



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: May 29, 2019

Item #: P19-136

Planner: Brendan Conboy

Phone: 733-0440 ext. 1302

Fax: 734-3563

Email: bconboy@jacksonwy.gov

Owner:

Scott Shepherd
PO Box 1333
Jackson, WY 83001

Applicant:

Summit Crest Construction - Casey
PO Box 3393
Jackson, WY 83001

REQUESTS:

The applicant is submitting a request for a Grading Pre-Application for the property located 170 Redmond Street legally known as, N 75' LOTS 12-13, BLK 1, HALL 1.

For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by: n/a

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a Pre-application Conference. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: Kudar Flats

Physical Address: 170 Redmond St

Lot, Subdivision: N 75' lots 12-13, BLK 1, Hall 1

PIDN: 22-41-16-34-1-18-00

PROPERTY OWNER.

Name: Scott & Donna Shepherd

Phone: 307 733 5881

Mailing Address: Po Box 3393 Jackson WY

ZIP: 83001

E-mail: Scott@scottsrc.com

APPLICANT/AGENT.

Name, Agency: Summit Crest Construction

Phone: 307 733 5881

Mailing Address: Po Box 3393 Jackson WY

ZIP: 83001

E-mail: Caseyjwest@gmail.com

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide one electronic copy (via email or thumb drive), and two hard copies of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

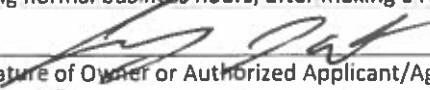
Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 NA Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

Casey West
Name Printed

5/29/19

Date

Project Manager
Title

LETTER OF AUTHORIZATION

...“Owner” whose address is:

170 Redmond Jackson, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY) Scott & Deans Sheppard

Scott & Donna Shepherd, as the owner of property
more specifically legally described as: N 75' LOTS 12-13, BLK 1, HALL 1

(If too lengthy, attach description)

HEREBY AUTHORIZES Summit Crest Construction - Casey West as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title:

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming)
COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Henry West this 22 day of May, 2019.

WITNESS my hand and official seal.

(Notary Public)

(Notary Public)

A circular notary seal with a decorative border. The text inside the seal reads: "HENLEY WEST", "Notary Public", "State of Wyoming", "County of Teton", and "My Commission Expires May 09, 2022".



May 24th, 2019
Town of Jackson
Planning & Building Dept.
150 East Pearl Ave.
Jackson, WY 83001

RE: Project Narrative: Kudar Flatts Development Plan - 170 Redmond St. (P18-315)

To Whom it may Concern,

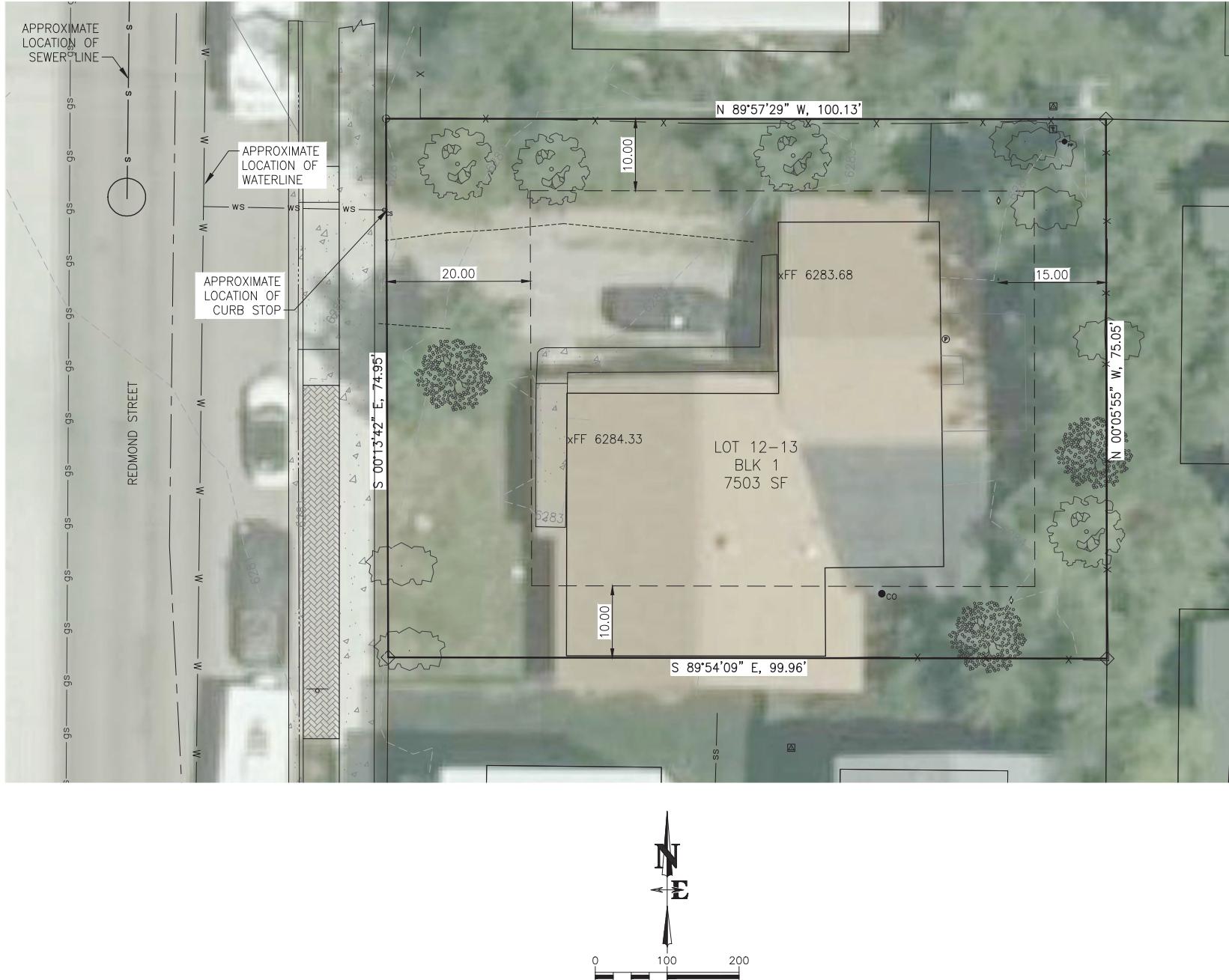
Please find attached PAP conference request form and grading plan for 170 Redmond for your review. A proposed development plan has been approved by the Jackson Town Council on May 20th, 2019, and advanced to the permitting phase to include the subdivision of an existing lot and construction of two single-family attached homes along with associated utilities, driveway and grading. Construction of the new residences will require demolition of the existing residence.

If you find there to be submittal deficiencies, please don't hesitate to contact me so they can be addressed prior to review by other Town departments/entities.

Respectfully submitted,

Casey West

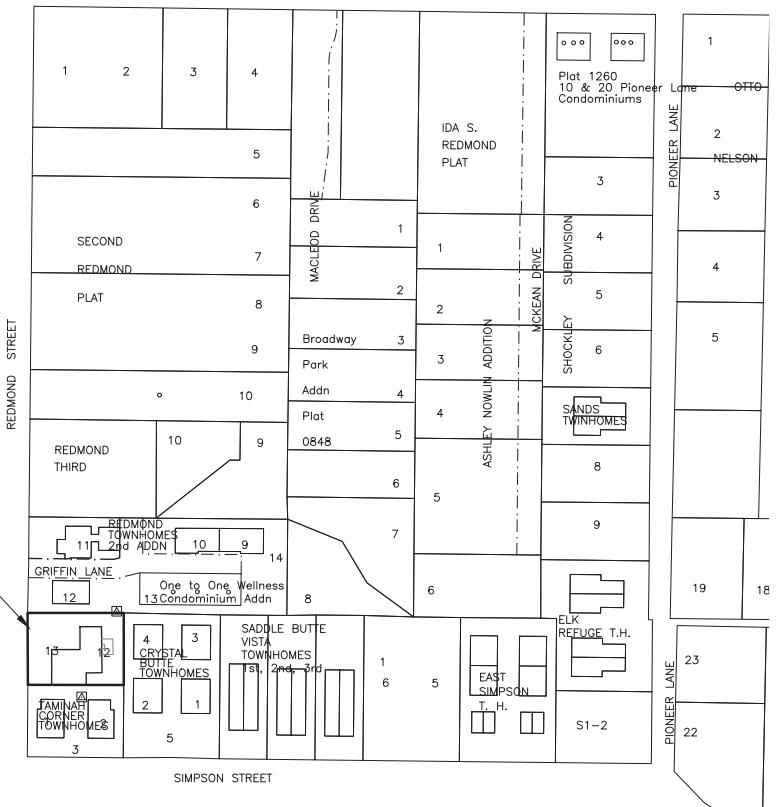
SAN-2018-3327-02 (170 Redmond - Summit Crest Const - CIVL Services)\\ Drawings\\CIVL\\REX\\Existing\\Steeding (EXISTING SITE) - Feb 14 2019 08:23:39 pm PLOTTED BY: kilo-trick



LOT 12 AND LOT 13
750.3 SF

SETBACKS:
20 STREET
10 SIDE
15 REAR

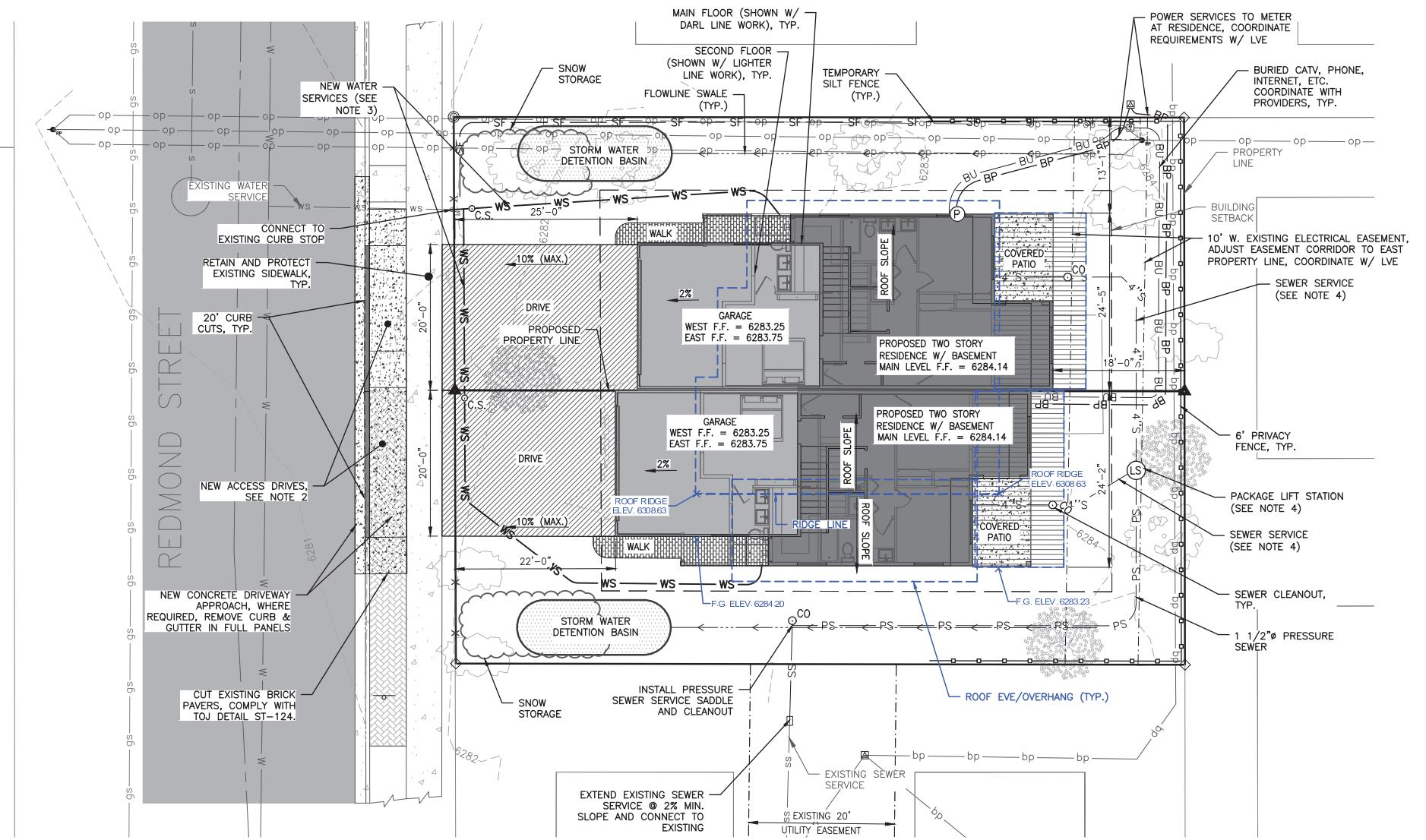
EXISTING SITE PLAN
LOT 12 AND LOT 13
JOHN D. HALL PLAT NO. 131
TOWN OF JACKSON
T41N, R116W
TETON COUNTY, WY



VICINITY MAP
NW1/4 NE1/4
Section 34
T41N, R116W
wn of Jackson,
on County, WY

LEGEND

—————	= PROPERTY LINE
— — — — —	= SETBACK LINE
— X — X —	= FENCE LINE
-----	= EDGE OF GRAVEL
=====	= BACK OF CURB WITH FLOWLINE
— — — — —	= CENTERLINE OF ROAD
	= CONCRETE SIDEWALK
	= ASPEN TREE
	= COTTONWOOD TREE
	= DECIDUOUS TREE
— —	= SIGN
● _{CO}	= CLEAN OUT
— ● _{PP} —	= POWER POLE
● _P	= POWER PANEL
■ _T	= TELEPHONE PEDESTAL
◇	= FOUND REBAR WITH CAP
○	= FOUND PIPE



170 REDMOND ST. - SITE PLAN

0 10 20



CONSTRUCTION NOTES:

- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS 2001 EDITION AND TOWN OF JACKSON (TOJ) STANDARDS.
- NEW DRIVEWAY, SIDEWALK, CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO TOJ AND ADA STANDARDS. REPLACEMENT MATERIALS SHALL MATCH EXISTING.
- NEW WATER SERVICES SHALL BE 1" COPPER. INSTALLATION OF WATER SERVICES SHALL CONFORM WITH TOJ STANDARD DETAILS W-100, W-102, W-103 & W-104. EACH WATER SERVICE SHALL PROVIDE A 3/4" METER INSTALLED INTERIOR TO EACH RESIDENCE IN ACCORDANCE WITH TOJ STANDARD DETAIL W-112. METER ASSEMBLY INCLUDING YOKE, METER VALVE AND DUAL CHECK VALVE SHALL BE PURCHASED FROM TOJ AND INSTALLED BY OWNER. IRRIGATION SYSTEMS SHALL HAVE ADEQUATE BACKFLOW DEVICES IN ACCORDANCE WITH TOJ STANDARDS.
- SEWER SERVICES FOR EACH RESIDENCE SHALL CONSIST OF 4" SCH40 PVC PIPE & FITTINGS, 4" CLEANOUT(S), E/ONE MODEL DH071 GRINDER PUMP STATION, AND 1.5" DR11 HDPE DISCHARGE PIPING. DISCHARGE PIPING SHALL BE CONNECTED TO AN EXTENDED SEWER SERVICE AS SHOWN. INSTALLATION OF SERVICE SHALL CONFORM TO TOJ STANDARD DETAILS SS-100 AND SS-111.
- A LANDSCAPING PLAN WILL BE PROVIDED WHEN THE APPLICANT SUBMITS FOR A BUILDING PERMIT. ONE PLANT UNIT PER ATTACHED SINGLE FAMILY HOME WILL BE PROVIDED IN ACCORDANCE WITH THE TOWN LDR'S.
- NEW BUILDING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE MOST CURRENT EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), INTERNATIONAL RESIDENTIAL CODE (IRC), THE NATIONAL ELECTRIC CODE (NEC) AND INTERNATIONAL BUILDING CODE (IBC).

PROPOSED DEVELOPMENT PROGRAM

Property Desc.: Proposed North Lot @ 170 Redmond

Area Calculations. Please complete for each affected lot or parcel.		sq. ft	sq. ft
Gross Site Area		3753	3753
Land within road easements and rights-of-way		0	0
Land within existing vehicular access easements		0	0
Land between levees or banks of rivers and streams		0	0
Lakes or ponds > 1 acre		0	0
Land previously committed as open space in accordance with these or prior LDRs		0	0
50% of lands with slopes greater than 25%		0	0
Calculated Totals:		0	0
	Base Site Area (sq. ft)	3753	3753
	Adjusted Site Area (sq. ft)		

Development Calculations. Please complete for each structure or use.

	LDR Standard	Existing	Proposed	Gross
Number of units or density	1 Unit/Lot	N/A - Demo	1 Unit/Lot	N/A
Floor area, sq. ft (by use if applicable)	0.4 x 3753	N/A - Demo	1499	N/A
FAR or maximum floor area	1501	N/A - Demo	1499	N/A
Site Development, sq. ft	1876.5	N/A - Demo	1875	N/A
Landscape Surface Ratio	0.50	N/A - Demo	0.50	N/A
Setbacks				
Front or street yard, ft	20	N/A - Demo	25	N/A
Rear yard, ft	10	N/A - Demo	20.16	N/A
Side yard, ft	10	N/A - Demo	13.5	N/A
Side yard, ft	0 (attached)	N/A - Demo	0 (attached)	N/A
Height, ridge to nearest finish grade (ft)	26' for < 3/12 roof	N/A - Demo	25.34	N/A

PROPOSED DEVELOPMENT PROGRAM

Property Desc.: Proposed South Lot @ 170 Redmond

Area Calculations. Please complete for each affected lot or parcel.		sq. ft	sq. ft
Gross Site Area		3750	3750
Land within road easements and rights-of-way		0	0
Land within existing vehicular access easements		0	0
Land between levees or banks of rivers and streams		0	0
Lakes or ponds > 1 acre		0	0
Land previously committed as open space in accordance with these or prior LDRs		0	0
50% of lands with slopes greater than 25%		0	0
Calculated Totals:		0	0
	Base Site Area (sq. ft)	3750	3750
	Adjusted Site Area (sq. ft)		

Development Calculations. Please complete for each structure or use.

	LDR Standard	Existing	Proposed	Gross
Number of units or density	1 Unit/Lot	N/A - Demo	1 Unit/Lot	N/A
Floor area, sq. ft (by use if applicable)	0.4 x 3750	N/A - Demo	1499	N/A
FAR or maximum floor area	1500	N/A - Demo	1499	N/A
Site Development, sq. ft	1875	N/A - Demo	1808	N/A
Landscape Surface Ratio	0.50	N/A - Demo	0.52	N/A
Setbacks				
Front or street yard, ft	20	N/A - Demo	25	N/A
Rear yard, ft	10	N/A - Demo	23.25	N/A
Side yard, ft	10	N/A - Demo	13.5	N/A
Side yard, ft	0 (attached)	N/A - Demo	0 (attached)	N/A
Height, ridge to nearest finish grade (ft)	26' for < 3/12 roof	N/A - Demo	25.34	N/A

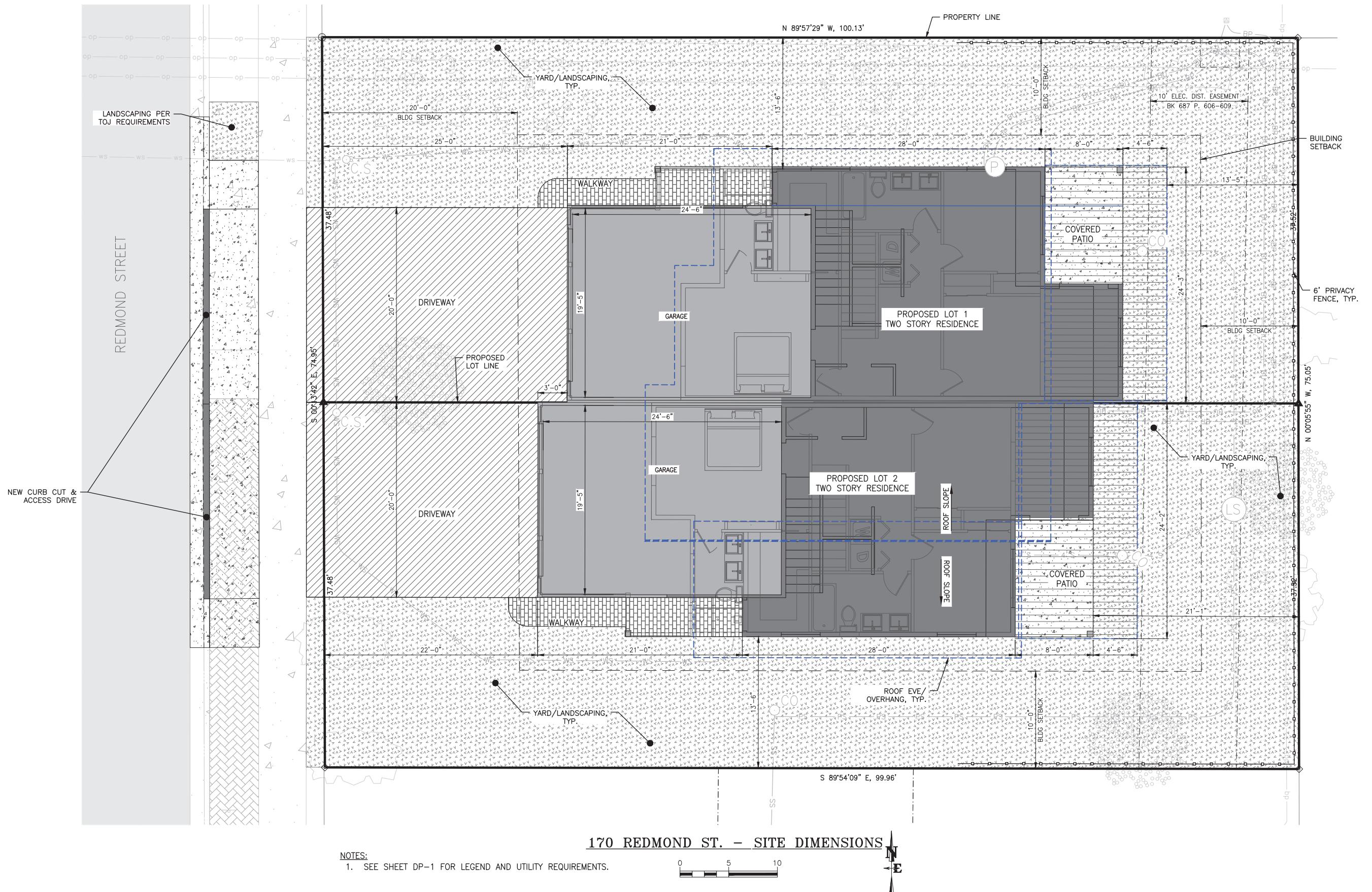
DEVELOPMENT PLAN

APPLICANT: SCOTT SHEPHERD
PHONE: 307-733-5881
EMAIL: scott@scottssre.com

DRAWING NO	JOB TITLE	REV.		
		DATE	2-14-18	REV.
DP-1	KUDAR FLATS (SINGLE FAMILY ATTACHED)	NE		
18-372-02	170 REDMOND STREET	JK		
	JACKSON, WYOMING	JK		

LEGEND (DESIGN)	DATE	
	2-14-18	REV.
6284	INDEX CONTOUR	
6284	MINOR CONTOUR	
6284	ROOF OUTLINE	
WS	WATER SERVICE	
4" WS	4" SEWER LINE	
PS	PRESSURE SEWER	
BU	BURIED UTILITIES	
BP	BURIED POWER	
G	BURIED GAS	
LD	LIMITS OF DISTURBANCE	
SF	FLOWLINE DITCH/SWALE	
SF	SILT FENCE	
PS	PRIVACY FENCE	
WS	SNOW STORAGE	
WS	ASPHALT SFC	
WS	CONCRETE PAVEMENT	
WS	WALKWAY	
WS	LANDSCAPING AREA	
WS	DETENTION AREA	
CO	CURB STOP	
CO	SEWER CLEANOUT	
P	POWER TRANSFORMER	
LS	POWER/UTILITY METER	
LS	SEWER LIFT STATION	

NELSON ENGINEERING	
P.O. BOX 1599, JACKSON, WYOMING (307) 733-2087	



DEVELOPMENT PLAN

APPLICANT: SCOTT SHEPHERD
PHONE: 307-733-5881
EMAIL: scott@scottsre.com

DRAWING NO		JOB TITLE		DRAWING TITLE		SITE DIMENSIONS	
DP-2		KUDAR FLATS (SINGLE FAMILY ATTACHED)		2-14-18		REV.	
JOB NO		170 REDMOND STREET		SURVEYED		NE	
18-372-02		JACKSON, WYOMING		ENGINEERED		jk	
				DRAWN			
				CHECKED		jk	
				APPROVED		jk	
NELSON ENGINEERING P. O. BOX 1599, JACKSON WYOMING (307) 733-2087							

zipkithomes .com



KUDAR FLATS

**170 REDMOND ST.
JACKSON, WY83001**

*** INTENDED USE TO BE OWNER OCCUPIED.**

*** LOCAL JURISDICTION (AHJ) TO BE TOWN OF JACKSON.**

*** ALL DESIGN CRITERIA TO MEET TOWN OF JACKSON.**

DESIGN INFORMATION:

OCCUPANCY	RESIDENTIAL
BUILDING CATEGORY	SINGLE FAMILY ATTACHED
LOWER LEVEL FINISHED SQ FT	1,174
MAIN LEVEL FINISHED SQ FT	1,310
MAIN LEVEL DECKS OR PATIOS SQ FT	192
UPPER LEVEL FINISHED SQ FT	1,620
UPPER LEVEL DECKS OR PATIOS SQ FT	484
GARAGE SQ FT	868
TOTAL BUILDING SQ FT	4,104

DEFERRED SUBMITTALS

SHEET INDEX

SHEET	TITLE
COVER	COVER SHEET
A-1	PROJECT INFORMATION
A-2	GENERAL INFORMATION
A-3	ENERGY CODE INFORMATION
A-4	SITE PLAN
A-5	EXTERIOR PERSPECTIVE VIEWS
A-6	LOWER LEVEL FLOOR PLAN
A-7	MAIN LEVEL FLOOR PLAN
A-8	UPPER LEVEL FLOOR PLAN
A-9	WINDOW & DOOR SCHEDULES - LOWER LEVEL FLOOR
A-10	WINDOW & DOOR SCHEDULES - MAIN LEVEL FLOOR
A-11	WINDOW & DOOR SCHEDULES - UPPER LEVEL FLOOR
A-12	EXTERIOR ELEVATIONS - FRONT
A-13	EXTERIOR ELEVATIONS - BACK
A-14	EXTERIOR ELEVATIONS - RIGHT
A-15	EXTERIOR ELEVATIONS - LEFT
A-16	CROSS SECTIONS - LATERAL
A-17	CROSS SECTIONS - LONGITUDINAL
A-18	EXTERIOR SECTIONS AND DETAILS
A-19	TYP. FACTORY AND INSTALATION DETAILS
A-20	KITCHEN AND BATH CASEWORK
A-21	KITCHEN AND BATH CASEWORK
M-1	HVAC GENERAL NOTES, LEGENDS, AND SCHEDULES
M-2	HVAC PLANS
P-1	PLUMBING GENERAL NOTES, LEGENDS, AND SCHEDULES
P-2	LOWER LEVEL PLUMBING PLANS
P-3	UPPER LEVEL PLUMBING PLANS
P-4	PLUMBING RISER DIAGRAMS
E-1	ELECTRICAL GENERAL NOTES, LEGENDS, AND SCHEDULES
E-2	ELECTRICAL POWER WIRING PLANS
E-3	ELECTRICAL LIGHTING WIRING PLANS

APPLICABLE CODES:

NATIONAL	2012 INTERNATIONAL RESIDENTIAL CODE
MECHANICAL	2015 INTERNATIONAL MECHANICAL CODE
PLUMBING	2015 INTERNATIONAL PLUMBING CODE
ELECTRICAL	2014 NATIONAL ELECTRICAL CODE - NFPA 70
ENERGY	2012 INTERNATIONAL ENERGY CONSERVATION CODE

DESIGN CRITERIA:

SOIL - BEARING PRESSURE	3,500 PSF (BEARING) 900PSF (SKIN FRICTION)
WIND SPEED	90 MPH PER 3 SEC. GUST
SEISMIC - DESIGN CATEGORY	D
ROOF - DEAD LOAD	15 PSF
ROOF - SNOW LOAD	75 PSF
FLOOR - DEAD LOAD	15 PSF
FLOOR - LIVE LOAD	40 / 30 PSF
FROST DEPTH	34"

PREFAB HOME MANUFACTURER:

NAME	TIMBERHAWK INC. DBA ZIP KIT HOMES
PHONE	(435) 340-1171
EMAIL	sales@zipkithomes.com
WEBSITE	www.zipkithomes.com
PLANT LOCATION	5547 SOUTH 5TH AVENUE POCATELLO ID 83204

GENERAL CONSTRUCTION NOTES

- EGRESS WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20", THE MINIMUM CLEAR HEIGHT SHALL BE 24". THE SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. ALL MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS.
- PROPER WORKING CLEARANCES MUST BE PROVIDED AND MAINTAINED ABOUT ALL ELECTRICAL EQUIPMENT.
- FURNACE COMPARTMENT CLEARANCES AND DOOR TO BE PER MANUFACTURER'S SPECIFICATIONS.
- ALL BATHS TO BE PROVIDED WITH MINIMUM 50 CFM EXHAUST FANS VENTED DIRECTLY TO THE OUTSIDE.
- ALL VENTING TO BE VENTED TO THE EXTERIOR OF THE HOME.
- ENCLOSED ATTICS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" MINIMUM TO 1/4" MAXIMUM OPENINGS. THE TOTAL NET FREE VENTILATION ARE SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1 TO 300 WHEN A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.
- ALL LOCKS TO BE UNLOCKABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY.
- SERVICE DISCONNECTS TO BE LOCATED AT THE POINT OF SERVICE ENTRANCE.
- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS OR EQUAL.
- IF A GARAGE IS BUILT ON SITE, THE GARAGE SHALL BE COMPLETELY SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY MEANS OF 5/8" TYPE X SHEET ROCK OR EQUIVALENT APPLIED TO THE GARAGE SIDE. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BETWEEN WALL AND CEILING AND BETWEEN WALL AND FLOOR CAVITIES. FIRE STOPPING SHALL CONSIST OF 2" NOMINAL LUMBER OR TWO THICKNESS' OF 1" NOMINAL LUMBER OR 23/32" PLYWOOD OR 3/4" PARTICLE BOARD. AN EQUIVALENT MATERIAL MUST BACK ALL JOINTS. ALL WALL AND CEILING FINISHES MUST HAVE A FLAME SPREAD CLASSIFICATION OF LESS THAN 200. THE SMOKE DENSITY SHALL NOT BE GREATER THAN 450.
- ALL LIVABLE ROOMS MUST BE PROVIDED WITH NATURAL LIGHT EQUAL TO 8 PERCENT OF GROSS FLOOR AREA. THOSE ROOMS SHALL ALSO BE PROVIDED NATURAL VENTILATION EQUAL TO 4 PERCENT OF GROSS FLOOR AREA. BATHROOMS MAY BE PROVIDED WITH MECHANICAL VENTILATION, WHICH HAS A RATE OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. VENTILATION AIR IS TO BE EXHAUSTED DIRECTLY TO THE OUTSIDE.
- DESIGN AND CONSTRUCTION OF THE FOUNDATION, PORCHES, DECKS, GARAGES OR OTHER AUXILIARY STRUCTURE SHALL BE THE RESPONSIBILITY OF OTHERS AND SUBJECT TO APPROVAL BY THE APPLICABLE BUILDING INSPECTOR.
- ALL WINDOWS SHALL BE CERTIFIED FOR WIND PRESSURES OF 42.0 PSF AT END ZONES & 34.0 PSF AT INTERIOR ZONES CORRESPONDING TO 120 MPH (3 SEC. GUSTS).
- ALL DOORS, INCLUDING PATIO AND SLIDING GLASS DOORS, SHALL BE CERTIFIED FOR WIND PRESSURES OF -42.0 PSF (+31.5 PSF) FOR END ZONES AND -34.0 PSF (+31.5 PSF) FOR INTERIOR ZONES CORRESPONDING TO 120 MPH WIND (3 SEC. GUSTS).
- WIND DESIGN BASED ON A 15-FOOT MEAN ROOF HEIGHT.
- FOR HOMES LOCATED IN WIND-BORNE DEBRIS REGIONS (120 MPH - 3 SEC. GUSTS OR WITHIN 1 MILE OF COASTAL AREAS WHERE WIND SPEED IS 110 MPH OR GREATER) WINDOWS MUST BE PROVIDED WITH PROTECTION CONSISTING OF 7/16" RATED SHEATHING PANELS TO COVER THE OPENING AND #8x2 1/2" SCREWS TO BE SPACED AT 16" OC AROUND OPENINGS LESS THAN 4" WIDE, 12" OC FOR OPENINGS LESS THAN 6" WIDE AND 9" OC FOR OPENINGS LESS THAN 8" WIDE.
- FOUNDATION AND ANCHORAGE OF UNIT TO FOUNDATION MUST BE CAPABLE OF WITHSTANDING 230#/FT. VERTICAL UPLIFT LOAD ALONG EACH SIDEWALL AND 332# COMBINED SLIDING LOAD.

A PERMANENT CERTIFICATE

- SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING /ROOF, WALLS, FOUNDATION, (SLAB, BASEMENT WALL,CRAWLSPACE WALL AND /OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES; U-FACTORS OF WINDOWS, AND THE SOLAR HEAT GAIN COEFFICIENT OF WINDOWS. THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. ---IRC N110.9

INSPECTIONS ARE REQUIRED:

- FOR ALL STUCCO AND EIFS SYSTEMS. PROVIDE PRODUCT SPECIFICATIONS AND ICC EVALUATION REPORT (OR EQUAL) FOR ANY STUCCO OR EIFS SYSTEM USED.-IRC R109.1.5

BASEMENT NOTES:

- SHOW THAT EGRESS WINDOW WELLS ARE PROVIDED FOR BASEMENT EGRESS WINDOWS AND SUCH WINDOW WELLS SHALL PROVIDE A MINIMUM NET CLEAR OPENING OF 9 SQ FT WITH A MINIMUM DIMENSION OF 36 INCHES. SHOW A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44 INCHES DEEP .-IRC R310.2

GENERAL BUILDING NOTES

- BUILDING SHALL BE LOCATED WITHIN SETBACKS REQUIRED FROM KNOWN OR ASSUMED PROPERTY LINES AS PER LOCAL BUILDING AND ZONING DEPARTMENT REQUIREMENTS.
- BUILDING TO BE INSTALLED ON A PERMANENT FOUNDATION.
- BUILDING IS NOT DESIGNED FOR OR APPROVED FOR "WILDLAND-URBAN INTERFACE FIRE AREA".
- BUILDING NOT TO BE INSTALLED WHERE SNOW, WIND OR SEISMIC CRITERIA EXCEEDS THOSE LISTED IN THE DESIGN CRITERIA OF THIS HOME.
- BUILDING NOT TO BE INSTALLED IN A FLOOD PRONE ZONE.
- ALL MANUFACTURERS' SPECIFICATIONS SHALL BE MET WHEN THEIR MATERIALS ARE USED.
- ON-SITE CONTRACTOR SHALL COMPARE ALL DIMENSIONS AND CONDITIONS OF DRAWINGS AT THE SITE.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE MODULAR HOME MANUFACTURER AND DESIGNER BEFORE PROCEEDING.
- IT SHALL BE THE RESPONSIBILITY OF THE ONSITE CONTRACTOR TO COORDINATE WITH ALL TRADES ON ANY ITEMS THAT ARE TO BE INTEGRATED INTO THE STRUCTURAL SYSTEM THAT ARE NOT INDICATED ON THE DRAWINGS.
- ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OR SHOWN OTHERWISE.
- ONSITE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS TO MATCH DETAILS ON THE DRAWINGS.
- ONSITE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION AROUND THE JOBSITE.
- ALL NAILING AND FASTENING TO CONFORM TO TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS OF THE 2015 IRC BUILDING CODE.
- BATHROOM VENT FANS TO BE DUCTED TO THE EXTERIOR, 50 CFM MINIMUM.
- ALL PLUMBING IS TYPICALLY STUBBED THROUGH THE FLOOR OF EACH MODULE. MATERIALS AND LABOR TO CONNECT PLUMBING BELOW THE FLOOR LEVEL TO BE PROVIDED ONSITE BY OTHERS

EARTHWORK AND FOUNDATIONS

- GEOTECHNICAL REPORT: PERFORM SOILS WORK COMPLYING WITH FOUNDATION DESIGN BASED ON RECOMMENDATIONS IN SOILS REPORT. SEE STRUCTURAL COVER SHEET (SCS) FOR SOILS REPORT NUMBER AND DATE.
- ALLOWABLE FOUNDATION DESIGN VALUES PER GEOTECHNICAL REPORT: VALUES BELOW MAY BE INCREASED 33 PERCENT FOR TRANSIENT LOADING.
- BEARING CAPACITY: SEE PROJECT DESIGN CRITERIA
- PASSIVE LATERAL BEARING PRESSURE: SEE PROJECT DESIGN CRITERIA
- COEFFICIENT OF FRICTION: SEE PROJECT DESIGN CRITERIA
- GRADING, EXCAVATIONS, BACKFILL AND COMPACTION OF BACKFILL: COMPLY WITH GEOTECHNICAL REPORT AND REQUIREMENTS OF GOVERNING CODE AUTHORITY AND PERFORMED ONLY UNDER CONTINUOUS SPECIAL INSPECTION OF GEOTECHNICAL ENGINEER.
- PREPARATION OF SOIL UNDER BUILDING PAD: SEE GEOTECHNICAL REPORT FOR OVER-EXCAVATION OF EXISTING SOIL AND INSTALLATION OF PROPERLY COMPACTED BACKFILL.
- FOUNDATION EXCAVATIONS: FOUNDATIONS ARE TO BEAR ON FIRM EXISTING SOIL OR APPROVED COMPACTED FILL AS INDICATED IN GEOTECHNICAL REPORT. EXCAVATIONS ARE TO BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL AND FORMWORK. ENSURE EXCAVATIONS ARE CLEANS, DRY AND FREE OF DEBRIS OR LOOSE SOIL. SLOPE SIDES OF EXCAVATION NOT LESS THAN MINIMUM SLOPE INDICATED IN GEOTECHNICAL REPORT. CAST CONCRETE DIRECTLY AGAINST EXCAVATED SURFACES.
- BACKFILLING OF RETAINING WALLS: PLACE AFTER COMPLETION AND INSPECTION OF WATERPROOFING. ADEQUATELY SHORE RETAINING WALLS DURING BACKFILL OPERATION. UNLESS ADEQUATELY SHORED, DO NOT PLACE BACKFILL BEHIND BUILDING STRUCTURE RETAINING WALLS (EXCLUDING SITE RETAINING WALLS) UNTIL CONCRETE AT ELEVATED FLOOR LEVELS ADJACENT TO WALLS ARE COMPLETELY POURED (IN AREA) AND HAVE CURED FOR AT LEAST 7 DAYS.
- WATER EXPOSURE AT BUILDING PERIMETER FOOTINGS: AT AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN STRUCTURE, PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AT BUILDING PERIMETER. LANDSCAPE IRRIGATION IS NOT PERMITTED WITHIN FIVE FEET OF BUILDING PERIMETER FOOTINGS EXCEPT WHEN ENCLOSED IN PROTECTED PLANTERS WITH DIRECT DRAINAGE AWAY FROM STRUCTURE OR WHICH COMPLIES WITH APPLICABLE CODE. DISCHARGE FROM DOWN SPOUTS, ROOF DRAINS AND SCUPPERS IS NOT PERMITTED UNTO UNPROTECTED SOILS WITHIN FIVE FEET OF BUILDING PERIMETER. REFER TO GEOTECHNICAL REPORT FOR COMPLETE REQUIREMENTS.

FIELD CONSTRUCTION NOTES

- FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. PROMPTLY NOTIFY ARCHITECT (STRUCTURAL ENGINEER) IN CASE OF DISCREPANCIES.
- DESIGN INTENT: CONTRACT DOCUMENTS INDICATE DESIGN INTENT FOR STRUCTURE IN ITS COMPLETED STATE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. PROMPTLY NOTIFY ARCHITECT (STRUCTURAL ENGINEER), PRIOR TO PROCEEDING WITH WORK, IF DESIGN INTENT REQUIRES FURTHER CLARIFICATION.
- DEVIATIONS, MODIFICATIONS, AND SUBSTITUTIONS TO APPROVED STRUCTURAL DRAWINGS: MUST BE ACCEPTED IN WRITING BY ARCHITECT (STRUCTURAL ENGINEER) AND APPROVED BY GOVERNING CODE AUTHORITY. NO DEVIATION, MODIFICATION OR SUBSTITUTION WILL BE ACCEPTED VIA SHOP DRAWING REVIEW.
- PROCEDURES OF CONSTRUCTION: CONTRACTOR IS RESPONSIBLE FOR PROCEDURES OF CONSTRUCTION COMPLYING WITH NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES. SITE VISITS (INCLUDING STRUCTURAL OBSERVATION) BY ARCHITECT (STRUCTURAL ENGINEER) DO NOT CONSTITUTE SUPERVISIONS OF METHODS OF CONSTRUCTION.
- PROTECTION OF UTILITIES: LOCATE EXISTING UTILITIES, INCLUDING THOSE NOT SHOWN ON CONTRACT DOCUMENTS, AND PROTECT THEM FROM DAMAGE. CONTRACTOR BEARS EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES IN CONJUNCTION WITH EXECUTION OF WORK.
- EXCAVATIONS: PROTECT STRUCTURE, ADJACENT STRUCTURES, ADJACENT PROPERTIES, STREETS, AND UTILITIES DURING EXCAVATION UTILIZING LAGGING, SHORING, UNDERPINNING AT SIDES AND RELATED PROCEDURES AS MAY BE REQUIRED. PROVIDE NECESSARY SUPPORTS FOR SOIL EXCAVATIONS. CONTRACTOR AND AFFECTED TRADES SHALL REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- PROTECTION OF STRUCTURE: PROVIDE NECESSARY MEASURES TO PROTECT STRUCTURE DURING EXECUTION OF WORK.
- CONTRACTOR PROPOSED REVISIONS: WHERE A REVISION OF STRUCTURAL DESIGN OR CONNECTION IS PROPOSED BY CONTRACTOR TO ACCOMMODATE CONSTRUCTION TOLERANCES, CONSTRUCTION SEQUENCE AND/OR DIMENSION MODIFICATIONS, CONTRACTOR SHALL RETAIN A STRUCTURAL ENGINEER LICENSED IN APPLICABLE STATE TO PERFORM DESIGN. SUBMIT STAMPED AND SIGNED DESIGN DRAWINGS AND CALCULATIONS TO THE ARCHITECT (STRUCTURAL ENGINEER) FOR REVIEW AND THE GOVERNING CODE AUTHORITY FOR APPROVAL.
- ERCTION PLANS: DETERMINE PHASES OF WORK REQUIRING ERECTION PLANS ACCORDING TO APPLICABLE SAFETY REGULATIONS. MAINTAIN CERTIFIED COPIES OF ERECTION PLANS AT SITE DURING CONSTRUCTION.
- SHORING, BRACING, AND OTHER TEMPORARY SUPPORTS: DESIGN AND ERECT SHORING, BRACING, AND OTHER TEMPORARY SUPPORTS WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH AND AS REQUIRED FOR SAFE ERECTION. ENSURE FLOOR, ROOF, AND WALL MEMBERS ARE SECURELY SHORED AND BRACED DURING CONSTRUCTION. PROVIDE SHORING AT ELEVATED BEAMS AND SLABS SUPPORTING CONCRETE OR MASONRY WALLS DURING AND AFTER WALL POUR UNTIL WALL ATTAINS DESIGN STRENGTH.
- TEMPORARY LOADING: ENSURE CONSTRUCTION LOADS DO NOT EXCEED INDICATED DESIGN LIVE LOAD VALUES. NOTIFY AFFECTED SUB-CONTRACTOR TRADES OF THESE DESIGN LOAD LIMITS.
- FABRICATION, SHIPMENT, AND ERECTION OF STRUCTURAL STEEL: ENSURE STRESSES OCCURRING DURING FABRICATION, SHIPMENT, AND ERECTION OF STRUCTURAL STEEL ARE TEMPORARY AND ARE LESS THAN DESIGN AND ALLOWABLE STRESS CAPACITIES OF INDIVIDUAL MEMBERS. DO NOT IMPAIR FULL DESIGN AND LOAD CARRYING CAPACITY OF MEMBERS DUE TO FABRICATION, SHIPMENT, OR ERECTION. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ERECTION SEQUENCE, ERECTION PROCEDURE, TEMPERATURE DIFFERENTIALS AND WELD SHRINKAGE TO MINIMIZE RESIDUE STRESSES. PROVIDE ADDITIONAL MATERIALS FOR THE ERECTION OF STRUCTURAL STEEL SUCH AS TEMPORARY BRACING AND GUY CABLES AS MAY BE NECESSARY AT NO ADDITIONAL COST. REMOVE THESE MATERIALS UNLESS APPROVED IN WRITING BY OWNER. DO NOT TIGHTEN BOLTS IN TYPICAL BEAM TO COLUMN CONNECTIONS FOR ERECTION PURPOSES.
- SECURING REINFORCING STEEL, DOWELS, ANCHOR BOLTS AND EMBEDS: FIRMLY SUPPORT AND ACCURATELY PLACE COMPLYING WITH ACI STANDARDS PRIOR TO CASTING CONCRETE OR GROUT IN MASONRY WALLS. USE TIERS AND SUPPORT BARS IN ADDITION TO REINFORCING STEEL SHOWN WHERE NECESSARY. NO WELDING OF REINFORCING STEEL, INCLUDING TACK WELDING, IS PERMITTED UNLESS OTHERWISE ACCEPTED IN WRITING BY ARCHITECT (STRUCTURAL ENGINEER). PROVIDE PLASTIC OR PLASTIC COATED CHAIRS AND SPACERS WHEN RESTING ON EXPOSED SURFACES.
- COORDINATION RESPONSIBILITY: CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK INCLUDING THAT OF SUB-CONTRACTOR TRADES.
- SUBMITTALS: SUBMIT TO ARCHITECT (STRUCTURAL ENGINEER) AS INDICATED ON STRUCTURAL DRAWINGS AND SPECIFICATIONS. GENERAL CONTRACTOR SHALL REVIEW SUBMITTAL FOR COMPLETENESS AND COMPLIANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMISSION.

ABBREVIATIONS:

AB = ANCHOR BOLT
ABV = ABOVE
ADD'L = ADDITIONAL
ALT = ALTERNATE
AWA = ALIGN WITH ABOVE
BEW = BOTTOM EACH WAY
BLK = BLOCK
BLKG = BLOCKING
BLW = BELOW
BM = BEAM
BN = BOUNDARY NAILING
BRG = BEARING
BTM = BOTTOM
BTWN = BETWEEN
BTR = BETTER
CBC = CALIFORNIA BUILDING CODE
CLG = CEILING
CONC = CONCRETE
DBL = DOUBLE
DF = DOUGLAS FIR
DIA = DIAMETER
DJ = DECK JOIST
DP = DEEP
DR = DROP
DW = DISHWASHER
EA = EACH
EI = EXPANSION INDEX
EMBD = EMBODIMENT
EN = EDGE NAILING
EW = EACH WAY
EWB = ENGINEERED WOOD BEAM
EXT = EXTERIOR
FA = FROM ABOVE
FDN = FOUNDATION
FH = FULL HEIGHT
FJ = FLOOR JOIST
FL = FLUSH
FLR = FLOOR
FNGR = FINGER
FRMG = FRAMING
FT = FEET
FP = FIREPLACE
GA = GAGE
GLB = GLU-LAM
GT = GIRDER TRUSS
HDR = HEADER
HGR = HANGER
IBC = INTERNATIONAL BUILDING CODE
IN = INCH
INFO = INFOMATION
INT = INTERIOR
JST = JOIST
LSL = LAMINATED STRAND LUMBER
LVL = LAMINATED VENEER LUMBER
MAX = MAXIMUM
MFR = MANUFACTURER
MIN = MINIMUM
MULT = MULTIPLE
N/A = NOT APPLICABLE
N/P = NOT PROVIDED
O/C = ON CENTER
OHD = OVERHEAD DOOR
PI = PLASTICITY INDEX
PLT = PLATE
PLYWD = PLYWOOD
PNL = PANEL
PSL = PARALLEL STRAND LUMBER
PT = PRESSURE TREATED
REF = REFRIGERATOR
REV = REVISION
RF = ROOF
RO = ROUGH OPENING
RR = ROOF RAFTER
SHTG = SHEATHING
SIM = SIMILAR
SPN = SOLE PLATE NAILING
SQ = SQUARE
SQSH = SQUASH
STD = STANDARD
SW = SHEAR WALL
TP = TOP PLATE
TSL = TRIANGULAR STRAND LUMBER
TYP = TYPICAL
UC = UNDERCOUNTER
UBC = UNIFORM BUILDING CODE
UNO = UNLESS NOTED OTHERWISE
WWM = WELDED WIRE MESH
W/ = WITH
W/O = WITHOUT

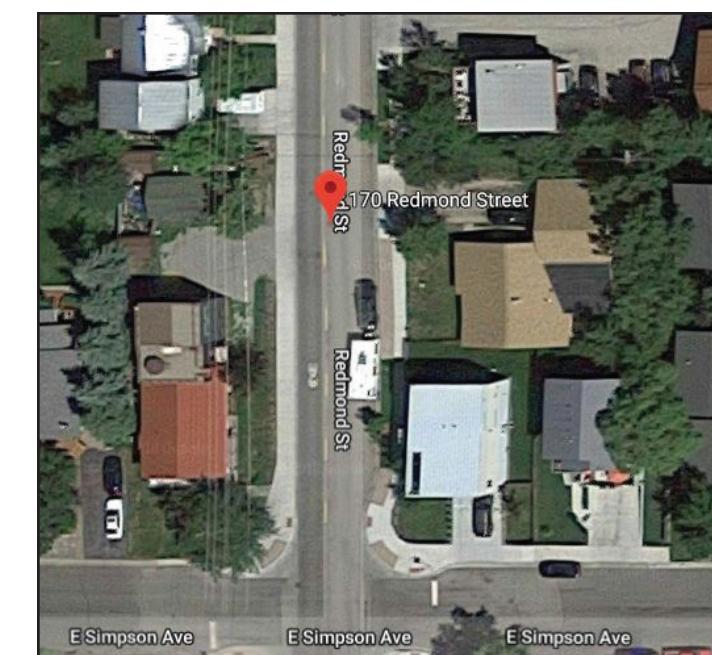
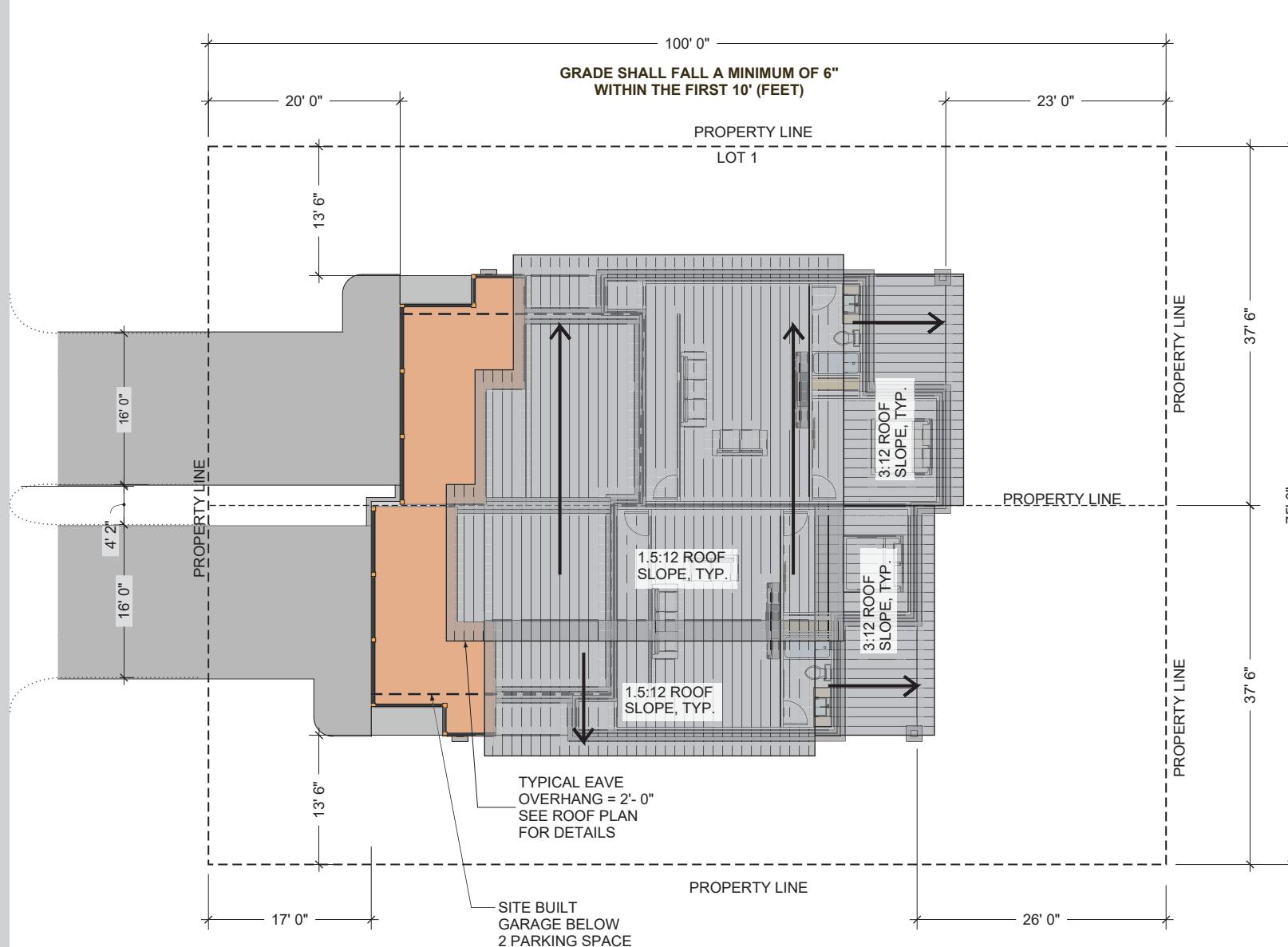
ENERGY CODE NOTES:

1. PROVIDE AN ACCURATE LATEST VERSION OF RESCHECK FOR THIS HOME. ALTERNATIVE PROGRAMS MUST BE APPROVED BY THE BUILDING OFFICIAL.
2. PROVIDE ON THE APPROVED PLANS AS AN ALTERNATIVE TO A SUBMITTED RESCHECK A LIST OF ALL INSULATION AND FENESTRATION PRESCRIPTIVE REQUIREMENTS BY COMPONENT (TABLE 402.1.1) AND ALL MANDATORY HVAC / ELECTRICAL SYSTEM REQUIREMENTS. MANUAL D & J CALCULATIONS & DESIGN ARE STILL REQUIRED.
3. PROVIDE AND INDICATE ON PLAN ALL LOCATIONS AND TYPE OF INSULATION TO BE INSTALLED.
4. INDICATE THAT NEW WOOD BURNING FIRE PLACES HAVE TIGHT FITTING FLUE DAMPERS OR DOORS AND OUTSIDE COMBUSTION AIR.
5. RECESSED LIGHTS INSTALLED IN CEILINGS (BUILDING THERMAL ENVELOPE) SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN THE CONDITIONED AND UNCONDITIONED SPACES. ALL SUCH RECESSED LIGHTS MUST BE IC- RATED AND LABELED FOR CONFORMANCE TO AIR LEAKAGE AND SHALL BE SEALED OR CAULKED BETWEEN THE HOUSING AND THE CEILING.
6. PROVIDE THE MAKE, MODEL, BTU'S AND EFFICIENCY OF THE FURNACE(S) OR BOILER TO BE INSTALLED AND INDICATE THE SEER OF THE A/C CONDENSER(S) TO BE INSTALLED.
7. PROVIDE R-3 INSULATION OF ALL MECHANICAL SYSTEM PIPING WITH FLUID OVER 105 DEGREE'S AND BELOW 55 DEGREE'S.
8. ALL MECHANICAL VENTILATION OUTDOOR AIR DUCT INTAKES OR EXHAUST DUCT OUTLETS (BATHROOM EXHAUST FANS) MUST BE PROVIDED WITH AN AUTOMATIC OR GRAVITY CLOSER INSTALLED AT THE BUILDING'S THERMAL ENVELOPE.
9. INSTALLED INSULATION AND U VALUES MUST MATCH WHAT IS SHOWN ON PLANS AND RESCHECK.
10. ATTIC ACCESS PANELS MUST BE INSULATED AND WEATHER STRIPPED.
11. PLEASE INDICATE IF ANY DUCTS ARE TO BE LOCATED IN ATTIC SPACE AND OR CRAWL SPACE AND IF YES SUCH DUCT WORK MUST BE PRESSURE TESTED IN ACCORDANCE WITH 2012 IECC.
12. REVIEW WITH BUILDING OFFICIAL AND DETERMINE IF A BLOWER DOOR TESTING IS REQUIRED FOR THE AIR LEAKAGE. R 402.4.1.2 AND IF 3RD PARTY ENERGY CODE COMPLIANCE INSPECTIONS OF THERMAL ENVELOPE COMPONENTS ARE REQUIRED. R 402.4.1.1
13. ROOMS CONTAINING FUEL BURNING APPLIANCE WITH OPEN OUTSIDE COMBUSTION AIR SHALL BE SEALED AND INSULATED (WALLS, FLOORS AND CEILINGS) WITH INSULATION MEETING BASEMENT WALL R VALUE REQUIREMENT IF INSULATION IS EXPOSED IT MUST BE COVERED WITH SHEETROCK OR OTHER APPROVED MATERIAL.

BUILDING COMPONENTS THERMAL ENVELOPE R402: GENERAL PRESCRIPTIVE METHOD TO COMPLIANCE	
VAPOR RETARDER: CLASS I = POLY CLASS II = KRAFT-FACED INSULATION CLASS III = PAINT	FOLLOW IRC SECTION R702.7 OR IBC SECTION 1405.3 CLASS OF VAPOR RETARDER IS BASED UPON SELECTED METHODS OF INSULATING THE EXTERIOR WALLS OF THE STRUCTURE.
WINDOWS AND DOORS U-FACTOR = 0.32	R402.1.5 TOTAL UA ALTERNATIVE MAY BE USED TO LOWER THE U-FACTOR
SKYLIGHTS U-FACTOR = 0.55	R402.1.5 TOTAL UA ALTERNATIVE MAY BE USED TO LOWER THE U-FACTOR
CEILING INSULATION WITH ATTIC SPACE = R49	R402.2.1 REDUCTION TO R38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.
CEILING INSULATION WITHOUT ATTIC SPACE = R-49	R402.2.2 REDUCTION TO R30 PROVIDED WHEN ROOF/CEILING ASSEMBLIES DON'T HAVE SUFFICIENT SPACE.
WOOD FRAMED WALL INSULATION : 2X6 WALL = R20/5	R20 IN THE CAVITY OF THE WALL AND R5 CONTINUOUS INSULATION. WALLS WITH STRUCTURAL SHEATHING SEE SECTION R402.2.7 FOR REDUCTION
WOOD FRAMED WALL INSULATION: 2X4 WALL = R13/10	R13 IN THE CAVITY OF THE WALL AND R10 CONTINUOUS INSULATION. WALLS WITH STRUCTURAL SHEATHING SEE SECTION R402.2.7 FOR REDUCTION
MASS WALLS R-19/21	DEFINED & REVIEWED BASED UPON FORMULA FROM SECTION 402.2.5
FLOOR INSULATION = R38	SEE SECTION 402.2.8 FOR DEFINITION AND EXCEPTION
BASEMENT WALL INSULATION = R-15/19	SEE SECTION 402.2.9 FOR DEFINITION R15 CONTINUOUS ON EITHER SIDE OR R19 ON INTERIOR SIDE. SEE FOOTNOTES IN R402.1.2 FOR ALTERNATIVES
CONCRETE SLAB ON GRADE INSULATION = R10/4FT	SEE SECTION R402.2.10 INSULATION DEPTH SHALL BE DEPTH OF THE FOOTING MINIMUM OF 4 FEET.
CRAWL SPACE WALL INSULATION = R15/19	SEE SECTION R402.2.11 FOR DEFINITION R15 CONTINUOUS ON EITHER SIDE OR R19 ON INTERIOR SIDE.
FENESTRATION AIR LEAKAGE: WINDOWS, SLIDING DOORS, SKYLIGHTS	<= 0.3 CFM/SF EXCEPTION FOR SITE BUILT WINDOWS, SKYLIGHTS, AND DOORS.
FENESTRATION AIR LEAKAGE: SWINGING DOORS	<= 0.5 CFM/SF EXCEPTION FOR SITE BUILT DOORS.
AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE.	ALL PRODUCTS INSTALLED IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND BE LABELED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IECC.
FIREPLACES NEW WOOD-BURNING UNITS	SEE SECTION R402.4.2 INFORMATION ON TIGHT FITTING DOORS AND LABELS REQUIRED.
PROGRAMMABLE THERMOSTATS REQUIRED FOR ALL HEATING AND COOLING EQUIPMENT INSTALLED IN A DWELLING UNIT.	SEE SECTION R403.1.1: THERMOSTAT TO HAVE DAILY SCHEDULES AND TEMPERATURE SETBACK FOR SCHEDULED TIMES OF THE DAY.
DUCT INSULATION: ATTIC SPACES R8 WHEN 3" DIAMETER OR GREATER	SEE SECTION R403.3.1 FOR EXCEPTION WHERE DUCTS ARE COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE.
DUCT INSULATION: ATTIC SPACES R6 WHEN LESS THAN 3" DIAMETER	SEE SECTION R403.3.1 FOR EXCEPTION WHERE DUCTS ARE COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE.
SEALING: MANDATORY FOR DUCTS, AIR HANDLERS AND FILTER BOXES.	SEE SECTION R403.3.2 FOR EXCEPTIONS.
HOT WATER BOILER OUTDOOR TEMPERATURE SETBACK:	SEE SECTION R403.2 HOT WATER BOILERS THAT SUPPLY HEAT TO THE BUILDING THROUGH ONE OR TWO-PIPE HEATING SYSTEMS SHALL HAVE AN OUTDOOR SET-BACK CONTROL THAT LOWERS THE TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
MECHANICAL SYSTEM PIPING INSULATION: MANDATORY	SEE SECTION R403.4 MECHANICAL PIPING CARRYING FLUIDS ABOVE 105 F OR BELOW 55 F SHALL BE INSULATED WITH R3 MINIMUM.
CIRCULATING SYSTEMS / HEAT TRACE SYSTEMS/ DEMAND RECIRCULATION SYSTEMS:	SEE SECTION R403.5.1.1, R403.5.1.2, R403.5.2 FOR INFORMATION ON OPERATIONS AND CONTROLS FOR PUMPS AND SPECIFIC ELECTRIC HEAT TRACE SYSTEMS.
HOT WATER PIPE INSULATION REQUIRED TO BE R3	SEE SECTION R403.5.3 FOR LIST OF REQUIRED PIPING THAT REQUIRES R3
MECHANICAL VENTILATION: THE BUILDING SHOULD BE PROVIDED WITH MECHANICAL VENTILATION OR APPROVED METHOD PER REQUIREMENTS.	SEE SECTION R403.6 AND R403.6.1 FOR DEFINITIONS AND REFER THE 2015 IRC SECTIONS M1507 FOR SYSTEM DESIGN AND REQUIREMENTS.
SYSTEMS SERVING MULTIPLE DWELLING UNITS:	SEE SECTION R403.8 SHALL COMPLY WITH SECTIONS C403 AND C404 OF THE IECC – COMMERCIAL PROVISIONS IN LIEU OF SECTION R403
SNOW MELT SYSTEMS AND ICE SYSTEM CONTROLS:	SEE SECTION R403.9 AUTOMATIC CONTROLS SHUTTING SYSTEM WHEN PAVEMENT TEMPERATURE >50 F AND NO PRECIPITATIONS FALLING, AUTOMATIC OR MANUAL CONTROL TO SHUTOFF AS OUTDOOR TEMP > 40 F
POOLS/ PERMANENT & PORTABLE SPAS:	SEE SECTIONS R403.10 THROUGH R403.12 HEATERS, TIME SWITCHES, COVERS, ENERGY CONSUMPTION.
EQUIPMENT SIZING AND EFFICIENCY RATING	SEE SECTION R403.7 AND REFER TO IRC M1401.3
LIGHTING EQUIPMENT	SEE SECTION R404.1: 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% OF PERMANENTLY INSTALLED FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. EXCEPTION TO LOW VOLTAGE LIGHTING.
FUEL GAS LIGHTING SYSTEMS:	SEE SECTION R404.1.1: FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.



SITE PLAN
SCALE: NTS



VICINITY MAP
SCALE: NTS



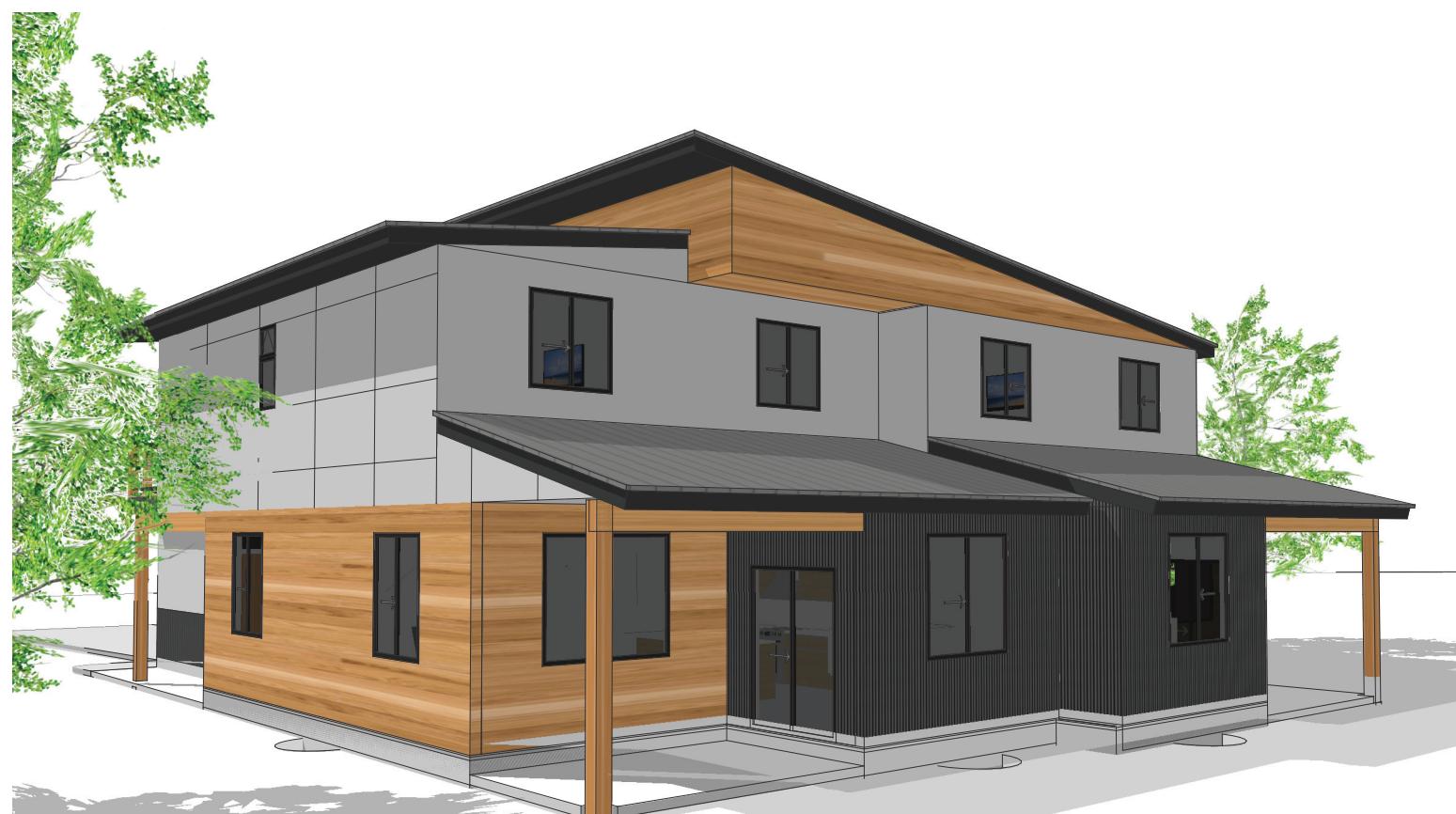
FRONT RIGHT VIEW

SCALE: NTS



FRONT LEFT VIEW

SCALE: NTS



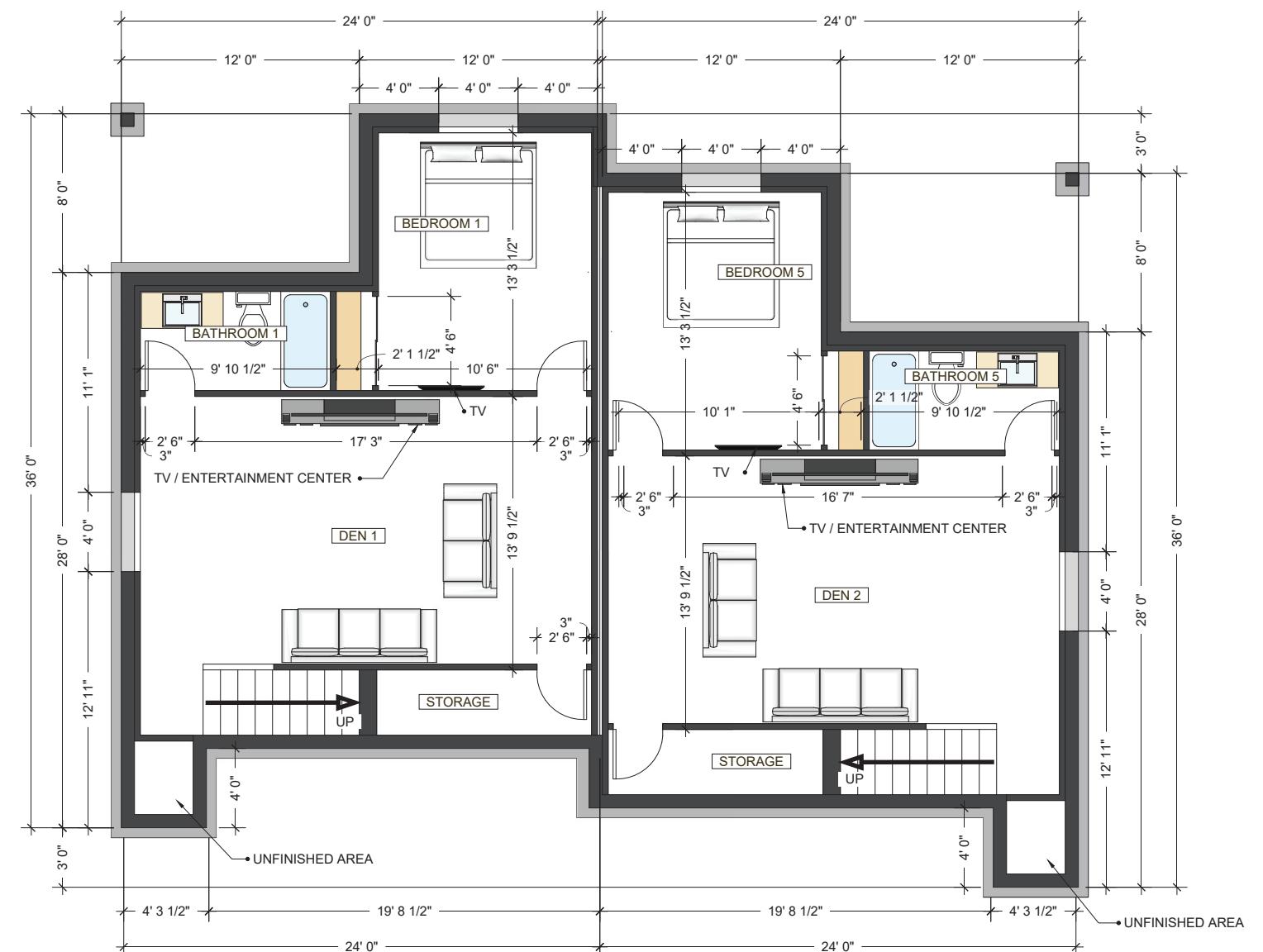
BACK RIGHT VIEW

SCALE: NTS



BACK LEFT VIEW

SCALE: NTS



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOWS & VENTILATION

- MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. -IRC R303
- NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED. -IRC R303
- THE OPENABLE WINDOW AREA IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL NOT BE LESS THAN 1 1/2 SQ. FT. UNLESS A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION IS PROVIDED. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. -IRC R303.3

GARAGE NOTES:

- SHOW NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD GOD FORBID THE CEILING. -IRC R309.2 AND R302.5
- DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1 3/8" THICK SOLID CORE OR 20 MINUTE RATED AND MUST BE SELF-CLOSING DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. -IRC R309.1

STAIRS AND GUARDRAILS:

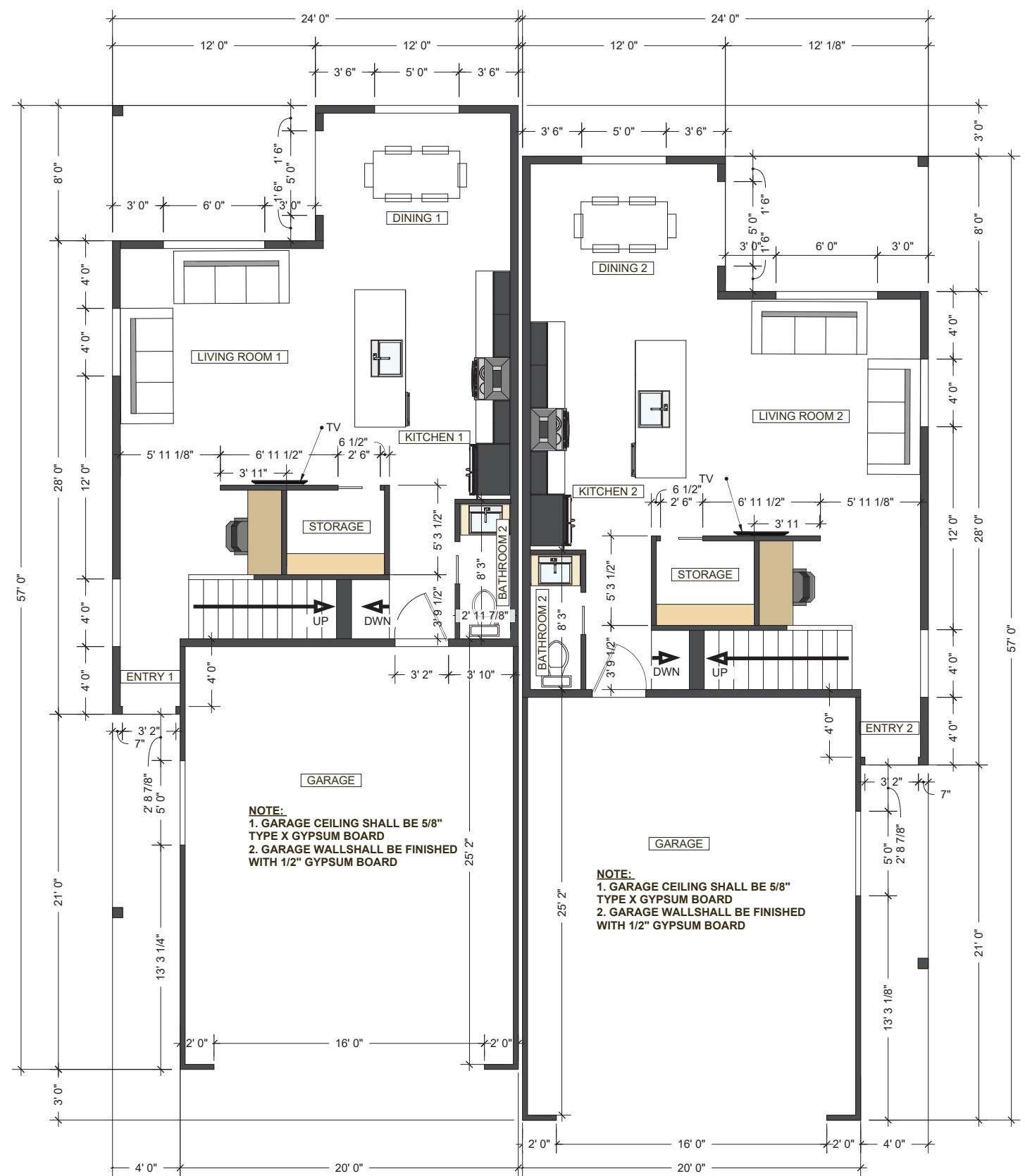
- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. -IRC 311.7
- THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. ENDS SHALL BE RETURNED OR SHALL TERMINATE NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1/4 INCHES NOR MORE THAN 2 5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. -IRC R311.7.7
- ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30 INCHES ABOVE GRADE AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD (AKA "GUARDRAIL"). GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR A REPORT ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. -IRC R312
- THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. -IRC R31 1.7.2
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- SHOW 12 GYPSUM BOARD ON WALLS AND SOFFITS UNDER A STAIRWAY WITH ENCLOSED ACCESSIBLE SPACE. -IRC R31 1.2.2

STAIR TREAD NOSING:

- THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH (914.3 MM). A NOSING NOT LESS THAN 3/4 INCH (19 MM) BUT NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS.
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TUBS AND SHOWERS:

- WITH TILED WALLS REQUIRE DENSSHIELD® TILE BACKER.



NOTE: THE MAIN LEVEL CONSISTS OF ALL SITE BUILT CONSTRUCTION.

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOWS & VENTILATION

- MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. -IRC R303
- NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED. -IRC R303
- THE OPENABLE WINDOW AREA IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL NOT BE LESS THAN 1 1/2 SQ. FT. UNLESS A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION IS PROVIDED. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. -IRC R303.3

GARAGE NOTES:

- SHOW NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD GOD FORBID THE CEILING. -IRC R309.2 AND R302.5
- DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1 3/8" THICK SOLID CORE OR 20 MINUTE RATED AND MUST BE SELF-CLOSING DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. -IRC R309.1

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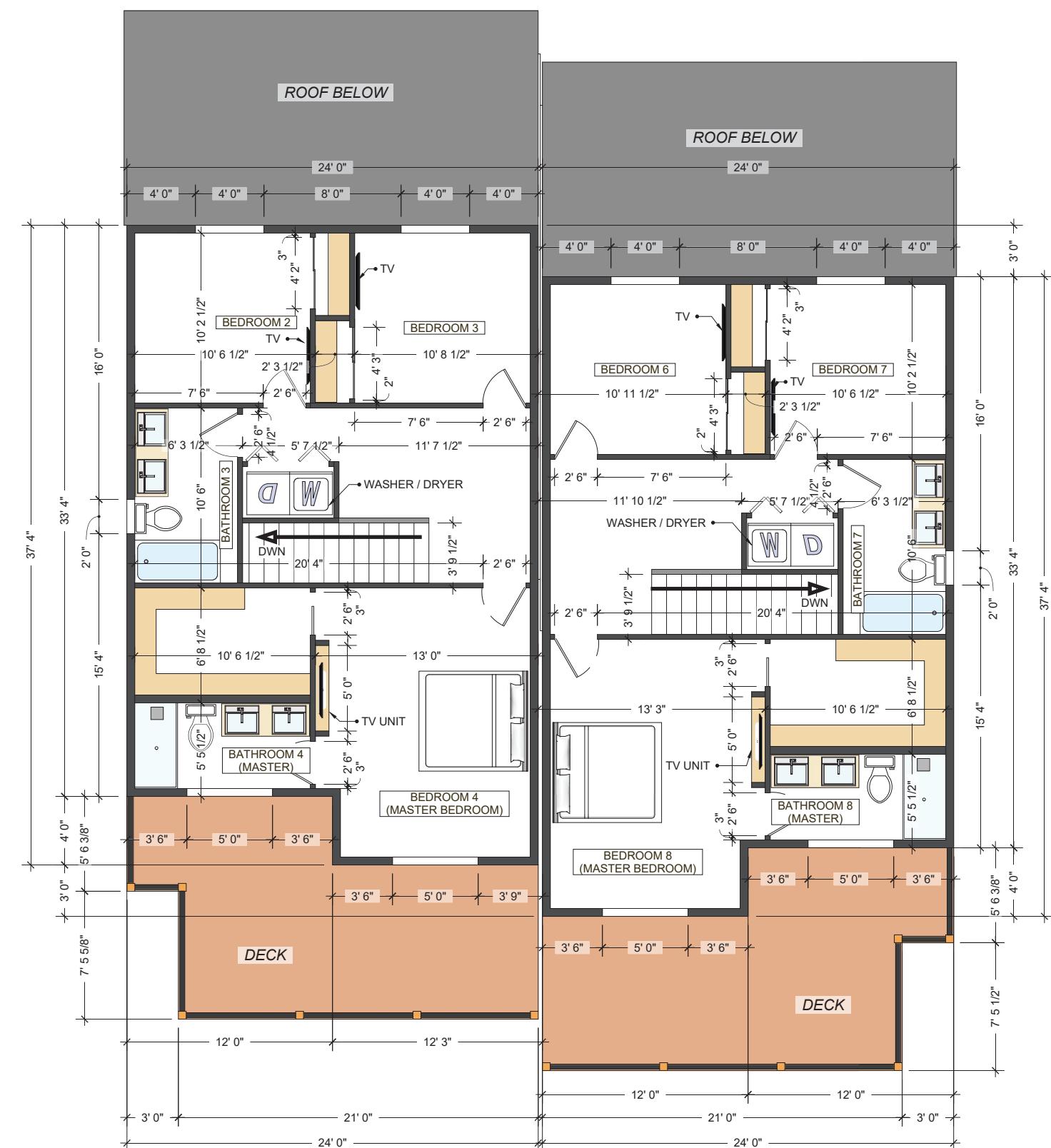
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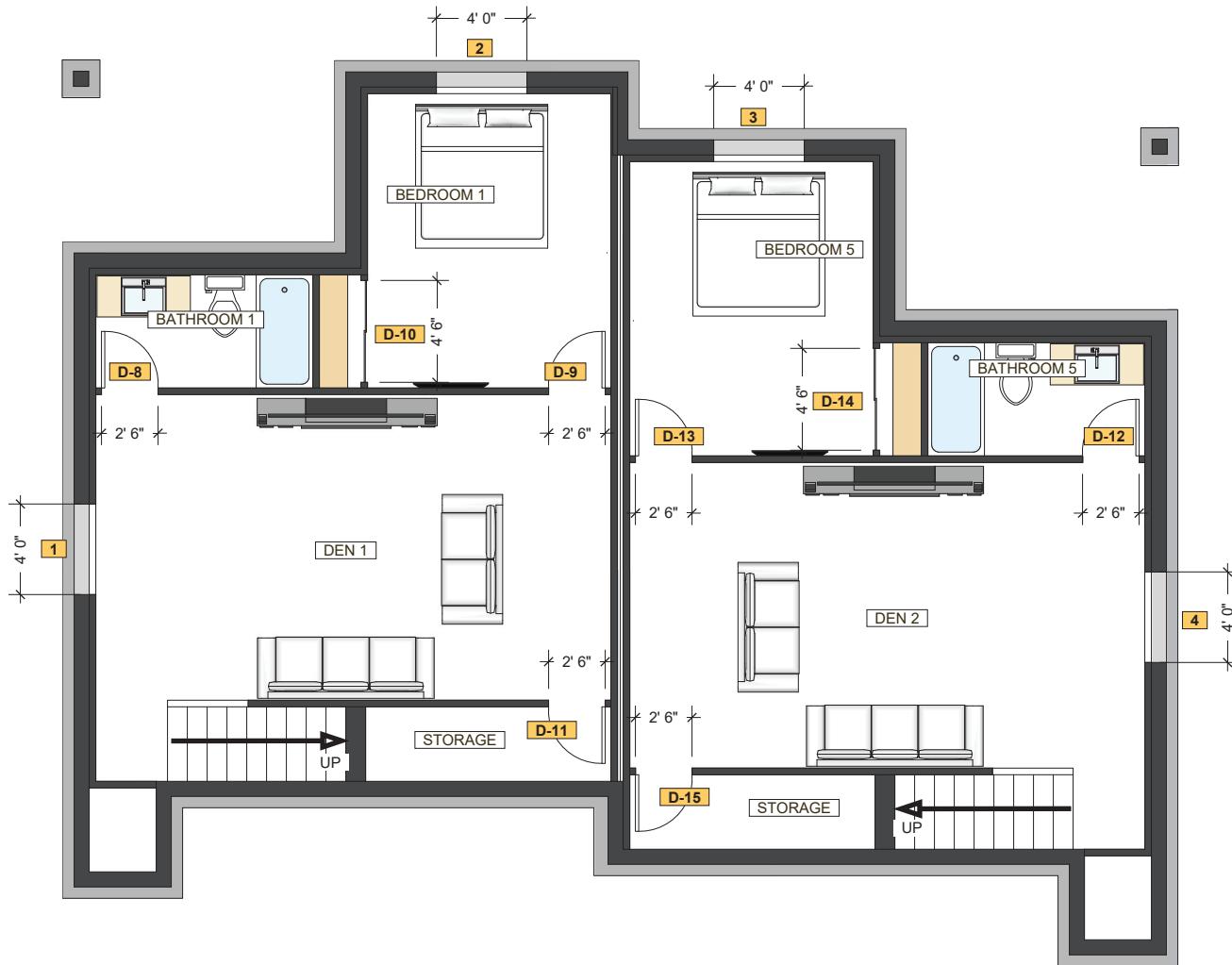
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TUBS AND SHOWERS:

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WINDOW & DOOR SCHEDULE - LOWER LEVEL FLOOR

SCALE: 1/4" = 1'-0"

WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR									
ALL WINDOWS (HINGE SIDE, ACTIVE SIDE, ETC.) ARE LOOKING FROM THE OUTSIDE									
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)
	1 & 3	DEN 1 & BEDROOM 5	48	42	SLIDER		YES	RIGHT	N/A
	2 & 4	BEDROOM 1 & DEN 2	48	42	SLIDER		YES	LEFT	N/A

INTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR						
DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES
D-8	BATHROOM 1	24-68	HINGE	LEFT HAND	4-5/8"	
D-9	BEDROOM 1	24-68	HINGE	RIGHT HAND	4-5/8"	
D-10	BEDROOM 1 (2) 28" SLABS	24-68	BYPASS	N/A	4-5/8"	
D-11	STORAGE	24-68	HINGE	LEFT HAND	4-5/8"	
D-12	BATHROOM 5	24-68	HINGE	RIGHT HAND	4-5/8"	
D-13	BEDROOM 5	24-68	HINGE	LEFT HAND	4-5/8"	
D-14	BEDROOM 5 (2) 28" SLABS	24-68	BYPASS	N/A	4-5/8"	
D-15	STORAGE	24-68	HINGE	RIGHT HAND	4-5/8"	

WINDOW FALL PROTECTION:

SILLS OF EXTERIOR WINDOWS WHICH ARE LOCATED MORE THAN 6 FEET ABOVE GRADE OR OTHER SURFACES BELOW THE EXTERIOR OF THE BUILDING, AND LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST COMPLY WITH WINDOW FALL PROTECTION REQUIREMENTS. THE AREA OF THE WINDOW LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST BE FIXED OR HAVE AN OPENING OR A GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER SPHERE, OR FALL PREVENTION DEVICE, OR OPENING CONTROL DEVICES. IRC R 312.2.12

TEMPERED GLASS:

1. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. -IRC TABLE R308. 3.
2. SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22" INCHES NET CLEAR OPENING. P2708.1.1
3. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF STAIRS, OR GLAZING WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. -IRC R308.



WINDOW & DOOR SCHEDULE - LOWER LEVEL FLOOR

SCALE: 1/4" = 1'-0"

WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR									
ALL WINDOWS (HINGE SIDE, ACTIVE SIDE, ETC.) ARE LOOKING FROM THE OUTSIDE									
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)
	5	GARAGE 1	60	18	SLIDER	YES		RIGHT	N/A
	6 & 13	ENTRY 1 & 2	38	18	FIXED	YES		N/A	N/A
	7 & 8	LIVING ROOM 1	48	60	SIDER	YES (7)		RIGHT	N/A
	9 & 16	LIVING ROOM 1 LIVING ROOM 2	72	60	FIXED	YES		N/A	N/A
	10	DINING 1	60	80	SGD	YES	YES	RIGHT	N/A
	11	DINING 1	60	60	SLIDER	YES		RIGHT	N/A
	12	GARAGE 2	60	18	SLIDER	YES		LEFT	N/A
	14 & 15	LIVING ROOM 2	48	60	SIDER	YES		LEFT	N/A
	17	DINING 2	60	80	SGD	YES (14)	YES	LEFT	N/A
	18	DINING 2	60	60	SLIDER	YES		LEFT	N/A

EXTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR										
DOOR	LOCATION	DOOR SIZE	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	DRILL FOR DEADBOLT & HANDSET	THRESHOLD	NOTES
D-1	ENTRY 1	30-68	38	82.5	HINGE	RIGHT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-2	GARAGE ENTRY 1	30-68	38	82.5	HINGE	RIGHT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-3	GARAGE 1	160-80	219	97.5	OHD	N/A	N/A	N/A	N/A	N/A
D-4	ENTRY 2	30-68	38	82.5	HINGE	LEFT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-5	GARAGE ENTRY 2	30-68	38	82.5	HINGE	LEFT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-6	GARAGE 2	160-80	219	97.5	OHD	N/A	N/A	N/A	N/A	N/A

INTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR							
DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES	
D-16	BATHROOM 2	24-68	POCKET	N/A	4-5/8"		
D-17	STORAGE	24-68	POCKET	N/A	4-5/8"		
D-18	BATHROOM 6	24-68	POCKET	N/A	4-5/8"		
D-19	STORAGE	24-68	POCKET	N/A	4-5/8"		

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SCALE: 1/4" = 1'-0"

WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR									
ALL WINDOWS (Hinge Side, Active Side, Etc.) are looking from the outside									
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)
	19	BEDROOM 4	60	84	SGD	YES	YES	RIGHT	N/A
	20	BATHROOM 4	60	48	SLIDER	YES		LEFT	N/A
	21 & 26	BATHROOM 3 & 7	24	48	AWNING 18" (ABOVE) FIXED 30" (BELOW)	YES		N/A	TOP
	22 & 23	BEDROOM 2 & 3	48	48	SLIDER	YES	YES	RIGHT	N/A
	24 & 25	BEDROOM 6 & 7	48	48	SLIDER	YES	YES	LEFT	N/A
	27	BATHROOM 8	60	84	SLIDER	YES		RIGHT	N/A
	28	BEDROOM 8	60	84	SGD	YES		LEFT	N/A

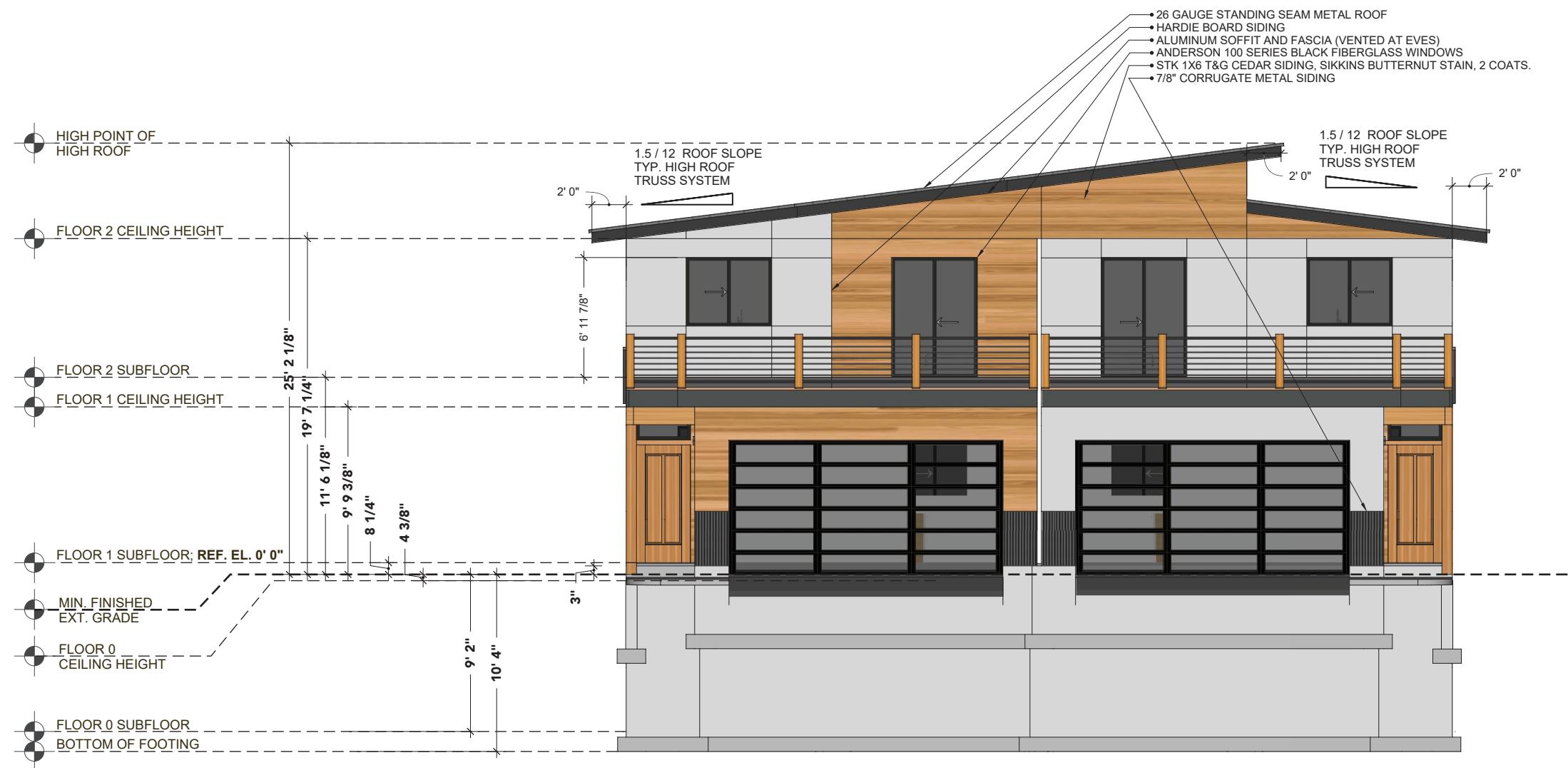
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DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES
D-20	BATHROOM 4	24-68	HINGE	LEFT HAND	4-5/8"	
D-21	BEDROOM 4	24-68	POCKET	N/A	4-5/8"	
D-22	BEDROOM 4	24-68	HINGE	LEFT HAND	4-5/8"	
D-23	BATHROOM 3	24-68	HINGE	RIGHT HAND	4-5/8"	
D-24	BEDROOM 2	24-68	HINGE	RIGHT HAND	4-5/8"	
D-25	BEDROOM 2	(2) 26" SLABS	HINGE	N/A	4-5/8"	
D-26	BEDROOM 3	24-68	HINGE	RIGHT HAND	4-5/8"	
D-27	BEDROOM 3	(2) 26" SLABS	BYPASS	N/A	4-5/8"	
D-28	BATHROOM 6	24-68	HINGE	RIGHT HAND	4-5/8"	
D-29	BEDROOM 6	24-68	POCKET	N/A	4-5/8"	
D-30	BEDROOM 6	24-68	HINGE	RIGHT HAND	4-5/8"	
D-31	BEDROOM 6	24-68	HINGE	LEFT HAND	4-5/8"	
D-32	BEDROOM 7	24-68	HINGE	LEFT HAND	4-5/8"	
D-33	BATHROOM 7	24-68	HINGE	LEFT HAND	4-5/8"	
D-34	BEDROOM 6	(2) 26" SLABS	BYPASS	N/A	4-5/8"	
D-35	BEDROOM 7	(2) 26" SLABS	BYPASS	N/A	4-5/8"	
D-36	LAUNDRY 2	47-68	BIFOLD	N/A	4-5/8"	
D-37	LAUNDRY 1	47-68	BIFOLD	N/A	4-5/8"	

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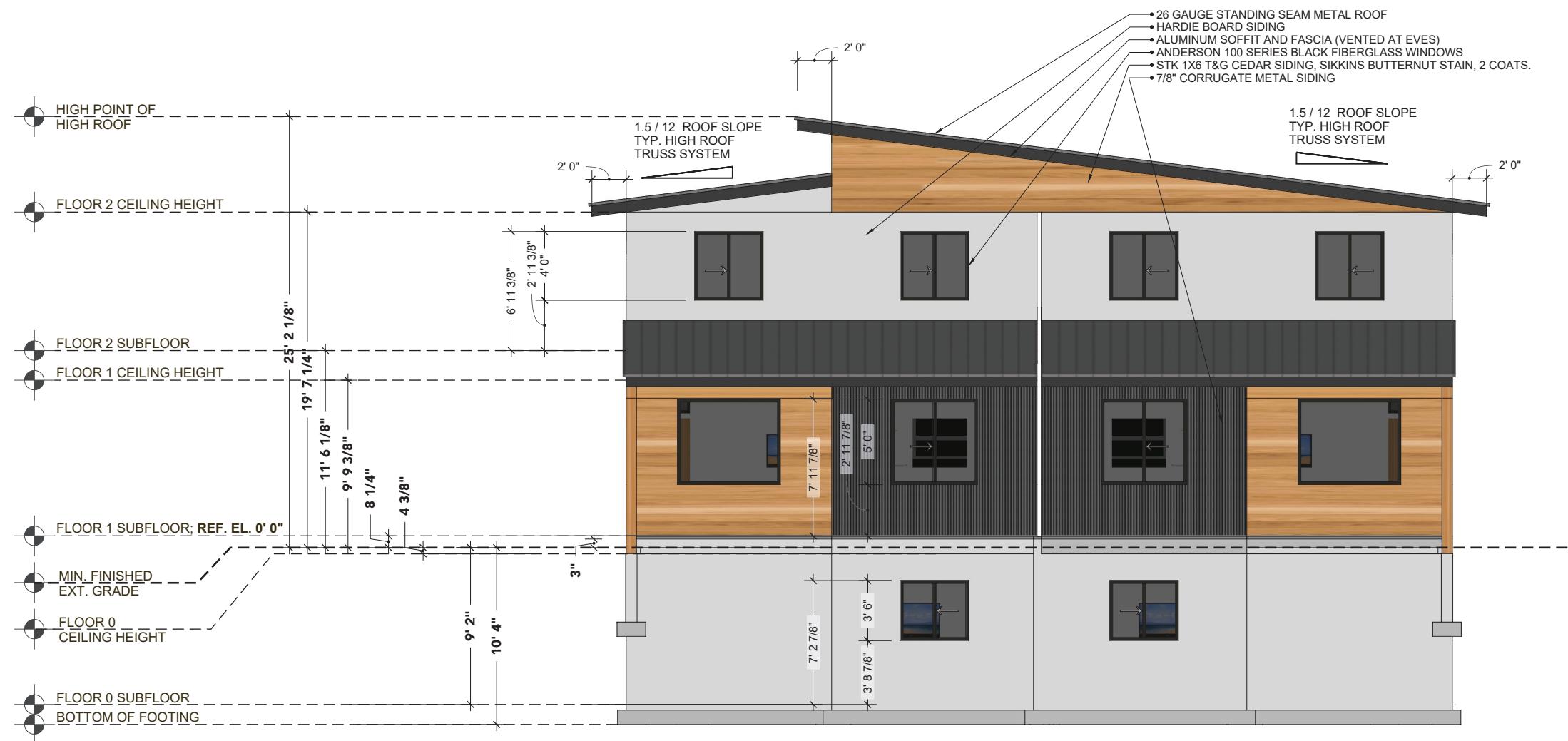
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1. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. -IRC TABLE R308. 3.
2. SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22" INCHES NET CLEAR OPENING. P2708.1.1
3. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF STAIRS, OR GLAZING WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. -IRC R308.



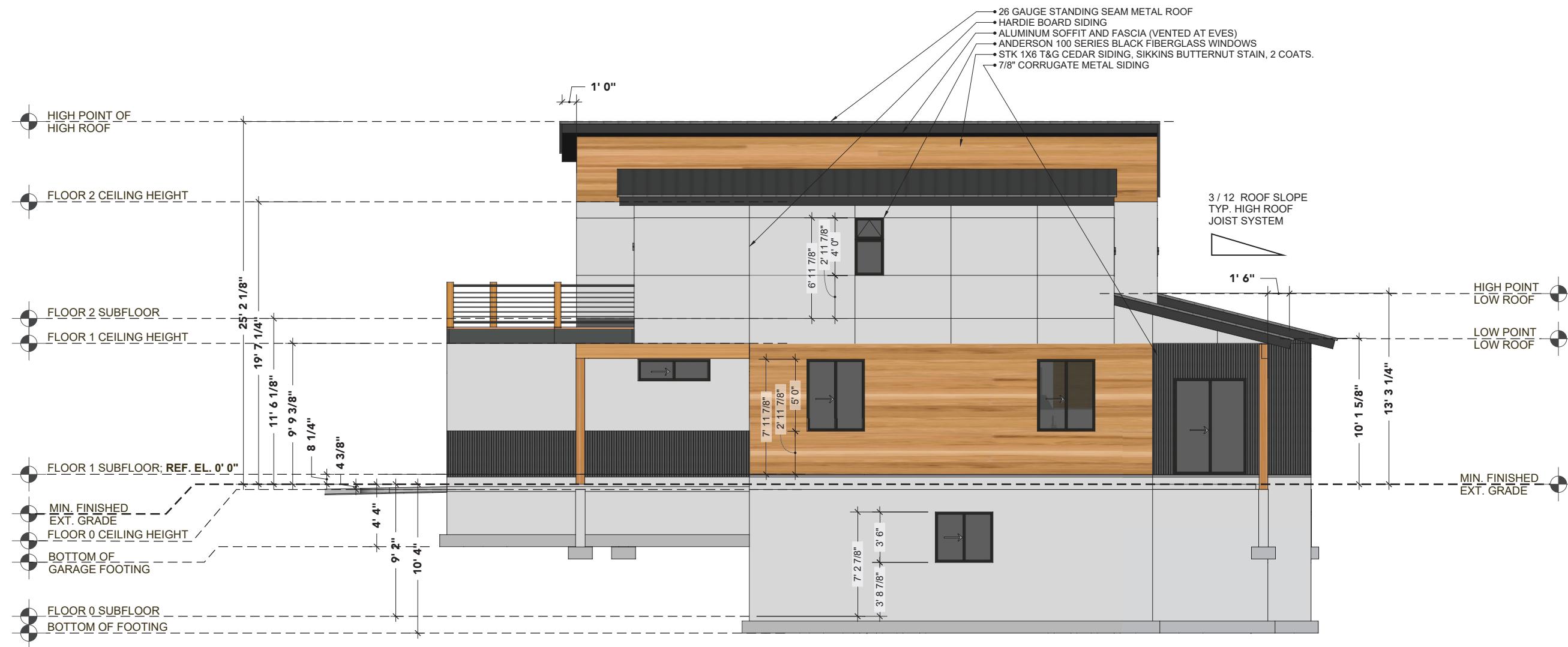
FRONT ELEVATION

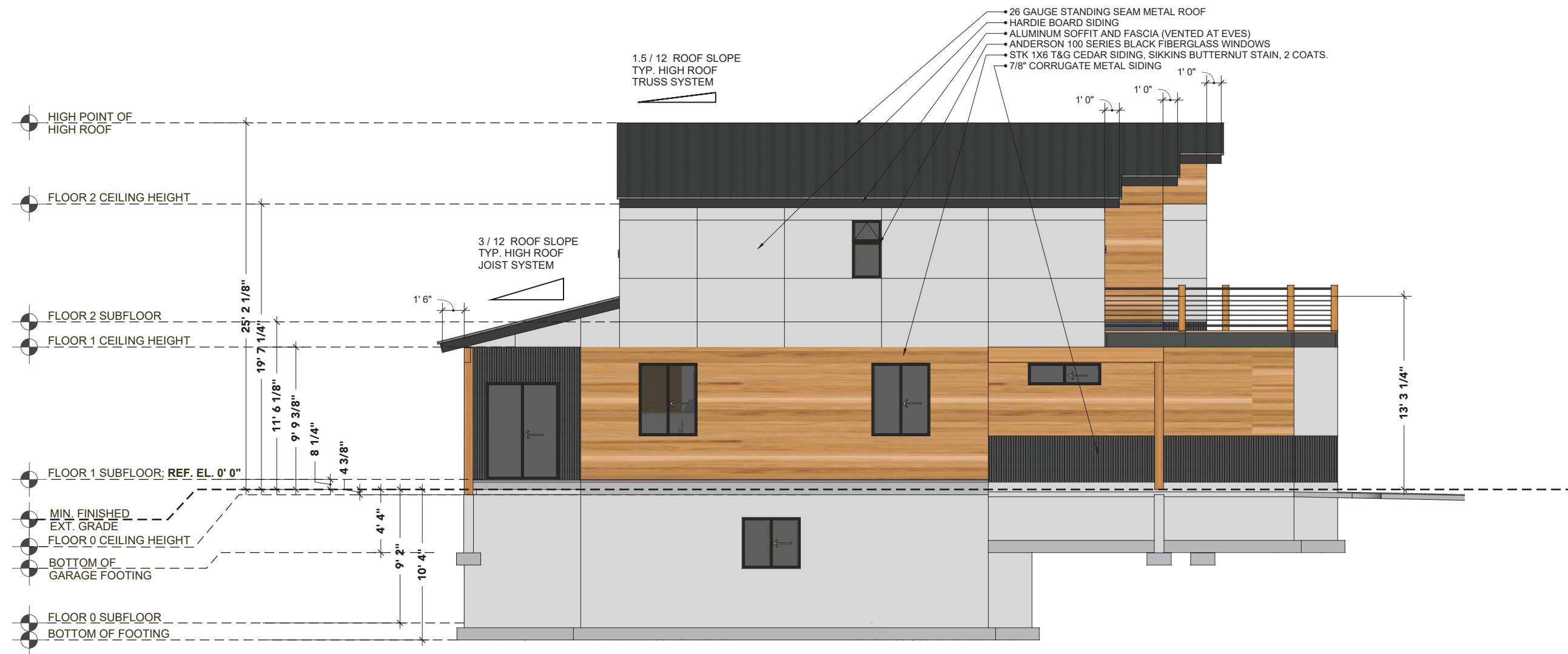
SCALE: 1/4" = 1'-0"



BACK ELEVATION

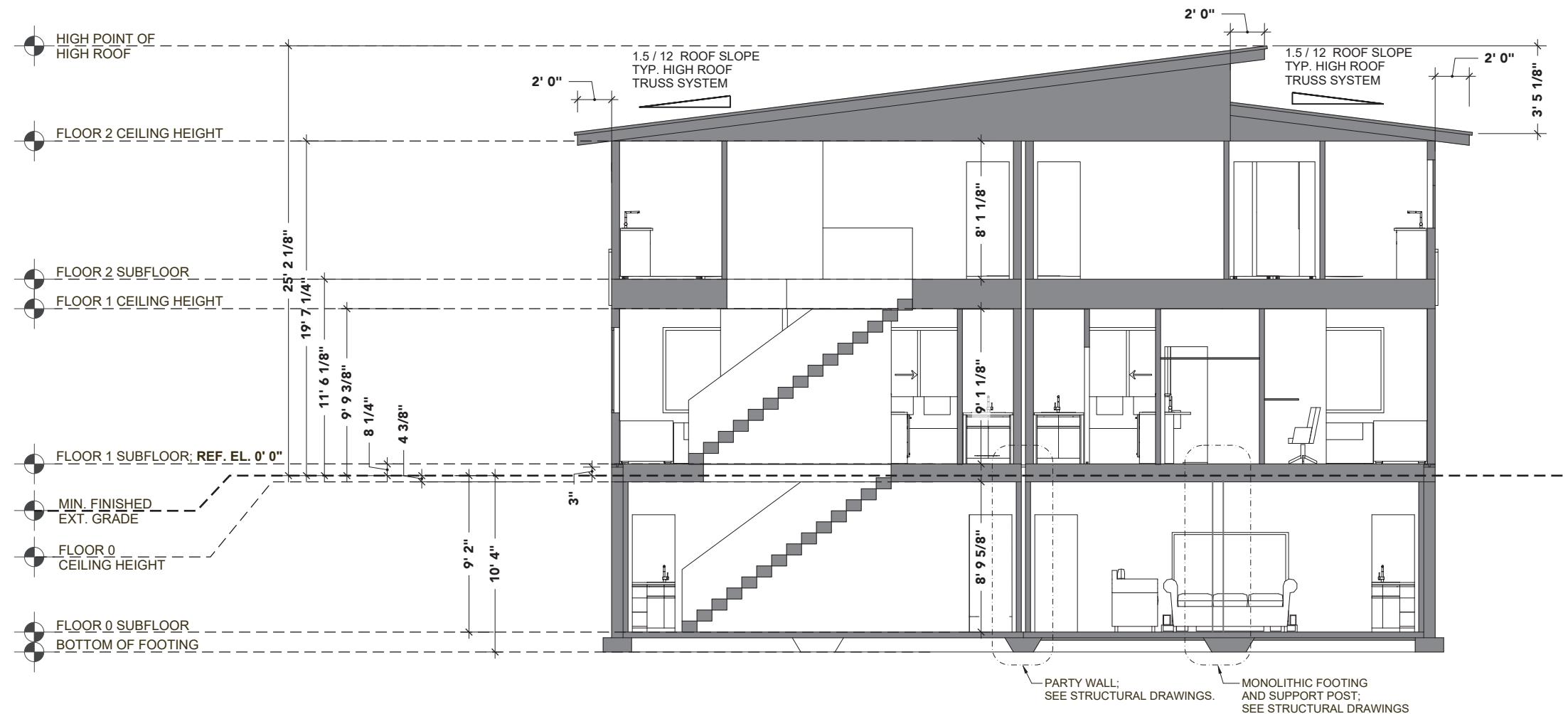
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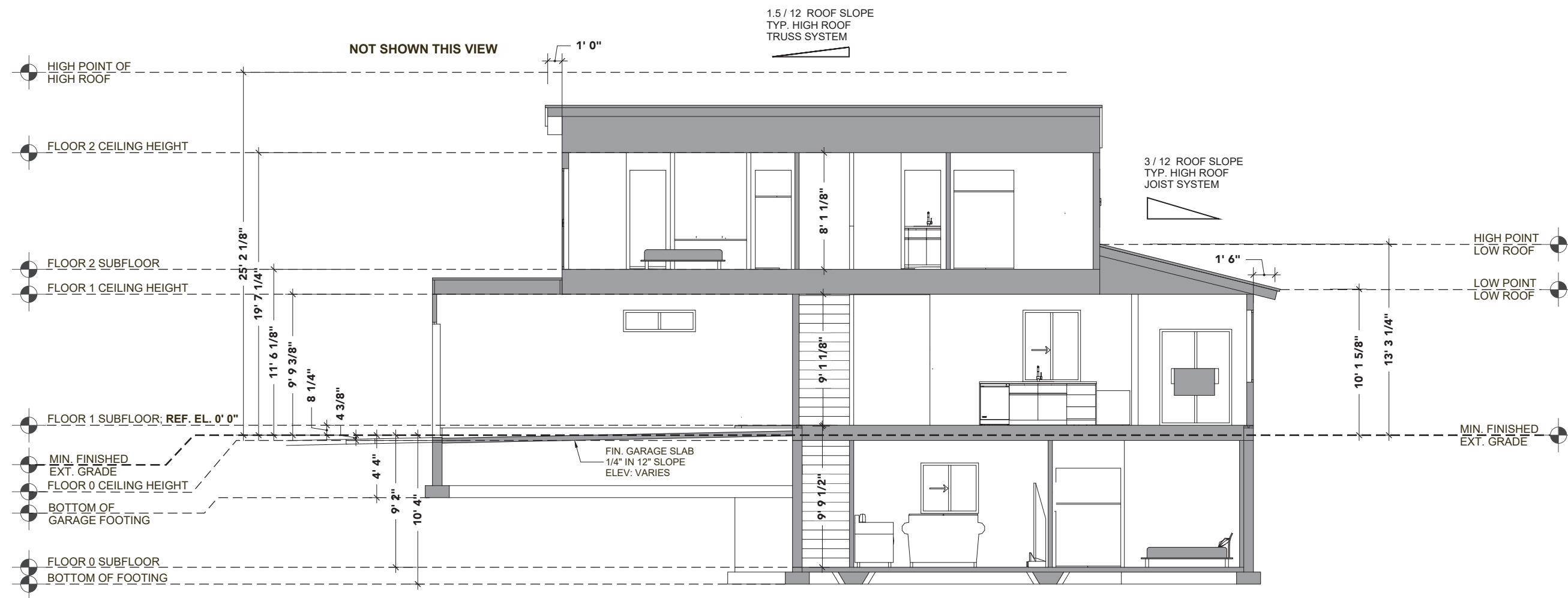
LEFT ELEVATION

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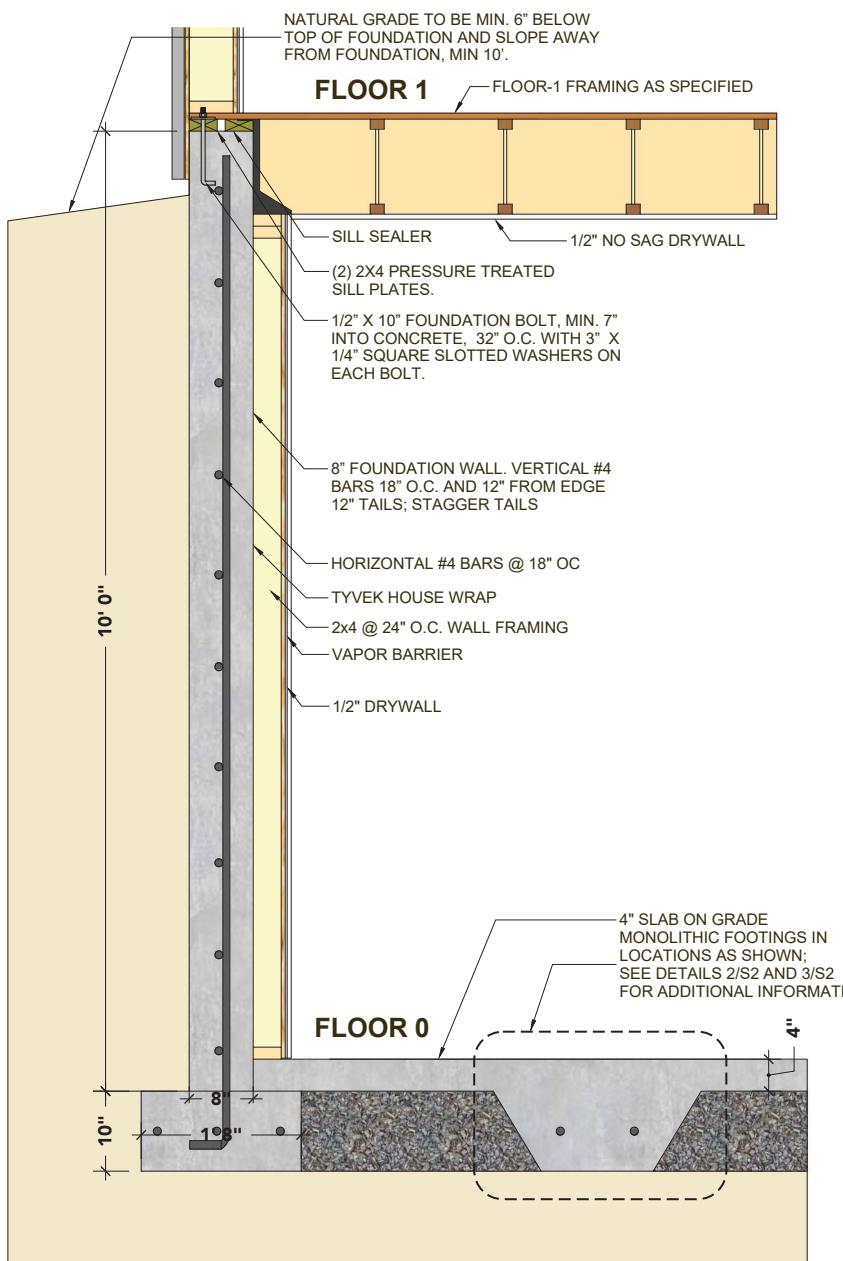
LATERAL SECTION

SCALE: 1/4" = 1'-0"



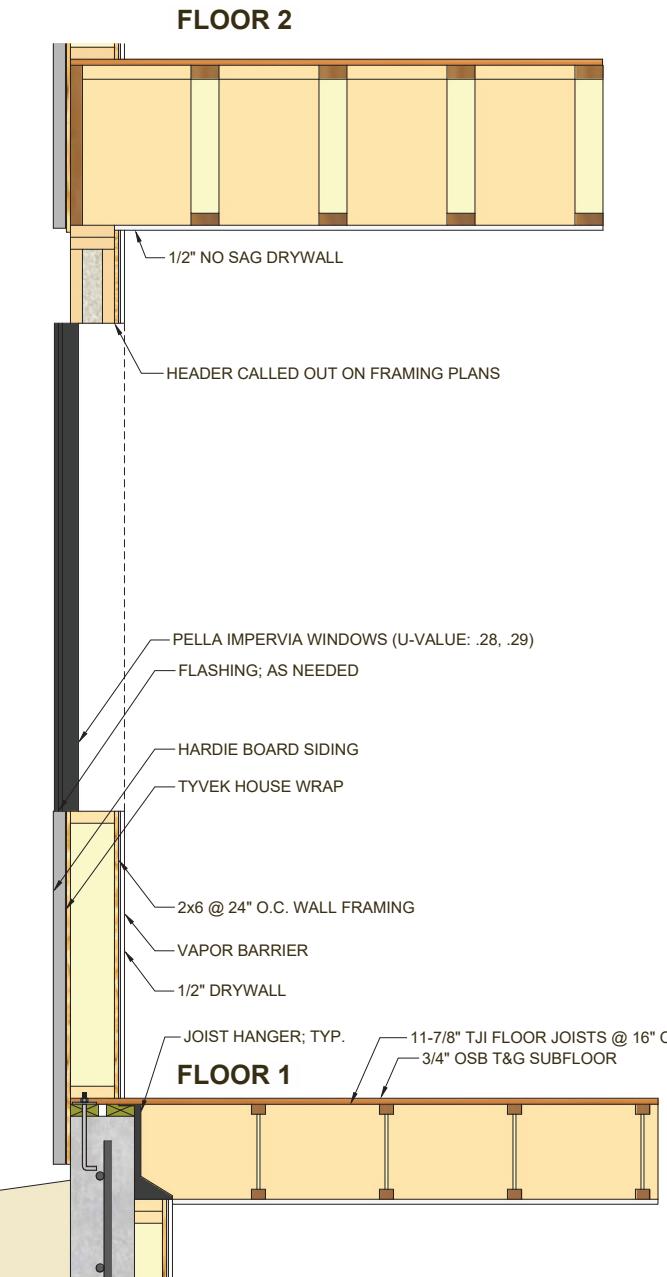
LONGITUDINAL SECTION

SCALE: 1/4" = 1'-0"



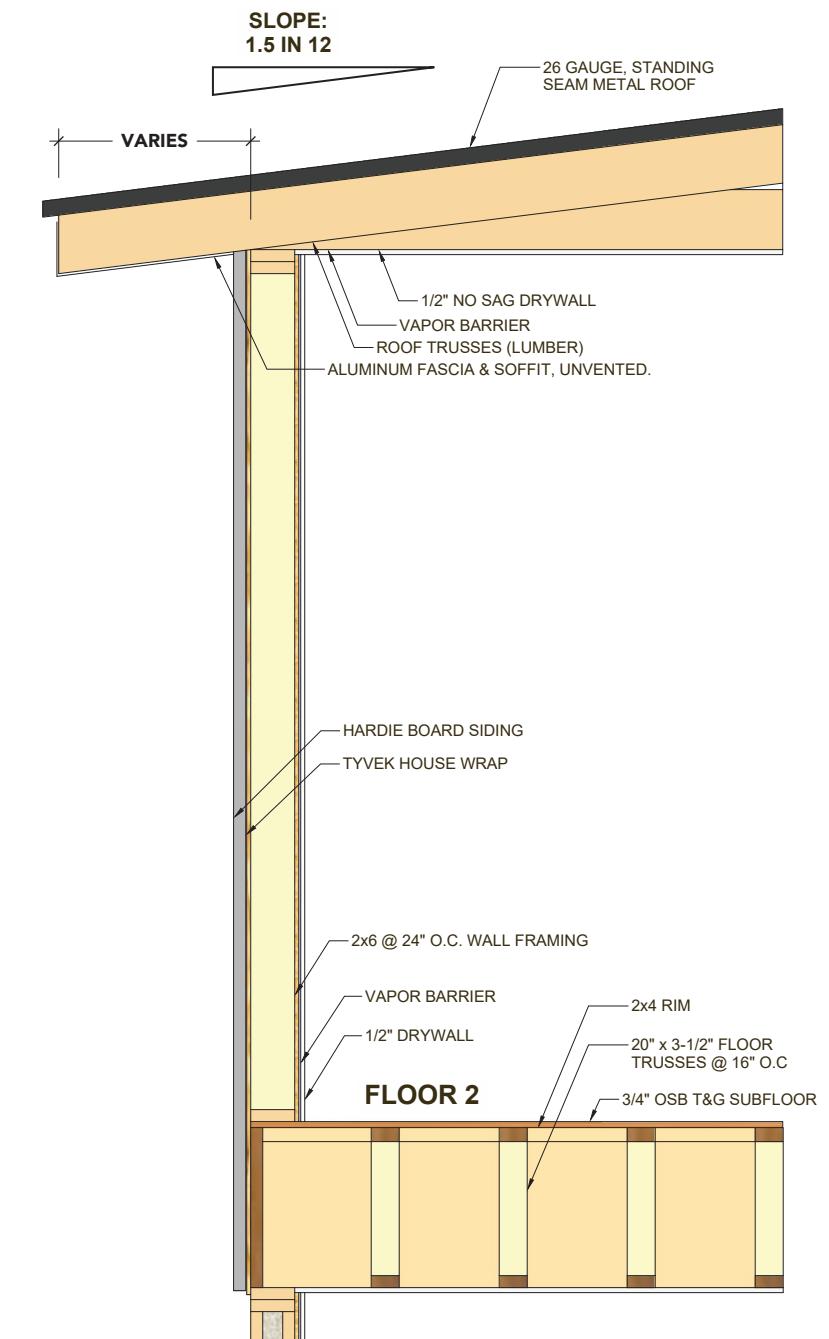
EXTERIOR WALL SECTION @ FLOOR 0

SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)



EXTERIOR WALL SECTION @ FLOOR 1

SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)

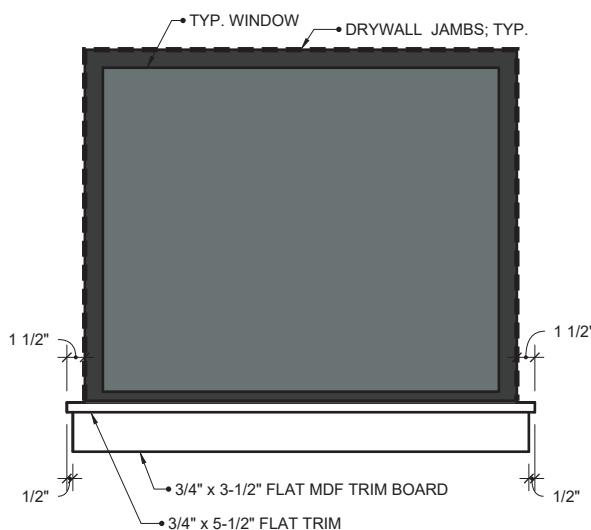


EXTERIOR WALL SECTION @ FLOOR 2

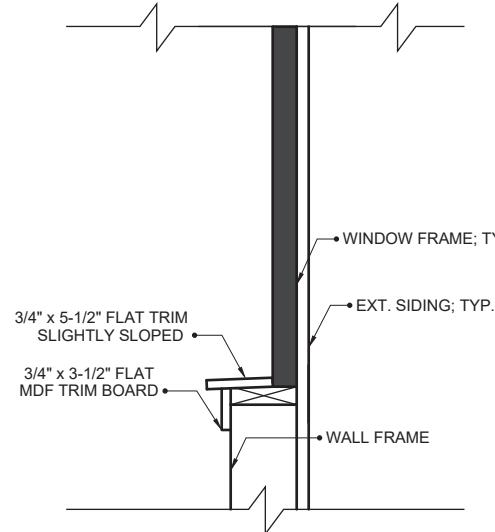
SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)

EXTERIOR SECTIONS AND DETAILS

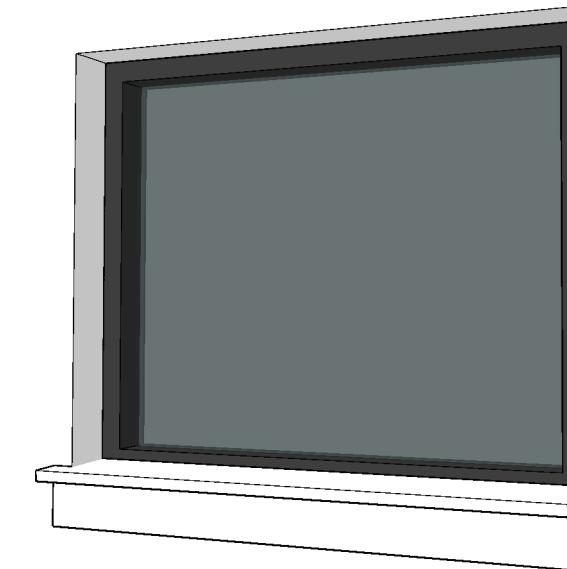
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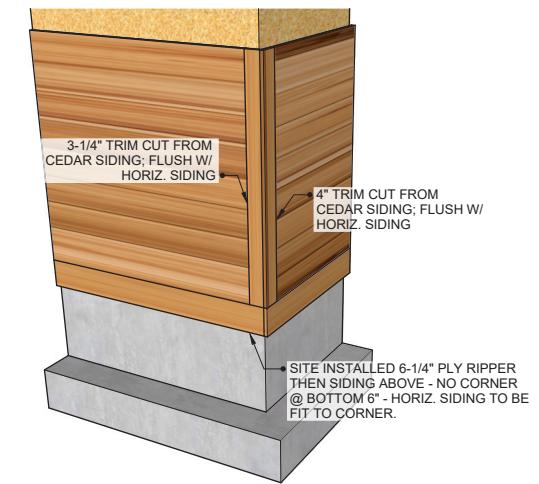
DETAIL: INTERIOR WINDOW TRIM
SCALE: NTS



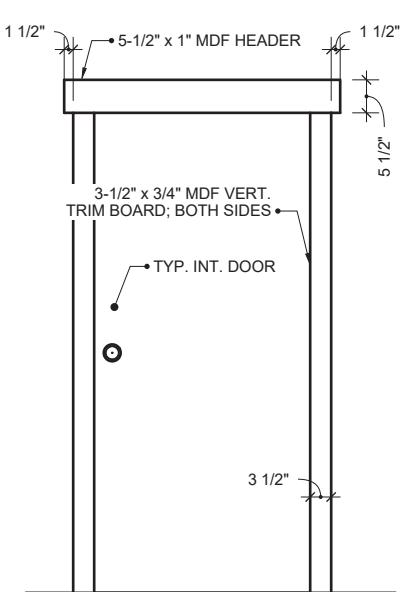
DETAIL: INTERIOR WINDOW TRIM; SIDE PROFILE
SCALE: NTS



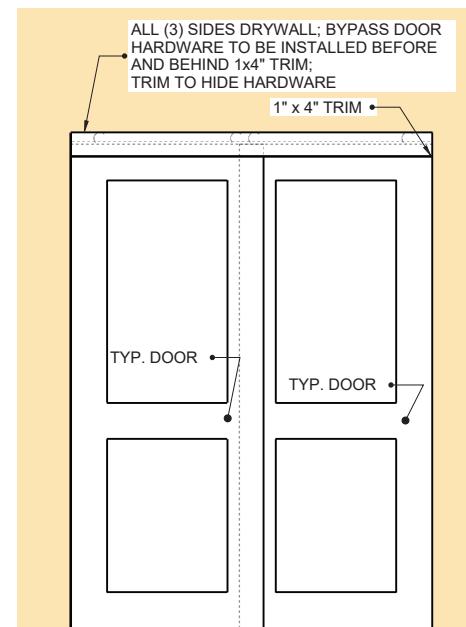
ISOMETRIC VIEW: INTERIOR WINDOW TRIM
SCALE: NTS



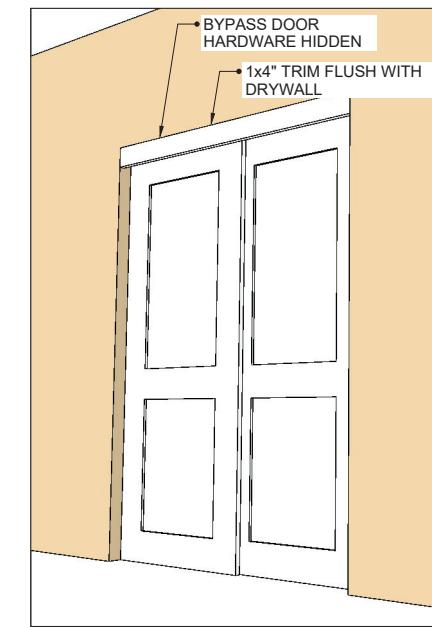
DETAIL: CORNER CONN.
@ WOOD SIDING
SCALE: NTS



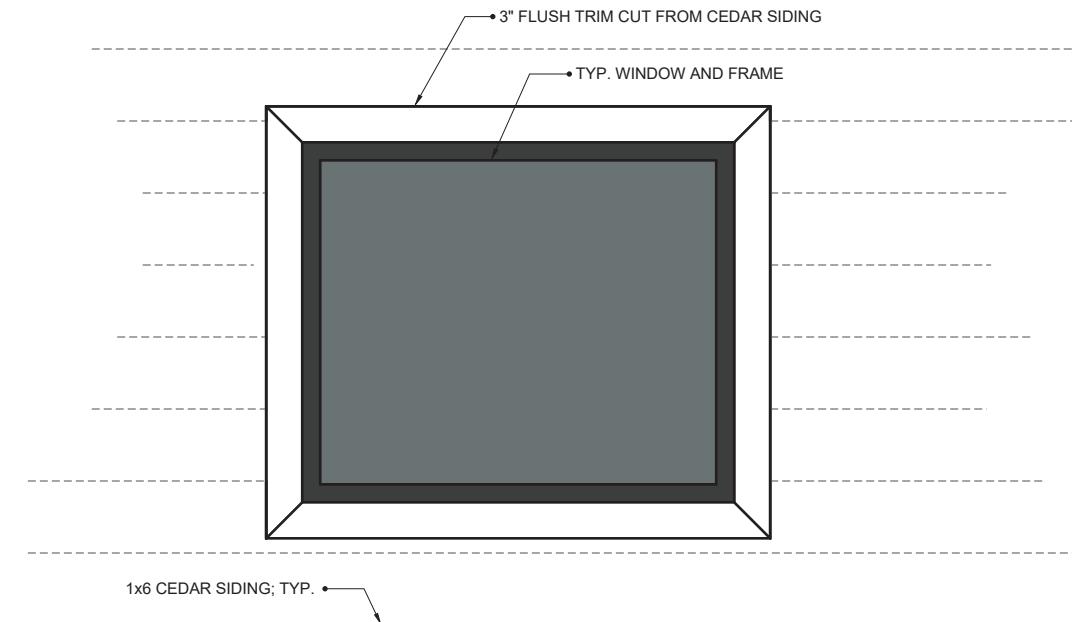
DETAIL: INTERIOR DOOR TRIM
SCALE: NTS



DETAIL: BYPASS DOOR TRIM
SCALE: NTS

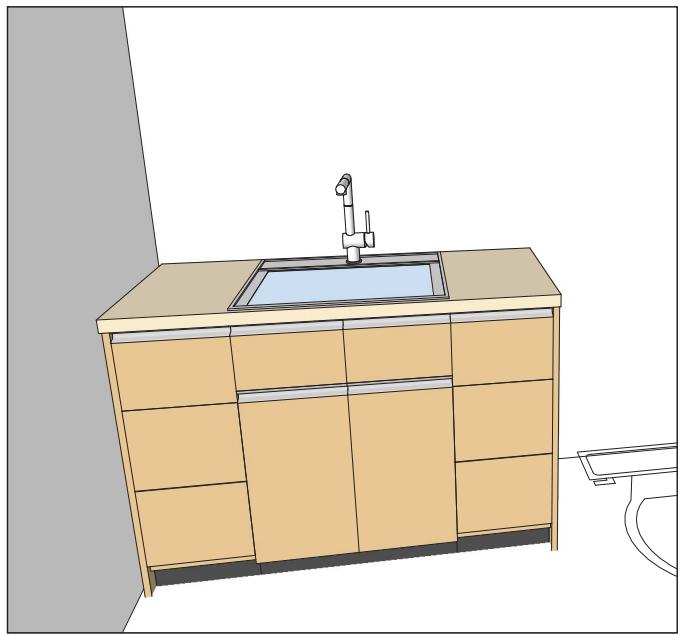


ISOMETRIC VIEW: BYPASS DOOR TRIM
SCALE: NTS

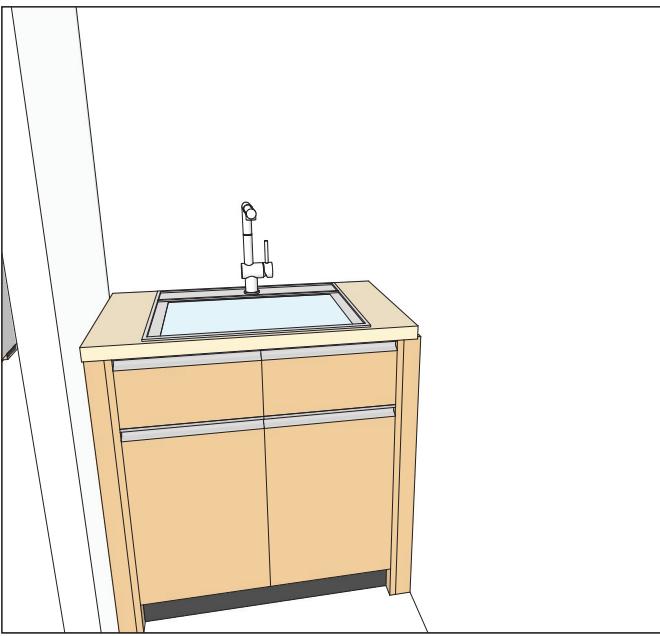


DETAIL: EXTERIOR WINDOW
SCALE: NTS

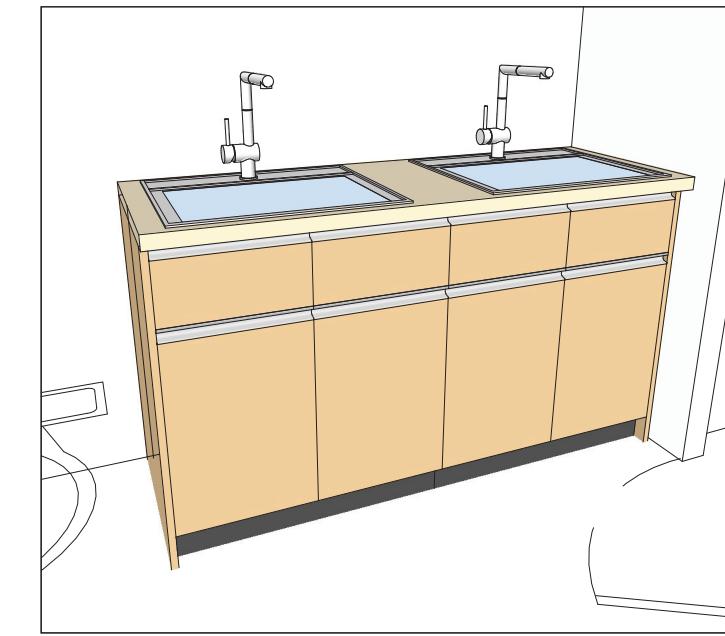
TYPICAL FACTORY AND INSTALLATION DETAILS



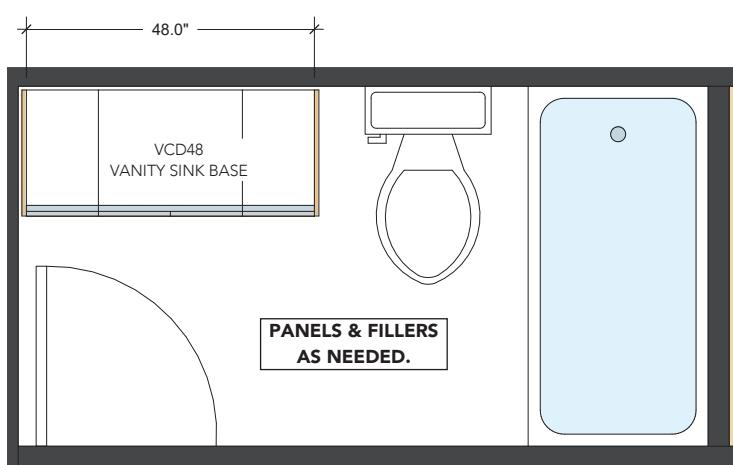
PERSPECTIVE VIEW: BATHROOM #1 AND #5
SCALE: NTS



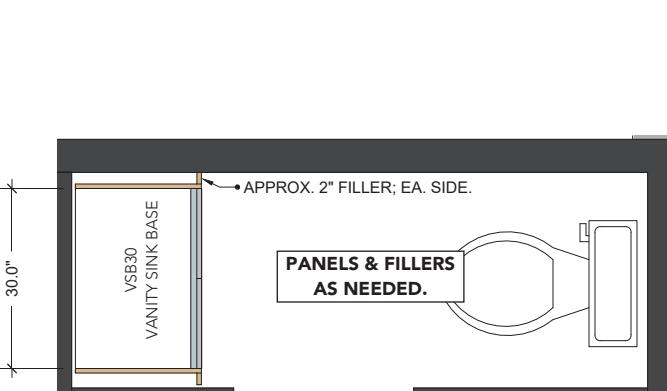
PERSPECTIVE VIEW: BATHROOM #2 AND #6
SCALE: NTS



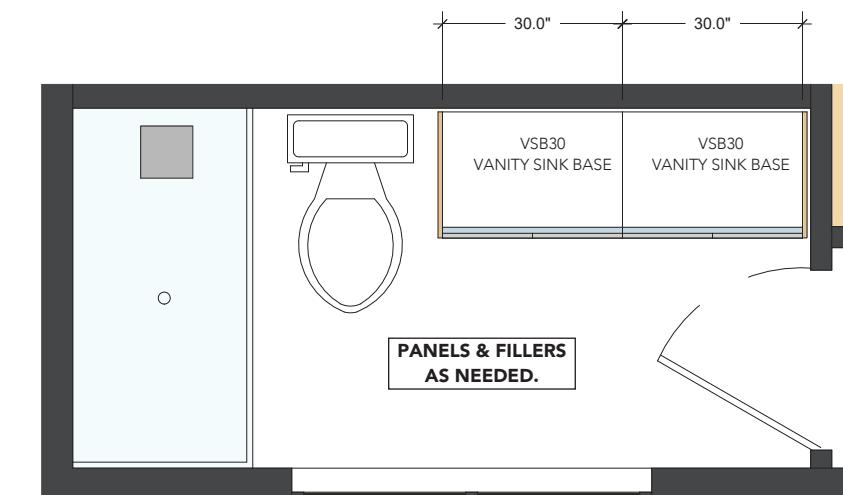
PERSPECTIVE VIEW: BATHROOMS #3, 4, 7 AND 8
SCALE: NTS



PLAN: BATHROOM #1 AND #5
SCALE: 3/4" = 1' 0"



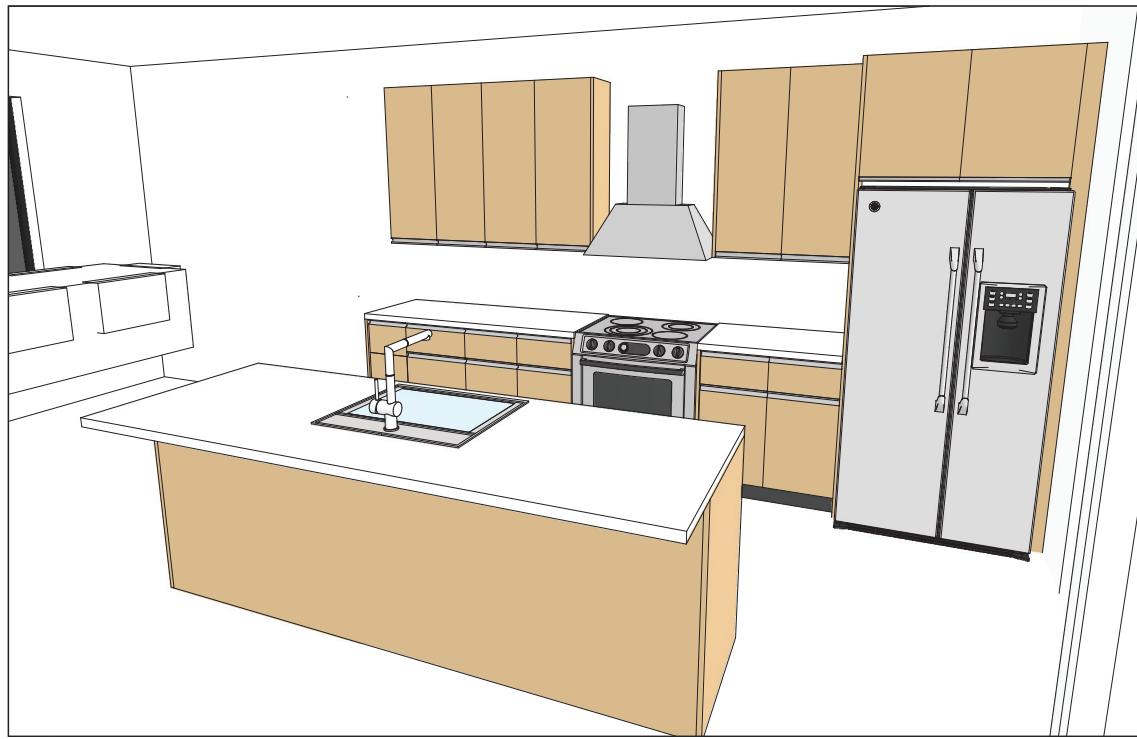
PLAN: BATHROOM #2 AND #6
SCALE: 3/4" = 1' 0"



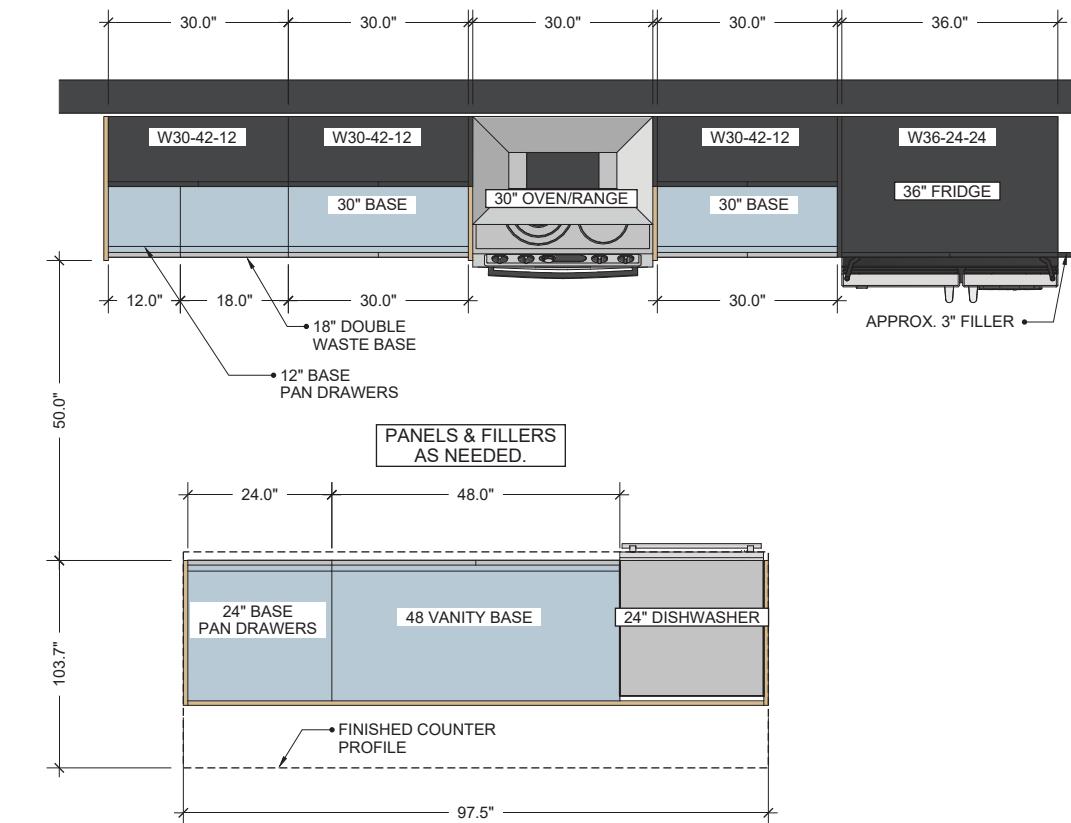
PLAN: BATHROOMS #3, 4, 7 AND 8
SCALE: 3/4" = 1' 0"

BATHROOM CASEWORK

SCALE: NTS



PERSPECTIVE VIEW: KITCHEN #1 AND #2
SCALE: NTS



KITCHEN CASEWORK

SCALE: NTS