



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: May 9, 2019

Item #: P19-112

Planner: Brendan Conboy

Phone: 733-0440 ext. 1302

Fax: 734-3563

Email: bconboy@jacksonwy.gov

Owner:

G6 LLC
1900 Buckrail Dr
Jackson, WY 83001

Applicant:

Jorgensen Associates – Ron Levy
PO Box 9550
Jackson, WY 83002

REQUESTS:

The applicant is submitting a request for Pre-Application Conference for a Grading Permit for the property located at 1007 S. Highway 89, legally known as LOT 3, CAR CORNER ADDITION.

For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.

Please respond by: n/a

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



May 7, 2019

Brendan Conboy
Town of Jackson Planning and Building Dept.
P.O. Box 1687
150 East Pearl Street
Jackson, WY 83001

Hand Delivered

RE: Pre-application Conference Request – Includes Grading

Dear Brendan,

Enclosed you will find the necessary materials for a Pre-application Conference Request that includes grading that we are submitting this request on behalf of our client, CCC Management, LLC.

The property is located at 1007 South US-Highway 89 (22-41-16-32-3-02-003). The existing site is vacant, undeveloped, and flat yet it has been improved with grading in the past. The property takes access from US-Highway 89 and South Park Loop Road. Our client proposes to develop retail services with mixed use types. The Conceptual Site Plan included shows the revised configuration for the project.

Please give me a call at your earliest convenience to schedule the Conference.

Included with this transmittal you will find the following:

- Pre-Application Conference request form
- Deed and Letter of Authorization
- Jorgensen Associates Check No. 10220 for \$150
- Conceptual Site plan
- Grading and Erosion Control Permit Set

Sincerely,

JORGENSEN ASSOCIATES, P.C.

Ron Levy
Land Use Technician II



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____

Check # _____

Credit Card _____

Cash _____

Application # _____

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

When is a Pre-application Conference required?

A pre-application conference is required for the following applications:

- Sketch Plan
- Development Plan
- Conditional Use Permit
- Special Use Permit
- Development Option Plan
- Zoning Map Amendment
- Planned Unit Development
- Plan-level Grading Permit
- Environmental Analysis

When not required, the applicant may request a pre-application conference for other types of applications.

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Owner Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

ANTICIPATED TYPES OF REVIEW PROCESS NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit (includes grading)
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide one electronic copy, and six hard copies of the submittal packet.

Have you attached the following?

Application Fee. See the currently adopted Fee Schedule in the Administrative Manual for more information.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

Narrative Project Description. Please attach a short narrative description of the project that addresses:

- Existing property conditions (buildings, uses, natural resources, etc)
- Character and magnitude of proposed physical development or use
- Intended development options or subdivision proposal (if applicable)
- Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

- Property boundaries
- Existing and proposed physical development and the location of any uses not requiring physical development
- Proposed parcel or lot lines (if applicable)
- Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

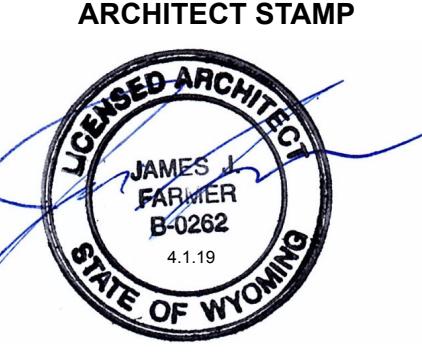
Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title



This drawing and design is the property of Farmer Payne Architects, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied, in whole or part, or used for furnishing information to others, without prior written consent of Farmer Payne Architects, LLC. All common law rights of copyright & otherwise are hereby specifically reserved. These Drawings are for Schematic Intent only, no engineering is associated with these plans, architect not liable for any design or construction flaws, typ.

NOT FOR CONSTRUCTION

C O W B O Y C O F F E E

1007 S Highway 89

Jackson, WY

DATE:	5/7/19
PROJECT #:	1802
DRAWN:	RW/JG/JF
<hr/>	
Revision Date:	
29/19	25%CD
/19	50%CD
25/19	Upper Level Plan
/19	Site Plan, Parking



A200

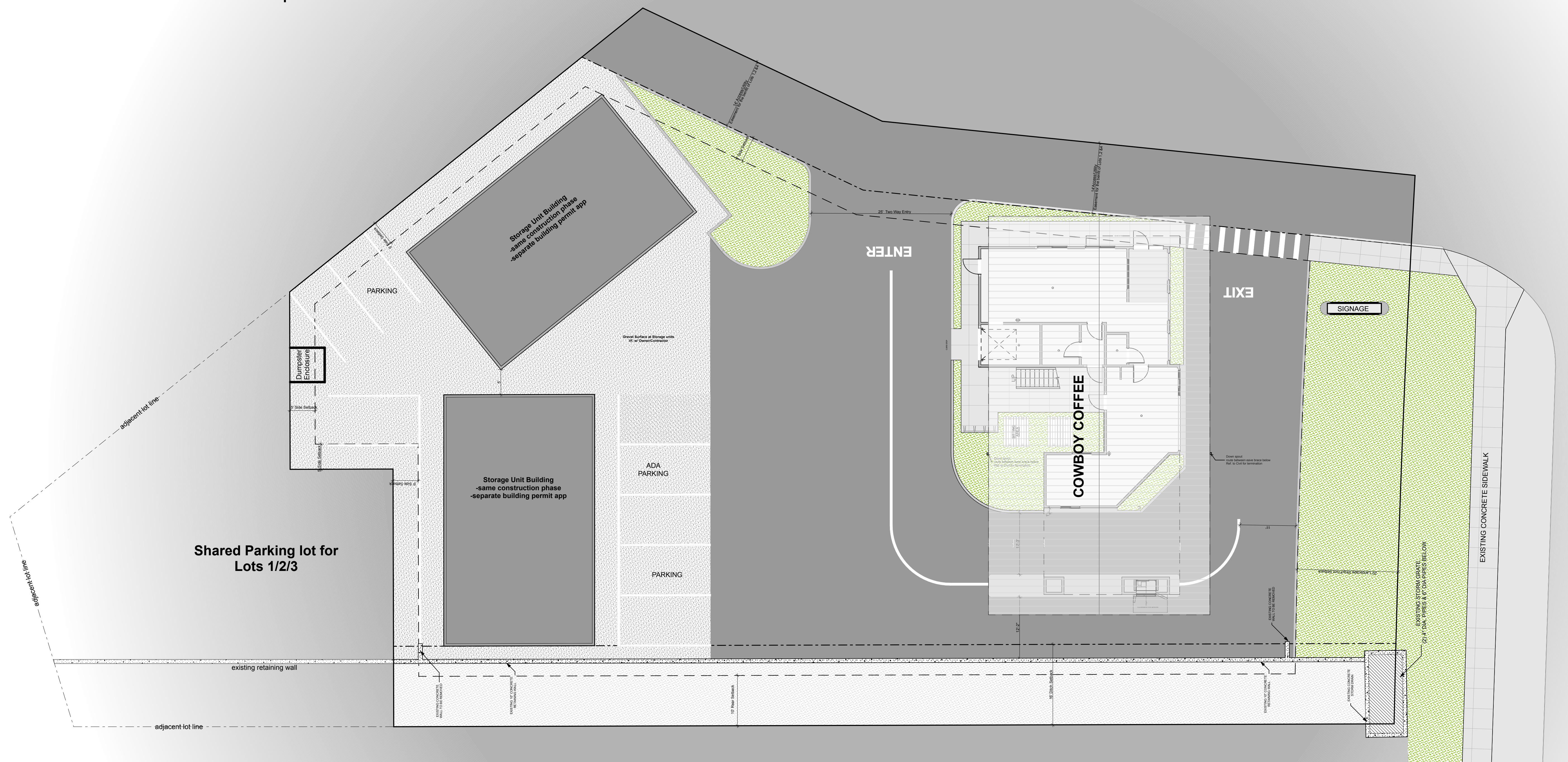
SITE PLAN

LOT 2

Express Lube

LOT 3

Maverick Gas Station



**1 SITE PLAN
SCALE: 3/32" = 1'-0"**

COWBOY COFFEE GRADING & EROSION CONTROL PLAN

1007 S. HIGHWAY 89
JACKSON, WYOMING

LOCATED WITHIN LOT 3 OF CAR CORNER
ADDITION TO THE TOWN OF JACKSON,
ACCORDING TO PLAT NUMBER 1145 OF RECORD
IN THE OFFICE OF THE CLERK OF TETON
COUNTY, WYOMING.



OWNER
Rob Ottaway
Cowboy Coffee
Jackson, WY, 83001
(307) 699-1226



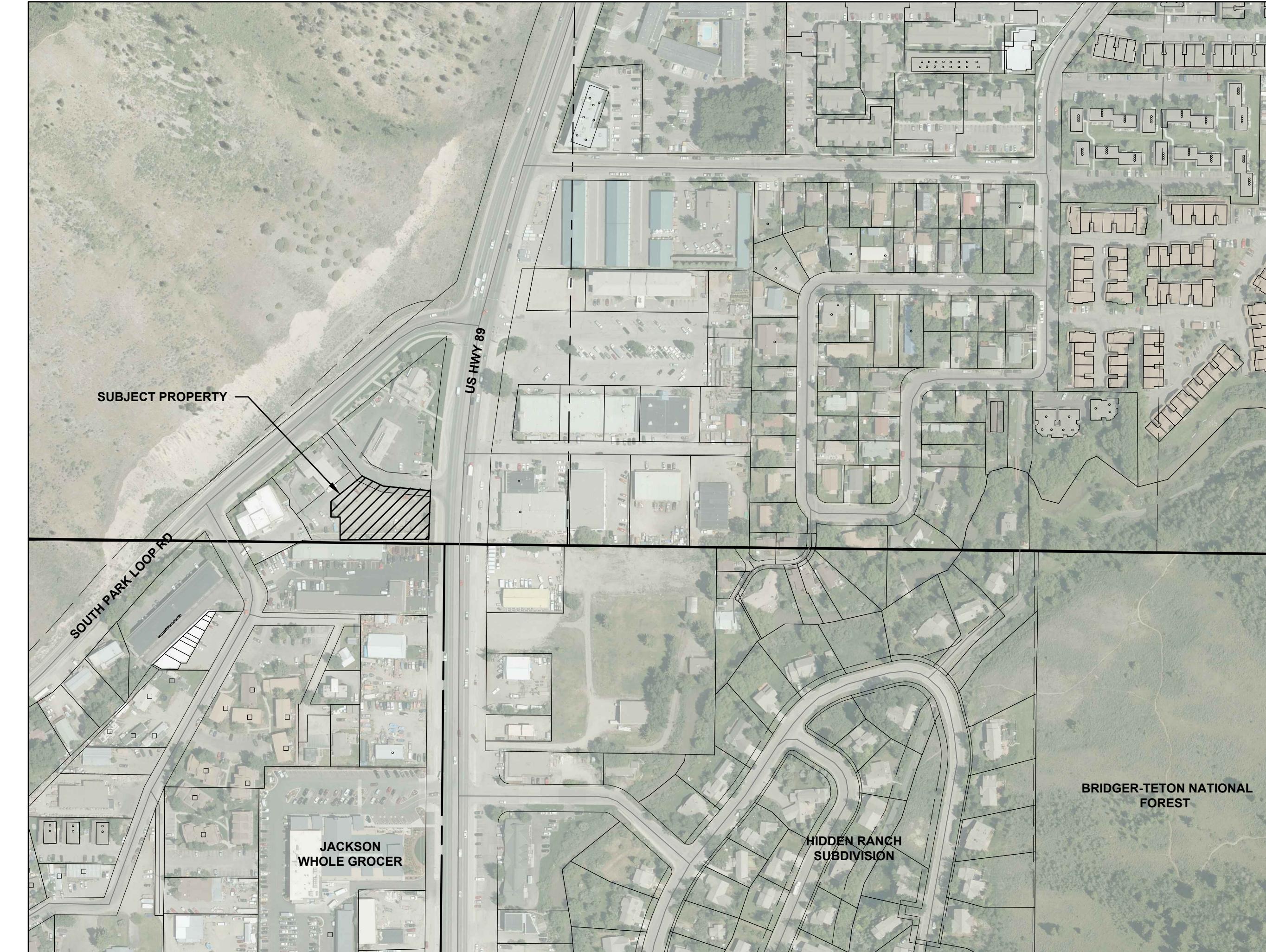
CIVIL, SURVEYOR, &
GEOTECHNICAL ENGINEER
Jorgensen Associates, P.C.
1315 S. Highway 89, #201
P.O. Box 9550
Jackson, WY 83002-9550
(307) 733-5150



ARCHITECT
Farmer Payne Architects
PO Box 381
Jackson, WY 83001
(307) 264-0080



STRUCTURAL ENGINEER
Y2 Consultants, LLC.
180 S. Willow St.,
Jackson, WY 83001
(307) 733-2999



VICINITY MAP

1" = 200' for 22x34 Prints
1" = 400' for 11x17 Prints



INDEX OF SHEETS

- C1.0 TITLE, VICINITY MAP, SHEET INDEX
- C1.1 PROJECT NOTES AND LEGEND
- C1.2 EXISTING CONDITIONS
- C2.0 SITE OVERVIEW & BUILDING TIES
- C2.1 PROPOSED GRADING PLAN
- C2.2 PROPOSED UTILITY PLAN
- C3.0 DETAILS
- C3.1 DETAILS
- C3.2 DETAILS

SHEET TITLE: VICINITY MAP, SHEET INDEX
INDEX

DRAFTED BY: BS
REVIEWED BY: BB
PLAN VERSION DATE
GEC PERMIT 03.27.2019

PROJECT NUMBER 17102.10

SHEET C1.0

PROJECT TITLE: COWBOY COFFEE
1007 S. HIGHWAY 89
LOT 3, CAR CORNER ADDITION
JACKSON, WYOMING

LEGEND:

PROPOSED	EXISTING	
	●	A 5/8 INCH DIAMETER STEEL REBAR WITH AN ALUMINUM CAP INSCRIBED "PLS 4270" FOUND THIS SURVEY
	▲	PK-BRAND NAIL FOUND THIS SURVEY
	△	STEEL SPIKE SET THIS SURVEY FOR ORIENTATION AND MAPPING PURPOSES
	□	UTILITY PEDESTAL
	○	UTILITY POLE
	☒	POWER TRANSFORMER
	Ⓜ	METER
	Ⓣ	PHONE PEDESTALS
	Ⓢ	SEWER MANHOLE
	Ⓔ	STORM DRAIN
	Ⓛ	STORM SEWER MANHOLE
	ⓧ	LIGHTPOST
	_____	POWER BOX
	_____	PROPERTY LINE
	_____	ADJACENT PROPERTY LINE
	_____	EASEMENT
	_____	EDGE OF PAVEMENT
	_____	TOP BACK OF CURB
	_____	CONCRETE WALL
	_____	EDGE OF CONCRETE
	_____	PARKING STRIPING
	_____ OH OH _____	OVERHEAD LINE
	_____	BURIED POWER LINE
	_____ S S _____	SANITARY SEWER LINE
	_____ STM STM _____	STORM SEWER LINE
	_____ STM STM _____	STORM SEWER LINE WITH RIGID INSULATION
	_____ W W _____	WATER LINE
	6130	6130
	6131	6131
	□ □	CONTOURS, MAJOR
	□ □	CONTOURS, MINOR
	□ □	STRAW WATTLE
	□ □	LIMIT OF DISTURBANCE
X132.20	+6132.2	GRADE SPOT ELEVATION
XTBC 132.20		TOP BACK OF CURB SPOT ELEVATION
XEPI 132.20		EDGE OF PAVEMENT SPOT ELEVATION
XECP 132.20		EDGE OF CONCRETE SPOT ELEVATION
XLPI 132.00		LOW POINT SPOT ELEVATION
	LAWN	LAWN

GENERAL PROJECT NOTES:

1. PROJECT SCOPE: CONSTRUCT COFFEE KIOSK AND ASSOCIATED FACILITIES.
2. PROPERTY IS ZONED AS BUSINESS PARK-RES (BP-R).
3. PROPERTY AREA: 0.58 ACRES
4. THE PROJECT WILL BEGIN IN SUMMER OF 2019
5. CONSTRUCTION WORK HOURS SHALL BE CONSISTENT WITH CURRENT TOWN OF JACKSON POLICIES.
6. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS. ANY CONSTRUCTION RELATED ACTIVITIES NOT IN CONFORMANCE WITH APPROVED AND PERMITTED PLANS AND/OR SEQUENCING MAY RESULT IN TERMINATION OF WORK.
7. VERBAL NOTICE OF ANY CHANGES OR MODIFICATIONS THAT ARE NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE BUILDING PERMIT SHALL BE GIVEN TO THE TOWN ENGINEERING DEPARTMENT AT 307 733-3079. THE TOWN ENGINEERING DEPARTMENT MAY REQUIRE ADDITIONAL WRITTEN NOTICE OR INFORMATION BE SUBMITTED THROUGH THE TOWN'S BUILDING DEPARTMENT AND ADDITIONAL REVIEW FEES MAY APPLY.
8. PRIOR TO START OF CONSTRUCTION ACTIVITIES, THE APPLICANT SHALL CONTACT THE TOWN OF JACKSON ENGINEERING DEPARTMENT AND SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO MEET WITH THE ENGINEERING DEPARTMENT PRIOR TO START OF CONSTRUCTION ACTIVITIES WILL RESULT IN STOPPAGE OF WORK ON SITE. THE TOWN ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
9. THE DESIGN ENGINEER OF RECORD FOR ALL PROPOSED RETAINING WALLS, WATER AND SEWER INFRASTRUCTURE AND GRADING SHALL INSPECT AND PROVIDE WRITTEN APPROVAL OF CONSTRUCTION PRIOR TO CERTIFICATE OF OCCUPANCY. THE TOWN ENGINEERING DEPARTMENT SHALL BE NOTIFIED TO ALLOW FOR WITNESSING OF ANY TESTING. FIELD REPORTS REGARDING THE INSTALLATIONS SHALL BE KEPT AND MAY BE REQUIRED BY THE TOWN ENGINEERING DEPARTMENT. RECORD DRAWINGS OF THE INSTALLATION SHALL BE PROVIDED ALONG WITH A WYDEQ CERTIFICATE OF COMPLETION.
10. ALL PROPOSED ROADS, SIDEWALKS, WATER, SEWER, CABLE UTILITIES, STORM AND DRAINAGE INFRASTRUCTURE LOCATED ONSITE SHALL BE PRIVATELY OWNED, OPERATED AND MAINTAINED. THE CONSTRUCTION OF THE ONSITE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE PROVIDED FOR IN A SUBDIVISION IMPROVEMENTS AGREEMENT TO BE APPROVED WITH EACH SUBDIVISION PLAT.
11. RECORD DESIGN PLANS SHALL BE SUBMITTED ELECTRONICALLY TO THE TOWN OF JACKSON IN PORTABLE DOCUMENT FORMAT (PDF) WITH A CORRESPONDING AUTOCAD COMPATIBLE (DWG) AND A GIS SHAPE FILE.
12. JORGENSEN GEOTECHNICAL, LLC PERFORMED A GEOTECHNICAL INVESTIGATION OF THE PROPERTY IN DECEMBER OF 2018. THE PREDOMINANT SOIL TYPE IS GRAVEL FILL WITH OVERLYING STONY ALLUVIUM BASE. THE GEOTECHNICAL REPORT IDENTIFIES OPTIONS FOR CONSTRUCTING FOUNDATIONS ON THIS SOIL TYPE.
13. JORGENSEN ASSOCIATES PERFORMED A TOPOGRAPHICAL SURVEY IN THE WINTER OF 2019.
14. TETON COUNTY GIS LISTS VEGETATION COVER AS SAGEBRUSH DRY SHRUB LAND AND INTRODUCED GRASSLAND HERBACEOUS.
15. RE-VEGATATION TO OCCUR ONCE CONSTRUCTION IS COMPLETE.
16. THE PROPERTY IS NOT WITHIN THE WILD LAND URBAN INTERFACE.
17. THE PROJECT AREA IS NOT IN THE NATURAL RESOURCE OVERLAY OR IN THE SCENIC RESOURCE OVERLAY.
18. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA. CONTACT ENGINEER TO LOCATE EXISTING WATER, SEWER LINES.
19. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
20. CONTRACTOR TO CONFIRM STOCKPILE AND STAGING LOCATIONS WITH THE OWNER.
21. FILL MATERIAL SHALL BE SUITABLE ON-SITE OR IMPORTED MATERIAL WITH ROCK NO LARGER THAN 6 INCHES IN DIAMETER. LARGER MATERIAL MAY BE PLACED ONLY WHEN AUTHORIZED BY ENGINEER. CONSULT GEO-TECH FOR FURTHER DETAILS.
22. SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPAKTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-99-STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS.
23. CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING H OR GRADING W.
24. CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPAKTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-180-MODIFIED PROCTOR DENSITY).
25. CONSTRUCTION SITE DELINEATION FENCING SHALL BE PROVIDED AS NEEDED TO PROTECT THE PUBLIC FROM HAZARDS DURING CONSTRUCTION. THE FENCE SHALL REMAIN IN PLACE AND INTACT FOR AS LONG AS NECESSARY TO PROTECT THE PUBLIC.

26. DESTRUCTION AND DAMAGE TO TREES AND OTHER NATURAL VEGETATION SHALL BE MINIMIZED AND ALL DISTURBED SURFACES SHALL BE RESEEDED AS SOON AS PRACTICABLE IN ACCORDANCE TO THE REVEGETATION SPECIFICATIONS.

27. STRIP AND SALVAGE TOPSOIL FROM ALL EXCAVATED AREAS.

28. APPROVED SEDIMENTATION CONTROLS AND SILT RETENTION SHALL BE PLACED AND PROVIDED DURING CONSTRUCTION AS NEEDED TO PREVENT OFFSITE STORM FLOW AS IDENTIFIED IN THE APPROVED GRADING AND EROSION CONTROL PLAN. THE TOWN ENGINEER SHALL BE NOTIFIED UPON COMPLETION OF EROSION CONTROL MEASURES WITHIN 2 CALENDAR DAYS AFTER INSTALLATION.

29. THE APPROVED EROSION CONTROL PLAN SHALL BE LOCATED ON SITE. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAIN AND AT LEAST ONCE EACH WEEK. EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGEWAYS AS A RESULT OF LAND DEVELOPING OR DISTURBING ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.

30. THE TOWN ENGINEER SHALL BE ALLOWED TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.

31. COPIES OF ALL AGREEMENTS AND/OR EASEMENTS SHALL BE PROVIDED TO THE TOWN OF JACKSON PRIOR TO GRADING ON ADJACENT PROPERTIES FOR TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITIES.

32. WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS PRIOR TO REVEGETATION AND AFTER REVEGETATION IS COMPLETE.

33. FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.

34. ALL PUBLIC STREETS SHALL BE MAINTAINED CLEAR OF DEBRIS DURING CONSTRUCTION. SHOULD DEBRIS BE TRACKED ONTO PUBLIC STREETS FROM THE CONSTRUCTION SITE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE AFFECTED STREETS.

35. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.

36. TOPS OF CUT AND FILL SLOPES SHALL BE ROUNDED TO AVOID RAVELING AND EROSION.

37. A FOUR INCH MINIMUM LAYER OF TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING.

38. CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 WITHOUT SPECIAL STABILIZATION AND APPROVAL FROM ENGINEER.

REVEGETATION SPECIFICATIONS:

(FOLLOW MITIGATION PLAN. FOLLOW THESE SPECIFICATIONS WHERE NOTHING IS SPECIFIED ON MITIGATION PLANS OR BY LANDSCAPE ARCHITECT.)

1. SEED MIXTURE:

COMMON NAME	PLS SEEDS/SF	PLS % MIX
BLUEBUNCH WHEATGRASS	10.2	12%
SANDBERG BLUEGRASS	16.8	20%
IDAHO FESCUE	14.4	18%
SLENDER WHEATGRASS	6.1	7%
	SUBTOTAL:	47.5
*QUICKGUARD STERILE TRITICALE HYBRID (ANNUAL COVER)	0.6	0.7%
MOUNTAIN BIG SAGEBRUSH	22.8	28%
BASIN WILD RYE	1.7	2%
RUBBER RABBITBRUSH	3.2	4%
COMMON YARROW	6.4	8%
	TOTAL	82.2
		100%
		TOTAL APPLICATION RATE = 21.1 POUNDS/ACRE

*STERILE TRITICALE HAS BEEN ADDED TO SEED MIX #1 AS A NURSE CROP TO PROVIDE FAST GROWING, SHORT-TERM VEGETATIVE GROWTH TO ASSIST WITH EROSION CONTROL PRIOR TO THE FULL ESTABLISHMENT OF THE SLOWER GROWING NATIVE PERENNIAL SPECIES. THE TRITICALE IS STERILE AND WILL NOT PRODUCE Viable SEED. THEREFORE, IT WILL ONLY BE PRESENT DURING THE INITIAL GROWING SEASON.

2. SEED MIXES CONTAINING NATIVE FLOWERING PLANTS SUCH AS LUPINE, YARROW AND PAINTBRUSH ARE ACCEPTABLE.

3. ALL SEED SHALL COMPLY WITH WYOMING SEED LAW. SEED SHALL BE PURCHASED FROM A DEALER LICENSED WITH THE WYOMING DEPARTMENT OF AGRICULTURE. CERTIFICATIONS FOR THE SEED MIX SHALL BE PROVIDED TO THE ENGINEER PRIOR TO SEEDING.

4. TOPSOIL SHALL BE UNIFORMLY SPREAD ON PREPARED SURFACES PRIOR TO SEEDING. REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS FROM THE PREPARED SOIL PRIOR TO SEEDING.

5. HARD PACKED OR CAKED TOPSOIL SURFACES SHALL BE SCARIFIED OR DISKED PRIOR TO SEEDING.

6. SEED SHALL BE UNIFORMLY DISTRIBUTED OVER THE SURFACE BY APPROVED MECHANICAL BROADCASTING DEVICES AND THE GROUND SHALL BE IMMEDIATELY RAKED OR DRAGGED TO COVER THE SEED.

7. SEEDING SHALL BE PERFORMED BETWEEN THE TIME THE FROST LEAVES THE GROUND IN THE SPRING AND BEFORE THE FROST ENTERS THE GROUND IN THE FALL.



PROJECT TITLE: COWBOY COFFEE 1007 S. HIGHWAY 89
LOT 3, CAR CORNER ADDITION JACKSON, WYOMING

SHEET TITLE: PROJECT NOTES AND LEGEND

DRAFTED BY:	BS
REVIEWED BY:	BB
PLAN VERSION	DATE
GEC PERMIT	03.27.2019
PROJECT NUMBER	17102.10
SHEET	C.1



PROJECT TITLE:
COWBOY COFFEE
1007 S. HIGHWAY 89
LOT 3, CAR CORNER ADDITION
JACKSON, WYOMING

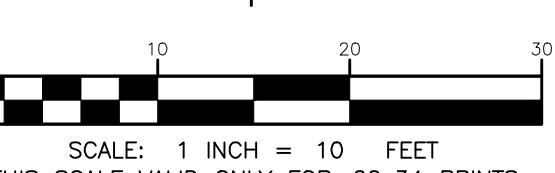
EXISTING CONDITIONS SHEET / FILE:

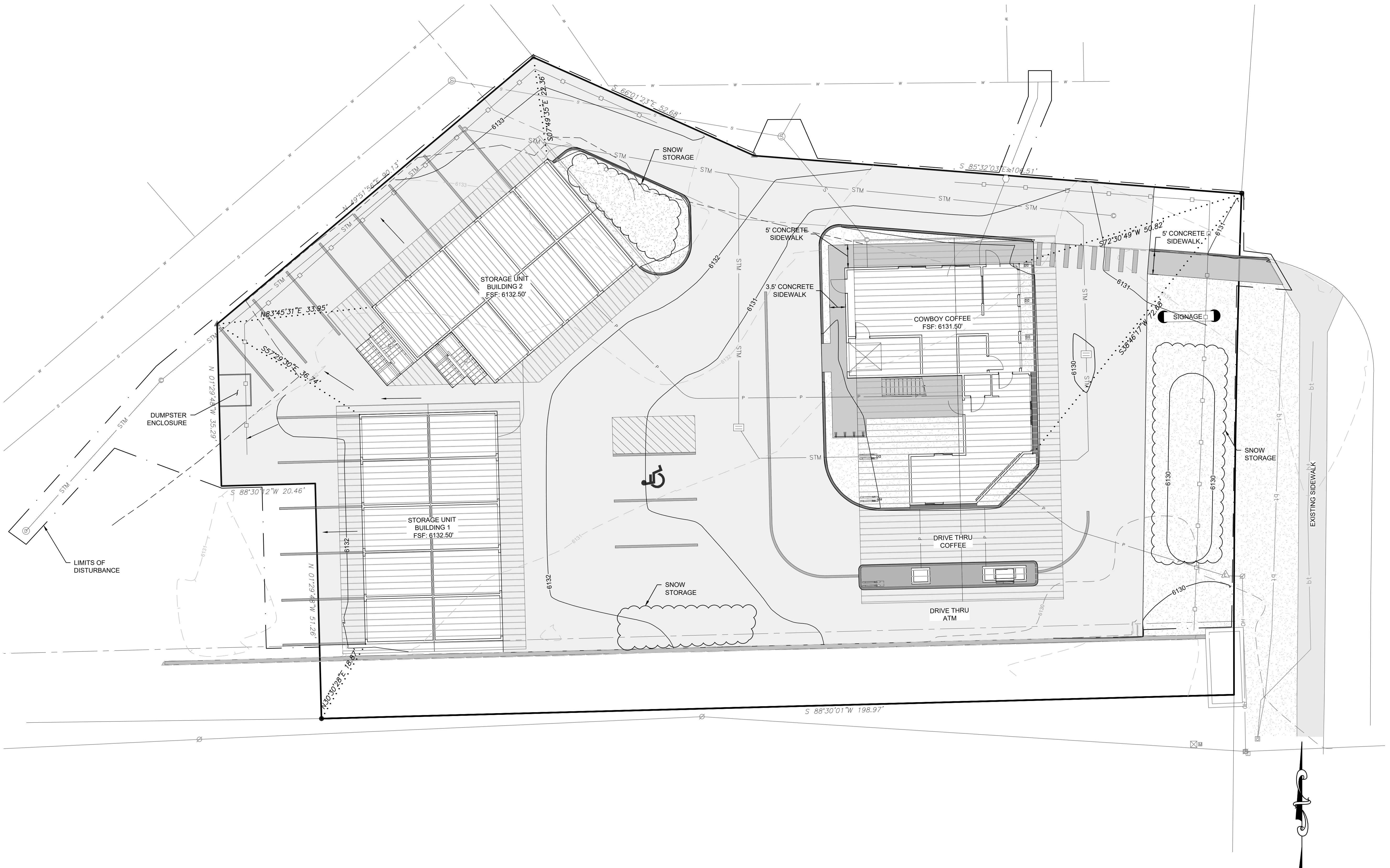
DRAFTED BY:	BS
REVIEWED BY:	BB
PLAN VERSION	DATE
GEC PERMIT	03.27.2019

PROJECT NUMBER
17102.10

SHEET

— PRELIMINARY —
SUBJECT TO CORRECTION
AND APPROVAL







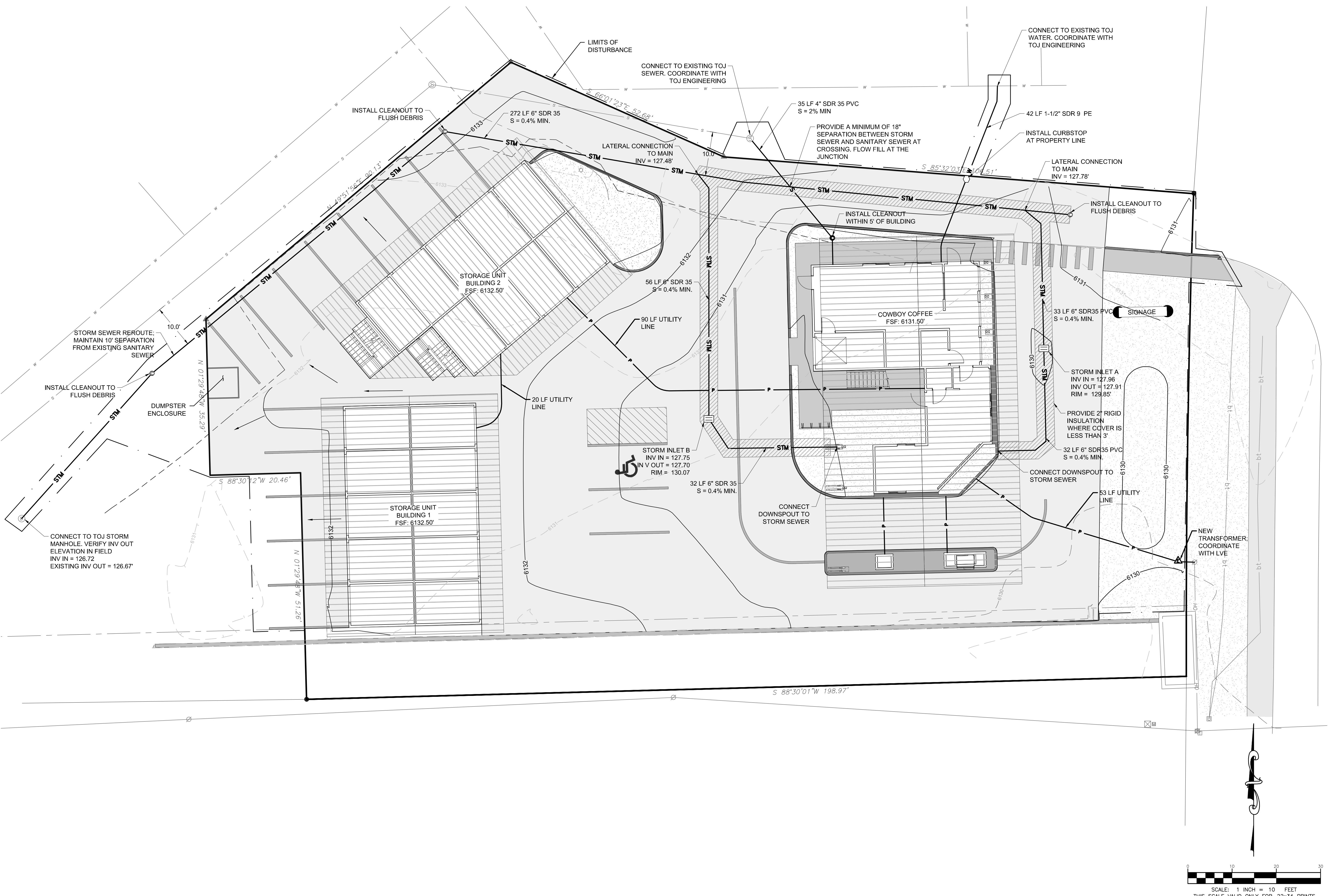
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COWBOY COFFEE
1007 S. HIGHWAY 89
LOT 3, CAR CORNER ADDITION
JACKSON, WYOMING

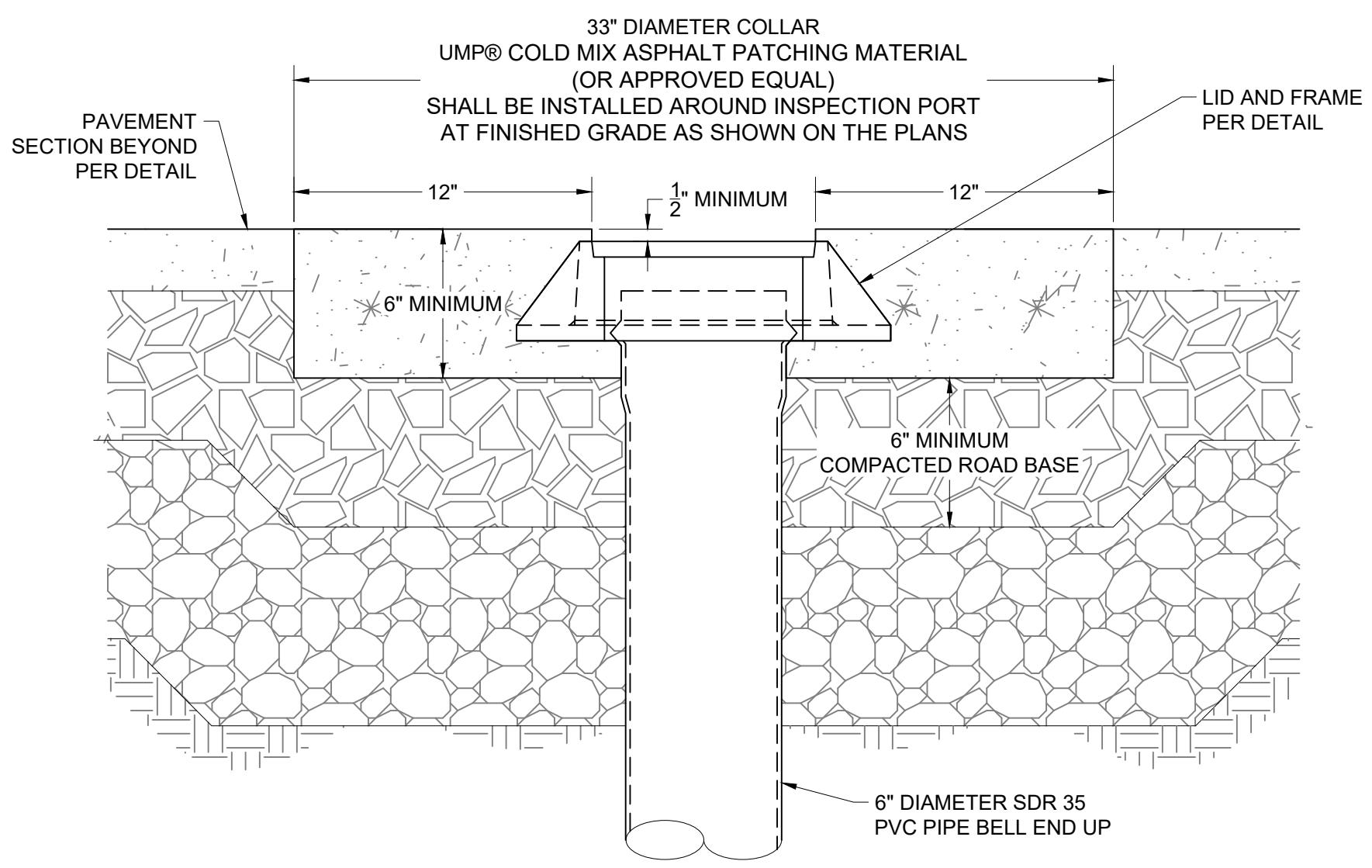
PROPOSED UTILITY PLAN

DRAFTED BY:	BS
REVIEWED BY:	TK
PLAN VERSION	DATE
GEC PERMIT	03.27.2019

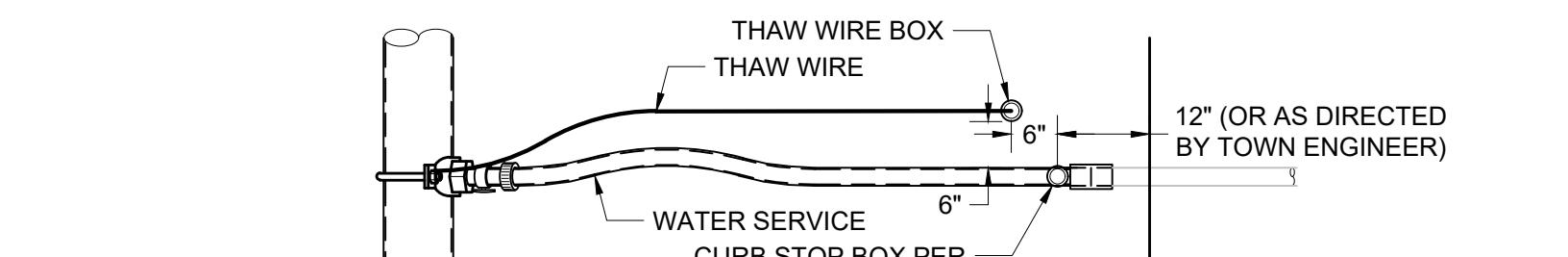
PROJECT NUMBER
17102.10

SHEET
C2.2

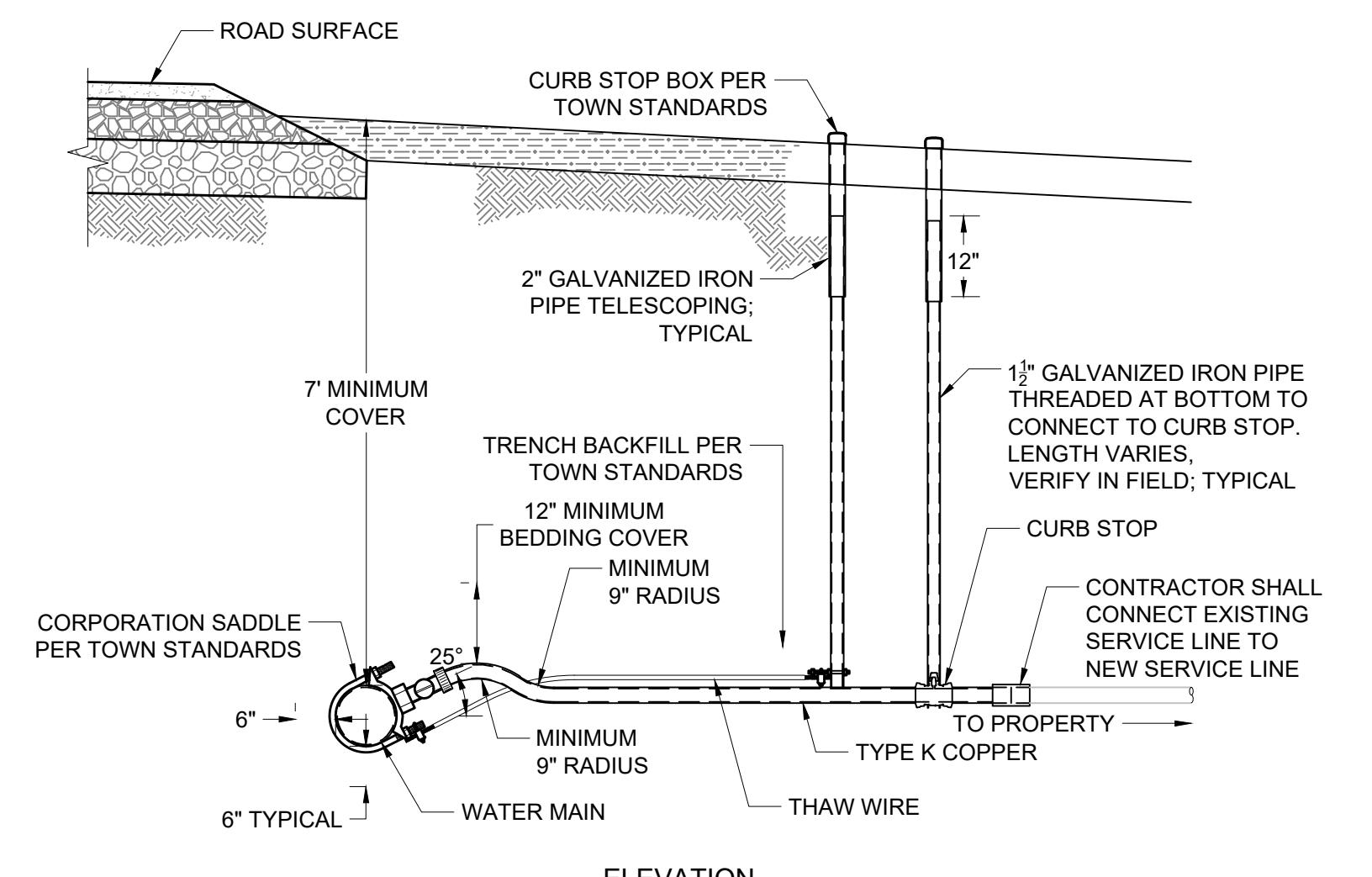




STORM INSPECTION PORT IN ASPHALT DETAIL
NOT TO SCALE

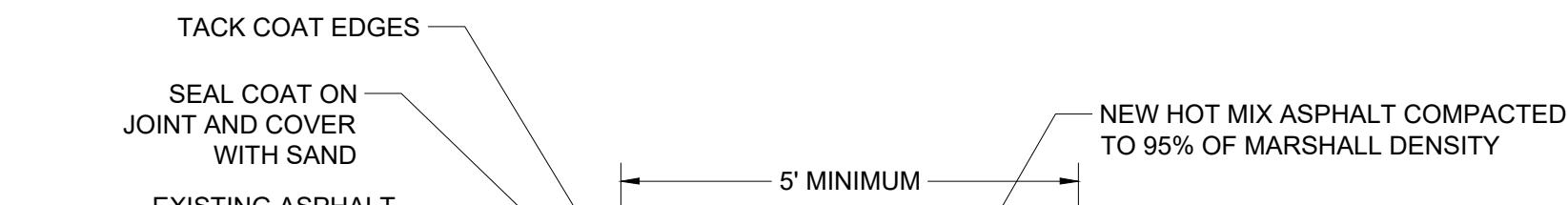


PLAN

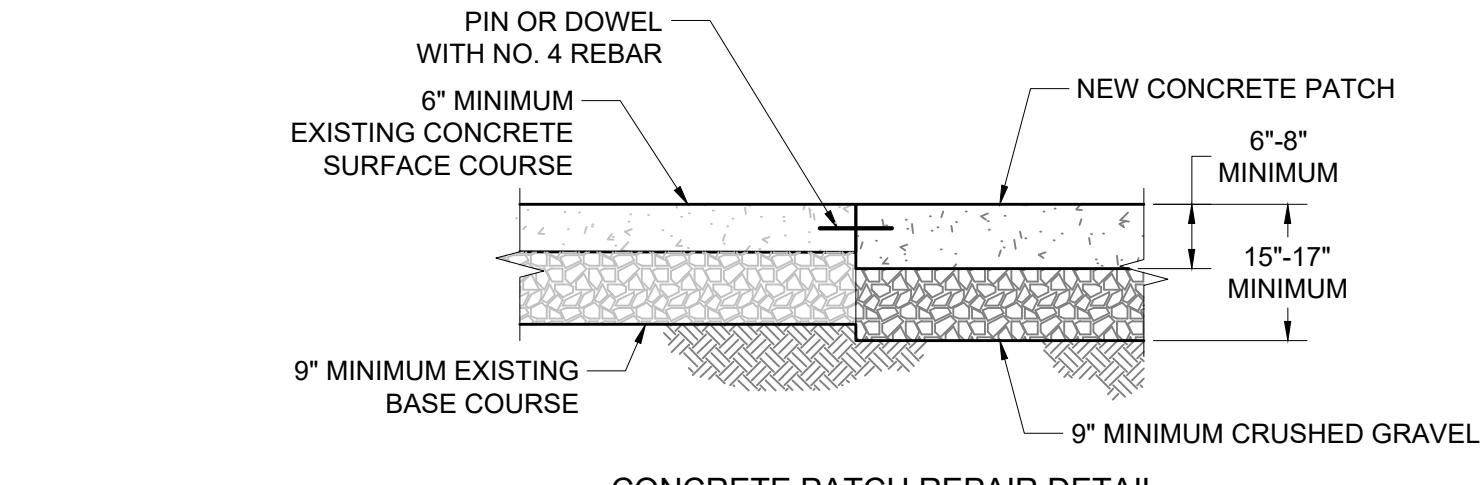


ELEVATION

NOTE
1. THAW WIRE TO BE INSTALLED ON ALL NEW AND EXISTING WATER SERVICES IN THE TOWN OF JACKSON.

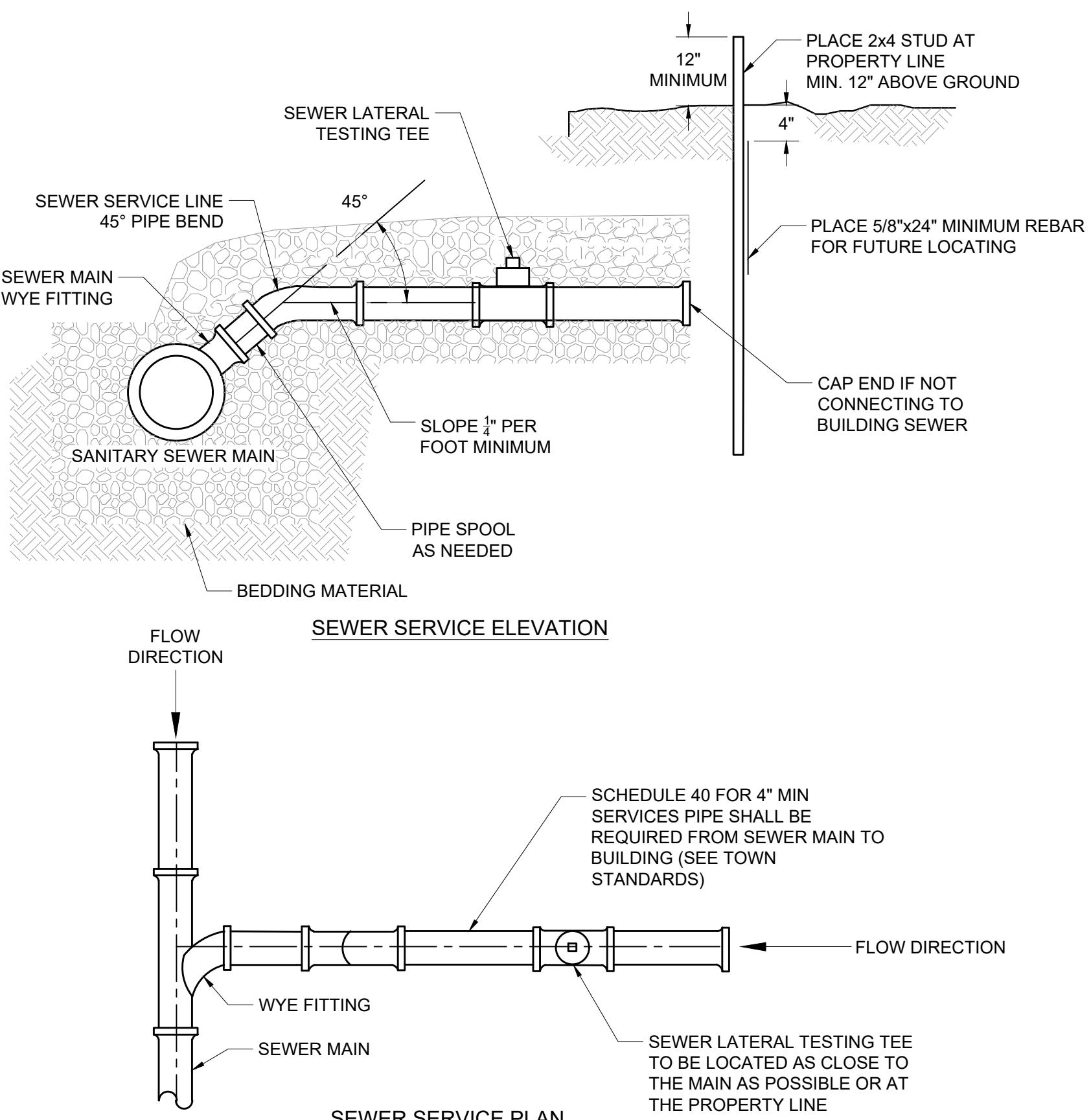


ASPHALT PATCH REPAIR DETAIL



CONCRETE PATCH REPAIR DETAIL

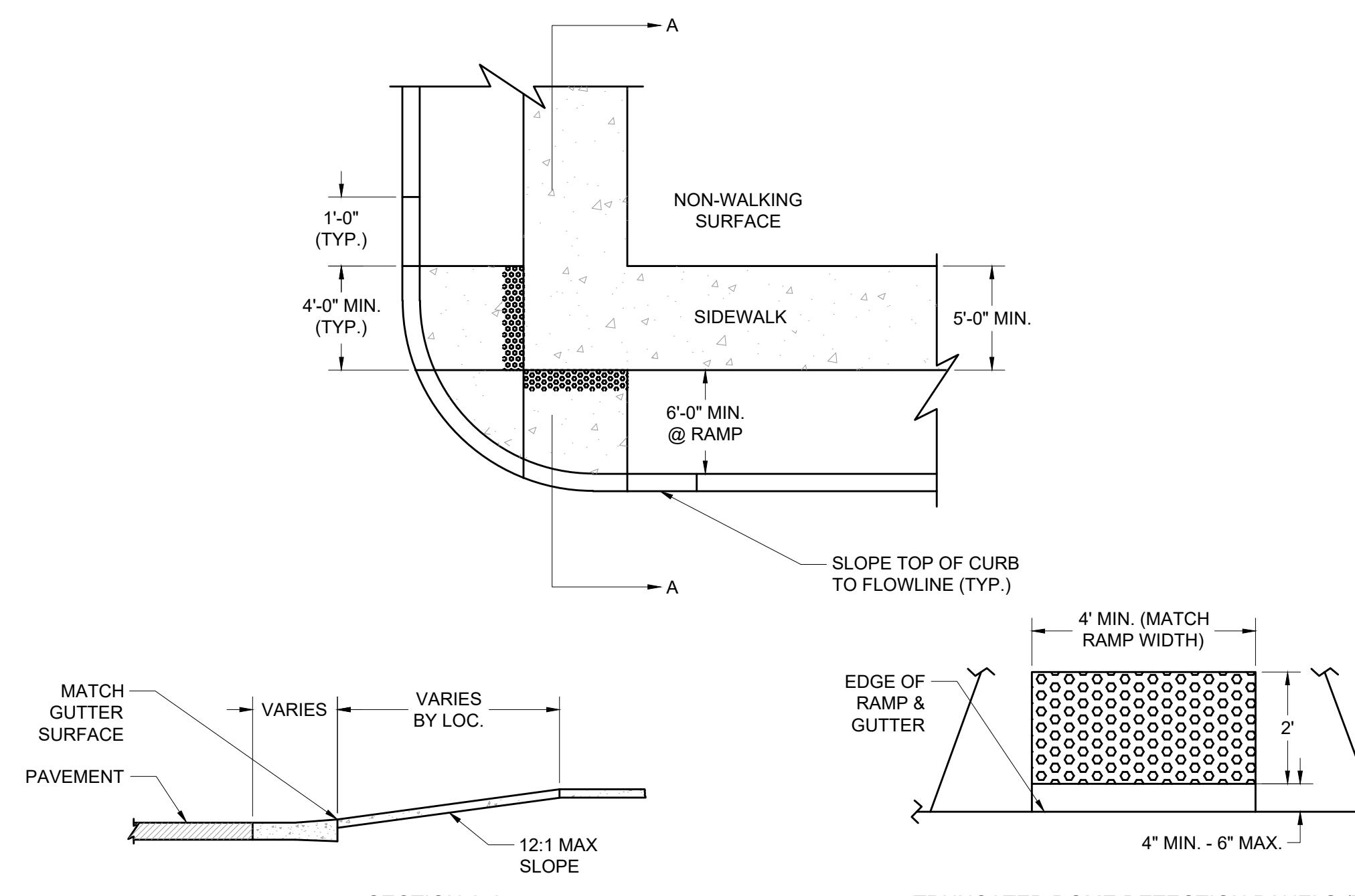
NOTE
1. REPLACEMENT ASPHALT SHALL BE 1" THICKER THAN EXISTING WITH A MINIMUM THICKNESS OF 3".
2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 $\frac{1}{2}$ " IN THICKNESS, AND COMPAKTED TO 95% OF MARSHALL DENSITY.
3. BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIAL OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
4. PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN OF JACKSON PUBLIC WORKS DEPARTMENT.



SANITARY SEWER SERVICE DETAIL
NOT TO SCALE

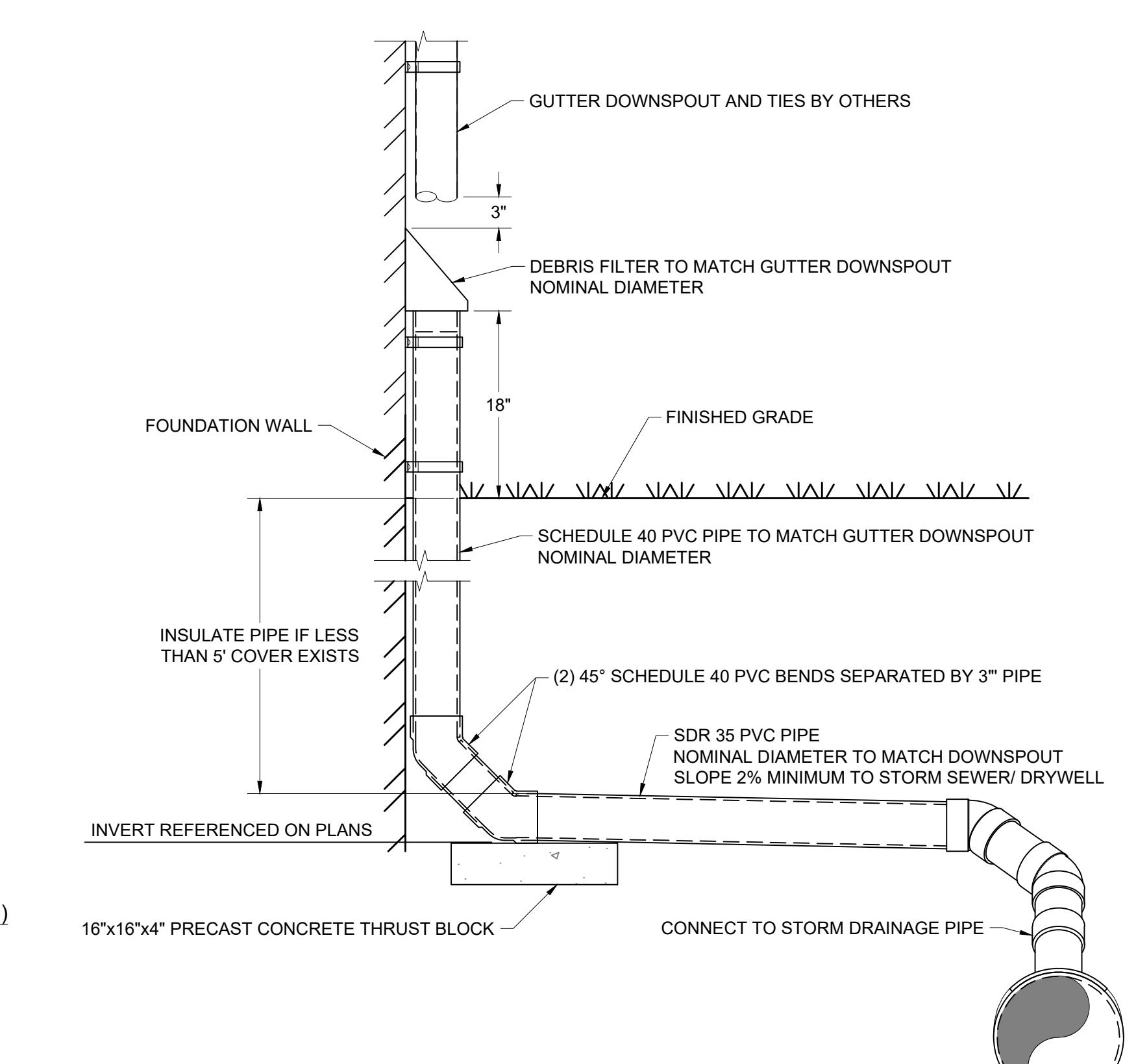
TOJ SS-111

WATER SERVICE WITH THAW WIRE DETAIL
NOT TO SCALE
TOJ W-102/103



PEDESTRIAN RAMP DETAIL
NOT TO SCALE

TOJ ST-112

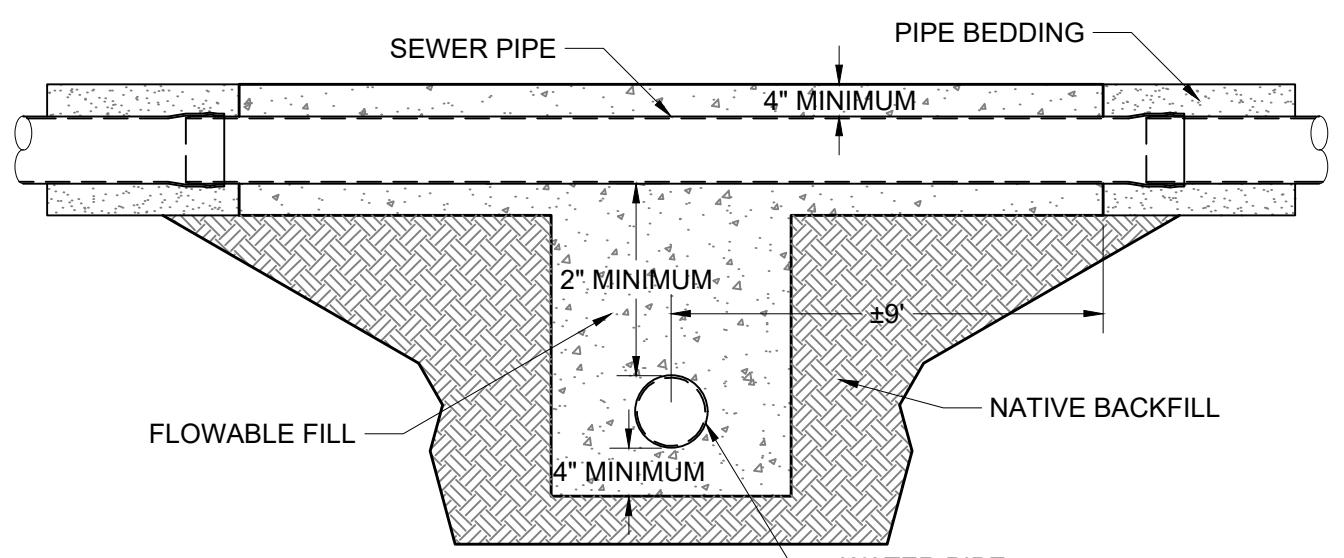


DOWNSPOUT TO STORM WATER MAIN CONNECTION DETAIL
NOT TO SCALE

LANDSCAPED AREA

DETAILS

DRAFTED BY:	BS
REVIEWED BY:	BB
PLAN VERSION	DATE
GEC PERMIT	03.27.2019
PROJECT NUMBER	17102.10
SHEET	C3.1



NOTE

PARALLEL INSTALLATION

NORMAL CONDITIONS

SEWER MAINS AND MANHOLES SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY WATER MAIN WHENEVER POSSIBLE.

UNUSUAL CONDITIONS

UNUSUAL CONDITIONS:
WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, A SEWER MAIN MAY BE LAID CLOSER TO A WATER MAIN, PROVIDED THAT:

1. THE TOP OF THE SEWER MAIN IS AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN;
2. WHERE 18" VERTICAL SEPARATION AS NOTED ABOVE CANNOT BE OBTAINED, THE SEWER MAIN SHALL BE:
 - 2A. CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION, AND TESTED TO ASSURE WATERTIGHTNESS BY SEWER LINE METHODS, OR;
 - 2B. PLACED IN A SEPARATE CASING PIPE, OR;
 - 2C. THE PIPE ENCASED IN CEMENT TREATED FILL (FLOW FILL).

CROSSING

CROSSING: NORMAL CONDITION

NORMAL CONDITIONS.

SEWERS CROSSING WATER MAINS SHALL BE LAID BELOW THE WATER MAINS TO PROVIDE A VERTICAL SEPARATION OF AT LEAST 18" WHENEVER POSSIBLE. THE DISTANCE SHALL BE MEASURED BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF THE SEWER.

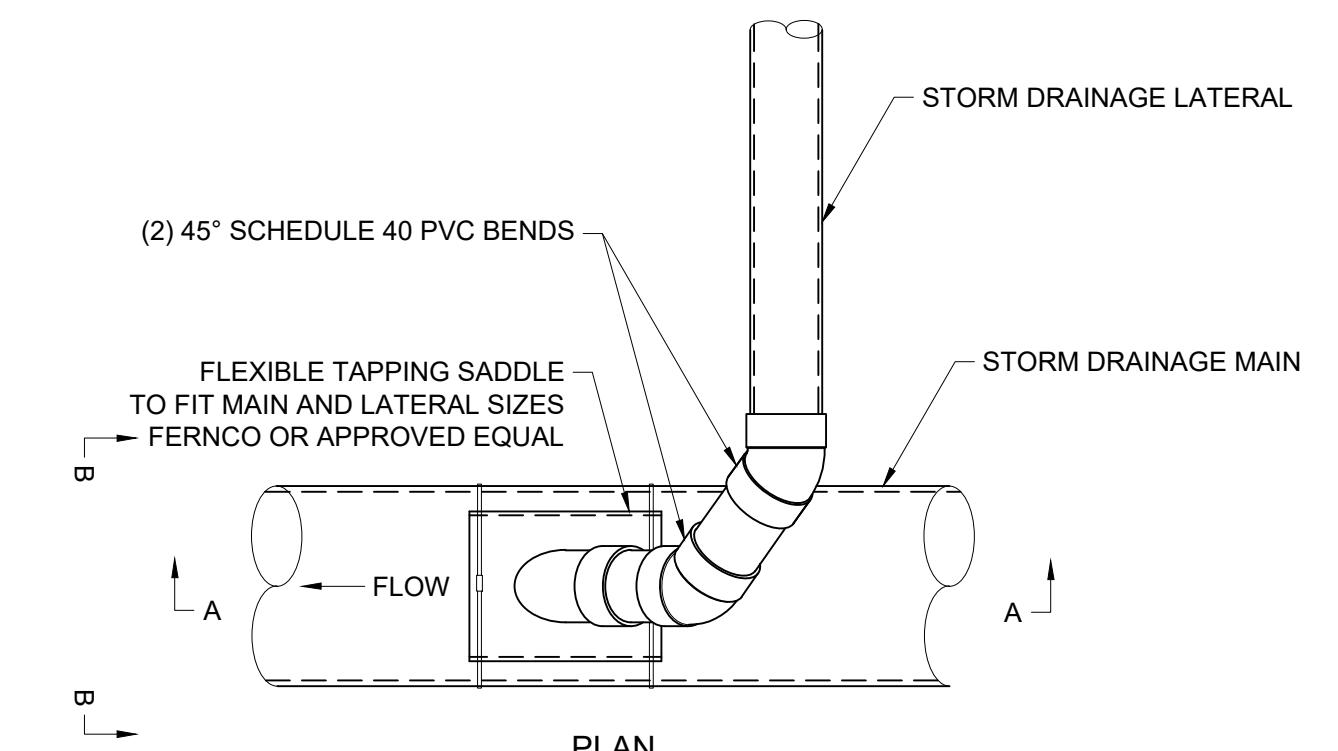
UNUSUAL CONDITIONS

UNUSUAL CONDITIONS.
WHEN LOCAL CONDITIONS PREVENT A VERTICAL SEPARATION OF AT LEAST 18" AS NOTED ABOVE, THE FOLLOWING CONSTRUCTION SHALL BE USED:

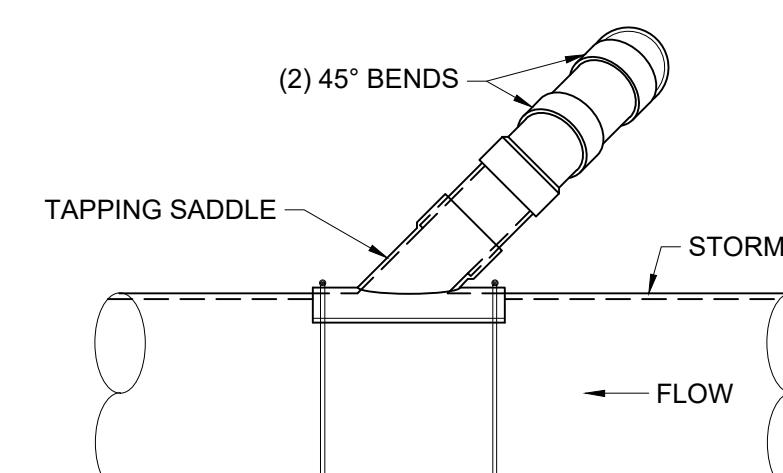
CONSTRUCTION SHALL BE USED:

1. THE SANITARY SEWER, STORM SEWER OR WATER MAIN SHALL BE PLACED IN A SEPARATE CASING PIPE EXTENDING A MINIMUM OF 9' EACH SIDE OF THE CROSSING; OR
2. THE SEWER LINE SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION AND TESTED TO ASSURE WATER TIGHTNESS BY SEWER LINE METHODS, AND SHALL EXTEND A MINIMUM OF 9' EACH SIDE OF THE CROSSING
3. WATER MAINS PASSING UNDER A SEWER LINE SHALL, IN ADDITION TO THE ABOVE REQUIREMENTS, BE PROTECTED BY PROVIDING ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER LINE. SOIL STRUCTURAL SUPPORT SHALL CONSIST OF CEMENT TREATED BACKFILL (FLOW FILL).

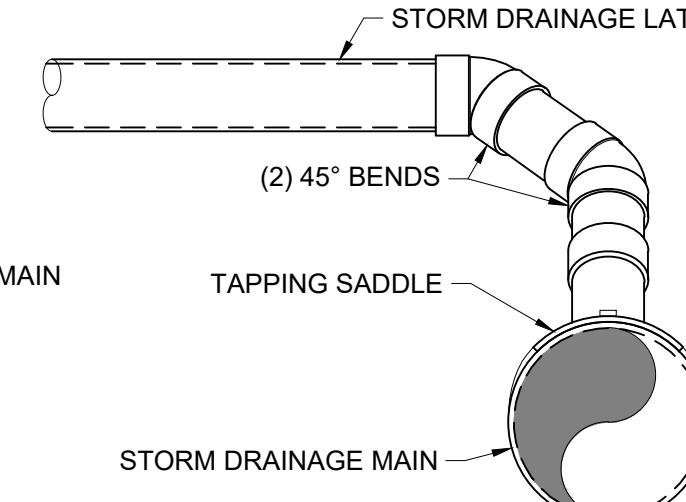
WATER SEWER UNUSUAL PROXIMITY DETAIL
NOT TO SCALE



PLAN



SECTION A-A



SECTION B-B

STORM WATER LATERAL CONNECTION DETAIL

NOT TO SCALE

LETTER OF AUTHORIZATION

CCC Management, LLC, "Owner" whose address is: _____
P.O. Box 4045 Jackson Wyoming 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)
CCC Management, LLC, as the owner of property
more specifically legally described as: Lot 3, Car Corner Addition Plat 1145

(If too lengthy, attach description)

HEREBY AUTHORIZES Jorgensen Associates, P.C. _____ as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: PRESIDENT

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming)
COUNTY OF Teton)
)SS.
)

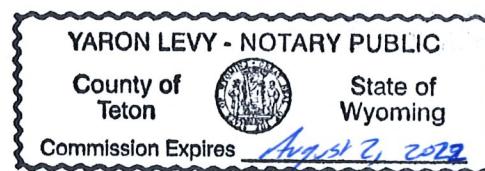
The foregoing instrument was acknowledged before me by Rob O'Hanry this 3 day of July, 2019.

(Seal)

~~(Notary Public)~~

(Notary Public)
My commission expires:

August 2, 2022



LETTER OF AUTHORIZATION

G6, LLC, a Wyoming limited liability company ("Owner"), is the owner of the property more specifically described as Lot 3, Car Corner Addition to the Town of Jackson, Wyoming according to Plat 1145 recorded in the County Clerk's Office of Teton County, Wyoming on April 19, 2005 (PIDN 22-41-16-32-3-02-003)(the "Property"), and HEREBY AUTHORIZES CCC Management, LLC, a Wyoming limited liability company ("CCC"), to pursue construction of improvements on the Property and to pursue all permits necessary in conjunction therewith with the Town of Jackson, Wyoming. CCC and Owner are parties to that certain Ground Lease dated December 8, 2017 (the "Lease"). Nothing herein is intended to modify the terms and conditions of the Lease, and CCC hereby acknowledges that all construction activities on the Property remain subject to the terms and conditions of the Lease. CCC hereby appoints Jorgensen Associates, P.C., a Wyoming professional corporation ("Agent"), as its agent to represent and act for CCC in pursuit of a building permits for improvements on the Property. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized CCC's submittal of the building permit application (and related applications and permits) by the Agent named above. Owner acknowledges and agrees that the Property will be subject to the terms and conditions of the building permit. CCC shall be responsible for all fines and fees related to such permits authorized herein.

Under penalty of perjury, the undersigned swear that the foregoing is true and is given with the appropriate authority of G6 and CCC.

Owner reserves the right to terminate this Letter of Authorization at any time following one (1) days written notice to Agent, CCC and the Town of Jackson.

G6, LLC,
a Wyoming limited liability company

By: Dennis Lamb
Dennis Lamb, Manager

STATE OF WYOMING)
) ss
COUNTY OF TETON)

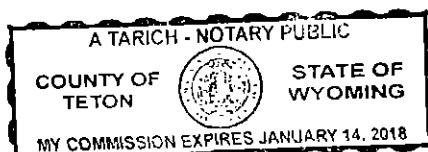
AB
2nd day of January

✓ The foregoing instrument was acknowledged before me on this ~~29th~~ day of ~~December~~,
2017 by Dennis Lamb in his capacity as Manager of G6, LLC, a Wyoming limited liability
company.

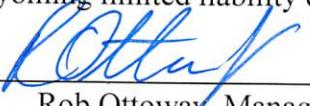
Marie D. Johnson
Notary Public

SEAL:

My Commission Expires: 1-14-18



CCC Management, LLC,
a Wyoming limited liability company

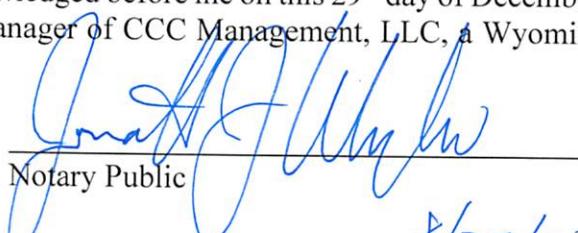
By: 

Rob Ottoway, Manager

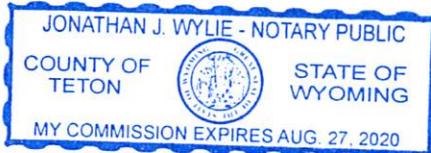
STATE OF WYOMING)
) ss
COUNTY OF TETON)

The foregoing instrument was acknowledged before me on this 29th day of December, 2017 by Rob Ottoway in his capacity as Manager of CCC Management, LLC, a Wyoming limited liability company.

SEAL:


Notary Public

My Commission Expires: 8/27/20



SPECIAL WARRANTY DEED

RELEASED	<input checked="" type="checkbox"/>
INDEXED	<input checked="" type="checkbox"/>
ABSTRACTED	<input checked="" type="checkbox"/>
SCANNED	<input checked="" type="checkbox"/>

Dennis R. Lamb, a married man dealing in his sole and separate property ("Grantor"), for Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, the receipt and sufficiency of which is hereby acknowledged, CONVEYS AND WARRANTS in the manner set forth below to G6 LLC, of P.O. Box 530, Jackson, Wyoming, 83001, ("Grantee"), the following described real estate situated in the County of Teton, State of Wyoming, hereby waiving and releasing under and by virtue of the Homestead Exemption Laws of the State of Wyoming, to wit:

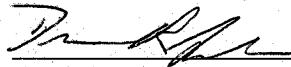
Lot 3 of the CAR Corner Addition to the Town of Jackson, Teton County Wyoming according to that plat recorded April 19, 2005 as Plat No. 1145; PIDN 22-41-16-32-3-02-003;

Together with and including all improvements thereon and all appurtenances and hereditaments thereunto belonging; but subject to all covenants, conditions, restrictions, easements, reservations, rights and rights-of-way of sight and/or record.

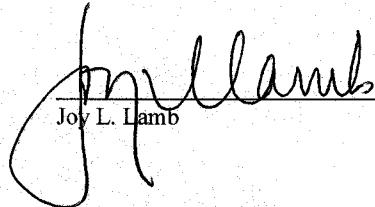
Grantor shall and will specially warrant that the title to the aforesaid property is free from defects or encumbrances created or suffered by Grantor excepting therefrom mortgages of record as of the date of this deed, and will forever defend the property conveyed by the within deed, and every part thereof, against every person lawfully claiming the same, or any part thereof, by, through, or under Grantor, and no other.

Joy L. Lamb, wife of Dennis R. Lamb, executes this Special Warranty Deed for the sole purpose of releasing and waiving all rights in the property under and by virtue of the homestead exemption laws of the State of Wyoming.

WITNESS our hands this 25th day of September, 2012.



Dennis R. Lamb



Joy L. Lamb

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

The foregoing instrument was acknowledged before me by Dennis R. Lamb and Joy L. Lamb this 25th day of September, 20 12.

Witness my hand and official seal.




Notary Public
My commission expires: 1-15-2013

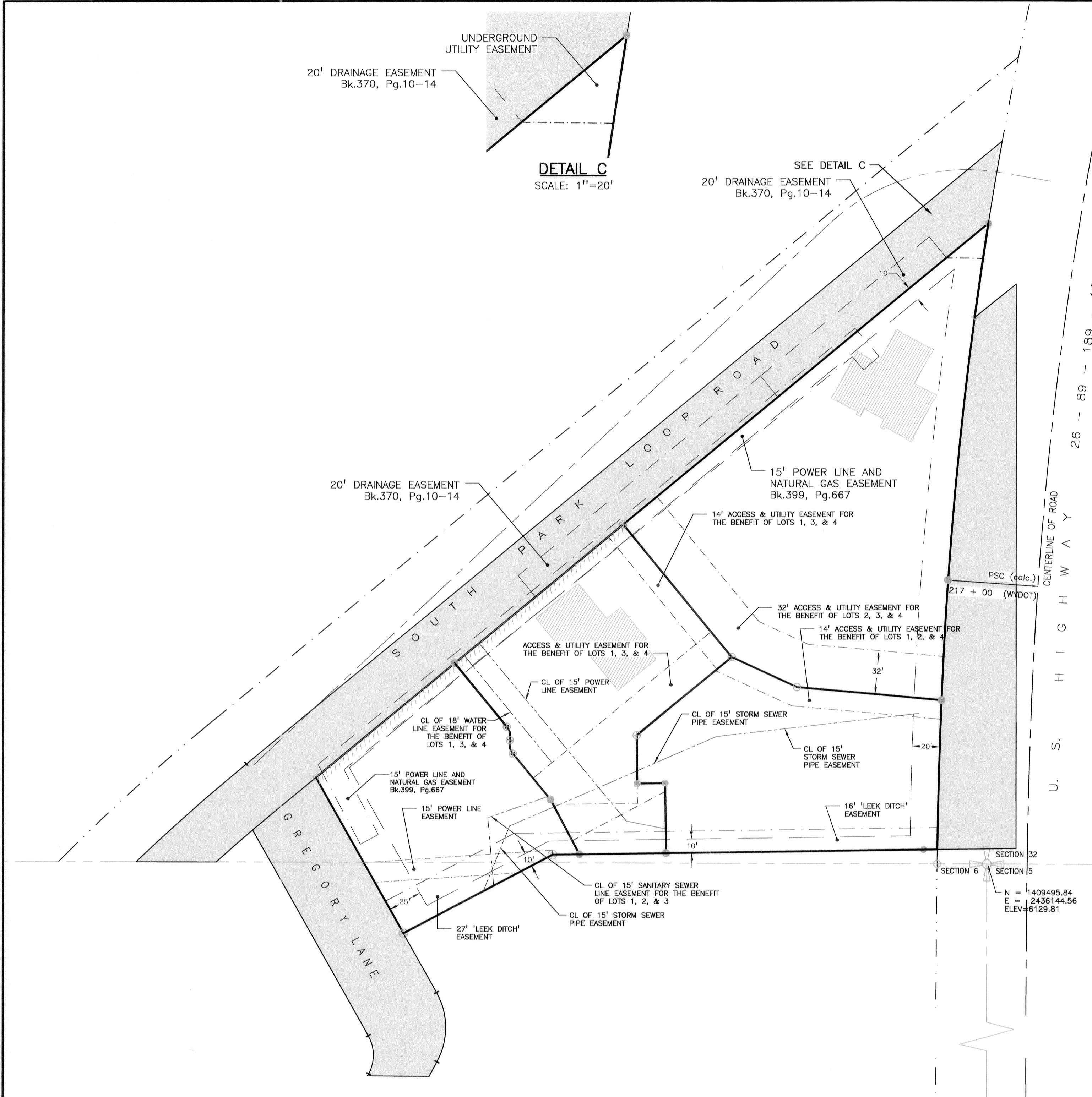
GRANTOR: LAMB, DENNIS R

GRANTEE: G6 LLC

Doc 0822421 bk 820 pg 342-342 Filed At 15:35 ON 09/25/12

Sherry L. Daigle Teton County Clerk fees: 8.00

By Michele Fairhurst Deputy



SECTION 6 / SECTION 5
PTS
213 + 00 (WYDOT)
N = 1406877.69
E = 2436122.81
1/4 SECTION 6 / SECTION 5

EASEMENT LINE DATA TABLE

NUMBER	LOT	EASEMENT	Bearing	Distance
L1	4	SANITARY SEWER PIPE	S05°01'22"E	50.11'
L2	4	SANITARY SEWER PIPE	N70°32'12"E	46.75'
L3	4	STORM SEWER PIPE	S21°52'42"W	51.60'
L4	4	STORM SEWER PIPE	N66°37'59"E	35.59'
L5	2	STORM SEWER PIPE	N66°39'51"E	88.35'
L6	3	STORM SEWER PIPE	S66°39'51"W	41.20'
L7	3	STORM SEWER PIPE	N83°31'26"E	149.34'
L8	4	POWER LINE	N86°08'27"E	105.39'
L9	4	POWER LINE	N86°08'27"E	138.54'
L10	4	POWER LINE	N03°51'33"W	3.41'
L11	4	LEEK DITCH	S62°06'32"W	106.65'
L12	4	LEEK DITCH	S89°12'49"W	39.54'
L13	2	LEEK DITCH	S89°12'49"W	71.79'
L14	3	LEEK DITCH	S89°12'49"W	199.47'
L15	2	WATER LINE	N39°25'16"W	101.54'
L16	2	POWER LINE	S39°44'24"E	169.34'
L17	2	POWER LINE	S78°44'27"E	29.38'
L18	2	ACCESS & UTILITY	N89°13'00"E	52.06'
L19	2	ACCESS & UTILITY	S00°47'00"E	14.31'

CAR CORNER ADDITION TO THE TOWN OF JACKSON

a plat of the
CAR CORNER TRACT
a subdivision
located within
Lot 1, Section 6,
and the

SE1/4 SW1/4, Section 32
Township 41 North, Range 116 West, 6th P.M.
Town of Jackson, Teton County, Wyoming

1145

**NELSON
ENGINEERING**

P.O. BOX 1598, JACKSON WYOMING (307) 733-2087

DATE	6/04/04	REV.
SURVEYED	NE	03/04/06
ENGINEERED	DS	
DRAWN	MQ	
CHECKED	MQ	
APPROVED		

DRAWING TITLE

Final Plat

Car Corner Addition
to the Town of Jackson
Teton County, WY

DRAWING NO

2 of 2

JOB NO

04-013-1

DATE	INVOICE NO.	COMMENT	AMOUNT	NET AMOUNT
05/07/2019	17102.01.10 201	Pre-Application Conference Request - includes grading		150.00
DATE 05/07/19		VENDOR Town of Jackson	TOTAL	150.00



JORGENSEN

PO BOX 9550 • JACKSON, WY 83002
(307) 733-5150

BANK OF JACKSON HOLE 99-409
1023

10220

One Hundred Fifty and no/100

DATE	AMOUNT
05/07/19	\$150.00
10220	