



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: December 5, 2019	REQUESTS:
Item #: P19-281	
Planner: Brendan Conboy	The applicant is submitting a request for a Grading Pre-Application for the property located 275 Redmond Street legally known as, LOT 23, BLK. 3, Hall 1.
Phone: 733-0440 ext. 1302	For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Fax: 734-3563	
Email: bconboy@jacksonwy.gov	<p>Please have the grading pre-app for P19-180 and P19-181 at the same time because both applications have the same owner and applicant.</p>
Owner: 275 Redmond, LLC 207 High Point Dr BLDG 100 Victor, NY 14564-1061	
Applicant: Jamie Farmer PO Box 381 Jackson, WY 83002	
Please respond by: n/a	

Applicant:

Jamie Farmer
PO Box 381
Jackson, WY 83002

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov

4 December 2019

Town of Jackson
Planning & Building Department-Planning Division
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

To Whom it May Concern,

The Attached PAP is for new residential construction located at 275 Redmond St. Jackson WY. In accordance with the existing site plan attached, there is an existing residence with associated parking and utilities. Proposed development includes demolition of existing structures and construction of two new residence on lots 23 and 24, 2925 square feet and 2900 square feet respectively with parking and utilities. Proposed development is described on sheets C2.0-C4.0 and C4.1 attached. Please don't hesitate to contact us with project inquiries.

Sincerely,

Viliyana Mandel, AIA, LEED AP
Farmer Payne Architecture

Office: 307.564.3156
Email: villy@farmerpaynearchitects.com



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. | phone (307)733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (tstolte@gmail.com).

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Narrative Project Description. Please attach a short narrative description of the project that addresses:

Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

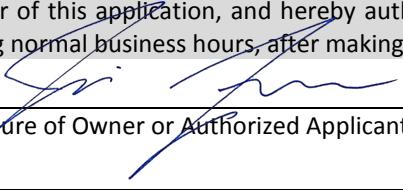
Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

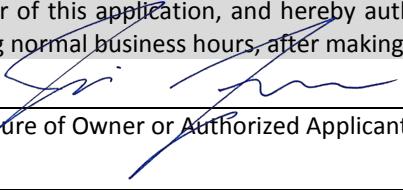
Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

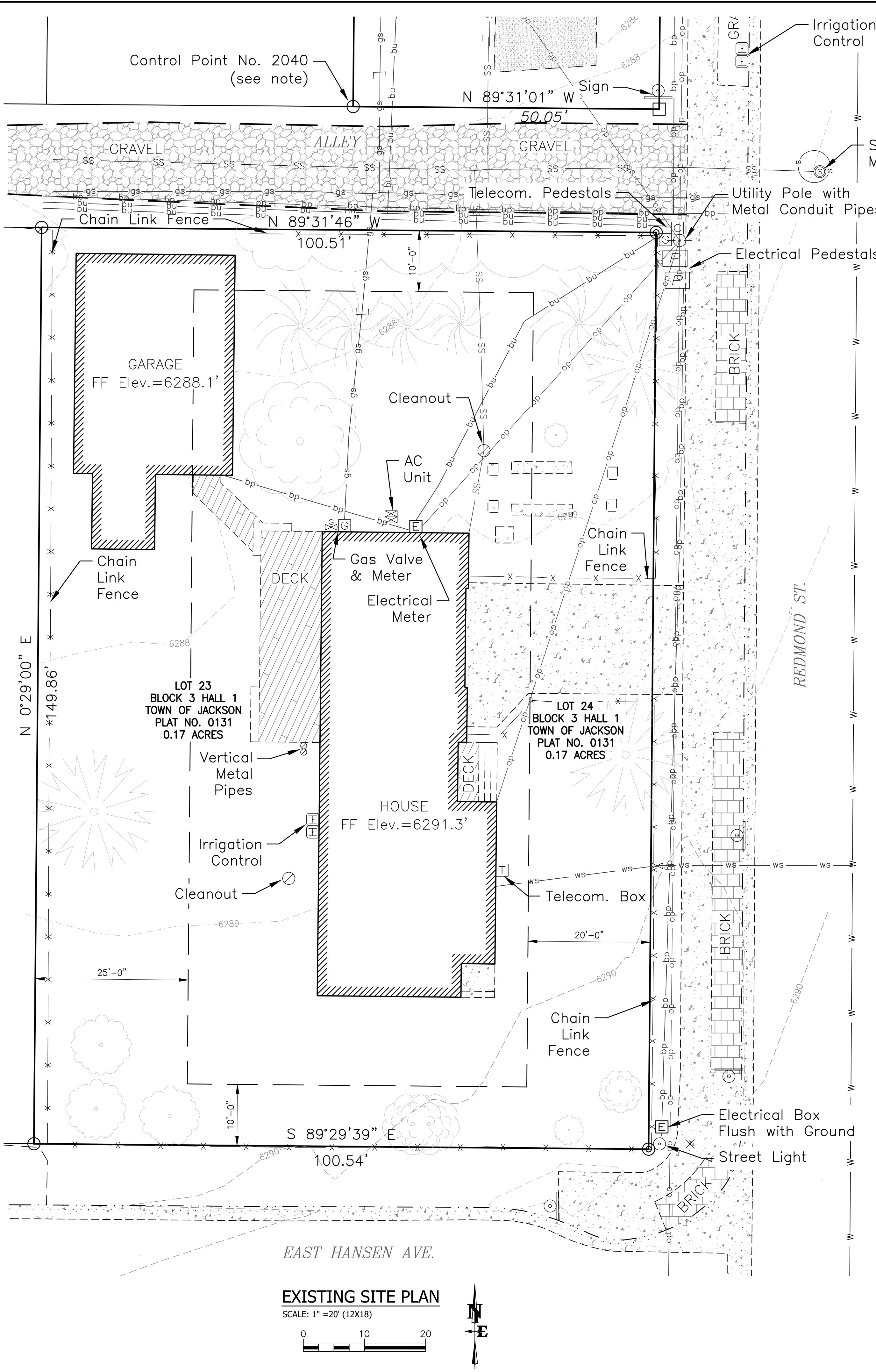
Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

Name Printed


Date

Title



Sheet List Table	
Sheet Number	Sheet Title
C1.0	EXISTING SITE PLAN
C1.1	DEMO PLAN
C2.0	FINAL SITE PLAN
C3.0	UTILITY PLAN
C3.1	UTILITY DETAILS
C4.0	GRADING PLAN

EXISTING SITE LEGEND

— — — — —	PROPERTY LINE
— — — — —	EASEMENT
— — — — —	BUILDING SETBACK
— — 6200 — —	INDEX CONTOUR
— — 6201 — —	MINOR CONTOUR
— — bp — —	BURIED POWER (APPROX. LOCATION)
— — op — —	OVERHEAD POWER (APPROX. LOCATION)
— bu — bu —	BURIED UTILITIES (APPROX. LOCATION)
— gs — gs —	BURIED GAS SERVICE (APPROX. LOCATION)
— — ss — —	SEWER SERVICE (APPROX. LOCATION)
— x — x —	FENCE
— — ws — —	WATER SERVICE (APPROX. LOCATION)
	ELECTRICAL TRANSFORMER
	SIGN
	SANITARY SEWER MANHOLE
	TELEPHONE PEDESTAL
	POWER POLE
	CURBSTOP
	GAS METER
	IRRIGATION CONTROL
	AC UNIT
	CLEANOUT
	GAS METER

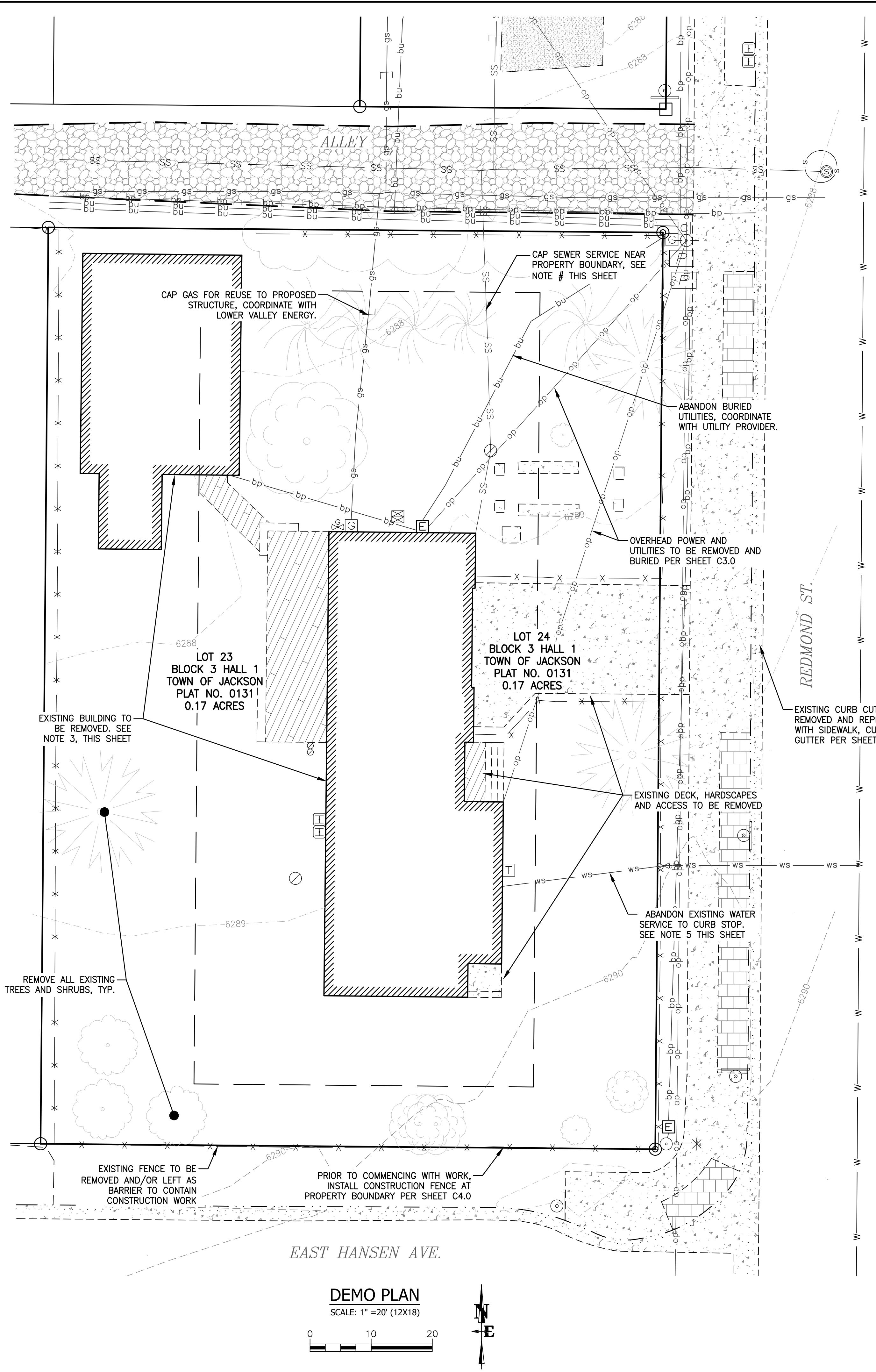


DRAWING NO.		JOB TITLE		DRAWING TITLE	
C.0		EXISTING SITE PLAN		4 DEC 2019 REV.	
JOB NO.		SIMPSON KID LISA RESIDENCE 27'5 REDMOND STREET (WEST)		SURVEYED Y2	
10-361-0		JACKSON, WY		ENGINEERED BO	
DRAFT NO.		DRAWN BO		DRAWN BO	
DRAFT NO.		CHECKED JK		CHECKED JK	
DRAFT NO.		APPROVED JK		APPROVED JK	

**NELSON
ENGINEERING**

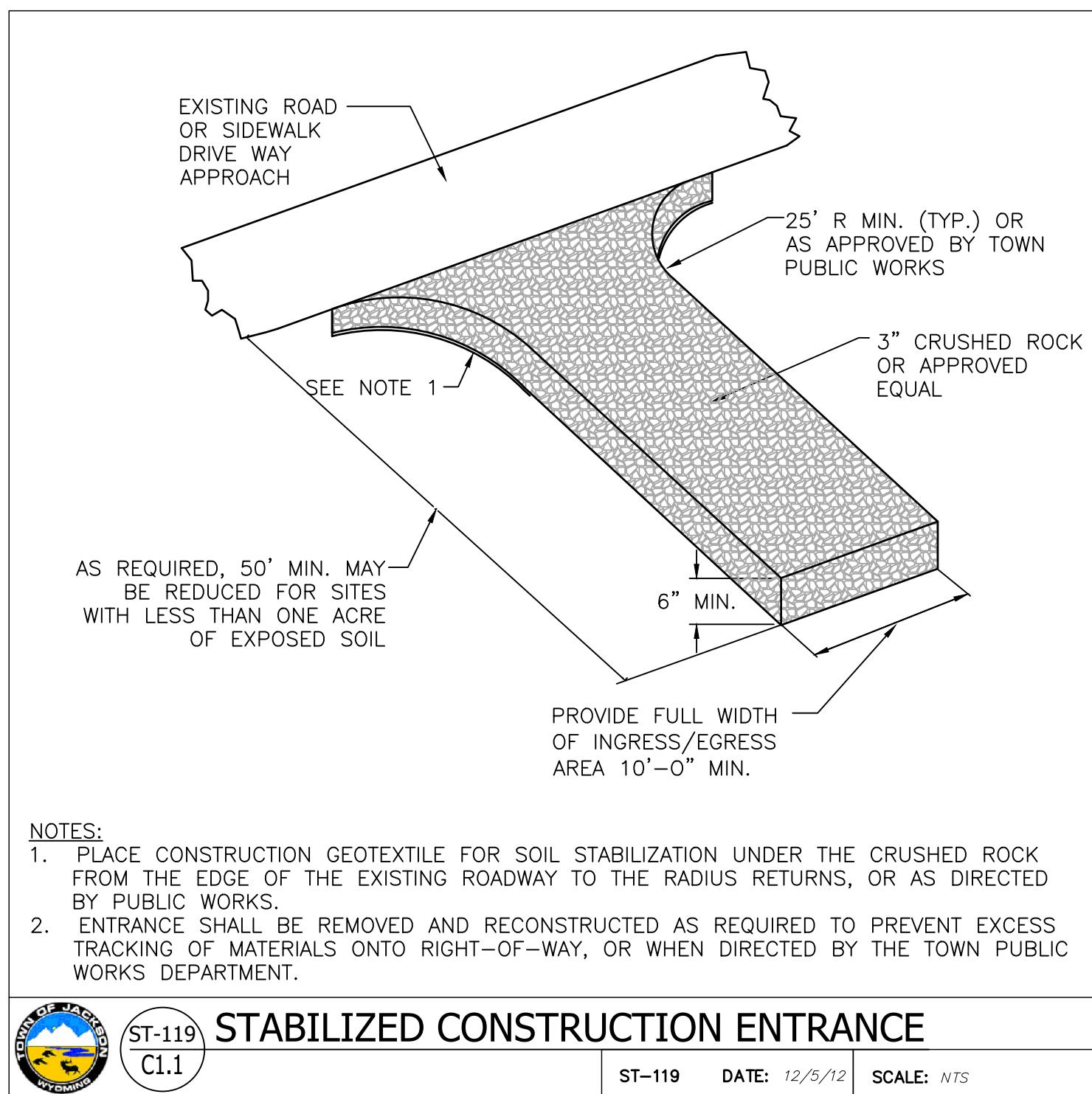
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

12-4-19 PAP SET

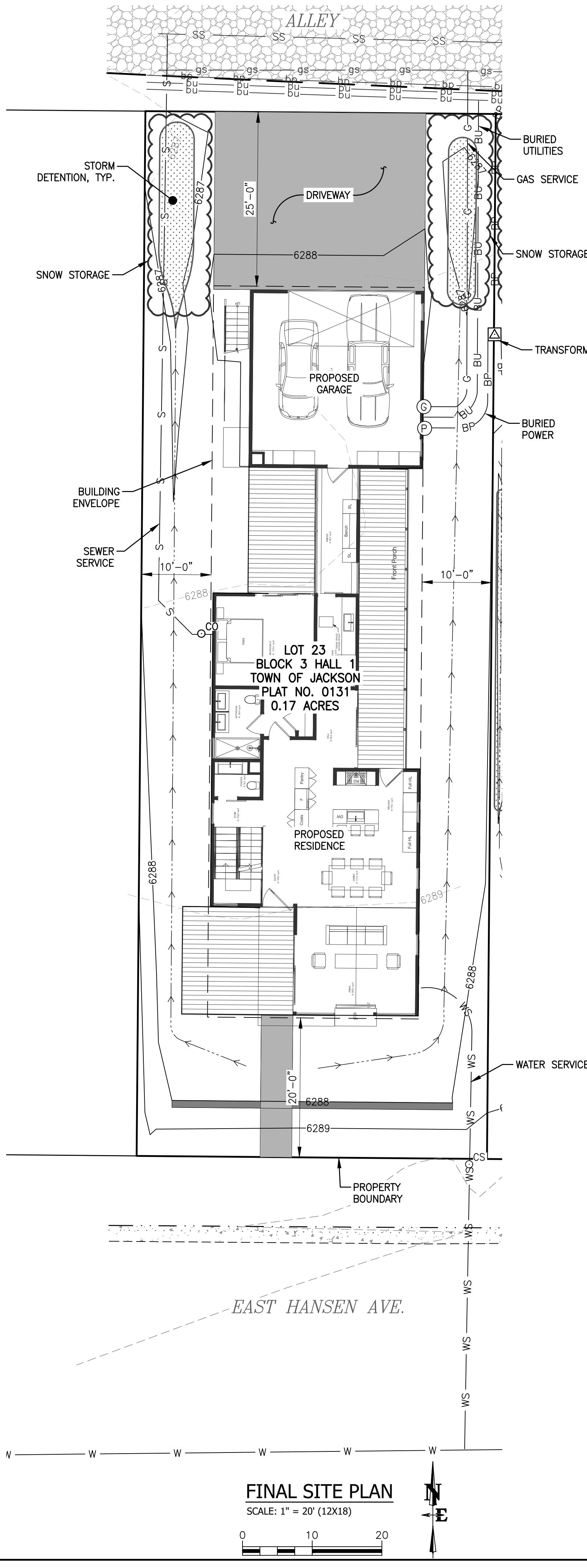


DEMOLITION NOTES

- DEMOLITION ACTIVITIES SHALL OCCUR SPRING/SUMMER 2020.
- COMPLY WITH APPLICABLE SITE CONSTRUCTION NOTES ON SHEET C2.0.
- DEMOLITION WORK SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE APPROVED PERMIT AND IBC REGULATIONS. SALVAGE EXISTING WATER METER IN ACCORDANCE WITH NOTE 6 BELOW.
- CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES BY CONTACTING UTILITY PROVIDERS, CAMERA INSPECTION, LOCATING DEVICE/SERVICE, OR EXPLORATORY EXCAVATION.
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE TOWN OF JACKSON FOR WORK COMPLETED IN THE PUBLIC RIGHT-OF-WAY.
- WATER AND SEWER UTILITIES WERE OBTAINED FROM TETON COUNTY GIS AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND CAP NEAR PROPERTY LINE OR AT MAIN PER PLANS.
- CONTRACTOR SHALL CAP EXISTING WATER SERVICE AT THE EXISTING CURB STOP AND MARK FOR FUTURE RE-CONNECTION IN ACCORDANCE WITH THE UTILITY PLAN FOR THE FUTURE DEVELOPMENT. EXISTING WATER METER MAY BE SALVAGED AND REUSED PENDING THE CONDITION; METER READING (UPON REMOVAL) SHALL BE RECORDED AND CONDITION ASSESSMENT SHALL BE COMPLETED BY TOJ PUBLIC WORKS.
- INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH NOTE 8, SHEET C2.0.
- CONSTRUCT TRACK PAD (IF REQUIRED) IN ACCORDANCE WITH TOWN STANDARD DETAIL ST-119/C1.1 TO PREVENT TRACK-OUT OF SOILS ONTO PUBLIC STREETS.
- OWNER SHALL BOND (WITH TOJ) FOR ABANDONMENT OF WATER AND SEWER SERVICES IN ACCORDANCE WITH THE DEMOLITION PERMIT.



DRAWING NO	JOB TITLE	DRAWING TITLE	DATE	REV.
C1.1	SIMPSON KID LISA RESIDENCE 275 REDMOND STREET (WEST) JACKSON, WY	DEMO PLAN	4 DEC 2018	Y2
19-361-01				



SITE CONSTRUCTION NOTES & SPECIFICATIONS

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTOR'S WORK.

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
2. CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
3. IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
4. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C.4.0 FOR STAGING AND STOCKPILING LOCATIONS.
5. TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH AREAS. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
6. NEW DRIVEWAY, SIDEWALK, CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO TOJ AND ADA STANDARDS. REPLACEMENT MATERIALS SHALL MATCH EXISTING. EXISTING SIDEWALKS SHALL BE MAINTAINED AND PROTECTED.
7. IN ACCORDANCE WITH C.4.0, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
8. REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
9. CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
10. LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SUMMER 2020 THROUGH SUMMER 2022.
11. CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
12. FOLLOW GEOTECHNICAL REPORT RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.
13. LANDSCAPING: ONE (1) PLANT UNIT IS REQUIRED; SEE LANDSCAPING PLANS. PER TOJ INSTALL BACKFLOW PREVENTION (REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER) ON IRRIGATION SYSTEMS CONNECTING TO PUBLIC WATER SUPPLY.
14. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION MANAGEMENT REQUIREMENTS:
 - A. CONSTRUCTION PARKING AND STAGING SHALL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTRAGE. STAGING W/IN PUBLIC RIGHT-OF-WAYS IS PROHIBITED W/OUT AN ENROACHMENT PERMIT.
 - B. STAGE MATERIALS AND EQUIPMENT WITHIN THE LOT BOUNDARY AND IN ACCORDANCE WITH SHEET C.4.0. NO STAGING WITHIN PUBLIC RIGHT-OF-WAY IS ALLOWED.
 - C. TRACK-OUT OF DEBRIS ON PUBLIC ROADS IS PROHIBITED. PLACE GRAVEL SURFACING. TO MINIMIZE MUD ISSUES DURING CONSTRUCTION IN ACCORDANCE WITH ST-119/C.1.1.
 - D. INSTALL CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C.4.0.
 - E. LOCATE AND PROVIDE TEMPORARY CONSTRUCTION FACILITIES INCLUDING TRAILERS, TOILETS, DUMPSTERS AND LOCATIONS FOR CONCRETE WASHOUT W/IN THE LOT BOUNDARY.
 - F. DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
15. FINAL GRADING INSPECTION: PER TOJ, CONTRACTOR/OWNER SHALL ARRANGE FOR GRADING INSPECTION AND FINAL APPROVAL BY THE DESIGN ENGINEER FOR PLAN-LEVEL GEC'S
16. NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).

TETON COUNTY WEED AND PEST MANAGEMENT STRATEGIES

PRE-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE TETON COUNTY WEED & PEST, OR OTHER QUALIFIED PROFESSIONAL, TO CONDUCT A SITE SPECIFIC INVENTORY OF INVASIVE SPECIES AND CREATE A SPECIES SPECIFIC MANAGEMENT PLAN IN ACCORDANCE WITH TETON COUNTY LDR 5.7.2.

ACTIVE CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. ALL CONSTRUCTION EQUIPMENT TO BE CLEANED PRIOR TO ENTERING THE SITE.
2. SOIL STOCKPILES TO BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
3. DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT SHALL BE MINIMIZED.
4. ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE KEPT ON ACTIVE MANAGEMENT USING THE CONTROL METHODS PRESCRIBED IN THE SPECIES SPECIFIC MANAGEMENT PLAN CREATED PRIOR TO CONSTRUCTION. THIS AREA SHALL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.

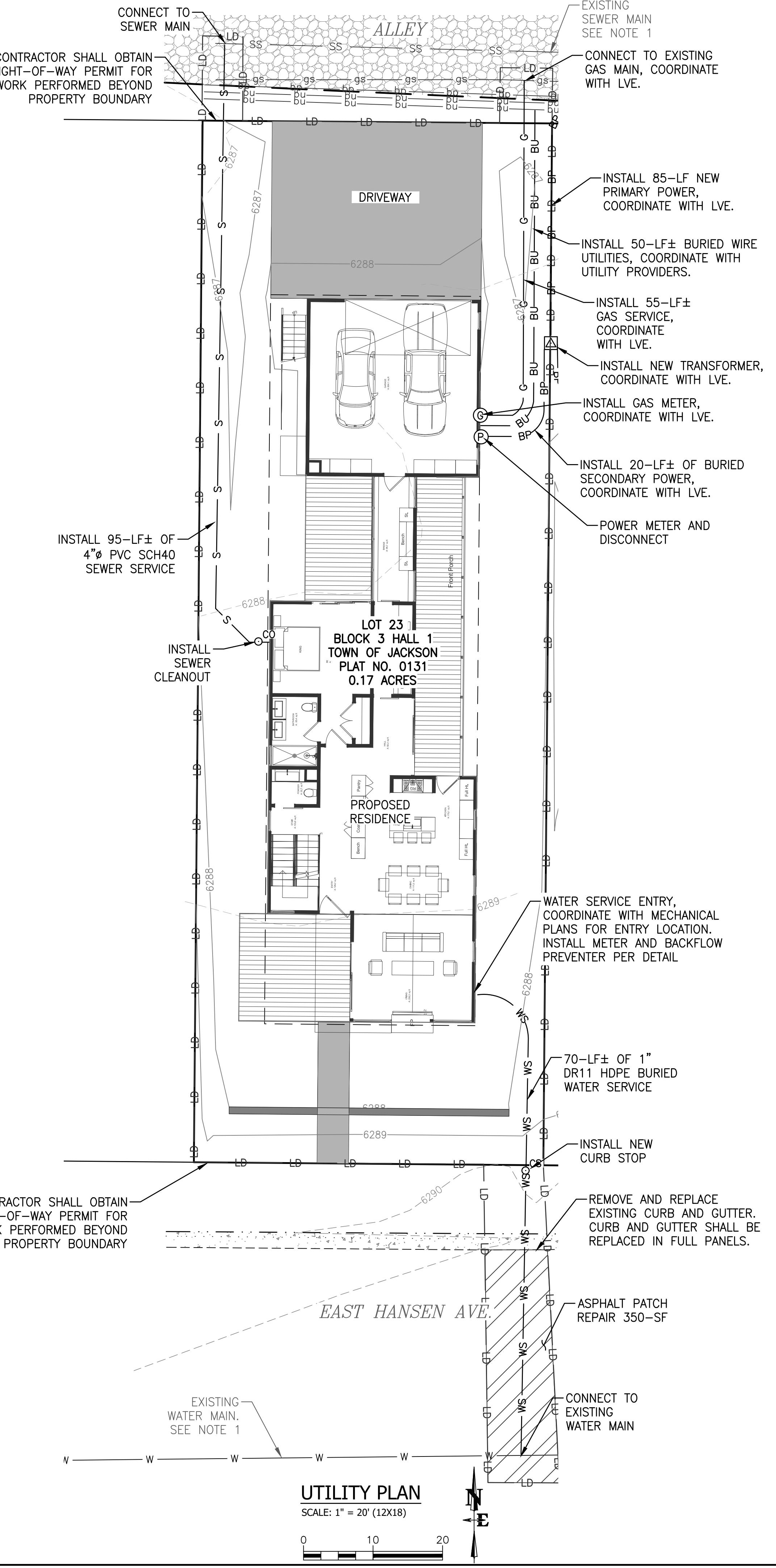
POST-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. RE-VEGETATION TO OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT THE ESTABLISHMENT OF INVASIVE SPECIES IN DISTURBED AREAS.
2. NURSERY STOCK SHALL BE IN ACCORDANCE WITH W.S. 11-9-101 - 109 (WYOMING NURSERY STOCK LAW), ACCOMPANIED BY A VALID HEALTH CERTIFICATE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE. SEEDS SHALL BE IN ACCORDANCE WITH W.S. 11-12-101 - 125 (WYOMING SEED LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE.
3. CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL SHALL BE UTILIZED WHERE POSSIBLE.
4. TCWP TO BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON, WYOMING (307) 733-2087

DRAWING NO	JOB TITLE	DRAWING TITLE
C2.0	SIMPSON KID LISA RESIDENCE 275 REDMOND STREET (WEST) JACKSON, WY	FINAL SITE PLAN
19-361-01		

12-4-19 PAP SET

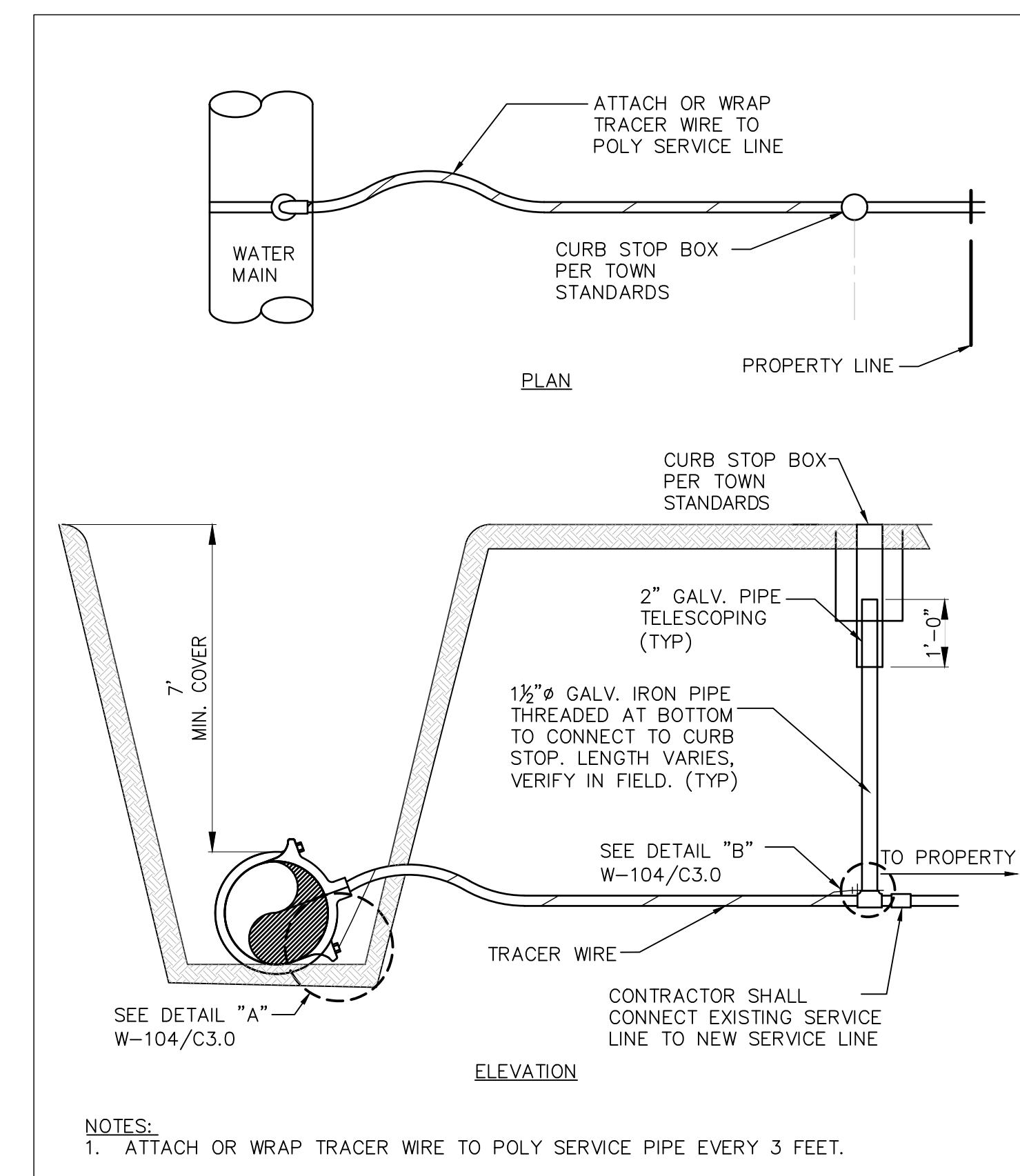


UTILITY NOTES:

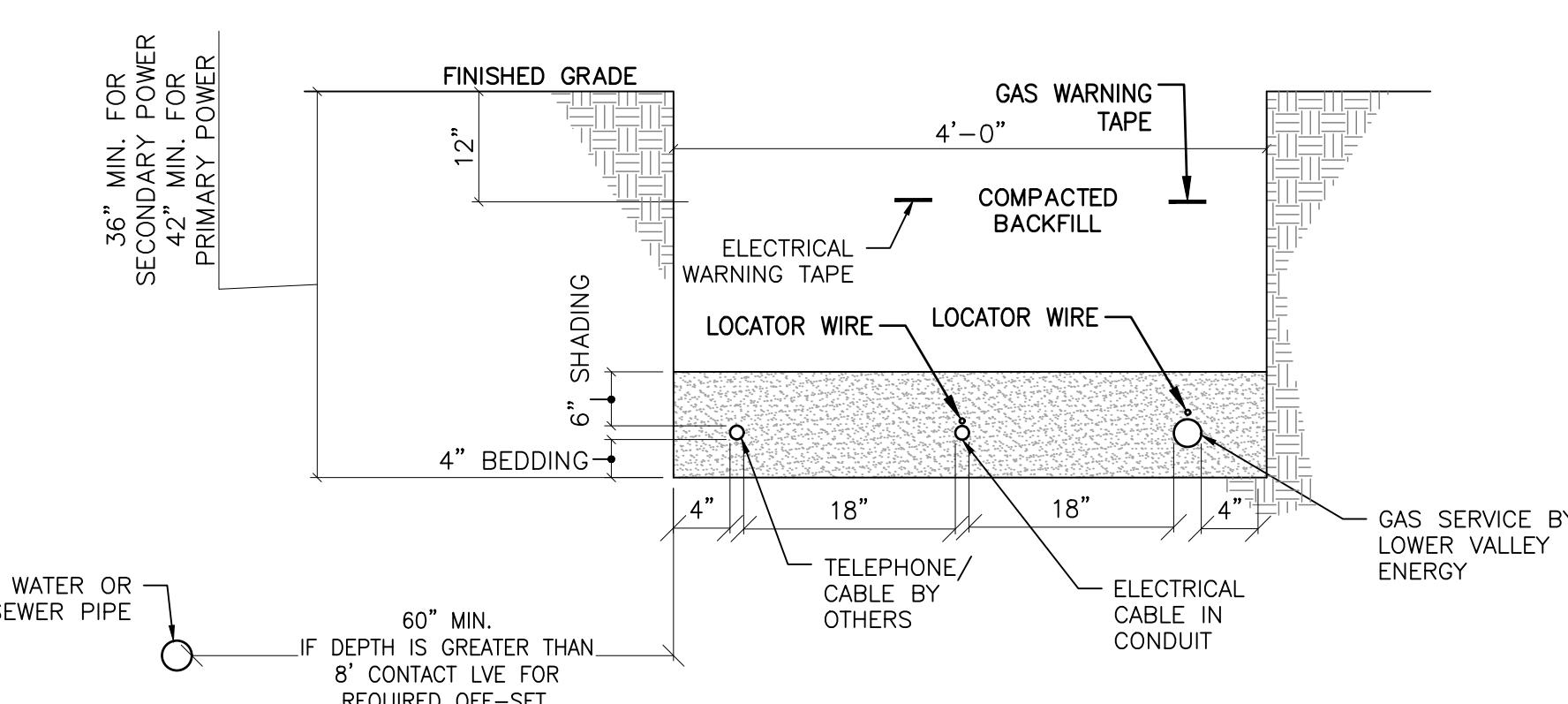
SPECIAL PROVISIONS TO WPWSS (2015) – UTILITIES

- WATER SERVICE PIPE SHALL BE SDR11 POLYETHYLENE.
- WATERLINE SHALL BE BURIED WITH A MINIMUM OF SIX FEET OF COVER.
- GRAVITY SEWER PIPE SHALL BE 4 $\frac{1}{2}$ " ASTM D2665 SCH40 PVC.
- MINIMUM SEWER PIPE GRADE SHALL BE 2%, UNLESS OTHERWISE NOTED.
- INSULATE ALL WATER AND SEWER PIPES WITH LESS THAN 6' BURY OF BURY.

1. LOCATION AND CONNECTION REQUIREMENTS FOR WATER AND SEWER SERVICES ARE UNKNOWN. CONTRACTOR SHALL SEEK INPUT FROM THE TOWN TO DETERMINE PROBABLE LOCATIONS FOR CONNECTION. CONTRACTOR MAY BE REQUIRED TO PERFORM EXPLORATORY EXCAVATION TO LOCATE EXISTING UTILITIES.
2. CONTRACTOR SHALL VERIFY WITH TOJ THAT EXISTING UTILITIES ARE SUITABLE FOR CONTINUED USE. CAP EXISTING SERVICE AT MAIN AND INSTALL NEW IF EXISTING SERVICES ARE NOT SUITABLE. COMPLY WITH NOTE #, SHEET ####.



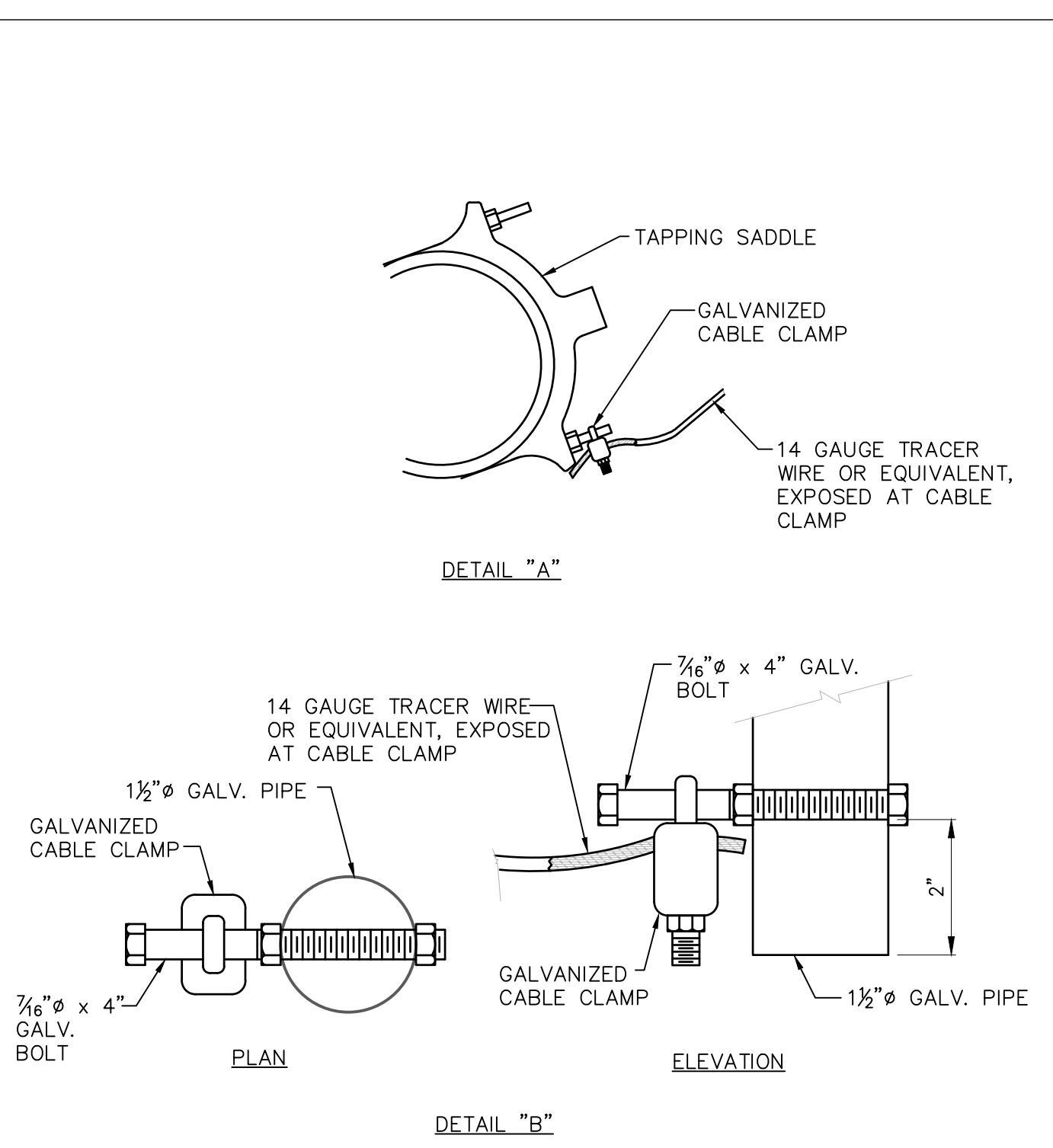
W-103 SERVICE CONNECTION THAW WIRE C3.0 DATE: 12/30/15 SCALE: NTS



NOTES:

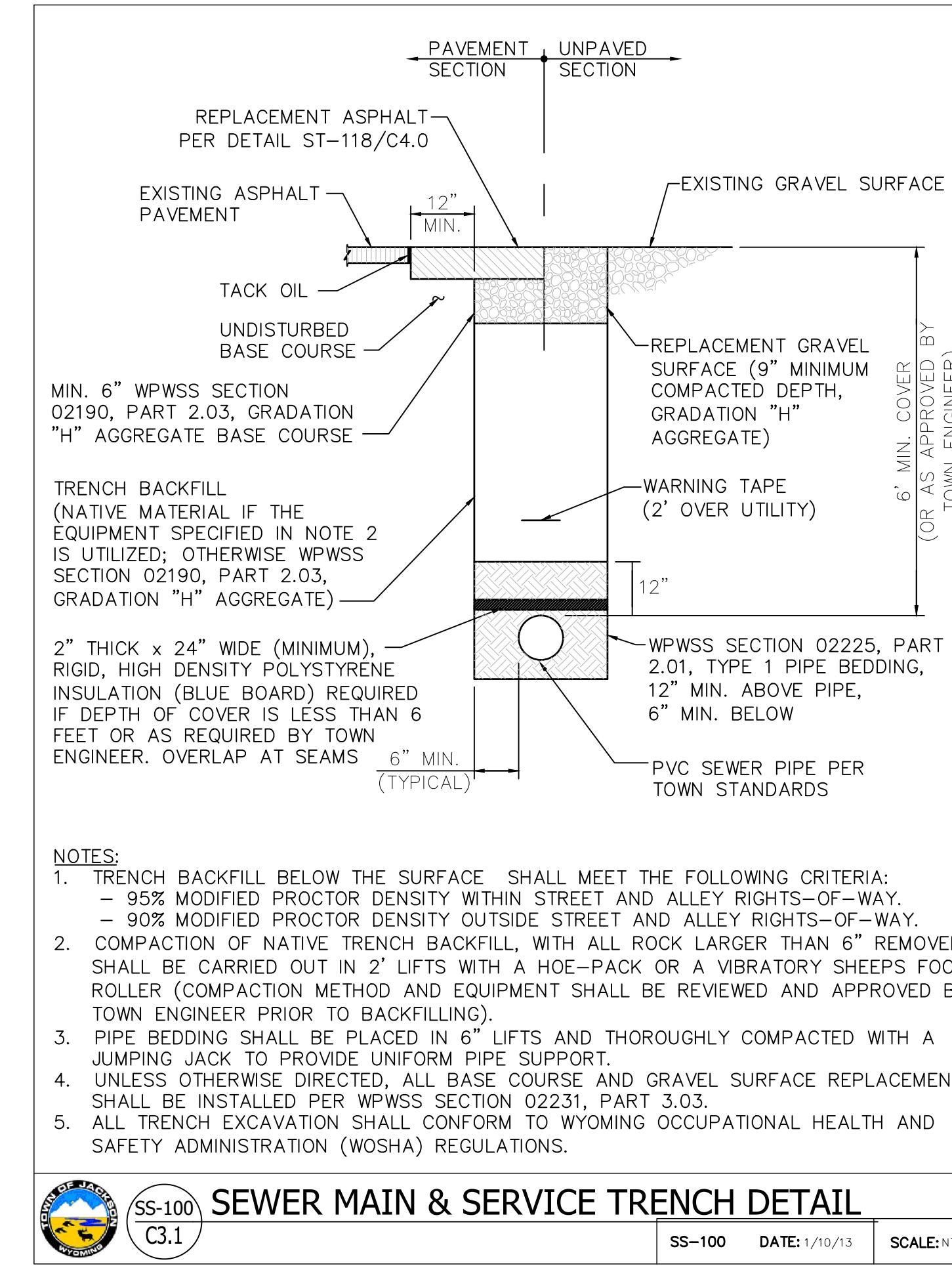
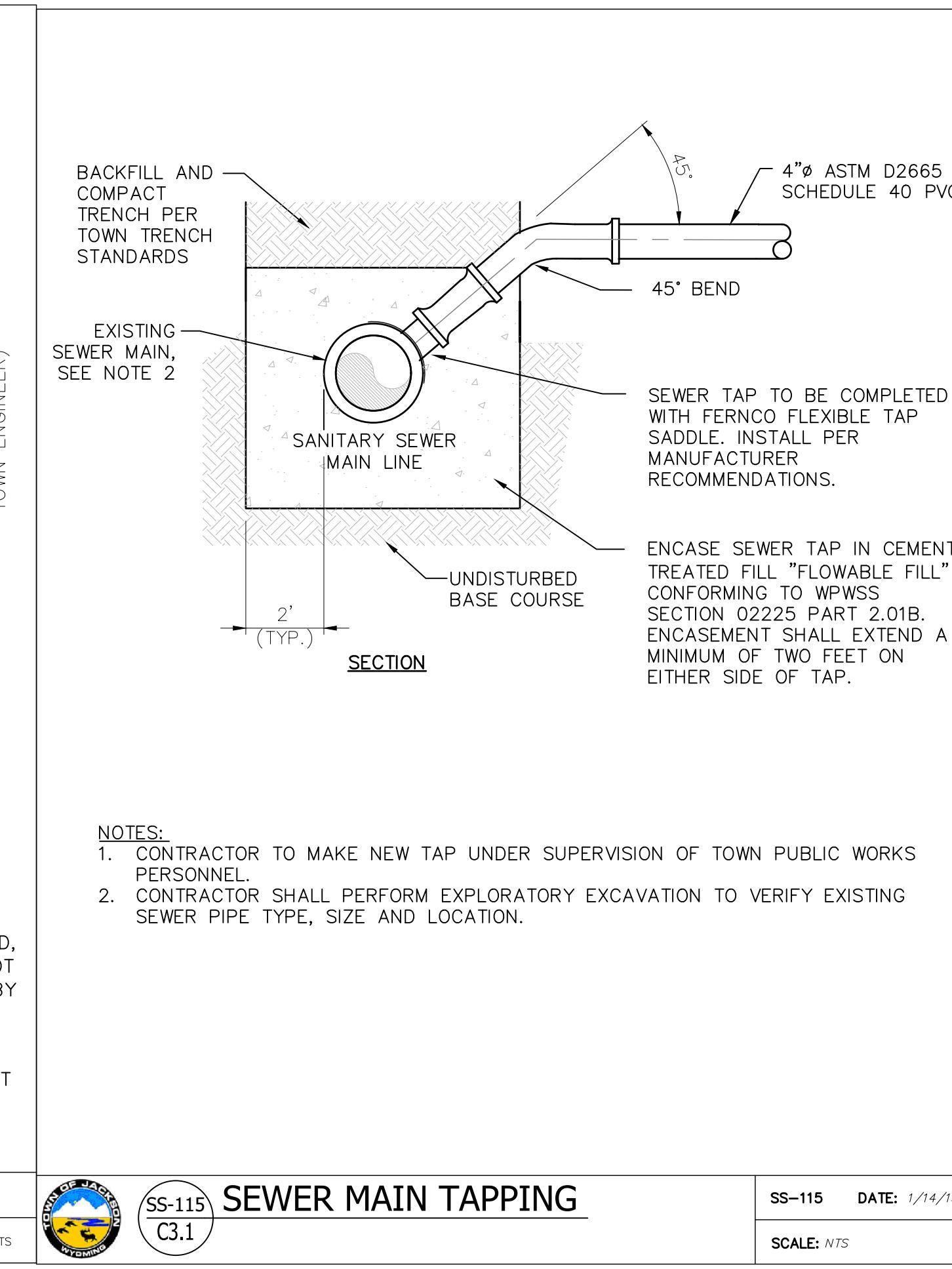
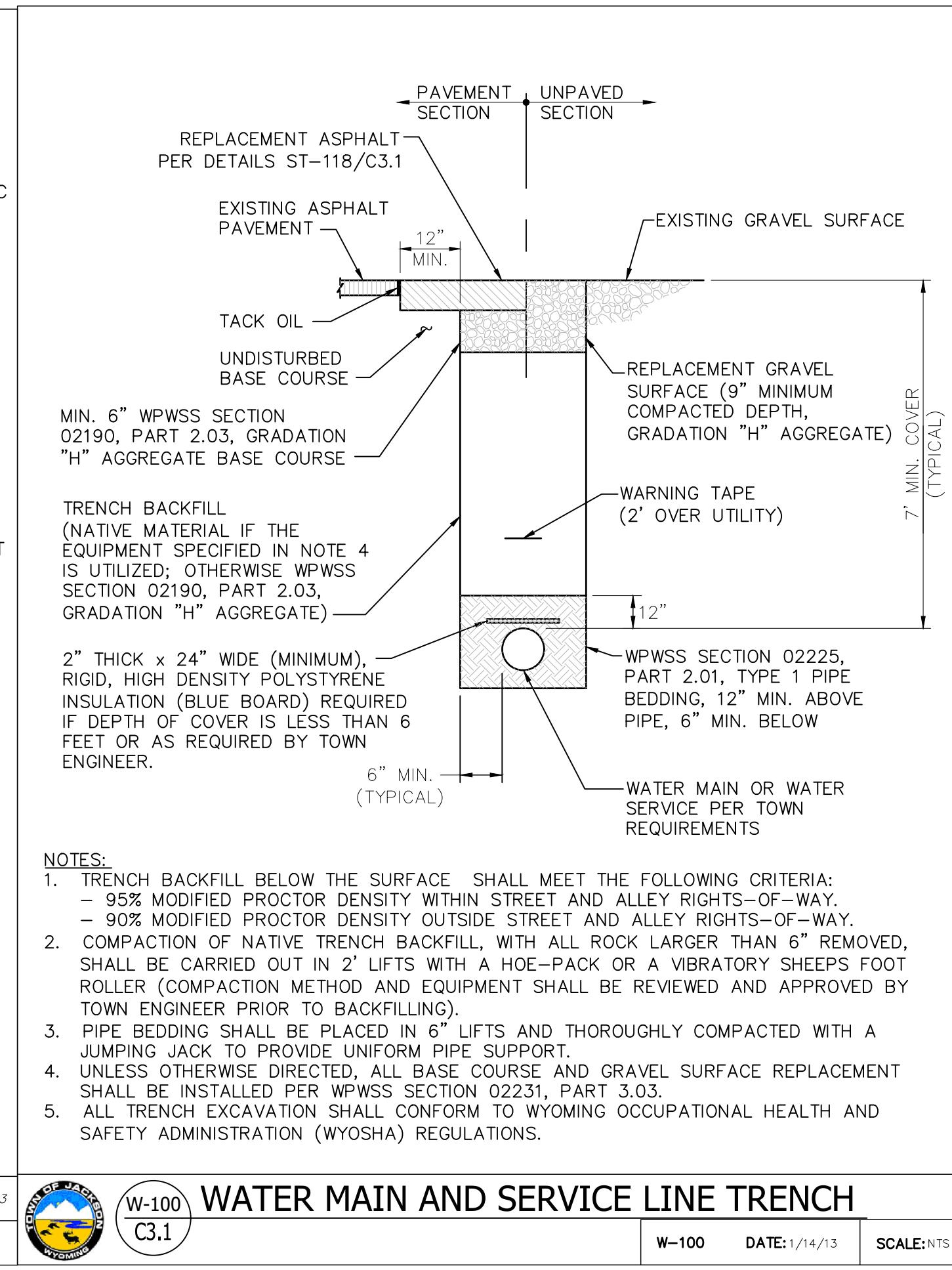
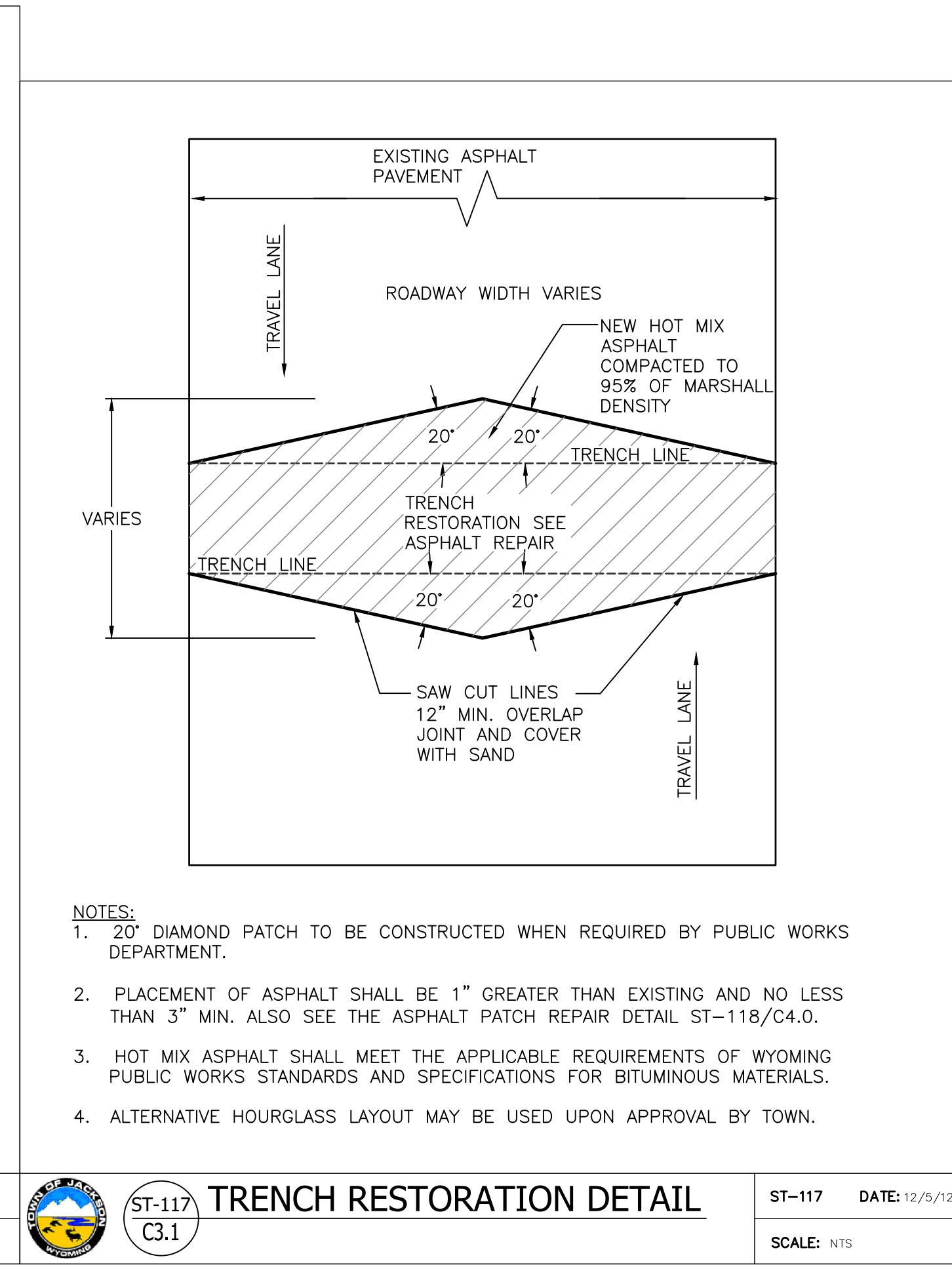
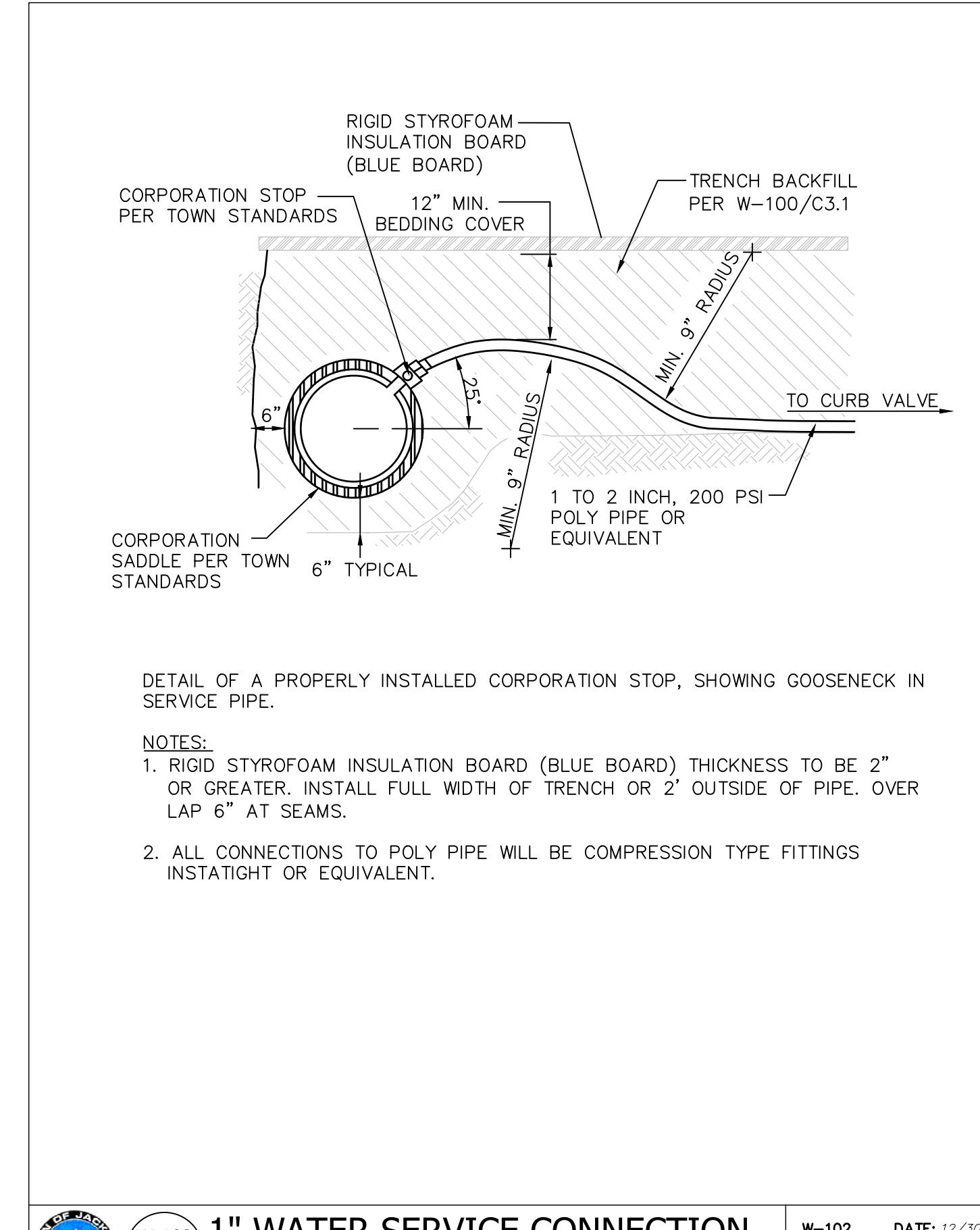
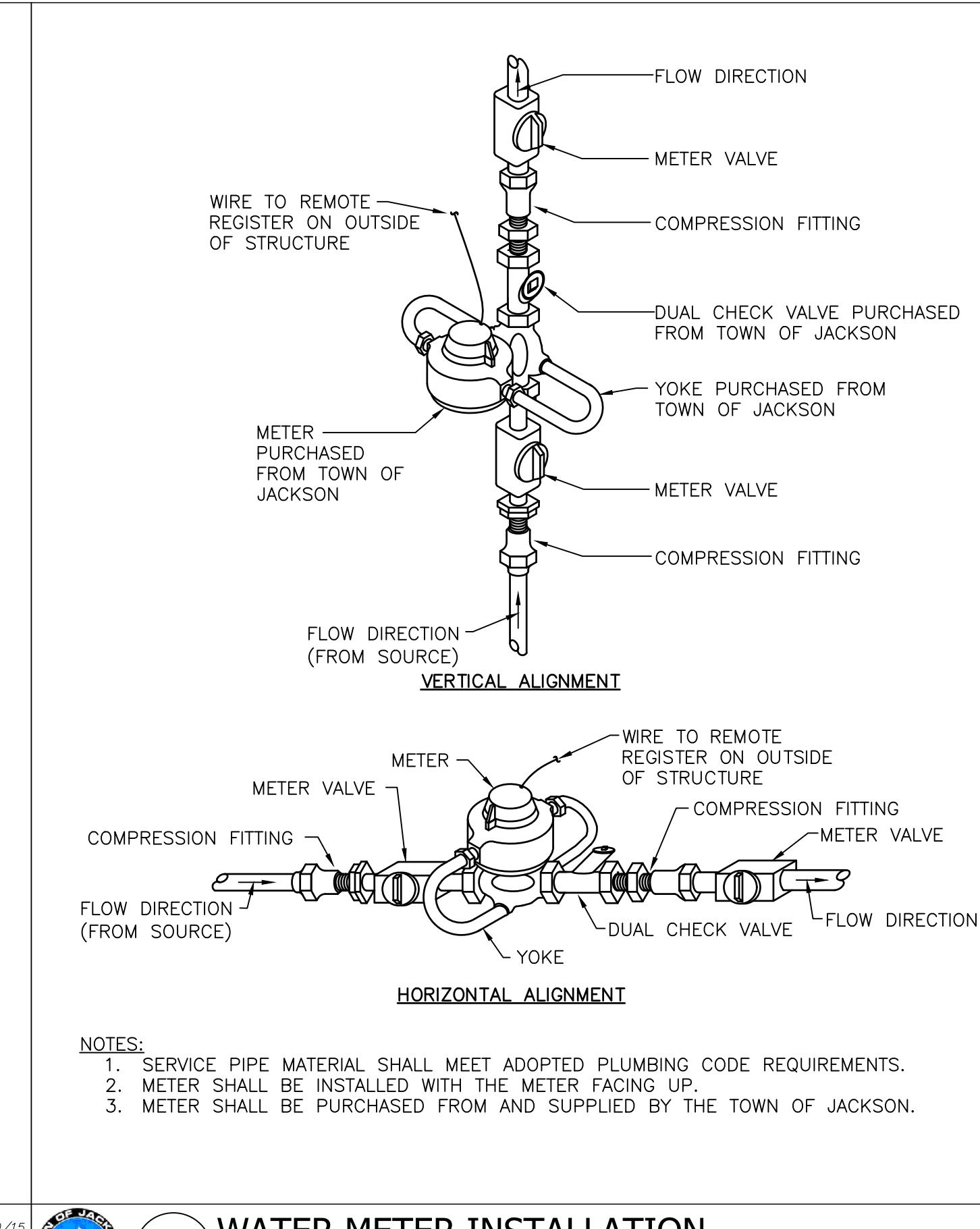
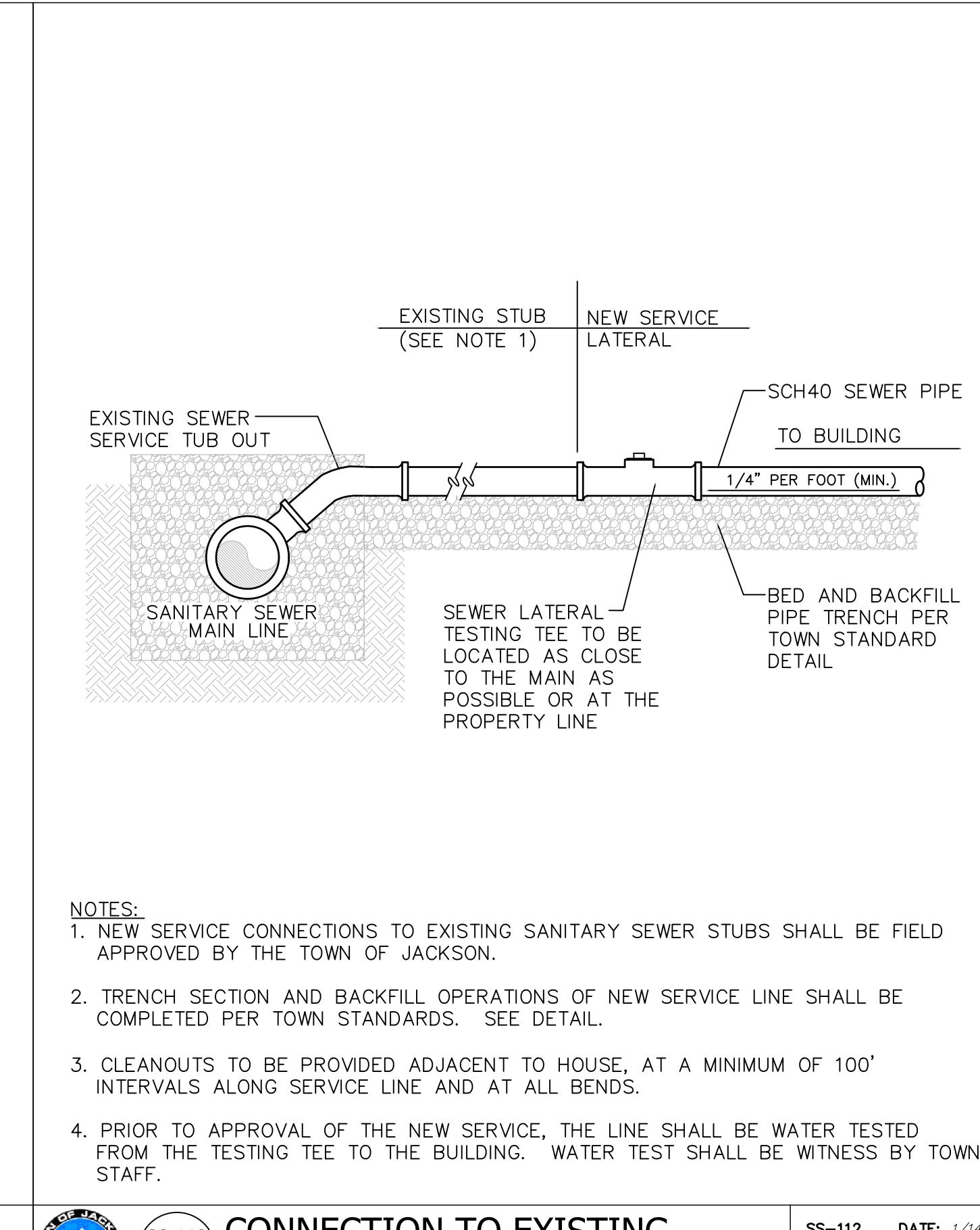
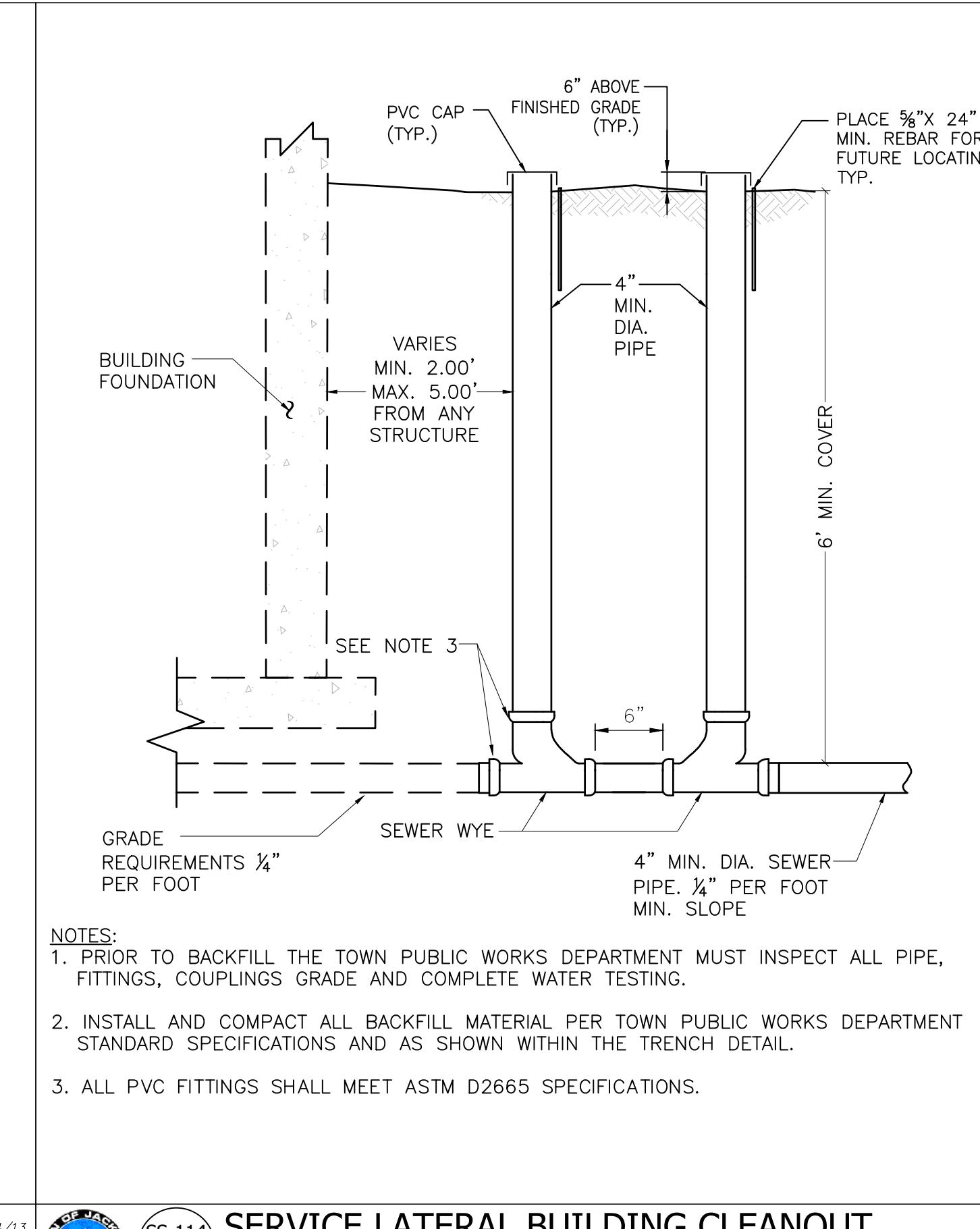
1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

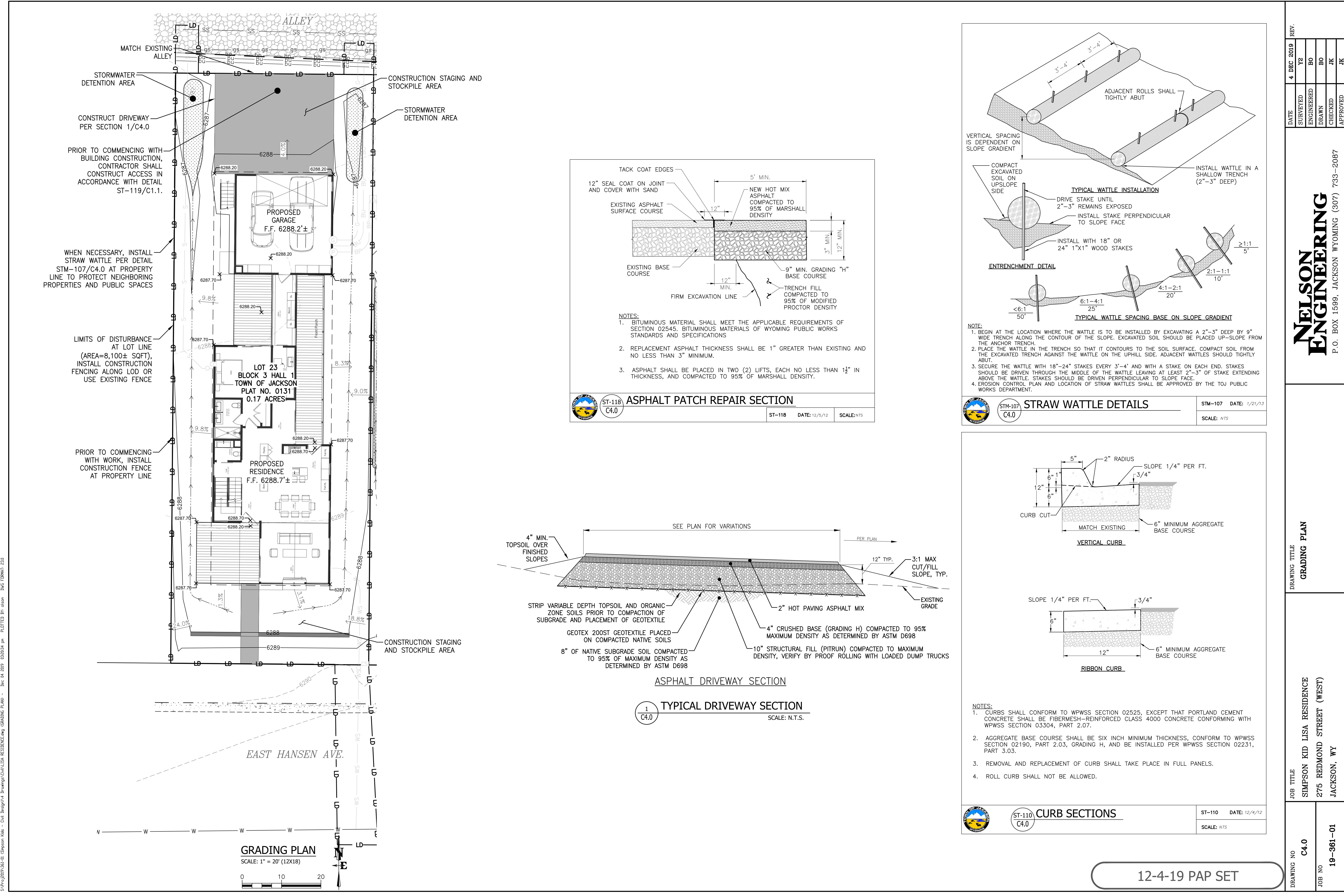
1 C3.0 UTILITY TRENCH DETAIL SCALE: NTS

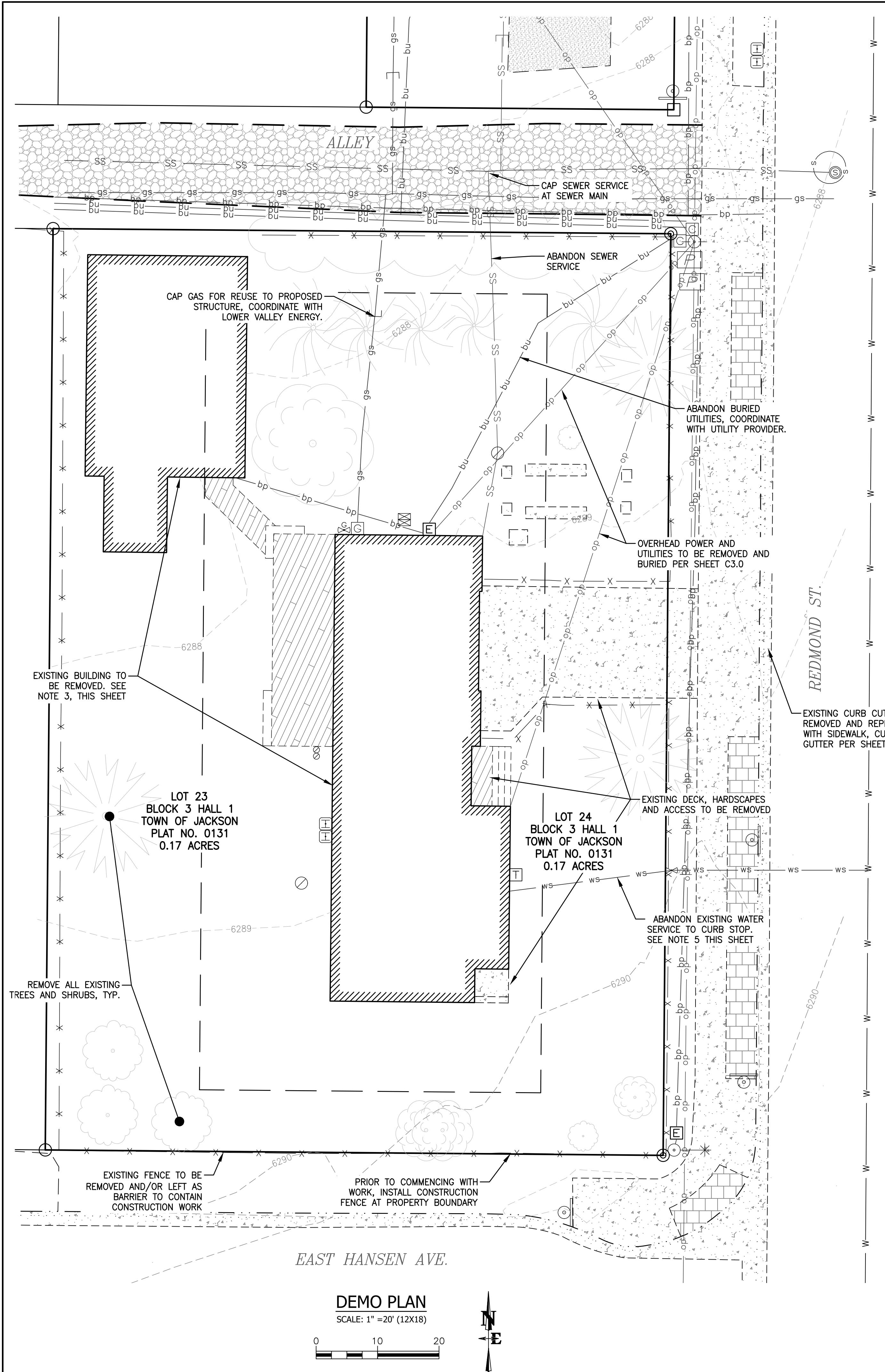


W-104 SERVICE CONNECTION THAW WIRE C3.0 DATE: 1/15/13 SCALE: NTS

DRAWING NO	JOB TITLE	DRAWING TITLE
C3.0	SIMPSON KID LISA RESIDENCE 275 REDMOND STREET (WEST) JACKSON, WY	UTILITY PLAN
19-361-01	12-4-19 PAP SET	12-4-19 PAP SET

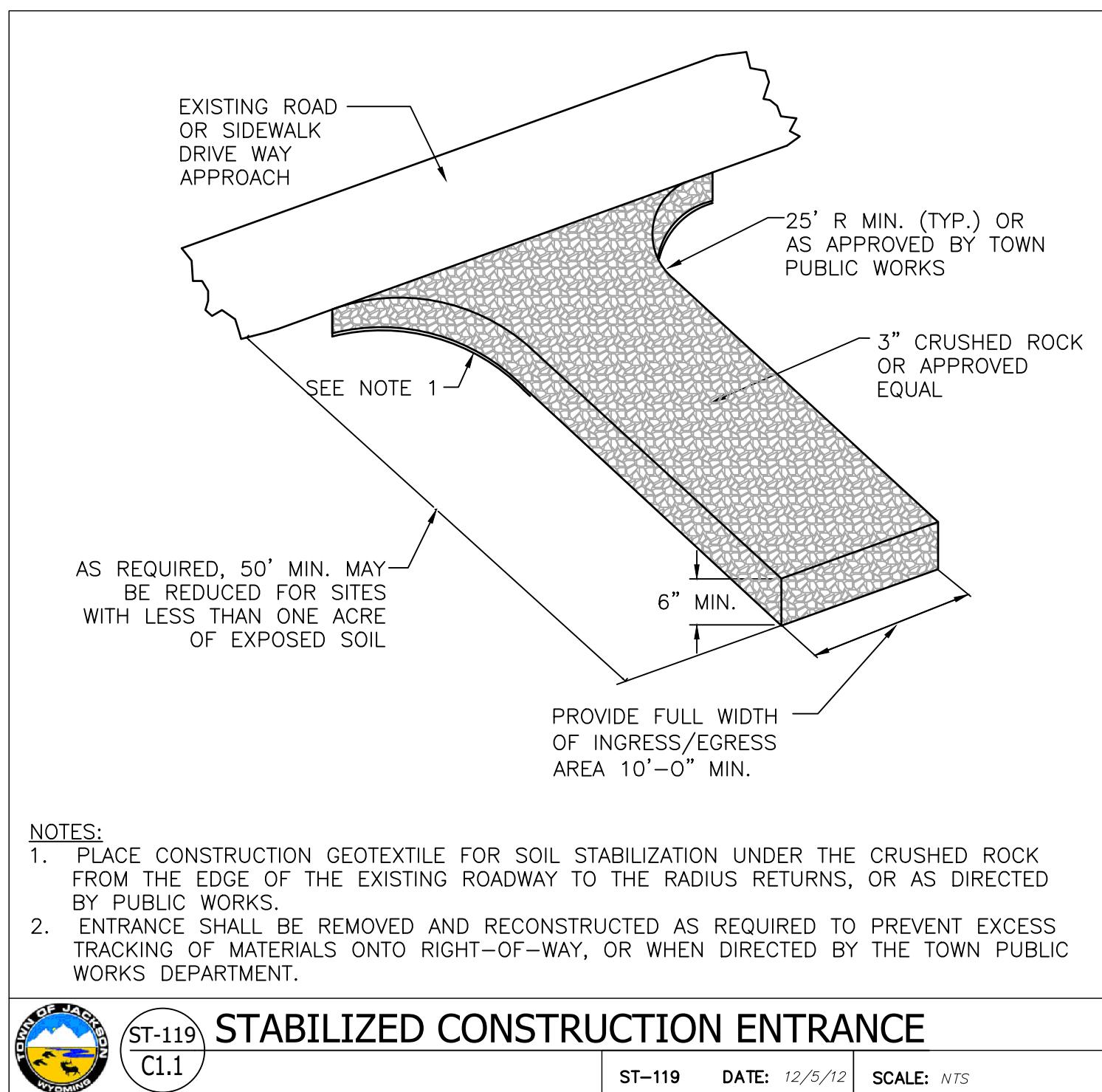
 <p>NELSON ENGINEERING P.O. BOX 1599, JACKSON, WYOMING (307) 733-2087</p>				<table border="1"> <tr> <td>DATE</td><td>4 DEC 2018</td><td>REV.</td></tr> <tr> <td>SURVEYED</td><td>Y2</td><td></td></tr> <tr> <td>ENGINEERED</td><td>BO</td><td></td></tr> <tr> <td>DRAWN</td><td>BO</td><td></td></tr> <tr> <td>CHECKED</td><td>JK</td><td></td></tr> <tr> <td>APPROVED</td><td>JK</td><td></td></tr> </table>		DATE	4 DEC 2018	REV.	SURVEYED	Y2		ENGINEERED	BO		DRAWN	BO		CHECKED	JK		APPROVED	JK	
DATE	4 DEC 2018	REV.																					
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CHECKED	JK																						
APPROVED	JK																						
 <p>SEWER MAIN & SERVICE TRENCH DETAIL SS-100 C3.1</p>  <p>SEWER MAIN TAPPING SS-115 C3.1</p>  <p>WATER MAIN AND SERVICE LINE TRENCH W-100 C3.1</p>  <p>TRENCH RESTORATION DETAIL ST-117 C3.1</p>				<table border="1"> <tr> <td>DATE: 1/10/13</td><td>SCALE: NTS</td></tr> <tr> <td>DATE: 1/14/13</td><td>SCALE: NTS</td></tr> <tr> <td>DATE: 1/14/13</td><td>SCALE: NTS</td></tr> <tr> <td>DATE: 12/5/12</td><td>SCALE: NTS</td></tr> </table>		DATE: 1/10/13	SCALE: NTS	DATE: 1/14/13	SCALE: NTS	DATE: 1/14/13	SCALE: NTS	DATE: 12/5/12	SCALE: NTS										
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DATE: 1/14/13	SCALE: NTS																						
DATE: 12/5/12	SCALE: NTS																						
 <p>1" WATER SERVICE CONNECTION W-102 C3.1</p>  <p>WATER METER INSTALLATION W-112 C3.1</p>  <p>CONNECTION TO EXISTING SERVICE STUB-OUT SS-112 C3.1</p>  <p>SERVICE LATERAL BUILDING CLEANOUT SS-114 C3.1</p>				<table border="1"> <tr> <td>DRAWING TITLE UTILITY DETAILS</td><td></td></tr> <tr> <td>JOB TITLE SIMPSON KID LISA RESIDENCE 275 REDMOND STREET (WEST) JACKSON, WY</td><td></td></tr> <tr> <td>JOB NO C3.1</td><td></td></tr> <tr> <td>JOB NO 19-361-01</td><td></td></tr> </table>		DRAWING TITLE UTILITY DETAILS		JOB TITLE SIMPSON KID LISA RESIDENCE 275 REDMOND STREET (WEST) JACKSON, WY		JOB NO C3.1		JOB NO 19-361-01											
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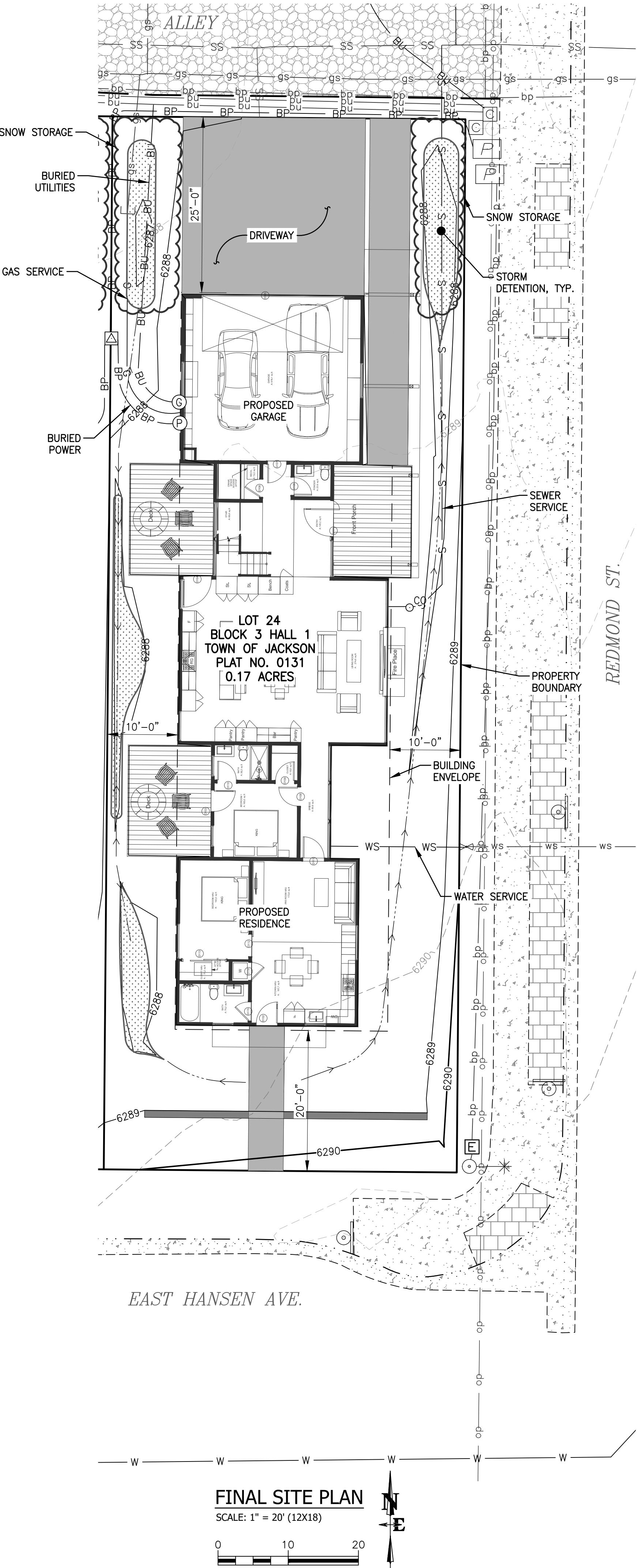
DEMOLITION NOTES

- DEMOLITION ACTIVITIES SHALL OCCUR SPRING/SUMMER 2020.
- COMPLY WITH APPLICABLE SITE CONSTRUCTION NOTES ON SHEET C2.0.
- DEMOLITION WORK SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE APPROVED PERMIT AND IBC REGULATIONS. SALVAGE EXISTING WATER METER IN ACCORDANCE WITH NOTE 6 BELOW.
- CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES BY CONTACTING UTILITY PROVIDERS, CAMERA INSPECTION, LOCATING DEVICE/SERVICE, OR EXPLORATORY EXCAVATION.
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE TOWN OF JACKSON FOR WORK COMPLETED IN THE PUBLIC RIGHT-OF-WAY.
- WATER AND SEWER UTILITIES WERE OBTAINED FROM TETON COUNTY GIS AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND CAP NEAR PROPERTY LINE OR AT MAIN PER PLANS.
- CONTRACTOR SHALL CAP EXISTING WATER SERVICE AT THE EXISTING CURB STOP AND MARK FOR FUTURE RE-CONNECTION IN ACCORDANCE WITH THE UTILITY PLAN FOR THE FUTURE DEVELOPMENT. EXISTING WATER METER MAY BE SALVAGED AND REUSED PENDING THE CONDITION; METER READING (UPON REMOVAL) SHALL BE RECORDED AND CONDITION ASSESSMENT SHALL BE COMPLETED BY TOJ PUBLIC WORKS.
- INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH NOTE 8, SHEET C2.0.
- CONSTRUCT TRACK PAD (IF REQUIRED) IN ACCORDANCE WITH TOWN STANDARD DETAIL ST-119/C1.1 TO PREVENT TRACK-OUT OF SOILS ONTO PUBLIC STREETS.
- OWNER SHALL BOND (WITH TOJ) FOR ABANDONMENT OF WATER AND SEWER SERVICES IN ACCORDANCE WITH THE DEMOLITION PERMIT.



DRAWING NO	JOB TITLE	DRAWING TITLE	DATE	REV.
C1.1	SIMPSON KID MAGGIE RESIDENCE	DEMO PLAN	4 DEC 2018	Y2
19-361-01	275 REDMOND STREET (EAST)		ENGINEERED DRAWN CHECKED APPROVED	BO BO JK JK

NELSON ENGINEERING
P.O. BOX 1599, JACKSON, WYOMING (307) 733-2087



SITE CONSTRUCTION NOTES & SPECIFICATIONS

CAUTION:

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTOR'S WORK.

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) 2015 EDITION AND THESE PLANS.
2. CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
3. IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
4. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET ##### FOR STAGING AND STOCKPILING LOCATIONS.
5. TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH AREAS. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
6. NEW DRIVEWAY, SIDEWALK, CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO TOJ AND ADA STANDARDS. REPLACEMENT MATERIALS SHALL MATCH EXISTING. EXISTING SIDEWALKS SHALL BE MAINTAINED AND PROTECTED.
7. IN ACCORDANCE WITH #####, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
8. REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
9. CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
10. LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SUMMER 2019 THROUGH SUMMER 2021.
11. CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
12. FOLLOW GEOTECHNICAL REPORT RECOMMENDATIONS FOR FOUNDATION SOILS PREPARATION, FOUNDATION DRAIN PLACEMENT, FOUNDATION BACKFILL, DRIVEWAY CONSTRUCTION, AND OTHER SOIL PREPARATION FOR SLABS AND UTILITIES.
13. LANDSCAPING: ONE (1) PLANT UNIT IS REQUIRED; SEE LANDSCAPING PLANS. PER TOJ INSTALL BACKFLOW PREVENTION (REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER) ON IRRIGATION SYSTEMS CONNECTING TO PUBLIC WATER SUPPLY.
14. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION MANAGEMENT REQUIREMENTS:
 - A. CONSTRUCTION PARKING AND STAGING SHALL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTRAGE. STAGING W/IN PUBLIC RIGHT-OF-WAYS IS PROHIBITED W/OUT AN ENCROACHMENT PERMIT.
 - B. STAGE MATERIALS AND EQUIPMENT WITHIN THE LOT BOUNDARY AND IN ACCORDANCE WITH SHEET #####. NO STAGING WITHIN PUBLIC RIGHT-OF-WAY IS ALLOWED.
 - C. TRACK-OUT OF DEBRIS ON PUBLIC ROADS IS PROHIBITED. PLACE GRAVEL SURFACING. TO MINIMIZE MUD ISSUES DURING CONSTRUCTION IN ACCORDANCE WITH ST-119/C1.1.
 - D. INSTALL CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET #####.
 - E. LOCATE AND PROVIDE TEMPORARY CONSTRUCTION FACILITIES INCLUDING TRAILERS, TOILETS, DUMPSTERS AND LOCATIONS FOR CONCRETE WASHOUT W/IN THE LOT BOUNDARY.
 - F. DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
15. FINAL GRADING INSPECTION: PER TOJ, CONTRACTOR/OWNER SHALL ARRANGE FOR GRADING INSPECTION AND FINAL APPROVAL BY THE DESIGN ENGINEER FOR PLAN-LEVEL GEC's
16. NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).

TETON COUNTY WEED AND PEST MANAGEMENT STRATEGIES

PRE-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE TETON COUNTY WEED & PEST, OR OTHER QUALIFIED PROFESSIONAL, TO CONDUCT A SITE SPECIFIC INVENTORY OF INVASIVE SPECIES AND CREATE A SPECIES SPECIFIC MANAGEMENT PLAN IN ACCORDANCE WITH TETON COUNTY LDR 5.7.2.

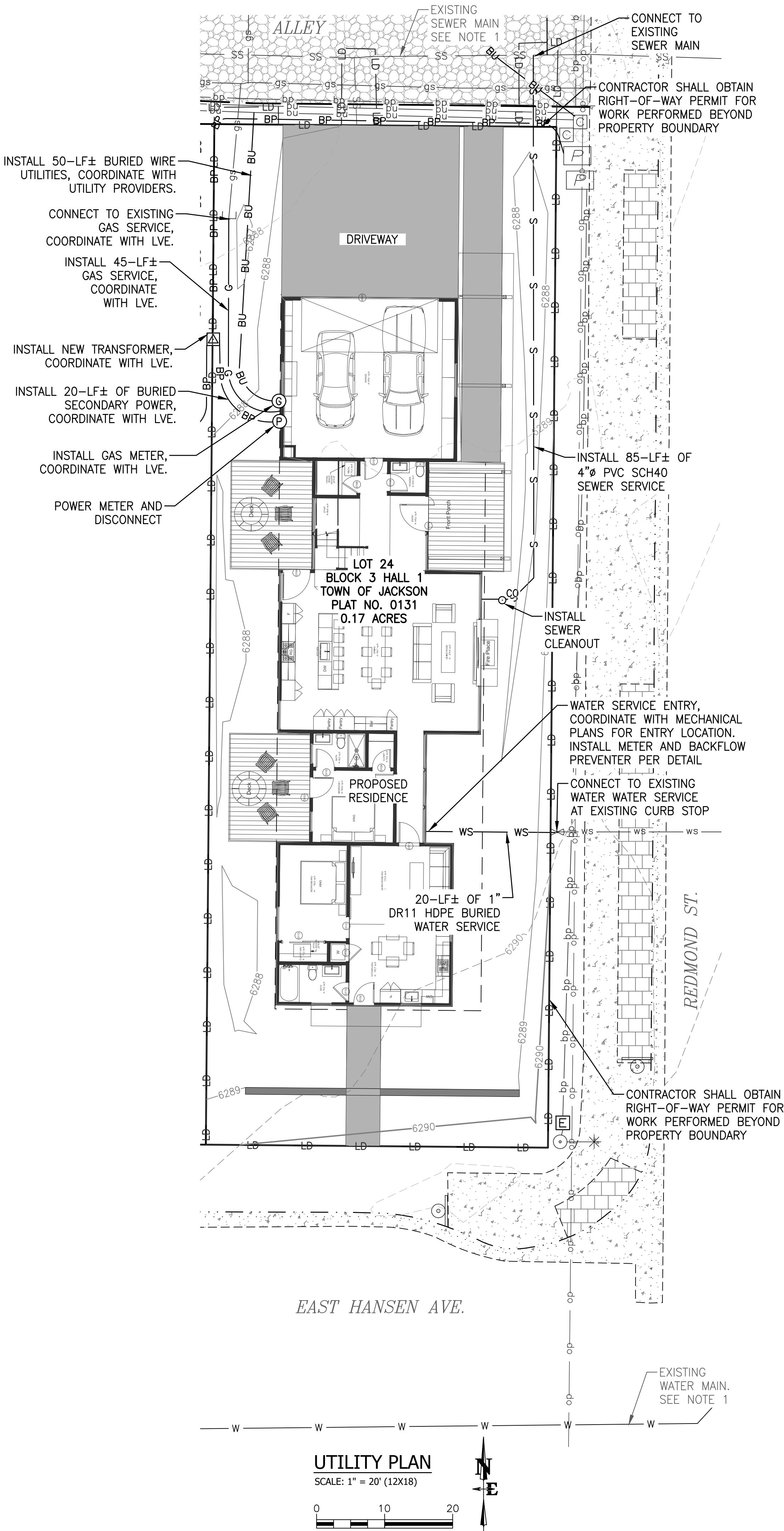
ACTIVE CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. ALL CONSTRUCTION EQUIPMENT TO BE CLEANED PRIOR TO ENTERING THE SITE.
2. SOIL STOCKPILES TO BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
3. DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT SHALL BE MINIMIZED.
4. ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE KEPT ON ACTIVE MANAGEMENT USING THE CONTROL METHODS PRESCRIBED IN THE SPECIES SPECIFIC MANAGEMENT PLAN CREATED PRIOR TO CONSTRUCTION. THIS AREA SHALL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.

POST-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. RE-VEGETATION TO OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT THE ESTABLISHMENT OF INVASIVE SPECIES IN DISTURBED AREAS.
2. NURSERY STOCK SHALL BE IN ACCORDANCE WITH W.S. 11-9-101 - 109 (WYOMING NURSERY STOCK LAW), ACCOMPANIED BY A VALID HEALTH CERTIFICATE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE. SEEDS SHALL BE IN ACCORDANCE WITH W.S. 11-12-101 - 125 (WYOMING SEED LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE.
3. CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL SHALL BE UTILIZED WHERE POSSIBLE.
4. TCWP TO BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.

DRAWING NO	JOB TITLE	DRAWING TITLE	
		FINAL SITE PLAN	REV.
C2.0	SIMPSON KID MAGGIE RESIDENCE 275 REDMOND STREET (EAST) JACKSON, WY	ENGINEERED DRAWN CHECKED APPROVED	4 DEC 2019 Y2 BO JK JK
19-361-01			

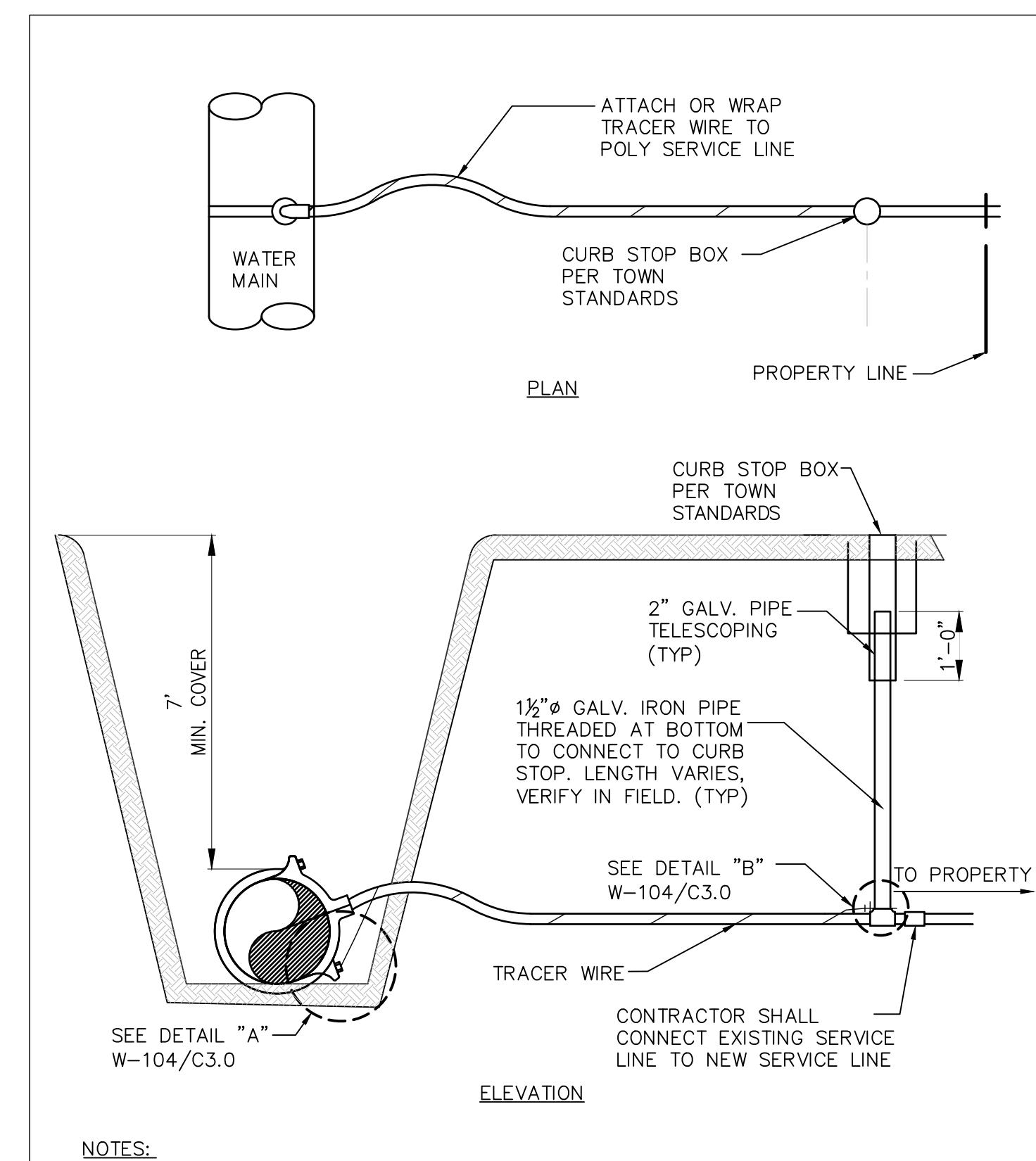


UTILITY NOTES:

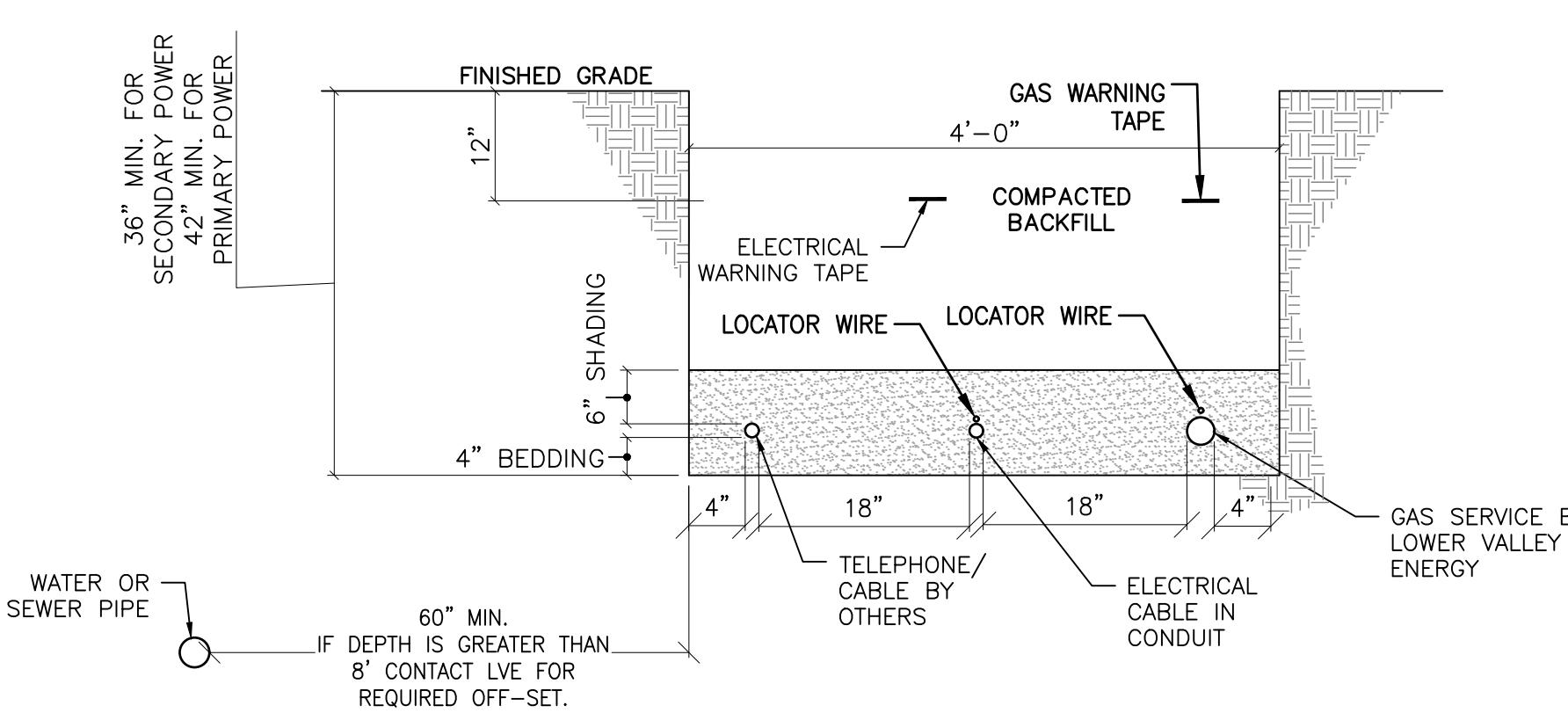
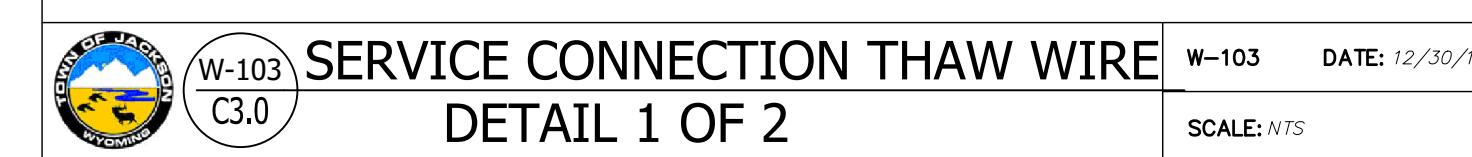
SPECIAL PROVISIONS TO WPWSS (2015) – UTILITIES

- WATER SERVICE PIPE SHALL BE SDR11 POLYETHYLENE.
- WATERLINE SHALL BE BURIED WITH A MINIMUM OF SIX FEET OF COVER.
- GRAVITY SEWER PIPE SHALL BE 4"Ø ASTM D2665 SCH40 PVC.
- MINIMUM SEWER PIPE GRADE SHALL BE 2%, UNLESS OTHERWISE NOTED.
- INSULATE ALL WATER AND SEWER PIPES WITH LESS THAN 6' BURY OF BURY

1. LOCATION AND CONNECTION REQUIREMENTS FOR WATER AND SEWER SERVICES ARE UNKNOWN. CONTRACTOR SHALL SEEK INPUT FROM THE TOWN TO DETERMINE PROBABLE LOCATIONS FOR CONNECTION. CONTRACTOR MAY BE REQUIRED TO PERFORM EXPLORATORY EXCAVATION TO LOCATE EXISTING UTILITIES.
2. CONTRACTOR SHALL VERIFY WITH TOJ THAT EXISTING UTILITIES ARE SUITABLE FOR CONTINUED USE. CAP EXISTING SERVICE AT MAIN AND INSTALL NEW IF EXISTING SERVICES ARE NOT SUITABLE. COMPLY WITH NOTE #, SHEET #####.

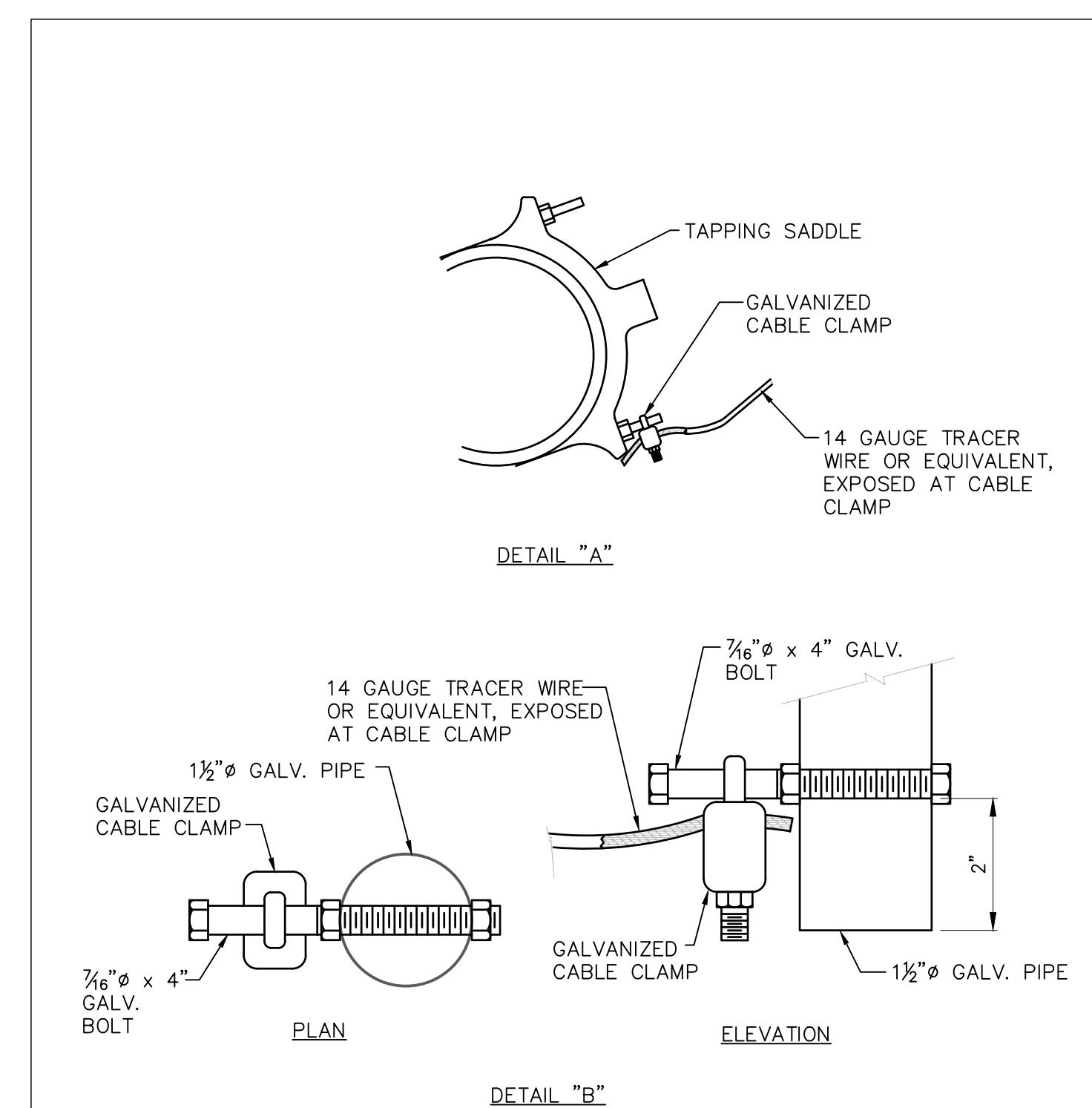


NOTES:
1. ATTACH OR WRAP TRACER WIRE TO POLY SERVICE PIPE EVERY 3 FEET.



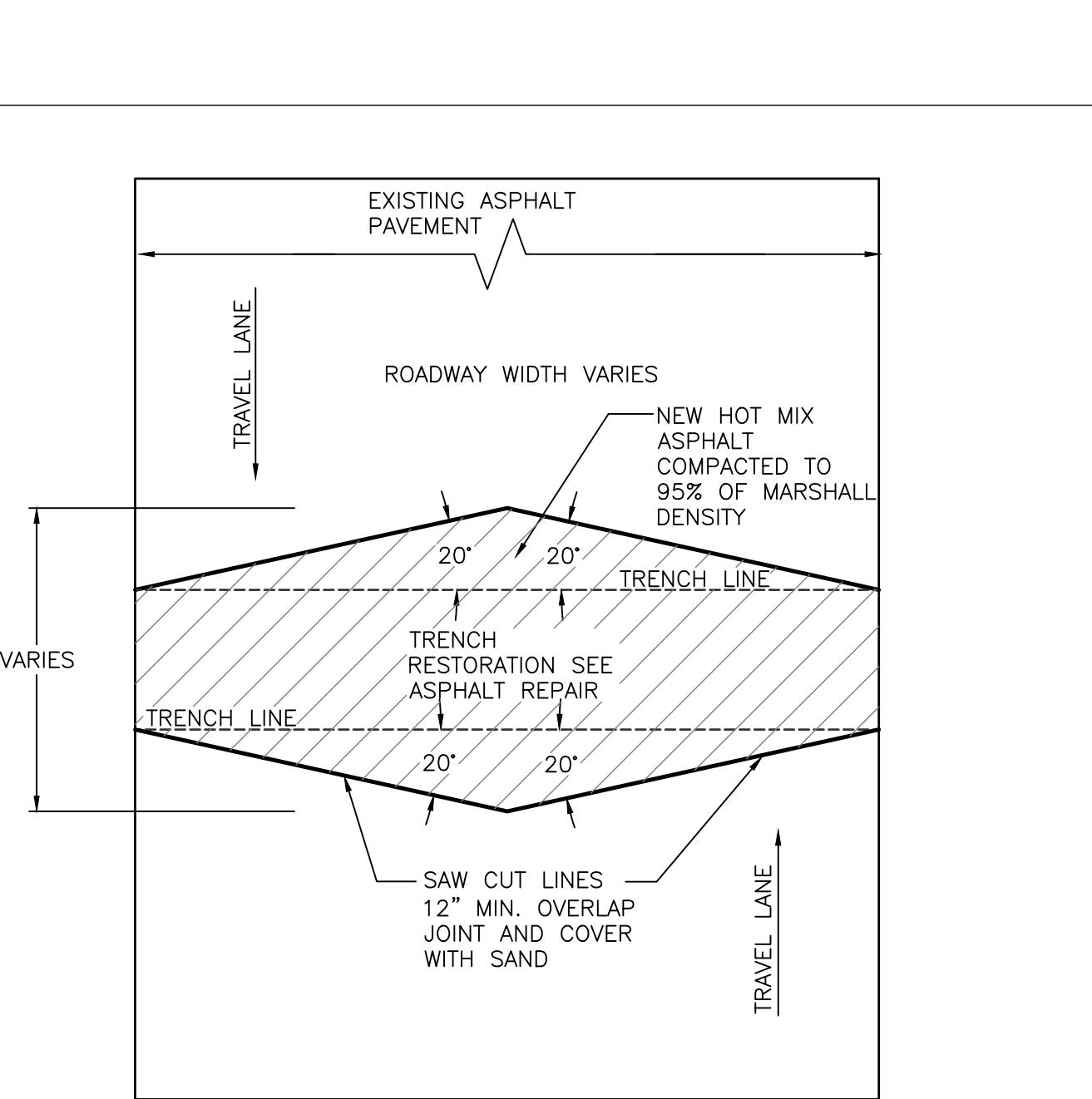
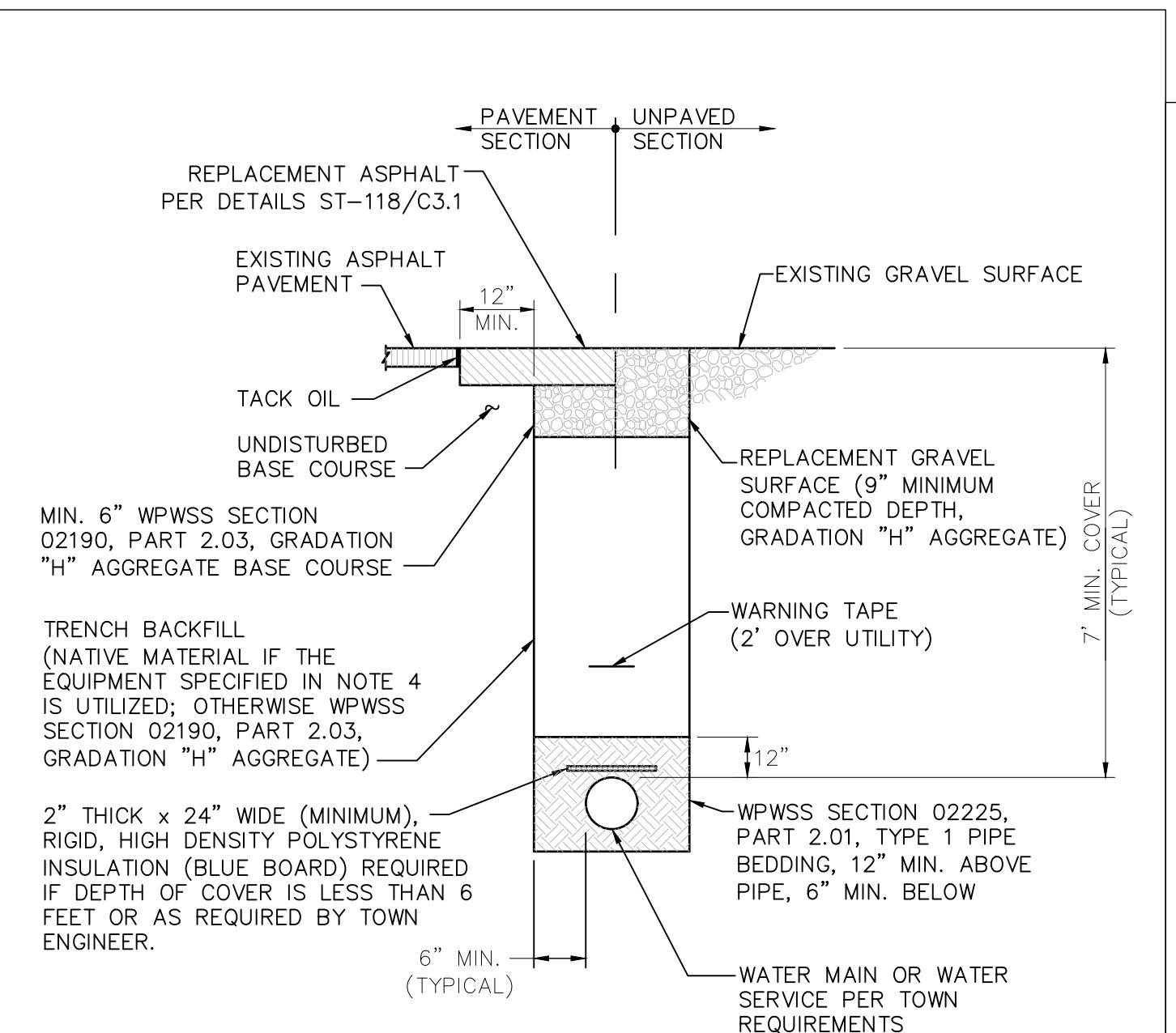
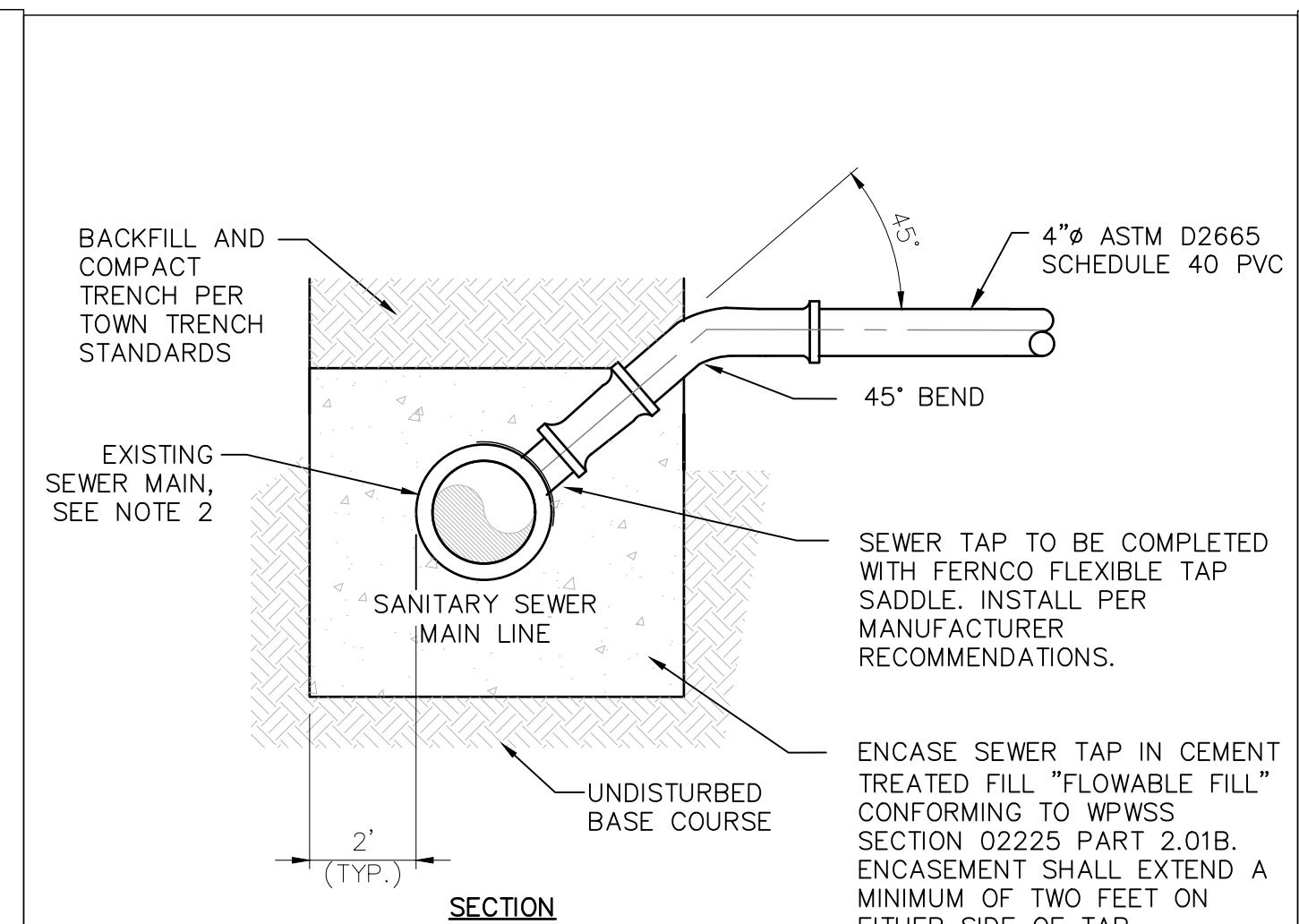
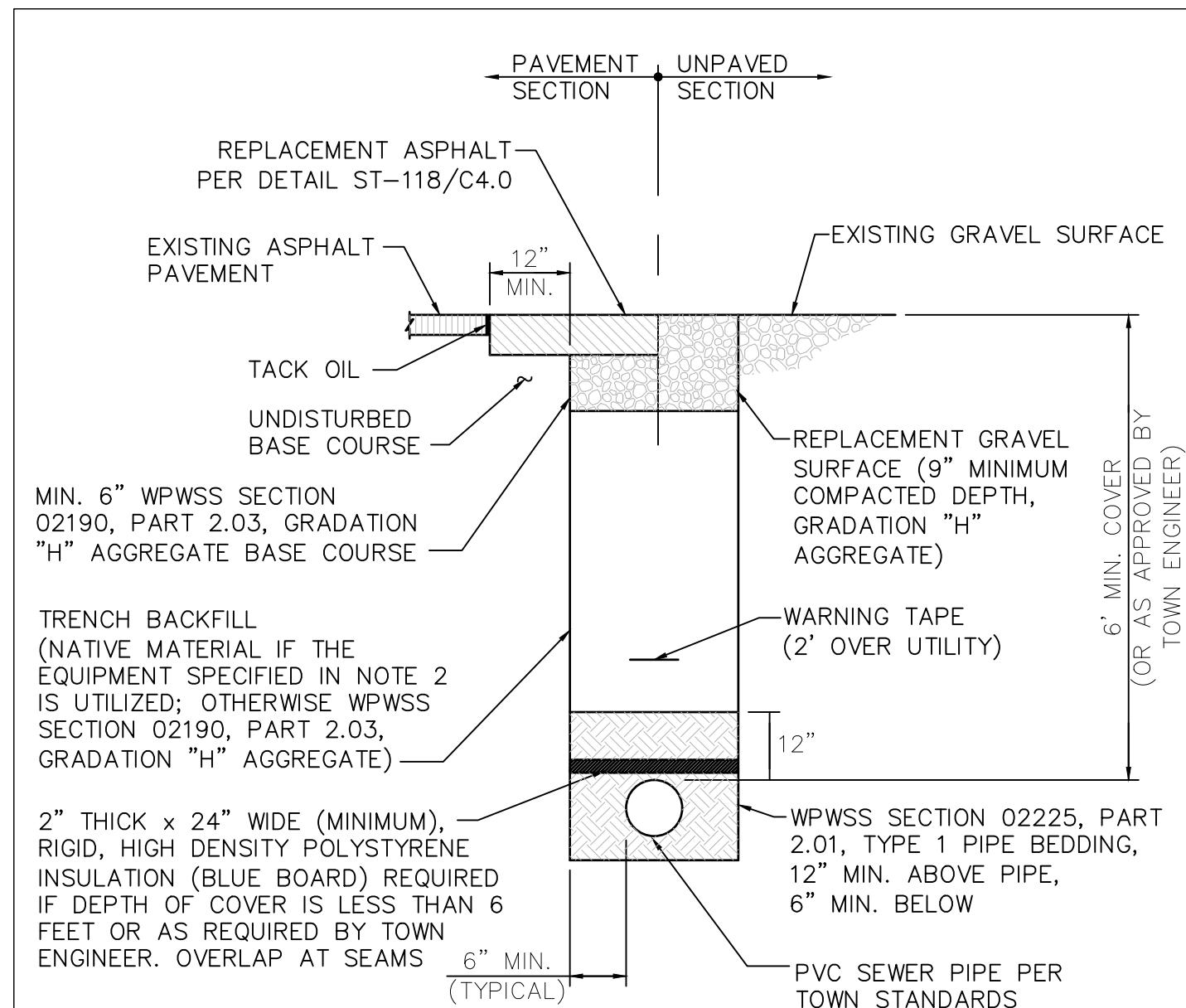
NOTES:

1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).



 W-104 SERVICE CONNECTION THAW WIRE
C3.0 DATE: 1/15/11
DETAIL 2 OF 2
SCALE: NTS







SS-100 C3.1 **SEWER MAIN & SERVICE TRENCH DATA**

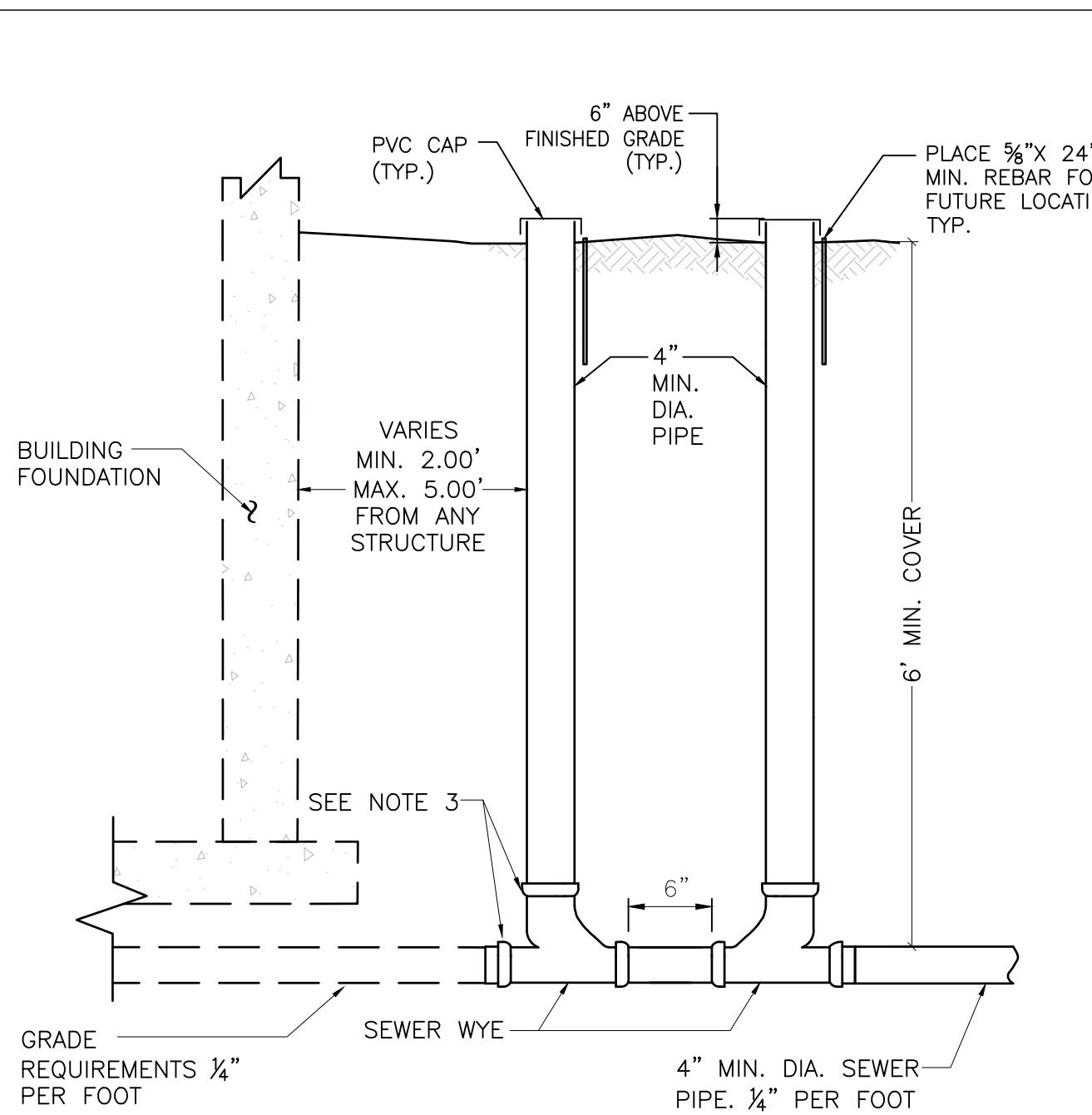
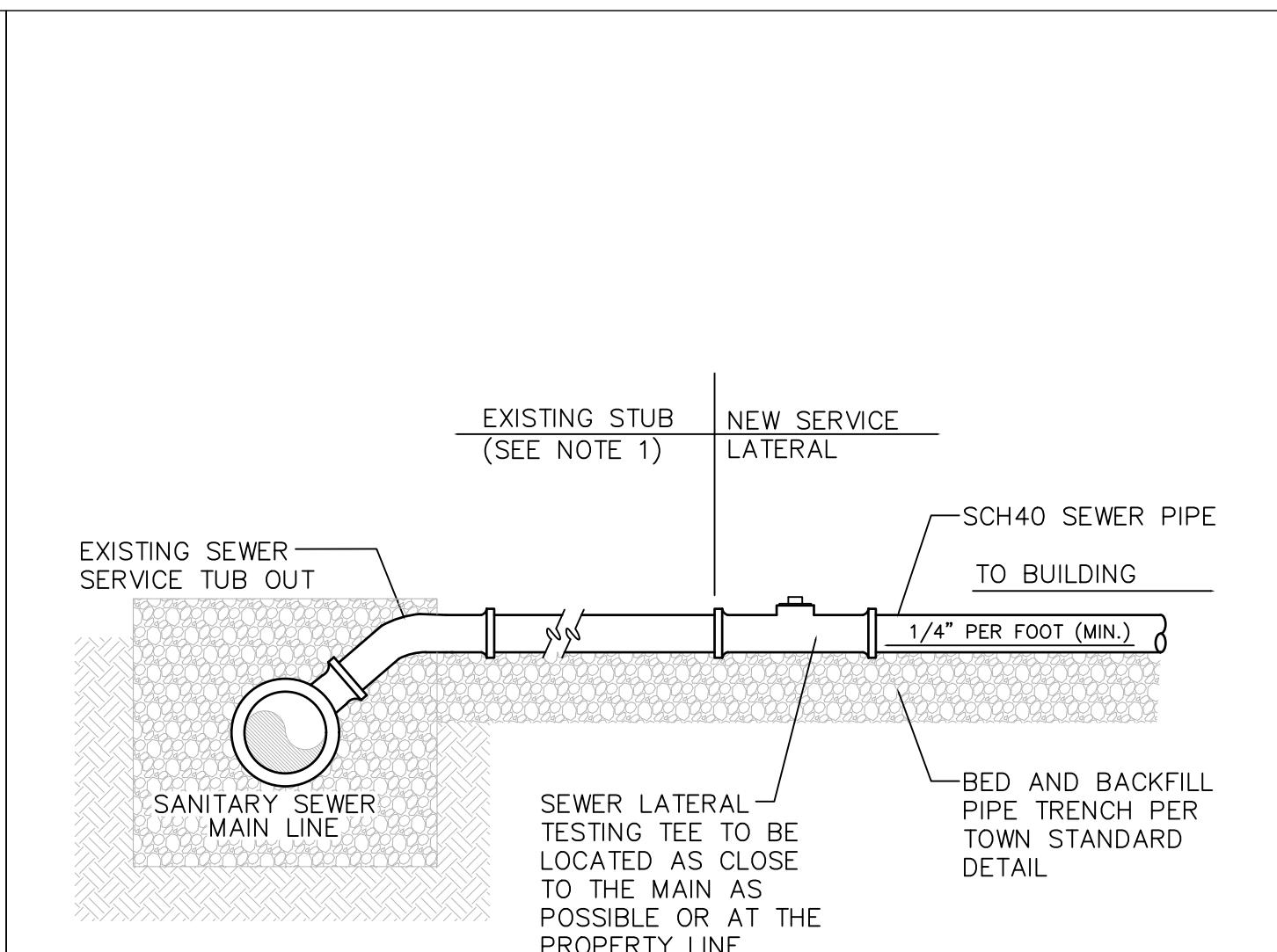
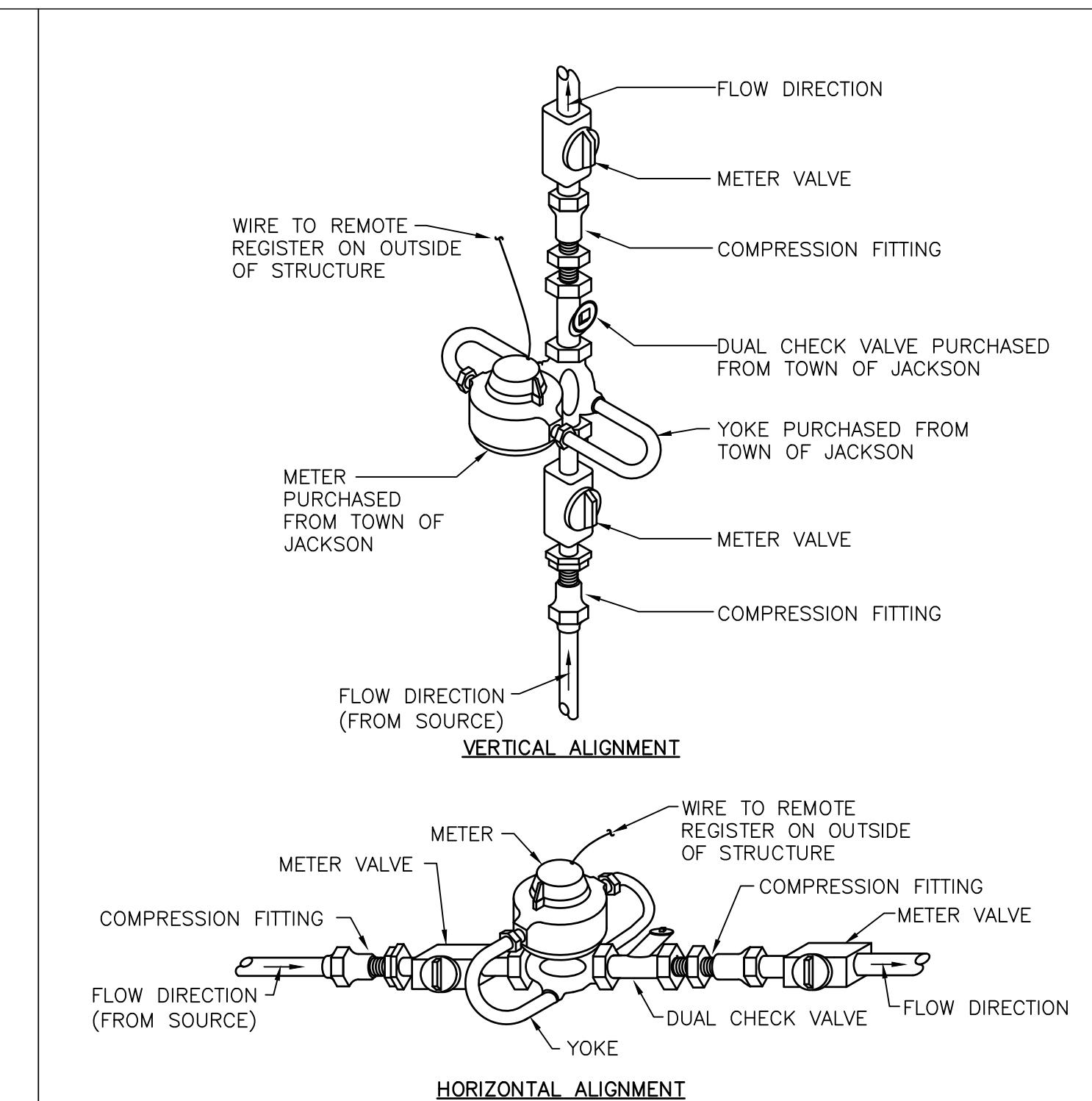
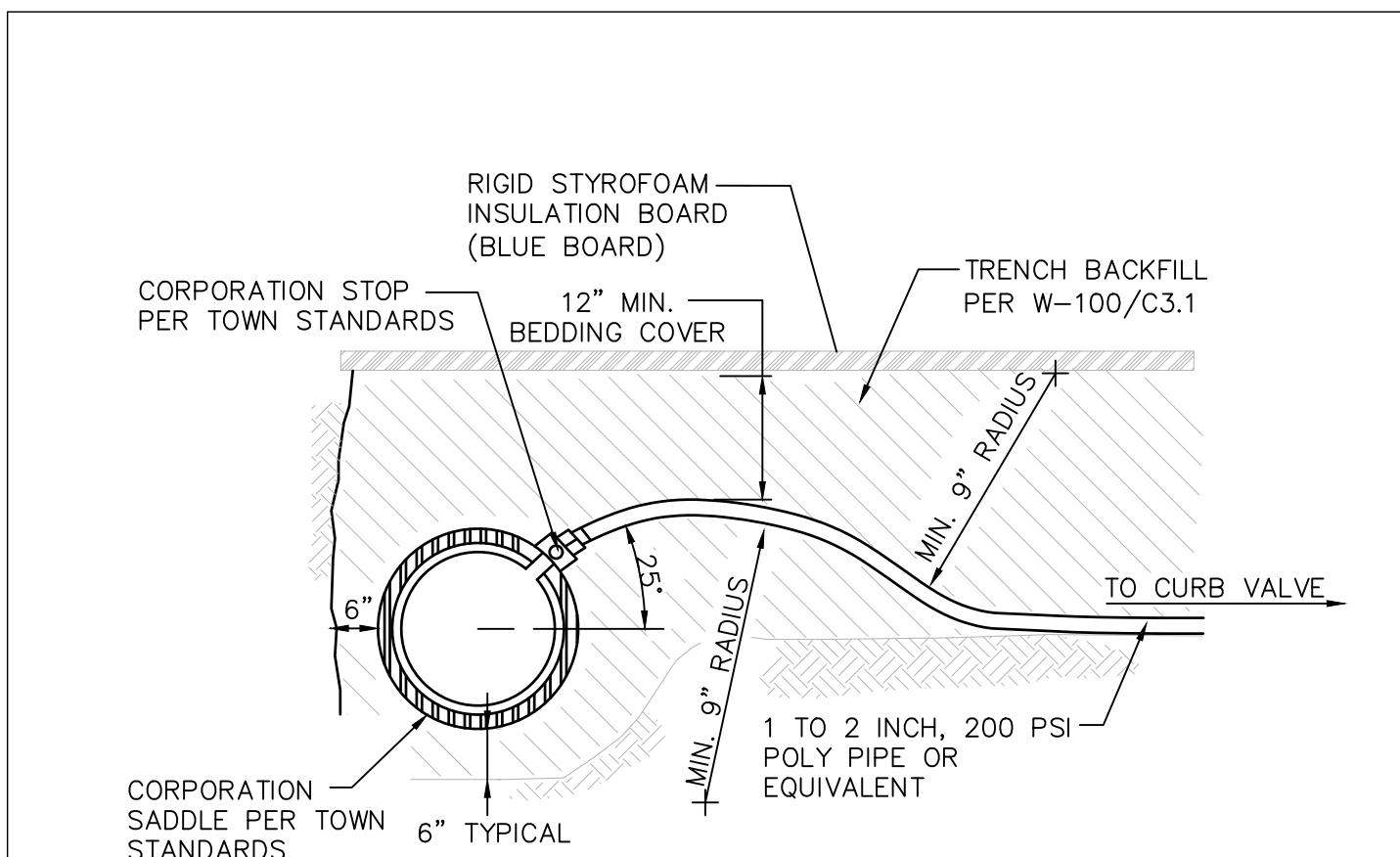
SS-100 DATE: 1/10/2024



SS-115 C3.1 **SEWER MAIN TAPPING**

 **WATER MAIN AND SERVICE LINE TRENCH**

 ST-117 TRENCH RESTORATION DETAIL
C.3.1





W-102
C3.1

1" WATER SERVICE CONNECTION

W-102	DATE: 12/30/15		W-112 C3.1	WATER METER INSTALLATION	W-112	DATE: 1/17/07	SCALE: NTS
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SS-112
C3.1

CONNECTION TO EXISTING SERVICE STUB-OUT

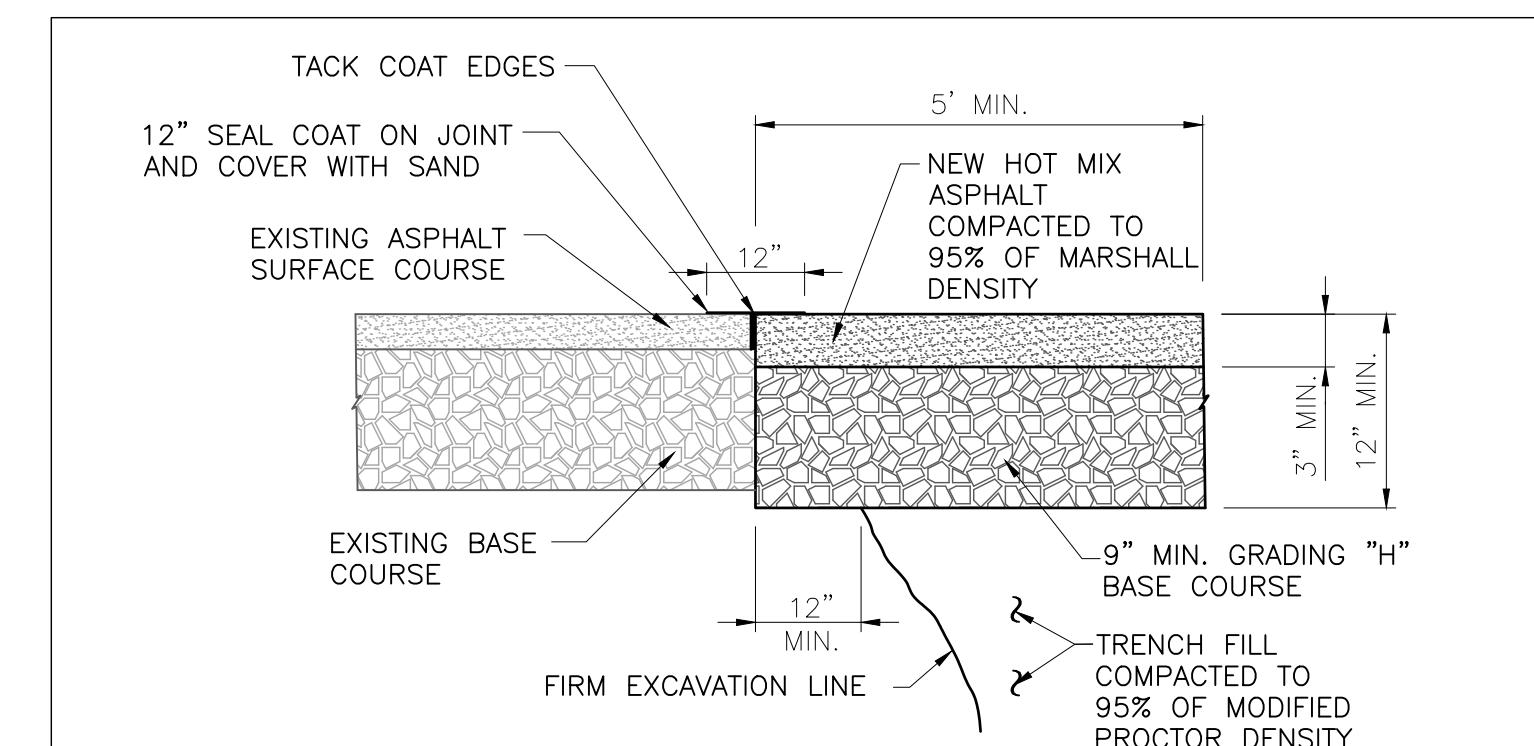
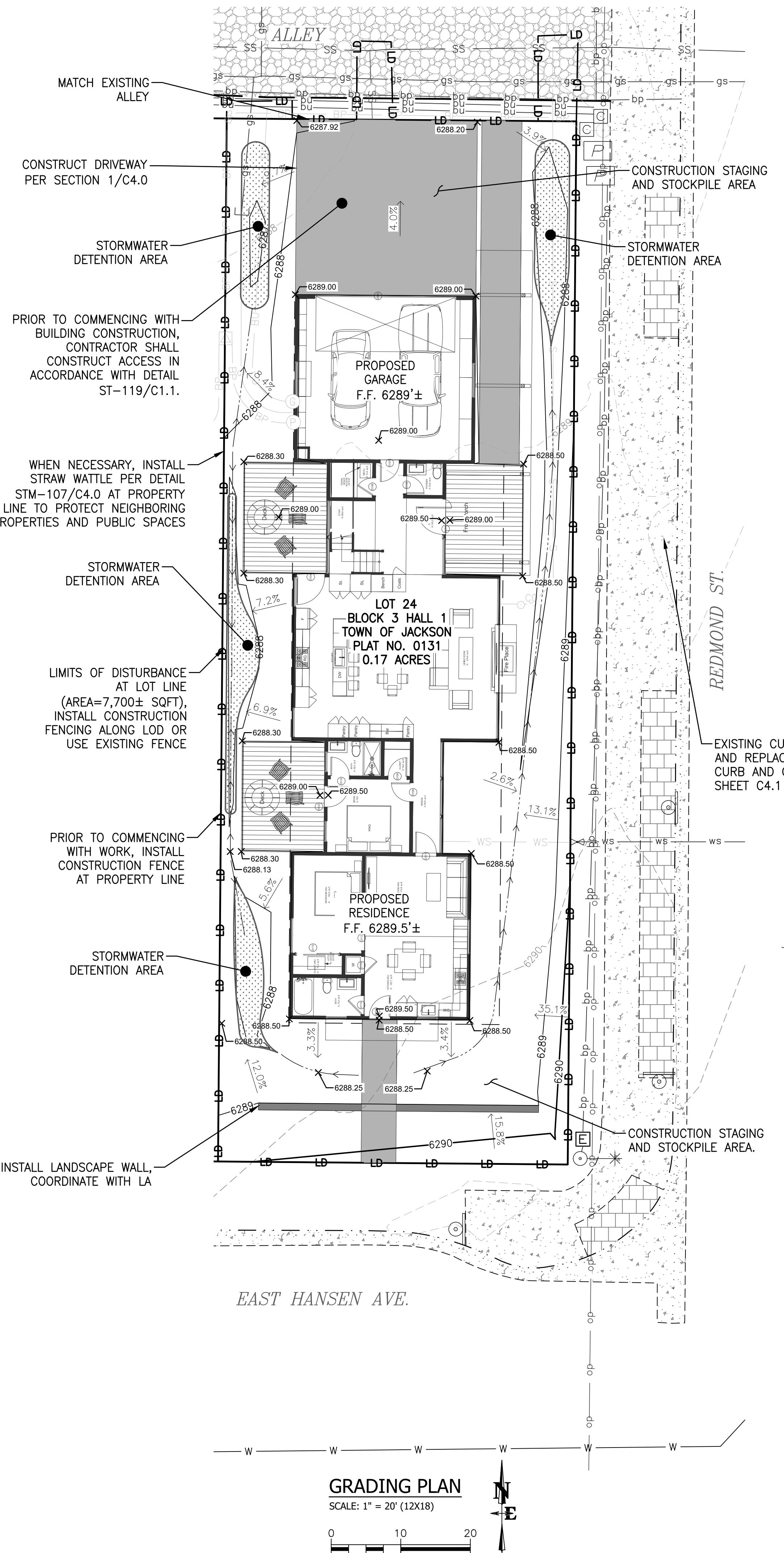
SS-112	DATE: 1/14/13	 SS-114 C3.1	SERVICE LATERAL BUILDING CLEANOUT
SCALE: NTS			SS-114 DATE: 1/14/13 SCALE:

NELSON ENGINEERING		DATE SURVEYED	4 DEC 2019 Y2	REV.
		ENGINEERED	BO	
		DRAWN	BO	
		CHECKED	JK	
		APPROVED	JK	

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING NO		JOB TITLE	DRAWING TITLE	UTILITY DETAILS
C3.1		SIMPSON KID MAGGIE RESIDENCE	275 REDMOND STREET (EAST)	JACKSON, WY
JOB NO	19-361-01			

12-4-19 PAP SET

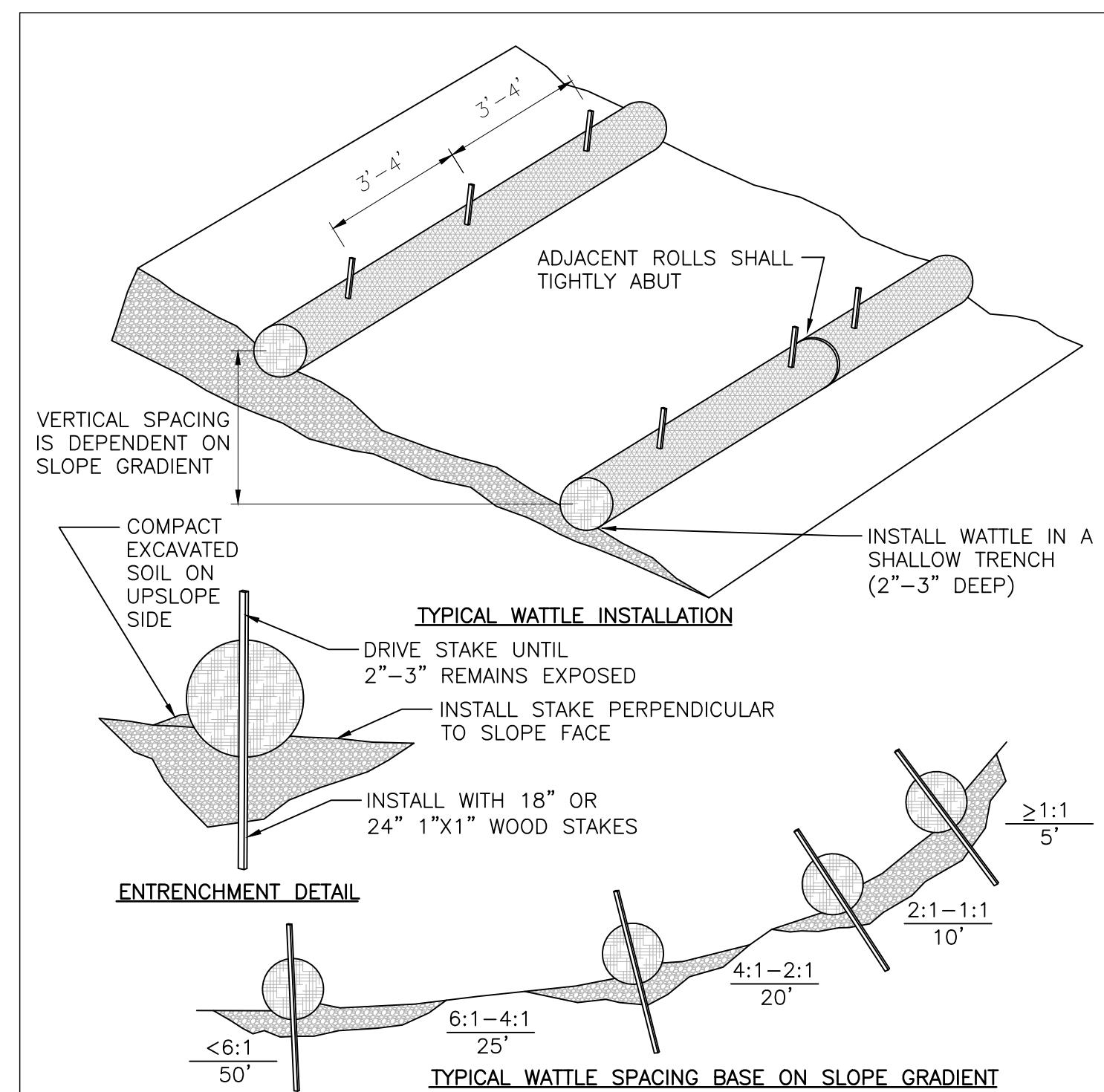


NOTES:

1. BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545. BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS
2. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
3. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN $1\frac{1}{2}$ " IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.

 **ST-118** **ASPHALT PATCH REPAIR SECTION**

 C4.0 ST-118 DATE: 12/5/12 SCALE: NTS

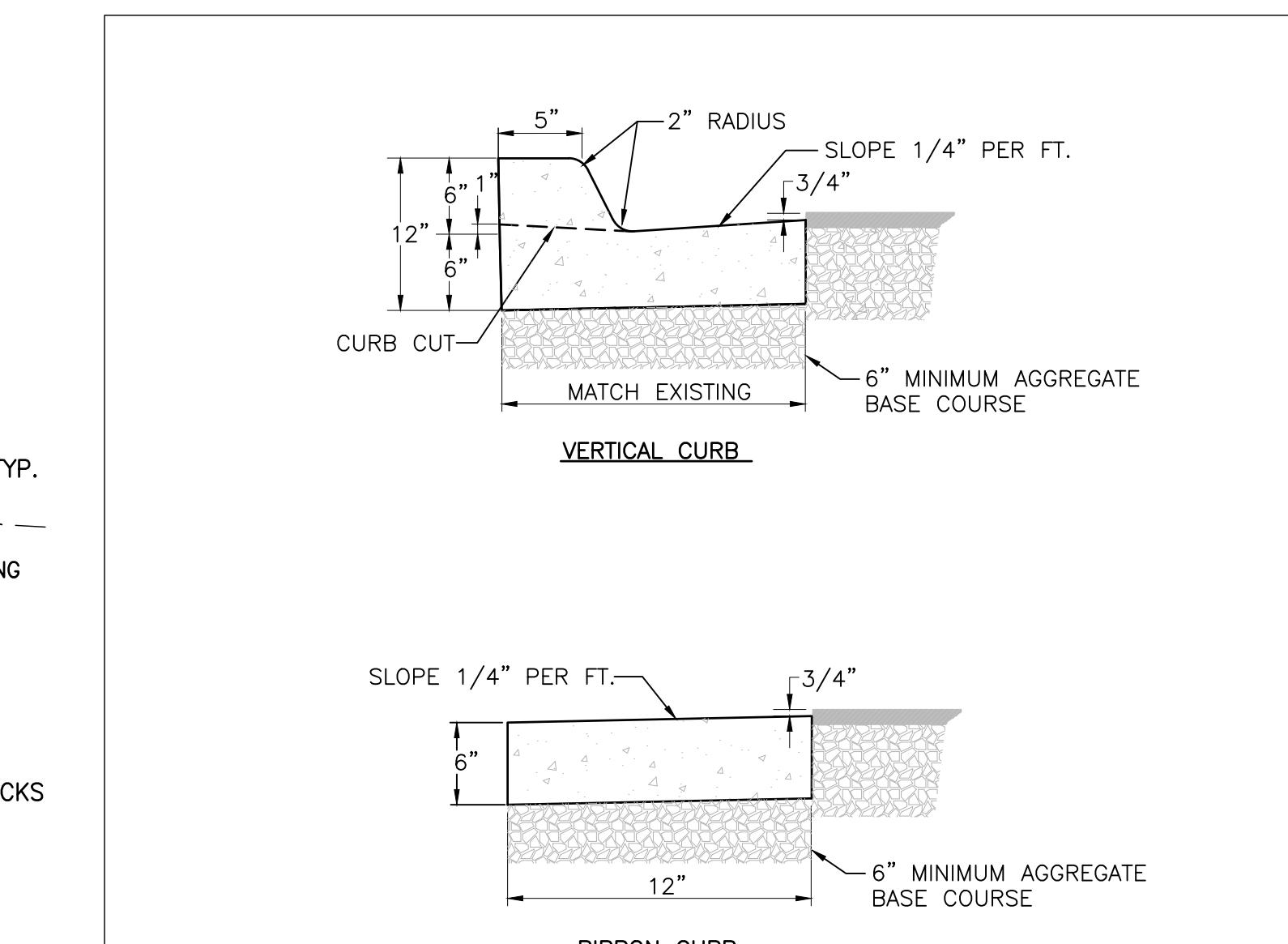


NOTE:

1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTERS SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
4. EROSION CONTROL PLAN AND LOCATION OF STRAW WATTERS SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

 STM-107 STRAW WATTLE DETAILS

 C4.0 SCALE: *NTS*



NOTES:

1. CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
3. REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
4. ROLL CURB SHALL NOT BE ALLOWED.

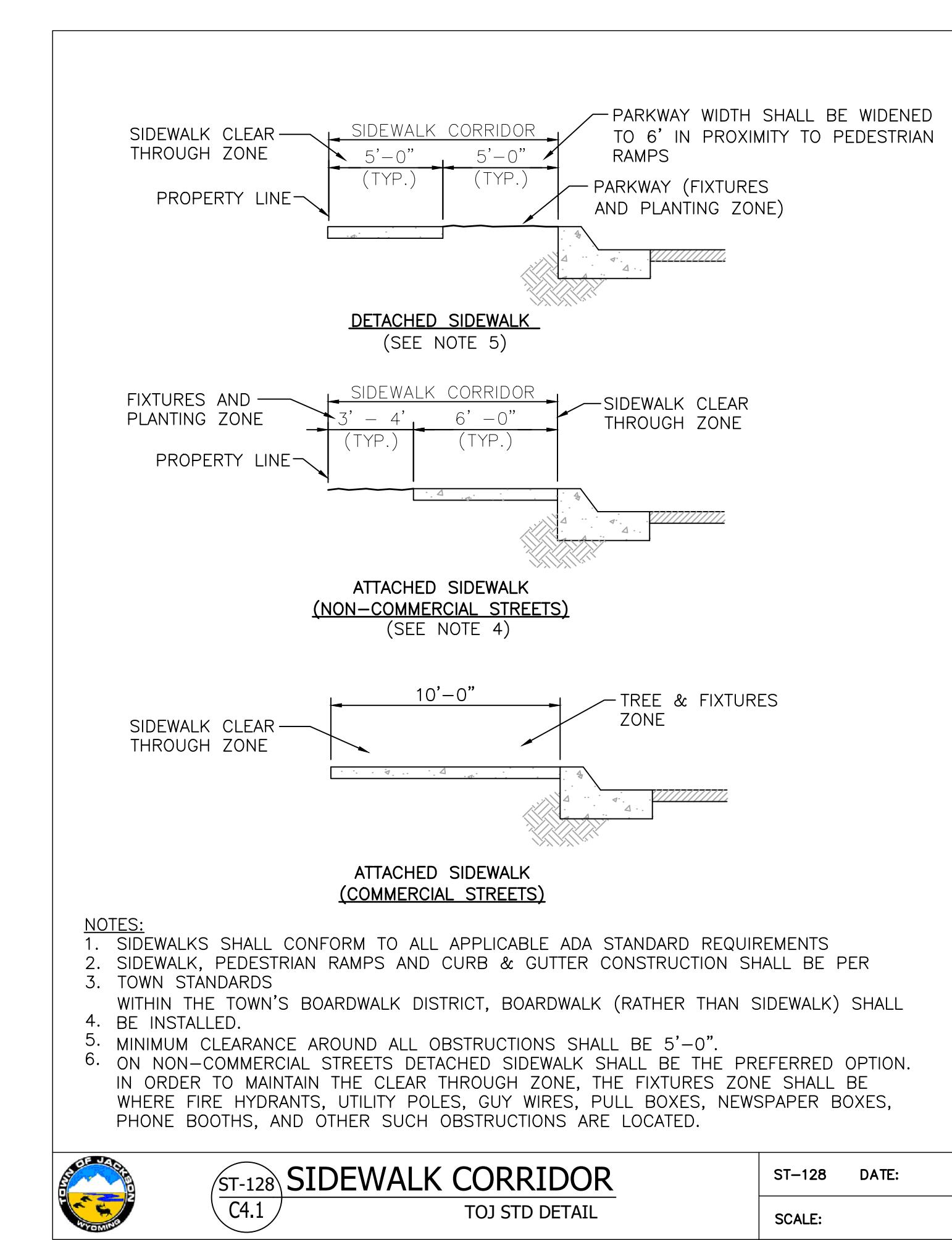
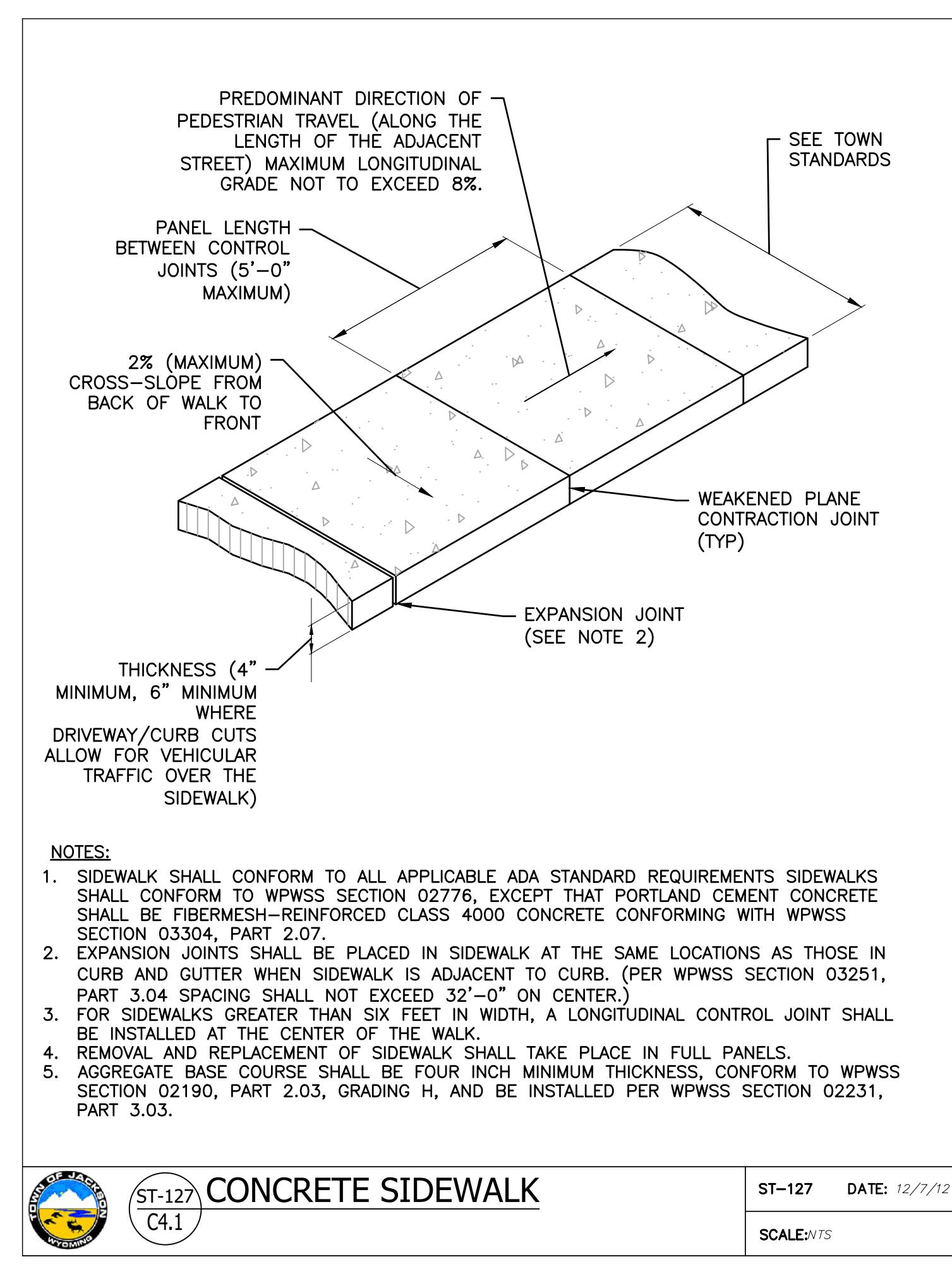
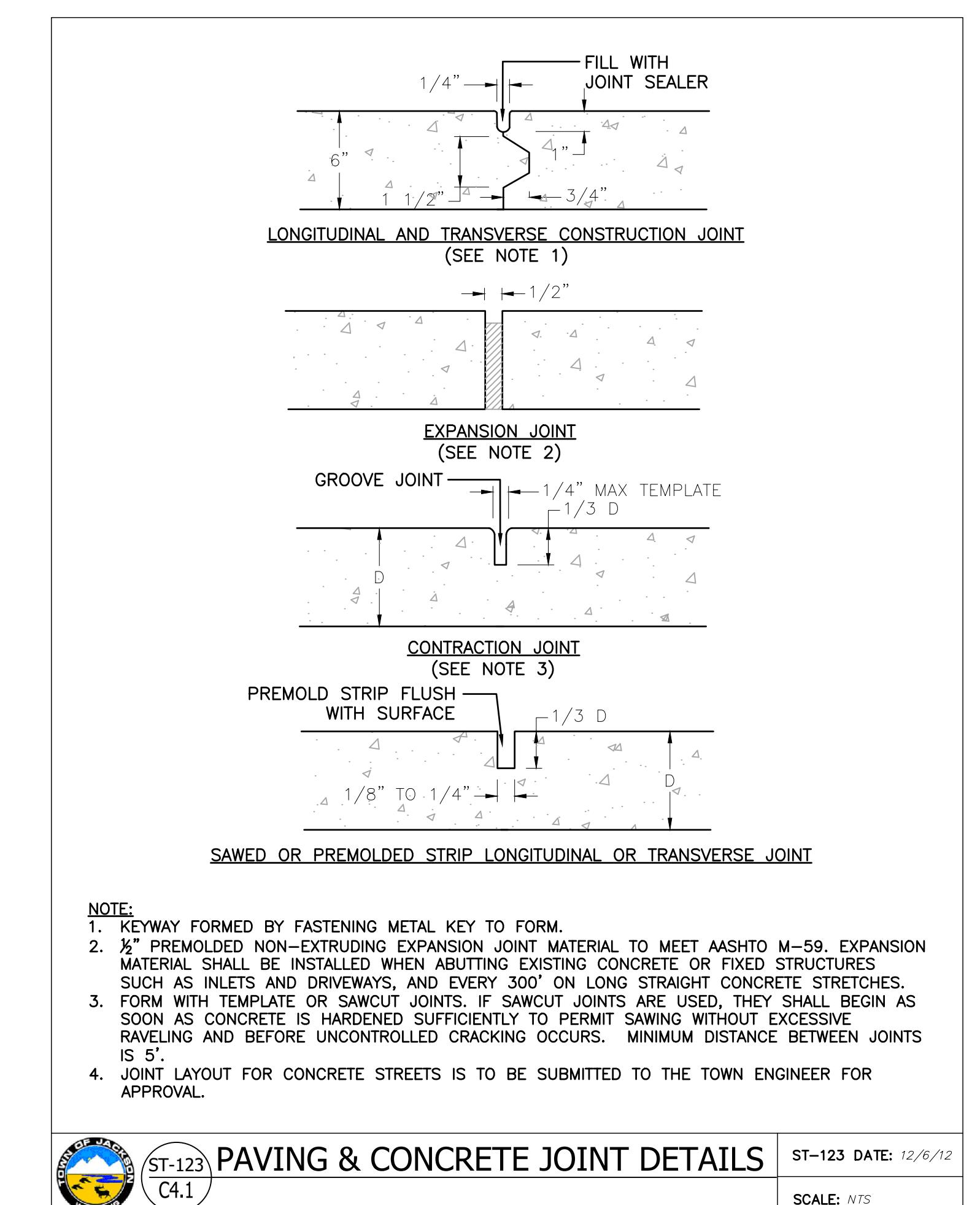
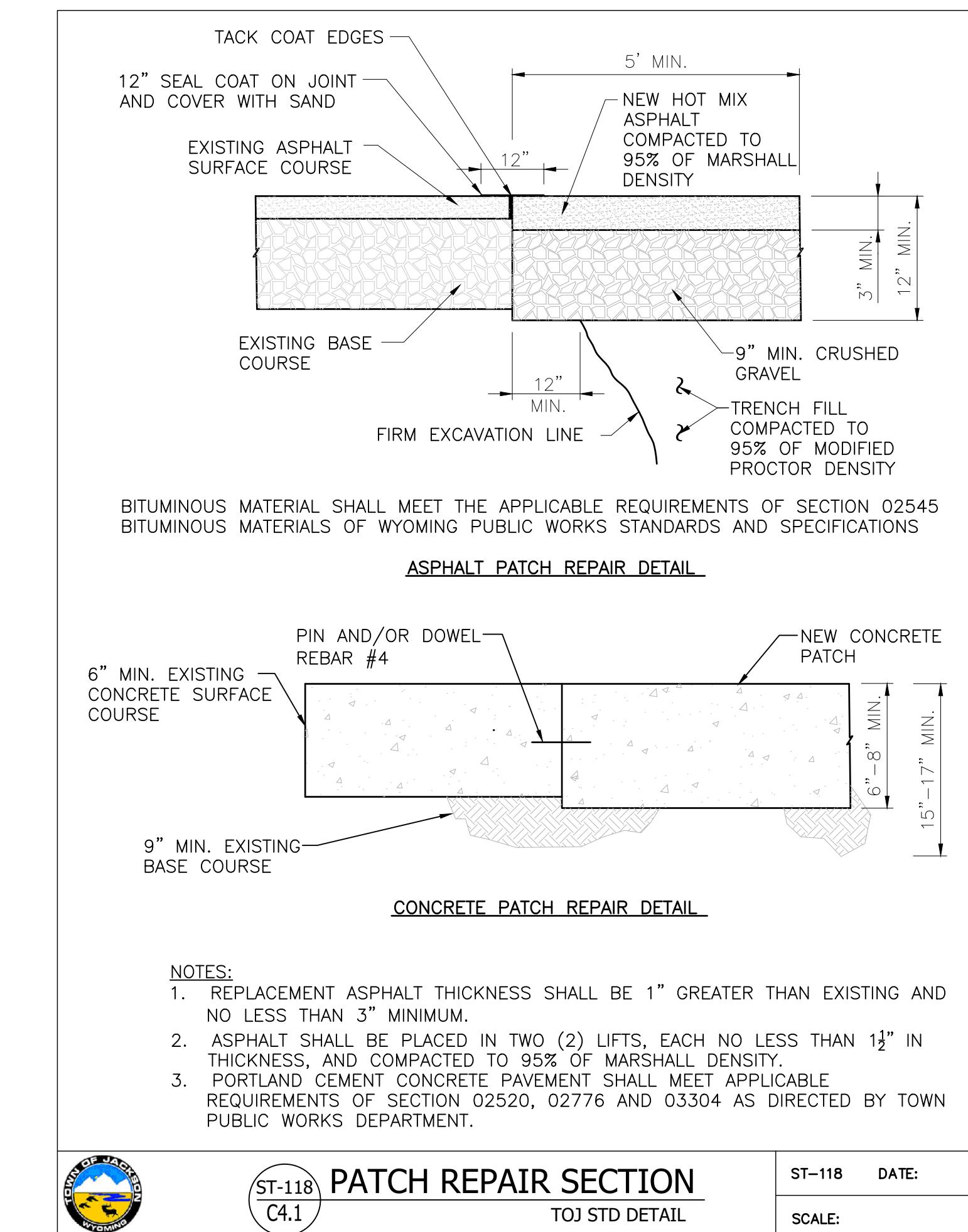
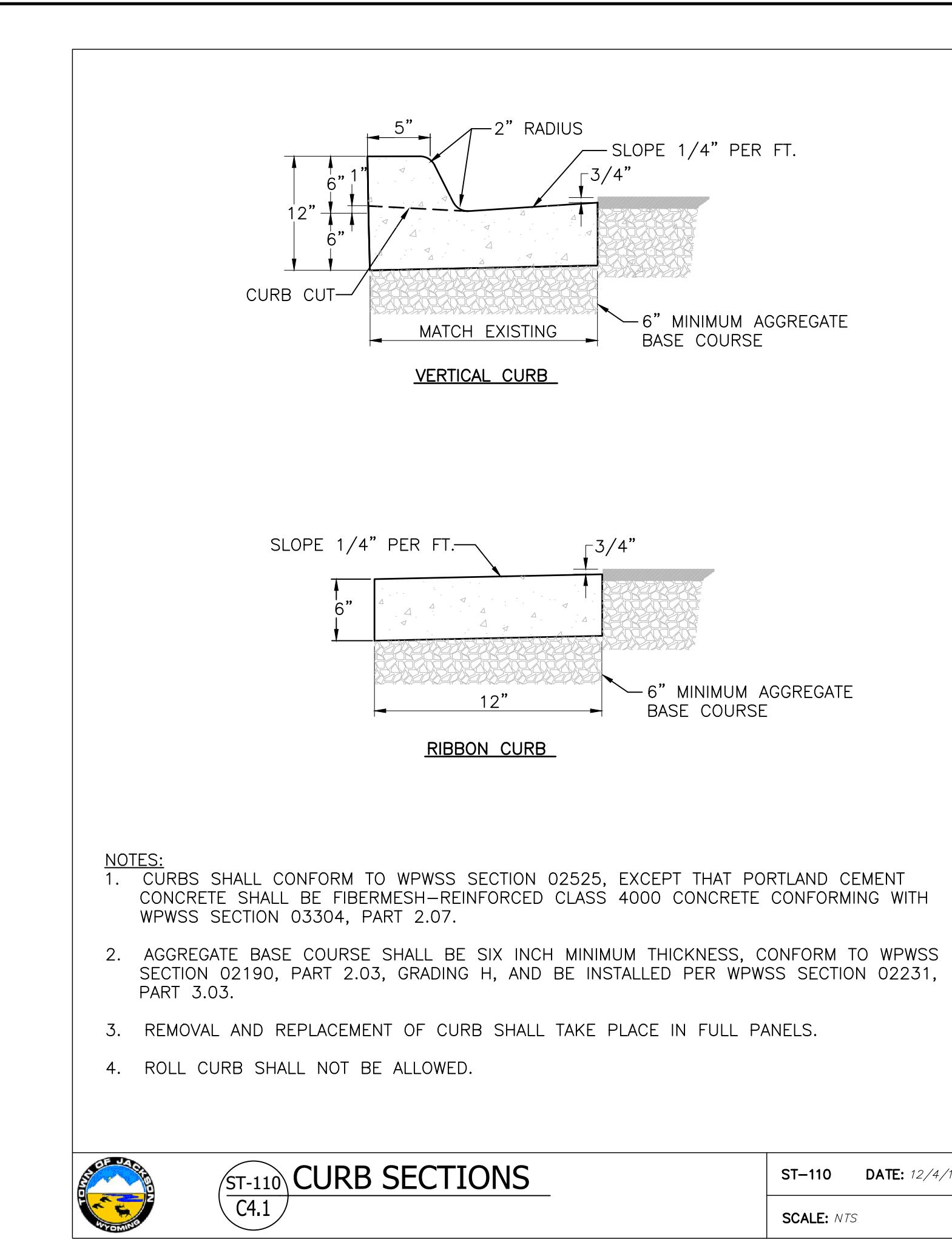


ST-110
C4.0

CURB SECTIONS

WYDARZENIA

DRAWING NO		JOB TITLE	DRAWING TITLE
10-361-01	2.0	SIMPSON KID MAGGIE RESIDENCE 2755 REDMOND STREET (EAST) JACKSON, WY	GRADING PLAN
JOB NO		10-361-01	REV.
DRAWING NO		4 DEC 2019	REV.
SURVEYED		Y2	
ENGINEERED		BO	
DRAWN		BO	
CHECKED		JK	
APPROVED		JK	



DRAWING NO	JOB TITLE	DRAWING TITLE		
		4 DEC 2018	REV.	4 DEC 2018
3.0	SIMPSON KID MAGGIE RESIDENCE 275 REDMOND STREET (EAST) JACKSON, WY	Y2	Y2	Y2
19-361-01	19-361-01	Y2	Y2	Y2
APPROVED	APPROVED	APPROVED	APPROVED	APPROVED

LETTER OF AUTHORIZATION

275 Redmond, LLC, "Owner" whose address is: 207 High Point
Drive, Building 100, Victor, NY 14564-1061

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Zack Stern, as the owner of property
more specifically legally described as: 275 Redmond Street
Lots 23 & 24, Block 3, Hall 1; PIDN 22-41-16-34-1-20-016

(If too lengthy, attach description)

HEREBY AUTHORIZES New West Building Company or Farmer Payne Architects as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: managing partner

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming)

)SS.

COUNTY OF Teton)

)

The foregoing instrument was acknowledged before me by Zack Stern this 16 day of October, 2009.

WITNESS my hand and official seal.

(Notary Public)

My commission expires:

