



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: September 9, 2019

Item #: P19-205

Planner: Brendan Conboy

Phone: 733-0440 ext. 1302

Fax: 734-3563

Email: bconboy@jacksonwy.gov

Owner:

Susan Caspar
2 Stoneridge Way
Medfield, MA 02052

Applicant:

New West Building Co – Jill Learned
PO Box 13308
Jackson, WY 83002

REQUESTS:

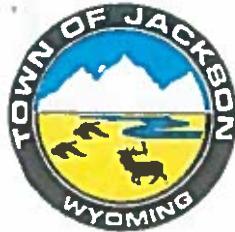
The applicant is submitting a request for an Encroachment Agreement to saw cut asphalt for a gas line connection at 620 Snow King Drive legally known as LOT 18, KARNS HILLSIDE ADDITION.

For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by:

September 30, 2019 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



ENCROACHMENT AGREEMENT APPLICATION

Planning & Building Department
Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

OWNER OF PROPERTY:

Name: Robert Caspar Phone: 617-894-1287
Mailing Address: 2 Stoneridge Way ZIP: 02052
Medfield, MA E-mail: rcaspar@gmail.com

APPLICANT/AGENT:

Name: New West Building Company Phone: 301.413.3105
(Jill Learned)
Mailing Address: P.O. Box 1308, Jackson, WY ZIP: 83002
E-mail: jill@newwestbc.com

DESIGNATED PRIMARY CONTACT:

Owner _____ Applicant/Agent X

PROPERTY:

Physical Address of Property: 1620 Snow King Dr. Jackson, WY
Lot, Subdivision: Lot 46, Snow King Estates
PIDN: 22-41-16-34-4-03-002

Description of Public Right-of Way: Cut asphalt run gas line patch asphalt

SUBMITTAL REQUIREMENTS. Three (3) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

N/A Application Fee. Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

10/29/15

X **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

X **Narrative Description of the Request.** Provide a detailed narrative description explaining the use of the noted public right-of-way.

↗ Exhibit. Provide an exhibit (picture, drawings, maps, plans) of the use of the noted public right-of-way including dimensions of requested encroachment.

FORMAT:

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of the Town of Jackson to enter upon the abovementioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

Jill Leoneel
Name Printed

9/6/19
Date

Title



265 West Broadway
Jackson, WY 83001
Po Box 13308
Jackson, WY 83002

DATE: September 6, 2019

TO: **Town of Jackson**
150 East Pearl Avenue
Jackson, Wyoming 83001

SUBJECT: **Encroachment Agreement Application**

ADDRESS: 620 Snow King Dr.
Jackson, Wyoming 83001

Please find the following items as we need to sawcut asphalt and patch in the north west corner of property for gas line connection. The asphalt will be replaced as needed.

1. (1) Encroachment Agreement Application
2. (1) Letter of Authorization
3. (1) 11x17 Plan Sets
4. (1) Encroachment Permit Fee
5. (1) Submittal Package on flash drive

Should you have any questions, please let me know.

Thank you!

Jill learned

Project Manager

O: 307-203-2460

C: 307-413-3105

jill@newwestbc.com

LETTER OF AUTHORIZATION

ROBERT & SUSAN CASPAR, "Owner" whose address is: 620 Snow King Dr Po Box 4104 Jackson WY 83001
(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

more specifically legally described as: Lot 46 of Replat of Snow King Estates, as the owner of property

(If too lengthy, attach description)

HEREBY AUTHORIZES FARMER PAYNE ARCHITECTS & NEW WEST BUILDING COMPANY as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title:

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)

COUNTY OF Teton

)

)SS.

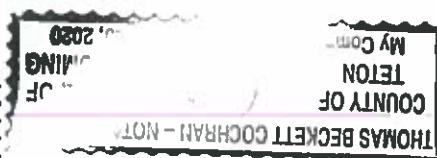
The foregoing instrument was acknowledged before me by Robert & Susan Caspar this 13 day of

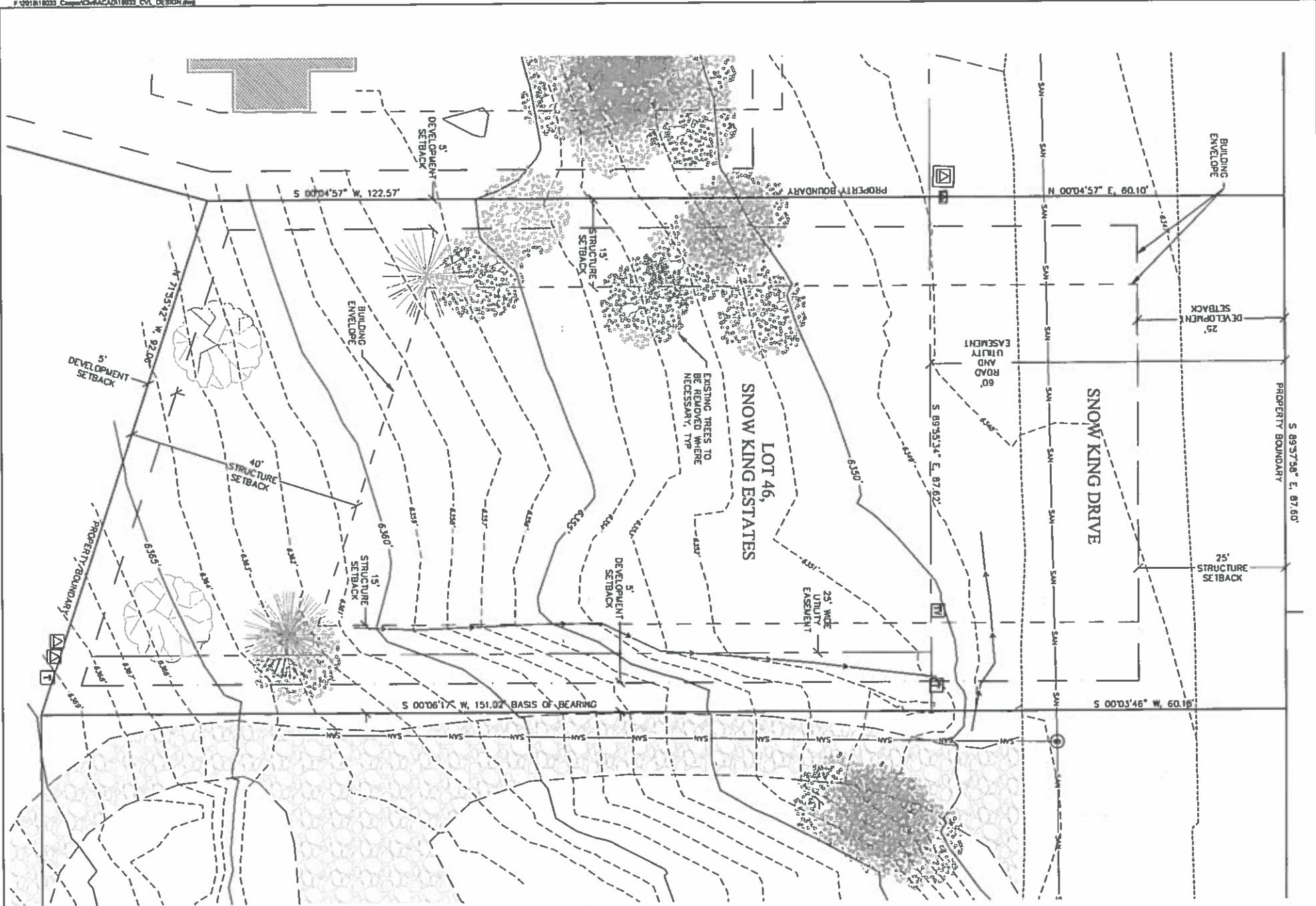
February, 2015

WITNESS my hand and official seal.

(Notary Public)

My commission expires





CONSTRUCTION NOTES

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER FUNCTIONAL OR ABANDONED, WITHIN THE PROJECT AREA SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTOR'S WORK.

WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS:
ALL CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF THE
CURRENT EDITION OF THE WYOMING PUBLIC WORKS STANDARD SPECIFICATION (WPSSES),
INCLUDED BY REFERENCE, UNLESS OTHERWISE SPECIFIED.

| USING FAA EQUATION | LENGTH OF TRAIL: | 220 LF. |
|--------------------|------------------|-----------------|
| | SCOPE: | 105 |
| HARDCAPE AREA: | 0.000 ACRES | C=0.9 |
| LANDSCAPE AREA: | 0.393 ACRES | C=0.15-(FOREST) |
| COMPOSITE C: | 0.15 | |

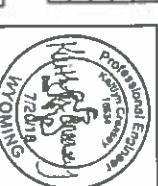
STORMWATER CALCULATIONS

EXISTING CONDITIONS SURVEY ANALYSIS

| SLOPE TABLE | | | | |
|-------------|------------|------------|-------|-----------------|
| NUMBER | MIN. SLOPE | MAX. SLOPE | COLOR | AREA (in sq ft) |
| 1 | 0.015 | 8.000 | 783 | |
| 2 | 8.000 | 15.000 | 803 | |
| 3 | 15.000 | 25.000 | 3225 | |
| 4 | 25.000 | 100.000 | 803 | |



CASPAR RESIDENCE
CASPAR
620 SNOW KING DRIVE
JACKSON, WY



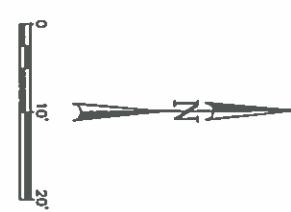
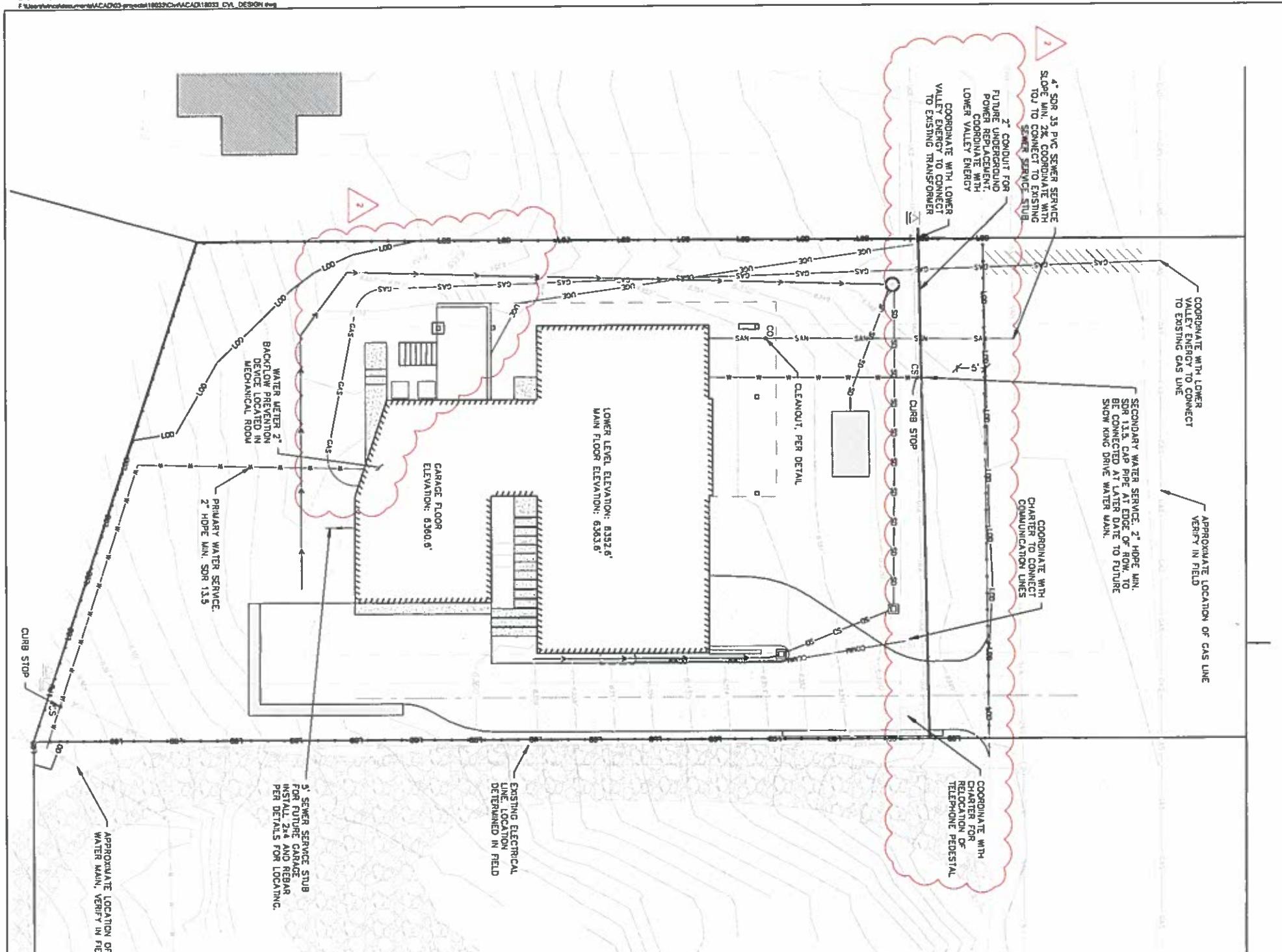
CONSULTANTS

**ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES**

ENGINEERED, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES

| DATE | DRAWING SET TITLE |
|------------|-------------------|
| 2018-04-18 | SP SET |
| 2018-07-13 | GEO |

DRAWN BY: SC/SP
CHECKED BY: JK/KC JOB #: 16033



LEGEND

LEGEND

(E) WATER MAIN
 (E) WATER SERVICE
 (P) WATER SERVICE
 (E) SEWER MAIN
 (E) SEWER SERVICE
 (P) SEWER SERVICE
 (E) GAS LINE
 (P) GAS LINE
 (P) COMMUNICATIONS LINE
 (E) UNDERGROUND ELECTRICAL LINE
 (P) UNDERGROUND ELECTRICAL LINE
 (P) MAJOR CONTOUR
 (P) MINOR CONTOUR

REVISION 08/29/2019
ADDED POWER CONDUIT, MOVED GAS SERVICES

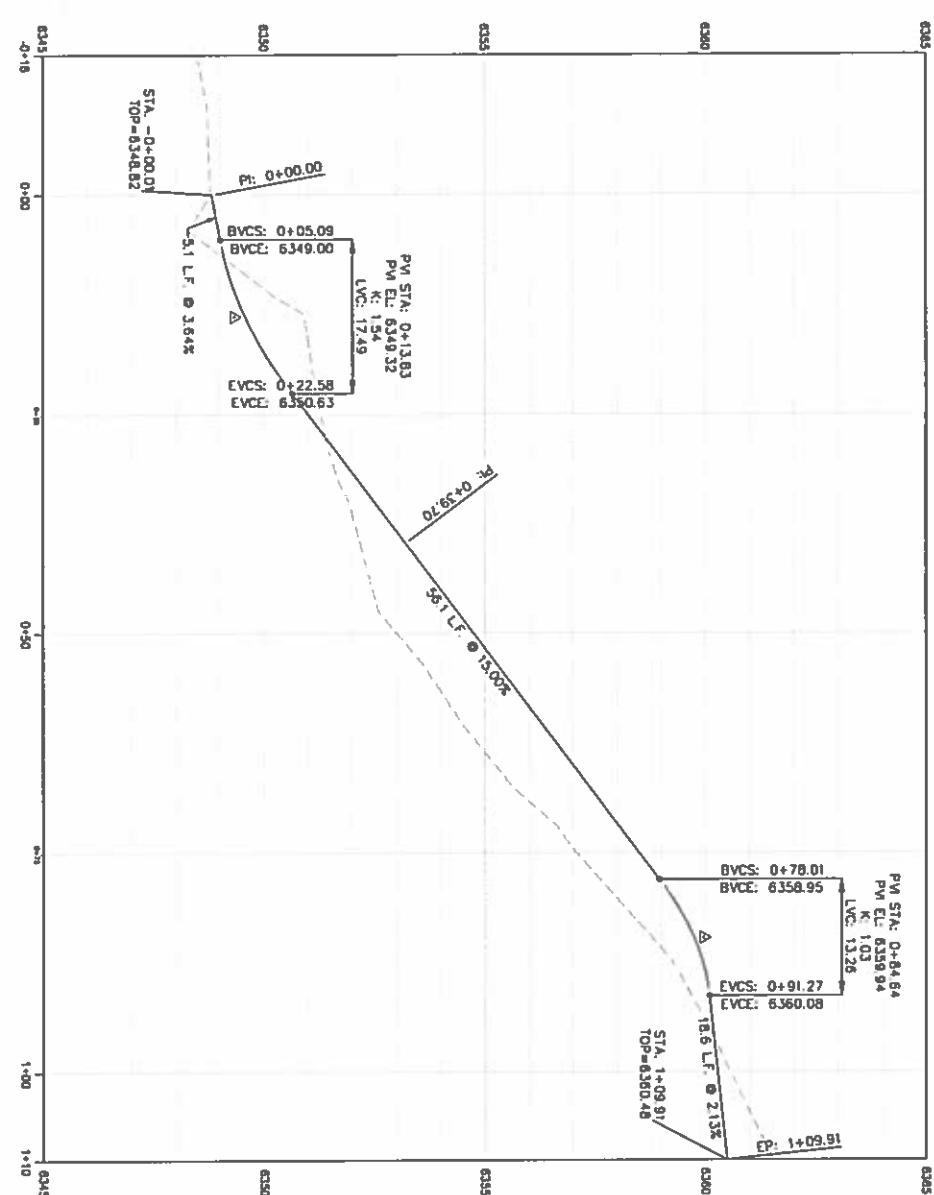
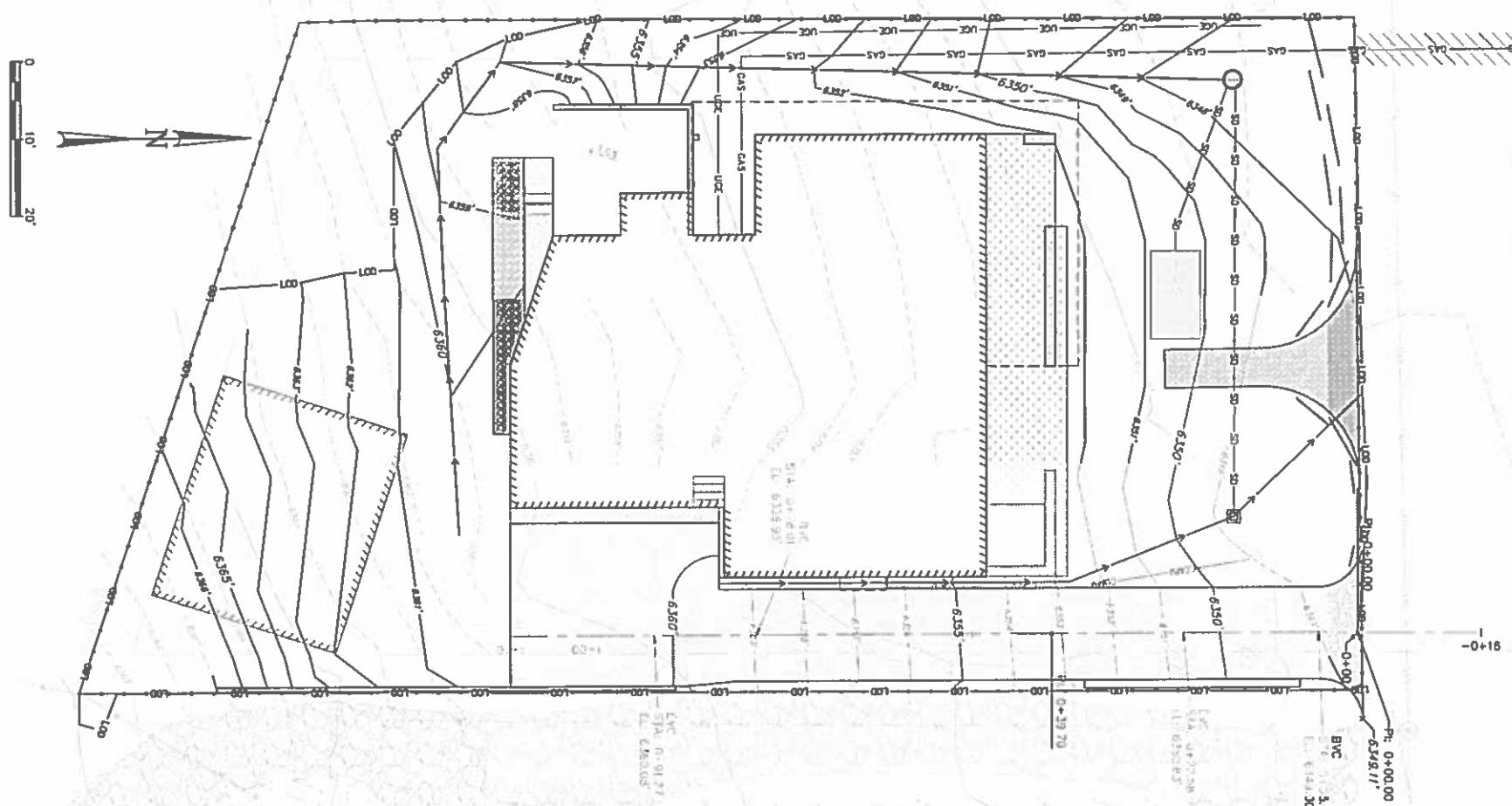
C1-2

CASPAR RESIDENCE
CASPAR
620 SNOW KING DRIVE
JACKSON, WY



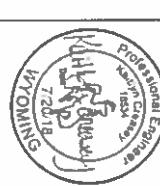
The logo for Y2 CONSULTANTS. It features a circular emblem on the left containing the letters 'Y2' in a large, bold, sans-serif font. To the right of the emblem, the word 'CONSULTANTS' is written in a large, bold, sans-serif font. Below the emblem and the company name, there is a vertical line followed by the company's services: 'ENGINEERING, SURVEYING & PLANNING', 'LANDSCAPE ARCHITECTURE, GIS', and 'NATURAL RESOURCE SERVICES'.

| DATE | DRAWING SET TITLE |
|-----------------|-------------------|
| 2018-07-13 | GEO |
| 2018-08-17 | REV. 2 |
| 2018-08-17 | REV. 3 |
| 2018-08-31 | REV. 4 |
| DRAWN BY: JG/VR | |
| CHECKED BY: VR | JOB #: 18033 |



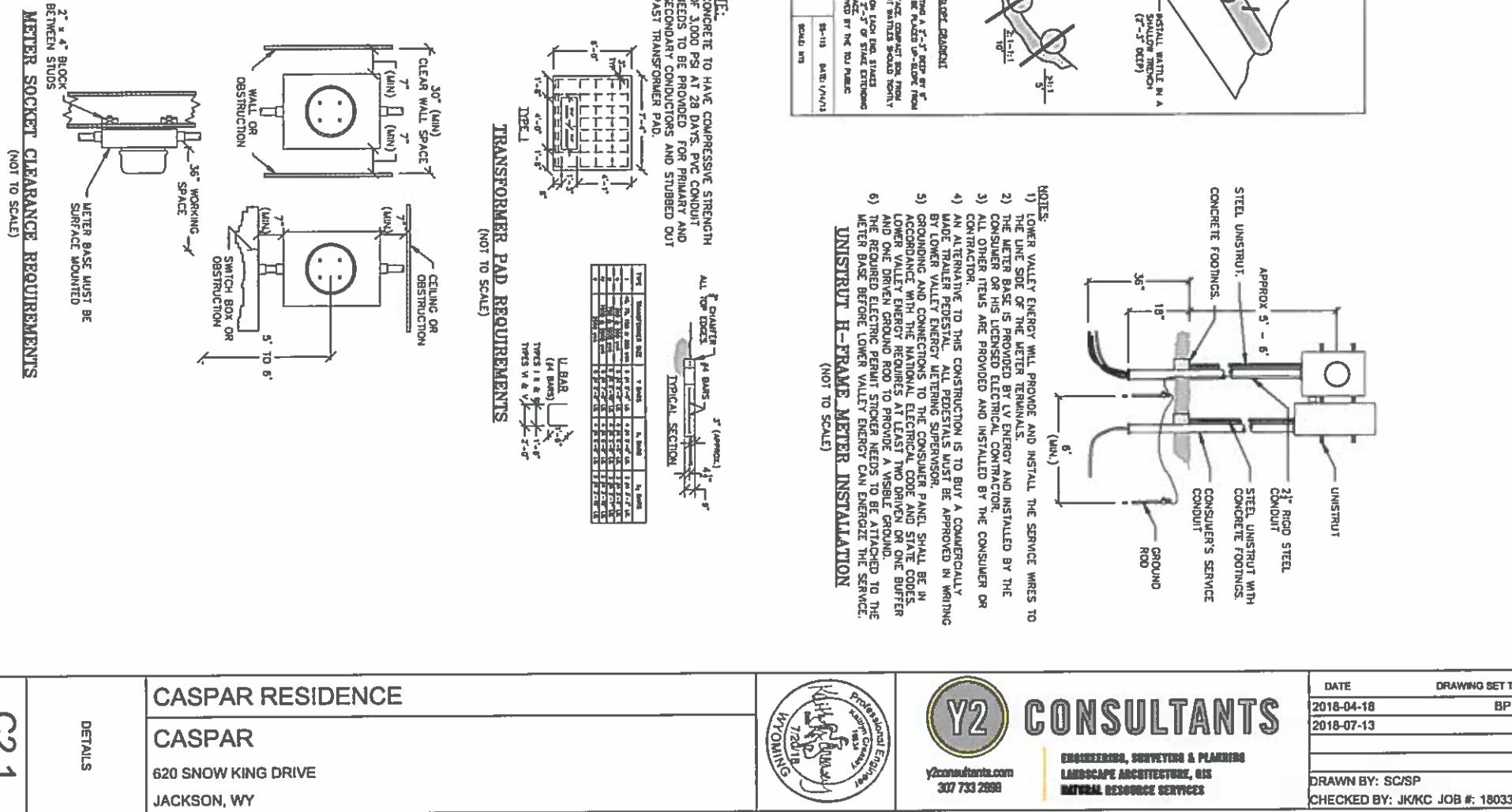
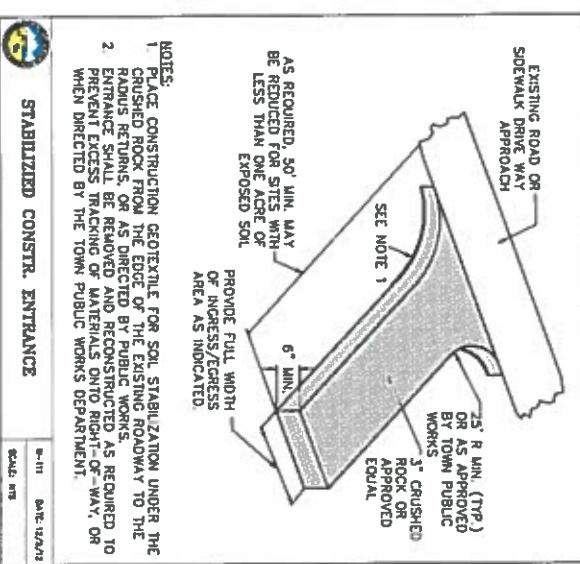
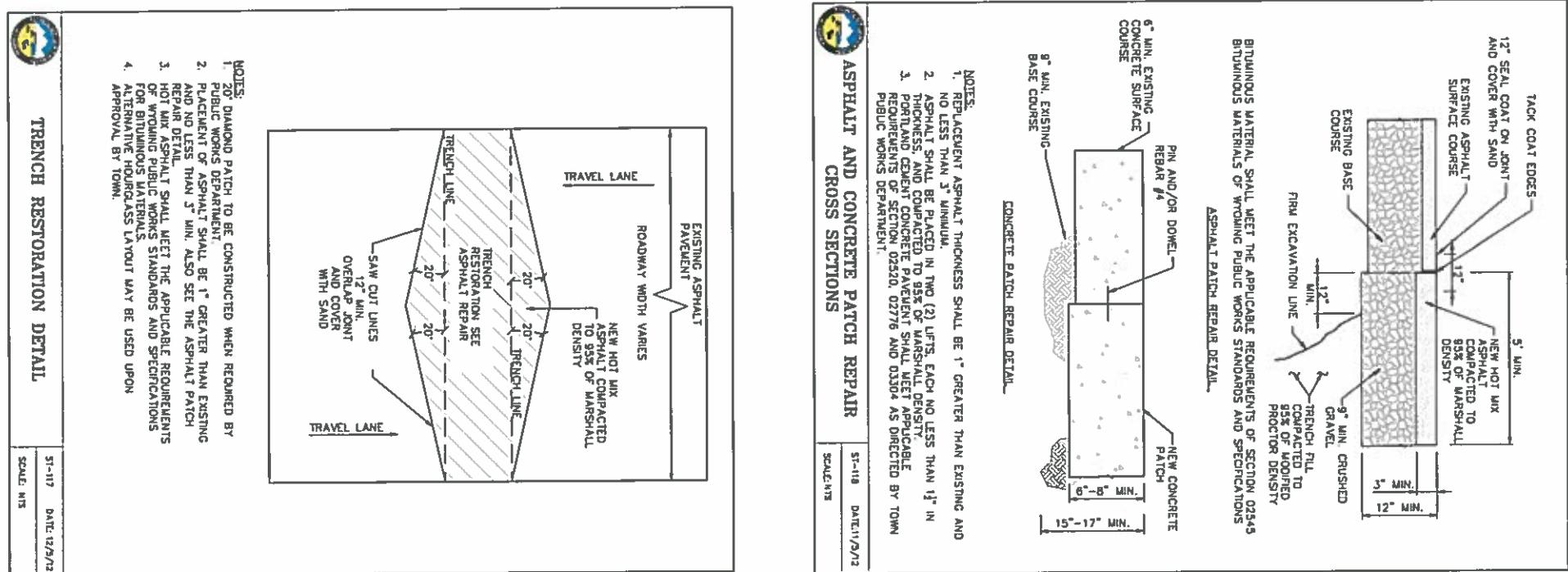
DRIVEWAY PROFILE
24x36 SHEET SCALE: HORIZ. 1" = 10' VERT. 1" = 2'
START STA: -0+15.92, END STA: 1+09.91

CASPAR RESIDENCE
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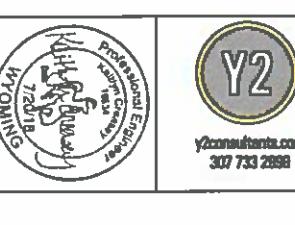


Y2 CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES
y2consultants.com
307 733 2899

| DATE | DRAWING SET TITLE |
|-------------------|-------------------|
| 2018-04-18 | BP SET |
| 2018-07-13 | GEO |
| | |
| | |
| DRAWN BY: SC/SP | |
| CHECKED BY: JK/KC | JOB #: 18033 |



CASPAR RESIDENCE
CASPAR
620 SNOW KING DRIVE
JACKSON, WY



CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
MINERAL RESOURCE SERVICES

DATE: 2018-04-18
2018-07-13
DRAWN BY: SC/SP
CHECKED BY: JK/JC JOB #: 18033

TRENCH RESTORATION DETAIL

ST 117 DATE 12/2/12
SCALE: 1/8

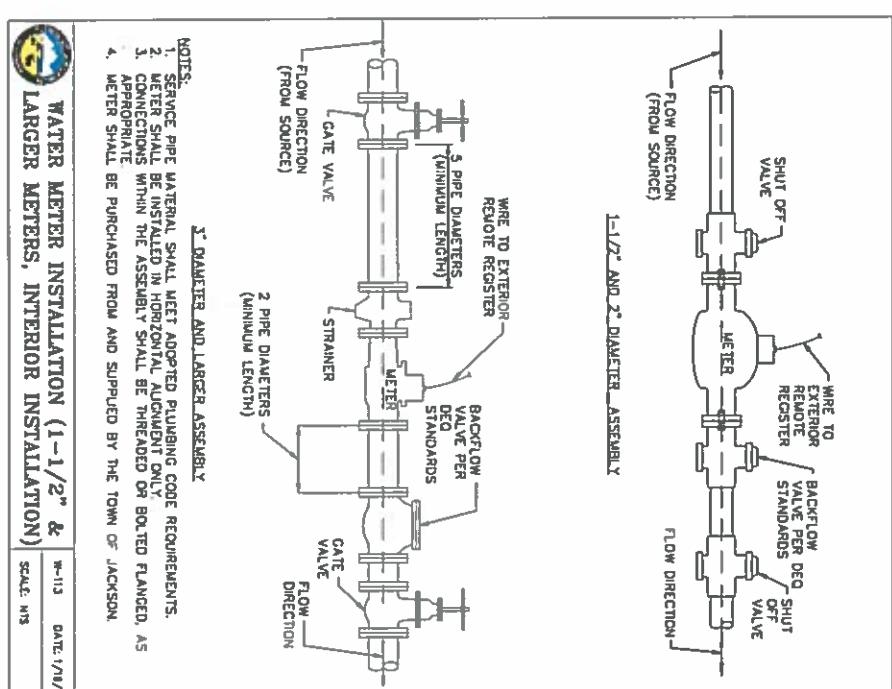
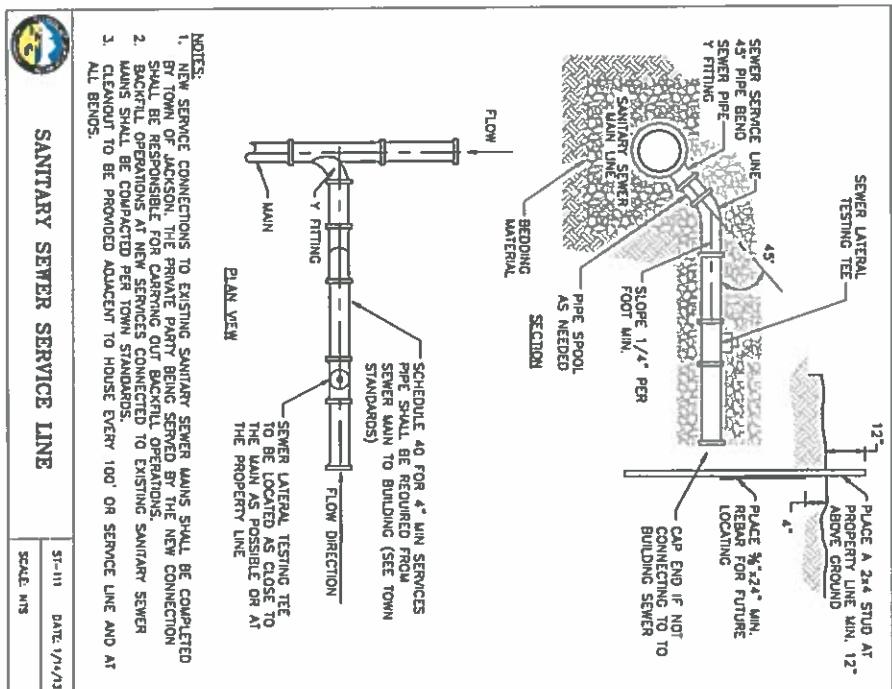
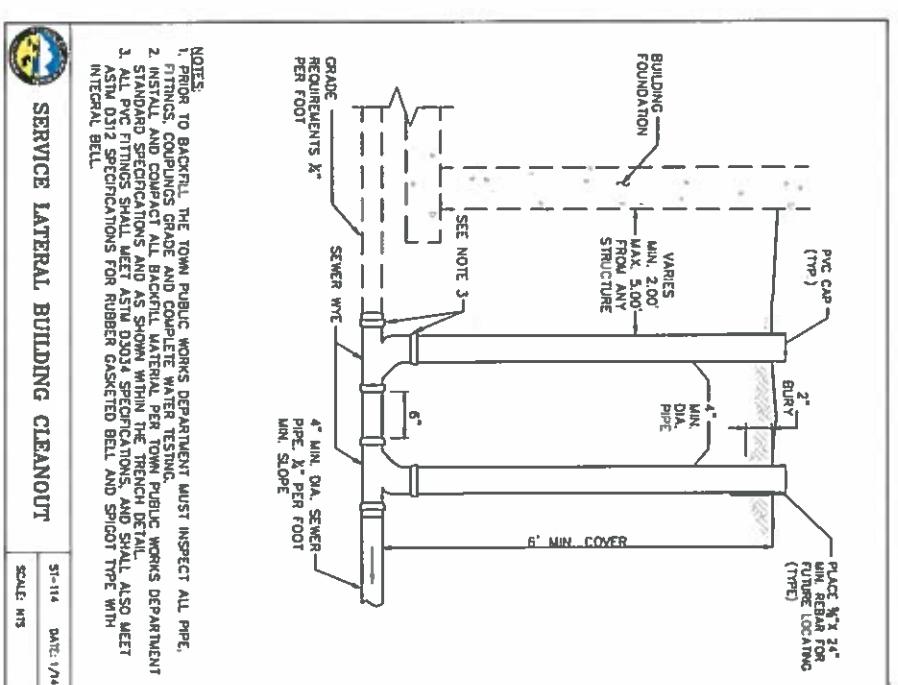
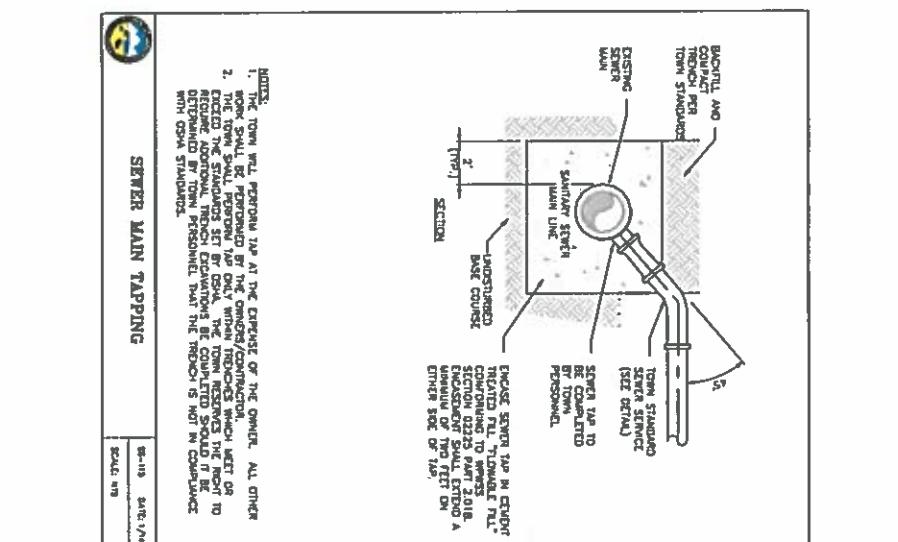
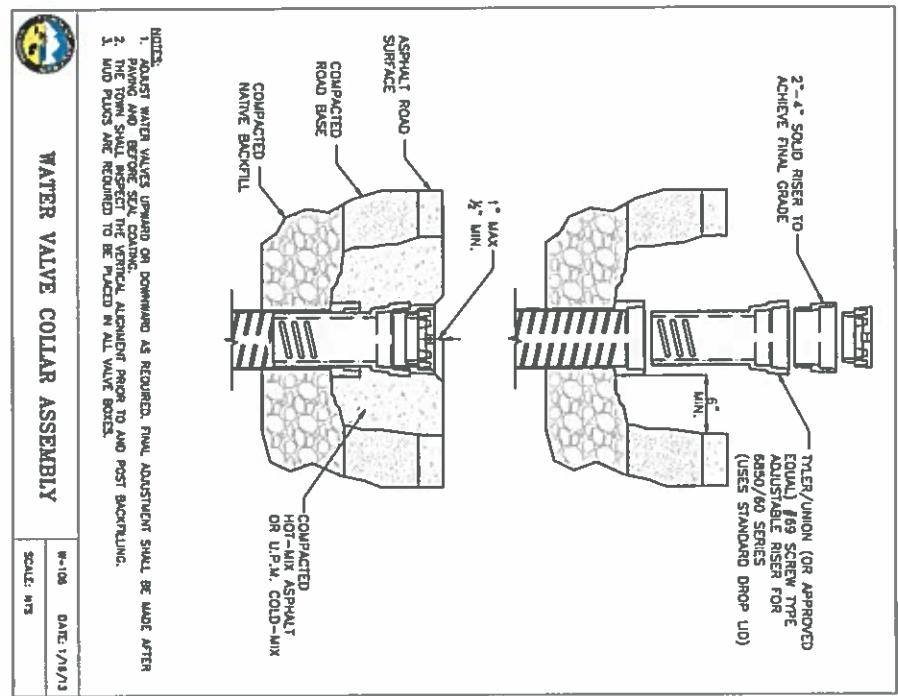
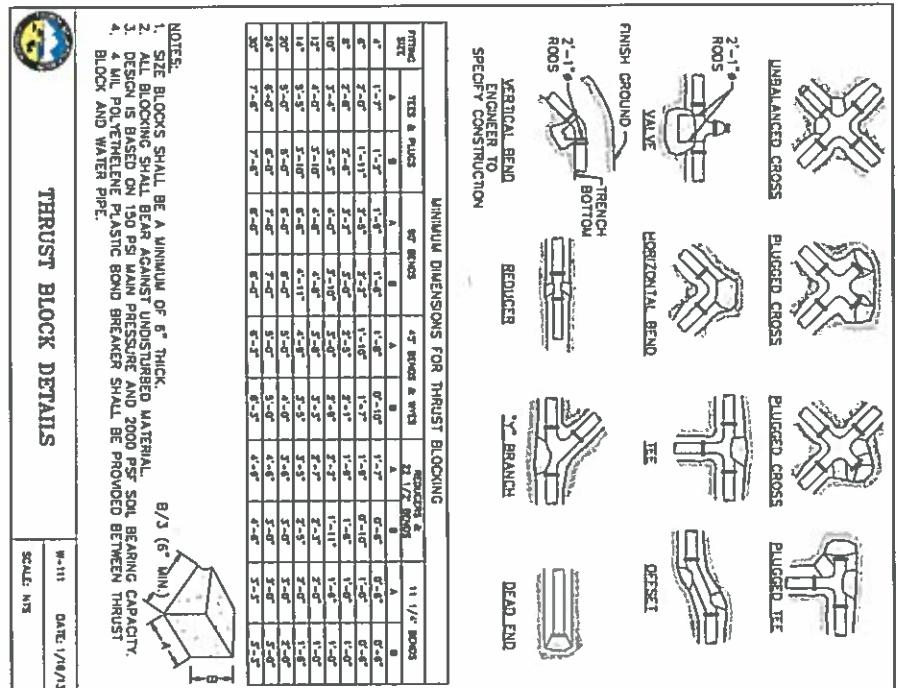
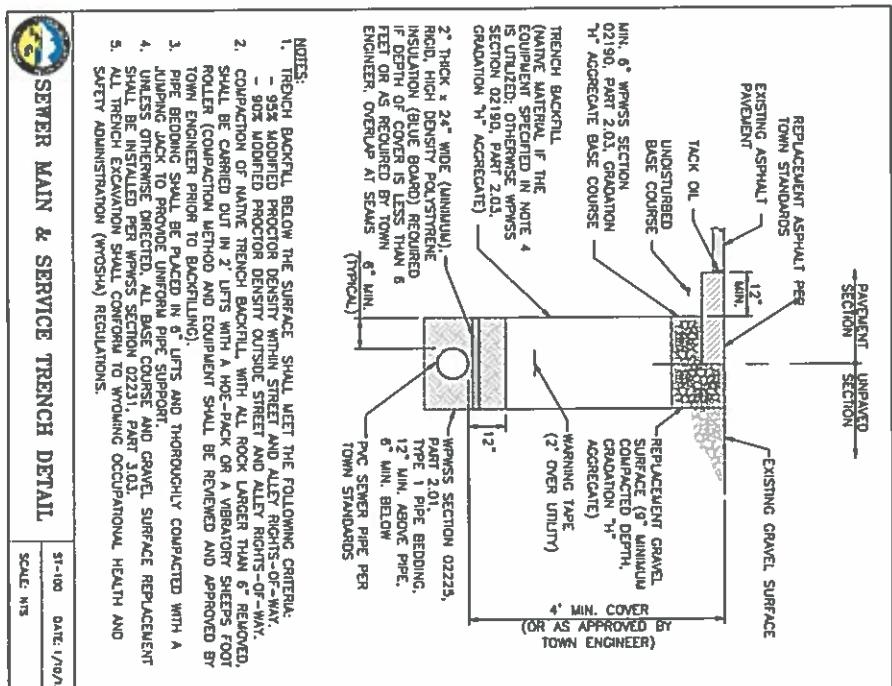
PAVING & CONCRETE JOINT DETAILS

ST 123 DATE 12/2/12
SCALE: 1/8

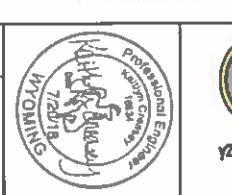
STABILIZED CONSTR. ENTRANCE

ST 118 DATE 12/2/12
SCALE: 1/8

C2.1



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LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES
y2consultants.com
307 733 2999

DATE: 2018-04-18
DRAWN BY: SC/SP
DRAWING SET TITLE: BP SET
2018-07-13
CHECKED BY: JK/KC JOB #: 18033
GEO

