



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: December 2, 2019	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located 1007 S. Highway 89 legally known as, LOT 3, CAR CORNER ADDITION. For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Item #: P19-274	
Planner: Brendan Conboy Phone: 733-0440 ext. 1302 Fax: 734-3563 Email: bconboy@jacksonwy.gov	
Owner: G6 LLC PO Box 6433 Jackson, WY 83002 Applicant: Jorgensen –Ron Levy PO Box 9550 Jackson, WY 83002	
Please respond by: n/a	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____

Check # _____

Credit Card _____

Cash _____

Application # _____

APPLICABILITY. *This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.*

When is a Pre-application Conference required?

A pre-application conference is required for the following applications:

- Sketch Plan
- Development Plan
- Conditional Use Permit
- Special Use Permit
- Development Option Plan
- Zoning Map Amendment
- Planned Unit Development
- Plan-level Grading Permit
- Environmental Analysis

When not required, the applicant may request a pre-application conference for other types of applications.

PROJECT.

Name/Description: Cowboy Coffee Company Mini Storage

Physical Address: 1007 S. Highway 89

Lot, Subdivision: Lot 3, Car Corner Addition

PIDN: 22-41-16-32-3-02-003

OWNER.

Name: G6 LLC

Phone: 307-733-6238

Mailing Address: 1900 Buckrail Drive, Jackson, WY

ZIP: 83001

E-mail: rob@cowboycoffee.com

APPLICANT/AGENT.

Name, Agency: Jorgensen Associates (C/O Ron Levy)

Phone: 307-733-5150

Mailing Address: PO Box 9550, Jackson, WY

ZIP: 83002

E-mail: rlevy@jorgeng.com

DESIGNATED PRIMARY CONTACT.

_____ Owner ☒ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

ANTICIPATED TYPES OF REVIEW PROCESS NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

<input checked="" type="checkbox"/> Physical Development Permit (includes grading)	This pre-application conference is: <input checked="" type="checkbox"/> Required _____ Optional _____ For an Environmental Analysis _____ For grading
_____ Use Permit	
_____ Development Option or Subdivision Permit	
_____ Interpretations of the LDRs	
_____ Amendments to the LDRs	
_____ Relief from the LDRs	
_____ Environmental Analysis	

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide one electronic copy, and six hard copies of the submittal packet.

Have you attached the following?

- ☒ **Application Fee.** See the currently adopted Fee Schedule in the Administrative Manual for more information.
- ☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- ☒ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:
 - ☒ Existing property conditions (buildings, uses, natural resources, etc)
 - ☒ Character and magnitude of proposed physical development or use
 - _____ Intended development options or subdivision proposal (if applicable)
 - _____ Proposed amendments to the LDRs (if applicable)
- ☒ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 - ☒ Property boundaries
 - ☒ Existing and proposed physical development and the location of any uses not requiring physical development
 - _____ Proposed parcel or lot lines (if applicable)
 - ☒ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference
- ☒ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.
- ☒ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Ron Levy

Name Printed

11/20/2019

Date

Land Use Planning

Title



JORGENSEN
It's About People, Trust and Know How

PO Box 9550 · 1315 HWY 89 S., Suite 201
Jackson, WY 83002
PH: 307.733.5150
www.jorgeng.com

November 22, 2019

Brendan Conboy
Town of Jackson Planning and Building Dept.
P.O. Box 1687
150 East Pearl Street
Jackson, WY 83001

Hand Delivered

RE: Pre-application Conference Request – Includes Grading for Phase 2

Dear Brendan,

Enclosed you will find the necessary materials for a Pre-application Conference Request that includes grading for Phase 2 of the Cowboy Coffee project that we are submitting on behalf of our client, CCC Management, LLC.

The property is located at 1007 South US-Highway 89 (22-41-16-32-3-02-003) adjacent to the Maverick. Phase 1 for the coffee shop and residential units is currently being developed and Phase 2 involves 28 mini-storage units. The property takes access from US-Highway 89 and South Park Loop Road.

Please give me a call at your earliest convenience to schedule the Conference.

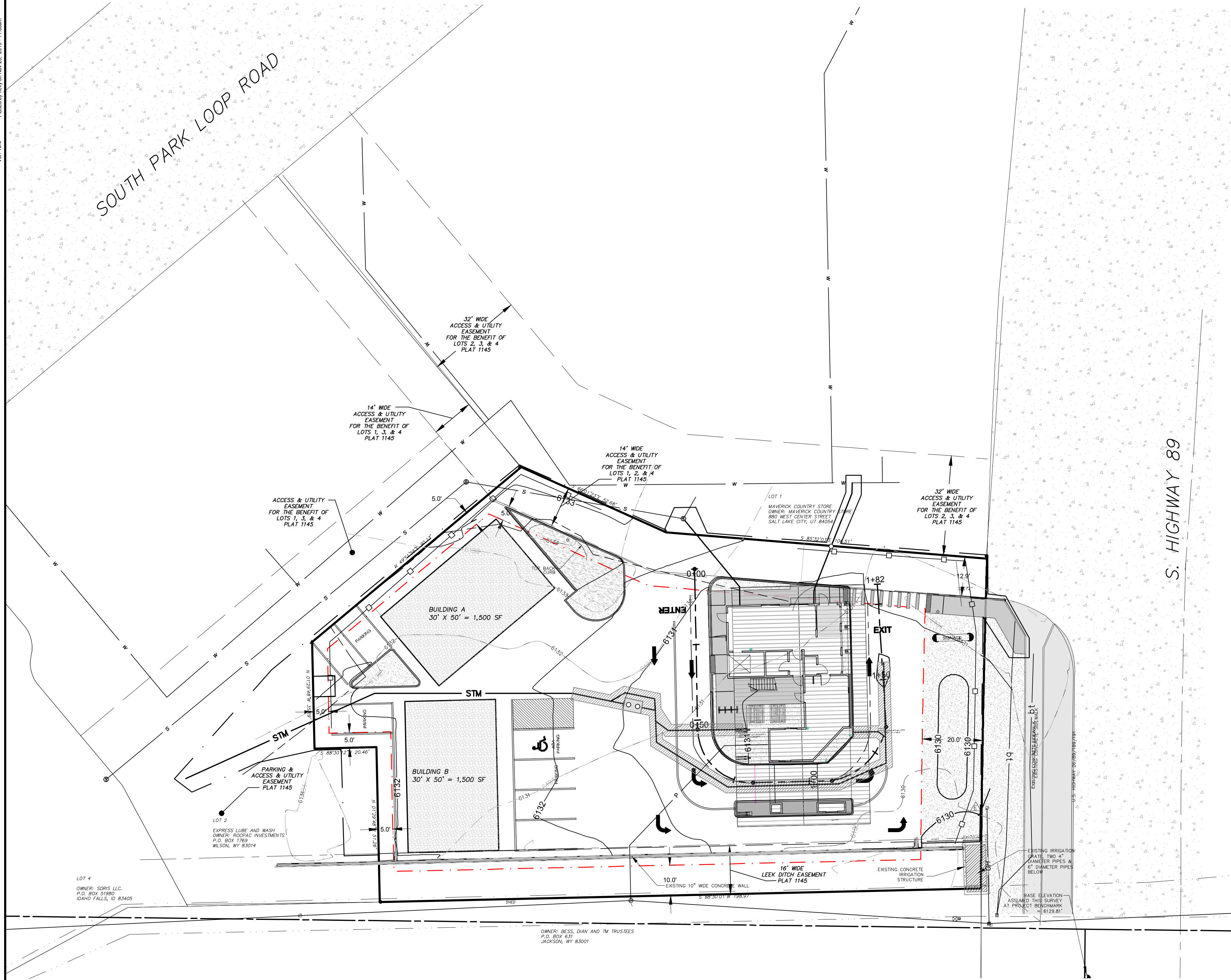
Included with this transmittal you will find the following:

- Pre-Application Conference request form
- Deed and Letter of Authorization
- Jorgensen Associates Check No. 10772 for \$150
- Site plan
- Supporting Information

Sincerely,

JORGENSEN ASSOCIATES, P.C.

Ron Levy
Land Use Planning



NOTES:
BASIC USE PERMIT (P19-055) FOR MINI STORAGE USE
APPROVED MARCH 19, 2019.

BUILDING A
30' X 50' = 1,500 SF

14 UNITS TOTAL

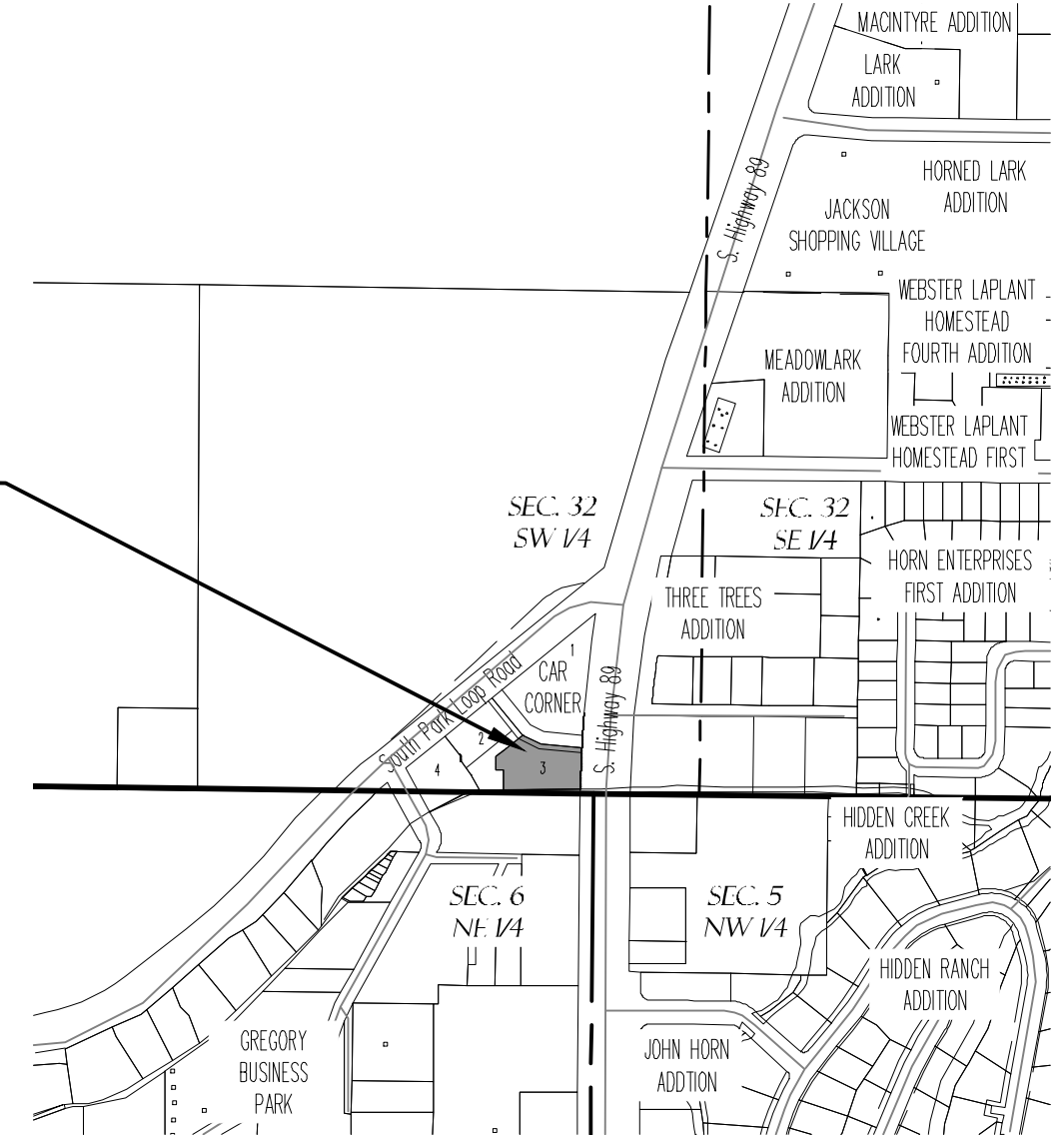
2 (TWO) 15' X 30'
12 (TWELVE) 5' X 10'

BUILDING B
30' X 50' = 1,500 SF

14 UNITS TOTAL

8 (EIGHT) 10' X 15'
6 (SIX) 5' X 10'

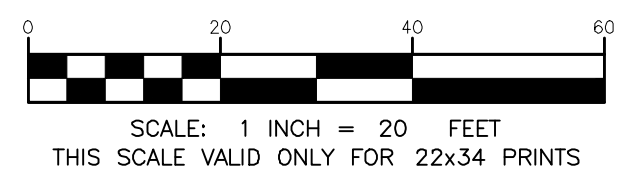
**SUBJECT
PROPERTY**



VICINITY MAP
LOT 3, CAR CORNER ADDITION TO THE TOWN OF JACKSON
PT. SW1/4, SEC. 32 PT. SE1/4, SEC. 23
PT. NE1/4, SEC. 6 & PT. NW1/4, SEC. 5
T41N, R116W, 6th P.M.
SCALE 1" = 500'

LEGEND

- section line
- boundary, subject property
- boundary, adjoining property
- boundary, easement, access & utility as noted
- boundary, irrigation ditch
- boundary, building setback
- boundary, edge of pavement
- boundary, easement Leek Ditch
- utilities, proposed sanitary sewer line
- utilities, proposed water line
- utilities, power
- STM utilities, storm water drainage
- utilities, town of jackson water line
- utilities, town of jackson sanitary sewer line
- contour, major
- contour, minor
- utilities, existing utility pole
- utilities, existing electric transformer
- utilities, existing electric meter
- utilities, existing utility vault
- utilities, existing telephone pedestal
- utilities, existing sewer manhole
- utilities, proposed electric transformer
- utilities, proposed sewer manhole
- utilities, proposed water manhole
- utilities, proposed stormwater drainage
- landscaping, proposed
- stormwater, existing drainage culvert
- right-of-way, as noted



- PRELIMINARY -
SUBJECT TO CORRECTION
AND APPROVAL

PROJECT TITLE:
COWBOY COFFEE

SHEET TITLE:
**PREAPPLICATION CONFERENCE REQUEST
PHASE 2 - SITE PLAN**

DRAFTED BY:	YL
REVIEWED BY:	
PLAN VERSION	DATE
V1	11/15/2019
PROJECT NUMBER	17102
SHEET	C 1.0

SPECIAL WARRANTY DEED

RELEASED	<input type="checkbox"/>
INDEXED	<input checked="" type="checkbox"/>
ABSTRACTED	<input checked="" type="checkbox"/>
SCANNED	<input type="checkbox"/>

Dennis R. Lamb, a married man dealing in his sole and separate property ("Grantor"), for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, the receipt and sufficiency of which is hereby acknowledged, CONVEYS AND WARRANTS in the manner set forth below to G6 LLC, of P.O. Box 530, Jackson, Wyoming, 83001, ("Grantee"), the following described real estate situated in the County of Teton, State of Wyoming, hereby waiving and releasing under and by virtue of the Homestead Exemption Laws of the State of Wyoming, to wit:

Lot 3 of the CAR Corner Addition to the Town of Jackson, Teton County Wyoming according to that plat recorded April 19, 2005 as Plat No. 1145; PIDN 22-41-16-32-3-02-003;

Together with and including all improvements thereon and all appurtenances and hereditaments thereunto belonging; but subject to all covenants, conditions, restrictions, easements, reservations, rights and rights-of-way of sight and/or record.

Grantor shall and will specially warrant that the title to the aforesaid property is free from defects or encumbrances created or suffered by Grantor excepting therefrom mortgages of record as of the date of this deed, and will forever defend the property conveyed by the within deed, and every part thereof, against every person lawfully claiming the same, or any part thereof, by, through, or under Grantor, and no other.

Joy L. Lamb, wife of Dennis R. Lamb, executes this Special Warranty Deed for the sole purpose of releasing and waiving all rights in the property under and by virtue of the homestead exemption laws of the State of Wyoming.

WITNESS our hands this 35th day of September, 2012.

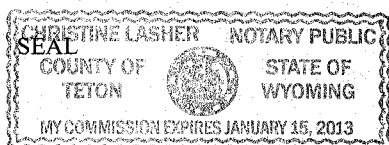
[Signature]
Dennis R. Lamb

[Signature]
Joy L. Lamb

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

The foregoing instrument was acknowledged before me by Dennis R. Lamb and Joy L. Lamb this 35th day of September, 20 12.

Witness my hand and official seal.



[Signature]
Notary Public
My commission expires: 1-15-2013

GRANTOR: LAMB, DENNIS R
GRANTEE: G6 LLC
Doc 0822421 bk 820 pg 342-342 Filed At 15:35 ON 09/25/12
Sherry L. Daigle Teton County Clerk fees: 8.00
By Michele Fairhurst Deputy

LETTER OF AUTHORIZATION

G6, LLC, a Wyoming limited liability company ("Owner"), is the owner of the property more specifically described as Lot 3, Car Corner Addition to the Town of Jackson, Wyoming according to Plat 1145 recorded in the County Clerk's Office of Teton County, Wyoming on April 19, 2005 (PIDN 22-41-16-32-3-02-003)(the "Property"), and HEREBY AUTHORIZES CCC Management, LLC, a Wyoming limited liability company ("CCC"), to pursue construction of improvements on the Property and to pursue all permits necessary in conjunction therewith with the Town of Jackson, Wyoming. CCC and Owner are parties to that certain Ground Lease dated December 8, 2017 (the "Lease"). Nothing herein is intended to modify the terms and conditions of the Lease, and CCC hereby acknowledges that all construction activities on the Property remain subject to the terms and conditions of the Lease. CCC hereby appoints Jorgensen Associates, P.C., a Wyoming professional corporation ("Agent"), as its agent to represent and act for CCC in pursuit of a building permits for improvements on the Property. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized CCC's submittal of the building permit application (and related applications and permits) by the Agent named above. Owner acknowledges and agrees that the Property will be subject to the terms and conditions of the building permit. CCC shall be responsible for all fines and fees related to such permits authorized herein.


Under penalty of perjury, the undersigned swear that the foregoing is true and is given with the appropriate authority of G6 and CCC.


Owner reserves the right to terminate this Letter of Authorization at any time following one (1) days written notice to Agent, CCC and the Town of Jackson.


G6, LLC,
a Wyoming limited liability company

By: 
Dennis Lamb, Manager

STATE OF WYOMING)
) ss
COUNTY OF TETON)

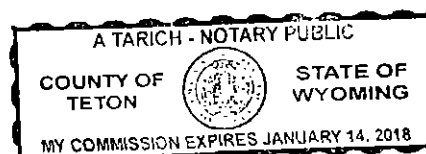

2nd day of January

 The foregoing instrument was acknowledged before me on this 29th day of December, 2017 by Dennis Lamb in his capacity as Manager of G6, LLC, a Wyoming limited liability company.

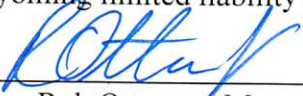

Notary Public

SEAL:

My Commission Expires: 1.14.18

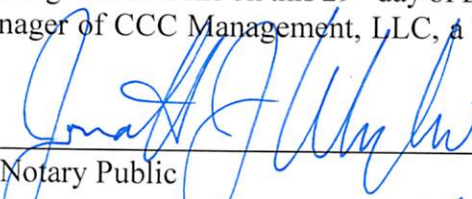


CCC Management, LLC,
a Wyoming limited liability company

By: 
Rob Ottaway, Manager

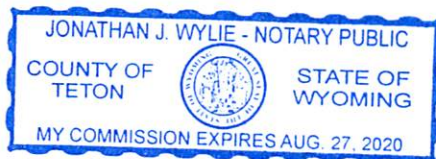
STATE OF WYOMING)
) ss
COUNTY OF TETON)

The foregoing instrument was acknowledged before me on this 29th day of December, 2017 by Rob Ottaway in his capacity as Manager of CCC Management, LLC, a Wyoming limited liability company.


Notary Public

SEAL:

My Commission Expires: 8/27/20





COWBOY COFFEE STORAGE

JACKSON, WYOMING

SUBMITTED TO :

CCC MANAGEMENT, L.L.C.
ATTN: PETER MACILWAINE
1007 S. HIGHWAY 89
JACKSON, WY 83002

PHONE: (307) 699-8163

NOTE: DETAIL LABELS CONTAINED WITHIN THIS SET OF PLANS MAY
REFERENCE THE ERECTION DRAWINGS MARKED IN THIS SCHEDULE.
EXAMPLE: DETAIL A/900 REFERS TO DETAIL "A" LOCATED ON ERC900X.

ERECTION DRAWINGS				
ERC015X	ERC200SS	ERC420X	ERC620X	ERC751X
ERC016X	ERC201SS	ERC500X	ERC621X	ERC752X
ERC100X	ERC202SS	ERC505SS	ERC622X	ERC753X
ERC105X	ERC203X	ERC506SS	ERC623X	ERC754X
ERC106X	ERC204X	ERC515X	ERC624X	ERC800X
ERC110X	ERC206X	ERC600SS	ERC625X	ERC900X
ERC112X	ERC207X	ERC601SS	ERC626X	ERC901X
ERC115X	ERC208X	ERC602X	ERC630X	ERC902X
ERC120X	ERC209X	ERC603X	ERC631X	ERC903X
ERC130X	ERC250X	ERC604X	ERC650X	ERC904X
ERC150X	ERC250XPHP	ERC605X	ERC651X	ERC905X
ERC151X	ERC251X	ERC606X	ERC652X	ERC907X
ERC152X	ERC251XPHP	ERC607X	ERC700SS	ERC908X
ERC153X	ERC252X	ERC608X	ERC710X	ERC910X
ERC154X	ERC252XPHP	ERC609X	ERC711X	ERC911X
ERC155X	ERC253X	ERC610X	ERC712X	ERC912X
ERC175X	ERC254X	ERC611X	ERC713X	ERC913X
ERC176X	ERC255X	ERC612X	ERC720X	ERC914X
ERC177X	ERC256X	ERC613X	ERC725X	ERC915X
ERC178X	ERC257X	ERC614X	ERC730X	ERC916X
ERC179X	ERC258X	ERC615X	ERC731X	ERC917X
ERC180X	ERC302X	ERC616X	ERC731XPHP	ERC918X
ERC181X	ERC303X	ERC617X	ERC732X	ERC919X
ERC182X	ERC410SS	ERC618X	ERC732XPHP	
ERC183X	ERC411SS	ERC619X	ERC750X	

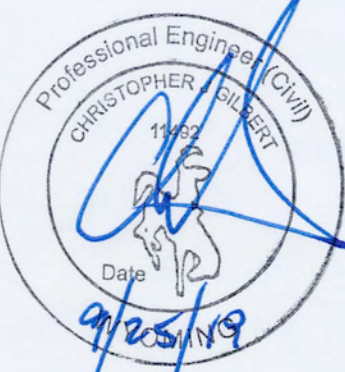
SCHEDULE OF DRAWINGS	
DRAWING NO.	DESCRIPTION
CS	COVER SHEET
CV2	BUILDING NOTES
S1	ELEVATIONS
S2	FLOOR PLAN & DETAILS
S2A	FLOOR PLAN
S3	CROSS SECTION & DETAILS
S4	CROSS SECTION
S5	ENDWALL ELEVATION & DETAILS
F1	FOUNDATION PLANS & NOTES
F2	FOUNDATION DETAILS

RELEASED FOR
CONSTRUCTION
DATE 9/25/19
BY [Signature]

WIND LOAD DESIGN DATA:
ULTIMATE DESIGN WIND SPEED (V_{ULT}): 105 MPH
NOMINAL DESIGN WIND SPEED (V_{ASD}): 81 MPH
RISK CATEGORY: I
WIND EXPOSURE: B
INTERNAL PRESSURE COEFFICIENT: ± 0.18

SNOW LOAD DESIGN DATA:
GROUND SNOW LOAD (P_g): 120 PSF
FLAT-ROOF SNOW LOAD (P_f): 80.6 PSF
SNOW EXPOSURE FACTOR (C_e): 1.0
SNOW LOAD IMPORTANCE FACTOR (I): 0.8
THERMAL FACTOR (C_t): 1.2

EARTHQUAKE LOAD DESIGN DATA:
- RISK CATEGORY: I
- SEISMIC IMPORTANCE FACTOR (I): 1.0
- SEISMIC DESIGN CATEGORY: D
- ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE (ASCE 7-16 SECTION 12.8)
- BASIC SEISMIC-FORCE-RESISTING SYSTEM: LIGHT FRAMED WALLS WITH STEEL SHEAR PANELS
- SITE CLASS: D
- DESIGN BASE SHEAR: BUILDING "A": 4.35^K
BUILDING "B": 4.35^K
- RESPONSE MODIFICATION FACTOR (R): 7.0
- SEISMIC RESPONSE COEFFICIENT (C_s): 0.12
- MAPPED SPECTRAL RESPONSE ACCELERATION (S_s): 105.4% G
(S₁): 34.7% G
- SPECTRAL RESPONSE COEFFICIENTS (S_{ms}): 84.3% G
(S_{m1}): 45.2% G



BUILDING DATA :

BUILDING DESCRIPTION :
SINGLE STORY METAL BUILDING BOLTED TO CONCRETE SLAB FOUNDATION.
BUILDING SIZE :
BUILDING "A" 30' x 50' = 1,500 sq. ft. 12'-6" EAVE HEIGHT
BUILDING "B" 30' x 50' = 1,500 sq. ft. 12'-6" EAVE HEIGHT
TOTAL = 3,000 sq. ft.
PARKING DATA :
SEE SITE PLAN BY OTHERS
BUILDING CODE :
THE 2018 INTERNATIONAL BUILDING CODE

DESIGN CRITERIA :
THESE BUILDINGS HAVE BEEN DESIGNED TO CONFORM TO THE STRUCTURAL REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE, WITH CURRENT REVISIONS.
THESE BUILDINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LIVE LOADINGS IN ADDITION TO THE DEAD LOADINGS :
ROOF LIVE LOADING : 20 psf
FLOOR LIVE LOADING: 125 psf
USE GROUP: S-1
TYPE OF CONSTRUCTION: II-B

IT IS THE RESPONSIBILITY OF THE BUYER/OWNER TO VERIFY THE FIREWALL, LIVE LOAD AND WIND LOAD REQUIREMENTS WITH THE LOCAL CODE AUTHORITY.

PROJECT NUMBER :
WY19212

GENERAL NOTES:

1. CONCRETE FOUNDATIONS AND FLOOR SLAB ARE TO BE SUPPLIED AND INSTALLED BY OTHERS. WEDGE ANCHORS FOR INTERIOR AND EXTERIOR FOOTINGS SUPPLIED AND INSTALLED BY BETCO.
2. EXTERIOR OPENINGS, NOT DESIGNATED AS DOOR LOCATIONS, TO BE COMPLETED USING EXTERIOR WALL PANELS FURNISHED BY BETCO.
3. USE DOW 191 SILICONE CAULK AND 1/2" WIDE BUTYL RUBBER TAPE SEALANT FOR ROOF INSTALLATION. USE DOW 199 SILICONE CAULK AT DOWNSPOUT TO GUTTER JOINT.
4. INTERIOR PARTITIONS PERPENDICULAR TO ROOF BEAM(S) MUST BE COMPLETED BEFORE ROOF PANELS ARE INSTALLED. USE PARTITION FRAMING TO FLUFS AND SQUARE COLUMNS AND HEADER SECTIONS. CHECK BUILDING WIDTH AT TOP OF COLUMN PRIOR TO ROOF INSTALLATION.
5. THOROUGHLY SWEEP ROOF PANELS FOLLOWING INSTALLATION TO REMOVE METAL DRILLINGS.
6. THIS DESIGN IS BASED ON USING ONLY METAL BUILDING COMPONENTS WHICH ARE PROPRIETARY TO BETCO. FURTHER, THE PROFESSIONAL ENGINEER'S SEAL IS INVALID UNLESS ONLY BETCO METAL BUILDING COMPONENTS ARE UTILIZED.
7. METAL STUDS (IF APPLICABLE) MAY REQUIRE FIELD CUTTING DEPENDING UPON THE EAVE HEIGHT OF THE STRUCTURE.
8. UNIT SIZES SHOWN ARE NOMINAL. ACTUAL CLEAR DIMENSIONS INSIDE UNITS MAY VARY ACCORDING TO FINAL DESIGN OF COMPONENTS.
9. THESE DRAWINGS ARE THE PROPERTY OF BETCO, INC. AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF BETCO, INC.
10. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND OTHER CONTRACT DOCUMENTS.
11. THE GENERAL CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL SLEEVES, PADS, DEPRESSIONS, OPENINGS, ETC. AS REQUIRED BY THE VARIOUS TRADES.

FOUNDATIONS:

1. PRESUMED SOIL BEARING CAPACITY IS 3000 PSF ON FIRM VIRGIN SOIL OR COMPACTED ENGINEERED FILL. BEARING CAPACITY SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO PLACING FOOTING CONCRETE.
2. TOP OF FOOTING ELEVATIONS ARE SHOWN ON THE DRAWINGS ARE TO BE DETERMINED BY THE CONTRACTOR IN THE FIELD IN ACCORDANCE WITH THE GUIDE LINES SET FORTH IN THE DRAWINGS AND SPECIFICATIONS.
3. FILL MATERIAL SHALL BE FREE OF ROOTS, WOOD OR OTHER ORGANIC MATERIAL AND COMPLY WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. MATERIALS USED FOR FILL UNDER FOOTINGS AND WITHIN BUILDING LIMITS SHALL BE TESTED AND APPROVED FOR THE USE BY THE GEOTECHNICAL TESTING AGENCY.
4. ALL FILL MATERIALS SHALL BE SELECTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. MATERIALS SHALL BE CLEAN, LOW PLASTIC SOIL WITH A PLASTICITY INDEX OF 10 OR LESS (MAXIMUM OF 10), LIQUID LIMIT OF 45 OR LESS (MAXIMUM OF 45), UNIT WEIGHT OF 120 PCF (45 PCF) AND SHALL BE FREE OF FIBROUS ORGANIC MATERIALS. PARTIALLY WEATHERED ROCK MATERIALS MAY BE USED FOR STRUCTURAL FILL PROVIDED THE MATERIAL CAN BE REDUCED TO MAXIMUM DIMENSIONS OF 6 INCHES.
5. FILL PLACED BELOW FOOTING BASE ELEVATION AND WITHIN THE TOP 12 INCHES OF SOIL SUB GRADE BELOW PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98 PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY PER ASTM D-698. FILL PLACED ABOVE FOOTING ELEVATION FOR SUPPORT OF THE LIGHTLY LOADED FLOOR SLABS (250 PSF OR LESS) OR MORE THAN 12 INCHES FROM THE FINISHED SUB GRADE LEVEL WITHIN THE PAVEMENT AREAS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-698. THE FILL SHALL BE PLACED AND COMPACTED AT MOISTURE CONTENTS WITHIN A RANGE OF 1 PERCENT BELOW TO 3 PERCENT ABOVE THE MATERIAL'S OPTIMUM MOISTURE CONTENT PER ASTM D-698.
6. UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL.
7. CONTRACTOR SHALL REMOVE AND REPLACE UNACCEPTABLE SOILS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. ALL SOILS WITH PLASTICITY INDICES GREATER THAN 10 SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN 3'-0" OR GREATER AS DIRECTED BY THE GEOTECHNICAL ENGINEER WHERE SUCH MATERIAL OCCURS BELOW FOUNDATIONS.
8. FOUNDATION WALLS RETAINING EARTH SHALL BE BRACED AGAINST BACK FILLING PRESSURES UNTIL FLOOR SLABS AT TOP AND BOTTOM ARE IN PLACE.
9. FOUNDATION WALLS OR GRADE BEAMS HAVING EARTH PLACED ON EACH SIDE SHALL HAVE BOTH FILLED SIMULTANEOUSLY TO MAINTAIN A COMMON ELEVATION.
10. DO NOT PLACE CONCRETE IN ANY EXCAVATION CONTAINING ICE, FROST, FROZEN GROUND OR FREE WATER. FROZEN SUB GRADES MUST BE THAWED AND RECOMPACTED PRIOR TO PLACING CONCRETE.
11. EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES, AND DIMENSIONS AS SHOWN ON THE FOUNDATION PLAN. ALL WATER SHALL BE REMOVED BEFORE DEPOSITING CONCRETE.
12. BEFORE PLACING CONCRETE, ALL EMBEDDED ITEMS SHALL BE PROPERLY LOCATED, ACCURATELY POSITIONED, AND MAINTAINED SECURELY IN PLACE.
13. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION, AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
14. PERIMETER FOUNDATION MUST NOT EXCEED 1/4" ELEVATION VARIATION ALONG ANY 50' DISTANCE OF BUILDING LENGTH.
15. PERIMETER FOUNDATION TO EXTEND BELOW FROST LINE. VERIFY REQUIRED DEPTH WITH LOCAL BUILDING OFFICIALS PRIOR TO PROCEEDING WITH FOUNDATION WORK AND NOTIFY ENGINEER OF RECORD OF DEVIATION FROM DRAWING.
16. THE AMERICAN CONCRETE INSTITUTE DOES NOT RECOGNIZE FIBERMESH AS A SUBSTITUTE FOR WIRE MESH REINFORCED CONCRETE WHEN SUBJECTED TO TENSILE STRESS.
17. SAW CUT CONTROL JOINTS IN SLAB SURFACE AT APPROXIMATELY 10'-0" INTERVALS ... OFFSET CUTS 2'-6" MINIMUM FROM INTERIOR COLUMN LINES.

CONSTRUCTION AND SAFETY:

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SAFETY REGULATIONS, PROGRAMS AND PRECAUTIONS RELATED TO ALL WORK ON THIS PROJECT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY EITHER ON OR ADJACENT TO THE PROJECT AND SHALL PROTECT SAME AGAINST INJURY, DAMAGE OR LOSS.
3. MEANS AND METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIALS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
4. STRUCTURAL DRAWINGS ARE INTENDED TO BE USED IN CONJUNCTION WITH THE DRAWINGS OF OTHER CONSULTANTS AND TRADES. THE CONTRACTOR SHALL COORDINATE THE VARIOUS REQUIREMENTS.
5. NO OPENINGS NOR ANY CHANGES IN SIZE, DIMENSION OR LOCATION SHALL BE MADE IN ANY STRUCTURAL ELEMENTS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED ON THE STRUCTURE. SUCH LOADS SHALL NOT EXCEED THE CAPACITY OF THE STRUCTURE AT ANY TIME.
7. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION, AND ANY TEMPORARY BRACING OR SUPPORT REQUIRED TO ACCOMMODATE THE CONTRACTOR'S MEANS AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL INFORM THE STRUCTURAL ENGINEER, CLEARLY AND EXPLICITLY IN WRITING, OF ANY DEVIATION OR SUBSTITUTION OF REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR IS NOT RELIEVED OF ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS BY VIRTUE OF THE STRUCTURAL ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC. UNLESS THE CONTRACTOR HAS CLEARLY AND EXPLICITLY INFORMED THE STRUCTURAL ENGINEER IN WRITING OF ANY DEVIATIONS OR SUBSTITUTIONS AT TIME OF SUBMISSION, AND THE STRUCTURAL ENGINEER HAS GIVEN WRITTEN APPROVAL FOR THE SPECIFIC DEVIATIONS OR SUBSTITUTIONS.
9. ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS OR AMBIGUITIES IN THE DRAWINGS OR SPECIFICATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER. CORRECTIONS OR WRITTEN INTERPRETATIONS SHALL BE ISSUED BEFORE AFFECTED WORK MAY PROCEED.
10. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH NEW WORK IN AREAS AFFECTED BY THE EXISTING CONDITIONS. STRUCTURAL ENGINEER SHALL BE INFORMED IN WRITING OF CONFLICTS BETWEEN EXISTING AND PROPOSED NEW CONSTRUCTION.
11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL DIMENSIONS SHOWN ON THE CONTRACT DOCUMENTS. INCONSISTENCIES ON THE STRUCTURAL DRAWINGS OR BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER CONTRACT, SHOP, FABRICATION OR OTHER DRAWINGS OR INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH AFFECTED WORK.
12. DO NOT SCALE THESE DRAWINGS, USE THE DIMENSIONS SHOWN.

CONCRETE:

1. SUBMIT WRITTEN REPORTS OF EACH PROPOSED CONCRETE DESIGN MIX NOT LESS THAN 15 DAYS PRIOR TO THE START OF WORK. DESIGN MIXES PREPARED MORE THAN TWELVE (12) MONTHS PRIOR TO THE DATE THE SUBMITTAL ARE NOT PERMITTED.
 2. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14).
 3. ALL CONCRETE SHALL BE TESTED BY AN INDEPENDENT TESTING AGENCY FOR STANDARD PARAMETERS (SLUMP, COMPRESSIVE STRENGTH, ETC.) TWO COPIES OF ALL REPORTS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT.
 4. ALL NORMAL WEIGHT CONCRETE SHALL HAVE ASTM C-33 AGGREGATE WITH MAXIMUM UNIT WEIGHT OF 150 PCF. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI AT 28 DAYS, MINIMUM FOR FOUNDATIONS AND SLABS ON GRADE. ALL CONCRETE FOR FLOOR SLABS ON METAL DECK FORMS SHALL BE NORMAL WEIGHT CONCRETE WITH COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 5. MIX DESIGNS, INCLUDING WATER/CEMENT RATIOS AND SLUMPS, SHALL BE PREPARED IN ACCORDANCE WITH MOST CURRENT ACI 301 CHAPTER 3, EXCEPT WHERE NOTED OTHERWISE IN THE PROJECT SPECIFICATIONS. CEMENT SHALL CONFORM TO ASTM C 150 TYPE I OR AT CONTRACTOR'S OPTION, ASTM C 595 TYPE IF WHERE FLY ASH IS PERMITTED. NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C 33 AGGREGATE WITH MAXIMUM UNIT WEIGHT OF 150 PCF AND LIGHT WEIGHT CONCRETE SHALL CONFORM TO ASTM C 330 AGGREGATE. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED IN ANY CONCRETE.
- AGGREGATE SIZES SHALL BE:
- | | |
|---|----------|
| I. FORMED CONCRETE ELEMENTS, UNO | 3/4" MAX |
| II. GRADE SLABS AND EARTH FORMED ELEMENTS | 1" MAX |
| III. COARSE MASONRY GROUT REQUIRED | 3/4" MAX |
| IV. FINE MASONRY GROUT REQUIRED | 3/8" MAX |

6. WATER REDUCING ADMIXTURE SHALL BE USED IN ALL CONCRETE.

7. AIR ENTRAINING ADMIXTURE IN ACCORDANCE WITH ACI 301-84 TABLE 3.4.1, SHALL BE USED IN ALL CONCRETE EXPOSED TO FREEZING AND THAWING DURING CONSTRUCTION OR SERVICE CONDITIONS.
8. WATER/CEMENT RATIO SHALL NOT EXCEED 0.45 FOR ANY CONCRETE SUBJECTED TO FREEZING/THAWING.
9. ALL PUMPED CONCRETE SHALL HAVE A WATER/CEMENT RATIO LESS THAN 0.45 AND SHALL CONTAIN A HIGH RANGE WATER REDUCING ADMIXTURE (SUPERPLASTICIZER).
10. IN NO CASE SHALL A WATER/CEMENT RATIO EXCEED THE FOLLOWING:

I. ALL FOUNDATION CONCRETE fc 3000 psi	0.55 MAX. W/C RATIO
II. EXTERIOR PAVING CONCRETE fc 3500 psi	0.50 MAX. W/C RATIO
III. ALL EXPOSED C.I.P. WATERTABLE, PIERS, ETC. fc 3500 psi	0.45 MAX. W/C RATIO
III. SLABS ON GRADE fc 3000 psi	0.45 MAX. W/C RATIO
11. LIQUID MEMBRANE CURING COMPOUND WITH A MINIMUM 30% SOLIDS CONTENT SHALL BE APPLIED WITHIN TWO (2) HOURS AFTER COMPLETION OF FINISHING TO ALL CONCRETE FLATWORK AND WALLS, UNO, OTHER THAN FOOTINGS AND GRADE BEAMS.
12. FLOORS IN AREAS RECEIVING QUARRY TILE, CERAMIC TILE AND LIQUID FLOOR HARDENER SHALL BE CURED WITH DISSIPATING LIQUID MEMBRANE CURING COMPOUND OR WET CURED BY USE OF MOISTURE RETAINING COVER. DISSIPATING CURING COMPOUND SHALL BE THOROUGHLY BROOKEED AND WASHED OFF PRIOR TO APPLICATION OF FLOOR FINISH.
13. USE A NON-CORROSIVE, NON-CHLORIDE ACCELERATING ADMIXTURE IN CONCRETE EXPOSED TO TEMPERATURES BELOW 40 DEGREES. UNIFORMLY HEAT THE WATER AND AGGREGATES TO A TEMPERATURE OF NOT LESS THAN 50 DEGREES. PLACE AND CURE CONCRETE IN ACCORDANCE WITH ACI 306.
14. ALL CONSTRUCTION JOINTS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED INTO THE STRUCTURE UNLESS THEIR ELIMINATION IS APPROVED BY THE STRUCTURAL ENGINEER.
15. REINFORCING IN ALL ABUTTING CONCRETE, INCLUDING FOOTINGS, SHALL BE CONTINUOUS THROUGH OR AROUND ALL CORNERS OR INTERSECTIONS. DOWELS OR SPLICES SHALL BE EQUAL IN SIZE AND SPACING TO THE REINFORCING IN THE ABUTTING MEMBERS.
16. REFER TO ARCHITECTURAL DRAWINGS FOR DOOR AND WINDOW OPENINGS, DRIPS, REGLETS, WASHES, MASONRY ANCHORS, BRICK LEDGE ELEVATIONS, SLAB DEPRESSIONS AND MISCELLANEOUS EMBEDDED PLATES, BOLTS, ANCHORS, ANGLES, ETC.
17. FORMS FOR ROUND COLUMNS SHALL BE ONE PIECE FIBERGLASS FORM TO PRODUCE SMOOTH FINISH ON EXPOSED COLUMNS.
18. REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHES. WHERE FINISH IS NOT SPECIFIED, CONFORM TO REQUIREMENTS OF ACI 301.
19. BASE PLATES, ANCHOR RODS, SUPPORT ANGLES AND OTHER STEEL EXPOSED TO EARTH OR GRANULAR FILL SHALL BE COVERED WITH A MINIMUM OF 3" OF CONCRETE.
20. FINISHING TOLERANCE SHALL BE WITHIN CLASS B IN ACCORDANCE WITH ACI 301 AND CONSIDERATION SHALL BE GIVEN TO SEQUENCING OF CONCRETE PLACEMENT TO FACILITATE CONTROL OF FINISH ELEVATIONS.
21. NON-SHRINK GROUT SHALL BE PRE-MIXED, NON-CORROSIVE, NON-METALLIC, NON-STAINING CONTAINING SILICA SANDS, PORTLAND CEMENT, SHRINKAGE COMPENSATING AND WATER REDUCING AGENTS. PRODUCTS SHALL ONLY REQUIRE THE ADDITION OF WATER. MINIMUM COMPRESSIVE STRENGTH SHALL BE 5000 PSI AFTER ONE DAY AND 10000 PSI AFTER 28 DAYS. GROUT SHALL BE FREE OF GAS PRODUCING OR AIR RELEASING AND OXIDIZING AGENTS AND CONTAIN NO CORROSIVE IRON, ALUMINUM OR GYPSUM.
22. PROVIDE CONCRETE GROUT - NOT MORTAR - FOR REINFORCING MASONRY LINTEL AND BOND BEAMS WHERE INDICATED ON DRAWINGS OR AS SCHEDULED.
23. TOLERANCE FOR ANCHOR RODS AND OTHER EMBEDDED ITEMS SHALL BE PER THE AISC CODE OF STANDARD PRACTICE SECTION 13.
24. UNLESS OTHERWISE SHOWN IN THE ARCHITECTURAL DRAWINGS, PROVIDE 3/4" CHAMFERS AT ALL COLUMN, WALL, SLAB, OR BEAM EDGES THAT ARE EXPOSED TO VIEW IN THE FINISHED STRUCTURE.

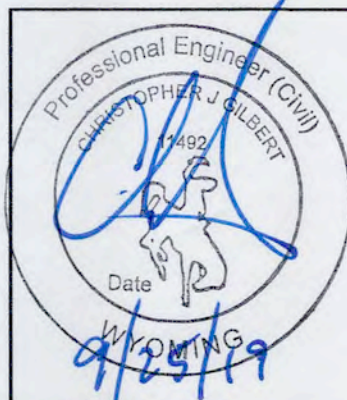
REINFORCING STEEL:

1. REINFORCING STEEL SHALL BE NEW BILLET STEEL, DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60 (Fy-60,000 PSI).
2. FIELD BENDING OF CONCRETE REINFORCING STEEL IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
3. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 318-14, "ACI DETAILING MANUAL-1994" AND THE "CRSI MANUAL OF STANDARD PRACTICE", LATEST EDITION.
4. PLACE REINFORCEMENT AND TIES IN GROUT SPACES PRIOR TO GROUTING.
5. CONCRETE COVERAGE OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE UNLESS NOTED OTHERWISE.

A. FOOTING AND GRADE BEAMS IN GROUND CONTACT	3 INCHES
B. BEAMS AND COLUMNS	2 INCHES
C. SLABS, WALLS, AND JOISTS	3/4 INCH - NOT EXPOSED TO EARTH, LIQUID OR WEATHER
D. SLABS ON GRADE	2 INCHES FROM TOP
E. FORMED SURFACES IN GROUND CONTACT	2 INCHES
6. DEVELOPMENT LENGTHS AND LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318-14 CHAPTER 12 AND AS INDICATED ON THE DRAWINGS. WHERE SPLICES ARE NOT CALLED OUT ON THE DRAWINGS, USE CLASS 'B', BUT IN NO CASE SHALL ANY SPLICE BE LESS THAN 12 INCHES. FOR BARS AS INDICATED BELOW THE BASIC DEVELOPMENT LENGTH SHALL BE MULTIPLIED BY THE FACTORS AS INDICATED FOR TENSION OR COMPRESSION AND THEN ROUNDED UP TO THE NEAREST WHOLE INCH. THE FACTORS INDICATED BELOW ARE CUMULATIVE FOR EACH OF THE CONDITIONS APPLICABLE.
7. WELDED WIRE MAT/FABRIC SHALL CONFORM TO ASTM A194 AND A195 RESPECTIVELY AND BE LAPPED 1'-0" AT ALL SPLICES.
8. ALL REINFORCING TERMINATING AT THE TOPS OF COLUMNS AND PILASTERS SHALL BE HOOKED UNLESS OTHERWISE NOTED.
9. SUBMIT SHOP DRAWINGS FOR FABRICATION, BENDING, AND PLACEMENT OF CONCRETE REINFORCEMENT. COMPLY WITH ACI DETAILING MANUAL (318-14) SHOWING BAR SCHEDULES, STIRRUP SPACING, DIAGRAMS OF BENT BARS, ARRANGEMENT OF CONCRETE REINFORCEMENT. INCLUDE SPECIAL REINFORCEMENT REQUIRED AT OPENINGS THROUGH CONCRETE STRUCTURES. INCLUDE ALL ACCESSORIES SPECIFIED/REQUIRED TO SUPPORT REINFORCING.
10. SHOP DRAWINGS SHALL BE REVIEWED BY THE CONTRACTOR PRIOR TO SUBMISSION. DRAWINGS SHALL BEAR THE CONTRACTOR'S APPROVAL STAMP ACCEPTING RESPONSIBILITY FOR DIMENSIONS, QUANTITIES AND COORDINATION WITH THE OTHER TRADES.
11. CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER AND TESTING AGENCY A MINIMUM OF 48 HOURS PRIOR TO ALL CONCRETE POURS IN ORDER TO PERMIT REINFORCING STEEL REVIEW AS REQUIRED BY THE INSPECTION SCHEDULE.
12. REINFORCING IN ALL CONTINUOUS STRIP FOOTINGS SHALL HAVE CORNER BARS OR DOWELS PROVIDE AT ALL CORNERS AND INTERSECTIONS.

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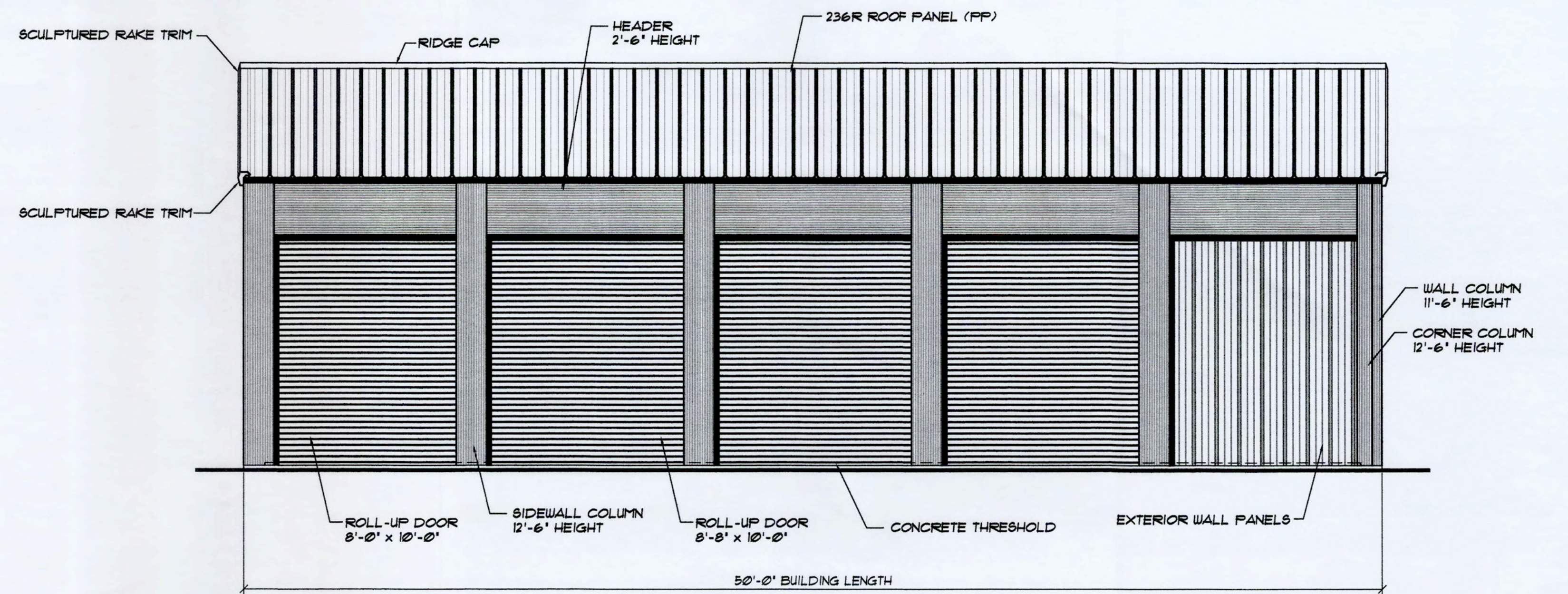


				DATE:	9/19/19
				DRAWN BY:	B. McDANIEL
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				APPROVED BY:	
REVISIONS				DATE	BY

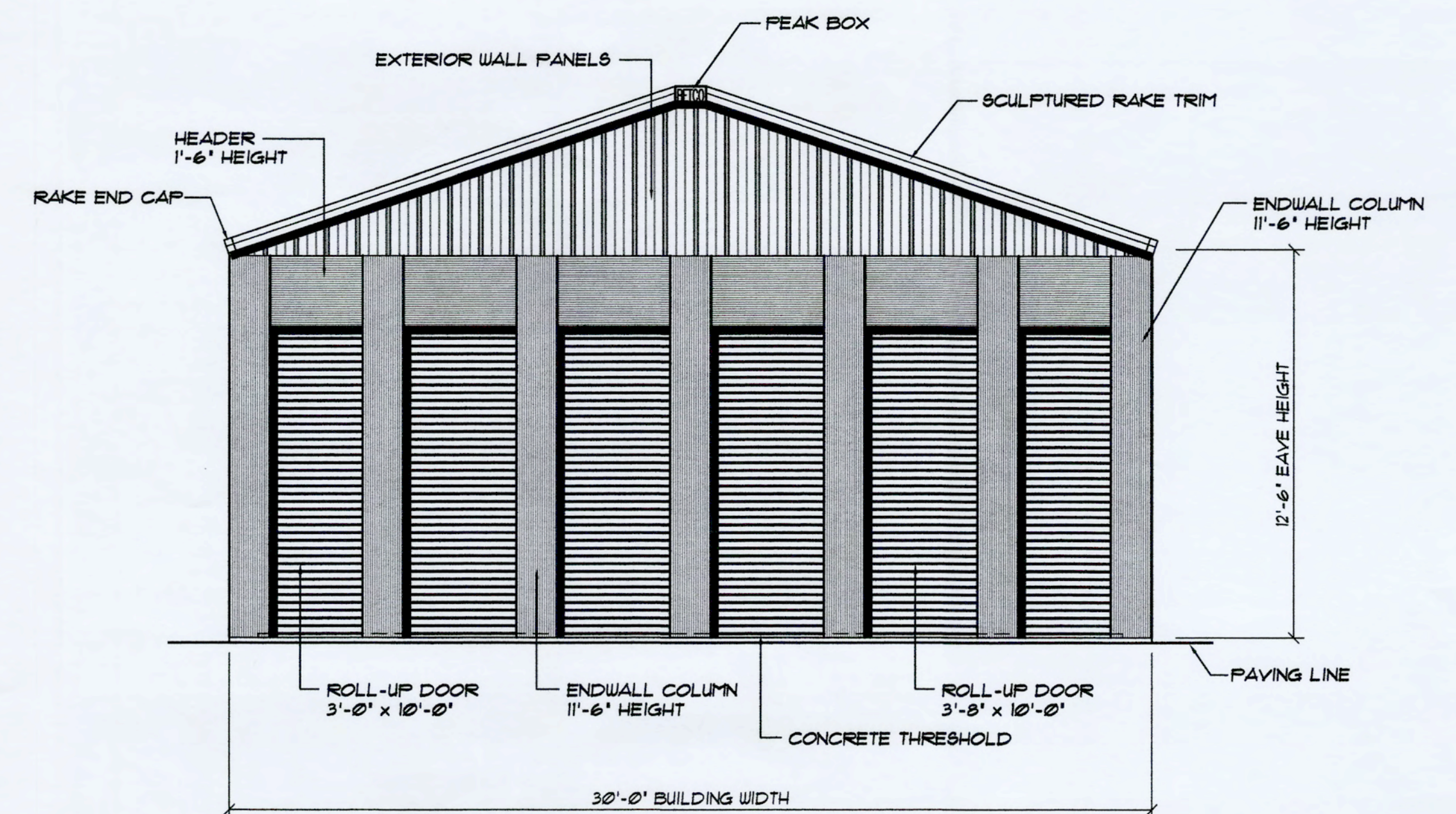
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STATESVILLE, NC 28625
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PROJECT NAME: COWBOY COFFEE STORAGE	
PROJECT ADDRESS: JACKSON, WYOMING	
OWNER: CCC MANAGEMENT, L.L.C.	PROJECT NO.: WY19212
SHEET TITLE: BUILDING NOTES	DRAWING NUMBER: CV2 of 2

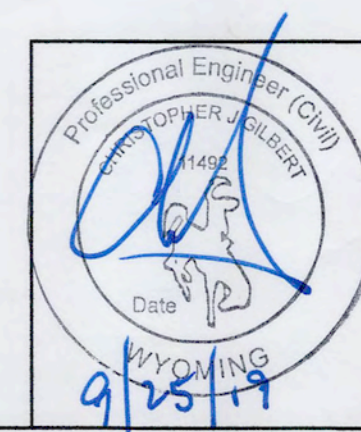


A SIDEWALL ELEVATION... BUILDING "A"
S1 SCALE: 1/4" = 1'-0"



B ENDWALL ELEVATION... BUILDING "A"
S1 SCALE: 1/4" = 1'-0"

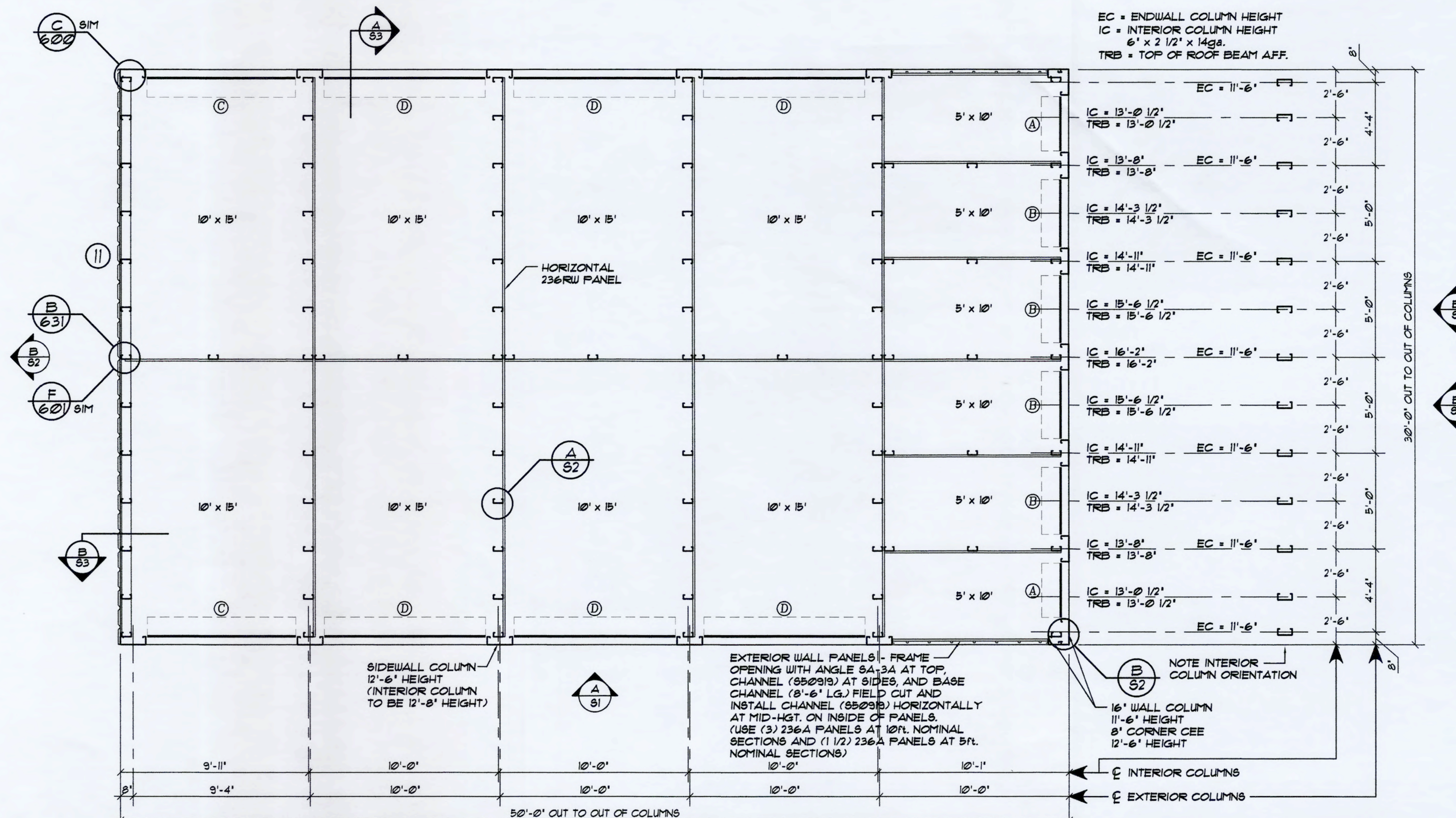
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DATE 9/25/19
BY Jan



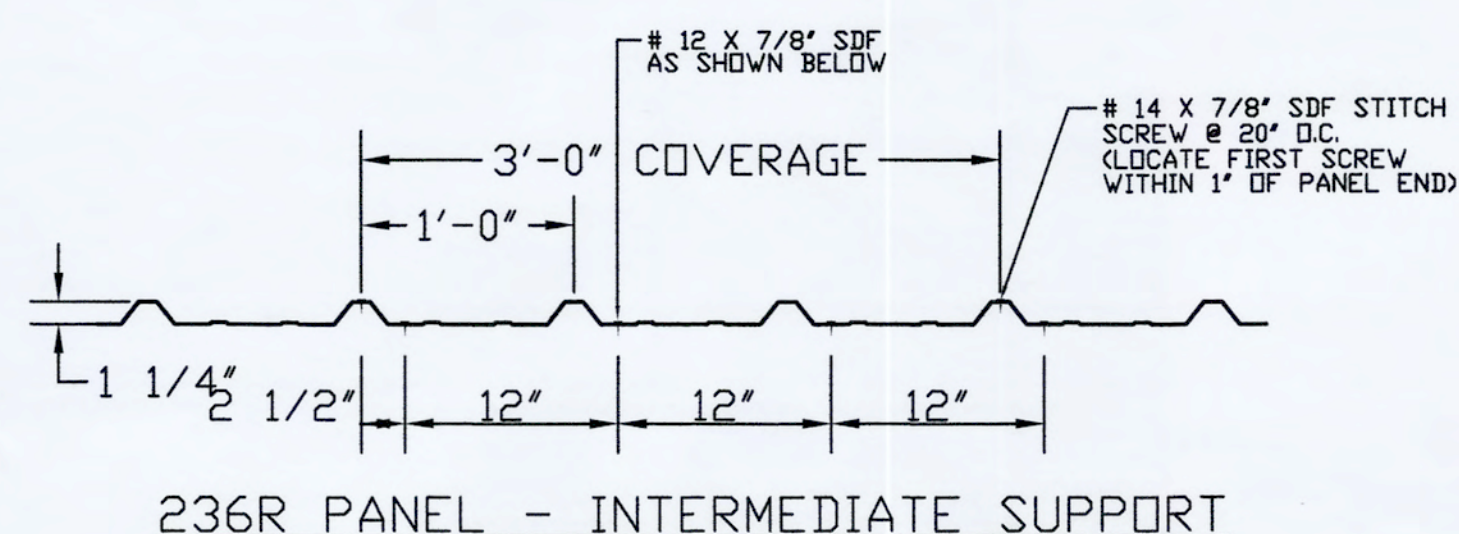
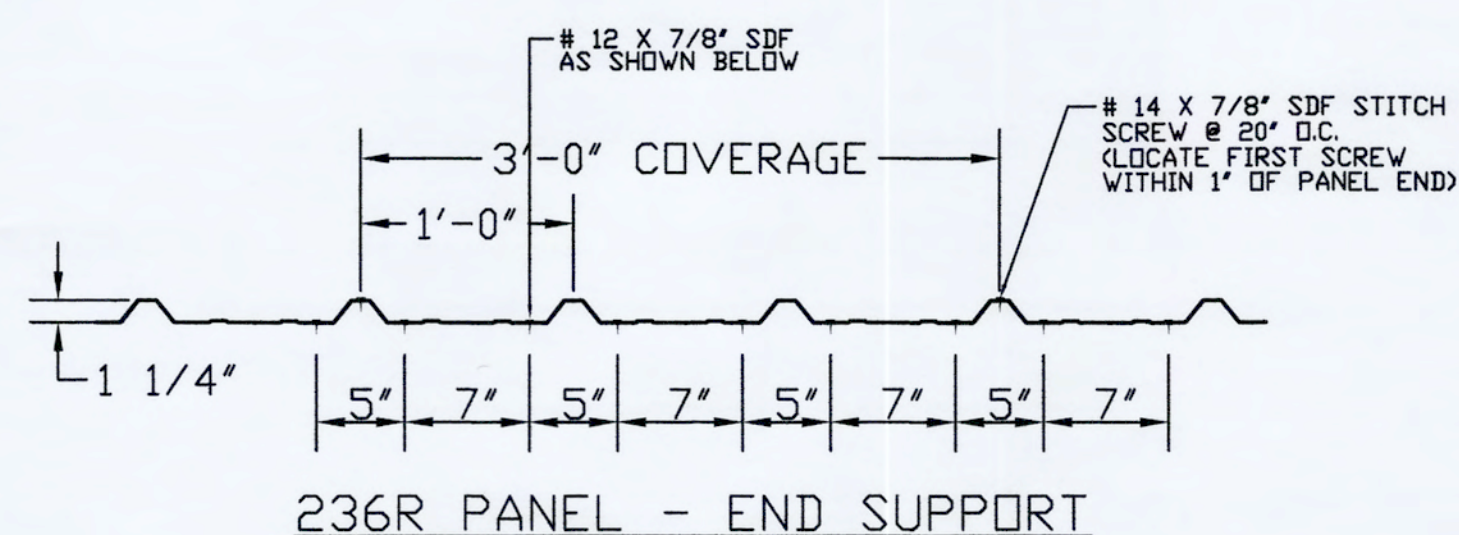
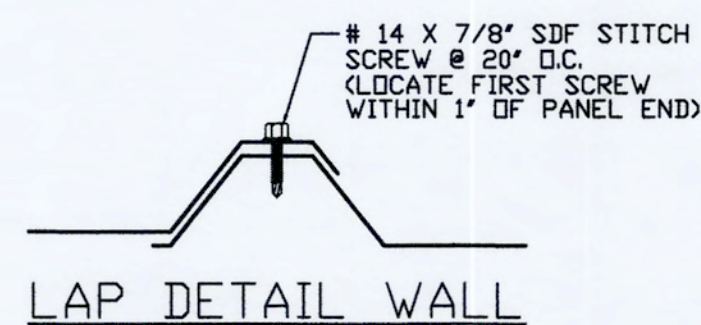
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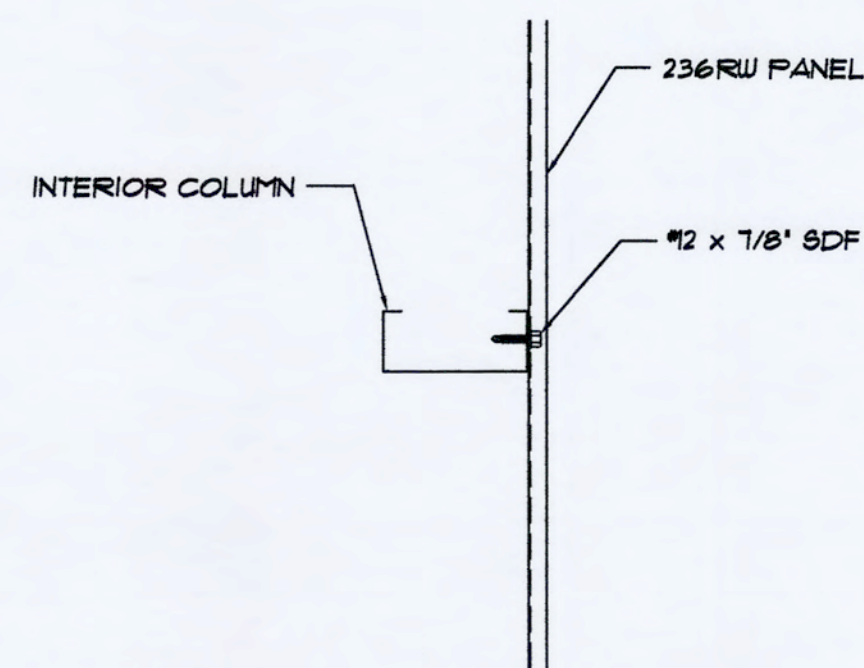
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PROJECT ADDRESS:	JACKSON, WYOMING
OWNER:	CCC MANAGEMENT, L.L.C.
SHEET TITLE:	ELEVATIONS BUILDING "A"
PROJECT NO.:	WY19212
DRAWING NUMBER:	S1 OF 5



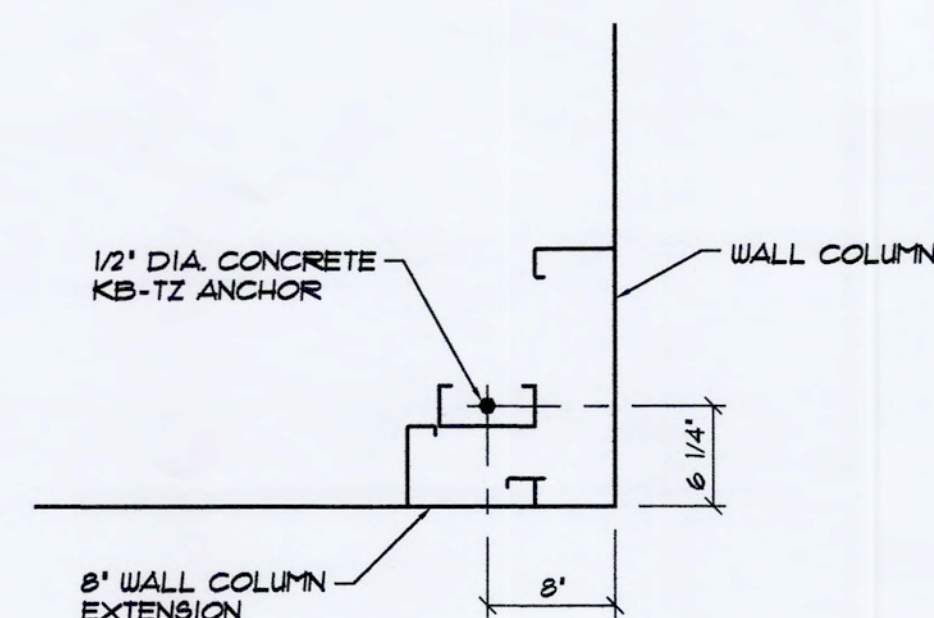
FLOOR PLAN... BUILDING "A"
SCALE: 1/4" = 1'-0"



C 52 HORIZONTAL PARTITION PANEL ATTACHMENT
NOT TO SCALE



A 52 PARTITION AT INTERIOR COLUMN
NOT TO SCALE



B 52 INTERIOR COLUMNS AT CORNER
NOT TO SCALE

NOTE: ALL WALL COLUMNS TO UTILIZE DOOR MOUNTING PLATE S21355.

NOTE: BLOCK ALL LOAD-BEARING EXTERIOR STUDWALLS AS SHOWN IN DETAIL A/631.

DOOR SCHEDULE		
ID	DOOR SIZE	TYPE
A	3'-0" x 10'-0"	JANUS MODEL 650 EXTERIOR ROLL-UP
B	3'-8" x 10'-0"	JANUS MODEL 650 EXTERIOR ROLL-UP
C	8'-0" x 10'-0"	JANUS MODEL 650 EXTERIOR ROLL-UP
D	8'-8" x 10'-0"	JANUS MODEL 650 EXTERIOR ROLL-UP
E	13'-0" x 10'-0"	JANUS MODEL 2500 EXTERIOR ROLL-UP

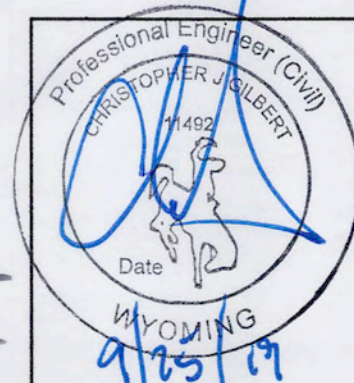
NOTE:
UNIT SIZES SHOWN ARE NOMINAL. ACTUAL CLEAR DIMENSIONS INSIDE UNITS MAY VARY ACCORDING TO FINAL DESIGN OF COMPONENTS.

II. EXTERIOR STUDWALL CONSTRUCTION:

- 6" METAL STUDS @ 30" O.C. - 14 ga
- 6" CONTINUOUS FLOOR AND CEILING TRACK - 14 ga
- (SECURE FLOOR TRACK w/ 1/2" x 2 3/4" KB-TZ WEDGE ANCHORS (2" MIN. EMBEDMENT) @ 30" O.C. MAXIMUM)
- 3 ROWS 1/8" FURRING CHANNELS (EQUALLY SPACED) - 20 ga
- PREPAINTED EXTERIOR WALL PANELS
- WALL PANEL BASE SUPPORT
- DIP CAP (#60120)
- BLOCK AT 1/3 POINTS AS SHOWN ON ERC DETAIL A/631.

STUDWALL LEGEND BUILDING "A"		
INTERIOR STUDWALL	EXTERIOR STUDWALL	
DESCRIPTION	UNINSULATED	INSULATED*
II. EXTERIOR STUDWALL CONSTRUCTION AT FLAT SLAB (BLOCK @ 1/3 POINTS)	30 L.F.	0 L.F.
NOTE #1: SEE ERC610X FOR COMPLETE STUDWALL CONSTRUCTION DETAILS. NOTE #2: * = INSULATED (SEE ERC610X) - COORDINATE WITH FLOOR PLAN. (NOTE WALLS #3 AND #4 ARE ALWAYS INSULATED) NOTE #3: SEE ERC611X FOR UL SPECIFICATIONS. NOTE #4: GYPBOARD AND RELATED FINISH MATERIALS MAY NOT BE PROVIDED BY BETCO - VERIFY WITH CONTRACT.		

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DATE 2/25/19
BY Jm



REVISIONS	DATE	BY

DATE: 9/18/19
DRAWN BY: B. McDANIEL
SCALE: AS NOTED
APPROVED BY:

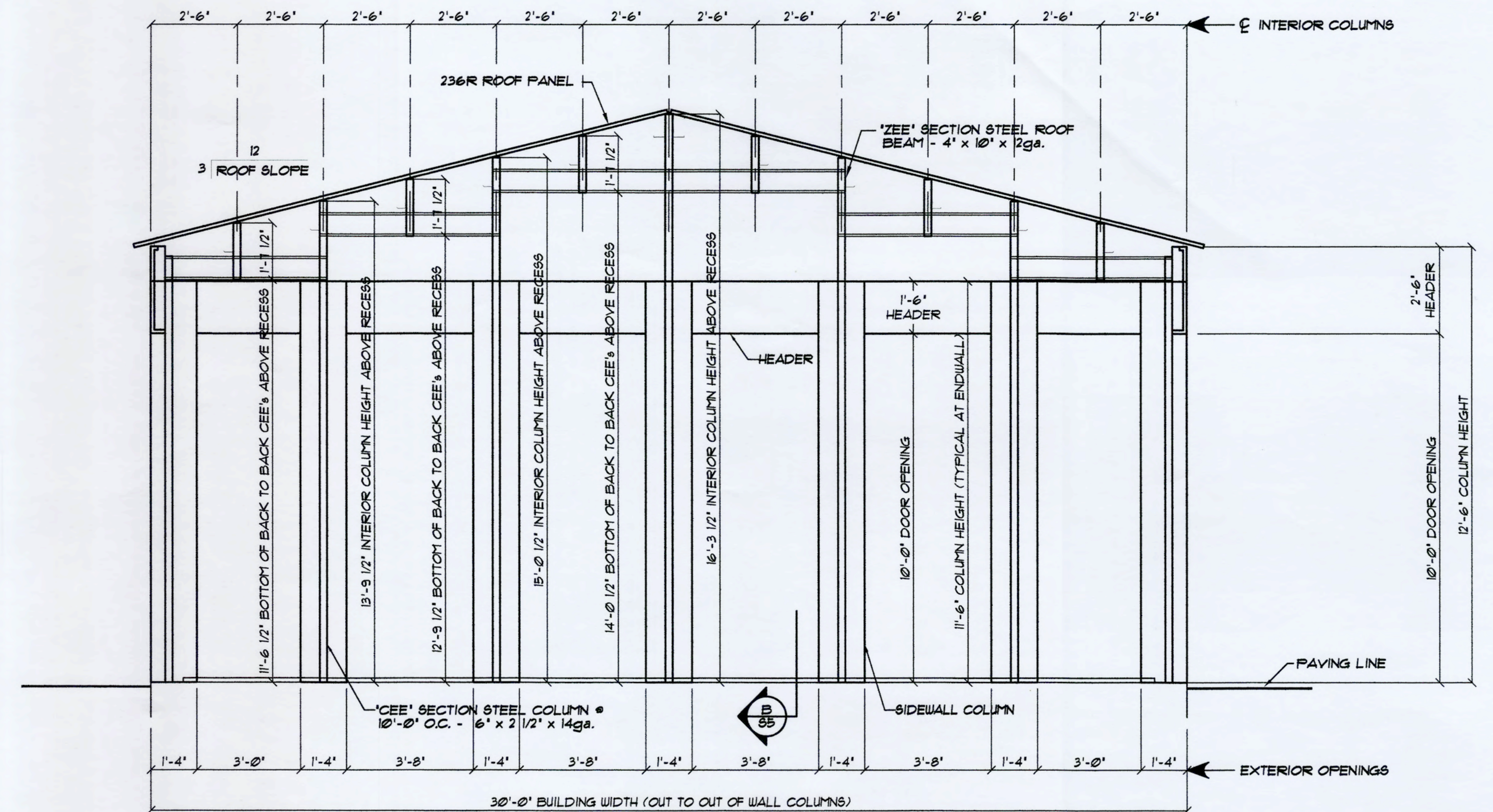
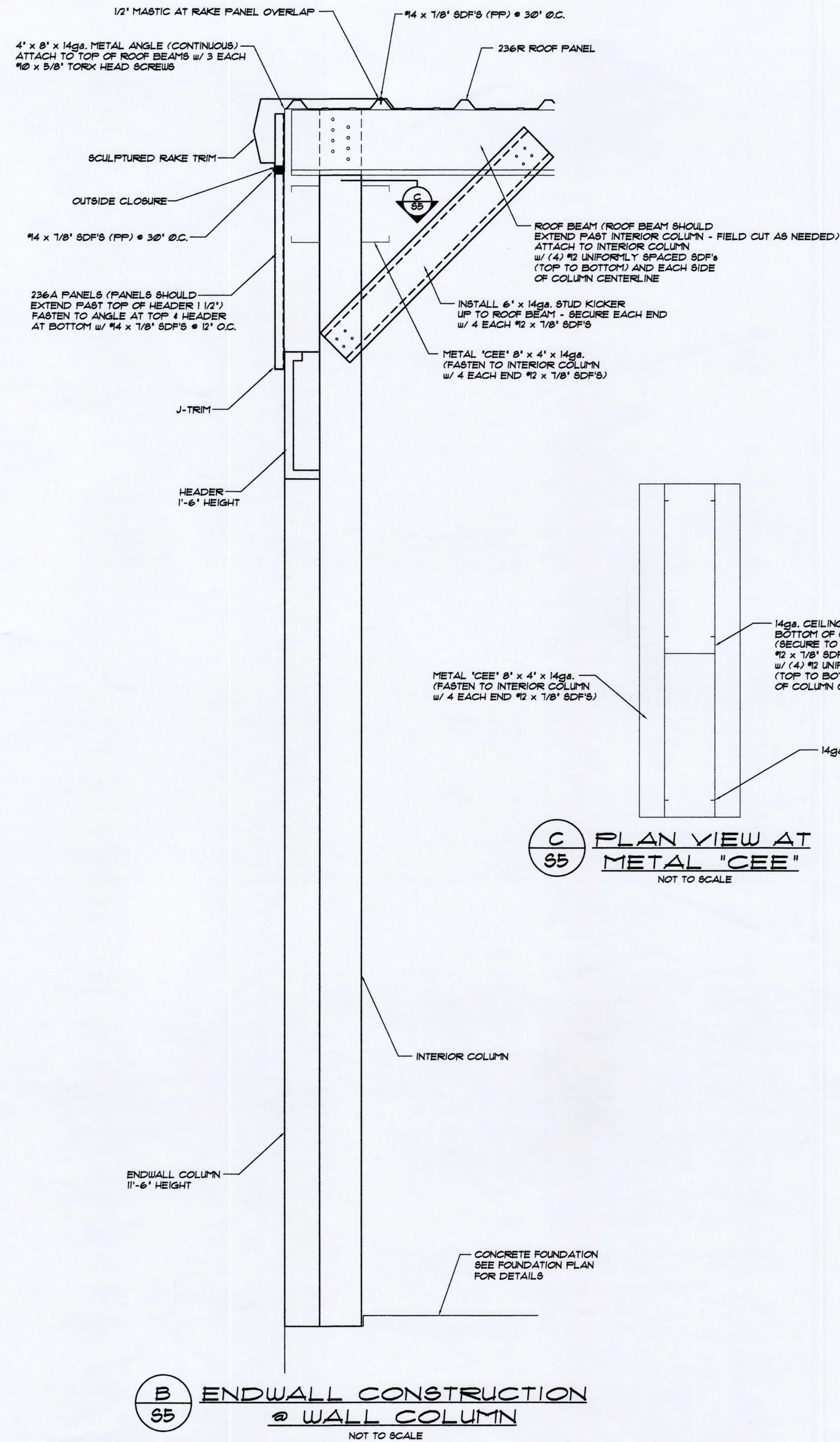
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(800)654-7813

PROJECT NAME: COWBOY COFFEE STORAGE	PROJECT NO.: WY19212
PROJECT ADDRESS: JACKSON, WYOMING	DRAWING NUMBER: S2 OF 5
OWNER: CCC MANAGEMENT, L.L.C.	
SHEET TITLE: FLOOR PLAN & DETAILS BUILDING "A"	

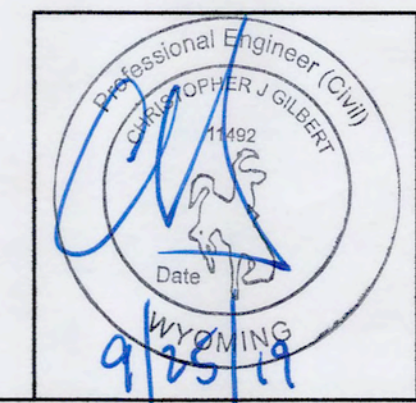
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PROJECT ADDRESS:		JACKSON, WYOMING	
OWNER:	CCC MANAGEMENT, L.L.C.	PROJECT NO.:	WY19212
SHEET TITLE:	CROSS SECTION & DETAILS	DRAWING NUMBER:	S3 OF 5



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CONSTRUCTION
DATE 9/25/19
BY JH



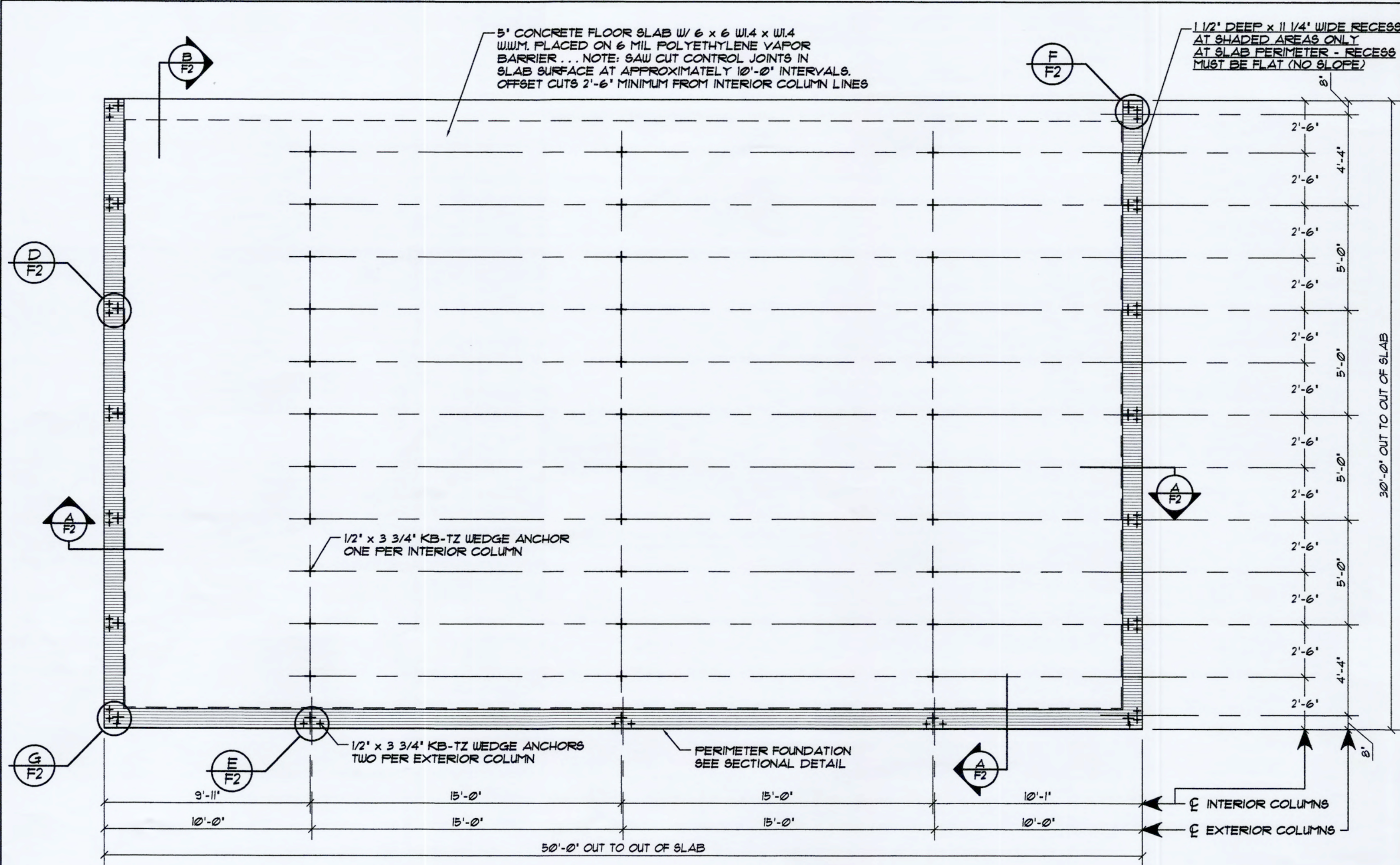
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			DRAWN BY:	B. McDANIEL
			SCALE:	AS NOTED
			APPROVED BY:	

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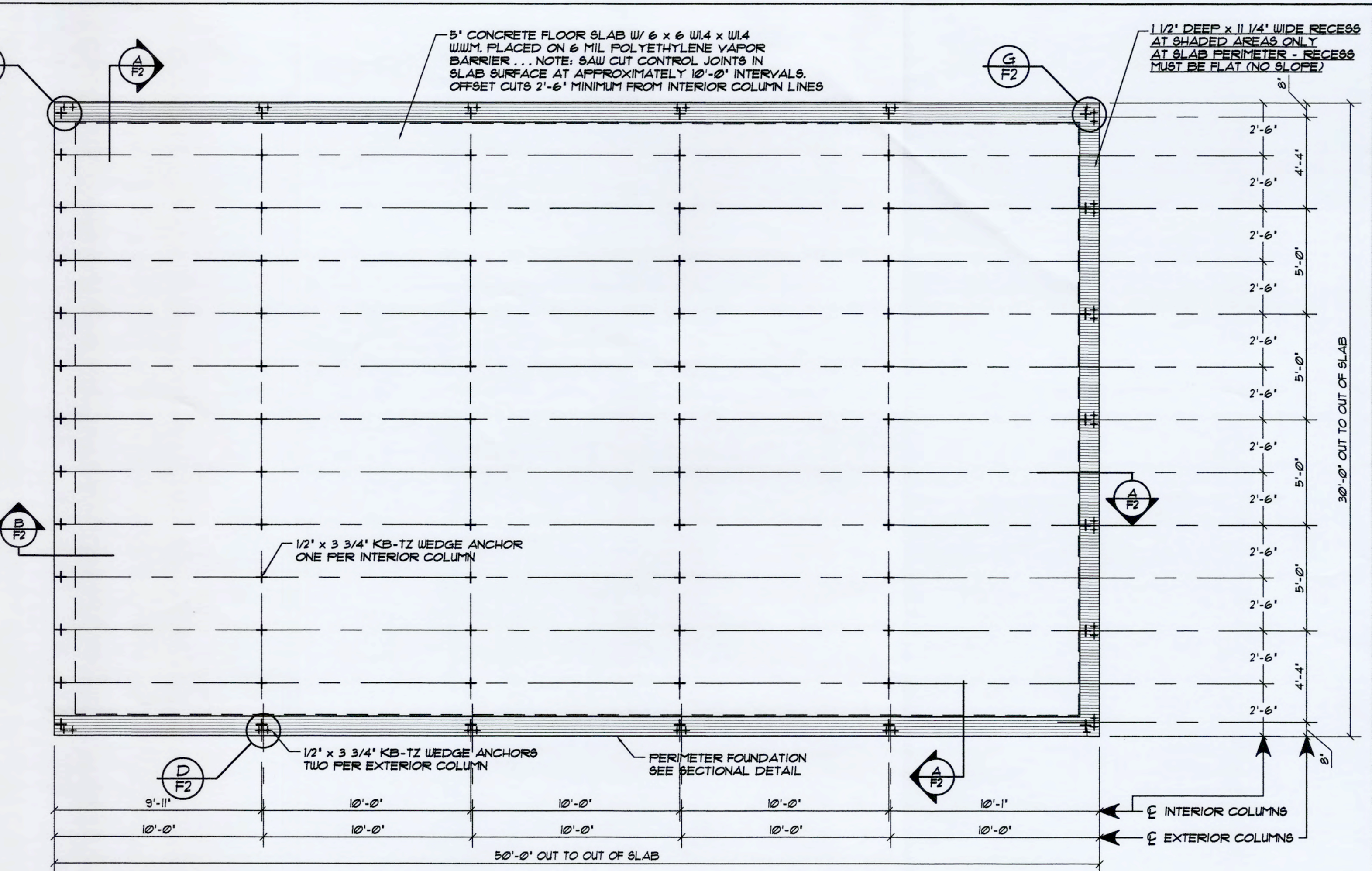
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PROJECT ADDRESS:	JACKSON, WYOMING
OWNER:	CCC MANAGEMENT, L.L.C.
SHEET TITLE:	ENDWALL ELEVATION & DETAILS
PROJECT NO.:	WY19212
DRAWING NUMBER:	S5 OF 5

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FOUNDATION PLAN... BUILDING "B"
SCALE: 1/4" = 1'-0"

SAW CUT CONTROL JOINTS IN SLAB SURFACE AT APPROXIMATELY 10'-0" INTERVALS . . . OFFSET CUTS 2'-6" MINIMUM FROM INTERIOR COLUMN LINES.



FOUNDATION PLAN... BUILDING "A"
SCALE: 1/4" = 1'-0"

SAW CUT CONTROL JOINTS IN SLAB SURFACE AT APPROXIMATELY 10'-0" INTERVALS . . . OFFSET CUTS 2'-6" MINIMUM FROM INTERIOR COLUMN LINES.

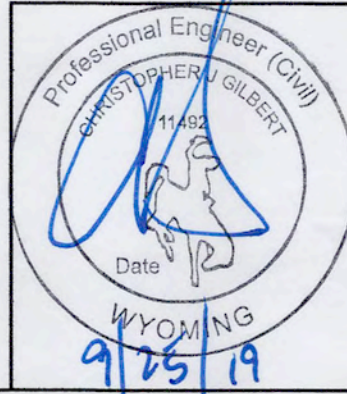
NOTE: . . . SEE OWNER FOR BUILDING ORIENTATION ON SITE

NOTE: WEDGE ANCHORS ARE PROVIDED BY BETCO. EMBEDDED ANCHOR BOLTS IN SLAB ARE NOT REQUIRED BY BUYER.

NOTE TO OWNER / CONTRACTOR:
DO NOT CUT SAW JOINTS ALONG COLUMN LINES. DOING SO WILL REDUCE THE STRUCTURAL CAPACITY OF THE BUILDING ANCHORAGE TO THE CONCRETE AND MAY RESULT IN ADDITIONAL MATERIAL AND LABOR CHARGES. SAW CUTS MUST BE OFFSET 2'-6" MINIMUM FROM COLUMN LINES.

ACI 318 – TABLE 19.3.1.1				
EXPOSURE CATEGORIES AND CLASSES				
CATEGORY	SEVERITY	CLASS	CONDITION	
F FREEZING AND THAWING	NOT APPLICABLE	F0	CONCRETE NOT EXPOSED TO FREEZING- AND-THAWING CYCLES	
S SULFATE			WATER-SOLUBLE SULFATE (SO ₄) IN SOIL, PERCENT BY WEIGHT	DISSOLVED SULFATE (SO ₄) IN WATER, ppm
	NOT APPLICABLE	S0	SO ₄ < 0.10	SO ₄ < 150
W REQUIRING LOW PERMEABILITY	NOT APPLICABLE	W0	CONCRETE DRY IN SERVICE CONCRETE IN CONTACT WITH WATER AND LOW PERMEABILITY IS NOT REQUIRED	
C CORROSION PROTECTION OF REINFORCEMENT	MODERATE	C1	CONCRETE EXPOSED TO MOISTURE BUT NOT TO EXTERNAL SOURCES OF CHLORIDES	
NOTE: ABOVE REPRESENTS "ASSUMED" CONDITIONS BY ENGINEER. IF CONTRACTOR KNOWS OR HAS REASON TO BELIEVE OTHERWISE, ENGINEER SHALL BE NOTIFIED IN WRITING PRIOR TO CONSTRUCTION.				
REFERENCE ACI 318-14 – TABLE 19.3.1.1 FOR REQUIREMENTS FOR CONCRETE BY EXPOSURE CLASS.				

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BY

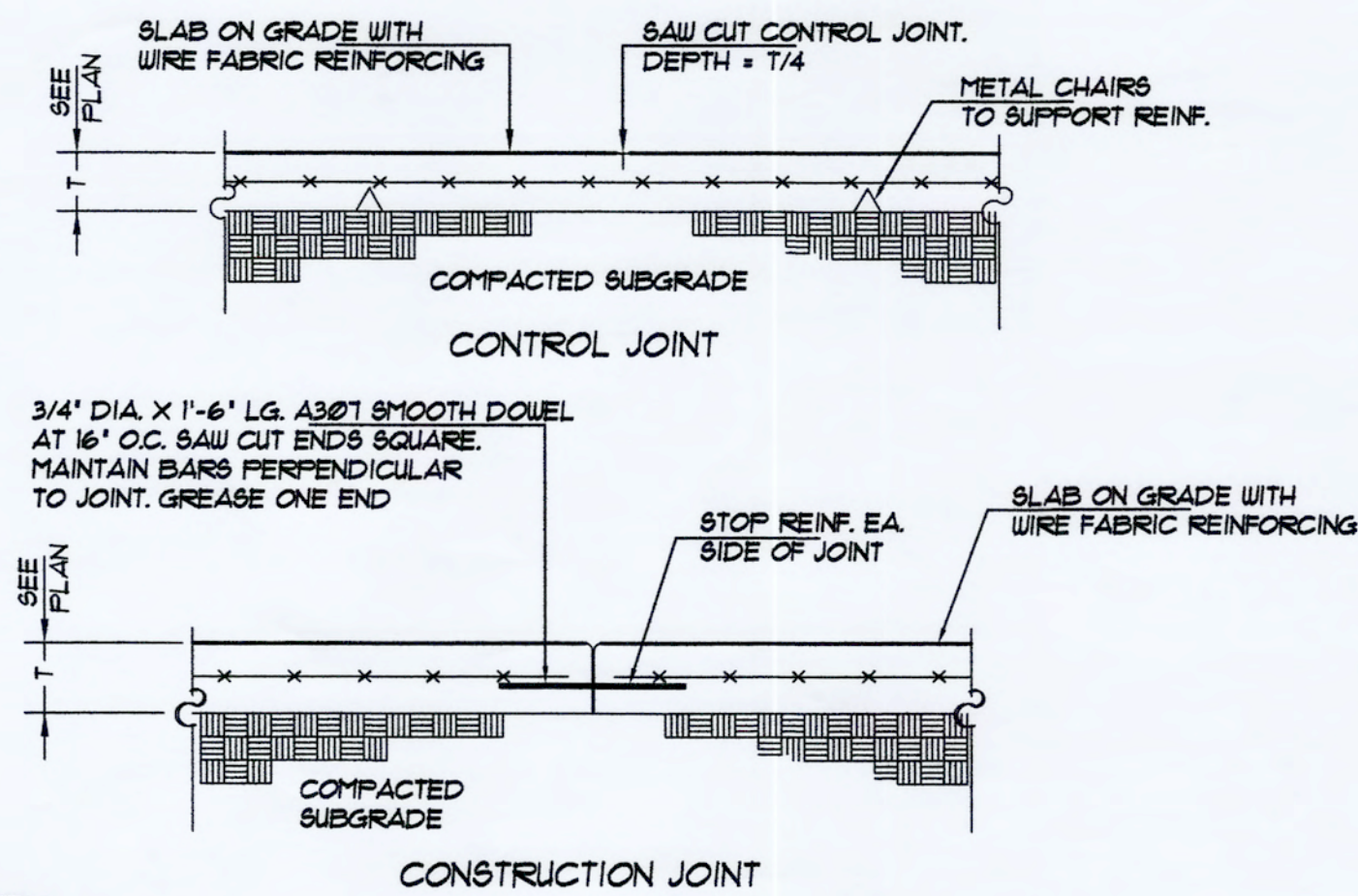


DATE:	9/3/19
DRAWN BY:	B. McDANIEL
SCALE:	AS NOTED
APPROVED BY:	
REVISIONS	DATE BY

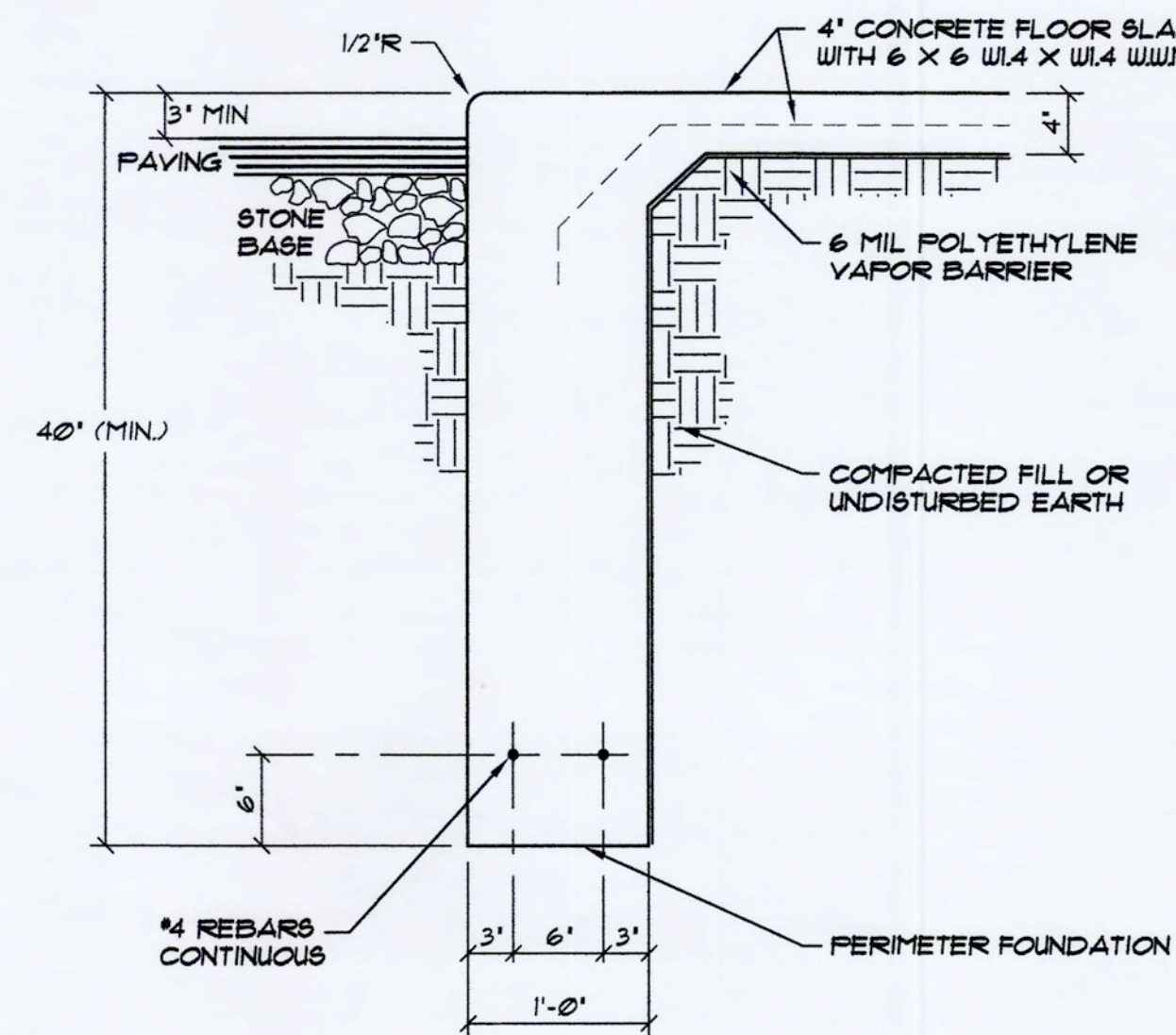


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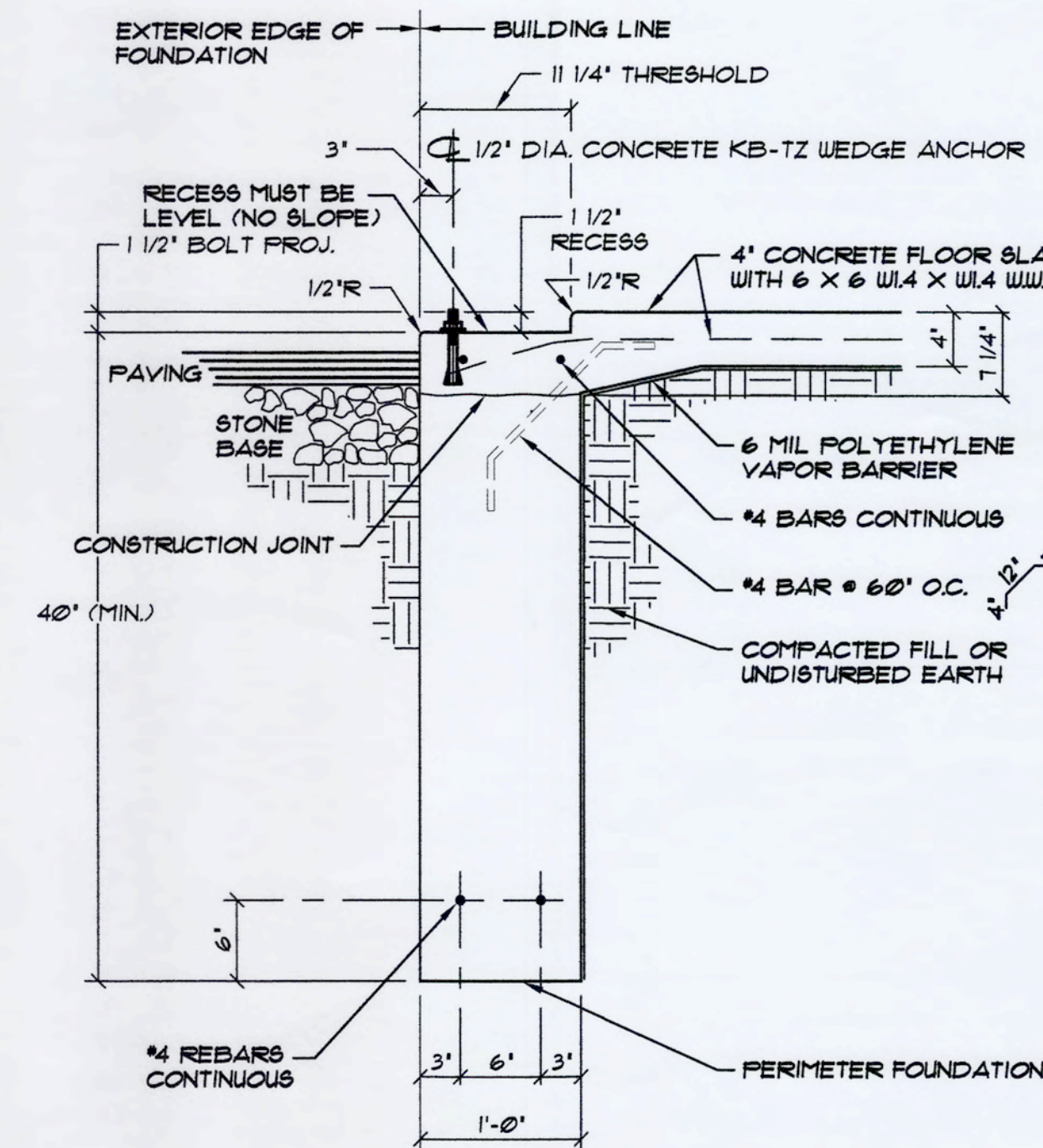
PROJECT NAME:	COWBOY COFFEE STORAGE		
PROJECT ADDRESS:	JACKSON, WYOMING		
OWNER:	CCC MANAGEMENT, L.L.C.	PROJECT NO.:	WY19212
SHEET TITLE:	FOUNDATION PLANS & NOTES BUILDINGS "A & B"	DRAWING NUMBER:	F1 of 2



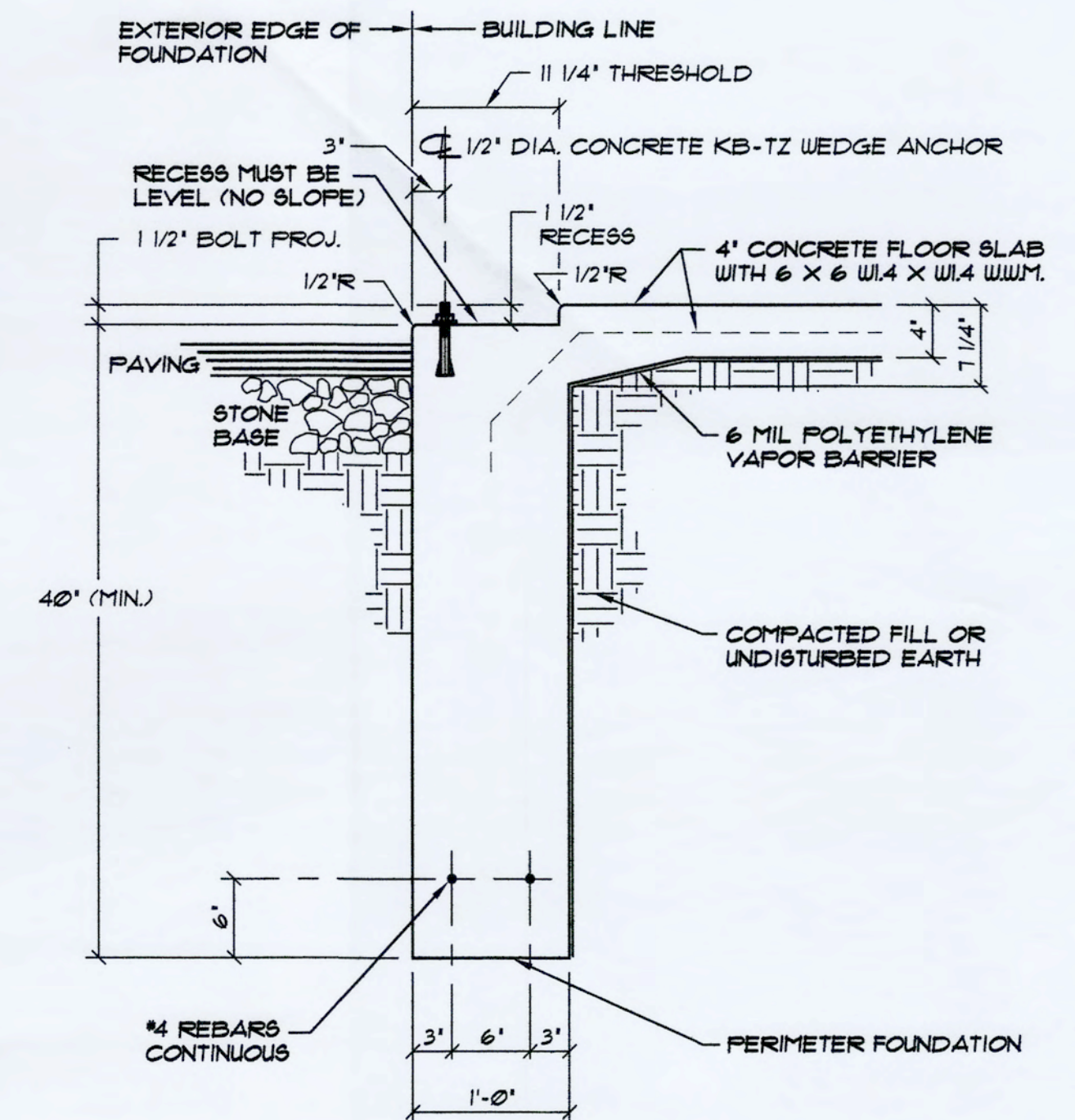
C
F2 CONTROL JOINT & CONSTRUCTION JOINT IN CONCRETE SLAB
NOT TO SCALE



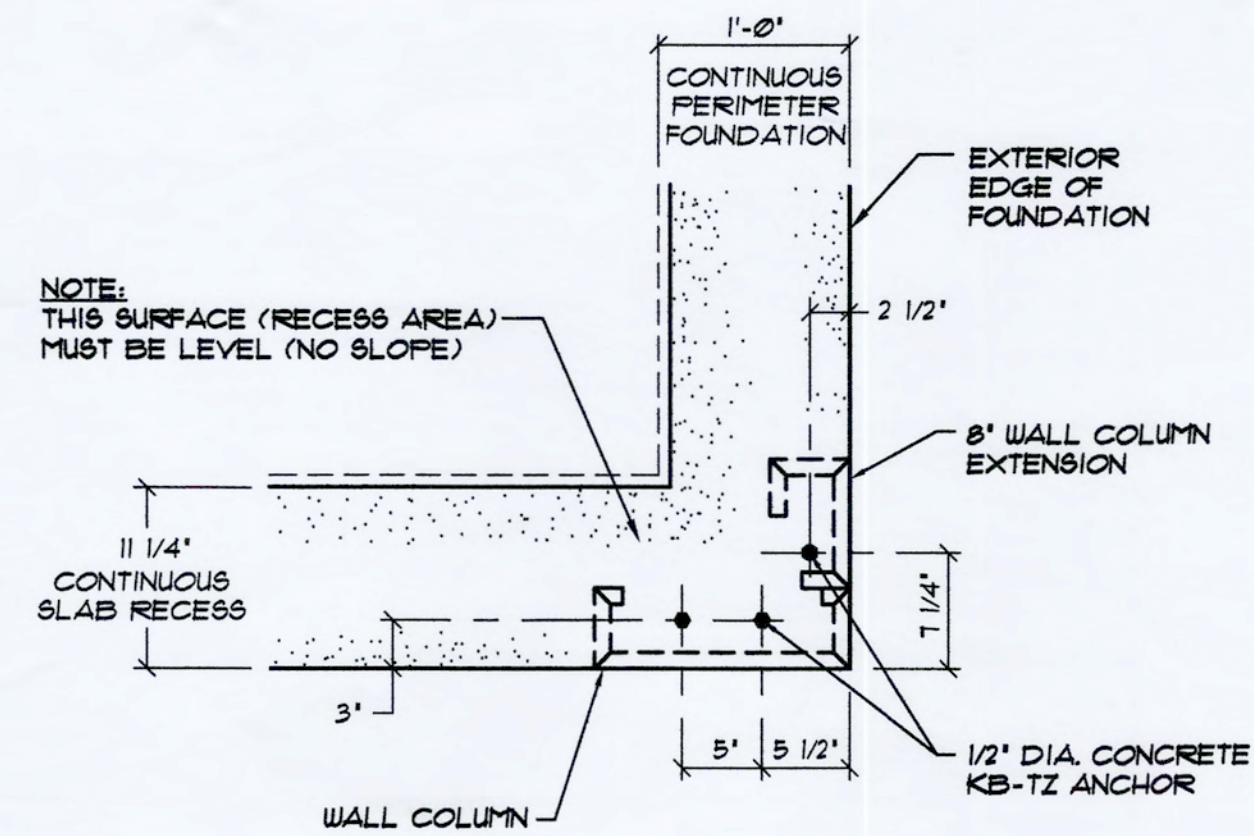
B
F2 PERIMETER FOUNDATION SECTION AT EXTERIOR STUDWALL (MONOLITHIC CONCRETE PLACEMENT)
NOT TO SCALE



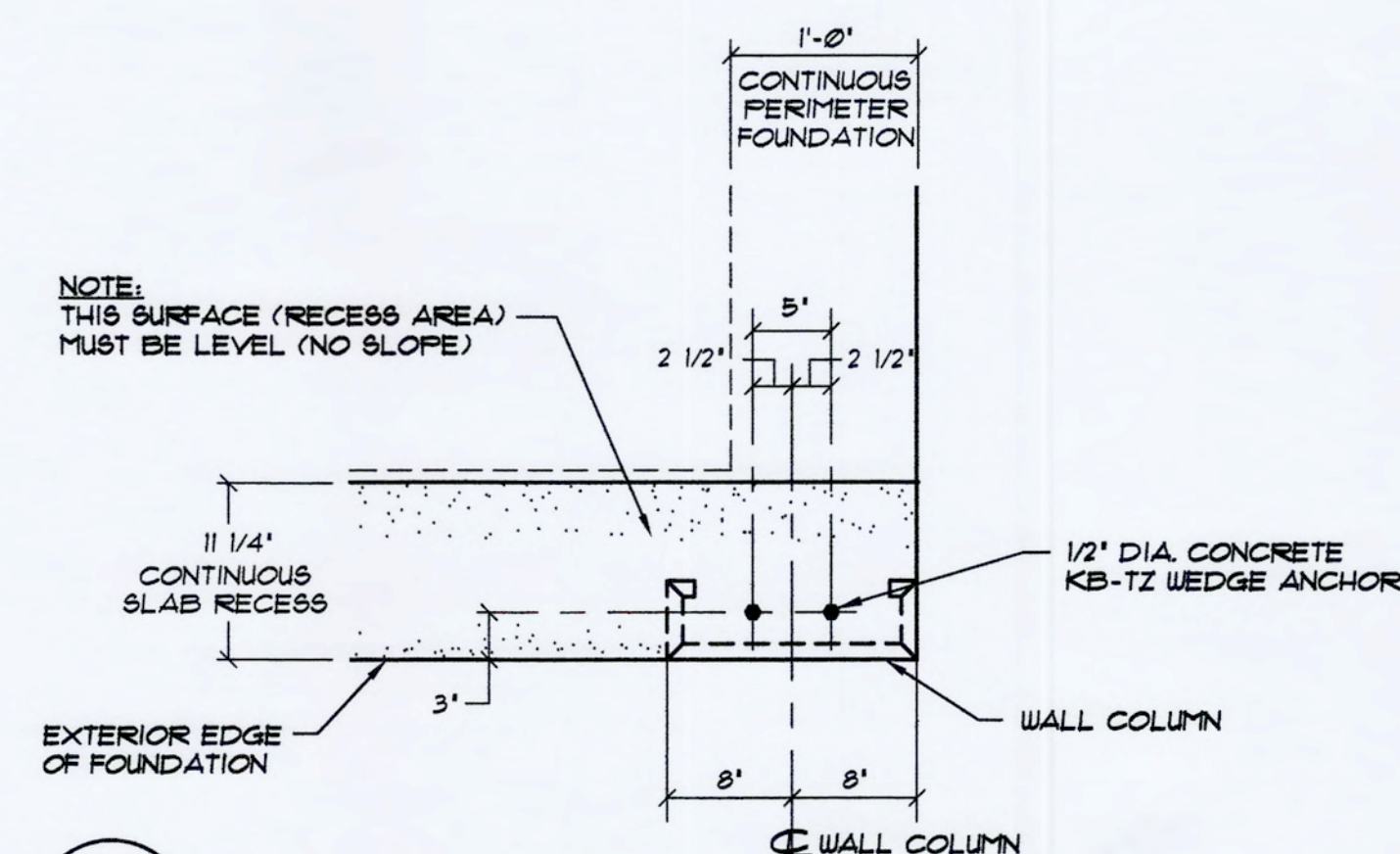
A
F2 ALTERNATE PERIMETER FOUNDATION SECTION (TWO STAGE CONCRETE PLACEMENT)
NOT TO SCALE



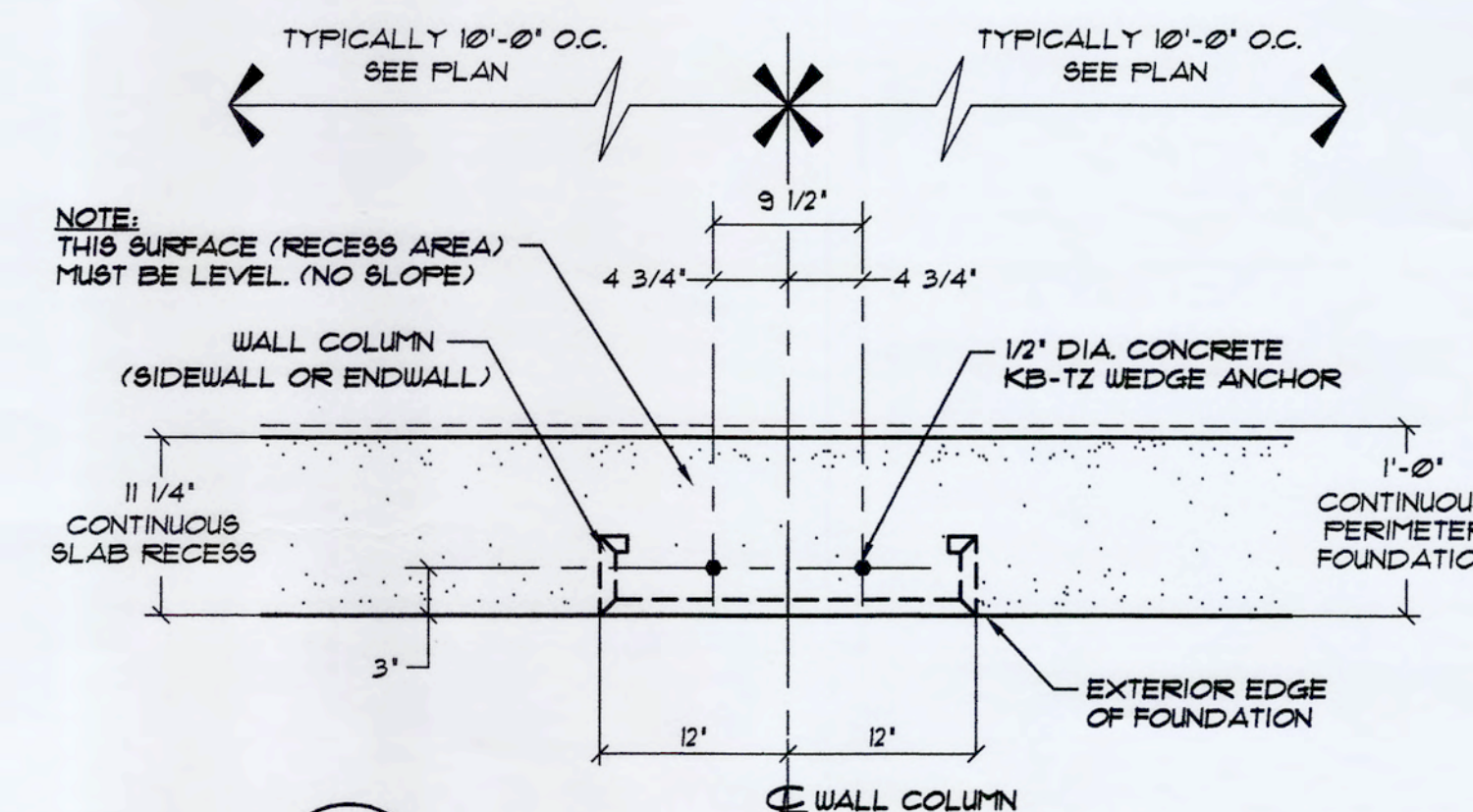
A
F2 TYPICAL PERIMETER FOUNDATION SECTION (MONOLITHIC CONCRETE PLACEMENT)
NOT TO SCALE



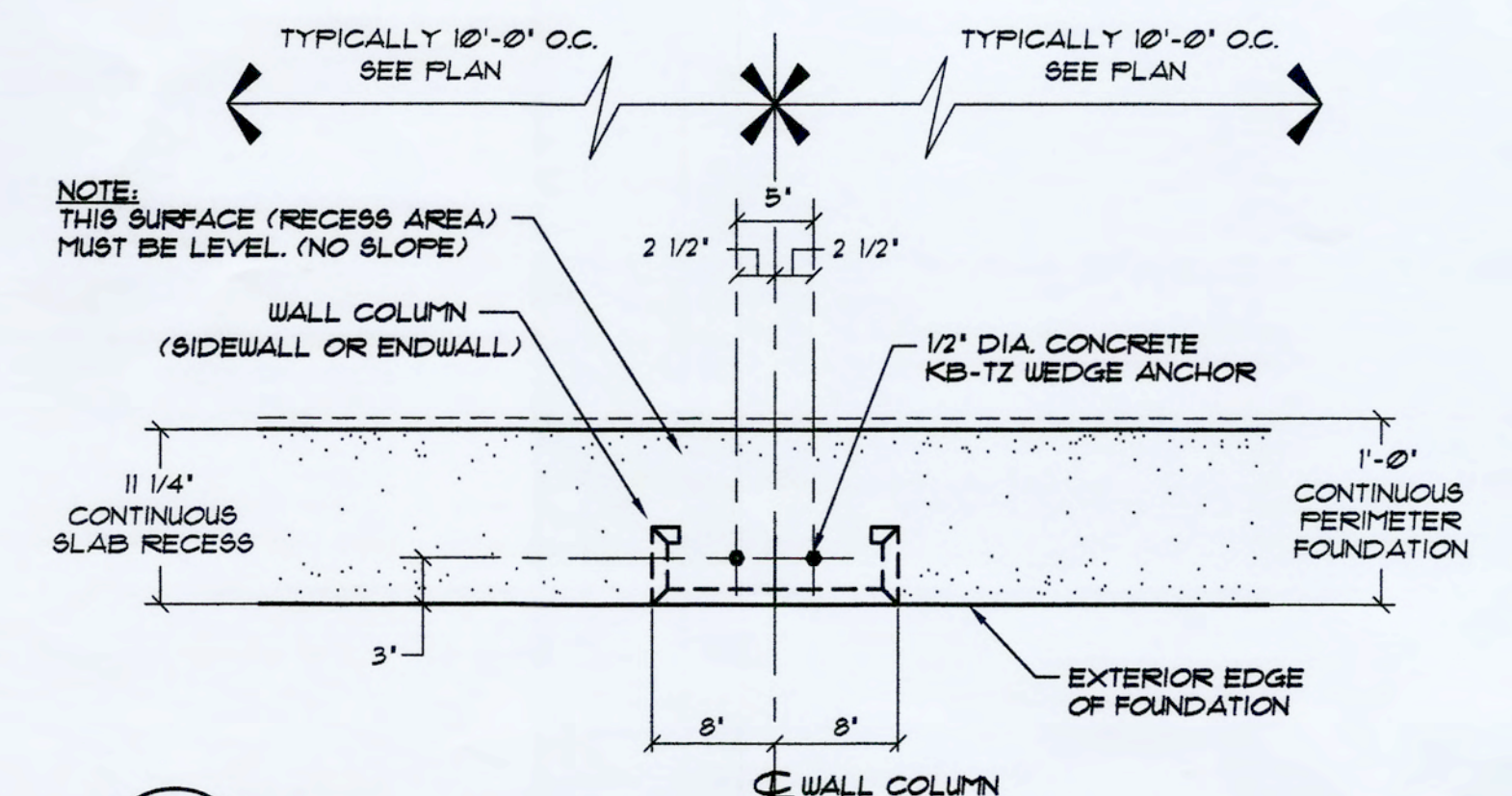
G
F2 TYPICAL CORNER WEDGE ANCHORS
SCALE: 1" = 1'-0"



F
F2 CORNER WEDGE ANCHORS AT STUDWALL
SCALE: 1" = 1'-0"



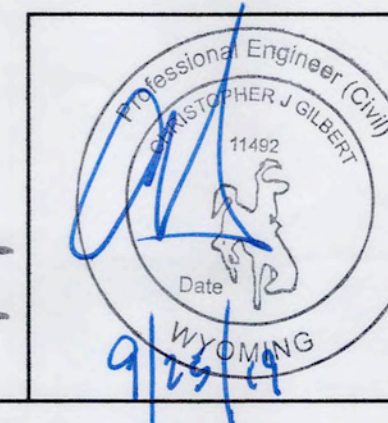
E
F2 TYPICAL WEDGE ANCHORS @ 24" WALL COLUMN
SCALE: 1" = 1'-0"



D
F2 TYPICAL WALL COLUMN WEDGE ANCHORS
SCALE: 1" = 1'-0"

RELEASED FOR CONSTRUCTION

DATE 9/25/19
BY [Signature]



REVISIONS	DATE	BY

DATE: 9/3/19
DRAWN BY: B. McDANIEL
SCALE: AS NOTED
APPROVED BY: [Signature]

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PROJECT NAME: COWBOY COFFEE STORAGE
PROJECT ADDRESS: JACKSON, WYOMING
OWNER: CCC MANAGEMENT, L.L.C.
SHEET TITLE: FOUNDATION DETAILS BUILDINGS "A & B"
PROJECT NO.: WY19212
DRAWING NUMBER: F2 of 2