



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

<p>Date: May 9, 2019</p> <p>Item #: P19-112</p> <hr/> <p>Planner: Brendan Conboy</p> <p>Phone: 733-0440 ext. 1302</p> <p>Fax: 734-3563</p> <p>Email: bconboy@jacksonwy.gov</p> <hr/> <p>Owner: G6 LLC 1900 Buckrail Dr Jackson, WY 83001</p> <p>Applicant: Jorgensen Associates – Ron Levy PO Box 9550 Jackson, WY 83002</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for Pre-Application Conference for a Grading Permit for the property located at 1007 S. Highway 89, legally know as LOT 3, CAR CORNER ADDITION.</p> <p>For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.</p>
<p>Please respond by: n/a</p>	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



JORGENSEN
It's About People, Trust and Know How

PO Box 9550 · 1315 HWY 89 S., Suite 201
Jackson, WY 83002
PH: 307.733.5150
www.jorgeng.com

May 7, 2019

Brendan Conboy
Town of Jackson Planning and Building Dept.
P.O. Box 1687
150 East Pearl Street
Jackson, WY 83001

Hand Delivered

RE: Pre-application Conference Request – Includes Grading

Dear Brendan,

Enclosed you will find the necessary materials for a Pre-application Conference Request that includes grading that we are submitting this request on behalf of our client, CCC Management, LLC.

The property is located at 1007 South US-Highway 89 (22-41-16-32-3-02-003). The existing site is vacant, undeveloped, and flat yet it has been improved with grading in the past. The property takes access from US-Highway 89 and South Park Loop Road. Our client proposes to develop retail services with mixed use types. The Conceptual Site Plan included shows the revised configuration for the project.

Please give me a call at your earliest convenience to schedule the Conference.

Included with this transmittal you will find the following:

- Pre-Application Conference request form
- Deed and Letter of Authorization
- Jorgensen Associates Check No. 10220 for \$150
- Conceptual Site plan
- Grading and Erosion Control Permit Set

Sincerely,

JORGENSEN ASSOCIATES, P.C.

Ron Levy
Land Use Technician II



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____

Check # _____

Credit Card _____

Cash _____

Application # _____

APPLICABILITY. *This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.*

When is a Pre-application Conference required?

A pre-application conference is required for the following applications:

- Sketch Plan
- Development Plan
- Conditional Use Permit
- Special Use Permit
- Development Option Plan
- Zoning Map Amendment
- Planned Unit Development
- Plan-level Grading Permit
- Environmental Analysis

When not required, the applicant may request a pre-application conference for other types of applications.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Owner _____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. *For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.*

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

ANTICIPATED TYPES OF REVIEW PROCESS NEEDED. *Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.*

_____ Physical Development Permit (includes grading)	This pre-application conference is:
_____ Use Permit	_____ Required
_____ Development Option or Subdivision Permit	_____ Optional
_____ Interpretations of the LDRs	_____ For an Environmental Analysis
_____ Amendments to the LDRs	_____ For grading
_____ Relief from the LDRs	
_____ Environmental Analysis	

SUBMITTAL REQUIREMENTS. *Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide one electronic copy, and six hard copies of the submittal packet.*

Have you attached the following?

_____ **Application Fee.** See the currently adopted Fee Schedule in the Administrative Manual for more information.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

- _____ Existing property conditions (buildings, uses, natural resources, etc)
- _____ Character and magnitude of proposed physical development or use
- _____ Intended development options or subdivision proposal (if applicable)
- _____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

- _____ Property boundaries
- _____ Existing and proposed physical development and the location of any uses not requiring physical development
- _____ Proposed parcel or lot lines (if applicable)
- _____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

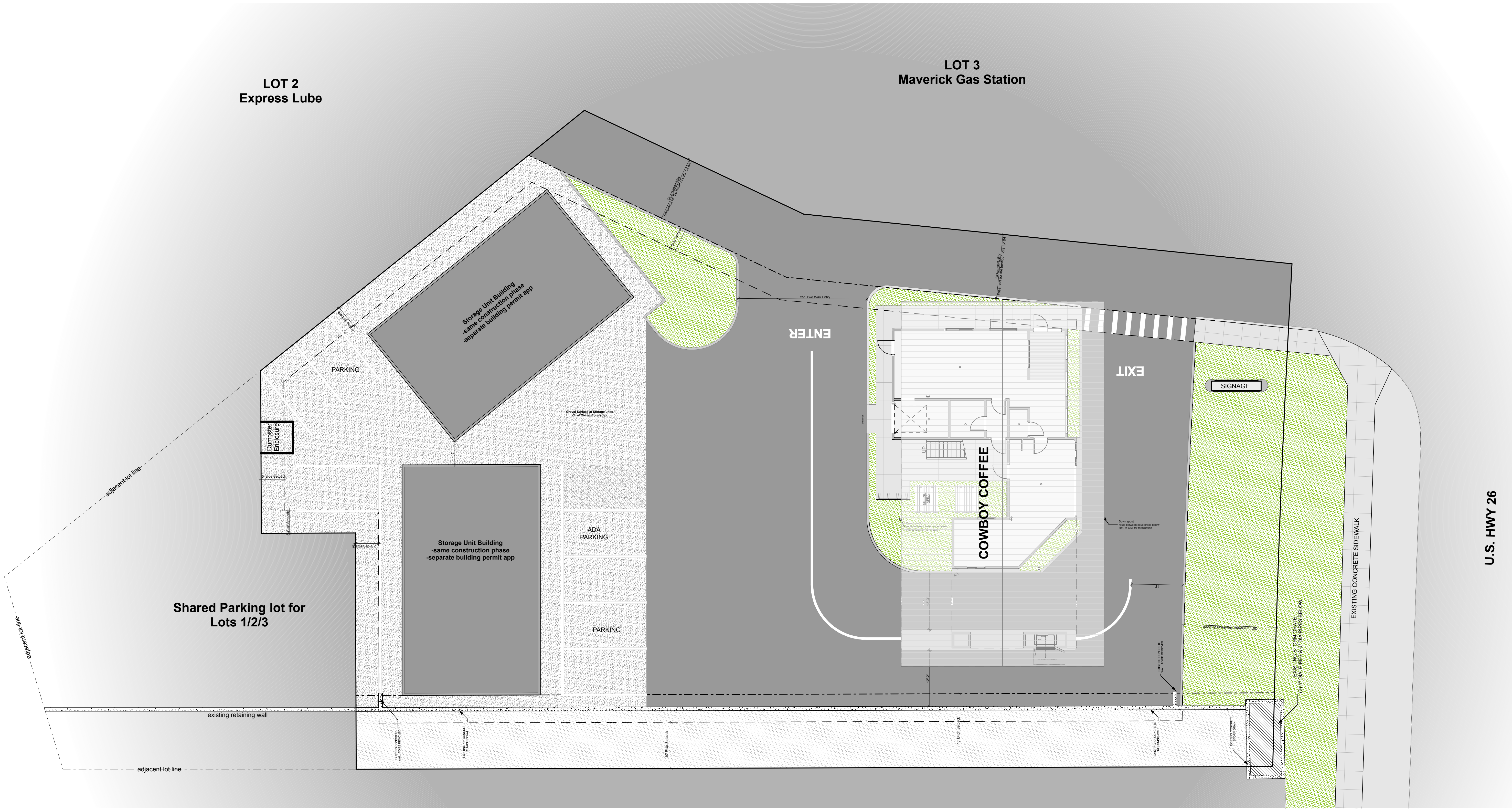
Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Owner or Authorized Applicant/Agent

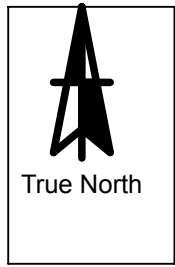
Date

Name Printed

Title

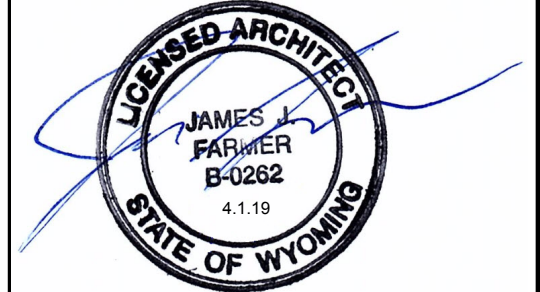


1 SITE PLAN
SCALE: 3/32" = 1'-0"



Jackson Hole Office
260 West Broadway, Suite A
PO Box 381 - Jackson, WY 83001
T.307.264.0080
T.208.214.5155
Sun Valley Office
Louisiana Office
910 Pierremont Rd. Suite 410
Shreveport, LA 71106
T.318.383.3100

ARCHITECT STAMP



This drawing and design is the property of Farmer Payne Architects, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied, in whole or part, or used for furnishing information to others, without prior written consent of Farmer Payne Architects, LLC. All common law rights of copyright & otherwise are hereby specifically reserved. These Drawings are for Schematic Intent only, no engineering is associated with these plans, architect not liable for any design or construction flaws, typ.

NOT FOR
CONSTRUCTION

COWBOY COFFEE

1007 S Highway 89
Jackson, WY

DATE:	5/7/19
PROJECT #:	1802
DRAWN:	RW/JG/JF
Revision Date:	
1/29/19	25%CD
4/1/19	50%CD
4/25/19	Upper Level Plan
5/7/19	Site Plan Parking

A200
SITE PLAN

COWBOY COFFEE

GRADING & EROSION CONTROL PLAN

1007 S. HIGHWAY 89
JACKSON, WYOMING

LOCATED WITHIN LOT 3 OF CAR CORNER
ADDITION TO THE TOWN OF JACKSON,
ACCORDING TO PLAT NUMBER 1145 OF RECORD
IN THE OFFICE OF THE CLERK OF TETON
COUNTY, WYOMING.



OWNER
Rob Ottaway
Cowboy Coffee
Jackson, WY, 83001
(307) 699-1226



**CIVIL, SURVEYOR, &
GEOTECHNICAL ENGINEER**
Jorgensen Associates, P.C.
1315 S. Highway 89, #201
P.O. Box 9550
Jackson, WY 83002-9550
(307) 733-5150



ARCHITECT
Farmer Payne Architects
PO Box 381
Jackson, WY 83001
(307) 264-0080



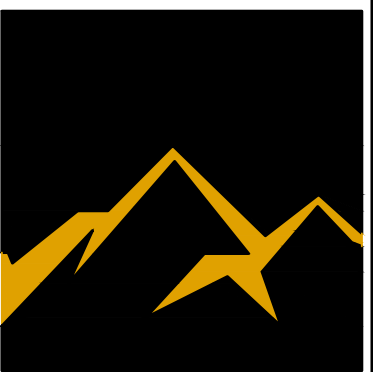
STRUCTURAL ENGINEER
Y2 Consultants, LLC.
180 S. Willow St.,
Jackson, WY 83001
(307) 733-2999



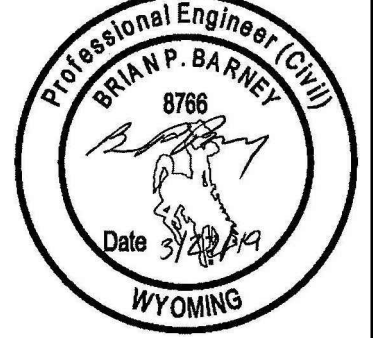
VICINITY MAP
1" = 200' for 22x34 Prints
1" = 400' for 11x17 Prints



INDEX OF SHEETS	
C1.0	TITLE, VICINITY MAP, SHEET INDEX
C1.1	PROJECT NOTES AND LEGEND
C1.2	EXISTING CONDITIONS
C2.0	SITE OVERVIEW & BUILDING TIES
C2.1	PROPOSED GRADING PLAN
C2.2	PROPOSED UTILITY PLAN
C3.0	DETAILS
C3.1	DETAILS
C3.2	DETAILS



JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgeng.com



PROJECT TITLE:
COWBOY COFFEE
1007 S. HIGHWAY 89
LOT 3, CAR CORNER ADDITION
JACKSON, WYOMING

SHEET TITLE:
TITLE, VICINITY MAP, SHEET
INDEX

DRAFTED BY:	BS
REVIEWED BY:	BB
PLAN VERSION	DATE
GEC PERMIT	03.27.2019

PROJECT NUMBER
17102.10
SHEET
C1.0

LEGEND:

PROPOSED

EXISTING

		A 5/8 INCH DIAMETER STEEL REBAR WITH AN ALUMINUM CAP INSCRIBED "PLS 4270" FOUND THIS SURVEY
		PK-BRAND NAIL FOUND THIS SURVEY
		STEEL SPIKE SET THIS SURVEY FOR ORIENTATION AND MAPPING PURPOSES
		UTILITY PEDESTAL
		UTILITY POLE
		POWER TRANSFORMER
		METER
		PHONE PEDESTALS
		SEWER MANHOLE
		STORM DRAIN
		STORM SEWER MANHOLE
		LIGHTPOST
		POWER BOX
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		TOP BACK OF CURB
		CONCRETE WALL
		EDGE OF CONCRETE
		PARKING STRIPING
		OVERHEAD LINE
		BURIED POWER LINE
		SANITARY SEWER LINE
		STORM SEWER LINE
		STORM SEWER LINE WITH RIGID INSULATION
		WATER LINE
		CONTOURS, MAJOR
		CONTOURS, MINOR
		STRAW WATTLE
		LIMIT OF DISTRUBANCE
		GRADE SPOT ELEVATION
		TOP BACK OF CURB SPOT ELEVATION
		EDGE OF PAVEMENT SPOT ELEVATION
		EDGE OF CONCRETE SPOT ELEVATION
		LOW POINT SPOT ELEVATION
		LAWN

GENERAL PROJECT NOTES:

- PROJECT SCOPE: CONSTRUCT COFFEE KIOSK AND ASSOCIATED FACILITIES.
- PROPERTY IS ZONED AS BUSINESS PARK-RES (BP-R).
- PROPERTY AREA: 0.58 ACRES
- THE PROJECT WILL BEGIN IN SUMMER OF 2019
- CONSTRUCTION WORK HOURS SHALL BE CONSISTENT WITH CURRENT TOWN OF JACKSON POLICIES.
- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS. ANY CONSTRUCTION RELATED ACTIVITIES NOT IN CONFORMANCE WITH APPROVED AND PERMITTED PLANS AND/OR SEQUENCING MAY RESULT IN TERMINATION OF WORK.
- VERBAL NOTICE OF ANY CHANGES OR MODIFICATIONS THAT ARE NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE BUILDING PERMIT SHALL BE GIVEN TO THE TOWN ENGINEERING DEPARTMENT AT 307 733-3079. THE TOWN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL WRITTEN NOTICE OR INFORMATION BE SUBMITTED THROUGH THE TOWN'S BUILDING DEPARTMENT AND ADDITIONAL REVIEW FEES MAY APPLY.
- PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE APPLICANT SHALL CONTACT THE TOWN OF JACKSON ENGINEERING DEPARTMENT AND SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO MEET WITH THE ENGINEERING DEPARTMENT PRIOR TO START OF CONSTRUCTION ACTIVITIES WILL RESULT IN STOPPAGE OF WORK ON SITE. THE TOWN ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- THE DESIGN ENGINEER OF RECORD FOR ALL PROPOSED RETAINING WALLS, WATER AND SEWER INFRASTRUCTURE AND GRADING SHALL INSPECT AND PROVIDE WRITTEN APPROVAL OF CONSTRUCTION PRIOR TO CERTIFICATE OF OCCUPANCY. THE TOWN ENGINEERING DEPARTMENT SHALL BE NOTIFIED TO ALLOW FOR WITNESSING OF ANY TESTING. FIELD REPORTS REGARDING THE INSTALLATIONS SHALL BE KEPT AND MAY BE REQUIRED BY THE TOWN ENGINEERING DEPARTMENT. RECORD DRAWINGS OF THE INSTALLATION SHALL BE PROVIDED ALONG WITH A WYDEQ CERTIFICATE OF COMPLETION.
- ALL PROPOSED ROADS, SIDEWALKS, WATER, SEWER, CABLE UTILITIES, STORM AND DRAINAGE INFRASTRUCTURE LOCATED ONSITE SHALL BE PRIVATELY OWNED, OPERATED AND MAINTAINED. THE CONSTRUCTION OF THE ONSITE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE PROVIDED FOR IN A SUBDIVISION IMPROVEMENTS AGREEMENT TO BE APPROVED WITH EACH SUBDIVISION PLAT.
- RECORD DESIGN PLANS SHALL BE SUBMITTED ELECTRONICALLY TO THE TOWN OF JACKSON IN PORTABLE DOCUMENT FORMAT (PDF) WITH A CORRESPONDING AUTOCAD COMPATIBLE (DWG) AND A GIS SHAPE FILE.
- JORGENSEN GEOTECHNICAL, LLC PERFORMED A GEOTECHNICAL INVESTIGATION OF THE PROPERTY IN DECEMBER OF 2018. THE PREDOMINANT SOIL TYPE IS GRAVEL FILL WITH OVERLYING STONY ALLUVIUM BASE. THE GEOTECHNICAL REPORT IDENTIFIES OPTIONS FOR CONSTRUCTING FOUNDATIONS ON THIS SOIL TYPE.
- JORGENSEN ASSOCIATES PREFORMED A TOPOGRAPHICAL SURVEY IN THE WINTER OF 2019.
- TETON COUNTY GIS LISTS VEGETATION COVER AS SAGEBRUSH DRY SHRUB LAND AND INTRODUCED GRASSLAND HERBACEOUS.
- RE-VEGATATION TO OCCUR ONCE CONSTRUCTION IS COMPLETE.
- THE PROPERTY IS NOT WITHIN THE WILD LAND URBAN INTERFACE.
- THE PROJECT AREA IS NOT IN THE NATURAL RESOURCE OVERLAY OR IN THE SCENIC RESOURCE OVERLAY.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA. CONTACT ENGINEER TO LOCATE EXISTING WATER, SEWER LINES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
- CONTRACTOR TO CONFIRM STOCKPILE AND STAGING LOCATIONS WITH THE OWNER.
- FILL MATERIAL SHALL BE SUITABLE ON-SITE OR IMPORTED MATERIAL WITH ROCK NO LARGER THAN 6 INCHES IN DIAMETER. LARGER MATERIAL MAY BE PLACED ONLY WHEN AUTHORIZED BY ENGINEER. CONSULT GEO-TECH FOR FURTHER DETAILS.
- SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-99-STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS.
- CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING H OR GRADING W.
- CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557(AASHTO T-180-MODIFIED PROCTOR DENSITY).
- CONSTRUCTION SITE DELINEATION FENCING SHALL BE PROVIDED AS NEEDED TO PROTECT THE PUBLIC FROM HAZARDS DURING CONSTRUCTION. THE FENCE SHALL REMAIN IN PLACE AND INTACT FOR AS LONG AS NECESSARY TO PROTECT THE PUBLIC.

- DESTRUCTION AND DAMAGE TO TREES AND OTHER NATURAL VEGETATION SHALL BE MINIMIZED AND ALL DISTURBED SURFACES SHALL BE RESEEDED AS SOON AS PRACTICABLE IN ACCORDANCE TO THE REVEGETATION SPECIFICATIONS.
- STRIP AND SALVAGE TOPSOIL FROM ALL EXCAVATED AREAS.
- APPROVED SEDIMENTATION CONTROLS AND SILT RETENTION SHALL BE PLACED AND PROVIDED DURING CONSTRUCTION AS NEEDED TO PREVENT OFFSITE STORM FLOW AS IDENTIFIED IN THE APPROVED GRADING AND EROSION CONTROL PLAN. THE TOWN ENGINEER SHALL BE NOTIFIED UPON COMPLETION OF EROSION CONTROL MEASURES WITHIN 2 CALENDAR DAYS AFTER INSTALLATION.
- THE APPROVED EROSION CONTROL PLAN SHALL BE LOCATED ON SITE. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAIN AND AT LEAST ONCE EACH WEEK. EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS AS A RESULT OF LAND DEVELOPING OR DISTURBING ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.
- THE TOWN ENGINEER SHALL BE ALLOWED TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
- COPIES OF ALL AGREEMENTS AND/OR EASEMENTS SHALL BE PROVIDED TO THE TOWN OF JACKSON PRIOR TO GRADING ON ADJACENT PROPERTIES FOR TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITIES.
- WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS PRIOR TO REVEGETATION AND AFTER REVEGETATION IS COMPLETE.
- FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.
- ALL PUBLIC STREETS SHALL BE MAINTAINED CLEAR OF DEBRIS DURING CONSTRUCTION. SHOULD DEBRIS BE TRACKED ONTO PUBLIC STREETS FROM THE CONSTRUCTION SITE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE AFFECTED STREETS.
- ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.
- TOPS OF CUT AND FILL SLOPES SHALL BE ROUNDED TO AVOID RAVELING AND EROSION.
- A FOUR INCH MINIMUM LAYER OF TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING.
- CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 WITHOUT SPECIAL STABILIZATION AND APPROVAL FROM ENGINEER.

REVEGETATION SPECIFICATIONS:
(FOLLOW MITIGATION PLAN. FOLLOW THESE SPECIFICATIONS WHERE NOTHING IS SPECIFIED ON MITIGATION PLANS OR BY LANDSCAPE ARCHITECT.)

- SEED MIXTURE:

COMMON NAME	PLS SEEDS/SF	PLS % MIX
BLUEBUNCH WHEATGRASS	10.2	12%
SANDBERG BLUEGRASS	16.8	20%
IDAHO FESCUE	14.4	18%
SLENDER WHEATGRASS	6.1	7%
SUBTOTAL:	47.5	
*QUICKGUARD STERILE TRITICALE HYBRID (ANNUAL COVER)	0.6	0.7%
MOUNTAIN BIG SAGEBRUSH	22.8	28%
BASIN WILD RYE	1.7	2%
RUBBER RABBITBRUSH	3.2	4%
COMMON YARROW	6.4	8%
TOTAL	82.2	100%
TOTAL APPLICATION RATE = 21.1 POUNDS/ACRE		
*STERILE TRITICALE HAS BEEN ADDED TO SEED MIX #1 AS A NURSE CROP TO PROVIDE FAST GROWING, SHORT-TERM VEGETATIVE GROWTH TO ASSIST WITH EROSION CONTROL PRIOR TO THE FULL ESTABLISHMENT OF THE SLOWER GROWING NATIVE PERENNIAL SPECIES. THE TRITICALE IS STERILE AND WILL NOT PRODUCE VIABLE SEED. THEREFORE, IT WILL ONLY BE PRESENT DURING THE INITIAL GROWING SEASON.		
- SEED MIXES CONTAINING NATIVE FLOWERING PLANTS SUCH AS LUPINE, YARROW AND PAINTBRUSH ARE ACCEPTABLE.
- ALL SEED SHALL COMPLY WITH WYOMING SEED LAW. SEED SHALL BE PURCHASED FROM A DEALER LICENSED WITH THE WYOMING DEPARTMENT OF AGRICULTURE. CERTIFICATIONS FOR THE SEED MIX SHALL BE PROVIDED TO THE ENGINEER PRIOR TO SEEDING.
- TOPSOIL SHALL BE UNIFORMLY SPREAD ON PREPARED SURFACES PRIOR TO SEEDING. REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS FROM THE PREPARED SOIL PRIOR TO SEEDING.
- HARD PACKED OR CAKED TOPSOIL SURFACES SHALL BE SCARIFIED OR DISKED PRIOR TO SEEDING.
- SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE SURFACE BY APPROVED MECHANICAL BROADCASTING DEVICES AND THE GROUND SHALL BE IMMEDIATELY RAKED OR DRAGGED TO COVER THE SEED.
- SEEDING SHALL BE PERFORMED BETWEEN THE TIME THE FROST LEAVES THE GROUND IN THE SPRING AND BEFORE THE FROST ENTERS THE GROUND IN THE FALL.



PROJECT TITLE:
 COWBOY COFFEE
 1007 S. HIGHWAY 89
 LOT 3, CAR CORNER ADDITION
 JACKSON, WYOMING

PROJECT NOTES AND LEGEND

DRAFTED BY:	BS
REVIEWED BY:	BB
PLAN VERSION	DATE
GEC PERMIT	03.27.2019
PROJECT NUMBER	17102.10
SHEET	C1.1





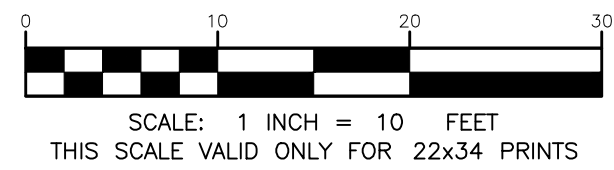
JORGENSEN
PINEDALE, WYOMING
307.367.6548
www.jorgeng.com

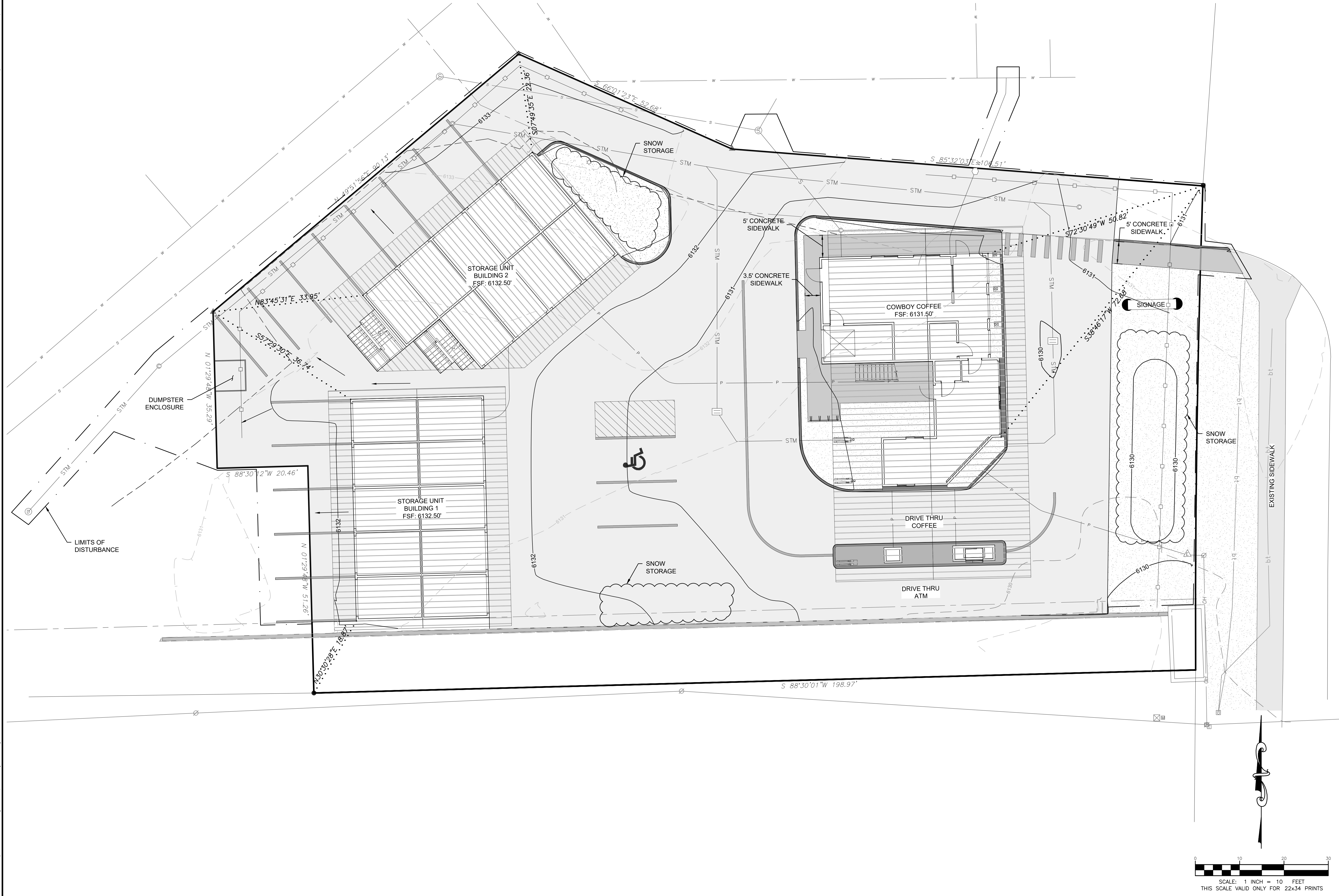
PROJECT TITLE:
COWBOY COFFEE
1007 S. HIGHWAY 89
LOT 3, CAR CORNER ADDITION
JACKSON, WYOMING

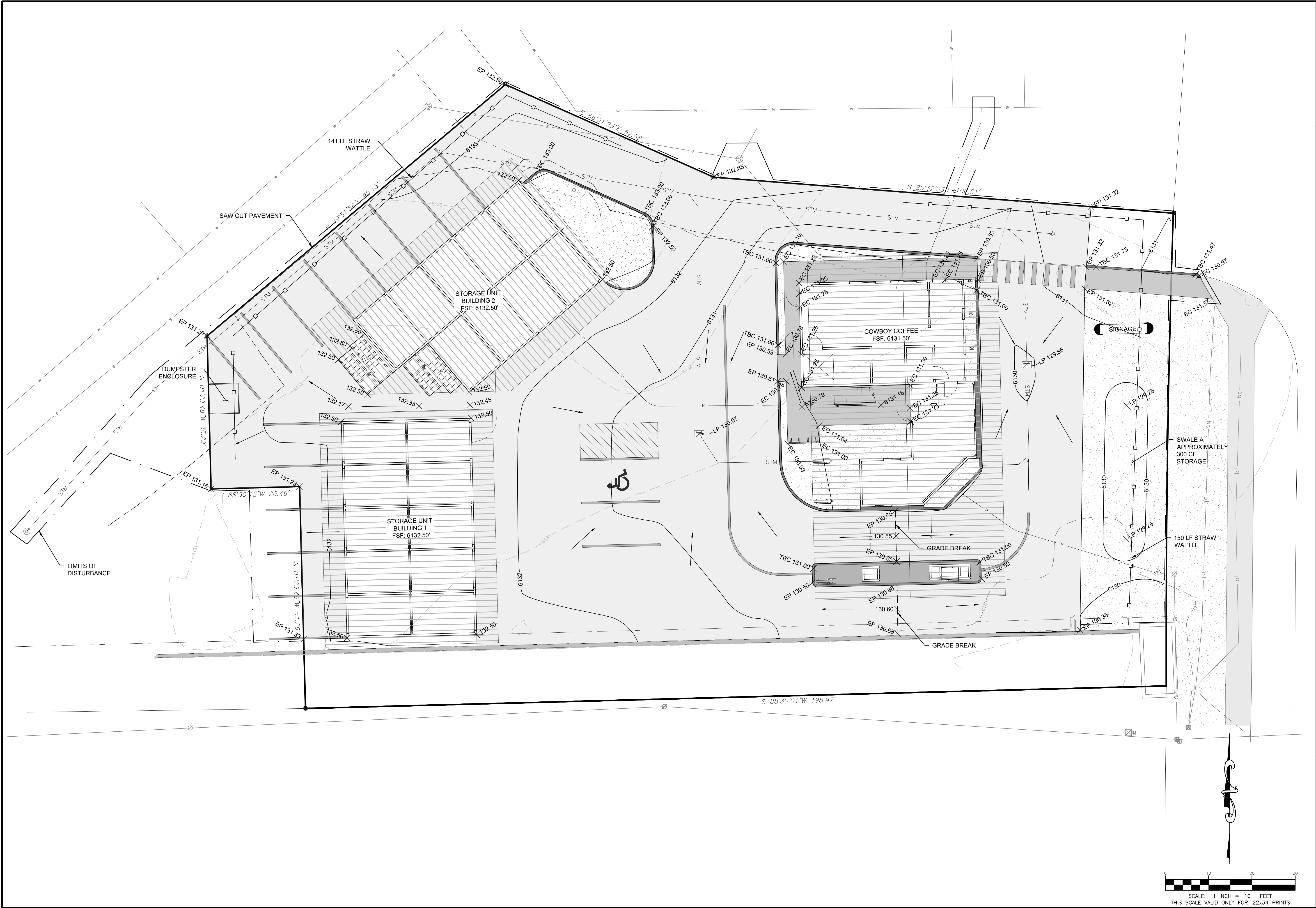
SHEET TITLE:
EXISTING CONDITIONS

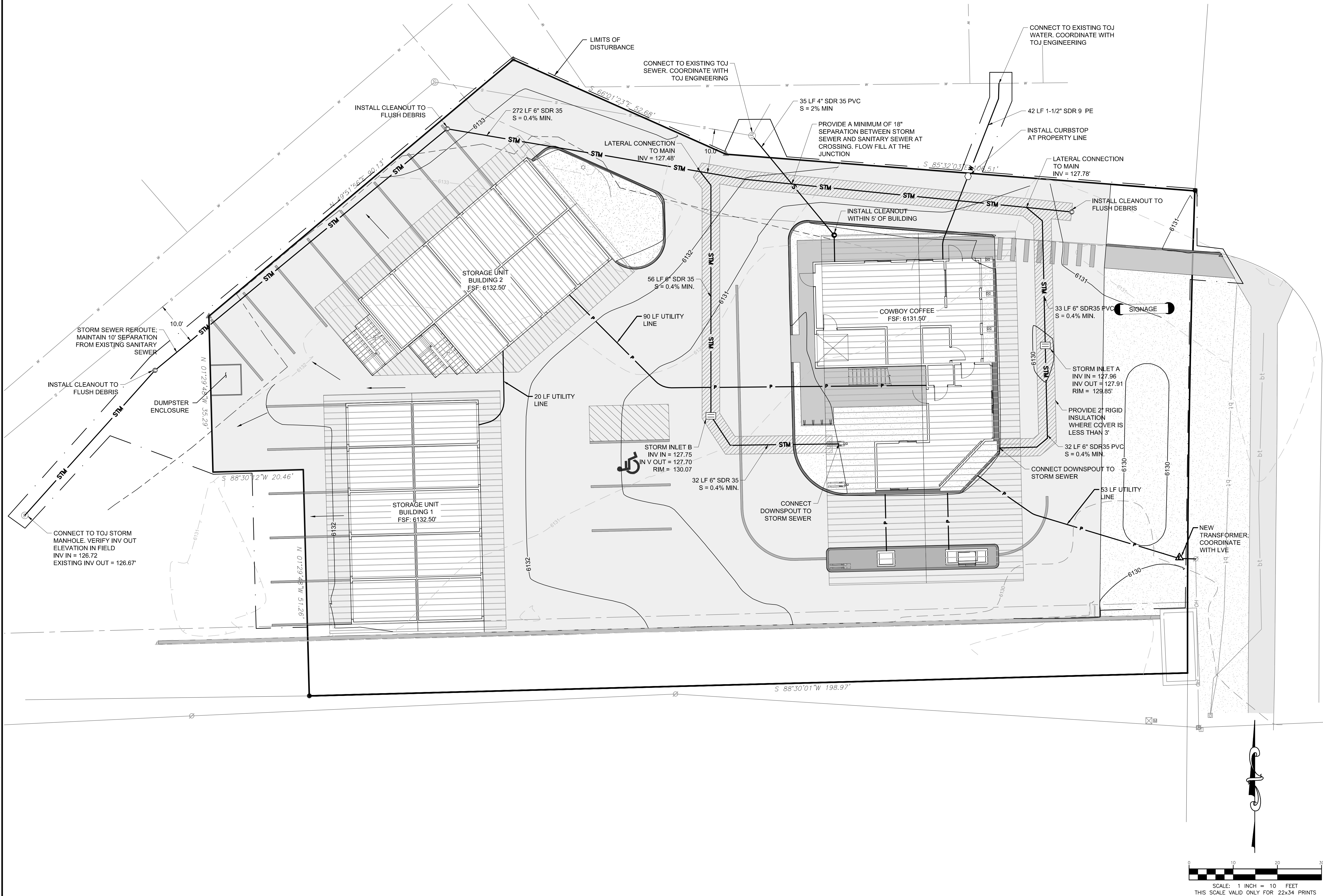
DRAFTED BY:	BS
REVIEWED BY:	BB
PLAN VERSION	DATE
GEC PERMIT	03.27.2019
PROJECT NUMBER	17102.10
SHEET	C1.2

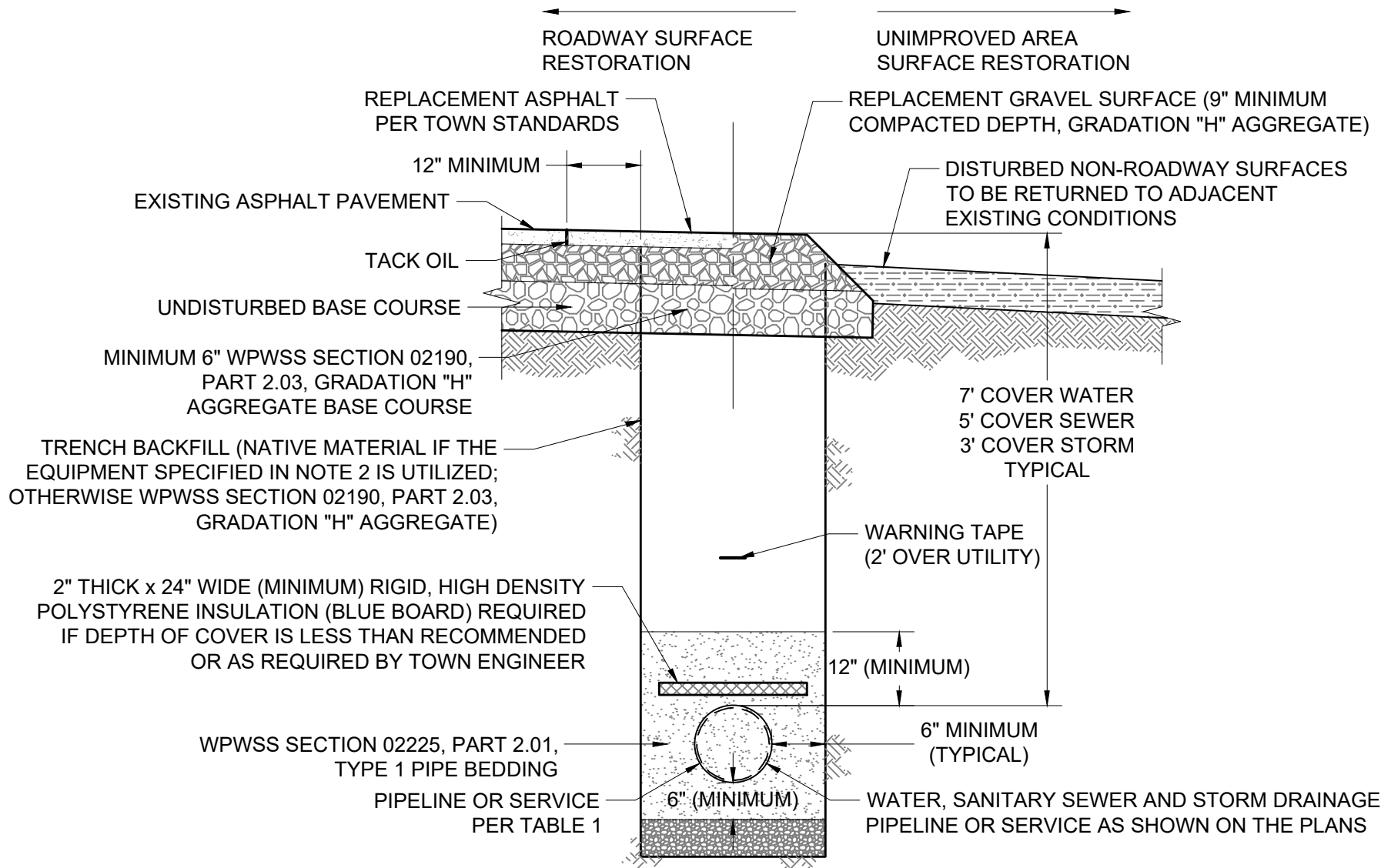
— PRELIMINARY —
SUBJECT TO CORRECTION
AND APPROVAL









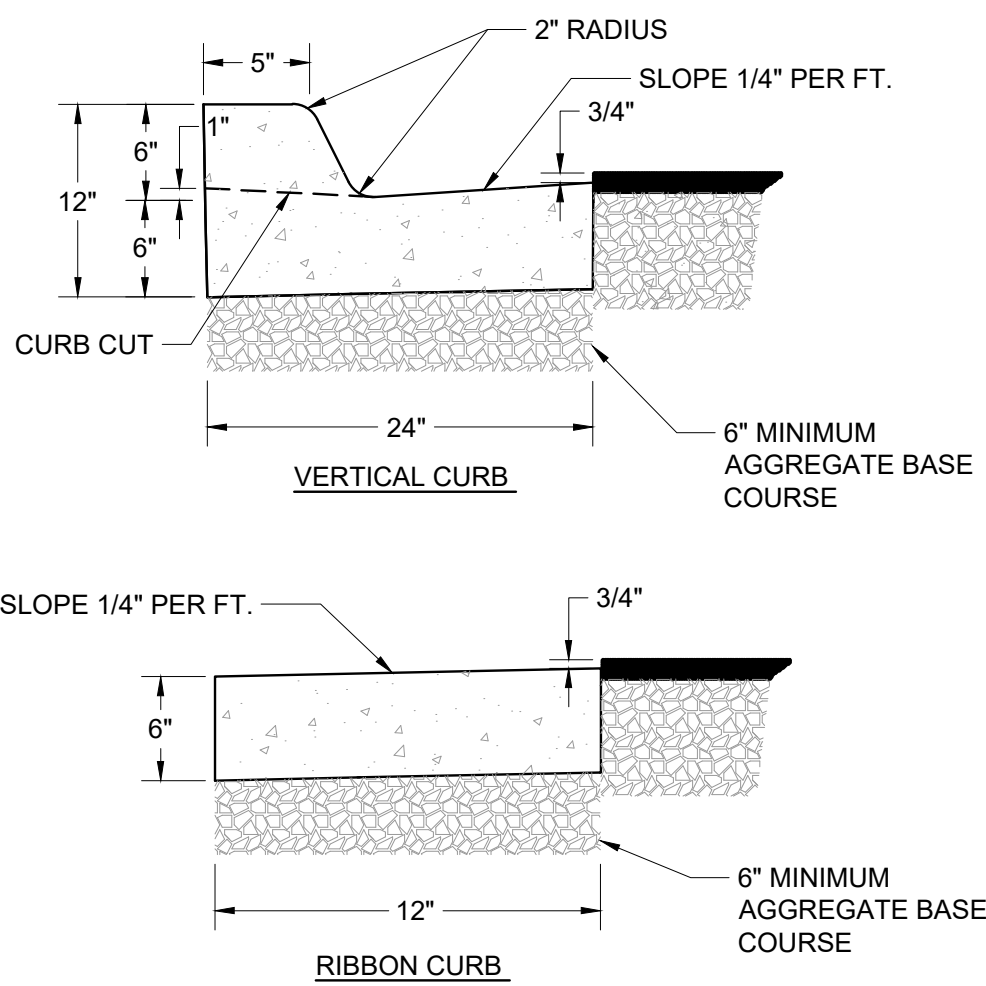


NOTE

- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
- COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 12" LIFTS WITH APPROPRIATE COMPACTION EQUIPMENT (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO BACKFILLING).
- PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED TO PROVIDE UNIFORM PIPE SUPPORT.
- UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
- ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.
- PROVIDE INSULATION BOARD WHERE COVER OVER WATER LINES AND FORCE MAINS ARE LESS THAN 7 FEET, UP TO 6 FEET ADD SECOND LAYER OF INSULATION BETWEEN 5 FEET AND 6 FT. DO NOT BURY WATERLINES LESS THAN 5 FEET WITHOUT APPROVAL FROM THE ENGINEER.
- PROVIDE ONE LAYER 2" INSULATION BOARD WHERE COVER OVER SANITARY SEWER AND STORM WATER LINES ARE LESS THAN 5 FEET UP TO 4 FEET. ADD A SECOND LAYER OF INSULATION WHERE LESS THAN 4 FEET UP TO 3 FEET. DO NOT BURY SANITARY SEWER OR STORM WATER LINES LESS THAN 3 FEET WITHOUT APPROVAL OF ENGINEER.

PIPE TRENCH DETAIL

NOT TO SCALE



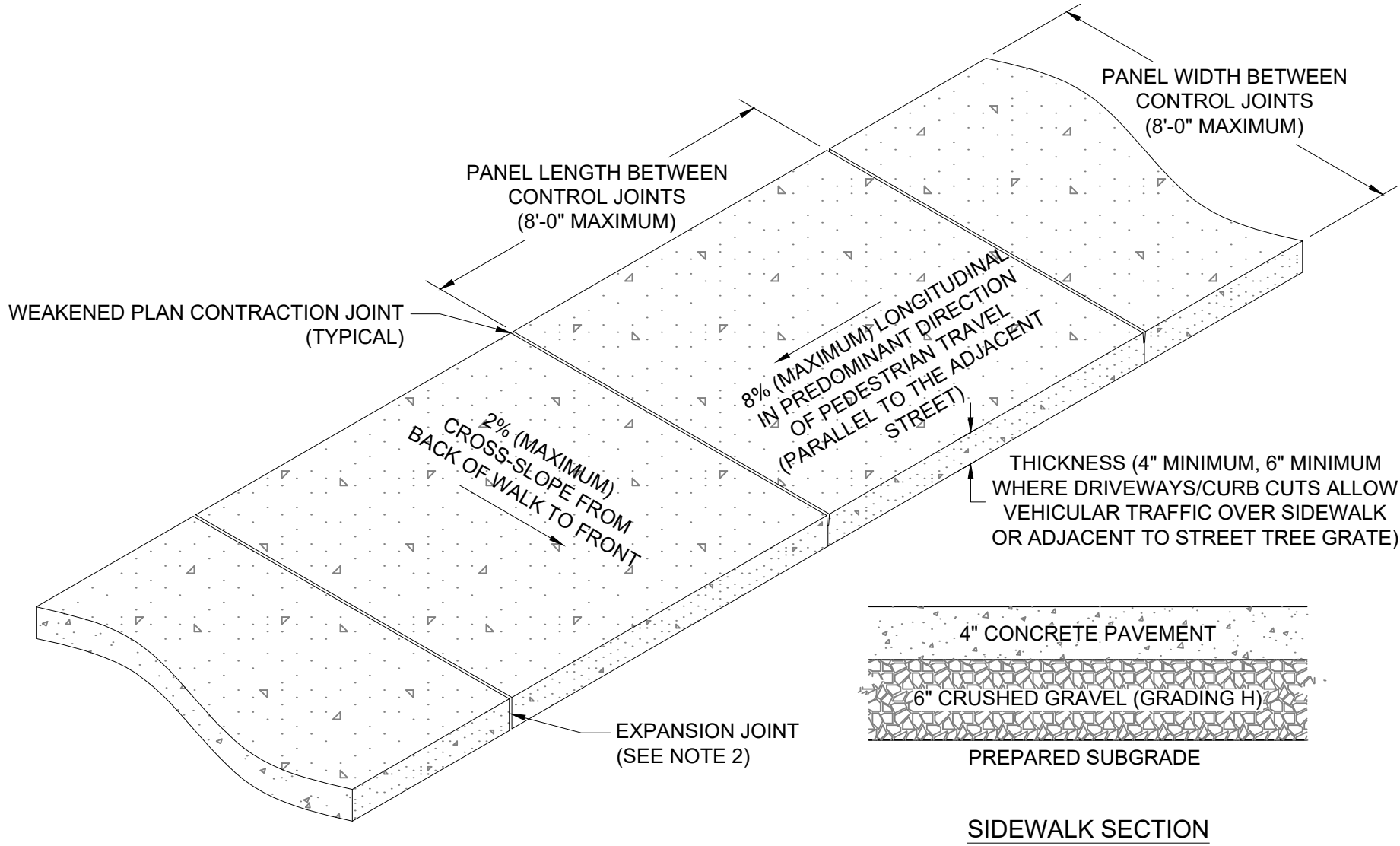
NOTES:

- CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
- AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
- REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
- ROLL CURB SHALL NOT BE ALLOWED

CURB AND GUTTER DETAIL

NOT TO SCALE

TOJ ST-110

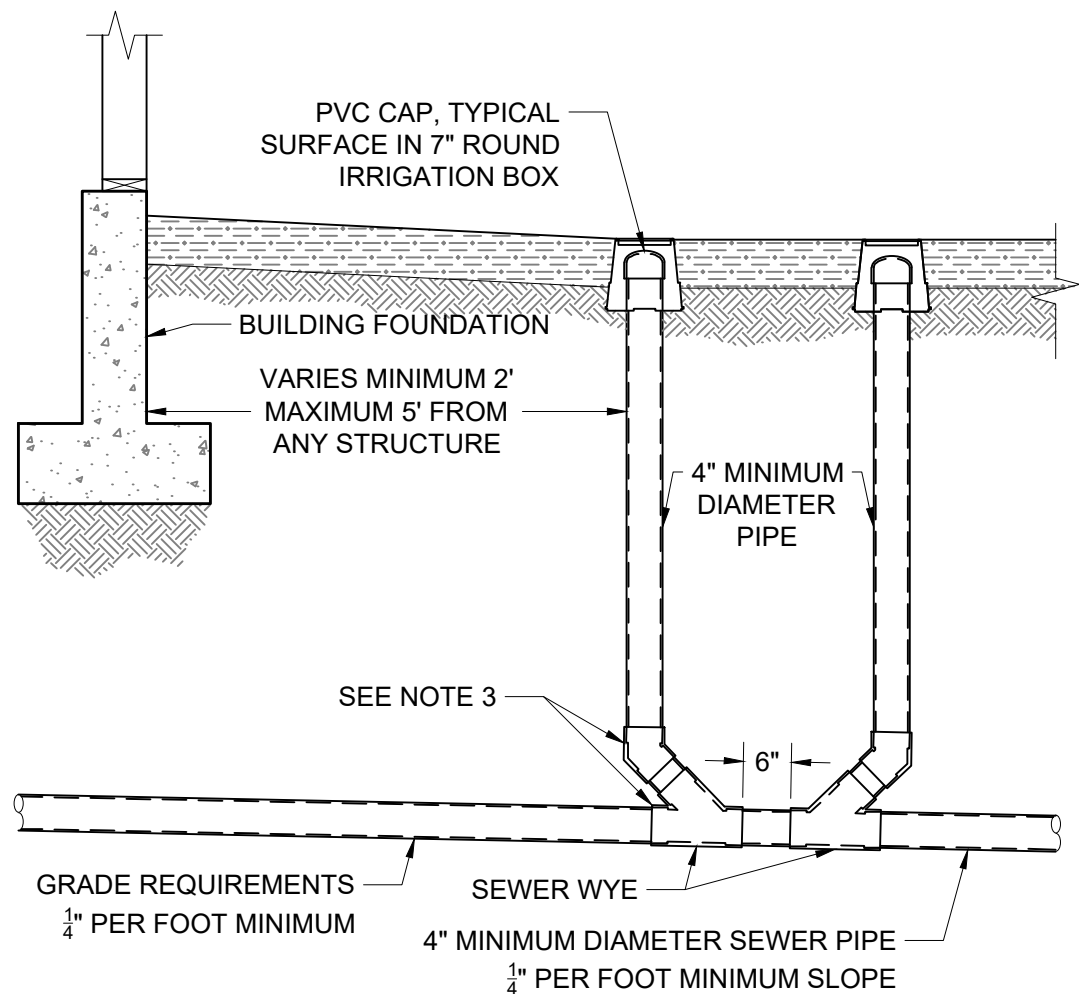


NOTE

- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE REINFORCED WITH 6X6 W4 WWF CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
- EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
- FOR SIDEWALKS GREATER THAN EIGHT FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
- REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
- AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03 GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
- CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER
- MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACED WITH STRUCTURAL MATERIAL TO SUBGRADE ELEVATION.
- WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRES. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

TYPICAL CONCRETE SIDEWALK DETAIL

NOT TO SCALE



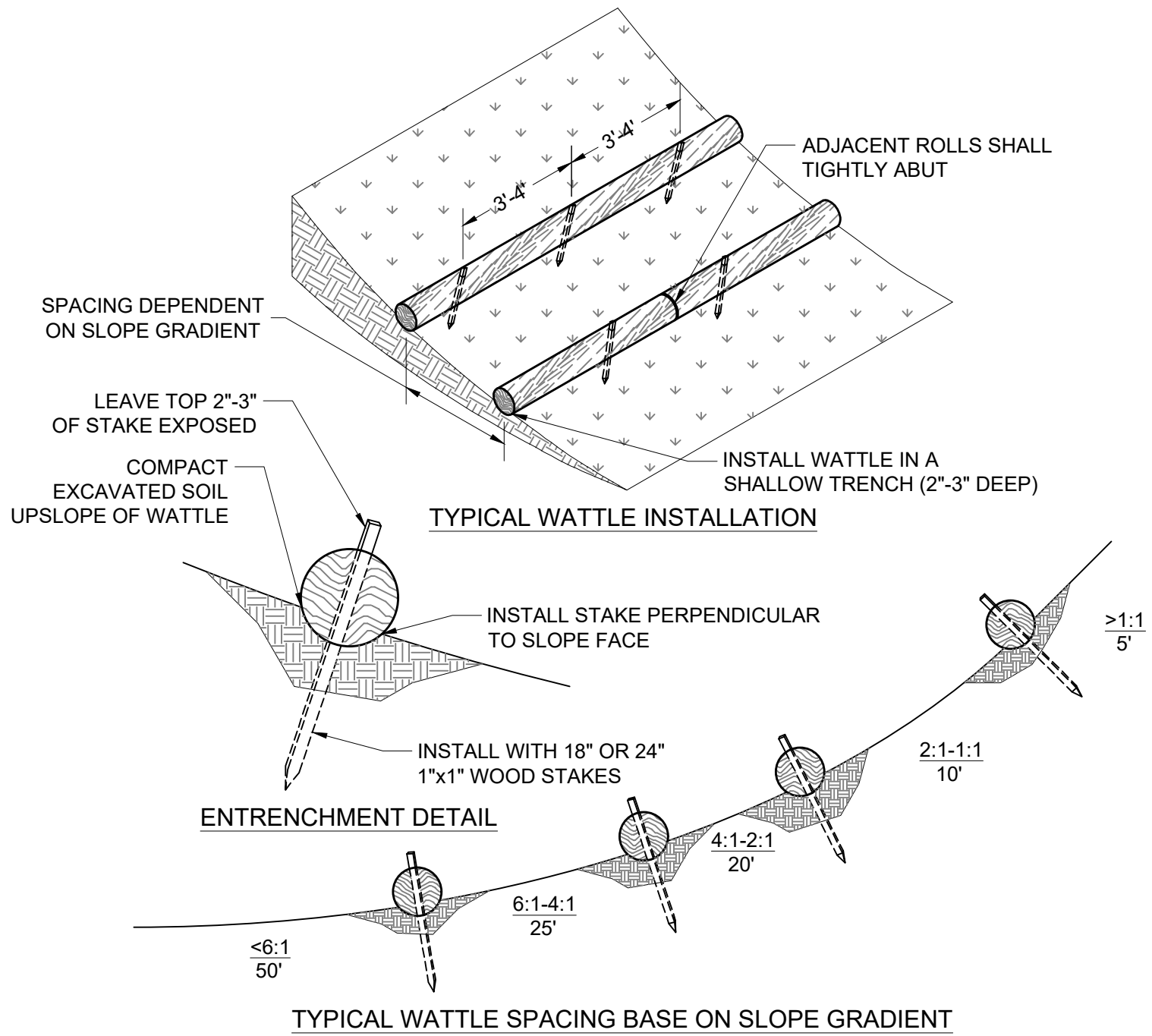
NOTE

- PRIOR TO BACKFILLING THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS, GRADE AND COMPLETE LEAK TESTING.
- INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
- ALL PVC FITTINGS SHALL MEET ASTM D3034 SPECIFICATIONS, AND SHALL ALSO MEET ASTM D312 SPECIFICATIONS FOR RUBBER GASKETED BELL AND SPIGOT TYPE WITH INTEGRAL BELL.

BUILDING CLEANOUT DETAIL

NOT TO SCALE

TOJ SS-114



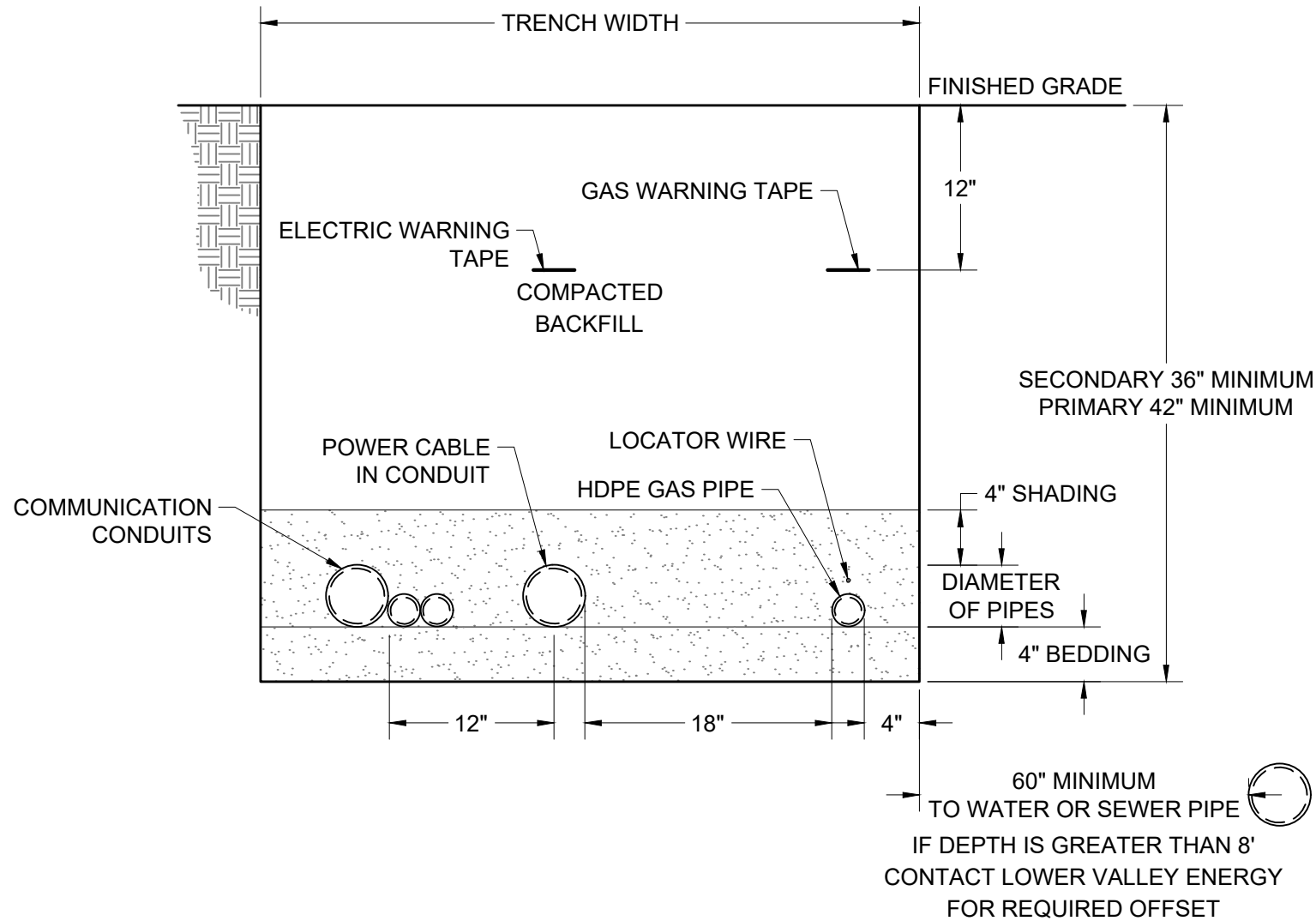
NOTE

- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHALL BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4" AND WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2'-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHALL BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.
- EROSION CONTROL PLAN AND LOCATION OF STRAW WATTLES SHALL BE APPROVED BY THE TOWN OF JACKSON PUBLIC WORKS DEPARTMENT.

TYPICAL STRAW WATTLE DETAIL

NOT TO SCALE

TOJ STM-107



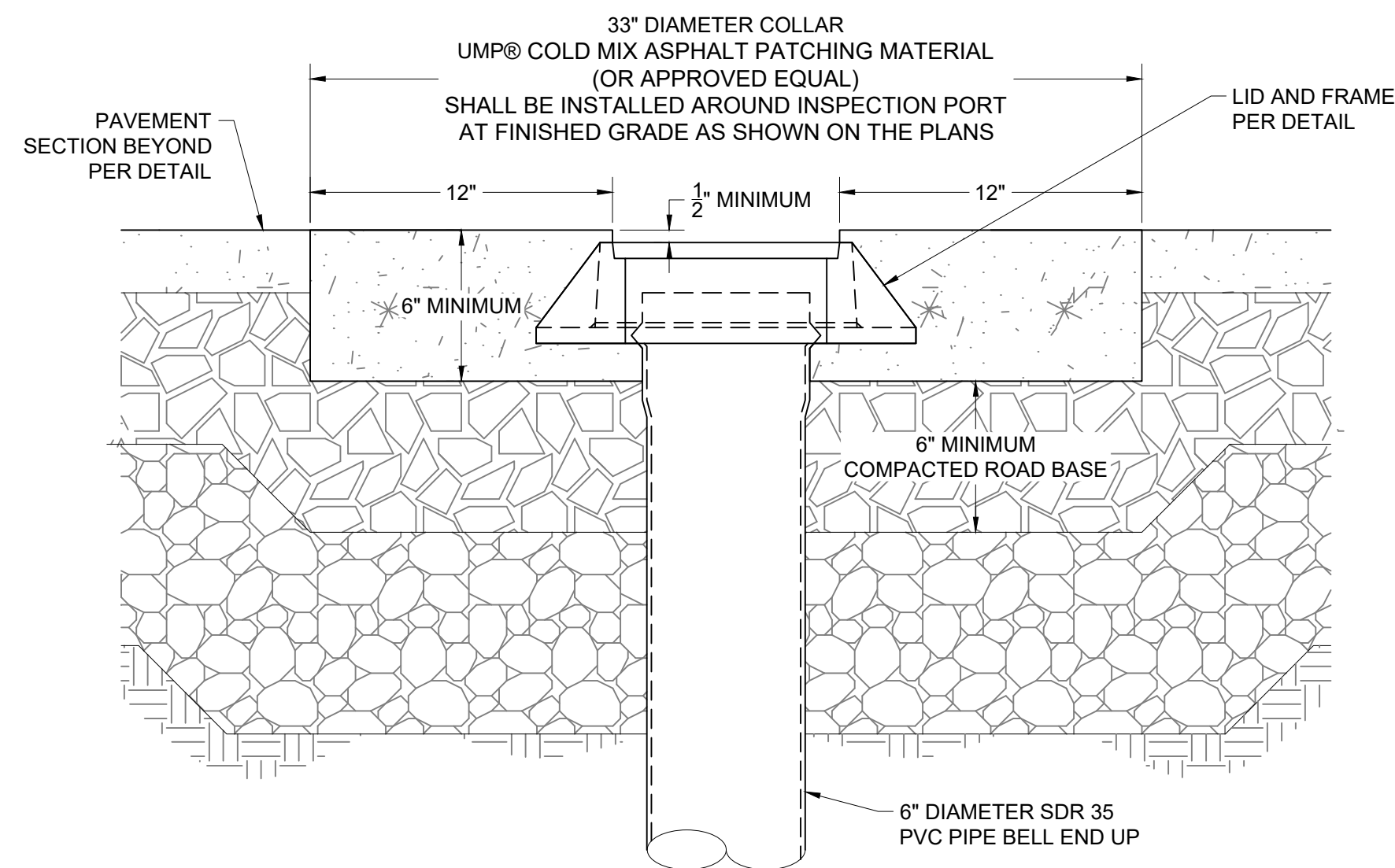
NOTE

- WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
- CUSTOMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
- ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
- 18" SEPARATION MUST BE OBTAINED BETWEEN HDPE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
- BEDDING AS SHADING MATERIAL MUST BE 1/2" MINUS SMOOTH, AND FREE OF ROCKS (SAND RECOMMENDED).

TYPICAL UTILITY TRENCH DETAIL

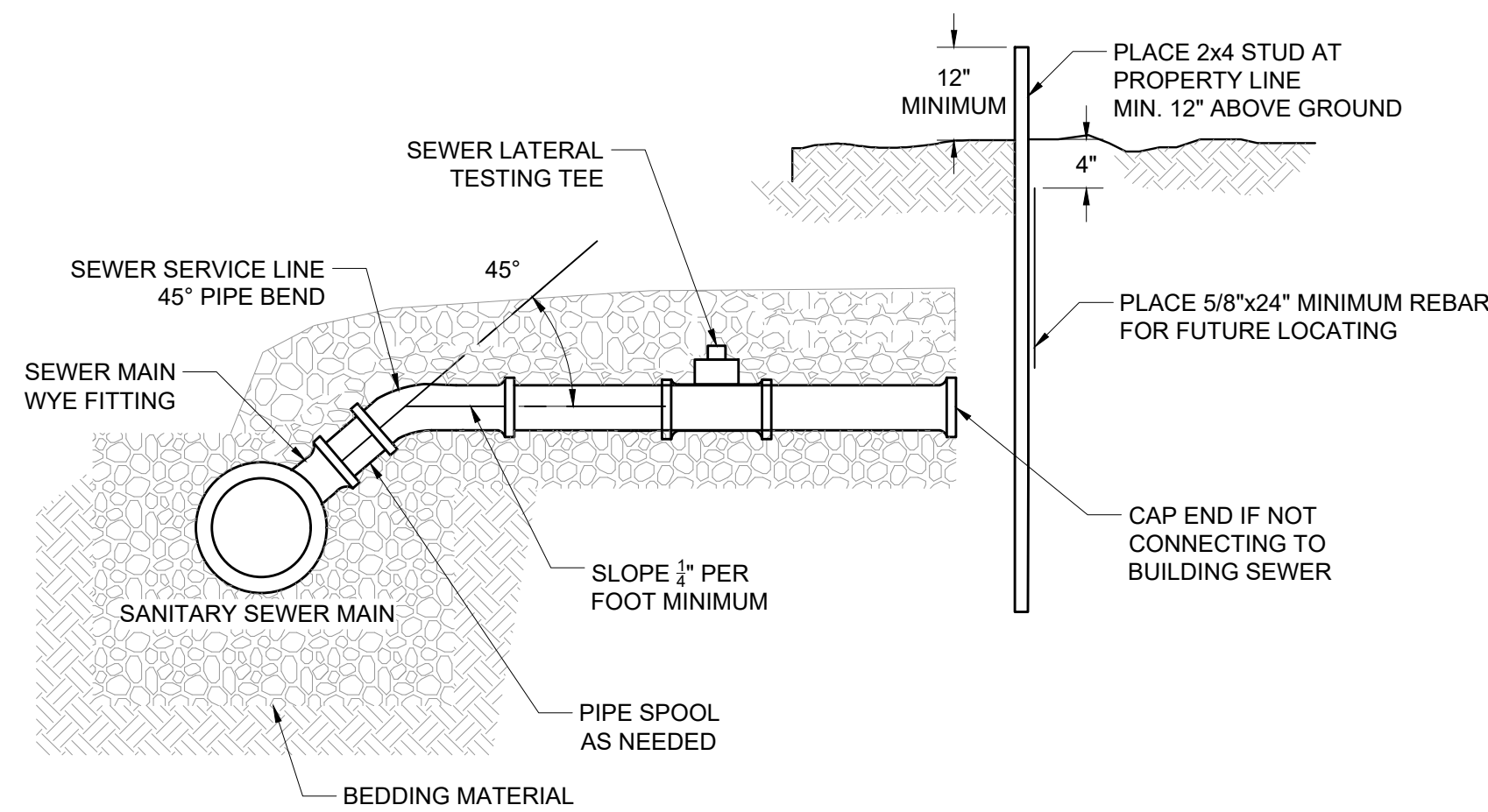
NOT TO SCALE

WITH NATURAL GAS

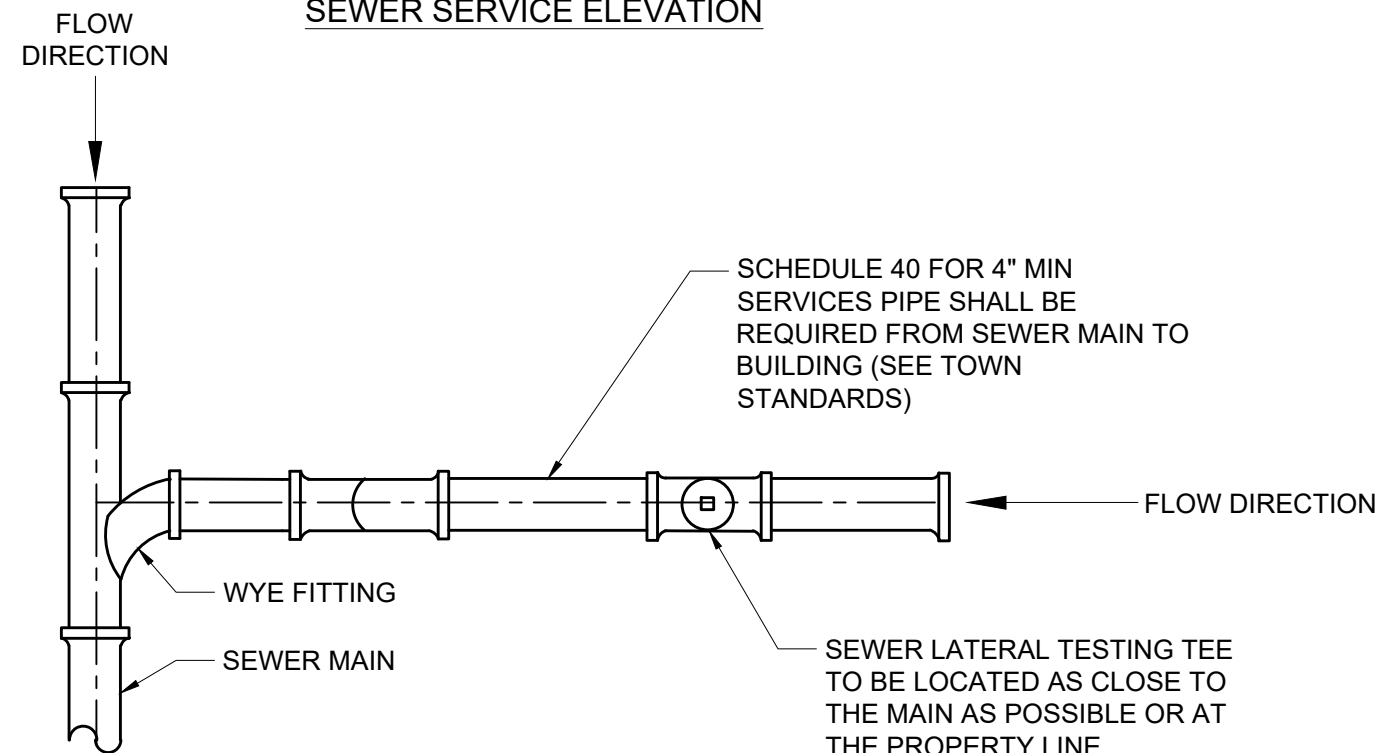


STORM INSPECTION PORT IN ASPHALT DETAIL

NOT TO SCALE



SEWER SERVICE ELEVATION



SEWER SERVICE PLAN

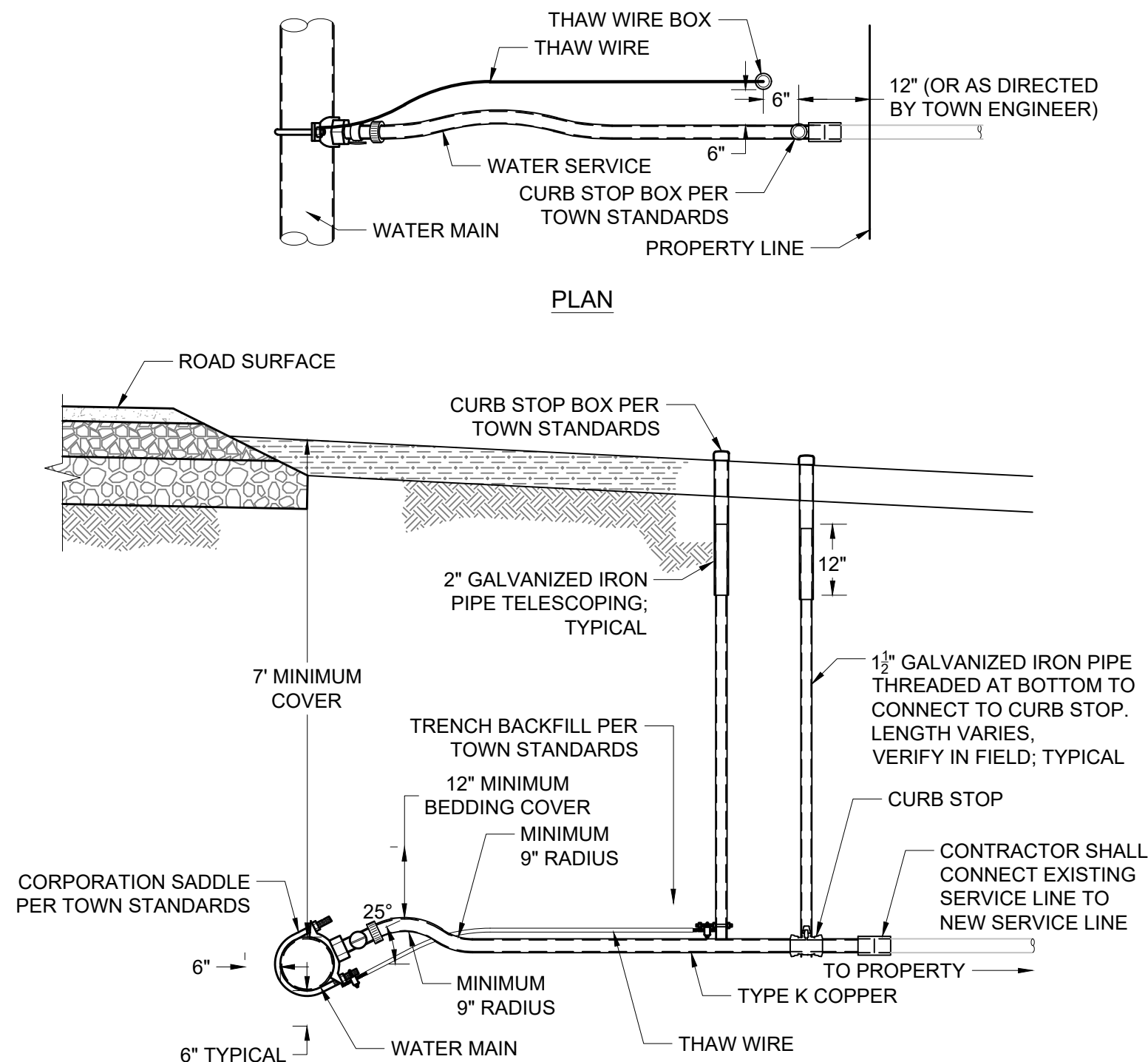
NOTE:

1. NEW SERVICE CONNECTIONS TO EXISTING SANITARY SEWER MAINS SHALL BE COMPLETED BY TOWN OF JACKSON. THE PRIVATE PARTY BEING SERVED BY THE NEW CONNECTION SHALL BE RESPONSIBLE FOR CARRYING OUT BACKFILL OPERATIONS.
2. BACKFILL OPERATIONS AT NEW SERVICES CONNECTED TO EXISTING SANITARY SEWER MAINS SHALL BE COMPACTED PER TOWN STANDARDS.
3. CLEANOUT TO BE PROVIDED ADJACENT TO HOUSE EVERY 100' OR SERVICE LINE AND AT ALL BENDS.

SANITARY SEWER SERVICE DETAIL

NOT TO SCALE

TOJ SS-111

ELEVATION

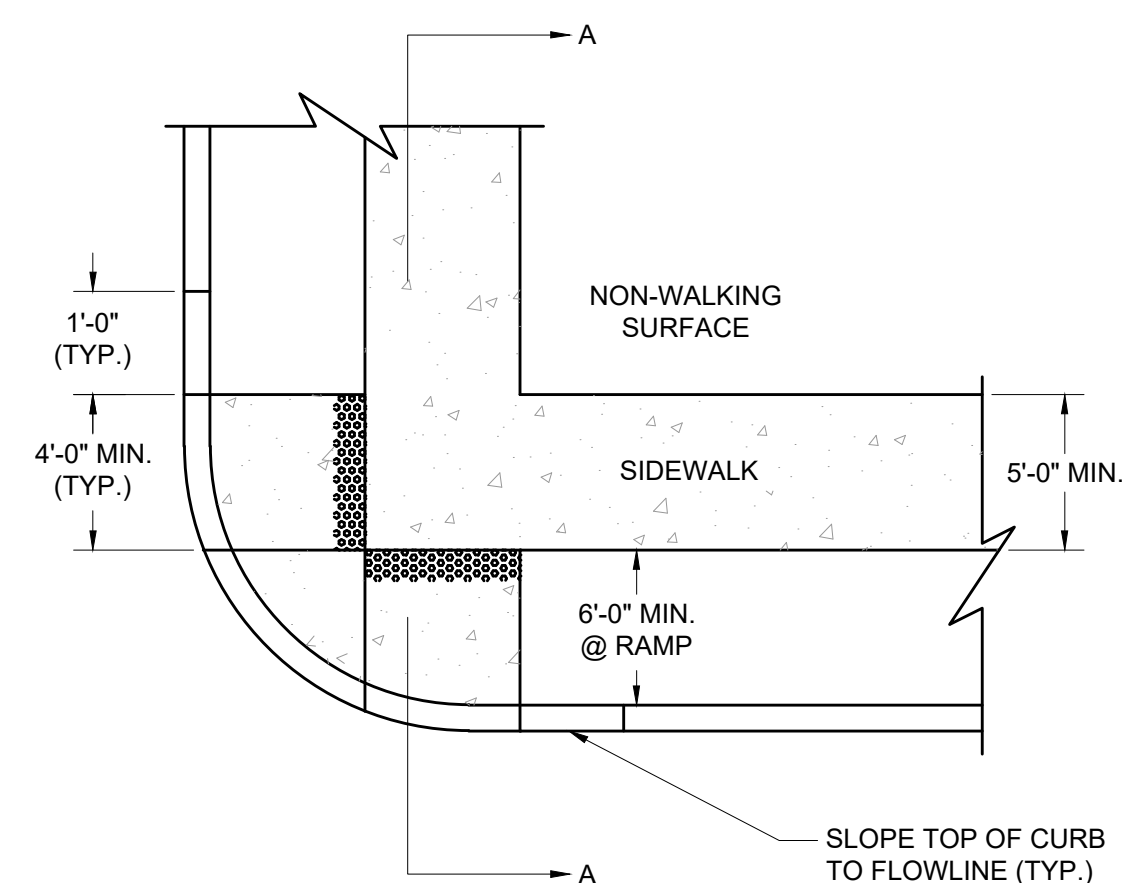
NOTE

1. THAW WIRE TO BE INSTALLED ON ALL NEW AND EXISTING WATER SERVICES IN THE TOWN OF JACKSON

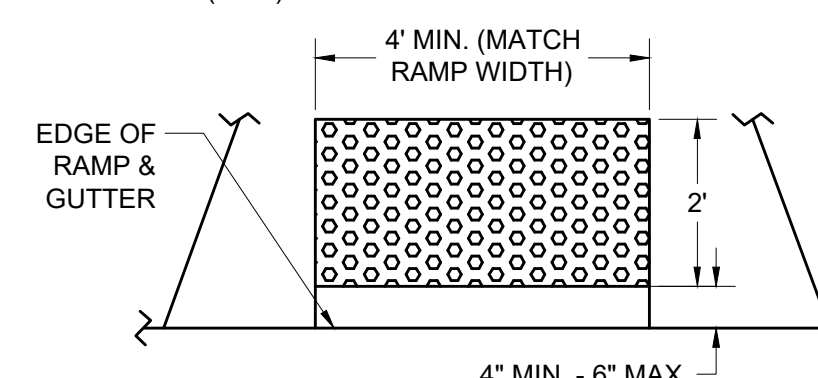
WATER SERVICE WITH THAW WIRE DETAIL

NOT TO SCALE

TOJ W-102/103



SECTION A-A



TRUNCATED DOME DETECTION PANELS (TYP.)

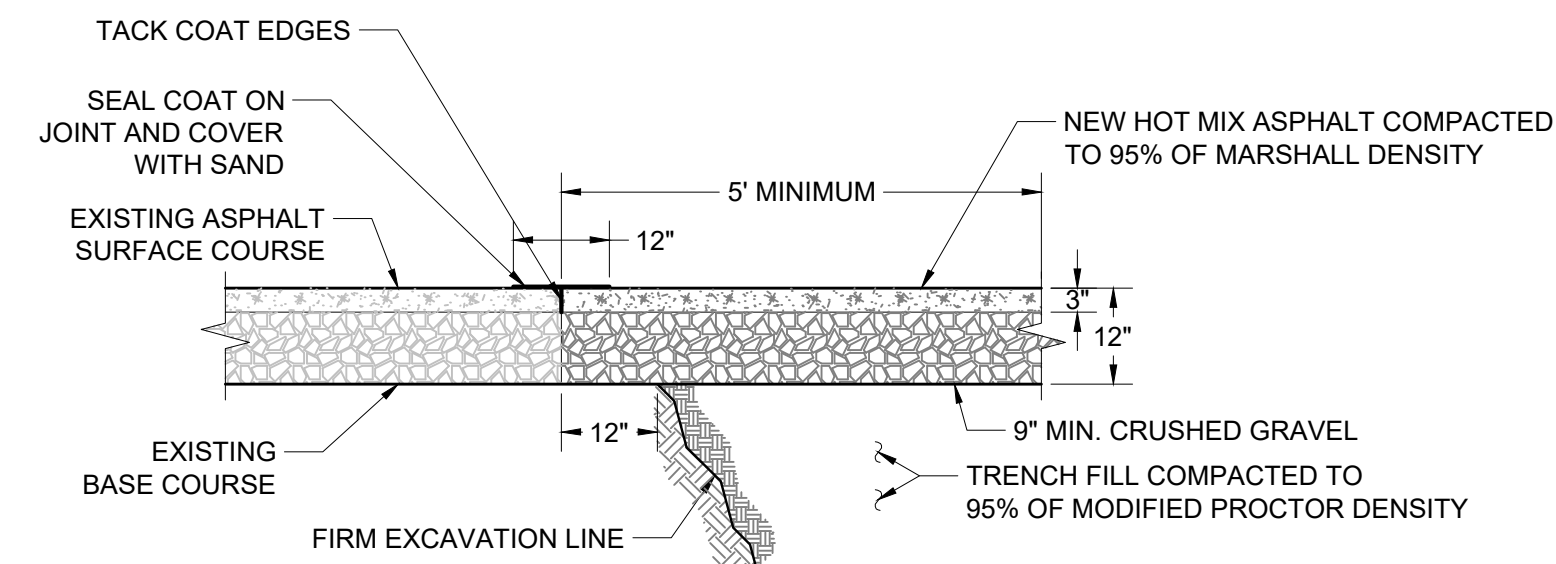
NOTES:

1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
2. LIP AT GUTTER TO BE NO MORE THAN 1/4" HIGH.
3. CONCRETE TO BE A BROOM FINISH.
4. ALL PEDESTRIAN RAMPS SHALL INCLUDE PLACEMENT OF CAST IRON TRUNCATED DOME DETECTION PANELS IN A BRICK RED COLOR. CONTACT TOWN OF JACKSON PUBLIC WORKS TO CONFIRM DOME STYLE AND COLOR.

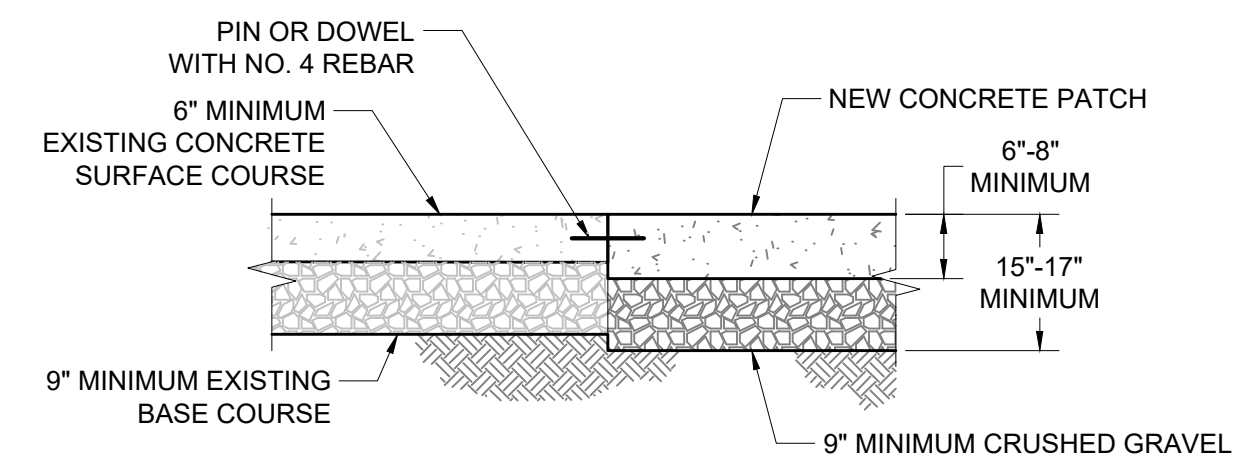
PEDESTRIAN RAMP DETAIL

NOT TO SCALE

TOJ ST-112



ASPHALT PATCH REPAIR DETAIL



CONCRETE PATCH REPAIR DETAIL

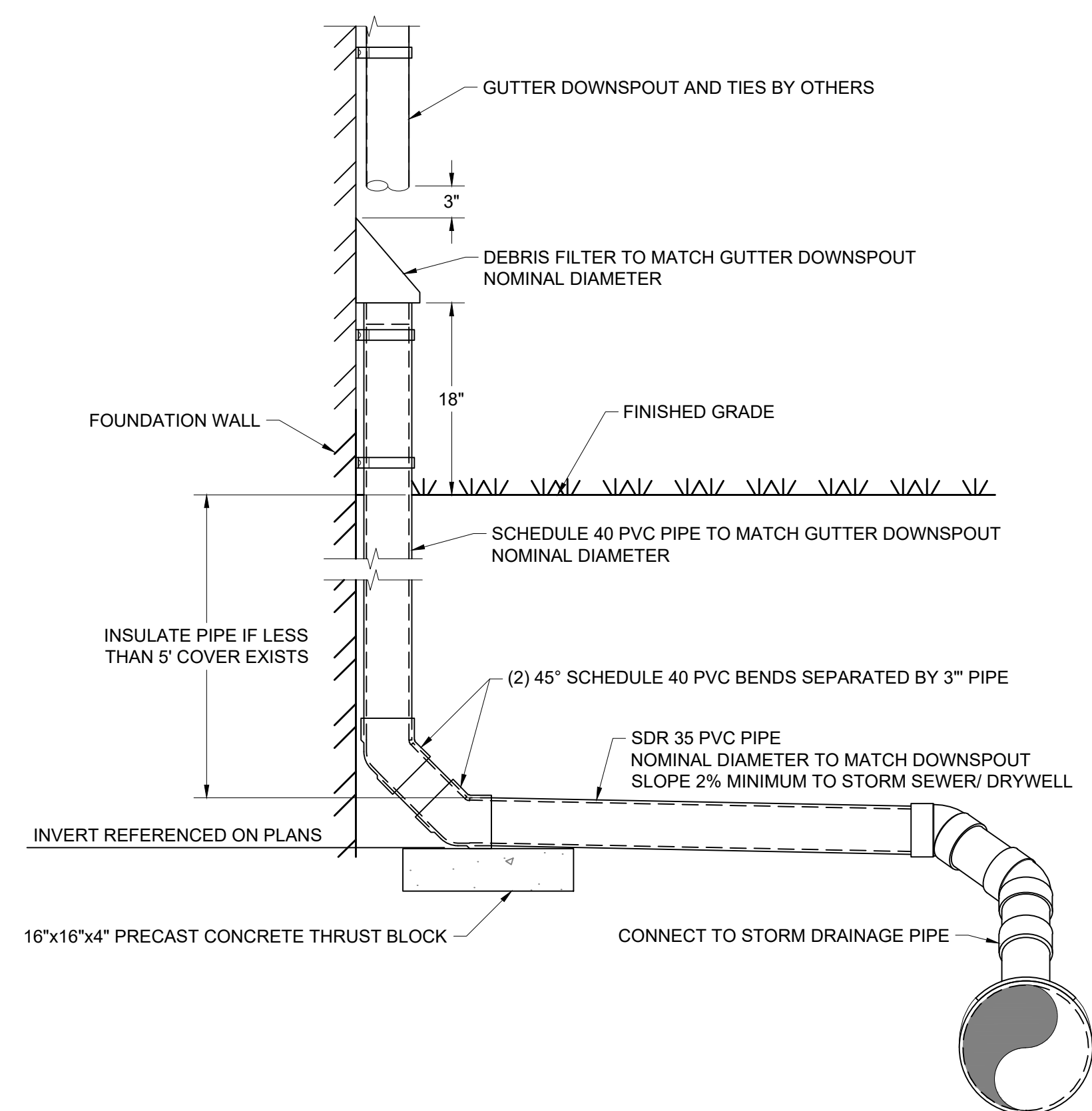
NOTE

1. REPLACEMENT ASPHALT SHALL BE 1" THICKER THAN EXISTING WITH A MINIMUM THICKNESS OF 3"
2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THEN 1½" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
3. BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIAL OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
4. PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN OF JACKSON PUBLIC WORKS DEPARTMENT.

CONCRETE AND ASPHALT PATCH DETAIL

NOT TO SCALE

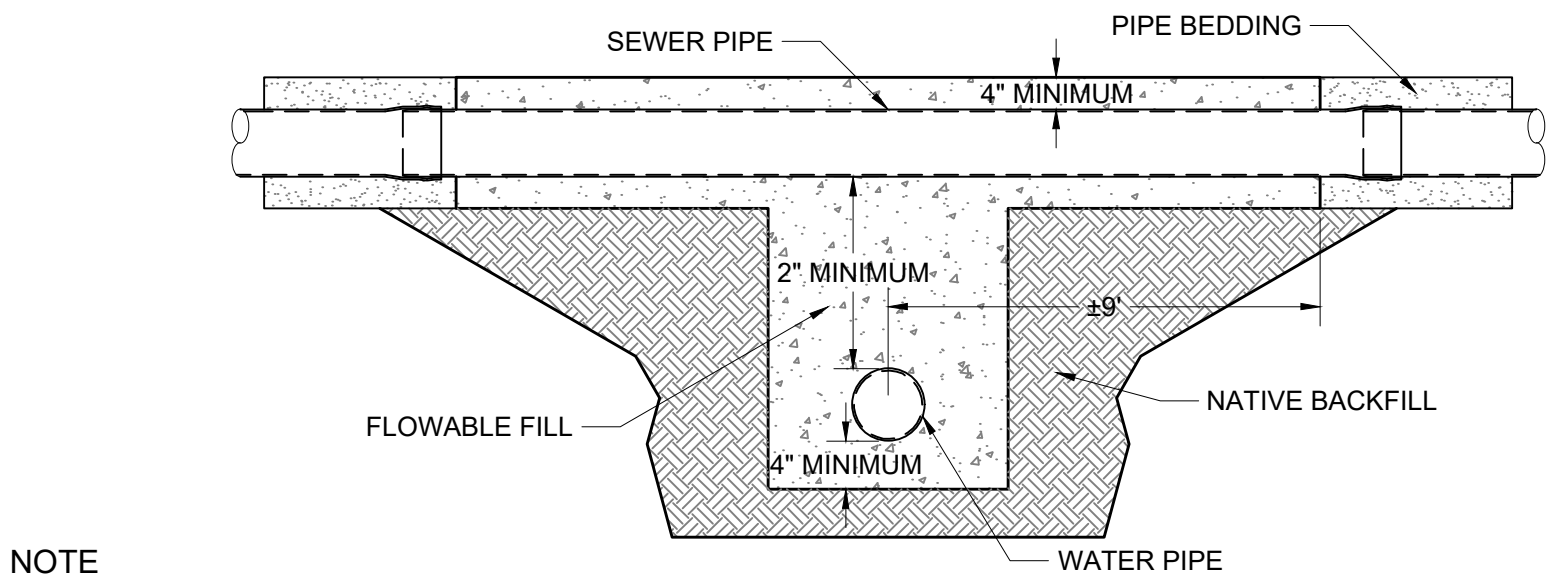
TOJ ST-118



DOWNSPOUT TO STORM WATER MAIN CONNECTION DETAIL

NOT TO SCALE

LANDSCAPED AREA



NOTE

PARALLEL INSTALLATION:
 NORMAL CONDITIONS:
 SEWER MAINS AND MANHOLES SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY WATER MAIN WHENEVER POSSIBLE.

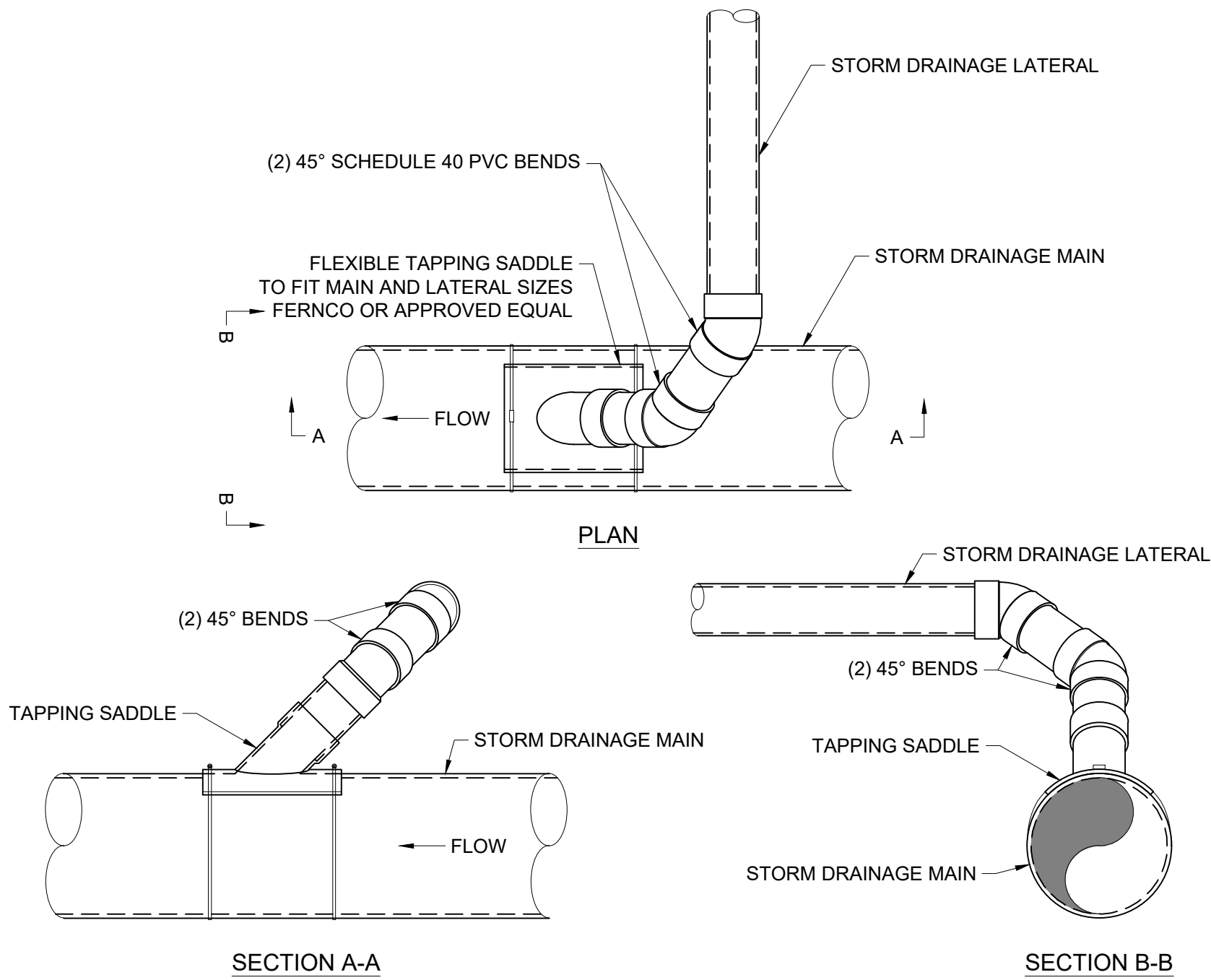
UNUSUAL CONDITIONS:
 WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, A SEWER MAIN MAY BE LAID CLOSER TO A WATER MAIN, PROVIDED THAT:

- THE TOP OF THE SEWER MAIN IS AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN;
- WHERE 18" VERTICAL SEPARATION AS NOTED ABOVE CANNOT BE OBTAINED, THE SEWER MAIN SHALL BE:
 - CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION, AND TESTED TO ASSURE WATERTIGHTNESS BY SEWER LINE METHODS, OR;
 - PLACED IN A SEPARATE CASING PIPE, OR;
 - THE PIPE ENCASED IN CEMENT TREATED FILL (FLOW FILL).

CROSSING:
 NORMAL CONDITIONS:
 SEWERS CROSSING WATER MAINS SHALL BE LAID BELOW THE WATER MAINS TO PROVIDE A VERTICAL SEPARATION OF AT LEAST 18" WHENEVER POSSIBLE. THE DISTANCE SHALL BE MEASURED BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF THE SEWER.

- UNUSUAL CONDITIONS:
WHEN LOCAL CONDITIONS PREVENT A VERTICAL SEPARATION OF AT LEAST 18" AS NOTED ABOVE, THE FOLLOWING CONSTRUCTION SHALL BE USED:
- THE SANITARY SEWER, STORM SEWER OR WATER MAIN SHALL BE PLACED IN A SEPARATE CASING PIPE EXTENDING A MINIMUM OF 9' EACH SIDE OF THE CROSSING; OR
 - THE SEWER LINE SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION AND TESTED TO ASSURE WATER TIGHTNESS BY SEWER LINE METHODS, AND SHALL EXTEND A MINIMUM OF 9' EACH SIDE OF THE CROSSING
 - WATER MAINS PASSING UNDER A SEWER LINE SHALL, IN ADDITION TO THE ABOVE REQUIREMENTS, BE PROTECTED BY PROVIDING ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER LINE. SOIL STRUCTURAL SUPPORT SHALL CONSIST OF CEMENT TREATED BACKFILL (FLOW FILL).

WATER SEWER UNUSUAL PROXIMITY DETAIL
 NOT TO SCALE



STORM WATER LATERAL CONNECTION DETAIL
 NOT TO SCALE

SHEET TITLE:
 DETAILS

DRAFTED BY:	
REVIEWED BY:	
PLAN VERSION	DATE
GEC PERMIT	03.27.2019
PROJECT NUMBER	17102.10
SHEET	C3.2

LETTER OF AUTHORIZATION

CCC Management, LLC

, "Owner" whose address is: _____

P.O. Box 4045 Jackson Wyoming 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

CCC Management, LLC

, as the owner of property

more specifically legally described as: Lot 3, Car Corner Addition Plat 1145

(If too lengthy, attach description)

HEREBY AUTHORIZES Jorgensen Associates, P.C.

as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: PRESIDENT

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming)

)SS.

COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Rob Ottaway this 3 day of April, 2019.

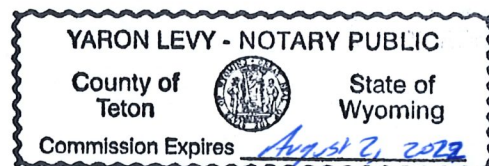
WITNESS my hand and official seal.

(Seal)

(Notary Public)

My commission expires:

August 2, 2022



LETTER OF AUTHORIZATION

G6, LLC, a Wyoming limited liability company ("Owner"), is the owner of the property more specifically described as Lot 3, Car Corner Addition to the Town of Jackson, Wyoming according to Plat 1145 recorded in the County Clerk's Office of Teton County, Wyoming on April 19, 2005 (PIDN 22-41-16-32-3-02-003)(the "Property"), and HEREBY AUTHORIZES CCC Management, LLC, a Wyoming limited liability company ("CCC"), to pursue construction of improvements on the Property and to pursue all permits necessary in conjunction therewith with the Town of Jackson, Wyoming. CCC and Owner are parties to that certain Ground Lease dated December 8, 2017 (the "Lease"). Nothing herein is intended to modify the terms and conditions of the Lease, and CCC hereby acknowledges that all construction activities on the Property remain subject to the terms and conditions of the Lease. CCC hereby appoints Jorgensen Associates, P.C., a Wyoming professional corporation ("Agent"), as its agent to represent and act for CCC in pursuit of a building permits for improvements on the Property. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized CCC's submittal of the building permit application (and related applications and permits) by the Agent named above. Owner acknowledges and agrees that the Property will be subject to the terms and conditions of the building permit. CCC shall be responsible for all fines and fees related to such permits authorized herein.


Under penalty of perjury, the undersigned swear that the foregoing is true and is given with the appropriate authority of G6 and CCC.


Owner reserves the right to terminate this Letter of Authorization at any time following one (1) days written notice to Agent, CCC and the Town of Jackson.


G6, LLC,
a Wyoming limited liability company

By: 
Dennis Lamb, Manager

STATE OF WYOMING)
) ss
COUNTY OF TETON)

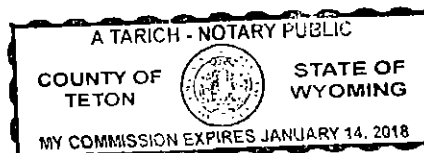

2nd day of January

 The foregoing instrument was acknowledged before me on this 29th day of December, 2017 by Dennis Lamb in his capacity as Manager of G6, LLC, a Wyoming limited liability company.

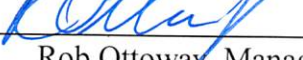

Notary Public

SEAL:

My Commission Expires: 1.14.18



CCC Management, LLC,
a Wyoming limited liability company

By: 
Rob Ottaway, Manager

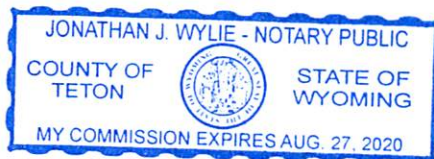
STATE OF WYOMING)
) ss
COUNTY OF TETON)

The foregoing instrument was acknowledged before me on this 29th day of December, 2017 by Rob Ottaway in his capacity as Manager of CCC Management, LLC, a Wyoming limited liability company.


Notary Public

SEAL:

My Commission Expires: 8/27/20



SPECIAL WARRANTY DEED

RELEASED	<input type="checkbox"/>
INDEXED	<input checked="" type="checkbox"/>
ABSTRACTED	<input checked="" type="checkbox"/>
SCANNED	<input type="checkbox"/>

Dennis R. Lamb, a married man dealing in his sole and separate property ("Grantor"), for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, the receipt and sufficiency of which is hereby acknowledged, CONVEYS AND WARRANTS in the manner set forth below to G6 LLC, of P.O. Box 530, Jackson, Wyoming, 83001, ("Grantee"), the following described real estate situated in the County of Teton, State of Wyoming, hereby waiving and releasing under and by virtue of the Homestead Exemption Laws of the State of Wyoming, to wit:

Lot 3 of the CAR Corner Addition to the Town of Jackson, Teton County Wyoming according to that plat recorded April 19, 2005 as Plat No. 1145; PIDN 22-41-16-32-3-02-003;

Together with and including all improvements thereon and all appurtenances and hereditaments thereunto belonging; but subject to all covenants, conditions, restrictions, easements, reservations, rights and rights-of-way of sight and/or record.

Grantor shall and will specially warrant that the title to the aforesaid property is free from defects or encumbrances created or suffered by Grantor excepting therefrom mortgages of record as of the date of this deed, and will forever defend the property conveyed by the within deed, and every part thereof, against every person lawfully claiming the same, or any part thereof, by, through, or under Grantor, and no other.

Joy L. Lamb, wife of Dennis R. Lamb, executes this Special Warranty Deed for the sole purpose of releasing and waiving all rights in the property under and by virtue of the homestead exemption laws of the State of Wyoming.

WITNESS our hands this 35th day of September, 2012.

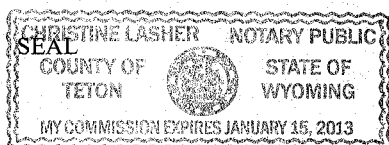
[Signature]
Dennis R. Lamb

[Signature]
Joy L. Lamb

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

The foregoing instrument was acknowledged before me by Dennis R. Lamb and Joy L. Lamb this 35th day of September, 20 12.

Witness my hand and official seal.



[Signature]
Notary Public
My commission expires: 1-15-2013

GRANTOR: LAMB, DENNIS R
GRANTEE: G6 LLC
Doc 0822421 bk 820 pg 342-342 Filed At 15:35 ON 09/25/12
Sherry L. Daigle Teton County Clerk fees: 8.00
By Michele Fairhurst Deputy

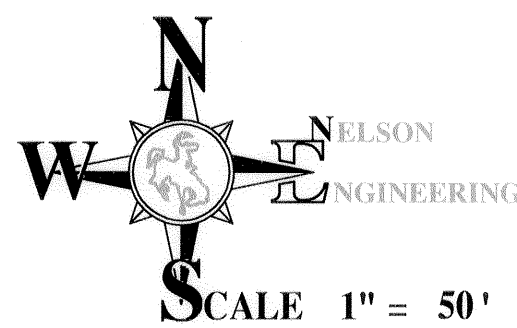
LEGEND

- = PROPERTY LINE
- - - - - = EASEMENT LINE
- - - - - = SECTION LINE & 1/4 SECTION LINE
- - - - - = STREET CENTERLINE
- ==== = RESTRICTED ACCESS

- ⊕ = FOUND T-STAKE W/ CAP PLS 2612
- ⊙ = FOUND REBAR W/ CAP PLS 3831
- = FOUND SECTION CORNER
- = SET REBAR W/CAP INSCRIBED "NELSON ENGR. PLS 4270"
- ⊕ = SET PK NAIL W/WASHER INSCRIBED "NELSON ENGR. PLS 4270"
- ▨ = EXISTING BUILDING
- ▨ = LAND WITHIN RIGHT-OF-WAY EASEMENT(S), DEDICATED TO THE PUBLIC AS SPECIFIED IN THE CERTIFICATE OF OWNERS HEREON
- (M) = MEASURED BEARING AND/OR DISTANCE
- (R1) = "MAP OF SURVEY" FOR JERRY L. WILSON AND JOYCE M. NELSON, FILED FOR RECORD JUNE 10, 1985 IN BOOK 1, PAGE 2 OF MAPS

BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS GEODETIC NORTH, DERIVED FROM GPS OBSERVATIONS.



CURVE DATA TABLE

NUMBER	Delta Angle	Chrd. Brng	Radius	Curve Length	Chrd. Length
C1 (M)	02°33'08"	N 08°53'14"E	2930.79	130.55	130.54
C1 (R1)	02°33'08"	N 08°58'16"E	2930.79	130.51	130.50
C2 (M)	03°44'02"	S 05°44'39"W	2930.79	190.99	190.96
C2 (R1)	03°46'27"	S 05°49'00"W	2930.79	193.06	193.02
PORTION OF A SPIRAL CURVE OFFSET 66' FROM A 4°, 400' SPIRAL CURVE AT CENTERLINE WITH RADIUS DECREASING NORTHERLY ALONG THE CURVE.					
C3		N 1°34'09"E		89.95'	
C4		N 3°03'43"E		109.19'	

DETAIL A

DETAIL B

Certificate of Owners

State of Wyoming)

County of Teton)

The undersigned owners and proprietors of the lands shown hereon hereby certify:

That the foregoing subdivision of land as shown hereon and described in the Certificate of Surveyor hereon is with their free consent and in accordance with their desires;

That the name of the subdivision shall be **CAR CORNER ADDITION TO THE TOWN OF JACKSON**;

That this subdivision is subject to that right-of-way easement to Teton County appearing in Book 94 of Photo, pages 25-27, records of Teton County, as shown hereon and the subject lands of said easement shown hereon are hereby granted to Town of Jackson and dedicated as public right-of-way;

That this subdivision is subject to that right-of-way easement to Teton County appearing in Book 165 of Photo, pages 1040-1043, records of Teton County, as shown hereon and the subject lands of said easement shown hereon are hereby granted to Town of Jackson and dedicated as public right-of-way;

That this subdivision is subject to that right-of-way easement to the State of Wyoming appearing in Book 6 of Deeds, page 7, records of Teton County, as shown hereon and the subject lands of said easement shown hereon are hereby granted to Town of Jackson and dedicated as public right-of-way;

That this subdivision is subject to that easement to Lower Valley Power and Light appearing in Book 399 of Photo, page 667, records of Teton County;

That this subdivision is subject to that storm drainage easement appearing in Book 370, pages 10-14, records of Teton County;

That this subdivision is subject to any other easements, restrictions, reservations, rights-of-way, and conditions of sight and/or record including, but not limited, to those shown hereon;

That all development and utilization of property of the lands subdivided by this plat must be in accordance with the Final Development Plan, including specific conditions imposed upon the approval of the plan, approved by the Town of Jackson Town Council on April 5, 1999, and future amendments thereto that may be approved by the Town Council;

That responsibility for ensuring conformance with the referenced Final Development Plan shall be the mutual and shared obligation of all owners of the lots within this subdivision;

That amendments to the referenced Final Development Plan may be pursued by the owner (or owners) of any individual lot within the subdivision;

That costs associated with the long-term maintenance of landscaping, surface improvements (asphalt paving, brick pavers, etc.), and water, sanitary sewer, storm drainage mains, and Leek Ditch infrastructure shall be apportioned on a pro-rata share basis based upon the areas of the lots;

That costs associated with plowing of snow to make vehicular and pedestrian access to all the lots readily achievable shall be apportioned on a pro-rata share basis based upon the areas of the lots;

That there are no Surface Water Rights appurtenant to these lands;

That Seller does not warrant to Purchaser that he shall have any rights to the natural flow of any stream within or adjacent to the subdivision;

That Wyoming Law does not recognize any riparian rights to the continued natural flow of a stream or river to persons living on the banks of the stream or river;

Thomas M. Bess Living Trust dated April 17, 1998, A Wyoming Trust

By: *Thomas M. Bess* Thomas M. Bess AKA T. M. Bess, trustee
By: *Dian Bess* Dian Bess, trustee

Dian Bess Living Trust dated April 17, 1998, A Wyoming Trust
By: *Dian Bess* Dian Bess, trustee
By: *Thomas M. Bess* Thomas M. Bess AKA T. M. Bess, trustee

The foregoing instrument was acknowledged before me by Thomas M. Bess AKA T. M. Bess, co-trustee of the Thomas M. Bess Living Trust dated April 17, 1998, co-trustee of the Dian Bess Living Trust dated April 17, 1998, this 18th day of April, 2005

WITNESS my hand and official seal.

Deanna K. Struble
Notary Public
My Commission Expires: 01-27-09

The foregoing instrument was acknowledged before me by Dian Bess, co-trustee of the Dian Bess Living Trust dated April 17, 1998 and co-trustee of the Thomas M. Bess Living Trust dated April 17, 1998, this 18th day of April, 2005

WITNESS my hand and official seal.

Deanna K. Struble
Notary Public
My Commission Expires: 01-27-09

Certificate of Surveyor

State of Wyoming)

County of Teton)

I, Michael J. Quinn a Registered Professional Land Surveyor of Wilson, Wyoming, hereby certify, to the best of my knowledge and belief:

That this plat was made from the notes of surveys made by me or under my direction and from records in the Office of the Teton County Clerk;

That by authority of the owners I have subdivided the lands shown and described hereon into lots, to be known as the

CAR CORNER ADDITION TO THE TOWN OF JACKSON;

That this subdivision is located within Lot 1 of Section 6, Township 40 North, Range 116 West, and the SE1/4 SW1/4 of Section 32, Township 41 North, Range 116 West, 6th P.M., Town of Jackson, Teton County, Wyoming, being that parcel described in Book 365, pages 542-544, records of Teton County, and being more particularly described as follows:

Beginning at the northeast Corner of TCA Industrial Park, a subdivision recorded in the Office of the Teton County Clerk as Plat No. 439
Thence northerly along the westerly right-of-way line of Gregory Lane through a circular curve to the left having a radius of 29.06 feet, a chord of 28.14 feet bearing N00°47'39"W, through a central angle of 57°55'16", an arc distance of 29.38 feet;
Thence continuing along said right-of-way line N29°24'11"W, 173.14 feet to a point on the southerly right-of-way line of South Park Loop Road;
Thence southerly along said southerly right-of-way line through a circular curve to the left having a radius of 1392.39 feet, a chord of 35.59 feet bearing S48°43'33"W, through a central angle of 1°27'52", an arc distance of 35.59 feet to the northerly line of Said Section 6;
Thence along said northerly line of Section 6, N89°51'31"W, 58.63 feet;
Thence northerly along a circular curve to the right having a radius of 1432.39 feet, a chord of 107.87 feet bearing N48°24'46"E, through a central angle of 4°18'57", an arc distance of 107.90 feet;
Thence N50°34'15"E, 717.17 feet to a point on the westerly right-of-way line of U.S. Highway 26, 89, 189, 191;
Thence southerly along said westerly right-of-way line along a circular curve to the left having a radius of 2930.79 feet, a chord of 130.54 feet bearing S08°53'14"W, through a central angle of 2°33'08", an arc distance of 130.55 feet;
Thence N51°28'25"E, 38.98 feet;
Thence S00°02'29"E, 412.45 feet;
Thence S89°12'49"W, 340.01 feet;
Thence S62°06'32"W, 123.57 feet to a point on the east right-of-way line of Gregory Lane;
Thence along said easterly right-of-way line, S29°24'11"E, 49.66 feet to the point of curvature of a circular curve to the left;
Thence along said easterly right-of-way line and said curve, having a radius of 52.56 feet, a chord of 51.00 feet bearing S00°23'10"E, through a central angle of 58°02'45", an arc distance of 53.25 feet;
Thence continuing along said east easterly right-of-way line, S28°16'26"W, 12.19 feet;
Thence N89°21'27"W, 45.22 feet to the westerly right-of-way line of Gregory Lane, identical with the east boundary line of said TCA Industrial Park;
Thence N34°59'32"E, 1.68 feet to the Corner of Beginning.

Containing 4.185 acres, more or less, and subject to easements, rights-of-way, reservations, and restriction, of sight and/or of record.

Michael J. Quinn, Wyoming Professional Land Surveyor 4270

The foregoing instrument was acknowledged before me by Michael J. Quinn this 18th day of APRIL, 2005

WITNESS my hand and official seal.

Deanna K. Struble
Notary Public
My Commission Expires: 01-27-09

Certificate of Mortgagee

State of Wyoming)

County of Teton)

The undersigned hereby certifies that they are the holders of mortgages on the lands shown and described hereon. That they do hereby join in and consent to the dedication of the land and easements as shown hereon and in the Certificate of Owner, that they do hereby agree that the mortgages shall be subordinate to the dedications and easements shown hereon and described thereon.

Attest: *Russell Barry*
Bank of the West

The foregoing instrument was acknowledged before me by *Russell Barry* this 19th day of April, 2005.

Witness my hand and official seal.

Felix Adamson
Notary Public
My Commission Expires: 12-27-2008

KELLY C. ADAMSON
Notary Public
Teton County
Wyoming
My Commission Expires Dec 27, 2008

Certificate of Acceptance

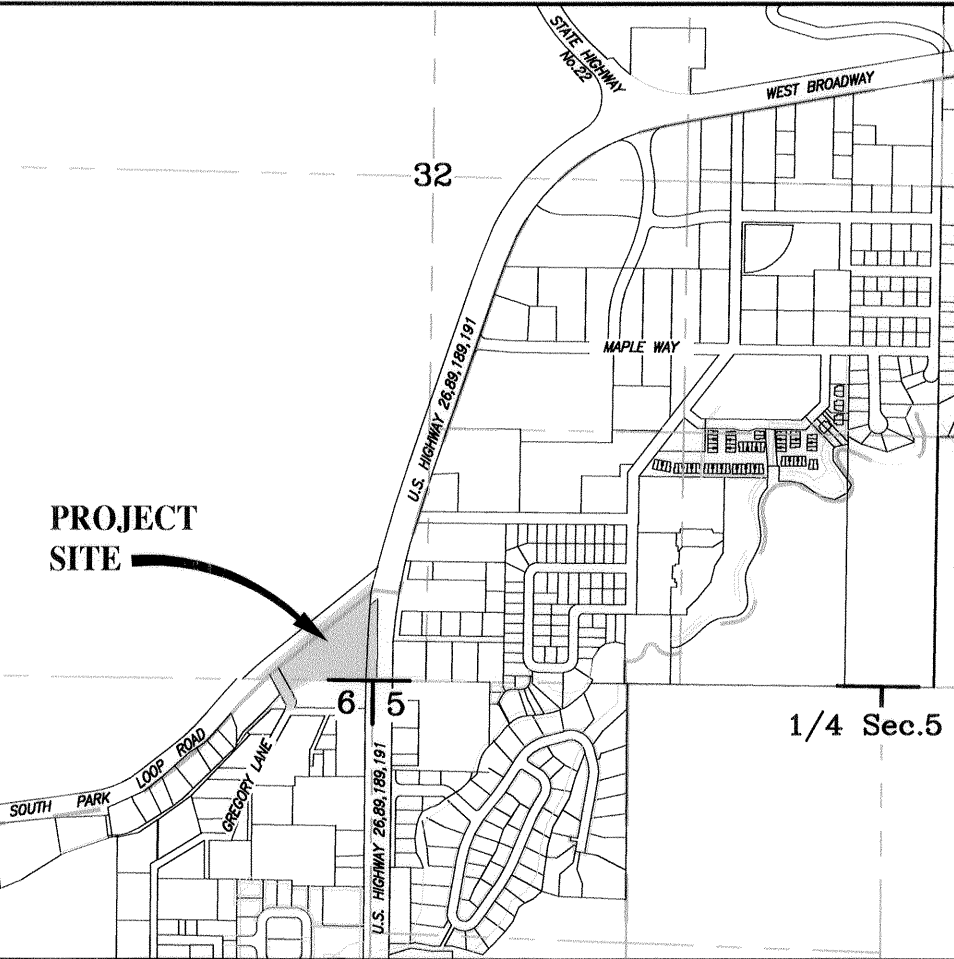
State of Wyoming)

County of Teton)

The foregoing Subdivision, **CAR CORNER ADDITION TO THE TOWN OF JACKSON**, was approved at the regular meeting of the Jackson Town Council on the 18th day of April, 2005, in accordance with Section 15-1-415 Wyoming Statutes, 1977, as amended and the Final Development Regulations of the Town of Jackson.

Attest: *Shawn P. O'Malley*
Town of Jackson
Mayor

Shawn P. O'Malley
Jackson Town Engineer



VICINITY MAP

1"=1000'
(Pt.) Lot1, Section 6, T40N, R116W, 6th PM
(Pt.) SE1/4 SW1/4, Section 32 T41N, R116W, 6th PM
All in the Town of Jackson, Teton County, Wyoming

Certificate of Engineer

State of Wyoming)

County of Teton)

I, Sinclair Buckstaff, Jr., hereby certify that the water distribution and sewer collection facilities designed for the foregoing subdivision are adequate and safe and meet Federal, State, and Town of Jackson requirements if built as designed and operated correctly.

Sinclair Buckstaff, Jr.
Notary Public
My Commission Expires: 01-27-09

Sinclair Buckstaff, Jr., a Wyoming Professional Engineer 6619

The foregoing instrument was acknowledged before me by Sinclair Buckstaff, Jr., this 18th day of April, 2005

Witness my hand and official seal.

Deanna K. Struble
Notary Public
My Commission Expires: 01-27-09

THIS SUBDIVISION WILL BE CONNECTED TO THE TOWN OF JACKSON WATER SUPPLY AND SEWAGE COLLECTION AND TREATMENT SYSTEM

SELLER DOES NOT WARRANT TO PURCHASER THAT HE HAS ANY RIGHTS TO THE NATURAL FLOW OF ANY STREAM WITHIN OR ADJACENT TO THE SUBDIVISION

WYOMING LAW DOES NOT RECOGNIZE ANY RIPARIAN RIGHTS TO THE CONTINUED NATURAL FLOW OF A STREAM OR RIVER TO PERSONS LIVING ON THE BANKS OF THE STREAM OR RIVER

IN ACCORDANCE WITH THE FINAL DEVELOPMENT PLAN APPROVED FOR THE PROPERTY ON APRIL 5, 1999, BY THE TOWN OF JACKSON TOWN COUNCIL, LOTS 2 AND 4 DO NOT HAVE THE RIGHT OF DIRECT VEHICULAR ACCESS TO SOUTH PARK LOOP ROAD.

Owner and Subdivider:

Thomas M. Bess AKA T. M. Bess & Dian Bess
Co-Trustees of the Thomas M. Bess Living Trust
dated April 17, 1998
Dian Bess & Thomas M. Bess AKA T. M. Bess
Co-Trustees of the Dian Bess Living Trust
dated April 17, 1998
P.O. Box 631
Jackson, Wyoming 83001
(307) 733-1198

Surveyor and Engineer:

Nelson Engineering
P.O. Box 1599
Jackson, Wyoming, 83001
307-733-2087

Zoning District: BP-Business Park

Number of Lots: 4

Total Project Acreage: 4.18 ac

Plat Prepared: April, 2004

CAR CORNER ADDITION TO THE TOWN OF JACKSON

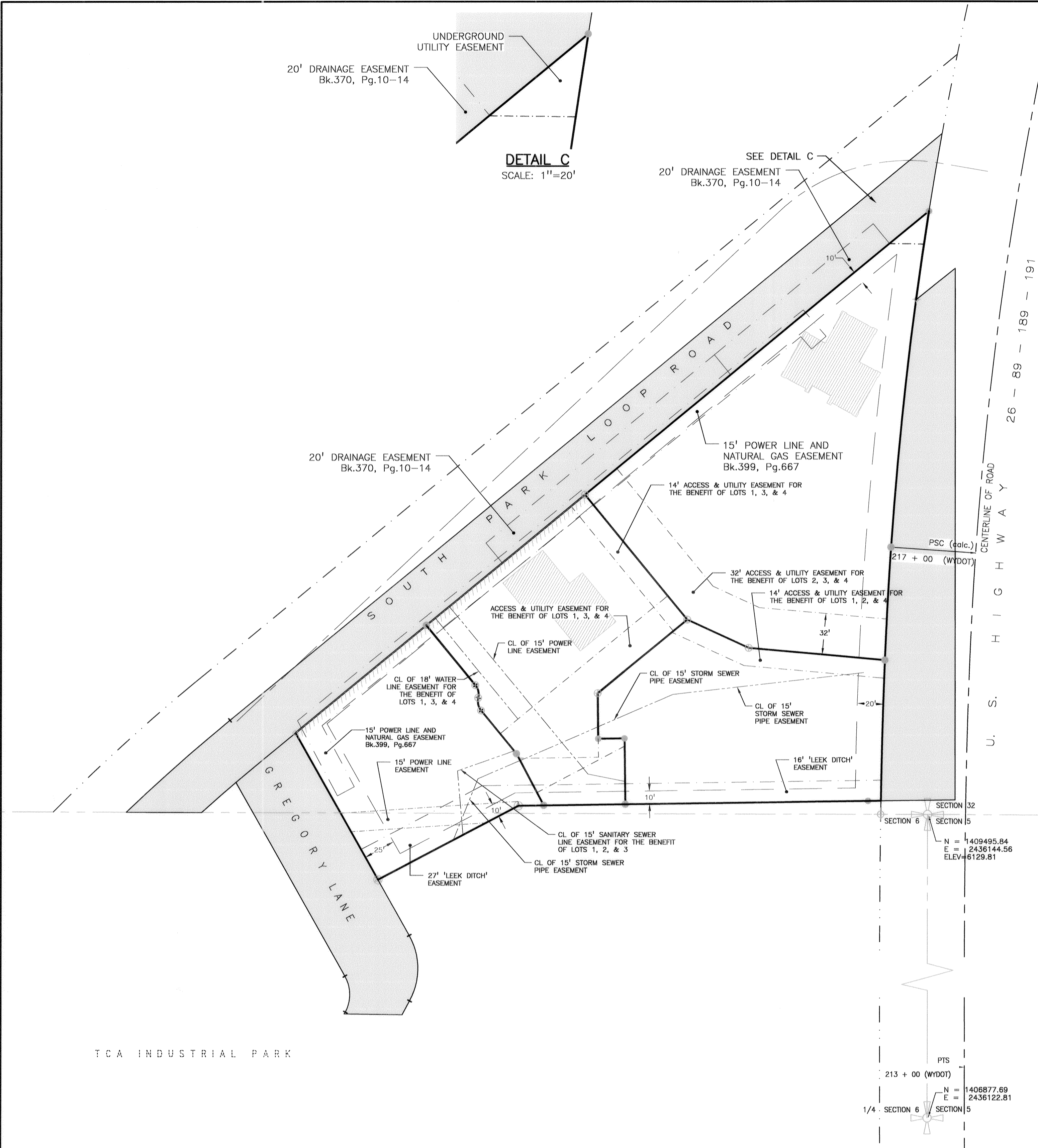
a plat of the
CAR CORNER TRACT
a subdivision
located within
Lot 1, Section 6,
and the

SE1/4 SW1/4, Section 32
Township 41 North, Range 116 West, 6th P.M.
Town of Jackson, Teton County, Wyoming

DRAWING NO	DRAWING TITLE	JOB TITLE	JOB NO
1 of 2	Final Plat	Car Corner Addition to the Town of Jackson	04-013-1
DATE	6/04/04	REVISION	08/04/06
SURVEYED	NE	ENGINEERED	DS
DRAWN	DS	CHECKED	MIQ
APPROVED			

NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

S:\PROJECTS\04-013-1 CAR CORNER ADDITION\REVISED PLAT.DWG (FINAL PLAT (2)) APR 18 2005 09:46 PM PLOTTED BY: STEPHENS



EASEMENT LINE DATA TABLE


NUMBER	LOT	EASEMENT	Bearing	Distance
L1	4	SANITARY SEWER PIPE	S05°01'22"E	50.11'
L2	4	SANITARY SEWER PIPE	N70°32'12"E	46.75'
L3	4	STORM SEWER PIPE	S21°52'42"W	51.60'
L4	4	STORM SEWER PIPE	N66°37'59"E	35.59'
L5	2	STORM SEWER PIPE	N66°39'51"E	88.35'
L6	3	STORM SEWER PIPE	S66°39'51"W	41.20'
L7	3	STORM SEWER PIPE	N83°31'26"E	149.34'
L8	4	POWER LINE	N86°08'27"E	105.39'
L9	4	POWER LINE	N86°08'27"E	138.54'
L10	4	POWER LINE	N03°51'33"W	3.41'
L11	4	LEEK DITCH	S62°06'32"W	106.65'
L12	4	LEEK DITCH	S89°12'49"W	39.54'
L13	2	LEEK DITCH	S89°12'49"W	71.79'
L14	3	LEEK DITCH	S89°12'49"W	199.47'
L15	2	WATER LINE	N39°25'16"W	101.54'
L16	2	POWER LINE	S39°44'24"E	169.34'
L17	2	POWER LINE	S78°44'27"E	29.38'
L18	2	ACCESS & UTILITY	N89°13'00"E	52.06'
L19	2	ACCESS & UTILITY	S00°47'00"E	14.31'

CAR CORNER ADDITION
TO THE TOWN OF JACKSON

a plat of the
CAR CORNER TRACT
a subdivision
located within
Lot 1, Section 6,
and the

SE1/4 SW1/4, Section 32
Township 41 North, Range 116 West, 6th P.M.
Town of Jackson, Teton County, Wyoming

DRAWING NO 2 of 2		JOB TITLE Car Corner Addition to the Town of Jackson Teton County, WY	DRAWING TITLE Final Plat	<div>NELSON ENGINEERING</div> <div>P.O. BOX 1599, JACKSON WYOMING (307) 733-2087</div>					REV 05/04/06
JOB NO 04-013-1				DATE 6/04/04	SURVIVED NE	ENGINEERED	DRAWN DS	CHECKED MQ	APPROVED

DATE	INVOICE NO.	COMMENT	AMOUNT	NET AMOUNT
05/07/2019	17102.01.10 201	Pre-Application Conference Request - includes grading		150.00
<div>JORGENSEN</div>				
DATE 05/07/19 VENDOR Town of Jackson			TOTAL	150.00



PO BOX 9550 • JACKSON, WY 83002
(307) 733-5150

BANK OF JACKSON HOLE 99-409
1023

One Hundred Fifty and no/100

DATE	AMOUNT
05/07/19 10220	\$150.00