



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Housing Department

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: May 6, 2019

Item #: P19-108

Planner: Brendan Conboy

Phone: 733-0440 ext. 1302

Fax: 734-3563

Email: [bconboy@jacksonwy.gov](mailto:bconboy@jacksonwy.gov)

**Owner:**

Sage Lansing & Edmund Depree  
PO Box 474  
Jackson, WY 83001

**REQUESTS:**

The applicant is submitting a request for Pre-Application Conference for a Grading Permit for the property located at 505 Rancher Street, legally known as LOT 3, BEESLEY SUBDIVISION, 1ST FILING.

For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.

**Please respond by:** n/a

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)



## **PRE-APPLICATION CONFERENCE REQUEST (PAP)**

### **Planning & Building Department**

150 E Pearl Ave. ph: (307) 733-0440 fax:  
P.O. Box 1687 [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

#### ***For Office Use Only***

Fees Paid \_\_\_\_\_

Time & Date Received \_\_\_\_\_

Application # \_\_\_\_\_

***Please note:*** Applications received after 3 PM will be processed the next business day.

**APPLICABILITY.** This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to [www.townofjackson.com/204/Pre-Application](http://www.townofjackson.com/204/Pre-Application)

#### **PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_

PIDN: \_\_\_\_\_

#### **PROPERTY OWNER.**

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **APPLICANT/AGENT.**

Name, Agency: \_\_\_\_\_

Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### **DESIGNATED PRIMARY CONTACT.**

Property Owner

Applicant/Agent

**ENVIRONMENTAL PROFESSIONAL.** For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPES OF PRE-APPLICATION NEEDED.** Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit  
 Use Permit  
 Development Option or Subdivision Permit  
 Interpretations of the LDRs  
 Amendments to the LDRs  
 Relief from the LDRs  
 Environmental Analysis

**This pre-application conference is:**  
 Required  
 Optional  
 For an Environmental Analysis  
 For grading

**SUBMITTAL REQUIREMENTS.** Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email or thumb drive), and **two hard copies** of the submittal packet.

Have you attached the following?

**Application Fee.** Go to [www.townofjackson.com/204/Pre-Application.com](http://www.townofjackson.com/204/Pre-Application.com) for the fees. **\$150.00**

**Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at [www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF](http://www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF).

**Narrative Project Description.** Please attach a short narrative description of the project that addresses:  
 Existing property conditions (buildings, uses, natural resources, etc)  
 Character and magnitude of proposed physical development or use  
 Intended development options or subdivision proposal (if applicable)  
 Proposed amendments to the LDRs (if applicable)

**Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:  
 Property boundaries  
 Existing and proposed physical development and the location of any uses not requiring physical development  
 Proposed parcel or lot lines (if applicable)  
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

**Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

**Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Name Printed

Date

Title

3 May 2019

Town of Jackson  
Planning & Building Department-Planning Division  
150 E. Pearl Ave.  
PO Box 1687  
Jackson, WY 83001

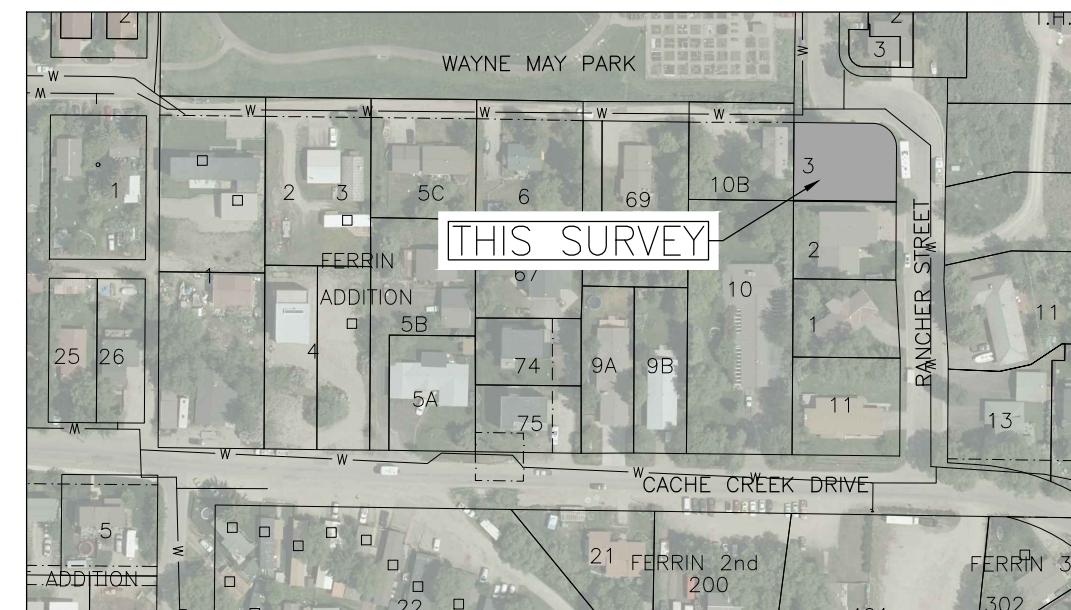
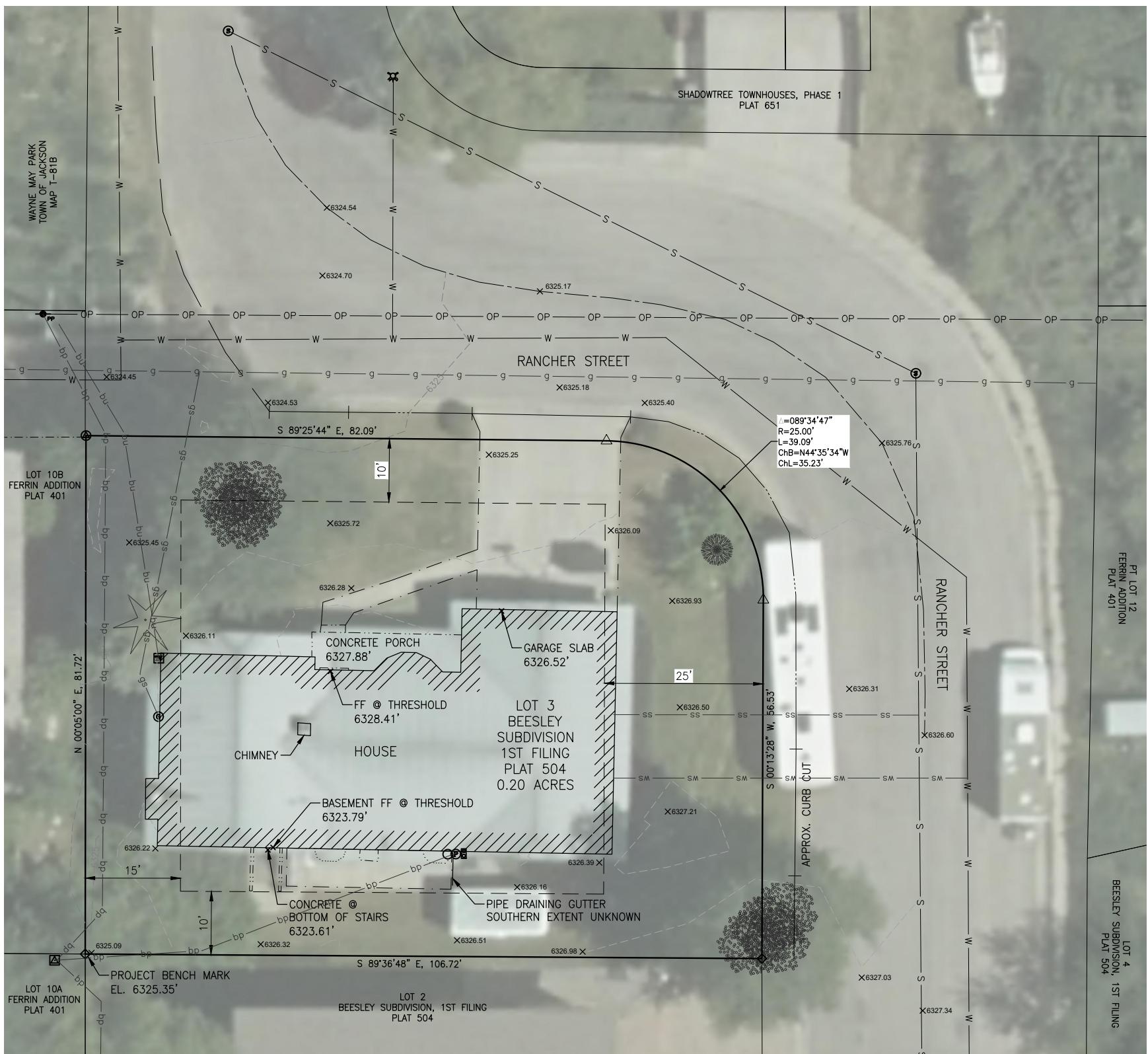
To Whom it May Concern,

The Attached PAP is for new residential construction located at 505 Rancher St. Jackson WY. In accordance with the existing site plan attached, there is an existing residence with associated parking and utilities. Proposed development includes demolition of existing structures with the foundation and utilities to remain and construction of a 5-bedroom home comprised of three levels with parking. Proposed development is described on sheets C2.0-C4.1 attached. Please don't hesitate to contact us with project inquiries.

Sincerely,

E. Austin Depree

Office: 312-590-8665  
Email: [adepree@nwks.com](mailto:adepree@nwks.com)



LEGEND  
= FOUND REBAR WITH CAP 'NELSON RLS 578'  
= FOUND REBAR WITH CAP 'JORGENSEN PLS 2612'  
= CALCULATED POINT - NOTHING FOUND

LEGEND

Ⓐ = FOUND REBAR WITH CAP 'NELSON RLS 578'

◇ = FOUND REBAR WITH CAP 'JORGENSEN PLS 2612'

△ = CALCULATED POINT - NOTHING FOUND

— = PROPERTY LINE

— = ADJACENT LOT LINE

— = EASEMENT LINE

— = SETBACK LINE (PLAT 504)

— = EDGE OF PAVEMENT - APPROX. FROM AERIAL IMAGERY

— = CURB & GUTTER - APPROX. FROM AERIAL IMAGERY

| = CURB CUT - APPROX. FROM AERIAL IMAGERY & GOOGLE MAPS STREET VIEW

— = CENTERLINE OF ROAD

— = EDGE OF CONCRETE

— = EDGE OF CONCRETE - APPROX. FROM AERIAL IMAGERY

..... = WINDOW WELL

W W W = BURIED WATER LINE - APPROX. FROM TOWN OF JACKSON RECORD DATA

S S S = BURIED SANITARY SEWER LINE

OP OP OP OP OP = OVERHEAD POWER LINE

bp bp bp bp bp = BURIED POWER

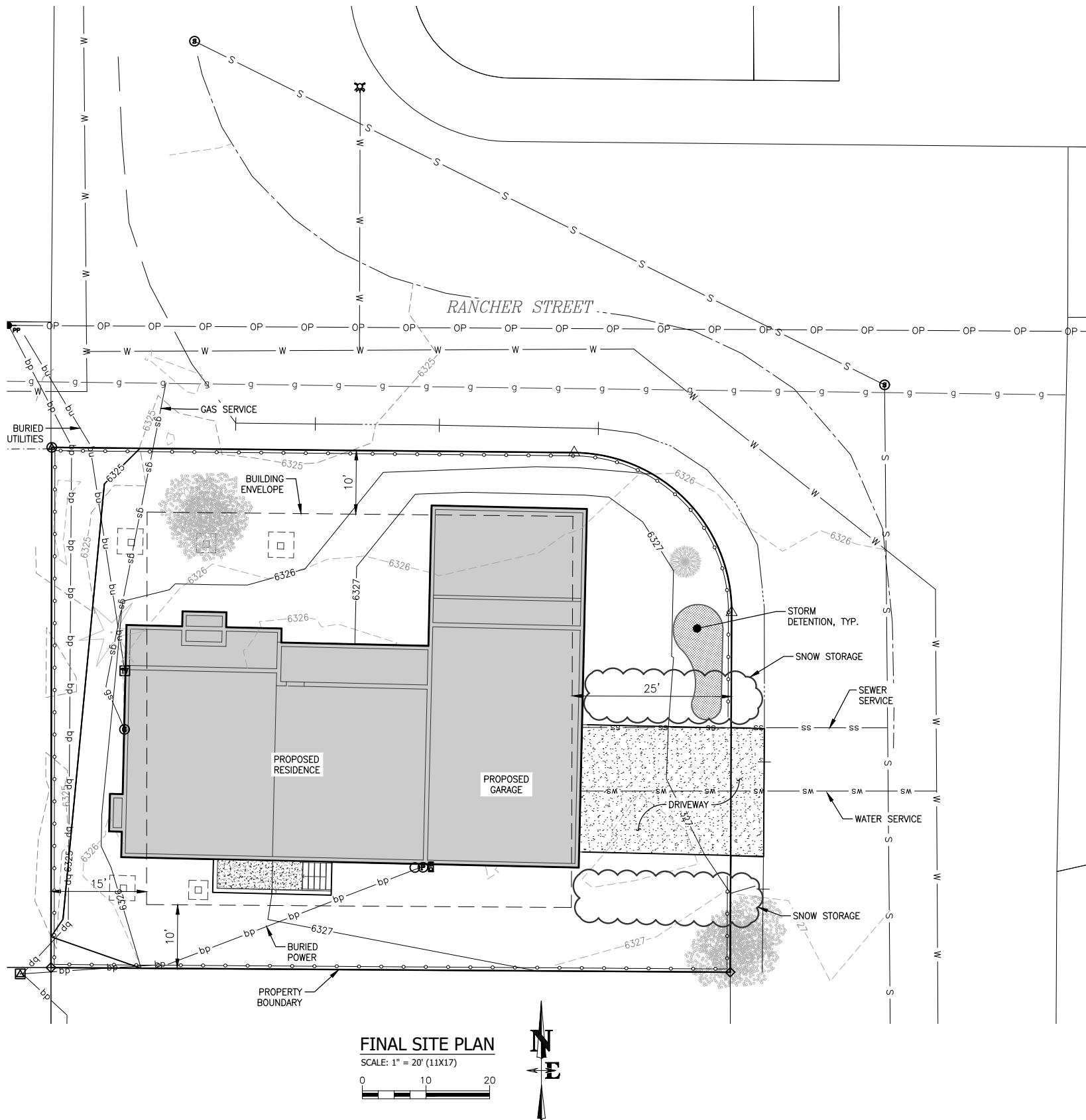
g g g g g g = BURIED GAS MAIN

gs gs gs gs gs = BURIED GAS SERVICE

POWER POLE

- = POWER POLE
- = SANITARY SEWER MANHOLE
- = POWER TRANSFORMER
- = ELECTRICAL METER
- = POWER BOX
- = GAS METER
- = CABLE BOX
- = RADON FAN
- = DECIDUOUS TREE
- = ASPEN TREE - 12" TRUNK DIAMETER
- = SPRUCE TREE - 14" TRUNK DIAMETER

×6326.50 = SPOT ELEVATION



#### SITE CONSTRUCTION NOTES & SPECIFICATIONS

##### CAUTION:

UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM CONTRACTORS WORK.

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPSS) 2015 EDITION AND THESE PLANS.
2. CONTRACTOR REQUIRED TO MEET WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY'S STORMWATER PERMIT REQUIREMENTS.
3. IT IS RECOMMENDED THAT THE CONTRACTOR EMPLOY A SURVEYOR TO PROVIDE STAKING FOR LOCATIONS OF FOUNDATIONS, UTILITIES, DRIVEWAY, AND FOR GRADING WORK.
4. STRIPPED MATERIAL SHALL BE STOCKPILED AT STOCKPILE AREAS SHOWN ON PLAN, CUT MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS OR STOCKPILED. SEE SHEET C4.0 FOR LOCATIONS.
5. TOPSOIL SHALL BE STOCKPILED SEPARATELY & REUSED TO COVER FINISH SLOPES. IMPORT ADDITIONAL WEED-FREE TOPSOIL IF NECESSARY TO COVER ALL DISTURBED AREAS NOT RECEIVING SURFACING. LEAVE SUBGRADE DOWN 4-6" TO RECEIVE TOPSOIL IN LANDSCAPE AREAS.
6. DUST CONTROL MUST BE ACCOMPLISHED BY WATERING STOCKPILES AND DRY SOILS.
7. CONTRACTOR SHALL PREVENT TRACKING OF SOIL ONTO THE ROAD AND CLEAN ROAD OF SOILS WHEN NECESSARY.
8. IN ACCORDANCE WITH C4.0, INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH LAND DISTURBING ACTIVITIES AND MAINTAIN THE DEVICES DURING CONSTRUCTION. IF NECESSARY THE CONTRACTOR SHOULD INSTALL AND MAINTAIN ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THE SITE IS STABILIZED DURING CONSTRUCTION.
9. REVEGETATION SHALL BE NATIVE SEED AND SOD AND SHALL BE IRRIGATED BY OWNER WHEN NECESSARY.
10. CONTRACTOR MUST HAVE A WEED CONTROL PLAN PREPARED BY TETON COUNTY WEED AND PEST OR OTHER WEED SPECIALIST AND IMPLEMENT THE PLAN THROUGHOUT CONSTRUCTION. SEE NOTES THIS SHEET FOR WEED MANAGEMENT REQUIREMENTS.
11. LAND DISTURBING ACTIVITIES SHALL OCCUR FROM SPRING 2019 THROUGH FALL 2020.
12. CONTRACTOR SHOULD COORDINATE THE INSTALLATION OF WIRE UTILITY SERVICES WITH UTILITY PROVIDERS AND ARRANGE INSTALLATION AND SERVICE CONTRACTS.
13. INSTALL ORANGE CONSTRUCTION FENCING ALONG LIMITS OF DISTURBANCE TO CONTAIN CONSTRUCTION ACTIVITIES PER SHEET C4.0.
14. CONSTRUCTION PARKING AND STAGING WILL OCCUR ALONG THE DRIVEWAY, WITHIN THE STAGING AREA, AND AT THE LOT FRONTRAGE. GRAVEL SURFACING WILL BE PLACED TO MINIMIZE MUD ISSUES DURING CONSTRUCTION.

#### TETON COUNTY WEED AND PEST MANAGEMENT STRATEGIES

##### PRE-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE TETON COUNTY WEED & PEST, OR OTHER QUALIFIED PROFESSIONAL, TO CONDUCT A SITE SPECIFIC INVENTORY OF INVASIVE SPECIES AND CREATE A SPECIES SPECIFIC MANAGEMENT PLAN IN ACCORDANCE WITH TETON COUNTY LDR 5.7.2.

##### ACTIVE CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. ALL CONSTRUCTION EQUIPMENT TO BE CLEANED PRIOR TO ENTERING THE SITE.
2. SOIL STOCKPILES TO BE ROUTINELY CHECKED AND TREATED FOR INVASIVE SPECIES.
3. DISTURBANCE OUTSIDE OF THE CONSTRUCTION ZONE AND IN AREAS WHERE INVASIVE SPECIES ARE PRESENT SHALL BE MINIMIZED.
4. ALL AREAS OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE KEPT ON ACTIVE MANAGEMENT USING THE CONTROL METHODS PRESCRIBED IN THE SPECIES SPECIFIC MANAGEMENT PLAN CREATED PRIOR TO CONSTRUCTION. THIS AREA SHALL BE MONITORED AND TREATED AT LEAST TWICE EACH GROWING SEASON.

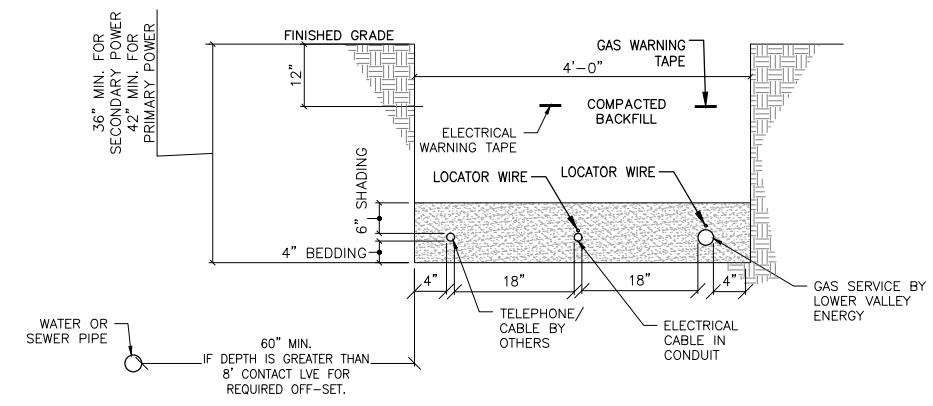
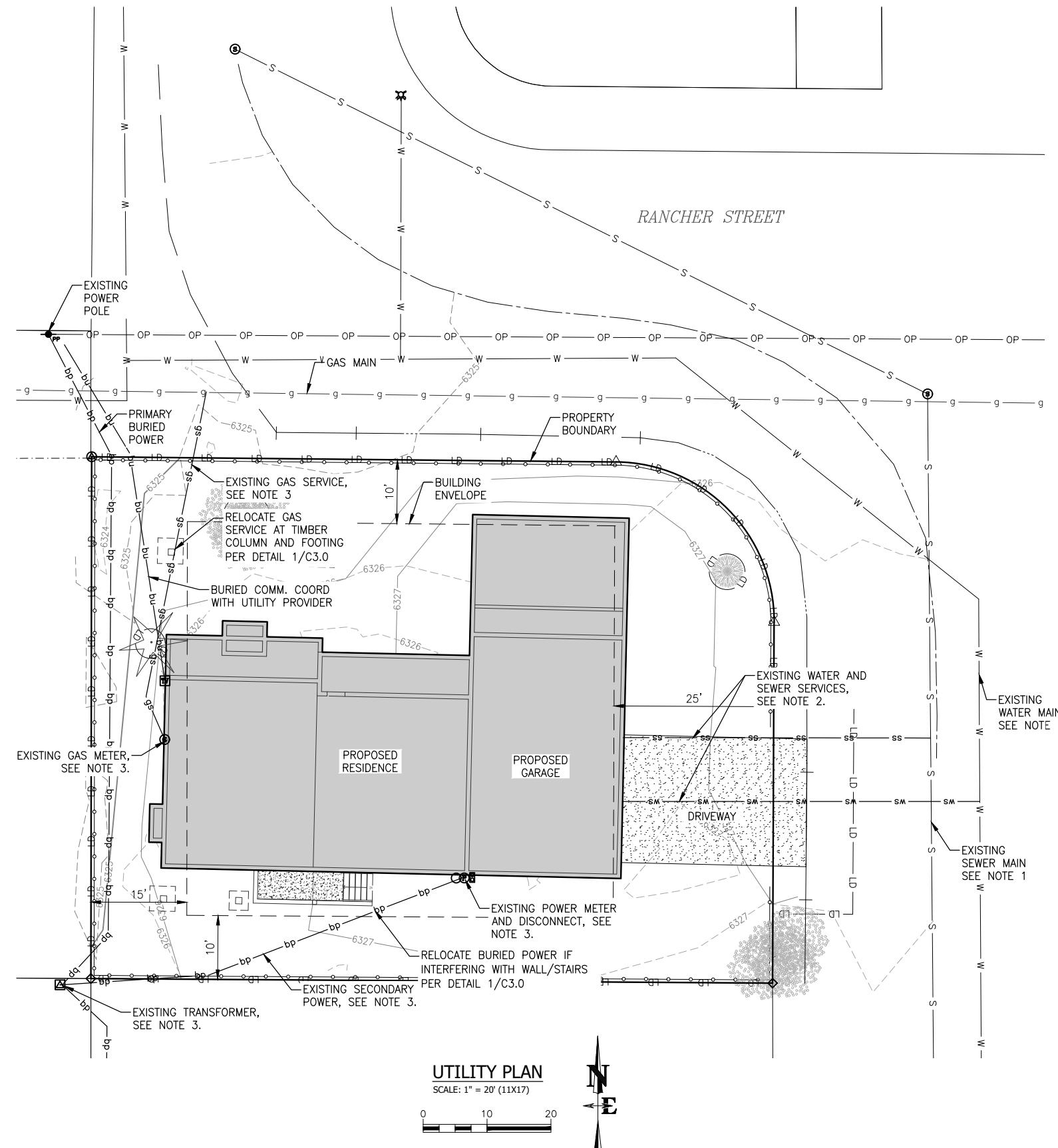
##### POST-CONSTRUCTION MANAGEMENT STRATEGIES TO BE PERFORMED BY CONTRACTOR:

1. RE-VEGETATION TO OCCUR IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE TO PREVENT THE ESTABLISHMENT OF INVASIVE SPECIES IN DISTURBED AREAS.
2. NURSERY STOCK SHALL BE IN ACCORDANCE WITH W.S. 11-9-101 - 109 (WYOMING NURSERY STOCK LAW), ACCOMPANIED BY A VALID HEALTH CERTIFICATE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE. SEEDS SHALL BE IN ACCORDANCE WITH W.S. 11-12-101 - 125 (WYOMING SEED LAW), CERTIFIED WEED FREE, AND ACQUIRED THROUGH A DEALER LICENSED BY THE WYOMING DEPARTMENT OF AGRICULTURE.
3. CERTIFIED WEED FREE STRAW, GRAVEL, AND SOIL SHALL BE UTILIZED WHERE POSSIBLE.
4. TCWP TO BE CONTACTED TO CREATE A POST-CONSTRUCTION INVENTORY.

**NELSON  
ENGINEERING**  
P.O. BOX 1569, JACKSON, WYOMING (307) 733-2087

DRAWING NO	JOB TITLE	DRAWING TITLE
02.0	DEPREE RESIDENCE	FINAL SITE PLAN
19-058-02	505 RANCHER STREET	
	TOWN OF JACKSON, WYOMING	

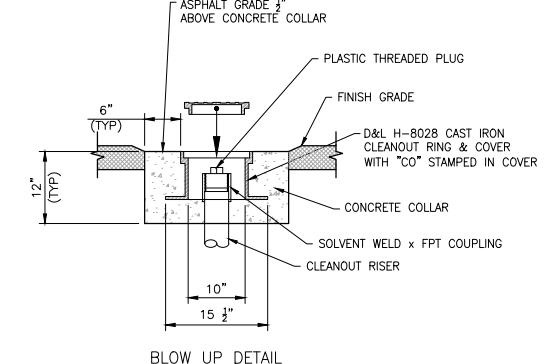
DATE	2 MAY 2018	REV.
SURVEYED	NE	
ENGINEERED	BO	
DRAWN	BO	
CHECKED	JK	
APPROVED	JK	



**NOTES:**

1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

1 C3.0 **UTILITY TRENCH DETAIL**  
SCALE: NTS



2 C3.0 **CURB STOP AND CLEANOUT RING AND COVER DETAIL**  
SCALE: NTS

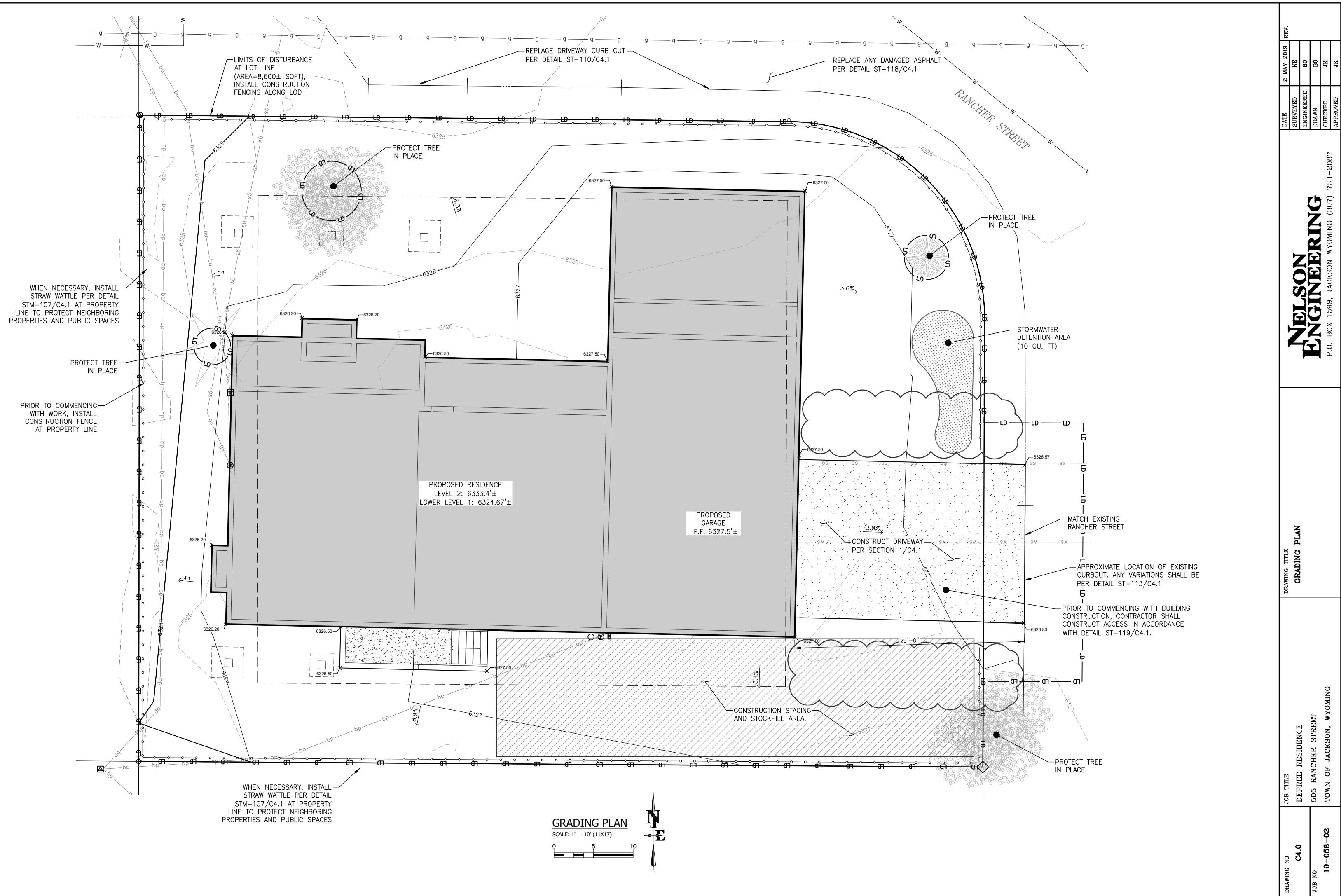
**UTILITY NOTES:**

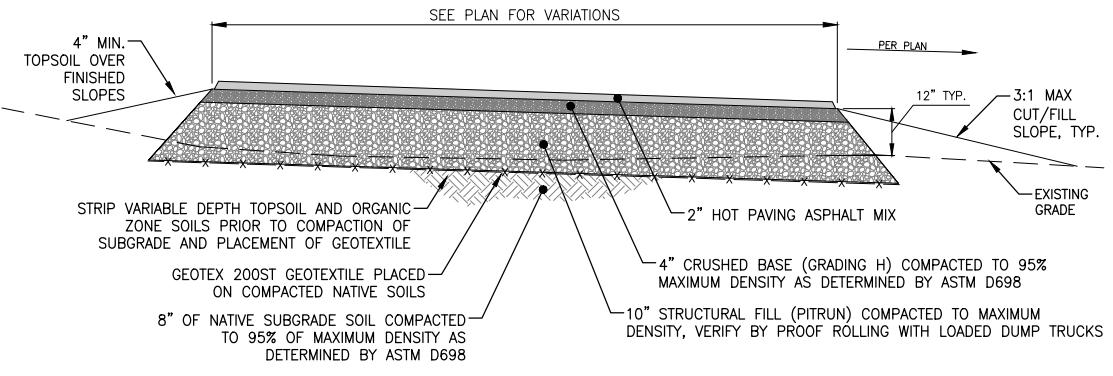
**SPECIAL PROVISIONS TO WPWSS (2015) - UTILITIES**

- WATER SERVICE PIPE SHALL BE SDR11 POLYETHYLENE.
- WATERLINE SHALL BE BURIED WITH A MINIMUM OF SIX FEET OF COVER.
- GRAVITY SEWER PIPE SHALL BE 4"Ø ASTM D2665 SCH40 PVC.
- MINIMUM SEWER PIPE GRADE SHALL BE 2%, UNLESS OTHERWISE NOTED.
- INSULATE ALL WATER AND SEWER PIPES WITH LESS THAN 6' BURY OF BURY.

1. LOCATION AND OF CONNECTIONS FOR WATER AND SEWER SERVICES ARE UNKNOWN. CONTRACTOR SHALL SEEK INPUT FROM THE TOWN TO DETERMINE PROBABLE LOCATIONS OF CONNECTION. CONTRACTOR MAY BE REQUIRED TO PERFORM EXPLORATORY EXCAVATION TO LOCATE EXISTING UTILITIES.
2. CONTRACTOR SHALL VERIFY WITH TOJ THAT EXISTING UTILITIES ARE SUITABLE FOR CONTINUED USE. CAP EXISTING SERVICE AT FOUNDATION WALL AND INSTALL NEW IF EXISTING SERVICES ARE NOT SUITABLE. CURB STOP AND CLEANOUT LOCATIONS UNKNOWN. CONTRACTOR SHALL INSTALL HARDCAPE COVER PER DETAIL 2/C3.0.
3. CONTRACTOR SHALL COORDINATE WITH LOWER VALLEY ENERGY TO ENSURE POWER AND GAS SERVICES, METERS AND SIZE ARE SUITABLE FOR CONTINUED USE.

DRAWING NO	JOB TITLE	DRAWING TITLE
C3.0		UTILITY PLAN
	DEPREE RESIDENCE	
19-058-02	505 RANCHER STREET	TOWN OF JACKSON, WYOMING
DATE 2 MAY 2018	REV. NE	Surveyed Engineered Drawn Checked Approved
P.O. BOX 15659, JACKSON WYOMING (307) 733-2087		NELSON ENGINEERING

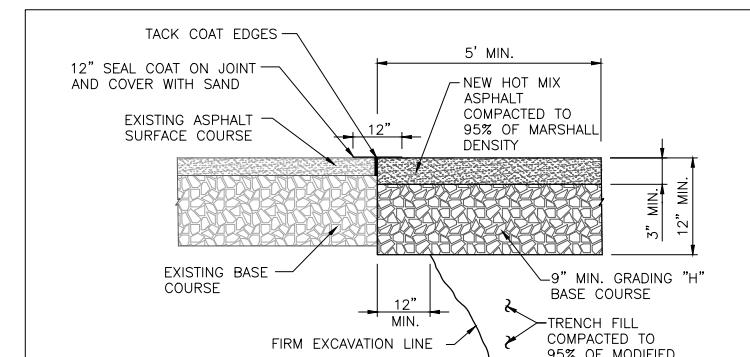




ASPHALT DRIVEWAY SECTION

1 TYPICAL DRIVEWAY SECTION  
C4.1

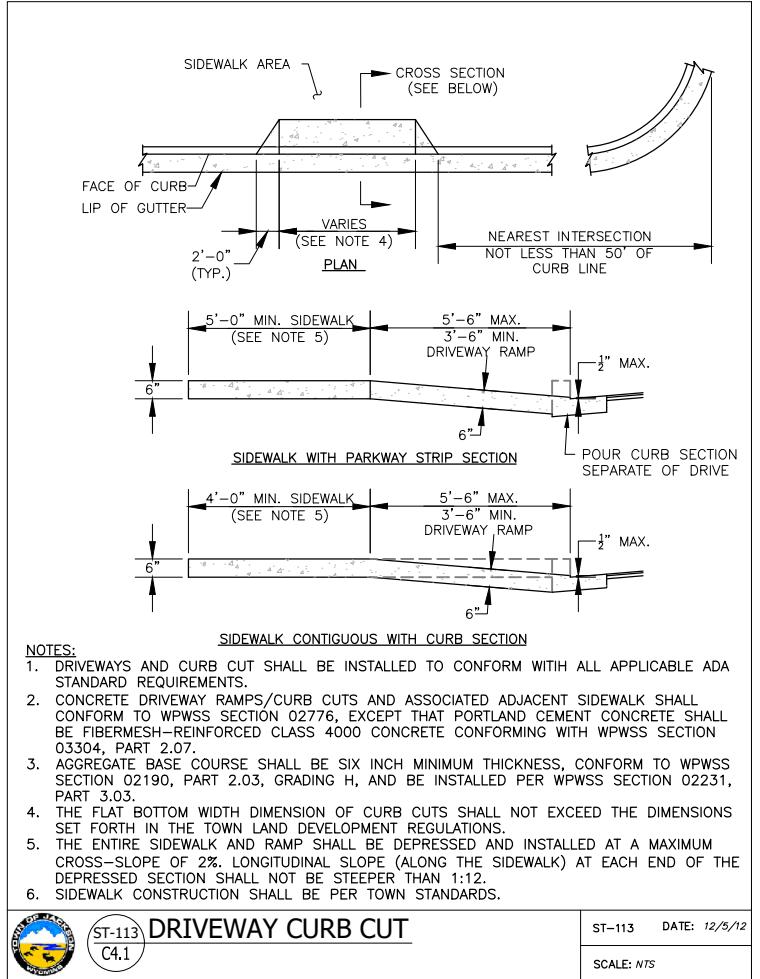
SCALE: N.T.S.



1 ASPHALT PATCH REPAIR SECTION  
C4.1

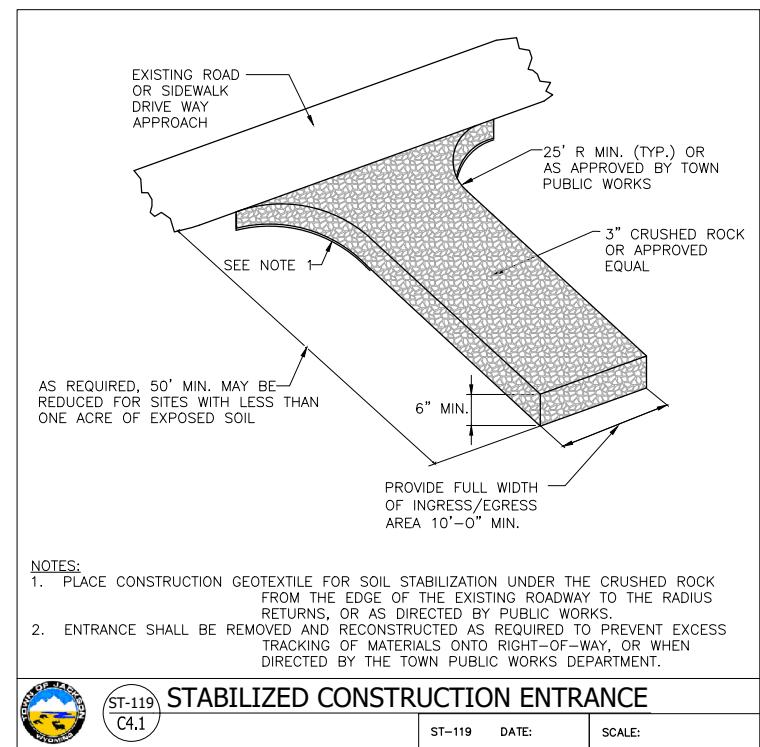
ST-118 DATE: 12/5/12 SCALE: NTS

NOTES:  
1. BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545, BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS.  
2. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.  
3. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.



1 DRIVEWAY CURB CUT  
C4.1

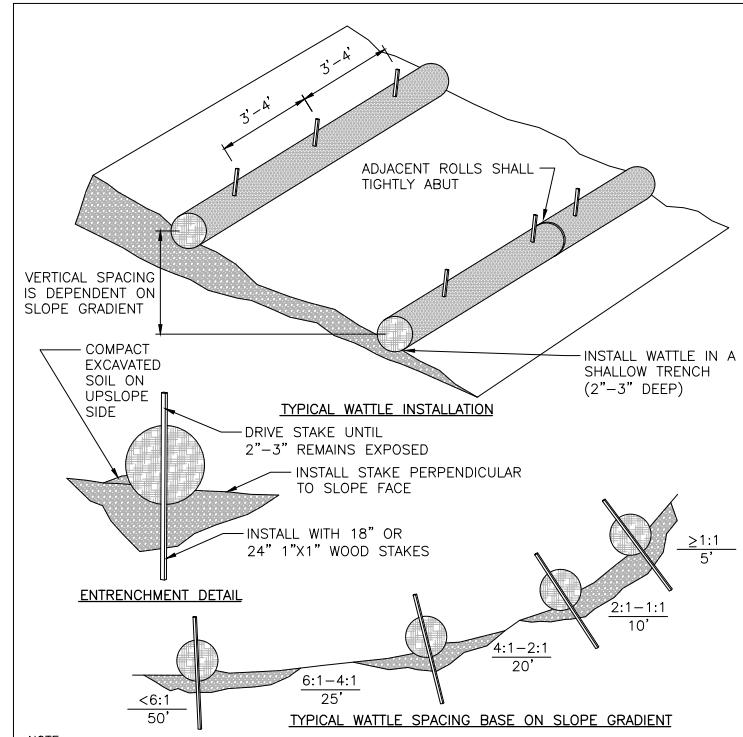
ST-113 DATE: 12/5/12  
SCALE: NTS



1 STABILIZED CONSTRUCTION ENTRANCE  
C4.1

ST-119 DATE: SCALE:

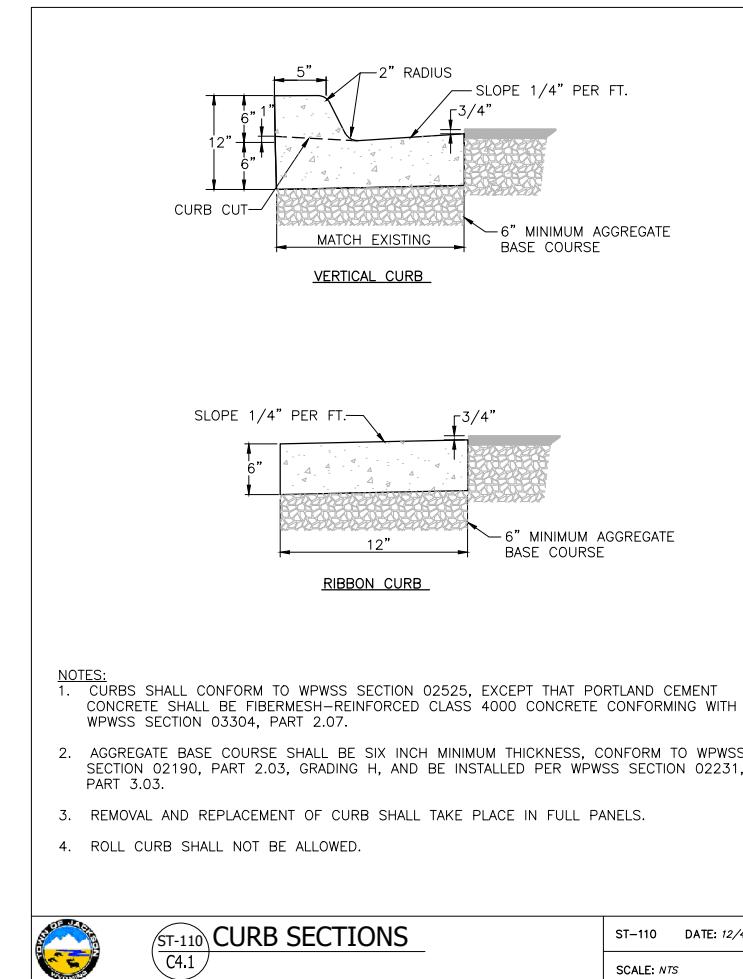
NOTES:  
1. PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION UNDER THE CRUSHED ROCK FROM THE EDGE OF THE EXISTING ROADWAY TO THE RADIUS RETURNS, OR AS DIRECTED BY PUBLIC WORKS.  
2. ENTRANCE SHALL BE REMOVED AND RECONSTRUCTED AS REQUIRED TO PREVENT EXCESS TRACKING OF MATERIALS ONTO RIGHT-OF-WAY, OR WHEN DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT.



NOTE:  
1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2"-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.  
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTERS SHOULD TIGHTLY ABUT.  
3. SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2"-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.  
4. EROSION CONTROL PLAN AND LOCATION OF STRAW WATTERS SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

1 STRAW WATTLE DETAILS  
C4.1

STM-107 DATE: 1/21/13  
SCALE: NTS



1 CURB SECTIONS  
C4.1

ST-110 DATE: 1/24/12  
SCALE: NTS

DRAWING NO	JOB TITLE	GRADING DETAILS
C4.1	DEPREE RESIDENCE	
19-058-02	505 RANCHER STREET TOWN OF JACKSON, WYOMING	

**NELSON  
ENGINEERING**

P.O. BOX 15659, JACKSON WYOMING (307) 733-2087

DATE	2 MAY 2018	REV.
SURVEYED	NE	
ENGINEERED	BO	
DRAWN	BO	
CHECKED	JK	
APPROVED	JK	