



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: December 9, 2019

Item #: P19-282, 283

Planner: Brendan Conboy

Phone: 733-0440 ext. 1302

Fax: 734-3563

Email: bconboy@jacksonwy.gov

Owner:

Newjack LLC
98 Center Street
Jackson, WY 83001

Applicant:

Hoyt Architects – Brad
Hoyt PO Box 7364
Jackson, WY 83002

REQUESTS:

The applicant is submitting a request for an Administrative Adjustment (P19-182) and a Basic Use Permit (P19-183) for the property located at 645 S. Cache Street legally known as, LOT 11, BLK. 4, KARNS-2.

For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by: December 23, 2019 (Sufficiency)
December 30, 2019 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Renovation and Addition at 645 Cache

Physical Address: 645 Cache

Lot, Subdivision: LOT 11, BLK. 4, KARNS-2

PIDN: 22-41-16-33-1-38-007

PROPERTY OWNER.

Name: NewJack LLC

Phone: _____

Mailing Address: 98 Center Street, Jackson, WY 83001

ZIP: 83001

E-mail: tom@cabinandcompany.com

APPLICANT/AGENT.

Name: Hoyt Architects

Phone: 307-733-9955

Mailing Address: PO Box 7364

ZIP: 83002

E-mail: brettb@hoytarchitects.design

DESIGNATED PRIMARY CONTACT.

Property Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson.com/200/Planning

Use Permit	Physical Development	Interpretations
<input checked="" type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input type="checkbox"/> Design Review	<input type="checkbox"/> Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	<input type="checkbox"/> LDR Text Amendment
<input checked="" type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #:	P18-256	Environmental Analysis #:	N/A
Original Permit #:	Unknown	Date of Neighborhood Meeting:	

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

- Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.
- Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Brett Bennett

Signature of Property Owner or Authorized Applicant/Agent

Brett Bennett

Name Printed

Digitally signed by Brett Bennett
DN C=US, E=brett@hoytarchitectsdesign, O=Hoyt Architects, CN=Brett Bennett
Date 2019 12 06 10 00 38-07'00"

12.5.2019

Date

Architect

Title

LETTER OF AUTHORIZATION

NewJack LLC, "Owner" whose address is: 98 Center Street,
Suite D, Jackson, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)
Tom Hedges and Alex Marshall, as the owner of property
more specifically legally described as: _____
645 S Cache St: LOT 11, BLK. 4, KARNS-2 and 655 S Cache St: LOT 12, BLK. 4, KARNS-2

(If too lengthy, attach description)

HEREBY AUTHORIZES Hoyt Architects, PO Box 7364, Jackson, WY 83002 as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Member

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

3

COUNTY OF *Teton*

1

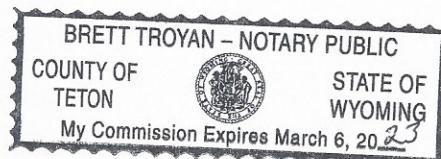
The foregoing instrument was acknowledged before me by Tom Hedges this 16th day of October 2012

October, 2011.

(Seal)

~~(Notary Public)~~

My commission expires: 03/06/2023





Date: December 5th, 2019

Hoyt Architects
PO Box 7364
Jackson, WY 83002
Contact: Brett Bennett 307.733.9955 (brettb@hoytarchitects.design)

Basic Use Permit and Administrative Adjustment for Northeast Setback
645 Cache
Jackson, WY
83001

Project Narrative for Basic Use Permit:

Existing conditions at 645/655 Cache consist of a restaurant and parking area zoned CR-1. The existing structure includes a basement, first floor, and roof deck.

A change of use is proposed for this project to include Offices and 2 residential dwelling units. Office space will be included in the basement, first floor, and second floor spaces with the third floor dedicated to residential use.

Project narrative for Administrative Adjustment:

CR-1 zoning notes a side setback of 0' or 5' however we have shown a setback of 1'-0" at the northeast addition of this project to accommodate the existing structure located at 635 Cache. After meeting with the landowners, we felt this would be the most reasonable approach as the 635 Cache gabled roof structure is located at the lot line and sheds south to 645 Cache. We are proposing the 1'-0" setback to accommodate a gutter and heat trace system.

Supporting documents include:

BUP application and narrative.
Existing and proposed floorplans and elevations.
Existing and proposed site drawings.
Affordable housing worksheets.
Letter of Authorization.

Thank you for reviewing this application.

Sincerely,

Brett Bennett / Hoyt Architects

Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted Jun 2012. The formulas in the gold cells are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, you will need to copy the formulas from the gold cells to the other cells in the row.

Step 1. Describe your project. Enter as many rows as needed to describe the different uses and unit boxes. In the other gold boxes, describe each use's size in floor area and bedrooms (if applicable), then affordable housing will calculate for each unit and populate the Total box. See also Sections 6.3.2 and 6.3.3.

Step 2. What types of units are required? The proposed LDRs lay out a schedule for how many unit 2, or 3 bedrooms. The LDRs also allow for adjustment. To propose an adjusted allocation, change the allocation must meet the customization rules provided, and may not result in less affordable work turn red. See also Section 6.3.4 of the proposed LDRs.

Affordability	Rental Units Affordable to Households making 50% Median Income	Rental Units Affordable to Households making 80% Median Income	Rental/Ownership Units Affordable to Households making 120% Median Income	Rental/Ownership Workforce Units	Total
---------------	--	--	---	----------------------------------	-------

Bedroom Mix	1 Bed/Studio	2 Bedroom	3 Bedroom
LDR Schedule	3.622	4.000	1.000
Proposed Allocation	3.622	4.000	1.000
Employees per Unit per LDRs	1.45	2.00	2.10

Step 3. Distribute the affordability and bedroom mix. The bedroom mix must be proportionally distributed across all cells (the totals must match your allocation totals (they will turn red if they don't). A customized distribution. See also Section 6.3.4 of the proposed LDRs.

Requirement Distribution	1 Bed/Studio	2 Bedroom	3 Bedroom
Affordable to 50% Median Income	1.622	1.000	0.000
Affordable to 80% Median Income	0.000	1.000	0.000
Affordable to 120% Median Income	2.000	2.000	0.000
Workforce Restriction	0.000	0.000	1.000
Total	3.622	4.000	1.000

Step 4. How will the required housing be provided? The proposed LDRs require that unless impractical construction of housing. If impractical the units may be provided by dedication of land, use of a ban be paid. Enter the number of units to be constructed or provided through land dedication, use of a remaining will calculate. See also Section 6.3.5 of the proposed LDRs.

	Units Constructed		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	1.000	1.000	0.000
Affordable to 80% Median Income	0.000	1.000	0.000
Affordable to 120% Median Income	2.000	2.000	0.000
Workforce Restriction	0.000	0.000	1.000

	Banked Units Used		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	0.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

	Units Provided via In-Lieu Fee		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.622	0.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

e 26, 2018. Cells that can be modified are highlighted in gold, other cells
example, it is best to start with a fresh worksheet in order to reset the auto

types proposed. Select a use from the use table in the left most gold
then describe how many units of each use type are proposed. The required
and 6.3.3 of the proposed LDRs.

	Proposed Use Size (bedrooms)	Proposed Use Size (sf)	Proposed Use Quantity	Affordable Units Required
		7200	1	8.622
				?
				?
				?
				?
				?
				?
				?
				?
Total	0	7200	1	8.622

s have to be in each income ranges and how many units have to have 1,
the values in the proposed column/row (gold cells); the customized
force units provided than are required. If a rule is violated the cell will

LDR Schedule	Proposed	Custom %	Customization Rules
2.622	2.622	30%	Custom % shall be $\geq 25\%$
1.000	1.000	12%	Custom % shall be $\geq 19\%$
4.000	4.000	46%	Custom % shall be $< 43\%$
1.000	1.000	12%	Custom % shall be $< 13\%$
8.622	8.622	Proposed total shall be \geq Required	

Total Units	Total Employees Housed	Customization Rule
8.622	15.519	
8.622	15.352	Proposed totals shall be \geq Schedule totals
1.80		

ributed among the affordability mix. If you modify the distribution (gold
distribution should be within 1 (rounded up or down) of the even

	Even Distribution			
Total	1 Bed/Studio	2 Bed	3 Bed	
2.622	1.124	1.124	0.375	0.9
1.000	0.429	0.429	0.143	0.4
4.000	1.714	1.714	0.571	1.7
1.000	0.429	0.429	0.143	0.4

critical any housing requirement of 1 unit or greater be provided through
banked unit, or restriction of an existing unit. Only as a last option shall a fee
banked unit, or restriction of an existing unit (gold boxes). The in-lieu fee

Units Provided via Land Dedication		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Existing Units Restricted		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Fee			
1 Bed/Studio	2 Bed	3 Bed	
\$ 195,461	\$ -	\$ -	
\$ -	\$ -	\$ -	
\$ -	\$ -	\$ -	
\$ -	\$ -	\$ -	
Total			\$ 195,461

Use	Rate
Agriculture	Exempt
Outdoor Recreation	Independent Calculation
Affordable Housing Unit	Exempt
Workforce Housing Unit	Exempt
Workforce Housing Bonus Unit	Exempt
Detached Single-Family Unit Unrestricted	$0.000017(sf) + (\text{Exp}(-15.49 + 1.59*\text{Ln}(sf)))/2.176$
Attached Single-Family Unit Unrestricted	$0.000017(sf) + (\text{Exp}(-14.17 + 1.59*\text{Ln}(sf)))/2.176$
Apartment Unrestricted	$0.000017(sf) + (\text{Exp}(-14.17 + 1.59*\text{Ln}(sf)))/2.176$
Detached Single-Family Unit Local Occupancy	$0.000017(sf) + (\text{Exp}(-16.14 + 1.59*\text{Ln}(sf)))/2.176$
Attached Single-Family Unit Local Occupancy	$0.000017(sf) + (\text{Exp}(-14.82 + 1.59*\text{Ln}(sf)))/2.176$
Apartment Local Occupancy	$0.000017(sf) + (\text{Exp}(-14.82 + 1.59*\text{Ln}(sf)))/2.176$
Mobile Home	Exempt
Dormitory	Exempt
Group Home	Exempt
Conventional Lodging	$0.204 * \text{bedrooms}$
Short-Term Rental Unit	$0.204 * \text{bedrooms}$
Office	$0.000493 * sf$
Retail	$0.000431 * sf$
Service	$0.000431 * sf$
Restaurant/Bar	$0.001197 * sf$
Heavy Retail/Service	$0.000246 * sf$
Mini-Storage Warehouse	$0.000013 * sf$
Nursery	$0.000431 * sf$
Amusement	$0.000431 * sf$
Developed Recreation	Independent Calculation
Outfitter/Tour Operator	Independent Calculation
Adult Entertainment Business	$0.000431 * sf$
Assembly	Independent Calculation
Daycare/Education	Independent Calculation
Light Industry	$0.000246 * sf$
Heavy Industry	$0.000246 * sf$
Disposal	$0.000246 * sf$
Parking	$0.000246 * sf$
Utility Facility	$0.000246 * sf$
Wireless Communication Facilities	$0.000246 * sf$
Heliport	$0.000246 * sf$
Accessory Residential Unit	Exempt
Bed and Breakfast	Exempt
Home Occupation	Exempt
Home Business	Exempt
Family Home Daycare	Exempt
Home Daycare Center	Exempt
Drive-In Facility	Exempt
Christmas Tree Sales	Exempt
Real Estate Sales Office	Exempt
Temporary Shelter	Exempt

Farm Stand	Exempt
Temp. Gravel Extraction and Processing	Exempt

0

0

0

0

HOUSEHOLD INCOME IN THE PAST 12 MONTHS IN 2016 INFLATION-ADJUSTED DOLLARS

Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

HMI 75,000

Estimate

Total:	8,576		
Less than \$10,000	196		
\$10,000 to \$14,999	171		
\$15,000 to \$19,999	191		
\$20,000 to \$24,999	561		
\$25,000 to \$29,999	208		
\$30,000 to \$34,999	203		
\$35,000 to \$39,999	340		
\$35,000 - \$37,499	170	20	25
\$37,500 - \$39,999	170		
\$40,000 to \$44,999	451		
\$45,000 to \$49,999	197		
\$50,000 to \$59,999	510	15	19
\$60,000 to \$74,999	1,231		
\$75,000 to \$99,999	1,226		
\$100,000 to \$124,999	862		
\$100,000 - \$104,999	172.4		
\$105,000 - \$109,999	172.4		
\$110,000 - \$114,999	172.4	35	43
\$115,000 - \$119,999	172.4		
\$120,000 - \$124,999	172.4		
\$125,000 to \$149,999	573	11	13
\$150,000 to \$199,999	386	19	
\$200,000 or more	1,270		

Median = \$75,594

B08202: HOUSEHOLD SIZE BY NUMBER OF WORKERS IN HOUSEHOLD - Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

Estimate

Total:	8,576		
No workers	1,700		
1 worker	2,935		
2 workers	3,238		
3 or more workers	703		Assumed E Allocation
1-person household:	2,573		1 Bedroom 1.426702 0.428571
No workers	935		
1 worker	1,638		
2-person household:	3,203		2 Bedroom 1.994506 0.428571
No workers	639		
1 worker	771		
2 workers	1,793		

3-person household:	1,413	3 Bedroom	2.092428	0.142857
No workers	0			
1 worker	251			1.76515
2 workers	759			
3 workers	403			
4-or-more-person household:	1,387			
No workers	126			
1 worker	275			
2 workers	686			
3 or more workers	300			

Cost per Livable sf (based on most recent projects currently being developed, see equation)

\$	563
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Median Income (based on HUD Family Median Income for 2017 applied to housing department ap

	1 bed	2 bed	3 bed
50%	\$ 36,800.69	\$ 46,337.56	\$ 50,270.60
80%	\$ 58,881.11	\$ 74,140.10	\$ 80,432.96
120%	\$ 88,321.67	\$ 111,210.15	\$ 120,649.45
200%	\$ 147,202.78	\$ 185,350.25	\$ 201,082.41

Average Livable Size (set by policy in LDRs, recent Housing Department developments at right for r

1 bed	2 bed	3 bed
650	900	1150

Max Rental Rate (based on Rules and Regulations that rent shall be based on low end of range spe

	1 bed	2 bed	3 bed
50%	\$ 4,124.13	\$ 5,840.76	\$ 6,548.71
80%	\$ 8,540.21	\$ 11,401.27	\$ 12,581.18
120%	\$ 15,164.33	\$ 19,742.03	\$ 21,629.89
200%	\$ 23,996.50	\$ 30,863.04	\$ 33,694.83

Cap Rate (set by policy in LDRs based on reasonable industry standard)

8%

Maximum Sales Price (based on Rules and Regulations that sales price shall be based on the middl

	1 bed	2 bed	3 bed
50%	\$ 71,072.13	\$ 89,490.40	\$ 97,086.17
80%	\$ 153,989.61	\$ 193,895.88	\$ 210,353.37
120%	\$ 236,907.09	\$ 298,301.35	\$ 323,620.58
200%	\$ 379,051.34	\$ 477,282.16	\$ 517,792.92

Fee In-Lieu (based on 6.3.4.B.1.a-b that the lower income ranges must be rental and assuming the

	1 bed	2 bed	3 bed
50%	\$ 314,338.83	\$ 433,607.95	\$ 565,485.68

80%	\$	259,137.79	\$	364,101.61	\$	490,079.78
120%	\$	128,983.31	\$	208,316.12	\$	323,723.96
200%	\$	-	\$	29,335.31	\$	129,551.62

Most Recent Housing Department developments (source: Housing Department)

	Land	Construction	Gross sf	Livable sf
174 N. King St.	\$ 2,000,000	\$ 14,000,000	31,531	21,286
Redmond Street I	\$ 3,645,000	\$ 9,255,000	35,078	18,645
Grove Phase 2		\$ 9,549,163	42,141	33,252

Applications as of 4/3/18 based on Rules and Regulations occupancy requirements)

Median Income by Persons in Household (HUD)

1	68950
2	78800
3	88650
4	98500
5	106380
6	114260
7	122140

Occupancy standards in Rules and I

Bedrooms	Heads
1	1 or 2
2	1 or 2
3	1 or 2

reference)

Unit sizes in most recent Housing Department developments (source: Housing Department)

	Studio	1 Bed	2 bed	3 bed
174 N. King St	395	790	950	
Redmond Street I	495	588	1081	
Grove Phase 1	535	705	928	
Grove Phase 2			1179	1592

Spending 30% of income on rent, including utilities)

Annual Utilities/HOA (estimate)

\$2,500

Use the range and use the mortgage terms at right)

- 22% percent of income toward mortgage payment
- 5% percent down
- 30 mortgage term
- 6% 2018 20-year average interest rate

Higher ranges will be sold)

Units	Gross/Unit	Livable/Unit	Gross/Livable	Land/Gross	Construct/Gross
30	1,051	710	1.48	\$ 60	\$ 419
26	1,349	717	1.88	\$ 104	\$ 264
24	1,756	1,386	1.27		\$ 227
	1,359	915	1.49	\$ 82	\$ 296

Regulations	Housing Department Applications as of 4/3/18			
Dependents	Dependants			
0 or 1	Heads	0	1	2
1+	1	190	34	6
2+	2	91	45	51

designed as market units
designed as market units

Total/Gross

\$ 478 Land was purchased in 2010, \$2,000,000 is the estimated value in 2018 based on comps, gross value is \$4.5M.
\$ 368 Land was purchased in 2014 for \$3,645,000, estimated value today is about \$4.5M.
\$ 227
\$ 379

3	4	5
4	0	0
18	1	3

ss sf for land cost per gross sf includes 1915 sf of retail

	Office	Retail	Restaurant/Bar
Construction			
employees per 1,000 sf	1.234	1.234	1.234
sf per room			
Length of Construction Career	30	30	30
employees per 1,000 sf/room	0.041	0.041	0.041
employees per unit	1.774	1.774	1.774
employees who can afford	28.87%	28.87%	28.87%
units per 1,000 sf/room	0.016	0.016	0.016
Post-Construction			
employees per 1,000 sf/room	1.598	1.202	3.911
employees per unit	1.678	1.706	2
Employees who can afford	33.14%	21.30%	19.65%
units per 1,000 sf/room	0.637	0.554	1.571
Fire/EMS			
Fire/EMS employees per 1000 sf	0.00100	0.00100	0.00100
employees per unit	1.797	1.797	1.797
employees who can afford	25.56%	25.56%	25.56%
Fire/EMS units per 1000 sf	0.00042	0.00042	0.00042
Law Enforcement			
Law employees per 1000 sf	0.00301	0.00301	0.00301
employees per unit	1.797	1.797	1.797
employees who can afford	27.09%	27.09%	27.09%
Law units per 1000 sf	0.00122	0.00122	0.00122
Total			
Employees per 1000 sf/room	1.643	1.247	3.956
units per 1,000 sf/room	0.655	0.573	1.589
Yearround mitigation "rate"	55%	55%	55%
Reduction factor	0.75	0.75	0.75
Required units per 1,000 sf/room	0.493	0.431	1.197

Mini Storage	Industrial	Institutional	Lodging	Residential	
0.514	0.514	0.927	1.234	1.234	
			900		
30	30	30	30	30	
0.017	0.017	0.031	0.037	0.041	
1.774	1.774	1.774	1.774	1.774	
28.87%	28.87%	28.87%	28.87%	28.87%	
0.007	0.007	0.012	0.015	0.016	
0.02	0.71	1.598	0.487		
1.652	1.652	1.678	2	1.713	2.176
26.08%	26.08%	28.18%	22.87%	21.26%	
0.009	0.318	0.684	0.188		
0.00100	0.00100	0.00100	0.00100	0.00033	
1.797	1.797	1.797	1.797	1.797	
25.56%	25.56%	25.56%	25.56%	25.56%	
0.00042	0.00042	0.00042	0.00042	0.00014	
0.00301	0.00301	0.00301	0.00301	0.00107	
1.797	1.797	1.797	1.797	1.797	
27.09%	27.09%	27.09%	27.09%	27.09%	
0.00122	0.00122	0.00122	0.00122	0.00043	
0.041	0.731	1.633	0.528	0.043	
0.017	0.326	0.698	0.204	0.017	
55%	55%	55%	73%	73%	
0.75	0.75	0.75	1.00	1.00	
0.013	0.246	0.526	0.204	0.017	

Housing Mitigation Worksheet

Please use this worksheet to calculate the affordable workforce housing requirements as drafted Jun 2013. The formulas in the gold cells are locked. If you modify a gold cell for one example, and wish to use the worksheet for another example, you will need to copy the formulas from the gold cells to the other cells in the row.

Step 1. Describe your project. Enter as many rows as needed to describe the different uses and unit boxes. In the other gold boxes, describe each use's size in floor area and bedrooms (if applicable), then affordable housing will calculate for each unit and populate the Total box. See also Sections 6.3.2 and 6.3.3.

Step 2. What types of units are required? The proposed LDRs lay out a schedule for how many unit 2, or 3 bedrooms. The LDRs also allow for adjustment. To propose an adjusted allocation, change the allocation must meet the customization rules provided, and may not result in less affordable work turn red. See also Section 6.3.4 of the proposed LDRs.

Affordability	Rental Units Affordable to Households making 50% Median Income	Rental Units Affordable to Households making 80% Median Income	Rental/Ownership Units Affordable to Households making 120% Median Income	Rental/Ownership Workforce Units	Total

Bedroom Mix	1 Bed/Studio	2 Bedroom	3 Bedroom
LDR Schedule	1.637	2.000	0.000
Proposed Allocation	1.637	2.000	0.000
Employees per Unit per LDRs	1.45	2.00	2.10

Step 3. Distribute the affordability and bedroom mix. The bedroom mix must be proportionally distributed across all cells (the totals must match your allocation totals (they will turn red if they don't). A customized distribution. See also Section 6.3.4 of the proposed LDRs.

Requirement Distribution			
	1 Bed/Studio	2 Bedroom	3 Bedroom
Affordable to 50% Median Income	0.000	1.000	0.000
Affordable to 80% Median Income	0.637	0.000	0.000
Affordable to 120% Median Income	1.000	1.000	0.000
Workforce Restriction	0.000	0.000	0.000
Total	1.637	2.000	0.000

Step 4. How will the required housing be provided? The proposed LDRs require that unless impractical construction of housing. If impractical the units may be provided by dedication of land, use of a ban be paid. Enter the number of units to be constructed or provided through land dedication, use of a remaining will calculate. See also Section 6.3.5 of the proposed LDRs.

	Units Constructed		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	1.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	1.000	1.000	0.000
Workforce Restriction	0.000	0.000	0.000

	Banked Units Used		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	0.000	0.000
Affordable to 80% Median Income	0.000	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

	Units Provided via In-Lieu Fee		
	1 Bed/Studio	2 Bed	3 Bed
Affordable to 50% Median Income	0.000	0.000	0.000
Affordable to 80% Median Income	0.637	0.000	0.000
Affordable to 120% Median Income	0.000	0.000	0.000
Workforce Restriction	0.000	0.000	0.000

e 26, 2018. Cells that can be modified are highlighted in gold, other cells
example, it is best to start with a fresh worksheet in order to reset the auto

types proposed. Select a use from the use table in the left most gold
then describe how many units of each use type are proposed. The required
and 6.3.3 of the proposed LDRs.

	Proposed Use Size (bedrooms)	Proposed Use Size (sf)	Proposed Use Quantity	Affordable Units Required
		7371	1	3.637
				0.000
				0.000
				?
				?
				?
				?
				?
				?
Total	0	7371	1	3.637

s have to be in each income ranges and how many units have to have 1,
the values in the proposed column/row (gold cells); the customized
force units provided than are required. If a rule is violated the cell will

LDR Schedule	Proposed	Custom %	Customization Rules
1.000	1.000	27%	Custom % shall be \geq 25%
0.637	0.637	18%	Custom % shall be \geq 19%
2.000	2.000	55%	Custom % shall be $<$ 43%
0.000	0.000	0%	Custom % shall be $<$ 13%
3.637	3.637	Proposed total shall be \geq Required	

Total Units	Total Employees Housed	Customization Rule
3.637	6.546	
3.637	6.373	Proposed totals shall be \geq Schedule totals
1.80		

ributed among the affordability mix. If you modify the distribution (gold
distribution should be within 1 (rounded up or down) of the even

	Even Distribution			
Total	1 Bed/Studio	2 Bed	3 Bed	
1.000	0.429	0.429	0.143	0.4
0.637	0.273	0.273	0.091	0.0
2.000	0.857	0.857	0.286	0.9
0.000	0.000	0.000	0.000	0.0

critical any housing requirement of 1 unit or greater be provided through
banked unit, or restriction of an existing unit. Only as a last option shall a fee
banked unit, or restriction of an existing unit (gold boxes). The in-lieu fee

Units Provided via Land Dedication		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Existing Units Restricted		
1 Bed/Studio	2 Bed	3 Bed
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000
0.000	0.000	0.000

Fee			
1 Bed/Studio	2 Bed	3 Bed	
\$ -	\$ -	\$ -	
\$ 165,001	\$ -	\$ -	
\$ -	\$ -	\$ -	
\$ -	\$ -	\$ -	
Total			\$ 165,001

Use	Rate
Agriculture	Exempt
Outdoor Recreation	Independent Calculation
Affordable Housing Unit	Exempt
Workforce Housing Unit	Exempt
Workforce Housing Bonus Unit	Exempt
Detached Single-Family Unit Unrestricted	$0.000017(sf) + (\text{Exp}(-15.49 + 1.59*\text{Ln}(sf)))/2.176$
Attached Single-Family Unit Unrestricted	$0.000017(sf) + (\text{Exp}(-14.17 + 1.59*\text{Ln}(sf)))/2.176$
Apartment Unrestricted	$0.000017(sf) + (\text{Exp}(-14.17 + 1.59*\text{Ln}(sf)))/2.176$
Detached Single-Family Unit Local Occupancy	$0.000017(sf) + (\text{Exp}(-16.14 + 1.59*\text{Ln}(sf)))/2.176$
Attached Single-Family Unit Local Occupancy	$0.000017(sf) + (\text{Exp}(-14.82 + 1.59*\text{Ln}(sf)))/2.176$
Apartment Local Occupancy	$0.000017(sf) + (\text{Exp}(-14.82 + 1.59*\text{Ln}(sf)))/2.176$
Mobile Home	Exempt
Dormitory	Exempt
Group Home	Exempt
Conventional Lodging	$0.204 * \text{bedrooms}$
Short-Term Rental Unit	$0.204 * \text{bedrooms}$
Office	$0.000493 * sf$
Retail	$0.000431 * sf$
Service	$0.000431 * sf$
Restaurant/Bar	$0.001197 * sf$
Heavy Retail/Service	$0.000246 * sf$
Mini-Storage Warehouse	$0.000013 * sf$
Nursery	$0.000431 * sf$
Amusement	$0.000431 * sf$
Developed Recreation	Independent Calculation
Outfitter/Tour Operator	Independent Calculation
Adult Entertainment Business	$0.000431 * sf$
Assembly	Independent Calculation
Daycare/Education	Independent Calculation
Light Industry	$0.000246 * sf$
Heavy Industry	$0.000246 * sf$
Disposal	$0.000246 * sf$
Parking	$0.000246 * sf$
Utility Facility	$0.000246 * sf$
Wireless Communication Facilities	$0.000246 * sf$
Heliport	$0.000246 * sf$
Accessory Residential Unit	Exempt
Bed and Breakfast	Exempt
Home Occupation	Exempt
Home Business	Exempt
Family Home Daycare	Exempt
Home Daycare Center	Exempt
Drive-In Facility	Exempt
Christmas Tree Sales	Exempt
Real Estate Sales Office	Exempt
Temporary Shelter	Exempt

Farm Stand	Exempt
Temp. Gravel Extraction and Processing	Exempt

0

0

0

0

HOUSEHOLD INCOME IN THE PAST 12 MONTHS IN 2016 INFLATION-ADJUSTED DOLLARS

Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

HMI 75,000

	Estimate		
Total:	8,576		
Less than \$10,000	196		
\$10,000 to \$14,999	171		
\$15,000 to \$19,999	191		
\$20,000 to \$24,999	561		
\$25,000 to \$29,999	208		
\$30,000 to \$34,999	203		
\$35,000 to \$39,999	340		
\$35,000 - \$37,499	170	20	25
\$37,500 - \$39,999	170		
\$40,000 to \$44,999	451		
\$45,000 to \$49,999	197		
\$50,000 to \$59,999	510	15	19
\$60,000 to \$74,999	1,231		
\$75,000 to \$99,999	1,226		
\$100,000 to \$124,999	862		
\$100,000 - \$104,999	172.4		
\$105,000 - \$109,999	172.4		
\$110,000 - \$114,999	172.4	35	43
\$115,000 - \$119,999	172.4		
\$120,000 - \$124,999	172.4		
\$125,000 to \$149,999	573	11	13
\$150,000 to \$199,999	386	19	
\$200,000 or more	1,270		
Median = \$75,594			

B08202: HOUSEHOLD SIZE BY NUMBER OF WORKERS IN HOUSEHOLD - Universe: Households

2012-2016 American Community Survey 5-Year Estimates

Teton County, Wyoming

	Estimate			
Total:	8,576			
No workers	1,700			
1 worker	2,935			
2 workers	3,238			
3 or more workers	703			Assumed E Allocation
1-person household:	2,573			1 Bedroom 1.426702 0.428571
No workers	935			
1 worker	1,638			
2-person household:	3,203			2 Bedroom 1.994506 0.428571
No workers	639			
1 worker	771			
2 workers	1,793			

3-person household:	1,413	3 Bedroom	2.092428	0.142857
No workers	0			
1 worker	251			1.76515
2 workers	759			
3 workers	403			
4-or-more-person household:	1,387			
No workers	126			
1 worker	275			
2 workers	686			
3 or more workers	300			

Cost per Livable sf (based on most recent projects currently being developed, see equation)

\$	563
----	-----

Median Income (based on HUD Family Median Income for 2017 applied to housing department ap

	1 bed	2 bed	3 bed
50%	\$ 36,800.69	\$ 46,337.56	\$ 50,270.60
80%	\$ 58,881.11	\$ 74,140.10	\$ 80,432.96
120%	\$ 88,321.67	\$ 111,210.15	\$ 120,649.45
200%	\$ 147,202.78	\$ 185,350.25	\$ 201,082.41

Average Livable Size (set by policy in LDRs, recent Housing Department developments at right for r

1 bed	2 bed	3 bed
650	900	1150

Max Rental Rate (based on Rules and Regulations that rent shall be based on low end of range spe

	1 bed	2 bed	3 bed
50%	\$ 4,124.13	\$ 5,840.76	\$ 6,548.71
80%	\$ 8,540.21	\$ 11,401.27	\$ 12,581.18
120%	\$ 15,164.33	\$ 19,742.03	\$ 21,629.89
200%	\$ 23,996.50	\$ 30,863.04	\$ 33,694.83

Cap Rate (set by policy in LDRs based on reasonable industry standard)

8%

Maximum Sales Price (based on Rules and Regulations that sales price shall be based on the middl

	1 bed	2 bed	3 bed
50%	\$ 71,072.13	\$ 89,490.40	\$ 97,086.17
80%	\$ 153,989.61	\$ 193,895.88	\$ 210,353.37
120%	\$ 236,907.09	\$ 298,301.35	\$ 323,620.58
200%	\$ 379,051.34	\$ 477,282.16	\$ 517,792.92

Fee In-Lieu (based on 6.3.4.B.1.a-b that the lower income ranges must be rental and assuming the

	1 bed	2 bed	3 bed
50%	\$ 314,338.83	\$ 433,607.95	\$ 565,485.68

80%	\$	259,137.79	\$	364,101.61	\$	490,079.78
120%	\$	128,983.31	\$	208,316.12	\$	323,723.96
200%	\$	-	\$	29,335.31	\$	129,551.62

Most Recent Housing Department developments (source: Housing Department)

	Land	Construction	Gross sf	Livable sf
174 N. King St.	\$ 2,000,000	\$ 14,000,000	31,531	21,286
Redmond Street I	\$ 3,645,000	\$ 9,255,000	35,078	18,645
Grove Phase 2		\$ 9,549,163	42,141	33,252

Applications as of 4/3/18 based on Rules and Regulations occupancy requirements)

Median Income by Persons in Household (HUD)

1	68950
2	78800
3	88650
4	98500
5	106380
6	114260
7	122140

Occupancy standards in Rules and I

Bedrooms	Heads
1	1 or 2
2	1 or 2
3	1 or 2

reference)

Unit sizes in most recent Housing Department developments (source: Housing Department)

	Studio	1 Bed	2 bed	3 bed
174 N. King St	395	790	950	
Redmond Street I	495	588	1081	
Grove Phase 1	535	705	928	
Grove Phase 2			1179	1592

Spending 30% of income on rent, including utilities)

Annual Utilities/HOA (estimate)

\$2,500

Use the range and use the mortgage terms at right)

- 22% percent of income toward mortgage payment
- 5% percent down
- 30 mortgage term
- 6% 2018 20-year average interest rate

Higher ranges will be sold)

Units	Gross/Unit	Livable/Unit	Gross/Livable	Land/Gross	Construct/Gross
30	1,051	710	1.48	\$ 60	\$ 419
26	1,349	717	1.88	\$ 104	\$ 264
24	1,756	1,386	1.27		\$ 227
	1,359	915	1.49	\$ 82	\$ 296

Regulations	Housing Department Applications as of 4/3/18			
Dependents	Dependants			
0 or 1	Heads	0	1	2
1+	1	190	34	6
2+	2	91	45	51

designed as market units
designed as market units

Total/Gross

\$ 478 Land was purchased in 2010, \$2,000,000 is the estimated value in 2018 based on comps, gross value is \$4.5M.
\$ 368 Land was purchased in 2014 for \$3,645,000, estimated value today is about \$4.5M.
\$ 227
\$ 379

3	4	5
4	0	0
18	1	3

ss sf for land cost per gross sf includes 1915 sf of retail

	Office	Retail	Restaurant/Bar
Construction			
employees per 1,000 sf	1.234	1.234	1.234
sf per room			
Length of Construction Career	30	30	30
employees per 1,000 sf/room	0.041	0.041	0.041
employees per unit	1.774	1.774	1.774
employees who can afford	28.87%	28.87%	28.87%
units per 1,000 sf/room	0.016	0.016	0.016
Post-Construction			
employees per 1,000 sf/room	1.598	1.202	3.911
employees per unit	1.678	1.706	2
Employees who can afford	33.14%	21.30%	19.65%
units per 1,000 sf/room	0.637	0.554	1.571
Fire/EMS			
Fire/EMS employees per 1000 sf	0.00100	0.00100	0.00100
employees per unit	1.797	1.797	1.797
employees who can afford	25.56%	25.56%	25.56%
Fire/EMS units per 1000 sf	0.00042	0.00042	0.00042
Law Enforcement			
Law employees per 1000 sf	0.00301	0.00301	0.00301
employees per unit	1.797	1.797	1.797
employees who can afford	27.09%	27.09%	27.09%
Law units per 1000 sf	0.00122	0.00122	0.00122
Total			
Employees per 1000 sf/room	1.643	1.247	3.956
units per 1,000 sf/room	0.655	0.573	1.589
Yearround mitigation "rate"	55%	55%	55%
Reduction factor	0.75	0.75	0.75
Required units per 1,000 sf/room	0.493	0.431	1.197

Mini Storage	Industrial	Institutional	Lodging	Residential	
0.514	0.514	0.927	1.234	1.234	
			900		
30	30	30	30	30	
0.017	0.017	0.031	0.037	0.041	
1.774	1.774	1.774	1.774	1.774	
28.87%	28.87%	28.87%	28.87%	28.87%	
0.007	0.007	0.012	0.015	0.016	
0.02	0.71	1.598	0.487		
1.652	1.652	1.678	2	1.713	2.176
26.08%	26.08%	28.18%	22.87%	21.26%	
0.009	0.318	0.684	0.188		
0.00100	0.00100	0.00100	0.00100	0.00033	
1.797	1.797	1.797	1.797	1.797	
25.56%	25.56%	25.56%	25.56%	25.56%	
0.00042	0.00042	0.00042	0.00042	0.00014	
0.00301	0.00301	0.00301	0.00301	0.00107	
1.797	1.797	1.797	1.797	1.797	
27.09%	27.09%	27.09%	27.09%	27.09%	
0.00122	0.00122	0.00122	0.00122	0.00043	
0.041	0.731	1.633	0.528	0.043	
0.017	0.326	0.698	0.204	0.017	
55%	55%	55%	73%	73%	
0.75	0.75	0.75	1.00	1.00	
0.013	0.246	0.526	0.204	0.017	

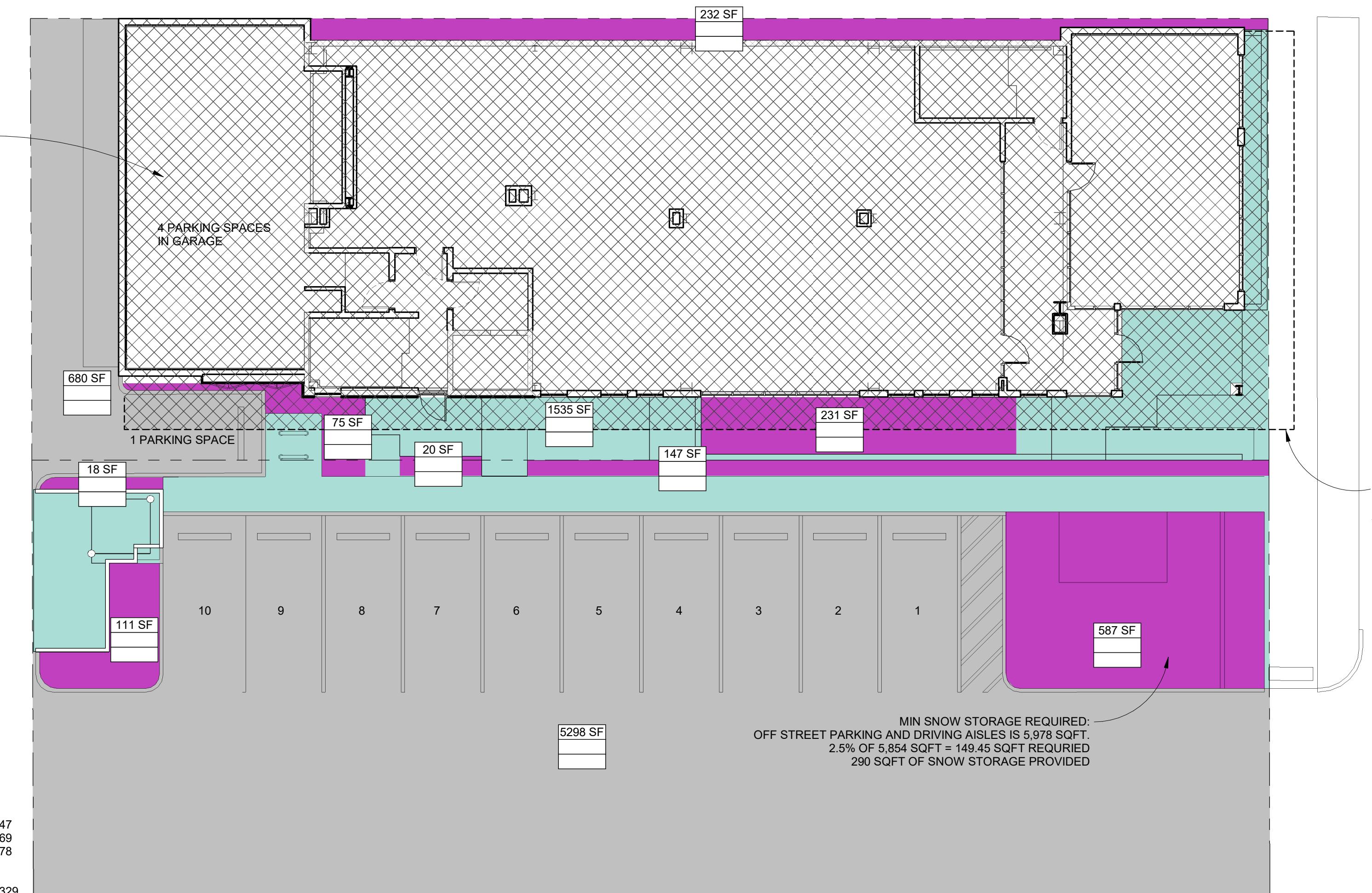
PROJECT DESCRIPTION

ADDITION AND RENOVATION TO EXISTING BUILDING LOCATED
AT 645 & 655 CACHE, JACKSON, WY.

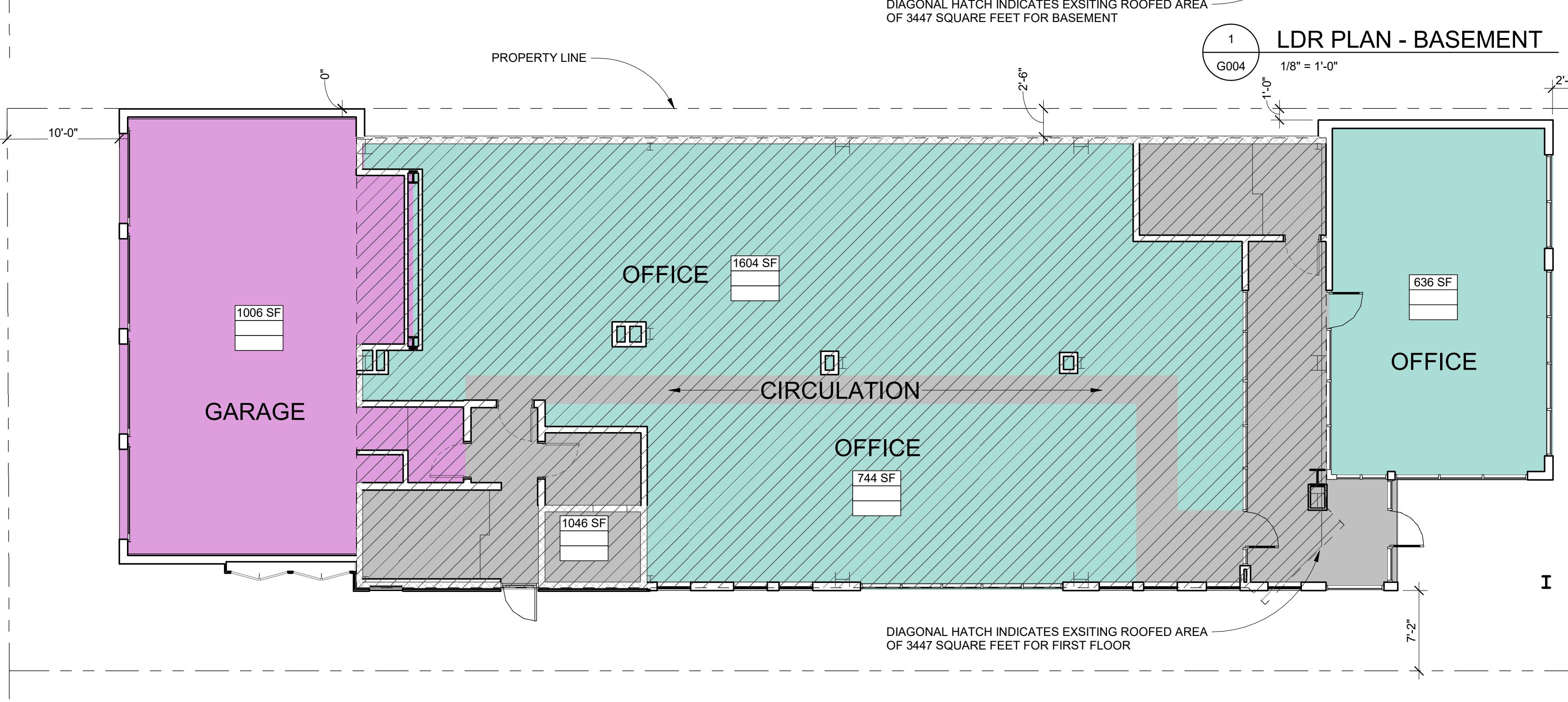
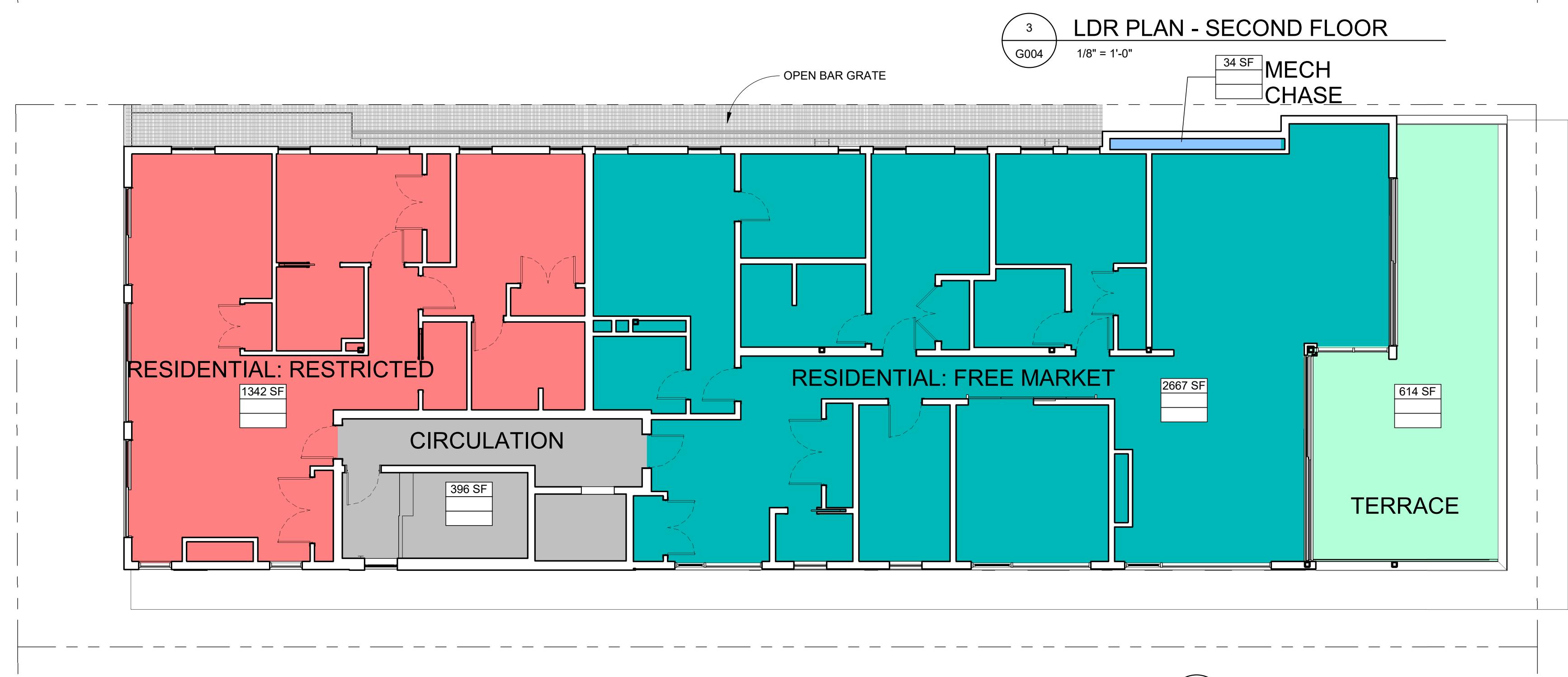
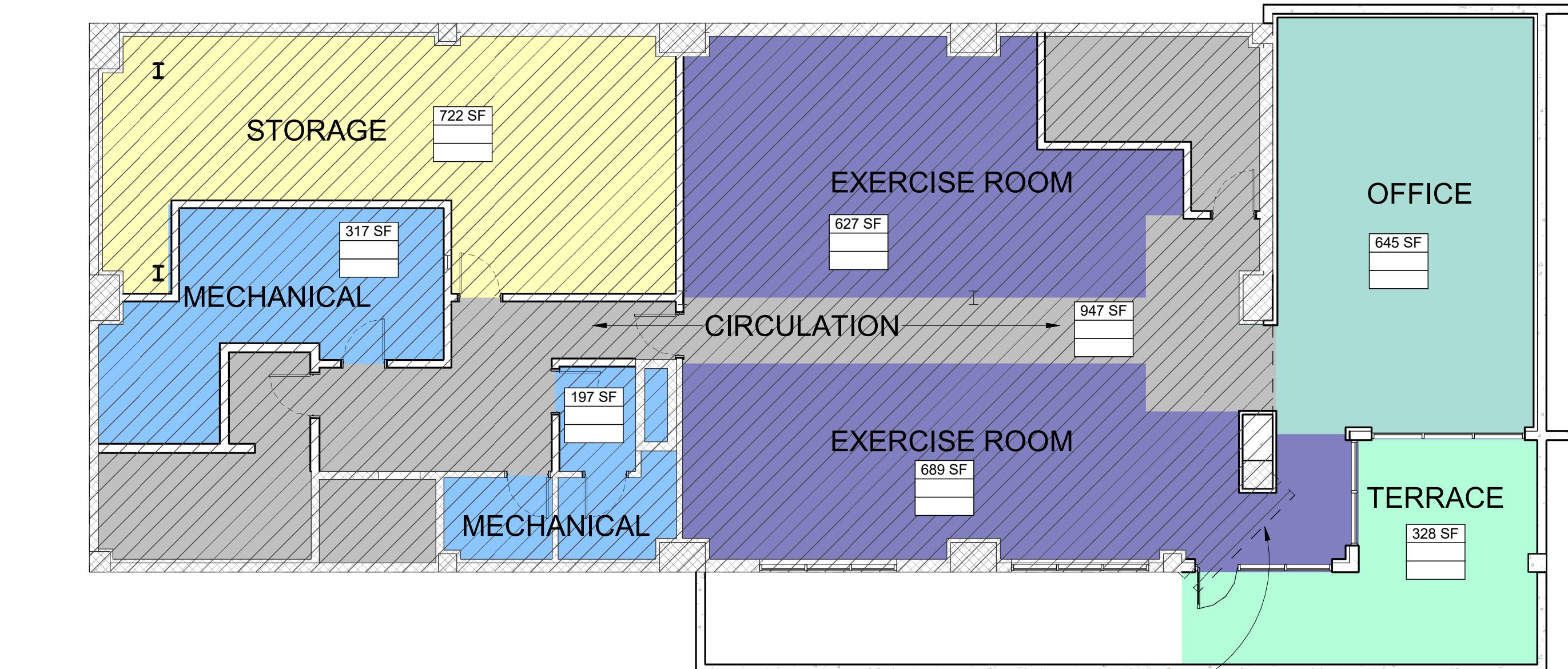
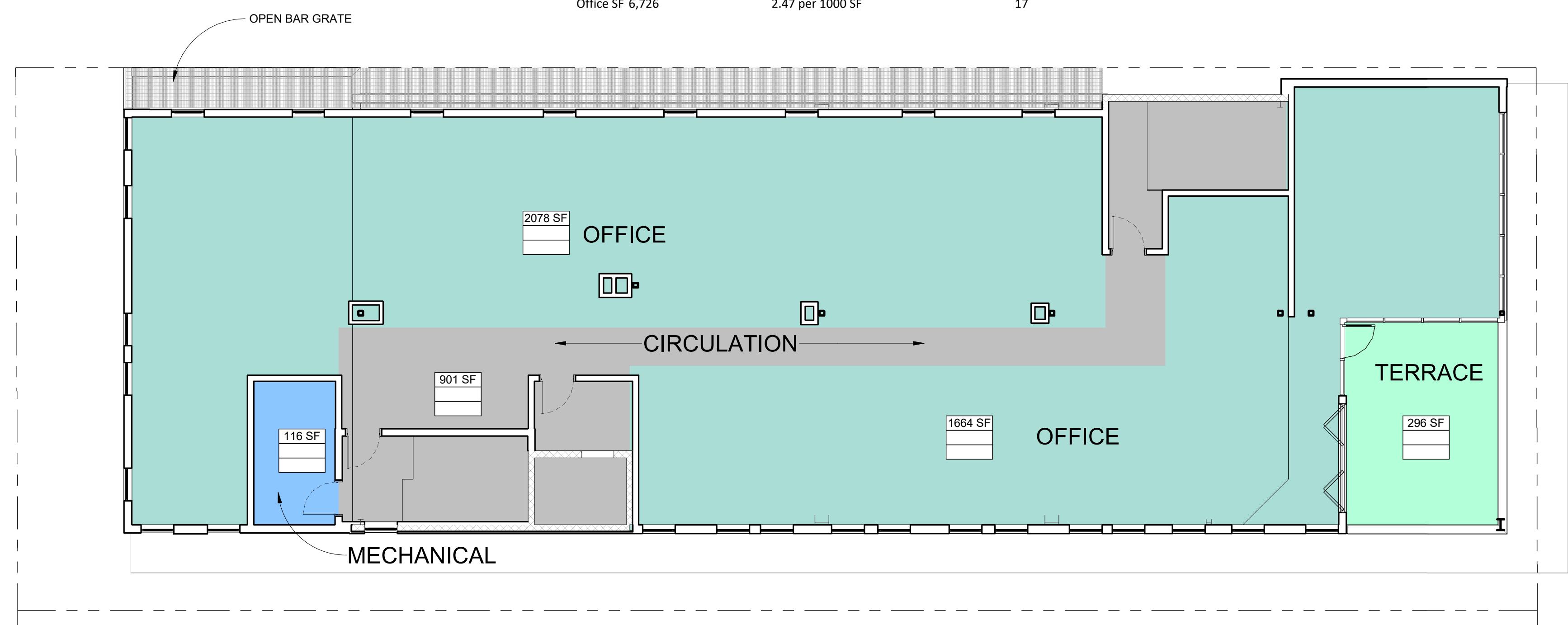
645/655 Cache
LDR Floor Areas

LEVEL	CATEGORY	AREA SF
Basement	Mechanical	514
	Storage	722
	Exercise	1,346
	Office	645
	Circulation	947
	Outdoor Terrace	328
1st Floor	Office	2,984
	Garage	1,006
	Circulation	1,046
		5,036
2nd Floor	Office	3,742
	Mechanical	116
	Circulation	901
	Outdoor Terrace	296
3rd Floor	Residential Restricted	1,342
	Residential Free Market	2,667
	Circulation	396
	Outdoor Terrace	614
Total		18,344
FAR		
	Net site area	14,000
	Max FAR .65	9,100
	Base FAR	8,789
Floor Area Bonus		
	Restricted	1,342
	Market	2,667
		4,009
Landscape area		
Exist. Basement		
Existing Building		
645/655 Cache Parking		
	On Site	15
	Street	3
	Total	18
Residential units 2	Office SF 6,726	
	1.5 per unit	
	2.47 per 1000 SF	
		17

CROSSHATCH INDICATES
TOTAL ROOFED AREA OF
5,816 SQUARE FEET



LDR PLAN - SITE
G004
1" = 10'-0"

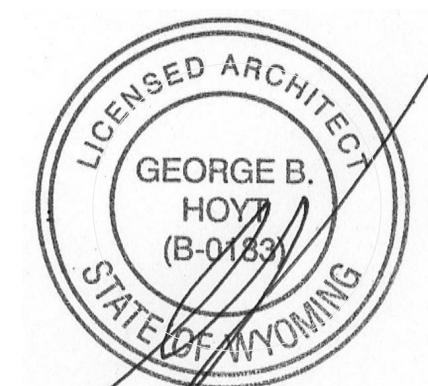


LDR PLAN - ROOF ACCESS
G004
1/8" = 1'-0"

LDR PLAN - THIRD FLOOR
G004
1/8" = 1'-0"

LDR PLAN - FIRST FLOOR
G004
1/8" = 1'-0"

RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



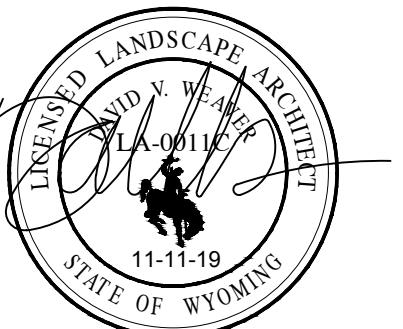
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BUILDING PERMIT
DRAWINGS

11.18.2019
DRAWN BY | BENNETT
CHECKED BY | HOYT
REVISIONS

LDR PLANS

G004

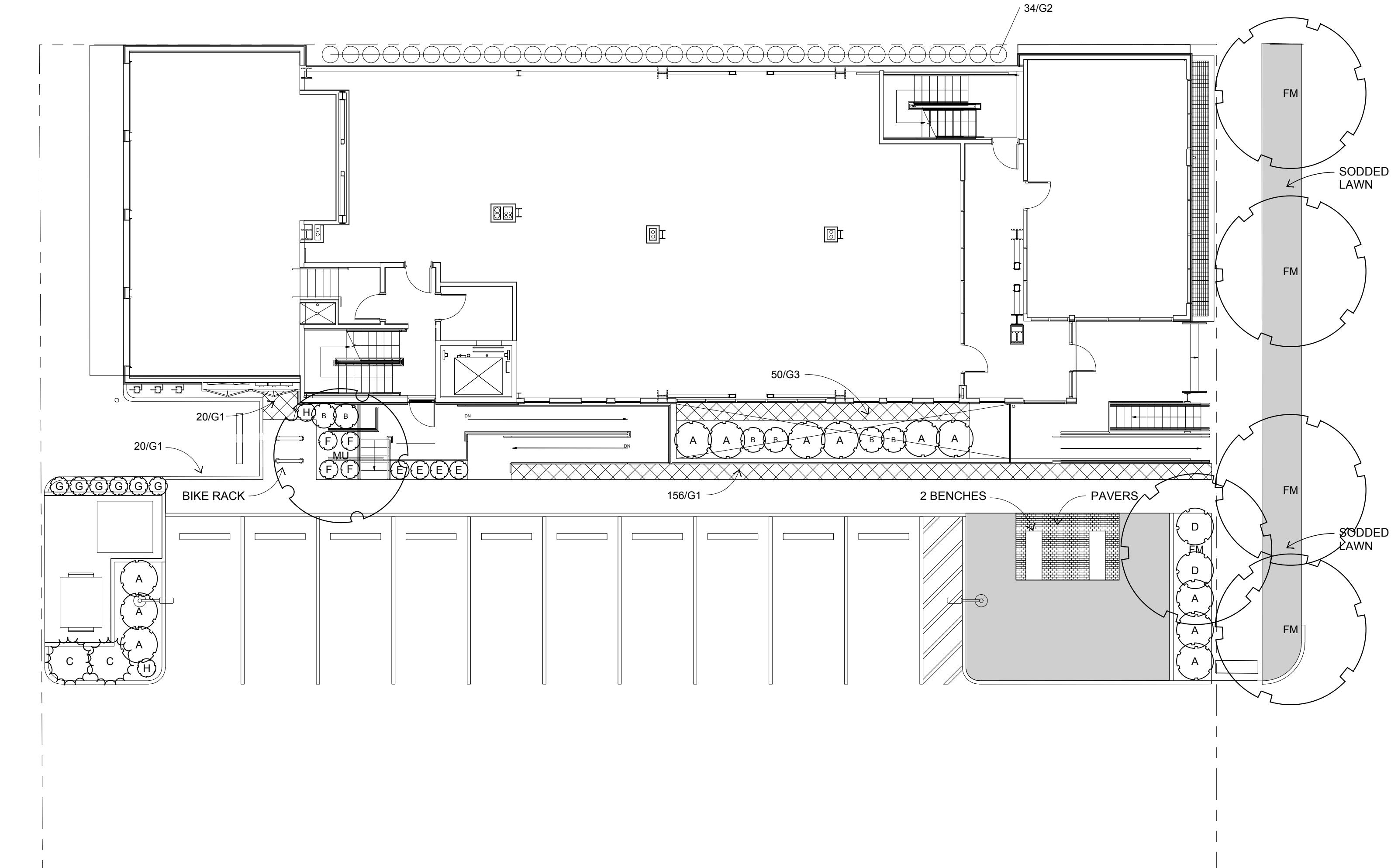
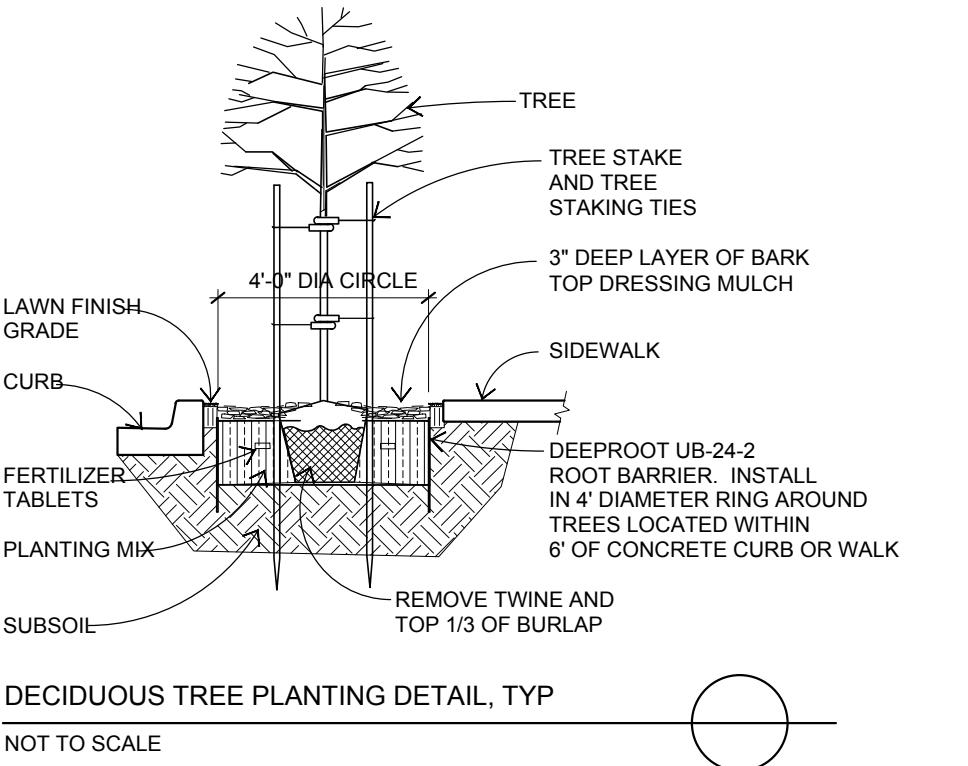
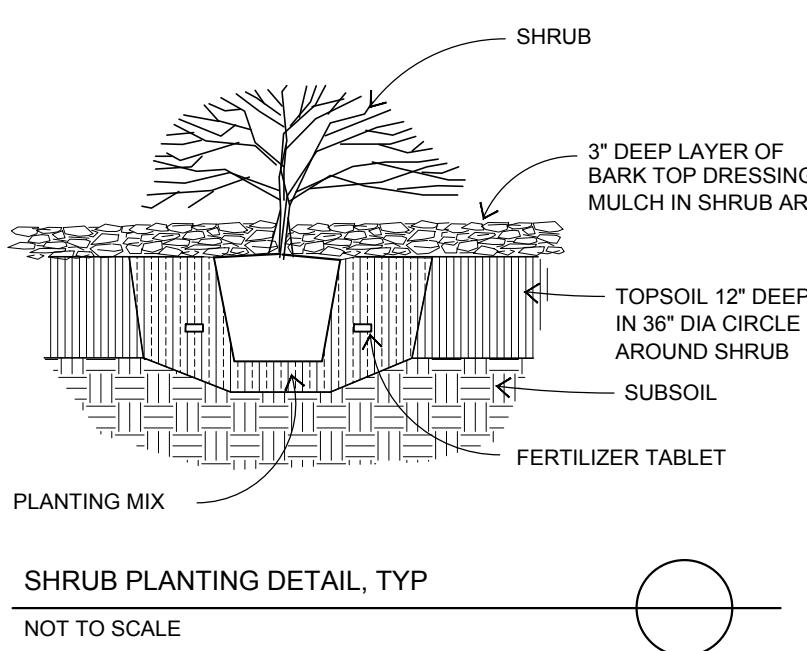
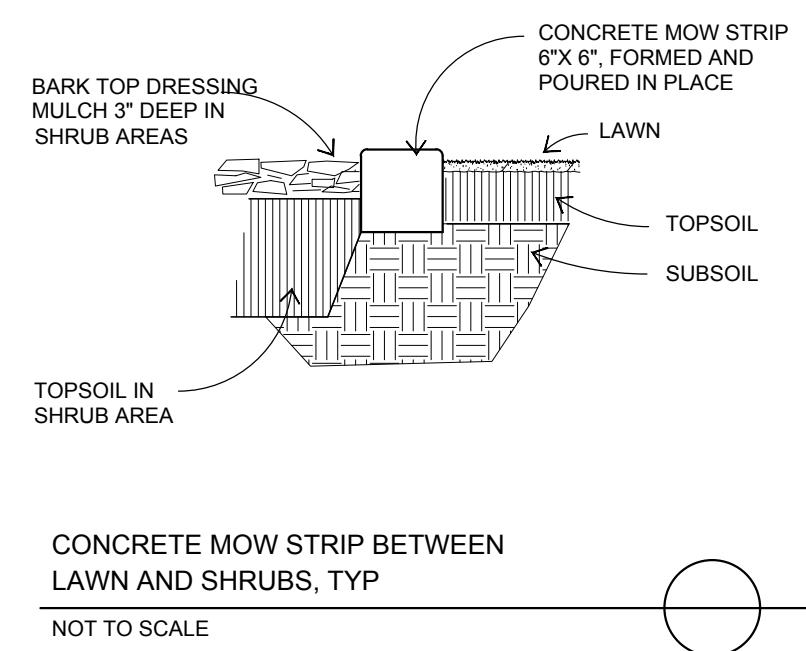


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A diagram showing a U-shaped groove. It consists of a central vertical line and two parallel inner lines that curve outwards to the left and right respectively, creating a U-shape. The entire structure is shaded in a light gray color.

WEAVER & ASSOCIATES PA
LANDSCAPE ARCHITECTURE - LAND PLANNING
1605 SOUTH WOODRUFF AVENUE
IDAHO FALLS, IDAHO 83404
(208) 529-9504



LEGEND

AREA OF NEW SODDED LAWN

PLANT LIST

Quant	Key	Botanical Name	Common Name	Size
TREES				
5	FM	<i>Fraxinus pennsylvanica</i> 'Marshall'	Marshall Seedless Green Ash	2" B&B
1	MU	<i>Malus</i> 'Spring Snow'	Spring Snow Fruitless Crab	2" B&B
SHRUBS				
12	A	<i>Cornus alba</i> 'Ivory Halo'	Variegated Tatarian Dogwood	6'-8' B&B
6	B	<i>Physocarpus opulifolius</i> 'Diablo'	Diablo Ninebark	6'-8' B&B
2	C	<i>Pinus mugo</i> 'Mughus'	Dwarf Mugo Pine	5 gal. 12-18"
2	D	<i>Prunus cistena</i>	Purple Sand Cherry	6'-8' B&B
4	E	<i>Rosa</i> 'Double Pink Knockout'	Double Pink Knockout Rose	5 gal. 12-18"
4	F	<i>Spiraea bumalda</i> 'Anthony Waterer'	Anthony Waterer Spiraea	5 gal. 12-18"
6	G	<i>Spiraea bumalda</i> 'Gold Flame'	Gold Flame Spiraea	5 gal. 12-18"
2	H	<i>Spiraea betulifolia</i> 'Tor'	Tor Birchleaf Spiraea	5 gal. 12-18"
GROUNDCOVER				
196	G1	<i>Galium odorata</i>	Sweet Woodruff	4" pot.
34	G2	<i>Helictotrichon sempervirens</i> 'Sapphire'	Sapphire Blue Oat Grass	1 gal.
50	G3	<i>Vinca minor</i>	Dwarf Periwinkle	1 gal.

NOTES

ONE PLANT UNIT IS REQUIRED FOR EACH 12 PARKING SPACES, AND ONE PLANT UNIT IS REQUIRED FOR EACH 1,000 SQ. FT. OF LSR. FOUR PLANT UNITS ARE REQUIRED. THIS PLAN PROPOSES USING ALTERNATE "A" PLANT UNITS WITH THESE SUBSTITUTIONS:

IBSTITUTE 1 - 3" CAL. CANOPY TREES FOR 1 - 6'-8' SHRUB OR MULTI-STEM TREE.
IBSTITUTE TWO BENCHES FOR TWO 6'-8' SHRUB OR MULTI-STEM TREES.
IBSTITUTE ONE 6 BIKE BIKE RACK FOR ONE 6'-8' SHRUB OR MULTI-STEM TREES

ITEM	DESCRIPTION	QUANTITY
1	ENT UNIT ALTERNATE "A":	TOTAL
- 3" CAL. CANOPY TREES		6
- 6'-8' LARGE SHRUBS OR MULTI-STEM TREES		20
#5 CONTAINER SHRUBS		16

PLANTINGS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM.

645 SOUTH CACHE

TO: I ZONE CR-1 | LANDSCAPE SURFACE RATIO (10%)

TOTAL SITE AREA:	14,012 sq. ft.
BUILDING:	5,007 sq. ft.
OTHER HARD SURFACE:	7,596 sq. ft.
LANDSCAPING:	1,409 sq. ft.

A diagram showing a right-angled corner. The interior of the angle is filled with vertical hatching lines, while the exterior is white. A single vertical line segment extends downwards from the vertex of the angle.

LANDSCAPE PLANTING PLAN

L1.1

645 S CACHE STREET DEVELOPMENT

GRADING AND UTILITY PLAN

645 & 655 S CACHE STREET

**PIDN: 22-41-16-33-1-38-007
LOCATED WITHIN
LOT 11 & 12, BLK. 4, KARNS-2
ADDITION TO TOWN OF JACKSON, WY**



VICINITY MAP

INDEX OF SHEETS

HEET TITLE: TITLE, VICINITY MAP & SHEET INDEX

HEET TITLE:
TITLE, V

DRAFT
REVIEW
PLAN

PERMIT

111

PROJECT

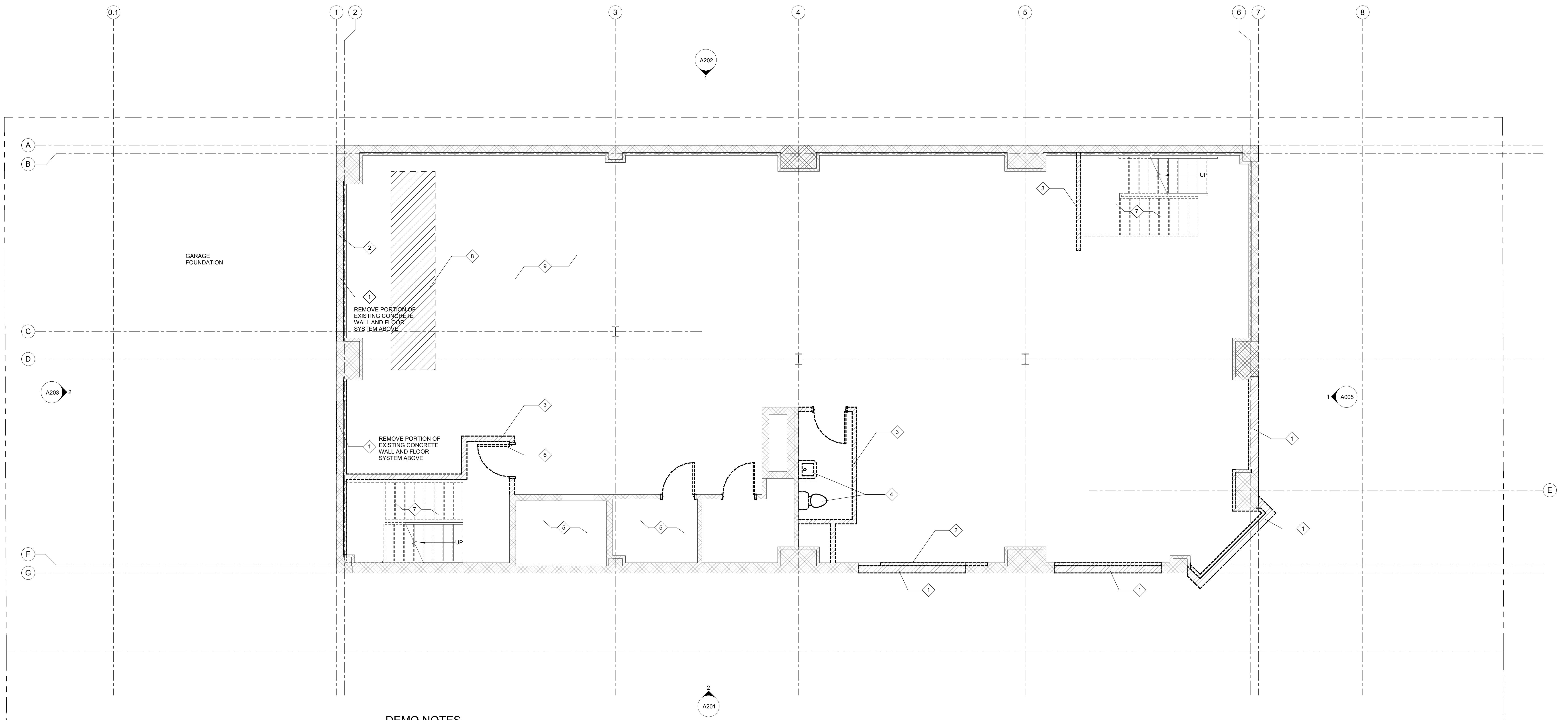
SHEET

CIVIL ENGINEER
Jorgensen Associates, P.C.
1315 S. Highway 89, #201
P.O. Box 9550
Jackson, WY 83002-9550
(307) 733-5150

OWNER
Newjack, LLC
645 S Cache Street
Jackson, WY
83001

ARCHITECT
Hoyt Architects
1110 Maple Way Ste.
Jackson, WY
83001

**645/655 SOUTH CACHE
JACKSON, WY 83001**



DEMO NOTE:

 DEMOLISHED CONSTRU

EXISTING CONSTRUCTION TO RE

- 1 REMOVE PORTION OF EXISTING CONCRETE WALL.
REFER TO SHORING GUIDELINES PROVIDED BY GEOTECHNICAL ENGINEER.
- 2 REMOVE EXISTING FURRING INCLUDING, FINISH MATERIALS, INSULATION, AND MEP COMPONENTS.
- 3 REMOVE EXISTING WALL FRAMING INCLUDING, FINISH MATERIALS, INSULATION, AND MEP COMPONENTS
- 4 REMOVE EXISTING PLUMING FIXTURES. CAP EXISTING WATER/DRAIN LINES.
- 5 REMOVE EXISTING ELEVATOR AND ALL RELATED COMPONENTS IN HOISTWAY AND MACHINE ROOM.
- 6 REMOVE EXISTING DOOR/WINDOW, FRAME, AND HARDWARE.
- 7 REMOVE EXISTING STAIR, METAL FRAMING, GUARDRAILS, AND HANDRAILS.
- 8 REMOVE PORTION OF EXISTING CONCRETE SLAB TO ACCOMMODATE NEW CONSTRUCTION.
- 9 REMOVE EXISTING MEP AND KITCHEN EQUIPMENT. OWNER, ARCHITECT, AND CONTRACTOR WALK THROUGH REQUESTED BY OWNER.
- 10 REMOVE EXISTING MASONRY/CONCRETE FIREPLACE ABOVE T.O. OF FIRST FLOOR CONCRETE SLAB.
- 11 REMOVE EXISTING CASEWORK.
- 12 REMOVE EXISTING WOOD SIDING. EXISTING FRAMING TO REMAIN.
- 13 REMOVE EXISTING CONSTRUCTION AND PORTION OF EXISTING STEEL FRAMING. REFER TO STRUCTURAL DRAWINGS.
- 14 REMOVE ENTIRE PAVER, ROOFING, AND INSULATION SYSTEM ABOVE EXISTING CONCRETE SLAB.
- 15 REMOVE EXISTING GUARDRAIL ASSEMBLY.
- 16 REMOVE ALL MISCELLANEOUS MEP AND ARCHITECTURAL COMPONENTS ABOVE EXISTING ROOF DECK. OWNER, ARCHITECT, AND CONTRACTOR WALK THROUGH REQUESTED BY OWNER.
- 17 REMOVE ALL EXTERIOR DECKING, STAIRS, AND RAILINGS.

1
A001 BASEMENT EXISTING
1/4" = 1'-0"

108

108

SCALE IN FEET

SCALE: $1/4"$ = 1'-0"

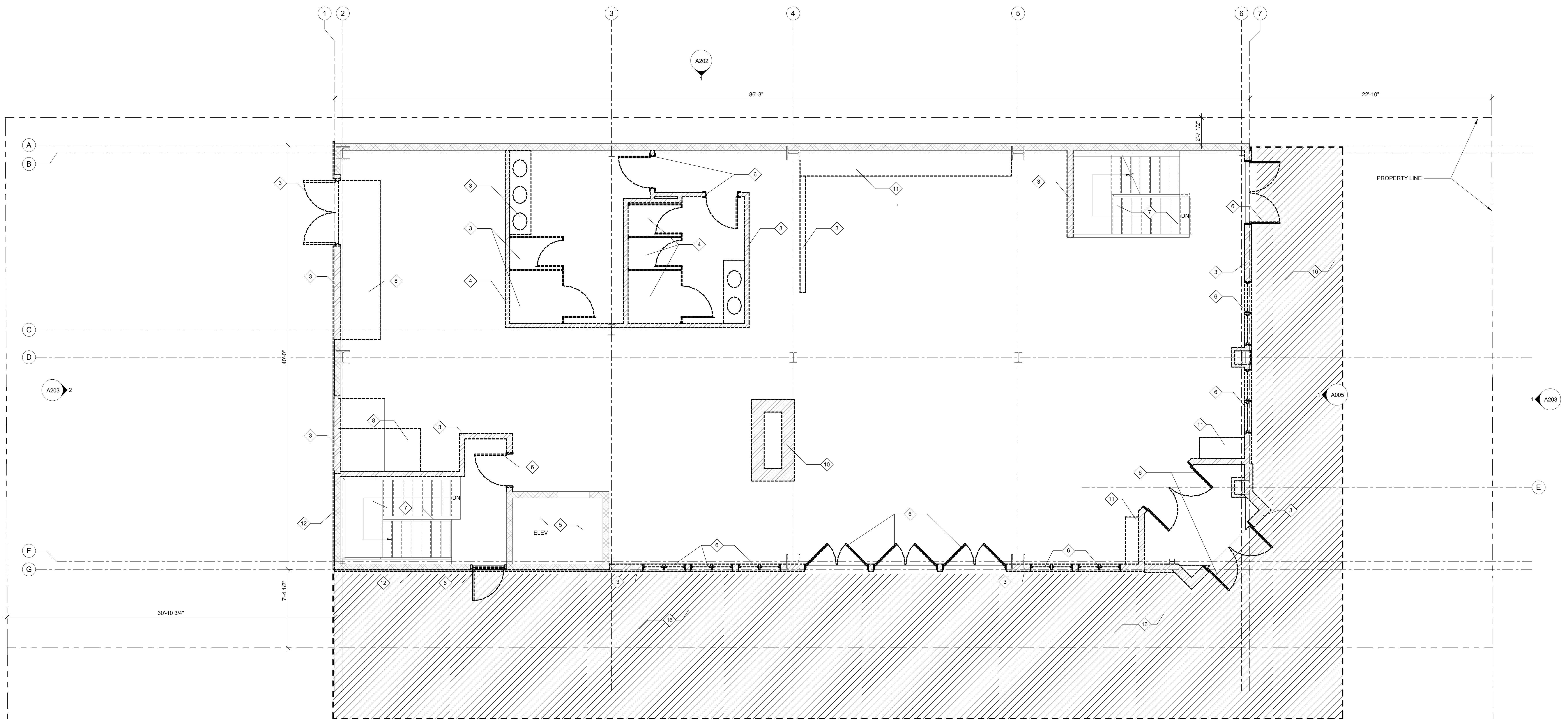
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ECKED BY | HOYT
VISIONS

BASEMENT - EXISTING DEMOLITION

A001

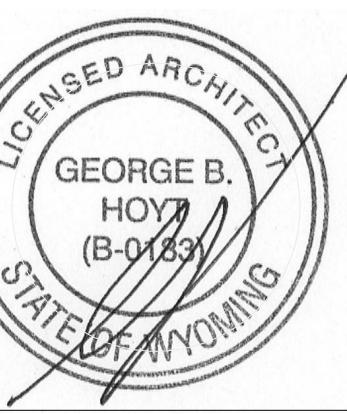


DEMO NOTES

- DEMOLISHED CONSTRUCTION
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1 FIRST FLOOR PLAN EXISTING
A002 1/4" = 1'-0"
NORTH

0 4 8
SCALE IN FEET
SCALE: 1/4" = 1'-0"



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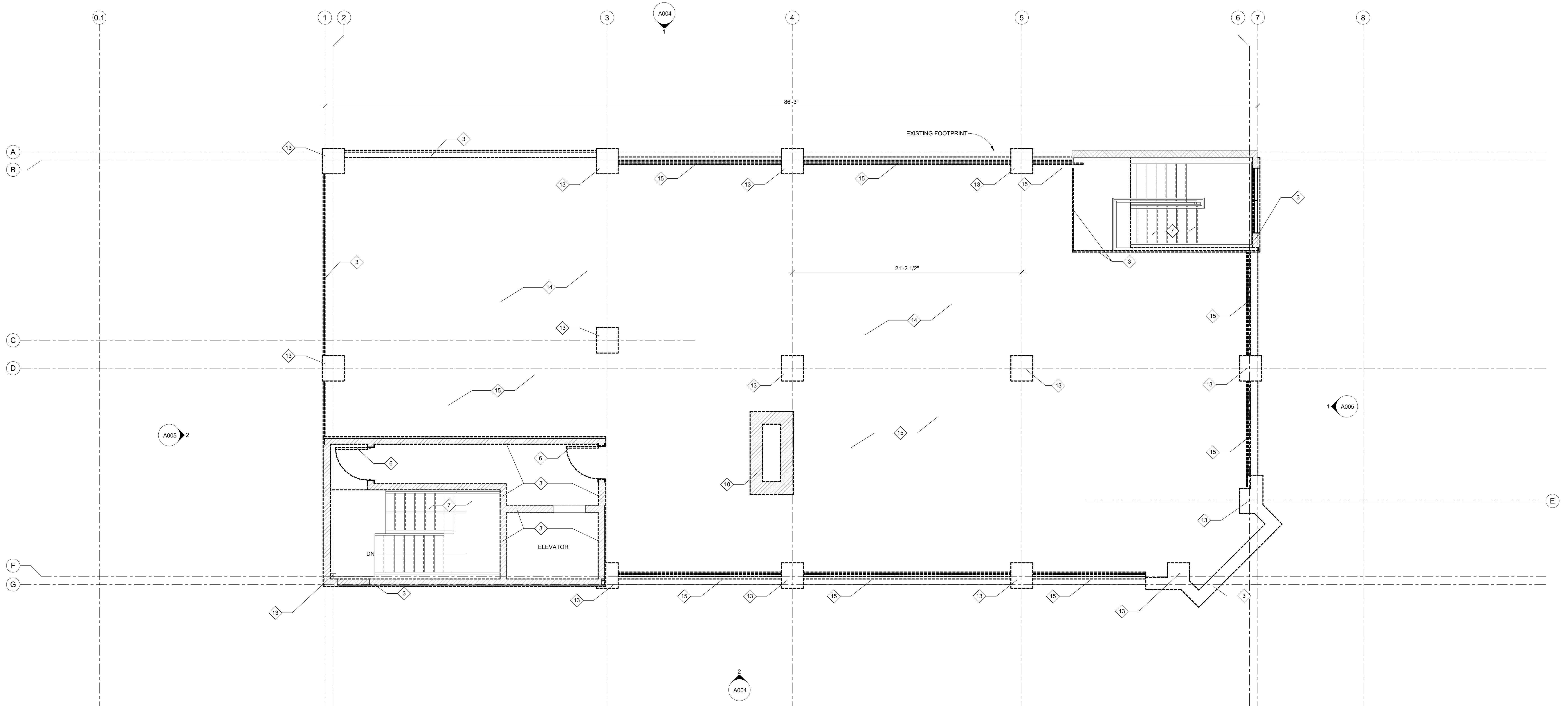
BUILDING PERMIT

DRAWINGS

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DRAWN BY | BENNETT
CHECKED BY | HOYT
REVISIONS

FIRST FLOOR PLAN -
EXISTING &
DEMOLITION

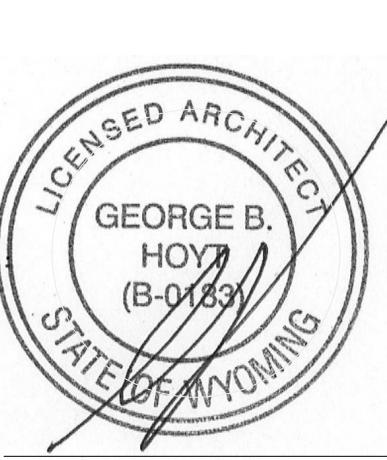
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DEMO NOTES

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SECOND FLOOR PLAN EXISTING

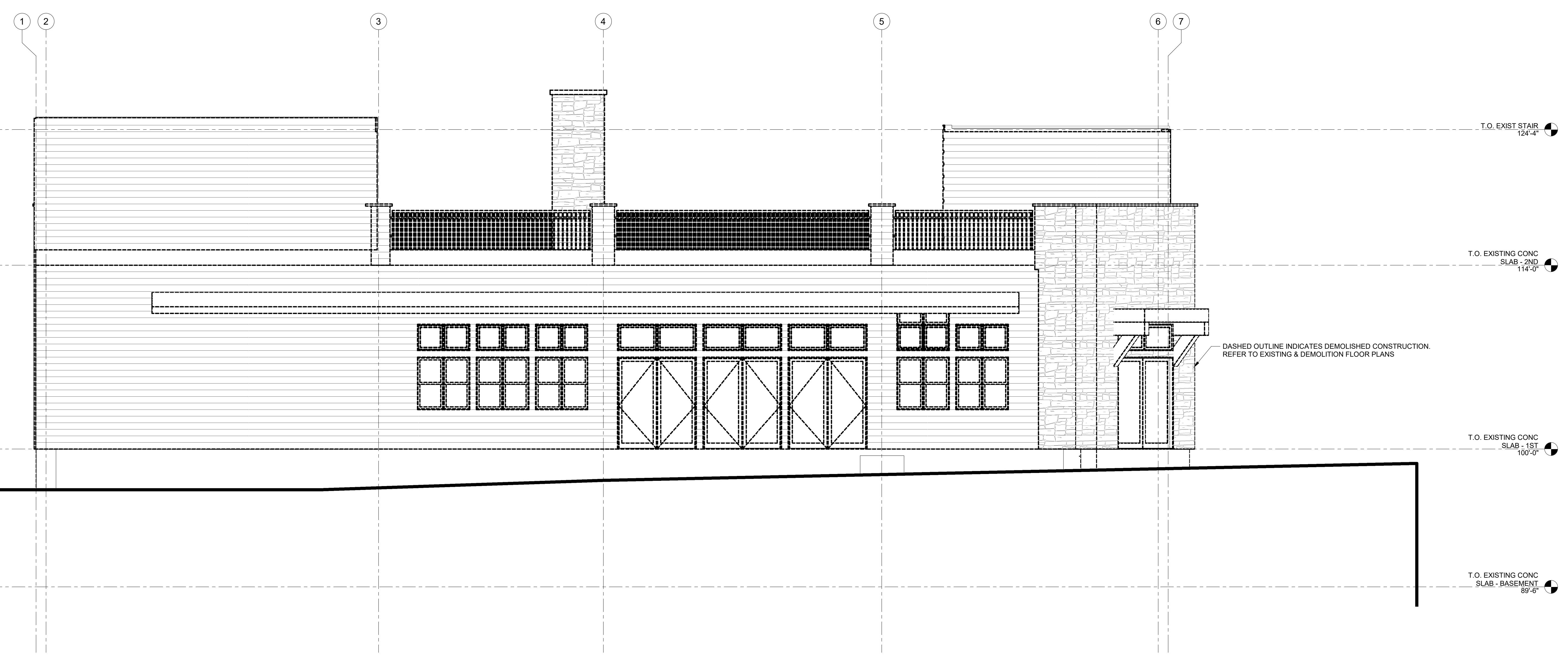
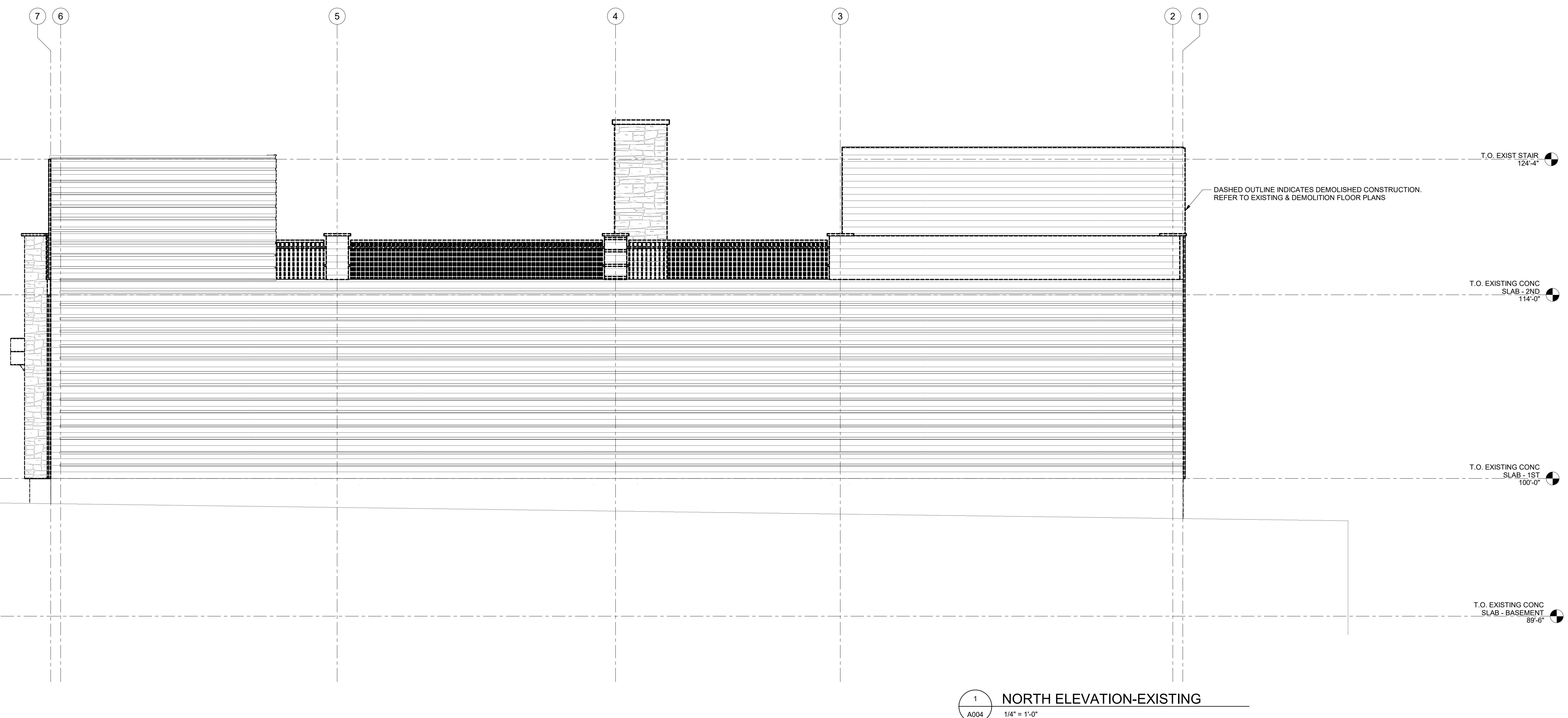


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DRAWINGS

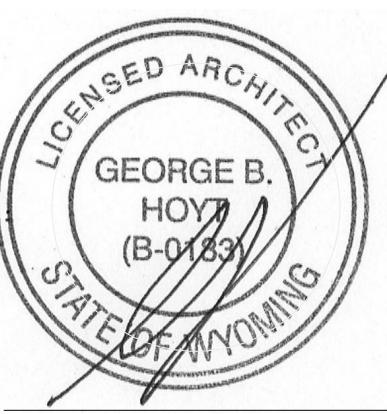
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SECOND FLOOR PLAN
- EXISTING &
DEMOLITION

A003



RENOVATION AND ADDITION
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645/655 SOUTH CACHE



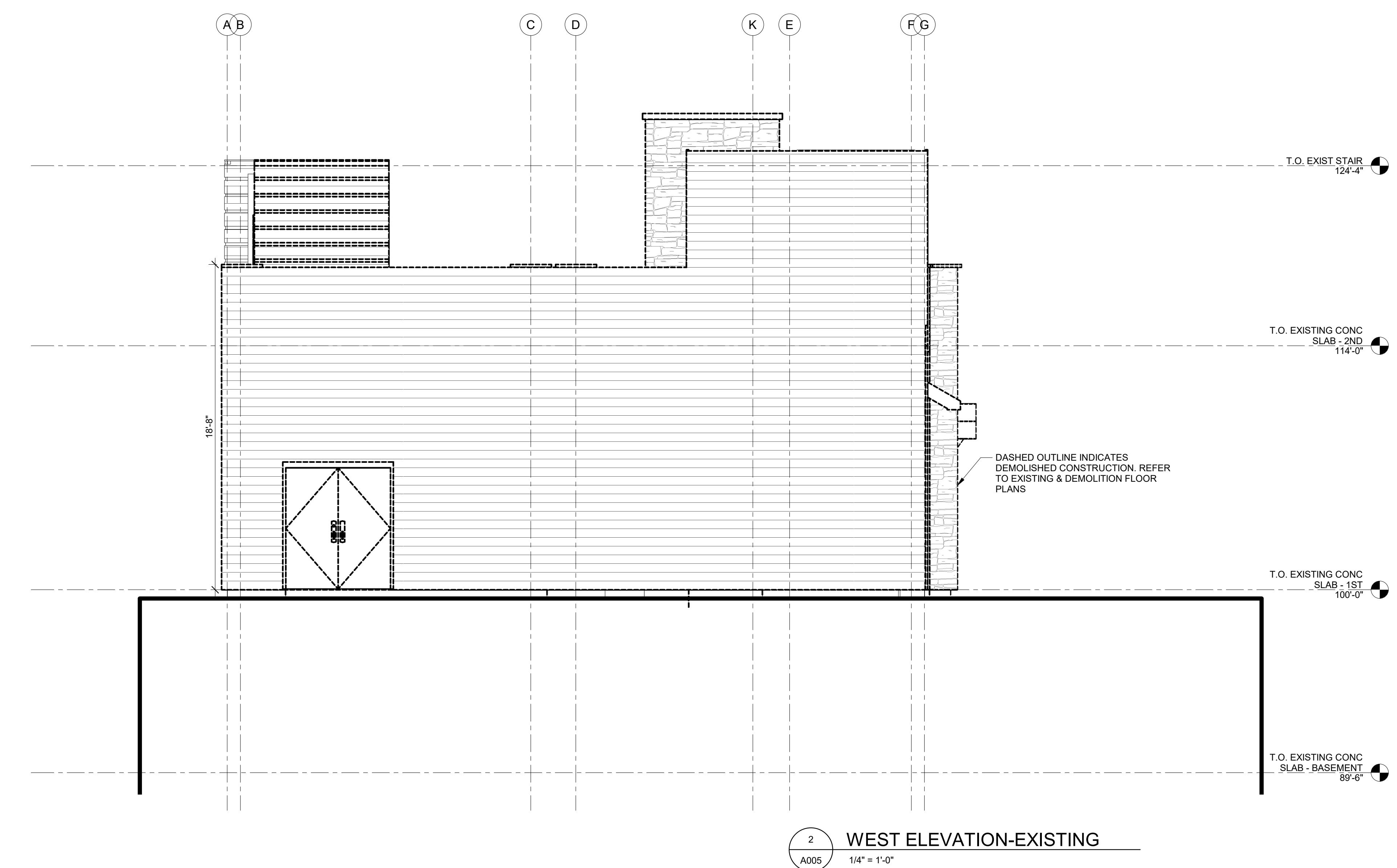
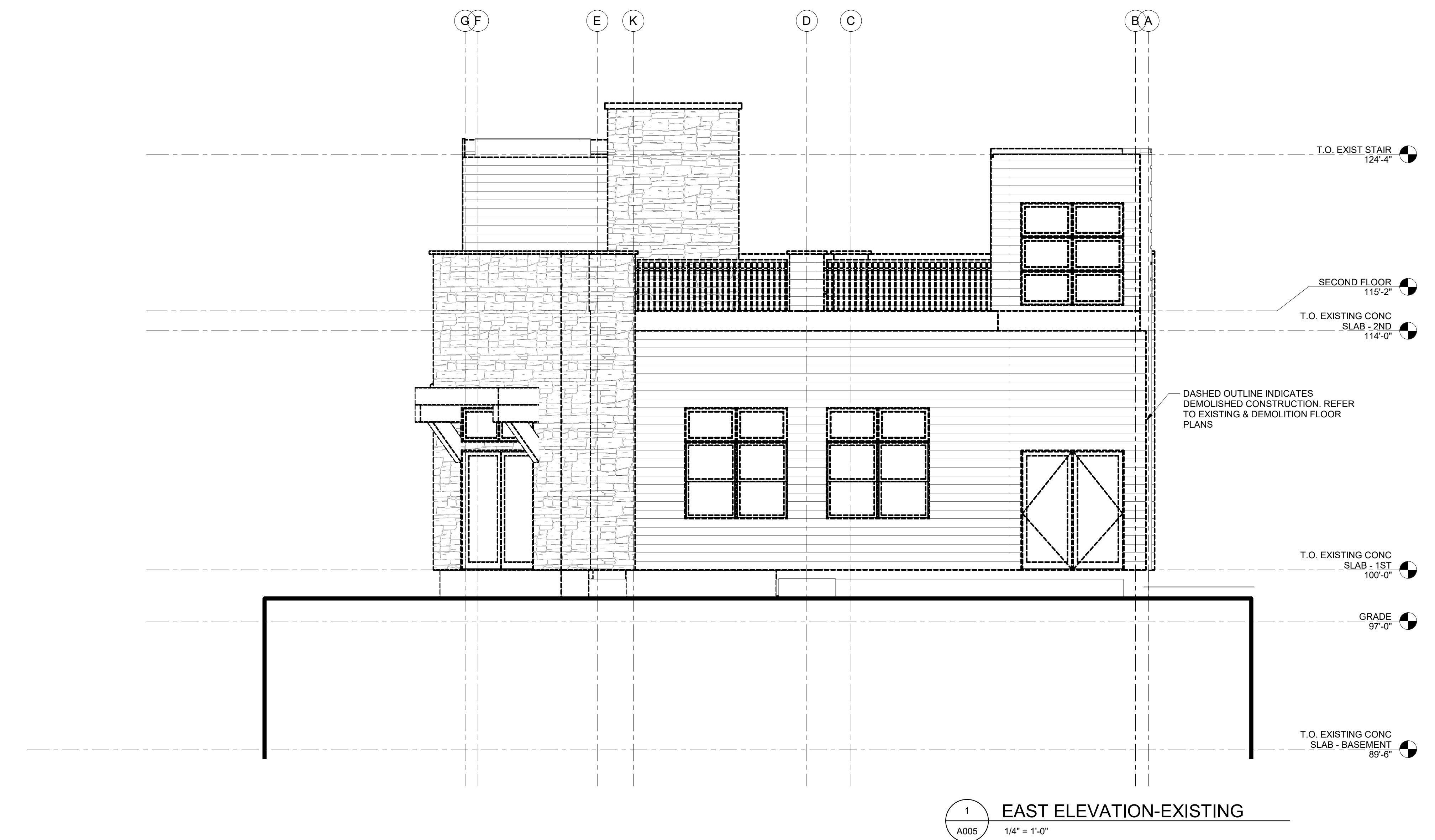
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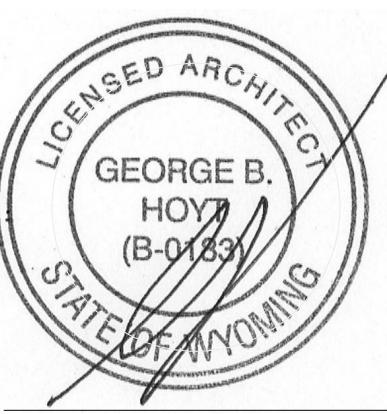
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EXTERIOR
ELEVATIONS -
EXISTING AND
DEMOLITION

A004



RENOVATION AND ADDITION
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645/655 SOUTH CACHE



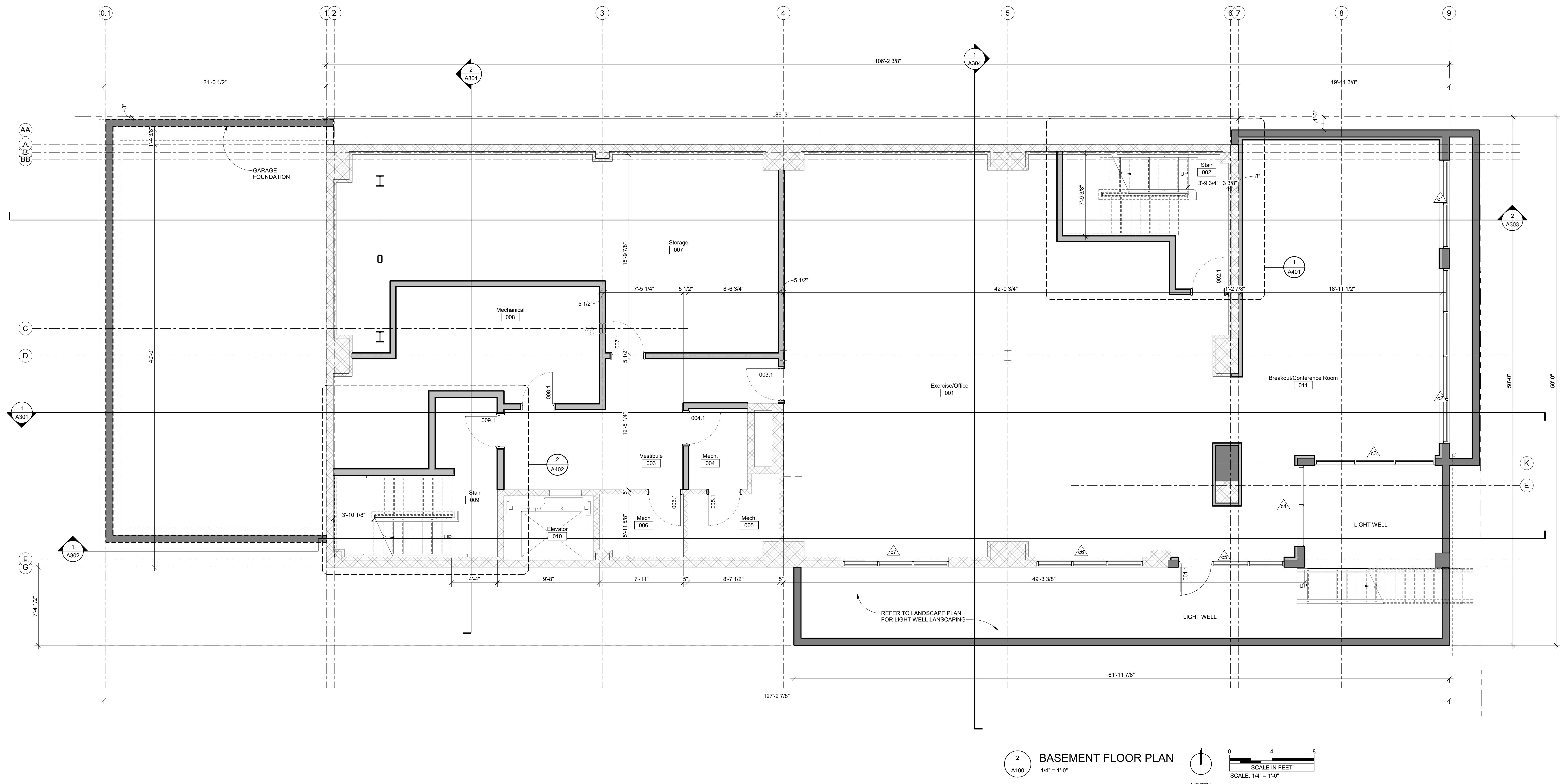
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EXTERIOR
ELEVATIONS -
EXISTING AND
DEMOLITION

A005



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BASEMENT FLOOR
PLAN

A100



PLAN LEGEND

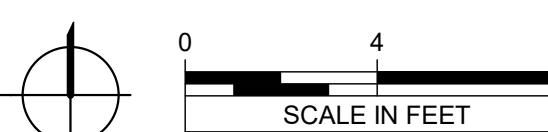
- XX → WALL TYPE (SEE SHEET A101)
- 101 → ROOM NUMBER
- △ → WINDOW TYPE (SEE SHEET A601)
- # → SHEET NOTE
- 1 A101 → DETAIL OR SECTION NUMBER
SHEET WHERE DRAWN
- A8# → # INTERIOR ELEVATION CALLOUT AND
DIRECTION OF ELEVATION VIEW
- A2# → # BUILDING ELEVATION CALLOUT AND
DIRECTION OF ELEVATION VIEW
- 101-1 → DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE
- SLOPE XX → INDICATES ROOF SLOPE
IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN - SLOPE
ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2"
PER 12"

1 FIRST FLOOR PLAN

A101

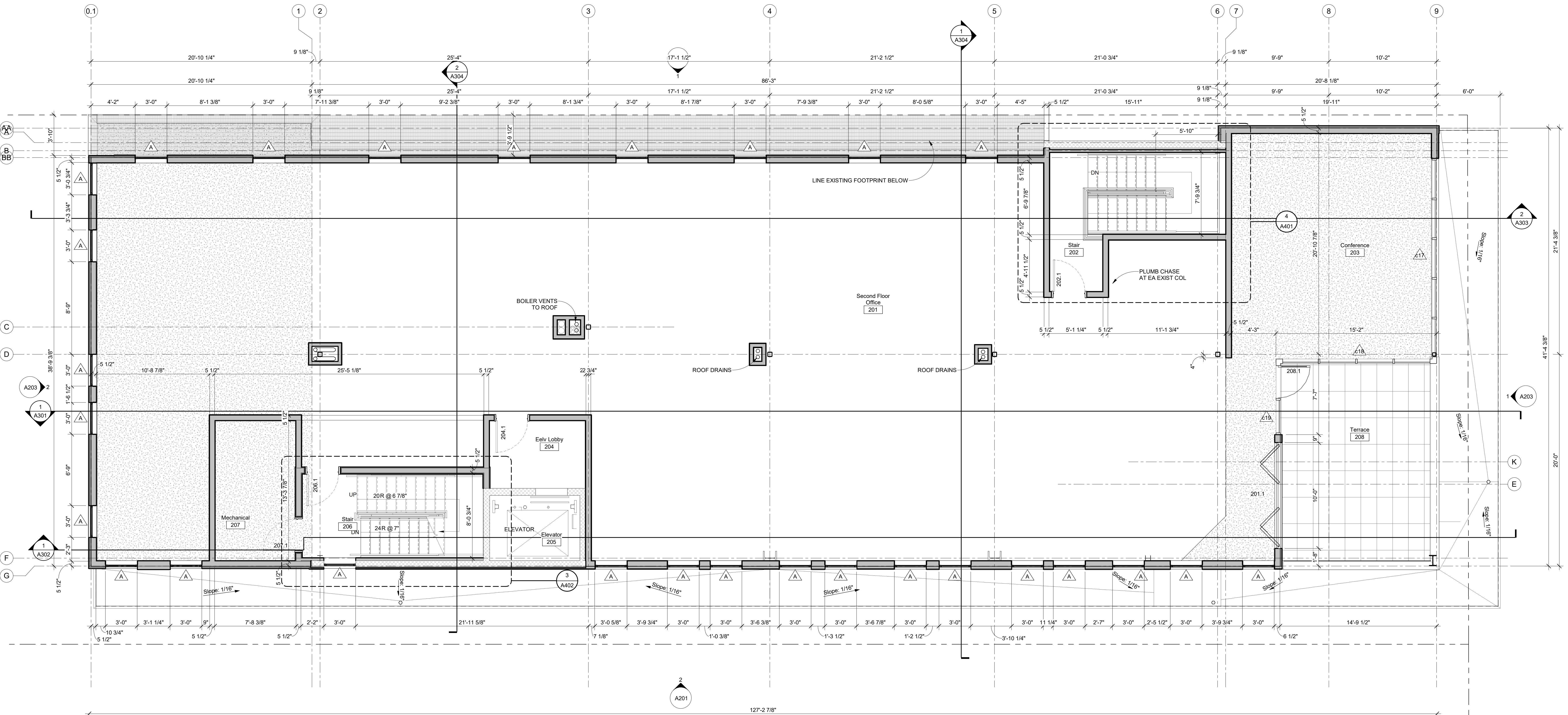
1/4" = 1'-0"

NORTH



EXISTING & NEW CONSTRUCTION GRAPHIC LEGEND

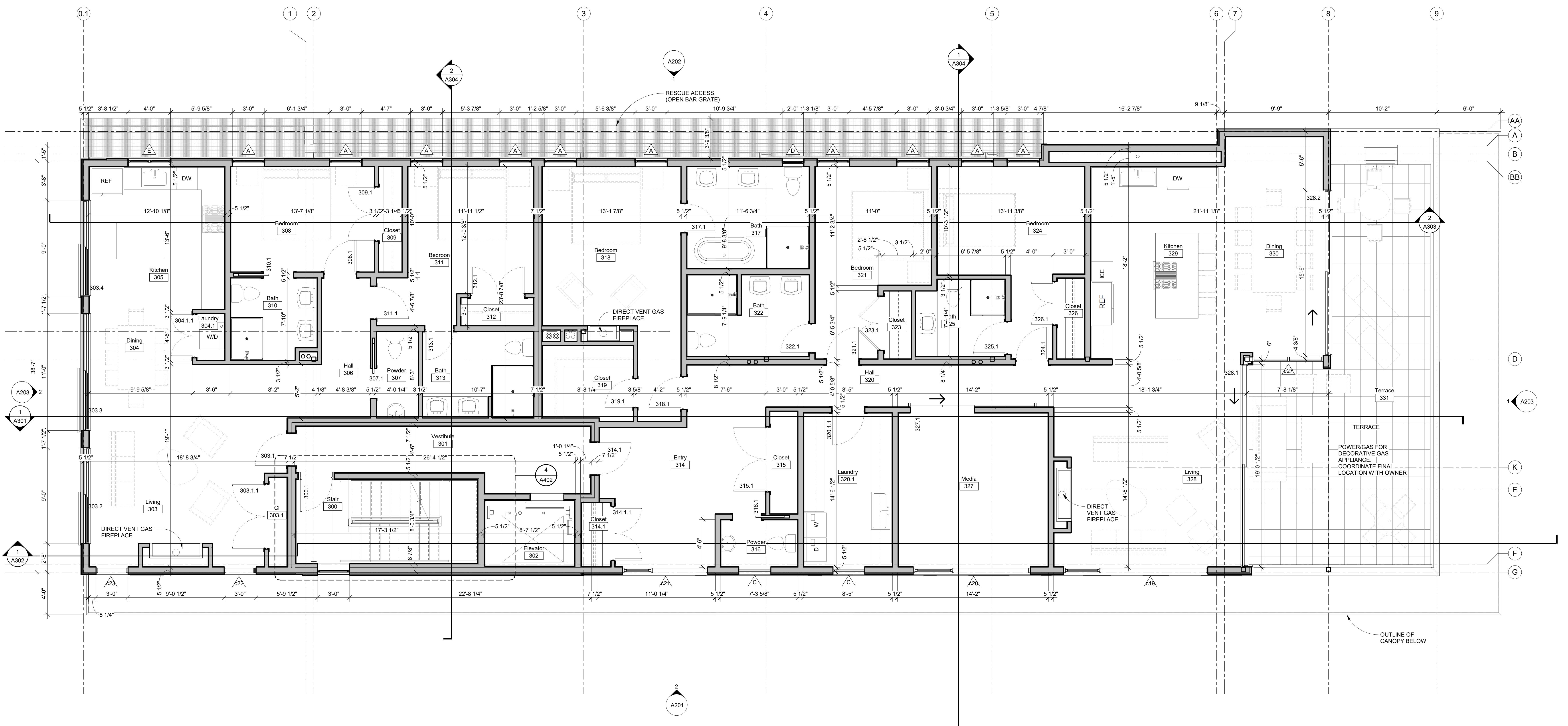
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN



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PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
- 101 ROOM NUMBER
- WINDOW TYPE (SEE SHEET A601)
- # SHEET NOTE
- 1 SIM - DETAIL OR SECTION NUMBER
- A101# SHEET WHERE DRAWN
- A2# # INTERIOR ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- A2# # BUILDING ELEVATION CALLOUT AND DIRECTION OF ELEVATION VIEW
- 10-1-1 DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE
- SLOPE XX - INDICATES ROOF SLOPE
- IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN - SLOPE
ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2"
PER 12"

1 T.O. SUBFLR - 3RD
A103 1/4" = 1'-0"

EXISTING & NEW CONSTRUCTION GRAPHIC LEGEND
— NEW CONSTRUCTION
— EXISTING CONSTRUCTION TO REMAIN

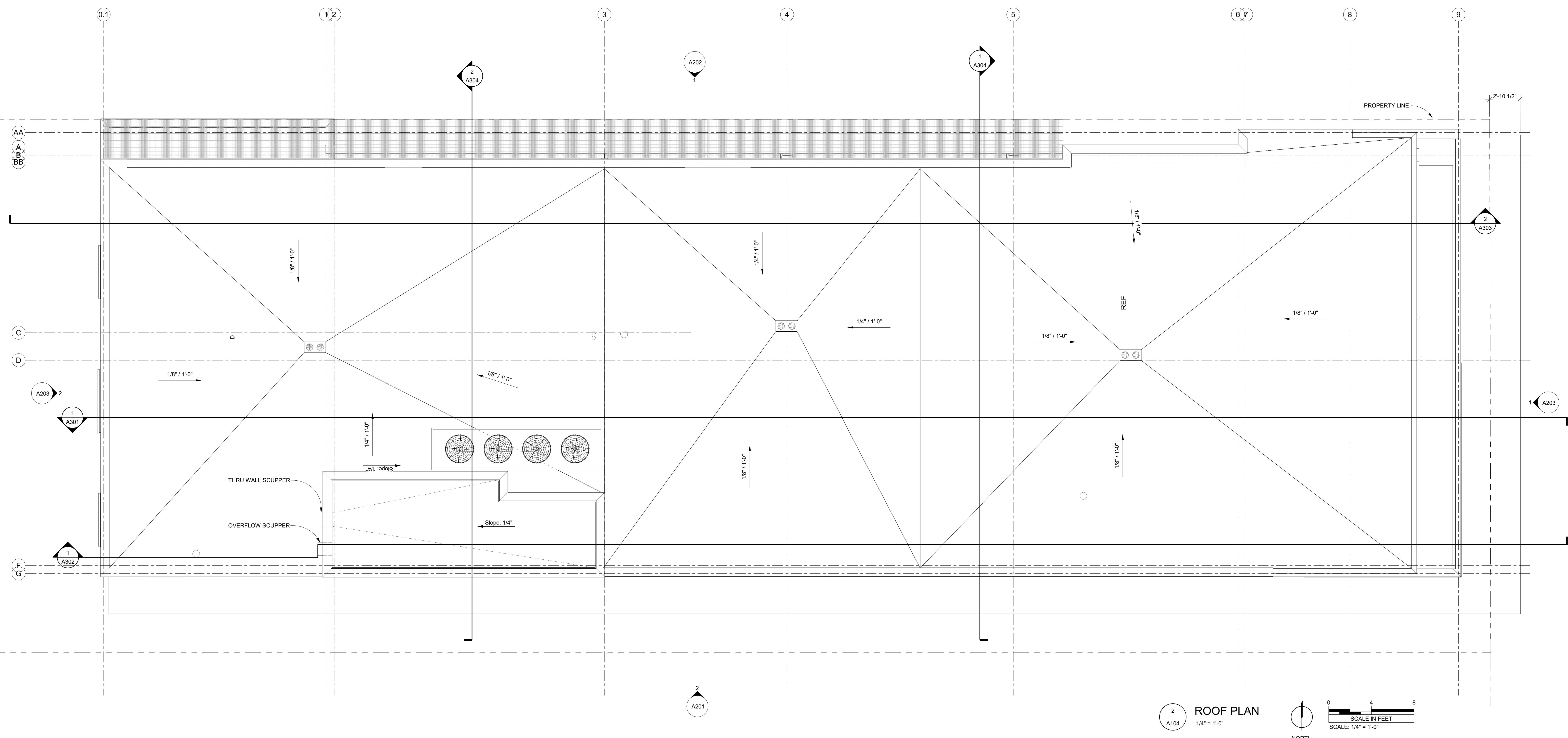
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SCALE IN FEET
NORTH
SCALE: 1/4" = 1'-0"

RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE

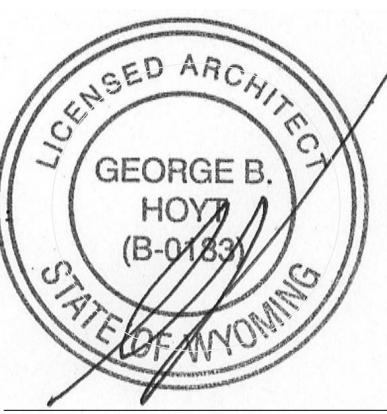


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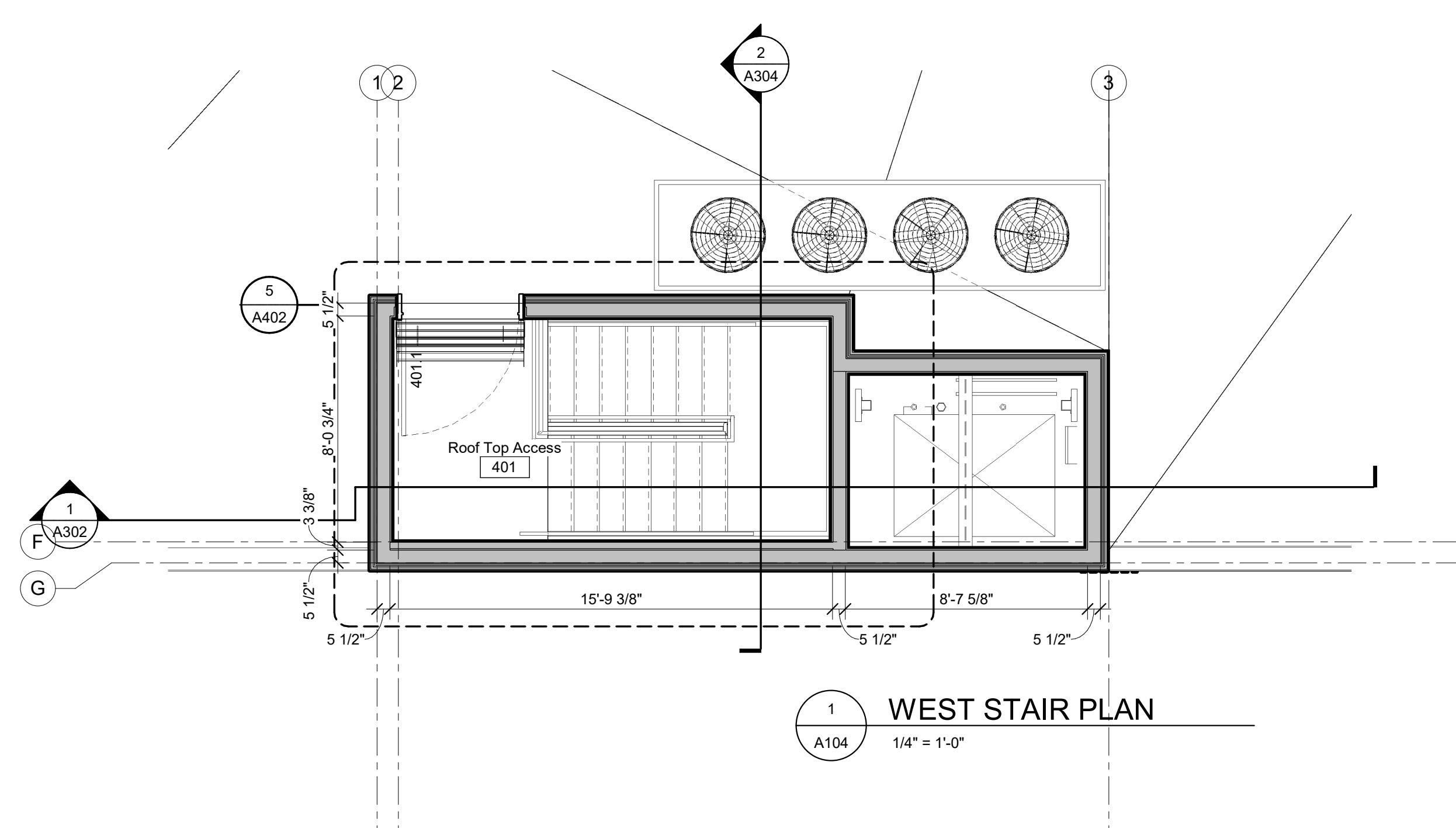
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JACKSON, WY 83001**



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WEST STAIR PLAN

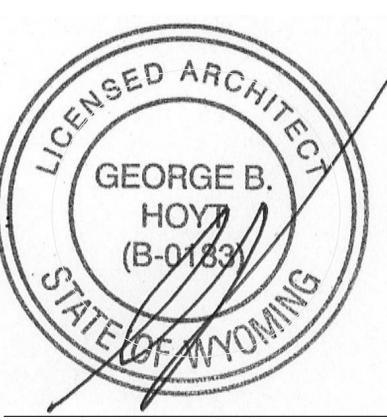
1 WEST STAIR PLAN



MATERIALS LEGEND

1	WESTERN RED CEDAR C AND BTR 1X6 REVERSE BOARD AND BATTEN. 1" GAP. TRANSPARENT STAIN - 2 COATS	2	AMERICAN FIBER CEMENT: 8MM NATURAL FIBER CEMENT PANELS CEMBRIT TRANSPARENT COLOR: T161 DENALI ATTACHE W/ #12 X 1 1/2" SS SCREWS @ 16" VERTICAL 24" HORIZ. INTO 1X4 FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS. GAP ALL EDGES 3/8" OVER DELTA FAÇADE S WEATHER BARRIER AS PER MANUFACTURER
3	CONCRETE FOUNDATION	4	EXISTING WOOD SIDING STAINED WITH CABOTS SEMI SOLID HEAVY BODY STAIN 2 COATS DARK SLATE
5			AMERICAN FIBER CEMENT: 8MM NATURAL FIBER CEMENT PANELS CEMBRIT PATINA COLOR: P070 FLINT ATTACHE W/ #12 X 1 1/2" SS SCREWS @ 16" VERTICAL 24" HORIZ. INTO 1X4 FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS. GAP ALL EDGES 3/8" OVER DELTA FAÇADE S WEATHER BARRIER AS PER MANUFACTURER
5			STEEL: PAINTED DARK BRONZE (MATCH WINDOW CLADDING)

RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



GEORGE B.
HOYT
(B-073)
LICENSED ARCHITECT
STATE OF WYOMING

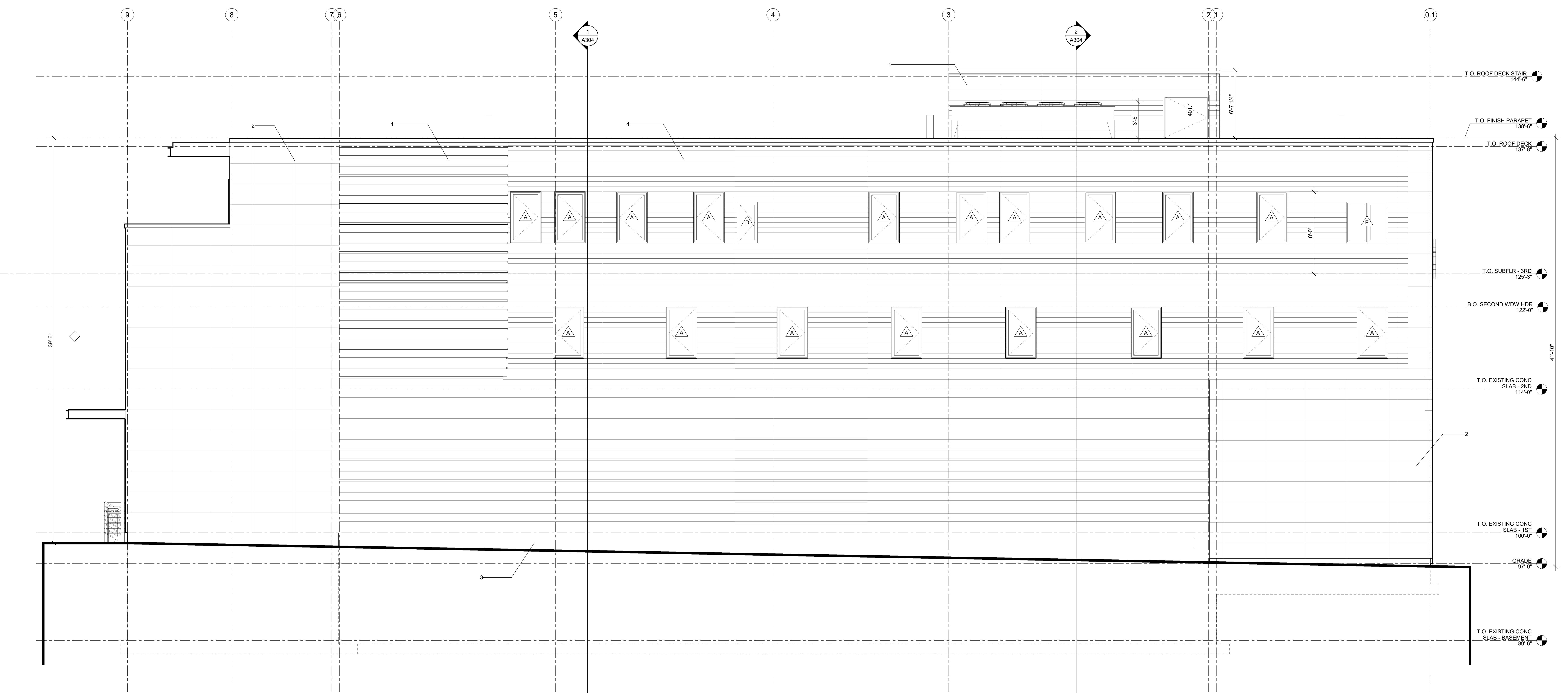
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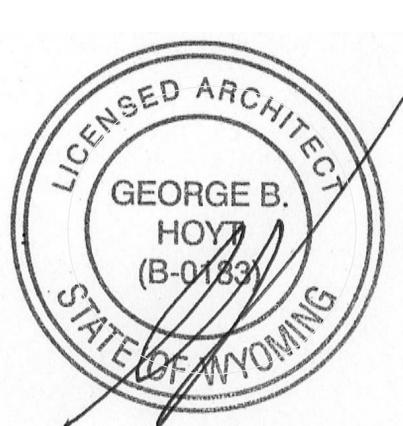
EXTERIOR
ELEVATIONS

A201



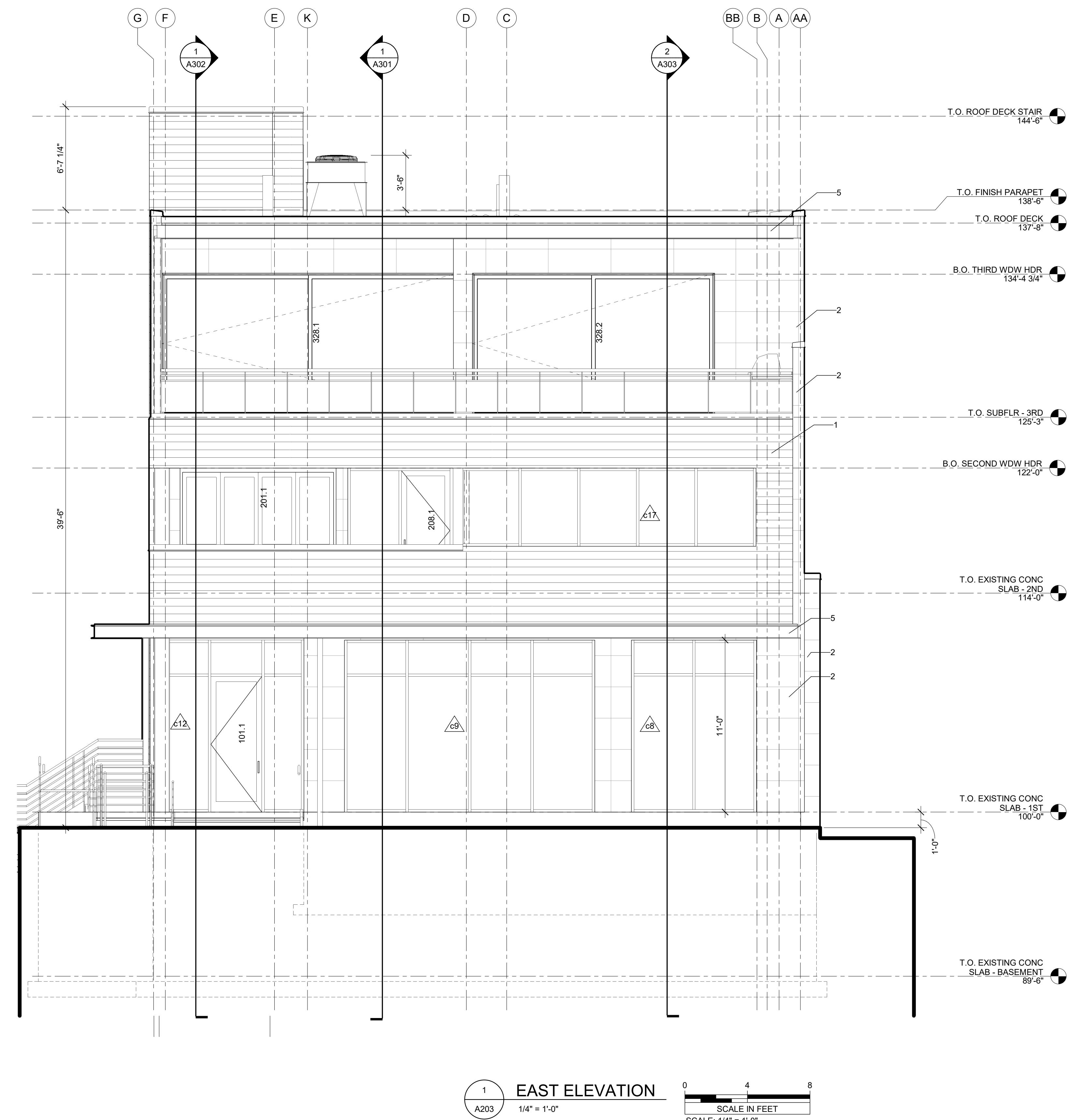
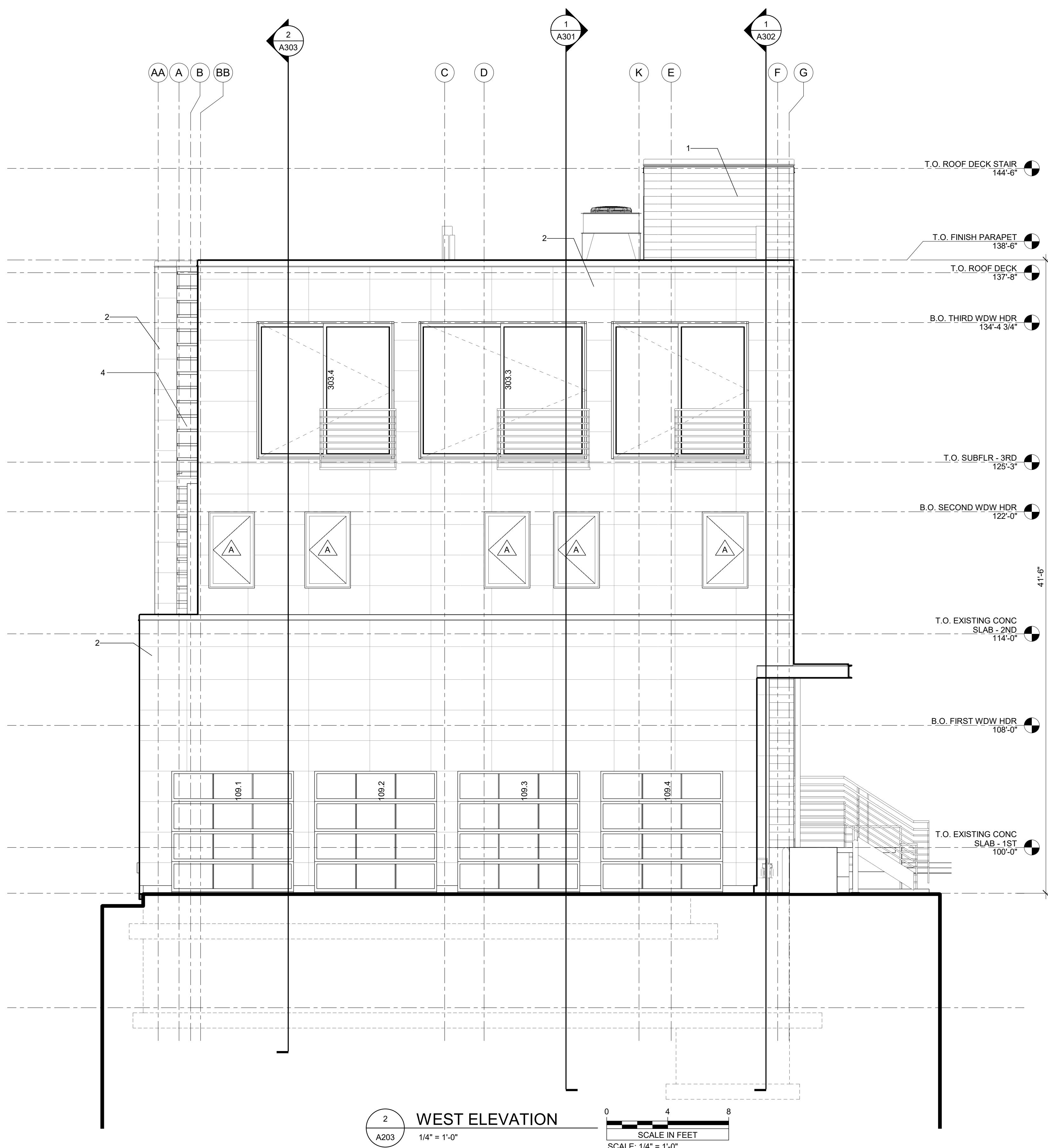
MATERIALS LEGEND

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5			STEEL: PAINTED DARK BRONZE (MATCH WINDOW CLADDING)



BUILDING PERMIT
DRAWINGS

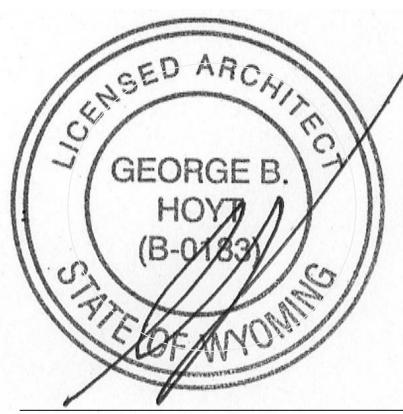
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MATERIALS LEGEND

1	WESTERN RED CEDAR C AND BTR 1X6 REVERSE BUTT AND 1X6 CAP - TRANSPARENT STAIN - 2 COATS	2	AMERICAN FIBER CEMENT: 8MM NATURAL FIBER CEMENT PANELS CEMBRIT TRANSPARENT COLOR: T161 DENALI. ATTACHE W/ #12 X 1 1/2" SS SCREWS @ 16" VERTICAL. 24" HORIZ. INTO 1X4 FURRING STRIPS AT VERTICAL JOINTS. W/ UV-RESISTANT BLACK EPDM RUBBER SEALING STRIP AT VERTICAL JOINTS. GAP ALL EDGES 3/8" OVER DELTA FAÇADE S WEATHER BARRIER AS PER MANUFACTURER
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RENOVATION AND ADDITION
JACKSON, WY 83001
645/655 SOUTH CACHE



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ELEVATIONS

A203