



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: May 29, 2019	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located 170 Redmond Street legally known as, N 75' LOTS 12-13, BLK 1, HALL 1. For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Item #: P19-136	
Planner: Brendan Conboy Phone: 733-0440 ext. 1302 Fax: 734-3563 Email: bconboy@jacksonwy.gov	
Owner: Scott Shepherd PO Box 1333 Jackson, WY 83001 Applicant: Summit Crest Construction - Casey PO Box 3393 Jackson, WY 83001	
Please respond by: n/a	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a Pre-application Conference. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: Kudar Flats

Physical Address: 170 Redmond St

Lot, Subdivision: N 75' Lots 12-13, Blk 1, Hall 1 PIDN: 22-41-16-34-1-18-00

PROPERTY OWNER.

Name: Scott + Donna Shepherd Phone: 307 733 5881

Mailing Address: Po Box 3393 Jackson WY ZIP: 83001

E-mail: Scott@scottsrc.com

APPLICANT/AGENT.

Name, Agency: Summit Crest Construction Phone: 307 733 5881

Mailing Address: Po Box 3393 Jackson WY ZIP: 83001

E-mail: Caseyjwest@gmail.com

DESIGNATED PRIMARY CONTACT.

☐ Property Owner ☒ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
 Mailing Address: _____ ZIP: _____
 E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

<input type="checkbox"/> Physical Development Permit	This pre-application conference is:
<input type="checkbox"/> Use Permit	
<input type="checkbox"/> Development Option or Subdivision Permit	
<input type="checkbox"/> Interpretations of the LDRs	
<input type="checkbox"/> Amendments to the LDRs	
<input type="checkbox"/> Relief from the LDRs	
<input type="checkbox"/> Environmental Analysis	
	<input type="checkbox"/> Required
	<input type="checkbox"/> Optional
	<input type="checkbox"/> For an Environmental Analysis
	<input checked="" type="checkbox"/> For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide one electronic copy (via email or thumb drive), and two hard copies of the submittal packet.

Have you attached the following?

- ☒ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.
- ☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.
- ☒ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:
 - ☒ Existing property conditions (buildings, uses, natural resources, etc)
 - ☒ Character and magnitude of proposed physical development or use
 - ☒ Intended development options or subdivision proposal (if applicable)
 - ☒ ~~NA~~ Proposed amendments to the LDRs (if applicable)
- ☒ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 - ☒ Property boundaries
 - ☒ Existing and proposed physical development and the location of any uses not requiring physical development
 - ☒ Proposed parcel or lot lines (if applicable)
 - ☒ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference
- ☒ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.
- ☒ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Name Printed

Casey West

Date

Title

5/29/17

Project Manager

LETTER OF AUTHORIZATION

Scott & Donna Shepherd, "Owner" whose address is: _____

170 Redmond Jackson, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Scott & Donna Shepherd, as the owner of property
more specifically legally described as: N 75' LOTS 12-13, BLK 1, HALL 1

(If too lengthy, attach description)

HEREBY AUTHORIZES Summit Crest Construction - Casey West as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing
on behalf of a corporation, partnership, limited liability company or other entity, the
undersigned swears that this authorization is given with the appropriate approval of such
entity, if required.

OWNER:



(SIGNATURE) (SIGNATURE OF CO-OWNER)


Title:

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or
other non-individual Owner)

STATE OF Wyoming)
COUNTY OF Teton)SS.

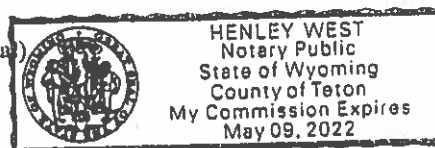
The foregoing instrument was acknowledged before me by Henley West this 22 day of
May, 2019.

WITNESS my hand and official seal.


(Notary Public)

My commission expires:

(Seal)





Summit Crest Construction
PO Box 3393 | 1055 Gregory Ln
Jackson, WY 83001
307.733.5881
assistant@scottsre.com

May 24th, 2019
Town of Jackson
Planning & Building Dept.
150 East Pearl Ave.
Jackson, WY 83001

RE: Project Narrative: Kudar Flatts Development Plan - 170 Redmond St. (P18-315)

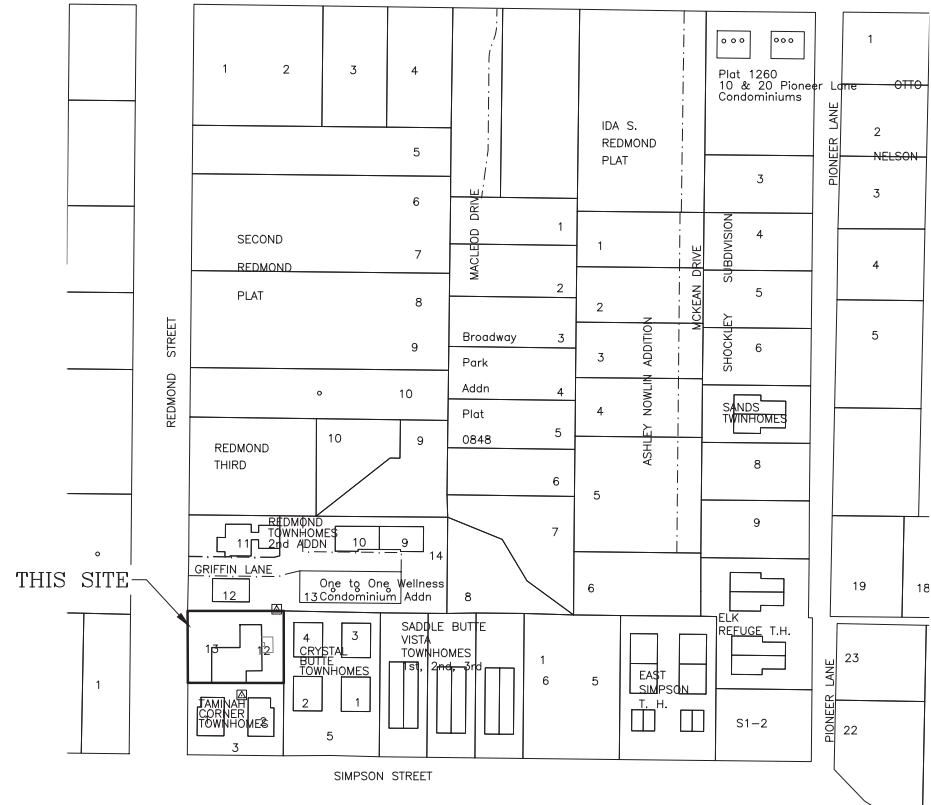
To Whom it may Concern,

Please find attached PAP conference request form and grading plan for 170 Redmond for your review. A proposed development plan has been approved by the Jackson Town Council on May 20th, 2019, and advanced to the permitting phase to include the subdivision of an existing lot and construction of two single-family attached homes along with associated utilities, driveway and grading. Construction of the new residences will require demolition of the existing residence.

If you find there to be submittal deficiencies, please don't hesitate to contact me so they can be addressed prior to review by other Town departments/entities.

Respectfully submitted,

Casey West



VICINITY MAP
pt. NW1/4NE1/4
Section 34
T41N, R116W
Town of Jackson,
Teton County, WY

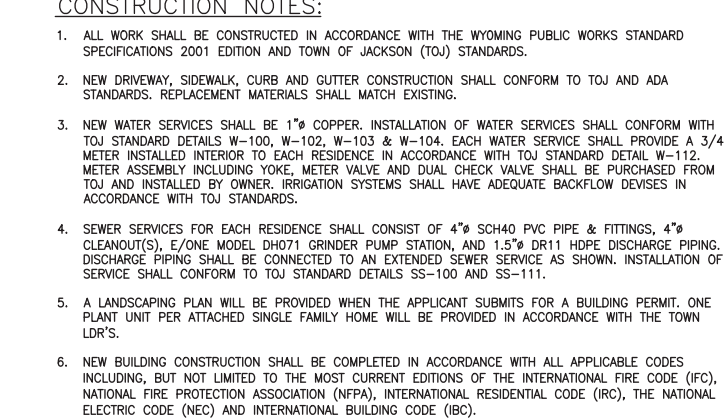
- LEGEND
- = PROPERTY LINE
 - - - = SETBACK LINE
 - x - x - = FENCE LINE
 - - - - - = EDGE OF GRAVEL
 - == = BACK OF CURB WITH FLOWLINE
 - = CENTERLINE OF ROAD
 - = CONCRETE SIDEWALK
 - = ASPEN TREE
 - = COTTONWOOD TREE
 - = DECIDUOUS TREE
 - = SIGN
 - = CLEAN OUT
 - = POWER POLE
 - ⊙ = POWER PANEL
 - ⊙ = TELEPHONE PEDESTAL
 - ◇ = FOUND REBAR WITH CAP
 - = FOUND PIPE

LOT 12 AND LOT 13
7503 SF

SETBACKS:
20 STREET
10 SIDE
15 REAR

EXISTING SITE PLAN
LOT 12 AND LOT 13
JOHN D. HALL PLAT NO. 131
TOWN OF JACKSON
T41N, R116W
TETON COUNTY, WY

DRAWING NO	JOB TITLE	DRAWING TITLE	REV.				
			DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED
EX-1	KUDAR FLATS (SINGLE FAMILY ATTACHED)	EXISTING SITE	2-14-18	NE	jk	jk	jk
18-372-02	JACKSON, WYOMING						

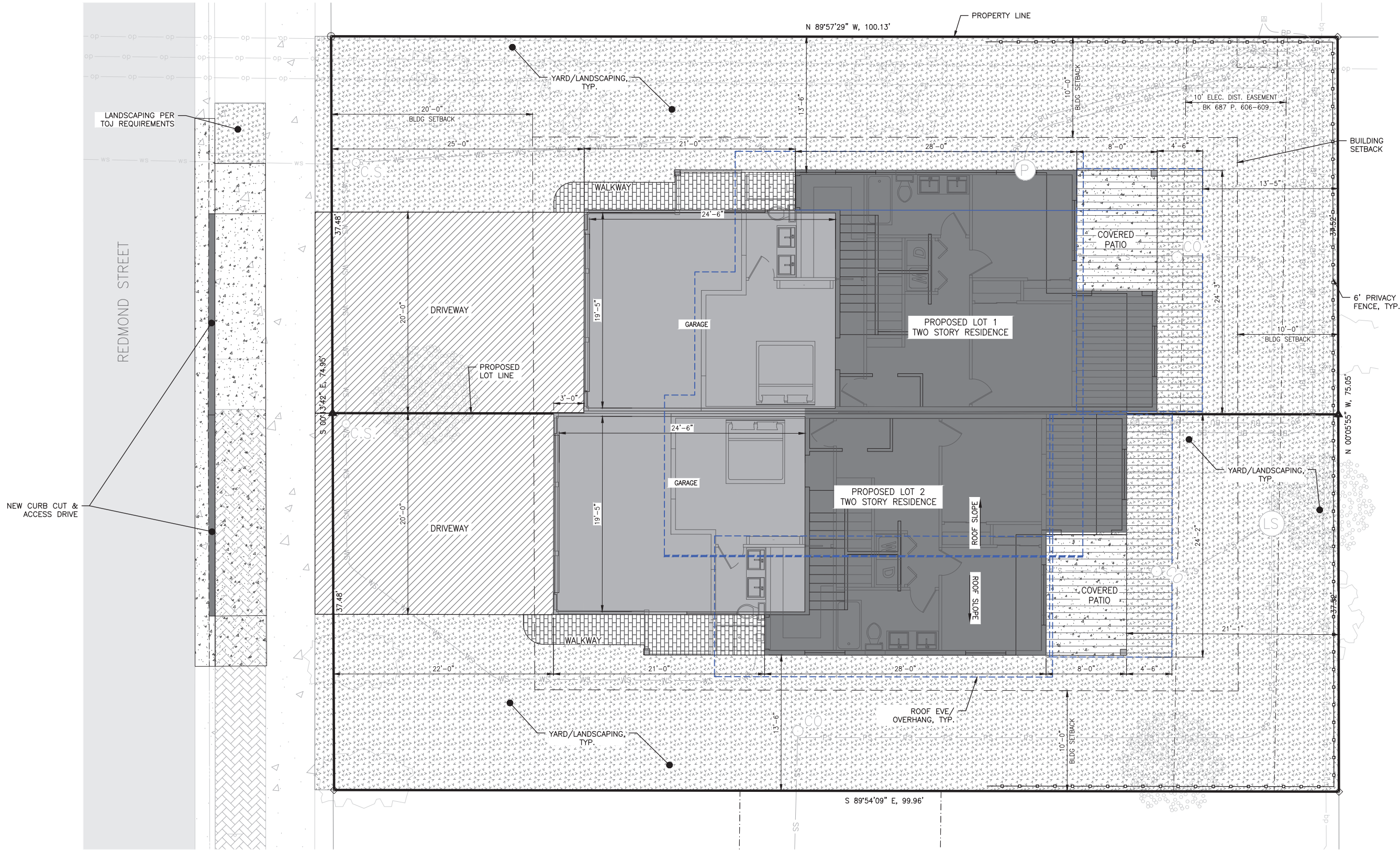


Development Calculations. Please complete for each structure or use.				
	LDR Standard	Existing	Proposed	Gross
Number of units or density	1 Unit/Lot	N/A - Demo	1 Unit/Lot	N/A
Floor area, sq. ft (by use if applicable)	0.4 x 3753	N/A - Demo	1499	N/A
FAR or maximum floor area	1501	N/A - Demo	1499	N/A
Site Development, sq. ft	1876.5	N/A - Demo	1875	N/A
Landscape Surface Ratio	0.50	N/A - Demo	0.50	N/A
Setbacks				
Front or street yard, ft	20	N/A - Demo	25	N/A
Rear yard, ft	10	N/A - Demo	20.16	N/A
Side yard, ft	10	N/A - Demo	13.5	N/A
Side yard, ft	0 (attached)	N/A - Demo	0 (attached)	N/A
Height, ridge to nearest finish grade (ft)	26' for < 3/12 roof	N/A - Demo	25.34	N/A

Development Calculations. Please complete for each structure or use.				
	LDR Standard	Existing	Proposed	Gross
Number of units or density	1 Unit/Lot	N/A - Demo	1 Unit/Lot	N/A
Floor area, sq. ft. (by use if applicable)	0.4 x 3750	N/A - Demo	1499	N/A
FAR or maximum floor area	1500	N/A - Demo	1499	N/A
Site Development, sq. ft	1875	N/A - Demo	1808	N/A
Landscape Surface Ratio	0.50	N/A - Demo	0.52	N/A
Setbacks				
Front or street yard, ft	20	N/A - Demo	25	N/A
Rear yard, ft	10	N/A - Demo	23.25	N/A
Side yard, ft	10	N/A - Demo	13.5	N/A
Side yard, ft	0 (attached)	N/A - Demo	0 (attached)	N/A
Height, ridge to nearest finish grade (ft)	26' for < 3/12 roof	N/A - Demo	25.34	N/A

APPLICANT: SCOTT SHEPHERD
PHONE: 307-733-5881
EMAIL: scott@scottsre.com

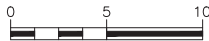
S:\Proj\2018\372-02 070 Redmond - Submt Crest Const. - Civil Services\4 Drawings\GULFIP - Site Plan.dwg SITE DIMENSIONS - Feb 14 2019 08:29:02 pm PLotted by MapInfo Inc. BAC FORMAT 210



NOTES:

1. SEE SHEET DP-1 FOR LEGEND AND UTILITY REQUIREMENTS.

170 REDMOND ST. - SITE DIMENSIONS



DEVELOPMENT PLAN

APPLICANT: SCOTT SHEPHERD
PHONE: 307-733-5881
EMAIL: scott@scottssre.com

DRAWING NO	JOB TITLE	DRAWING TITLE	DATE					REV.
			2-14-18	SURVEYED	ENGINEERED	DRAWN	CHECKED	
DP-2	KUDAR FLATS (SINGLE FAMILY ATTACHED)	SITE DIMENSIONS	NE	jk	jk	jk	jk	
JOB NO	18-372-02	JACKSON, WYOMING						

DESIGN INFORMATION:	
OCCUPANCY	RESIDENTIAL
BUILDING CATEGORY	SINGLE FAMILY ATTACHED
LOWER LEVEL FINISHED SQ FT	1,174
MAIN LEVEL FINISHED SQ FT	1,310
MAIN LEVEL DECKS OR PATIOS SQ FT	192
UPPER LEVEL FINISHED SQ FT	1,620
UPPER LEVEL DECKS OR PATIOS SQ FT	484
GARAGE SQ FT	868
TOTAL BUILDING SQ FT	4,104

APPLICABLE CODES:	
NATIONAL	2012 INTERNATIONAL RESIDENTIAL CODE
MECHANICAL	2015 INTERNATIONAL MECHANICAL CODE
PLUMBING	2015 INTERNATIONAL PLUMBING CODE
ELECTRICAL	2014 NATIONAL ELECTRICAL CODE - NFPA 70
ENERGY	2012 INTERNATIONAL ENERGY CONSERVATION CODE

DESIGN CRITERIA:	
SOIL - BEARING PRESSURE	3,500 PSF (BEARING) 900PSF (SKIN FRICTION)
WIND SPEED	90 MPH PER 3 SEC. GUST
SEISMIC - DESIGN CATEGORY	D
ROOF - DEAD LOAD	15 PSF
ROOF - SNOW LOAD	75 PSF
FLOOR - DEAD LOAD	15 PSF
FLOOR - LIVE LOAD	40 / 30 PSF
FROST DEPTH	34"

PREFAB HOME MANUFACTURER:	
NAME	TIMBERHAWK INC. DBA ZIP KIT HOMES
PHONE	(435) 340-1171
EMAIL	sales@zipkithomes.com
WEBSITE	www.zipkithomes.com
PLANT LOCATION	5547 SOUTH 5TH AVENUE POCATELLO ID 83204

DEFERRED SUBMITTALS

SHEET INDEX	
SHEET	TITLE
COVER	COVER SHEET
A-1	PROJECT INFORMATION
A-2	GENERAL INFORMATION
A-3	ENERGY CODE INFORMATION
A-4	SITE PLAN
A-5	EXTERIOR PERSPECTIVE VIEWS
A-6	LOWER LEVEL FLOOR PLAN
A-7	MAIN LEVEL FLOOR PLAN
A-8	UPPER LEVEL FLOOR PLAN
A-9	WINDOW & DOOR SCHEDULES - LOWER LEVEL FLOOR
A-10	WINDOW & DOOR SCHEDULES - MAIN LEVEL FLOOR
A-11	WINDOW & DOOR SCHEDULES - UPPER LEVEL FLOOR
A-12	EXTERIOR ELEVATIONS - FRONT
A-13	EXTERIOR ELEVATIONS - BACK
A-14	EXTERIOR ELEVATIONS - RIGHT
A-15	EXTERIOR ELEVATIONS - LEFT
A-16	CROSS SECTIONS - LATERAL
A-17	CROSS SECTIONS - LONGITUDINAL
A-18	EXTERIOR SECTIONS AND DETAILS
A-19	TYP. FACTORY AND INSTALATION DETAILS
A-20	KITCHEN AND BATH CASEWORK
A-21	KITCHEN AND BATH CASEWORK
M-1	HVAC GENERAL NOTES, LEGENDS, AND SCHEDULES
M-2	HVAC PLANS
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P-2	LOWER LEVEL PLUMBING PLANS
P-3	UPPER LEVEL PLUMBING PLANS
P-4	PLUMBING RISER DIAGRAMS
E-1	ELECTRICAL GENERAL NOTES, LEGENDS, AND SCHEDULES
E-2	ELECTRICAL POWER WIRING PLANS
E-3	ELECTRICAL LIGHTING WIRING PLANS

GENERAL CONSTRUCTION NOTES

1.

EGRESS WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20", THE MINIMUM CLEAR HEIGHT SHALL BE 24". THE SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. ALL MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS.
2.

PROPER WORKING CLEARANCES MUST BE PROVIDED AND MAINTAINED ABOUT ALL ELECTRICAL EQUIPMENT.
3.

FURNACE COMPARTMENT CLEARANCES AND DOOR TO BE PER MANUFACTURER'S SPECIFICATIONS.
4.

ALL BATHS TO BE PROVIDED WITH MINIMUM 50 CFM EXHAUST FANS VENTED DIRECTLY TO THE OUTSIDE.
5.

ALL VENTING TO BE VENTED TO THE EXTERIOR OF THE HOME.
6.

ENCLOSED ATTICS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" MINIMUM TO 1/4" MAXIMUM OPENINGS. THE TOTAL NET FREE VENTILATION ARE SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1 TO 300 WHEN A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.
7.

ALL LOCKS TO BE UNLOCKABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY.
8.

SERVICE DISCONNECTS TO BE LOCATED AT THE POINT OF SERVICE ENTRANCE.
9.

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS OR EQUAL.
10.

IF A GARAGE IS BUILT ONSITE, THE GARAGE SHALL BE COMPLETELY SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY MEANS OF 5/8" TYPE X SHEET ROCK OR EQUIVALENT APPLIED TO THE GARAGE SIDE. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BETWEEN WALL AND CELLING AND BETWEEN WALL AND FLOOR CAVITIES. FIRE STOPPING SHALL CONSIST OF 2" NOMINAL LUMBER OR TWO THICKNESS' OF 1" NOMINAL LUMBER OR 23/32" PLYWOOD OR 3/4" PARTICLE BOARD. AN EQUIVALENT MATERIAL MUST BACK ALL JOINTS. ALL WALL AND CELLING FINISHES MUST HAVE A FLAME SPREAD CLASSIFICATION OF LESS THAN 200. THE SMOKE DENSITY SHALL NOT BE GREATER THAN 450.
11.

ALL LIVABLE ROOMS MUST BE PROVIDED WITH NATURAL LIGHT EQUAL TO 8 PERCENT OF GROSS FLOOR AREA. THOSE ROOMS SHALL ALSO BE PROVIDED NATURAL VENTILATION EQUAL TO 4 PERCENT OF GROSS FLOOR AREA. BATHROOMS MAY BE PROVIDED WITH MECHANICAL VENTILATION, WHICH HAS A RATE OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. VENTILATION AIR IS TO BE EXHAUSTED DIRECTLY TO THE OUTSIDE.
12.

DESIGN AND CONSTRUCTION OF THE FOUNDATION, PORCHES, DECKS, GARAGES OR OTHER AUXILIARY STRUCTURE SHALL BE THE RESPONSIBILITY OF OTHERS AND SUBJECT TO APPROVAL BY THE APPLICABLE BUILDING INSPECTOR.
13.

ALL WINDOWS SHALL BE CERTIFIED FOR WIND PRESSURES OF 42.0 PSF AT END ZONES £ 34.0 PSF AT INTERIOR ZONES CORRESPONDING TO 120 MPH (3 SEC. GUSTS).
14.

ALL DOORS, INCLUDING PATIO AND SLIDING GLASS DOORS, SHALL BE CERTIFIED FOR WIND PRESSURES OF -42.0 PSF (+31.5 PSF) FOR END ZONES AND -34.0 PSF (+31.5 PSF) FOR INTERIOR ZONES CORRESPONDING TO 120 MPH WIND (3 SEC. GUSTS).
15.

WIND DESIGN BASED ON A 15-FOOT MEAN ROOF HEIGHT.
16.

FOR HOMES LOCATED IN WIND-BORNE DEBRIS REGIONS (120 MPH – 3 SEC. GUSTS OR WITHIN 1 MILE OF COASTAL AREAS WHERE WIND SPEED IS 110 MPH OR GREATER) WINDOWS MUST BE PROVIDED WITH PROTECTION CONSISTING OF 7/16" RATED SHEATHING PANELS TO COVER THE OPENING AND #8x2 1/2" SCREWS TO BE SPACED AT 16" OC AROUND OPENINGS LESS THAN 4' WIDE, 12" OC FOR OPENINGS LESS THAN 6' WIDE AND 9" OC FOR OPENINGS LESS THAN 8' WIDE.
17.

FOUNDATION AND ANCHORAGE OF UNIT TO FOUNDATION MUST BE CAPABLE OF WITHSTANDING 230#/FT. VERTICAL UPLIFT LOAD ALONG EACH SIDEWALL AND 332# COMBINED SLIDING LOAD.

A PERMANENT CERTIFICATE

- SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING /ROOF, WALLS, FOUNDATION, (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND /OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES; U-FACTORS OF WINDOWS, AND THE SOLAR HEAT GAIN COEFFICIENT OF WINDOWS. THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. ---IRC N1101.9

INSPECTIONS ARE REQUIRED:

- FOR ALL STUCCO AND EIFS SYSTEMS. PROVIDE PRODUCT SPECIFICATIONS AND ICC EVALUATION REPORT (OR EQUAL) FOR ANY STUCCO OR EIFS SYSTEM USED. -IRC R109.1.5

BASEMENT NOTES:

- SHOW THAT EGRESS WINDOW WELLS ARE PROVIDED FOR BASEMENT EGRESS WINDOWS AND SUCH WINDOW WELLS SHALL PROVIDE A MINIMUM NET CLEAR OPENING OF 9 SQ FT WITH A MINIMUM DIMENSION OF 36 INCHES. SHOW A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44 INCHES DEEP. -IRC R31 0.2

GENERAL BUILDING NOTES

1.

BUILDING SHALL BE LOCATED WITHIN SETBACKS REQUIRED FROM KNOWN OR ASSUMED PROPERTY LINES AS PER LOCAL BUILDING AND ZONING DEPARTMENT REQUIREMENTS.
2.

BUILDING TO BE INSTALLED ON A PERMANENT FOUNDATION.
3.

BUILDING IS NOT DESIGNED FOR OR APPROVED FOR "WILDLAND-URBAN INTERFACE FIRE AREA".
4.

BUILDING NOT TO BE INSTALLED WHERE SNOW, WIND OR SEISMIC CRITERIA EXCEEDS THOSE LISTED IN THE DESIGN CRITERIA OF THIS HOME.
5.

BUILDING NOT TO BE INSTALLED IN A FLOOD PRONE ZONE.
6.

ALL MANUFACTUERES' SPECIFICATIONS SHALL BE MET WHEN THEIR MATERIALS ARE USED.
7.

ON-SITE CONTRACTOR SHALL COMPARE ALL DIMENSIONS AND CONDITIONS OF DRAWINGS AT THE SITE.
8.

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS OR PECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE MODULAR HOME MANUFACTURE AND DESIGNER BEFORE PROCEEDING.
9.

IT SHALL BE THE RESPONSIBILITY OF THE ONSITE CONTRACTOR TO COORDINATE WITH ALL TRADES ON ANY ITEMS THAT ARE TO BE INTEGRATED INTO THE STRUCTURAL SYSTEM THAT ARE NOT INDICATED ON THE DRAWINGS.
10.

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OR SHOWN OTHERWISE.
11.

ONSITE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS TO MATCH DETAILS ON THE DRAWINGS.
12.

ONSITE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION AROUND THE JOBSITE.
13.

ALL NAILING AND FASTENING TO CONFORM TO TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMEBERS OF THE 2015 IRC BUILDING CODE.
14.

BATHROOM VENT FANS TO BE DUCTED TO THE EXTERIOR, 50 CFM MINIMUM.
15.

ALL PLUMBING IS TYPICALLY STUBBED THROUGH THE FLOOR OF EACH MODULE. MATERIALS AND LABOR TO CONNECT PLUMBING BELOW THE FLOOR LEVEL TO BE PROVIDED ONSITE BY OTHERS

EARTHWORK AND FOUNDATIONS

1.

GEOTECHNICAL REPORT: PERFORM SOILS WORK COMPLYING WITH FOUNDATION DESIGN BASED ON RECOMMENDATIONS IN SOILS REPORT. SEE STRUCTURAL COVER SHEET (SCS) FOR SOILS REPORT NUMBER AND DATE.
2.

ALLOWABLE FOUNDATION DESIGN VALUES PER GEOTECHNICAL REPORT: VALUES BELOW MAY BE INCREASED 33 PERCENT FOR TRANSIENT LOADING.
3.

BEARING CAPACITY: SEE PROJECT DESIGN CRITERIA
4.

PASSIVE LATERAL BEARING PRESSURE: SEE PROJECT DESIGN CRITERIA
5.

COEFFICIENT OF FRICTION: SEE PROJECT DESIGN CRITERIA
6.

GRADING, EXCAVATIONS, BACKFILL AND COMPACTION OF BACKFILL: COMPLY WITH GEOTECHNICAL REPORT AND REQUIREMENTS OF GOVERNING CODE AUTHORITY AND PERFORMED ONLY UNDER CONTINUOUS SPECIAL INSPECTION OF GEOTECHNICAL ENGINEER.
7.

PREPARATION OF SOIL UNDER BUILDING PAD: SEE GEOTECHNICAL REPORT FOR OVER-EXCAVATION OF EXISTING SOIL AND INSTALLATION OF PROPERLY COMPACTED BACKFILL.
8.

FOUNDATION EXCAVATIONS: FOUNDATIONS ARE TO BEAR ON FIRM EXISTING SOIL OR APPROVED COMPACTED FILL AS INDICATED IN GEOTECHNICAL REPORT. EXCAVATIONS ARE TO BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL AND FORMWORK. ENSURE EXCAVATIONS ARE CLEANS, DRY AND FREE OF DEBRIS OR LOOSE SOIL. SLOPE SIDES OF EXCAVATION NOT LESS THAN MINIMUM SLOPE INDICATED IN GEOTECHNICAL REPORT. CAST CONCRETE DIRECTLY AGAINST EXCAVATED SURFACES.
9.

BACKFILLING OF RETAINING WALLS: PLACE AFTER COMPLETION AND INSPECTION OF WATERPROOFING. ADEQUATELY SHORE RETAINING WALLS DURING BACKFILL OPERATION. UNLESS ADEQUATELY SHORED, DO NOT PLACE BACKFILL BEHIND BUILDING STRUCTURE RETAINING WALLS (EXCLUDING SITE RETAINING WALLS) UNTIL CONCRETE AT ELEVATED FLOOR LEVELS ADJACENT TO WALLS ARE COMPLETELY POURED (IN AREA) AND HAVE CURED FOR AT LEAST 7 DAYS.
10.

WATER EXPOSURE AT BUILDING PERIMETER FOOTINGS: AT AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN STRUCTURE, PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AT BUILDING PERIMETER. LANDSCAPE IRRIGATION IS NOT PERMITTED WITHIN FIVE FEET OF BUILDING PERIMETER FOOTINGS EXCEPT WHEN ENCLOSED IN PROTECTED PLANTERS WITH DIRECT DRAINAGE AWAY FROM STRUCTURE OR WHICH COMPLIES WITH APPLICABLE CODE. DISCHARGE FROM DOWN SPOUTS, ROOF DRAINS AND SCUPPERS IS NOT PERMITTED ONTO UNPROTECTED SOILS WITHIN FIVE FEET OF BUILDING PERIMETER. REFER TO GEOTECHNICAL REPORT FOR COMPLETE REQUIREMENTS.

FIELD CONSTRUCTION NOTES

1.

FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. PROMPTLY NOTIFY ARCHITECT (STRUCTURAL ENGINEER) IN CASE OF DISCREPANCIES.
2.

DESIGN INTENT: CONTRACT DOCUMENTS INDICATE DESIGN INTENT FORE STRUCTURE IN ITS COMPLETED STATE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. PROMPTLY NOTIFY ARCHITECT (STRUCTURAL ENGINEER), PRIOR TO PROCEEDING WITH WORK, IF DESIGN INTENT REQUIRES FURTHER CLARIFICATION.
3.

DEVIATIONS, MODIFICATIONS, AND SUBSTITUTIONS TO APPROVED STRUCTURAL DRAWINGS: MUST BE ACCEPTED IN WRITING BY ARCHITECT (STRUCTURAL ENGINEER) AND APPROVED BY GOVERNING CODE AUTHORITY. NO DEVIATION, MODIFICATION OR SUBSTITUTION WILL BE ACCEPTED VIA SHOP DRAWING REVIEW.
4.

PROCEDURES OF CONSTRUCTION: CONTRACTOR IS RESPONSIBLE FOR PROCEDURES OF CONSTRUCTION COMPLYING WITH NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES. SITE VISITS (INCLUDING STRUCTURAL OBSERVATION) BY ARCHITECT (STRUCTURAL ENGINEER) DO NOT CONSTITUTE SUPERVISIONS OF METHODS OF CONSTRUCTION.
5.

PROTECTION OF UTILITIES: LOCATE EXISTING UTILITIES, INCLUDING THOSE NOT SHOWN ON CONTRACT DOCUMENTS, AND PROTECT THEM FROM DAMAGE. CONTRACTOR BEARS EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES IN CONJUNCTION WITH EXECUTION OF WORK.
6.

EXCAVATIONS: PROTECT STRUCTURE, ADJACENT STRUCTURES, ADJACENT PROPERTIES, STREETS, AND UTILITIES DURING EXCAVATION UTILIZING LAGGING, SHORING, UNDERPINNING AT SIDES AND RELATED PROCEDURES AS MAY BE REQUIRED. PROVIDE NECESSARY SUPPORTS FOR SOIL EXCAVATIONS. CONTRACTOR AND AFFECTED TRADES SHALL REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
7.

PROTECTION OF STRUCTURE: PROVIDE NECESSARY MEASURES TO PROTECT STRUCTURE DURING EXECUTION OF WORK.
8.

CONTRACTOR PROPOSED REVISIONS: WHERE A REVISION OF STRUCTURAL DESIGN OR CONNECTION IS PROPOSED BY CONTRACTOR TO ACCOMMODATE CONSTRUCTION TOLERANCES, CONSTRUCTION SEQUENCE AND/OR DIMENSION MODIFICATIONS, CONTRACTOR SHALL RETAIN A STRUCTURAL ENGINEER LICENSED IN APPLICABLE STATE TO PERFORM DESIGN. SUBMIT STAMPED AND SIGNED DESIGN DRAWINGS AND CALCULATIONS TO THE ARCHITECT (STRUCTURAL ENGINEER) FOR REVIEW AND THE GOVERNING CODE AUTHORITY FOR APPROVAL.
9.

ERECTION PLANS: DETERMINE PHASES OF WORK REQUIRING ERECTION PLANS ACCORDING TO APPLICABLE SAFETY REGULATIONS. MAINTAIN CERTIFIED COPIES OF ERECTION PLANS AT SITE DURING CONSTRUCTION.
10.

SHORING, BRACING, AND OTHER TEMPORARY SUPPORTS: DESIGN AND ERECT SHORING, BRACING, AND OTHER TEMPORARY SUPPORTS WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH AND AS REQUIRED FOR SAFE ERECTION. ENSURE FLOOR, ROOF, AND WALL MEMBERS ARE SECURELY SHORED AND BRACED DURING CONSTRUCTION. PROVIDE SHORING AT ELEVATED BEAMS AND SLABS SUPPORTING CONCRETE OR MASONRY WALLS DURING AND AFTER WALL POUR UNTIL WALL ATTAINS DESIGN STRENGTH.
11.

TEMPORARY LOADING: ENSURE CONSTRUCTION LOADS DO NOT EXCEED INDICATED DESIGN LIVE LOAD VALUES. NOTIFY AFFECTED SUB-CONTRACTOR TRADES OF THESE DESIGN LOAD LIMITS.
12.

FABRICATION, SHIPMENT, AND ERECTION OF STRUCTURAL STEEL: ENSURE STRESSES OCCURRING DURING FABRICATION, SHIPMENT, AND ERECTION OF STRUCTURAL STEEL ARE TEMPORARY AND ARE LESS THAN DESIGN AND ALLOWABLE STRESS CAPACITIES OF INDIVIDUAL MEMBERS. DO NOT IMPAIR FULL DESIGN AND LOAD CARRYING CAPACITY OF MEMBERS DUE TO FABRICATION, SHIPMENT, OR ERECTION. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ERECTION SEQUENCE, ERECTION PROCEDURE, TEMPERATURE DIFFERENTIALS AND WELD SHRINKAGE TO MINIMIZE RESIDUE STRESSES. PROVIDE ADDITIONAL MATERIALS FOR THE ERECTION OF STRUCTURAL STEEL SUCH AS TEMPORARY BRACING AND GUY CABLES AS MAY BE NECESSARY AT NO ADDITIONAL COST. REMOVE THESE MATERIALS UNLESS APPROVED IN WRITING BY OWNER. DO NOT TIGHTEN BOLTS IN TYPICAL BEAM TO COLUMN CONNECTIONS FOR ERECTION PURPOSES.
13.

SECURING REINFORCING STEEL, DOWELS, ANCHOR BOLTS AND EMBEDS: FIRMLY SUPPORT AND ACCURATELY PLACE COMPLYING WITH ACI STANDARDS PRIOR TO CASTING CONCRETE OR GROUT IN MASONRY WALLS. USE TIES AND SUPPORT BARS IN ADDITION TO REINFORCING STEEL SHOWN WHERE NECESSARY. NO WELDING OF REINFORCING STEEL, INCLUDING TACK WELDING, IS PERMITTED UNLESS OTHERWISE ACCEPTED IN WRITING BY ARCHITECT (STRUCTURAL ENGINEER). PROVIDE PLASTIC OR PLASTIC COATED CHAIRS AND SPACERS WHEN RESTING ON EXPOSED SURFACES.
14.

COORDINATION RESPONSIBILITY: CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK INCLUDING THAT OF SUB-CONTRACTOR TRADES.
15.

SUBMITTALS: SUBMIT TO ARCHITECT (STRUCTURAL ENGINEER) AS INDICATED ON STRUCTURAL DRAWINGS AND SPECIFICATIONS. GENERAL CONTRACTOR SHALL REVIEW SUBMITTAL FOR COMPLETENESS AND COMPLIANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMISSION.

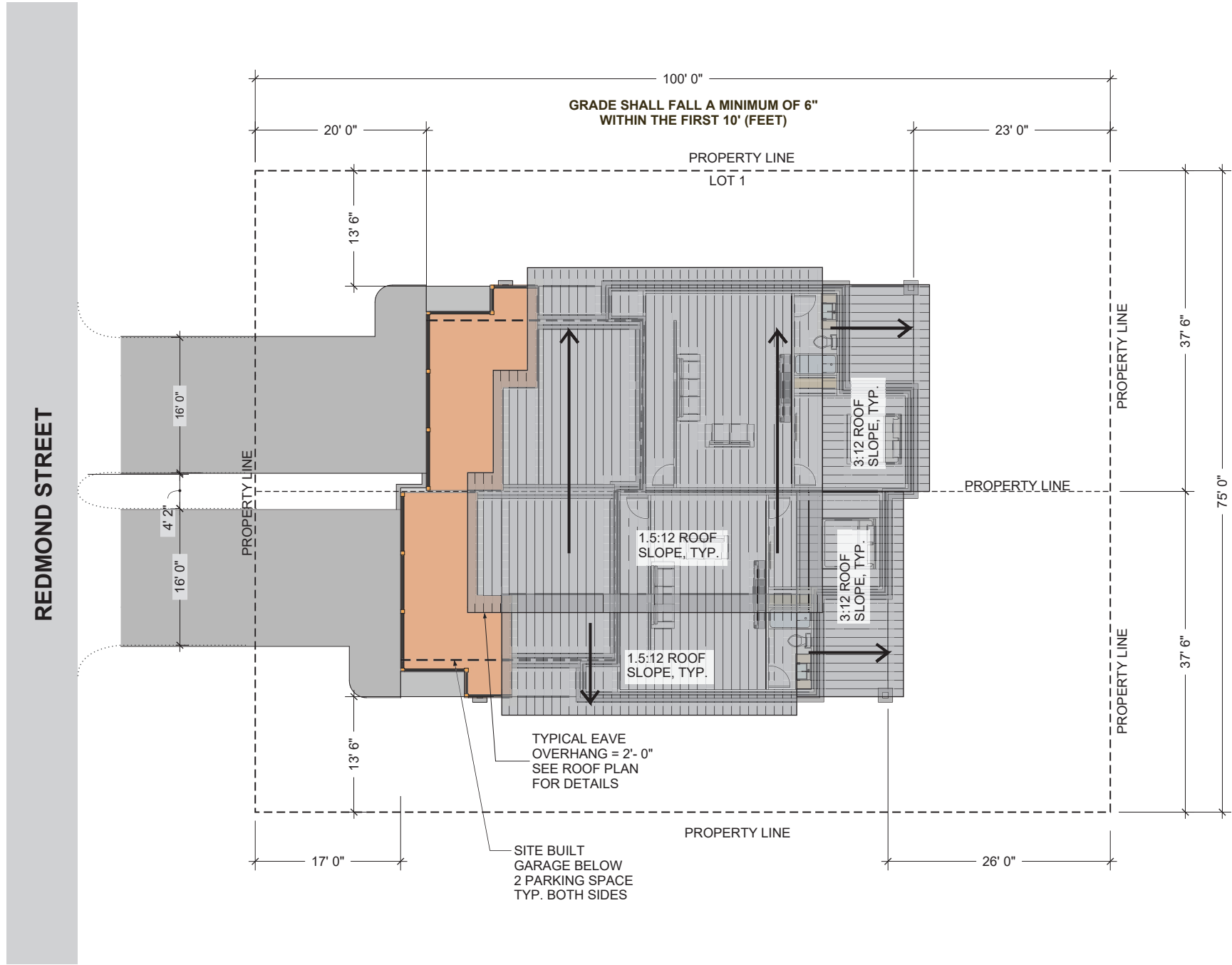
ABBREVIATIONS:

AB = ANCHOR BOLT
ABV = ABOVE
ADD'L = ADDITIONAL
ALT = ALTERNATE
AWA = ALIGN WITH ABOVE
BEW = BOTTOM EACH WAY
BLK = BLOCK
BLKG = BLOCKING
BLW = BELOW
BM = BEAM
BN = BOUNDARY NAILING
BRG = BEARING
BTM = BOTTOM
BTWN = BETWEEN
BTR = BETTER
CBC = CALIFORNIA BUILDING CODE
CLG = CEILING
CONC = CONCRETE
DBL = DOUBLE
DF = DOUGLAS FIR
DIA = DIAMETER
DJ = DECK JOIST
DP = DEEP
DR = DROP
DW = DISHWASHER
EA = EACH
EI = EXPANSION INDEX
EMBED = EMBEDMENT
EN = EDGE NAILING
EW = EACH WAY
EWB = ENGINEERED WOOD BEAM
EXT = EXTERIOR
FA = FROM ABOVE
FDN = FOUNDATION
FH = FULL HEIGHT
FJ = FLOOR JOIST
FL = FLUSH
FLR = FLOOR
FNGR = FINGER
FRMG = FRAMING
FT = FEET
FP = FIREPLACE
GA = GAGE
GLB = GLU-LAM
GT = GIRDER TRUSS
HDR = HEADER
HGR = HANGER
IBC = INTERNATIONAL BUILDING CODE
IN = INCH
INFO = INFOMATION
INT = INTERIOR
JST = JOIST
LSL = LAMINATED STRAND LUMBER
LVL = LAMINATED VENEER LUMBER
MAX = MAXIMUM
MFR = MANUFACTURER
MIN = MINIMUM
MULT = MULTIPLE
N/A = NOT APPLICABLE
N/P = NOT PROVIDED
O/C = ON CENTER
OHD = OVERHEAD DOOR
PI = PLASTICITY INDEX
PLT = PLATE
PLYWD = PLYWOOD
PNL = PANEL
PSL = PARALLEL STRAND LUMBER
PT = PRESSURE TREATED
REF = REFRIGERATOR
REV = REVISION
RF = ROOF
RO = ROUGH OPENING
RR = ROOF RAFTER
SHTG = SHEATHING
SIM = SIMILAR
SPN = SOLE PLATE NAILING
SQ = SQUARE
SQSH = SQUASH
STD = STANDARD
SW = SHEAR WALL
TP = TOP PLATE
TSL - TRIANGULAR STRAND LUMBER
TYP = TYPICAL
UC = UNDERCOUNTER
UBC = UNIFORM BUILDING CODE
UNO = UNLESS NOTED OTHERWISE
WWM = WELDED WIRE MESH
W/ = WITH
W/O= WITHOUT

ENERGY CODE NOTES:

1. PROVIDE AN ACCURATE LATEST VERSION OF RESCHECK FOR THIS HOME. ALTERNATIVE PROGRAMS MUST BE APPROVED BY THE BUILDING OFFICIAL.
2. PROVIDE ON THE APPROVED PLANS AS AN ALTERNATIVE TO A SUBMITTED RESCHECK A LIST OF ALL INSULATION AND FENESTRATION PRESCRIPTIVE REQUIREMENTS BY COMPONENT (TABLE 402. 1.1) AND ALL MANDATORY HVAC / ELECTRICAL SYSTEM REQUIREMENTS MANUAL D & J CALCULATIONS & DESIGN ARE STILL REQUIRED.
3. PROVIDE AND INDICATE ON PLAN ALL LOCATIONS AND TYPE OF INSULATION TO BE INSTALLED.
4. INDICATE THAT NEW WOOD BURNING FIRE PLACES HAVE TIGHT FITTING FLUE DAMPERS OR DOORS AND OUTSIDE COMBUSTION AIR.
5. RECESSED LIGHTS INSTALLED IN CEILINGS (BUILDING THERMAL ENVELOPE) SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN THE CONDITIONED AND UNCONDITIONED SPACES. ALL SUCH RECESSED LIGHTS MUST BE IC- RATED AND LABELED FOR CONFORMANCE TO AIR LEAKAGE AND SHALL BE SEALED OR CAULKED BETWEEN THE HOUSING AND THE CEILING.
6. PROVIDE THE MAKE, MODEL, BTU'S AND EFFICIENCY OF THE FURNACE(S) OR BOILER TO BE INSTALLED AND INDICATE THE SEER OF THE A/C CONDENSER(S) TO BE INSTALLED.
7. PROVIDE R-3 INSULATION OF ALL MECHANICAL SYSTEM PIPING WITH FLUID OVER 105 DEGREE'S AND BELOW 55 DEGREE'S.
8. ALL MECHANICAL VENTILATION OUTDOOR AIR DUCT INTAKES OR EXHAUST DUCT OUTLETS (BATHROOM EXHAUST FANS) MUST BE PROVIDED WITH AN AUTOMATIC OR GRAVITY CLOSER INSTALLED AT THE BUILDING'S THERMAL ENVELOPE.
9. INSTALLED INSULATION AND U VALUES MUST MATCH WHAT IS SHOWN ON PLANS AND RESCHECK.
10. ATTIC ACCESS PANELS MUST BE INSULATED AND WEATHER STRIPPED.
11. PLEASE INDICATE IF ANY DUCTS ARE TO BE LOCATED IN ATTIC SPACE AND OR CRAWL SPACE AND IF YES SUCH DUCT WORK MUST BE PRESSURE TESTED IN ACCORDANCE WITH 2012 IECC.
12. REVIEW WITH BUILDING OFFICIAL AND DETERMINE IF A BLOWER DOOR TESTING IS REQUIRED FOR THE AIR LEAKAGE R 402.4 .1.2 AND IF 3RD PARTY ENERGY CODE COMPLIANCE INSPECTIONS OF THERMAL ENVELOPE COMPONENTS ARE REQUIRED. R 402.4.1.1
13. ROOMS CONTAINING FUEL BURNING APPLIANCE WITH OPEN OUTSIDE COMBUSTION AIR SHALL BE SEALED AND INSULATED (WALLS, FLOORS AND CEILINGS) WITH INSULATION MEETING BASEMENT WALL R VALUE REQUIREMENT IF INSULATION IS EXPOSED IT MUST BE COVERED WITH SHEETROCK OR OTHER APPROVED MATERIAL.

BUILDING COMPONENTS THERMAL ENVELOPE R402: GENERAL PRESCRIPTIVE METHOD TO COMPLIANCE	
VAPOR RETARDER: CLASS I =POLY CLASS II =KRAFT-FACED INSULATION CLASS III = PAINT	FOLLOW IRC SECTION R702.7 OR IBC SECTION 1405.3 CLASS OF VAPOR RETARDER IS BASED UPON SELECTED METHODS OF INSULATING THE EXTERIOR WALLS OF THE STRUCTURE.
WINDOWS AND DOORS U-FACTOR = 0.32	R402.1.5 TOTAL UA ALTERNATIVE MAY BE USED TO LOWER THE U-FACTOR
SKYLIGHTS U-FACTOR = 0.55	R402.1.5 TOTAL UA ALTERNATIVE MAY BE USED TO LOWER THE U-FACTOR
CEILING INSULATION WITH ATTIC SPACE = R49	R402.2.1 REDUCTION TO R38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.
CEILING INSULATION WITHOUT ATTIC SPACE = R-49	R402.2.2 REDUCTION TO R30 PROVIDED WHEN ROOF/CEILING ASSEMBLIES DON'T HAVE SUFFICIENT SPACE.
WOOD FRAMED WALL INSULATION : 2X6 WALL = R20/5	R20 IN THE CAVITY OF THE WALL AND R5 CONTINUOUS INSULATION. WALLS WITH STRUCTURAL SHEATHING SEE SECTION R402.2.7 FOR REDUCTION
WOOD FRAMED WALL INSULATION: 2X4 WALL = R13/10	R13 IN THE CAVITY OF THE WALL AND R10 CONTINUOUS INSULATION. WALLS WITH STRUCTURAL SHEATHING SEE SECTION R402.2.7 FOR REDUCTION
MASS WALLS R-19/21	DEFINED & REVIEWED BASED UPON FORMULA FROM SECTION 402.2.5
FLOOR INSULATION = R38	SEE SECTION 402.2.8 FOR DEFINITION AND EXCEPTION
BASEMENT WALL INSULATION = R-15/19	SEE SECTION 402.2.9 FOR DEFINITION R15 CONTINUOUS ON EITHER SIDE OR R19 ON INTERIOR SIDE. SEE FOOTNOTES IN R402.1.2 FOR ALTERNATIVES
CONCRETE SLAB ON GRADE INSULATION = R10/4FT	SEE SECTION R402.2.10 INSULATION DEPTH SHALL BE DEPTH OF THE FOOTING MINIMUM OF 4 FEET.
CRAWL SPACE WALL INSULATION = R15/19	SEE SECTION R402.2.11 FOR DEFINITION R15 CONTINUOUS ON EITHER SIDE OR R19 ON INTERIOR SIDE.
FENESTRATION AIR LEAKAGE: WINDOWS, SLIDING DOORS, SKYLIGHTS	</= 0.3 CFM/SF EXCEPTION FOR SITE BUILT WINDOWS, SKYLIGHTS, AND DOORS.
FENESTRATION AIR LEAKAGE: SWINGING DOORS	</= 0.5 CFM/SF EXCEPTION FOR SITE BUILT DOORS.
AIR LEAKAGE: THE BUILDING THERMAL ENVELOP SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE.	ALL PRODUCTS INSTALLED IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND BE LABELED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IECC.
FIREPLACES NEW WOOD-BURNING UNITS	SEE SECTION R402.4.2 INFORMATION ON TIGHT FITTING DOORS AND LABELS REQUIRED.
PROGRAMMABLE THERMOSTATS REQUIRED FOR ALL HEATING AND COOLING EQUIPMENT INSTALLED IN A DWELLING UNIT.	SEE SECTION R403.1.1: THERMOSTAT TO HAVE DAILY SCHEDULES AND TEMPERATURE SETBACK FOR SCHEDULED TIMES OF THE DAY.
DUCT INSULATION: ATTIC SPACES R8 WHEN 3" DIAMETER OR GREATER	SEE SECTION R403.3.1 FOR EXCEPTION WHERE DUCTS ARE COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE.
DUCT INSULATION: ATTIC SPACES R6 WHEN LESS THAN 3" DIAMETER	SEE SECTION R403.3.1 FOR EXCEPTION WHERE DUCTS ARE COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE.
SEALING: MANDATORY FOR DUCTS, AIR HANDLERS AND FILTER BOXES.	SEE SECTION R403.3.2 FOR EXCEPTIONS.
HOT WATER BOILER OUTDOOR TEMPERATURE SETBACK:	SEE SECTION R403.2 HOT WATER BOILERS THAT SUPPLY HEAT TO THE BUILDING THROUGH ONE OR TWO-PIPE HEATING SYSTEMS SHALL HAVE AN OUTDOOR SET-BACK CONTROL THAT LOWERS THE TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
MECHANICAL SYSTEM PIPING INSULATION: MANDATORY	SEE SECTION R403.4 MECHANICAL PIPING CARRYING FLUIDS ABOVE 105 F OR BELOW 55 F SHALL BE INSULATED WITH R3 MINIMUM.
CIRCULATING SYSTEMS / HEAT TRACE SYSTEMS/ DEMAND RECIRCULATION SYSTEMS:	SEE SECTION R403.5.1.1, R403.5.1.2, R403.5.2 FOR INFORMATION ON OPERATIONS AND CONTROLS FOR PUMPS AND SPECIFIC ELECTRIC HEAT TRACE SYSTEMS.
HOT WATER PIPE INSULATION REQUIRED TO BE R3	SEE SECTION R403.5.3 FOR LIST OF REQUIRED PIPING THAT REQUIRES R3
MECHANICAL VENTILATION: THE BUILDING SHOULD BE PROVIDED WITH MECHANICAL VENTILATION OR APPROVED METHOD PER REQUIREMENTS.	SEE SECTION R403.6 AND R403.6.1 FOR DEFINITIONS AND REFER THE 2015 IRC SECTIONS M1507 FOR SYSTEM DESIGN AND REQUIREMENTS.
SYSTEMS SERVING MULTIPLE DWELLING UNITS:	SEE SECTION R403.8 SHALL COMPLY WITH SECTIONS C403 AND C404 OF THE IECC – COMMERCIAL PROVISIONS IN LIEU OF SECTION R403
SNOW MELT SYSTEMS AND ICE SYSTEM CONTROLS:	SEE SECTION R403.9 AUTOMATIC CONTROLS SHUTTING SYSTEM WHEN PAVEMENT TEMPERATURE >50 F AND NO PRECIPITATIONS FALLING, AUTOMATIC OR MANUAL CONTROL TO SHUTOFF AS OUTDOOR TEMP > 40 F
POOLS/ PERMANENT & PORTABLE SPAS:	SEE SECTIONS R403.10 THROUGH R403.12 HEATERS, TIME SWITCHES, COVERS, ENERGY CONSUMPTION.
EQUIPMENT SIZING AND EFFICIENCY RATING	SEE SECTION R403.7 AND REFER TO IRC M1401.3
LIGHTING EQUIPMENT	SEE SECTION R404.1: 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% OF PERMANENTLY INSTALLED FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. EXCEPTION TO LOW VOLTAGE LIGHTING.
FUEL GAS LIGHTING SYSTEMS:	SEE SECTION R404.1.1: FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.



SITE ADDRESS:
170 REDMOND ST.
JACKSON, WY 83001

UTILITY CONNECTIONS:

1. SEWER, WATER AND GAS LINES MUST BE BURIED UNDERGROUND.
2. FOLLOW CODE REQUIREMENTS FOR SLOPING AND BEDDING OF PIPING.
3. PLACE AND CONTACT FILL AS PER CODE.
4. ALL OTHER CONNECTIONS TO INCLUDE PHONE AND CABLE MUST BE BURIED AS PER CODE AND HOA REQUIREMENTS IF APPLICABLE.
5. WATER LINE TO BE 1" PIPE SPECIFIED TO COMPLY WITH ISD REQUIREMENTS. PROVIDE BACK-FLOW PREVENTION DEVICE.
6. SEWER LINE TO BE 4" PIPE SPECIFICATION TO COMPLY WITH ISD REQUIREMENTS. PROVIDE CLEAN-OUT PER CODE REQUIREMENTS.

SLOPING AND GRADING:

1. PROVIDE FINAL GRADE AFTER BACKFILL TO MAINTAIN ADEQUATE DRAINAGE AWAY FROM RESIDENCE.
2. EXCAVATION CONTRACTOR SHALL MINIMIZE IMPACT TO EXISTING VEGETATION.
3. EXCESS FILL SHALL BE REMOVED FROM JOBSITE AND DISPOSED OF AS PER LOCAL JURISDICTION.
4. AFTER CONSTRUCTION IS COMPLETE, ALL DAMAGED GRASS AREAS WILL BE RESEDED.

ADDITIONAL SITE PLAN NOTES: THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT. SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. IRC R401.3



SITE PLAN

SCALE: NTS

VICINITY MAP

SCALE: NTS

	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE SITE PLAN	SHEET	A-4
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FRONT RIGHT VIEW
SCALE: NTS



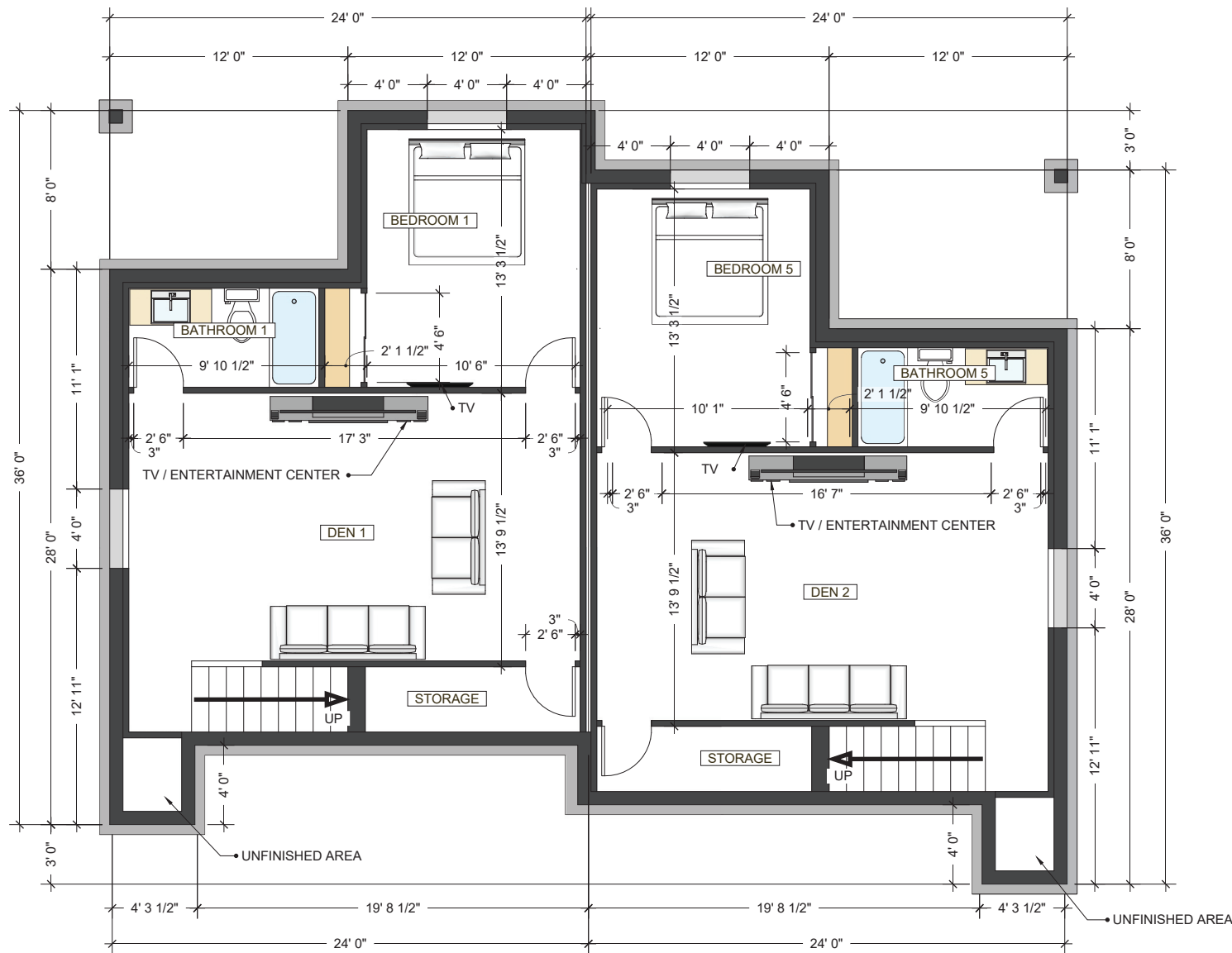
FRONT LEFT VIEW
SCALE: NTS



BACK RIGHT VIEW
SCALE: NTS



BACK LEFT VIEW
SCALE: NTS



NOTE: THE LOWER LEVEL CONSISTS OF ALL SITE BUILT CONSTRUCTION.

WINDOWS & VENTILATION

- 1. MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. -IRC R303
- 2. NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED. -IRC R303
- 3. THE OPENABLE WINDOW AREA IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL NOT BE LESS THAN 1 1/2 SQ. FT. UNLESS A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION IS PROVIDED. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. -IRC R303.3

GARAGE NOTES:

- 1. SHOW NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR- CEILING ASSEMBLY THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD GOD FORBID THE CEILING. -IRC R309.2 AND R302.5
- 2. DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1 3/8" THICK SOLID CORE OR 20 MINUTE RATED AND MUST BE SELF-CLOSING DOORS SHALL NOT OPEN INTO A SLEEPING ROOM.-IRC R309.1

STAIRS AND GUARDRAILS:

- 1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. -IRC 311.7.
- 2. THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 11/4 INCHES NOR MORE THAN 2-5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. -IRC R31 1.7.7.
- 4. ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30 INCHES ABOVE GRADE AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD (AKA "GUARDRAIL"). GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR A REPORT ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. IRC R312
- 5. THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. -IRC R31 1.7.2
- 6. STAIRWAY RISERS SHALL NOT EXCEED 8 INCHES AND TREAD SHALL NOT BE LESS THAN 9 INCHES. STATE AMENDMENT TO THE IRC. IF OPEN RISERS ARE PROVIDED, THE OPENINGS SHALL BE LESS THAN 4". IRC 311.7.4
- 7. LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36 INCHES. -IRC R311 AND R31 17.5.
- 8. SHOW 12 GYPSUM BOARD ON WALLS AND SOFFITS UNDER A STAIRWAY WITH ENCLOSED ACCESSIBLE SPACE. -IRC R31 1.2.2

STAIR TREAD NOSING:

- 1. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH (914.3 MM). A NOSING NOT LESS THAN 3/4 INCH (19 MM) BUT NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS.
- 2. A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 10 INCHES (254 MM).
- 3. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES (762 MM) OR LESS.

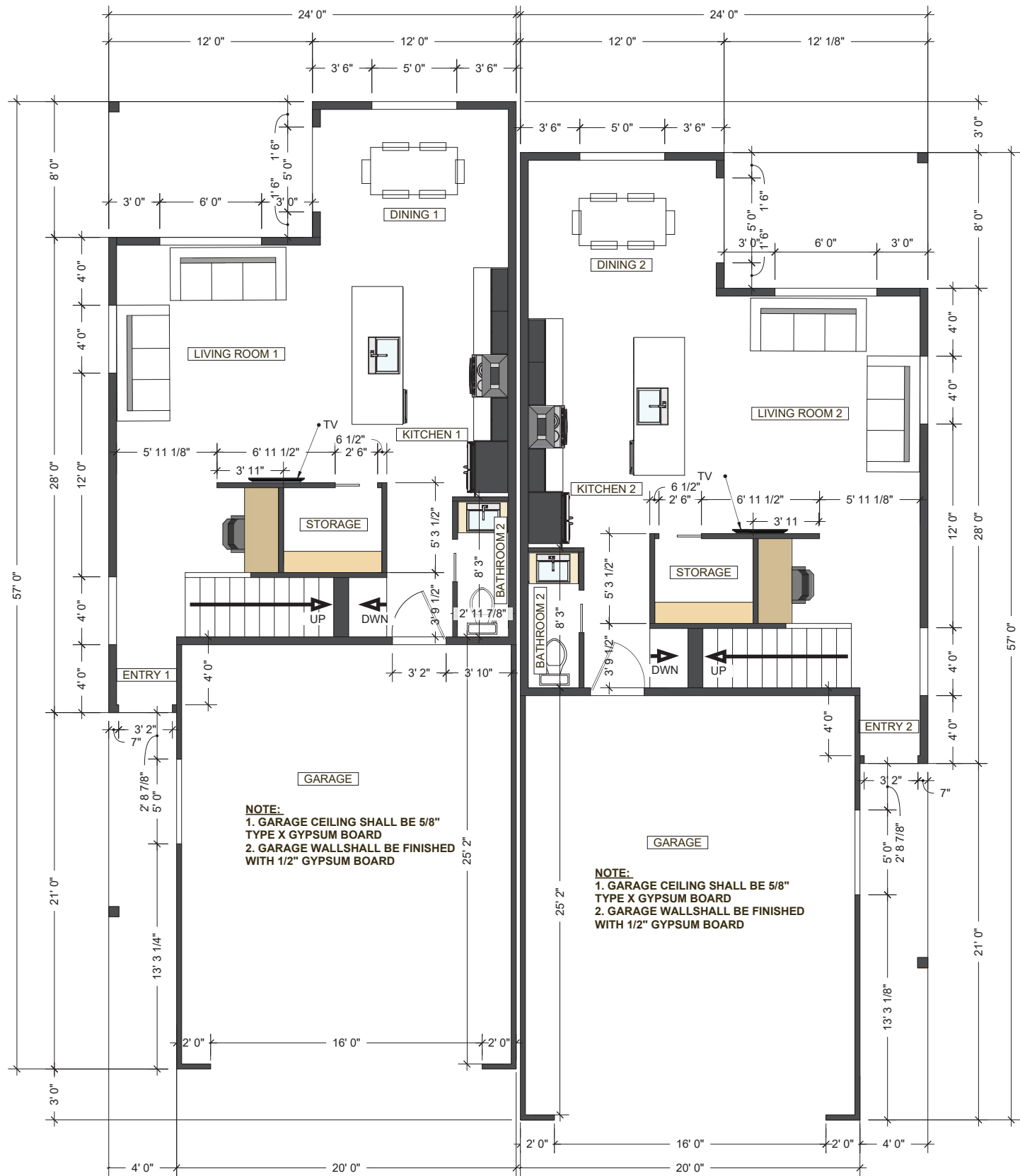
TUBS AND SHOWERS:

- WITH TILED WALLS REQUIRE DENSSHIELD® TILE BACKER.

LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE LOWER LEVEL FLOOR PLAN	SHEET	A-6
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NOTE: THE MAIN LEVEL CONSISTS OF ALL SITE BUILT CONSTRUCTION.

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOWS & VENTILATION

1. MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. -IRC R303
2. NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED. -IRC R303
3. THE OPENABLE WINDOW AREA IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL NOT BE LESS THAN 1 1/2 SQ. FT. UNLESS A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION IS PROVIDED. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. -IRC R303.3

GARAGE NOTES:

1. SHOW NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR- CEILING ASSEMBLY THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD GOD FORBID THE CEILING. -IRC R309.2 AND R302.5
2. DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1 3/8" THICK SOLID CORE OR 20 MINUTE RATED AND MUST BE SELF-CLOSING DOORS SHALL NOT OPEN INTO A SLEEPING ROOM.-IRC R309.1

STAIRS AND GUARDRAILS:

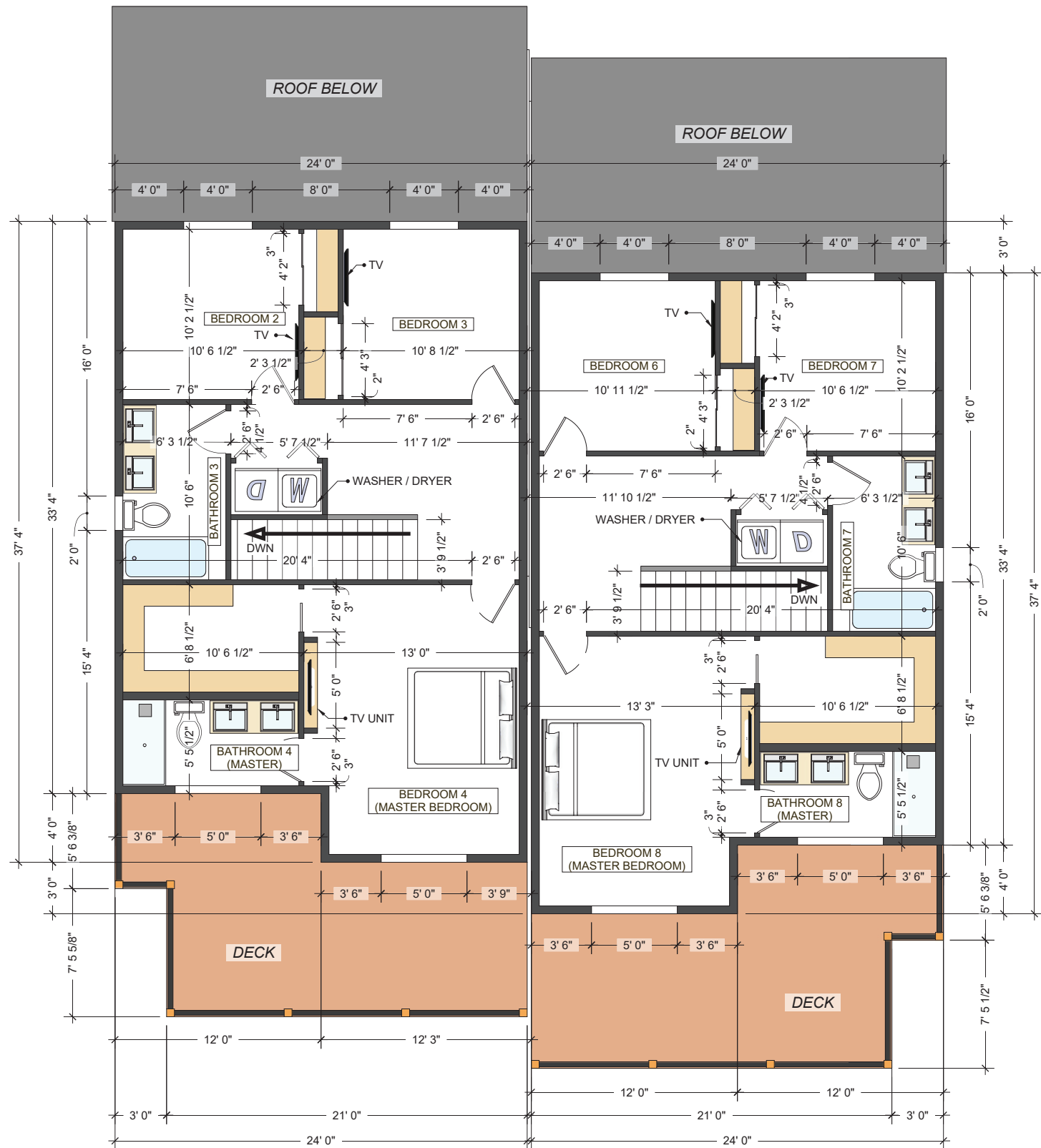
1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. -IRC 311.7.
2. THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38
3. INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4 INCHES NOR MORE THAN 2-5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. -IRC R31 1.7.7.
4. ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30 INCHES ABOVE GRADE AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD (AKA "GUARDRAIL"). GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR A REPORT ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. IRC R312
5. THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. -IRC R31 1.7.2
6. STAIRWAY RISERS SHALL NOT EXCEED 8 INCHES AND TREAD SHALL NOT BE LESS THAN 9 INCHES. STATE AMENDMENT TO THE IRC. IF OPEN RISERS ARE PROVIDED, THE OPENINGS SHALL BE LESS THAN 4". IRC 311.7.4
7. LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36 INCHES. -IRC R311 AND R31 17.5.
8. SHOW 12 GYPSUM BOARD ON WALLS AND SOFFITS UNDER A STAIRWAY WITH ENCLOSED ACCESSIBLE SPACE. -IRC R31 1.2.2

STAIR TREAD NOSING:

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TUBS AND SHOWERS:

- WITH TILED WALLS REQUIRE DENSSHIELD® TILE BACKER.



NOTE: THE MAIN LEVEL CONSISTS OF ALL SITE BUILT CONSTRUCTION.

UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

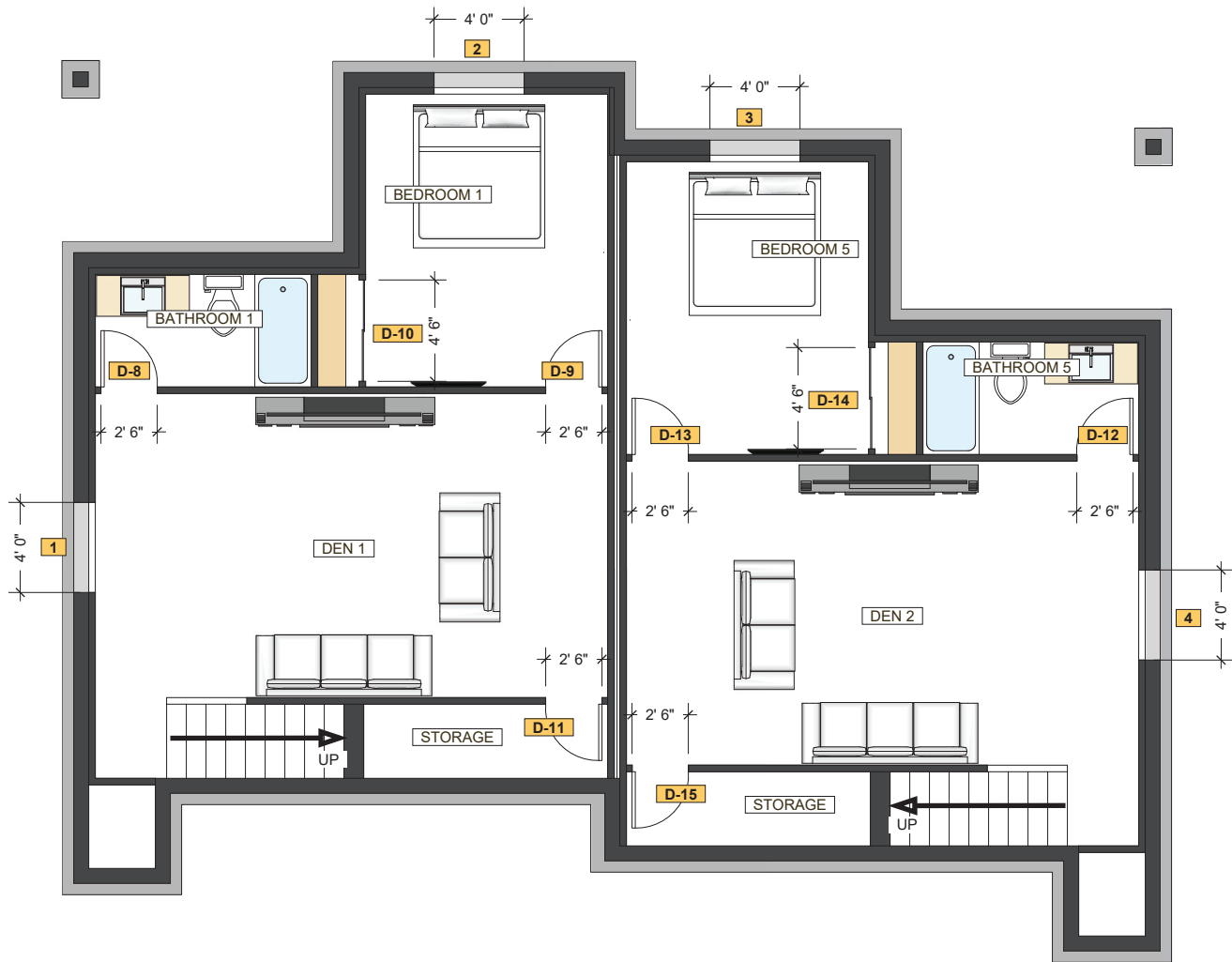
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
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- TUBS AND SHOWERS:**
- WITH TILED WALLS REQUIRE DENSSHIELD® TILE BACKER.



WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR										WINDOW SCHEDULE
ALL WINDOWS (HINGE SIDE, ACTIVE SIDE, ETC.) ARE LOOKING FROM THE OUTSIDE										
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)	
	1 & 3	DEN 1 & BEDROOM 5	48	42	SLIDER		YES	RIGHT	N/A	
	2 & 4	BEDROOM 1 & DEN 2	48	42	SLIDER		YES	LEFT	N/A	

INTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR							INTERIOR DOOR SCHEDULE
DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES	
D-8	BATHROOM 1	24-68	HINGE	LEFT HAND	4-5/8"		
D-9	BEDROOM 1	24-68	HINGE	RIGHT HAND	4-5/8"		
D-10	BEDROOM 1	(2) 28" SLABS	BYPASS	N/A	4-5/8"		
D-11	STORAGE	24-68	HINGE	LEFT HAND	4-5/8"		
D-12	BATHROOM 5	24-68	HINGE	RIGHT HAND	4-5/8"		
D-13	BEDROOM 5	24-68	HINGE	LEFT HAND	4-5/8"		
D-14	BEDROOM 5	(2) 28" SLABS	BYPASS	N/A	4-5/8"		
D-15	STORAGE	24-68	HINGE	RIGHT HAND	4-5/8"		

WINDOW & DOOR SCHEDULE - LOWER LEVEL FLOOR

SCALE: 1/4" = 1'-0"

WINDOW FALL PROTECTION:

SILLS OF EXTERIOR WINDOWS WHICH ARE LOCATED MORE THAN 6 FEET ABOVE GRADE OR OTHER SURFACES BELOW THE EXTERIOR OF THE BUILDING , AND LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST COMPLY WITH WINDOW FALL PROTECTION REQUIREMENTS. THE AREA OF THE WINDOW LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST BE FIXED OR HAVE AN OPENING OR A GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER SPHERE, OR FALL PREVENTION DEVICE, OR OPENING CONTROL DEVICES IRC R 312.2.1.2





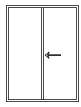



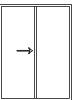

TEMPERED GLASS:

- GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. -IRC TABLE R308. 3.
- SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22" INCHES NET CLEAR OPENING. P2708.1.1
- TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF STAIRS, OR GLAZING WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. -IRC R308.



WINDOW & DOOR SCHEDULE - LOWER LEVEL FLOOR

SCALE: 1/4" = 1'-0"

WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR										WINDOW SCHEDULE
ALL WINDOWS (HINGE SIDE, ACTIVE SIDE, ETC.) ARE LOOKING FROM THE OUTSIDE										
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)	
	5	GARAGE 1	60	18	SLIDER	YES		RIGHT	N/A	
	6 & 13	ENTRY 1 & 2	38	18	FIXED	YES		N/A	N/A	
	7 & 8	LIVING ROOM 1	48	60	SIDER	YES (7)		RIGHT	N/A	
	9 & 16	LIVING ROOM 1 LIVING ROOM 2	72	60	FIXED	YES		N/A	N/A	
	10	DINING 1	60	80	SGD	YES	YES	RIGHT	N/A	
	11	DINING 1	60	60	SLIDER	YES		RIGHT	N/A	
	12	GARAGE 2	60	18	SLIDER	YES		LEFT	N/A	
	14 & 15	LIVING ROOM 2	48	60	SIDER	YES		LEFT	N/A	
	17	DINING 2	60	80	SGD	YES (14)	YES	LEFT	N/A	
	18	DINING 2	60	60	SLIDER	YES		LEFT	N/A	

EXTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR											EXTERIOR DOOR SCHEDULE
DOOR	LOCATION	DOOR SIZE	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	DRILL FOR DEADBOLT & HANDSET	THRESHOLD	NOTES	
D-1	ENTRY 1	30-68	38	82.5	HINGE	RIGHT HAND	6-9/16"	YES	YES / BRONZE	N/A	
D-2	GARAGE ENTRY 1	30-68	38	82.5	HINGE	RIGHT HAND	6-9/16"	YES	YES / BRONZE	N/A	
D-3	GARAGE 1	160-80	219	97.5	OHD	N/A	N/A	N/A	N/A	N/A	
D-4	ENTRY 2	30-68	38	82.5	HINGE	LEFT HAND	6-9/16"	YES	YES / BRONZE	N/A	
D-5	GARAGE ENTRY 2	30-68	38	82.5	HINGE	LEFT HAND	6-9/16"	YES	YES / BRONZE	N/A	
D-6	GARAGE 2	160-80	219	97.5	OHD	N/A	N/A	N/A	N/A	N/A	

- WINDOW FALL PROTECTION:**

SILLS OF EXTERIOR WIDOWS WHICH ARE LOCATED MORE THAN 6 FEET ABOVE GRADE OR OTHER SURFACES BELOW THE EXTERIOR OF THE BUILDING , AND LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST COMPLY WITH WINDOW FALL PROTECTION REQUIREMENTS. THE AREA OF THE WINDOW LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST BE FIXED OR HAVE AN OPENING OR A GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER SPHERE, OR FALL PREVENTION DEVICE, OR OPENING CONTROL DEVICES IRC R 312.2.1.2
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WINDOW & DOOR SCHEDULE - UPPER LEVEL FLOOR
SCALE: 1/4" = 1'-0"

WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR									
ALL WINDOWS (HINGE SIDE, ACTIVE SIDE, ETC.) ARE LOOKING FROM THE OUTSIDE									
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)
	19	BEDROOM 4	60	84	SGD	YES	YES	RIGHT	N/A
	20	BATHROOM 4	60	48	SLIDER	YES		LEFT	N/A
	21 & 26	BATHROOM 3 & 7	24	48	AWNING 18" (ABOVE) FIXED 30" (BELOW)	YES		N/A	TOP
	22 & 23	BEDROOM 2 & 3	48	48	SLIDER	YES	YES	RIGHT	N/A
	24 & 25	BEDROOM 6 & 7	48	48	SLIDER	YES	YES	LEFT	N/A
	27	BATHROOM 8	60	84	SLIDER	YES		RIGHT	N/A
	28	BEDROOM 8	60	84	SGD	YES		LEFT	N/A

WINDOW SCHEDULE

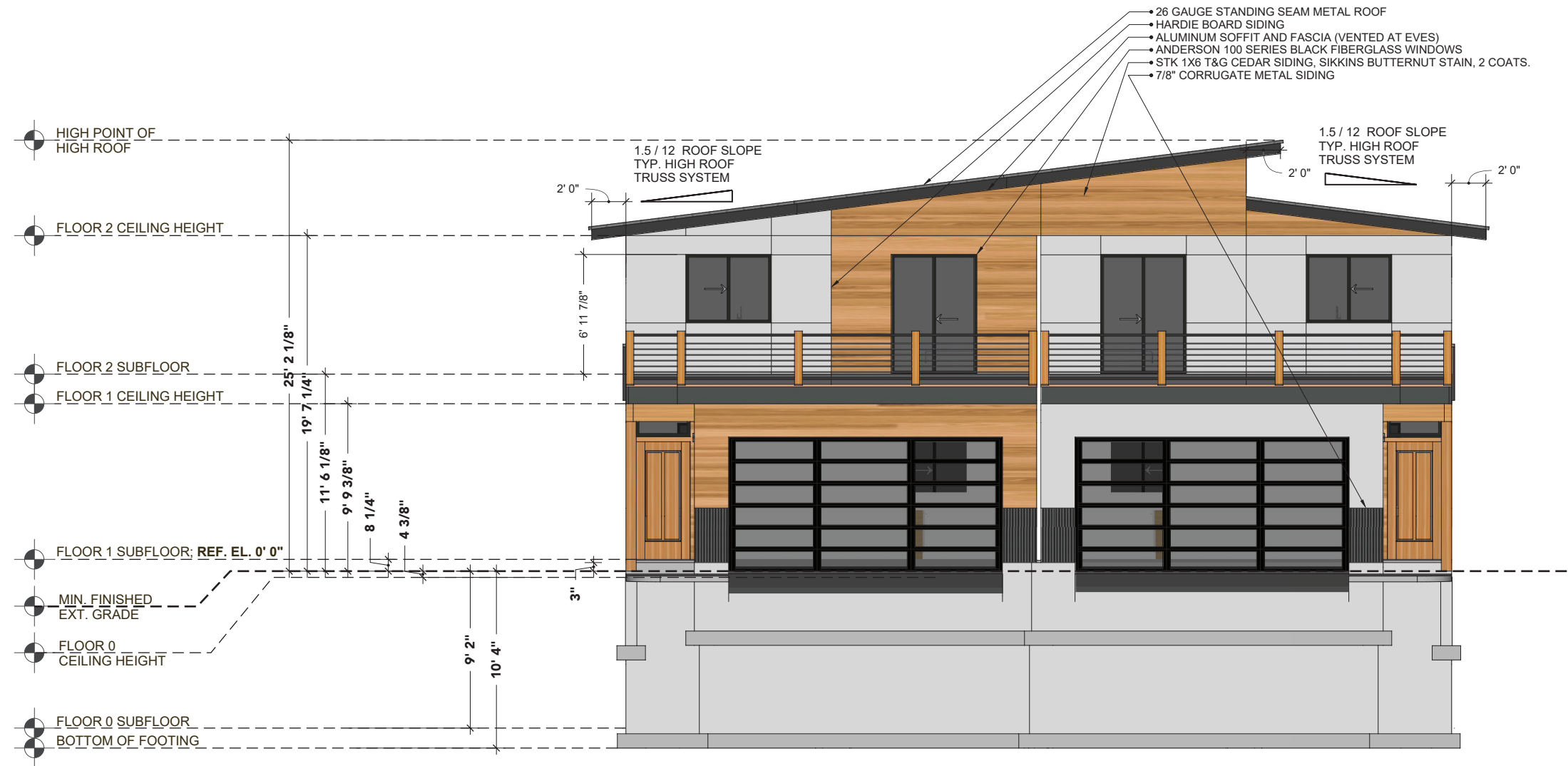
INTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR						
DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES
D-20	BATHROOM 4	24-68	HINGE	LEFT HAND	4-5/8"	
D-21	BEDROOM 4	24-68	POCKET	N/A	4-5/8"	
D-22	BEDROOM 4	24-68	HINGE	LEFT HAND	4-5/8"	
D-23	BATHROOM 3	24-68	HINGE	RIGHT HAND	4-5/8"	
D-24	BEDROOM 2	24-68	HINGE	RIGHT HAND	4-5/8"	
D-25	BEDROOM 2	(2) 26" SLABS	HINGE	N/A	4-5/8"	
D-26	BEDROOM 3	24-68	HINGE	RIGHT HAND	4-5/8"	
D-27	BEDROOM 3	(2) 26" SLABS	BYPASS	N/A	4-5/8"	
D-28	BATHROOM 6	24-68	HINGE	RIGHT HAND	4-5/8"	
D-29	BEDROOM 6	24-68	POCKET	N/A	4-5/8"	
D-30	BEDROOM 6	24-68	HINGE	RIGHT HAND	4-5/8"	
D-31	BEDROOM 6	24-68	HINGE	LEFT HAND	4-5/8"	
D-32	BEDROOM 7	24-68	HINGE	LEFT HAND	4-5/8"	
D-33	BATHROOM 7	24-68	HINGE	LEFT HAND	4-5/8"	
D-34	BEDROOM 6	(2) 26" SLABS	BYPASS	N/A	4-5/8"	
D-35	BEDROOM 7	(2) 26" SLABS	BYPASS	N/A	4-5/8"	
D-36	LAUNDRY 2	47-68	BIFOLD	N/A	4-5/8"	
D-37	LAUNDRY 1	47-68	BIFOLD	N/A	4-5/8"	

INTERIOR DOOR SCHEDULE

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- TEMPERED GLASS:**

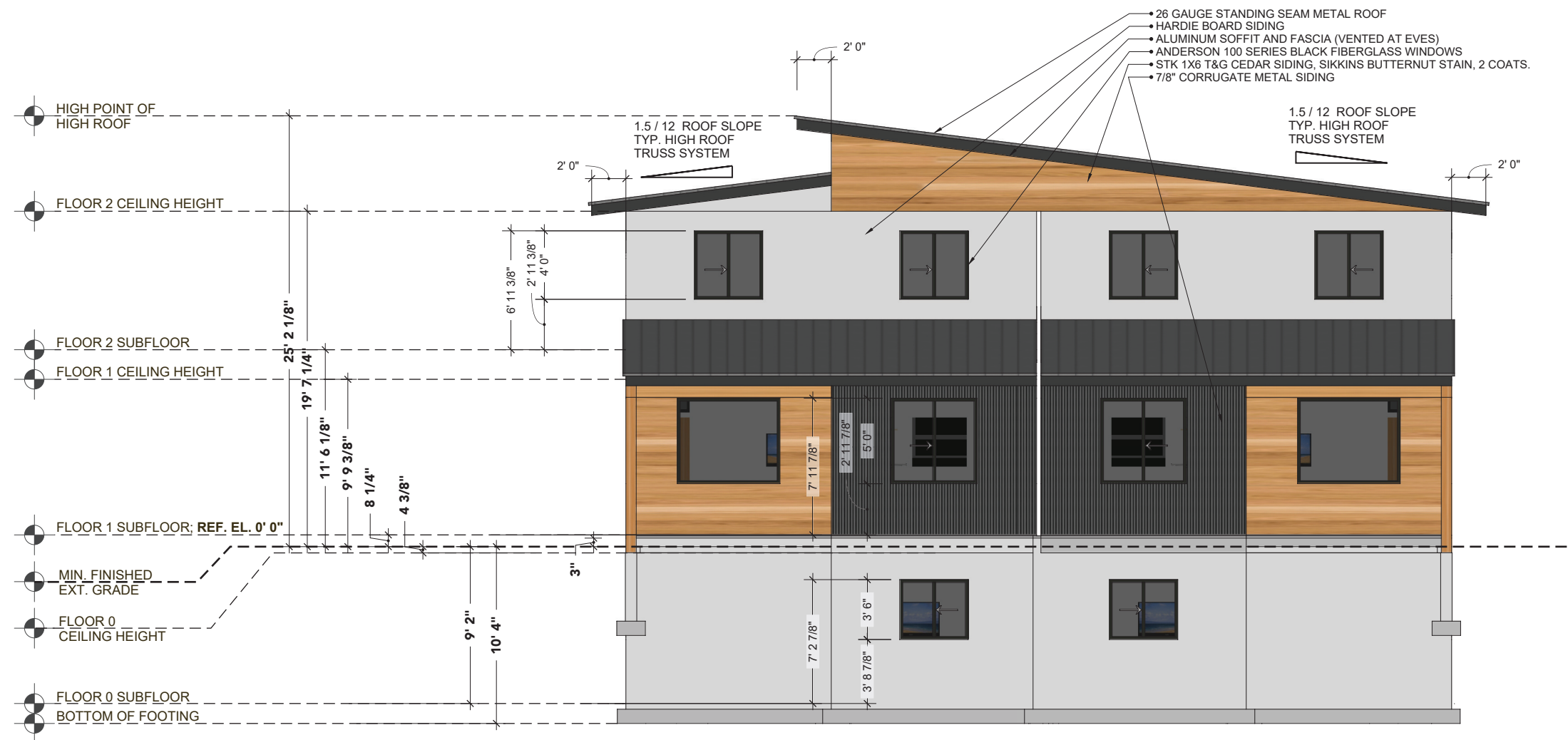
 - GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. -IRC TABLE R308. 3.
 - SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22" INCHES NET CLEAR OPENING. P2708.1.1
 - TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF STAIRS, OR GLAZING WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. -IRC R308.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

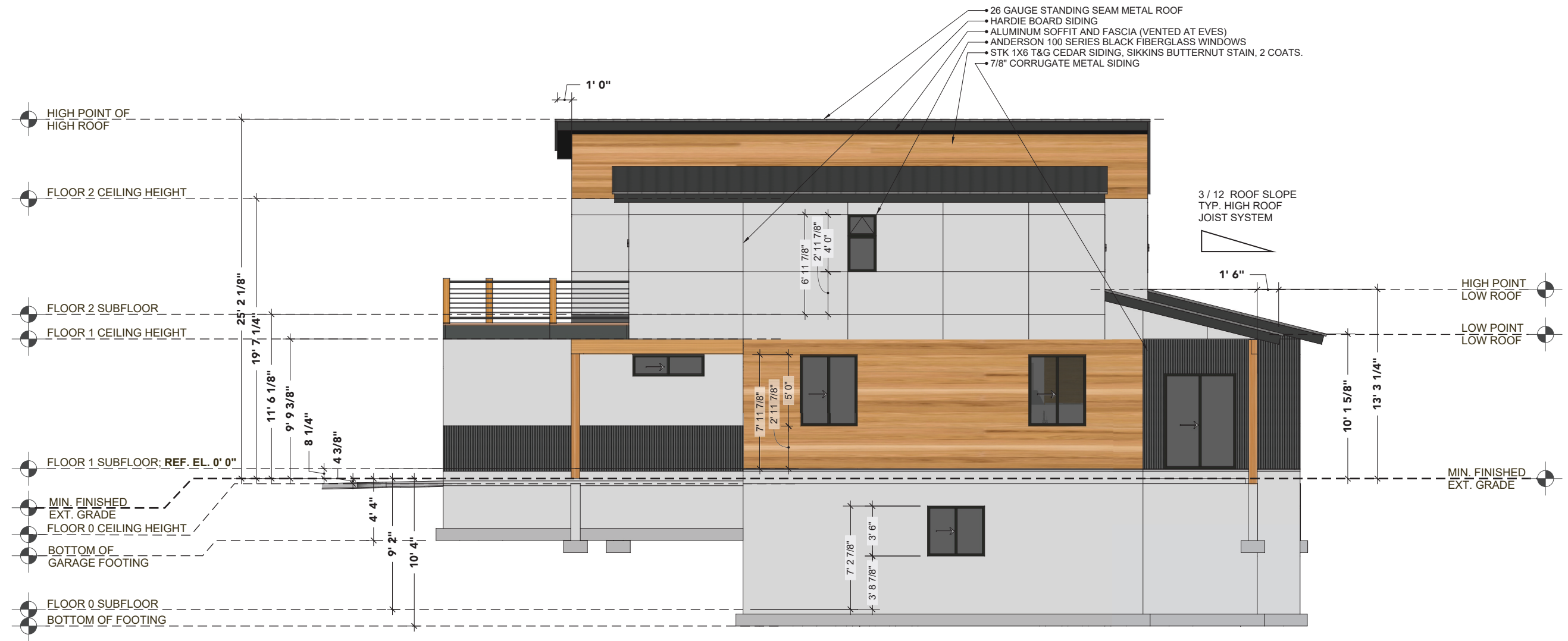
	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE EXTERIOR ELEVATIONS: FRONT	SHEET A-12
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BACK ELEVATION

SCALE: 1/4" = 1'-0"

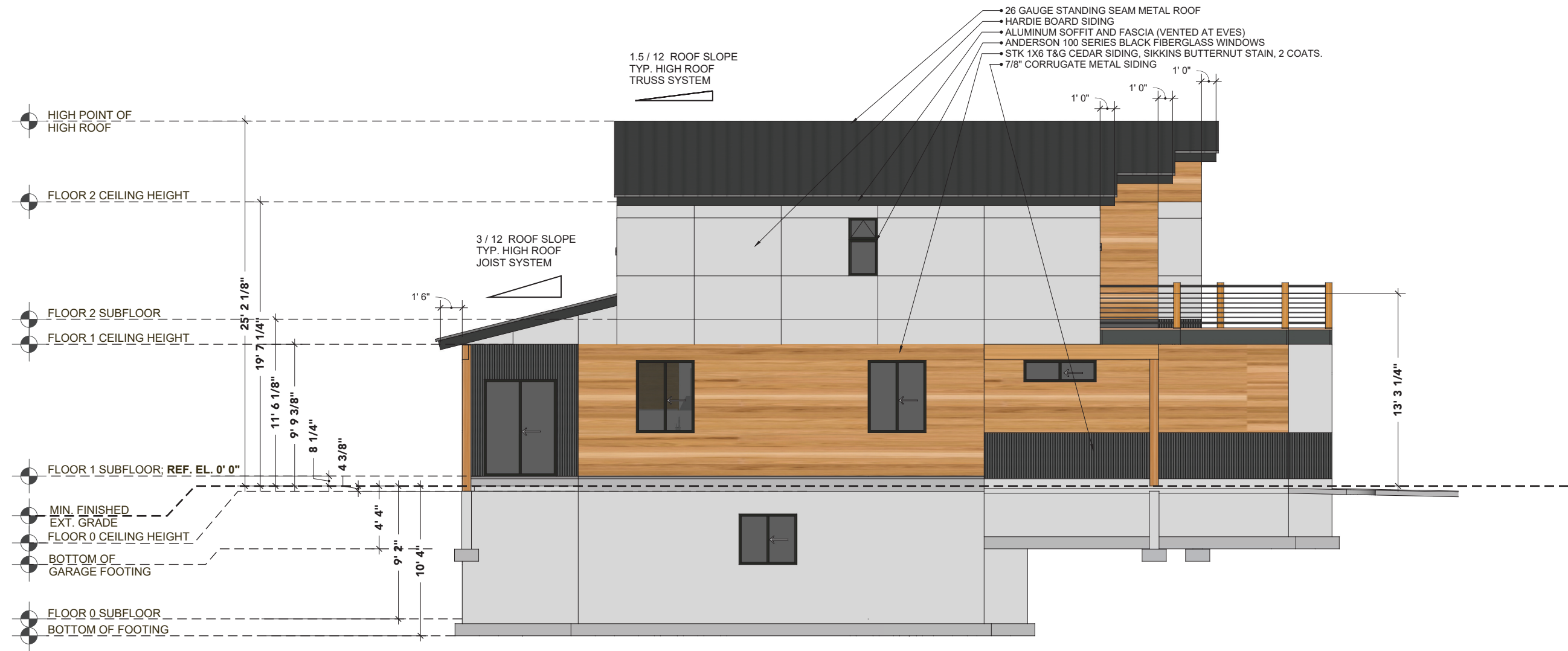
zipkithomes .com	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE EXTERIOR ELEVATIONS: BACK	SHEET	A-13
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RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

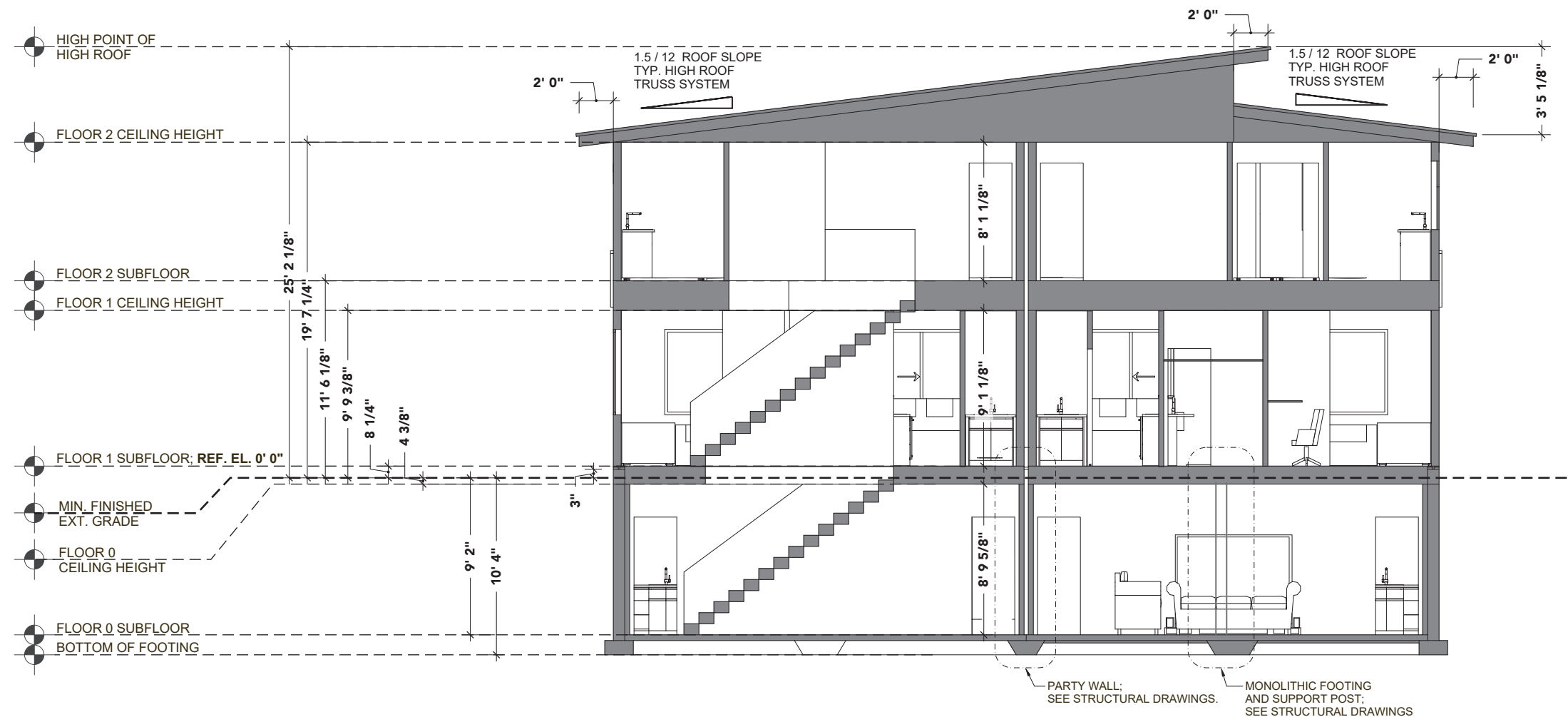
	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCAHELLO ID 83204	SHEET TITLE EXTERIOR ELEVATIONS: RIGHT	SHEET A-14
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LEFT ELEVATION


SCALE: 1/4" = 1'-0"

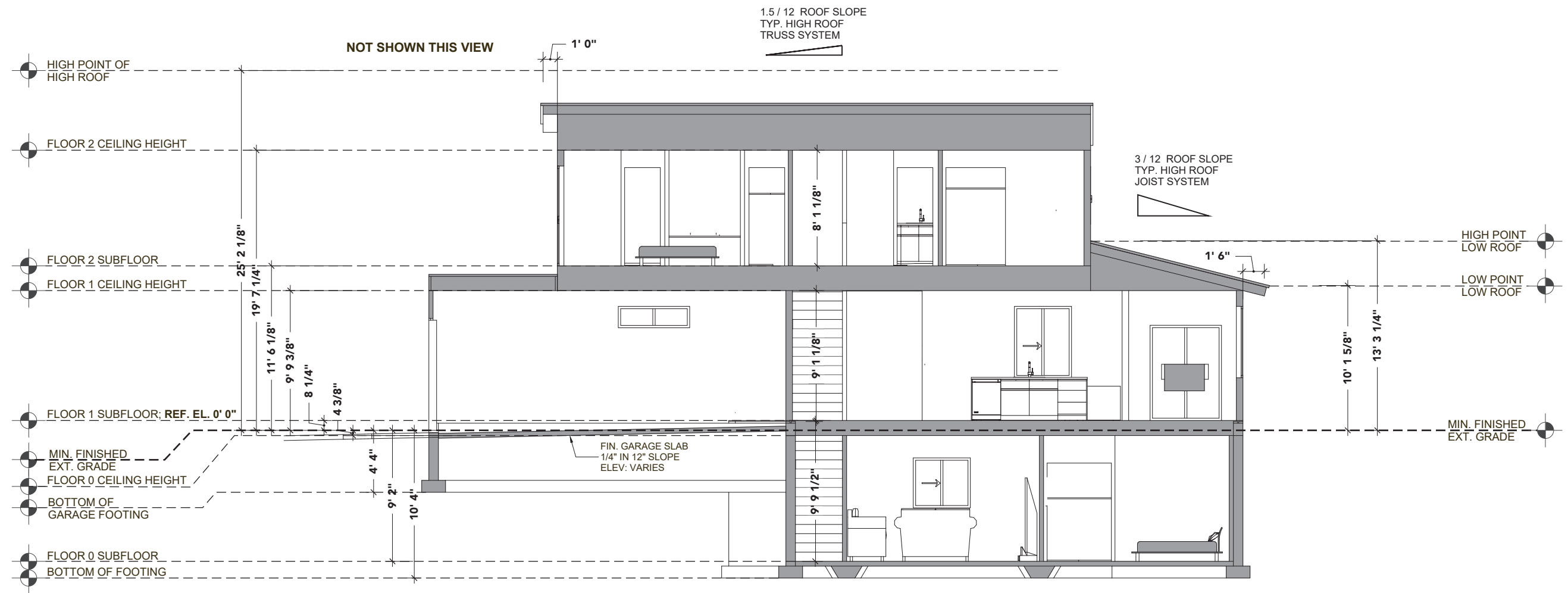
zipkithomes .com	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE EXTERIOR ELEVATIONS: LEFT	SHEET	A-15
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LATERAL SECTION


SCALE: 1/4" = 1'-0"

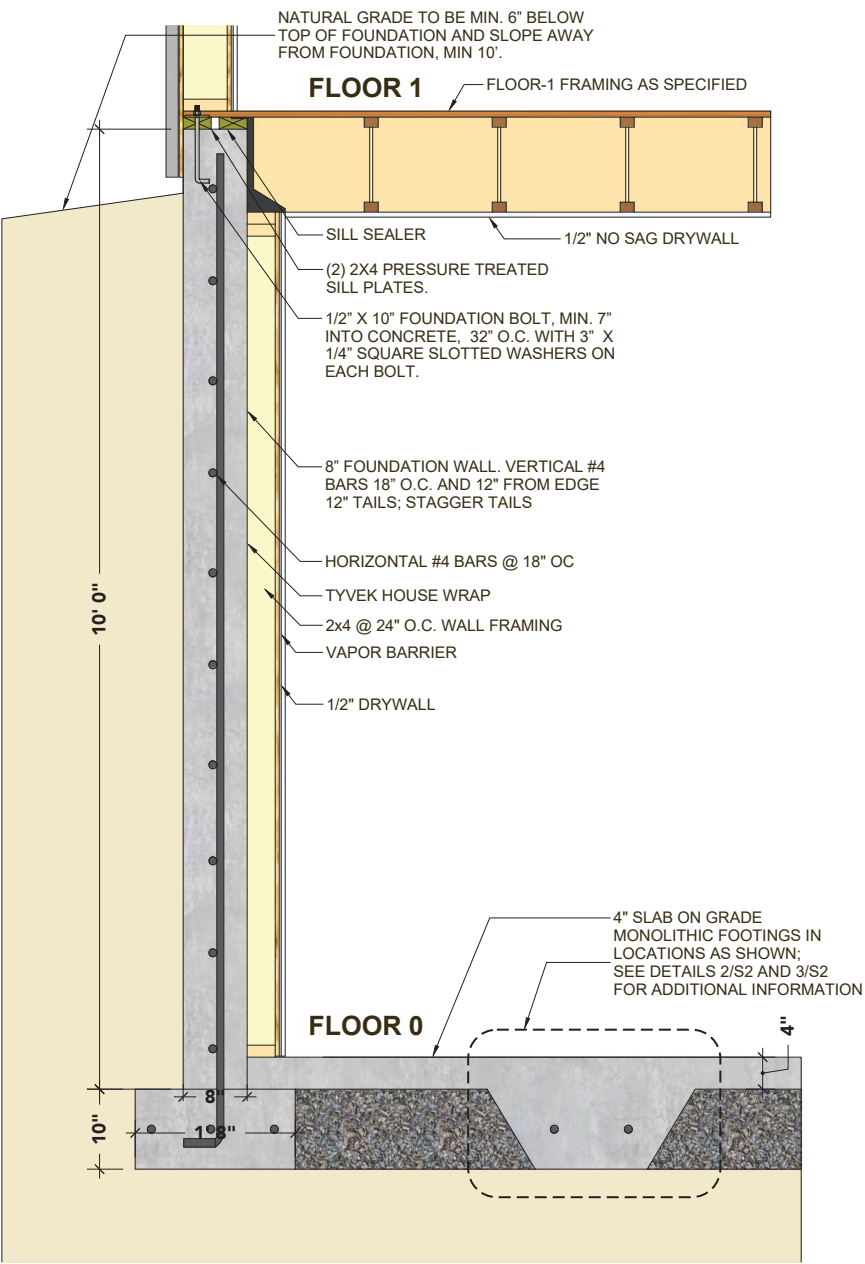
	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSE BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE CROSS SECTIONS - LATERAL	SHEET A-16
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LONGITUDINAL SECTION

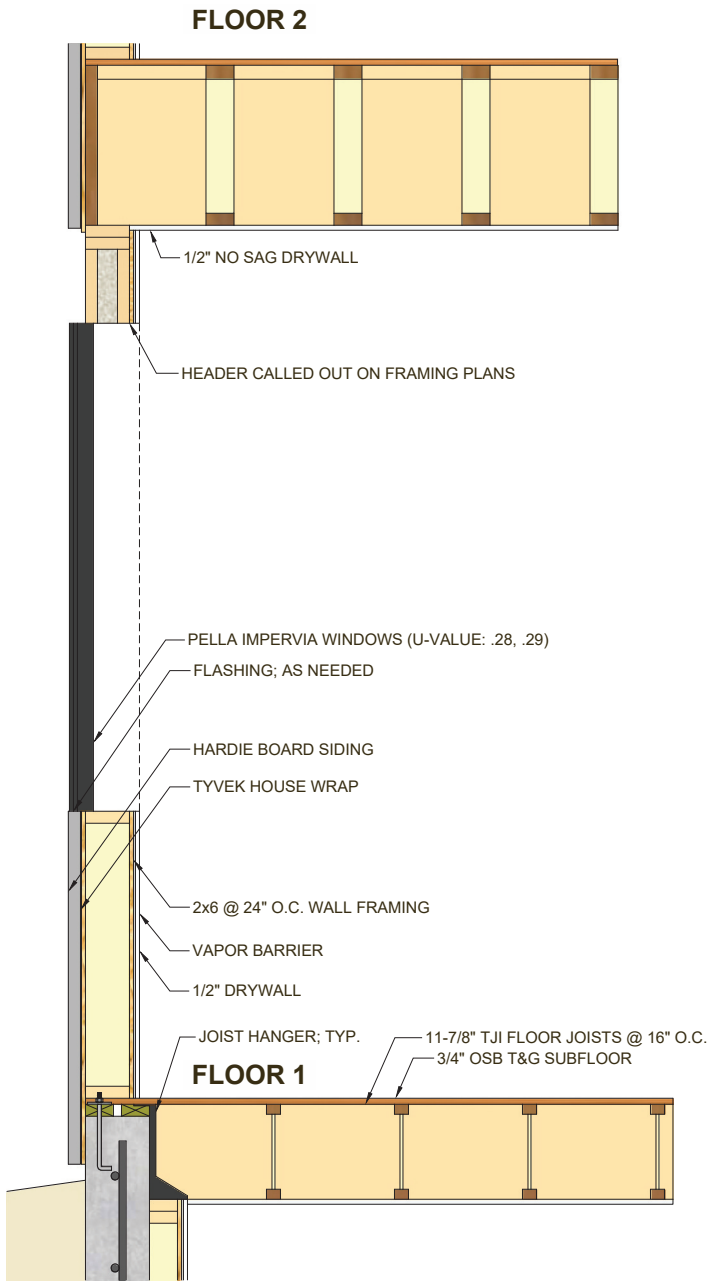
SCALE: 1/4" = 1'-0"

	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSE BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE CROSS SECTIONS - LONGITUDINAL	SHEET A-17
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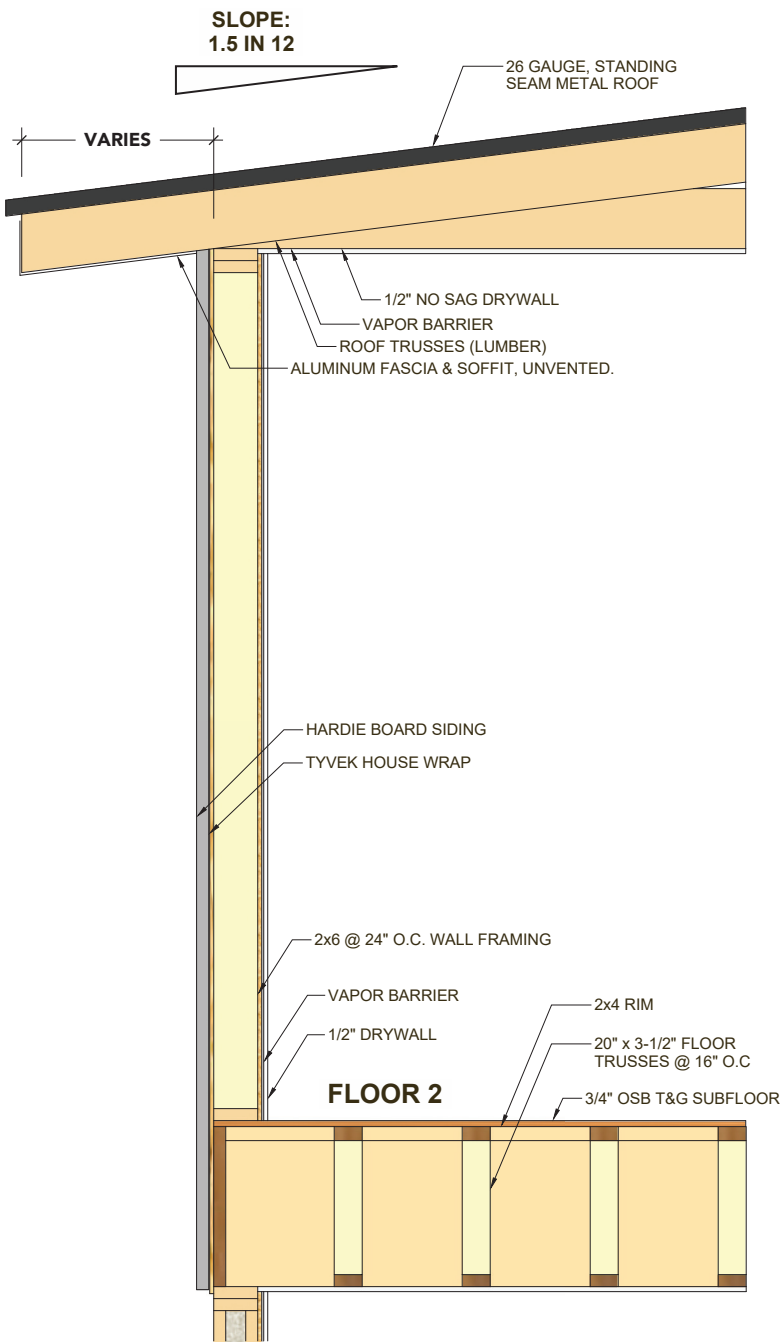
EXTERIOR WALL SECTION @ FLOOR 0

SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)



EXTERIOR WALL SECTION @ FLOOR 1

SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)



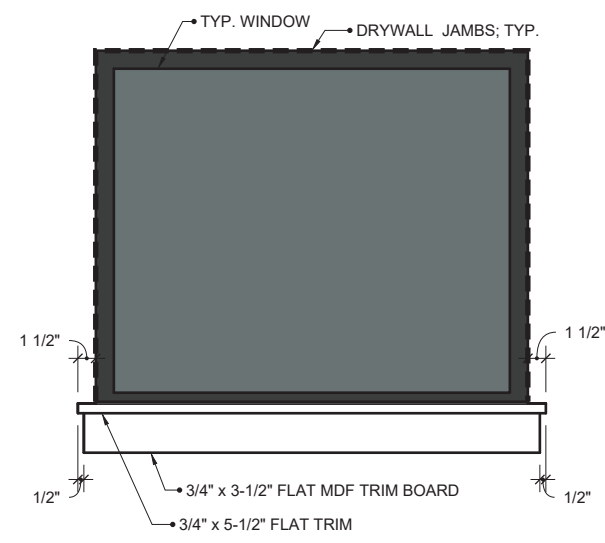
EXTERIOR WALL SECTION @ FLOOR 2

SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)

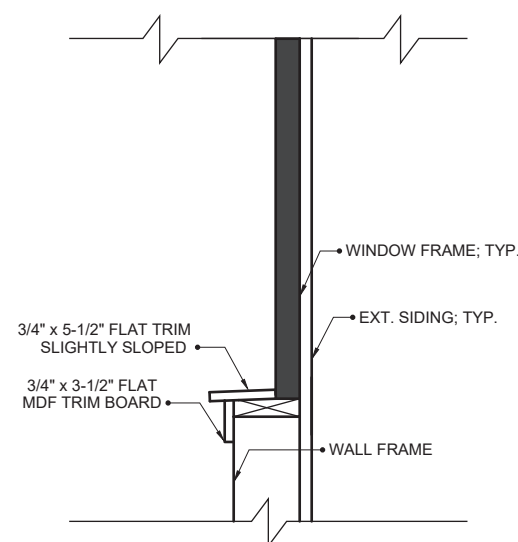
EXTERIOR SECTIONS AND DETAILS

SCALE: AS SHOWN (PRINTED ON 24" X 36" SHEETS)

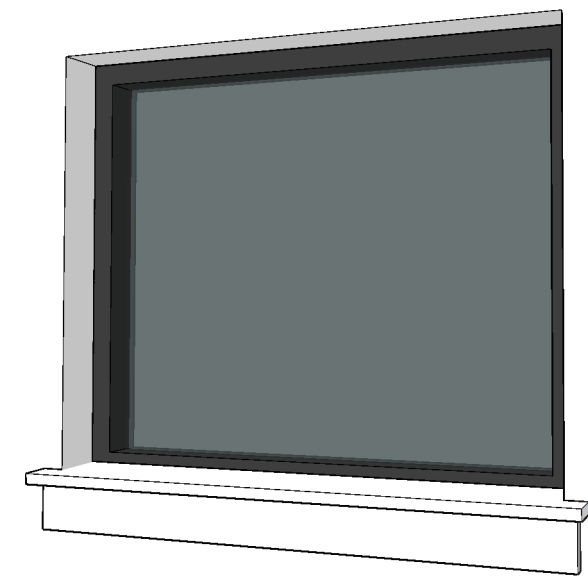
zipkithomes .com	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE EXTERIOR SECTIONS AND DETAILS	SHEET	A-18
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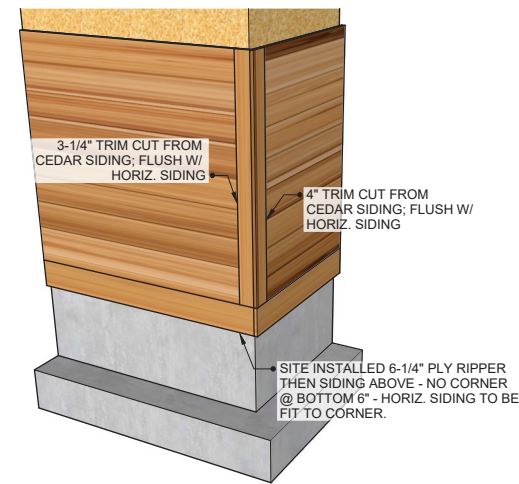
DETAIL: INTERIOR WINDOW TRIM
SCALE: NTS



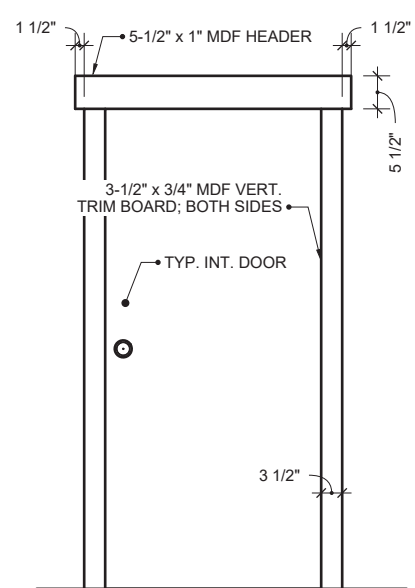
DETAIL: INTERIOR WINDOW TRIM; SIDE PROFILE
SCALE: NTS



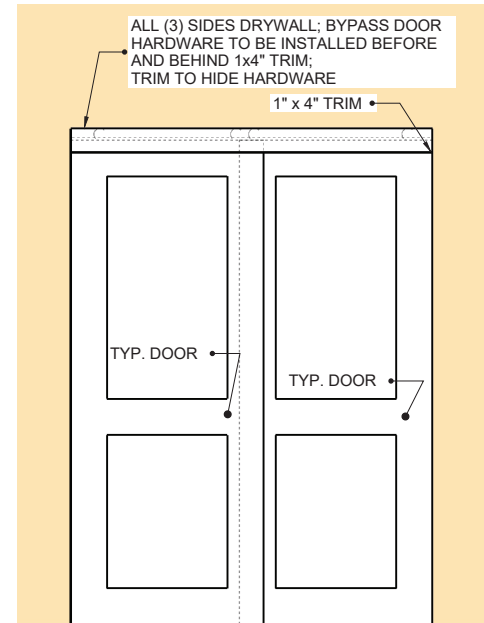
ISOMETRIC VIEW: INTERIOR WINDOW TRIM
SCALE: NTS



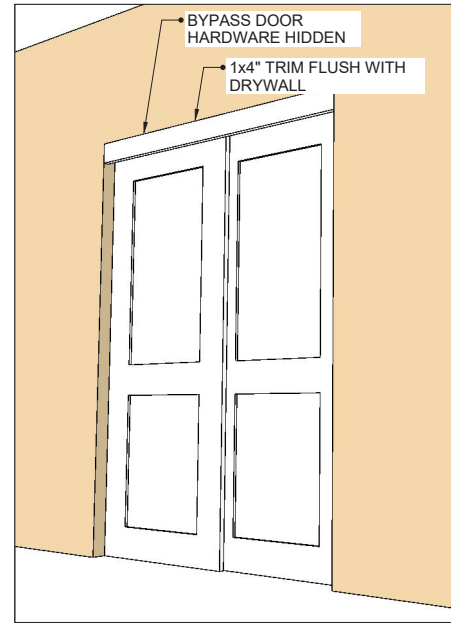
DETAIL: CORNER CONN.
@ WOOD SIDING
SCALE: NTS



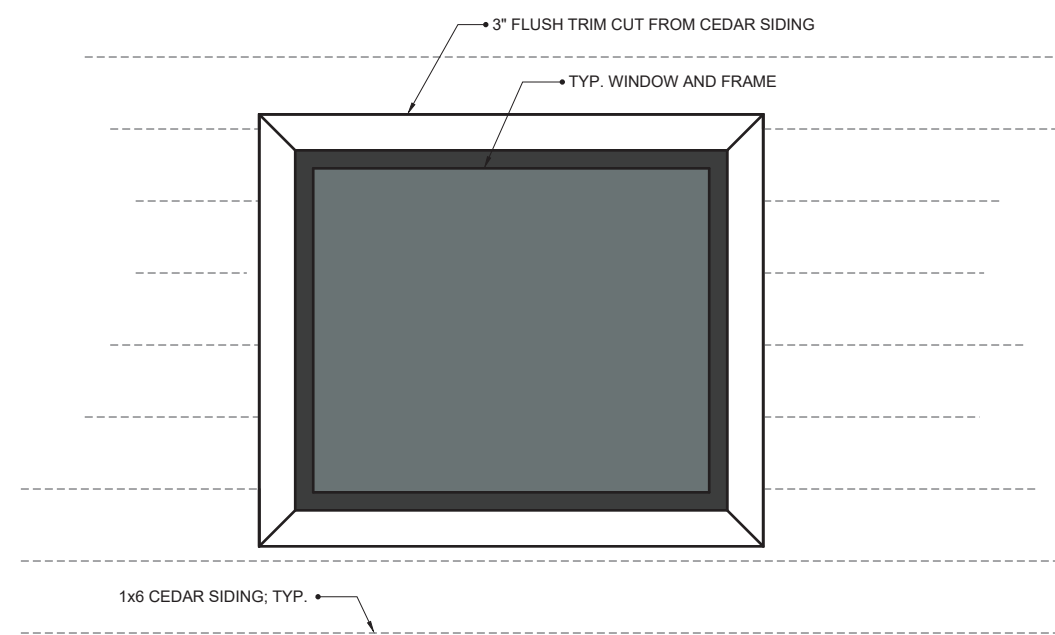
DETAIL: INTERIOR DOOR TRIM
SCALE: NTS



DETAIL: BYPASS DOOR TRIM
SCALE: NTS



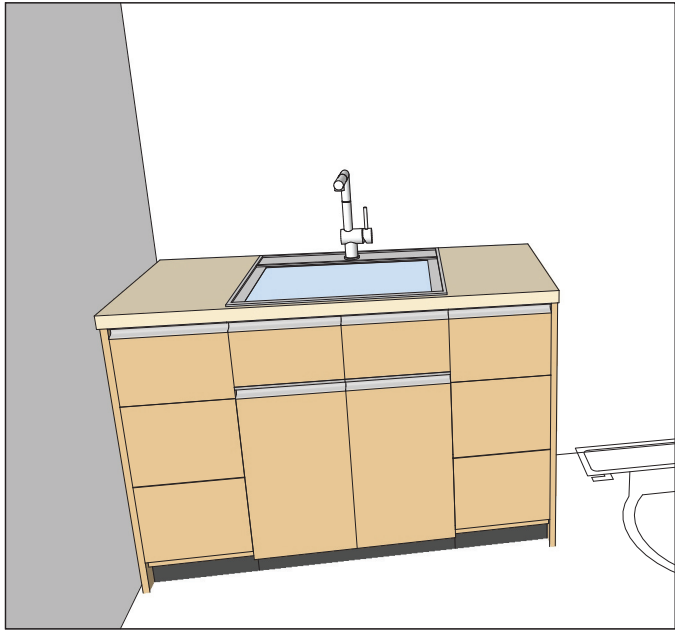
ISOMETRIC VIEW: BYPASS DOOR TRIM
SCALE: NTS



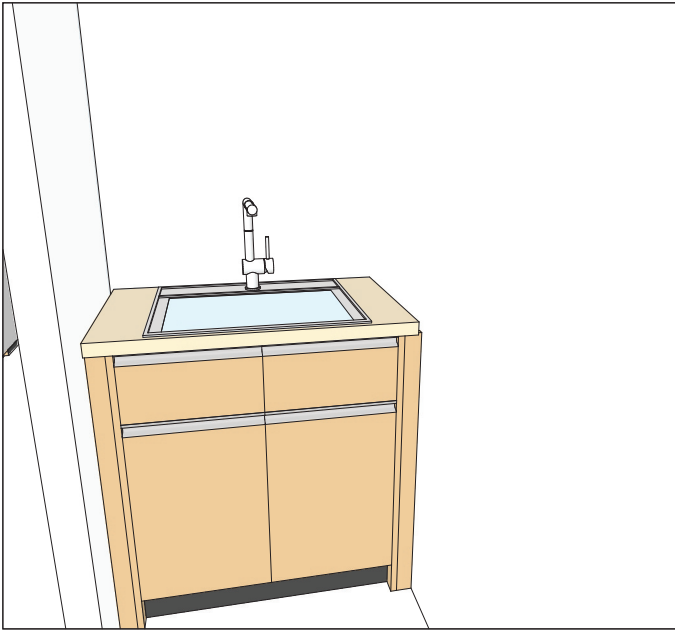
DETAIL: EXTERIOR WINDOW
SCALE: NTS

TYPICAL FACTORY AND INSTALLATION DETAILS

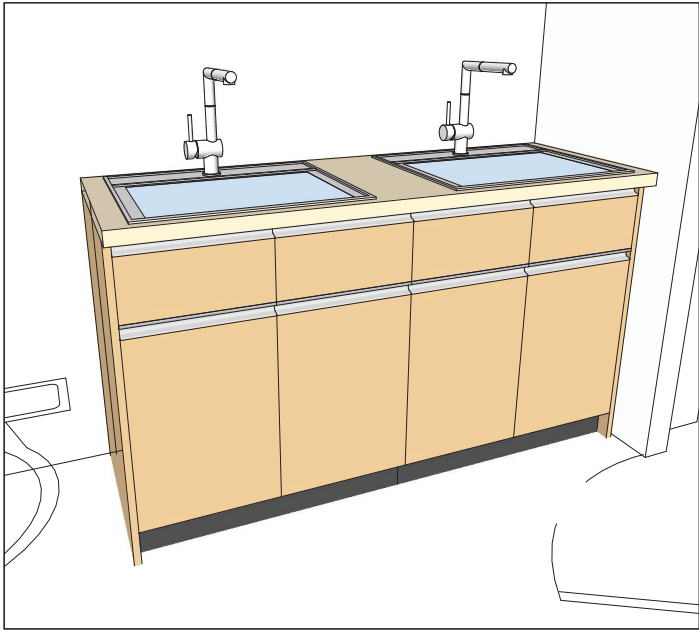
	REVISION	ISSUE DATE February 14, 2019	CLIENT KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	FLOOR PLAN KUDAR FLATS	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	MODULAR HOME BUILDER TIMBERHAWK INC. DBA ZIP KIT HOMES	PLANT LOCATION ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SHEET TITLE TYP. FACTORY AND INSTALLATION DETAILS	SHEET A-19
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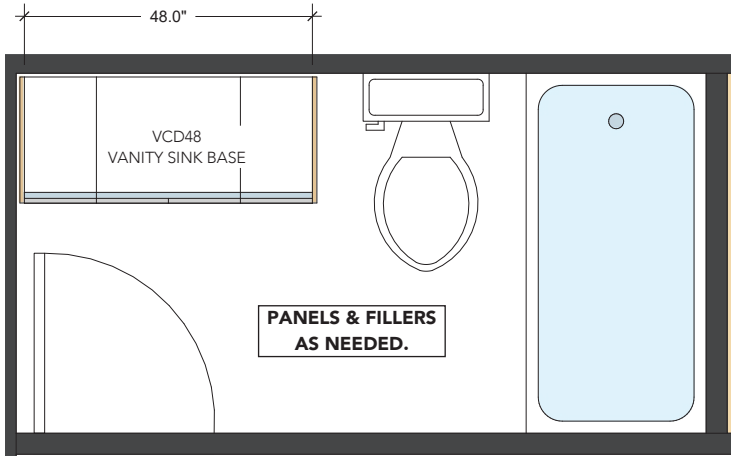
PERSPECTIVE VIEW: BATHROOM #1 AND #5
SCALE: NTS



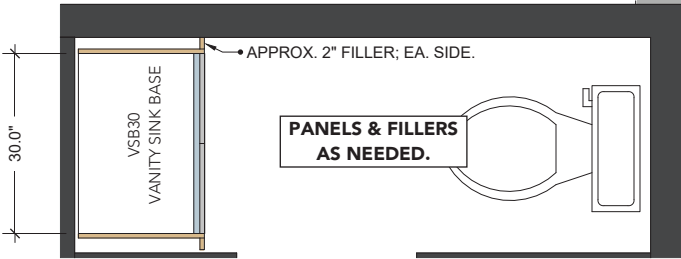
PERSPECTIVE VIEW: BATHROOM #2 AND #6
SCALE: NTS



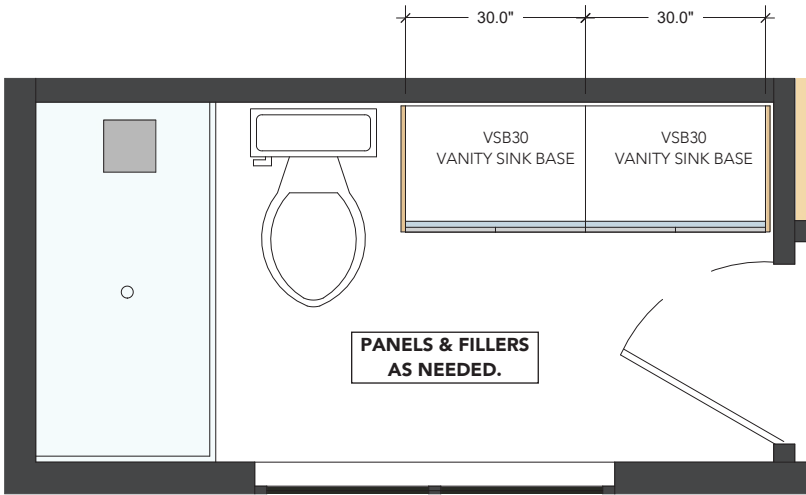
PERSPECTIVE VIEW: BATHROOMS #3, 4, 7 AND 8
SCALE: NTS



PLAN: BATHROOM #1 AND #5
SCALE: 3/4" = 1' 0"



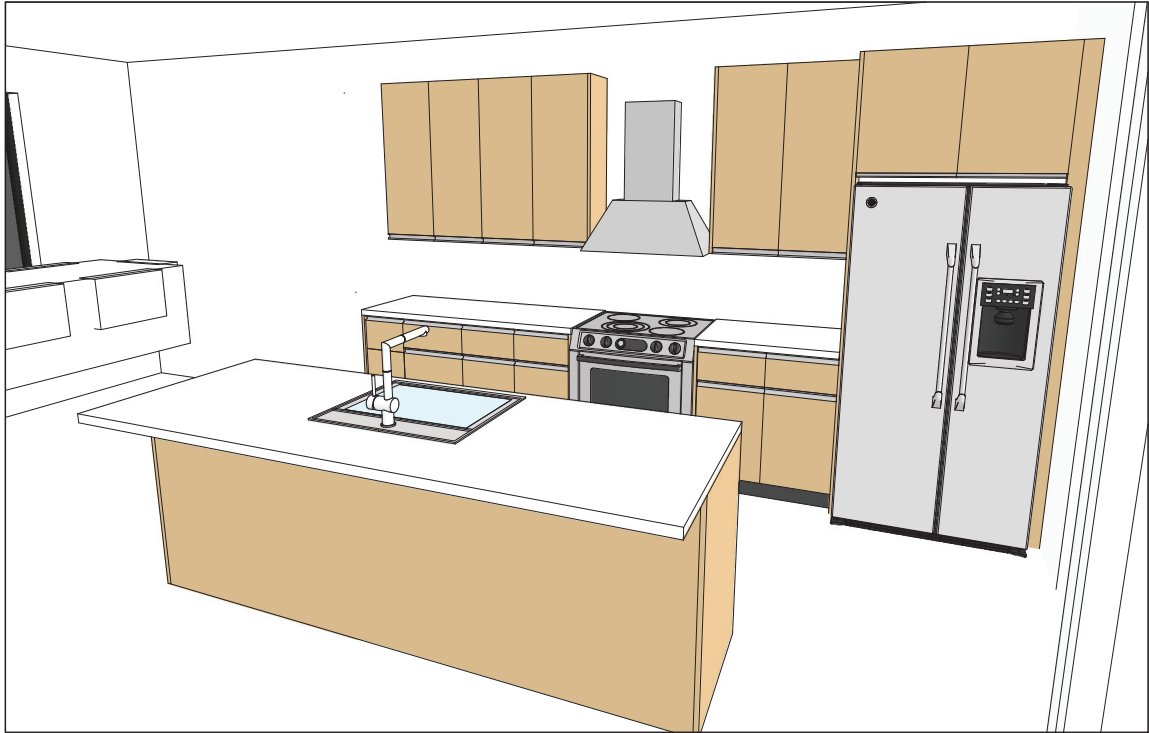
PLAN: BATHROOM #2 AND #6
SCALE: 3/4" = 1' 0"



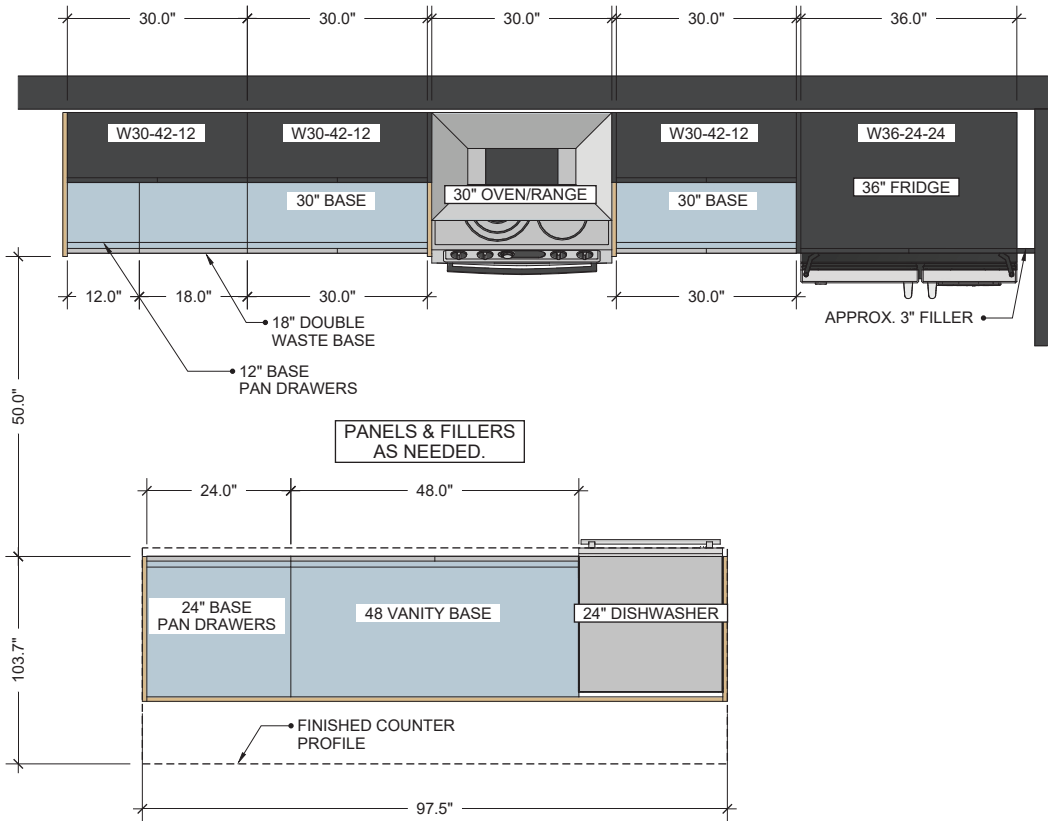
PLAN: BATHROOMS #3, 4, 7 AND 8
SCALE: 3/4" = 1' 0"

BATHROOM CASEWORK

SCALE: NTS



PERSPECTIVE VIEW: KITCHEN #1 AND #2
SCALE: NTS



PLAN: KITCHEN #1 AND #2
SCALE: 3/4" = 1' 0"

KITCHEN CASEWORK
SCALE: NTS

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