



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☒ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☒ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

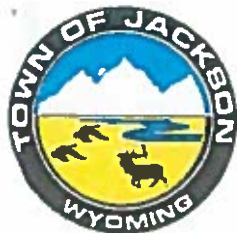
- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: September 9, 2019</p> <p>Item #: P19-205</p> <p>Planner: Brendan Conboy</p> <p>Phone: 733-0440 ext. 1302</p> <p>Fax: 734-3563</p> <p>Email: bconboy@jacksonwy.gov</p> <p>Owner: Susan Caspar 2 Stoneridge Way Medfield, MA 02052</p> <p>Applicant: New West Building Co – Jill Learned PO Box 13308 Jackson, WY 83002</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for an Encroachment Agreement to saw cut asphalt for a gas line connection at 620 Snow King Drive legally known as LOT 18, KARNs HILLSIDE ADDITION.</p> <p>For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.</p>
<p>Please respond by:</p> <p style="text-align: center;">September 30, 2019 (with Comments)</p>	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



ENCROACHMENT AGREEMENT APPLICATION

Planning & Building Department
Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

OWNER OF PROPERTY:

Name: Robert Caspar Phone: 617-894-1287
Mailing Address: 2 Stoneridge Way ZIP: 02052
Medfield, MA
E-mail: rcaspar@gmail.com

APPLICANT/AGENT:

Name: New West Building Company Phone: 307.413.3105
(Jill Learned)
Mailing Address: P.O. Box 13308, Jackson, WY ZIP: 83002
E-mail: jill@newwestbc.com

DESIGNATED PRIMARY CONTACT:

Owner _____ Applicant/Agent X

PROPERTY:

Physical Address of Property: 620 Snow King Dr. Jackson, WY
Lot, Subdivision: Lot 46, Snow King Estates
PIDN: 22-41-16-34-4-03-002
Description of Public Right-of Way: cut asphalt run gas line patch asphalt

SUBMITTAL REQUIREMENTS. Three (3) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

N/A Application Fee. Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

10/29/15

X **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

X **Narrative Description of the Request.** Provide a detailed narrative description explaining the use of the noted public right-of-way.

X **Exhibit.** Provide an exhibit (picture, drawings, maps, plans) of the use of the noted public right-of-way including dimensions of requested encroachment.

FORMAT:

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of the Town of Jackson to enter upon the abovementioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

9/6/19
Date

Steve Leonard
Name Printed

Title



new west
building company

265 West Broadway
Jackson, WY 83001
Po Box 13308
Jackson, WY 83002

DATE: September 6, 2019

TO: **Town of Jackson**
150 East Pearl Avenue
Jackson, Wyoming 83001

SUBJECT: **Encroachment Agreement Application**

ADDRESS: 620 Snow King Dr.
Jackson, Wyoming 83001

Please find the following items as we need to sawcut asphalt and patch in the north west corner of property for gas line connection. The asphalt will be replaced as needed.

1. (1) Encroachment Agreement Application
2. (1) Letter of Authorization
3. (1) 11x17 Plan Sets
4. (1) Encroachment Permit Fee
5. (1) Submittal Package on flash drive

Should you have any questions, please let me know.

Thank you!

Jill learned

Project Manager

O: 307-203-2460

C: 307-413-3105

jill@newwestbc.com

LETTER OF AUTHORIZATION

ROBERT & SUSAN CASPAR, "Owner" whose address is: 620 Snow
King Dr PO Box 4104 Jackson WY 83001
(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

, as the owner of property
more specifically legally described as: Lot 46 of Replat of Snow
King Estates

(If too lengthy, attach description)

HEREBY AUTHORIZES FARMER PAYNE ARCHITECTS & NEW WEST BUILDING COMPANY as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing
on behalf of a corporation, partnership, limited liability company or other entity, the
undersigned swears that this authorization is given with the appropriate approval of such
entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title:

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or
other non-individual Owner)

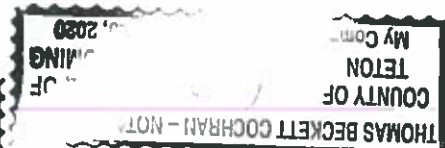
STATE OF Wyoming)
COUNTY OF Teton)SS.

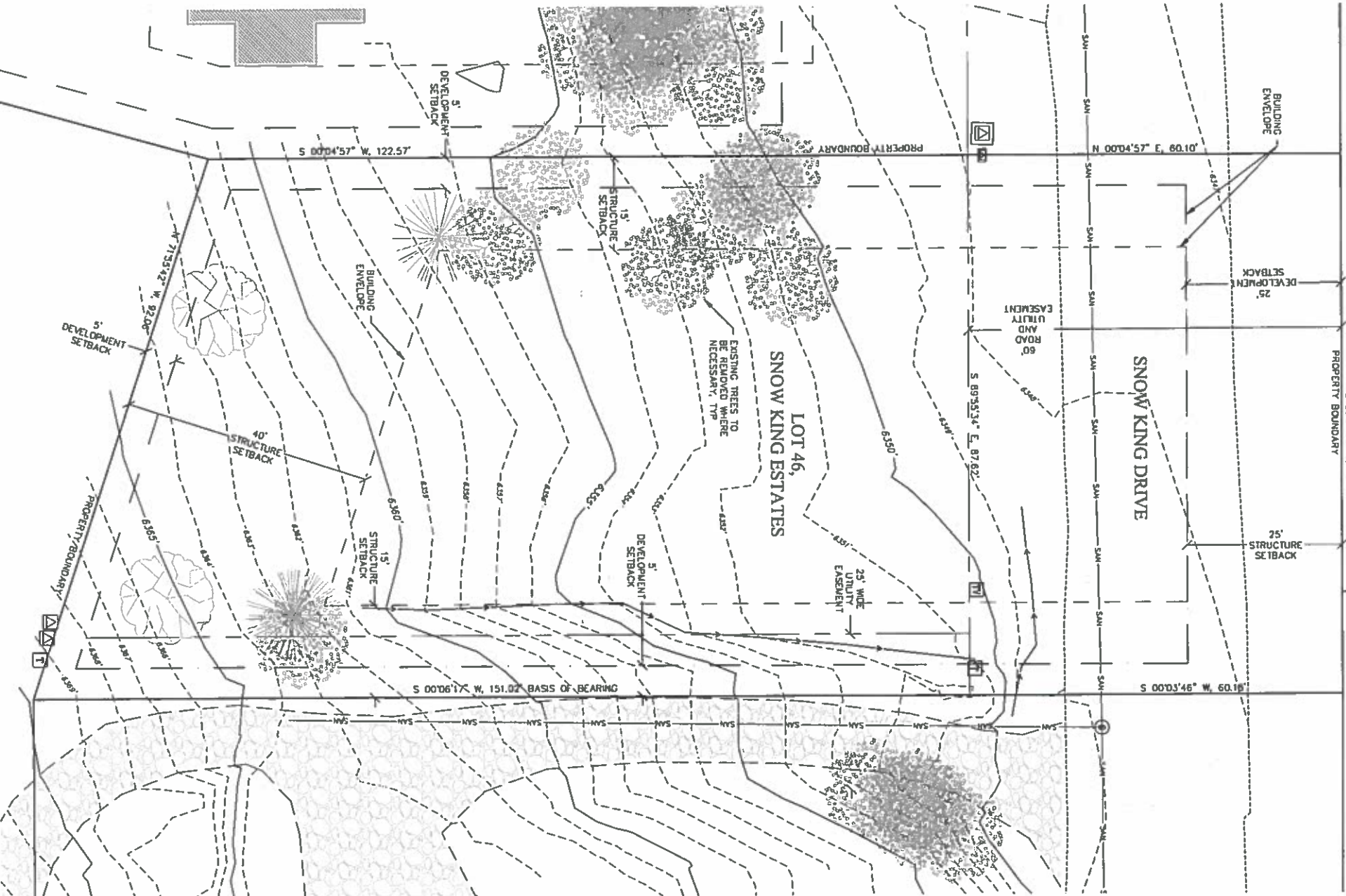
The foregoing instrument was acknowledged before me by Robert & Susan Caspar this 13 day of

February, 2015
WITNESS my hand and official seal.

(Notary Public)

My commission expires





CONSTRUCTION NOTES

CAUTION: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED. NOR IS THERE ANY WARRANTY AS TO THE LOCATION OR DEPTH OF ANY UTILITIES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

WY DEO AND IPC SPECIFICATIONS. ALL WATER AND WASTE WATER CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE WYOMING PUBLIC WORKS STANDARD SPECIFICATION (WPSS), INCLUDED BY REFERENCE) UNLESS OTHERWISE SPECIFIED.

WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS. ALL CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE WYOMING PUBLIC WORKS STANDARD SPECIFICATION (WPSS), INCLUDED BY REFERENCE) UNLESS OTHERWISE SPECIFIED.

1. ALL MATERIAL SHALL BE INSTALLED ACCORDING TO MANUFACTURER GUIDELINES AND RECOMMENDATIONS UNLESS OTHERWISE SPECIFIED.
2. MAINTAIN CONSISTENT PIPE GRADE TO DESIGNATED HIGH AND LOW POINTS.
3. SITE IMPROVEMENTS SHALL BE INSTALLED PROPERLY IN ORDER TO REDUCE THE POTENTIAL FOR DUST EMISSIONS.
4. THE AREA DISTURBED BY CLEARING, EARTH MOVING, OR EXCAVATION ACTIVITIES SHALL BE KEPT TO A MINIMUM AT ALL TIMES, ALLOWING IMPROVEMENTS TO BE IMPLEMENTED IN SECTIONS AND USING DITCH BLOCKS AS NECESSARY.
5. SOIL-EROSION ACTIVITIES WILL BE AVOIDED DURING PERIODS OF HEAVY RAIN OR WET SOIL.
6. ALL CONSTRUCTION MATERIALS WILL BE REMOVED FROM SITE AS SOON AS POSSIBLE AND NO LATER THAN 30 DAYS AFTER COMPLETION OF CONSTRUCTION.
7. WY BIDS WILL BE FOLLOWED FOR ANY HYDRAULIC OR OIL LEAK IN ACCORDANCE WITH DEO PROVISIONS.
8. STATE LICENSED FUEL HANDLER COMPANIES WILL BE REQUIRED FOR THE ON-SITE FUELING NEEDS.
9. CONCRETE WASH DISCHARGE SHALL BE CONTAINED AND PREVENTED FROM ENTERING SURROUNDING AREAS OR NEIGHBORING PROPERTIES.
10. COORDINATES ARE USED TO CALCULATE BEARINGS, DISTANCES, AND ANGULAR MEASUREMENTS SHOWN HEREON. SURVEY ACCURACY IS NOT REFLECTED BY SAID COORDINATES AND DERIVED DATA.
11. ALL PUBLIC TRAVEL WAYS SHALL BE KEPT CLEAR OF CONSTRUCTION MATERIALS AND DEBRIS.
12. WATER AND SEWER MAIN LINE LOCATIONS ARE DERIVED FROM DESIGN DRAWINGS.

PROJECT NOTES:

1. TPOD SURVEY BY: NELSON ENGINEERING 430 CACHE STREET PO BOX 1599 JACKSON, WY 83001 307-733-2087 OCT. 2017

LEGEND

- (E) MAJOR CONTOUR
- (E) MINOR CONTOUR
- PROPERTY BOUNDARY
- SETBACK
- EASEMENT
- (E) FLOWLINE
- (E) WATER SERVICE
- (E) SEWER MAIN
- (E) GAS LINE
- (E) EDGE OF ASPHALT
- (E) EDGE OF GRAVEL
- (E) TELEPHONE PEDESTAL
- (E) TELECOMMUNICATIONS PEDESTAL
- (E) TRANSFORMER
- (E) POWER WALL T

STORMWATER CALCULATIONS

PRE-DEVELOPMENT LOT SIZE: 0.295 ACRES
LENGTH OF TRAVEL: 226 LF
SLOPE: 10%
HARDSCAPE AREA: 0.000 ACRES
LANDSCAPE AREA: 0.295 ACRES
USING FAH EQUATION
10=11.86 MINS. = USE 15
PER TOU LOG, 100 YEAR STORM INTENSITY FOR 15 MINUTE DURATION = 1.90 INCH/HOUR
Q=QA = 0.113 CFS

EXISTING CONDITIONS SLOPE ANALYSIS

NUMBER	MIN. SLOPE	MAX. SLOPE	COLOR	AREA (20 SQ FT)
1	0.001%	0.003%	Green	3793
2	0.003%	0.005%	Blue	9063
3	0.005%	0.007%	Red	3223
4	0.007%	0.009%	Yellow	885



DATE	DRAWING SET TITLE
2018-04-18	BP SET
2018-07-13	GEO
DRAWN BY: SC/SP	
CHECKED BY: JK/KC JOB #: 18033	

Y2 CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES
y2consultants.com
307.733.2900



CASPAR RESIDENCE
CASPAR
620 SNOW KING DRIVE
JACKSON, WY

CO.1

EXISTING CONDITIONS

GRADING AND EROSION CONTROL NOTES (PLAN LEVEL)

DISTURBANCE (SF)	SLOPES (%)	STABILMENT LEVEL REQUIREMENTS	PLAN LEVEL REQUIREMENTS
942	0-5	> 12,000 SF, < 1 ACRE	> 1 ACRE
8,218	5-15	> 12,000 SF, < 1 ACRE	> 1 ACRE
1,443	> 15	< 3,000 SF, < 1 ACRE	> 3,000 SF
12,603	TOTAL		

1,443 SF OF DISTURBANCE $\geq 15\%$ THEREFORE PLAN LEVEL IS REQUIRED
EXISTING IMPERVIOUS SURFACES: 254
PROPOSED IMPERVIOUS SURFACES: 0

INVASIVE SPECIES MANAGEMENT
• LAND DISTURBING ACTIVITIES WILL BEGIN SUMMER 2018 (PENDING PERMIT APPROVALS) AND BE COMPLETED SPRING 2020.
• REVEGETATION WILL OCCUR AS SOON AS CONDITIONS ALLOW PER THE DETAILS BELOW.

DEVELOPMENT SCHEDULE
• ALL CONSTRUCTION ACTIVITIES WILL BE COMPLETED PRIOR TO ENTERING THE SITE.
• SOIL STOCKPILES WILL BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
• DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT WILL BE MINIMIZED.
• ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE WILL BE KEPT ON ACTIVE MANAGEMENT USING THE METHODS LISTED IN THE INVASIVE SPECIES MANAGEMENT PLAN. THIS AREA WILL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.

PROPOSED GRADING PLAN
• MATERIAL SPILLS WILL BE STOCKPILED PER PLANS AND OFFSITE IF NECESSARY.
• TOPSOIL WILL BE STRIPPED FROM AREAS TO BE DISTURBED BY EXCAVATION, FILLING, OR COMPACTION BY EQUIPMENT.
• PREVENT TOPSOIL MIXING WITH SUBSOIL OR OTHER MATERIALS, AND PROTECT FROM EROSION.
• SOIL IN AREAS COMPACTED BY HEAVY EQUIPMENT TRAVEL WILL BE PREPARED FOR RESEEDING BY SCARIFICATION.
• IMMEDIATELY PRIOR TO SPREADING TOPSOIL, LOOSEN THE SUBGRADE OVER AREAS TO BE REVEGETATED AT A DEPTH OF 4" TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL. REMOVE ROCKS AND OTHER MATERIAL GREATER THAN 3" IN DIAMETER.
• CONTRACTOR TO REMOVE VEHICLE TRACKING AND OTHER OFFSITE AREAS. CONSTRUCTION ENTRANCE PER DETAILS
• DISTURBED AREAS PRIOR TO ENTERING ROAD ROWS OR OTHER OFFSITE AREAS. CONSTRUCTION ENTRANCE PER DETAILS

BEVEGETATION DETAILS
• DISTURBED AREAS WILL BE REVEGETATED WITH NATIVE GRASSES PERMANENTS AND OTHER PLANTS AS SHOWN, AND AS DESCRIBED IN THE PLANT LIVE SEED (PLS) SEED MIX BELOW UNLESS OTHERWISE NOTED.
• SEED WILL BE BROADCAST WITH TWO PERPENDICULAR PASSES.
• REVEGETATION WILL OCCUR BEFORE MAY 15 OR AFTER SEPTEMBER 15 OF ANY CALENDAR YEAR (FALL AND SPRING).
• PLS SEEDING RATIOS ARE:

COMMON NAME	POUNDS / ACRE
Shrimp Trench	3
Blue Fescue	3
Blue Fescue	3
TOTAL	13

SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE SURFACE BY APPROVED MECHANICAL BROADCASTING DEVICE.
• IF DRILL SEEDING, SEEDING RATE CAN BE REDUCED BY 50%.
• SEED SHALL NOT BE APPLIED DURING HIGH WINDS.
• AFTER SEEDING (VIA BROADCAST), THE SURFACE OF THE SOIL WILL BE THOROUGHLY RAKED WITH A FINE-TOOTHED RAKE TO INCORPORATE SEED INTO THE TOPSOIL. COMPLY WITH WINDING SEED LAW AND SHALL BE PURCHASED FROM A DEALER LICENSED WITH THE WINDING DEPARTMENT OF AGRICULTURE.

EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY BY THE GENERAL CONTRACTOR/CONSTRUCTION SITE MANAGER AND REPAIRED AS REQUIRED.
• THE GENERAL CONTRACTOR/CONSTRUCTION SITE MANAGER SHALL COMPLY WITH WRITTEN WRITES SHALL CONSTRUCTION GENERAL PERMITS AND LARGE CONSTRUCTION GENERAL PERMITS FOR SITES LESS THAN 5 ACRES AND LARGER THAN 5 ACRES, RESPECTIVELY.
• STRAW MATS WILL BE INSTALLED ALONG THE TOE OF THE DOWN-SLOPE SIDE OF MATERIAL STOCKPILES AND CUT AND FILL SLOPES AND WHERE INDICATED ON PLANS.
• STRAW MATS WILL REMAIN IN PLACE UNTIL THE STOCKPILED MATERIAL IS REMOVED AND EROSION UNTIL AREAS ARE REVEGETATED.
• STORM STABILIZATION BLANKETS SHALL BE INSTALLED ON ALL CUT AND FILL SLOPES STEEPER THAN 4:1 BEING REVEGETATED. USE AMERICAN EXCELISOR INC. CUREX II CL BLANKET OR EQUAL, PER DETAILS.

SNOW STORAGE = 1,003 SF (AREA OF DRIVEWAY) * 2.5% = 47 SF REQUIRED
PROPOSED SNOW STORAGE = 68 SF

STORMWATER CALCULATIONS

POST-DEVELOPMENT LOT SIZE: LENGTH OF TRAVEL: SLOPE:	0.395 ACRES 195 LF 11.8%
LANDSCAPE AREA: LANDSCAPE AREA: COMPOSITE C:	0.112 ACRES C=0.9 0.283 ACRES C=0.3 0.47
USING FAH EQUATION: S(T)	LEVEL-TO-SUBMITTAL S(10)

Tc=6.66 MINS - USE 10
PER TOU LDR# 100 YEAR STORM INTENSITY FOR 10 MINUTE
DURATION = 2.33 INCH/HOUR

O=CIA = 0.43 CFS
REQUIRED STORAGE VOLUME:
WHERE DURATION < Tc, MAX Q = 0-DURATION
WHERE DURATION ≥ Tc, MAX Q = 0

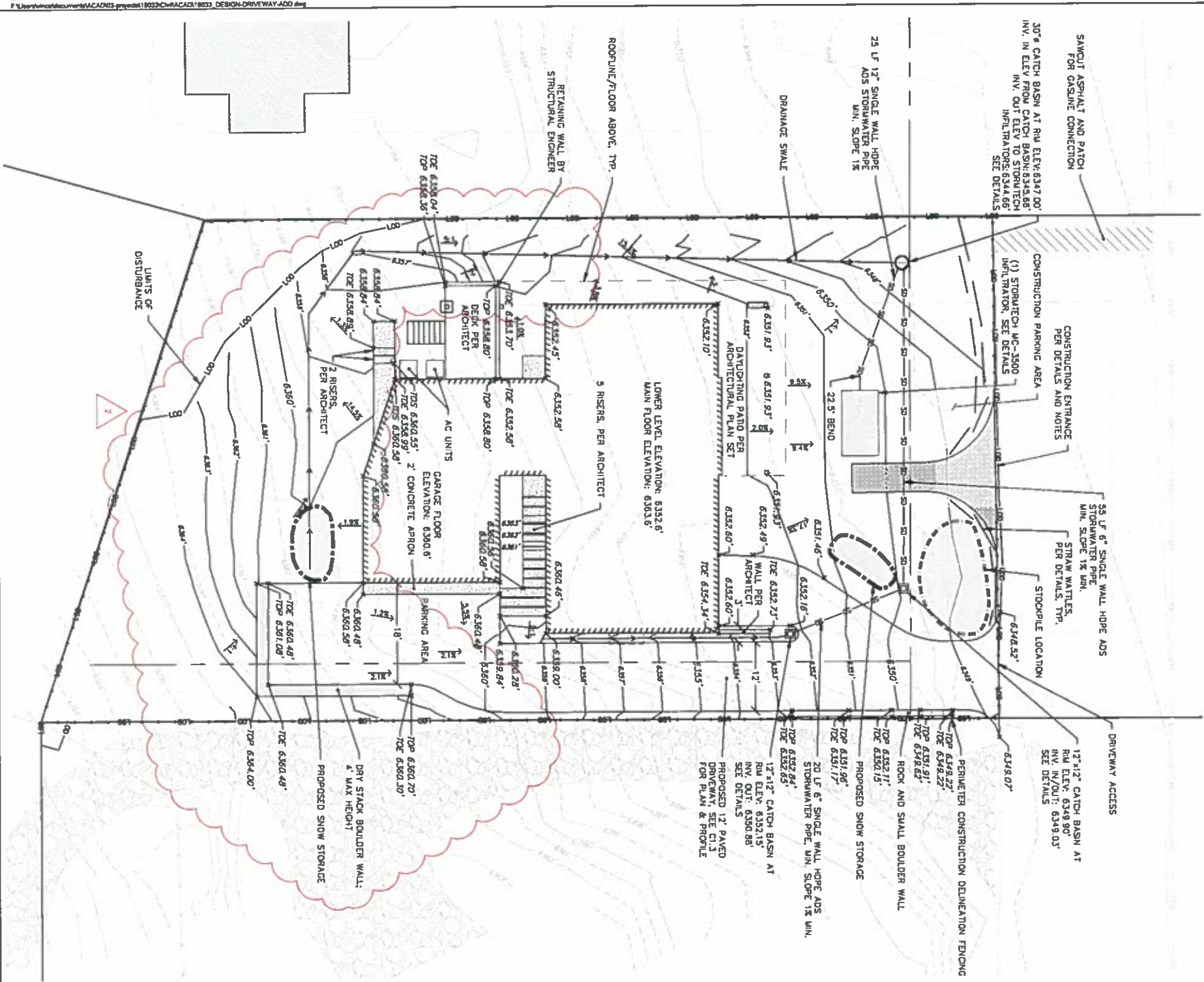
WHERE MAX Q < Qc, V = 0
WHERE MAX Q ≥ Qc, V = (MAX Q - Qc) * (DURATION - (Tc - 1)) * 60
Qc = 0.35 CFS

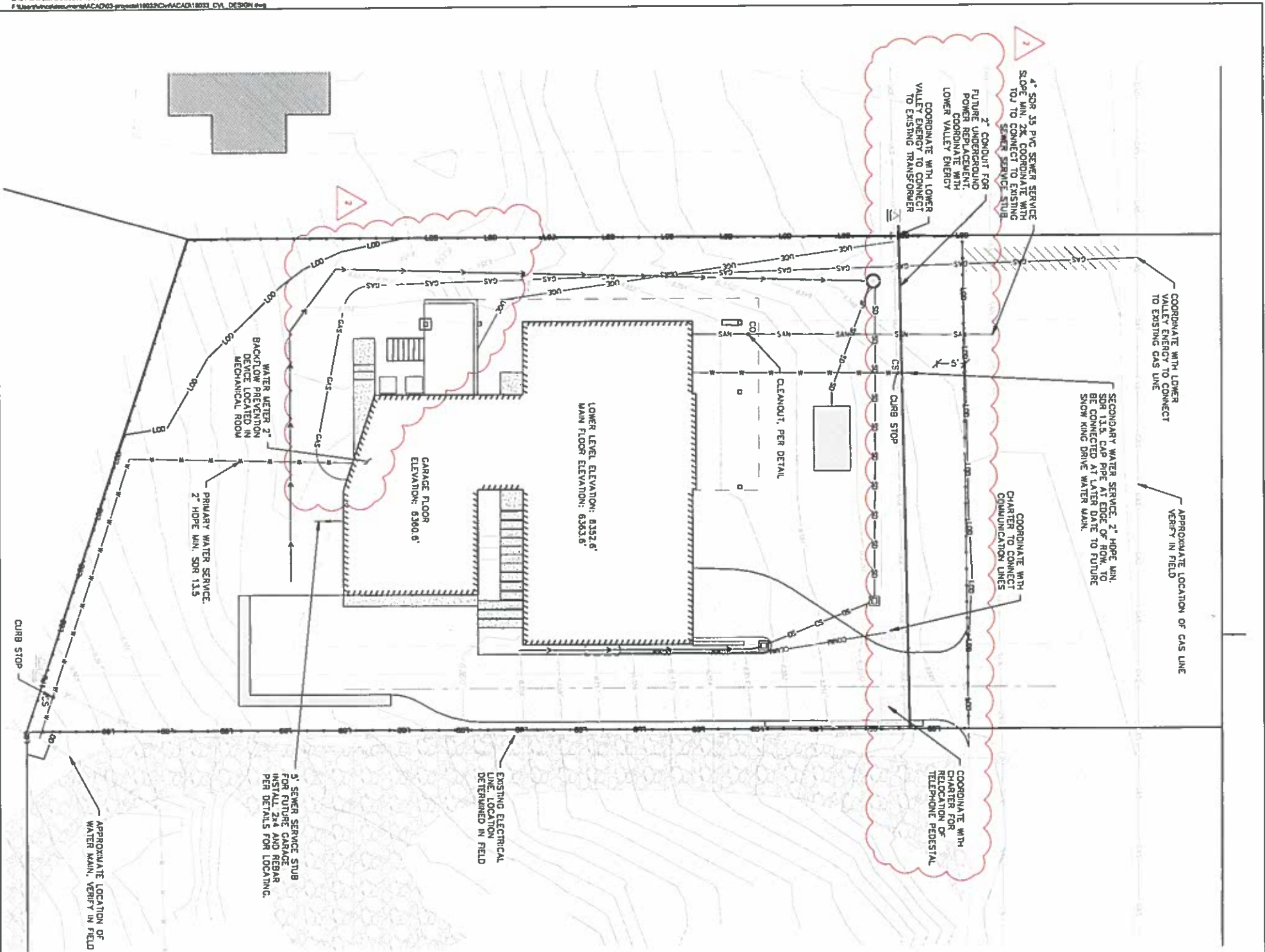
DURATION MINUTES	INTENSITY IN/HOUR	Q CFS	MAX Q CFS	VOLUME CF
15	1.90	0.35	0.35	141.5
20	1.65	0.31	0.31	149.3
30	1.30	0.24	0.24	131.8
40	1.08	0.20	0.20	93.9
50	0.95	0.18	0.18	55.5

REQUIRED STORAGE: 149.3 CF
AVAILABLE STORAGE:
STORMWATER CHAMBER STORAGE:
TOTAL CHAMBER VOL = 109.9 CF
1 CHAMBER AND 1 END CAP = 109.9 CF PER CHAMBER
AND 14.9 CF PER END CAP = 124.8 CF
DETERMINED FROM MC DESIGN MANUAL

GRAVEL FILL STORAGE: 137.2 CF PER MANUFACTURER
CALCULATIONS WITH A GRAVEL POROSITY OF 40%

TOTAL VOLUME STORED:
149.3 CF + 137.2 CF = 286.5 CF
286.5 CF > 149.3 CF

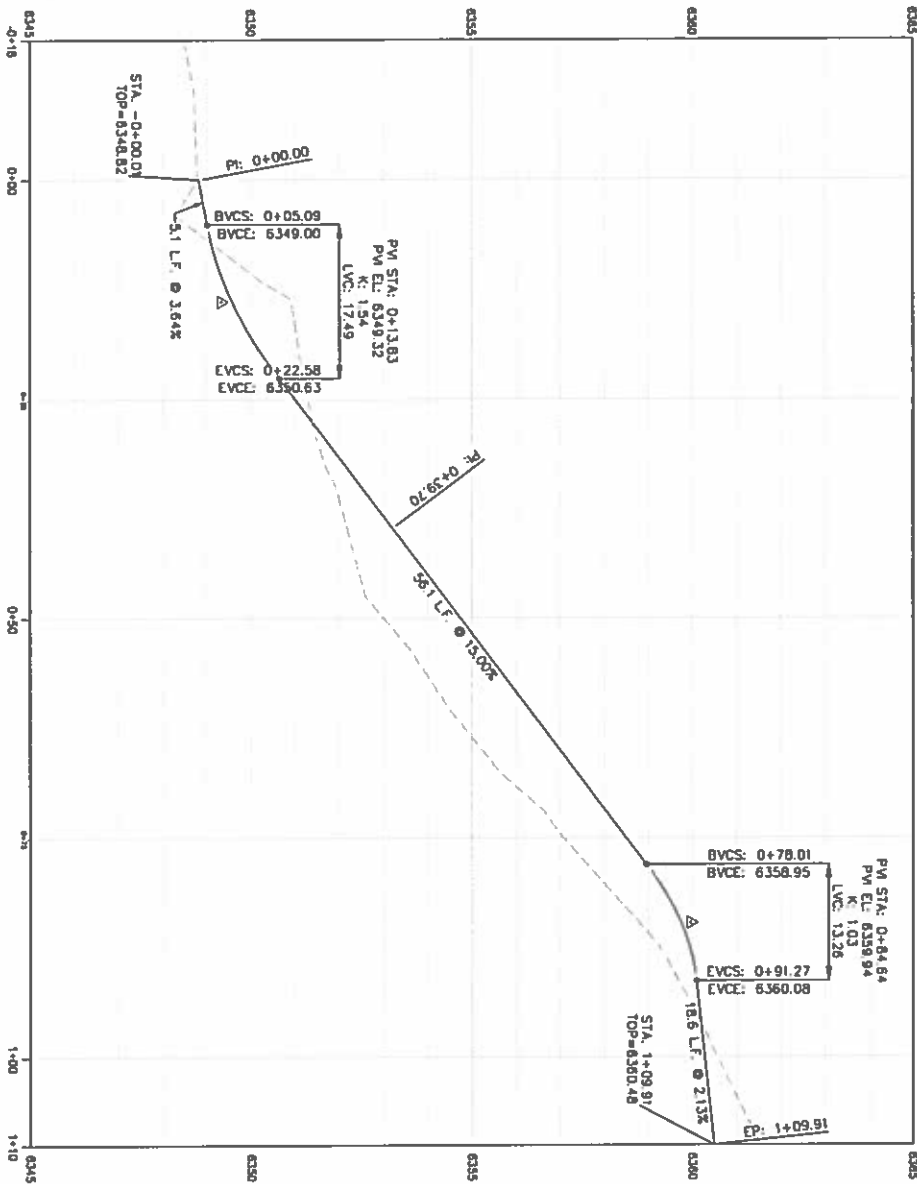
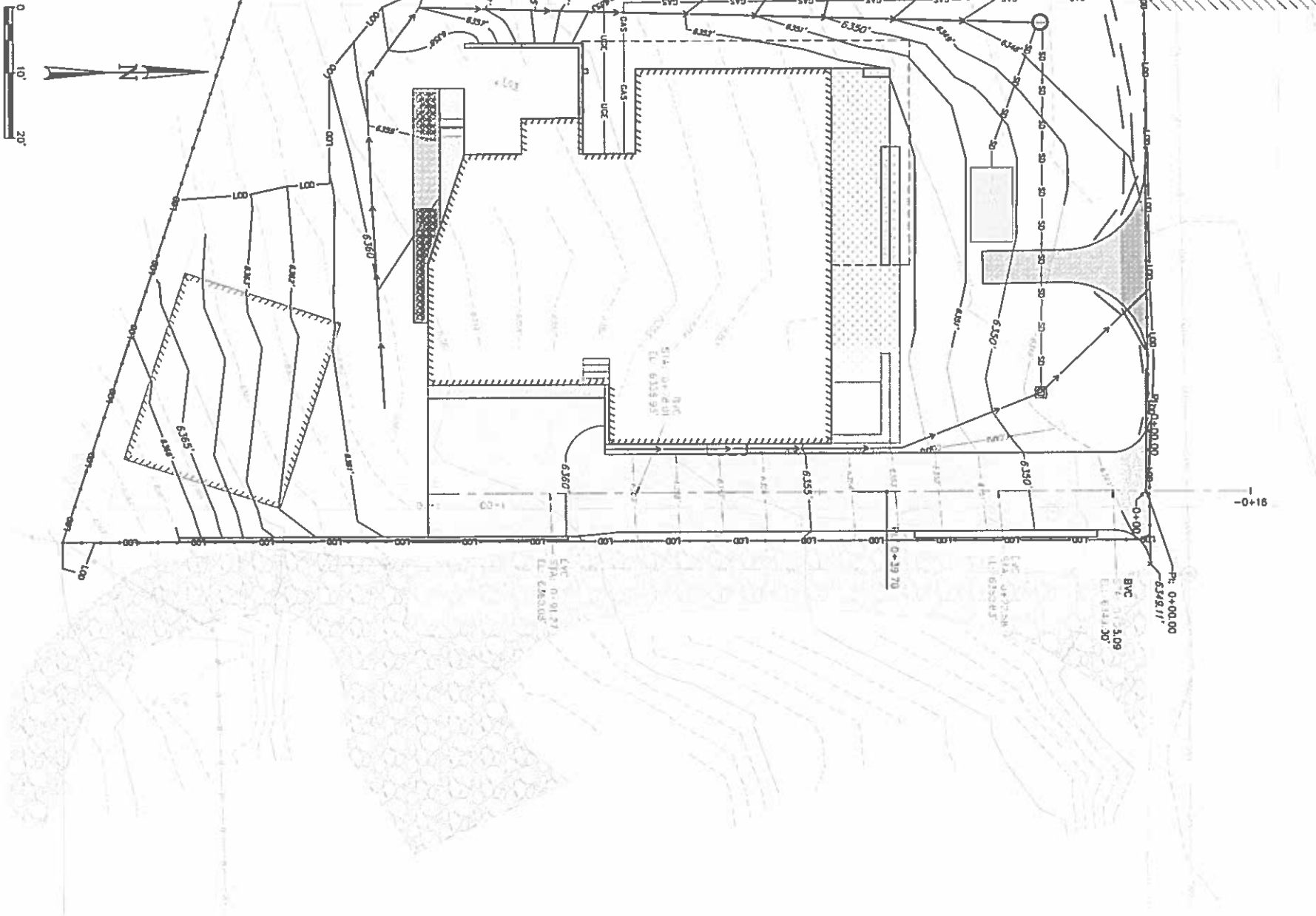




LEGEND	
(E) EXISTING	(P) PROPOSED
— W — W — W —	(E) WATER MAIN
— W — W — W —	(E) WATER SERVICE
— SAN — SAN —	(P) WATER SERVICE
— SAN — SAN —	(E) SEWER MAIN
— SAN — SAN —	(E) SEWER SERVICE
— SAN — SAN —	(P) SEWER SERVICE
— GAS — GAS —	(E) GAS LINE
— GAS — GAS —	(P) GAS LINE
— COMM — COMM —	(P) COMMUNICATIONS LINE
— UEL — UEL —	(E) UNDERGROUND ELECTRICAL LINE
— UEL — UEL —	(P) UNDERGROUND ELECTRICAL LINE
— UEL — UEL —	(P) MAJOR CONTOUR
— UEL — UEL —	(P) MINOR CONTOUR



2
REVISION 08/29/2019
ADDED POWER CONDUIT, MOVED GAS SERVICE



DRIVEWAY PROFILE
24x36 SHEET SCALE: HORIZ. 1" = 10' VERT. 1" = 2'
START STA: 0+15.92, END STA: 1+09.91

C1.3

DRIVEWAY PROFILE

CASPAR RESIDENCE
CASPAR
620 SNOW KING DRIVE
JACKSON, WY



Y2 CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
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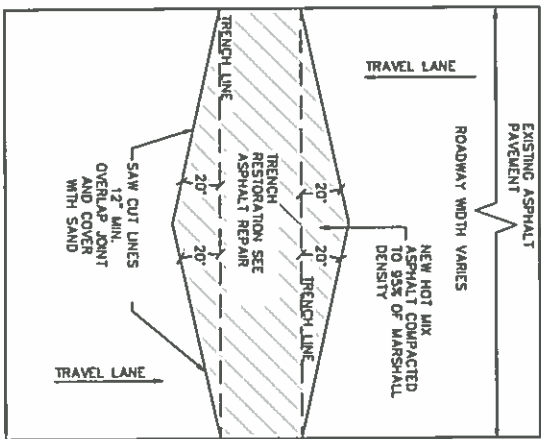
DATE	DRAWING SET TITLE
2018-04-18	BP SET
2018-07-13	GEO
DRAWN BY: SC/SP	
CHECKED BY: JK/MC JOB #: 18033	



TRENCH RESTORATION DETAIL

5/11/17 DATE: 12/9/12
SCALE: NTS

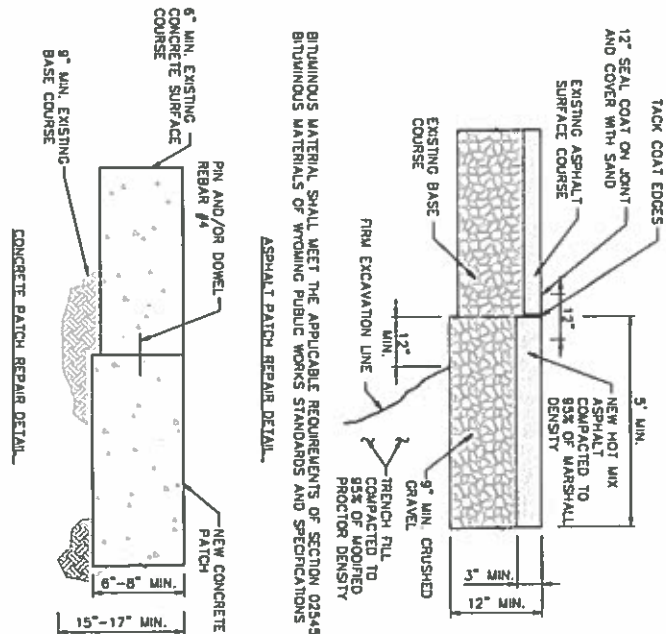
- NOTES:
1. 20" DIAMOND PATCH TO BE CONSTRUCTED WHEN REQUIRED BY PUBLIC WORKS DEPARTMENT.
 2. PLACEMENT OF ASPHALT SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MIN. ALSO SEE THE ASPHALT PATCH REPAIR DETAIL.
 3. HOT MIX ASPHALT SHALL MEET THE APPLICABLE REQUIREMENTS FOR BITUMINOUS MATERIALS.
 4. ASPHALT PATCH REPAIR LAYOUT MAY BE USED UPON APPROVAL BY TOWN.



ASPHALT AND CONCRETE PATCH REPAIR

5/11/18 DATE: 1/9/13
SCALE: NTS

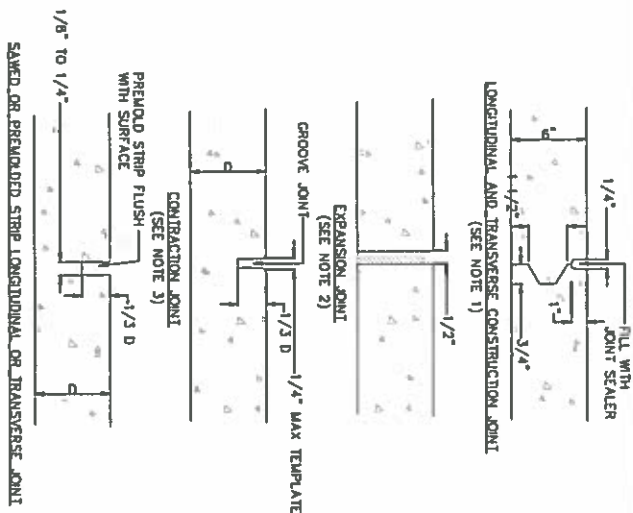
- NOTES:
1. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
 2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
 3. PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 03520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.



PAVING & CONCRETE JOINT DETAILS

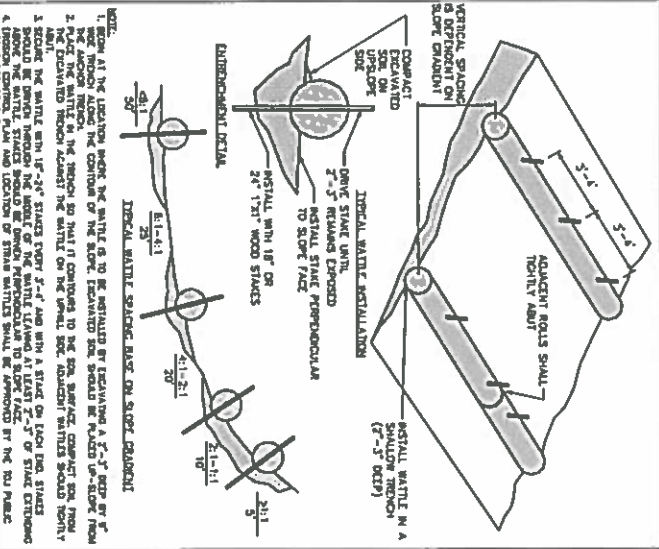
5/11/12 DATE: 12/9/12
SCALE: NTS

- NOTE:
1. NEWWAY FORMED BY FASTENING METAL KEY TO FORM.
 2. IF PRECASTED NON-EXTENDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-58, EXPANSION MATERIAL SHALL BE INSTALLED WHEN ADJUTING EXISTING CONCRETE OR FIBED STRUCTURES SUCH AS RUTS AND DRIVEWAYS, AND EXIST 500' OR LONG STRAIGHT.
 3. FORM WITH TEMPLATE OR SAWCUT JOINTS IF SAWCUT JOINTS ARE USED, THEY SHALL BECH AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
 4. JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

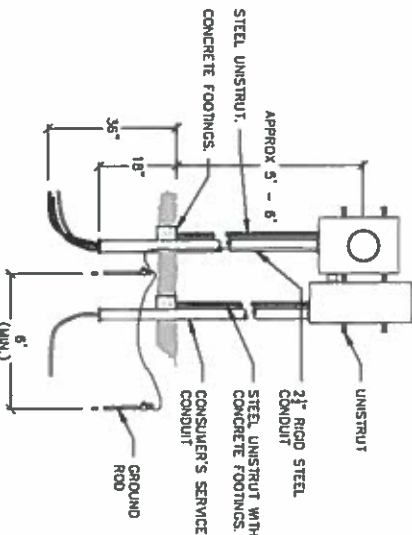


STAY WATTLE DETAIL

5/11/13 DATE: 1/11/13
SCALE: NTS



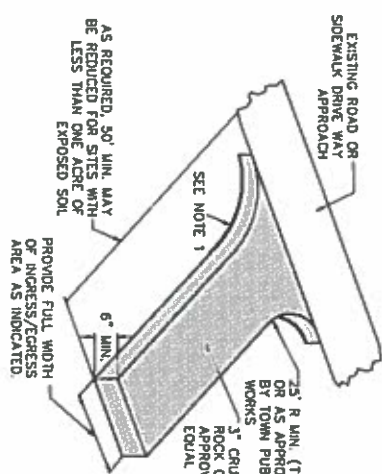
- NOTES:
- 1) LOWER VALLEY ENERGY WILL PROVIDE AND INSTALL THE SERVICE WIRES TO THE LINE SIDE OF THE METER TERMINALS.
 - 2) THE METER BASE IS PROVIDED BY THE ENERGY AND INSTALLED BY THE CONSUMER OR HIS LICENSED ELECTRICAL CONTRACTOR.
 - 3) ALL OTHER ITEMS ARE PROVIDED AND INSTALLED BY THE CONSUMER OR CONTRACTOR.
 - 4) IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND STATE CODES, LOWER VALLEY ENERGY REQUIRES AT LEAST TWO DRIVEN OR ONE BUTTER AND ONE DRIVEN GROUND ROD TO PROVIDE A VISIBLE GROUND.
 - 5) THE REQUIRED ELECTRIC PERMIT STICKER NEEDS TO BE ATTACHED TO THE METER BASE BEFORE LOWER VALLEY ENERGY CAN ENERGIZE THE SERVICE.



STABILIZED CONSTR. ENTRANCE

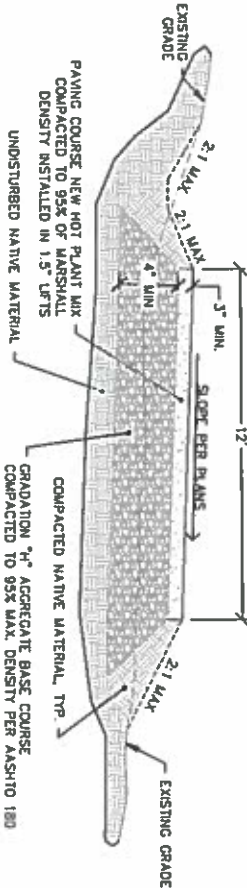
5/11/11 DATE: 12/9/12
SCALE: NTS

- NOTES:
1. PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION UNDER THE CRUSHED ROCK FROM THE EDGE OF THE EXISTING ROADWAY TO THE EXISTING DRIVEWAY. AS REQUIRED BY TOWN PUBLIC WORKS.
 2. PREVENT EXCESS TRACKING OF MATERIALS ONTO RIGHT-OF-WAY, OR WHEN DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT.

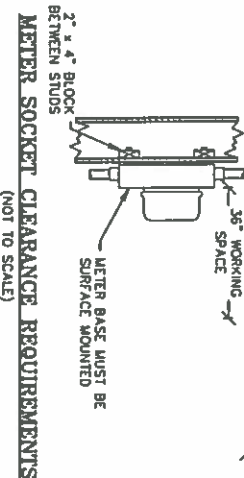
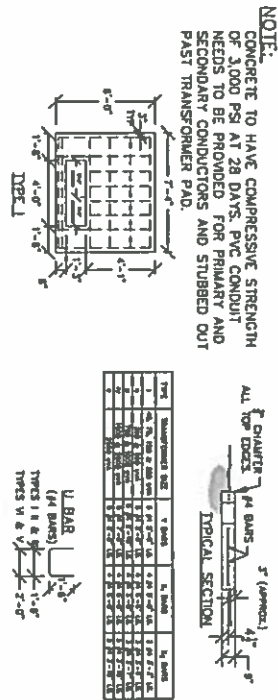


TYPICAL DRIVEWAY AND PARKING SECTION (NOT TO SCALE)

- NOTES:
1. GRADE DRIVING SURFACES, PARKING SURFACES, AND ADJACENT GRADES PER SLOPES AND ELEVATIONS SHOWN ON GRADING PLAN.



TRANSFORMER PAD REQUIREMENTS (NOT TO SCALE)



CASPAR RESIDENCE
CASPAR
620 SNOW KING DRIVE
JACKSON, WY

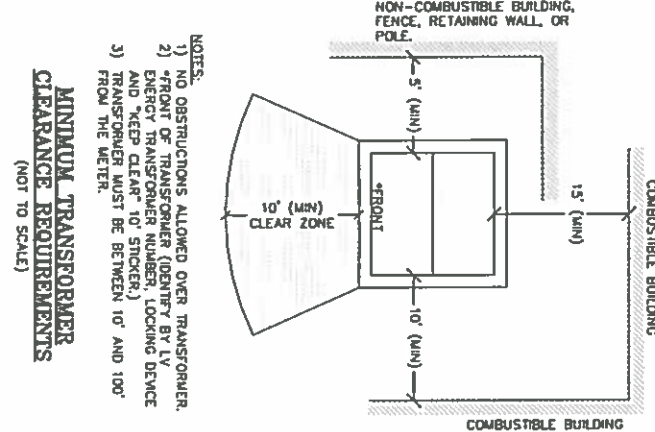
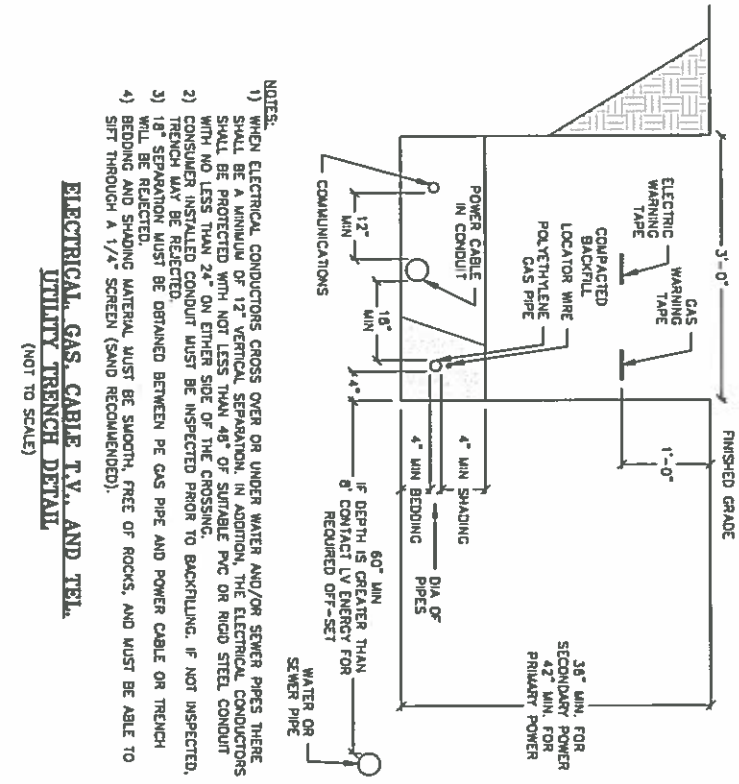
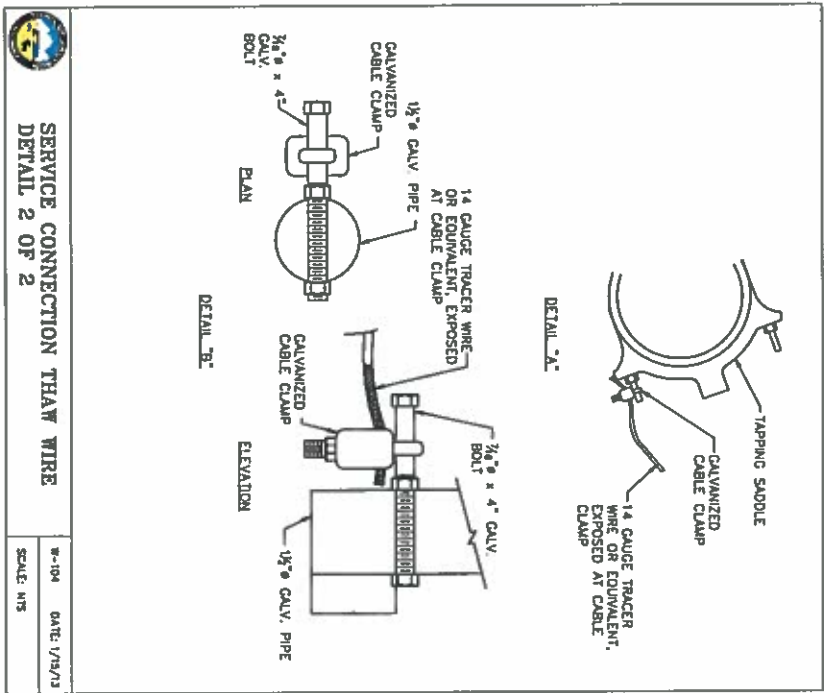
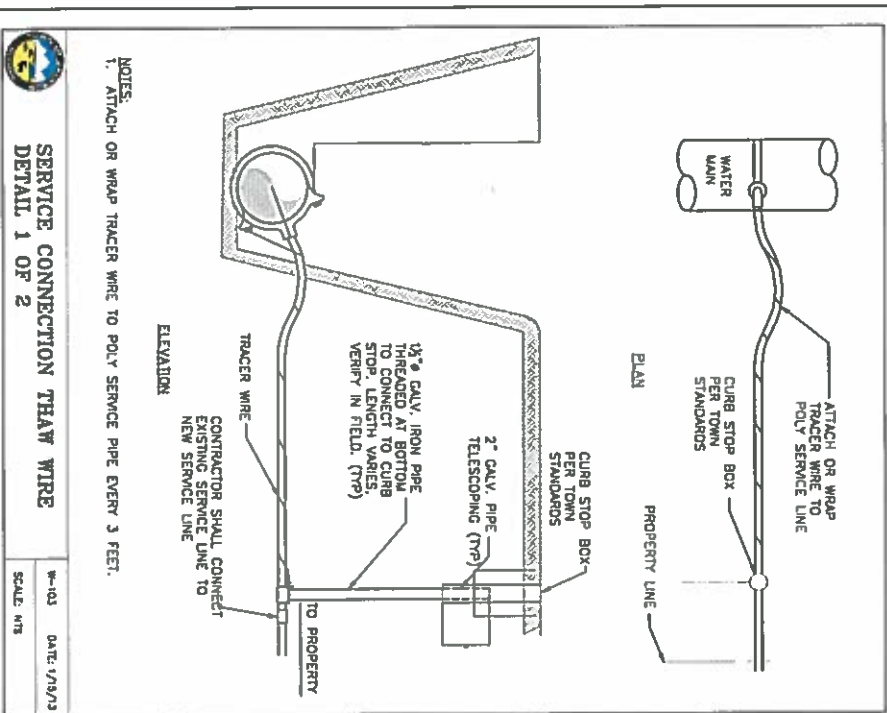
DETAILS

C2.1



Y2 CONSULTANTS
ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES

DATE	DRAWING SET TITLE
2018-04-18	BP SET
2018-07-13	Geo
DRAWN BY: SC/SP	
CHECKED BY: JK/KC JOB #: 18033	



DATE		DRAWING SET TITLE	
2018-04-18		BP SET	
2018-07-13		GEO	
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CHECKED BY: JK/KC		JOB #: 18033	

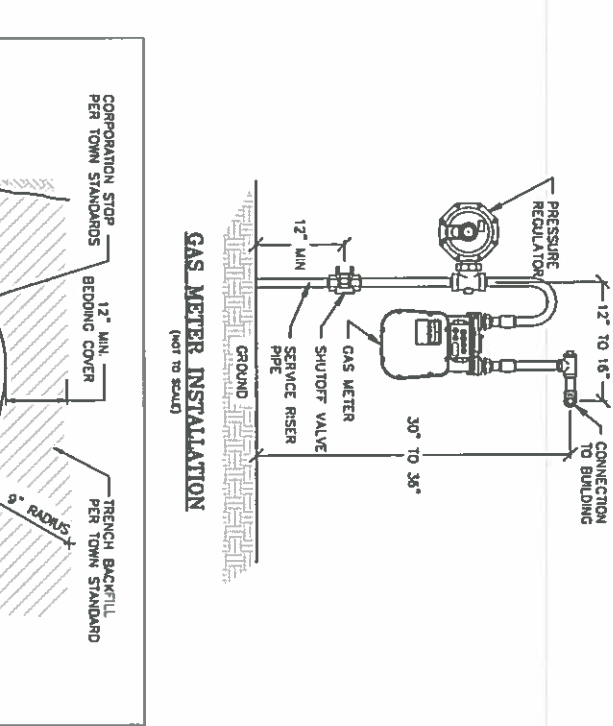
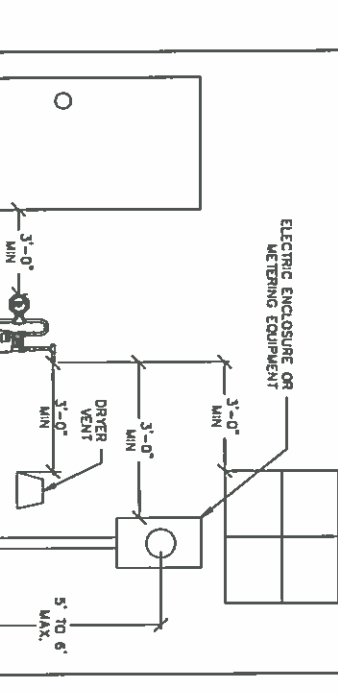
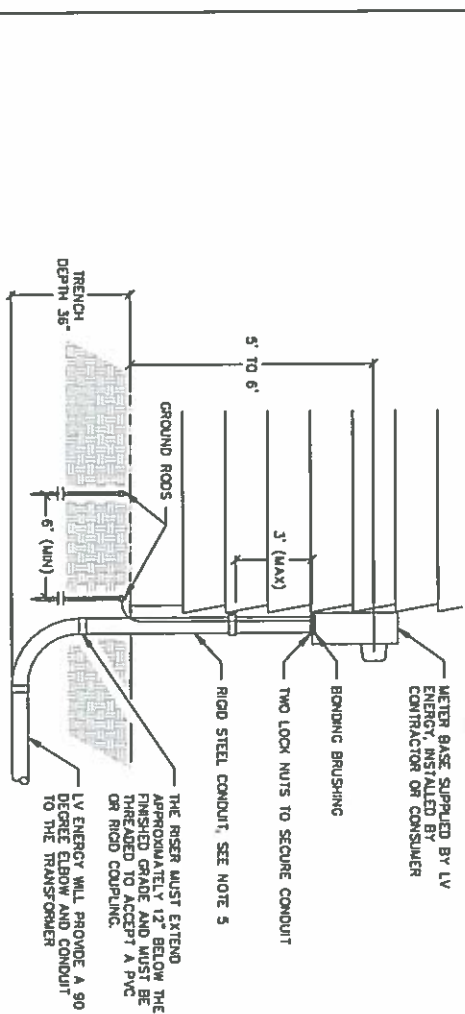
Y2

CONSULTANTS

ENGINEERING, SURVEYING & PLANNING
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NATURAL RESOURCE SERVICES

Professional Engineer
Katie Creaty
7/20/18
HYDROLOGIST

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307.733.2880

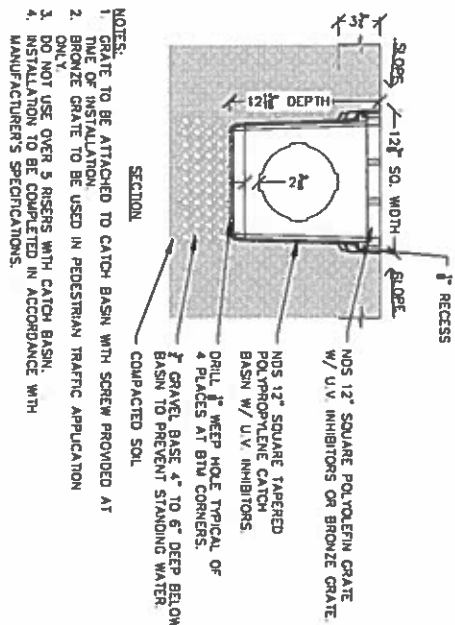


CASPAR RESIDENCE	DETAILS
CASPAR	
620 SNOW KING DRIVE JACKSON, WY	

C2.3

Y2 CONSULTANTS

STORATECH MC-3500 CHAMBER
(NOT TO SCALE)



	MATERIAL LOCATION	DESCRIPTION	ASSTD MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF THE E LAYER. FILL ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE D LAYER	ANY SOIL/ROCK MATERIALS NATIVE TO THE AREA OR PER ENGINEER'S PLAN. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBANKMENT STONE (B) LAYER TO 2" (50 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE C LAYER	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <3% FINES OR PROCESSED AGGREGATE.	ASHTO M43 ¹ A-1, A-2-4, A-3 OR ASHTO M43 ¹ 3, 35 ¹ , 4, 46 ¹ , 5, 56, 57, 6, 67, 68, 7, 76, 8, 86, 9, 10	BEDD COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 93% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 93% RELATIVE DENSITY FOR PROPOSED AGGREGATE MATERIALS
B	EMBANKMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A) LAYER TO THE C LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43 ¹ 3, 4	
A	FOUNDATION STONE: FILL BELOW CHAMBERS TO THE SUBGRADE UP TO THE FLOT (BOTTOM) OF THE CHAMBER	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. 1"

Technical drawing of a road cross-section showing a 12' wide pavement layer with a 45° slope, 8' minimum base, and 24' maximum total width. It includes labels for 'PERIMETER STONE', 'EXCAVATION WALL', 'MC-3500 END CAP SUBGRADE SOLES', and 'AOS GEOSYNTHETICS 6011 NON-WOVEN GEOTEXTILE'.

- STORMTECH MC-3500 CHAMBER**
CROSS SECTION
(NOT TO SCALE)



2. PREPARATION: NON OPEN SIES AND BUTTO BE CUT OUT WHEN ADDING EXTRA OUTLETS.
3. INSTALLATION: TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
4. DO NOT SCALE DRAINING.
5. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
6. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

CONNECTIONS
(NOT TO SCALE)

**ENGINEERING, SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE, GIS
NATURAL RESOURCE SERVICES**

