



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

Joint Town/County

- ☒ Parks and Recreation
- ☒ Pathways
- ☒ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 9, 2019	REQUESTS: The applicant is submitting a request for an Administrative Adjustment (P19-182) and a Basic Use Permit (P19-183) for the property located at 645 S. Cache Street legally known as, LOT 11, BLK. 4, KARNS-2. For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Item #: P19-282, 283	
Planner: Brendan Conboy Phone: 733-0440 ext. 1302 Fax: 734-3563 Email: bconboy@jacksonwy.gov	
Owner: Newjack LLC 98 Center Street Jackson, WY 83001 Applicant: Hoyt Architects – Brad Hoyt PO Box 7364 Jackson, WY 83002	
Please respond by: December 23, 2019 (Sufficiency) December 30, 2019 (with Comments)	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Renovation and Addition at 645 Cache
Physical Address: 645 Cache
Lot, Subdivision: LOT 11, BLK. 4, KARNS-2 PIDN: 22-41-16-33-1-38-007

PROPERTY OWNER.

Name: NewJack LLC Phone: _____
Mailing Address: 98 Center Street, Jackson, WY 83001 ZIP: 83001
E-mail: tom@cabinandcompany.com

APPLICANT/AGENT.

Name: Hoyt Architects Phone: 307-733-9955
Mailing Address: PO Box 7364 ZIP: 83002
E-mail: brettb@hoytarchitects.design

DESIGNATED PRIMARY CONTACT.

____ Property Owner ☒ Applicant/Agent

TYPE OF APPLICATION. *Please check all that apply; review the type of application at www.townofjackson/200/Planning*

Use Permit	Physical Development	Interpretations
<input checked="" type="checkbox"/> Basic Use	____ Sketch Plan	____ Formal Interpretation
____ Conditional Use	____ Development Plan	____ Zoning Compliance Verification
____ Special Use	____ Design Review	Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	____ LDR Text Amendment
<input checked="" type="checkbox"/> Administrative Adjustment	____ Subdivision Plat	____ Map Amendment
____ Variance	____ Boundary Adjustment (replat)	Miscellaneous
____ Beneficial Use Determination	____ Boundary Adjustment (no plat)	____ Other: _____
____ Appeal of an Admin. Decision	____ Development Option Plan	____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: P18-256 Environmental Analysis #: N/A
Original Permit #: Unknown Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

- ☒ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.
- ☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.
- ☒ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Brett Bennett

Signature of Property Owner or Authorized Applicant/Agent

Brett Bennett

Name Printed

Digitally signed by Brett Bennett
DN: C=US, E=bennett@hoytarchitects design, O=Hoyt Architects, CN=Brett Bennett
Date: 2019.12.05 10:00:38-0700

12.5.2019

Date

Architect

Title

LETTER OF AUTHORIZATION

NewJack LLC

Suite D, Jackson, Wy 83001

, "Owner" whose address is: 98 Center Street,

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Tom Hedges and Alex Marshall

, as the owner of property more specifically legally described as:

645 S Cache St: LOT 11, BLK. 4, KARNS-2 and 655 S Cache St: LOT 12, BLK. 4, KARNS-2

(If too lengthy, attach description)

HEREBY AUTHORIZES Hoyt Architects, PO Box 7364, Jackson, WY 83002 as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Member

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)
)SS.

COUNTY OF Teton

)

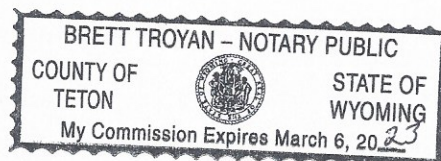
The foregoing instrument was acknowledged before me by Tom Hedges this 16th day of October, 2019.

WITNESS my hand and official seal.

(Seal)

(Notary Public)

My commission expires: 03/06/2023





Date: December 5th, 2019

Hoyt Architects
PO Box 7364
Jackson, WY 83002
Contact: Brett Bennett 307.733.9955 (brettb@hoytarchitects.design)

Basic Use Permit and Administrative Adjustment for Northeast Setback
645 Cache
Jackson, WY
83001

Project Narrative for Basic Use Permit:

Existing conditions at 645/655 Cache consist of a restaurant and parking area zoned CR-1. The existing structure includes a basement, first floor, and roof deck.

A change of use is proposed for this project to include Offices and 2 residential dwelling units. Office space will be included in the basement, first floor, and second floor spaces with the third floor dedicated to residential use.

Project narrative for Administrative Adjustment:

CR-1 zoning notes a side setback of 0' or 5' however we have shown a setback of 1'-0" at the northeast addition of this project to accommodate the existing structure located at 635 Cache. After meeting with the landowners, we felt this would be the most reasonable approach as the 635 Cache gabled roof structure is located at the lot line and sheds south to 645 Cache. We are proposing the 1'-0" setback to accommodate a gutter and heat trace system.

Supporting documents include:

BUP application and narrative.
Existing and proposed floorplans and elevations.
Existing and proposed site drawings.
Affordable housing worksheets.
Letter of Authorization.

Thank you for reviewing this application.

Sincerely,

Brett Bennett / Hoyt Architects

Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted Jun are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, you will need to use the population equations for the gold cells.

Step 1. Describe your project. Enter as many rows as needed to describe the different uses and unit boxes. In the other gold boxes, describe each use's size in floor area and bedrooms (if applicable), the affordable housing will calculate for each unit and populate the Total box. See also Sections 6.3.2 a

[illegible]

Step 2. What types of units are required? The proposed LDRs lay out a schedule for how many units must be 2, or 3 bedrooms. The LDRs also allow for adjustment. To propose an adjusted allocation, change the allocation must meet the customization rules provided, and may not result in less affordable workday turn red. See also Section 6.3.4 of the proposed LDRs.

Affordability
Rental Units Affordable to Households making 50% Median Income
Rental Units Affordable to Households making 80% Median Income
Rental/Ownership Units Affordable to Households making 120% Median Income
Rental/Ownership Workforce Units
Total

Bedroom Mix	1 Bed/Studio	2 Bedroom	3 Bedroom
LDR Schedule	3.622	4.000	1.000
Proposed Allocation	3.622	4.000	1.000
Employees per Unit per LDRs	1.45	2.00	2.10

Step 3. Distribute the affordability and bedroom mix. The bedroom mix must be proportionally distributed across the units. The totals must match your allocation totals (they will turn red if they don't). A customized distribution. See also Section 6.3.4 of the proposed LDRs.

Requirement Distribution			
	1 Bed/Studio	2 Bedroom	3 Bedroom
Affordable to 50% Median Income	1.622	1.000	0.000
Affordable to 80% Median Income	0.000	1.000	0.000
Affordable to 120% Median Income	2.000	2.000	0.000
Workforce Restriction	0.000	0.000	1.000
Total	3.622	4.000	1.000

Step 4. How will the required housing be provided? The proposed LDRs require that unless impracticable construction of housing. If impracticable the units may be provided by dedication of land, use of a ban be paid. Enter the number of units to be constructed or provided through land dedication, use of a remaining will calculate. See also Section 6.3.5 of the proposed LDRs.

	Units Constructed		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	1.000	1.000	0.000
Affordable to 80% Median Income	0.000	1.000	0.000
Affordable to 120% Median Income	2.000	2.000	0.000
Workforce Restriction	0.000	0.000	1.000

	Banked Units Used		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	0.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

	Units Provided via In-Lieu Fee		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.622	0.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

September 26, 2018. Cells that can be modified are highlighted in gold, other cells are not. For example, it is best to start with a fresh worksheet in order to reset the auto

use types proposed. Select a use from the use table in the left most gold column. Then describe how many units of each use type are proposed. The required units are listed in 6.3.3 of the proposed LDRs.

	Proposed Use Size (bedrooms)	Proposed Use Size (sf)	Proposed Use Quantity	Affordable Units Required
		7200	1	8.622
				?
				?
				?
				?
				?
				?
				?
				?
				?
Total	0	7200	1	8.622

units have to be in each income ranges and how many units have to have 1, 2, or 3 bedrooms. The values in the proposed column/row (gold cells); the customized units provided are not less than are required. If a rule is violated the cell will be red.

LDR Schedule	Proposed	Custom %	Customization Rules
2.622	2.622	30%	Custom % shall be \geq 25%
1.000	1.000	12%	Custom % shall be \geq 19%
4.000	4.000	46%	Custom % shall be $<$ 43%
1.000	1.000	12%	Custom % shall be $<$ 13%
8.622	8.622	Proposed total shall be \geq Required	

Total Units	Total Employees Housed	Customization Rule
8.622	15.519	Proposed totals shall be \geq Schedule totals
8.622	15.352	
1.80		

units are distributed among the affordability mix. If you modify the distribution (gold cells), the distribution should be within 1 (rounded up or down) of the even

	Even Distribution		
Total	1 Bed/Studio	2 Bed	3 Bed
2.622	1.124	1.124	0.375
1.000	0.429	0.429	0.143
4.000	1.714	1.714	0.571
1.000	0.429	0.429	0.143

0.9
0.4
1.7
0.4

atical any housing requirement of 1 unit or greater be provided through
 ked unit, or restriction of an existing unit. Only as a last option shall a fee
 banked unit, or restriction of an existing unit (gold boxes). The in-lieu fee

Units Provided via Land Dedication		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Existing Units Restricted		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Fee			
1 Bed/Studio	2 Bed	3 Bed	
\$ 195,461	\$ -	\$ -	
\$ -	\$ -	\$ -	
\$ -	\$ -	\$ -	
\$ -	\$ -	\$ -	
Total			\$ 195,461

Use	Rate
Agriculture	Exempt
Outdoor Recreation	Independent Calculation
Affordable Housing Unit	Exempt
Workforce Housing Unit	Exempt
Workforce Housing Bonus Unit	Exempt
Detached Single-Family Unit Unrestricted	$0.000017(sf) + (Exp(-15.49 + 1.59 * \ln(sf))) / 2.176$
Attached Single-Family Unit Unrestricted	$0.000017(sf) + (Exp(-14.17 + 1.59 * \ln(sf))) / 2.176$
Apartment Unrestricted	$0.000017(sf) + (Exp(-14.17 + 1.59 * \ln(sf))) / 2.176$
Detached Single-Family Unit Local Occupancy	$0.000017(sf) + (Exp(-16.14 + 1.59 * \ln(sf))) / 2.176$
Attached Single-Family Unit Local Occupancy	$0.000017(sf) + (Exp(-14.82 + 1.59 * \ln(sf))) / 2.176$
Apartment Local Occupancy	$0.000017(sf) + (Exp(-14.82 + 1.59 * \ln(sf))) / 2.176$
Mobile Home	Exempt
Dormitory	Exempt
Group Home	Exempt
Conventional Lodging	$0.204 * \text{bedrooms}$
Short-Term Rental Unit	$0.204 * \text{bedrooms}$
Office	$0.000493 * sf$
Retail	$0.000431 * sf$
Service	$0.000431 * sf$
Restaurant/Bar	$0.001197 * sf$
Heavy Retail/Service	$0.000246 * sf$
Mini-Storage Warehouse	$0.000013 * sf$
Nursery	$0.000431 * sf$
Amusement	$0.000431 * sf$
Developed Recreation	Independent Calculation
Outfitter/Tour Operator	Independent Calculation
Adult Entertainment Business	$0.000431 * sf$
Assembly	Independent Calculation
Daycare/Education	Independent Calculation
Light Industry	$0.000246 * sf$
Heavy Industry	$0.000246 * sf$
Disposal	$0.000246 * sf$
Parking	$0.000246 * sf$
Utility Facility	$0.000246 * sf$
Wireless Communication Facilities	$0.000246 * sf$
Heliport	$0.000246 * sf$
Accessory Residential Unit	Exempt
Bed and Breakfast	Exempt
Home Occupation	Exempt
Home Business	Exempt
Family Home Daycare	Exempt
Home Daycare Center	Exempt
Drive-In Facility	Exempt
Christmas Tree Sales	Exempt
Real Estate Sales Office	Exempt
Temporary Shelter	Exempt

Farm Stand
Temp. Gravel Extraction and Processing

Exempt
Exempt

[illegible]

0
0

0
0

HOUSEHOLD INCOME IN THE PAST 12 MONTHS IN 2016 INFLATION-ADJUSTED DOLLARS

Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

HMI 75,000

	Estimate		
Total:	8,576		
Less than \$10,000	196		
\$10,000 to \$14,999	171		
\$15,000 to \$19,999	191		
\$20,000 to \$24,999	561		
\$25,000 to \$29,999	208		
\$30,000 to \$34,999	203		
\$35,000 to \$39,999	340		
\$35,000 - \$37,499	170	20	25
\$37,500 - \$39,999	170		
\$40,000 to \$44,999	451		
\$45,000 to \$49,999	197		
\$50,000 to \$59,999	510	15	19
\$60,000 to \$74,999	1,231		
\$75,000 to \$99,999	1,226		
\$100,000 to \$124,999	862		
\$100,000 - \$104,999	172.4		
\$105,000 - \$109,999	172.4		
\$110,000 - \$114,999	172.4	35	43
\$115,000 - \$119,999	172.4		
\$120,000 - \$124,999	172.4		
\$125,000 to \$149,999	573	11	13
\$150,000 to \$199,999	386	19	
\$200,000 or more	1,270		
Median = \$75,594			

B08202: HOUSEHOLD SIZE BY NUMBER OF WORKERS IN HOUSEHOLD - Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

	Estimate			
Total:	8,576			
No workers	1,700			
1 worker	2,935			
2 workers	3,238			
3 or more workers	703			
1-person household:	2,573			
No workers	935			
1 worker	1,638			
2-person household:	3,203			
No workers	639			
1 worker	771			
2 workers	1,793			
		Assumed E Allocation		
		1 Bedroom	1.426702	0.428571
		2 Bedroom	1.994506	0.428571

3-person household:	1,413	3 Bedroom	2.092428	0.142857
No workers	0			
1 worker	251			1.76515
2 workers	759			
3 workers	403			
4-or-more-person household:	1,387			
No workers	126			
1 worker	275			
2 workers	686			
3 or more workers	300			

Cost per Livable sf (based on most recent projects currently being developed, see equation)

\$ 563

Median Income (based on HUD Family Median Income for 2017 applied to housing department ap

	1 bed	2 bed	3 bed
50%	\$ 36,800.69	\$ 46,337.56	\$ 50,270.60
80%	\$ 58,881.11	\$ 74,140.10	\$ 80,432.96
120%	\$ 88,321.67	\$ 111,210.15	\$ 120,649.45
200%	\$ 147,202.78	\$ 185,350.25	\$ 201,082.41

Average Livable Size (set by policy in LDRs, recent Housing Department developments at right for r

1 bed	2 bed	3 bed
	650	900 1150

Max Rental Rate (based on Rules and Regulations that rent shall be based on low end of range spe

	1 bed	2 bed	3 bed
50%	\$ 4,124.13	\$ 5,840.76	\$ 6,548.71
80%	\$ 8,540.21	\$ 11,401.27	\$ 12,581.18
120%	\$ 15,164.33	\$ 19,742.03	\$ 21,629.89
200%	\$ 23,996.50	\$ 30,863.04	\$ 33,694.83

Cap Rate (set by policy in LDRs based on reasonable industry standard)

8%

Maximum Sales Price (based on Rules and Regulations that sales price shall be based on the middl

	1 bed	2 bed	3 bed
50%	\$ 71,072.13	\$ 89,490.40	\$ 97,086.17
80%	\$ 153,989.61	\$ 193,895.88	\$ 210,353.37
120%	\$ 236,907.09	\$ 298,301.35	\$ 323,620.58
200%	\$ 379,051.34	\$ 477,282.16	\$ 517,792.92

Fee In-Lieu (based on 6.3.4.B.1.a-b that the lower income ranges must be rental and assuming the

	1 bed	2 bed	3 bed
50%	\$ 314,338.83	\$ 433,607.95	\$ 565,485.68

80%	\$	259,137.79	\$	364,101.61	\$	490,079.78
120%	\$	128,983.31	\$	208,316.12	\$	323,723.96
200%	\$	-	\$	29,335.31	\$	129,551.62

Most Recent Housing Department developments (source: Housing Department)

	Land	Construction	Gross sf	Livable sf
174 N. King St.	\$ 2,000,000	\$ 14,000,000	31,531	21,286
Redmond Street I	\$ 3,645,000	\$ 9,255,000	35,078	18,645
Grove Phase 2		\$ 9,549,163	42,141	33,252

Applications as of 4/3/18 based on Rules and Regulations occupancy requirements)

Median Income by Persons in Household (HUD)

1	68950
2	78800
3	88650
4	98500
5	106380
6	114260
7	122140

Occupancy standards in Rules and Regulations

Bedrooms	Heads
	1 1 or 2
	2 1 or 2
	3 1 or 2

Reference)

Unit sizes in most recent Housing Department developments (source: Housing Department)

	Studio	1 Bed	2 bed	3 bed
174 N. King St	395	790	950	
Redmond Street I	495	588	1081	
Grove Phase 1	535	705	928	
Grove Phase 2			1179	1592

Adding 30% of income on rent, including utilities)

Annual Utilities/HOA (estimate)

\$2,500

End of the range and use the mortgage terms at right)

- 22% percent of income toward mortgage payment
- 5% percent down
- 30 mortgage term
- 6% 2018 20-year average interest rate

Higher ranges will be sold)

Units		Gross/Unit	Livable/Unit	Gross/Livable	Land/Gross		Construct/Gross
	30	1,051	710	1.48	\$	60	\$ 419
	26	1,349	717	1.88	\$	104	\$ 264
	24	1,756	1,386	1.27			\$ 227
		1,359	915	1.49	\$	82	296

Regulations	Housing Department Applications as of 4/3/18				
Dependents	Dependants				
0 or 1	Heads		0	1	2
1+		1	190	34	6
2+		2	91	45	51

designed as market units
designed as market units

Total/Gross

\$	478	Land was purchased in 2010, \$2,000,000 is the estimated value in 2018 based on comps, gross
\$	368	Land was purchased in 2014 for \$3,645,000, estimated value to day is about \$4.5M.
\$	227	
\$	379	

3	4	5
4	0	0
18	1	3

ss sf for land cost per gross sf includes 1915 sf of retail

	Office	Retail	Restaurant/Bar
Construction			
employees per 1,000 sf sf per room	1.234	1.234	1.234
Length of Construction Career	30	30	30
employees per 1,000 sf/room	0.041	0.041	0.041
employees per unit	1.774	1.774	1.774
employees who can afford	28.87%	28.87%	28.87%
units per 1,000 sf/room	0.016	0.016	0.016
Post-Construction			
employees per 1,000 sf/room	1.598	1.202	3.911
employees per unit	1.678	1.706	2
Employees who can afford	33.14%	21.30%	19.65%
units per 1,000 sf/room	0.637	0.554	1.571
Fire/EMS			
Fire/EMS employees per 1000 sf	0.00100	0.00100	0.00100
employees per unit	1.797	1.797	1.797
employees who can afford	25.56%	25.56%	25.56%
Fire/EMS units per 1000 sf	0.00042	0.00042	0.00042
Law Enforcement			
Law employees per 1000 sf	0.00301	0.00301	0.00301
employees per unit	1.797	1.797	1.797
employees who can afford	27.09%	27.09%	27.09%
Law units per 1000 sf	0.00122	0.00122	0.00122
Total			
Employees per 1000 sf/room	1.643	1.247	3.956
units per 1,000 sf/room	0.655	0.573	1.589
Yearround mitigation "rate"	55%	55%	55%
Reduction factor	0.75	0.75	0.75
Required units per 1,000 sf/room	0.493	0.431	1.197

Mini Storage	Industrial	Institutional	Lodging	Residential	
0.514	0.514	0.927	1.234	1.234	
			900		
30	30	30	30	30	
0.017	0.017	0.031	0.037	0.041	
1.774	1.774	1.774	1.774	1.774	
28.87%	28.87%	28.87%	28.87%	28.87%	
0.007	0.007	0.012	0.015	0.016	
0.02	0.71	1.598	0.487		
1.652	1.652	1.678	2	1.713	2.176
26.08%	26.08%	28.18%	22.87%	21.26%	
0.009	0.318	0.684	0.188		
0.00100	0.00100	0.00100	0.00100	0.00033	
1.797	1.797	1.797	1.797	1.797	
25.56%	25.56%	25.56%	25.56%	25.56%	
0.00042	0.00042	0.00042	0.00042	0.00014	
0.00301	0.00301	0.00301	0.00301	0.00107	
1.797	1.797	1.797	1.797	1.797	
27.09%	27.09%	27.09%	27.09%	27.09%	
0.00122	0.00122	0.00122	0.00122	0.00043	
0.041	0.731	1.633	0.528	0.043	
0.017	0.326	0.698	0.204	0.017	
55%	55%	55%	73%	73%	
0.75	0.75	0.75	1.00	1.00	
0.013	0.246	0.526	0.204	0.017	

Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted Jun are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, you will need to use the population equations for the gold cells.

Step 1. Describe your project. Enter as many rows as needed to describe the different uses and unit boxes. In the other gold boxes, describe each use's size in floor area and bedrooms (if applicable), the affordable housing will calculate for each unit and populate the Total box. See also Sections 6.3.2 a

[illegible]

Step 2. What types of units are required? The proposed LDRs lay out a schedule for how many units must be 1, 2, or 3 bedrooms. The LDRs also allow for adjustment. To propose an adjusted allocation, change the allocation must meet the customization rules provided, and may not result in less affordable workday units than the turn red. See also Section 6.3.4 of the proposed LDRs.

Affordability
Rental Units Affordable to Households making 50% Median Income
Rental Units Affordable to Households making 80% Median Income
Rental/Ownership Units Affordable to Households making 120% Median Income
Rental/Ownership Workforce Units
Total

Bedroom Mix	1 Bed/Studio	2 Bedroom	3 Bedroom
LDR Schedule	1.637	2.000	0.000
Proposed Allocation	1.637	2.000	0.000
Employees per Unit per LDRs	1.45	2.00	2.10

Step 3. Distribute the affordability and bedroom mix. The bedroom mix must be proportionally distributed across the units. The totals must match your allocation totals (they will turn red if they don't). A customized distribution. See also Section 6.3.4 of the proposed LDRs.

Requirement Distribution			
	1 Bed/Studio	2 Bedroom	3 Bedroom
Affordable to 50% Median Income	0.000	1.000	0.000
Affordable to 80% Median Income	0.637	0.000	0.000
Affordable to 120% Median Income	1.000	1.000	0.000
Workforce Restriction	0.000	0.000	0.000
Total	1.637	2.000	0.000

Step 4. How will the required housing be provided? The proposed LDRs require that unless impracticable construction of housing. If impracticable the units may be provided by dedication of land, use of a ban be paid. Enter the number of units to be constructed or provided through land dedication, use of a remaining will calculate. See also Section 6.3.5 of the proposed LDRs.

	Units Constructed		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	1.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	1.000	1.000	0.000
Workforce Restriction	0.000	0.000	0.000

	Banked Units Used		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	0.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

	Units Provided via In-Lieu Fee		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	0.000	0.000
Affordable to 80% Median Income	0.637	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

September 26, 2018. Cells that can be modified are highlighted in gold, other cells are not. For example, it is best to start with a fresh worksheet in order to reset the auto

types proposed. Select a use from the use table in the left most gold column. Then describe how many units of each use type are proposed. The required units are listed in 6.3.3 of the proposed LDRs.

	Proposed Use Size (bedrooms)	Proposed Use Size (sf)	Proposed Use Quantity	Affordable Units Required
		7371	1	3.637
				0.000
				0.000
				?
				?
				?
				?
				?
				?
				?
Total	0	7371	1	3.637

units have to be in each income ranges and how many units have to have 1, 2, or 3 bedrooms. The values in the proposed column/row (gold cells); the customized units provided are force units provided than are required. If a rule is violated the cell will be red.

LDR Schedule	Proposed	Custom %	Customization Rules
1.000	1.000	27%	Custom % shall be \geq 25%
0.637	0.637	18%	Custom % shall be \geq 19%
2.000	2.000	55%	Custom % shall be $<$ 43%
0.000	0.000	0%	Custom % shall be $<$ 13%
3.637	3.637	Proposed total shall be \geq Required	

Total Units	Total Employees Housed	Customization Rule
3.637	6.546	Proposed totals shall be \geq Schedule totals
3.637	6.373	
1.80		

units are distributed among the affordability mix. If you modify the distribution (gold cells), the distribution should be within 1 (rounded up or down) of the even

	Even Distribution		
Total	1 Bed/Studio	2 Bed	3 Bed
1.000	0.429	0.429	0.143
0.637	0.273	0.273	0.091
2.000	0.857	0.857	0.286
0.000	0.000	0.000	0.000

0.4
0.0
0.9
0.0

atical any housing requirement of 1 unit or greater be provided through
ked unit, or restriction of an existing unit. Only as a last option shall a fee
banked unit, or restriction of an existing unit (gold boxes). The in-lieu fee

Units Provided via Land Dedication		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Existing Units Restricted		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Fee			
1 Bed/Studio	2 Bed	3 Bed	
\$ -	\$ -	\$ -	
\$ 165,001	\$ -	\$ -	
\$ -	\$ -	\$ -	
\$ -	\$ -	\$ -	
Total			\$ 165,001

Use	Rate
Agriculture	Exempt
Outdoor Recreation	Independent Calculation
Affordable Housing Unit	Exempt
Workforce Housing Unit	Exempt
Workforce Housing Bonus Unit	Exempt
Detached Single-Family Unit Unrestricted	$0.000017(sf) + (Exp(-15.49 + 1.59 * \ln(sf))) / 2.176$
Attached Single-Family Unit Unrestricted	$0.000017(sf) + (Exp(-14.17 + 1.59 * \ln(sf))) / 2.176$
Apartment Unrestricted	$0.000017(sf) + (Exp(-14.17 + 1.59 * \ln(sf))) / 2.176$
Detached Single-Family Unit Local Occupancy	$0.000017(sf) + (Exp(-16.14 + 1.59 * \ln(sf))) / 2.176$
Attached Single-Family Unit Local Occupancy	$0.000017(sf) + (Exp(-14.82 + 1.59 * \ln(sf))) / 2.176$
Apartment Local Occupancy	$0.000017(sf) + (Exp(-14.82 + 1.59 * \ln(sf))) / 2.176$
Mobile Home	Exempt
Dormitory	Exempt
Group Home	Exempt
Conventional Lodging	$0.204 * \text{bedrooms}$
Short-Term Rental Unit	$0.204 * \text{bedrooms}$
Office	$0.000493 * sf$
Retail	$0.000431 * sf$
Service	$0.000431 * sf$
Restaurant/Bar	$0.001197 * sf$
Heavy Retail/Service	$0.000246 * sf$
Mini-Storage Warehouse	$0.000013 * sf$
Nursery	$0.000431 * sf$
Amusement	$0.000431 * sf$
Developed Recreation	Independent Calculation
Outfitter/Tour Operator	Independent Calculation
Adult Entertainment Business	$0.000431 * sf$
Assembly	Independent Calculation
Daycare/Education	Independent Calculation
Light Industry	$0.000246 * sf$
Heavy Industry	$0.000246 * sf$
Disposal	$0.000246 * sf$
Parking	$0.000246 * sf$
Utility Facility	$0.000246 * sf$
Wireless Communication Facilities	$0.000246 * sf$
Heliport	$0.000246 * sf$
Accessory Residential Unit	Exempt
Bed and Breakfast	Exempt
Home Occupation	Exempt
Home Business	Exempt
Family Home Daycare	Exempt
Home Daycare Center	Exempt
Drive-In Facility	Exempt
Christmas Tree Sales	Exempt
Real Estate Sales Office	Exempt
Temporary Shelter	Exempt

Farm Stand
Temp. Gravel Extraction and Processing

Exempt
Exempt

[illegible]

0
0

0
0

HOUSEHOLD INCOME IN THE PAST 12 MONTHS IN 2016 INFLATION-ADJUSTED DOLLARS

Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

HMI 75,000

	Estimate		
Total:	8,576		
Less than \$10,000	196		
\$10,000 to \$14,999	171		
\$15,000 to \$19,999	191		
\$20,000 to \$24,999	561		
\$25,000 to \$29,999	208		
\$30,000 to \$34,999	203		
\$35,000 to \$39,999	340		
\$35,000 - \$37,499	170	20	25
\$37,500 - \$39,999	170		
\$40,000 to \$44,999	451		
\$45,000 to \$49,999	197		
\$50,000 to \$59,999	510	15	19
\$60,000 to \$74,999	1,231		
\$75,000 to \$99,999	1,226		
\$100,000 to \$124,999	862		
\$100,000 - \$104,999	172.4		
\$105,000 - \$109,999	172.4		
\$110,000 - \$114,999	172.4	35	43
\$115,000 - \$119,999	172.4		
\$120,000 - \$124,999	172.4		
\$125,000 to \$149,999	573	11	13
\$150,000 to \$199,999	386	19	
\$200,000 or more	1,270		
Median = \$75,594			

B08202: HOUSEHOLD SIZE BY NUMBER OF WORKERS IN HOUSEHOLD - Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

	Estimate			
Total:	8,576			
No workers	1,700			
1 worker	2,935			
2 workers	3,238			
3 or more workers	703			
1-person household:	2,573	1 Bedroom	1.426702	0.428571
No workers	935			
1 worker	1,638			
2-person household:	3,203	2 Bedroom	1.994506	0.428571
No workers	639			
1 worker	771			
2 workers	1,793			

Assumed E Allocation

3-person household:	1,413	3 Bedroom	2.092428	0.142857
No workers	0			
1 worker	251			1.76515
2 workers	759			
3 workers	403			
4-or-more-person household:	1,387			
No workers	126			
1 worker	275			
2 workers	686			
3 or more workers	300			

Cost per Livable sf (based on most recent projects currently being developed, see equation)

\$ 563

Median Income (based on HUD Family Median Income for 2017 applied to housing department ap

	1 bed	2 bed	3 bed
50%	\$ 36,800.69	\$ 46,337.56	\$ 50,270.60
80%	\$ 58,881.11	\$ 74,140.10	\$ 80,432.96
120%	\$ 88,321.67	\$ 111,210.15	\$ 120,649.45
200%	\$ 147,202.78	\$ 185,350.25	\$ 201,082.41

Average Livable Size (set by policy in LDRs, recent Housing Department developments at right for r

1 bed	2 bed	3 bed
	650	900 1150

Max Rental Rate (based on Rules and Regulations that rent shall be based on low end of range spe

	1 bed	2 bed	3 bed
50%	\$ 4,124.13	\$ 5,840.76	\$ 6,548.71
80%	\$ 8,540.21	\$ 11,401.27	\$ 12,581.18
120%	\$ 15,164.33	\$ 19,742.03	\$ 21,629.89
200%	\$ 23,996.50	\$ 30,863.04	\$ 33,694.83

Cap Rate (set by policy in LDRs based on reasonable industry standard)

8%

Maximum Sales Price (based on Rules and Regulations that sales price shall be based on the middl

	1 bed	2 bed	3 bed
50%	\$ 71,072.13	\$ 89,490.40	\$ 97,086.17
80%	\$ 153,989.61	\$ 193,895.88	\$ 210,353.37
120%	\$ 236,907.09	\$ 298,301.35	\$ 323,620.58
200%	\$ 379,051.34	\$ 477,282.16	\$ 517,792.92

Fee In-Lieu (based on 6.3.4.B.1.a-b that the lower income ranges must be rental and assuming the

	1 bed	2 bed	3 bed
50%	\$ 314,338.83	\$ 433,607.95	\$ 565,485.68

80%	\$	259,137.79	\$	364,101.61	\$	490,079.78
120%	\$	128,983.31	\$	208,316.12	\$	323,723.96
200%	\$	-	\$	29,335.31	\$	129,551.62

Most Recent Housing Department developments (source: Housing Department)

	Land	Construction	Gross sf	Livable sf
174 N. King St.	\$ 2,000,000	\$ 14,000,000	31,531	21,286
Redmond Street I	\$ 3,645,000	\$ 9,255,000	35,078	18,645
Grove Phase 2		\$ 9,549,163	42,141	33,252

Applications as of 4/3/18 based on Rules and Regulations occupancy requirements)

Median Income by Persons in Household (HUD)

1	68950
2	78800
3	88650
4	98500
5	106380
6	114260
7	122140

Occupancy standards in Rules and Regulations

Bedrooms	Heads
	1 1 or 2
	2 1 or 2
	3 1 or 2

Reference)

Unit sizes in most recent Housing Department developments (source: Housing Department)

	Studio	1 Bed	2 bed	3 bed
174 N. King St	395	790	950	
Redmond Street I	495	588	1081	
Grove Phase 1	535	705	928	
Grove Phase 2			1179	1592

Adding 30% of income on rent, including utilities)

Annual Utilities/HOA (estimate)

\$2,500

End of the range and use the mortgage terms at right)

- 22% percent of income toward mortgage payment
- 5% percent down
- 30 mortgage term
- 6% 2018 20-year average interest rate

Higher ranges will be sold)

Units		Gross/Unit	Livable/Unit	Gross/Livable	Land/Gross		Construct/Gross
	30	1,051	710	1.48	\$	60	\$ 419
	26	1,349	717	1.88	\$	104	\$ 264
	24	1,756	1,386	1.27			\$ 227
		1,359	915	1.49	\$	82	296

Regulations	Housing Department Applications as of 4/3/18				
Dependents	Dependants				
0 or 1	Heads		0	1	2
1+		1	190	34	6
2+		2	91	45	51

designed as market units
designed as market units

Total/Gross

\$	478	Land was purchased in 2010, \$2,000,000 is the estimated value in 2018 based on comps, gross
\$	368	Land was purchased in 2014 for \$3,645,000, estimated value to day is about \$4.5M.
\$	227	
\$	379	

3	4	5
4	0	0
18	1	3

ss sf for land cost per gross sf includes 1915 sf of retail

	Office	Retail	Restaurant/Bar
Construction			
employees per 1,000 sf sf per room	1.234	1.234	1.234
Length of Construction Career	30	30	30
employees per 1,000 sf/room	0.041	0.041	0.041
employees per unit	1.774	1.774	1.774
employees who can afford	28.87%	28.87%	28.87%
units per 1,000 sf/room	0.016	0.016	0.016
Post-Construction			
employees per 1,000 sf/room	1.598	1.202	3.911
employees per unit	1.678	1.706	2
Employees who can afford	33.14%	21.30%	19.65%
units per 1,000 sf/room	0.637	0.554	1.571
Fire/EMS			
Fire/EMS employees per 1000 sf	0.00100	0.00100	0.00100
employees per unit	1.797	1.797	1.797
employees who can afford	25.56%	25.56%	25.56%
Fire/EMS units per 1000 sf	0.00042	0.00042	0.00042
Law Enforcement			
Law employees per 1000 sf	0.00301	0.00301	0.00301
employees per unit	1.797	1.797	1.797
employees who can afford	27.09%	27.09%	27.09%
Law units per 1000 sf	0.00122	0.00122	0.00122
Total			
Employees per 1000 sf/room	1.643	1.247	3.956
units per 1,000 sf/room	0.655	0.573	1.589
Yearround mitigation "rate"	55%	55%	55%
Reduction factor	0.75	0.75	0.75
Required units per 1,000 sf/room	0.493	0.431	1.197

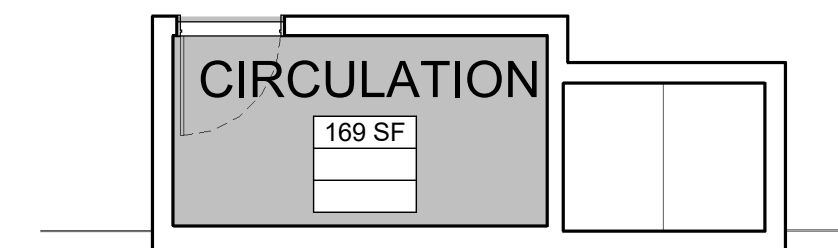
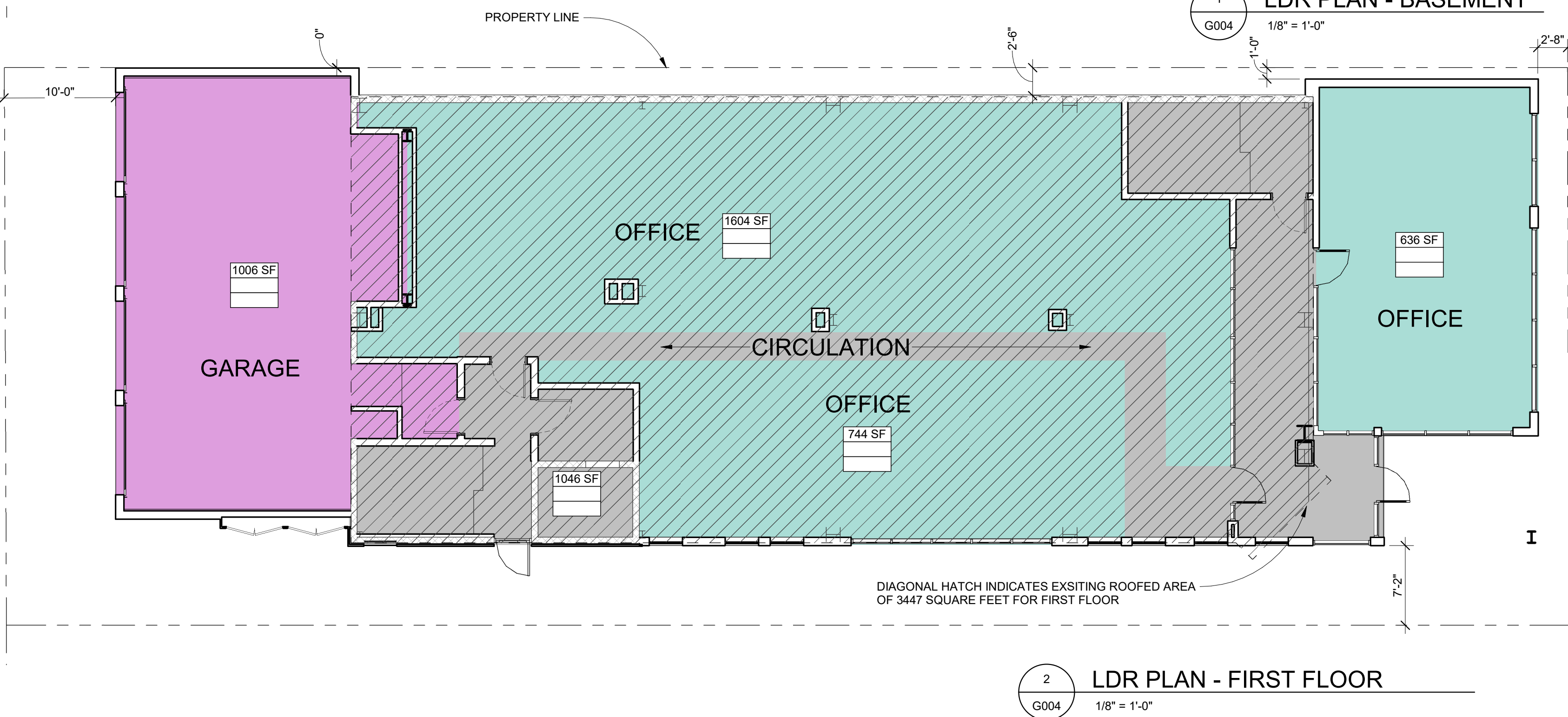
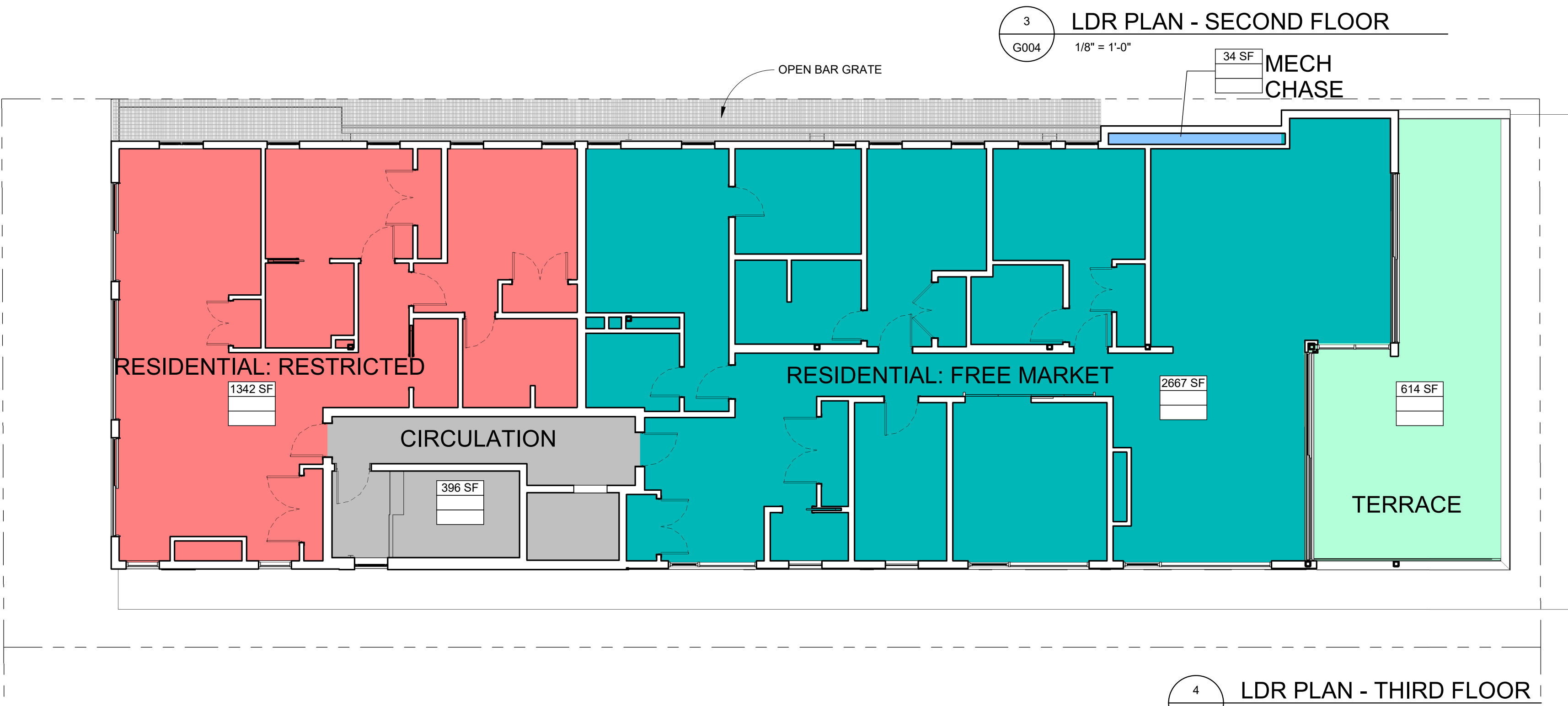
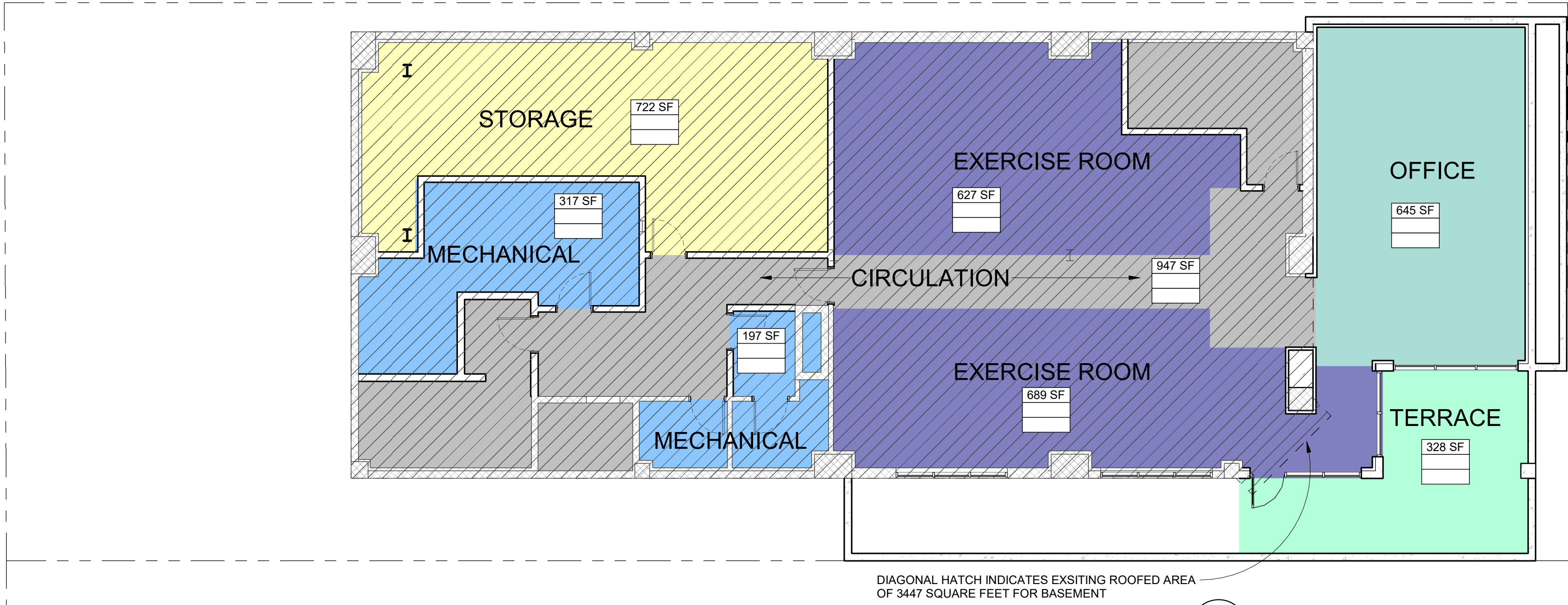
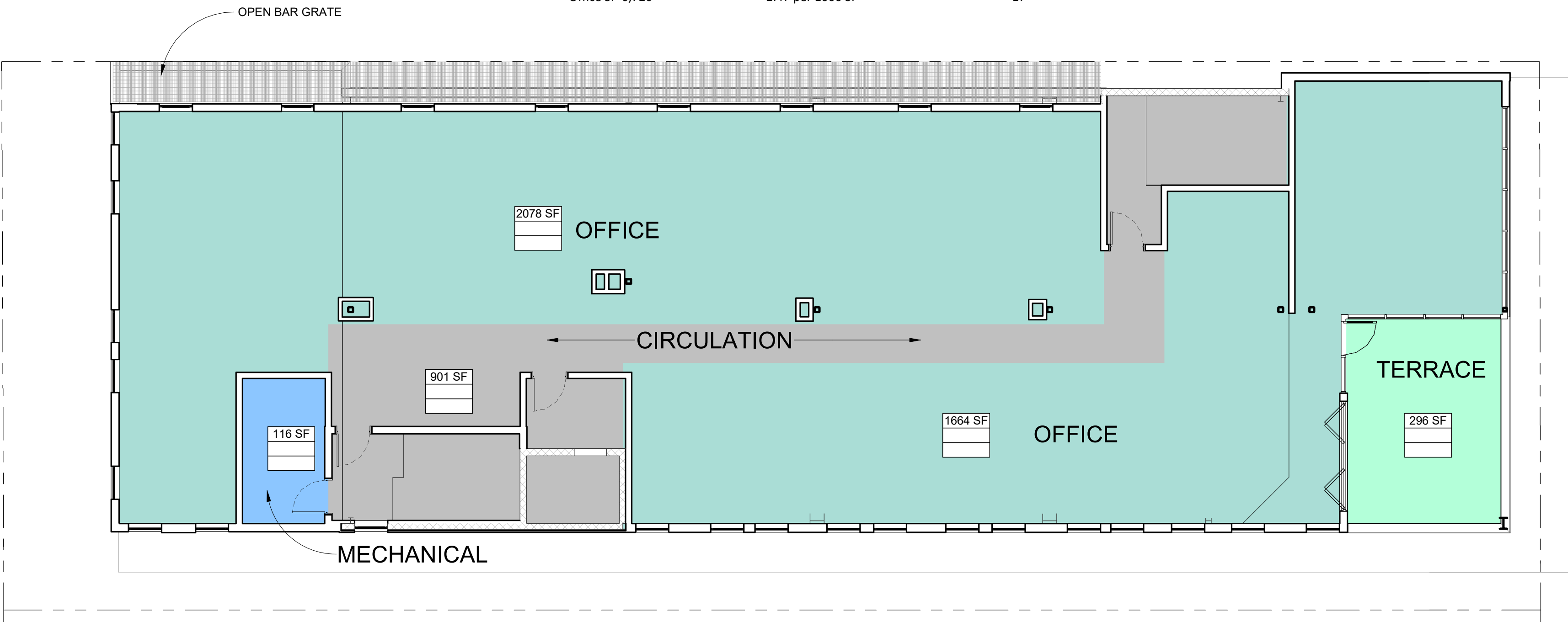
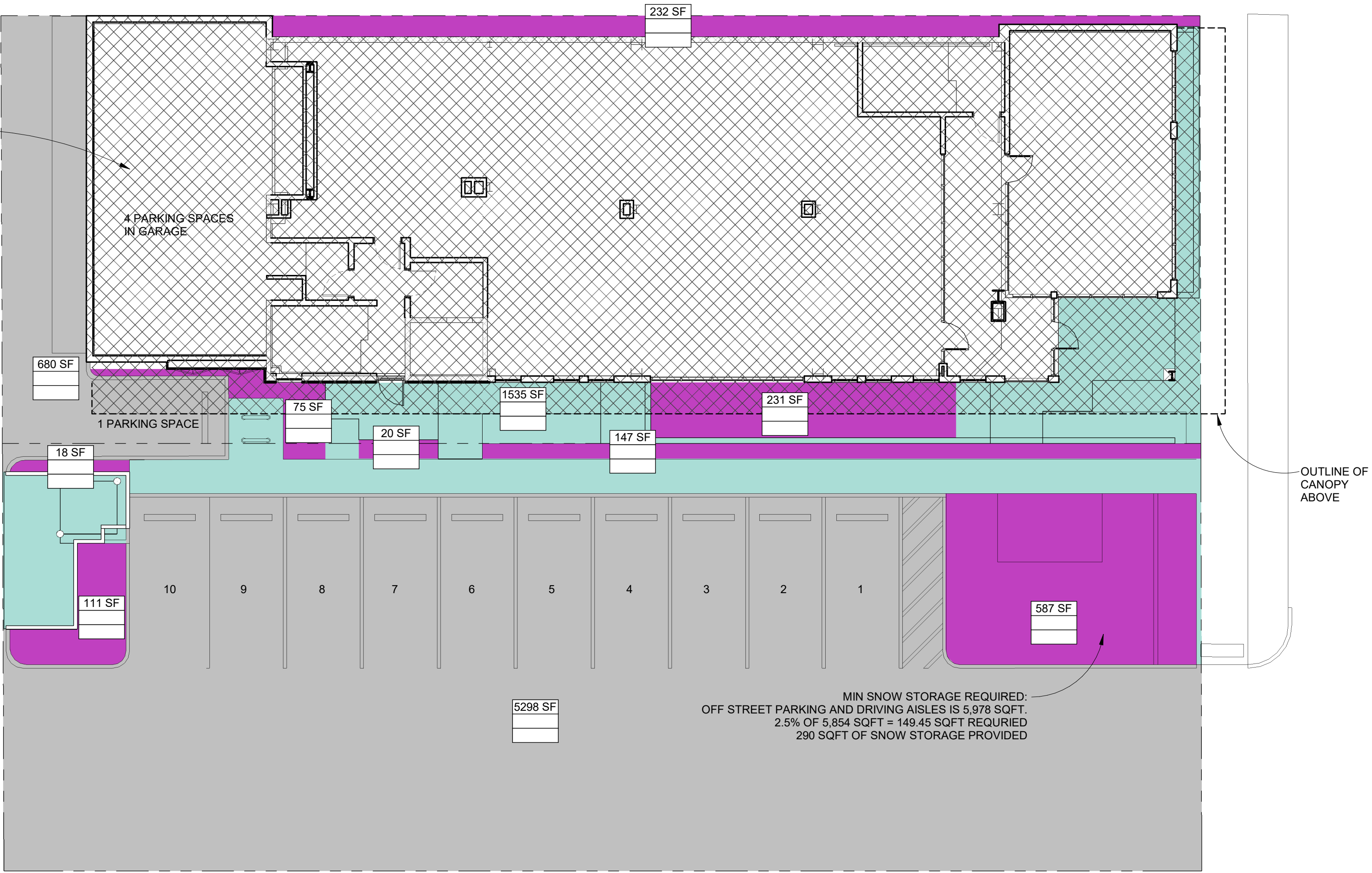
Mini Storage	Industrial	Institutional	Lodging	Residential	
0.514	0.514	0.927	1.234	1.234	
			900		
30	30	30	30	30	
0.017	0.017	0.031	0.037	0.041	
1.774	1.774	1.774	1.774	1.774	
28.87%	28.87%	28.87%	28.87%	28.87%	
0.007	0.007	0.012	0.015	0.016	
0.02	0.71	1.598	0.487		
1.652	1.652	1.678	2	1.713	2.176
26.08%	26.08%	28.18%	22.87%	21.26%	
0.009	0.318	0.684	0.188		
0.00100	0.00100	0.00100	0.00100	0.00033	
1.797	1.797	1.797	1.797	1.797	
25.56%	25.56%	25.56%	25.56%	25.56%	
0.00042	0.00042	0.00042	0.00042	0.00014	
0.00301	0.00301	0.00301	0.00301	0.00107	
1.797	1.797	1.797	1.797	1.797	
27.09%	27.09%	27.09%	27.09%	27.09%	
0.00122	0.00122	0.00122	0.00122	0.00043	
0.041	0.731	1.633	0.528	0.043	
0.017	0.326	0.698	0.204	0.017	
55%	55%	55%	73%	73%	
0.75	0.75	0.75	1.00	1.00	
0.013	0.246	0.526	0.204	0.017	

PROJECT DESCRIPTION
ADDITION AND RENOVATION TO EXISTING BUILDING LOCATED
AT 645 & 655 CACHE, JACKSON, WY.

645/655 Cache LDR Floor Areas			
LEVEL	CATEGORY	AREA SF	
Basement	Mechanical	514	
	Storage	722	
	Exercise	1,316	
	Office	645	
	Circulation	947	4,144
1st Floor	Office	2,984	
	Garage	1,006	
	Circulation	1,046	5,036
2nd Floor	Office	3,742	
	Mechanical	116	
	Circulation	901	4,759
3rd Floor	Office	296	
	Residential Restricted	1,342	
	Residential Free Market	2,667	4,405
Total	Circulation	396	
	Outdoor Terrace	614	
			18,344
FAR	Net site area	14,000	
	Max FAR .65	9,100	
	Base FAR	8,789	
Floor Area Bonus	Restricted	1,342	
	Market	2,667	
			4,009
Landscape area	Exist. Basement	1,409	
	Exist. Basement	3,447	
	Existing Building	3,447	
645/ 655 Cache Parking			
		Spaces	
On Site		15	
Street		3	
Total		18	
Residential units 2		1.5 per unit	3
Office SF 6,726		2.47 per 1000 SF	17

IMPERVIOUS SURFACES

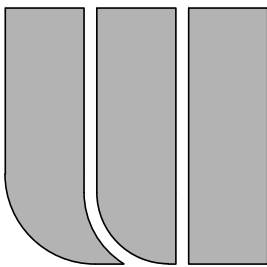
SQUARE FOOTAGE OF EXISTING ROOFED AREAS:	3,447
SQUARE FOOTAGE OF PROPOSED ROOFED AREAS:	2,369
PAVED, CONCRETE, OR UNPAVED DRIVEWAYS AND PARKING AREAS:	5,978
OTHER IMPERVIOUS SURFACES: 1,535	
TOTAL:	13,329



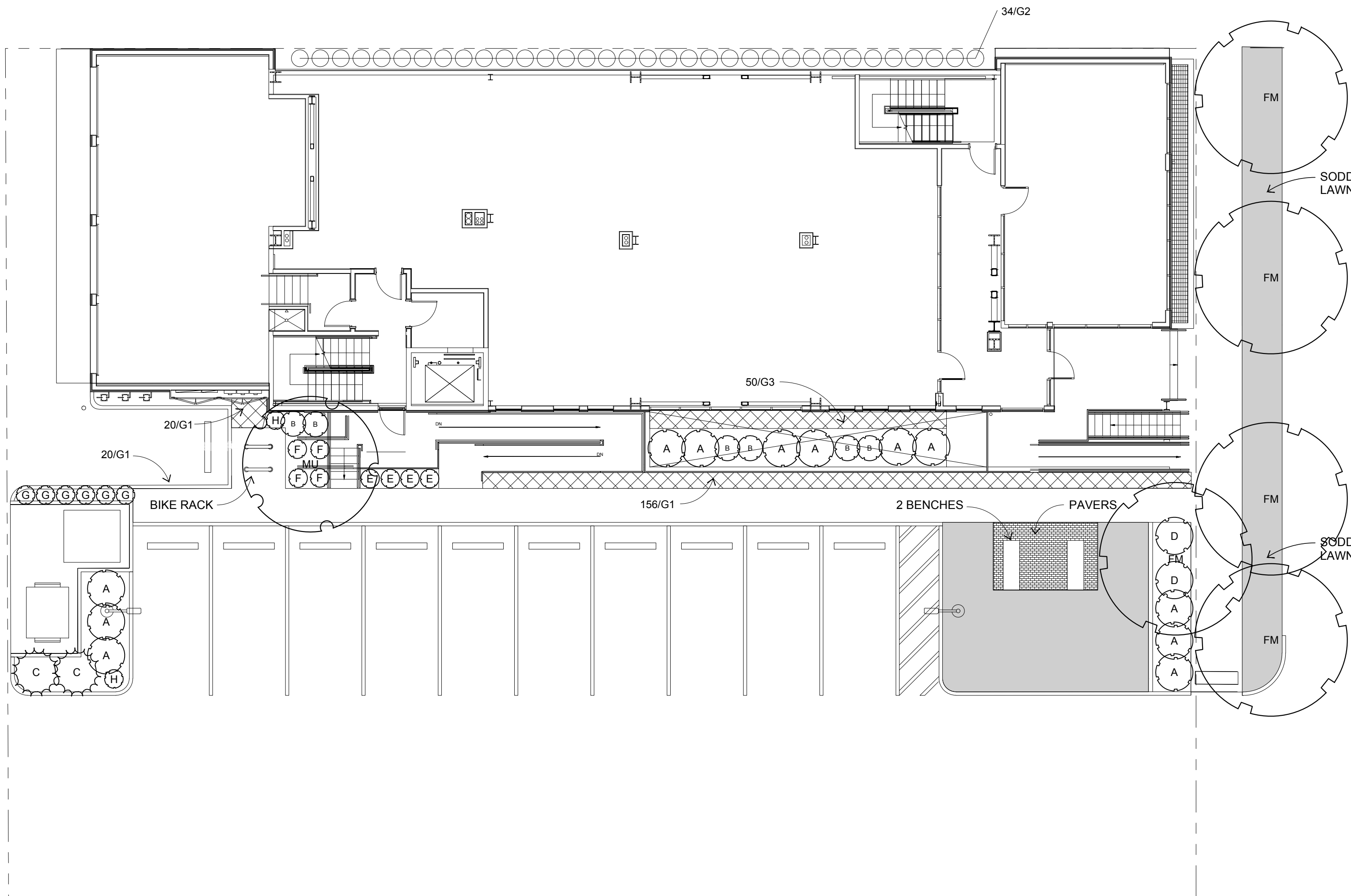
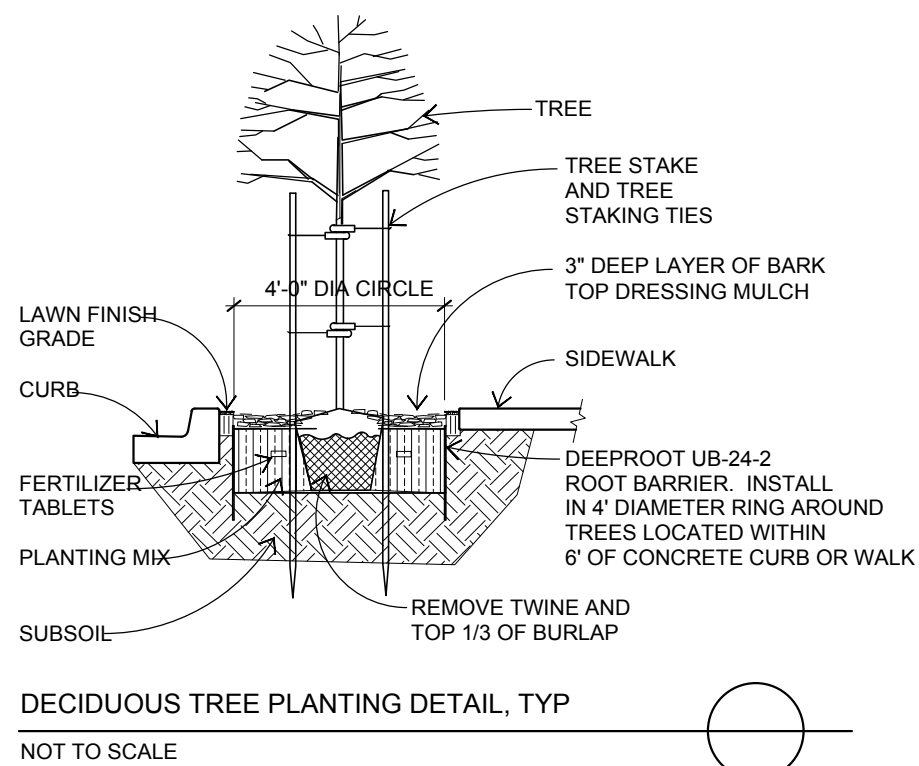
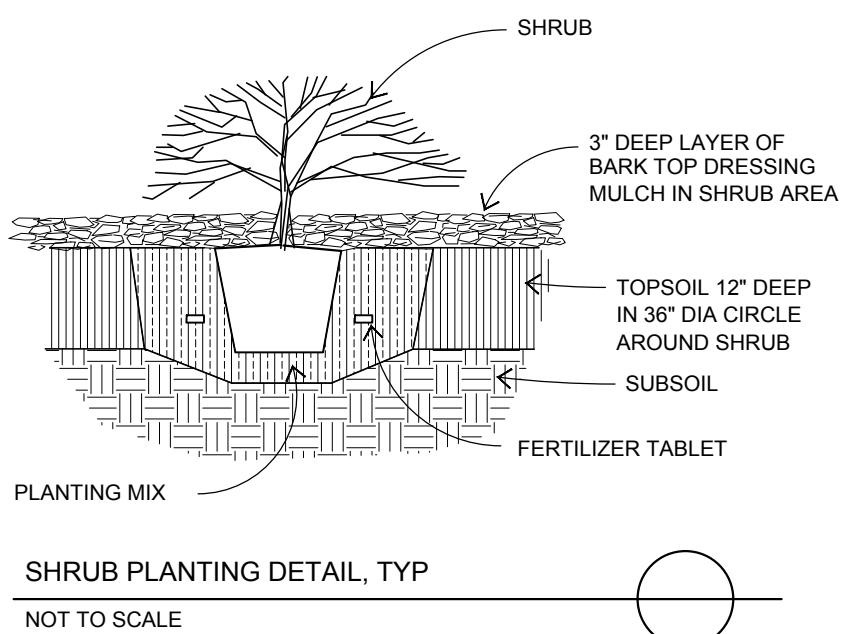
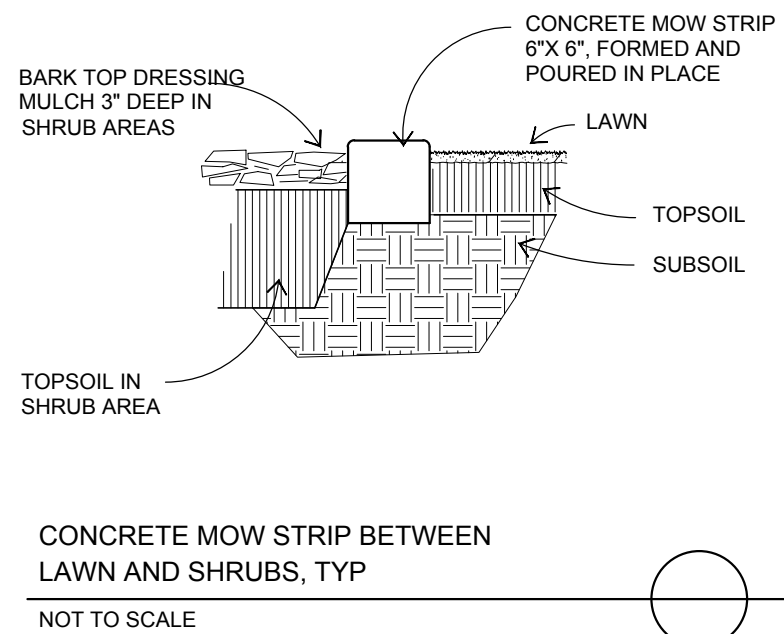


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IDAHO FALLS, IDAHO 83404
(208) 529-9504



LEGEND

AREA OF NEW SODDED LAWN

PLANT LIST

Quant	Key	Botanical Name	Common Name	Size
TREES				
5	FM	Fraxinus pennsylvanica 'Marshall'	Marshall Seedless Green Ash	2" B&B
1	MU	Malus 'Spring Snow'	Spring Snow Fruitless Crab	2" B&B
SHRUBS				
12	A	Cornus alba 'Ivory Halo'	Variegated Tatarian Dogwood	6'-8" B&B
6	B	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	6'-8" B&B
2	C	Pinus mugo 'Mughus'	Dwarf Mugo Pine	5 gal. 12-18"
2	D	Prunus cistena	Purple Sand Cherry	6'-8" B&B
4	E	Rosa 'Double Pink Knockout'	Double Pink Knockout Rose	5 gal. 12-18"
4	F	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	5 gal. 12-18"
6	G	Spiraea bumalda 'Gold Flame'	Gold Flame Spiraea	5 gal. 12-18"
2	H	Spiraea betulifolia 'Tor'	Tor Birchleaf Spiraea	5 gal. 12-18"
GROUND COVER				
196	G1	Galium odorata	Sweet Woodruff	4" pot.
34	G2	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.
50	G3	Vinca minor	Dwarf Periwinkle	1 gal.

NOTES

ONE PLANT UNIT IS REQUIRED FOR EACH 12 PARKING SPACES, AND ONE PLANT UNIT IS REQUIRED FOR EACH 1,000 SQ. FT. OF LSR. FOUR PLANT UNITS ARE REQUIRED. THIS PLAN PROPOSES USING ALTERNATE "A" PLANT UNITS WITH THESE SUBSTITUTIONS:

SUBSTITUTE 1 - 3" CAL. CANOPY TREES FOR 1 - 6'-8" SHRUB OR MULTI-STEM TREE.

SUBSTITUTE TWO BENCHES FOR TWO 6'-8" SHRUB OR MULTI-STEM TREES.

SUBSTITUTE ONE 6 BIKE BIKE RACK FOR ONE 6'-8" SHRUB OR MULTI-STEM TREES.

1 - PLANT UNIT ALTERNATE "A":	TOTAL
1 - 3" CAL. CANOPY TREES	6
6 - 6'-8" LARGE SHRUBS OR MULTI-STEM TREES	20
4 - #5 CONTAINER SHRUBS	16

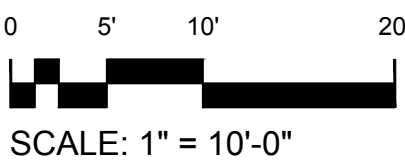
ALL PLANTINGS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM

TOJ ZONE CR-1 LANDSCAPE SURFACE RATIO (10%)

TOTAL SITE AREA:	14,012 sq. ft.
BUILDING:	5,007 sq. ft.
OTHER HARD SURFACE:	7,596 sq. ft.
LANDSCAPING:	1,409 sq. ft.



LANDSCAPE PLANTING PLAN



645 SOUTH CACHE

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11-11-2019
DRAWN BY | DWW
REVISIONS
11-13-19 STAIRS
11-23-19 LAYOUT

L1.1

645 S CACHE STREET DEVELOPMENT

GRADING AND UTILITY PLAN

645 & 655 S CACHE STREET

PIDN: 22-41-16-33-1-38-007
LOCATED WITHIN
LOT 11 & 12, BLK. 4, KARNS-2
ADDITION TO TOWN OF JACKSON, WY



VICINITY MAP
1" = 100' for 30x42 Prints

INDEX OF SHEETS

C1.0	TITLE, VICINITY MAP & SHEET INDEX
C1.1	PROJECT NOTES & LEGEND
C1.2	EXISTING CONDITIONS
C2.0	SITE OVERVIEW AND BUILDING TIES
C2.1	PROPOSED GRADING PLAN
C2.2	PROPOSED UTILITY PLAN
C3.0	CIVIL DETAILS
C3.1	CIVIL DETAILS

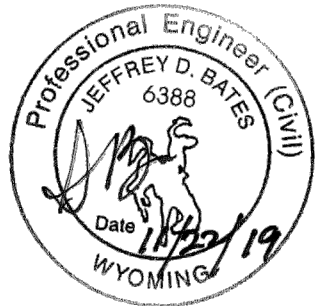
CIVIL ENGINEER
Jorgensen Associates, P.C.
1315 S. Highway 89, #201
P.O. Box 9550
Jackson, WY 83002-9550
(307) 733-5150

OWNER
Newjack, LLC
645 S Cache Street
Jackson, WY
83001

ARCHITECT
Hoyt Architects
1110 Maple Way Ste. F
Jackson, WY
83001



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgeng.com



PROJECT TITLE:
645 SOUTH CACHE ST.
JACKSON, WYOMING

SHEET TITLE:
TITLE, VICINITY MAP & SHEET INDEX

DRAFTED BY:	BS
REVIEWED BY:	JB
PLAN VERSION	DATE
PERMIT SET	11.22.2019

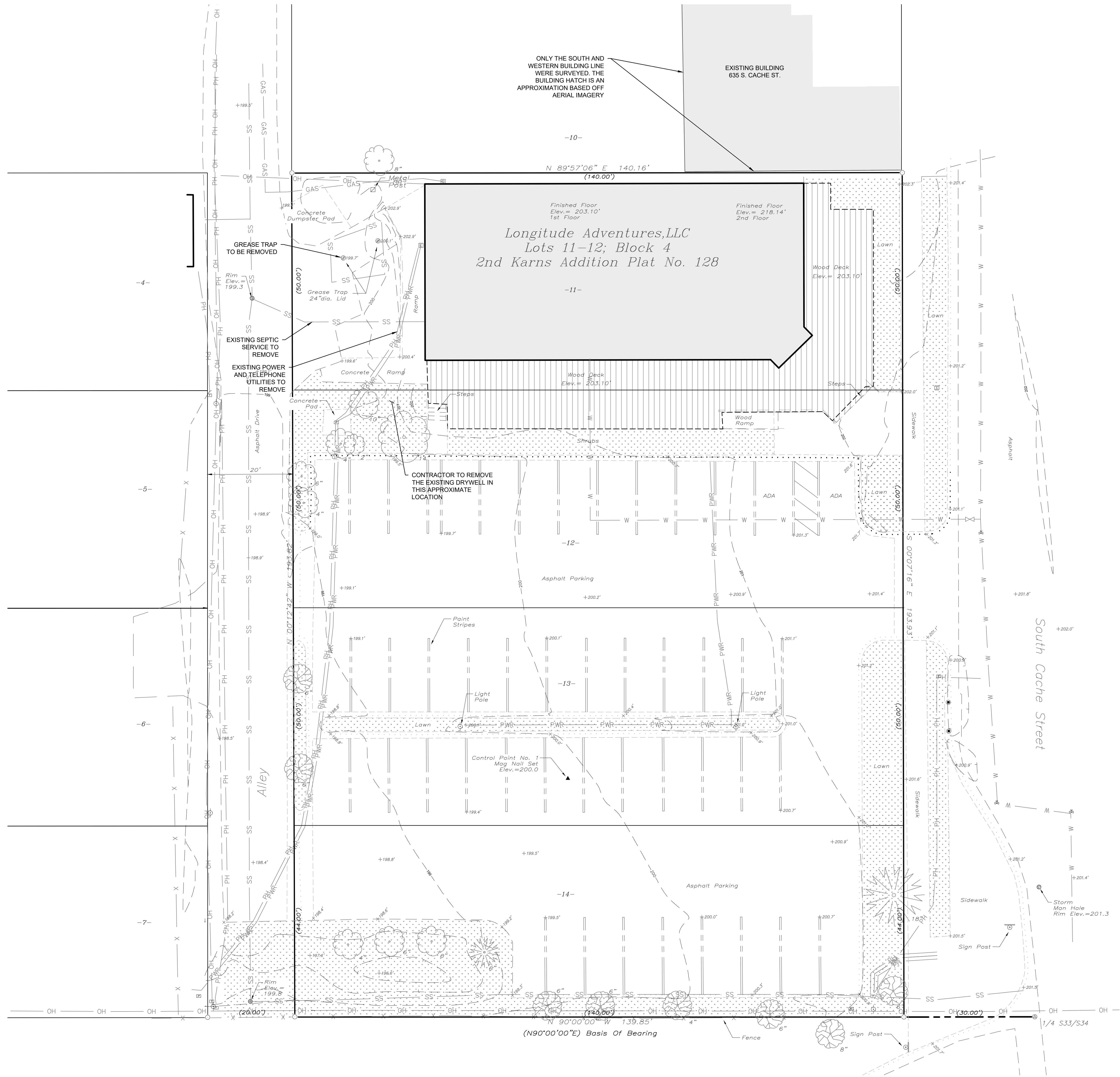
PROJECT NUMBER

18117

SHEET

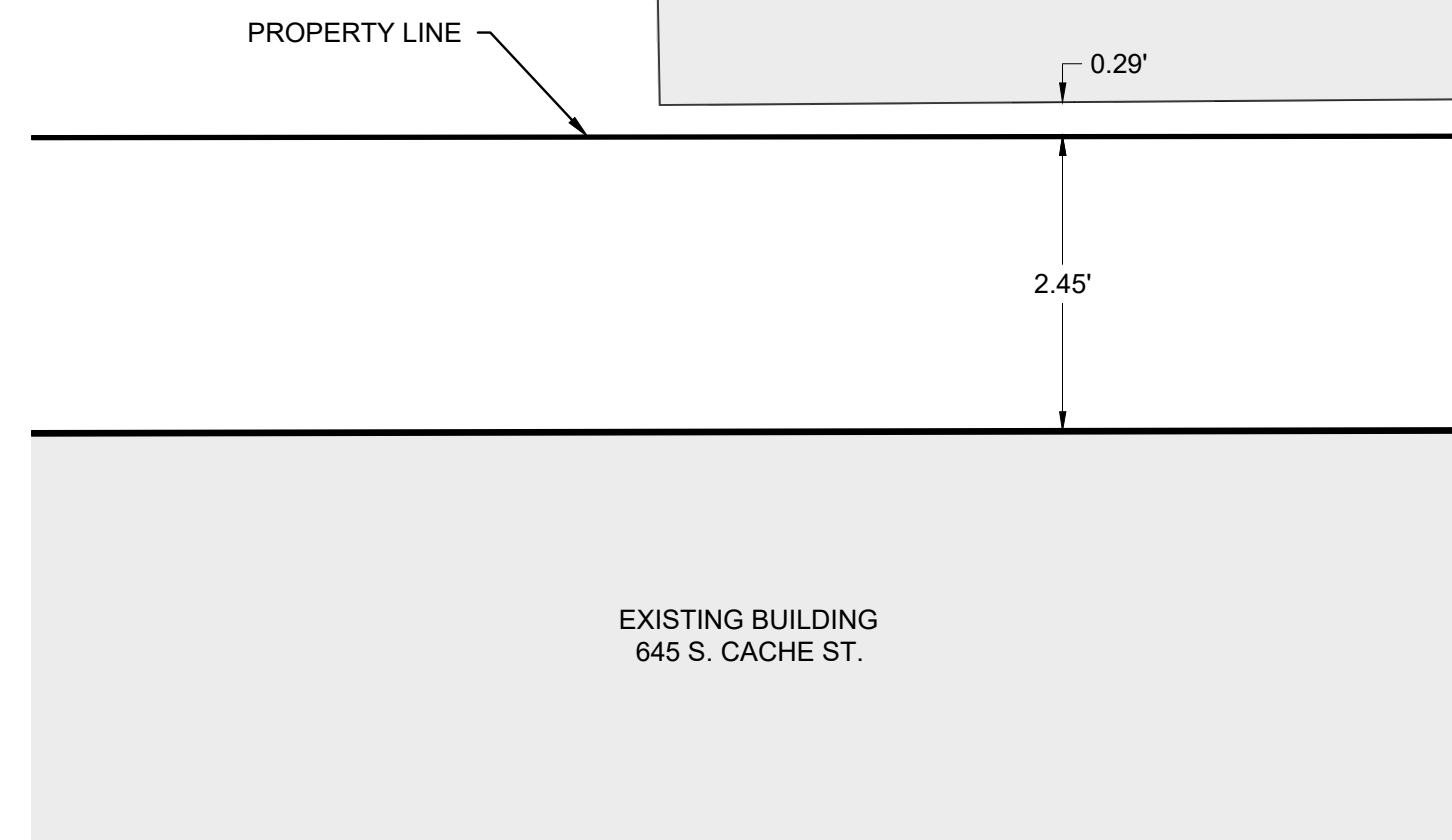
C1.0

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P:\2018\18117 - The Jorgensen\18117 - Existing Conditions.dwg

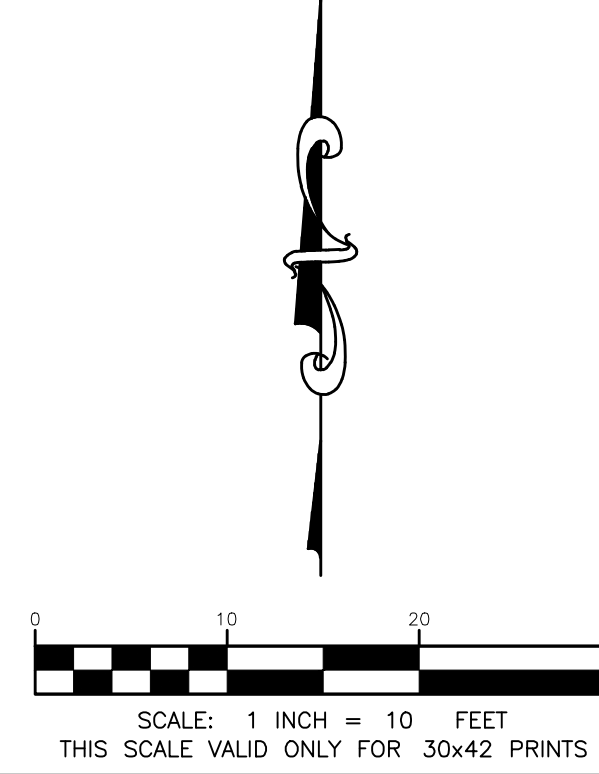


NOTE:
THERE IS 2.45' OF SEPARATION
BETWEEN THE EXISTING BUILDING ON
645 S. CACHE ST AND THE PROPERTY
LINE TO THE NORTH.

THERE IS 0.29' OF SEPARATION
BETWEEN THE EXISTING BUILDING ON
635 S. CACHE ST AND THE PROPERTY
LINE TO THE SOUTH.



EXISTING BUILDING LOCATIONS AND PROPERTY BOUNDARY



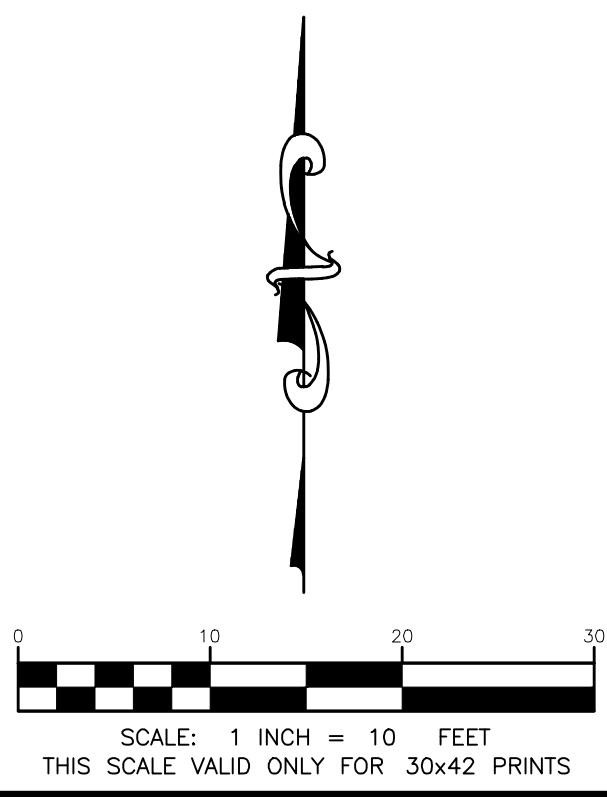
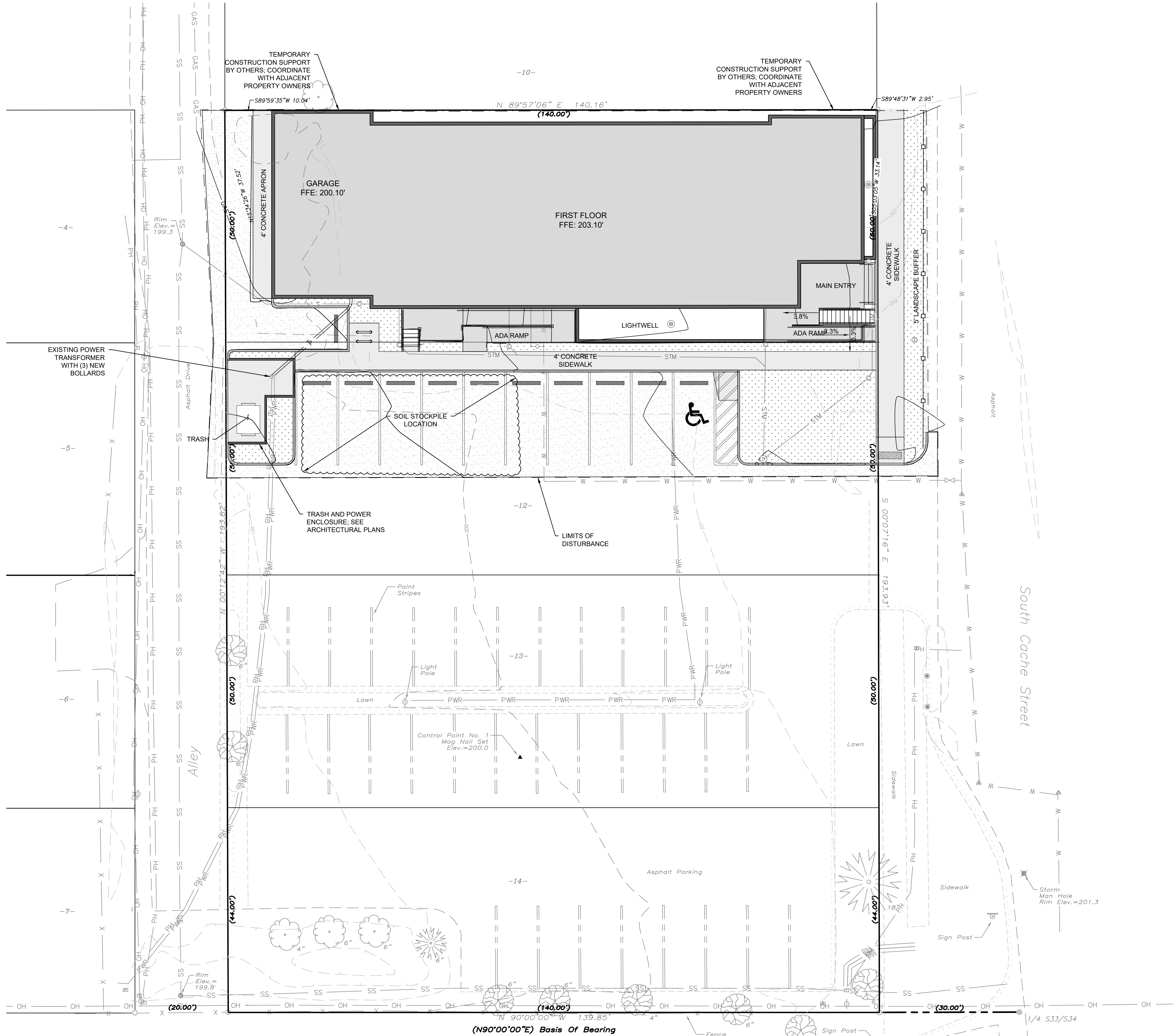
JACKSON, WYOMING
307.733.5150
www.jorgeng.com

PROJECT TITLE:
645 SOUTH CACHE ST.
JACKSON, WYOMING

SHEET TITLE:
EXISTING CONDITIONS

DRAFTED BY:	BS
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PLAN VERSION	DATE
PERMIT SET	11.22.2019

PROJECT NUMBER
18117
SHEET
C1.2



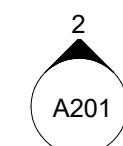
JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgeng.com

PROJECT TITLE:
**645 SOUTH CACHE ST.
JACKSON, WYOMING**

SHEET TITLE:
SITE OVERVIEW AND BUILDING TIES

DRAFTED BY:	BS
REVIEWED BY:	JB
PLAN VERSION	DATE
PERMIT SET	11.22.2019

PROJECT NUMBER
18117
SHEET
C2.0

 DEMOLISHED CONSTRUCTION

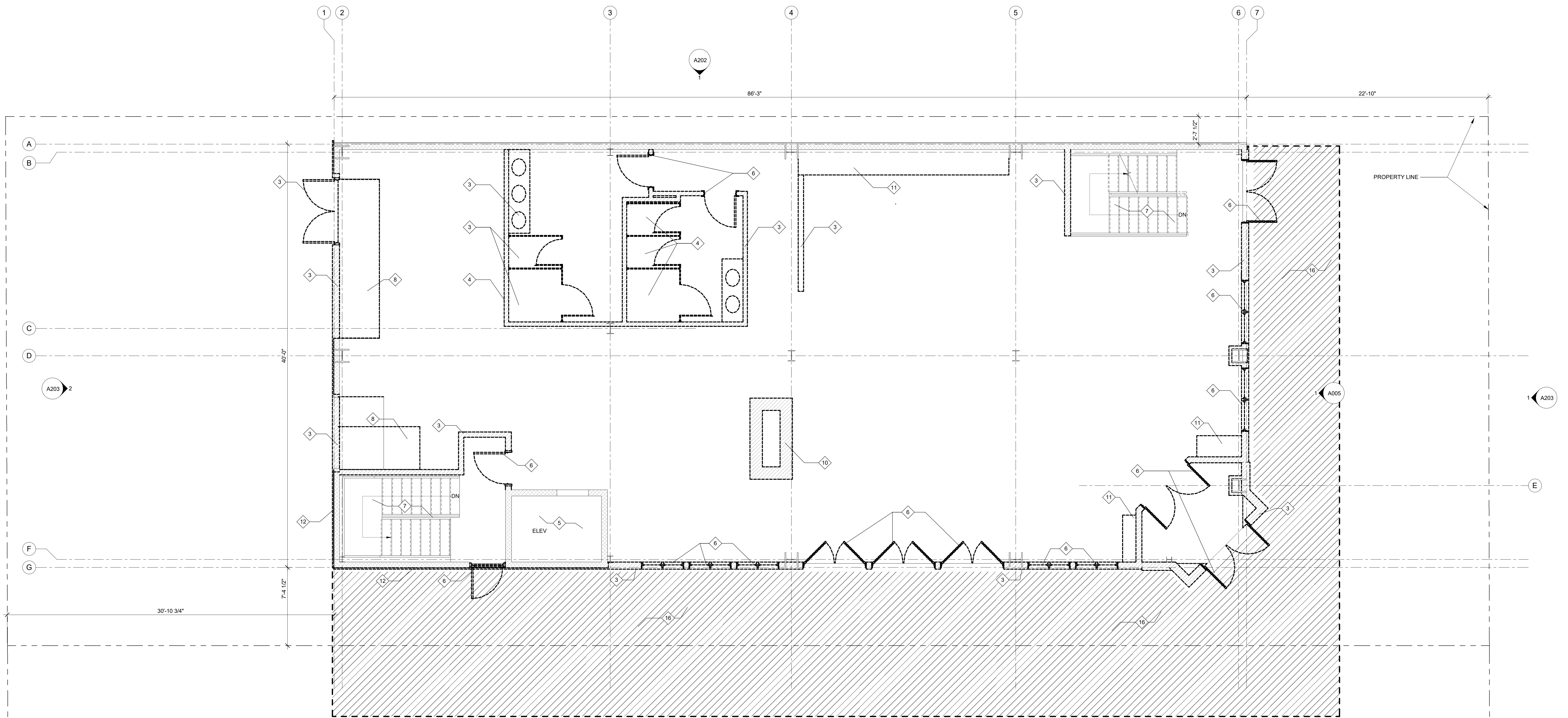
 EXISTING CONSTRUCTION TO REMAIN

 EXISTING CONSTRUCTION TO REMAIN

- 

1/4" = 1'-0"





DEMO NOTES

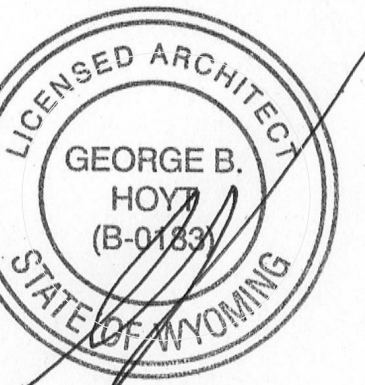
DEMOLISHED CONSTRUCTION

EXISTING CONSTRUCTION TO REMAIN

- 1 REMOVE PORTION OF EXISTING CONCRETE WALL. REFER TO SHORING GUIDELINES PROVIDED BY GEOTECHNICAL ENGINEER.
- 2 REMOVE EXISTING FURRING INCLUDING, FINISH MATERIALS, INSULATION, AND MEP COMPONENTS.
- 3 REMOVE EXISTING WALL FRAMING INCLUDING, FINISH MATERIALS, INSULATION, AND MEP COMPONENTS
- 4 REMOVE EXISTING PLUMBING FIXTURES. CAP EXISTING WATER/DRAIN LINES.
- 5 REMOVE EXISTING ELEVATOR AND ALL RELATED COMPONENTS IN HOISTWAY AND MACHINE ROOM.
- 6 REMOVE EXISTING DOOR/WINDOW, FRAME, AND HARDWARE.
- 7 REMOVE EXISTING STAIR, METAL FRAMING, GUARDRAILS, AND HANDRAILS.
- 8 REMOVE PORTION OF EXISTING CONCRETE SLAB TO ACCOMMODATE NEW CONSTRUCTION.
- 9 REMOVE EXISTING MEP AND KITCHEN EQUIPMENT. OWNER, ARCHITECT, AND CONTRACTOR WALK THROUGH REQUIRED.
- 10 REMOVE EXISTING MASONRY/CONCRETE FIREPLACE ABOVE T.O. OF FIRST FLOOR CONCRETE SLAB.
- 11 REMOVE EXISTING CASEWORK.
- 12 REMOVE EXISTING WOOD SIDING. EXISTING FRAMING TO REMAIN.
- 13 REMOVE EXISTING CONSTRUCTION AND PORTION OF EXISTING STEEL FRAMING. REFER TO STRUCTURAL DRAWINGS FOR NEW CONNECTIONS.
- 14 REMOVE ENTIRE PAVER, ROOFING, AND INSULATION SYSTEM ABOVE EXISTING CONCRETE SLAB.
- 15 REMOVE EXISTING GUARDRAIL ASSEMBLY.
- 15 REMOVE ALL MISCELLANEOUS MEP AND ARCHITECTURAL COMPONENTS ABOVE EXISTING ROOF DECK. OWNER, ARCHITECT, AND CONTRACTOR WALK THROUGH REQUIRED.
- 16 REMOVE ALL EXTERIOR DECKING, STAIRS, AND RAILINGS.



RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



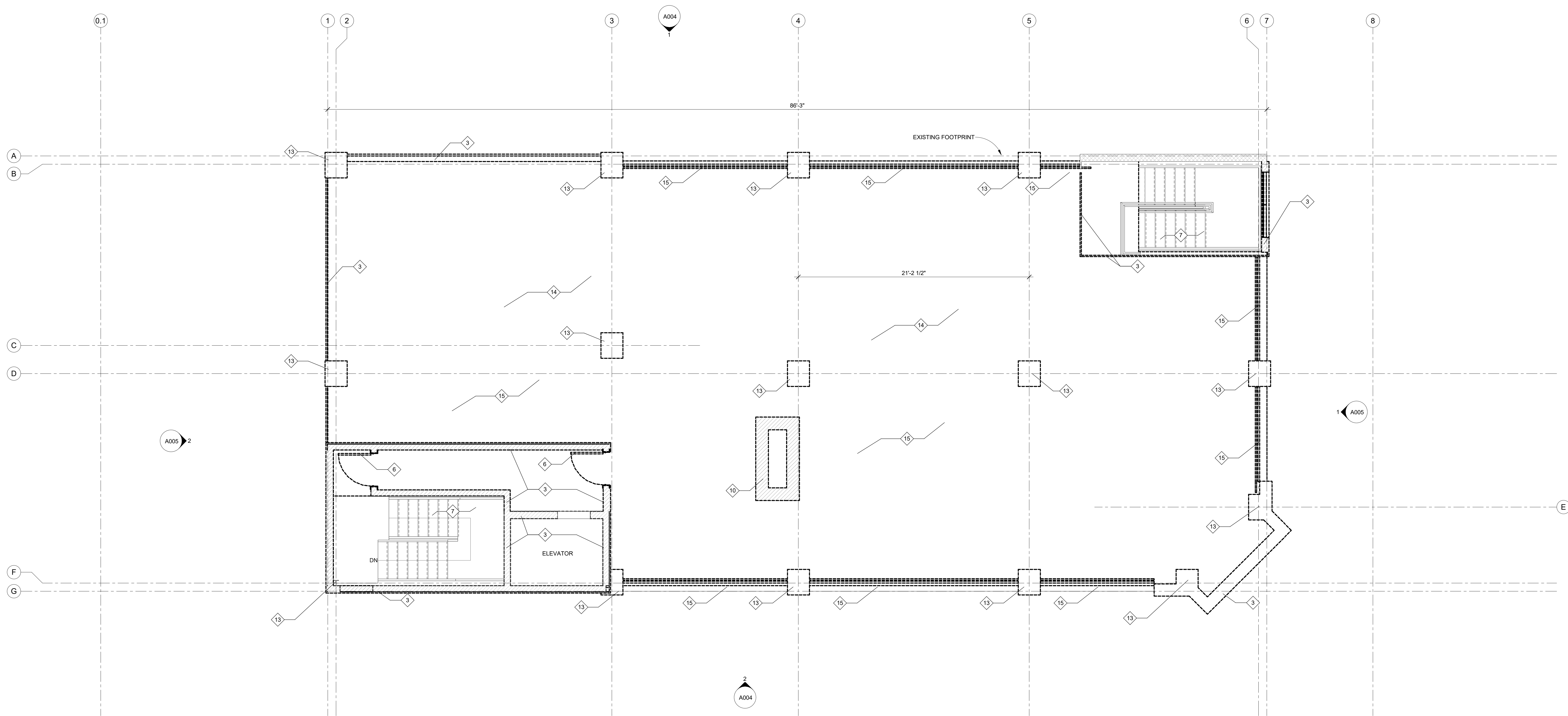
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BUILDING PERMIT
DRAWINGS

11.18.2019
DRAWN BY | BENNETT
CHECKED BY | HOYT
REVISIONS

FIRST FLOOR PLAN -
EXISTING &
DEMOLITION

A002



DEMO NOTES

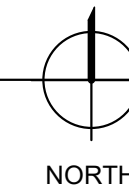
DEMOLISHED CONSTRUCTION

EXISTING CONSTRUCTION TO REMAIN

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- 15 REMOVE EXISTING GUARDRAIL ASSEMBLY.
- 16 REMOVE ALL MISCELLANEOUS MEP AND ARCHITECTURAL COMPONENTS ABOVE EXISTING ROOF DECK. OWNER, ARCHITECT, AND CONTRACTOR WALK THROUGH REQUIRED.
- 17 REMOVE ALL EXTERIOR DECKING, STAIRS, AND RAILINGS.

1
A003
1/4" = 1'-0"

SECOND FLOOR PLAN EXISTING



0 4 8
SCALE IN FEET
SCALE: 1/4" = 1'-0"

RENOVATION AND ADDITION
JACKSON, WY 83001

645/655 SOUTH CACHE



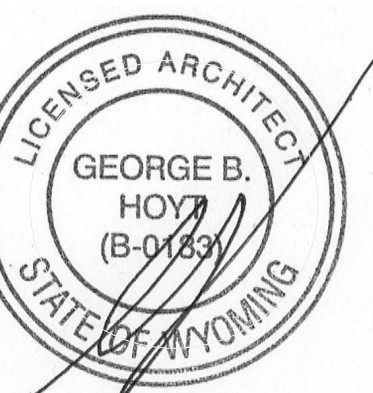
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SECOND FLOOR PLAN
- EXISTING &
DEMOLITION

A003



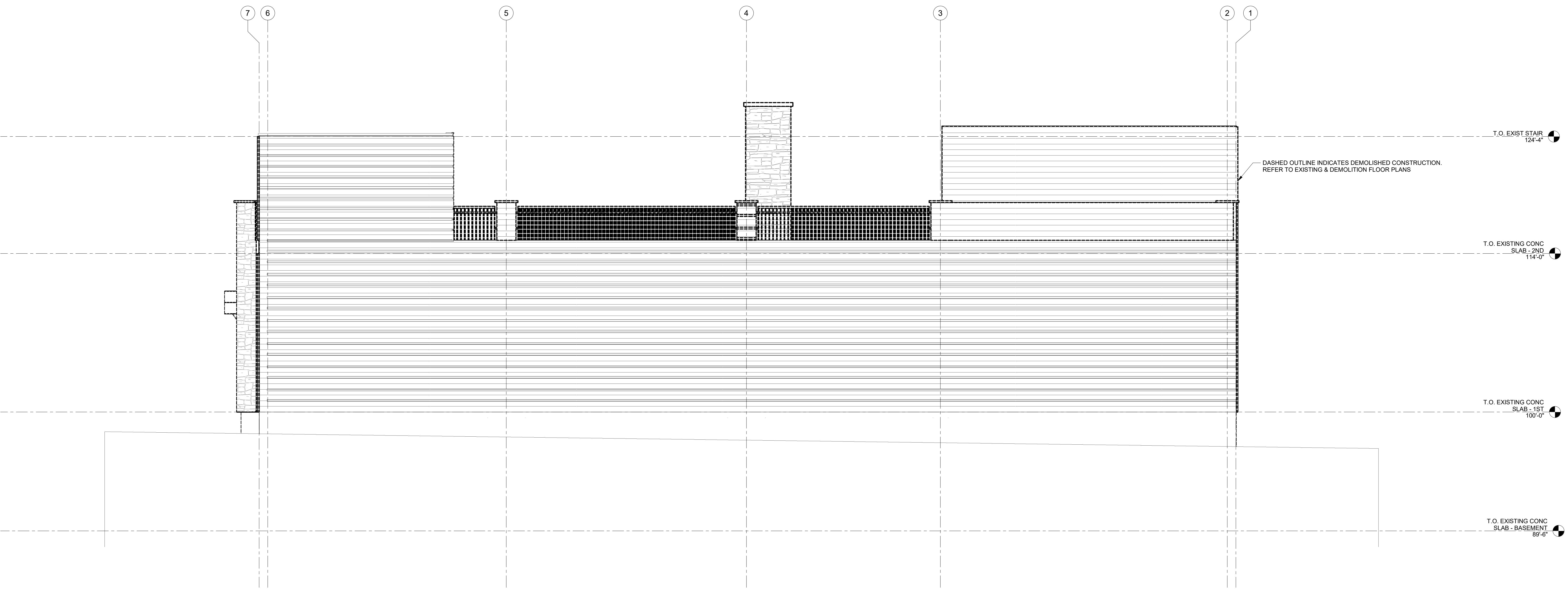
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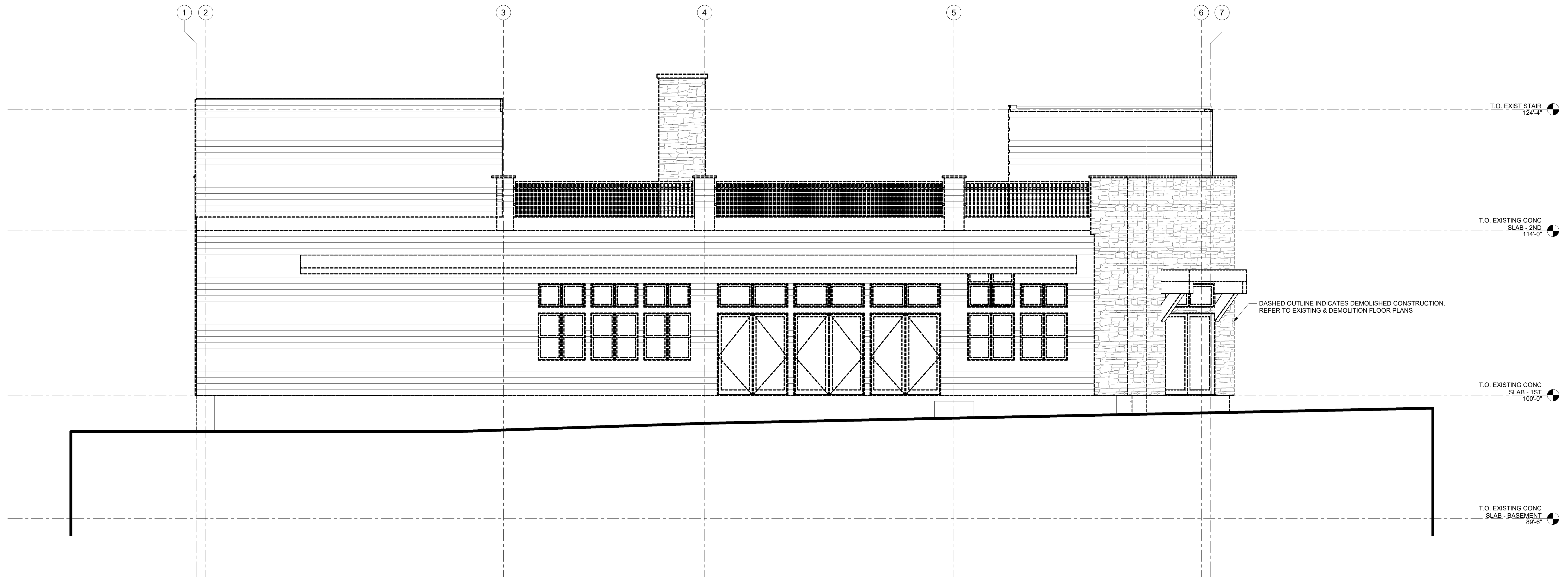
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EXTERIOR
ELEVATIONS -
EXISTING AND
DEMOLITION

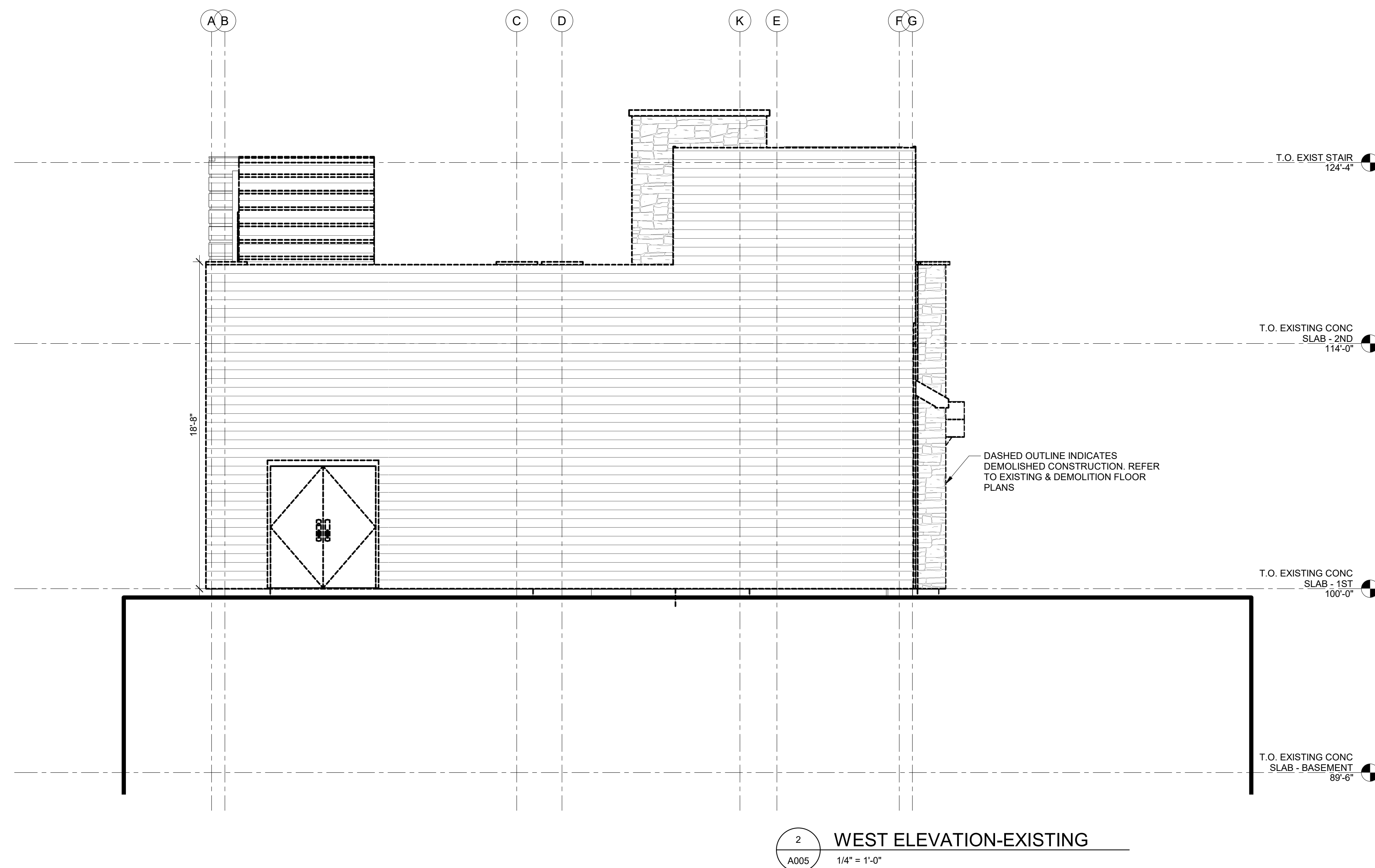
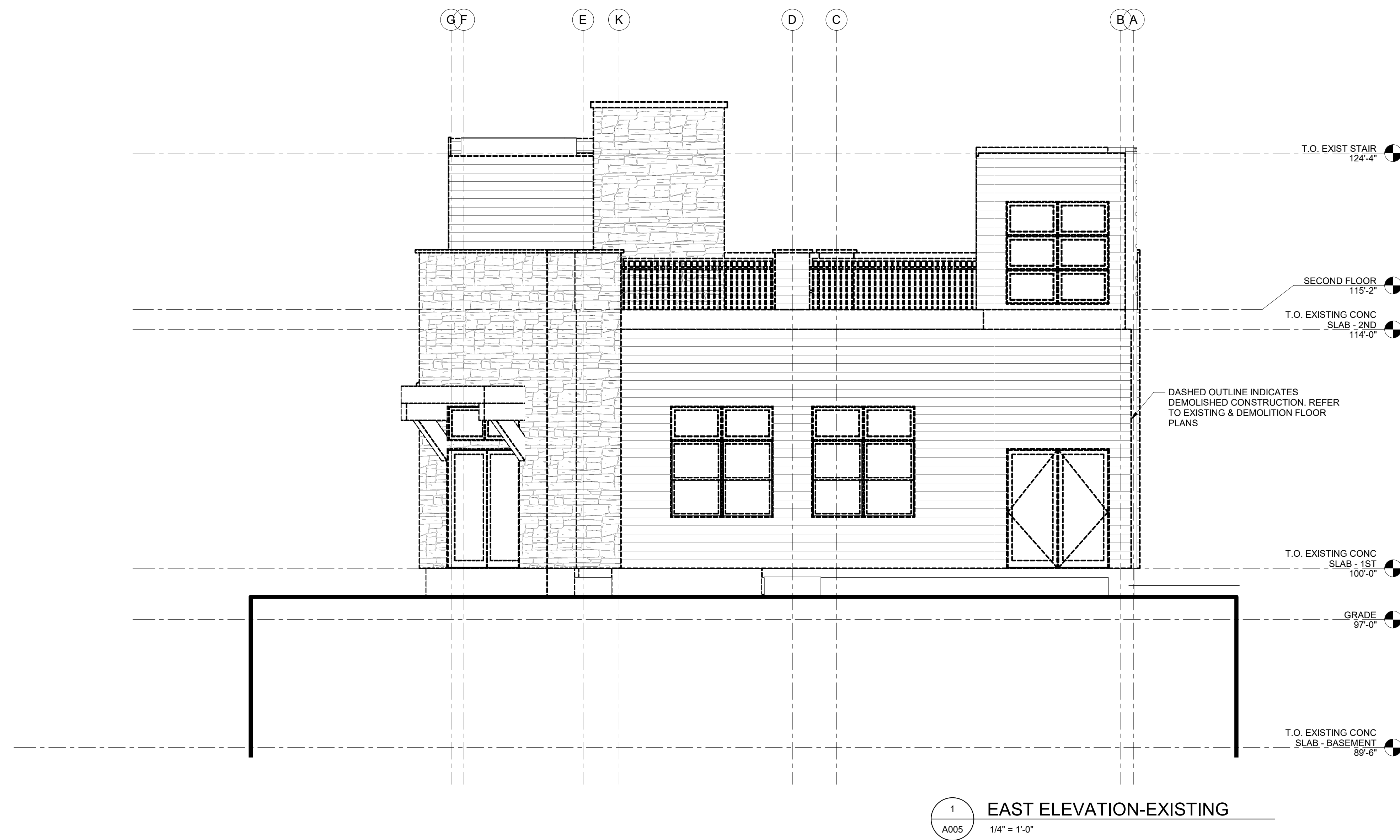
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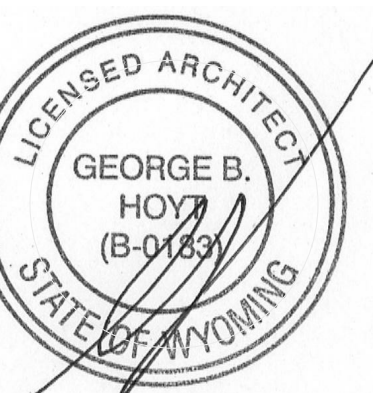
1 NORTH ELEVATION-EXISTING
A004 1/4" = 1'-0"



2 SOUTH ELEVATION-EXISTING
A004 1/4" = 1'-0"



RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



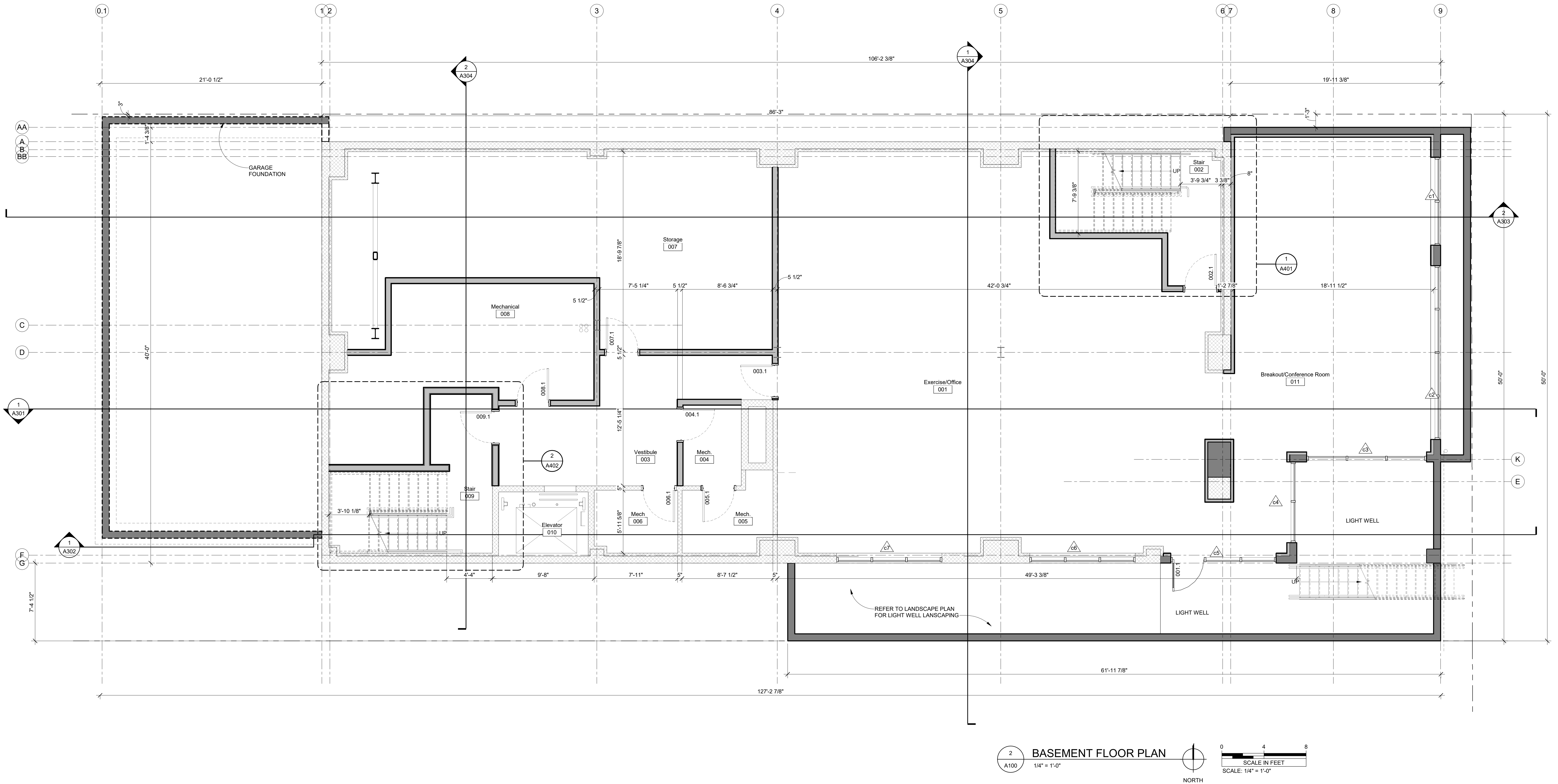
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EXTERIOR
ELEVATIONS -
EXISTING AND
DEMOLITION

A005



2
A100
BASEMENT FLOOR PLAN
1/4" = 1'-0"
NORTH
0 4 8
SCALE IN FEET
SCALE: 1/4" = 1'-0"

PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
- XX WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A601)
- SHEET NOTE
- SIM DETAIL OR SECTION NUMBER
- A101 SHEET WHERE DRAWN
- A8## INTERIOR ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- A2## BUILDING ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE
- SLOPE XX INDICATES ROOF SLOPE
- IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN - SLOPE
ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2" PER 12"

SHEET NOTES

- PROVIDE FIRE PROTECTION SYSTEM COORDINATION AND ALARMS AS PER IBC AND INTERNATIONAL FIRE CODE. TO INCLUDE COORDINATION WITH AUTOMATIC FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEMS INCLUDING MANUAL ALARM SYSTEM AND SMOKE ALARMS
- PROVIDE GFI AND AFCI CIRCUIT INTERRUPTERS AS PER NEC AND IBC.
- ALL RECESSED INTERIOR RESIDENTIAL LIGHTING TO HAVE DIMMER CONTROLS EXCEPT CLOSETS AND MECHANICAL/UTILITY SPACES.
- ALL RESIDENTIAL CLOSETS TO HAVE NEC COMPLIANT LIGHT FIXTURE CONTROLLED BY DOOR SWITCH OR DOOR CONTACT RELAY SWITCH.
- VERIFY ALL ELECTRICAL EQUIPMENT LOCATIONS INCLUDING FLOOR OUTLETS.
- PROVIDE LOW VOLTAGE COMPUTER NETWORK CABLING AND TELEPHONE CABLING FOR RESIDENTIAL SPACES.
- PROVIDE ELECTRICAL DISTRIBUTION, SUBPANELS, DISCONNECTS, CONDUITS, GROUNDING, ETC PER IBC AND NEC FOR A COMPLETE ELECTRICAL SYSTEM FROM ELECTRIC UTILITY CONNECTION.
- PROVIDE EMERGENCY BACK UP LIGHTING PER NEC AND IBC.
- PROVIDE EXIT SIGN LIGHTS AS PER NEC AND IBC.

RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE

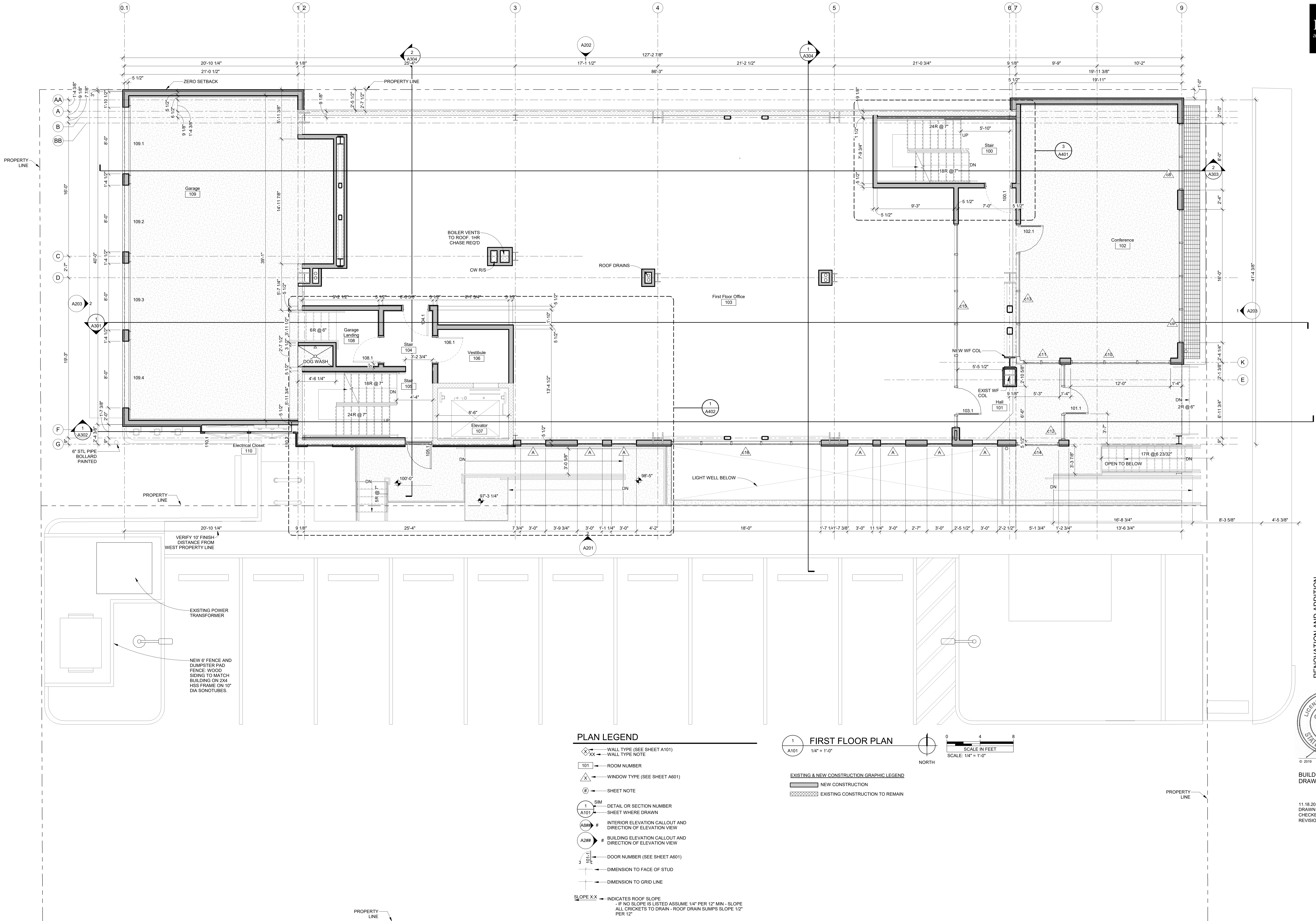


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BASEMENT FLOOR
PLAN

A100

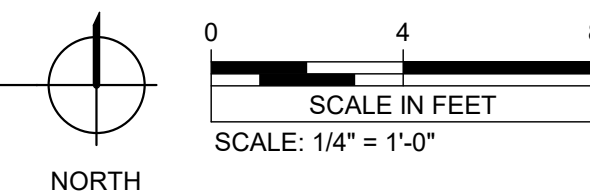


PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A601)
- SHEET NOTE
- SIM
- DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- INTERIOR ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- BUILDING ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE
- SLOPE XX INDICATES ROOF SLOPE
IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN - SLOPE
ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2" PER 12"

1 FIRST FLOOR PLAN
1/4" = 1'-0"

EXISTING & NEW CONSTRUCTION GRAPHIC LEGEND
NEW CONSTRUCTION
EXISTING CONSTRUCTION TO REMAIN



RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE

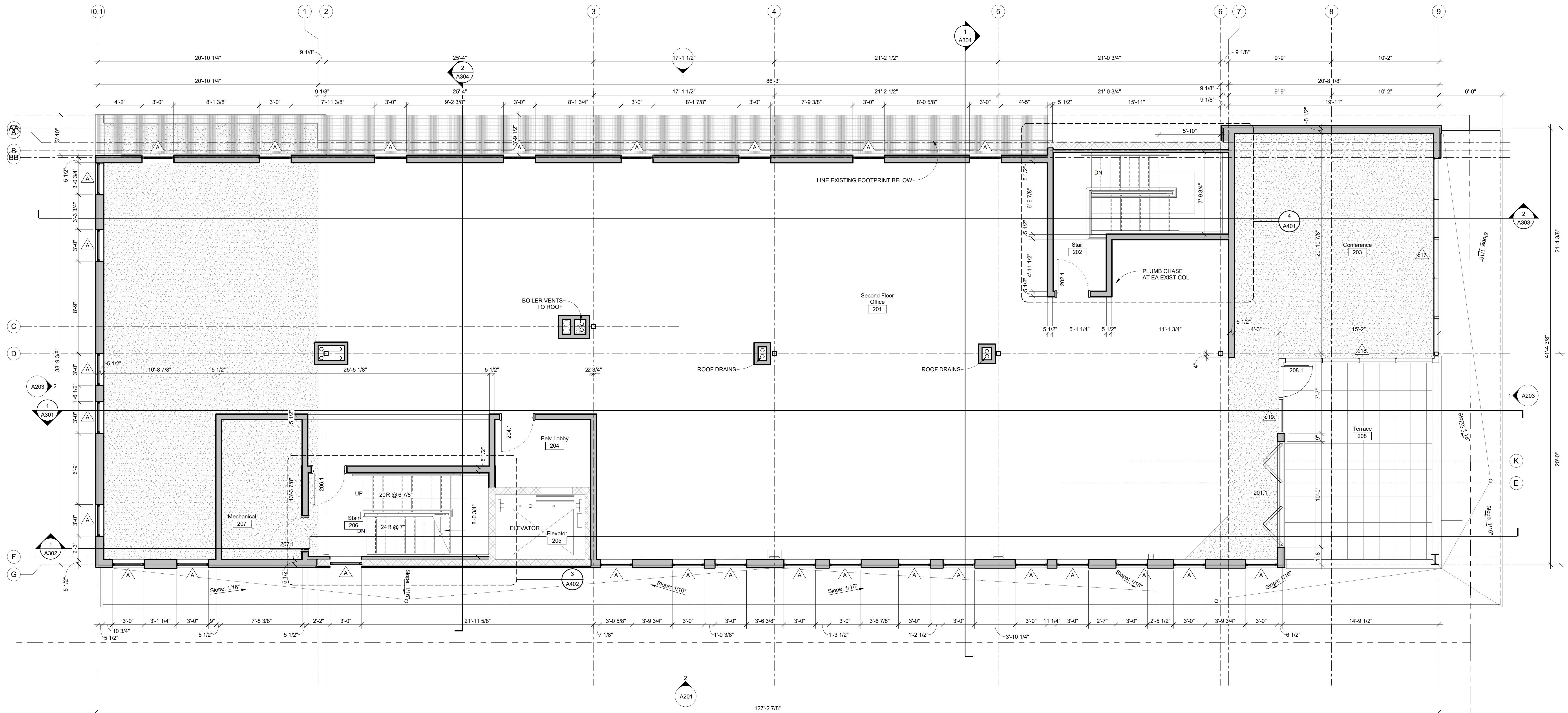


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FIRST FLOOR PLAN

A101



PLAN LEGEND

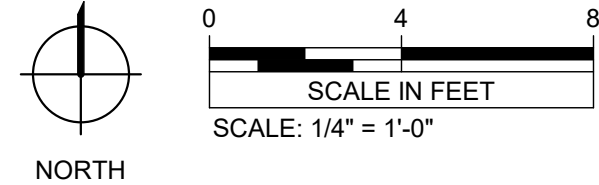
- WALL TYPE (SEE SHEET A101)
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A601)
- SHEET NOTE
- DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- INTERIOR ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- BUILDING ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE

SLOPE X.X — INDICATES ROOF SLOPE
IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN - SLOPE
ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2" PER 12"

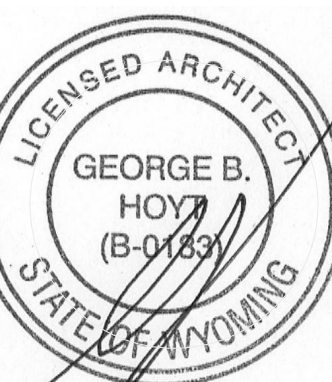
SECOND FLOOR PLAN

1/4" = 1'-0"

EXISTING & NEW CONSTRUCTION GRAPHIC LEGEND
NEW CONSTRUCTION
EXISTING CONSTRUCTION TO REMAIN



RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



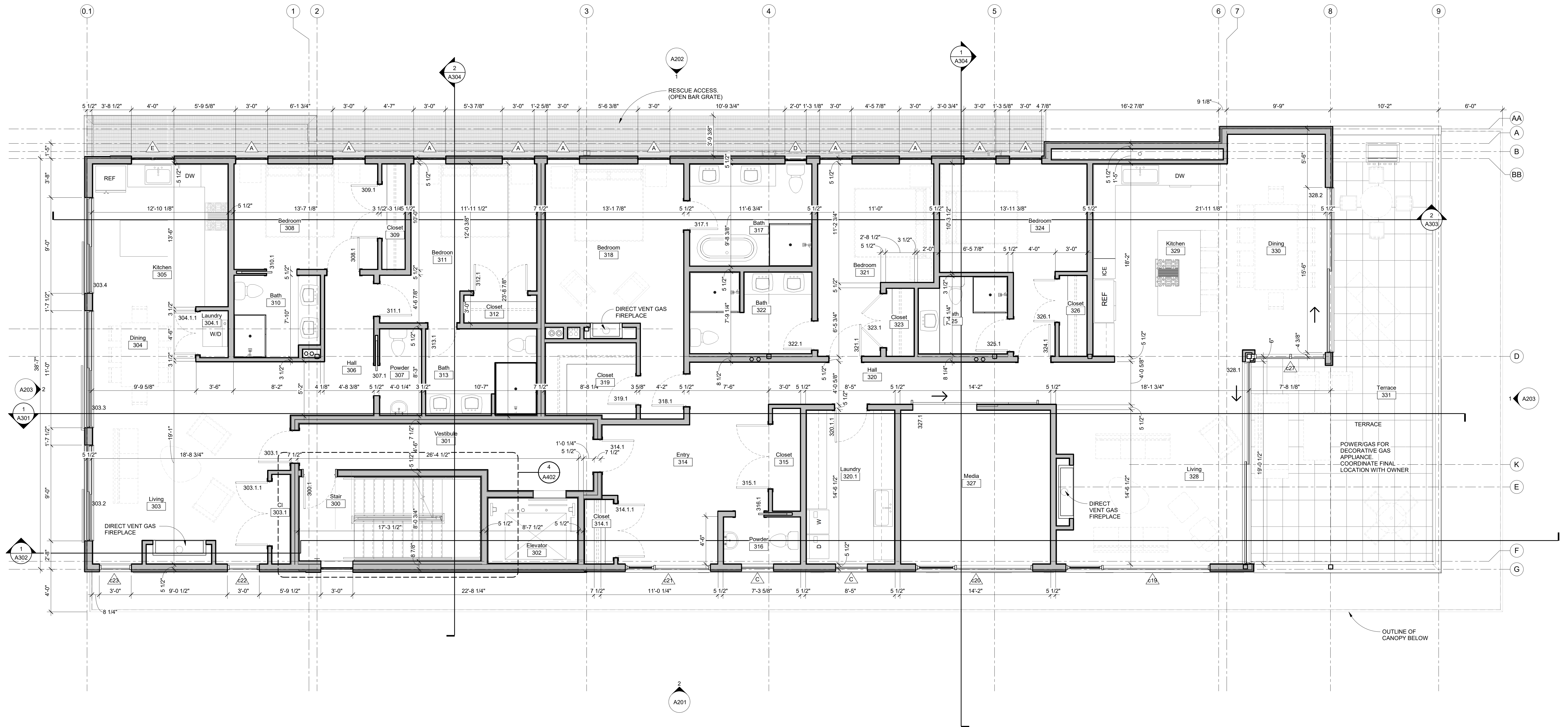
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SECOND FLOOR PLAN

A102

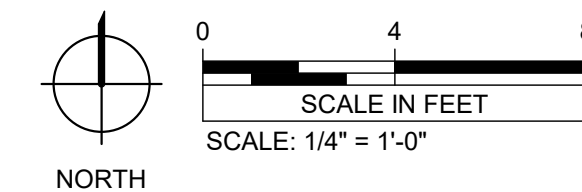


PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A601)
- SHEET NOTE
- DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- INTERIOR ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- BUILDING ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE
- SLOPE XX - INDICATES ROOF SLOPE
- IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN - SLOPE
ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2" PER 12"

1 T.O. SUBFLR - 3RD
A103 1/4" = 1'-0"

EXISTING & NEW CONSTRUCTION GRAPHIC LEGEND
NEW CONSTRUCTION
EXISTING CONSTRUCTION TO REMAIN



RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE

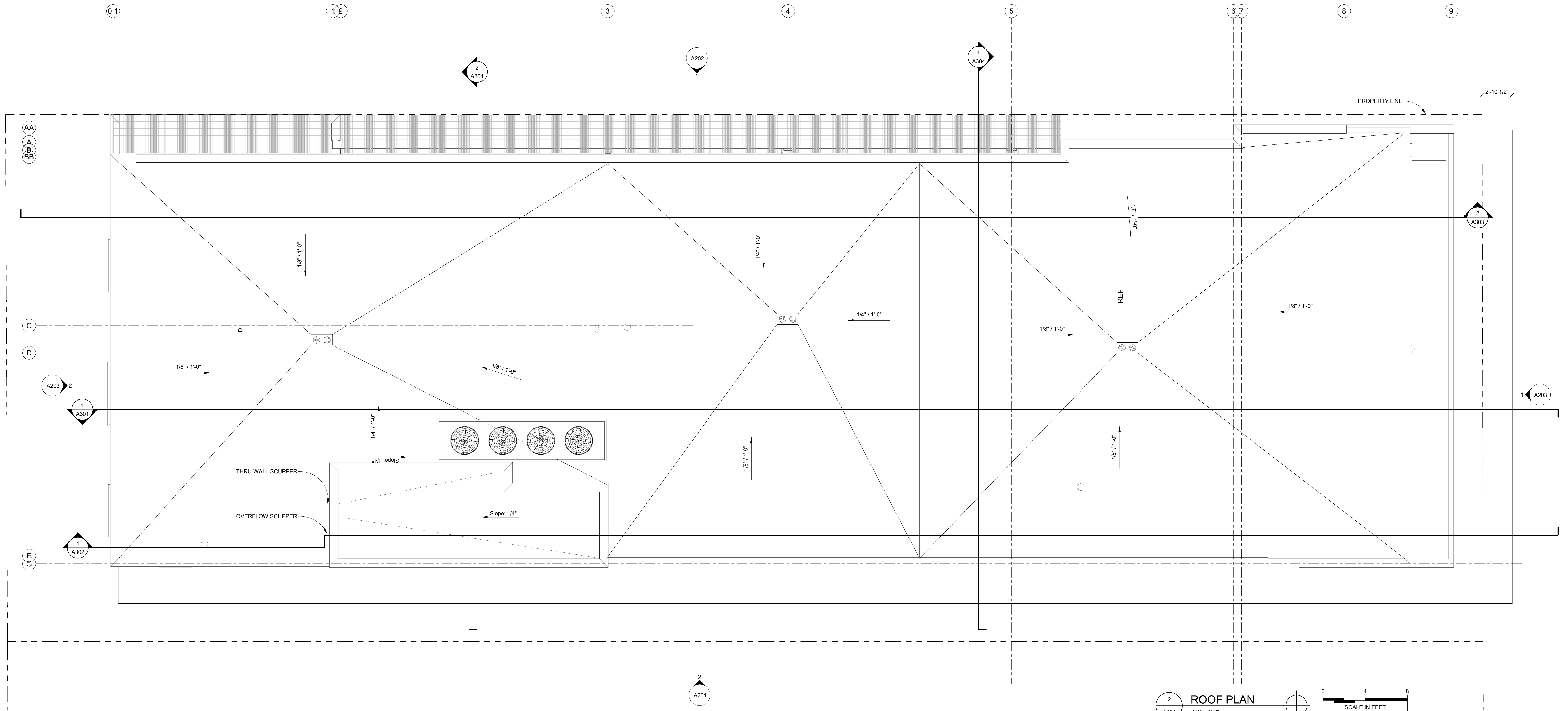


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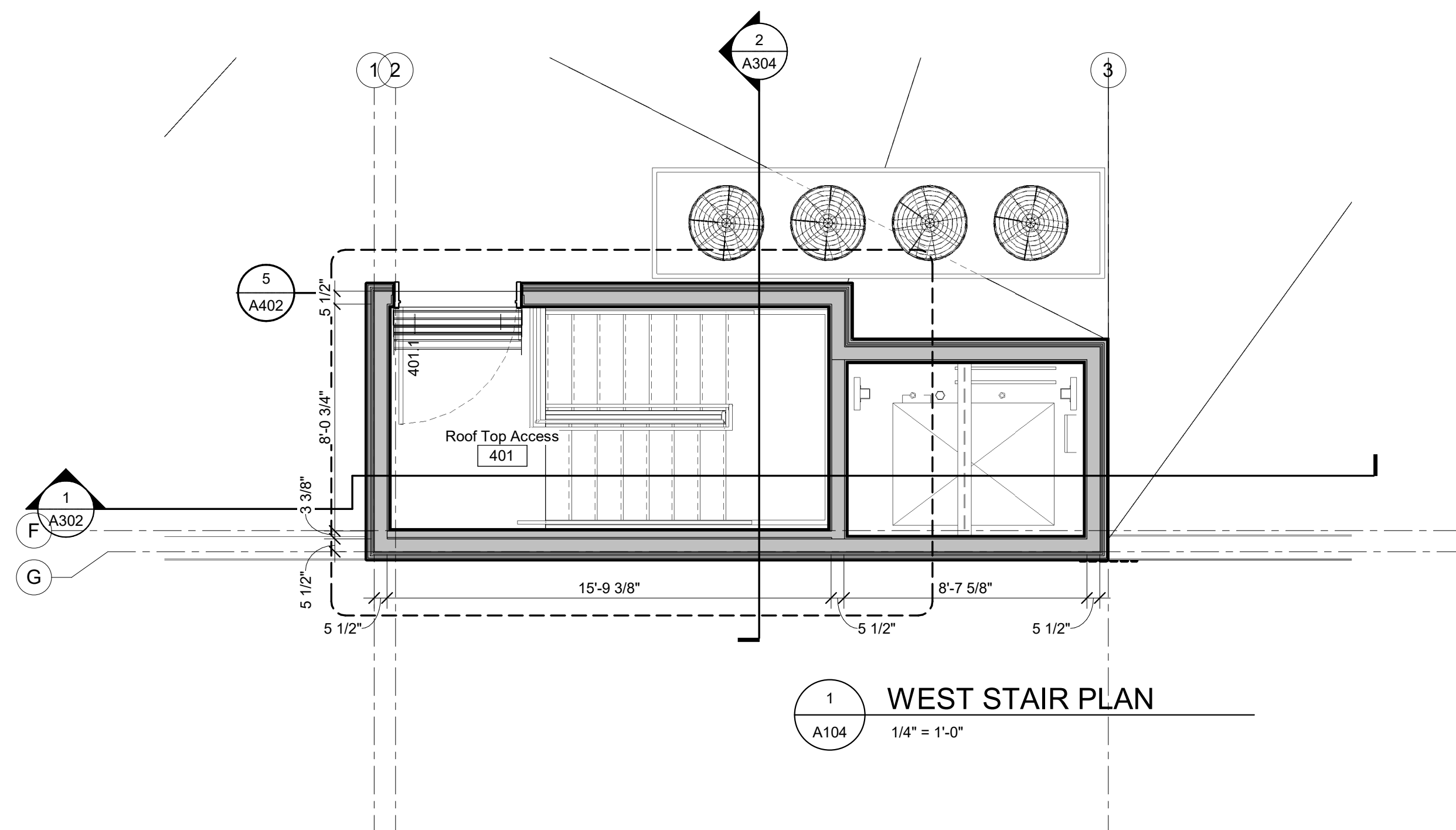
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THIRD FLOOR PLAN

A103

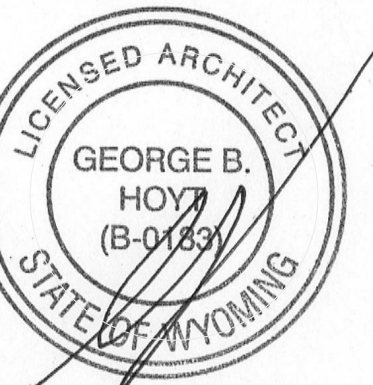


2 ROOF PLAN
1/4" = 1'-0"
NORTH
SCALE IN FEET
SCALE: 1/4" = 1'-0"



1 WEST STAIR PLAN
1/4" = 1'-0"

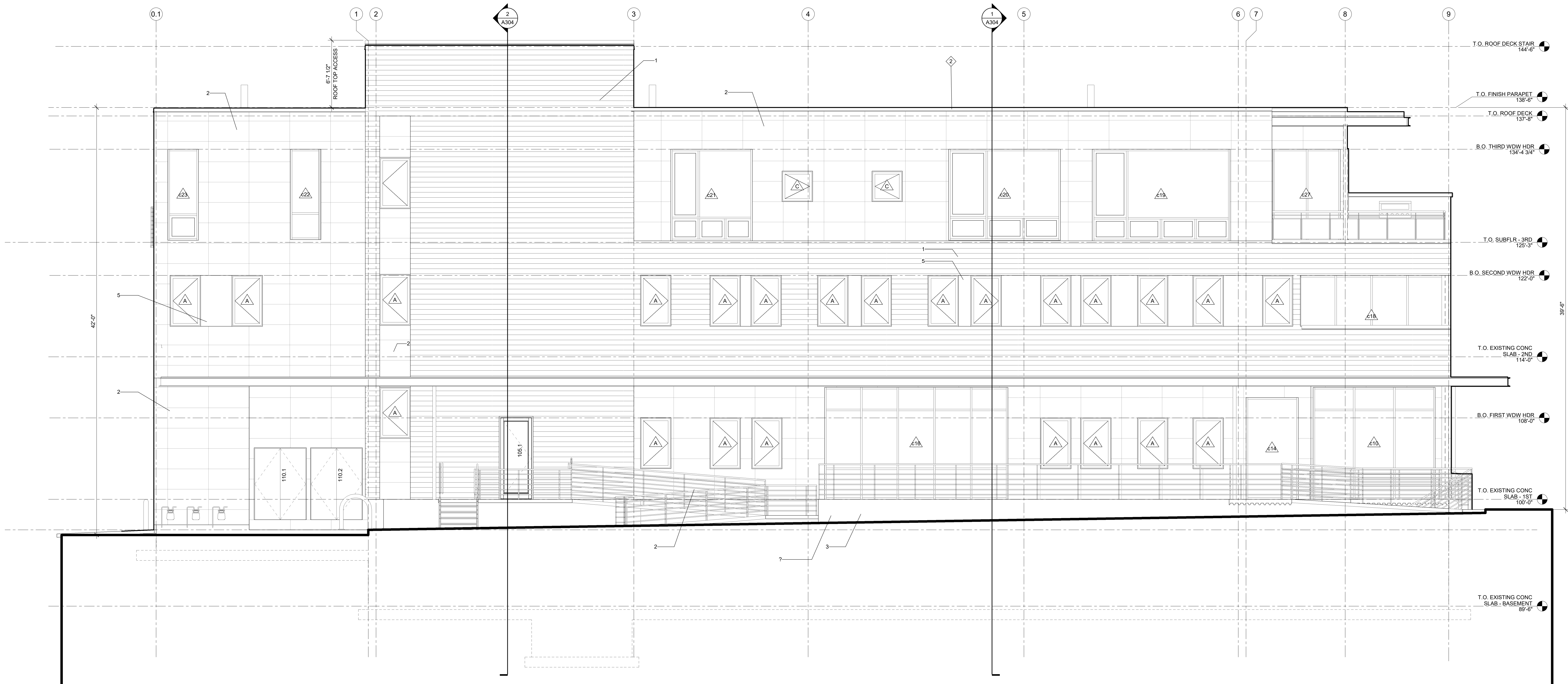
RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



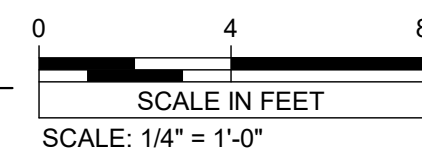
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DRAWINGS

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2 SOUTH ELEVATION
A201 1/4" = 1'-0"

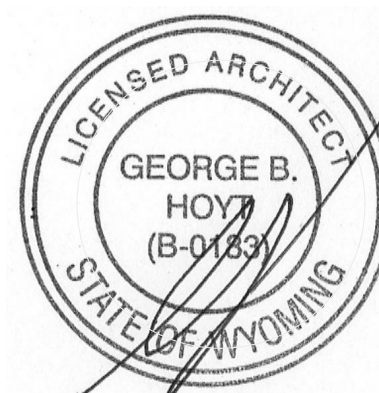


MATERIALS LEGEND

1	WESTERN RED CEDAR C AND BTR 1X6 REVERSE BOARD AND BATTEN. 1" GAP. TRANSPARENT STAIN - 2 COATS	2	AMERICAN FIBER CEMENT. 8MM NATURAL FIBER CEMENT PANELS CEMBRIT TRANSPARENT COLOR. T161 DENALI. ATTACHE W/ #12 X 1 1/2" SS sCREWS @ 16" VERTICAL. 24" HORIZ INTO 1X4 FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS. GAP ALL EDGES 3/8" OVER DELTA FASSADE S WEATHER BARRIER AS PER MANUFACTURER
3	CONCRETE FOUNDATION	4	EXISTING WOOD SIDING STAINED WITH CABOTS SEMI SOLID HEAVY BODY STAIN 2 COATS DARK SLATE
5	AMERICAN FIBER CEMENT. 8MM NATURAL FIBER CEMENT PANELS CEMBRIT PATINA COLOR. P070 FLINT. ATTACHE W/ #12 X 1 1/2" SS sCREWS @ 16" VERTICAL. 24" HORIZ INTO 1X4 FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS. GAP ALL EDGES 3/8" OVER DELTA FASSADE S WEATHER BARRIER AS PER MANUFACTURE		
5	STEEL. PAINTED DARK BRONZE (MATCH WINDOW CLADDING)		

RENOVATION AND ADDITION
JACKSON, WY 83001

645/655 SOUTH CACHE



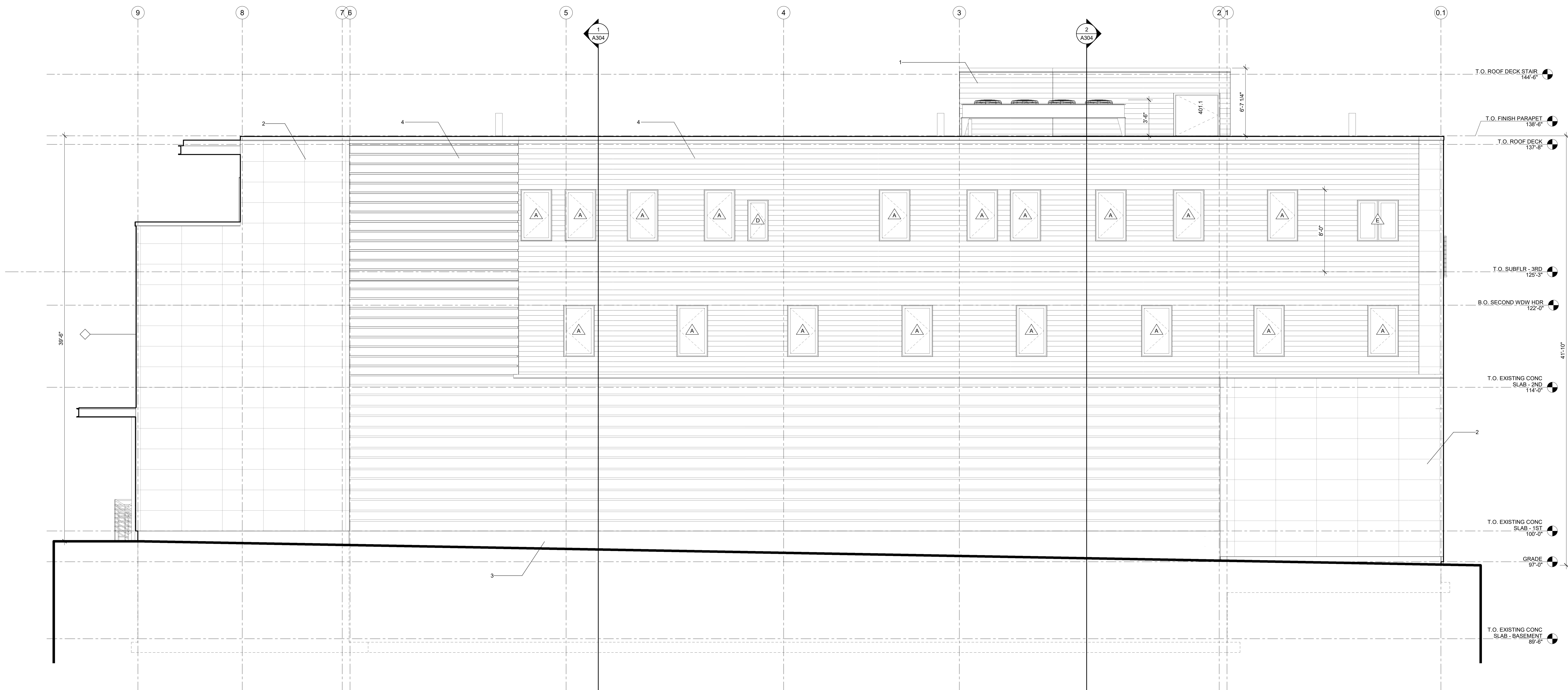
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EXTERIOR
ELEVATIONS

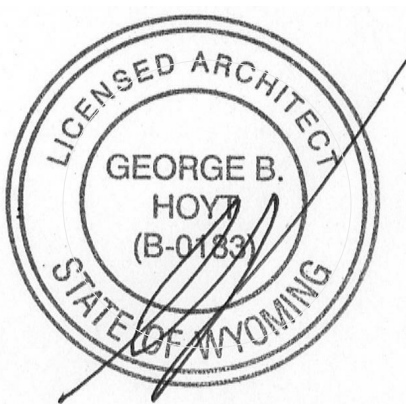
A201



MATERIALS LEGEND

1	WESTERN RED CEDAR C AND BTR 1X6 REVERSE BOARD AND BATTEN. 1" GAP. TRANSPARENT STAIN - 2 COATS	2	AMERICAN FIBER CEMENT: 8MM NATURAL FIBER CEMENT PANELS CEMBRIT TRANSPARENT COLOR: T161 DENALI ATTACHE W/ #12 X 1 1/2" SS sCREWS @ 16" VERTICAL. 24" HORIZ. INTO 1X4 FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS. GAP ALL EDGES 3/8" OVER DELTA FASSADE S WEATHER BARRIER AS PER MANUFACTURER
3	CONCRETE FOUNDATION	4	EXISTING WOOD SIDING STAINED WITH CABOTS SEMI SOLID HEAVY BODY STAIN 2 COATS DARK SLATE
5	AMERICAN FIBER CEMENT: 8MM NATURAL FIBER CEMENT PANELS CEMBRIT PATINA COLOR: P070 FLINT. ATTACHE W/ #12 X 1 1/2" SS sCREWS @ 16" VERTICAL. 24" HORIZ. INTO 1X4 FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS. GAP ALL EDGES 3/8" OVER DELTA FASSADE S WEATHER BARRIER AS PER MANUFACTURE		
5	STEEL: PAINTED DARK BRONZE (MATCH WINDOW CLADDING)		

RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



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BUILDING PERMIT
DRAWINGS

11.18.2019
DRAWN BY | BENNETT
CHECKED BY | HOYT
REVISIONS

EXTERIOR ELEVATIONS

A202



1	WESTERN RED CEDAR C AND 61% 1X6 REVERSE BOARD AND BATTEN, 1" GAP, TRANSPARENT STAIN 2 COATS	2	AMERICAN FIBER CEMENT: 8MM NATURAL FIBER CEMENT PANELS CEMBRIT TRANSPARENT COLOR: TIB1 DENALI ATTACHE W/ #12 X 1 1/2" SS <#REWS @ 16" VERTICAL 24" HORIZ. INTO 1/4" FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS GAP ALL EDGES 3/8" OVER DELTA PASSAGE & WEATHER BARRIER AS PER MANUFACTURER
3	CONCRETE FOUNDATION	4	EXISTING WOOD SIDING STAINED WITH CABOTS SEMI SOLID HEAVY BODY STAIN 2 COATS DARK SLATE
5	AMERICAN FIBER CEMENT: 8MM NATURAL FIBER CEMENT PANELS CEMBRIT PATINA COLOR: P070 FLINT ATTACHE W/ #12 X 1 1/2" SS <#REWS @ 16" VERTICAL 24" HORIZ. INTO 1/4" FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS GAP ALL EDGES 3/8" OVER DELTA PASSAGE & WEATHER BARRIER AS PER MANUFACTURER		
5	STEEL: PAINTED DARK BRONZE (MATCH WINDOW CLADDING)		