



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: August 29, 2019

Item #: P19-209

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Fax: 734-3563

Email: tvalentine@jacksonwy.gov

Owner:

MTN View Ind. Baptist Church – Carl
1220 W. Highway 22
Jackson, WY 83001

Applicant:

Jorgensen Engineering - Thomas
PO Box 9550
Jackson, WY 83002

REQUESTS:

The applicant is submitting a request for a Sewer Hook Up located at 1220 W. Highway 22.

For questions, please call Tyler Valentine at 733-0440, x1305 or email to the address shown below. Thank you.

Please respond by:

September 10, 2019 (with Comments)

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Date & Time Received _____

Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: BAPTIST CHURCH SEWER HOOK UP

Physical Address: 1220 HWY. 22 JACKSON, WY 83001

Lot, Subdivision: ?

PIDN: ?

PROPERTY OWNER.

Name: MTN. VIEW IND. BAPTIST CHURCH Phone: 307-733-3604

Mailing Address: 1220 HWY. 22 JACKSON, WY ZIP: 83001

E-mail: MVBCJH@YAHOO.COM

APPLICANT/AGENT.

Name: THOMAS KIRSTEN Phone: 307-733-5150 OFFICE

Mailing Address: P.O. Box 9550 JACKSON, WY ZIP: 307-413-6504 CELL

E-mail: TKIRSTEN@JORBENG.COM ZIP: 83002

DESIGNATED PRIMARY CONTACT. CARL OKSANEN SPOKESMAN 307-690-5870

Property Owner Applicant/Agent CARLOKSANEN@MSN.COM

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

Basic Use

Conditional Use

Special Use

Relief from the LDRs

Administrative Adjustment

Variance

Beneficial Use Determination

Appeal of an Admin. Decision

Physical Development

Sketch Plan

Development Plan

Design Review

Subdivision/Development Option

Subdivision Plat

Boundary Adjustment (replat)

Boundary Adjustment (no plat)

Development Option Plan

Interpretations

Formal Interpretation

Zoning Compliance Verification

Amendments to the LDRs

LDR Text Amendment

Map Amendment

Miscellaneous

Other: SEWER HOOK UP

Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: 8/27/19 10:00 AM Environmental Analysis #: NONE
Original Permit #: NONE Date of Neighborhood Meeting: NONE

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

- Application Fee. Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.
- Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

NONE Response to Submittal Requirements. The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

* Wayne Blawie
Signature of Property Owner or Authorized Applicant/Agent
* Wayne Blawie
Name Printed

* 8/29/19
Date
* Patrice
Title

LETTER OF AUTHORIZATION

MTN. VIEW IND. BAPTIST CHURCH Owner" whose address is: _____
1220 Hwy. 22 Jackson, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

MTN. VIEW IND. BAPTIST CHURCH / WAYNE WINTERS, as the owner of property
more specifically legally described as: _____

(If too lengthy, attach description)

HEREBY AUTHORIZES THOMAS KIRSTEN/JORGENSEN ASSOCIATES as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Wayne Winters

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Master

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)

COUNTY OF Teton

)

)

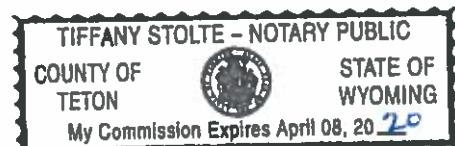
The foregoing instrument was acknowledged before me by Wayne Winters this 28 day of August, 2019.

WITNESS my hand and official seal.

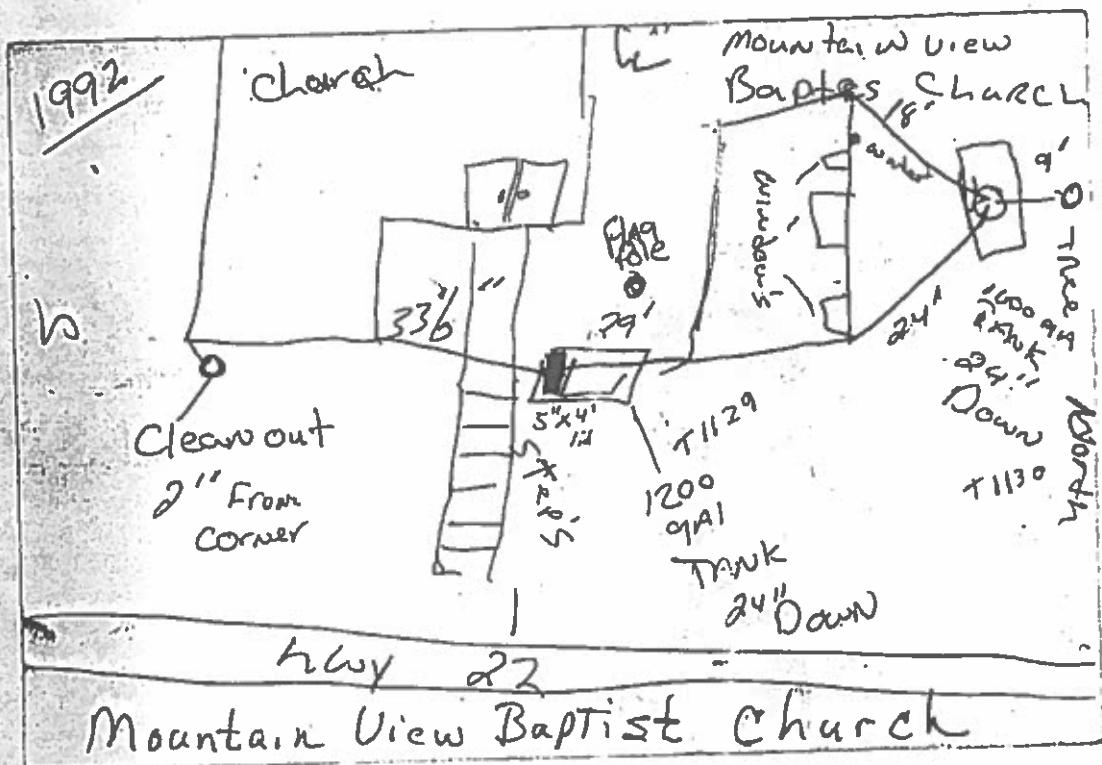
Tiffany Stolte
(Notary Public)

My commission expires: 4/8/20

(Seal)



1250 Hwy 22



Mountain View Baptist Church

Pastor King