



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: May 6, 2019	REQUESTS: The applicant is submitting a request for Pre-Application Conference for a Grading Permit for the property located at 505 Rancher Street, legally know as LOT 3, BEESLEY SUBDIVISION, 1ST FILING. For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Item #: P19-108	
Planner: Brendan Conboy Phone: 733-0440 ext. 1302 Fax: 734-3563 Email: bconboy@jacksonwy.gov	
Owner: Sage Lansing & Edmund Depree PO Box 474 Jackson, WY 83001	
Please respond by: n/a	

RESPONSE: For Departments not using Trak-it, please send responses via email to: tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner

_____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email or thumb drive), and **two hard copies** of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees. **\$150.00**

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours. after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title

3 May 2019

Town of Jackson
Planning & Building Department-Planning Division
150 E. Pearl Ave.
PO Box 1687
Jackson, WY 83001

To Whom it May Concern,

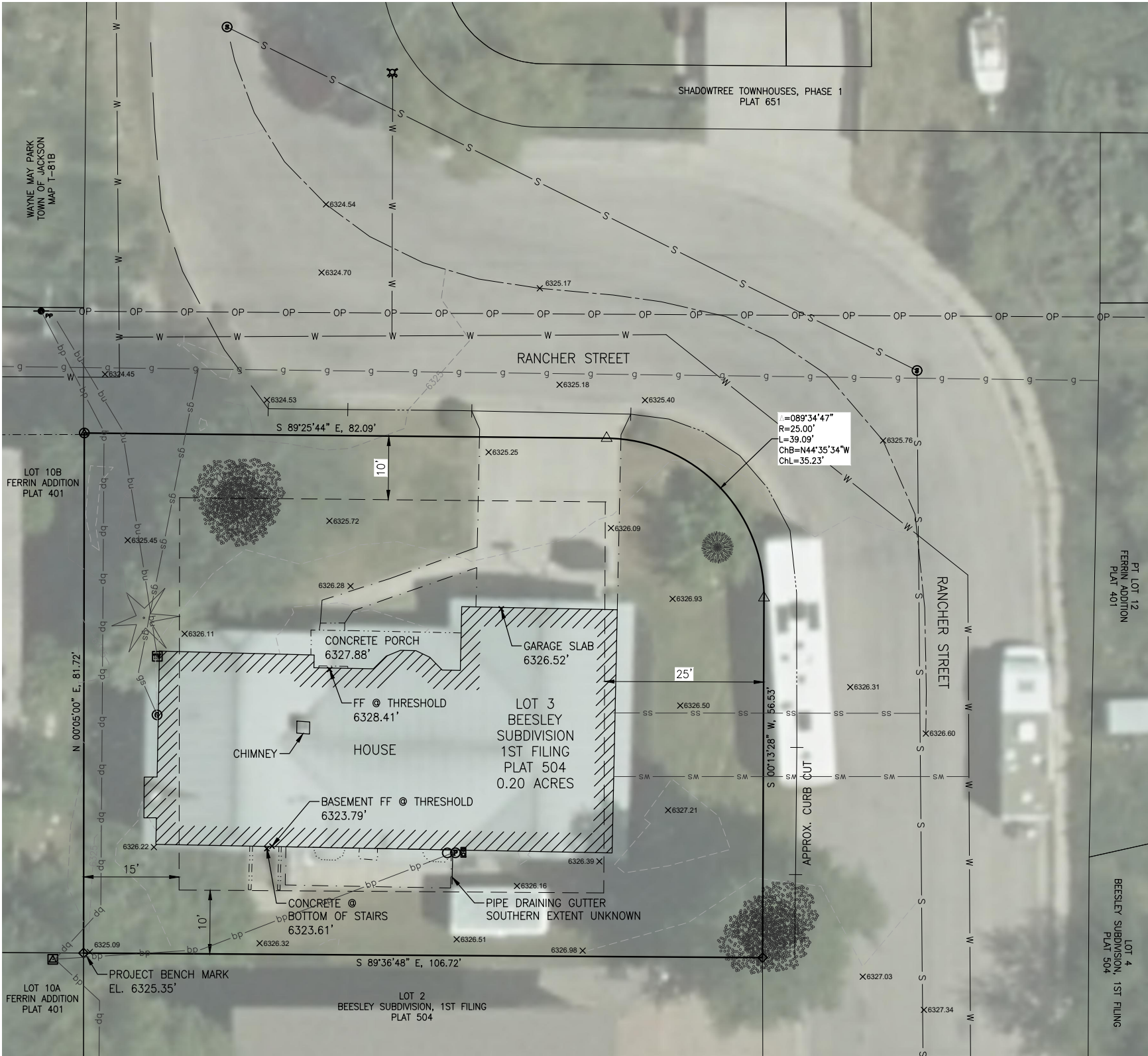
The Attached PAP is for new residential construction located at 505 Rancher St. Jackson WY. In accordance with the existing site plan attached, there is an existing residence with associated parking and utilities. Proposed development includes demolition of existing structures with the foundation and utilities to remain and construction of a 5-bedroom home comprised of three levels with parking. Proposed development is described on sheets C2.0-C4.1 attached. Please don't hesitate to contact us with project inquiries.

Sincerely,

E. Austin Depree

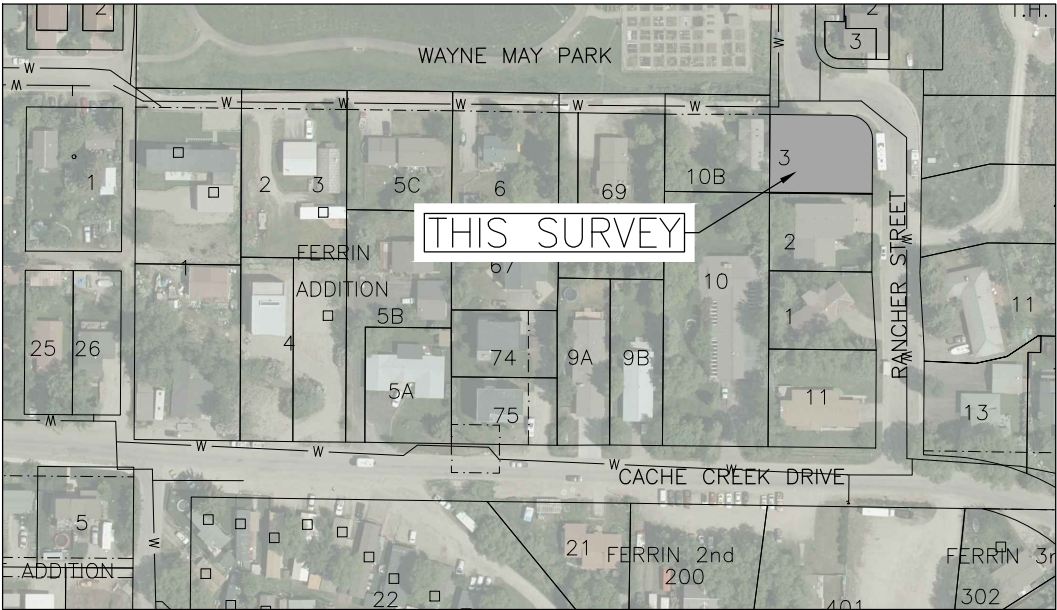
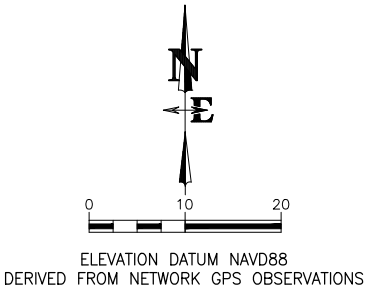
Office: 312-590-8665
Email: adepree@nwks.com

S:\P\0\2019\058-01_005 Rancher St - Northwoods Architects - Survey\014 Drawings\19-058-01_Existing.dwg C:\Users\j\OneDrive\Documents\19-058-01_Existing.dwg May 02 2019 10:04:44 am PLOTTED BY: jason BAC TOWN OF JACKSON, WY



NOTES

- 1) SURVEY PERFORMED ON 3/14/2019 WITH APPROXIMATELY 4 FEET OF SNOW ON THE GROUND. FEATURES MAY EXIST THAT WERE NOT PART OF THIS SURVEY.
- 2) BUILDING SETBACKS
PLAT 504 (SHOWN ON MAP ACCORDING TO PROPOSED DRIVEWAY ENTERING FROM EAST)
FRONT 25'
REAR 15'
SIDE 10'
TOWN OF JACKSON LDR'S FOR NL-3 ZONE (7/18/18)
PRIMARY STREET 20'
SECONDARY STREET 10'
SIDE 10'
REAR 25'



VICINITY MAP

PART OF NE 1/4
SECTION 34
T41N R116W
TOWN OF JACKSON, WY



LEGEND

- ⊗ = FOUND REBAR WITH CAP 'NELSON RLS 578'
- ◇ = FOUND REBAR WITH CAP 'JORGENSEN PLS 2612'
- △ = CALCULATED POINT - NOTHING FOUND

- = PROPERTY LINE
- = ADJACENT LOT LINE
- - - = EASEMENT LINE
- - - = SETBACK LINE (PLAT 504)
- = EDGE OF PAVEMENT - APPROX. FROM AERIAL IMAGERY
- = CURB & GUTTER - APPROX. FROM AERIAL IMAGERY
- = CURB CUT - APPROX. FROM AERIAL IMAGERY & GOOGLE MAPS STREET VIEW
- = CENTERLINE OF ROAD
- = EDGE OF CONCRETE
- = EDGE OF CONCRETE - APPROX. FROM AERIAL IMAGERY
- = WINDOW WELL
- W — W — W — = BURIED WATER LINE - APPROX. FROM TOWN OF JACKSON RECORD DATA
- S — S — S — = BURIED SANITARY SEWER LINE
- OP — OP — OP — OP — OP — = OVERHEAD POWER LINE
- bp — bp — bp — bp — bp — = BURIED POWER
- g — g — g — g — g — = BURIED GAS MAIN
- gs — gs — gs — gs — gs — = BURIED GAS SERVICE

- = POWER POLE
- ⊗ = SANITARY SEWER MANHOLE
- ⊕ = POWER TRANSFORMER
- ⊙ = ELECTRICAL METER
- ⊞ = POWER BOX
- ⊕ = GAS METER
- ⊞ = CABLE BOX
- = RADON FAN

- = DECIDUOUS TREE
- = ASPEN TREE - 12" TRUNK DIAMETER
- ★ = SPRUCE TREE - 14" TRUNK DIAMETER

X 6326.50 = SPOT ELEVATION

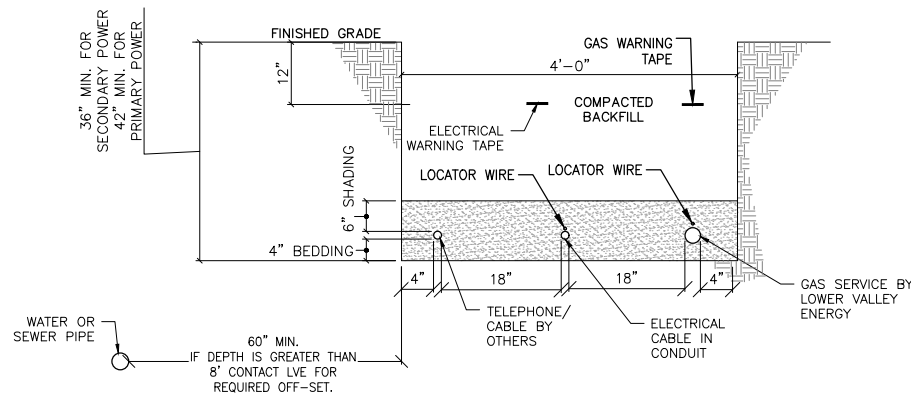
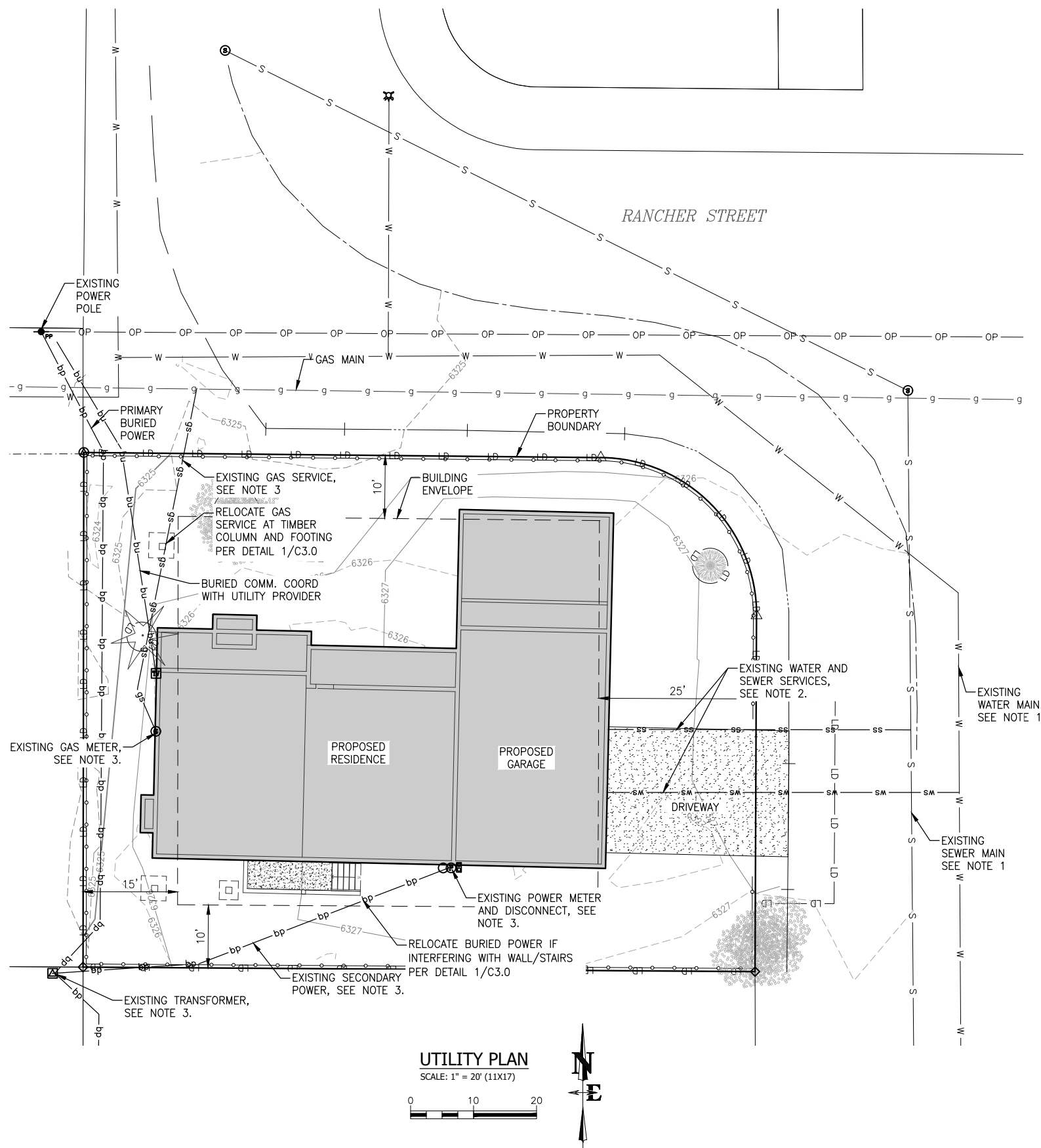
DRAWING TITLE
EXISTING SITE PLAN

JOB TITLE
DEPREE RESIDENCE
505 RANCHER STREET
TOWN OF JACKSON, WYOMING

DRAWING NO
C1.0
JOB NO
19-058-02

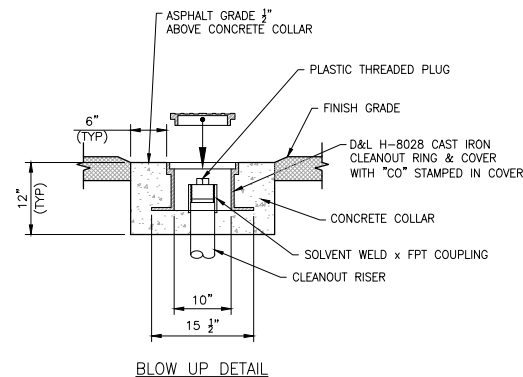
DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED
2 MAY 2019	NE	BO	BO	JK	JK

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



- NOTES:**
1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
 2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
 3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
 4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
 5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

1 UTILITY TRENCH DETAIL
SCALE: NTS



2 CURB STOP AND CLEANOUT RING AND COVER DETAIL
SCALE: NTS

UTILITY NOTES:

- SPECIAL PROVISIONS TO WPSS (2015) - UTILITIES**
- WATER SERVICE PIPE SHALL BE SDR11 POLYETHYLENE.
 - WATERLINE SHALL BE BURIED WITH A MINIMUM OF SIX FEET OF COVER.
 - GRAVITY SEWER PIPE SHALL BE 4"Ø ASTM D2665 SCH40 PVC.
 - MINIMUM SEWER PIPE GRADE SHALL BE 2%, UNLESS OTHERWISE NOTED.
 - INSULATE ALL WATER AND SEWER PIPES WITH LESS THAN 6" BURY OF BURY.

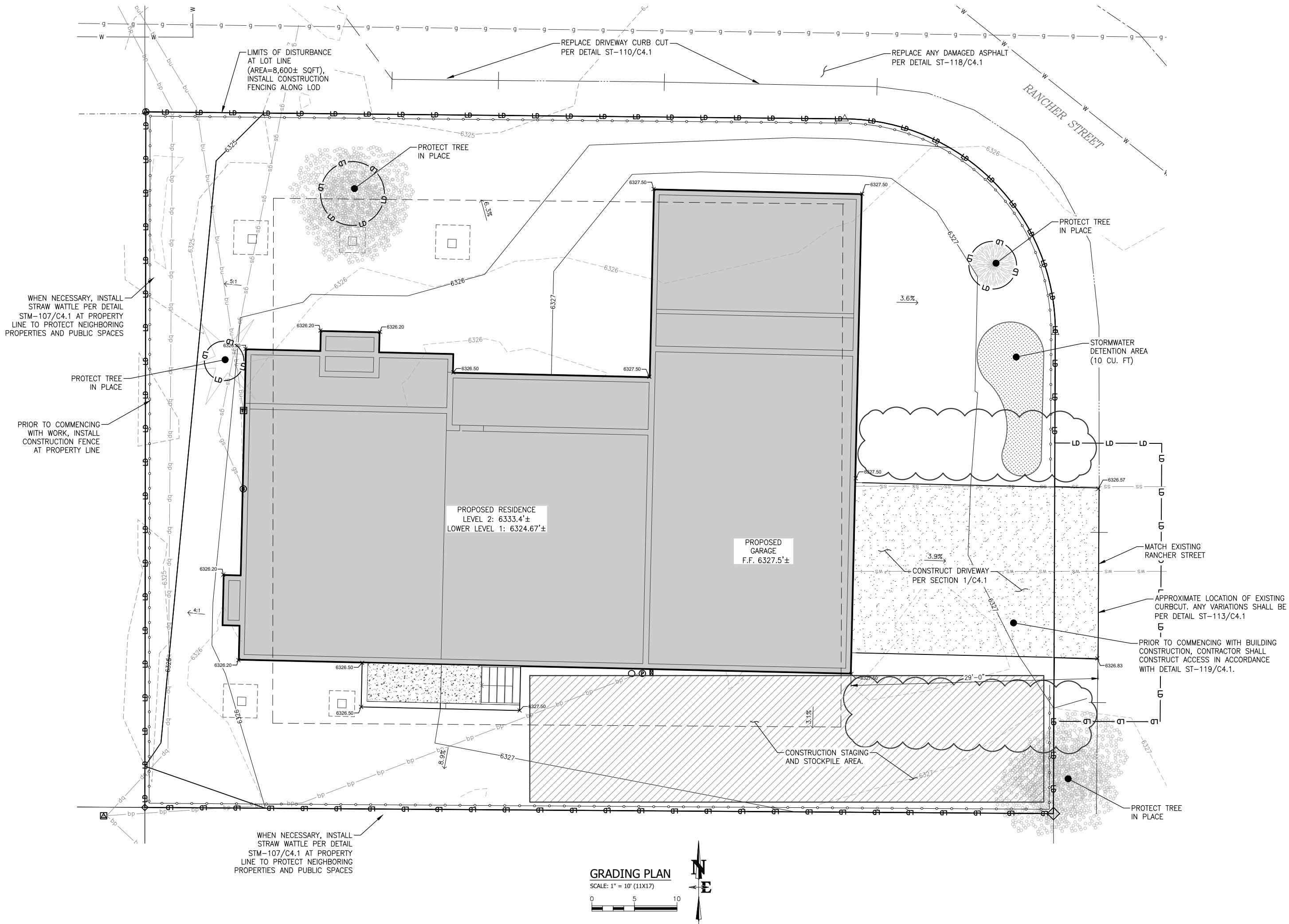
1. LOCATION AND OF CONNECTIONS FOR WATER AND SEWER SERVICES ARE UNKNOWN. CONTRACTOR SHALL SEEK INPUT FROM THE TOWN TO DETERMINE PROBABLE LOCATIONS OF CONNECTION. CONTRACTOR MAY BE REQUIRED TO PERFORM EXPLORATORY EXCAVATION TO LOCATE EXISTING UTILITIES.
2. CONTRACTOR SHALL VERIFY WITH TOJ THAT EXISTING UTILITIES ARE SUITABLE FOR CONTINUED USE. CAP EXISTING SERVICE AT FOUNDATION WALL AND INSTALL NEW IF EXISTING SERVICES ARE NOT SUITABLE. CURB STOP AND CLEANOUT LOCATIONS UNKNOWN. CONTRACTOR SHALL INSTALL HARDSCAPE COVER PER DETAIL 2/C3.0.
3. CONTRACTOR SHALL COORDINATE WITH LOWER VALLEY ENERGY TO ENSURE POWER AND GAS SERVICES, METERS AND SIZE ARE SUITABLE FOR CONTINUED USE.

DRAWING NO	JOB TITLE	JOB NO	JOB NO	REV.				
				DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED
C3.0	DEPREE RESIDENCE	505 RANCHER STREET	TOWN OF JACKSON, WYOMING	2 MAY 2019	NE	BO	BO	JK
19-058-02								

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ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

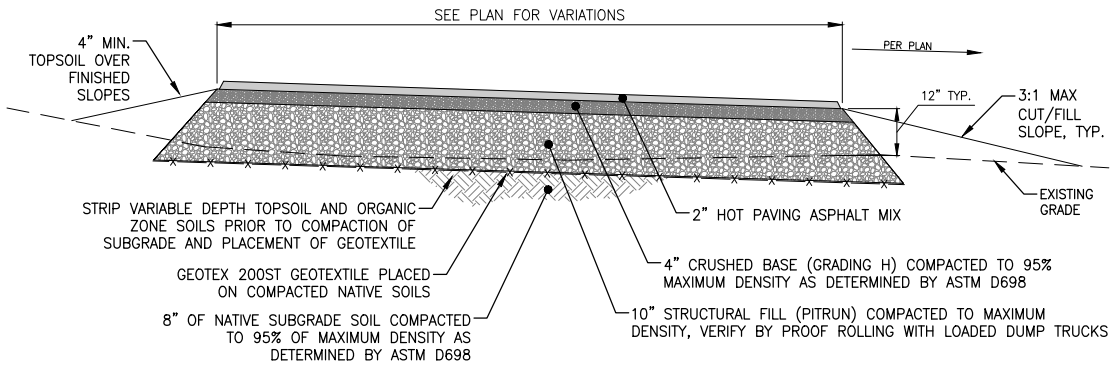
DRAWING TITLE
UTILITY PLAN

S:\P\02019\058-02_005 Rancher St - Northwark Architects - C:\N\4 Drawings\CA\Grading-505 Rancher St.dwg (Grading Plan) - May 03 2019 16:23:41 in PLOTTER 316 Olson DWG (FORMAT: 230



DRAWING NO C4.0		JOB TITLE DEPREE RESIDENCE 505 RANCHER STREET TOWN OF JACKSON, WYOMING	DRAWING TITLE GRADING PLAN	<div>NELSON ENGINEERING</div> <div>P.O. BOX 1599, JACKSON WYOMING (307) 733-2087</div>					REV.	
JOB NO 19-058-02				DATE	SURVEYED	2 MAY 2019	NE			
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					CHECKED		JK			
					APPROVED		JK			

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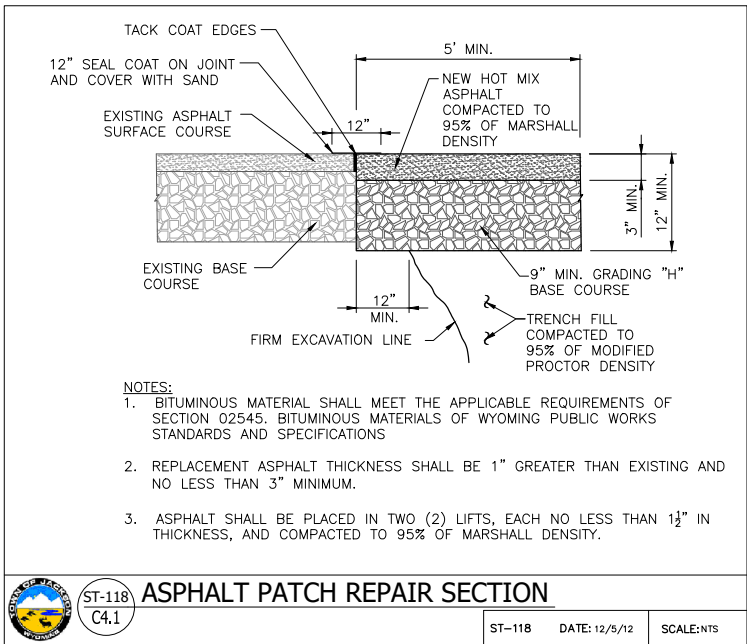


ASPHALT DRIVEWAY SECTION

1
C4.1

TYPICAL DRIVEWAY SECTION

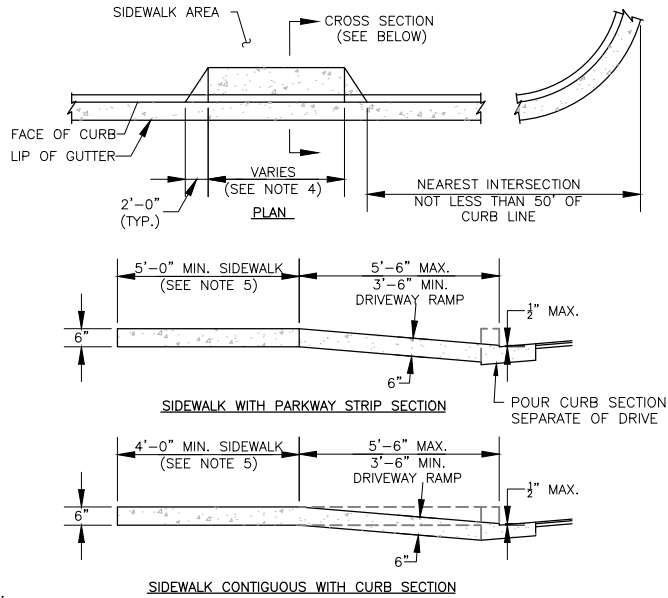
SCALE: N.T.S.



ST-118
C4.1

ASPHALT PATCH REPAIR SECTION

ST-118 DATE: 12/5/12 SCALE: NTS



- NOTES:
1. DRIVEWAYS AND CURB CUT SHALL BE INSTALLED TO CONFORM WITH ALL APPLICABLE ADA STANDARD REQUIREMENTS.
 2. CONCRETE DRIVEWAY RAMPS/CURB CUTS AND ASSOCIATED ADJACENT SIDEWALK SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 3. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 4. THE FLAT BOTTOM WIDTH DIMENSION OF CURB CUTS SHALL NOT EXCEED THE DIMENSIONS SET FORTH IN THE TOWN LAND DEVELOPMENT REGULATIONS.
 5. THE ENTIRE SIDEWALK AND RAMP SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2%. LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT BE STEEPER THAN 1:12.
 6. SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.

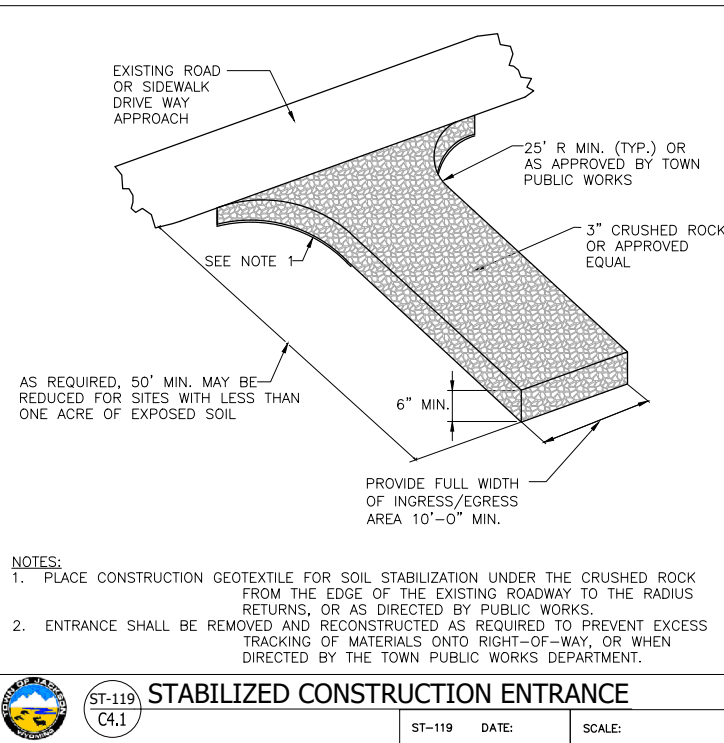


ST-113
C4.1

DRIVEWAY CURB CUT

ST-113 DATE: 12/5/12

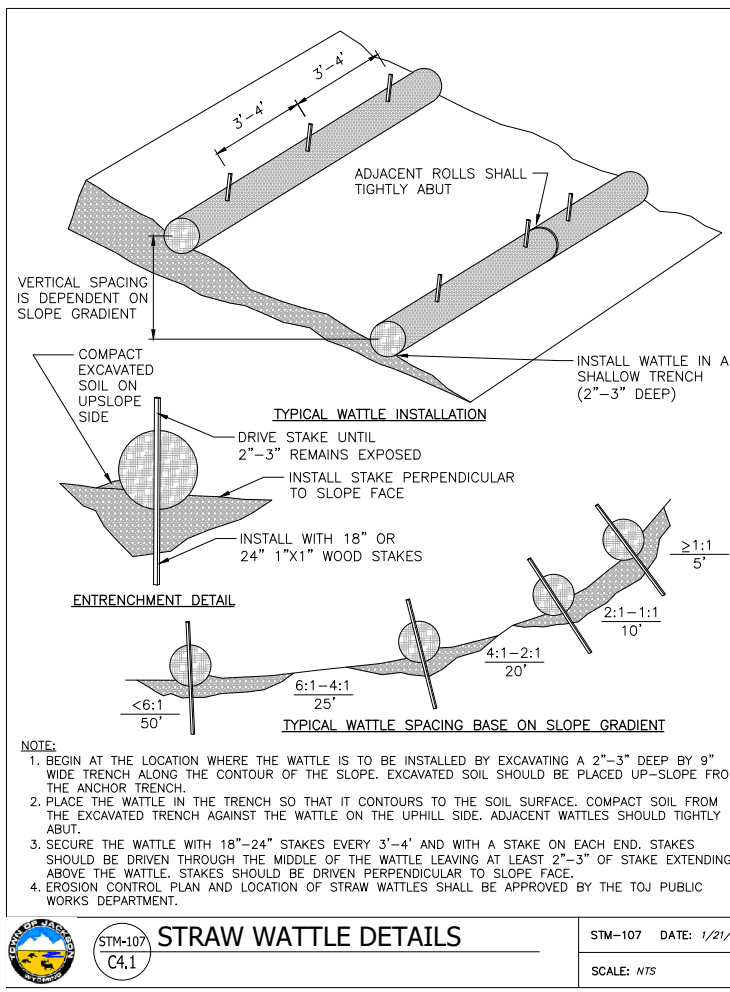
SCALE: NTS



ST-119
C4.1

STABILIZED CONSTRUCTION ENTRANCE

ST-119 DATE: SCALE:

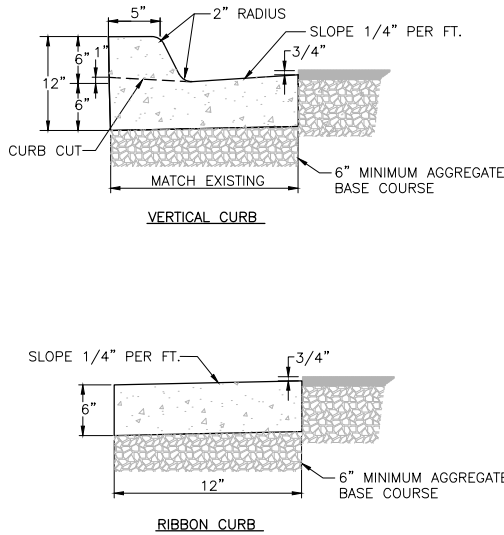


STM-107
C4.1

STRAW WATTLE DETAILS

STM-107 DATE: 1/21/13

SCALE: NTS



ST-110
C4.1

CURB SECTIONS

ST-110 DATE: 12/4/12

SCALE: NTS

DRAWING TITLE

GRADING DETAILS

JOB TITLE

DEPREE RESIDENCE

505 RANCHER STREET

TOWN OF JACKSON, WYOMING

DRAWING NO

C4.1

JOB NO

19-058-02

REV.

DATE	2 MAY 2019	NE	BO	BO	JK	JK
SURVEYED						
ENGINEERED						
DRAWN						
CHECKED						
APPROVED						

NELSON
ENGINEERING

P.O. BOX 15989, JACKSON WYOMING (307) 733-2087