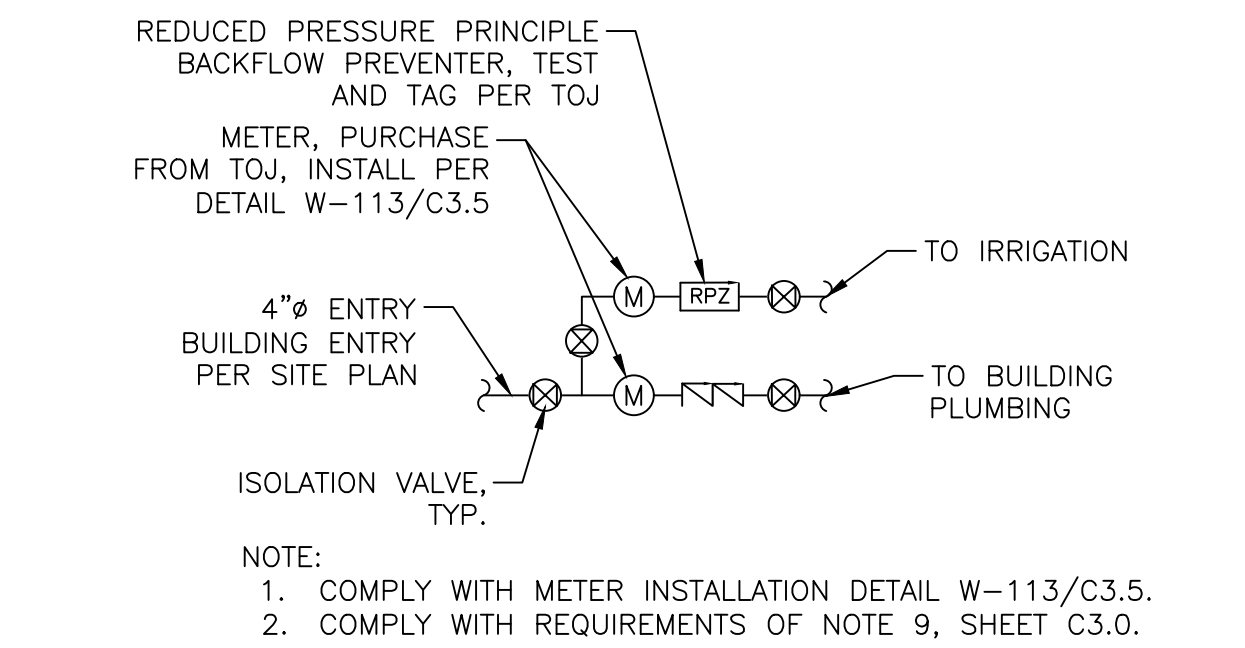
PLAN



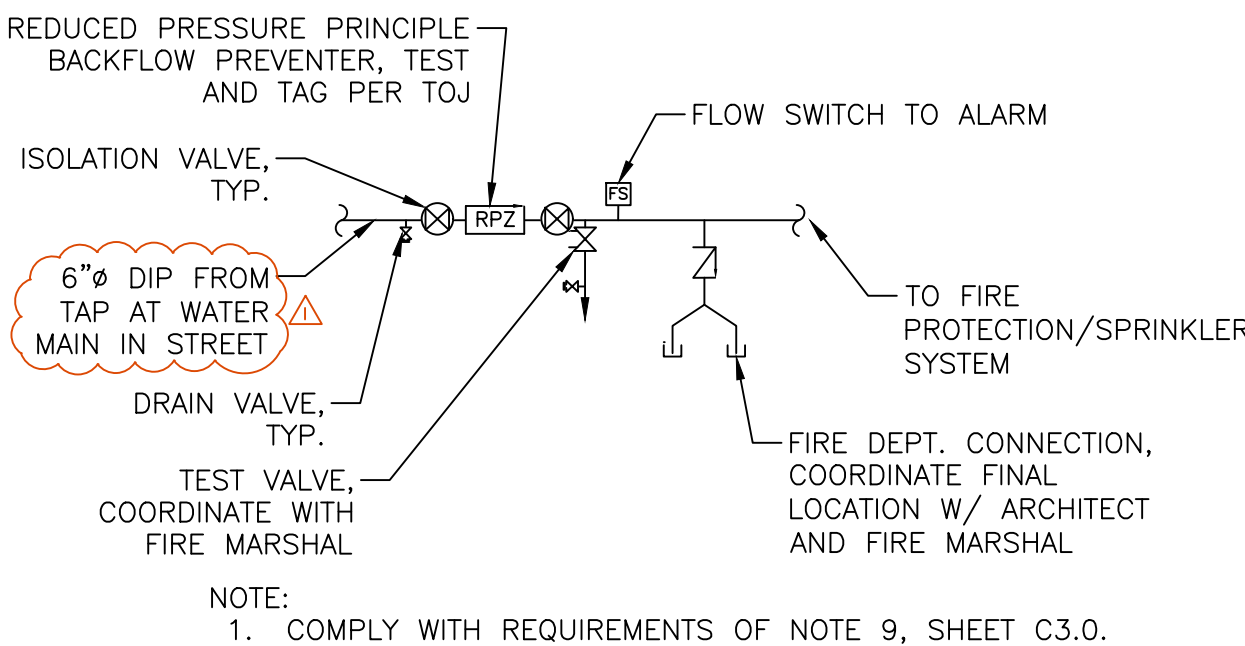
ELEVATION

- NOTES:
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  - TRENCH WILL BE EXCAVATED TO MEET ALL WYOSHA STANDARDS PRIOR TO TAPPING.
  - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE INSTALLED BETWEEN THRUST BLOCK AND WATER PIPE.

W-119 IN LINE WATER VALVE  
DATE: 1/18/13 SCALE: NTS



2  
C3.5 DOMESTIC WATER ENTRY DETAIL  
SCALE: NTS



3  
C3.5 FIRE ENTRY DETAIL  
SCALE: NTS

REGISTRATION

CLIENT  
BASE CAMP LLC C/O COHEN & ASSOCIATES LLC  
40 RICHMOND AVE, SUITE 105  
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SCALE: AS INDICATED  
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DRAWING TITLE

UTILITY DETAILS

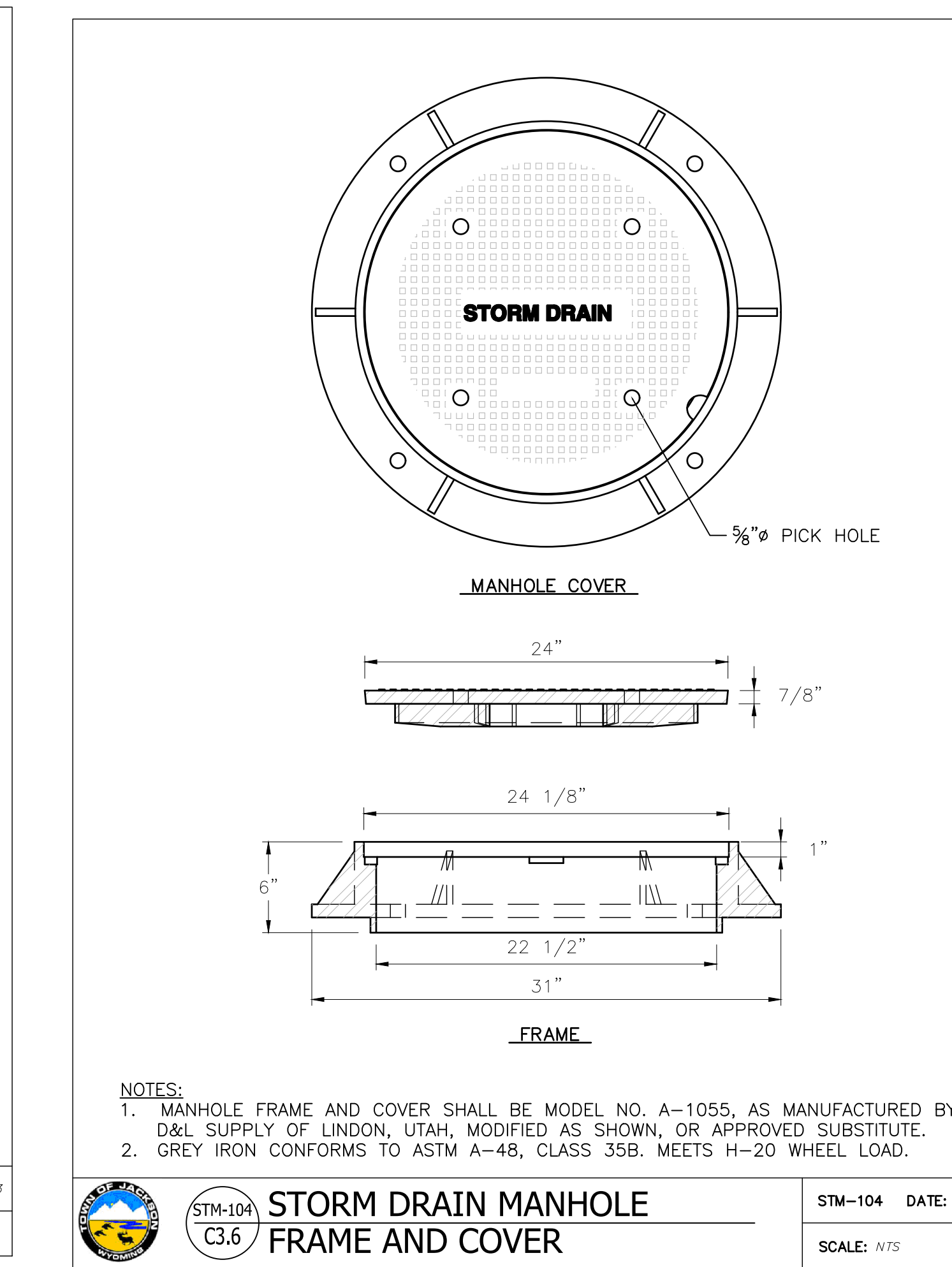
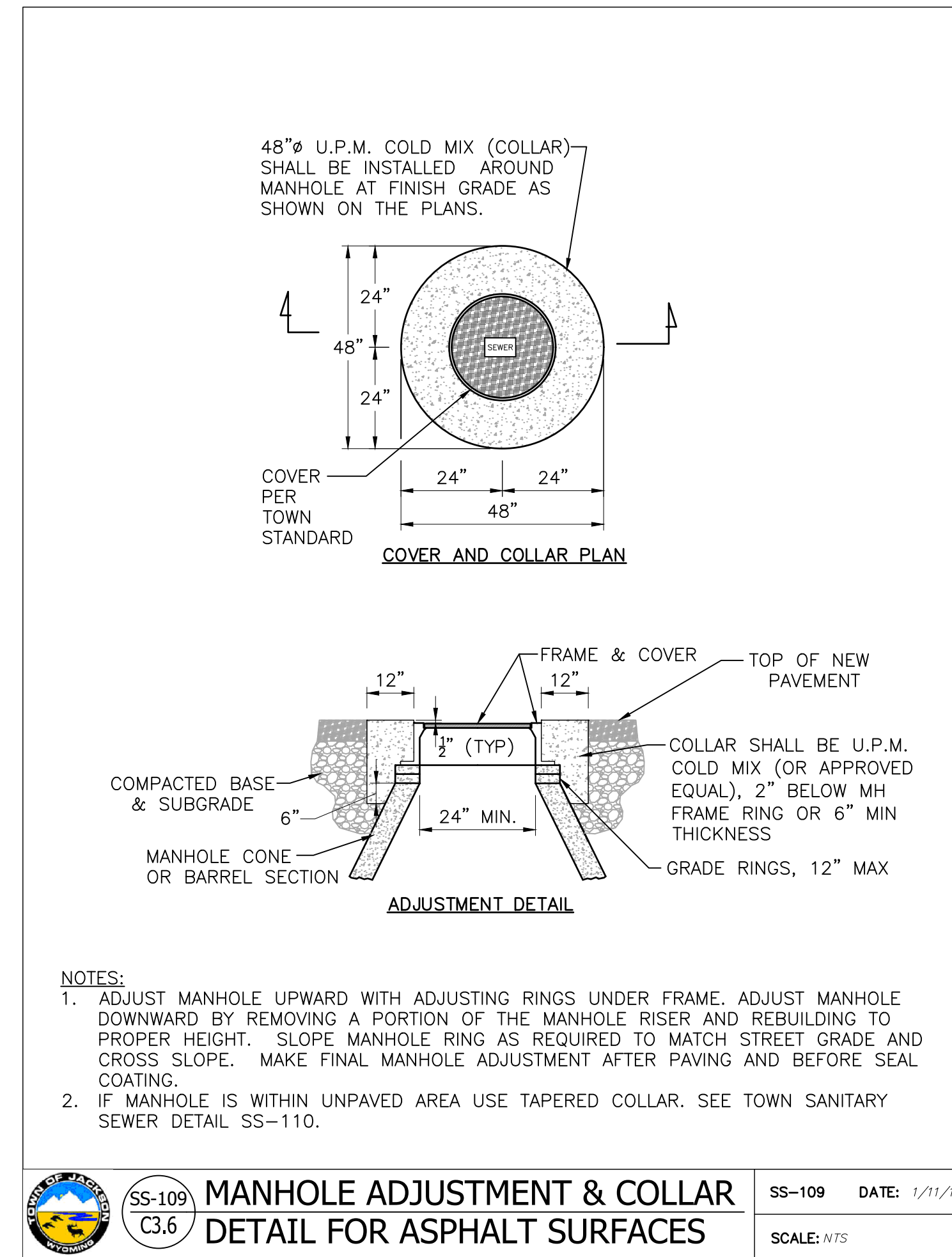
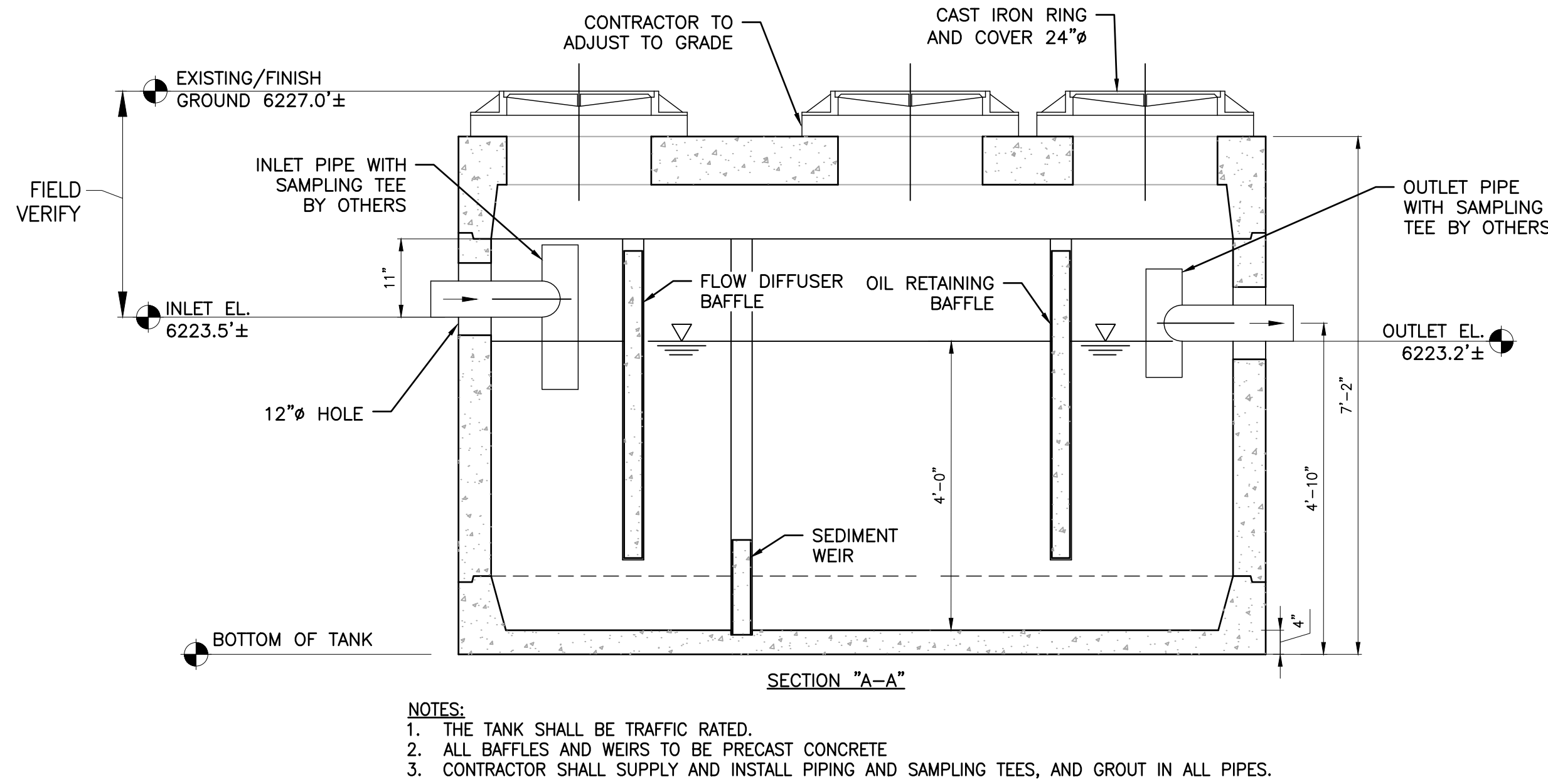
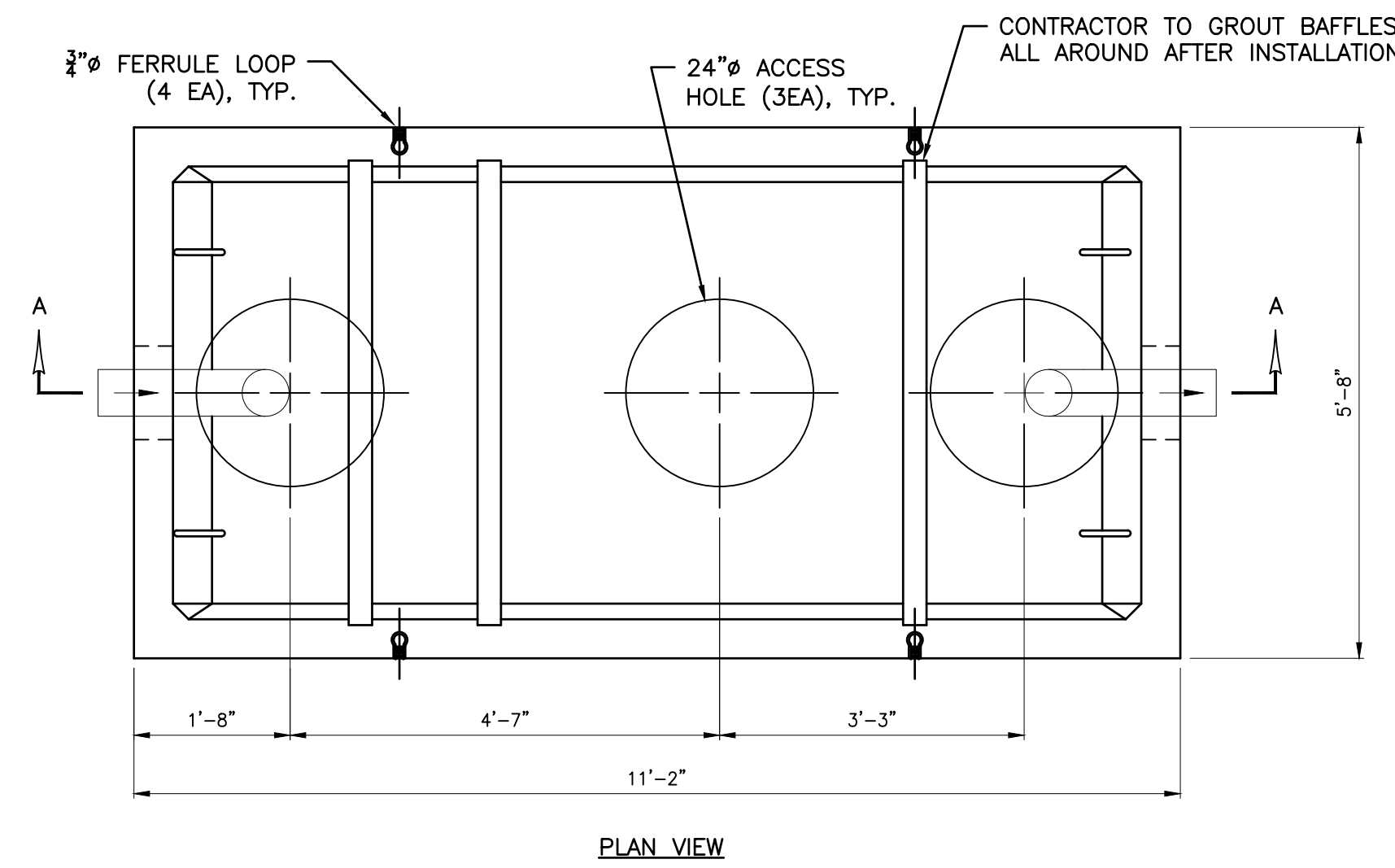
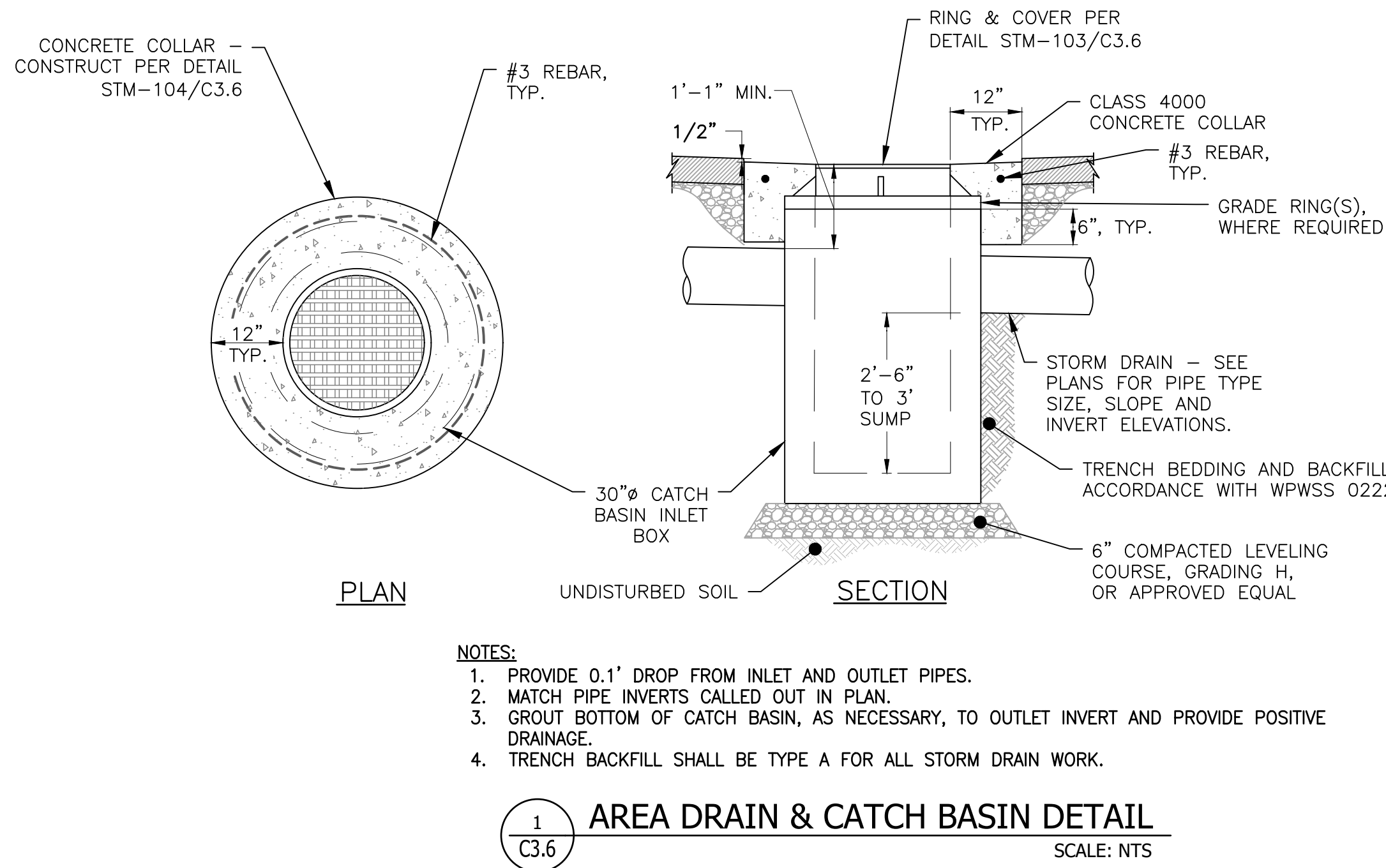
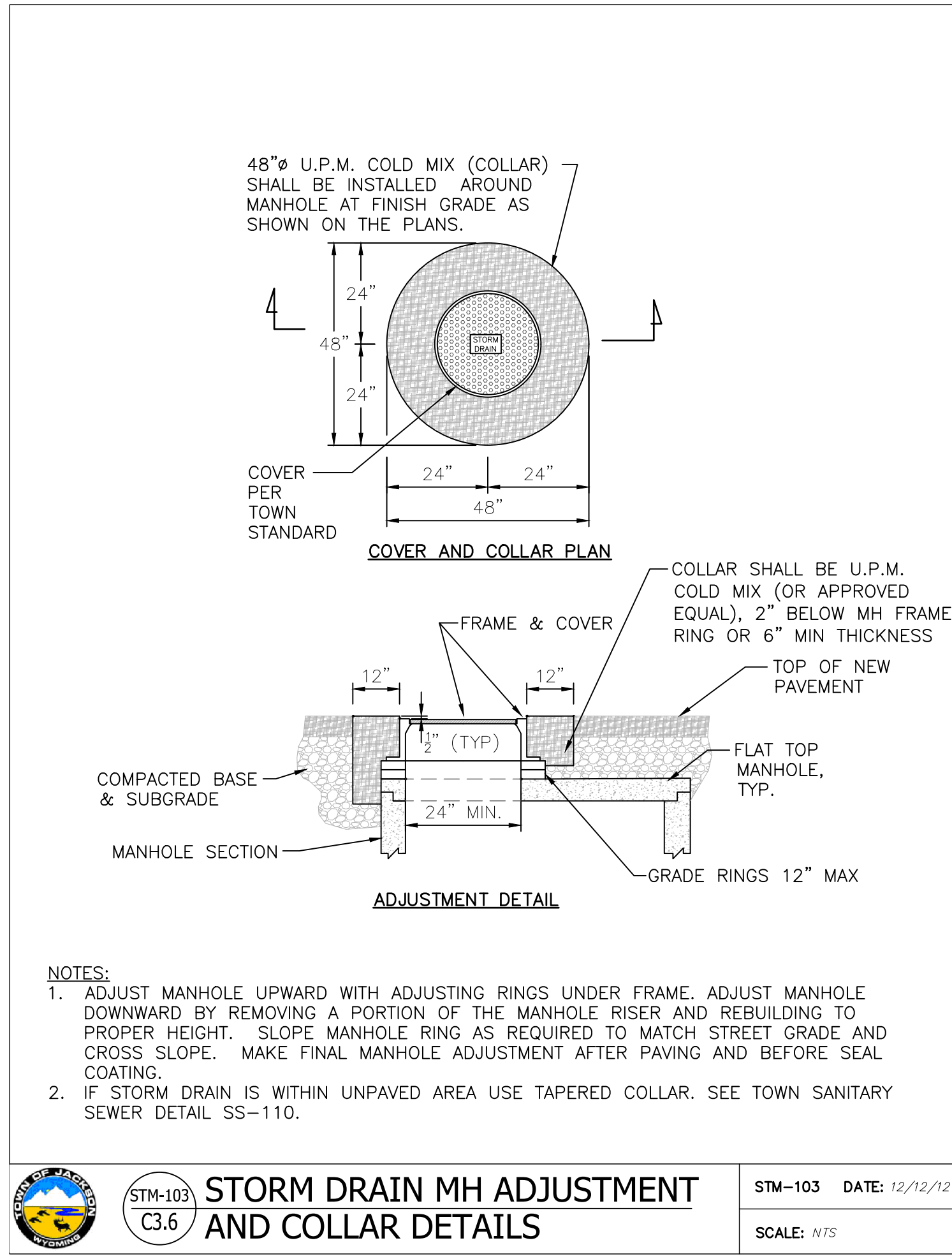
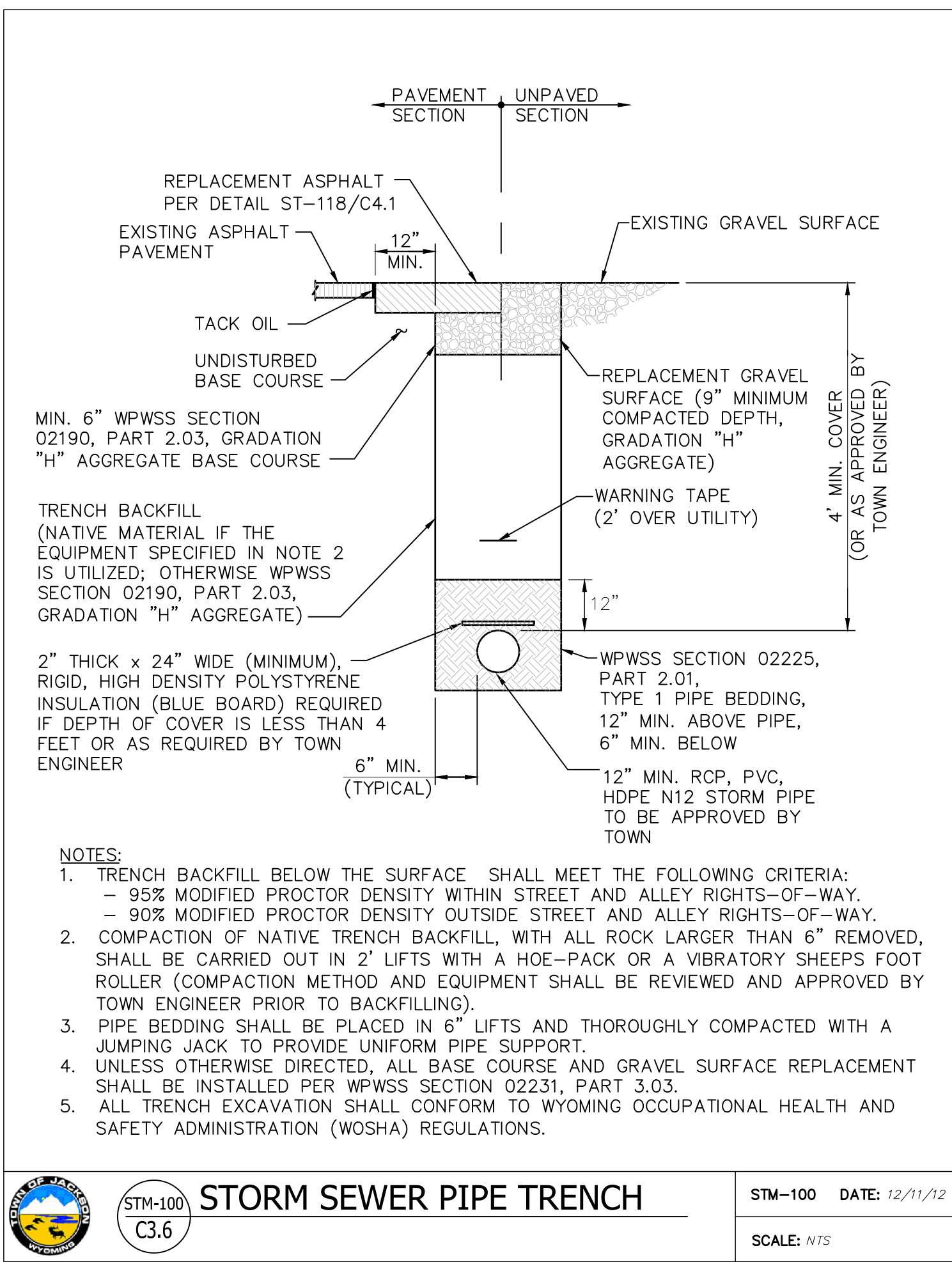
SHEET NO.

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C3.5

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REGISTRATION

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