



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

### Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

### Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

### Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

### State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

### Federal Agencies

- ☐ Army Corp of Engineers

### Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

### Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 5, 2019	<b>REQUESTS:</b>  The applicant is submitting a request for a Grading Pre-Application for the property located 275 Redmond Street legally known as, LOT 23, BLK. 3, Hall 1.  For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.  <b>Please have the grading pre-app for P19-180 and P19-181 at the same time because both applications have the same owner and applicant.</b>
Item #: P19-281	
Planner: Brendan Conboy  Phone: 733-0440 ext. 1302  Fax: 734-3563  Email: bconboy@jacksonwy.gov	
<b>Owner:</b> 275 Redmond, LLC 207 High Point Dr BLDG 100 Victor, NY 14564-1061  <b>Applicant:</b> Jamie Farmer PO Box 381 Jackson, WY 83002	
<b>Please respond by:</b> n/a	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to: [tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)

4 December 2019

Town of Jackson  
Planning & Building Department-Planning Division  
150 E. Pearl Ave.  
PO Box 1687  
Jackson, WY 83001

To Whom it May Concern,

The Attached PAP is for new residential construction located at 275 Redmond St. Jackson WY. In accordance with the existing site plan attached, there is an existing residence with associated parking and utilities. Proposed development includes demolition of existing structures and construction of two new residence on lots 23 and 24, 2925 square feet and 2900 square feet respectively with parking and utilities. Proposed development is described on sheets C2.0-C4.0 and C4.1 attached. Please don't hesitate to contact us with project inquiries.

Sincerely,

Viliyana Mandel, AIA, LEED AP  
Farmer Payne Architecture

Office: 307.564.3156  
Email: [villy@farmerpaynearchitects.com](mailto:villy@farmerpaynearchitects.com)



## **PRE-APPLICATION CONFERENCE REQUEST (PAP)**

### **Planning & Building Department**

150 E Pearl Ave. | phone (307)733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

#### ***For Office Use Only***

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

**Please note:** Applications received after 3 PM will be process the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

#### **PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

#### **PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **APPLICANT/AGENT.**

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner

\_\_\_\_\_ Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit	<b>This pre-application conference is:</b>
_____ Use Permit	_____ Required
_____ Development Option or Subdivision Permit	_____ Optional
_____ Interpretations of the LDRs	_____ For an Environmental Analysis
_____ Amendments to the LDRs	_____ For grading
_____ Relief from the LDRs	
_____ Environmental Analysis	

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (tstolte@gmail.com).

Have you attached the following?

\_\_\_\_\_ **Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees.

\_\_\_\_\_ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at [www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF](http://www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF).

\_\_\_\_\_ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

- \_\_\_\_\_ Existing property conditions (buildings, uses, natural resources, etc)
- \_\_\_\_\_ Character and magnitude of proposed physical development or use
- \_\_\_\_\_ Intended development options or subdivision proposal (if applicable)
- \_\_\_\_\_ Proposed amendments to the LDRs (if applicable)

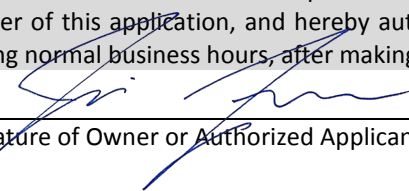
\_\_\_\_\_ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

- \_\_\_\_\_ Property boundaries
- \_\_\_\_\_ Existing and proposed physical development and the location of any uses not requiring physical development
- \_\_\_\_\_ Proposed parcel or lot lines (if applicable)
- \_\_\_\_\_ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

\_\_\_\_\_ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

\_\_\_\_\_ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

  
\_\_\_\_\_  
Signature of Owner or Authorized Applicant/Agent

\_\_\_\_\_  
Date

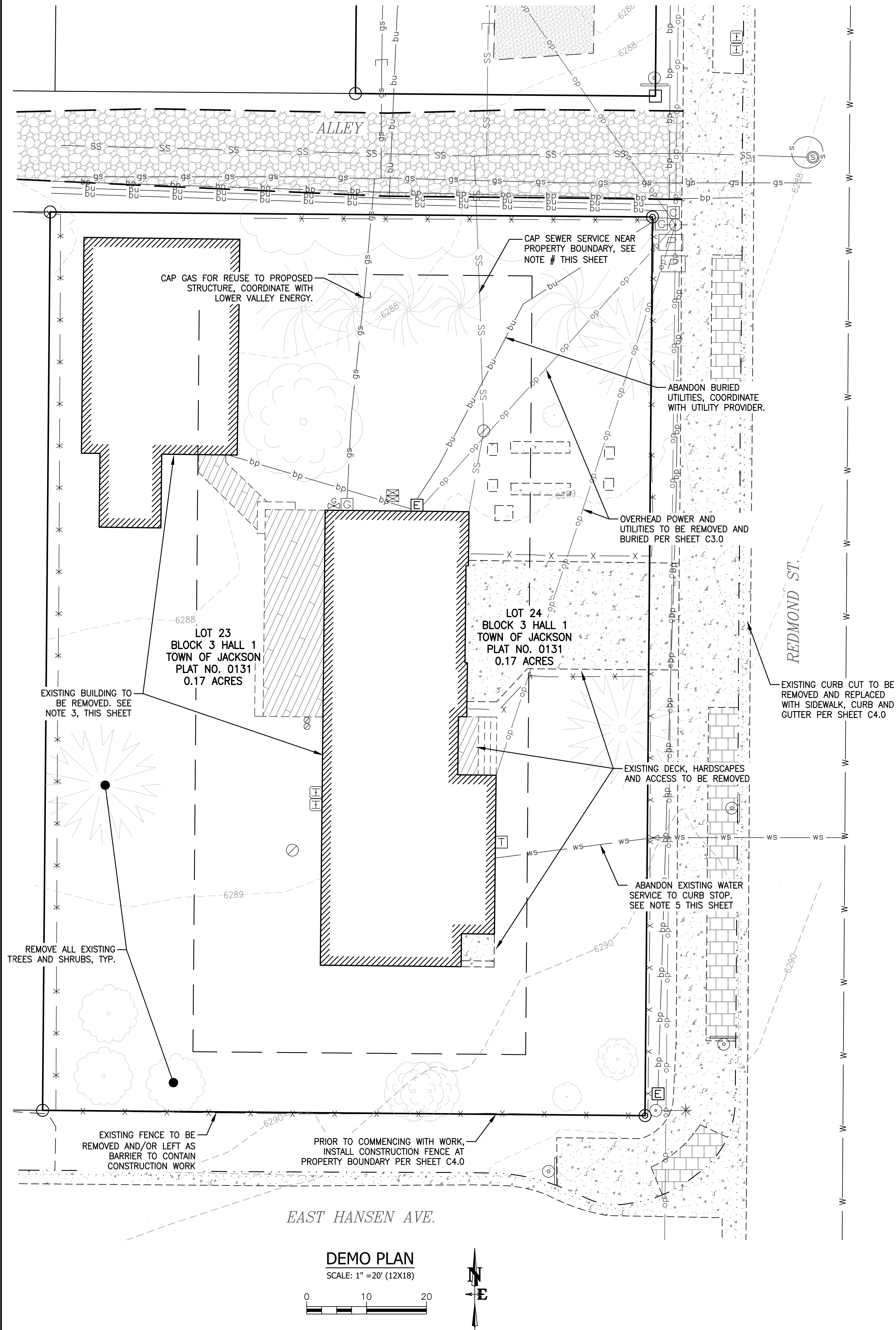
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Name Printed

\_\_\_\_\_  
Title



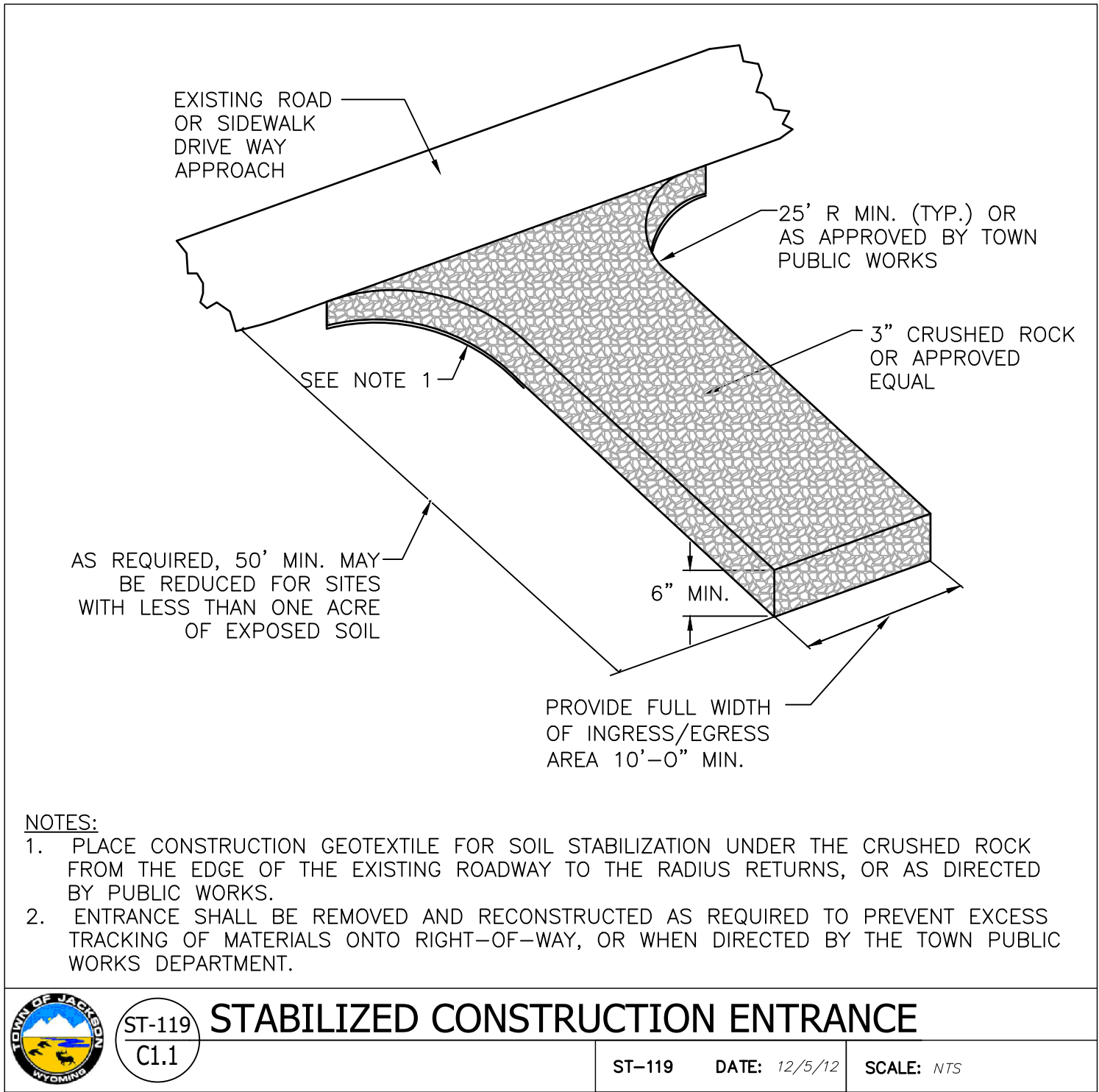


S:\Proj\2019\361-01\_Corson Kids - Civil Design\14\_Branding\CHALKING STICK.dwg CLISA RED PLAN - Date: 04/2019 03:58:38 pm PLOTTED BY: elson DWG FORMAT: E20



DEMOLITION NOTES

- DEMOLITION ACTIVITIES SHALL OCCUR SPRING/SUMMER 2020.
- COMPLY WITH APPLICABLE SITE CONSTRUCTION NOTES ON SHEET C2.0.
- DEMOLITION WORK SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE APPROVED PERMIT AND IBC REGULATIONS. SALVAGE EXISTING WATER METER IN ACCORDANCE WITH NOTE 6 BELOW.
- CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES BY CONTACTING UTILITY PROVIDERS, CAMERA INSPECTION, LOCATING DEVICES/SERVICE, OR EXPLORATORY EXCAVATION.
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE TOWN OF JACKSON FOR WORK COMPLETED IN THE PUBLIC RIGHT-OF-WAY.
- WATER AND SEWER UTILITIES WERE OBTAINED FROM TETON COUNTY GIS AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND CAP NEAR PROPERTY LINE OR AT MAIN PER PLANS.
- CONTRACTOR SHALL CAP EXISTING WATER SERVICE AT THE EXISTING CURB STOP AND MARK FOR FUTURE RE-CONNECTION IN ACCORDANCE WITH THE UTILITY PLAN FOR THE FUTURE DEVELOPMENT. EXISTING WATER METER MAY BE SALVAGED AND REUSED PENDING THE CONDITION; METER READING (UPON REMOVAL) SHALL BE RECORDED AND CONDITION ASSESSMENT SHALL BE COMPLETED BY TOJ PUBLIC WORKS.
- INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH NOTE 8, SHEET C2.0.
- CONSTRUCT TRACK PAD (IF REQUIRED) IN ACCORDANCE WITH TOWN STANDARD DETAIL ST-119/C1.1 TO PREVENT TRACK-OUT OF SOILS ONTO PUBLIC STREETS.
- OWNER SHALL BOND (WITH TOJ) FOR ABANDONMENT OF WATER AND SEWER SERVICES IN ACCORDANCE WITH THE DEMOLITION PERMIT.



DATE	4 DEC 2019	REV.
SURVEYED		Y2
ENGINEERED		B0
DRAWN		B0
CHECKED		JK
APPROVED		JK

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE  
**DEMO PLAN**

JOB TITLE  
SIMPSON KID LISA RESIDENCE  
275 REDMOND STREET (WEST)  
JACKSON, WY

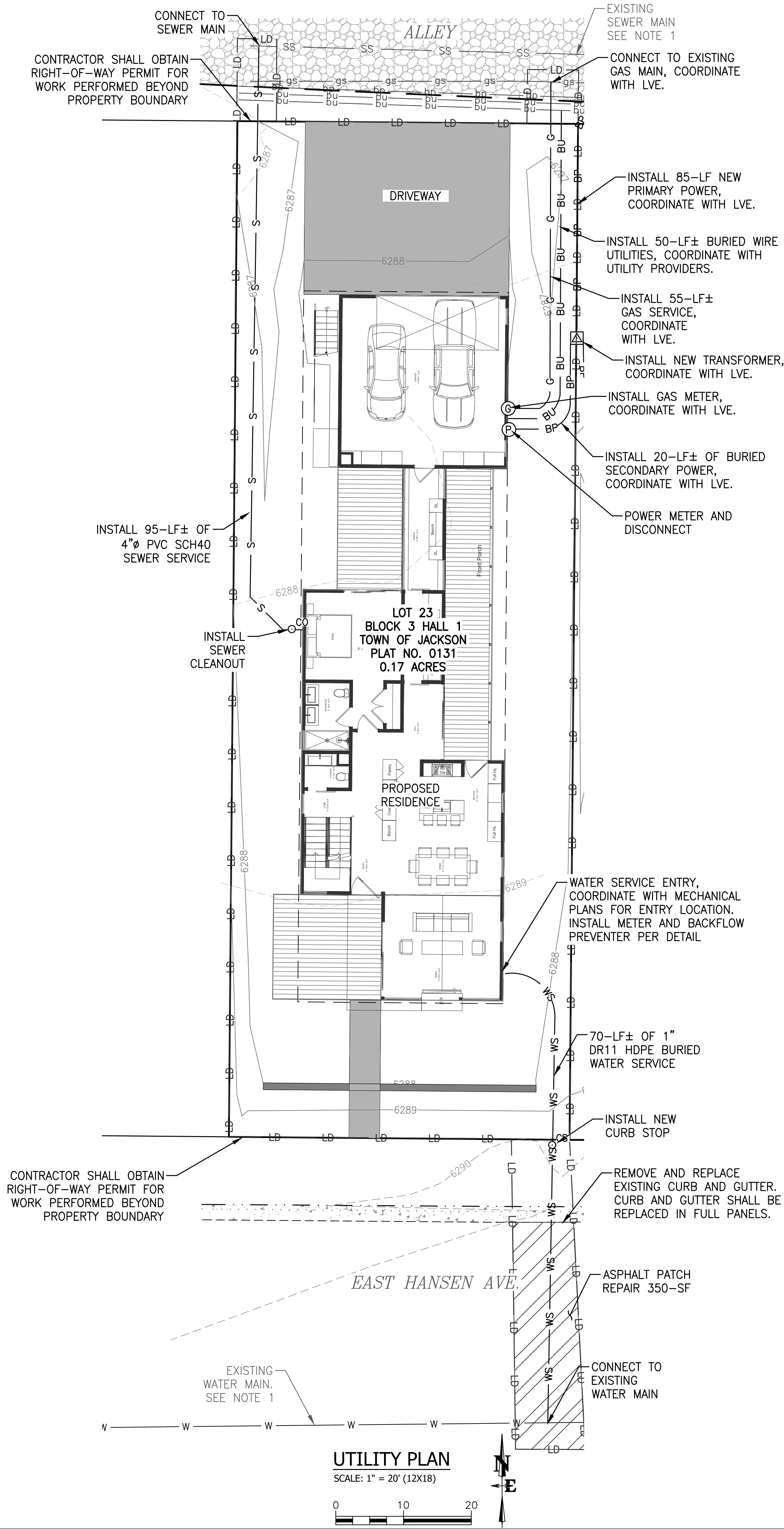
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C1.1  
JOB NO  
19-361-01







S:\P\2019\361-01\_Citizen Kids - Coll Design\14\_Branding\CHALISA RESIDENCE.dwg UTILITY PLAN - Dec 04 2019 03:05:55 pm PLOTTED BY: dson PAGE: 223

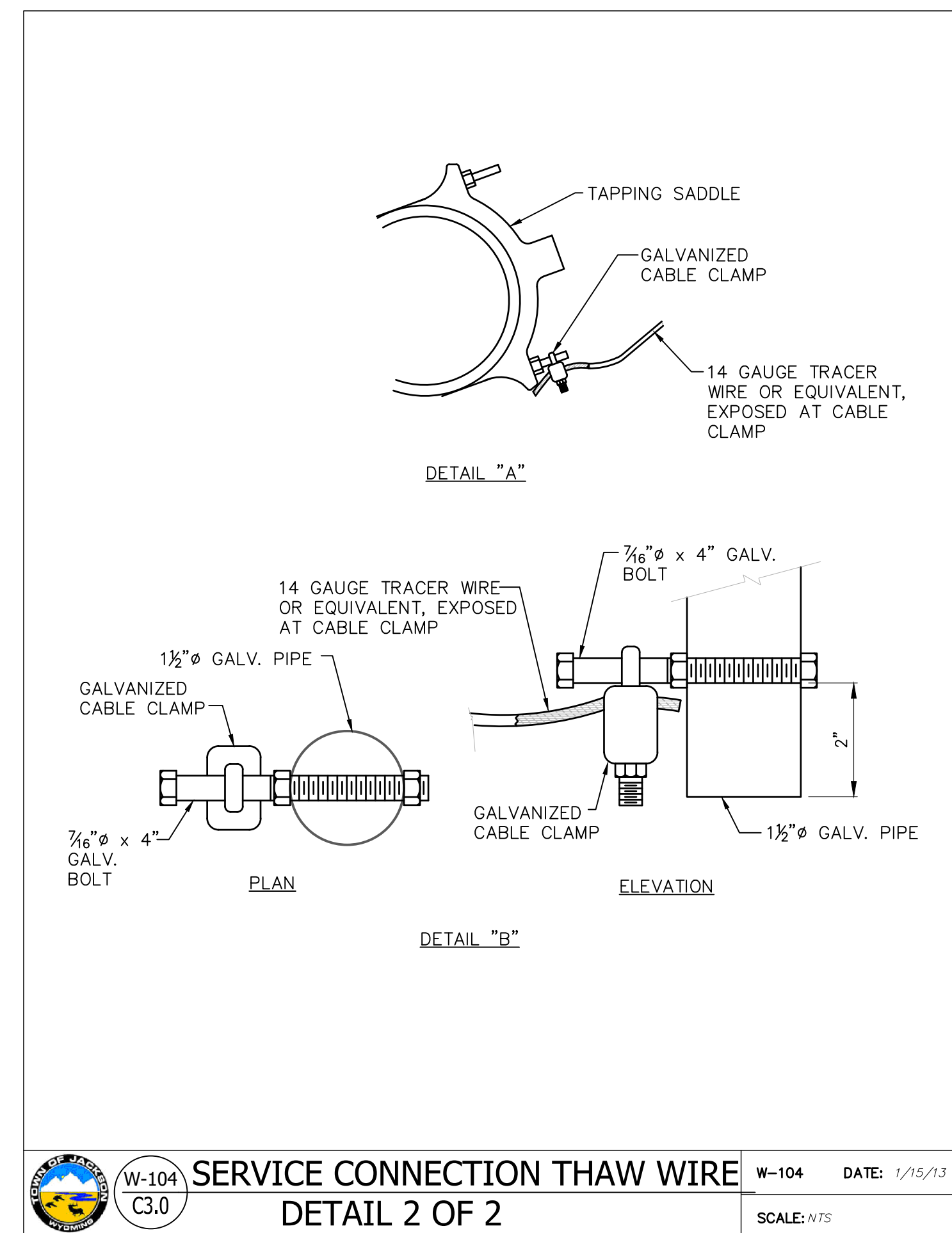
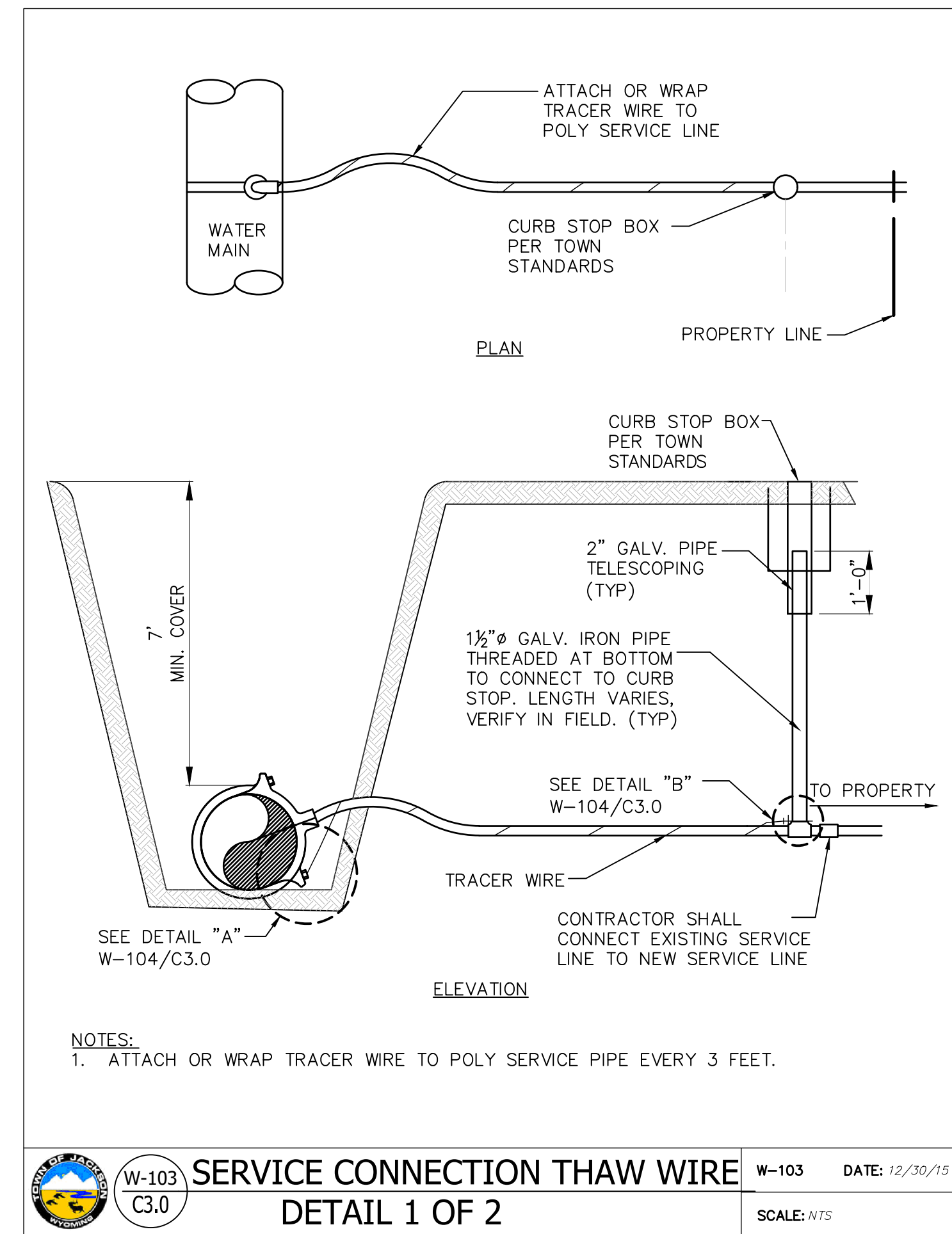
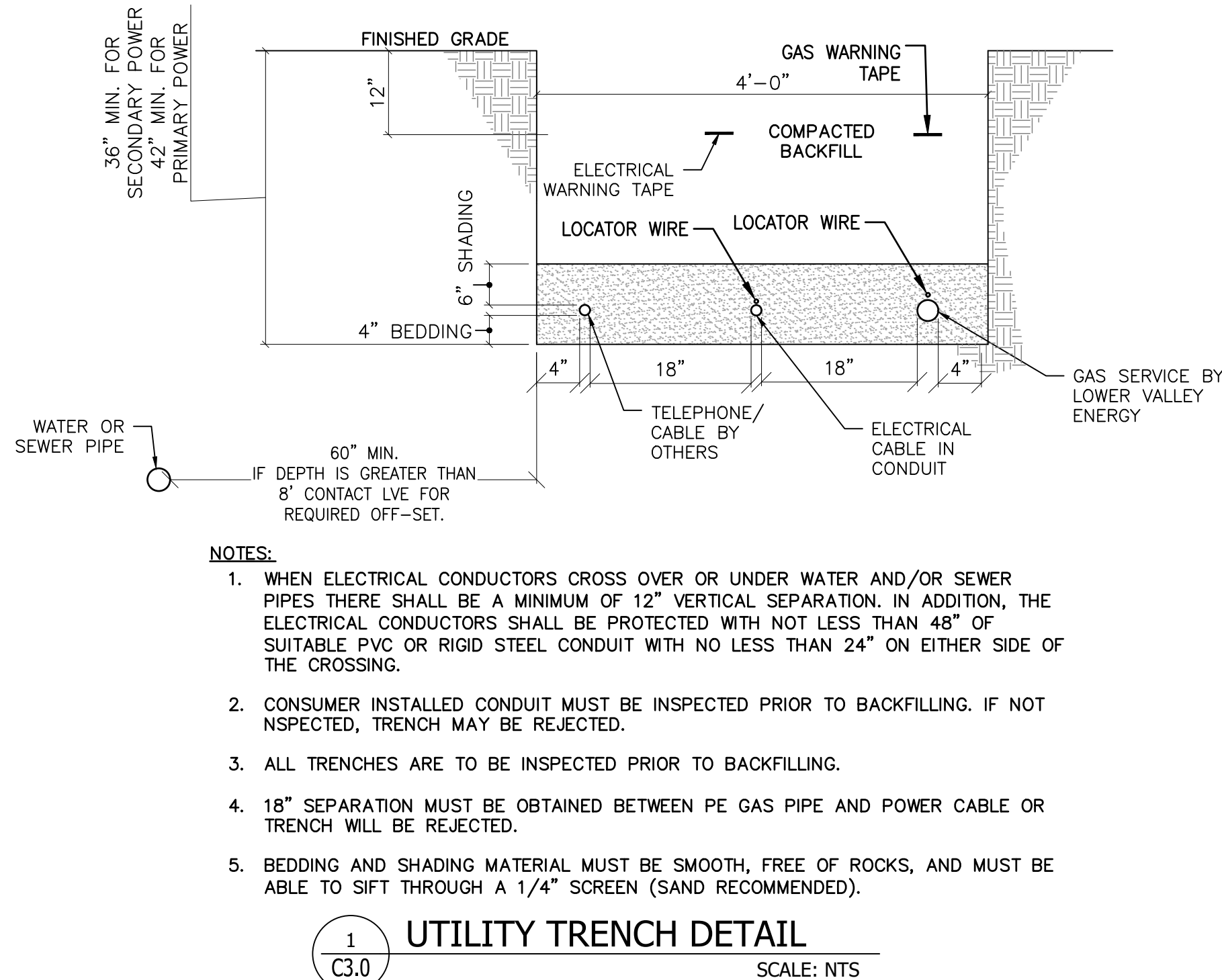


#### UTILITY NOTES:

##### SPECIAL PROVISIONS TO WPWSS (2015) – UTILITIES

- WATER SERVICE PIPE SHALL BE SDR11 POLYETHYLENE.
- WATERLINE SHALL BE BURIED WITH A MINIMUM OF SIX FEET OF COVER.
- GRAVITY SEWER PIPE SHALL BE 4"Ø ASTM D2665 SCH40 PVC.
- MINIMUM SEWER PIPE GRADE SHALL BE 2%, UNLESS OTHERWISE NOTED.
- INSULATE ALL WATER AND SEWER PIPES WITH LESS THAN 6' BURY OF BURY.

1. LOCATION AND CONNECTION REQUIREMENTS FOR WATER AND SEWER SERVICES ARE UNKNOWN. CONTRACTOR SHALL SEEK INPUT FROM THE TOWN TO DETERMINE PROBABLE LOCATIONS FOR CONNECTION. CONTRACTOR MAY BE REQUIRED TO PERFORM EXPLORATORY EXCAVATION TO LOCATE EXISTING UTILITIES.
2. CONTRACTOR SHALL VERIFY WITH TOJ THAT EXISTING UTILITIES ARE SUITABLE FOR CONTINUED USE. CAP EXISTING SERVICE AT MAIN AND INSTALL NEW IF EXISTING SERVICES ARE NOT SUITABLE. COMPLY WITH NOTE #, SHEET #####.



12-4-19 PAP SET

DATE	4 DEC 2019	REV.
SURVEYED	Y2	
ENGINEERED	BO	
DRAWN	BO	
CHECKED	JK	
APPROVED	JK	

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P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE  
**UTILITY PLAN**

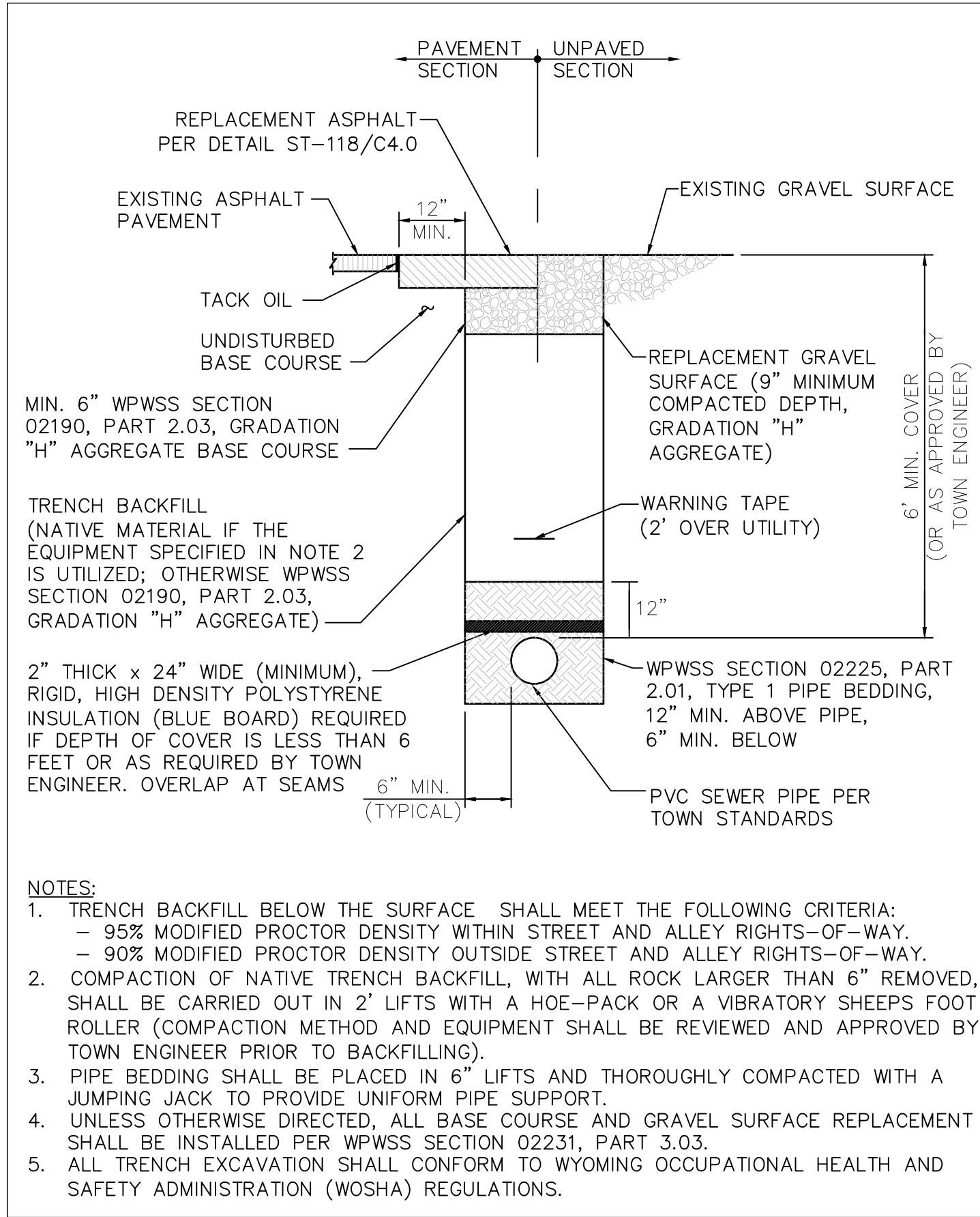
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SIMPSON KID LISA RESIDENCE  
275 REDMOND STREET (WEST)  
JACKSON, WY

DRAWING NO  
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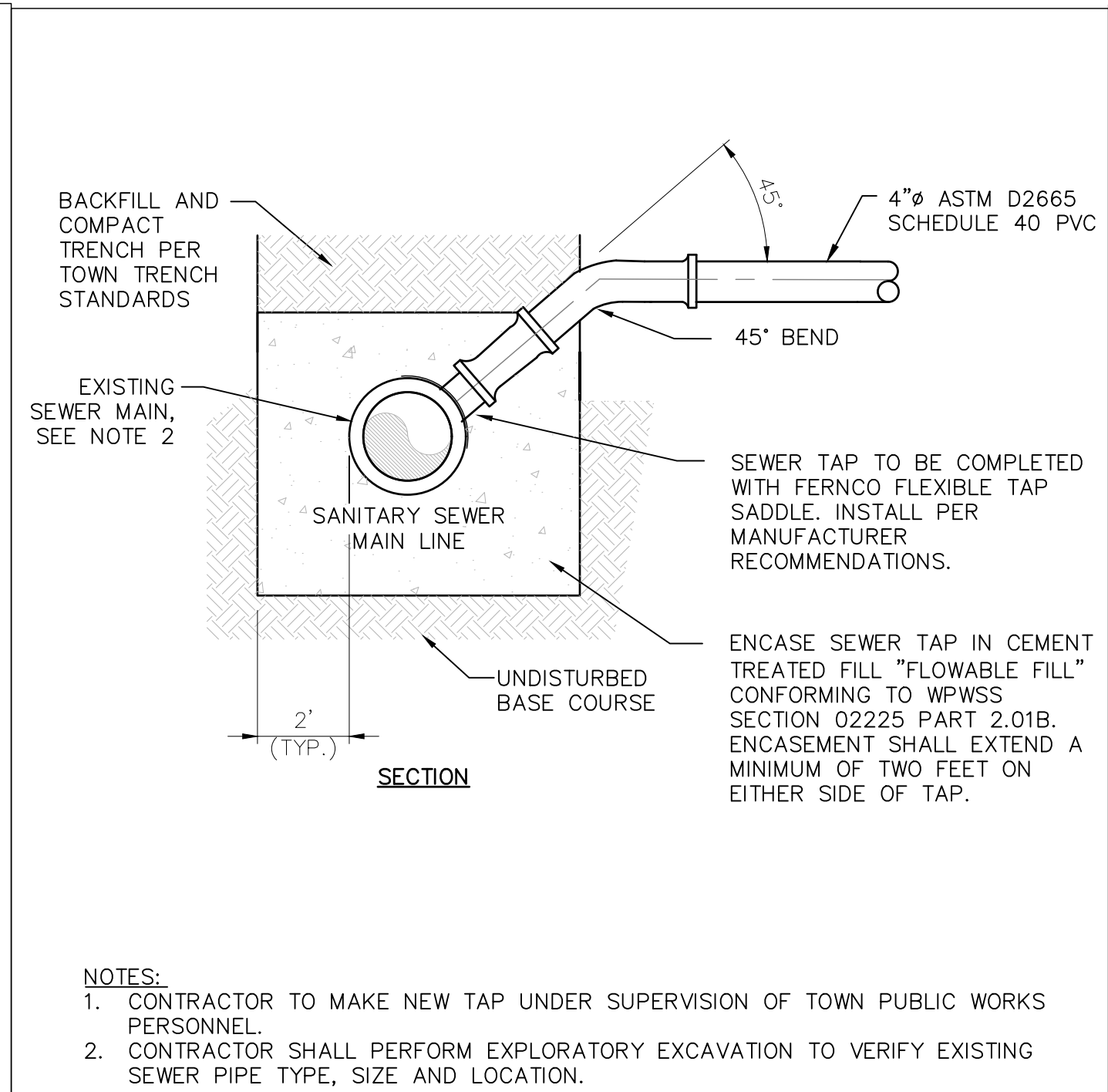
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19-361-01



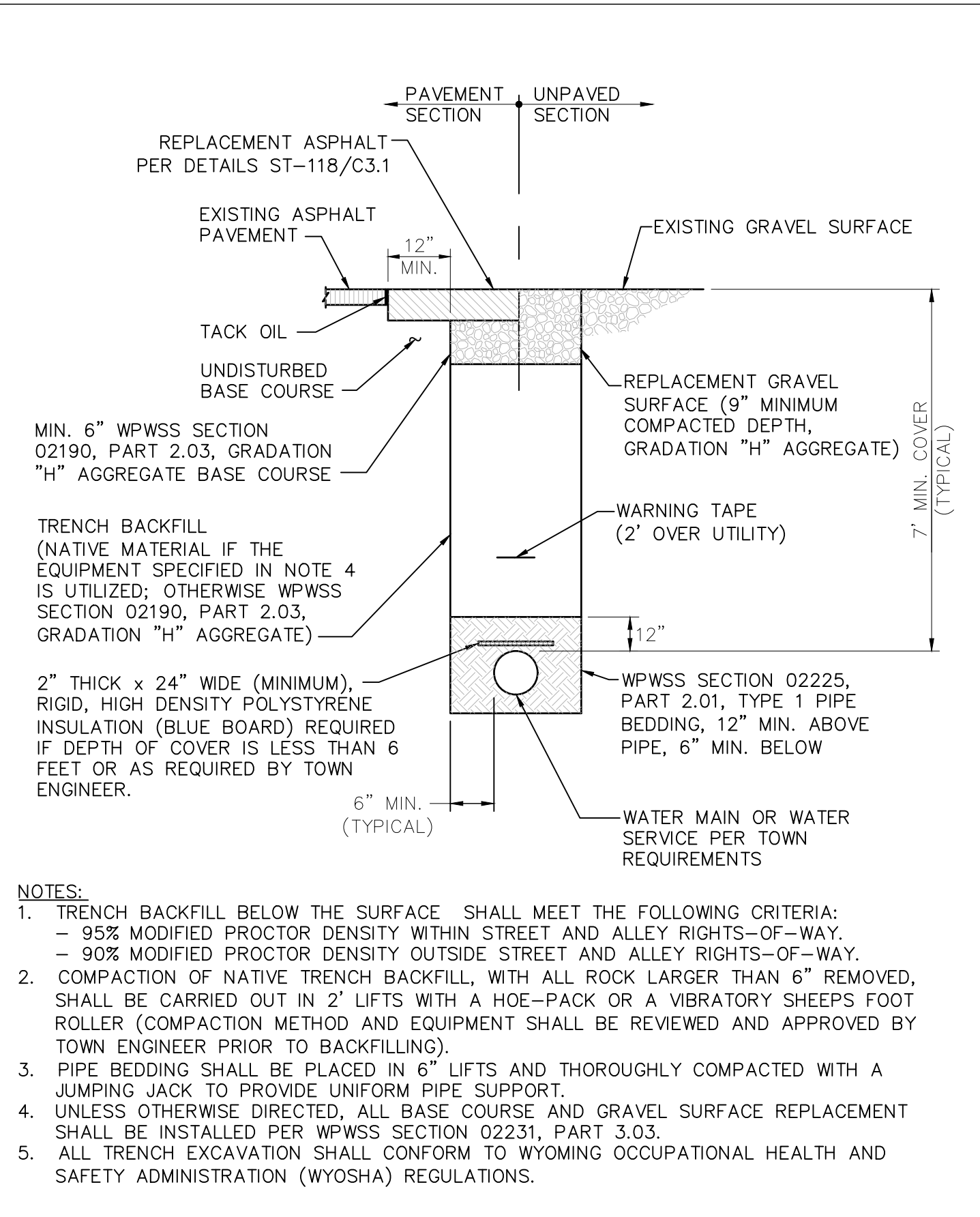
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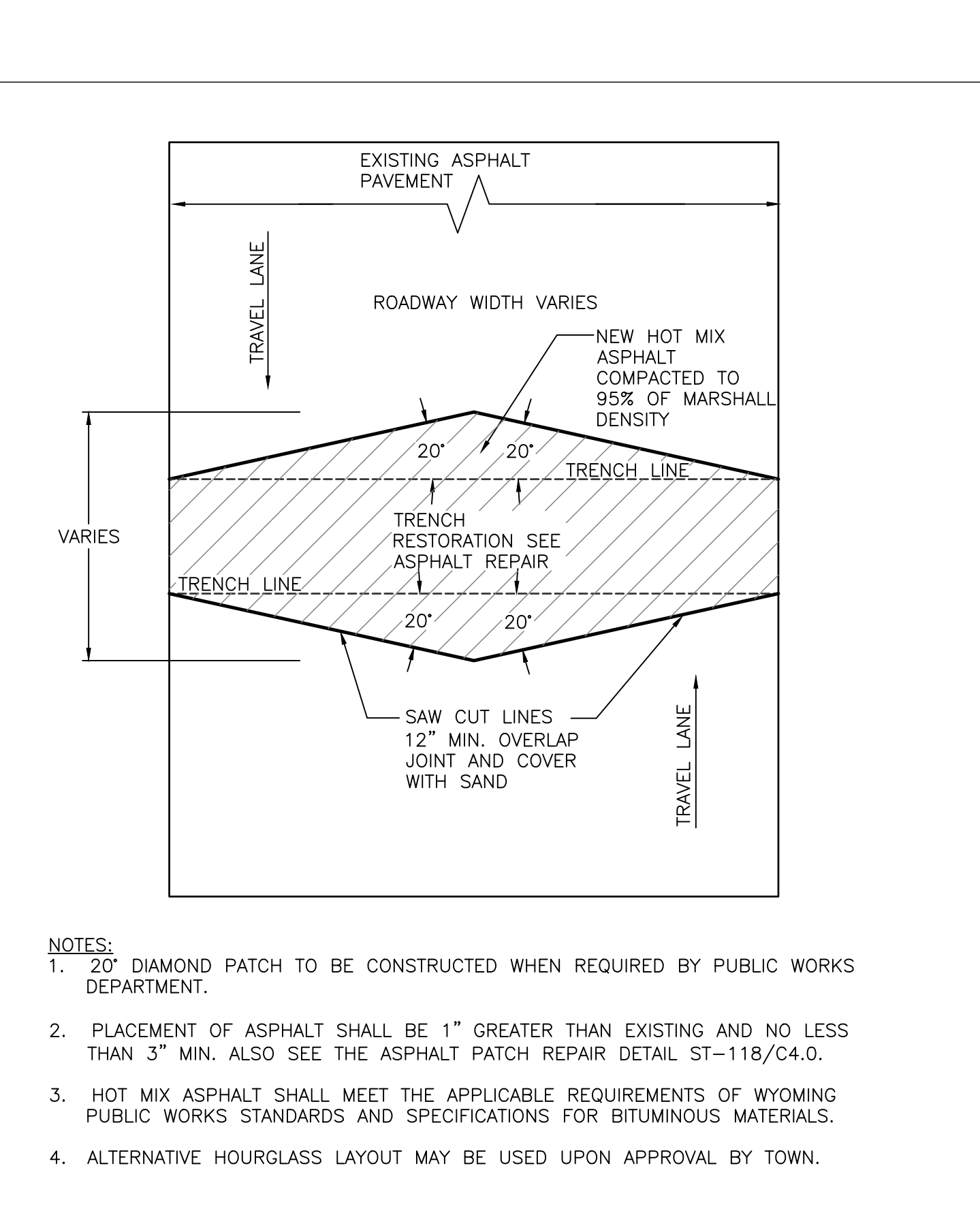
**SS-100** **SEWER MAIN & SERVICE TRENCH DETAIL**  
SS-100 DATE: 1/10/13 SCALE: NTS



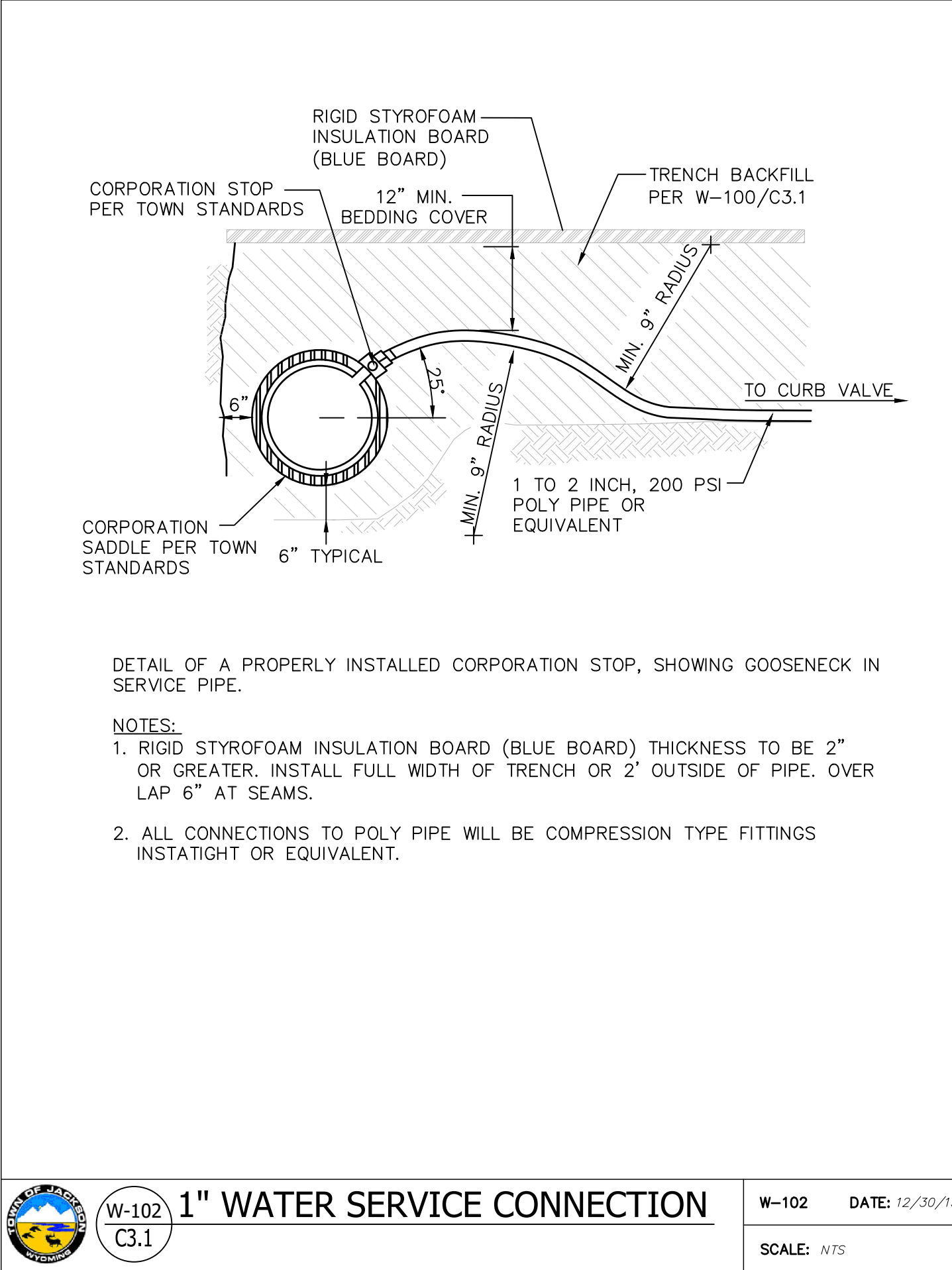
**SS-115** **SEWER MAIN TAPPING**  
SS-115 DATE: 1/14/13 SCALE: NTS



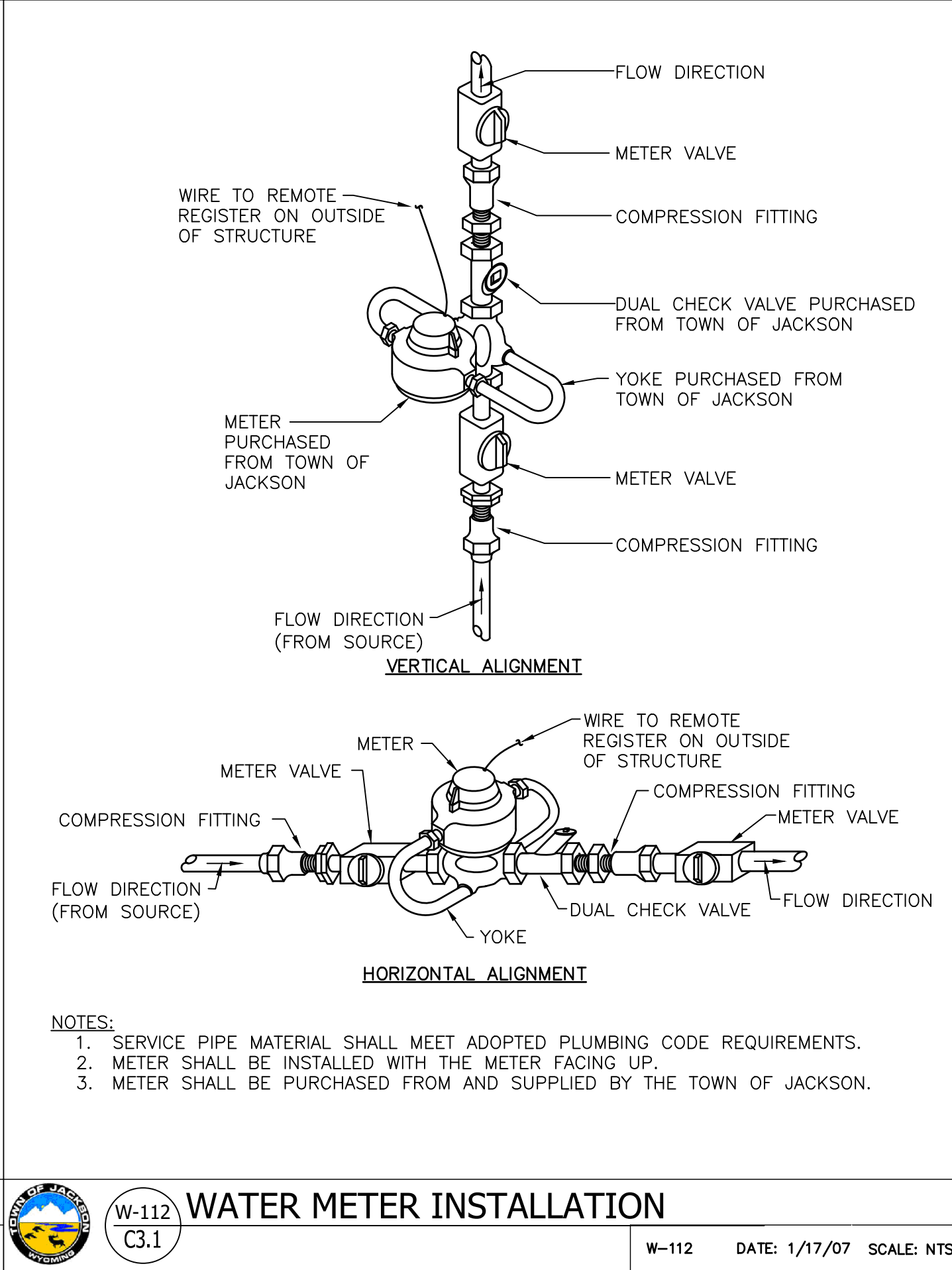
**W-100** **WATER MAIN AND SERVICE LINE TRENCH**  
W-100 DATE: 1/14/13 SCALE: NTS



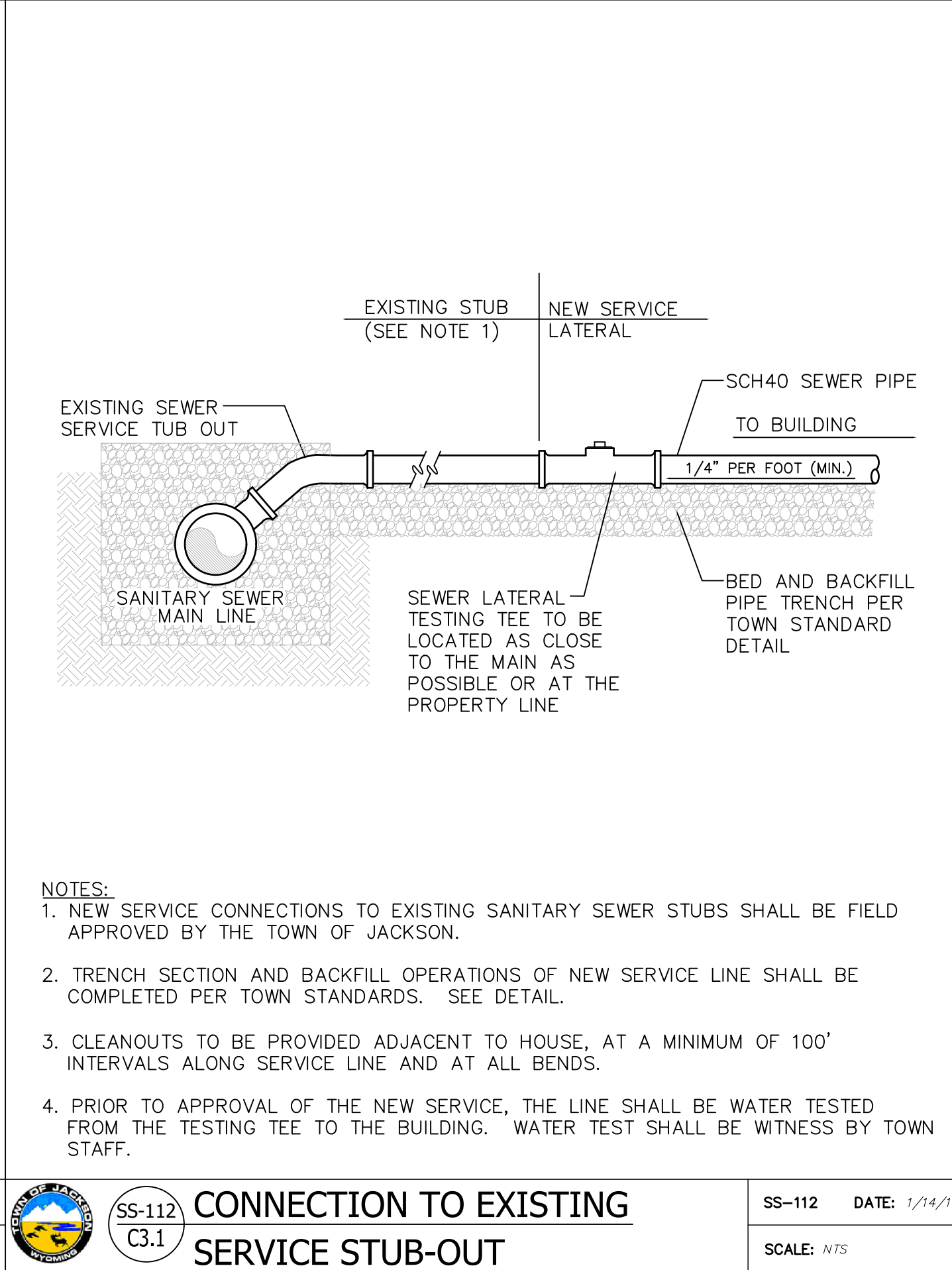
**ST-117** **TRENCH RESTORATION DETAIL**  
ST-117 DATE: 12/5/12 SCALE: NTS



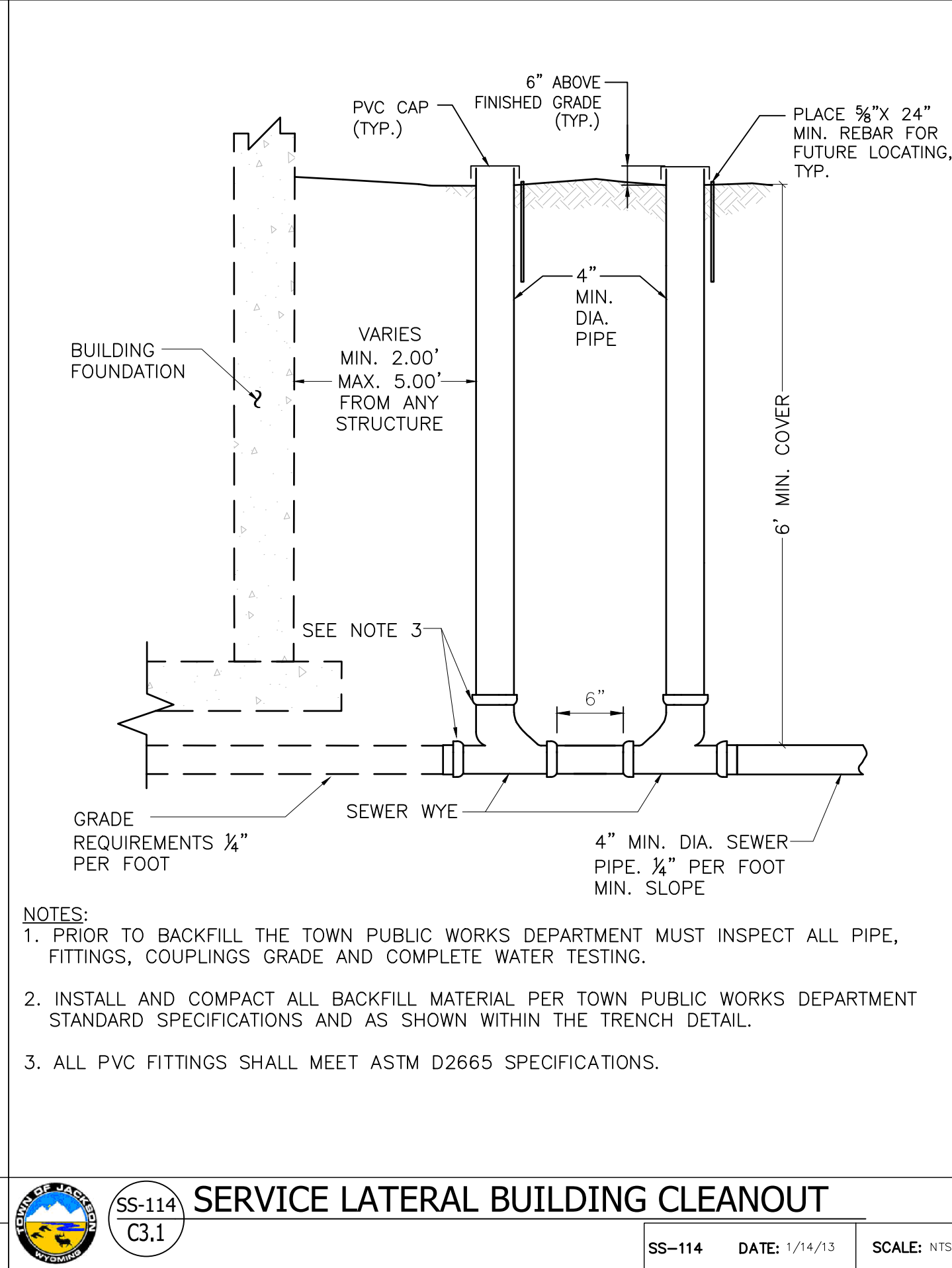
**W-102** **1\"/>**



**W-112** **WATER METER INSTALLATION**  
W-112 DATE: 1/17/07 SCALE: NTS



**SS-112** **CONNECTION TO EXISTING SERVICE STUB-OUT**  
SS-112 DATE: 1/14/13 SCALE: NTS



**SS-114** **SERVICE LATERAL BUILDING CLEANOUT**  
SS-114 DATE: 1/14/13 SCALE: NTS

DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED
4 DEC 2019	Y2	BO	BO	JK	JK

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

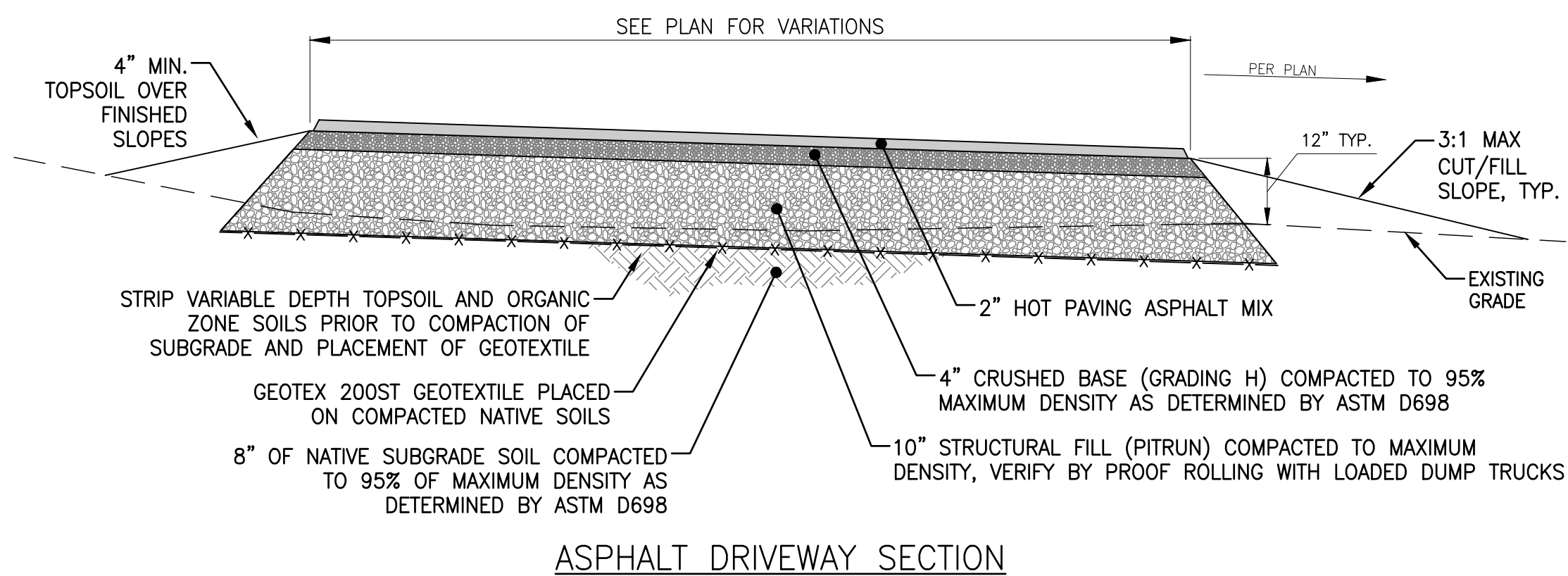
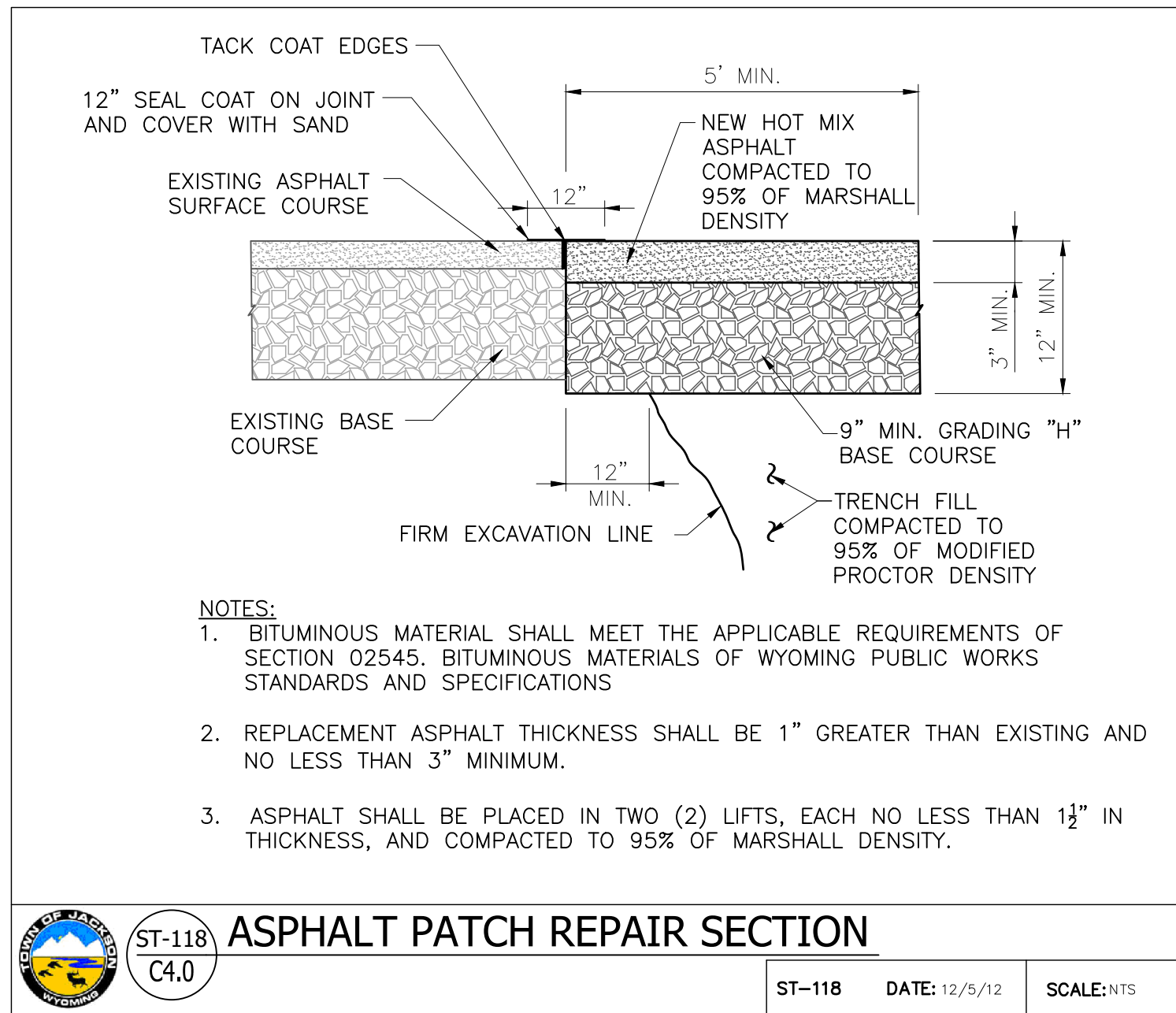
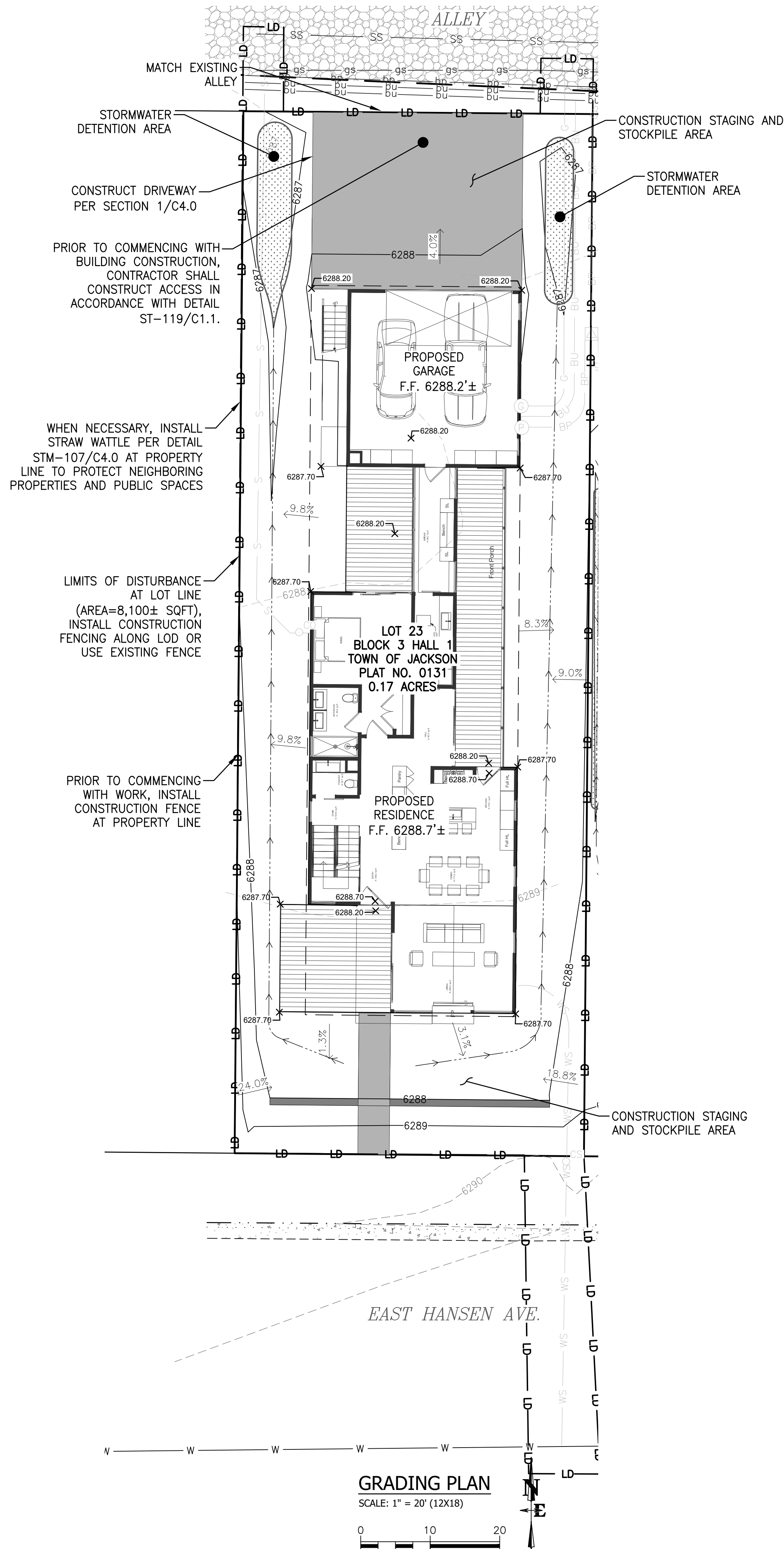
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**UTILITY DETAILS**

JOB TITLE  
**SIMPSON KID LISA RESIDENCE**  
275 REDMOND STREET (WEST)  
JACKSON, WY

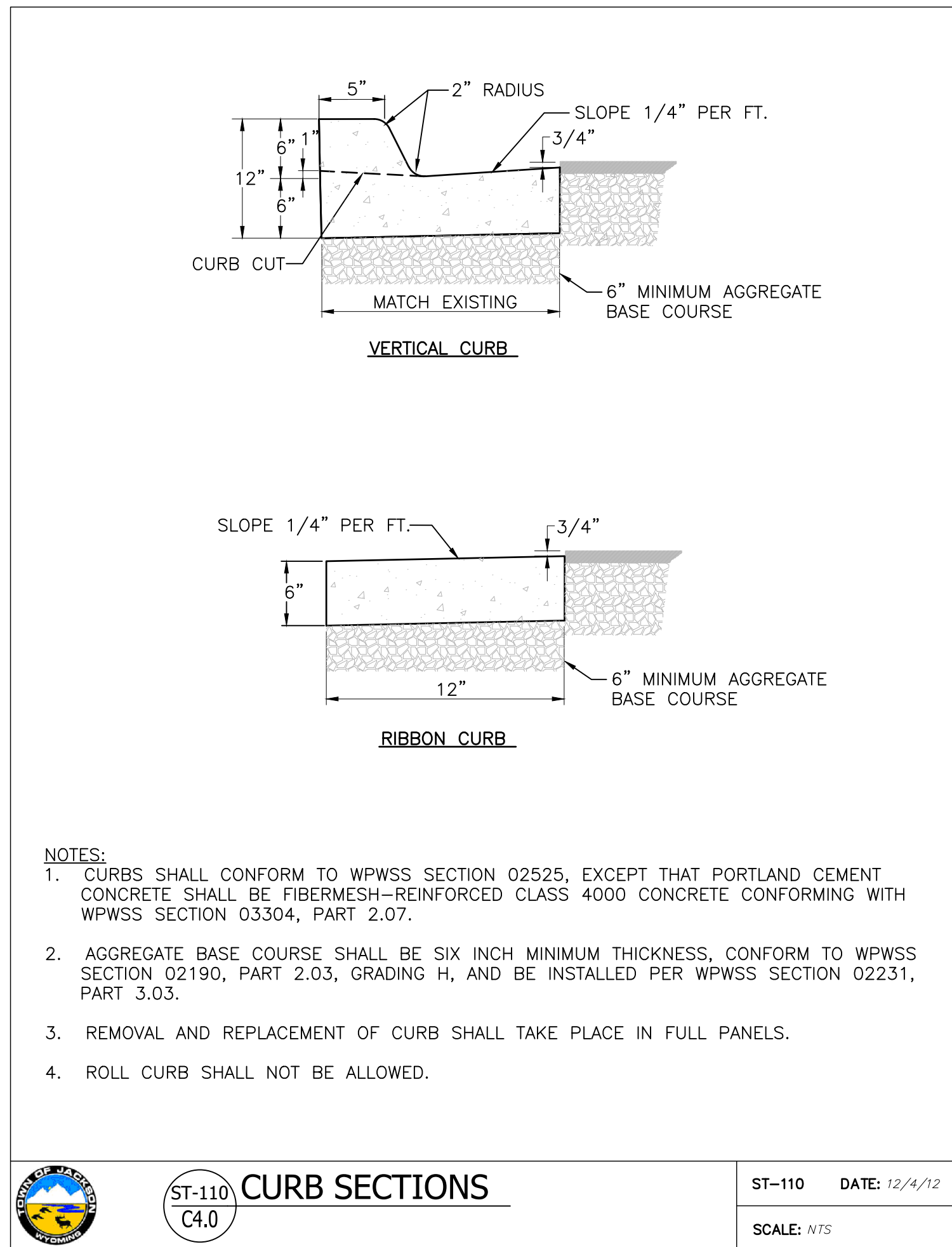
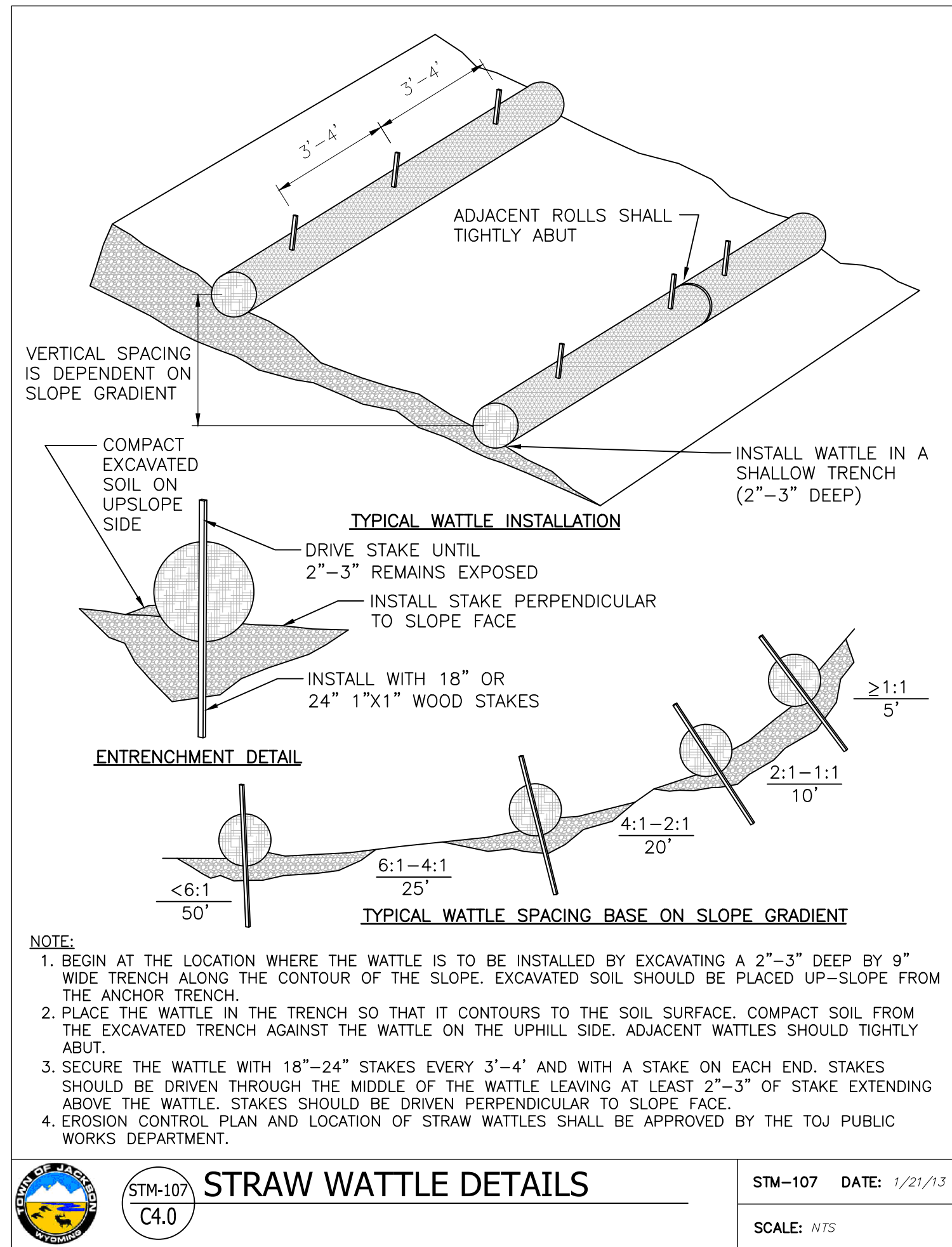
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JOB NO  
**19-361-01**



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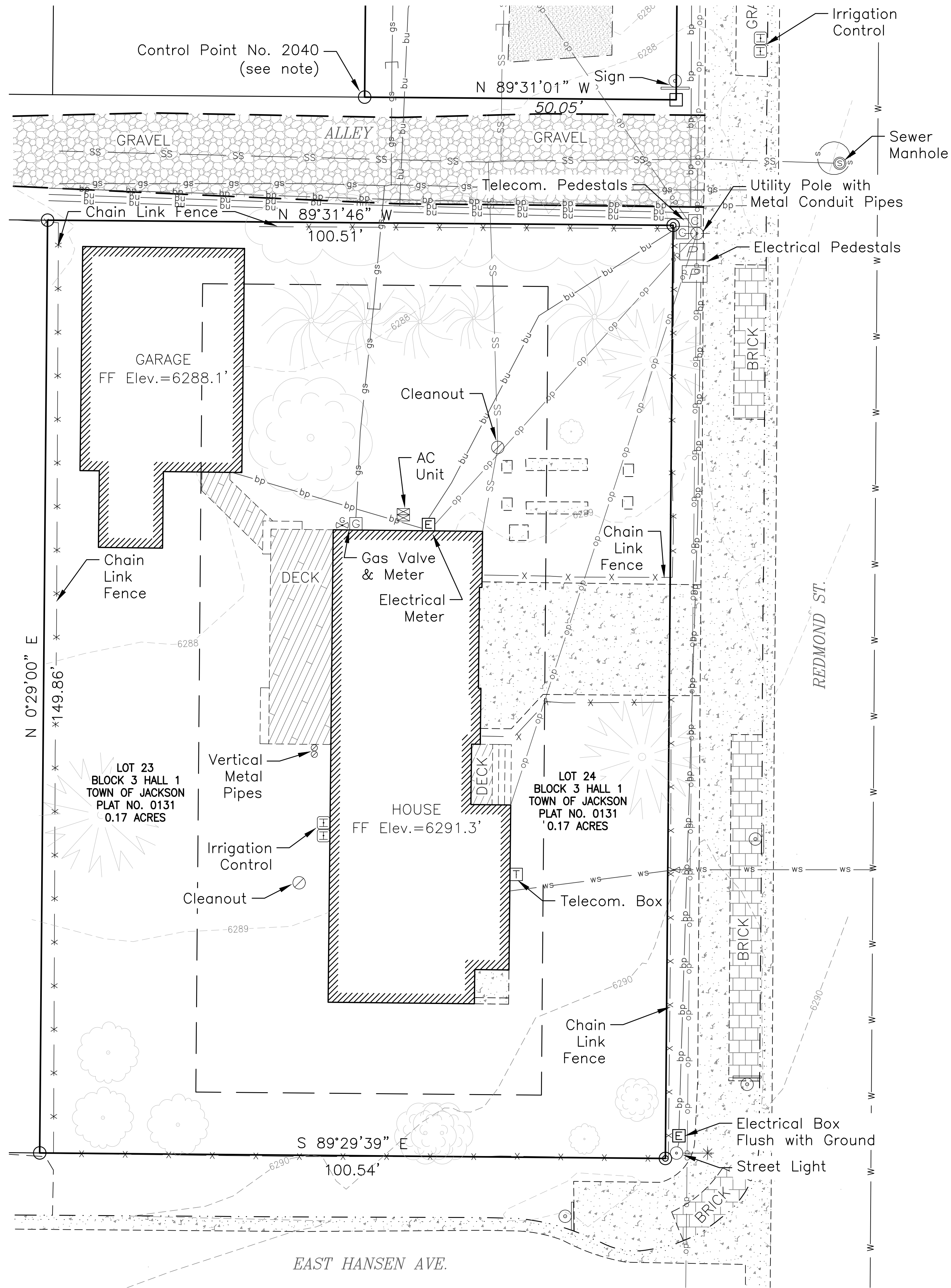
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C4.0  
TYPICAL DRIVEWAY SECTION  
SCALE: N.T.S.



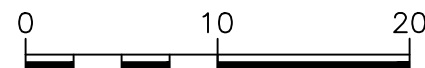
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		275 REDMOND STREET (WEST)				SURVEYED		Y2	
						ENGINEERED		BO	
						DRAWN		BO	
						CHECKED		JK	
						APPROVED		JK	
JOB NO		JACKSON, WY							
19-361-01									
				<b>NELSON ENGINEERING</b>					
				P.O. BOX 1599, JACKSON WYOMING (307) 733-2087					



S:\19-361\19-361-01\_Clipson Kids - Coll. Design\14 Drawings\EXISTING SITE PLAN - Dec 04 2019 03:40:03 pm PLOTTED BY: elson DWG: EXISTING SITE PLAN

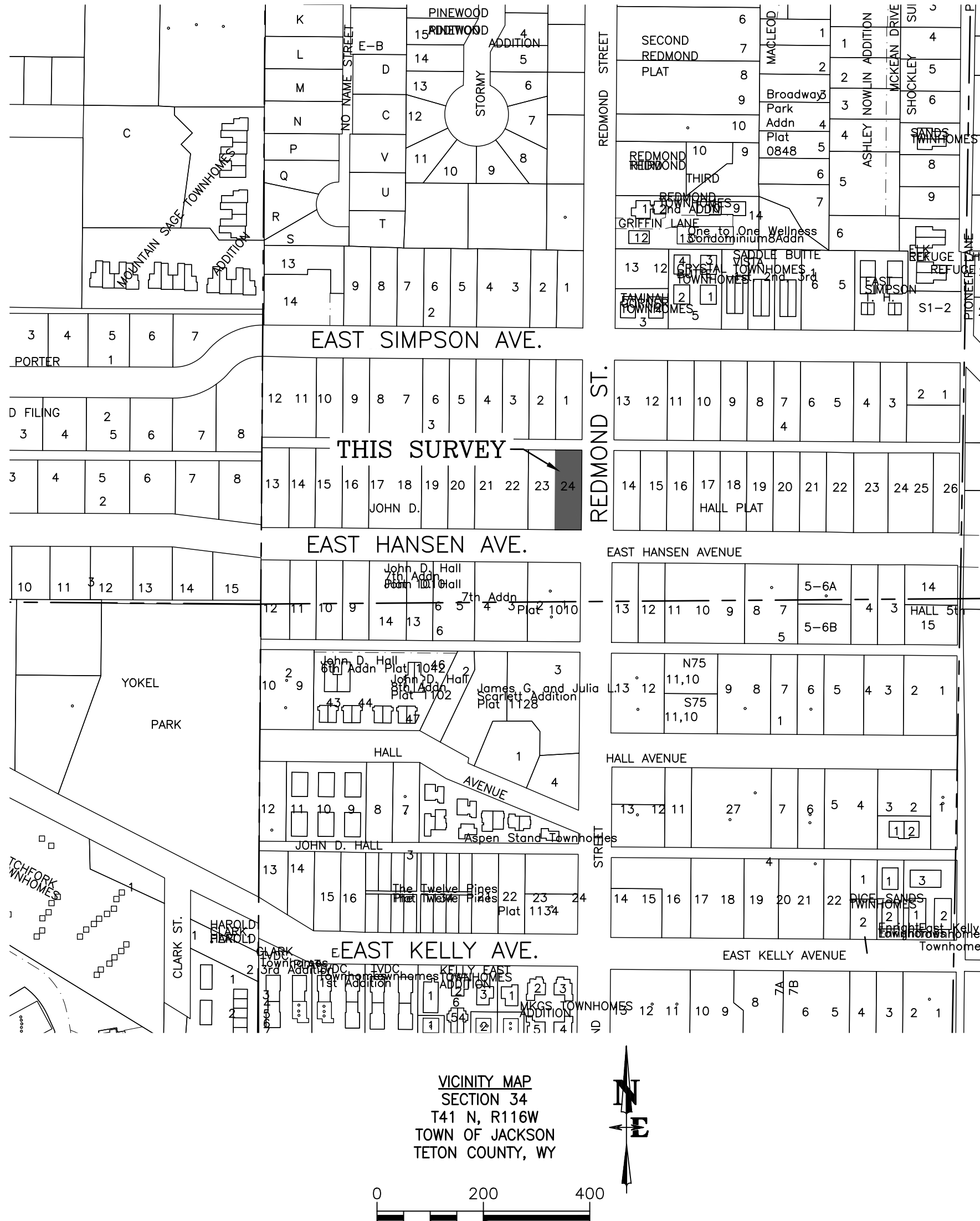


EXISTING SITE PLAN  
SCALE: 1" = 20' (12X18)



EXISTING SITE LEGEND	
	PROPERTY LINE
	EASEMENT
	BUILDING SETBACK
	INDEX CONTOUR
	MINOR CONTOUR
	BURIED POWER (APPROX. LOCATION)
	OVERHEAD POWER (APPROX. LOCATION)
	BURIED UTILITIES (APPROX. LOCATION)
	BURIED GAS SERVICE (APPROX. LOCATION)
	SEWER SERVICE (APPROX. LOCATION)
	FENCE
	WATER SERVICE (APPROX. LOCATION)
	ELECTRICAL TRANSFORMER
	SIGN
	SANITARY SEWER MANHOLE
	TELEPHONE PEDESTAL
	POWER POLE
	CURBSTOP
	GAS METER
	IRRIGATION CONTROL
	AC UNIT
	CLEANOUT
	GAS METER

Sheet List Table	
Sheet Number	Sheet Title
C1.0	EXISTING SITE PLAN
C1.1	DEMO PLAN
C2.0	FINAL SITE PLAN
C3.0	UTILITY PLAN
C3.1	UTILITY DETAILS
C4.0	GRADING DETAILS
C4.1	GRADING PLAN



DATE	REV.
4 DEC 2019	Y2
SURVEYED	BO
ENGINEERED	BO
DRAWN	JK
CHECKED	JK
APPROVED	JK

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ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

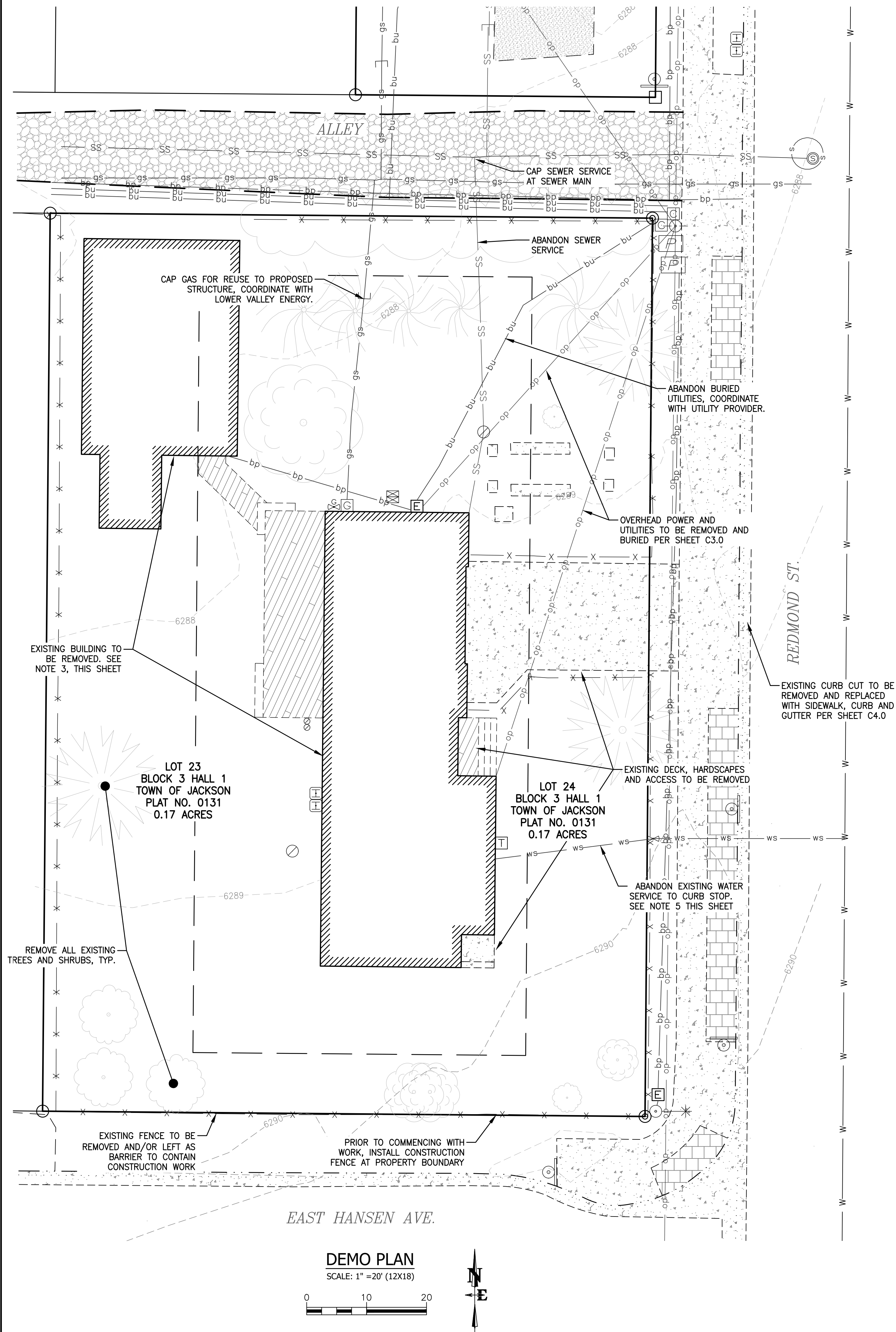
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**EXISTING SITE PLAN**

JOB TITLE  
SIMPSON KID MAGGIE RESIDENCE  
275 REDMOND STREET (EAST)  
JACKSON, WY

DRAWING NO  
C1.0  
JOB NO  
19-361-01

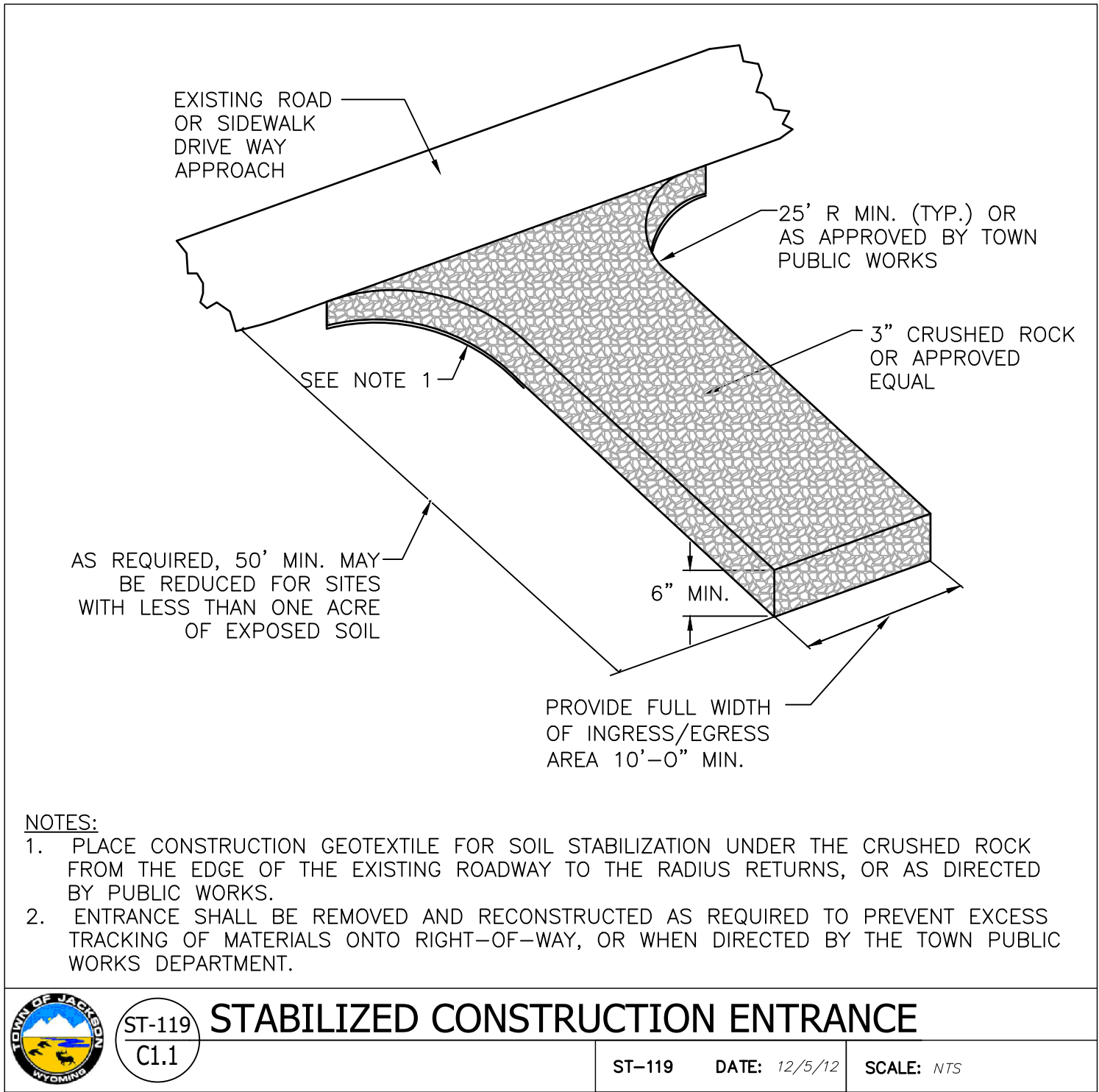


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DEMOLITION NOTES

- DEMOLITION ACTIVITIES SHALL OCCUR SPRING/SUMMER 2020.
- COMPLY WITH APPLICABLE SITE CONSTRUCTION NOTES ON SHEET C2.0.
- DEMOLITION WORK SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE APPROVED PERMIT AND IBC REGULATIONS. SALVAGE EXISTING WATER METER IN ACCORDANCE WITH NOTE 6 BELOW.
- CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES BY CONTACTING UTILITY PROVIDERS, CAMERA INSPECTION, LOCATING DEVICES/SERVICE, OR EXPLORATORY EXCAVATION.
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- OWNER SHALL BOND (WITH TOJ) FOR ABANDONMENT OF WATER AND SEWER SERVICES IN ACCORDANCE WITH THE DEMOLITION PERMIT.



DATE	4 DEC 2019	REV.
SURVEYED		Y2
ENGINEERED		B0
DRAWN		B0
CHECKED		JK
APPROVED		JK

**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

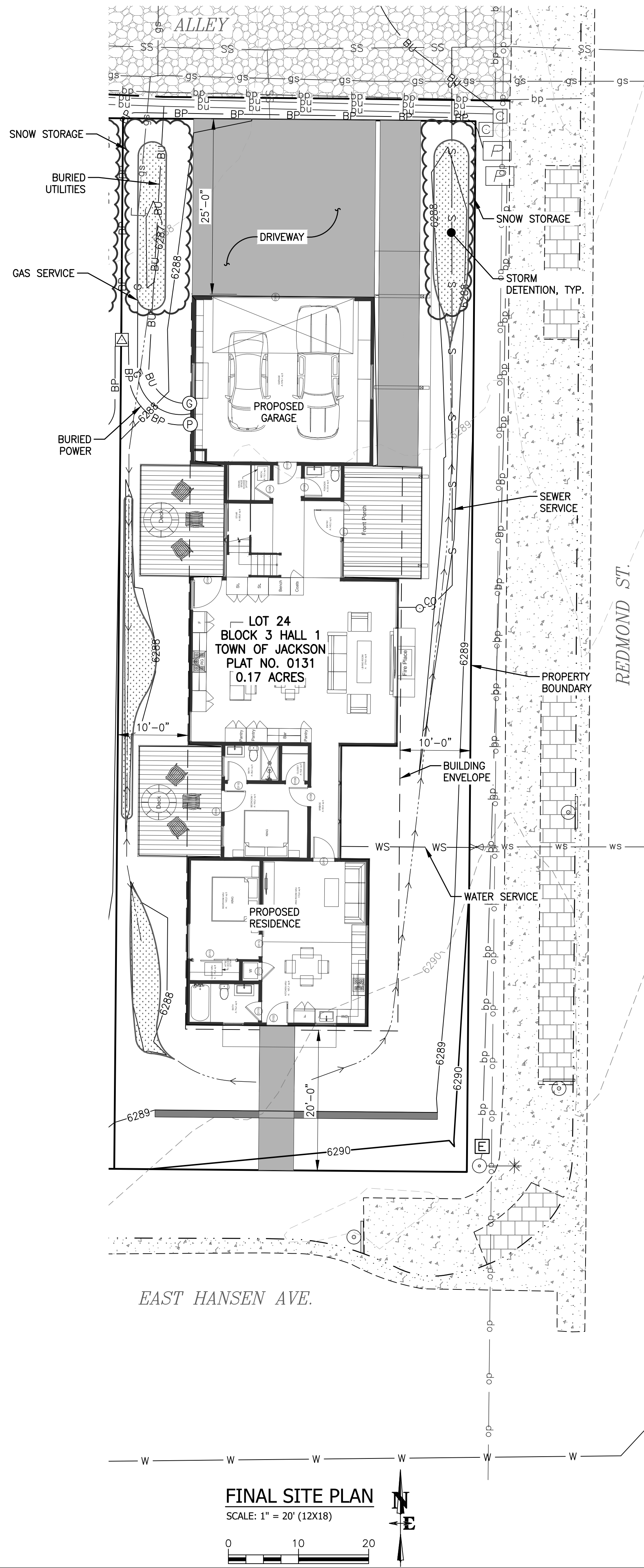
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**DEMO PLAN**

JOB TITLE  
SIMPSON KID MAGGIE RESIDENCE  
275 REDMOND STREET (EAST)  
JACKSON, WY

DRAWING NO  
C1.1  
JOB NO  
19-361-01



S:\Proj\2019\361-01\_Corson Kids - Coll Design\14 Final\Map\CHAMAGIE RESIDENCE.dwg CTMNL SITE PLANS - Dec 04 2019 03:50:07 pm RUTLEDGE BY: elson DWG: TDMAT: 230



### SITE CONSTRUCTION NOTES & SPECIFICATIONS

**CAUTION:** UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
- CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
- IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
- STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET ##### FOR STAGING AND STOCKPILING LOCATIONS.
- TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH AREAS. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
- NEW DRIVEWAY, SIDEWALK, CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO TOJ AND ADA STANDARDS. REPLACEMENT MATERIALS SHALL MATCH EXISTING. EXISTING SIDEWALKS SHALL BE MAINTAINED AND PROTECTED.
- IN ACCORDANCE WITH ####, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
- REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
- CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
- LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SUMMER 2019 THROUGH SUMMER 2021.
- CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
- FOLLOW GEOTECHNICAL REPORT RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.
- LANDSCAPING: ONE (1) PLANT UNIT IS REQUIRED; SEE LANDSCAPING PLANS. PER TOJ INSTALL BACKFLOW PREVENTION (REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER) ON IRRIGATION SYSTEMS CONNECTING TO PUBLIC WATER SUPPLY.
- CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION MANAGEMENT REQUIREMENTS:
  - CONSTRUCTION PARKING AND STAGING SHALL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTAGE. STAGING W/IN PUBLIC RIGHT-OF-WAYS IS PROHIBITED W/OUT AN ENCROACHMENT PERMIT.
  - STAGE MATERIALS AND EQUIPMENT WITHIN THE LOT BOUNDARY AND IN ACCORDANCE WITH SHEET ####. NO STAGING WITHIN PUBLIC RIGHT-OF-WAY IS ALLOWED.
  - TRACK-OUT OF DEBRIS ON PUBLIC ROADS IS PROHIBITED. PLACE GRAVEL SURFACING. TO MINIMIZE MUD ISSUES DURING CONSTRUCTION IN ACCORDANCE WITH ST-119/C1.1.
  - INSTALL CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET ####.
  - LOCATE AND PROVIDE TEMPORARY CONSTRUCTION FACILITIES INCLUDING TRAILERS, TOILETS, DUMPSTERS AND LOCATIONS FOR CONCRETE WASHOUT W/IN THE LOT BOUNDARY.
  - DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
- FINAL GRADING INSPECTION: PER TOJ, CONTRACTOR/OWNER SHALL ARRANGE FOR GRADING INSPECTION AND FINAL APPROVAL BY THE DESIGN ENGINEER FOR PLAN-LEVEL GEC's
- NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).

### TETON COUNTY WEED AND PEST MANAGEMENT STRATEGIES

#### PRE-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE TETON COUNTY WEED & PEST, OR OTHER QUALIFIED PROFESSIONAL, TO CONDUCT A SITE SPECIFIC INVENTORY OF INVASIVE SPECIES AND CREATE A SPECIES SPECIFIC MANAGEMENT PLAN IN ACCORDANCE WITH TETON COUNTY LDR 5.7.2.

#### ACTIVE CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

- ALL CONSTRUCTION EQUIPMENT TO BE CLEANED PRIOR TO ENTERING THE SITE.
- SOIL STOCKPILES TO BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
- DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT SHALL BE MINIMIZED.
- ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE KEPT ON ACTIVE MANAGEMENT USING THE CONTROL METHODS PRESCRIBED IN THE SPECIES SPECIFIC MANAGEMENT PLAN CREATED PRIOR TO CONSTRUCTION. THIS AREA SHALL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.

#### POST-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

- RE-VEGETATION TO OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT THE ESTABLISHMENT OF INVASIVE SPECIES IN DISTURBED AREAS.
- NURSERY STOCK SHALL BE IN ACCORDANCE WITH W.S. 11-9-101 - 109 (WYOMING NURSERY STOCK LAW), ACCOMPANIED BY A VALID HEALTH CERTIFICATE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE. SEEDS SHALL BE IN ACCORDANCE WITH W.S. 11-12-101 - 125 (WYOMING SEED LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE.
- CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL SHALL BE UTILIZED WHERE POSSIBLE.
- TCWP TO BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.

DRAWING TITLE  
FINAL SITE PLAN

JOB TITLE  
SIMPSON KID MAGGIE RESIDENCE  
275 REDMOND STREET (EAST)  
JACKSON, WY

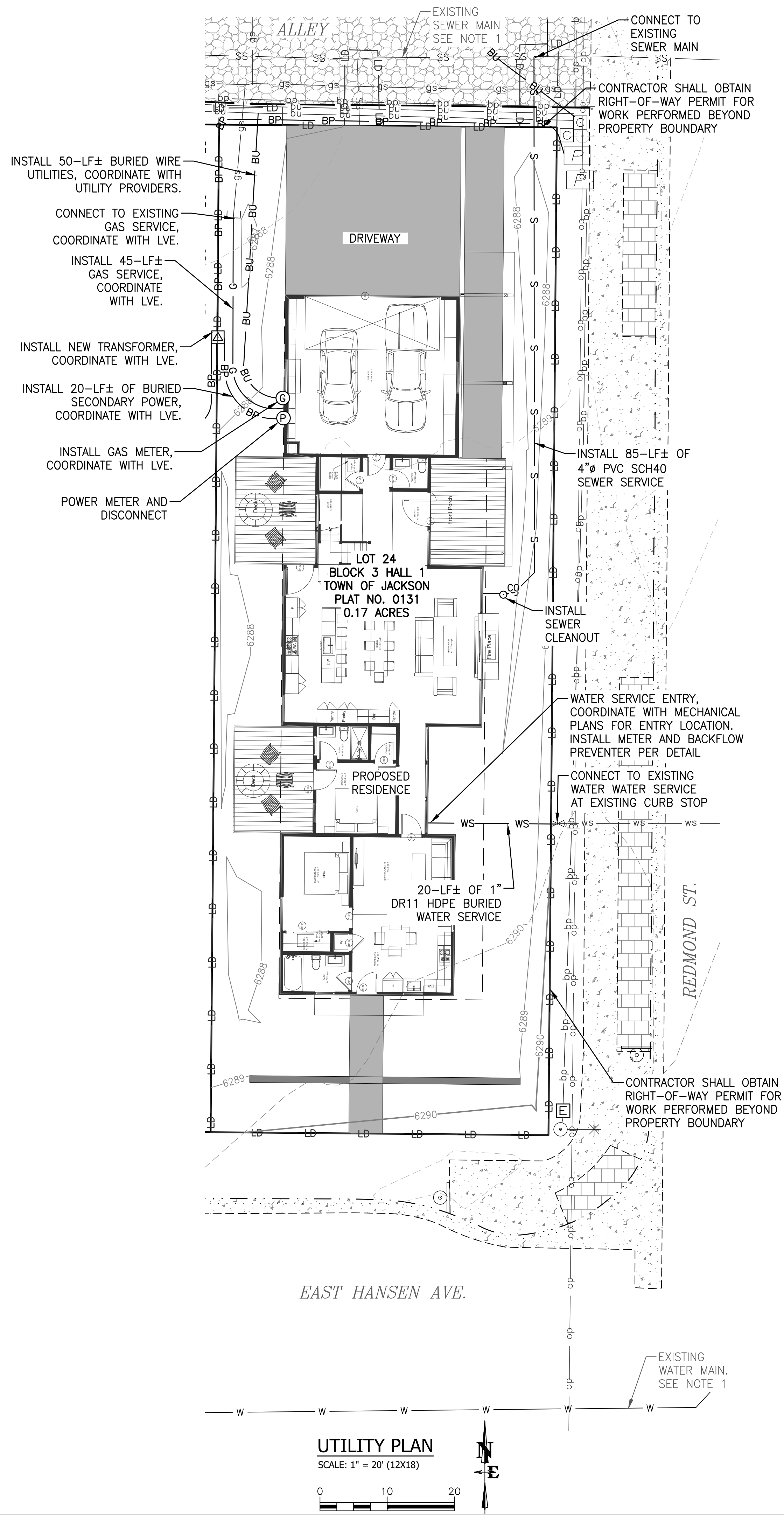
DRAWING NO  
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JOB NO  
19-361-01

DATE	4 DEC 2019	REV.
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**NELSON  
ENGINEERING**  
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



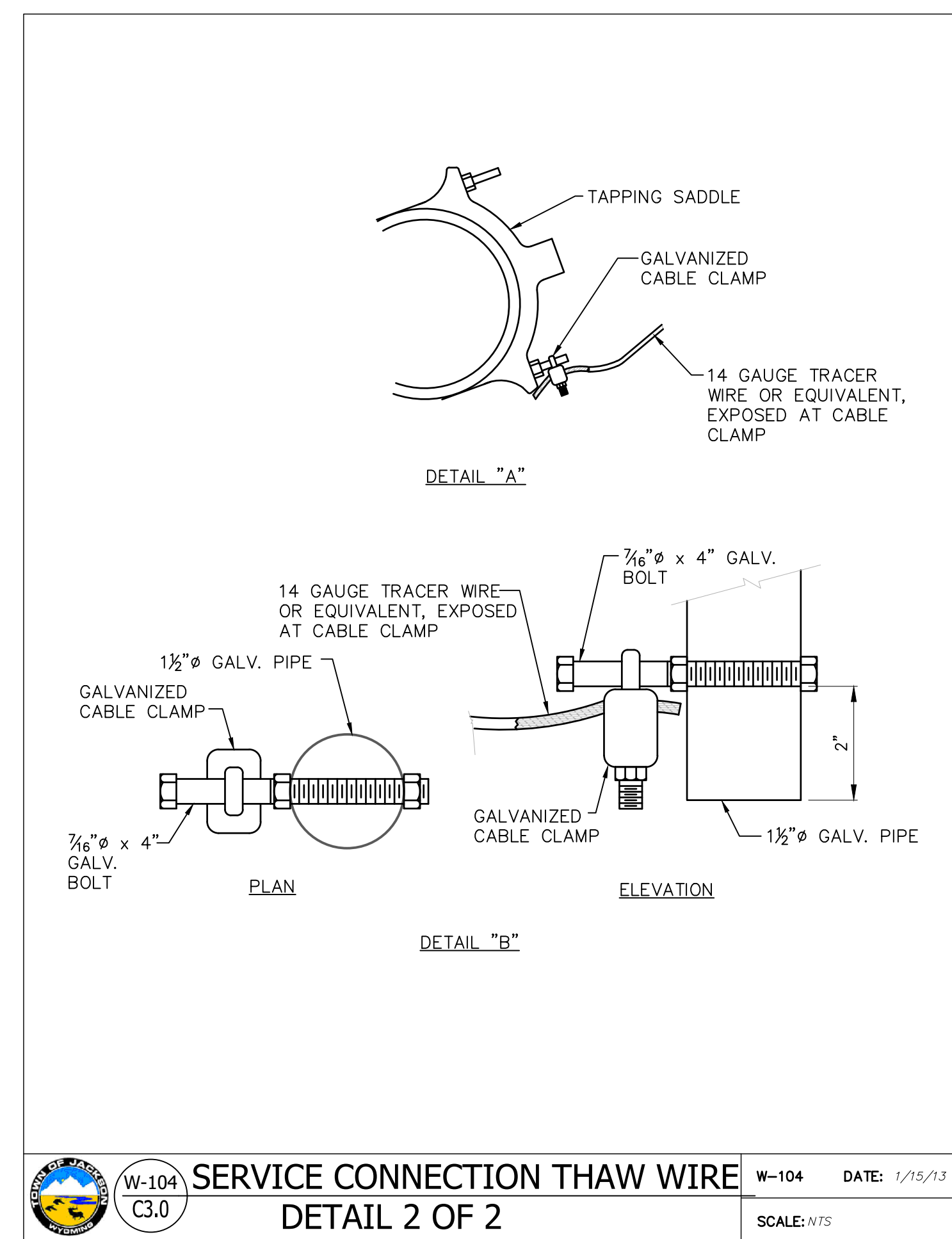
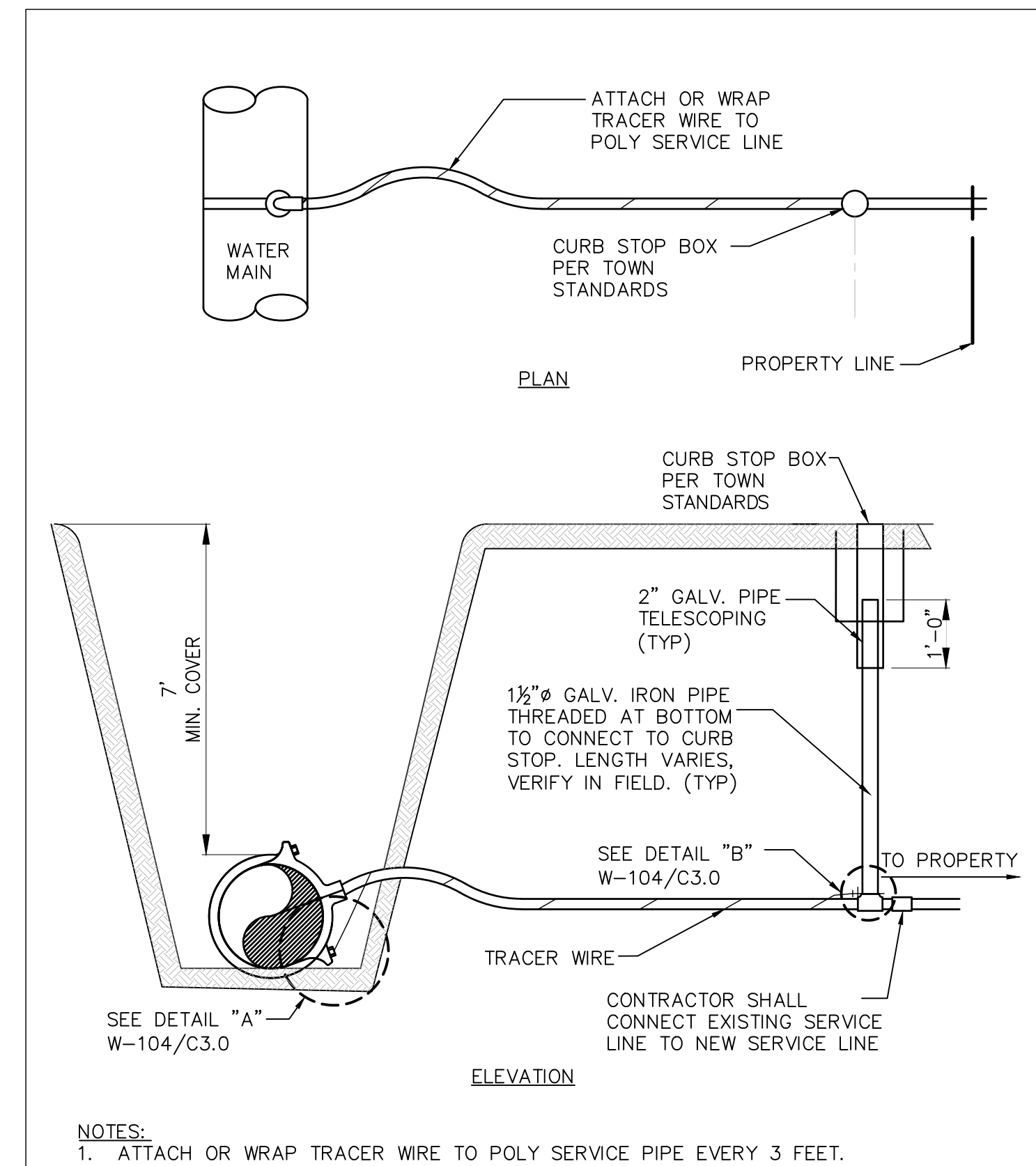
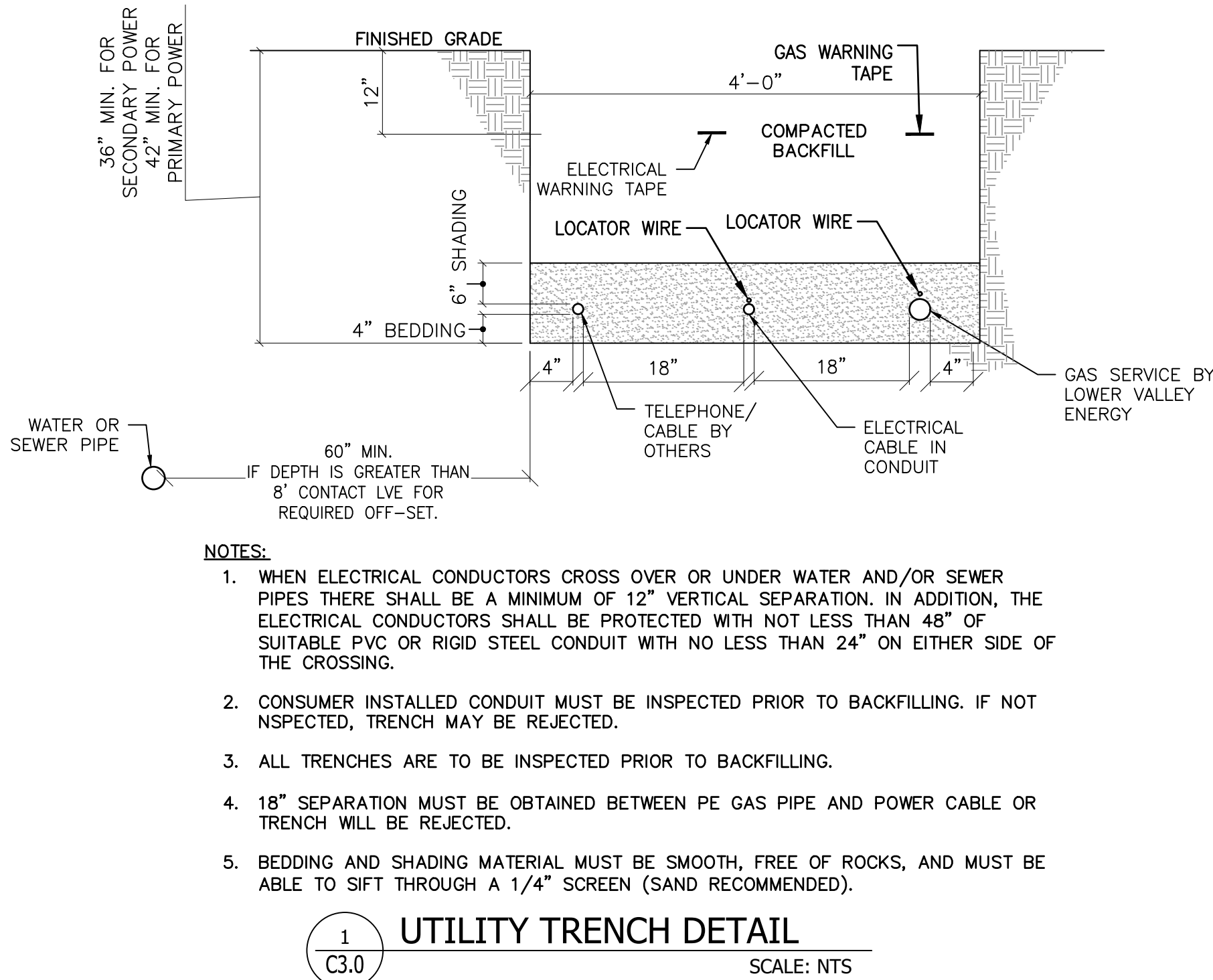
S:\Projects\2019\361-01\_Caspern Kids - Coll. Design\14 Drawings\CH\MAGGIE RESIDENCE.dwg UTILITY PLAN - Dec 04 2019 03:25:39 pm PLOTTED BY: daron DWG FORMAT: 23.0



#### UTILITY NOTES:

##### SPECIAL PROVISIONS TO WPCSS (2015) – UTILITIES

- WATER SERVICE PIPE SHALL BE SDR11 POLYETHYLENE.
  - WATERLINE SHALL BE BURIED WITH A MINIMUM OF SIX FEET OF COVER.
  - GRAVITY SEWER PIPE SHALL BE 4"Ø ASTM D2665 SCH40 PVC.
  - MINIMUM SEWER PIPE GRADE SHALL BE 2%, UNLESS OTHERWISE NOTED.
  - INSULATE ALL WATER AND SEWER PIPES WITH LESS THAN 6' BURY OF BURY.
- LOCATION AND CONNECTION REQUIREMENTS FOR WATER AND SEWER SERVICES ARE UNKNOWN. CONTRACTOR SHALL SEEK INPUT FROM THE TOWN TO DETERMINE PROBABLE LOCATIONS FOR CONNECTION. CONTRACTOR MAY BE REQUIRED TO PERFORM EXPLORATORY EXCAVATION TO LOCATE EXISTING UTILITIES.
  - CONTRACTOR SHALL VERIFY WITH TOJ THAT EXISTING UTILITIES ARE SUITABLE FOR CONTINUED USE. CAP EXISTING SERVICE AT MAIN AND INSTALL NEW IF EXISTING SERVICES ARE NOT SUITABLE. COMPLY WITH NOTE #, SHEET #####.



12-4-19 PAP SET

DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED	REV.
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UTILITY PLAN

JOB TITLE

SIMPSON KID MAGGIE RESIDENCE

JOB NO

19-361-01

DRAWING NO

C3.0

JOB NO

19-361-01

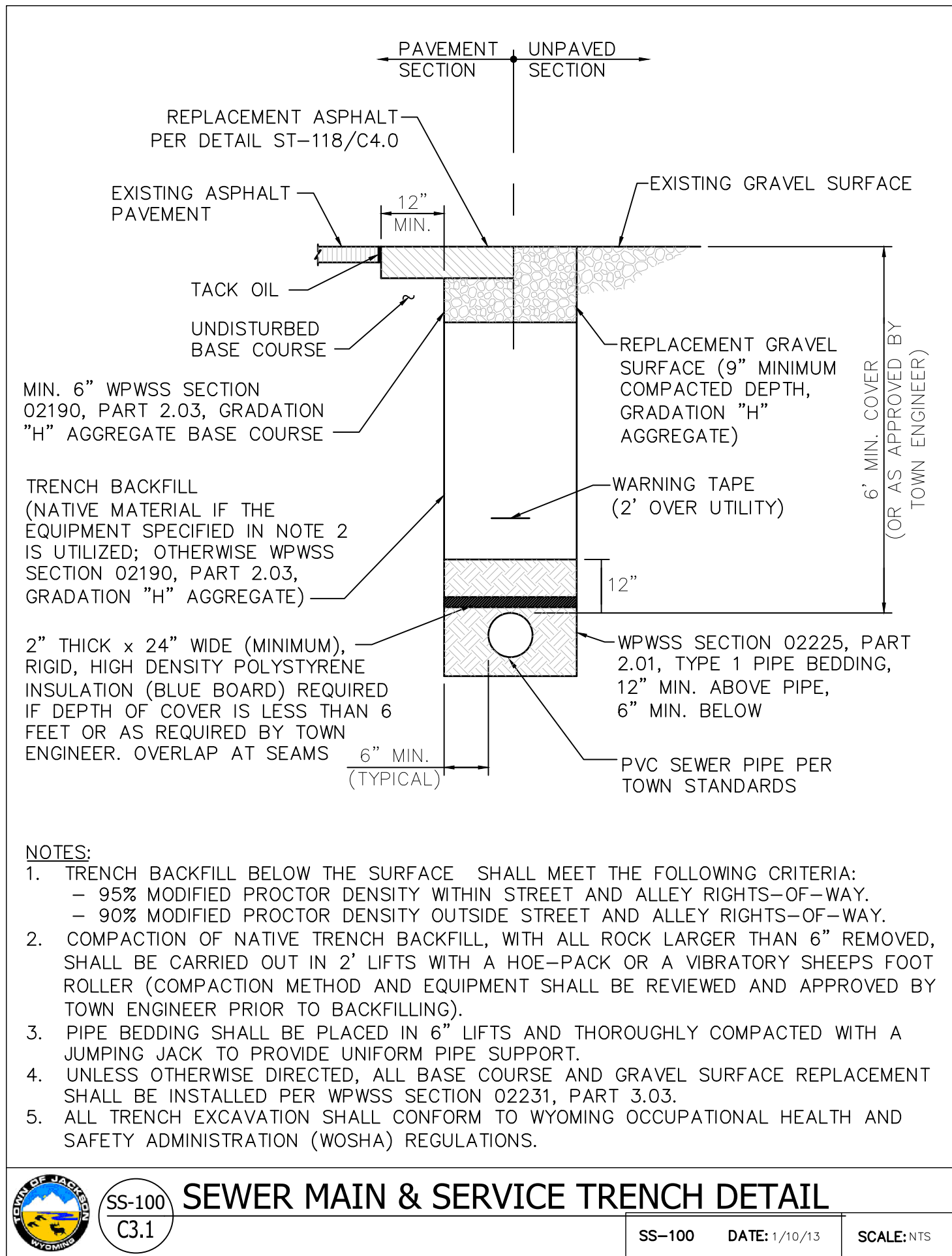
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ENGINEERING

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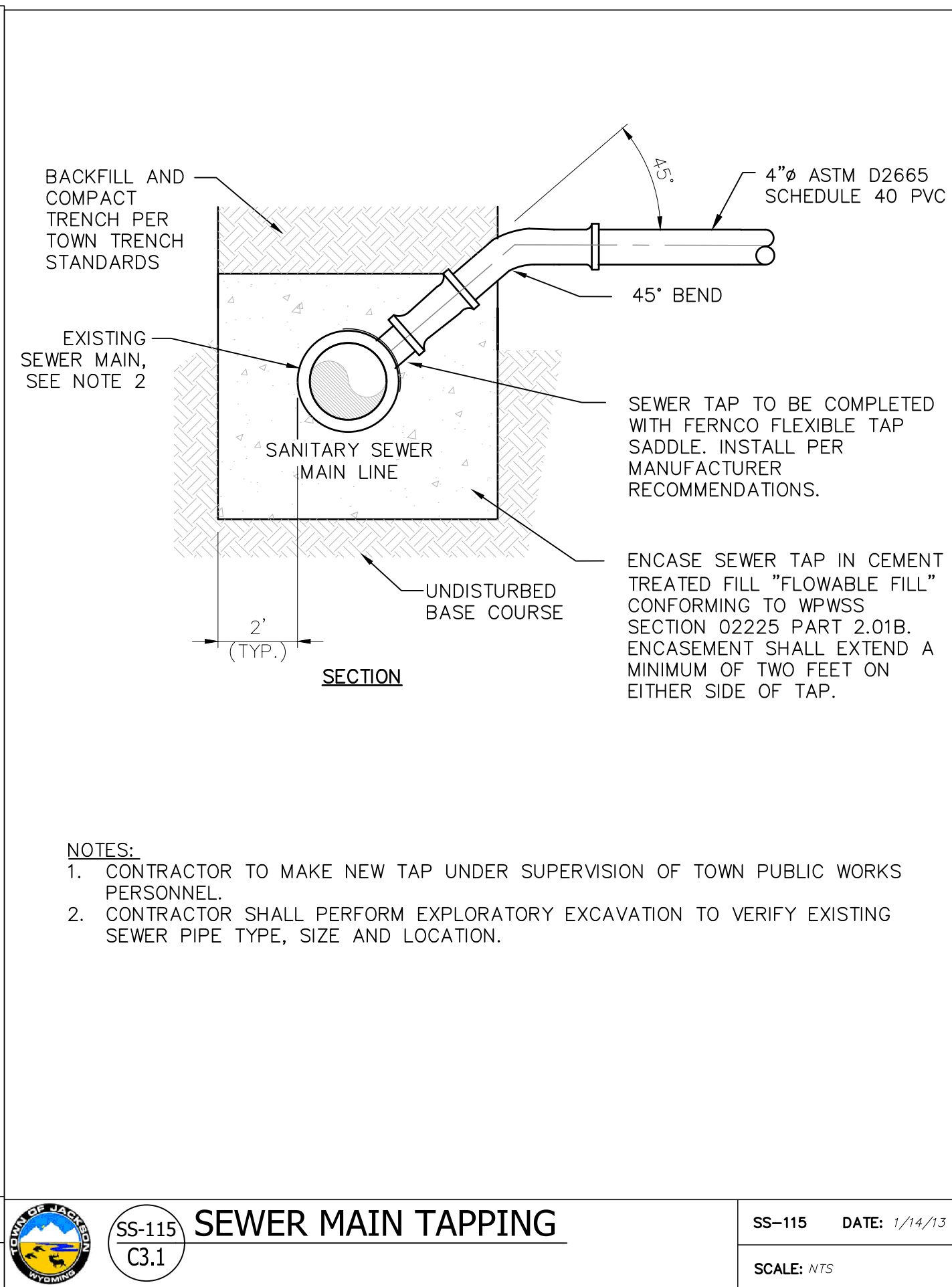


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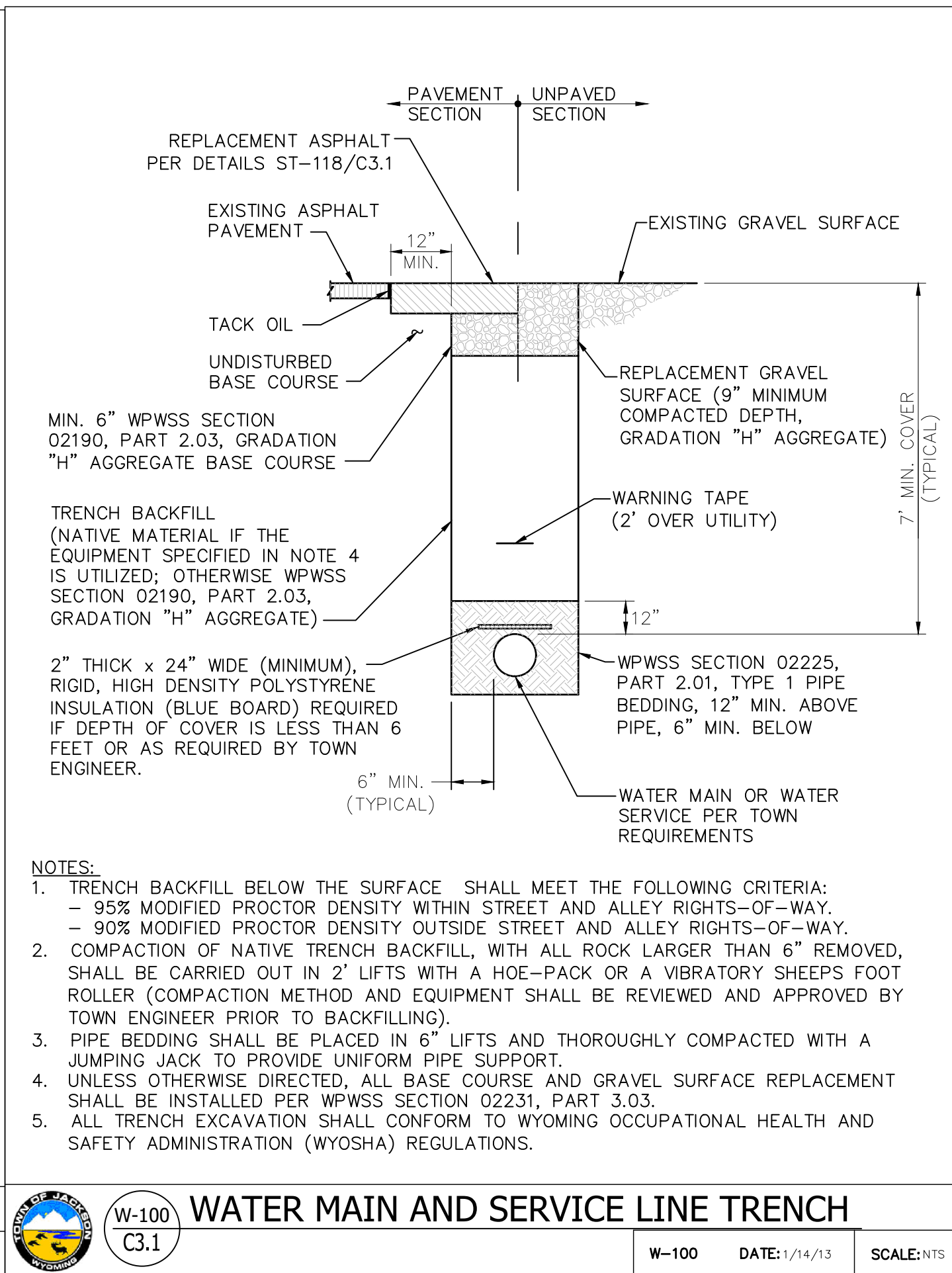
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SS-100 DATE: 1/10/13 SCALE: NTS



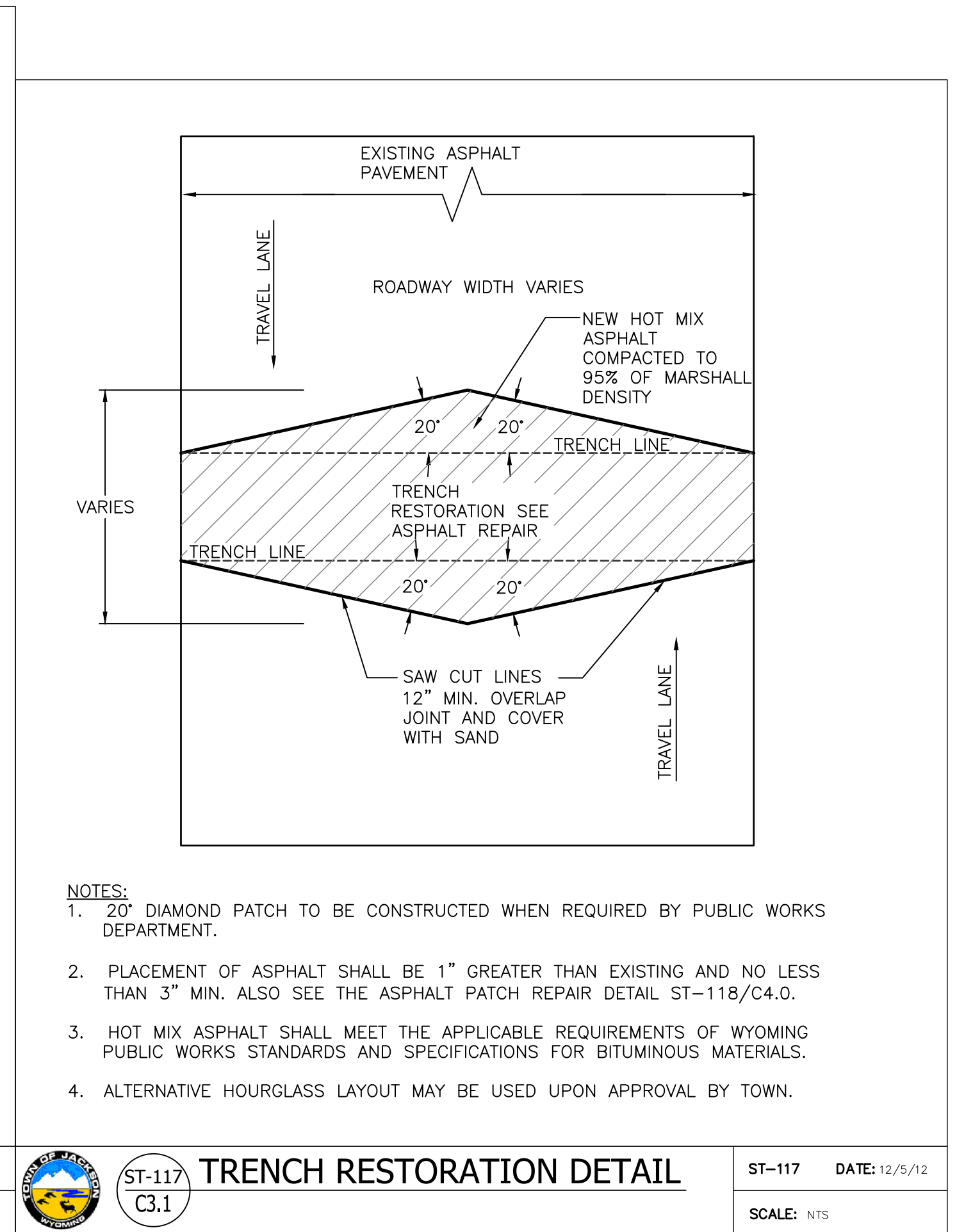
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SS-115 DATE: 1/14/13 SCALE: NTS



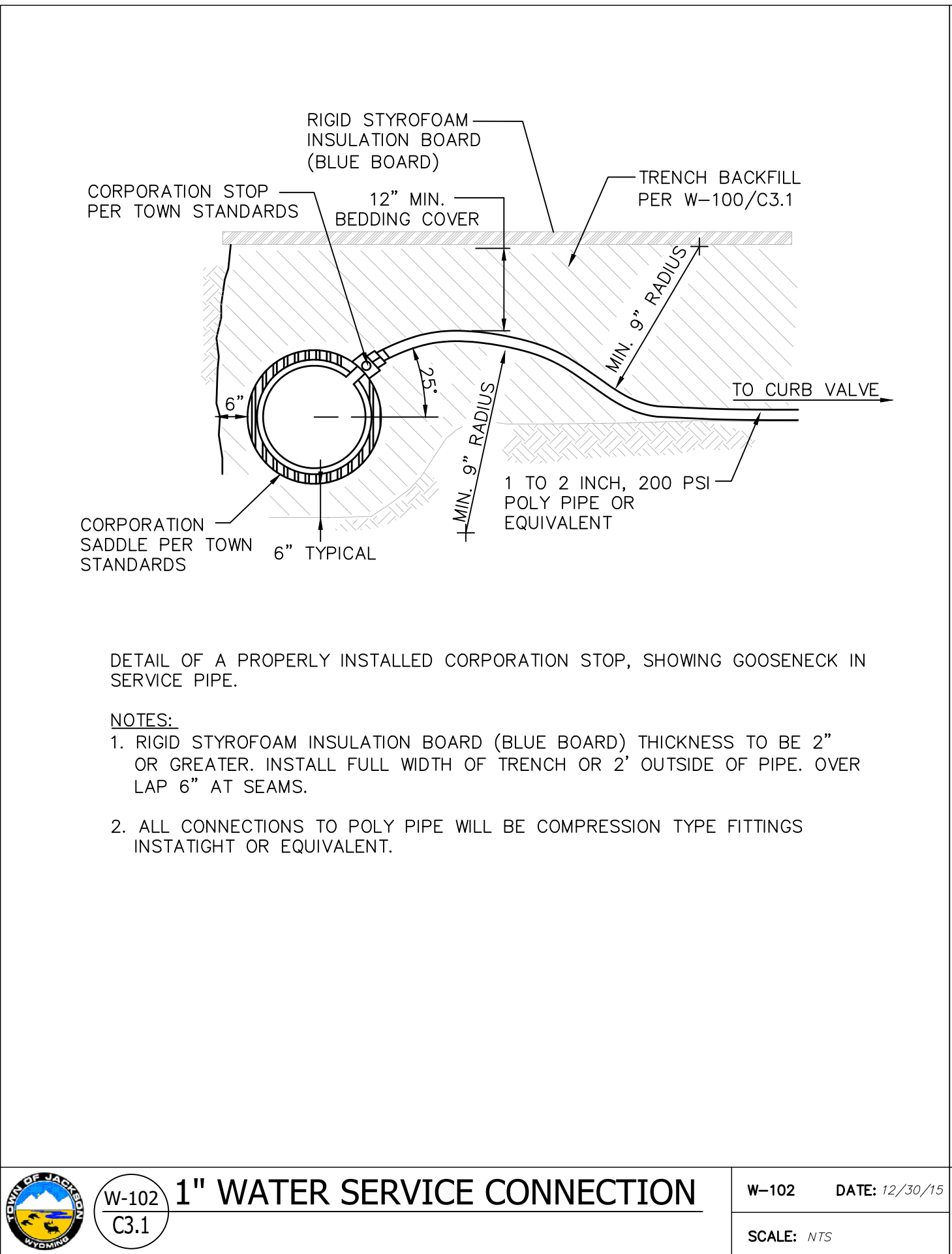
**W-100 C3.1 WATER MAIN AND SERVICE LINE TRENCH**

W-100 DATE: 1/14/13 SCALE: NTS



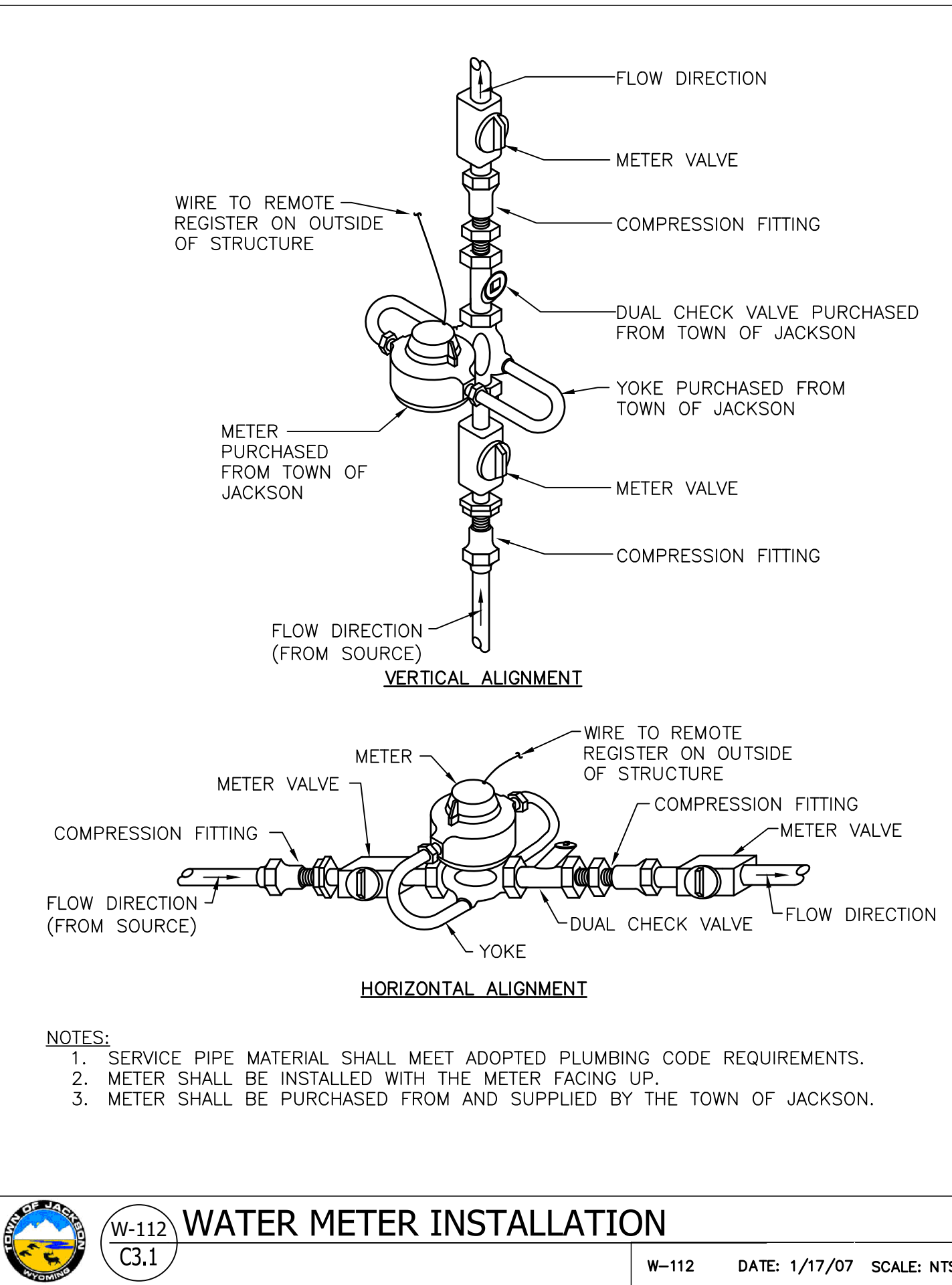
**ST-117 C3.1 TRENCH RESTORATION DETAIL**

ST-117 DATE: 12/5/12 SCALE: NTS



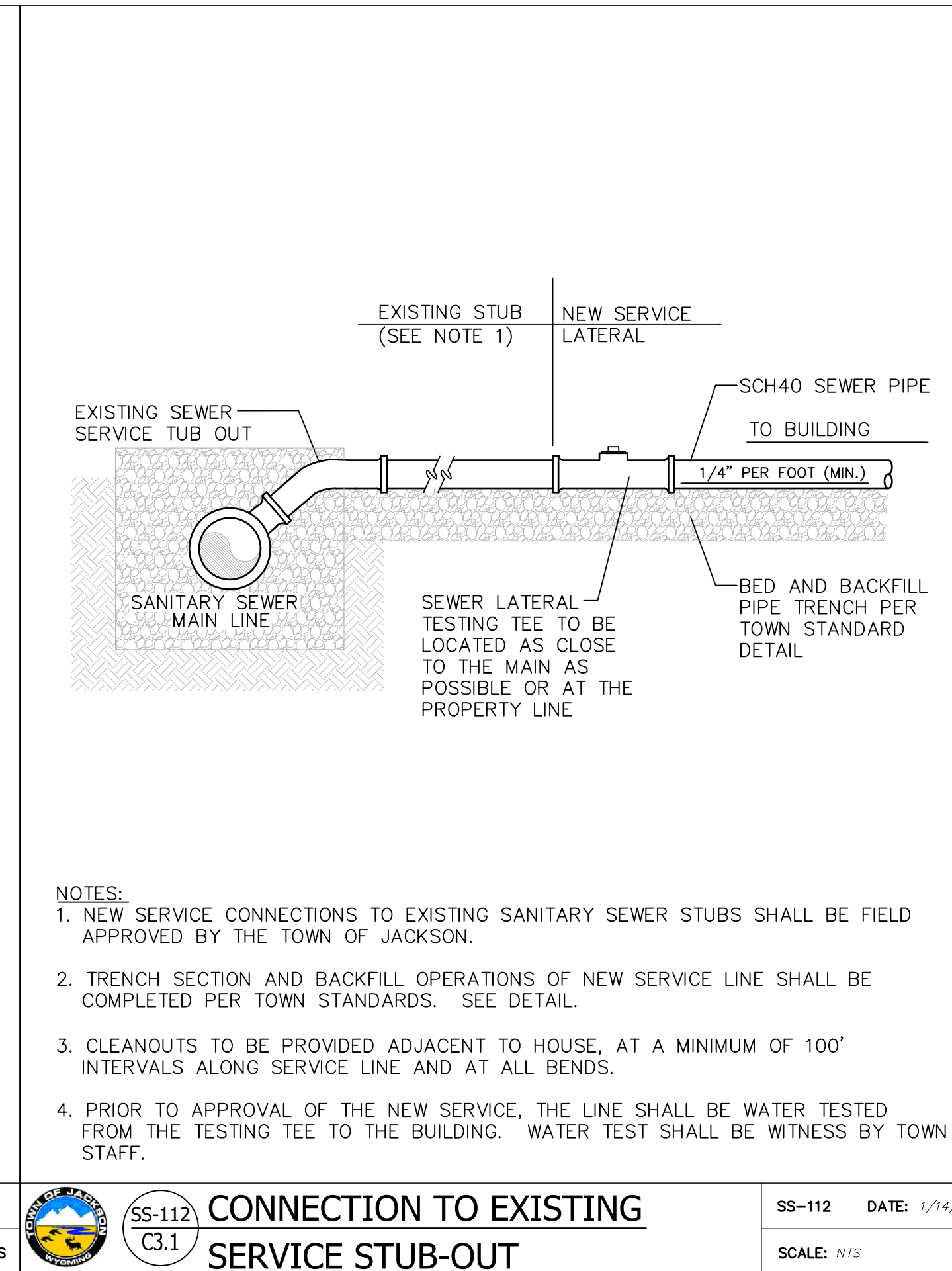
**W-102 C3.1 1" WATER SERVICE CONNECTION**

W-102 DATE: 12/30/15 SCALE: NTS



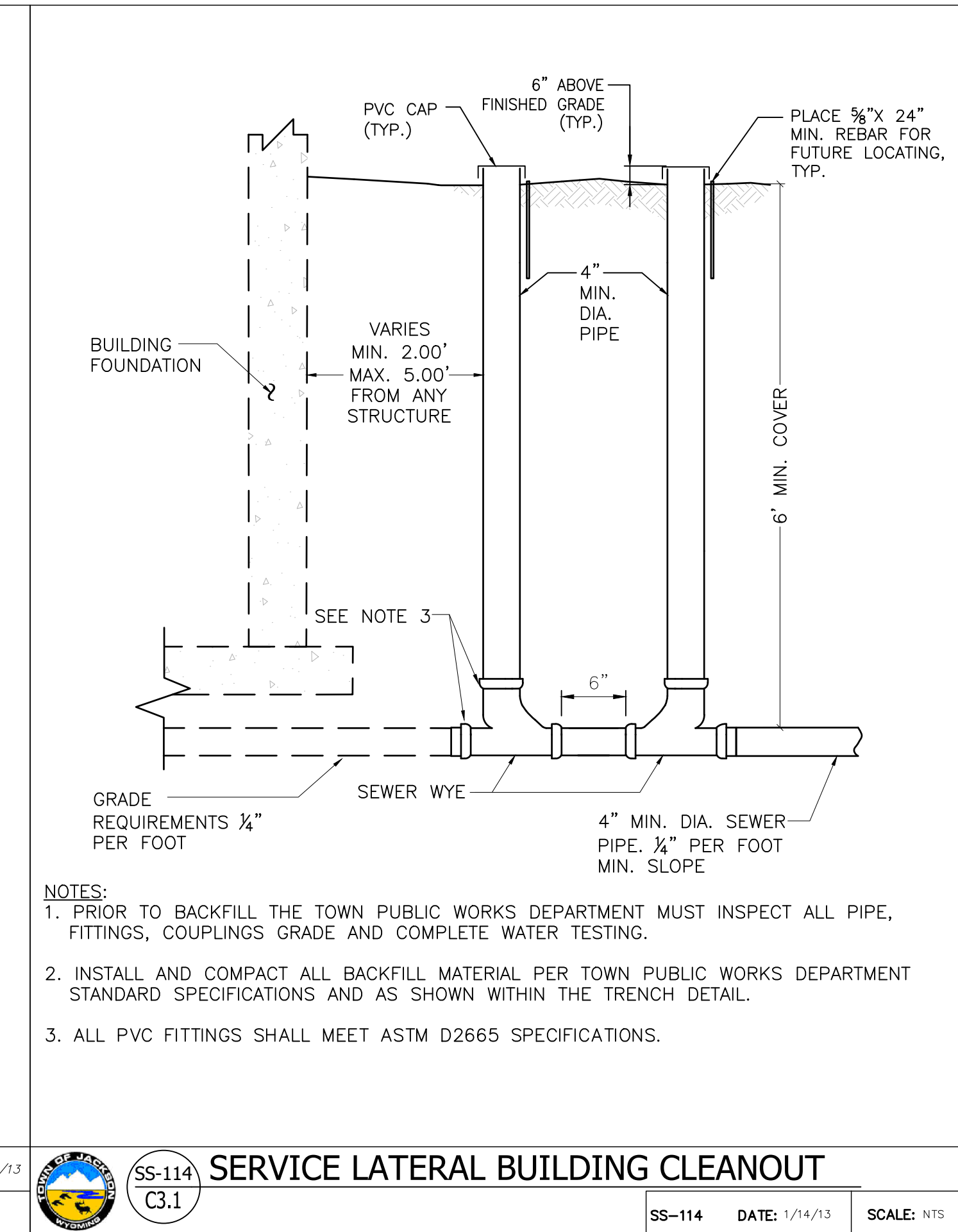
**W-112 C3.1 WATER METER INSTALLATION**

W-112 DATE: 1/17/07 SCALE: NTS



**SS-112 C3.1 CONNECTION TO EXISTING SERVICE STUB-OUT**

SS-112 DATE: 1/14/13 SCALE: NTS



**SS-114 C3.1 SERVICE LATERAL BUILDING CLEANOUT**

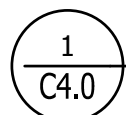
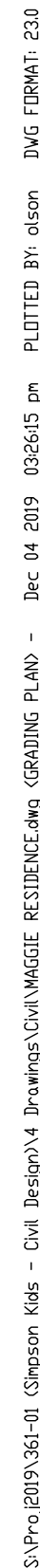
SS-114 DATE: 1/14/13 SCALE: NTS

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			DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	
C3.1	19-361-01	SIMPSON KID MAGGIE RESIDENCE 275 REDMOND STREET (EAST) JACKSON, WY	4 DEC 2019	Y2	BO	BO	JK	JK

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ENGINEERING**

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087





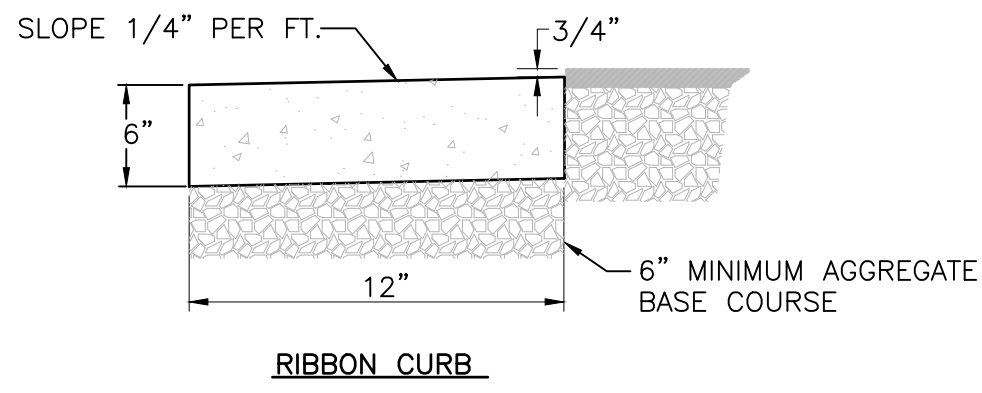
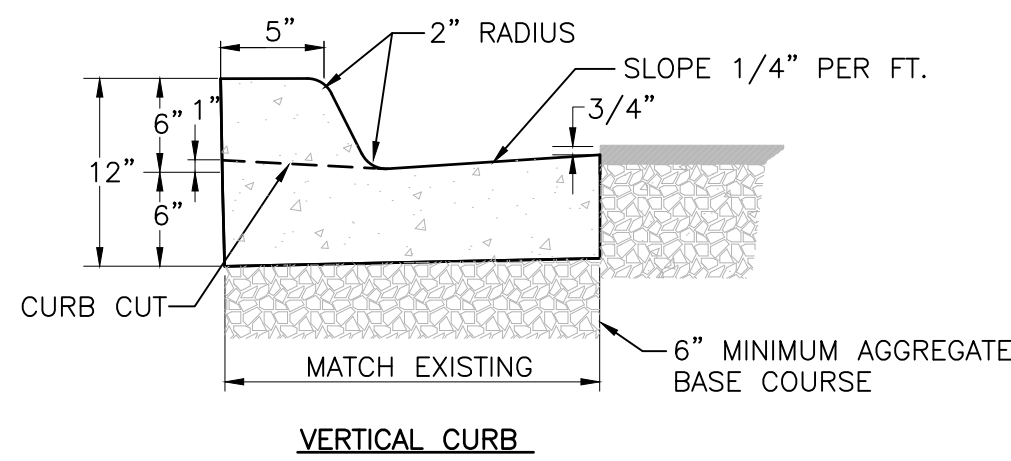
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JOB NO  
**19-361-01**



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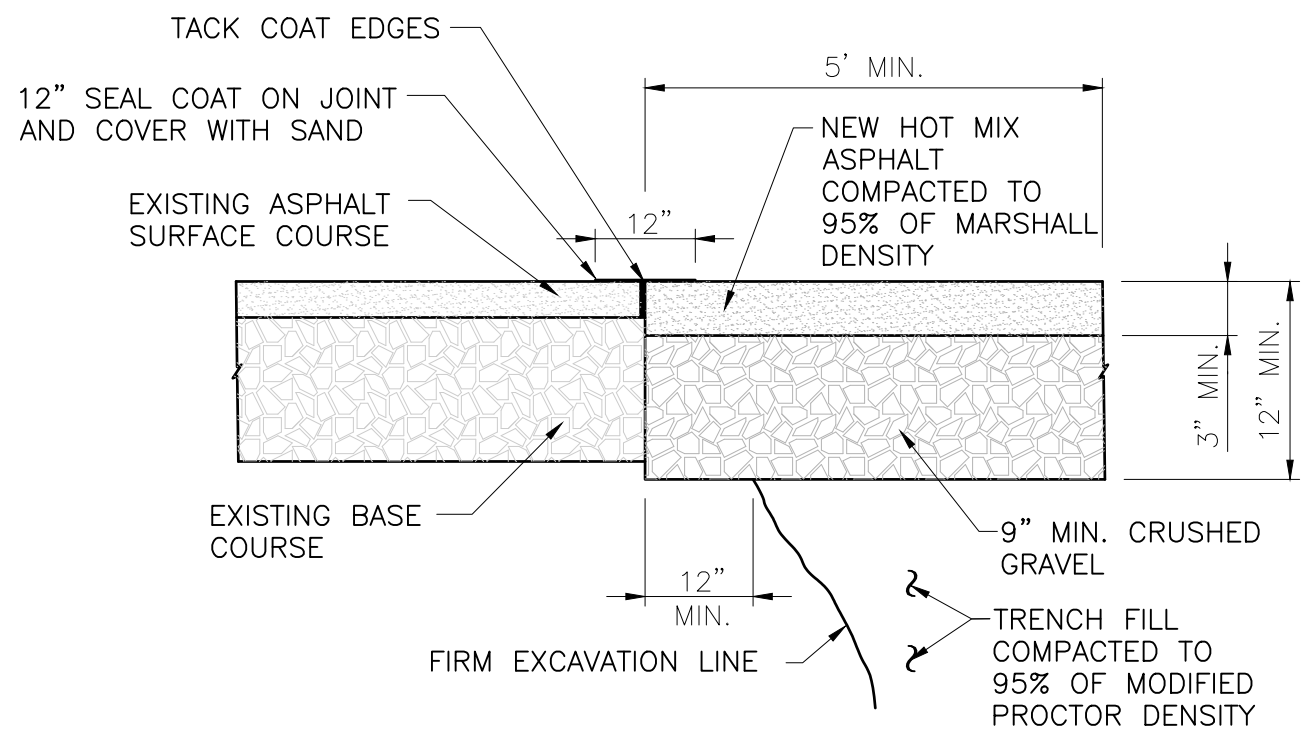


- NOTES:
- CURBS SHALL CONFORM TO WPSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.07.
  - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
  - REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
  - ROLL CURB SHALL NOT BE ALLOWED.

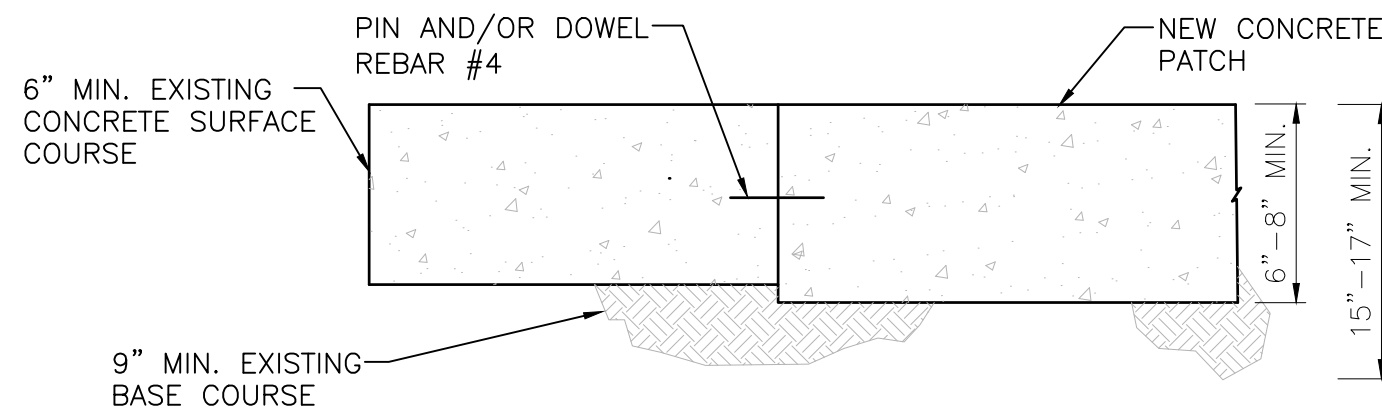


ST-110  
C4.1 CURB SECTIONS

ST-110 DATE: 12/4/12  
SCALE: NTS



BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS

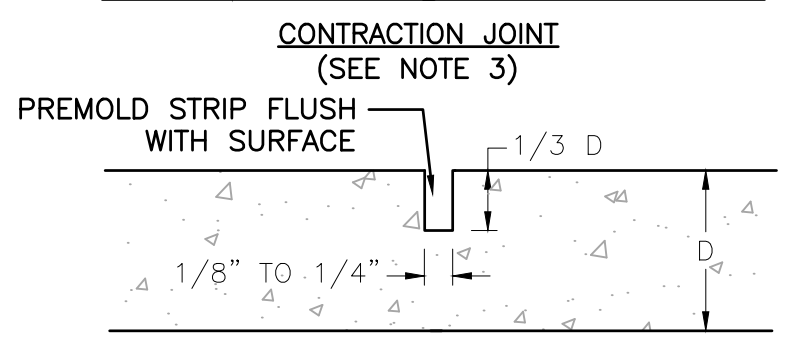
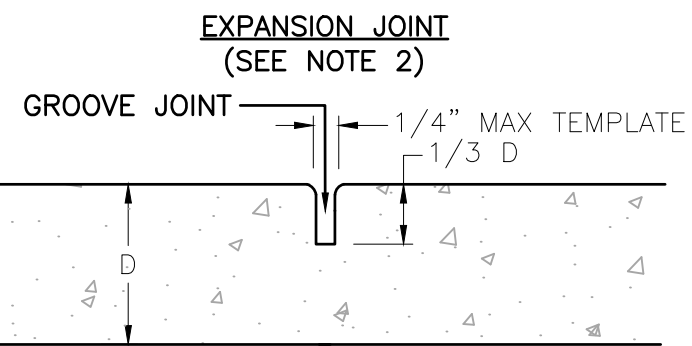
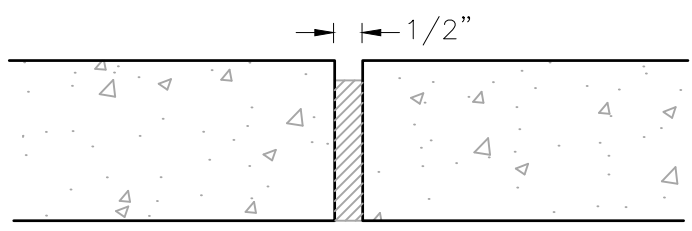
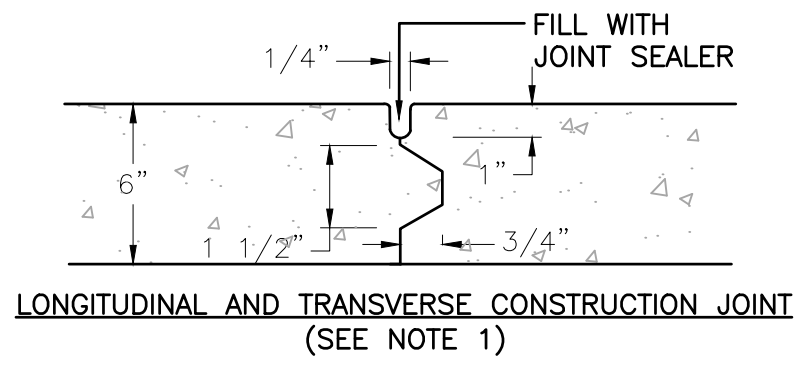


- NOTES:
- REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
  - ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
  - PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.



ST-118  
C4.1 PATCH REPAIR SECTION  
TOJ STD DETAIL

ST-118 DATE:  
SCALE:



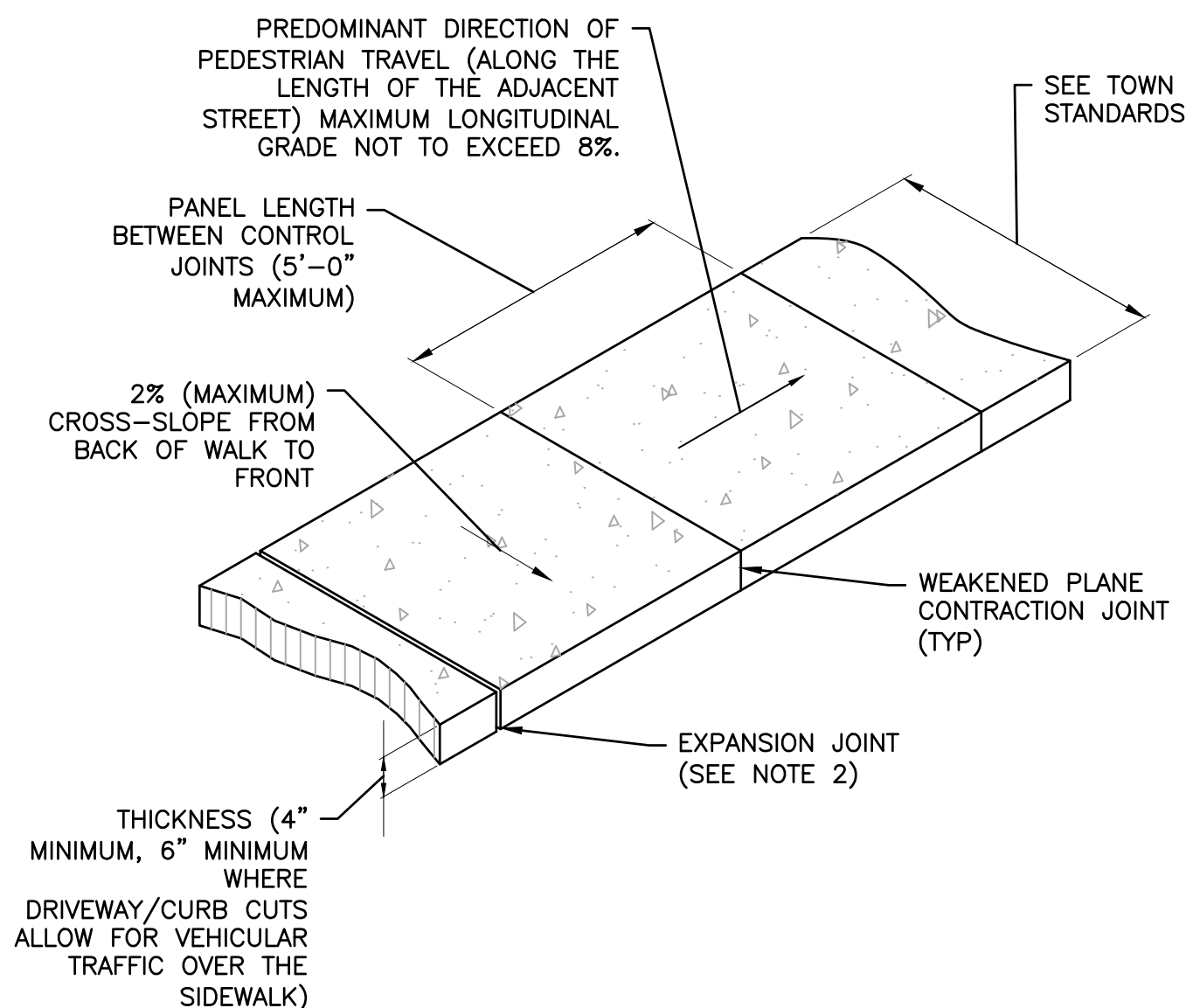
SAWED OR PREMOLDED STRIP LONGITUDINAL OR TRANSVERSE JOINT

- NOTE:
- KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
  - 1/2" PREMOLDED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 300' ON LONG STRAIGHT CONCRETE STRETCHES.
  - FORM WITH TEMPLATE OR SAWCUT JOINTS. IF SAWCUT JOINTS ARE USED, THEY SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
  - JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.



ST-123  
C4.1 PAVING & CONCRETE JOINT DETAILS

ST-123 DATE: 12/6/12  
SCALE: NTS

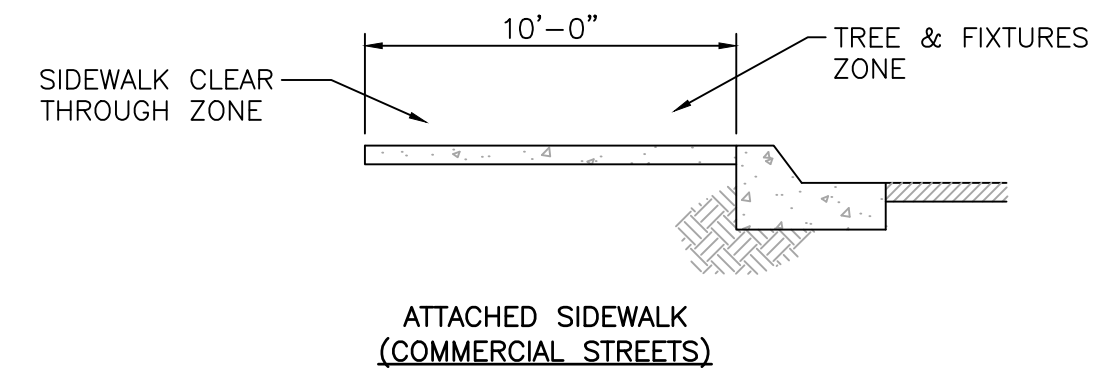
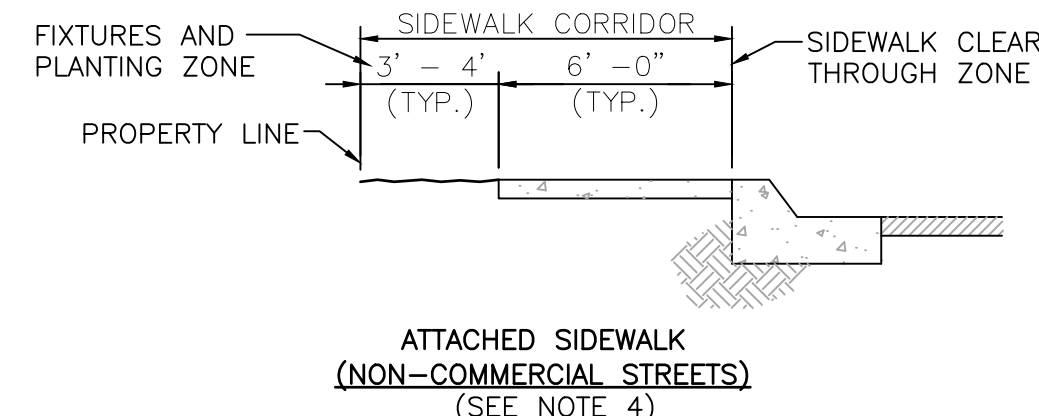
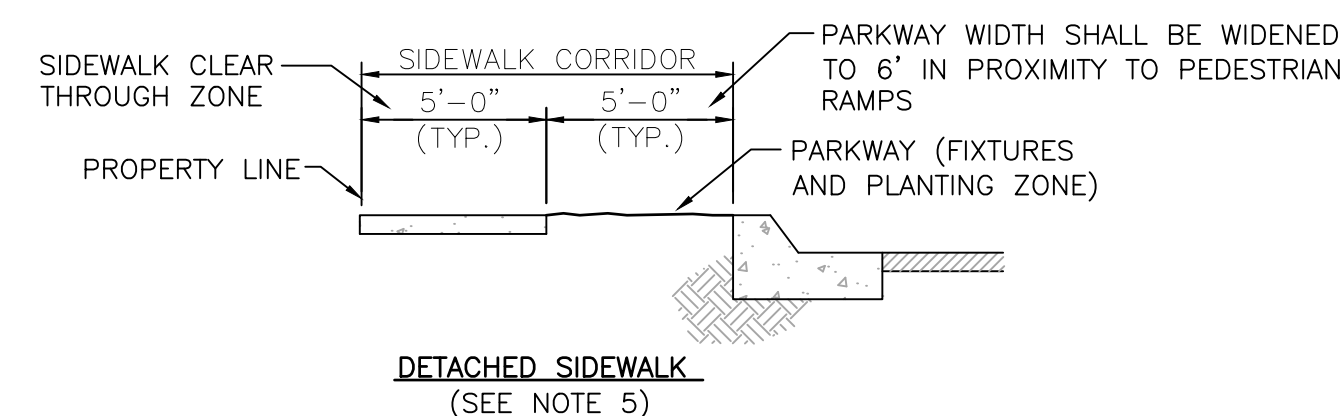


- NOTES:
- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.07.
  - EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
  - FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
  - REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
  - AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.



ST-127  
C4.1 CONCRETE SIDEWALK

ST-127 DATE: 12/7/12  
SCALE: NTS



- NOTES:
- SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS
  - SIDEWALK, PEDESTRIAN RAMPS AND CURB & GUTTER CONSTRUCTION SHALL BE PER TOWN STANDARDS
  - WITHIN THE TOWN'S BOARDWALK DISTRICT, BOARDWALK (RATHER THAN SIDEWALK) SHALL BE INSTALLED.
  - MINIMUM CLEARANCE AROUND ALL OBSTRUCTIONS SHALL BE 5'-0"
  - ON NON-COMMERCIAL STREETS DETACHED SIDEWALK SHALL BE THE PREFERRED OPTION. IN ORDER TO MAINTAIN THE CLEAR THROUGH ZONE, THE FIXTURES ZONE SHALL BE WHERE FIRE HYDRANTS, UTILITY POLES, GUY WIRES, PULL BOXES, NEWSPAPER BOXES, PHONE BOOTHS, AND OTHER SUCH OBSTRUCTIONS ARE LOCATED.



ST-128  
C4.1 SIDEWALK CORRIDOR  
TOJ STD DETAIL

ST-128 DATE:  
SCALE:

DATE: 4 DEC 2019

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## LETTER OF AUTHORIZATION

275 Redmond, LLC, "Owner" whose address is: 207 High Point Drive, Building 100, Victor, NY 14564-1061

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Zack Stern, as the owner of property more specifically legally described as: 275 Redmond Street

Lots 23 & 24, Block 3, Hall 1; PIDN 22-41-16-34-1-20-016

(If too lengthy, attach description)

HEREBY AUTHORIZES New West Building Company or Farmer Payne Architects as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: managing partner

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming )  
COUNTY OF Teton )SS.

The foregoing instrument was acknowledged before me by Zack Stern this 16 day of October, 2019.

WITNESS my hand and official seal.

(Notary Public)

My commission expires:

